

March 2019 Application



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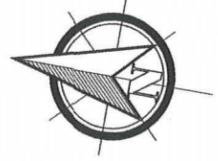
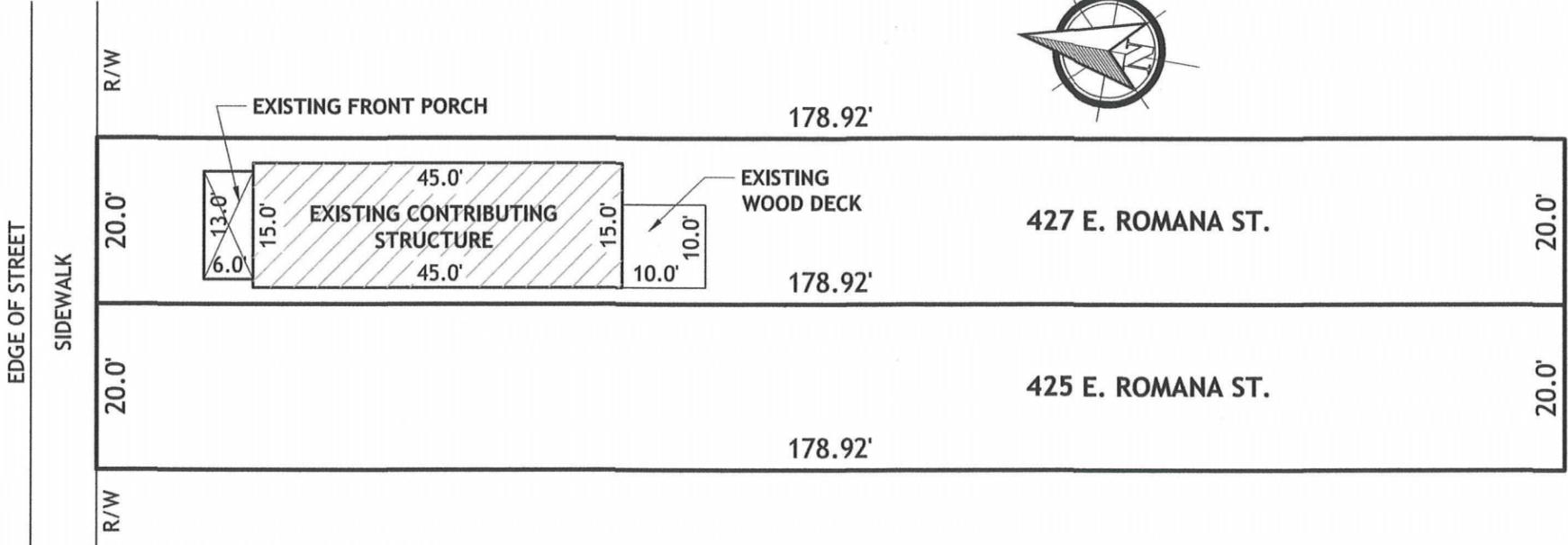


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Property to North - Levin center for IHMC research

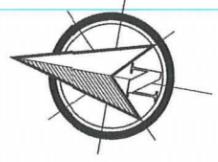
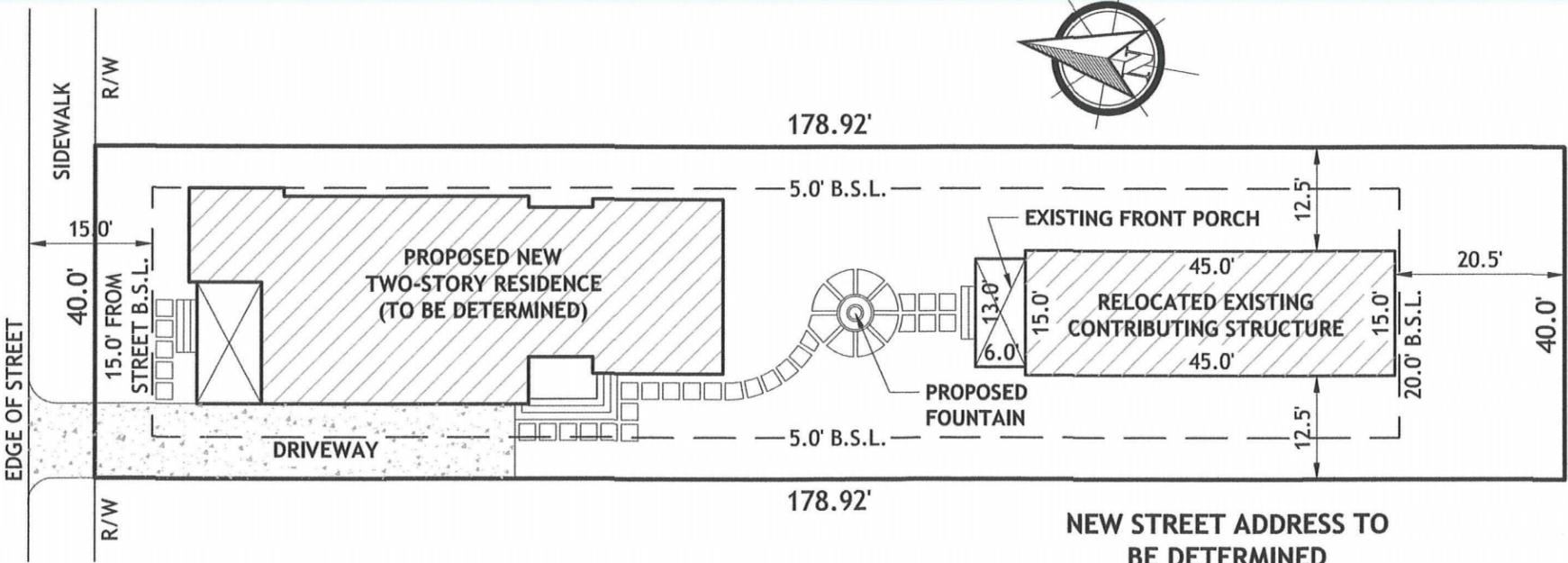
EAST ROMANA STREET



1-1 EXISTING SITE LAYOUT
SCALE: 1" = 20'-0"

March 2019 Application

EAST ROMANA STREET



1-2 PROPOSED NEW SITE LAYOUT
SCALE: 1" = 20'-0"

PRELIMINARY / CONCEPTUAL

Title:
New Residential Design for
SINGLE FAMILY RESIDENCE
425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502
Prepared for:
CALDWELL

Irby & Voelkel Engineering
94 E Garden St
Pensacola, FL 32502
Office: (850) 439-0877
Fax: (850) 469-0351
FLCA 9511
www.IrbyEngineering.com

Date	Revision

Designed By: FRS & JCV
Checked By: JCV
Project #: 000-181007

Sheet: 1 of 3

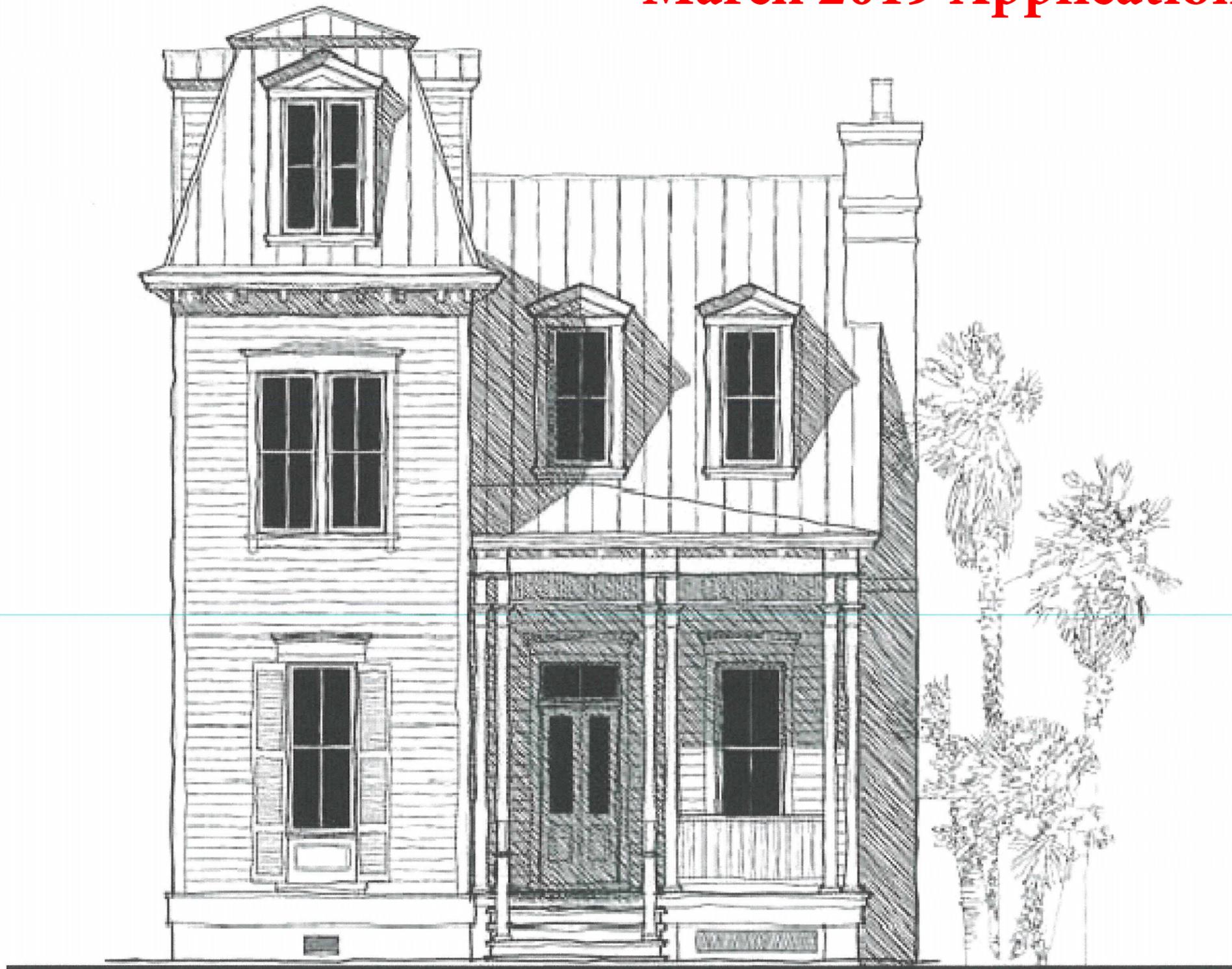
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J. Christian Voelkel FLPE 82229

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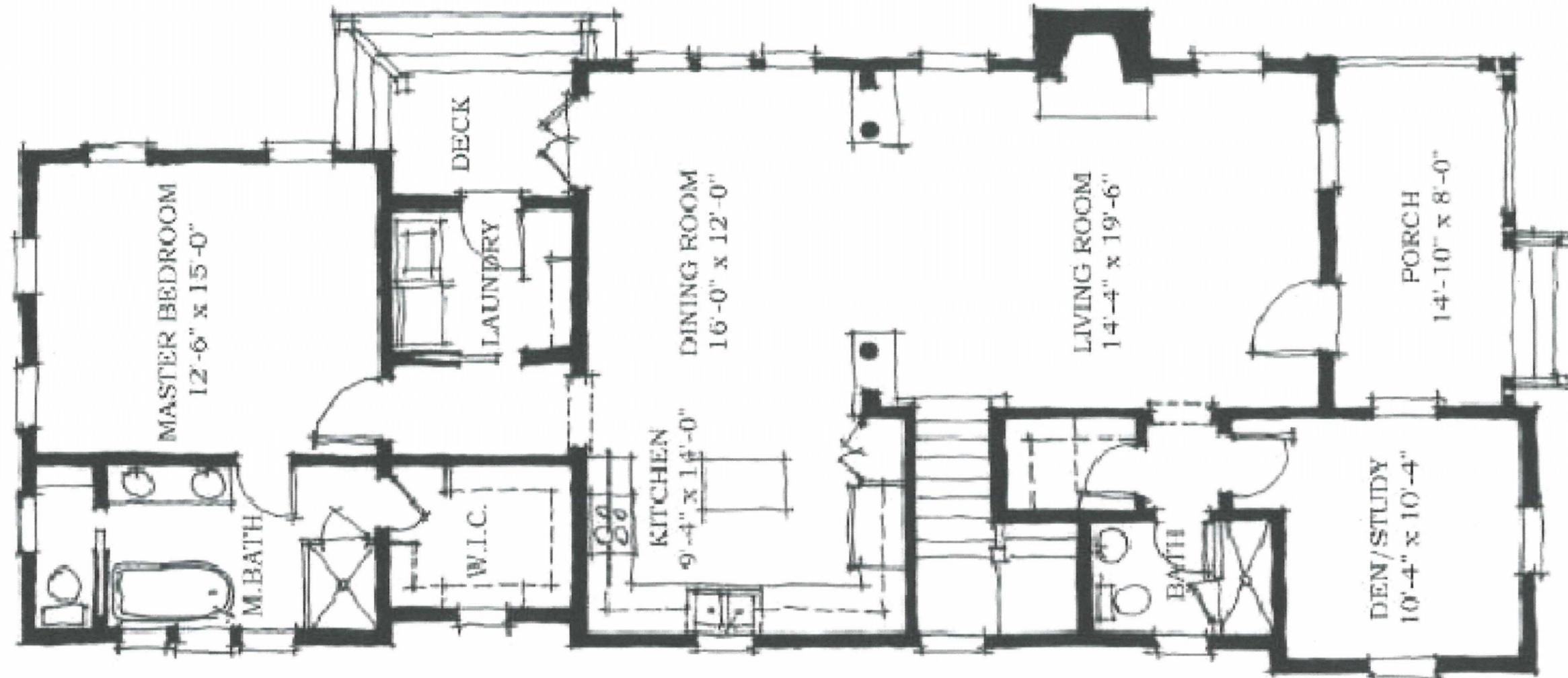
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NOTE: THE ELEVATIONS AND FLOOR PLANS
 CONTAINED IN THESE PLANS ARE CONCEPTUAL
 PROVIDED BY THE CLIENT AND NOT THE
 PROPERTY OF IRBY & VOELKEL ENGINEERING.

2-1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



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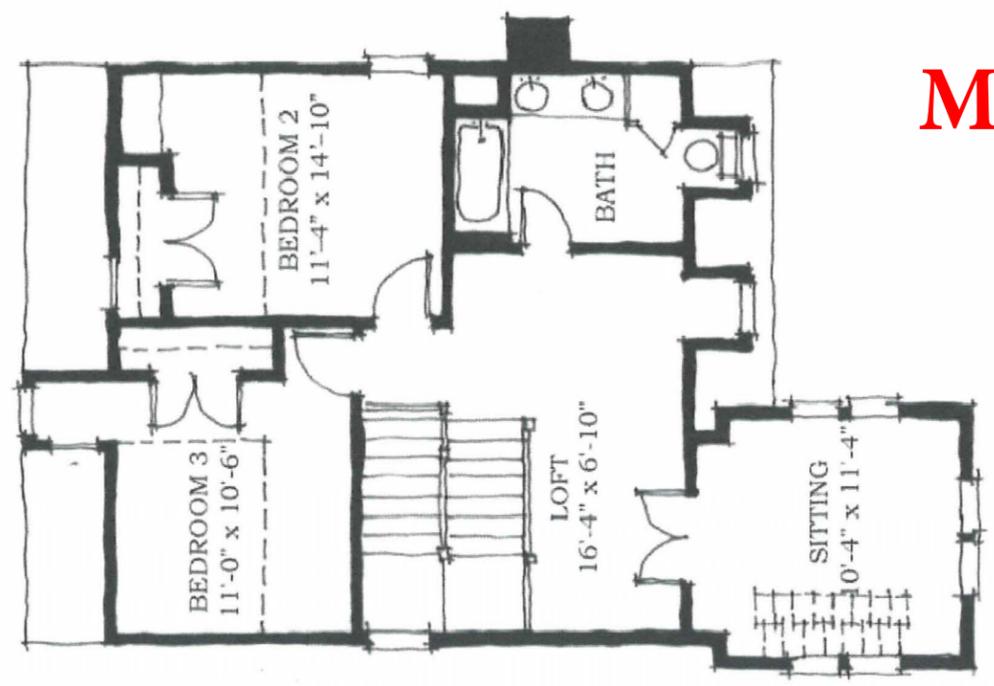
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 N
3-1
**PROPOSED
 FIRST FLOOR PLAN**
 SCALE: 3/16" = 1'-0"




 N
3-2
**PROPOSED
 SECOND FLOOR PLAN**
 SCALE: 1/8" = 1'-0"

FLORIDA BUILDING CODE 2017

DESIGN CRITERIA:

1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530/560.1-13).
4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

1. DEAD AND LIVE LOADS PER ASCE 7
2. FLOOR LIVE LOAD = 40PSF
3. ATTIC LIVE LOAD = 10PSF
4. ROOF LIVE LOAD = 20PSF
5. WIND LOAD AS PER ASCE 7

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

1. STRUCTURAL STEEL = 36 KSI (MINIMUM)
2. CONCRETE REINFORCING BARS = GRADE 60 (ASTM A-615)
3. CONCRETE = 2,500 PSI @ 28 DAYS
4. BOLTS = GRADE A325
5. THREADED ROD = GRADE A307 (SAE 1018)
6. ANCHOR BOLTS = GRADE F1554
7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

1. THE DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
3. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CORRECTIONAL COSTS.
4. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
5. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
6. ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATIONS INSURANCE, AND CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
8. RECOMMEND ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO, METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

1. NAILS SHALL BE CORROSION-RESISTANT.
2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AT LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
2. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER.
3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAGE (0.105 INCH) SHANK WITH A MINIMUM 3/8" DIAMETER HEAD.
4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4" INTO THE ROOF SHEATHING. WHERE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)
 - TWO LAYERS REQUIRED.
 - 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
 - 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS 19 INCHES.
 - FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
 - FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
6. SATURATED FELT UNDERLAYMENT (ROOF SLOPE ≥ 4:12).
 - ONE LAYER REQUIRED.
 - APPLY IN SHINGLE FASHION.
 - INSTALL STARTING FROM THE EAVE AND LAPPED 2- INCHES.
 - FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
 - FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
7. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).
 - AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.
 - OVERLAP SHALL BE A MINIMUM OF 3".
 - EAVE DRIP EDGES SHALL EXTEND 1/2" BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
 - DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT. IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
 - DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPLICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#5 BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1.5" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#11 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

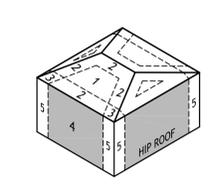
FLORIDA PRODUCT APPROVAL			
PRODUCT	ITEM	TYPE	APPROVAL NUMBER
WINDOWS	EXTERIOR WINDOWS	STATE	PROVIDED BY CONTRACTOR
DOORS	EXTERIOR DOORS	STATE	PROVIDED BY CONTRACTOR
SIMPSON STRONG-TIE	H1 / H2.5A / SP1 / SP4	STATE	FL10456
SIMPSON STRONG-TIE	LSTA / MSTA	STATE	FL10852 / FL13872
SIMPSON STRONG-TIE	LTS / MTS / HTS	STATE	FL10852 / FL13872
SIMPSON STRONG-TIE	SDWC15600	STATE	FL15895
SIMPSON STRONG-TIE	H10A / H10A-2	STATE	FL11478
SIMPSON STRONG-TIE	HGA10KT	STATE	FL11470 / FL11478
SIMPSON STRONG-TIE	H16 / H16-2 / LGT / MGT	STATE	FL11470
SIMPSON STRONG-TIE	GBC	STATE	FL10861
SIMPSON STRONG-TIE	HH4 / HH6	STATE	FL10446
SIMPSON STRONG-TIE	HGT	STATE	FL10456 / FL10866
J-BOLTS			ASTM F1554
THREADED ROD			ASTM A307 (SAE 1018)
NUTS			ASTM A563
WASHERS			ASTM F463

ROOF COMPONENTS COMPLIANCE STANDARDS

ASPHALT SHINGLES	ASTM D 225 -OR- D 3462
UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)	ASTM D 4869 TYPE II -OR- TYPE IV
UNDERLAYMENT (ROOF SLOPE ≥ 4:12)	ASTM D 4869 TYPE IV
SELF ADHERING POLYMER MODIFIED BITUMEN SHEET	ASTM D 1970
NAILS	ASTM F 1667
WOOD SCREWS	ANSI/ASME B 18.6.1
CORROSION RESISTANCE (FASTENERS)	ASTM A 641 CLASS I
CORROSION RESISTANCE (CLIPS)	0.90 OZ/FT ² ASTM A 90/A 90M

SITE PREPARATION:

- A GEOTECHNICAL SOIL REPORT WAS NOT FURNISHED FOR THIS PROJECT. CONTRACTOR SHALL VERIFY ASSUMED SOIL CONDITIONS WITH GEOTECHNICAL ENGINEER FOR MINIMUM 1,500 psf.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD.
- ALL FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS MAXIMUM AND TO 95% MODIFIED PROCTOR DENSITY.



COMPONENTS & CLADDING ZONES
NOT TO SCALE

SHAMS RESIDENCE

425 & 427 EAST ROMANA STREET PENSACOLA, FL 32502

NEW RESIDENCE AREAS:

FIRST FLOOR CONDITIONED SPACE: 1,975 S.F.

SECOND FLOOR CONDITIONED SPACE: 1,535 S.F.

TOTAL CONDITIONED SPACE: 3,510 S.F.

FIRST FLOOR FRONT PORCH: 174 S.F.

SECOND FLOOR FRONT BALCONY: 174 S.F.

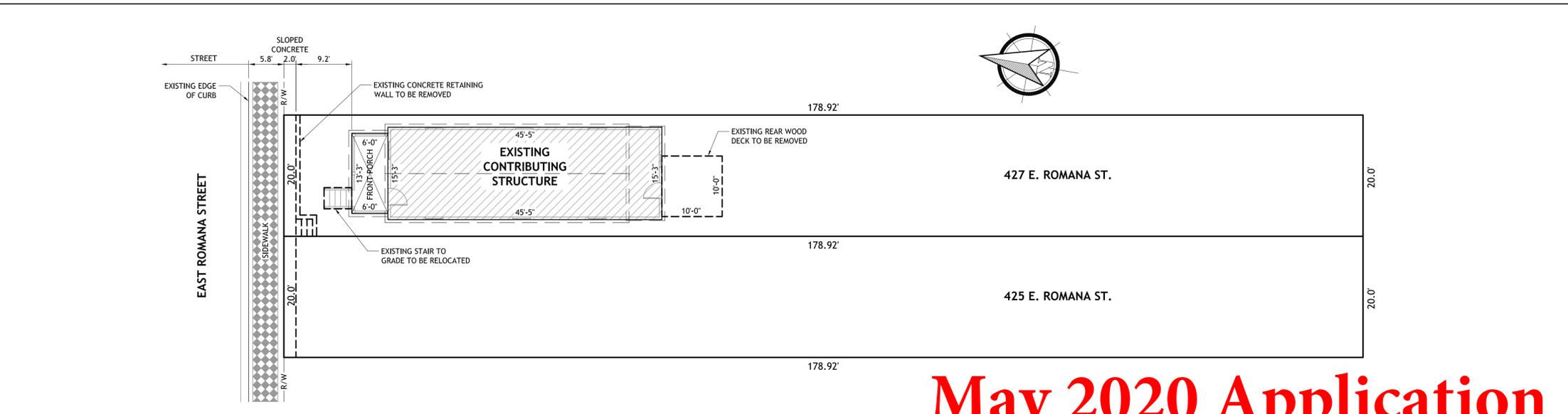
SECOND FLOOR REAR PORCH / SUN DECK: 307 S.F.

SCOPE OF WORK:

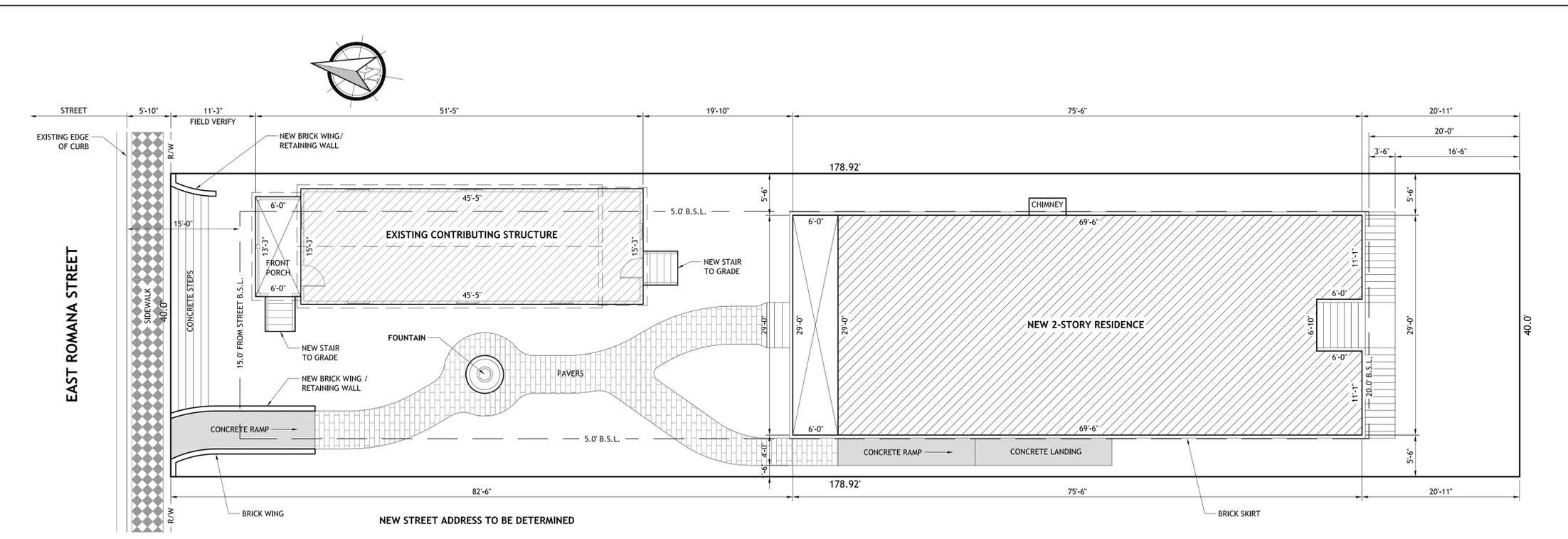
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1-1 WIND DESIGN & LOADING DATA
NOT TO SCALE

1-2 COMPONENTS & CLADDING ZONES
NOT TO SCALE



1-3 EXISTING SITE LAYOUT WITH DEMOLITION
SCALE: 1/8" = 1'-0"



1-4 NEW SITE LAYOUT
SCALE: 1/8" = 1'-0"

May 2020 Application

PRINTED: 2020-04-23

Title: **NEW RESIDENTIAL DESIGN FOR SHAMS RESIDENCE**
425 & 427 EAST ROMANA STREET PENSACOLA, FL 32502
 Prepared for: **CALDWELL BUILDERS**

Irby & Voelkel Engineering

312 N. NEW WARRINGTON RD. UNIT 1A
PENSACOLA, FL 32506
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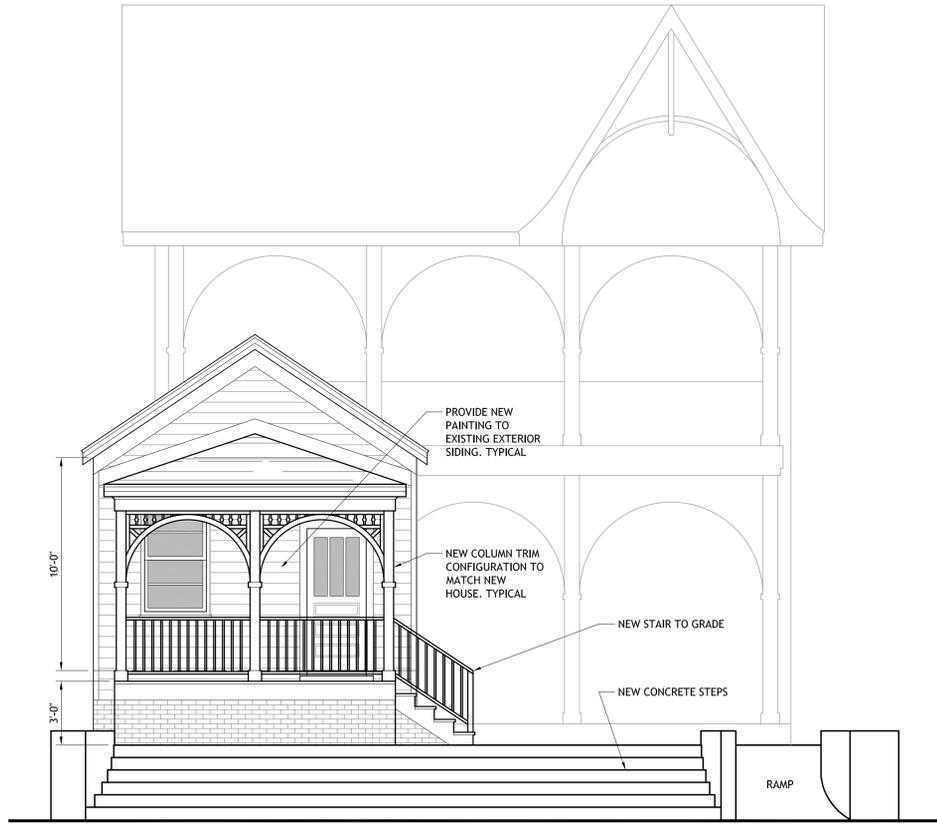
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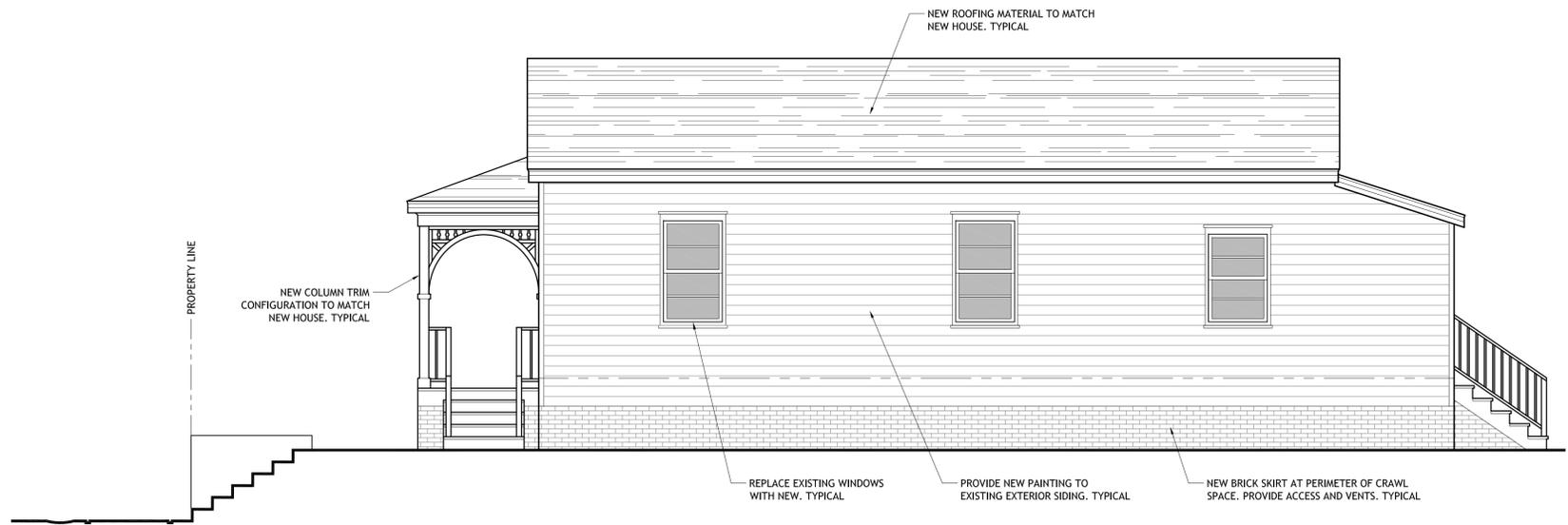
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Sheet: 1 of X

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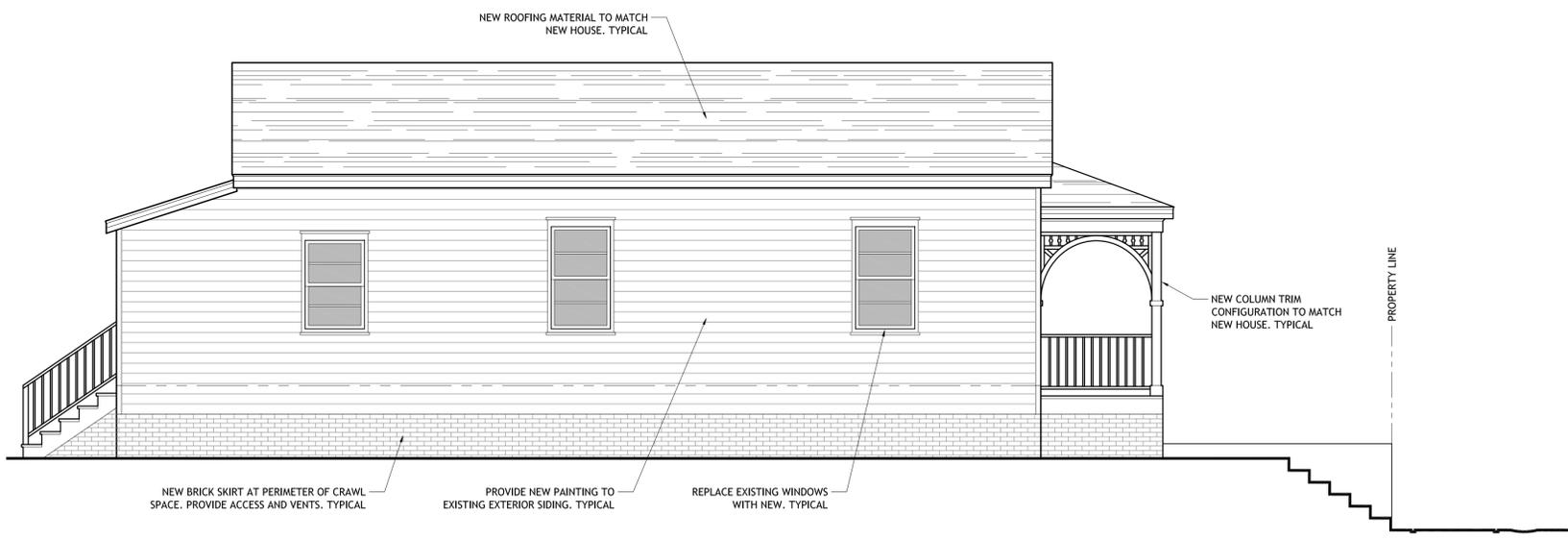


2-1 EXISTING CONTRIBUTING STRUCTURE - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

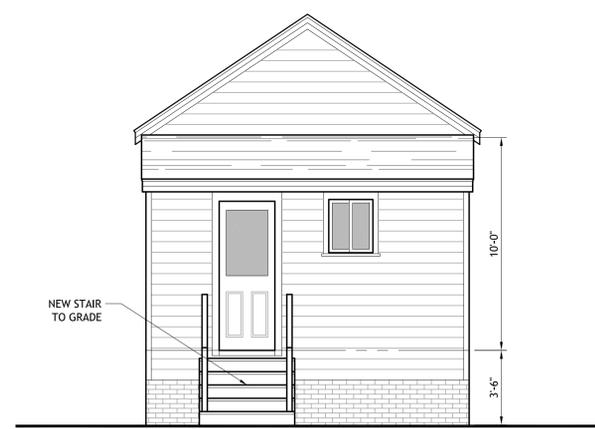


2-2 EXISTING CONTRIBUTING STRUCTURE - WEST ELEVATION
SCALE: 1/4" = 1'-0"

May 2020 Application



2-3 EXISTING CONTRIBUTING STRUCTURE - EAST ELEVATION
SCALE: 1/4" = 1'-0"



2-4 EXISTING CONTRIBUTING STRUCTURE - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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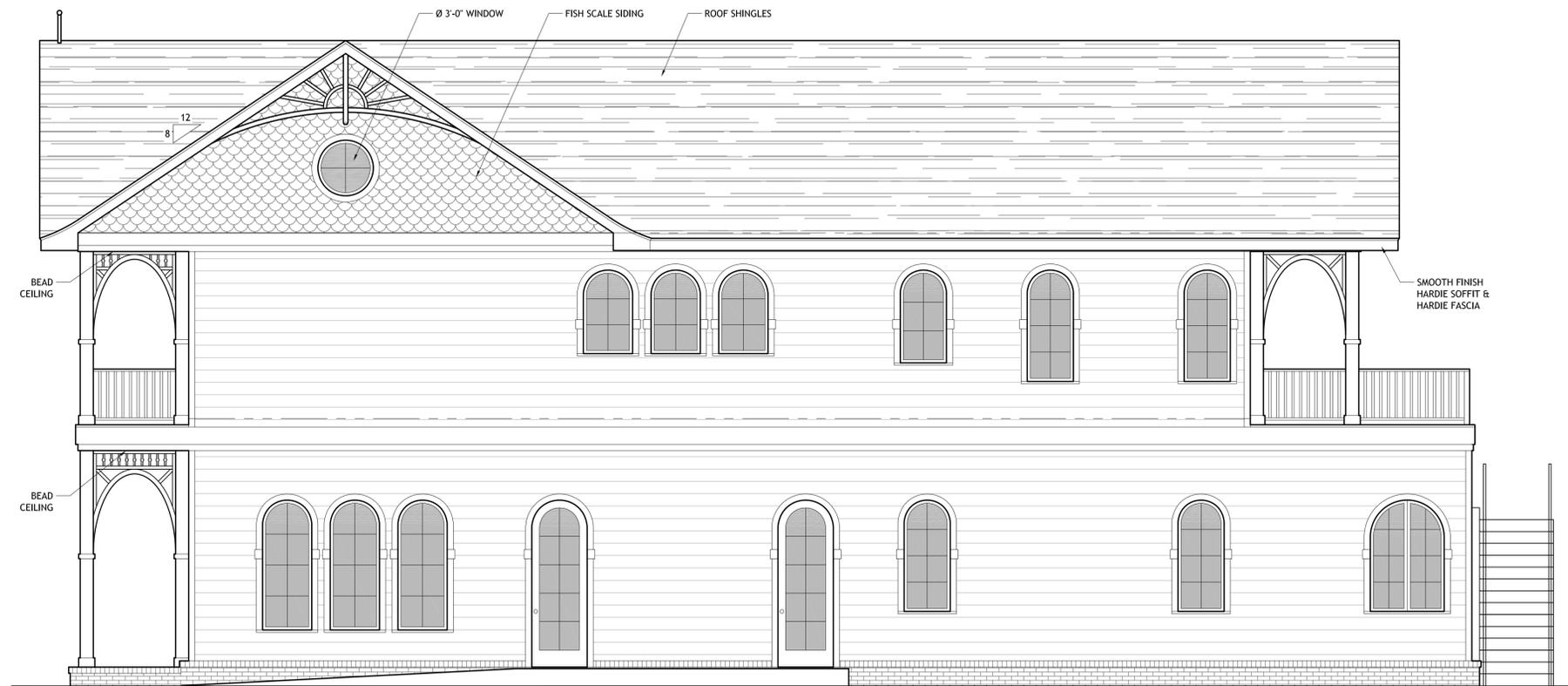
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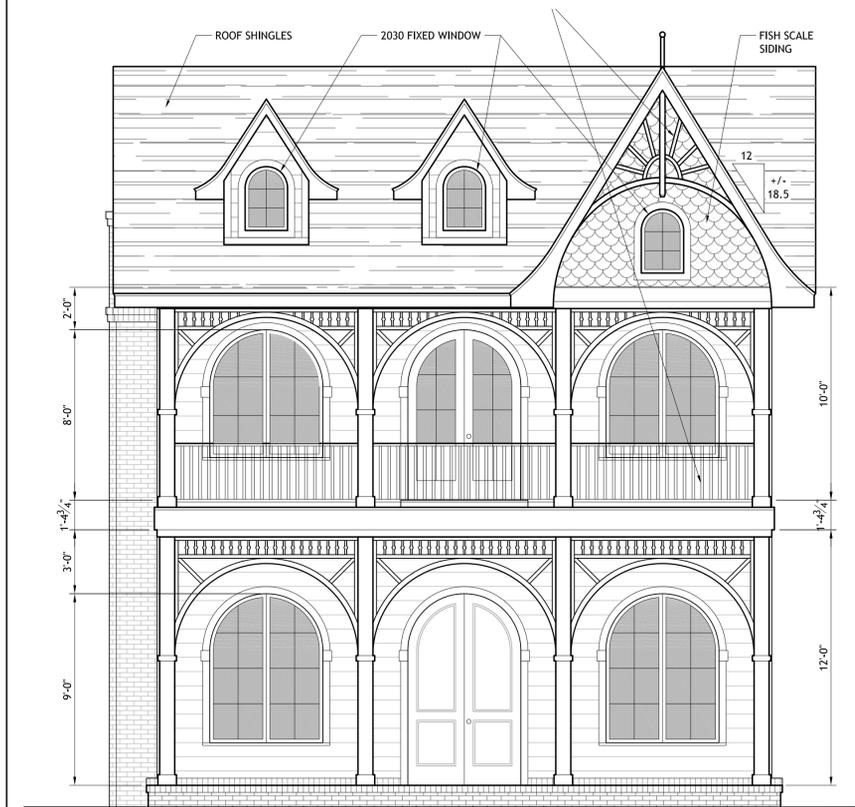
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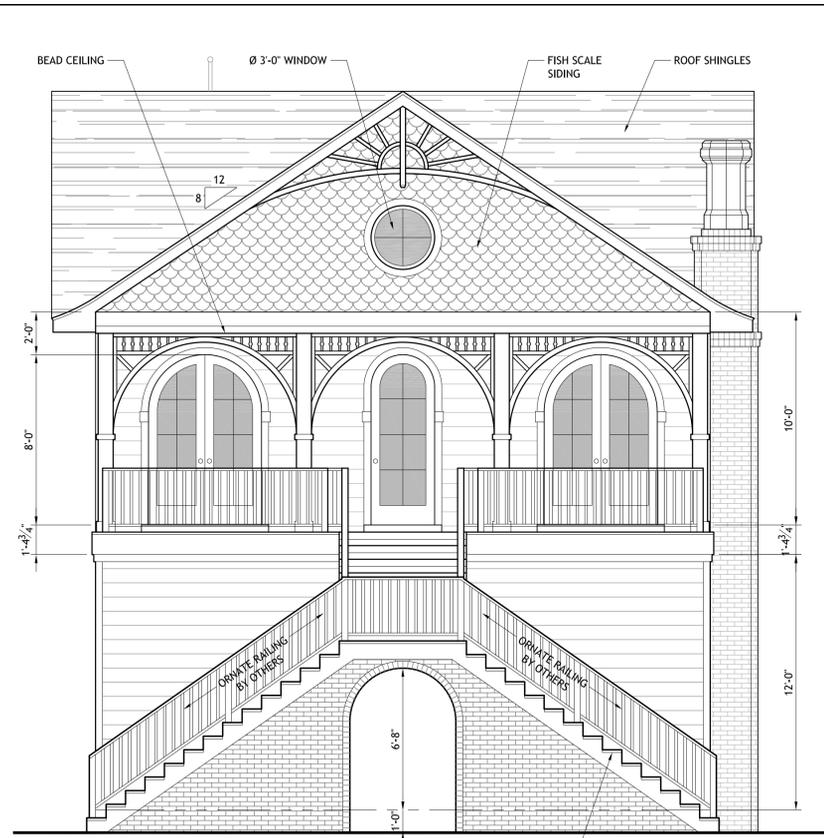


4-1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

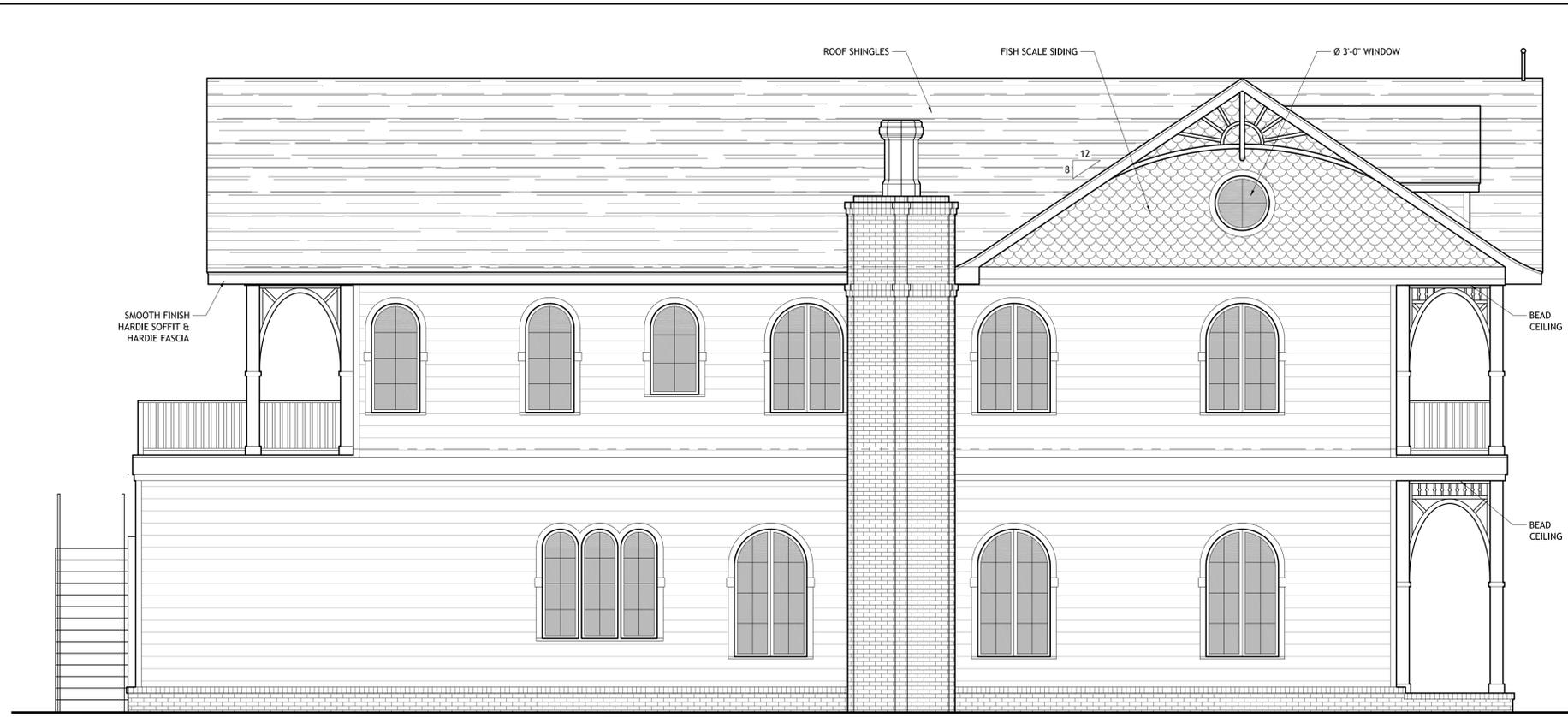


4-2 NORTH ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

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4-3 SOUTH ELEVATION - REAR
SCALE: 1/4" = 1'-0"



4-4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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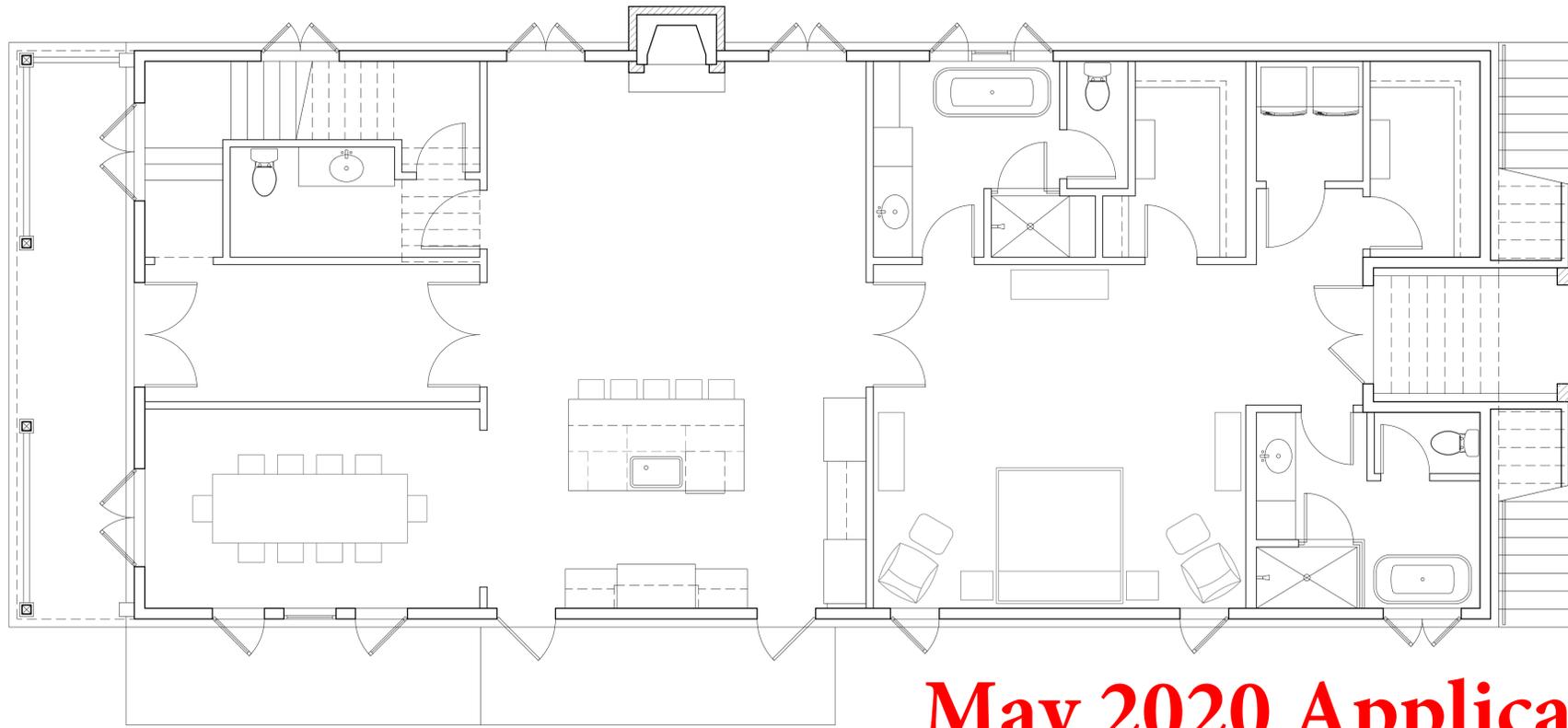
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5-1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N

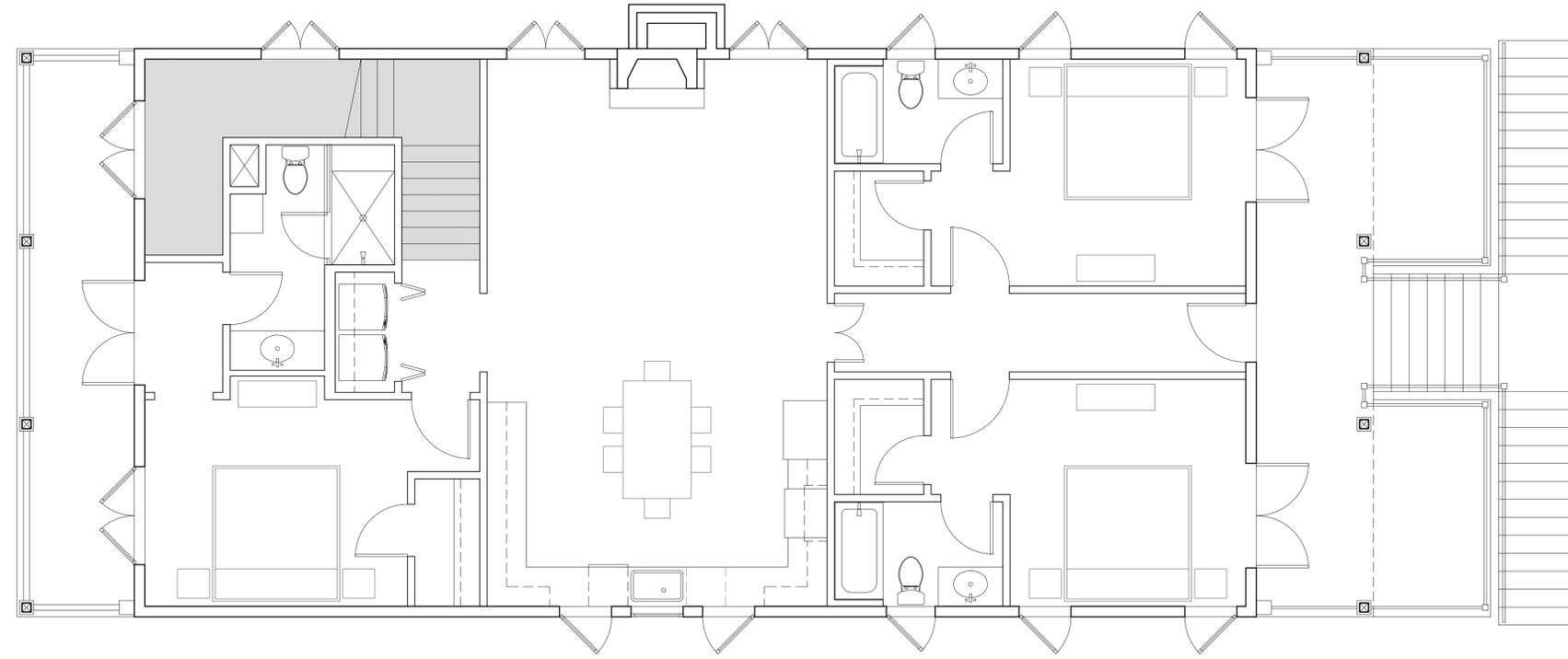
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ELECTRICAL LEGEND	
	CEILING MOUNTED LIGHT FIXTURE (RECESSED)
	VANITY LIGHT
	CEILING MOUNTED LIGHT FIXTURE
	BATHROOM VENT
	SMOKE DETECTOR
	WALL SWITCH
	WALL SWITCH (3-WAY)
	240V RECEPTACLE
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE w/ GROUND FAULT CIRCUIT INTERRUPTER
	CEILING FAN
	PORCH LIGHT
	4-BULB FLUORESCENT LIGHT
	WEATHERPROOF BOX/COVER
	OVER DOOR LED LIGHT
	CHANDELIER
	FLOOD LIGHT

NOTE: FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY OWNER AND ELECTRICIAN.

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5-2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N

PROVIDE ELECTRICAL LAYOUT

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