

SITE CONSTRUCTION PLANS

FOR

ADMIRAL'S ROW

SOUTH PALAFOX STREET

PENSACOLA, FLORIDA

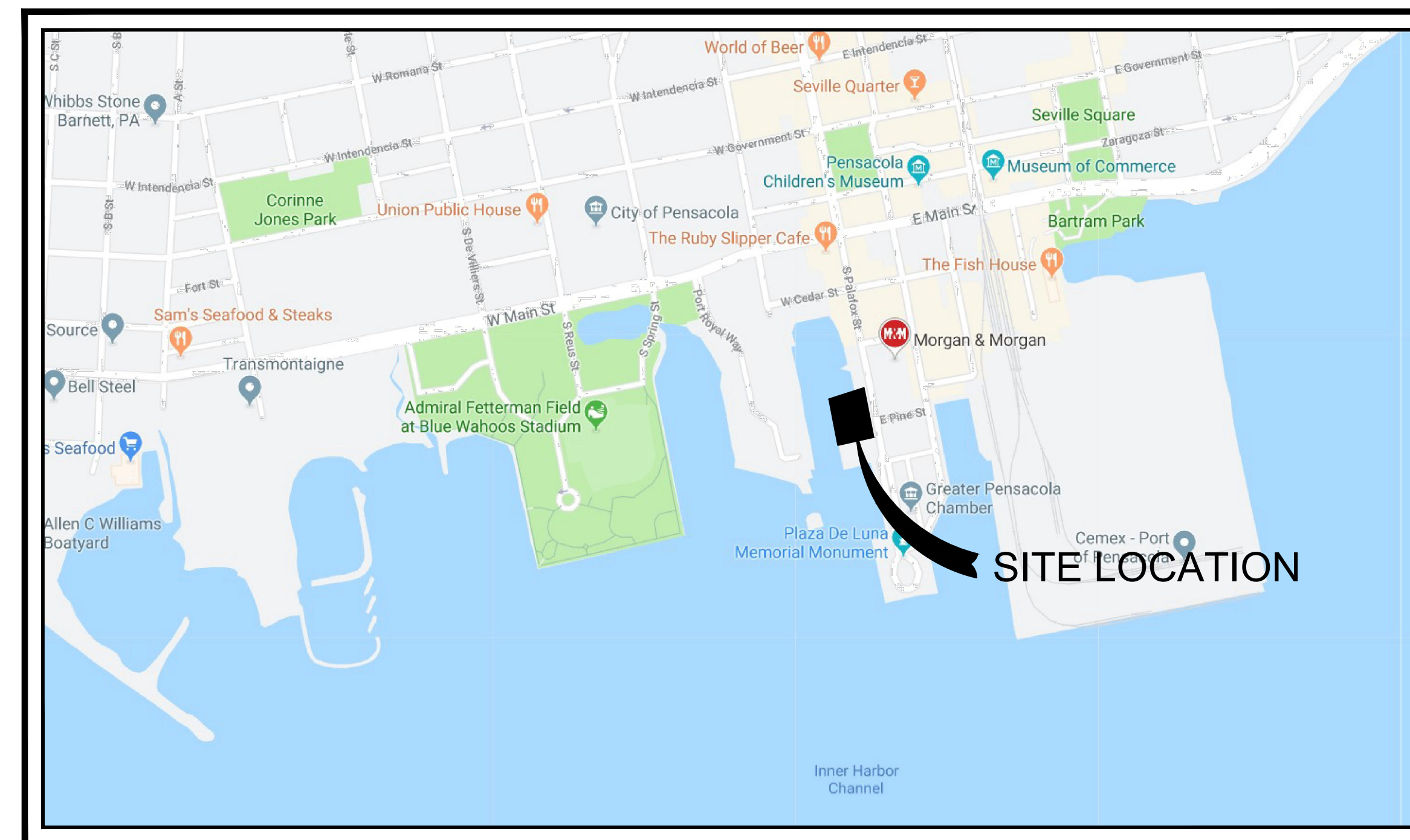
October 9, 2019

RBA PROJECT NO.: 2018.242

SITE INFORMATION	
OWNER:	ADMIRALS ROW, LLC PO BOX 12346 PENSACOLA, FL 32591
DEVELOPER:	ADMIRALS ROW, LLC PO BOX 12346 PENSACOLA, FL 32591
PROPERTY REFERENCE NO.:	00-05-00-9100-011-044
PROPERTY ADDRESS:	800 BLOCK S PALAFOX STREET
PROPERTY AREA:	1.47 ACRES
PROJECT AREA:	1.47 ACRES
PROPERTY ZONING:	SPBD
FUTURE LAND USE:	COMMERCIAL
PROPOSED ACTIVITY:	MULTI-FAMILY RESIDENTIAL
REQUIRED BUILDING SETBACKS SPDB:	FRONT YARD - 0 FT. SIDE YARD - 0 FT. REAR YARD - 0 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
AE	120080	12033C	0390	G	SEPT 29, 2006

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
CITY OF PENSACOLA ENGINEER 180 GOVERNMENTAL CENTER PENSACOLA, FLORIDA 32502	CONTACT: L. DERRIK OWENS PHONE: 850.435.1645
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770



VICINITY MAP
SCALE: 1"=500'



REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

ECUA ENGINEERING MANUAL REFERENCE NOTE*

*NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET
*APPLICABLE ONLY TO ECUA INFRASTRUCTURE TO BE CONSTRUCTED IN PUBLIC ROW OR IN UTILITY EASEMENT; NOT TO BE APPLIED TO PRIVATE WATER/SEWER FACILITIES ON PRIVATE PROPERTY (SEE BUILDING CODE)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE # 1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

YES NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTIONS OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C2.1 SITE DETAILS
- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 GRADING AND DRAINAGE DETAILS
- C3.2 GRADING AND DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C4.2 UTILITY DETAILS

LEGAL DESCRIPTION

DESCRIPTION: (OFFICIAL RECORDS BOOK 4688, PAGE 1389)
LOT 11 THROUGH 20 AND 26 THROUGH 30 AND THE NORTH 30 FEET OF CYPRESS STREET ADJOINING LOT 20, 26, 27 AND 30, BLOCK 44, ALSO THE SOUTH HALF OF PINE STREET, ADJOINING LOTS 11, 25, 28, AND 29, BLOCK 44, WATERFRONT GRANT. MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 11, BLOCK 44, WATERFRONT GRANT; THENCE PROCEED SOUTH 10 DEGREES 34 MINUTES 11 SECONDS EAST ALONG THE WEST RIGHT-OF-WAY LINE OF PALAFOX STREET (78.92' R/W) A DISTANCE OF 280.19 FEET TO THE CENTERLINE OF CYPRESS STREET (60' R/W AS VACATED); THENCE PROCEED SOUTH 79 DEGREES 25 MINUTES 49 SECONDS WEST ALONG THE CENTERLINE OF CYPRESS STREET A DISTANCE OF 219.42 FEET; THENCE PROCEED NORTH 10 DEGREES 34 MINUTES 11 SECONDS WEST A DISTANCE OF 155.10 FEET TO THE NORTHWEST CORNER OF LOT 26; THENCE PROCEED SOUTH 79 DEGREES 25 MINUTES 49 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 26 A DISTANCE OF 31.00 FEET TO THE SOUTHWEST CORNER OF LOT 28; THENCE PROCEED NORTH 10 DEGREES 34 MINUTES 11 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 28 FOR A DISTANCE OF 125.09 FEET TO THE NORTHWEST CORNER OF SAID LOT 28; THENCE PROCEED SOUTH 79 DEGREES 25 MINUTES 49 SECONDS WEST ALONG THE NORTH LINE OF LOT 25 A DISTANCE OF 31.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE PROCEED NORTH 10 DEGREES 34 MINUTES 11 SECONDS WEST A DISTANCE OF 30.00 FEET TO THE CENTERLINE OF PINE STREET (60' R/W AS VACATED); THENCE PROCEED NORTH 79 DEGREES 25 MINUTES 49 SECONDS EAST ALONG SAID CENTERLINE OF PINE STREET A DISTANCE OF 219.42 FEET TO THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE OF PALAFOX STREET; THENCE PROCEED SOUTH 10 DEGREES 34 MINUTES 11 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL OF LAND IS SITUATED IN SECTION 42, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA. SUBJECT TO AND TOGETHER WITH RIPARIAN AND LITTORAL RIGHTS APPERTAINING THERETO.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.





ADMIRAL'S ROW

South Palafox Street,
Pensacola, Florida

A MULTI-RESIDENCE PROJECT
12.25 DWELLING UNITS PER ACRE

smp.
SMP Architecture, P.A.
45 S. PALAFOX STREET - SUITE 202
PENSACOLA, FLORIDA 32502 | P 850.432.7772
www.smp-arch.com • AAC011828

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S
ROW
(Building "A")

South Palafox Street
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RAP

CHECKED BY : ppp

PROJECT NO. 1814

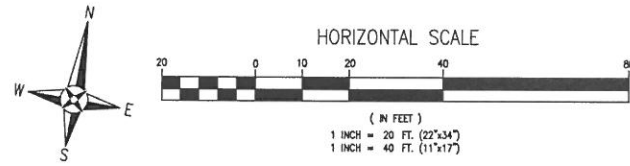
DATE : OCTOBER 9, 2019

SHEET TITLE :
COVER SHEET &
INDEX OF DRAWINGS
BUILDING "A"

SHEET NO. :
GA-001

©2018 SMP ARCHITECTURE

GENERAL	
GA-001	COVER SHEET & INDEX OF DRAWINGS
CIVIL	
A-001	ARCHITECTURAL SITE PLAN
A-002	ENTRY GATE ELEVATION & SECTIONS
-	COVER SHEET
C1.0	EXISTING SITE, DEMOLITION & EROSION CONTROL
C1.1	EROSION CONTROL DETAILS
C2.0	SITE LAYOUT & DIMENSION PLAN
C2.1	SITE DETAILS
C3.0	GRADING & DRAINAGE PLAN
C3.1	GRADING & DRAINAGE DETAILS
C3.2	GRADING & DRAINAGE DETAILS
C4.0	UTILITY PLAN
C4.1	UTILITY DETAILS
C4.2	UTILITY DETAILS
ARCHITECTURAL	
BUILDING "A"	7 CONDOMINIUMS RESIDENCES
BUILDING "B"	9 CONDOMINIUMS RESIDENCES
BUILDING "C"	2 CONDOMINIUMS RESIDENCES



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	DEMOLITION
[Symbol]	DEMOLITION LINE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING WOODEN FENCE
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE (GRAVITY)
[Symbol]	FORCE MAIN
[Symbol]	OVER-HEAD UTILITIES
[Symbol]	BURIED TELEPHONE LINE
[Symbol]	GAS LINE
[Symbol]	BURIED ELECTRIC LINE
[Symbol]	BURIED FIBER OPTIC CABLE
[Symbol]	BURIED TV LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	STRAW BALE
[Symbol]	SILT FENCE
[Symbol]	UTILITY POLE
[Symbol]	BENCHMARK
[Symbol]	LIGHT POLE
[Symbol]	FIRE HYDRANT
[Symbol]	TELEPHONE BOX
[Symbol]	WATER METER
[Symbol]	GAS VALVE
[Symbol]	WATER VALVE
[Symbol]	MAILBOX
[Symbol]	CLEANOUT
[Symbol]	POST
[Symbol]	SEWER MANHOLE
[Symbol]	STREET SIGN
[Symbol]	STORMWATER MANHOLE
[Symbol]	SIGN
[Symbol]	GUY ANCHOR

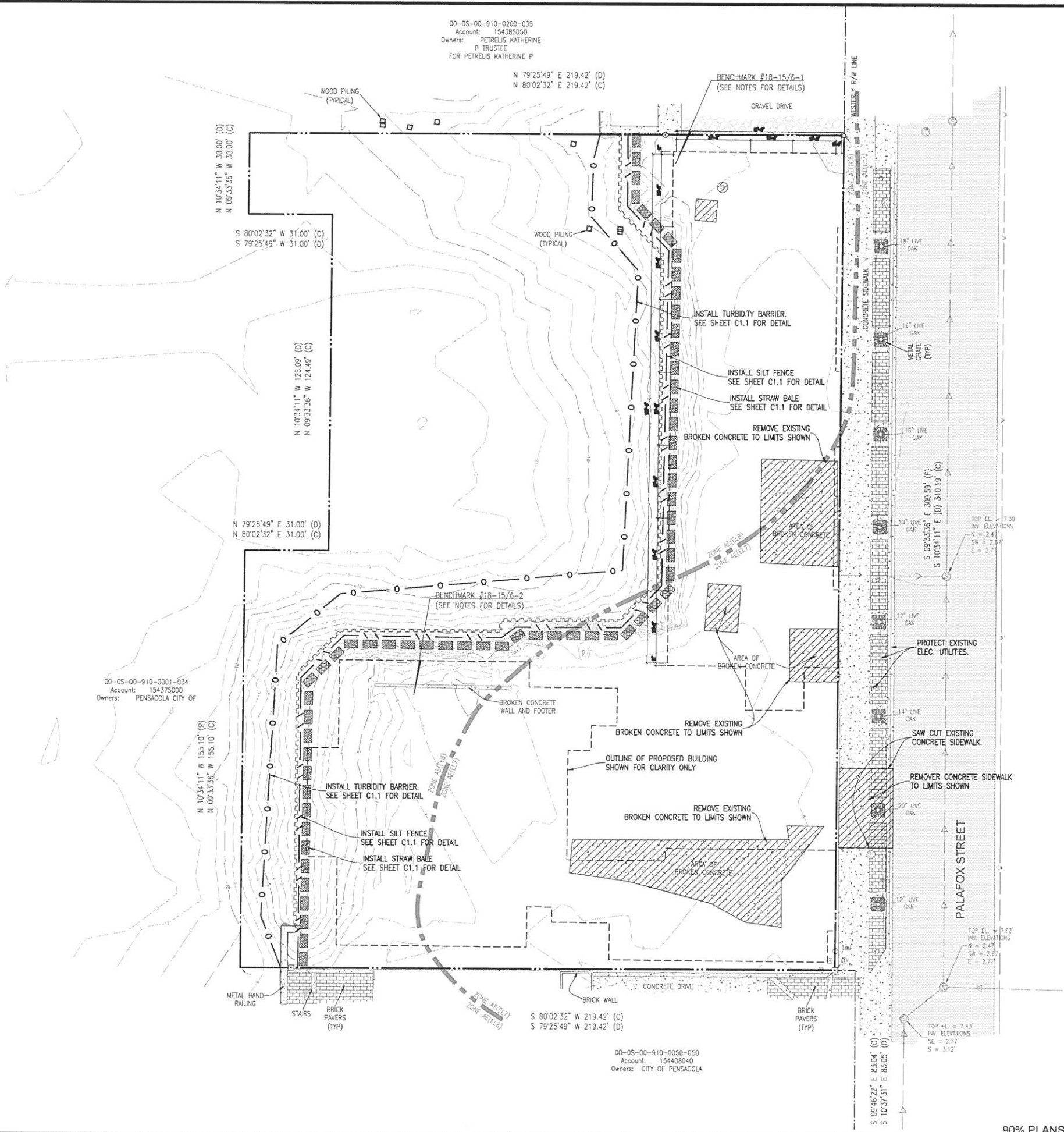
PROJECT NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH FOOT STANDARD INDEX 600 (LATEST EDITION), FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND IN ACCORDANCE WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK, IN ACCORDANCE WITH APPLICABLE MUTCD INDEX.
- ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED. REFER TO LANDSCAPE PLANS FOR PLANTING MATERIALS.
- THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
- NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT CITY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.

00-05-00-910-0001-034
Account: 154375000
Owners: PENSACOLA CITY OF

00-05-00-910-0200-035
Account: 154385050
Owners: PETRELIS KATHERINE P TRUSTEE
FOR PETRELIS KATHERINE P

00-05-00-910-0050-050
Account: 154408040
Owners: CITY OF PENSACOLA



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
200 N. North Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB7816

**EXISTING SITE, DEMOLITION
& EROSION CONTROL PLAN**

ADMIRAL'S ROW
800 BLK SOUTH PALAFOX STREET
PENSACOLA, FLORIDA

REVISION	DATE

SEAL
NOT FOR CONSTRUCTION
Paul A. Battle, P.E.
No. 53126

Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

DRAWING No.
C1.0
SHEET 2 OF 11

90% PLANS

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GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FOOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. A CRUSHED LIMESTONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMESTONE 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FOOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED Dewatering IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER Dewatering AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

- * WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE:
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

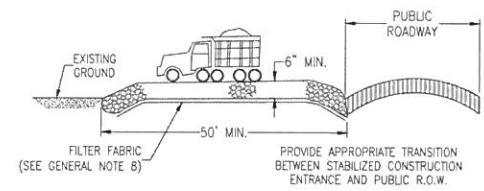
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION Haul ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

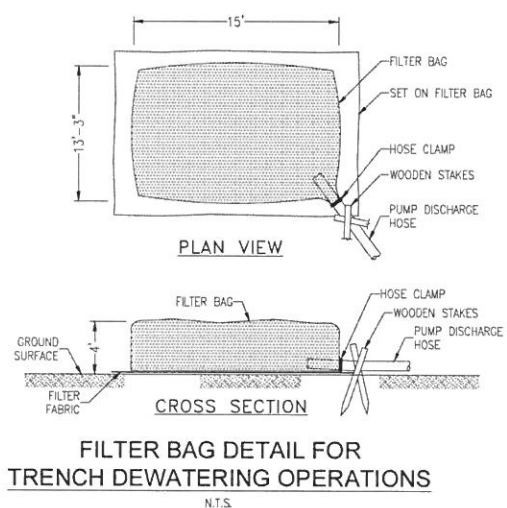
TREE BARRICADE DETAIL
N.T.S.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH Dewatering. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

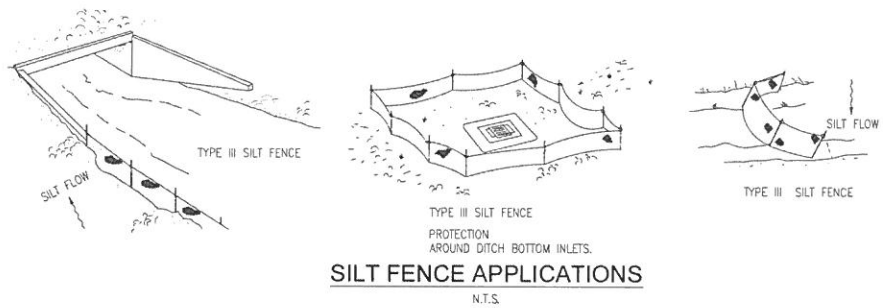
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH Dewatering. AT THE DISCRETION OF THE ENGINEER INSPECTOR, TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

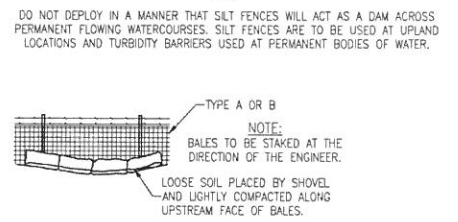
SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.



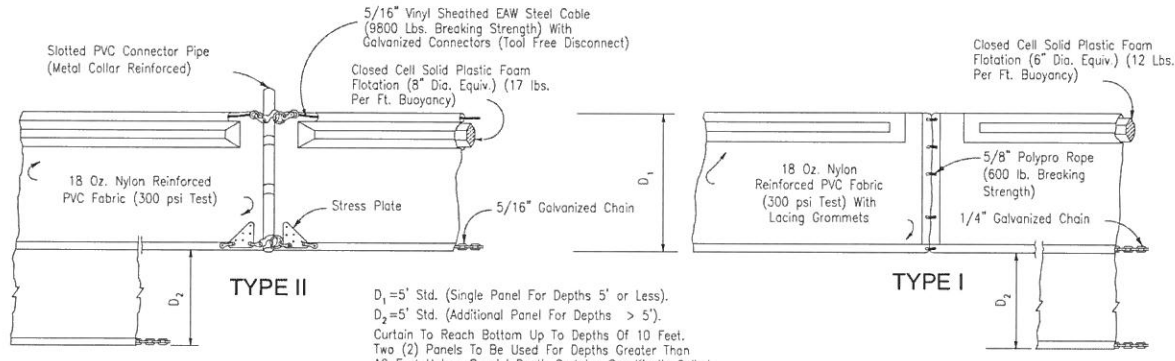
FILTER BAG DETAIL FOR TRENCH Dewatering OPERATIONS
N.T.S.



SILT FENCE APPLICATIONS
N.T.S.

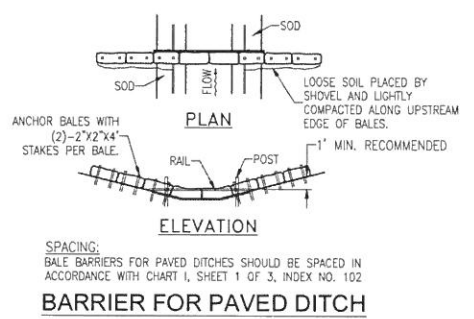


STRAW BALES BACKED BY FENCE
N.T.S.

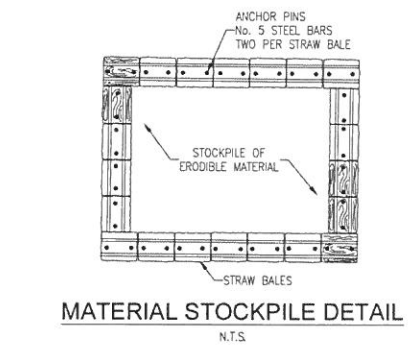


NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

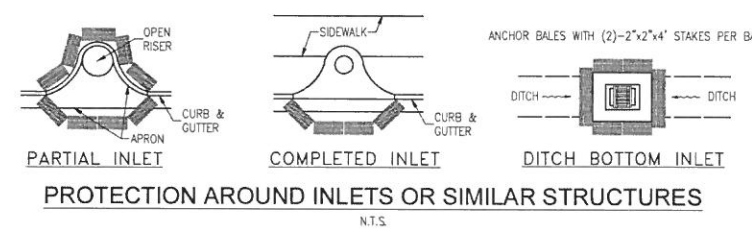
FLOATING TURBIDITY BARRIERS
N.T.S.



BARRIER FOR PAVED DITCH
N.T.S.



MATERIAL STOCKPILE DETAIL
N.T.S.



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2001 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00000657 LB7916

EROSION CONTROL DETAILS

ADMIRAL'S ROW
800 BLK SOUTH PALAFOX STREET
PENSACOLA, FLORIDA

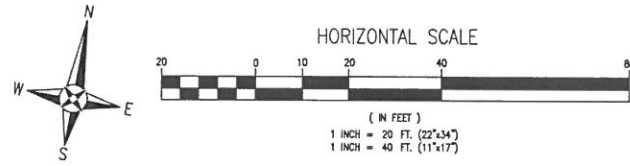
REVISION	DATE	NO.

SEAL
NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

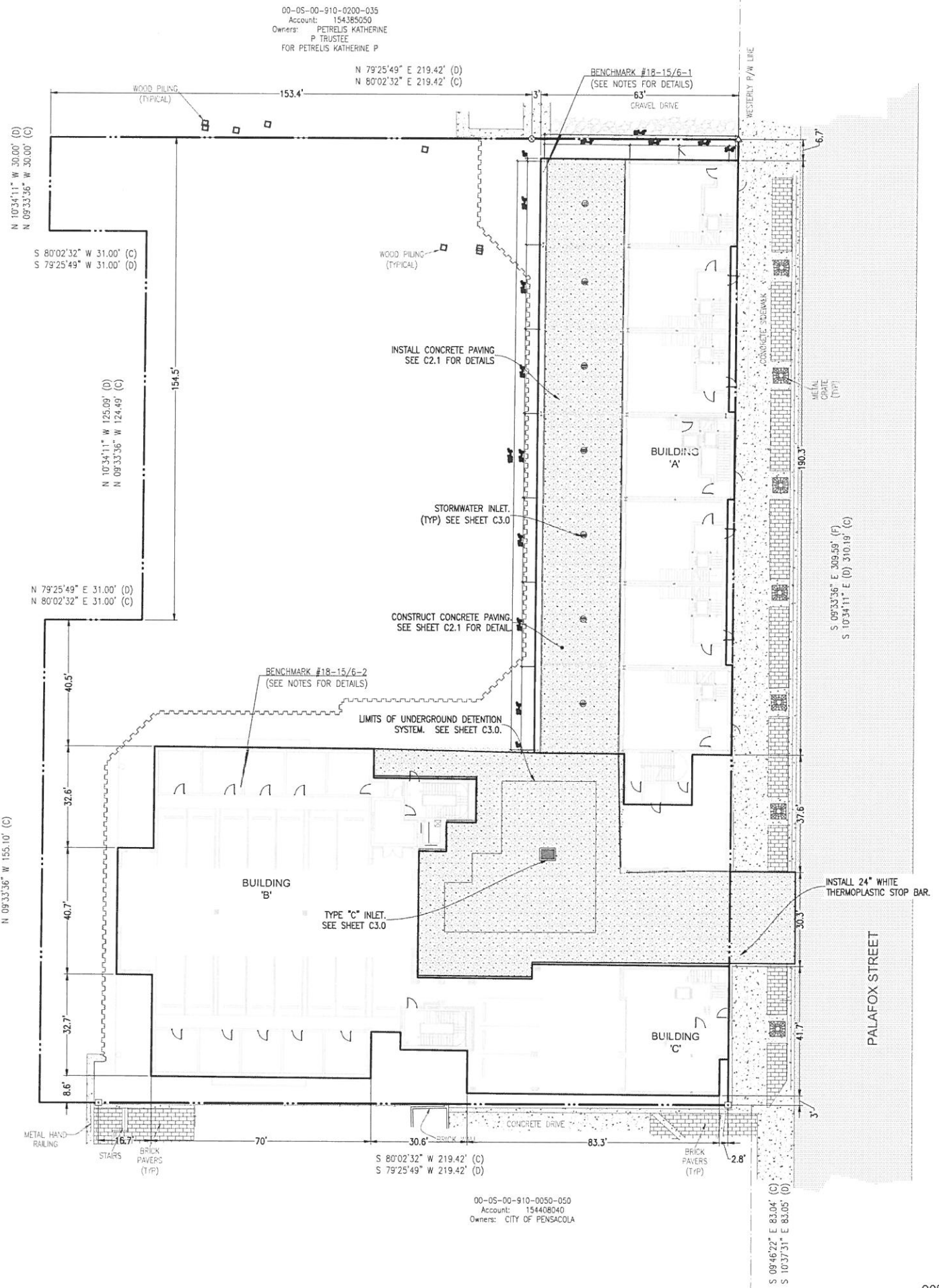
DRAWING No.
C1.1
SHEET 3 OF 11



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE

00-05-00-910-0001-034
 Account: 154375000
 Owners: PENSACOLA CITY OF

N 10°34'11" W 155.10' (P)
 N 09°33'36" W 155.10' (C)



00-05-00-910-0200-035
 Account: 154385050
 Owners: PETRELIS KATHERINE P TRUSTEE
 FOR PETRELIS KATHERINE P

N 79°25'49" E 219.42' (D)
 N 80°02'32" E 219.42' (C)

N 10°34'11" W 30.00' (D)
 N 09°33'36" W 30.00' (C)

S 80°02'32" W 31.00' (C)
 S 79°25'49" W 31.00' (D)

N 10°34'11" W 125.09' (D)
 N 09°33'36" W 124.49' (C)

N 79°25'49" E 31.00' (D)
 N 80°02'32" E 31.00' (C)

S 80°02'32" W 219.42' (C)
 S 79°25'49" W 219.42' (D)

00-05-00-910-0050-050
 Account: 154408040
 Owners: CITY OF PENSACOLA

S 09°46'29" E 83.04' (C)
 S 10°37'31" E 83.03' (D)

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00000657 LB7116

SITE LAYOUT & DIMENSION PLAN

ADMIRAL'S ROW
 800 BLK SOUTH PALAFOX STREET
 PENSACOLA, FLORIDA

NO.	DATE	REVISION

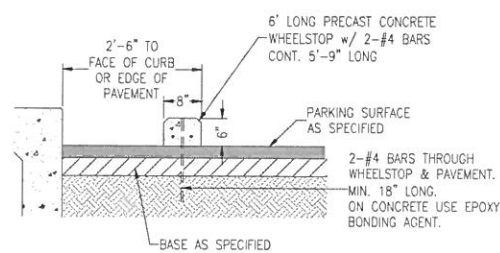
SEAL
 NOT FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

Dr. By: GTP
 Ck By: PAB
 Job No.: 2018-242
 Date: 10-09-2019

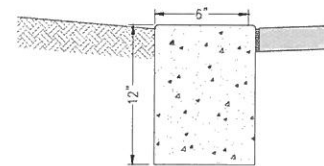
DRAWING No.
C2.0
 SHEET 4 OF 11

90% PLANS

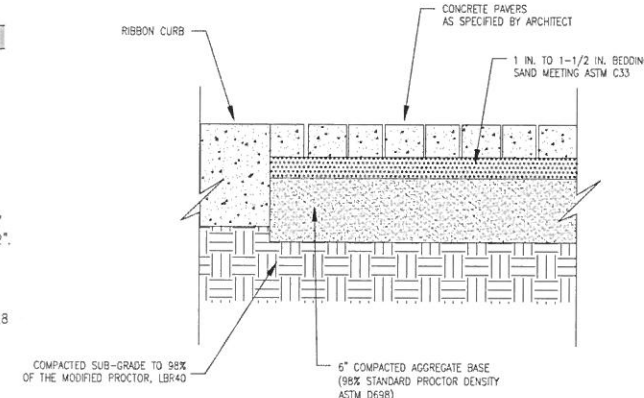
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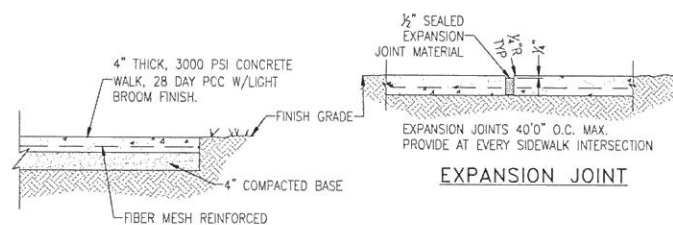
WHEEL STOP DETAIL
N.T.S.



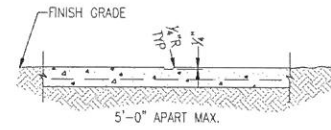
6" RIBBON CURB
N.T.S.



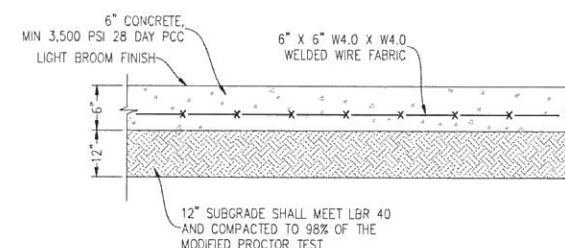
TYPICAL CONCRETE PAVERS DETAIL
N.T.S.



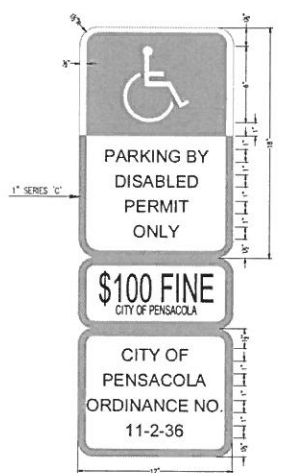
TYPICAL SECTION
N.T.S.



DUMMY GROVE
N.T.S.



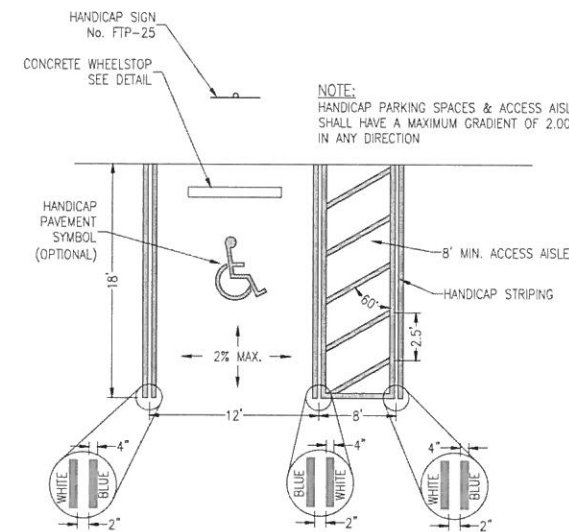
CONCRETE PAVING DETAIL
N.T.S.



SIGN USED AS PER FLORIDA STATUTES
FTP 25 Per FS 316.1955, FS 316.1956



HANDICAP PAVEMENT SYMBOL



HANDICAP PARKING STALL

HANDICAP PARKING STALL DETAILS
N.T.S.

NOTE:
ALL CONCRETE SIDEWALKS, RAMPS, DRIVEWAYS AND CURBING SHALL BE MINIMUM 3000 PSI, 28 DAY PCC, FIBER MESH REINFORCED CONCRETE UNLESS NOTED OTHERWISE.

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Civil Engineers and Surveyors
2001 N. North Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.6400 Fax 850.438.0448
EB 00009657 LB7016

SITE DETAILS

ADMIRAL'S ROW
800 BLK SOUTH PALAFOX STREET
PENSACOLA, FLORIDA

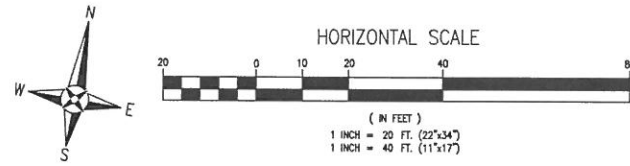
NO.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

DRAWING No.
C2.1
SHEET 5 OF 11

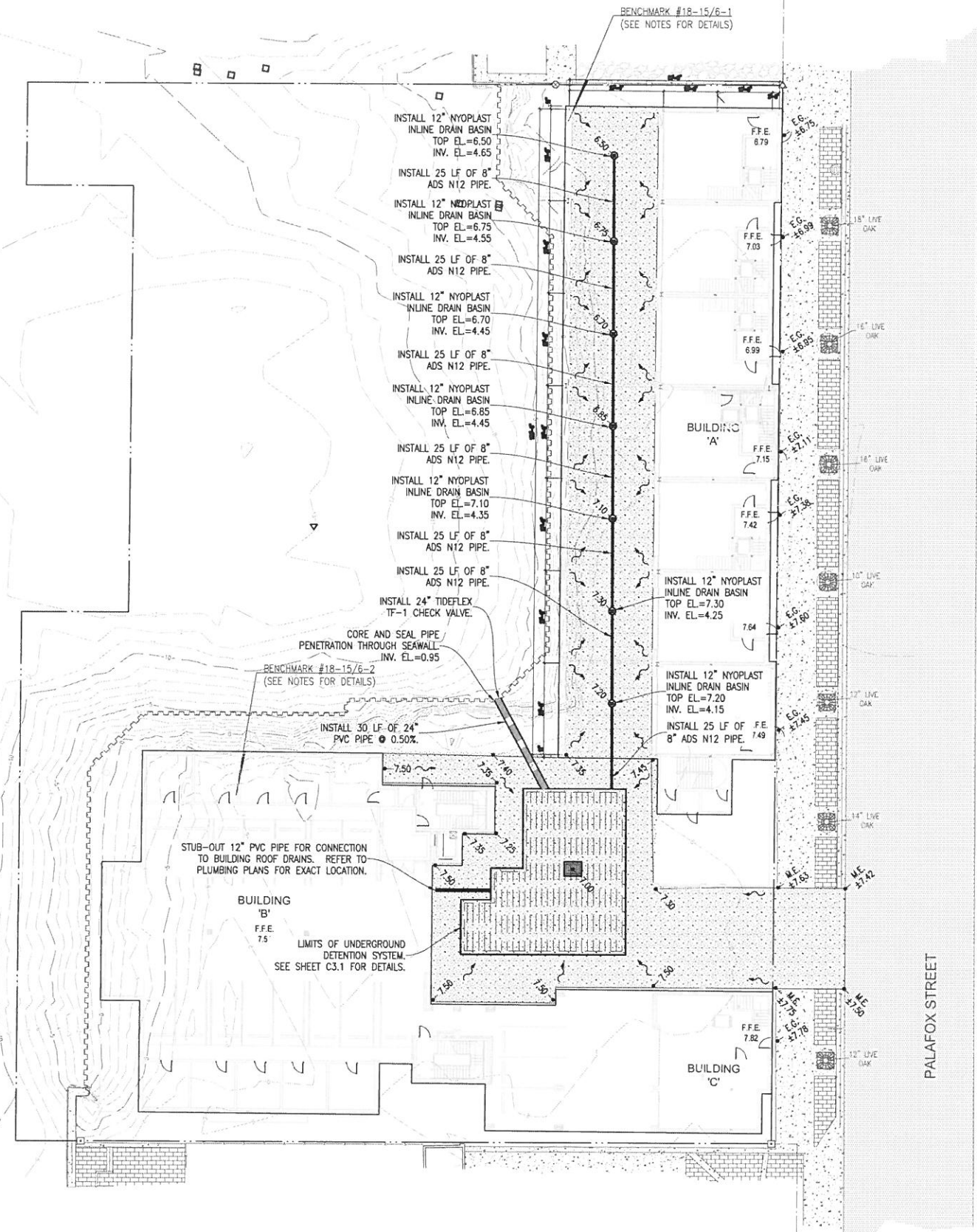


00-05-00-910-0200-035
 Account: 154385050
 Owners: PETRELIS KATHERINE
 P. TRUSTEE
 FOR PETRELIS KATHERINE P.

LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED GRAVEL
[Line]	BOUNDARY LINE
[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE
[Line]	EXISTING CONTOUR
[Line]	PROPOSED CONTOUR
[Symbol]	UTILITY POLE
[Symbol]	BENCHMARK
[Symbol]	LIGHT POLE
[Symbol]	GUY ANCHOR
[Symbol]	TELEPHONE BOX
[Symbol]	FLOW ARROW
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION MEET EXISTING

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 4. DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDDED, MULCHED & FERTILIZED.
 5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS. NEWLY PLACED SEED OR SOD IN THE RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATION COVER IS REESTABLISHED.
 6. ALL RIP-RAP SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 7. THE PROJECT ENGINEER SHALL PROVIDE TO THE CITY OF PENSACOLA AS-BUILT CERTIFICATION AND/OR DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY.
 8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF PENSACOLA. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 9. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
 10. THE DETENTION AREA SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
 12. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

00-05-00-910-0001-034
 Account: 154375000
 Owners: PENSACOLA CITY OF



00-05-00-910-0050-050
 Account: 154408040
 Owners: CITY OF PENSACOLA

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 200 North West 30th Street
 Pensacola, Florida 32503
 Telephone: 850.438.0400 Fax: 850.438.0448
 EB 00009657 LE7916

GRADING & DRAINAGE PLAN

ADMIRAL'S ROW
 800 BLK SOUTH PALAFOX STREET
 PENSACOLA, FLORIDA

NO.	DATE	REVISION

SEAL
 NOT FOR CONSTRUCTION

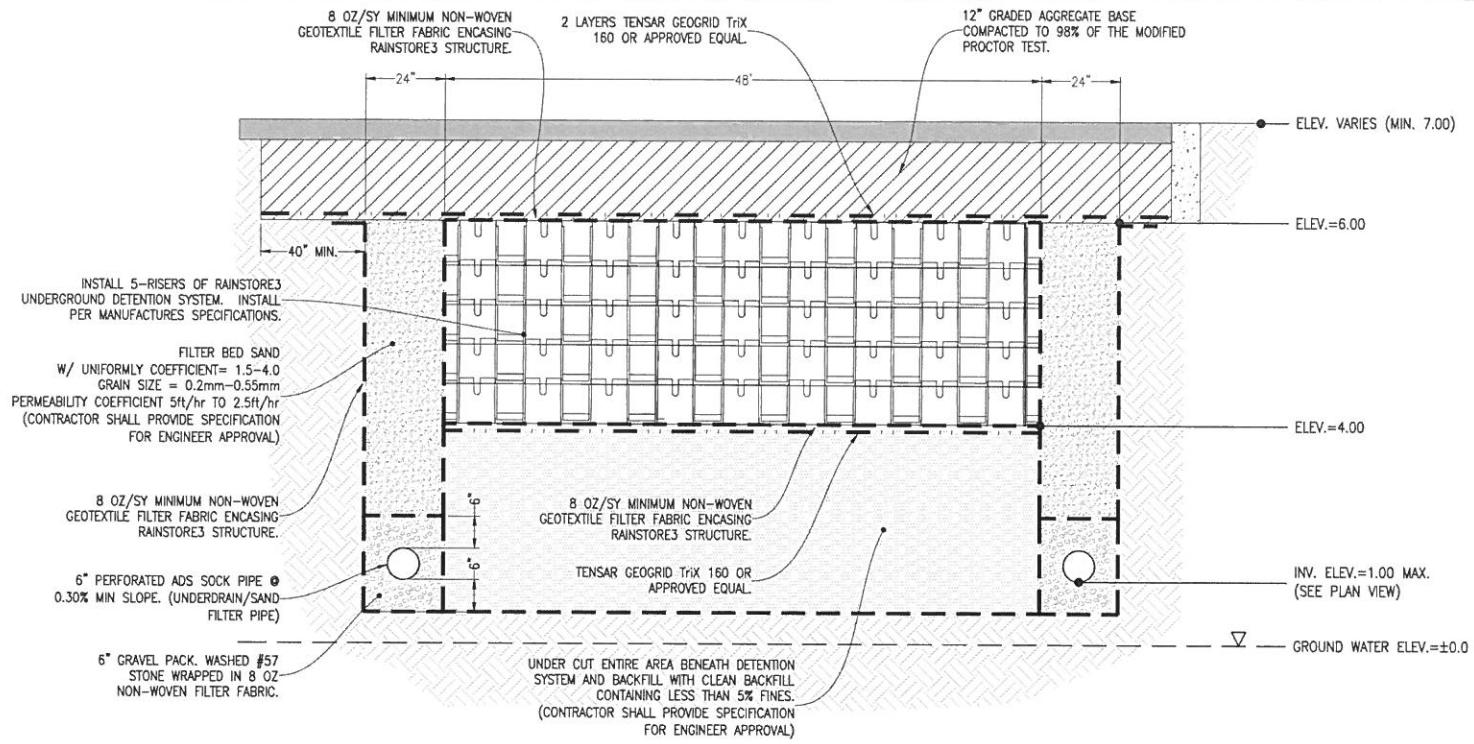
Paul A. Battle, P.E.
 No. 53126

Dr. By: GTP
 Ck By: PAB
 Job No.: 2018-242
 Date: 10-09-2019

DRAWING No.
C3.0
 SHEET 6 OF 11

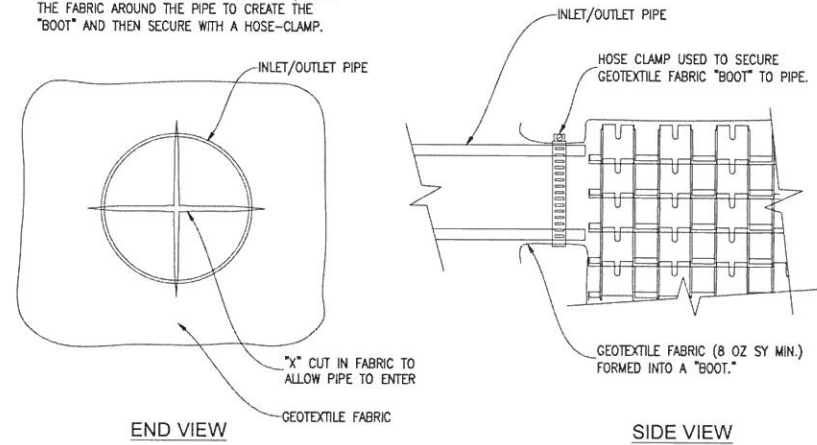
90% PLANS

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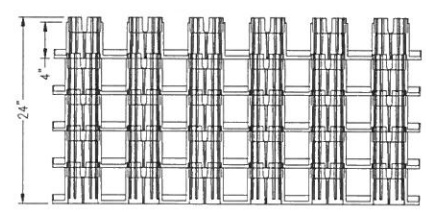


CROSS SECTION A-A
SCALE: NTS

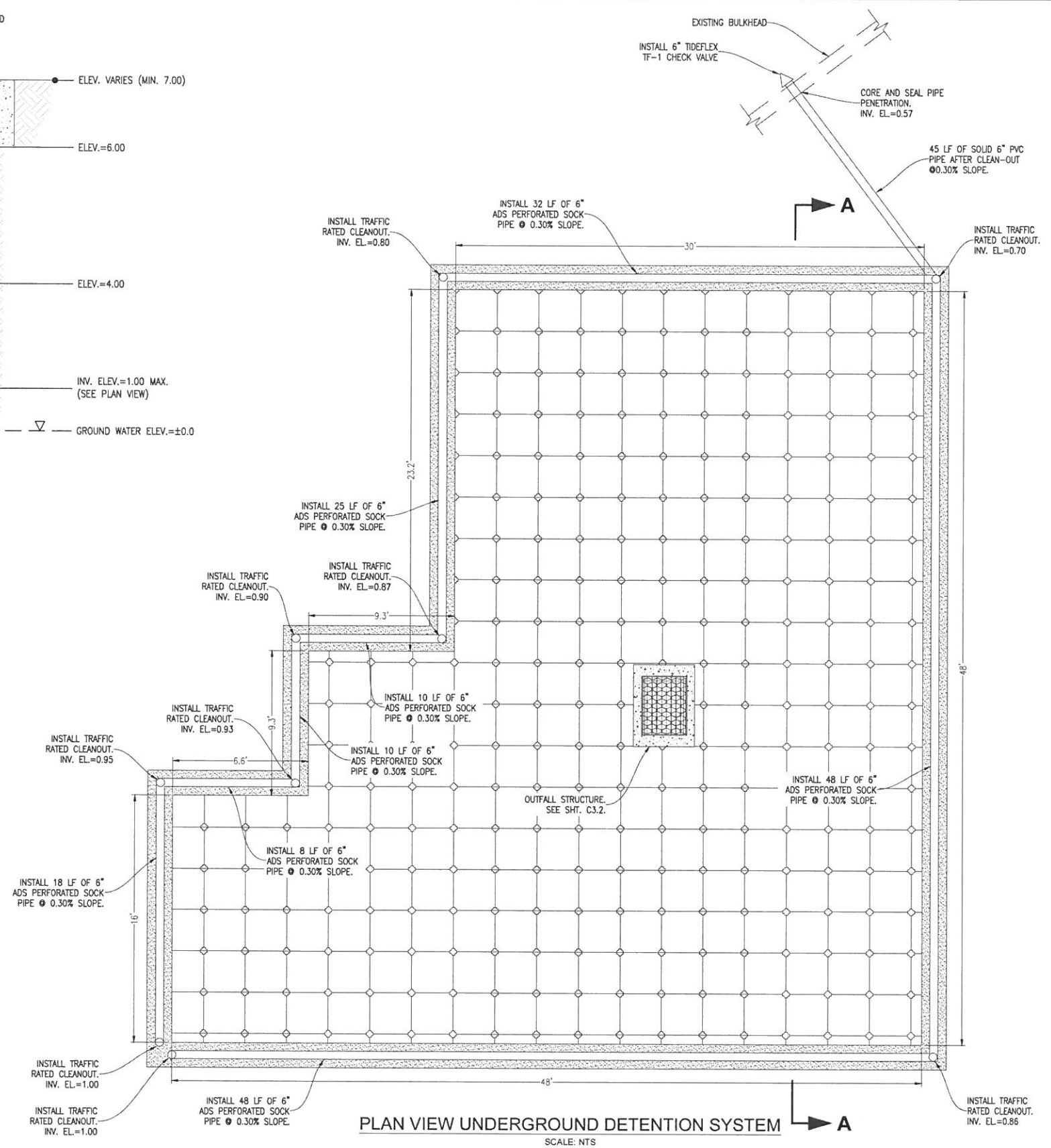
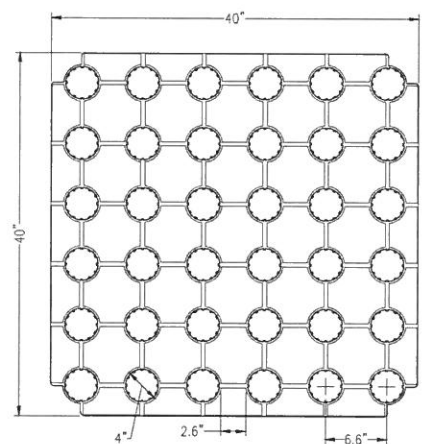
END VIEW OF PIPE/FABRIC CONNECTION. CUT AN X IN THE FABRIC SLIGHTLY LARGER THAN PIPE, PULL THE FABRIC AROUND THE PIPE TO CREATE THE "BOOT" AND THEN SECURE WITH A HOSE-CLAMP.



RAINSTORE3 INLETS/OUTLETS WITH FABRIC DETAIL
N.T.S.



RAINSTORE3 UNIT DETAIL
N.T.S.



PLAN VIEW UNDERGROUND DETENTION SYSTEM
SCALE: NTS

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Civil Engineers and Surveyors
2001 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.6400 Fax 850.438.0448
EB 00006657 1/8/2016

DRAINAGE DETAILS

ADMIRAL'S ROW
800 BLK SOUTH PALAFOX STREET
PENSACOLA, FLORIDA

NO.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
Paul A. Battle, P.E.
No. 53126

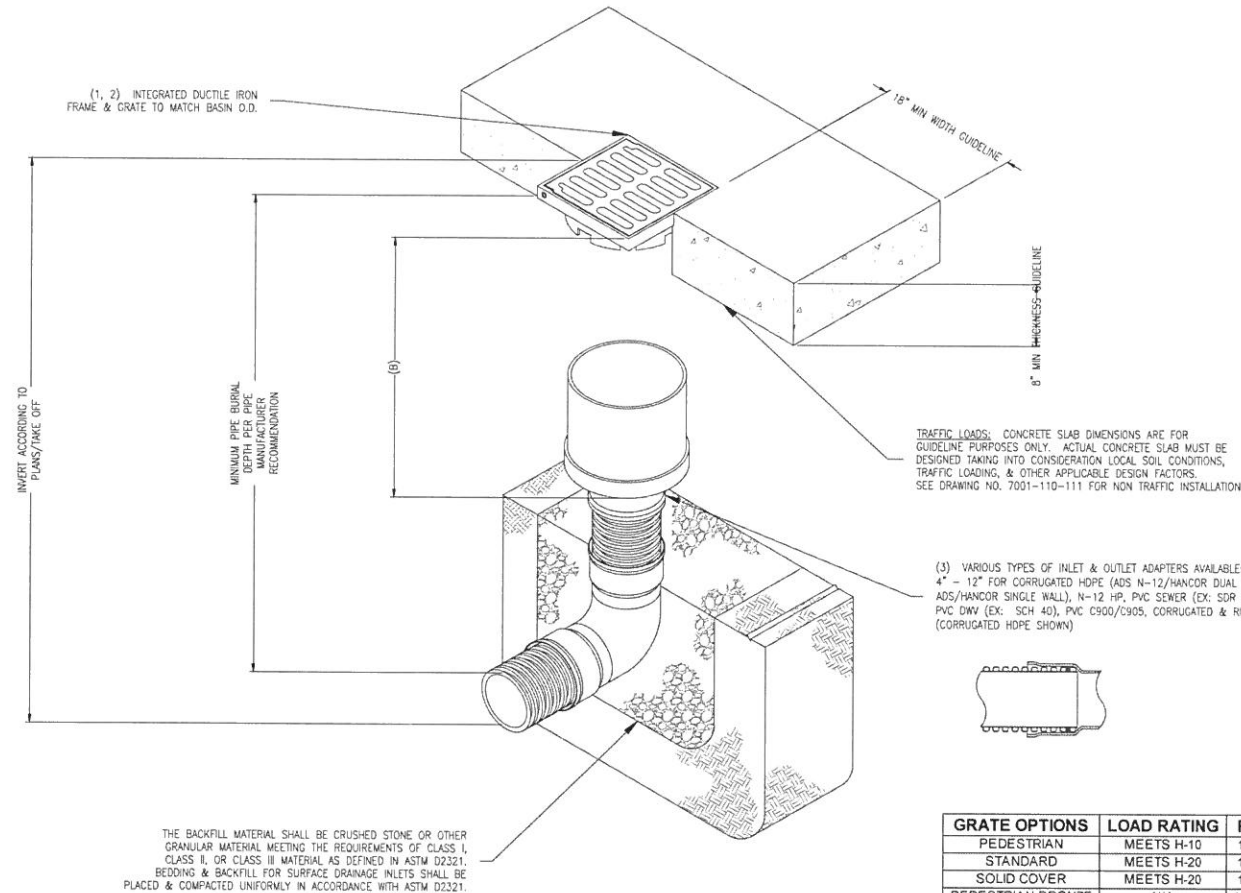
Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

DRAWING No.
C3.1
SHEET 7 OF 11

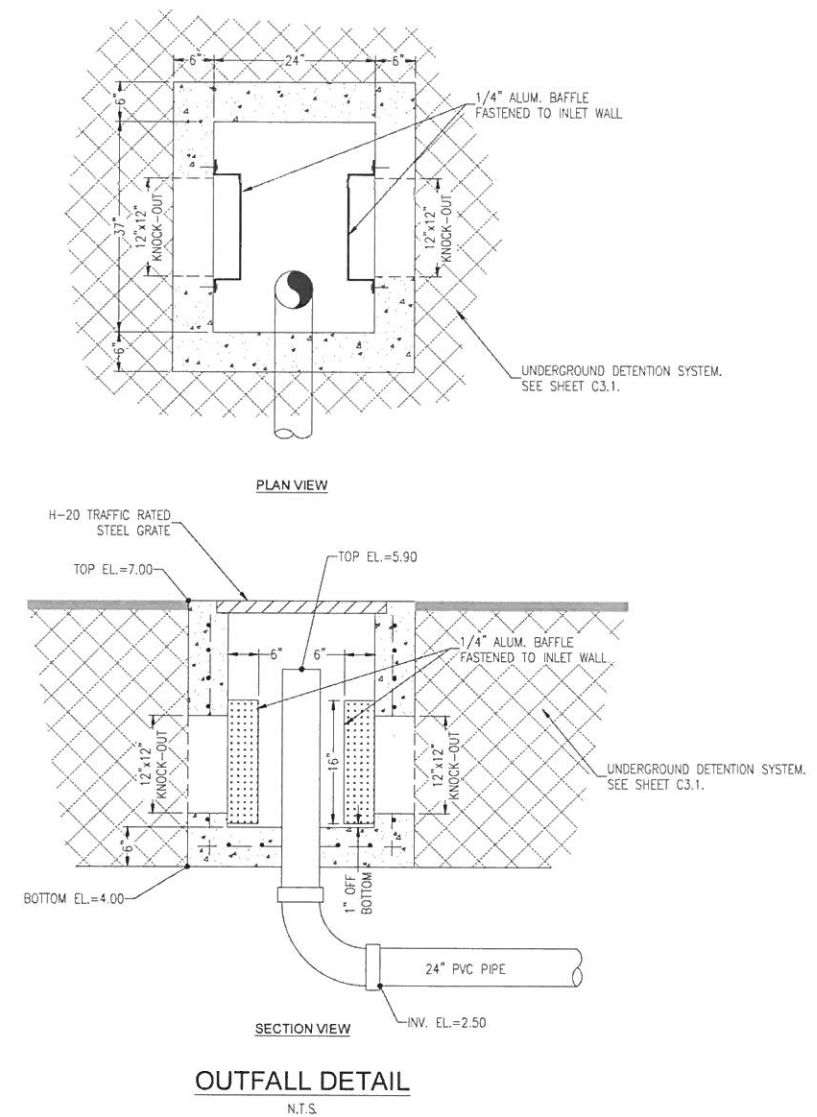
90% PLANS

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NYLOPLAST 12" INLINE DRAIN: 2712AG __ X



ADAPTER SIZE	B
4"	10.50
6"	11.50
8"	11.50
10"	11.25
12"	6.00



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1299CGP	7001-110-202
STANDARD	MEETS H-20	1299CGS	7001-110-203
SOLID COVER	MEETS H-20	1299CGC	7001-110-204
PEDESTRIAN BRONZE	N/A	1299CGPB	7001-110-205
DOME	N/A	1299CGD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1201DI	7001-110-021

- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- 4 - DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
- 5 - DIMENSIONS ARE IN INCHES.
- 6 - SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION & DRAWING NO. 7001-110-364 FOR N-12 HP BELL INFORMATION.

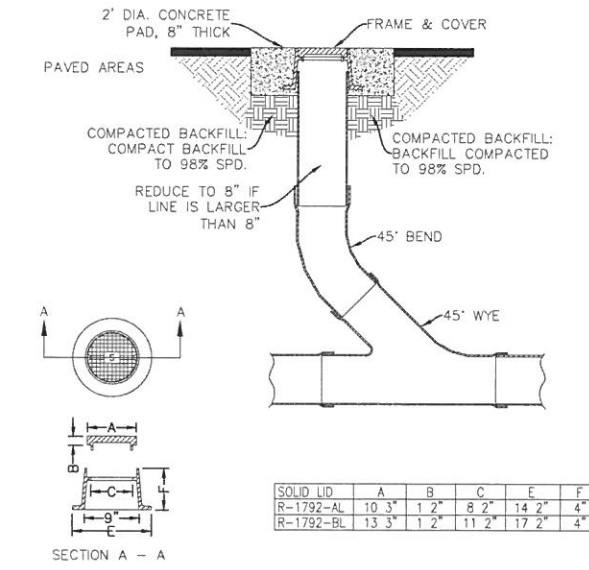
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DRAWN BY	EBC	MATERIAL	
DATE	04-01-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-15-16		
DWG SIZE	A	SCALE	1:20 SHEET 1 OF 1

3130 VERONA AVE
 SUFORD, GA 30018
 PHN (770) 932-2443
 FAX (770) 932-2496
 www.nyloplast-us.com

TITLE
 12 IN INLINE DRAIN QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-025 REV E



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 Civil Engineers and Surveyors
 2301 N. North Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009657 LBT16

GRADING & DRAINAGE
DETAILS

ADMIRAL'S ROW
 800 BLK SOUTH PALAFOX STREET
 PENSACOLA, FLORIDA

REVISION	DATE	BY

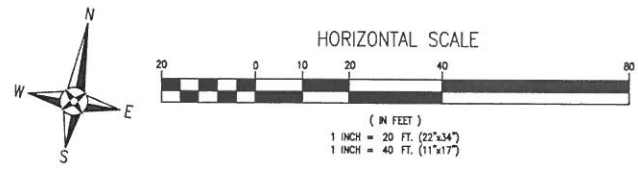
SEAL
 NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
 No. 53126

Dr. By: GTP
 Ck By: PAB
 Job No.: 2018-242
 Date: 10-09-2019

DRAWING No.
C3.2
 SHEET 8 OF 11

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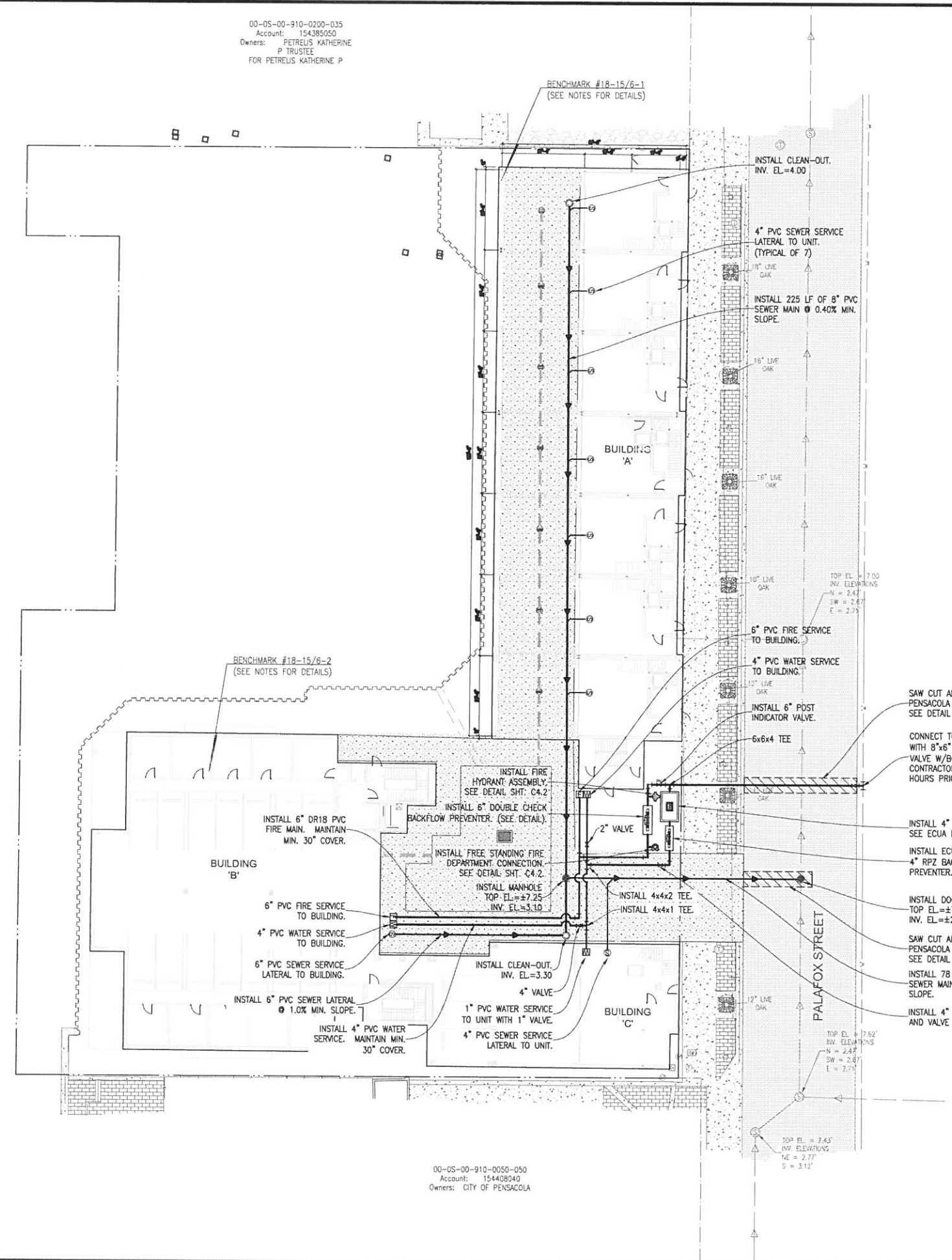


00-05-00-910-0200-035
 Account: 154385050
 Owners: PETRELIUS KATHERINE
 P TRUSTEE
 FOR PETRELIUS KATHERINE P

LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING WOODEN FENCE
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE (GRAVITY)
[Symbol]	FORCE MAIN
[Symbol]	OVERHEAD UTILITIES
[Symbol]	BURIED TELEPHONE LINE
[Symbol]	GAS LINE
[Symbol]	BURIED ELECTRIC LINE
[Symbol]	BURIED FIBER OPTIC CABLE
[Symbol]	BURIED TV LINE
[Symbol]	BENCHMARK
[Symbol]	FIRE HYDRANT
[Symbol]	UTILITY POLE
[Symbol]	WATER METER
[Symbol]	GUY ANCHOR
[Symbol]	WATER VALVE
[Symbol]	LIGHT POLE
[Symbol]	CLEANOUT
[Symbol]	TELEPHONE BOX
[Symbol]	SEWER MANHOLE
[Symbol]	GAS VALVE
[Symbol]	STORMWATER MANHOLE

- UTILITY NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST ANWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 - ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH CITY OF PENSACOLA AND THE ECUA GUIDELINES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 - ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
 - ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.

00-05-00-910-0001-034
 Account: 154375000
 Owners: PENSACOLA CITY OF



00-05-00-910-0050-050
 Account: 154408040
 Owners: CITY OF PENSACOLA

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 200 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone: (850) 438-0400 Fax: (850) 438-0448
 EB 00009657 LE7916

UTILITY PLAN

ADMIRAL'S ROW
 800 BLK SOUTH PALAFOX STREET
 PENSACOLA, FLORIDA

NO.	DATE	REVISION

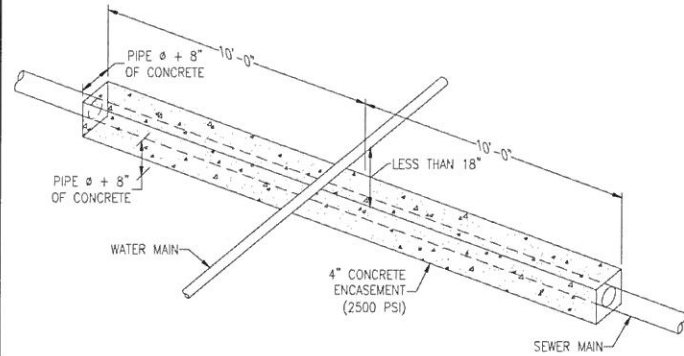
SEAL
 NOT FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

Dr. By: GTP
 Ck By: PAB
 Job No.: 2018-242
 Date: 10-09-2019

DRAWING No.
C4.0
 SHEET 9 OF 11

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NOTE:
SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10" OR GREATER. A MINIMUM OF 30" IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE NOTES BELOW:



FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12' FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.

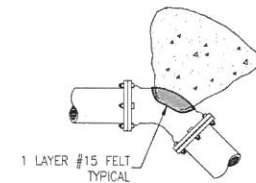
ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL.

ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20' PIECE WITH 4" VERTICAL CLEARANCE AND SEAL ENDS.

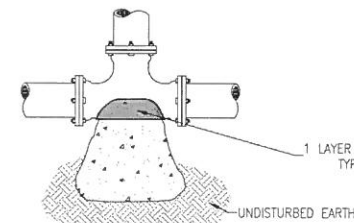
FOR PARALLEL: AND 6" TO 10' APART USE ALTERNATE 2, BUT IF MORE THAN 40' IN LENGTH, ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED. IF LINES MUST BE 3' TO 6' APART, ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e., WATER LINE IS DR25 THEN USE DR18 OR 21 FOR SEWER).

SEWER / WATER SEPARATION & CLEARANCES

N.T.S.



45° BEND - M.J.



TEE - M.J.

**MINIMUM THRUST BLOCK DIMENSIONS:
SURFACE AREA AGAINST UNDISTURBED SOIL**

FITTING PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND
4"	1' X 2'	1.5' X 1.5'	1' X 1.5'	1' X 1'
6"	2' X 2'	2.5' X 2.5'	2' X 1.5'	1' X 1.5'
8"	2.25' X 3'	3' X 3'	2' X 2.5'	1.5' X 1.5'
10"	3.5' X 3'	4' X 3.75'	2.75' X 3'	2' X 2'
12"	4' X 4'	4' X 5'	3' X 4'	2' X 3'
16"	5' X 5.5'	6' X 6.5'	4' X 5'	3' X 3.5'

1 LAYER #15 FELT TYPICAL

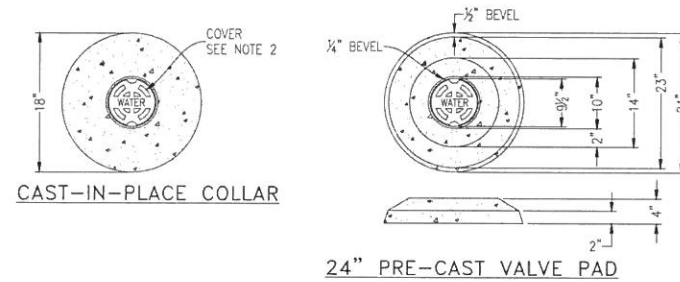
90° BEND - M.J.

- NOTES:**
- ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
 - ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL.
 - THRUST BLOCK DIMENSIONS BASED ON SM SOIL CLASSIFICATION.
 - CONCRETE MIN. 2,500 PSI.
 - JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS, TRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, TEES, TAPPING SLEEVES, AND DEAD ENDS.

TYPICAL THRUST BLOCK INSTALLATIONS

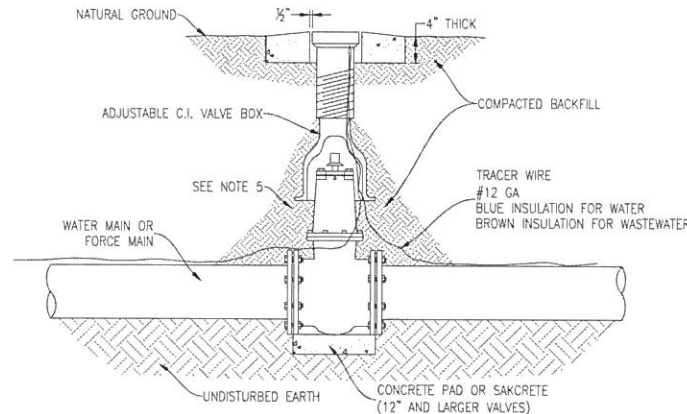
N.T.S.

- NOTES:**
- VALVE BOX AND BOOT SHALL BE CAST IRON.
 - VALVE COVER SHALL BE MARKED "WATER" OR "SEWER" AS APPLICABLE.
 - VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
 - GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
 - EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



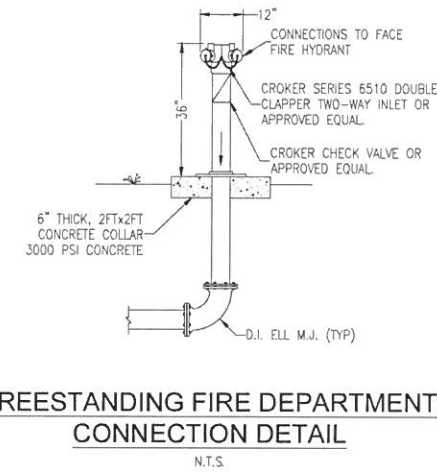
CAST-IN-PLACE COLLAR

24" PRE-CAST VALVE PAD



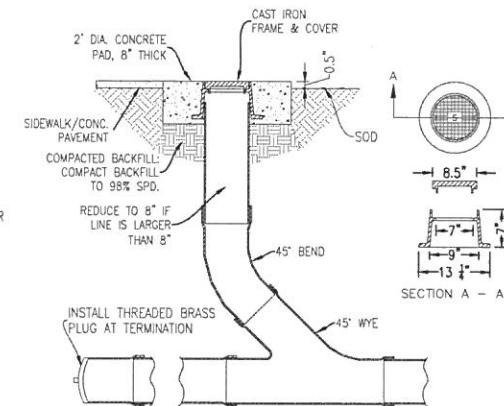
TYPICAL VALVE & BOX INSTALLATION

N.T.S.



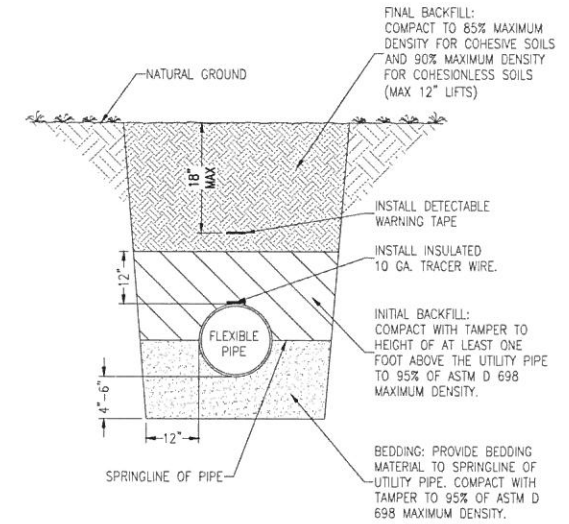
FREESTANDING FIRE DEPARTMENT CONNECTION DETAIL

N.T.S.



SANITARY SEWER CLEANOUT DETAIL

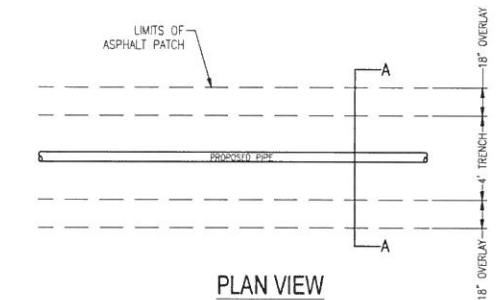
N.T.S.



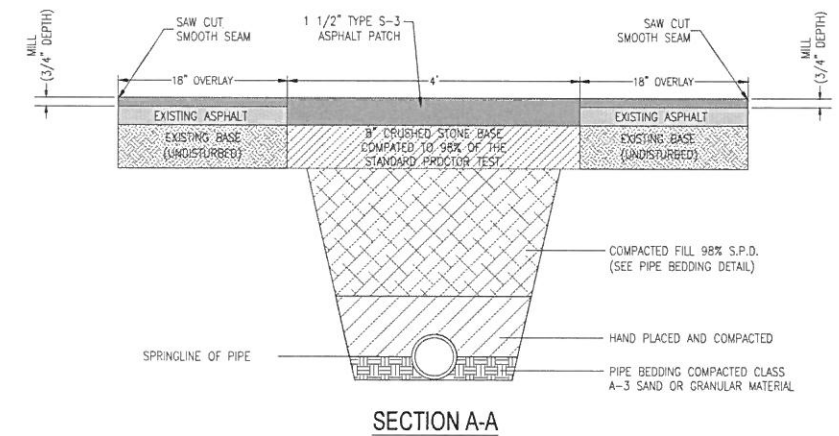
FLEXIBLE PIPE BEDDING DETAIL

N.T.S.

- NOTES:**
- EXCAVATE TRENCH TO A DEPTH THAT PROVIDES MINIMUM COVER OF 30" FROM EXISTING GROUND SURFACE, OR FROM THE INDICATED FINISHED GRADE, WHICHEVER IS LOWER, TO THE TOP OF PIPE.
 - FOR FIRE PROTECTION YARD MAINS OR PIPING, AN ADDITIONAL 6" OF COVER IS REQUIRED.



PLAN VIEW



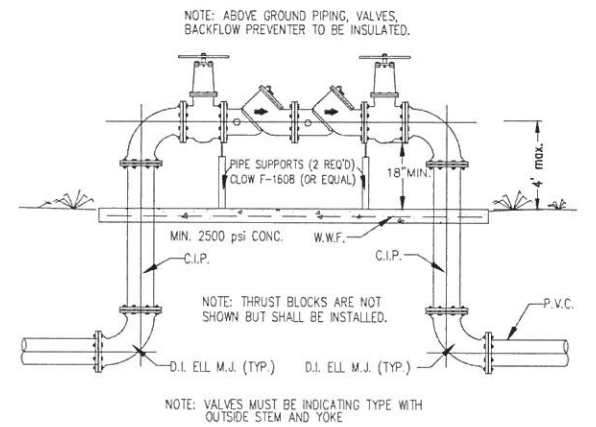
SECTION A-A

CITY OF PENSACOLA CUT & PATCH DETAIL

SCALE: NTS

GENERAL NOTES:

- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- SURFACE TREATMENT PAVED JOINTS SHALL BE LAPPED AND FEATHERED.
- SURFACE REPLACEMENT COURSE TO BE 3" TYPE S-3 ASPHALTIC CONCRETE.
- SUB BASE MATERIAL TO BE PLACED AND COMPACTED IN 8" LIFTS TO A MINIMUM OF 98% STANDARD PROCTOR.
- MINIMUM SURFACE REPLACEMENT COURSE OF LONGITUDINAL CUTS TO BE ONE HALF OF EXISTING ROAD OR 12" MINIMUM.
- LONGITUDINAL CUT REPLACEMENT BASE SHALL BE FULL DEPTH ASPHALTIC CONCRETE OR 8" CRUSHED STONE.
- ANY VARIANCE MUST BE APPROVED ON INDIVIDUAL BASIS BY THE CITY ENGINEER.
- PERMIT FROM ENGINEERING AND INSPECTION BY STREET DIVISION IS REQUIRED.
- CONTACT THE STREET DIVISION AND ALL EMERGENCY SERVICES (POLICE, FIRE & EMERGENCY MEDICAL SERVICES) BEFORE COMPLETELY CLOSING A ROAD. NOTIFY THE ABOVE AGAIN ONCE THE ROAD HAS BEEN RE-OPENED.



DOUBLE CHECK BACKFLOW PREVENTER DETAIL

N.T.S.

NO.	DATE	REVISION

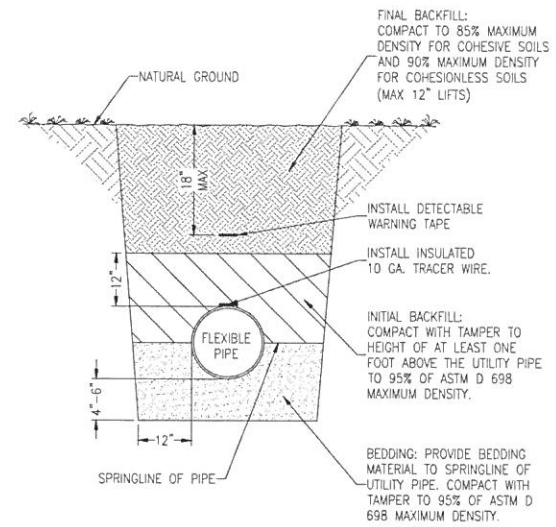
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Paul A. Battle, P.E.
No. 53126

Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

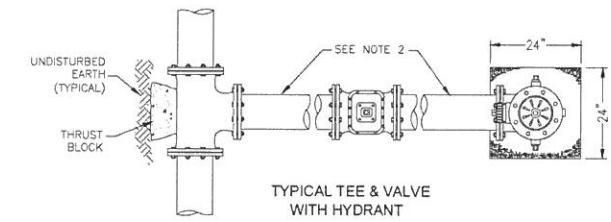
DRAWING No.
C4.1
SHEET 10 OF 11

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FLEXIBLE PIPE BEDDING DETAIL
N.T.S.

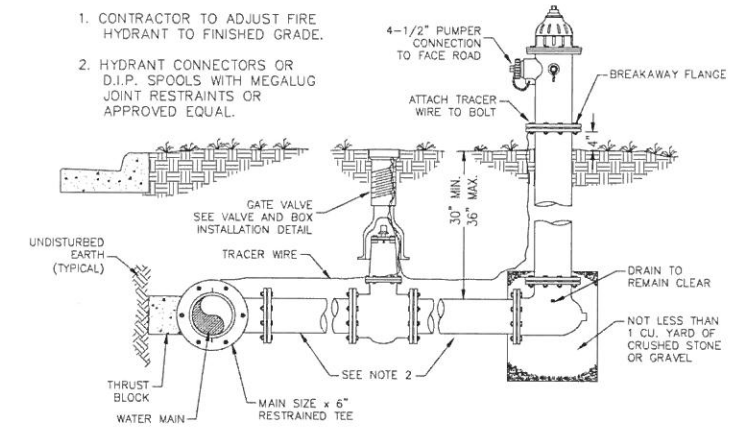
- NOTES:
- EXCAVATE TRENCH TO A DEPTH THAT PROVIDES MINIMUM COVER OF 30" FROM EXISTING GROUND SURFACE, OR FROM THE INDICATED FINISHED GRADE, WHICHEVER IS LOWER, TO THE TOP OF PIPE.
 - FOR FIRE PROTECTION YARD MAINS OR PIPING, AN ADDITIONAL 6" OF COVER IS REQUIRED.



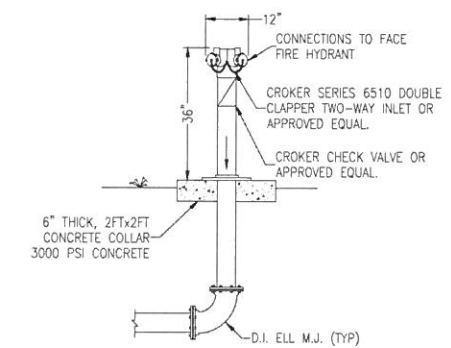
TYPICAL TEE & VALVE WITH HYDRANT

NOTES:

- CONTRACTOR TO ADJUST FIRE HYDRANT TO FINISHED GRADE.
- HYDRANT CONNECTORS OR D.I.P. SPOOLS WITH MEGALUG JOINT RESTRAINTS OR APPROVED EQUAL.



TYPICAL FIRE HYDRANT INSTALLATION VALVE AND TEE CONNECTION
N.T.S.



FREESTANDING FIRE DEPARTMENT CONNECTION DETAIL
N.T.S.

No.	DATE	REVISION

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NOT FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: GTP
Ck By: PAB
Job No.: 2018-242
Date: 10-09-2019

DRAWING No.
C4.2
SHEET 11 OF 11

Listen. Interpret. Translate.

CERTIFICATION :

ADMIRAL'S ROW

South Palafox Street
Pensacola, Florida

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REVISIONS :

95% Submittal
October 3, 2019

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CHECKED BY : PDP

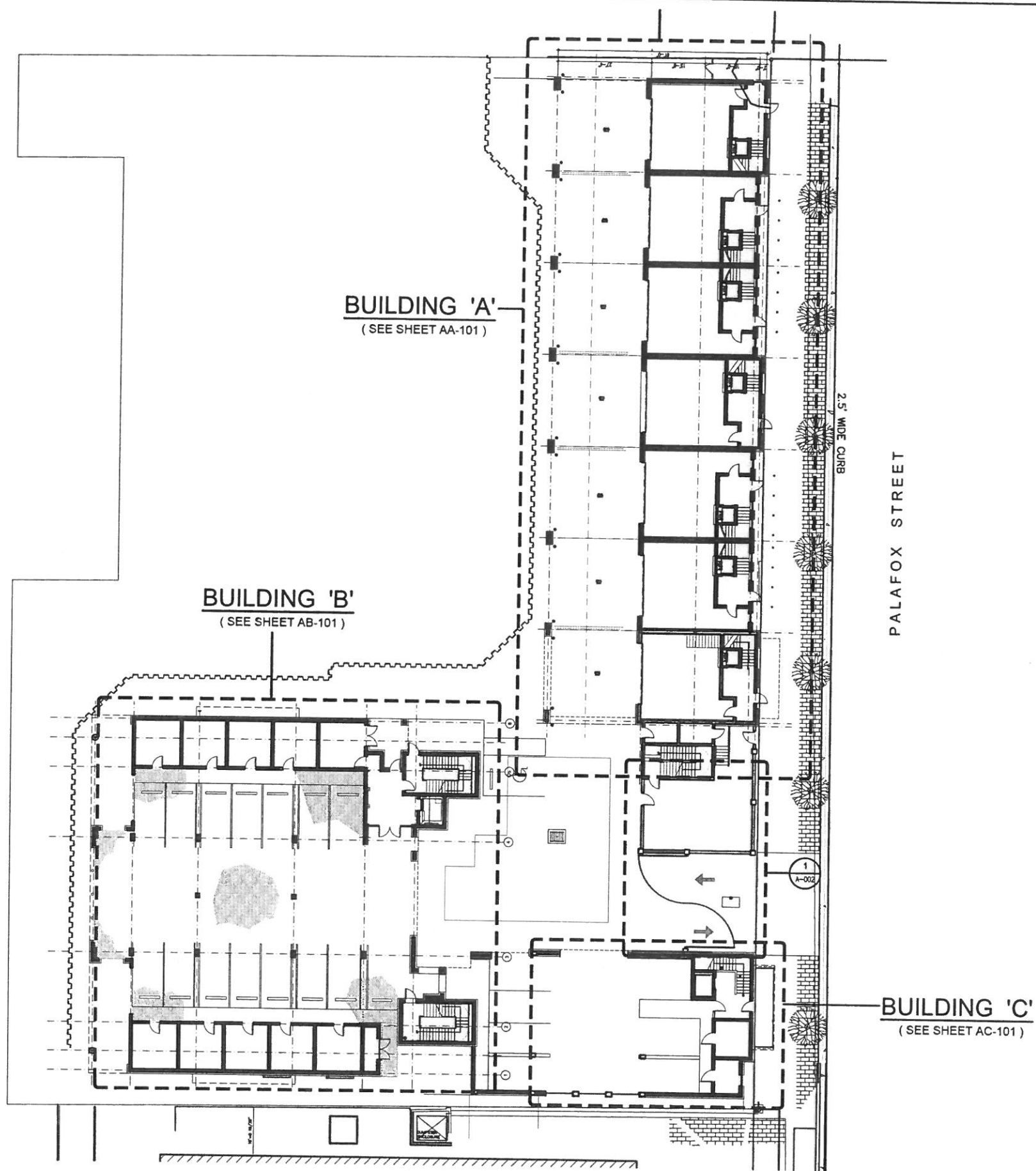
PROJECT NO. 1814

DATE : JULY 29, 2019

SHEET TITLE :
ARCHITECTURAL
SITE PLAN

SHEET NO. :

A-001



BUILDING 'A'
(SEE SHEET AA-101)

BUILDING 'B'
(SEE SHEET AB-101)

BUILDING 'C'
(SEE SHEET AC-101)

PALAFOX STREET

2.5' WIDE CURB



1
A-001
OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION:

**ADMIRAL'S ROW
(Building "A")**

South Palafox Street
Pensacola, Florida

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REVISIONS:

95% Submittal
October 3, 2019

DRAWN BY: RAP

CHECKED BY: PDP

PROJECT NO. 1814

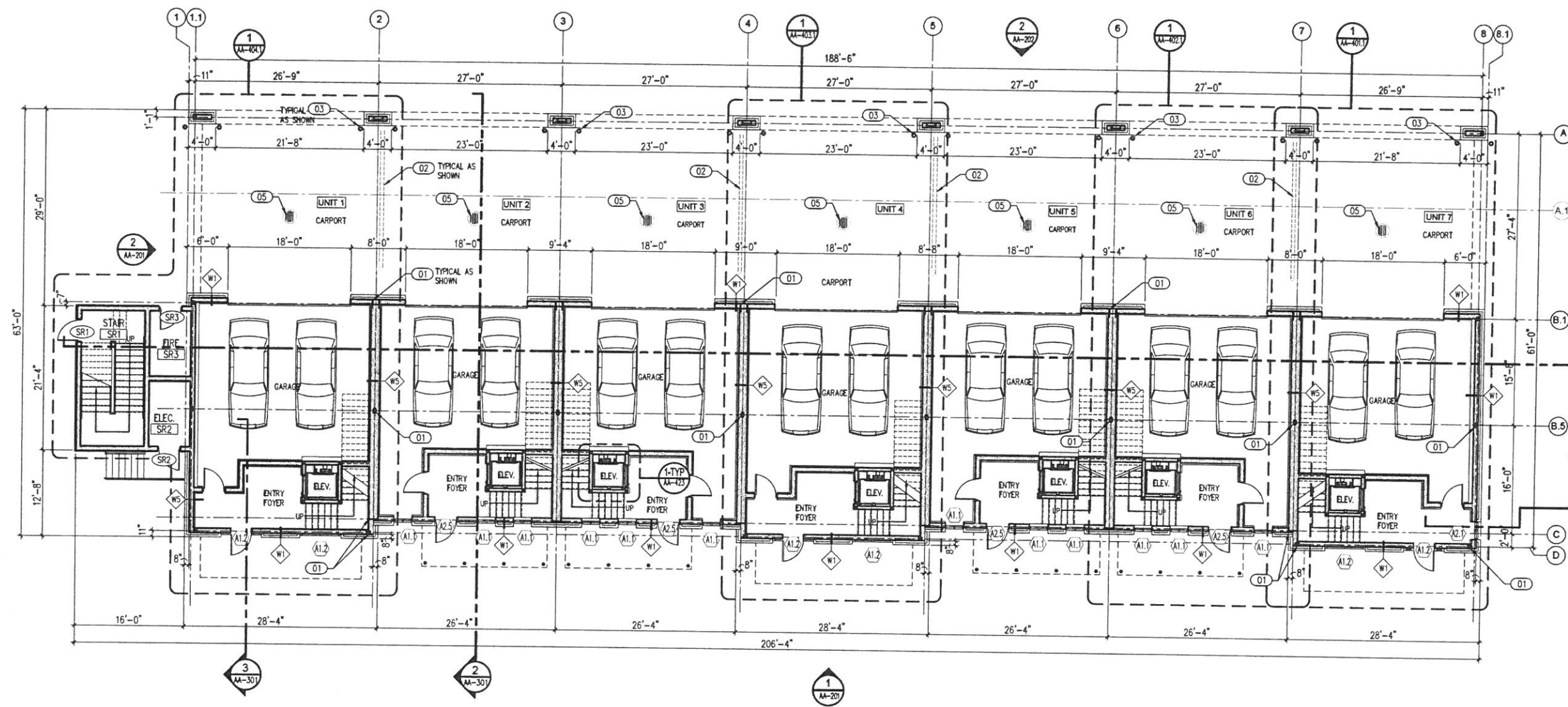
DATE: SEPTEMBER 12, 2019

SHEET TITLE:
**1ST FLOOR PLAN
BUILDING "A"**

SHEET NO.:

AA-101

©2018 SMP ARCHITECTURE



1 1ST FLOOR PLAN (BUILDING "A")
SCALE: 1/8" = 1'-0"
NORTH

GENERAL NOTES:

- COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL & MECHANICAL DRAWINGS.
- REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS AND INFORMATION.
- REFER TO ENLARGED UNIT PLAN FOR ADDITIONAL DIMENSIONED PLAN & INFORMATION.
- ALL SMOKE DETECTORS TO BE HARDWIRED; DETECTORS IN SLEEPING ROOMS TO BE FAULT PROTECTED (TYPICAL).
- REFER TO AA-004 FOR WALL TYPES, CEILING TYPES & DESCRIPTIONS.

DRAWING LEGEND:

- PAINTED GNB.
- STUCCO SYSTEM.
- PAINTED WOOD CROWN MOLDING.
- THIN-BRICK SYSTEM.

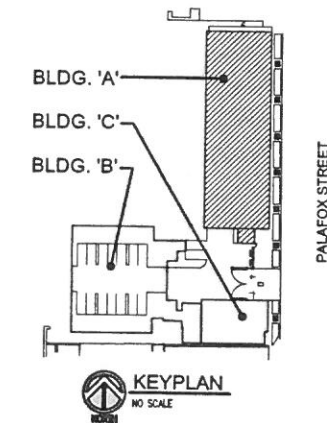
- 10'-0" CEILING HEIGHT ABOVE FINISHED FLOOR. TYPICAL U.N.O.
- STUCCO SYSTEM OVER FIBERGLASS-MAT EXTERIOR SHEATHING.
- SCOOCE WALL MOUNT (EXTERIOR).
- WALL SCOOCE (INTERIOR).
- DOWNLIGHT FIXTURE.
- DOWNLIGHT FIXTURE.
- JUNCTION BOX.
- PENDANT.
- CEILING MOUNT LIGHT FIXTURE/CEILING FAN.
- UNDER CABINET LIGHTING.
- SUPPLY AIR DIFFUSER.
- RETURN AIR DIFFUSER.
- EXHAUST FAN.

ELECTRICAL LEGEND:

- QUAD RECEPTACLE.
- DUPLEX RECEPTACLE.
- DUPLEX RECEPTACLE (GROUND FAULT CIRCUIT INTERRUPTER).
- DUPLEX RECEPTACLE (WATERPROOF).
- TELEPHONE OUTLET.
- WALL SWITCH.
- 3-WAY WALL SWITCH.

KEY NOTES:

- STEEL COLUMN; REFER TO STRUCTURAL.
- RAINLEADER FROM ROOF DRAIN. COORDINATE RISERS WITH PLUMBING & ELECTRICAL LINES.
- CONCRETE FILLED BOLLARDS.
- ELECTRICAL PANEL & COMMUNICATION PANEL; COORDINATE WITH ELECTRICAL DRAWINGS.
- INLET; SEE CIVIL DRAWINGS.



KEYPLAN
NO SCALE

Listen. Interpret. Translate.
CERTIFICATION:

**ADMIRAL'S ROW
(Building "A")**

South Palafox Street
Pensacola, Florida

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October 3, 2019

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PROJECT NO. 1814

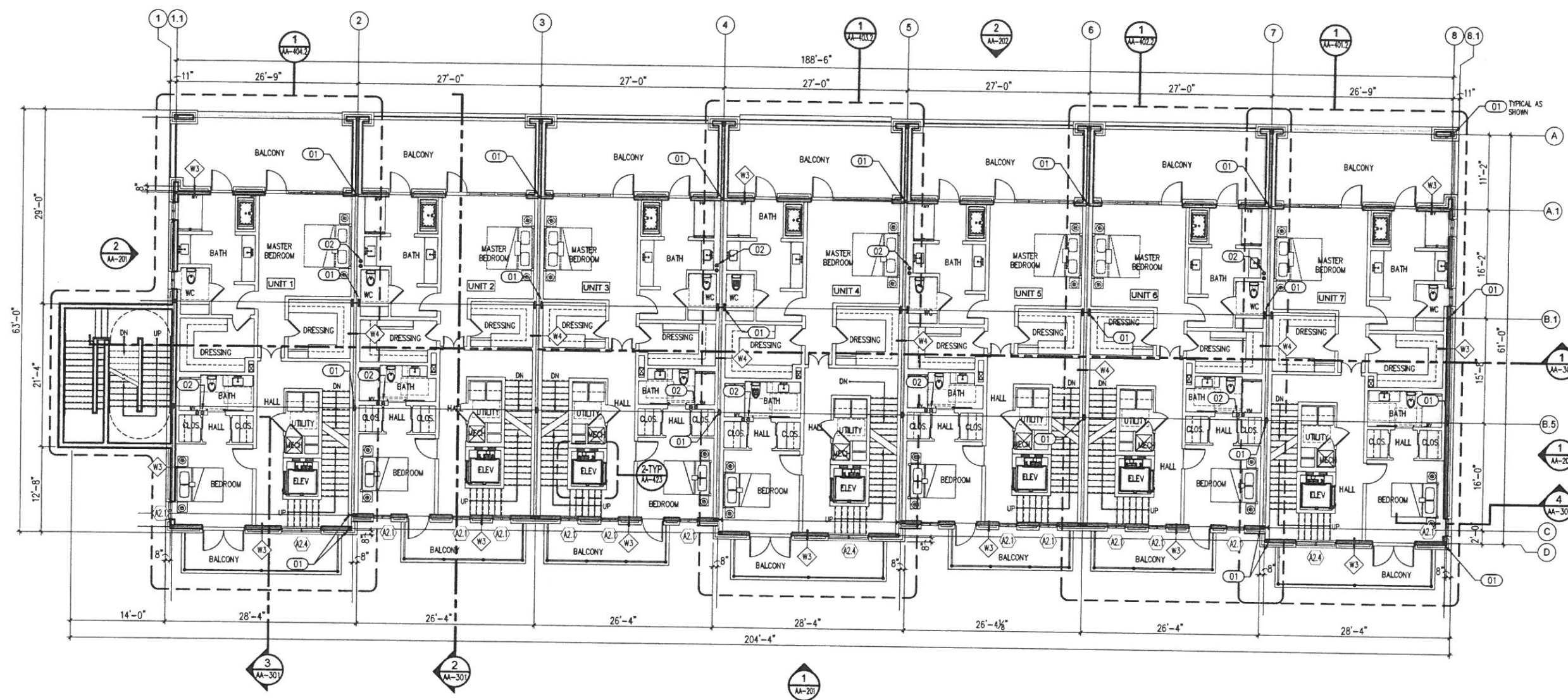
DATE: SEPTEMBER 12, 2019

SHEET TITLE:
**2ND FLOOR PLAN
BUILDING "A"**

SHEET NO.:

AA-102

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1 2ND FLOOR PLAN (BUILDING "A")
SCALE: 1/8" = 1'-0"
NORTH

GENERAL NOTES:

- COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL & MECHANICAL DRAWINGS.
- REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS AND INFORMATION.
- REFER TO ENLARGED UNIT PLAN FOR ADDITIONAL DIMENSIONED PLAN & INFORMATION.
- ALL SMOKE DETECTORS TO BE HARDWIRED; DETECTORS IN SLEEPING ROOMS TO BE FAULT PROTECTED (TYPICAL).
- REFER TO AA-004 FOR WALL TYPES, CEILING TYPES & DESCRIPTIONS.

DRAWING LEGEND:

- PAINTED GWS
- STUCCO SYSTEM
- PAINTED WOOD CROWN MOLDING
- THIN-BRICK SYSTEM

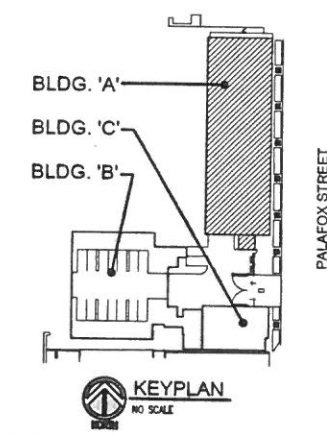
- 10'-0" CEILING HEIGHT ABOVE FINISHED FLOOR. TYPICAL U.S.O.
- EXP STUCCO SYSTEM OVER FIBERGLASS-MAT EXTERIOR SHEATHING
- SCANCE WALL MOUNT (EXTERIOR)
- WALL SCANCE (INTERIOR)
- DOWNLIGHT FIXTURE
- JUNCTION BOX
- PENDANT
- CEILING MOUNT LIGHT FIXTURE/CEILING FAN
- UNDER CABINET LIGHTING
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- FISHAIST FAN

ELECTRICAL LEGEND:

- QUAD RECEPTACLE
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE (GROUND FAULT CIRCUIT INTERRUPTER)
- DUPLEX RECEPTACLE (WATERPROOF)
- TELEPHONE OUTLET
- WALL SWITCH
- 3-WAY WALL SWITCH

KEY NOTES:

- STEEL COLUMN, REFER TO STRUCTURAL
- RAINLEADER FROM ROOF DRAIN. COORDINATE RISERS WITH PLUMBING & ELECTRICAL LINES.
- CONCRETE FILLED BOLLARDS
- ELECTRICAL PANEL & COMMUNICATION PANEL; COORDINATE WITH ELECTRICAL DRAWINGS.
- INLET; SEE CIVIL DRAWINGS.



KEYPLAN
NO SCALE

Listen. Interpret. Translate.
CERTIFICATION:

**ADMIRAL'S
ROW
(Building "A")**

South Palafox Street
Pensacola, Florida

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REVISIONS:

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October 3, 2019

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CHECKED BY: PDP

PROJECT NO. 1814

DATE: SEPTEMBER 12, 2019

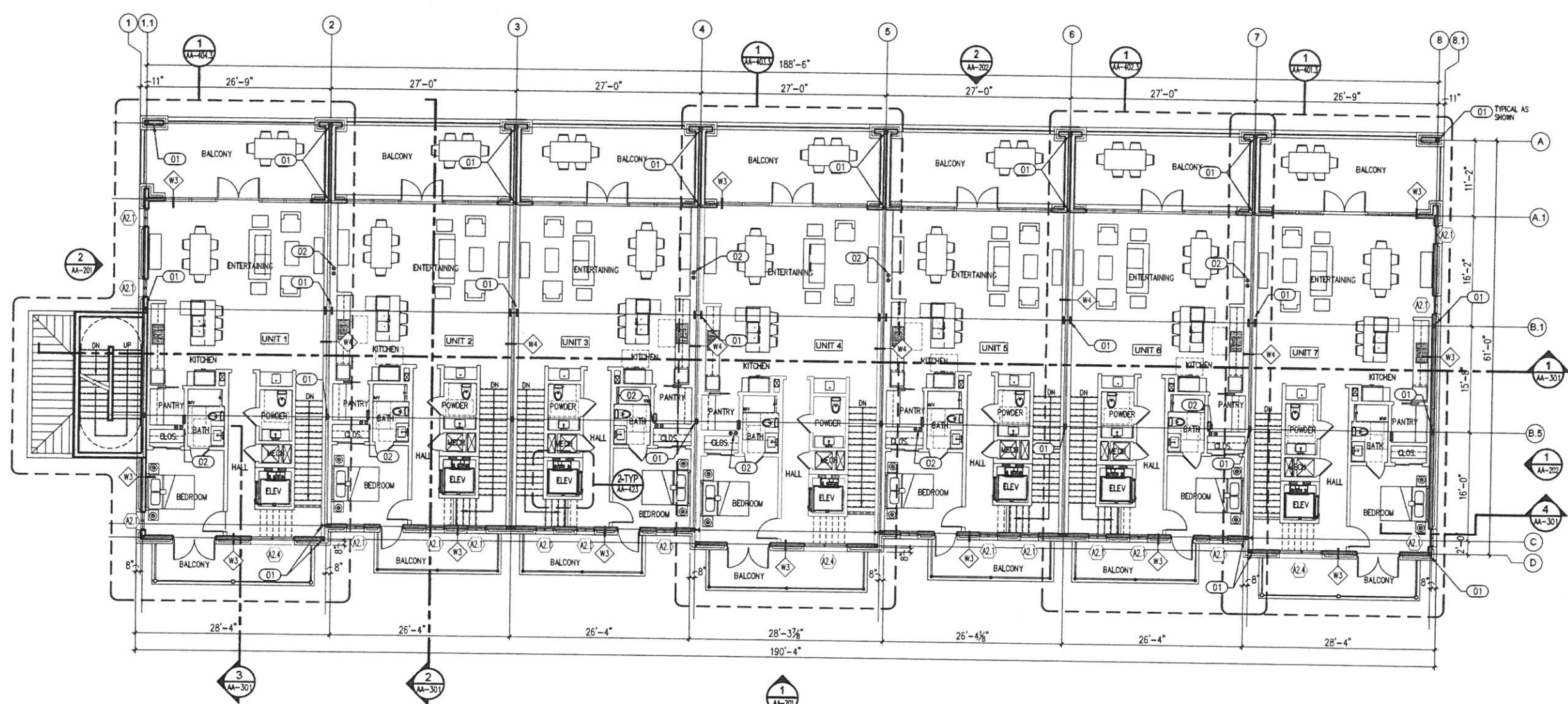
SHEET TITLE:

3RD FLOOR PLAN
BUILDING "A"

SHEET NO.:

AA-103

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3RD FLOOR PLAN (BUILDING "A")
SCALE: 1/8" = 1'-0"
NORTH

GENERAL NOTES:

- COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL & MECHANICAL DRAWINGS.
- REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS AND INFORMATION.
- REFER TO ENLARGED UNIT PLAN FOR ADDITIONAL DIMENSIONED PLAN & INFORMATION.
- ALL SMOKE DETECTORS TO BE HARDWIRED; DETECTORS IN SLEEPING ROOMS TO BE FAULT PROTECTED (TYPICAL).
- REFER TO AA-004 FOR WALL TYPES, CEILING TYPES & DESCRIPTIONS.

DRAWING LEGEND:

- PAINTED GWB.
- STUCCO SYSTEM.
- PAINTED WOOD CROWN MOLDING.
- THIN-BRICK SYSTEM.

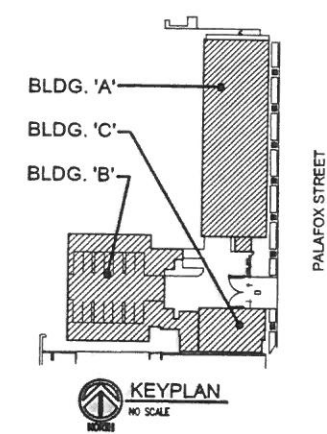
- 10'-0" CEILING HEIGHT ABOVE FINISHED FLOOR. TYPICAL U.M.O.
- STUCCO SYSTEM OVER FIBERGLASS-MAT EXTERIOR SHEATHING.
- SCIENCE WALL MOUNT (EXTERIOR).
- WALL SCIENCE (INTERIOR).
- DOWNLIGHT FIXTURE.
- JUNCTION BOX.
- PENDANT.
- CEILING MOUNT LIGHT FIXTURE/CEILING FAN.
- UNDER CABINET LIGHTING.
- SUPPLY AIR DIFFUSER.
- RETURN AIR DIFFUSER.
- FISHBUST FAN.

ELECTRICAL LEGEND:

- QUAD RECEPTACLE.
- DUPLEX RECEPTACLE.
- DUPLEX RECEPTACLE (GROUND FAULT CIRCUIT INTERRUPTER).
- DUPLEX RECEPTACLE (WATERPROOF).
- TELEPHONE OUTLET.
- WALL SWITCH.
- 3-WAY WALL SWITCH.

KEY NOTES:

- STEEL COLUMN; REFER TO STRUCTURAL.
- RAINLEADER FROM ROOF DRAIN. COORDINATE RISERS WITH PLUMBING & ELECTRICAL LINES.
- CONCRETE FILLED BOLLARDS.
- ELECTRICAL PANEL & COMMUNICATION PANEL. COORDINATE WITH ELECTRICAL DRAWINGS.
- INLET. SEE CIVIL DRAWINGS.



Listen. Interpret. Translate.
 CERTIFICATION:

**ADMIRAL'S
 ROW
 (Building "A")**

South Palafox Street
 Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
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 PART WITHOUT THE WRITTEN CONSENT
 OF THE ARCHITECT.

REVISIONS:

95% Submittal
 October 3, 2019

DRAWN BY: RAP

CHECKED BY: PDP

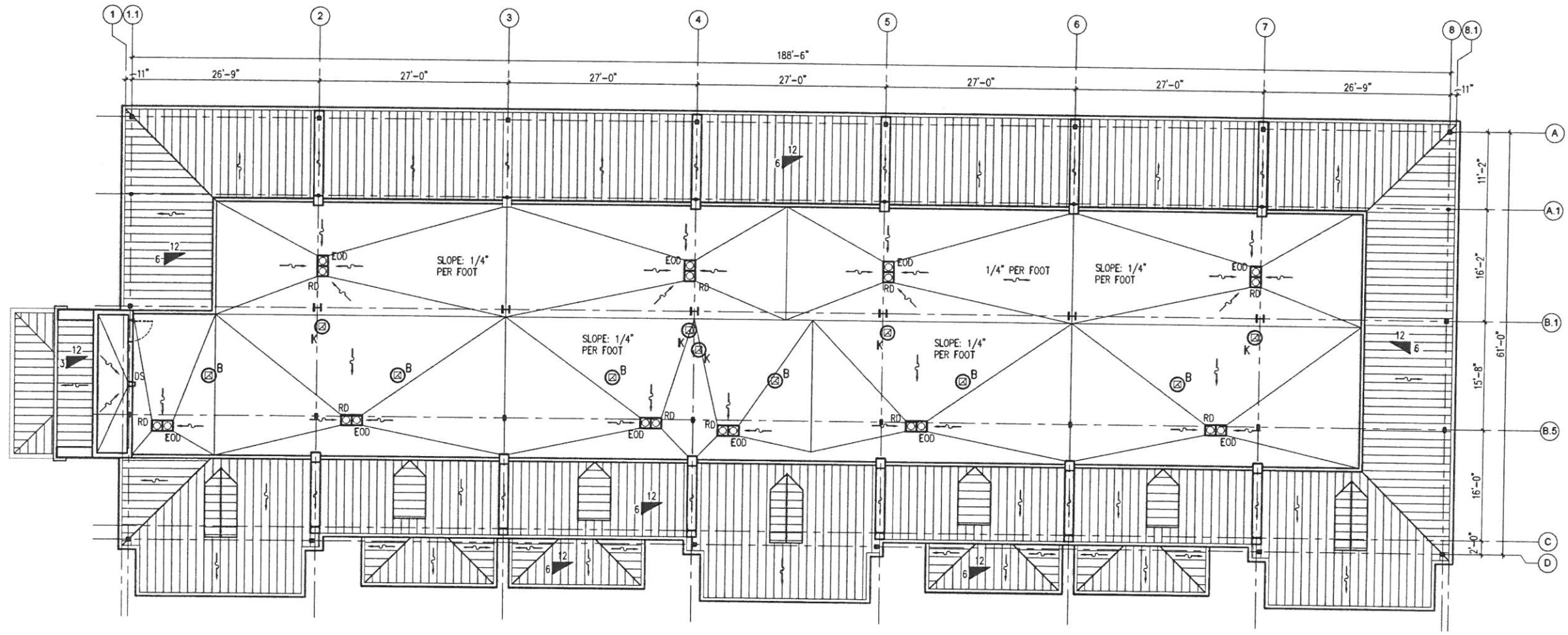
PROJECT NO. 1814

DATE: SEPTEMBER 12, 2019

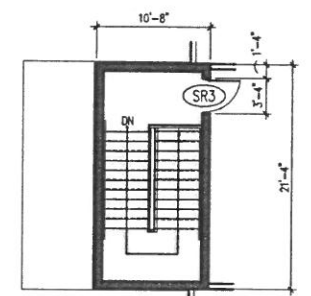
SHEET TITLE:
**ROOF PLAN
 (BUILDING "A")**

SHEET NO.:

AA-104



1 ROOF PLAN (BUILDING "A")
 SCALE: 1/8" = 1'-0"
 NORTH



REFER TO AA-423 FOR
 THE ARCHITECT'S AND CONTRACTOR'S

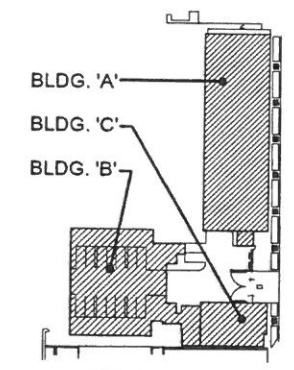
2 STAIR TO ROOF (BUILDING "A")
 SCALE: 1/8" = 1'-0"
 NORTH

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, CENTERLINE OF COLUMNS AND/OR CENTERLINE STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
- COORDINATE WITH MECHANICAL & PLUMBING DRAWINGS FOR MECHANICAL ROOF TOP UNITS AND OTHER ROOF PENETRATIONS.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR LIGHTNING PROTECTION LOCATIONS.
- TYPICAL NOTE:** ALL CRICKETS APPLICATION (C) SHALL BE PART OF THE ROOFING SYSTEM.
- REFER TO SHEET AA-423 FOR EXTERIOR STAIR TO ROOF.
- REFER TO AA-004 FOR WALL TYPES, CEILING TYPES & DESCRIPTIONS.

LEGEND:

- EOD** EMERGENCY OVERFLOW DRAIN.
- RD** ROOF DRAIN.
- DS** DOWNSPOUT.
- DIRECTION OF SLOPE TO DRAIN (1/4" PER FOOT).
- ▲ ROOF CRICKET (SEE NOTE #5).
- ⊗_B BATHROOM EXHAUST.
- ⊗_K KITCHEN EXHAUST.
- ① PRE-FINISHED METAL COPING.
- ② ROOF MOUNTED EXHAUST FAN.
- ③ MECHANICAL ROOF TOP UNITS.
- ④ GAS FLUE.
- ⑤ ENGINEERED MEMBRANE ROOFING SYSTEM MECHANICALLY ATTACHED OVER APPROVED COVER BOARD ON 3" (MIN.) RIGID INSULATION ON DECKING. SLOPE STRUCTURE TO DRAIN; REFER TO STRUCTURAL DRAWINGS.



Listen. Interpret. Translate.
CERTIFICATION :

ADMIRAL'S
ROW
(Building "A")

South Palafox Street
Pensacola, Florida

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REVISIONS :

95% Submittal
October 3, 2019

DRAWN BY : RAP

CHECKED BY : pdp

PROJECT NO. 1814

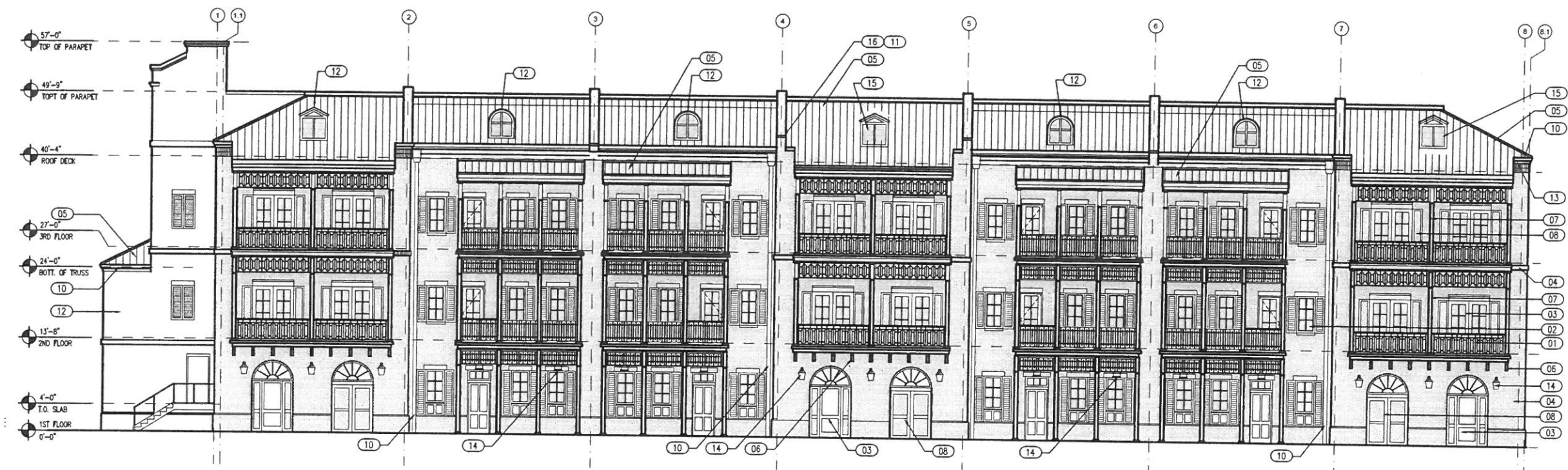
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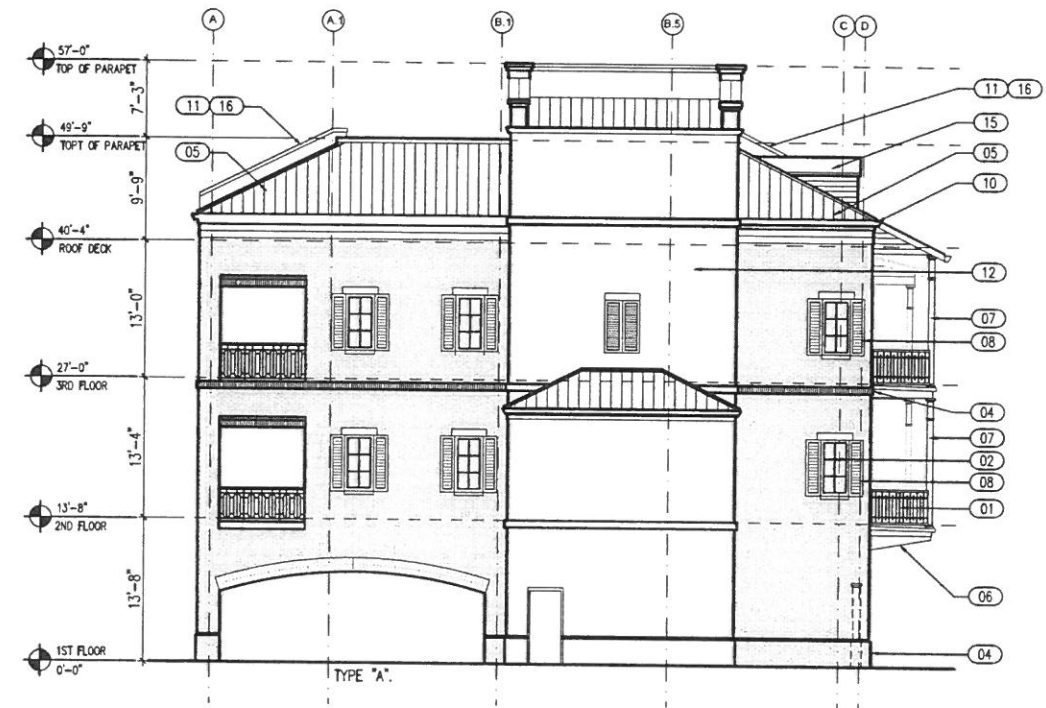
EXTERIOR
ELEVATIONS
BUILDING "A"

SHEET NO. :

AA-201



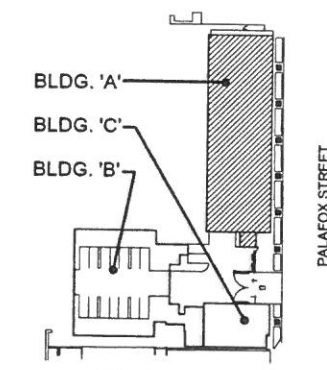
1 EAST ELEVATION - PALAFOX STREET - BUILDING "A"
AA-201 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - BUILDING "A"
AA-201 SCALE: 1/8" = 1'-0"

KEY NOTES :

- 01 ALUMINUM RAILING SYSTEM.
- 02 ALUMINUM CLAD WINDOW SYSTEM.
- 03 ALUMINUM CLAD ENTRY DOOR SYSTEM.
- 04 BRICK VENEER WALLS, COLUMNS & ARCHES/HEADERS.
- 05 STANDING SEAM METAL ROOF SYSTEM.
- 06 WOOD BRACKETS AND SUPPORTS.
- 07 STEEL COLUMN & SUPPORTS.
- 08 COMPOSITE GLASS-FIBER FIXED SHUTTERS & PANELS.
- 09 COMPOSITE GARAGE DOORS.
- 10 6" ALUMINUM GUTTER & RAINLEADER.
- 11 PRE-FINISHED METAL COPING.
- 12 STUCCO SYSTEM.
- 13 FASCIA TRIM.
- 14 LIGHT FIXTURES.
- 15 DORMER WITH FALSE LOUVER.
- 16 PARAPET WALL.



Listen. Interpret. Translate.
CERTIFICATION :

**ADMIRAL'S ROW
(Building "A")**

South Palafox Street
Pensacola, Florida

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REVISIONS :

95% Submittal
October 3, 2019

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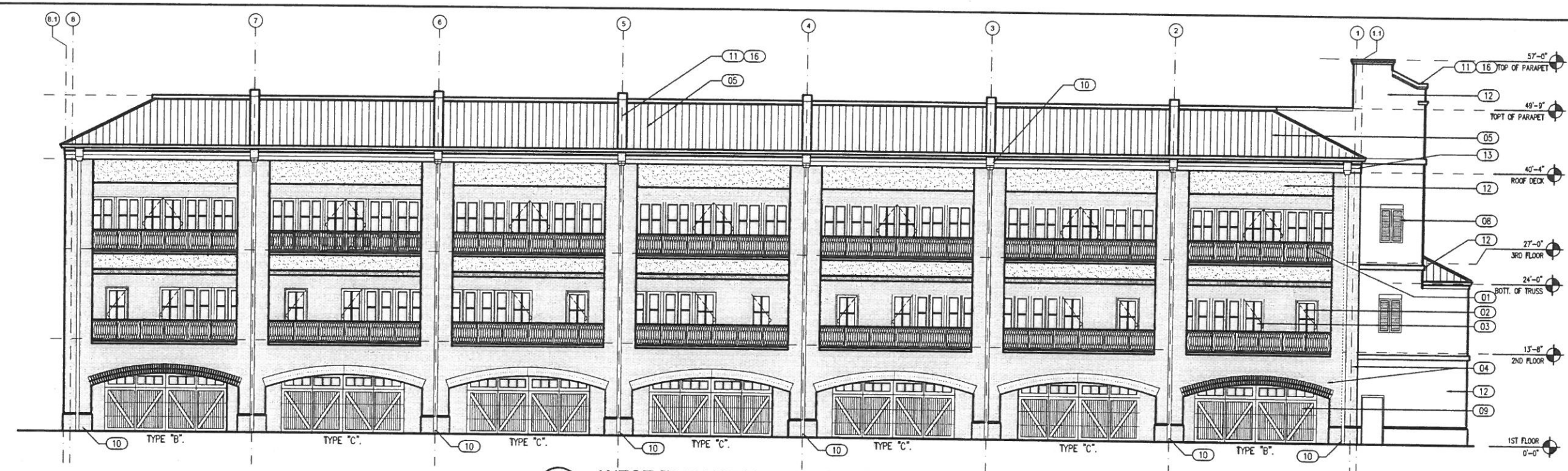
PROJECT NO. 1814

DATE : SEPTEMBER 12, 2019

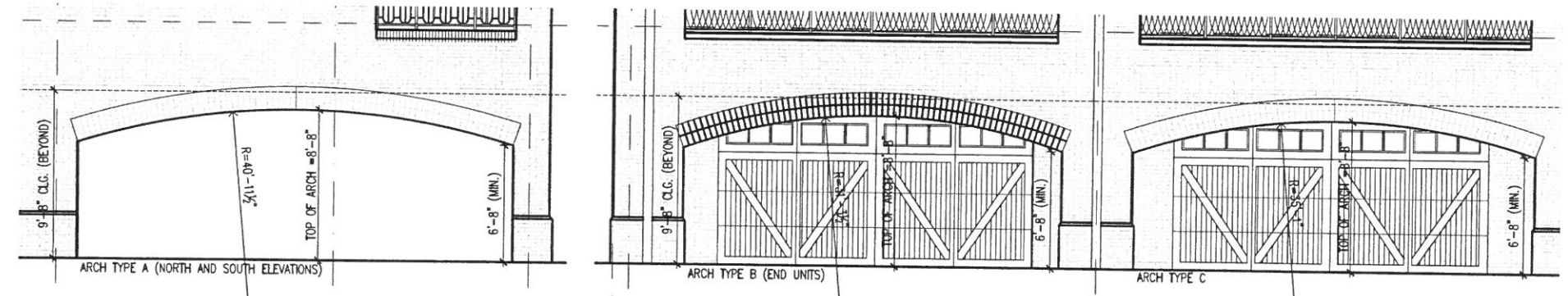
SHEET TITLE :
**EXTERIOR
ELEVATIONS
BUILDING "A"**

SHEET NO. :

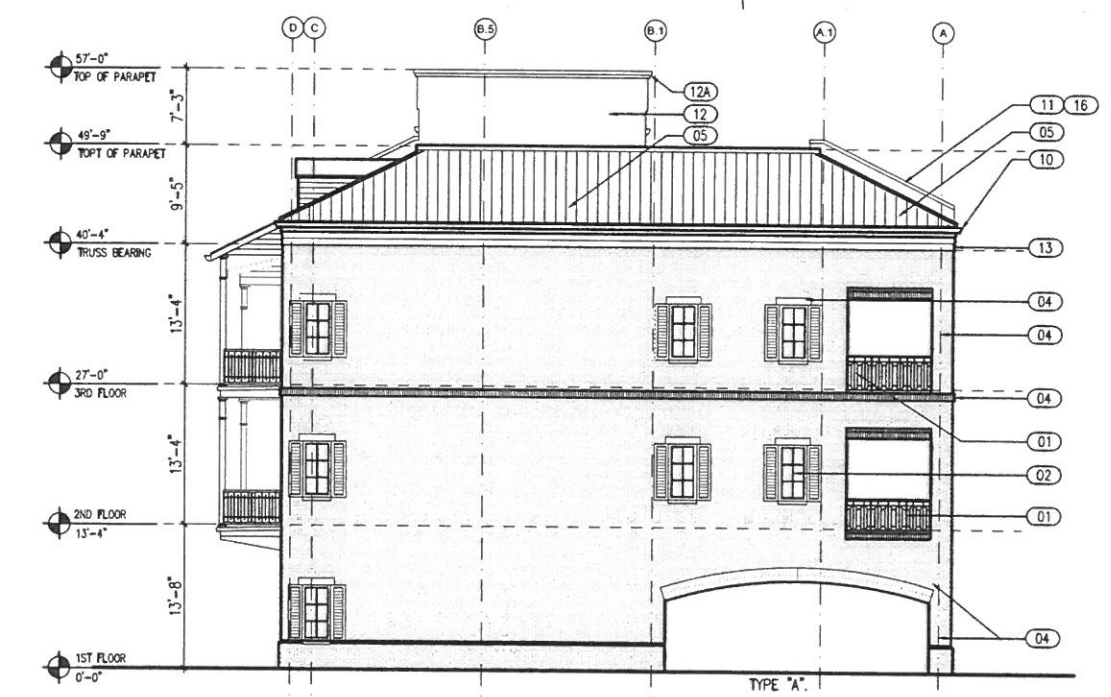
AA-202



2 WEST ELEVATION - BUILDING "A"
AA-202 SCALE: 1/8" = 1'-0"



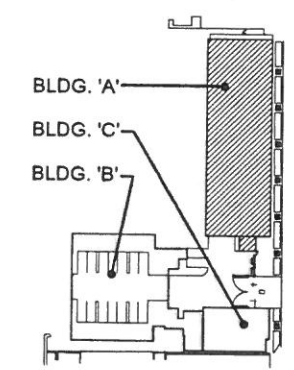
3 TYPICAL BRICK ARCH TYPES
AA-202 SCALE: 1/4" = 1'-0"



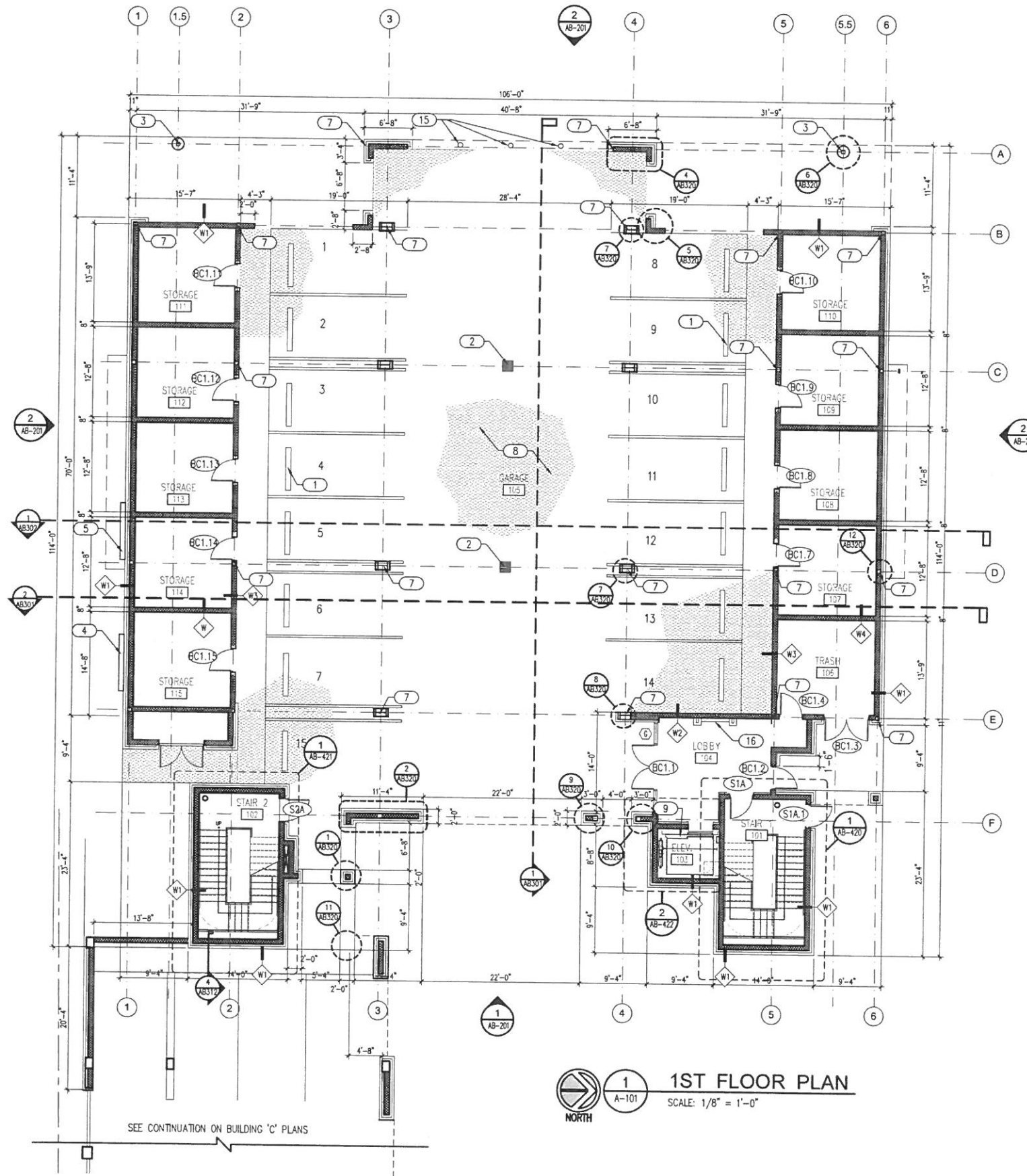
1 NORTH ELEVATION - BUILDING "A"
AA-202 SCALE: 1/8" = 1'-0"

KEY NOTES :

- 01 ALUMINUM RAILING SYSTEM.
- 02 ALUMINUM CLAD WINDOW SYSTEM.
- 03 ALUMINUM CLAD ENTRY DOOR SYSTEM.
- 04 BRICK VENEER WALLS, COLUMNS & ARCHES/HEADERS.
- 05 STANDING SEAM METAL ROOF SYSTEM.
- 06 WOOD BRACKETS AND SUPPORTS.
- 07 STEEL COLUMN & SUPPORTS.
- 08 COMPOSITE GLASS-FIBER FIXED SHUTTERS & PANELS.
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- 11 PRE-FINISHED METAL COPING.
- 12 STUCCO SYSTEM.
- 13 FASCIA TRIM.
- 14 LIGHT FIXTURES.
- 15 DORMER WITH FALSE LOUVER.
- 16 PARAPET WALL.



KEYPLAN
NO SCALE



1 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

SEE CONTINUATION ON BUILDING 'C' PLANS

GENERAL NOTES: *smp.*

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL BUILDING, WALL SECTIONS AND SLAB ELEVATION HEIGHTS INFORMATION.
4. SEE CIVIL DRAWINGS FOR CURB AND SIDEWALK INFORMATION.
5. COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL, MECHANICAL & FIRE PROTECTION DRAWINGS.

SMP Architecture, P.A.
 40 S PALAFOX STREET - SUITE 202
 PENSACOLA, FLORIDA 32504 P: 850.432.1772
 www.smp-arch.com AAC011623

KEYNOTES:

- 1 RUBBER PARKING STOP (TYP.)
- 2 STORM DRAIN - SEE CIVIL DRAWINGS
- 3 CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS
- 4 ELECTRICAL METERS - SEE ELECTRICAL DRAWINGS
- 5 GAS METERS - SEE PLUMBING DRAWINGS
- 6 LINE OF FLOOR ABOVE
- 7 STEEL COLUMN - SEE STRUCTURAL DRAWINGS
- 8 CONCRETE PAVERS
- 9 ELEVATOR
- 10 ORNAMENTAL METAL GUARDRAIL
- 11 GLASS GUARDRAIL
- 12 FAUX COMPOSITE SHUTTER
- 13 LIQUID-APPLIED WATERPROOF MEMBRANE
- 14 LIQUID APPLIED TRAFFIC BEARING W.P. MEMBRANE
- 15 6" DIAMETER X 48" H. STEEL PIPE BOLLARD FILLED WITH GROUT.
- 16 PREFABRICATED MAILBOX UNITS.
- 17 TILE ON WATERPROOFING SYSTEM.

Listen. Interpret. Translate.

CERTIFICATION:

ADMIRAL'S ROW Building "B"

South Palafox Street
 Pensacola, Florida

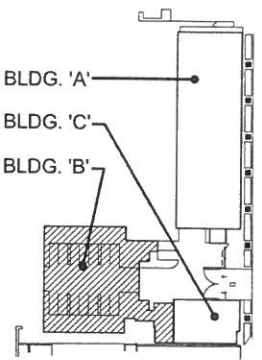
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REVISIONS:

WALL LEGEND:

- CONCRETE STRUCTURE.
- C.M.U. WALL CONSTRUCTION.
- BRICK VENEER / AIR SPACE C.M.U. WALL CONSTRUCTION.
- BRICK VENEER / AIR SPACE METAL STUD WALL CONSTRUCTION.
- (NON-RATED) G.M.S. WALL CONSTRUCTION
- (1HR FIRE RATED) WALL CONSTRUCTION AS SCHEDULED.
- (2HR FIRE RATED) WALL CONSTRUCTION AS SCHEDULED.

95% Submittal
 October 3, 2019

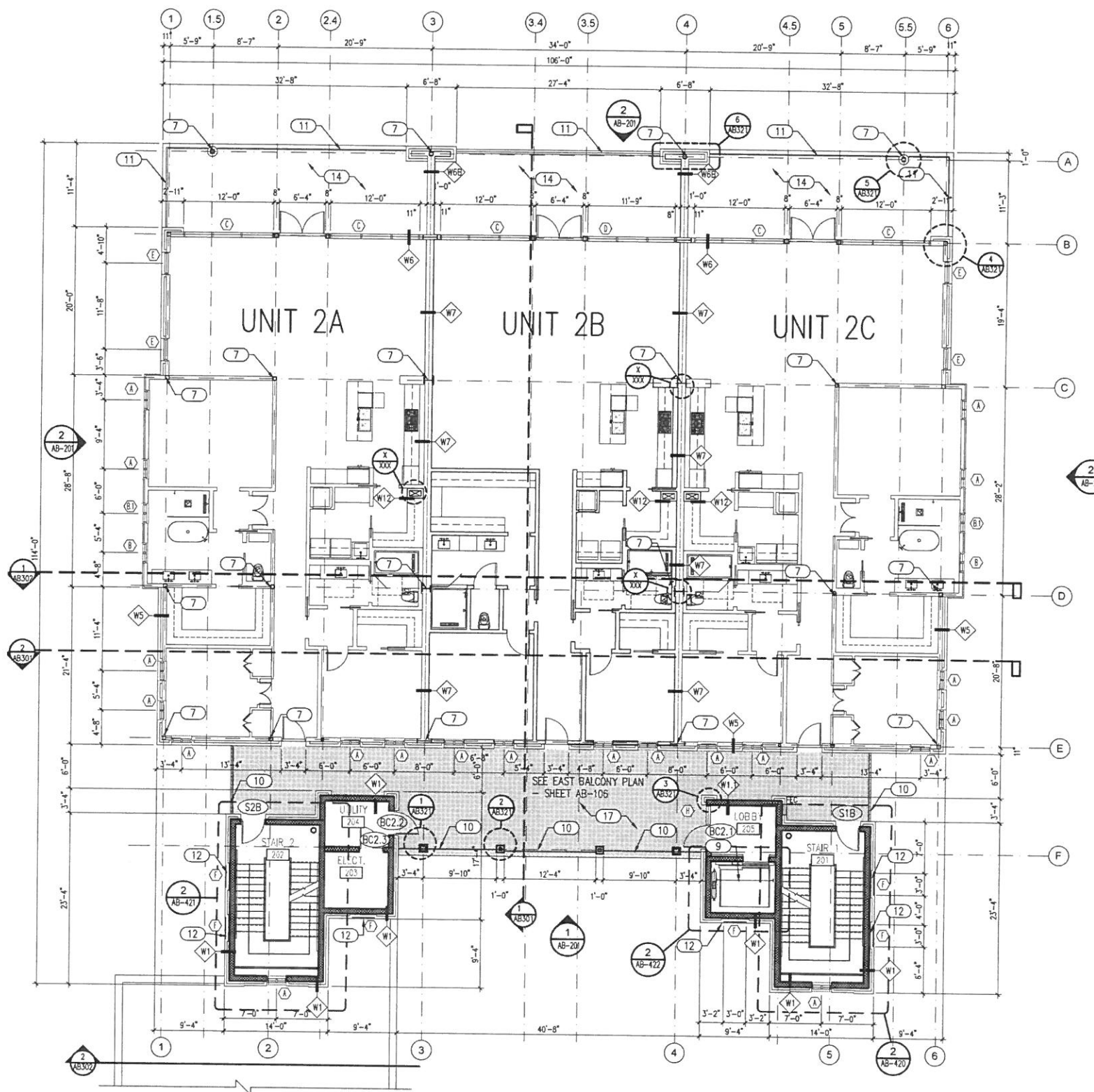


PALAFOX STREET



DRAWN BY: RAP
 CHECKED BY: ppp
 PROJECT NO. 1814
 DATE: SEPTEMBER 12, 2019
 SHEET TITLE:
1ST FLOOR PLAN
 SHEET NO.:

AB-101



1 2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

GENERAL NOTES: smp.

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
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4. SEE CIVIL DRAWINGS FOR CURB AND SIDEWALK INFORMATION.
5. COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL, MECHANICAL & FIRE PROTECTION DRAWINGS.

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KEYNOTES:

- 1 RUBBER PARKING STOP (TYP.)
- 2 STORM DRAIN - SEE CIVIL DRAWINGS
- 3 CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS
- 4 ELECTRICAL METERS - SEE ELECTRICAL DRAWINGS
- 5 GAS METERS - SEE PLUMBING DRAWINGS
- 6 LINE OF FLOOR ABOVE
- 7 STEEL COLUMN - SEE STRUCTURAL DRAWINGS
- 8 CONCRETE PAVERS
- 9 ELEVATOR
- 10 ORNAMENTAL METAL GUARDRAIL
- 11 GLASS GUARDRAIL
- 12 FAUX COMPOSITE SHUTTER
- 13 LIQUID-APPLIED WATERPROOF MEMBRANE
- 14 LIQUID APPLIED TRAFFIC BEARING W.P. MEMBRANE
- 15 6" DIAMETER X 48" H. STEEL PIPE BOLLARD FILLED WITH GROUT.
- 16 PREFABRICATED MAILBOX UNITS.
- 17 TILE ON WATERPROOFING SYSTEM.

Listen. Interpret. Translate.
 CERTIFICATION:

**ADMIRAL'S
 ROW
 Building "B"**

South Palafox Street
 Pensacola, Florida

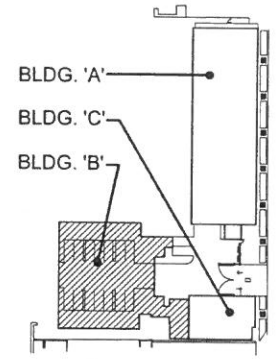
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REVISIONS:

WALL LEGEND:

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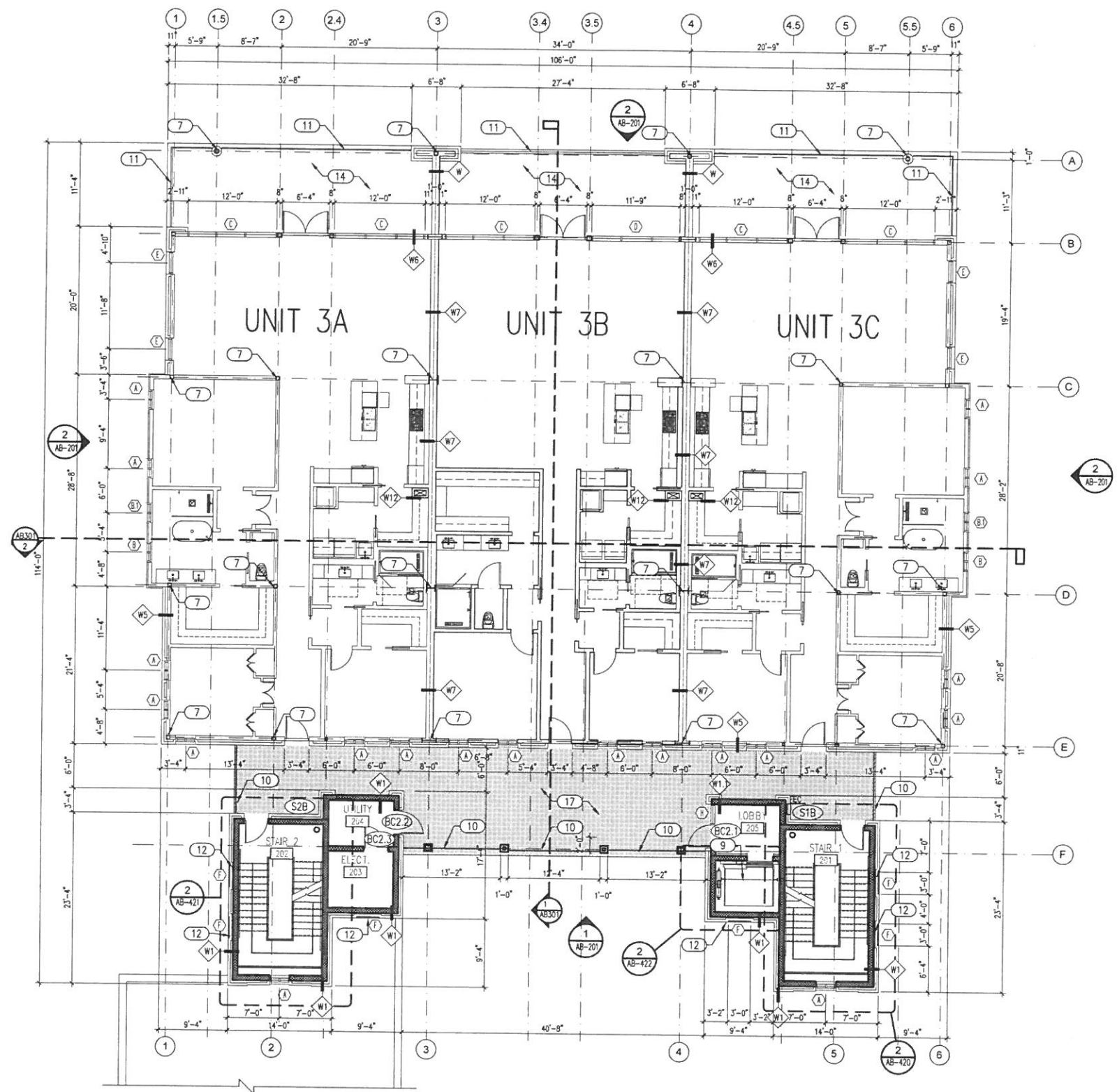
95% Submittal
 October 3, 2019



KEYPLAN
 NO SCALE

DRAWN BY: RAP
 CHECKED BY: PDP
 PROJECT NO. 1814
 DATE: SEPTEMBER 12, 2019
 SHEET TITLE:
**2ND FLOOR
 PLAN**
 SHEET NO.:

AB-102



1
AB-103
3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES: smp.

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
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4. SEE CIVIL DRAWINGS FOR CURB AND SIDEWALK INFORMATION.
5. COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL, MECHANICAL & FIRE PROTECTION DRAWINGS.

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KEYNOTES:

- 1 RUBBER PARKING STOP (TYP.)
- 2 STORM DRAIN - SEE CIVIL DRAWINGS
- 3 CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS
- 4 ELECTRICAL METERS - SEE ELECTRICAL DRAWINGS
- 5 GAS METERS - SEE PLUMBING DRAWINGS
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- 15 6" DIAMETER X 48" H. STEEL PIPE BOLLARD FILLED WITH GROUT.
- 16 PREFABRICATED MAILBOX UNITS.
- 17 TILE ON WATERPROOFING SYSTEM.

Listen. Interpret. Translate.
CERTIFICATION:

**ADMIRAL'S
ROW
Building "B"**

South Palafox Street
Pensacola, Florida

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REVISIONS:

WALL LEGEND:

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- BRICK VENEER / AIR SPACE C.M.U. WALL CONSTRUCTION.
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- (1HR FIRE RATED) WALL CONSTRUCTION AS SCHEDULED.
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95% Submittal
October 3, 2019

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CHECKED BY: ppp

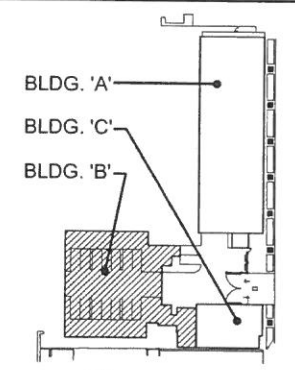
PROJECT NO. 1814

DATE: SEPTEMBER 12, 2019

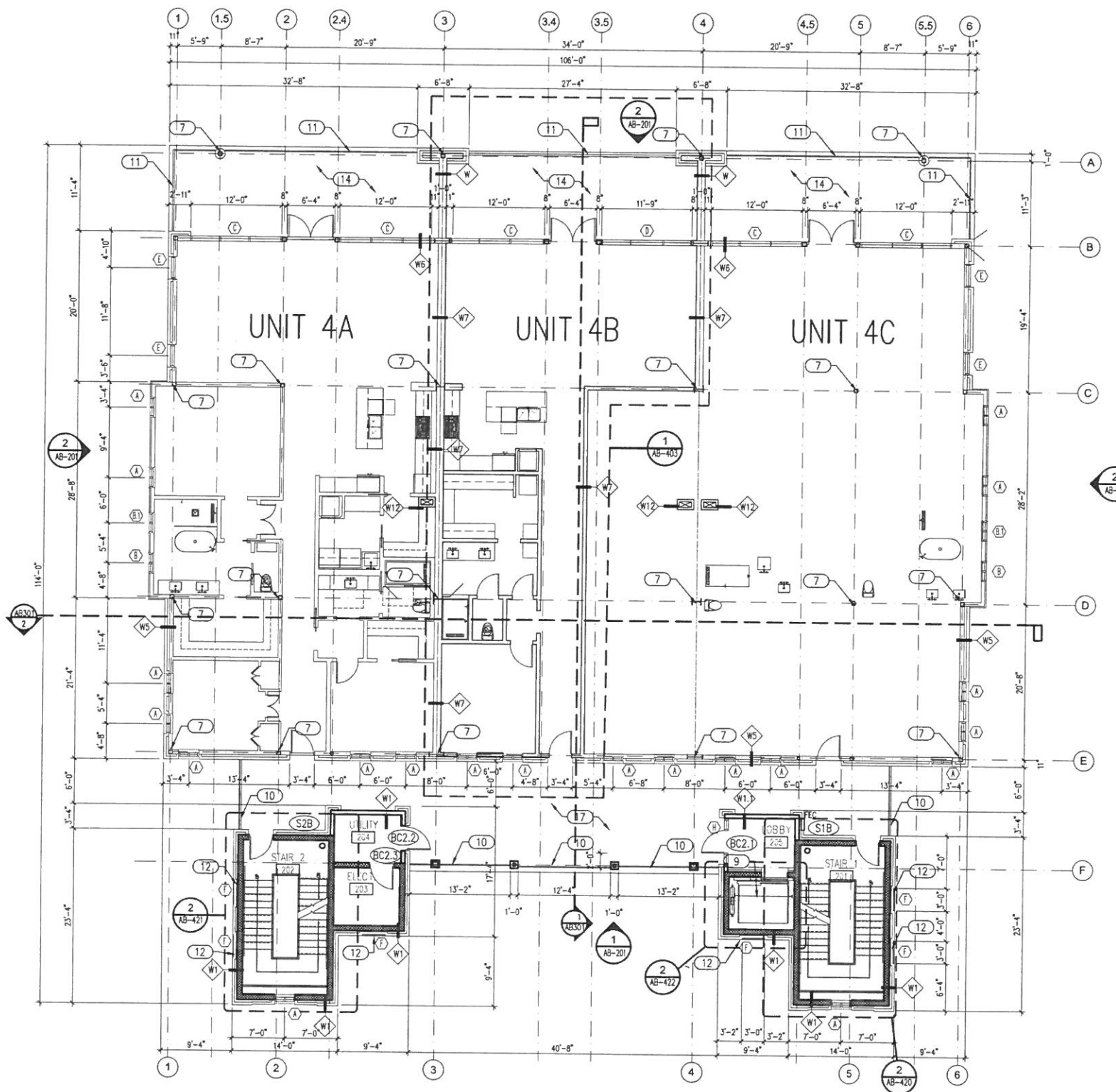
SHEET TITLE:
**3RD FLOOR
PLAN**

SHEET NO.:

AB-103



KEYPLAN
NO SCALE



1 4TH FLOOR PLAN
 AB-104 SCALE: 1/8" = 1'-0"
 NORTH

GENERAL NOTES: smp.

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
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KEYNOTES:

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- 17 TILE ON WATERPROOFING SYSTEM.

Listen. Interpret. Translate.
 CERTIFICATION :

ADMIRAL'S ROW Building "B"

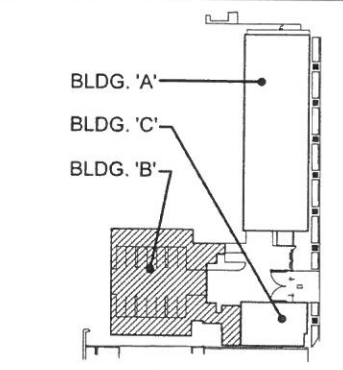
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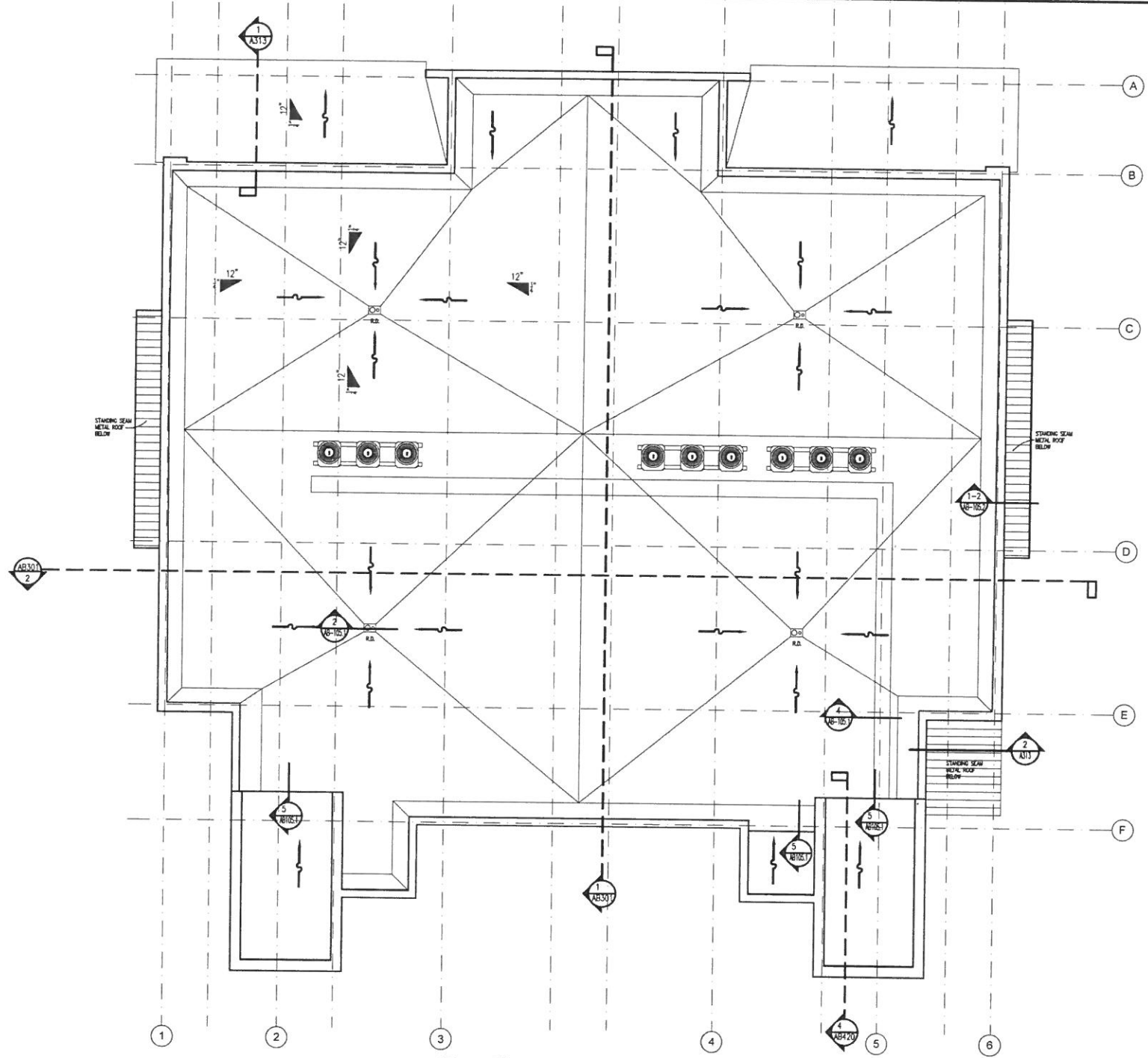
REVISIONS :



95% Submittal
 October 3, 2019

DRAWN BY : RAP
 CHECKED BY : pdp
 PROJECT NO. 1814
 DATE : SEPTEMBER 12, 2019
 SHEET TITLE :
 4TH FLOOR PLAN
 SHEET NO. :

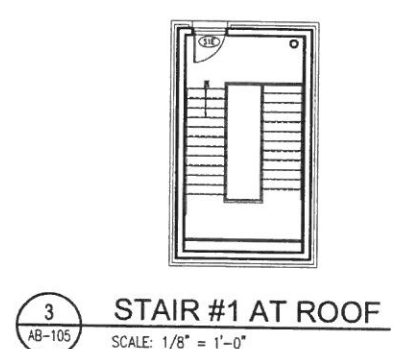
AB-104



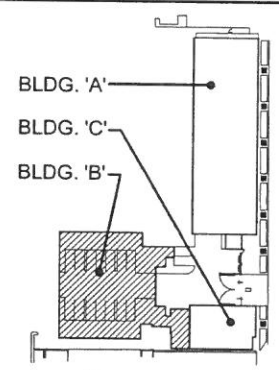
1 ROOF PLAN
 AB-105 SCALE: 1/8" = 1'-0"
 NORTH



2 STAIR #2 AT ROOF
 AB-105 SCALE: 1/8" = 1'-0"



3 STAIR #1 AT ROOF
 AB-105 SCALE: 1/8" = 1'-0"



KEYPLAN
 NO SCALE

Listen. Interpret. Translate.
 CERTIFICATION :

**ADMIRAL'S
 ROW
 Building "B"**

South Palafox Street
 Pensacola, Florida

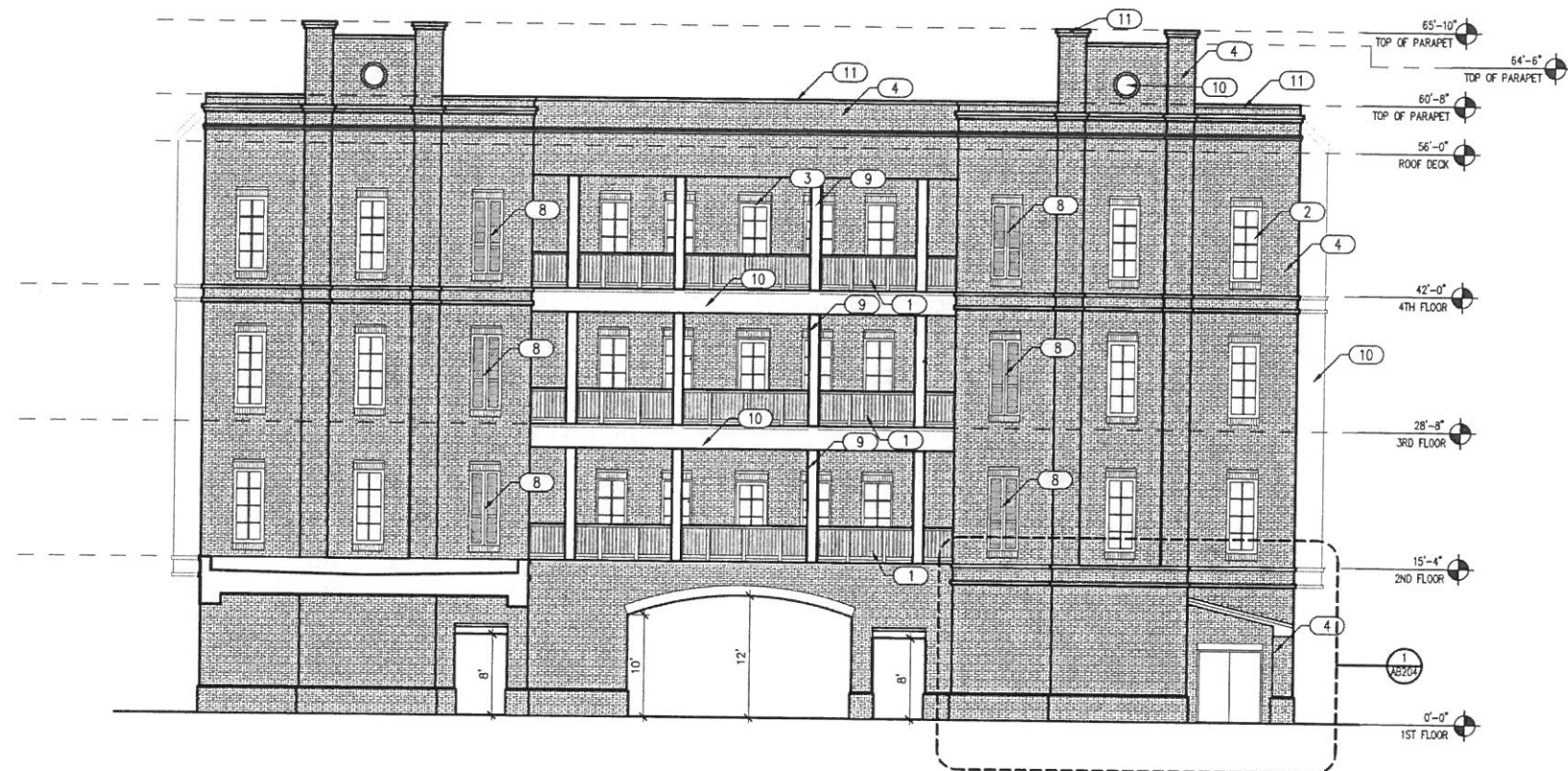
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REVISIONS :

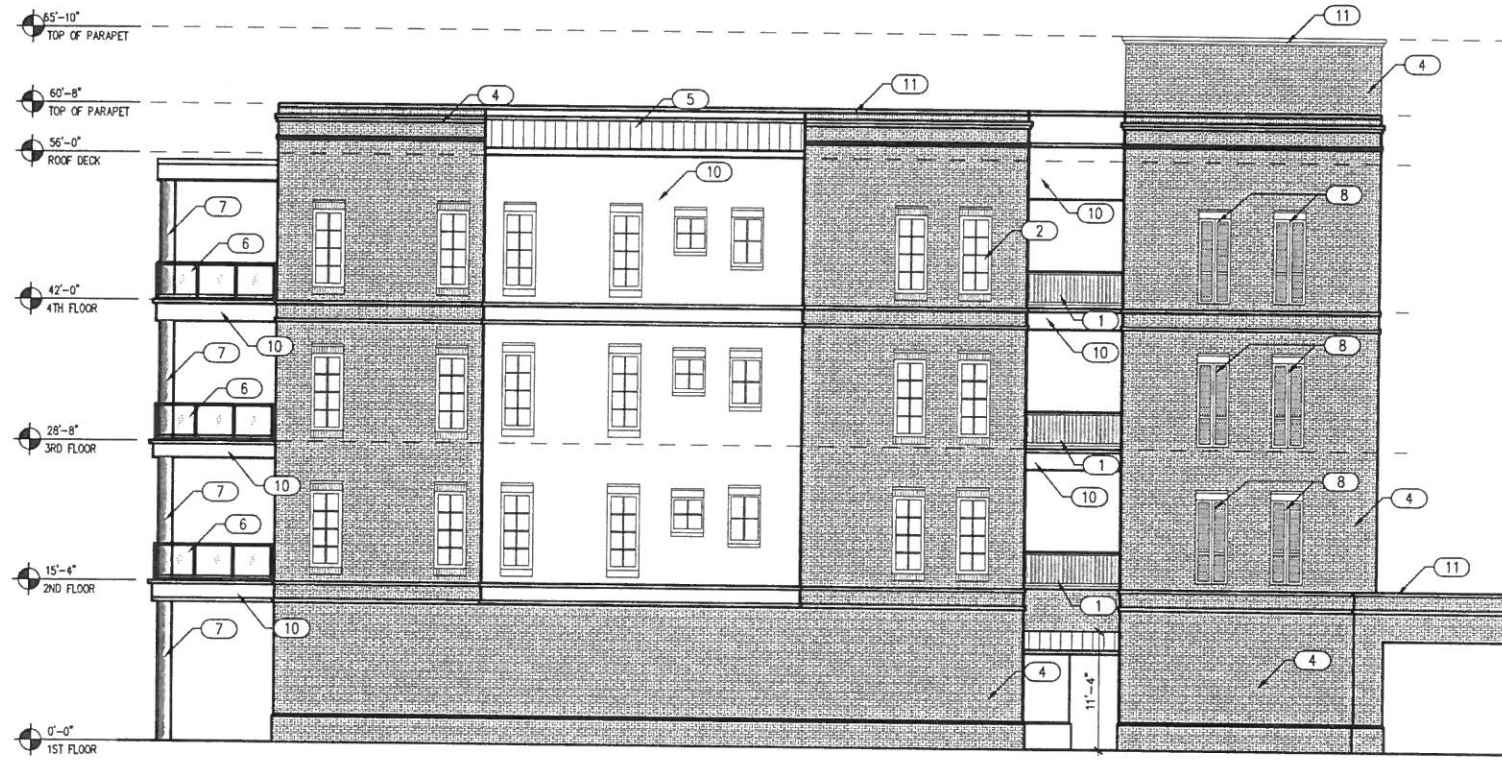
95% Submittal
 October 3, 2019

DRAWN BY :	RAP
CHECKED BY :	pdp
PROJECT NO.	1814
DATE :	SEPTEMBER 12, 2019
SHEET TITLE :	ROOF PLAN
SHEET NO. :	

AB-105



1 EAST ELEVATION - PALAFOX STREET - BUILDING "B"
 AB-201 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - BUILDING "B"
 AB-201 SCALE: 1/8" = 1'-0"

KEY NOTES :

- (01) ALUMINUM RAILING (PATTERN T.B.D.)
- (02) ALUMINUM WINDOW (TYP.)
- (03) ALUMINUM ENTRY DOOR (TYP.)
- (04) BRICK VENEER
- (05) STANDING SEAM METAL ROOF
- (06) GLASS RAILING
- (07) STUCCO ON CONCRETE COLUMN.
- (08) COMPOSITE FIXED SHUTTER.
- (09) STUCCO ON FRAMED COLUMN.
- (10) STUCCO SYSTEM.
- (11) PRE-FINISHED METAL COPING.

smp.
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Listen. Interpret. Translate.
 CERTIFICATION :

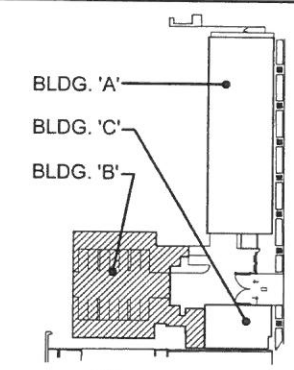
**ADMIRAL'S
 ROW
 Building "B"**

South Palafox Street
 Pensacola, Florida

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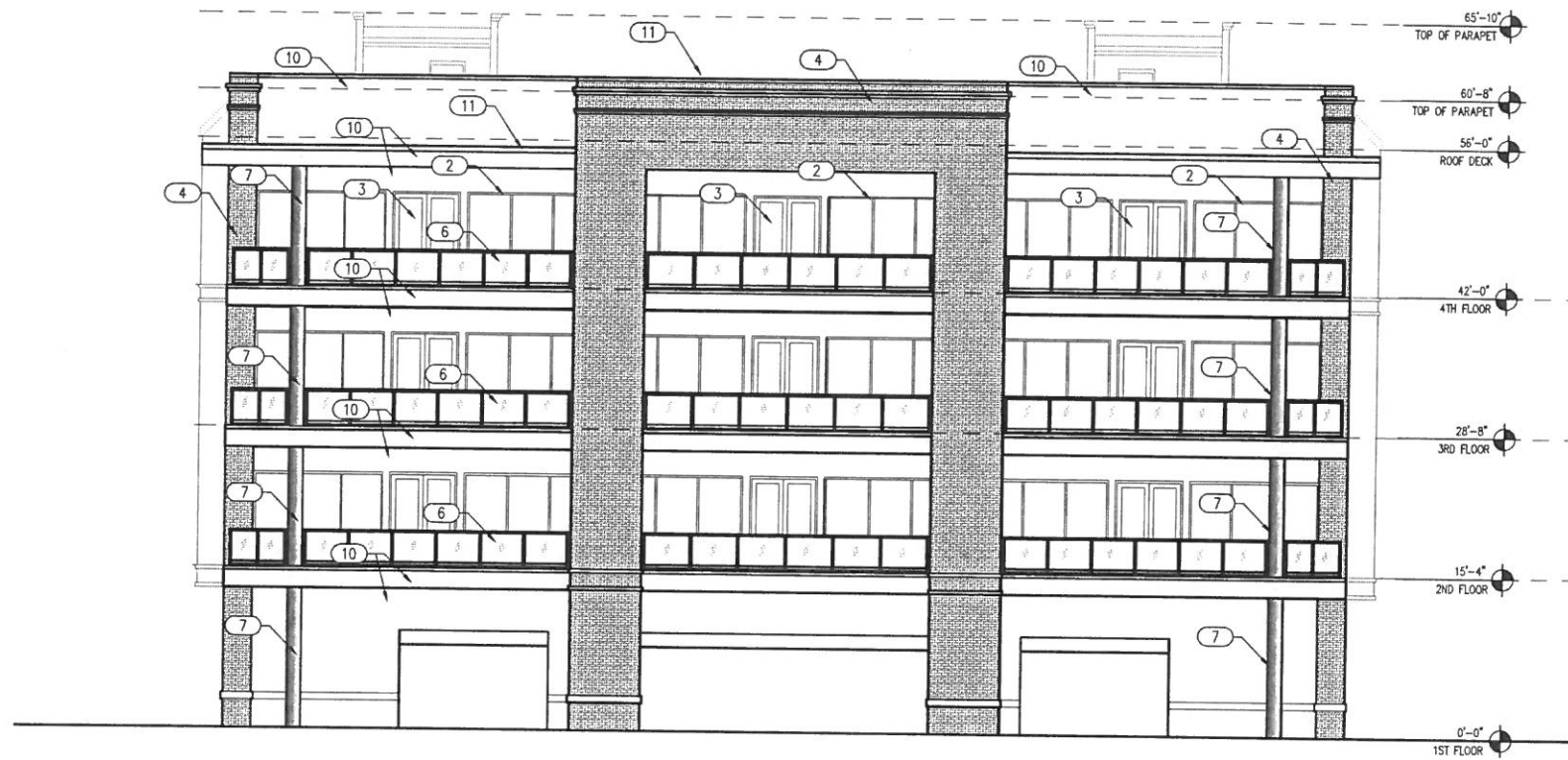
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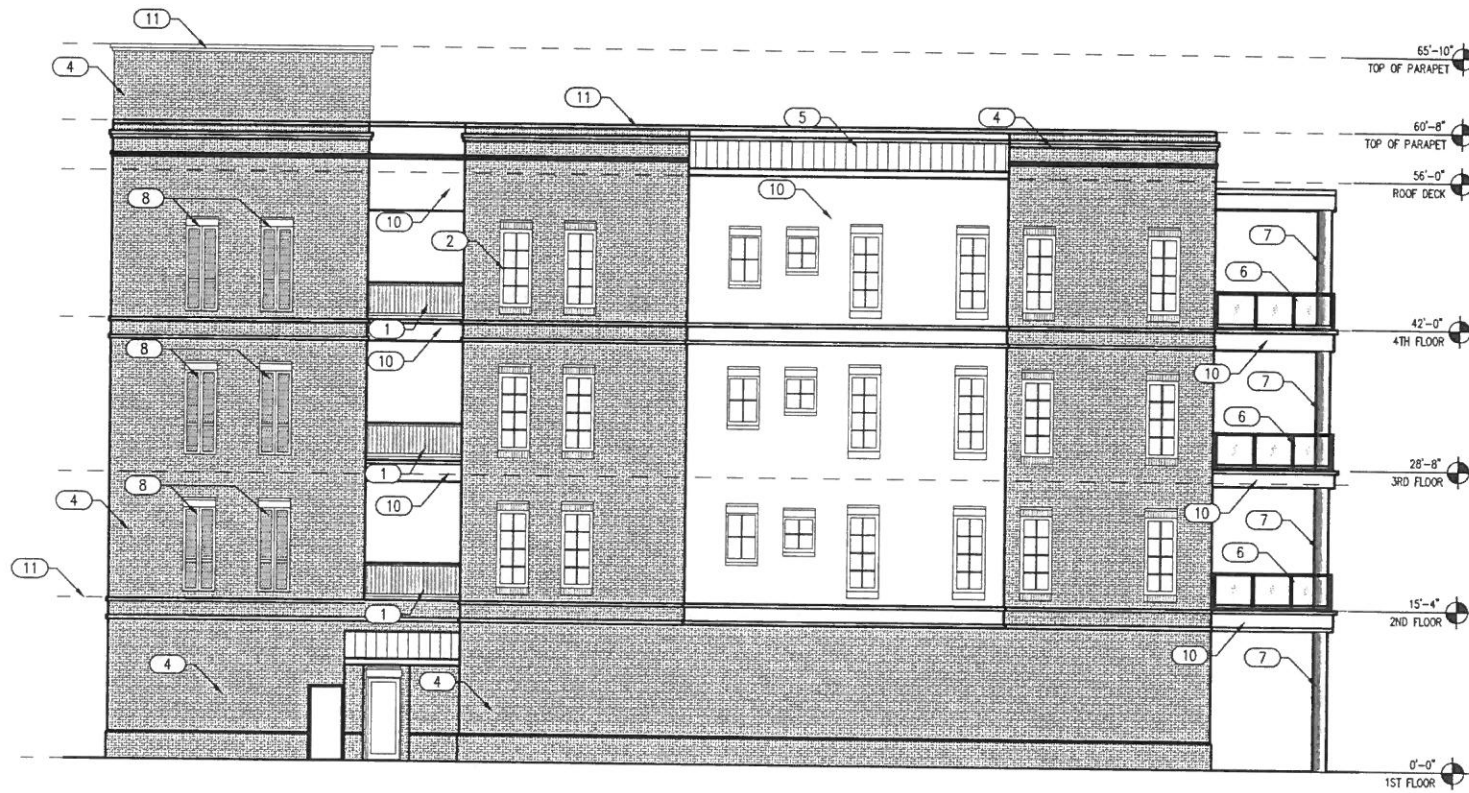
KEYPLAN
 NO SCALE

DRAWN BY : RAP
 CHECKED BY : pdp
 PROJECT NO. 1814
 DATE : SEPTEMBER 12, 2019
 SHEET TITLE :
**EXTERIOR
 ELEVATIONS
 BUILDING "B"**
 SHEET NO. :

AB-201



1 WEST ELEVATION - BUILDING "B"
 AB-202 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING "B"
 AB-202 SCALE: 1/8" = 1'-0"

KEY NOTES :

- (01) ALUMINUM RAILING (PATTERN T.B.D.)
- (02) ALUMINUM WINDOW (TYP.)
- (03) ALUMINUM ENTRY DOOR (TYP.)
- (04) BRICK VENEER
- (05) STANDING SEAM METAL ROOF
- (06) GLASS RAILING
- (07) STUCCO ON CONCRETE COLUMN.
- (08) COMPOSITE FIXED SHUTTER.
- (09) STUCCO ON FRAMED COLUMN.
- (10) STUCCO SYSTEM.
- (11) PRE-FINISHED METAL COPING.

smp.

SMP Architecture, P.A.
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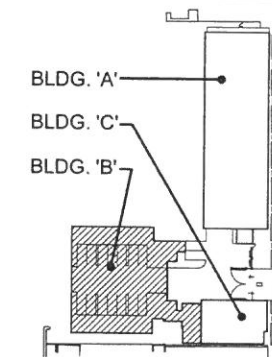
SHEET TITLE :

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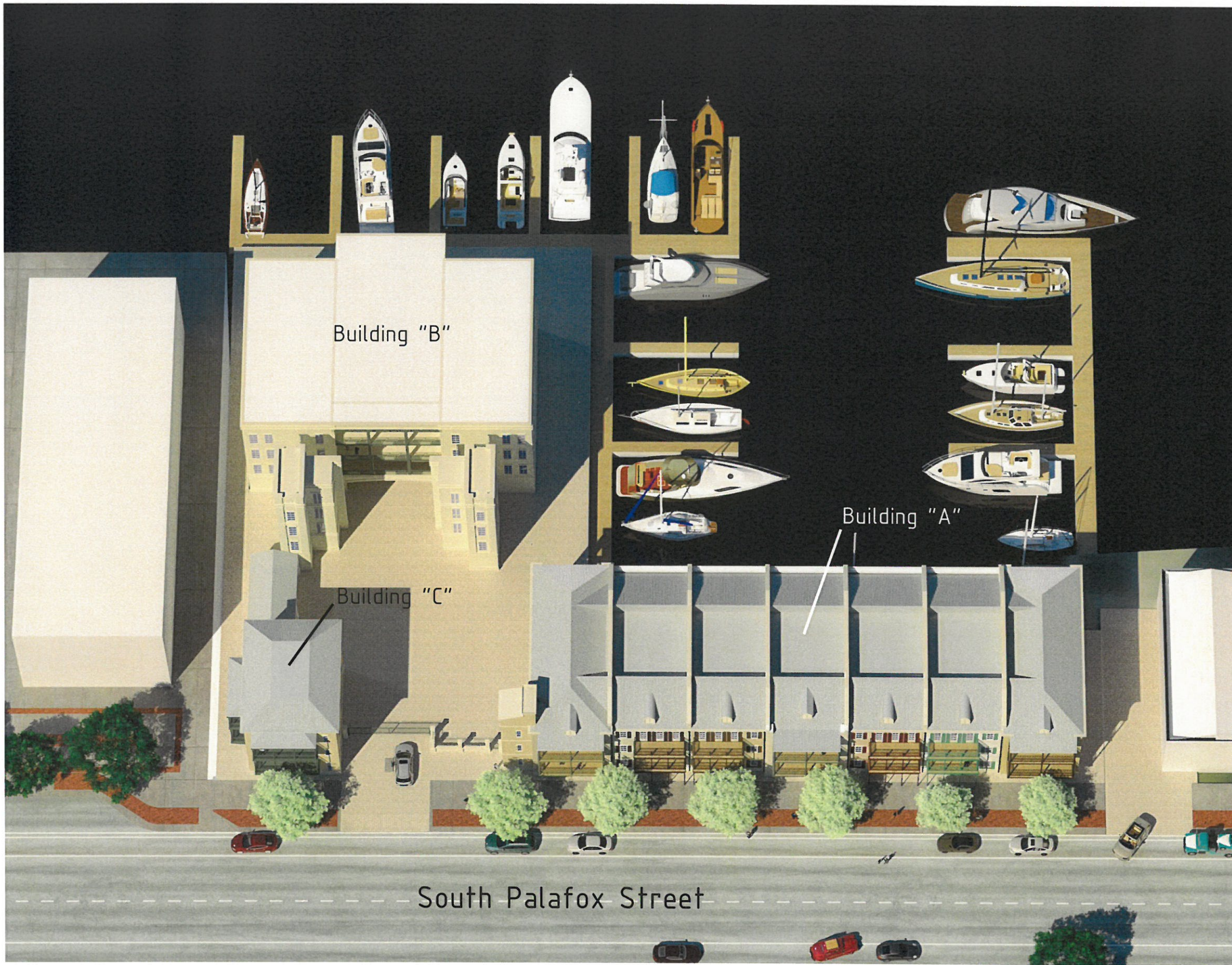
SHEET NO. :

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KEYPLAN
 NO SCALE





South Palafox Elevation



Building "A" looking south on Palafox



View at Palafox Entry Gate



LOOKING WEST



LOOKING NORTH-NORTHWEST



LOOKING SOUTH



LOOKING WEST - NORTHWEST

