

VARIANCE APPEAL: If denied a variance by the Board, the petitioner has thirty (30) days from the date of the meeting to appeal the decision in accordance with Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally, aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Planning Services Division and Attorney of the City of Pensacola must be notified in writing of an appeal within five (5) days of the application being made to the Circuit Court. If the Planning Services Division and City Attorney have not received a copy of the notice of appeal within thirty-five (35) days of the date of the meeting at which the variance was denied, the petitioner shall be notified by the Building Official that they have ten (10) days to remove or correct the violation.



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

January 16, 2020

MEMBERS PRESENT: Chairperson Quina, Vice Chairperson Crawford, Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter, Board Member Villegas

MEMBERS ABSENT: None

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Assistant City Attorney Lindsay, Intern Mendillo, Assistant Planning Director Cannon, Digital Media Coordinator Siedah Rosa

OTHERS PRESENT: Elsie Zhang, Lissa Dees

CALL TO ORDER / QUORUM PRESENT

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present and explained the Board procedures to the audience.

APPROVAL OF MINUTES

Board Member Crawford made a motion to approve the December 19, 2019 minutes, seconded by Board Member Villegas, and it carried unanimously. Board Member Fogarty made a motion to approve the minutes of the special meeting tour on January 10, 2020, seconded by Board Member Campbell-Hatler, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 1

1304 N. Barcelona Street

NHPD

Contributing Structure

PR-1AAA

Action taken: Approved.

Scott Sallis, Dalrymple Sallis Architecture, is requesting modifications to a recently approved project.

Mr. Sallis presented to the Board and explained the proposed changes were simplified due to construction costs but felt it warranted returning to the Board for approval. Chairperson

Quina noted that North Hill had no objections to the request. He asked about the materials for the pergola, and Mr. Sallis advised they were most likely wood. Board Member Mead addressed the tree cutting, and Mr. Sallis stated the neighborhood association had met and had given their concerns. It was determined the tree cutting involved Laurel oaks, and everyone was on board. He further explained the trees coming out were near the pool, and they were planting far more trees than they were removing. It was determined the pergola was open to the sky with aluminum slats. Chairperson Quina asked about the security from the house to the pool. Mr. Sallis stated the pool contractor would be addressing this. He also advised there was a new connection from the porch to the master suite since the windows leaked horribly. **Board Member Crawford made a motion to approve, seconded by Board Member Mead, and it carried unanimously.**

Item 2 **1 S. Jefferson Street** **PHBD**
Non-Contributing Structure **C-2A**

Action taken: Approved (awning not included).

Lissa Dees, Downtown Improvement Board (DIB), is requesting approval for a “Puppy Pit Stop” along the south side of the Jefferson Street parking garage.

Ms. Zhang and Ms. Dees presented to the Board and stated the dog area would be open with the dogs on leashes. The no parking zone would be painted to expand the sidewalk area with planters to protect pedestrians from the vehicles. Some of the furniture and amenities would be offered in the second phase.

Chairman Quina pointed out it was an interesting way to enliven that corner, and it was a shame they couldn’t raise the curb to make it all level. It was determined the funding came from the DIB. Board Member Mead asked if there was some manner where they could attach leashes, possibly installing rails to give for more freedom for the animals and the owners; it might also be a good architectural addition. Board Member Campbell-Hatler asked about the cleanup plan, and Ms. Dees stated the DIB had hired a company for street cleaning who would add this to their regular routine. Ms. Zhang advised there would be a waste station, and the turf was designed to keep the solid waste on top of the turf for easier cleaning.

Board Member Villegas was concerned about safety and asked about the shrubs which were determined to be in the first phase. She was concerned with the presence of the dogs and how people deal with them and how this would all play out. She liked the idea of attaching the leash to something and asked if there could be a gate on the entrance if needed; she wanted to know the quick fix for any potential problems. Ms. Dees advised when Southtowne was proposed, there was a dog park, but that had been mitigated. There were now areas to avoid, and they were trying to provide an area for the downtown pets. She also explained they were working within the budget they currently have, and a gate might be affordable at a later date. She indicated the traffic flow was a part of Public Works, and they had not commented on the need for a change.

Ms. Zhang stated they would use the same screening as the rear of Jefferson garage, and the awning cover was within Phase 2. They considered the retractable awning for the tight space and hurricane conditions. Advisor Pristera asked about the lighting, and Ms. Dees advised the lighting on the inside had been converted to LEDs, and the domes would be replaced to make it brighter. She also explained there were lots of security cameras around

the parking garage. Board Member Salter asked about the size of the in-ground waste disposal, and it was determined to be around 24” to 36” but it would be a regular size container buried in the ground. Board Member Campbell-Hatler was concerned about the shade and suggested “lollipop” trees, and Ms. Dees stated she would be asking Council about the Tree Fund monies. **Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Crawford. Board Member Salter made an amendment to state the awning was not included, and it was accepted and seconded. With no speakers, the motion carried unanimously.**

Item 3 **412 E. Belmont Street** **OEHPD**
Contributing Structure **OEHC-1**

Action taken: Approved with abbreviated reviews.

Jesse LaCoste, LaCoste Construction Group, is seeking *final* approval for a rear addition and exterior modifications to a contributing structure.

Mr. LaCoste addressed the Board and stated the siding color was aqua, windows and doors would be a deep espresso stain, the iron fixtures would be black, and trim color would be white. Chairperson Quina advised from the onsite visit, the actual ceiling height upstairs seemed adequate, but the problem was the ceiling height over the stairwell. Mr. LaCoste stated raising one roof line above the other created the need to raise the whole roof for the best visual.

Advisor Pristera stated it seemed to be a lot of expense to raise the roof for two rooms and a bathroom, and with a deep lot it might be better to construct an addition on the rear and not deal with the stairs and raising the roof; he explained this was not a preservation project. Mr. LaCoste stated the deep structural work was caused by the Code, and once they did the structural alterations, it became a Level 3 alteration. Advisor Pristera felt the lot was wide enough for other things. Mr. LaCoste stated the house was actually twisted, and according to the boundary, the rear of the left elevation was actually diving into the property line; he did not have as much room to build in the rear as it seemed. The Board then discussed other methods to obtain the needed height. Mr. Scapechi, the engineer, explained that Mr. Weekley pointed to a structural beam which holds up the second floor which is below the head height, and it could not be raised. Chairperson Quina asked how significant this house was, and Advisor Pristera stated it was unique to Old East Hill and significant to them. Staff stated Old East Hill had provided comments when the project was presented for conceptual review. Mr. LaCoste indicated they wanted to keep the structure the same, but it would be taller. Staff handed out the prior Old East Hill comments to the Board for consideration. It was determined the age for construction of the house was the 1890s, and Old East Hill wanted to maintain the gothic influence and details with a single front door and sidelights; Mr. LaCoste was agreeable to these suggestions.

Chairperson Quina appreciated the fact they were trying to preserve the structure, and adding 2’ was minimal in saving the house. Mr. Weekley then explained to the Board that the foundation was a must, the head level at the stairs would have to come to Code, it was a Level 3 alteration, and he would need reports for historical repairs. He pointed out the foundation would not be done from the crawl space, and all flooring would be removed even to level the foundation. In just walking across the flooring, he could see there were some serious issues. He advised the east side appeared to be an add-on with multiple

piers at one location which was the point where it was beginning to sag. He explained they were basically building a new house from inside out. Advisor Pristera agreed this structure needed work. Board Member Campbell-Hatler asked what aesthetic quality would the structure have in the end with all the required changes and would it be better to take it down. Mr. LaCoste explained they had factored in enough to build what they proposed, and since his name would be attached to this home, it would be built with certain standards. Board Member Mead addressed the lack of fenestration on the rear, and Board Member Crawford suggested a window on the new rear elevation.

Board Member Mead made a motion to approve with the following modifications: 1) that the dormer on the west side have a double gang of square windows or a single square window consistent with the other square windows on that elevation; 2) in the addition, that the window over the top be modified to fit one of the component windows on the main body of the house to be submitted for abbreviated review; 3) on the rear elevation the door be shifted to the left to accommodate the retention of the double gang windows – he was fine with the deletion of the single window to the left of that side, and that some type of appropriate fenestration be placed in the rear elevation wall to give it some relief and more light in the bathroom which could be in an abbreviated review. (It was clarified that it was the door on the upper level of the rear elevation. It was also noted the Board preferred the single door on A2.2.) Board Member Crawford seconded the motion. Board Member Salter amended the motion to ensure all of the eaves, overhangs, and rakes of the new addition matched the profiles of the existing. The amendment was accepted and seconded, and the motion carried unanimously.

Item 4

200 W. Jackson Street

NHPD

Contributing Structure

PR-2

Action taken: Approved.

James and Michelle English are requesting a *Variance* to increase the maximum allowed rear yard coverage from 25% (625 sf) to 27.36% (684 sf) to accommodate a detached garage with second-story living quarters.

Mr. English presented to the Board, and Chairperson Quina stated he appreciated the applicant returning to the Board and addressing its concerns. Board Member Mead pointed out the house originally comprised a parcel which included the lot behind it, so with respect to the current Code, the existing house is built well into the rear setback line which is part of the percentage problem. Historic Preservation Planner Harding advised the Board had approved the removal of the existing stairs but 175 sq. ft. of the house still encroached into the rear; he explained they were able to occupy 625 sq. ft. and they were asking for 684 sq. ft. If the building had been built within its own setbacks, a variance would not be necessary. **Board Member Mead considered this a hardship, and the applicant should get credit for that detail and receive the balance for that on the additional coverage for what they were requesting and moved for an approval. Board Member Crawford seconded the motion, and with no audience speakers, the motion carried unanimously.**

Item 5 **200 W. Jackson Street** **NHPD**
Contributing Structure **PR-2**

Action taken: Approved with abbreviated review.

James and Michelle English are requesting approval for exterior modifications to a contributing structure and to add a detached two-car garage with second-story living quarters.

Mr. English addressed the Board and stated the windows were changed to wood since they wanted to emulate each elevation. The steel carriage doors would be trimmed to match the house. Board Member Crawford was concerned with the steel because of extruding methods which might not have sharp edges. Mr. English advised their goal was consistency which would be addressed by the painter. He also explained the balcony was now at 4' and they wanted it to aesthetically match the house. Chairperson Quina suggested lowering the balcony windows for access. Mr. English advised they proposed to position the A/C units under the stairs. Board Member Mead addressed the awning roof over the door and suggested duplicating the bracket detail on the front porch.

Board Member Crawford made a motion to approve with the following modifications:

1) that the windows on the front and right include a 4" center trim piece which matches the main house; 2) that brackets be added to the rear elevation canopy similar to the front elevation; 3) recommended the carriage door in the plans and suggested considering fiberglass doors with a cement board overlay for sharper details. Board Member Salter amended the motion to include that the second floor windows be lowered. Board Member Mead suggested an abbreviated review for the 4" center window trim since the trim was probably a 6" trim. The amendments were accepted. Board Member Mead seconded the motion, and it carried unanimously.

(The Board then proceeded to Item 7.)

Item 6 **2 N. Palafox Street** **PHBD**
Contributing Structure **C-2A**

Action taken: Approved as art.

The UWF Historic Trust is requesting modifications to a previously approved mural. This project was denied during an Abbreviated Review due to the inclusion of the UWF Historic Trust's name and logo causing the mural to be classified as signage.

Advisor Pristera presented to the Board and explained the mural had been installed. He explained as people come into the mural program, they were trying to deal with how to place the signature on it to designate it as part of a walking trail. They will eventually have an application which visitors can follow to an information hub. He explained the key was a citation or artist's signature, and they did not intend it to be offsite advertising.

Board Member Salter explained the definition of a sign by the City of Pensacola does not distinguish or exclude not-for-profits but states any entity, and the Trust is an entity. Assistant City Attorney Lindsay stated Board Member Salter was correct. Whether this Board would want to recommend that the City look at whether the ordinance could be amended at how we define signs, the Board could recommend that review. But as the Code is currently written, the opinion by Board Member Salter was correct. Staff referred to Sec. 12-14-1 *Definitions enumerated, Sign* - Sign means any device, display or structure, or part thereof, which advertises, identifies, displays, directs or attracts attention to an

object, person, institution, organization, business, product, service, event or location by the use of words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images.

Board Member Mead suggested the Trust was the custodian of the art and what it had been approved under previously. Board Member Salter advised every image he had seen in the past did not have the logo/key. Staff advised they had looked at it as off-premise signage which was also prohibited in this district. Assistant City Attorney Lindsay explained it was public art but might not be under the City's definition because there is a designation referencing back to the Historic Trust; the logo and the wording created the sign. Board Member Campbell-Hatler explained it was more an installation piece since one would have to know what they were looking at in order to participate in the viewing and consumption of it. Board Member Mead pointed out the Gulf Coast Arts Festival had lots of signs and depictions which direct the person to the artist. Advisor Pristera stated the parking garage also had the signature of the artists. Board Member Mead felt the categories were different. Board Member Campbell-Hatler explained if it was really signage, it would be very legible and very obvious for what it was trying to advertise; she did not believe this mural was focused on selling. She pointed out if walking through a museum with earphones on, you would have to have a designation to know which pieces were in that collection. Advisor Pristera indicated the key was lending to interactive wayfinding. Board Member Mead explained the value was given by the designation, and Board Member Campbell-Hatler suggested it was out of the perimeters of advertising and believed all of the murals should have it. Board Member Salter believed the issue at hand was using the key/logo as the symbol for the wayfinding paths, but the murals being mounted to the sides of the building represented the emblem of the Historic Trust Trail and did not need the mark of the Historic Trust placed on them to mark them as a part of the historic trail. The way the Code is written does not mean it has to be a business but states "which identifies an entity" which it does. He felt there needed to be an alteration to the Code.

Board Member Mead did not feel in this context an alteration was needed because he thought a categorical distinction could be made between art and signage and that the customary nature of the identification that is spoken to in the signage is different than the customary nature of the identification that is typically the signature of the artist, or in this case, the custodian of art. Proportionally speaking, this was consistent for the signature on art where we have a matter which is in the public domain and has to be maintained by a public custodian; he suggested this was within the bounds for custom of art and did not become signage. Board Member Salter asked the difference between this mural and the mural with the logo for the East Garden District development. Advisor Pristera felt the development was using the mural to benefit them for their development, and the logo placement was also in a more prominent location. Board Member Salter stated it was still a logo of an entity and did not see a distinction between this logo and the Historic Trust logo. Board Member Mead explained they were trying to use a public domain image as signage in the same manner as the Historic Trust, but here you have the public custodian of the art and of the location putting up the historic image of the place and also indicating the custodian. Board Member Salter pointed out the image could change and at that point, anyone who wanted to become the custodian could place their image on it. Board Member Mead clarified that the Historical Trust was the real custodian of the images, and if that

custodian did not exist, those historical resources would go away. Advisor Pristera advised there was a committee to oversee donors, and it was a program for public benefit, and if they wanted their sponsorship noted, it could be placed on a website. He felt giving the key gave it legitimacy in that a larger group had reviewed this, and it was appropriate and serving a public good.

Board Member Villegas agreed with both Board members but felt some type of amendment needed to be in place to acknowledge the historical value of it and how these things are approached. Verbiage of custodianship could get the Board in trouble down the line, and she felt amending it with some acknowledgment to a historical acknowledgement within the community would be the value of the community and allowed in that context. But outside of that, signage was signage; she felt it would be changed out and could be a problem down the line. Board Member Mead explained that within an art placement, you would sign the iteration of the art, and this mural was consistent with that. Attempts to prescribe too much winnows out all the creative efforts that you could get in the play of the joints that are needed in order to be successful. Board Member Villegas pointed out there were a lot of images not owned by UWF which the Historical Trust had not handed over, and a private company could purchase them, and an amendment protected the Board in the long term.

Board Member Mead made a motion to approve as these are public art in placements which are being signed effectively by the custodian of the art in placement responsible for its erection, these should be considered as art, and insofar as they are in proportion to the typical customary signature on a piece of art, they should be approved and not considered signage. Board Member Campbell-Hatler seconded the motion. The motion carried 5 to 2 with Board Member Salter and Villegas dissenting.

**Item 7
Contributing Structure
Action taken: Approved.**

423 E. Government Street

**PHD
HC-1 / Wood Cottages**

Robin Hoban is requesting approval to remove a chimney.

Ms. Hoban presented to the Board and thanked Historic Preservation Planner Harding for his assistance in preparing the application. She advised they did a preliminary assessment of the chimney initially, and based on the Board's discussion, they decided to try and keep the chimney; the entire floorplan had been designed around the chimney. At this time, they have begun to fully assess the brick on the chimney and the house, and the sun dried brick had not held up over time, and the prior owners had not done anything to mitigate the damage. After getting onto the roof with the structural engineer, the degradation was alarming; it was a concern at this point, it would cost more to remove it than to keep it, and they wanted the Board to consider her request to remove the chimney. Advisor Pristera explained he had met the contractor at the house and also felt the house was very unstable, and only a small portion was supporting the chimney structure; to repair the house would be a total rebuild. He pointed out the homeowner was doing a great job in restoring the house the correct way, but the chimney would be a total rebuild. **Board Member Mead made a motion to approve the chimney removal, seconded by Board Member Salter, and it carried unanimously.**

ADJOURNMENT – With no further business, the meeting adjourned at 4:22 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be the name 'Harding', written in a cursive style.

Historic Preservation Planner Harding
Secretary to the Board

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 1**
607 N. Spring Street
NHPD / PR-2
Contributing Structure

BACKGROUND

Patrick and Sarah O'Neill are requesting approval to install Aeratis Heritage flooring on both levels of the front porch and to replace twelve windows located on the rear and sides of a contributing structure. Repairs to the porch with in-kind materials were approved through a Board for Board application in January. Many of the existing to-be-replaced windows are damaged and cause leaks. The proposed windows will be 2/2 double hung wood-clad to match all other windows on the house which were replaced in 2012.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(6) NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures



**Architectural Review Board Application
Full Board Review**

Application Date: January 28, 2020

Project Address: 607 N. Spring Street

Applicant: Patrick and Sarah O'Neill

Applicant's Address: 607 N. Spring Street

Email: patrick.c.oneill@gmail.com **Phone:** 850-221-5906

Property Owner: Patrick and Sarah O'Neill

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

1. Request to install Aeratis Heritage T&G Porch Flooring in battleship gray color durring porch repair.

2. Request to install Jeldwen Sitrine clad double hung windows to replace 12 windows on non-street front sides of the house

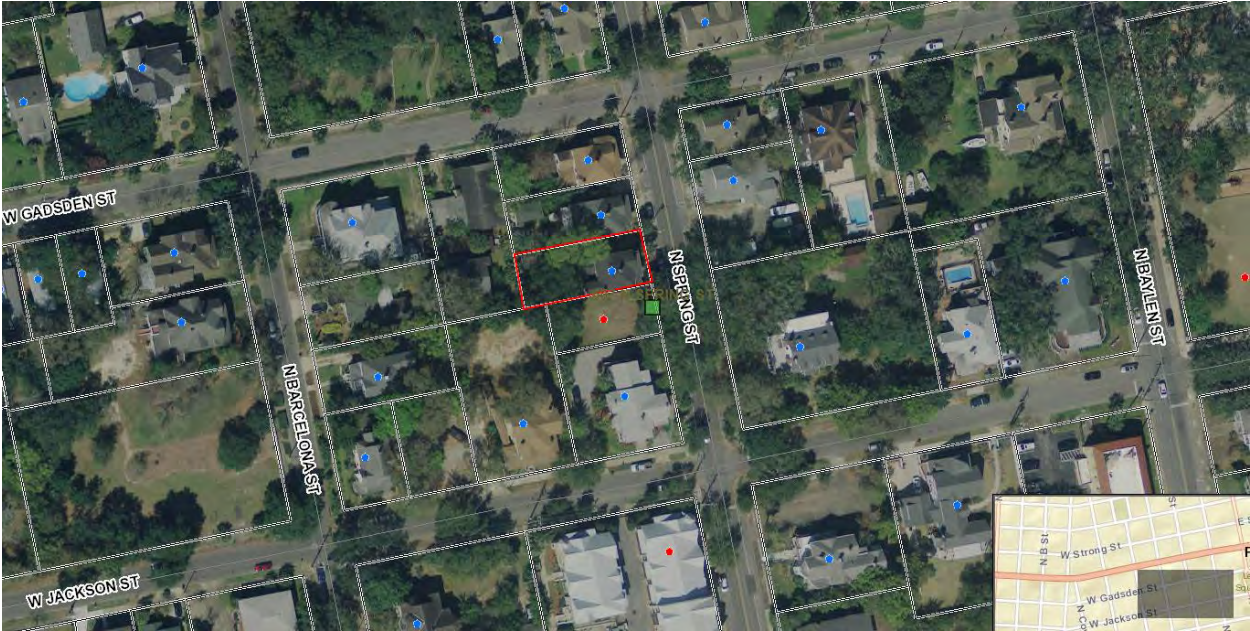
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on file _____

Applicant Signature

Date

607 N. Spring Street



FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
 1009 = =

Site No. 95 576

Site Name Moreno, Susie R. Rental #1 830 = = Survey Date 8005 820 = =

Address of Site: 607 N. Spring St., Pensacola, FL 32501 905 = =

Instruction for locating W. side of N. Spring Street between W. Jackson St. and W. Gadsden Street 813 = =

Location: Belmont Tract 25 16-17 868 = =
subdivision name block no. lot no.

County: Escambia 808 = =

Owner of Site: Name: Vance, James, Jr., and Mary

Address: 1023 North Spring Street, Pensacola, FL 32501 902 = =

Type of Ownership private 848 = = Recording Date 832 = =

Recorder: Name & Title: Guedez, Susan; Gantzhorn, Alan

Address: HPPB 818 = =

Condition of Site: Integrity of Site: Original Use Residence 838 = =

Check One		Check One or More		Present Use <u>Residence</u>	850 = =
<input type="checkbox"/> Excellent	863 = =	<input type="checkbox"/> Altered	858 = =	Dates: Beginning <u>c +1908</u>	844 = =
<input checked="" type="checkbox"/> Good	863 = =	<input checked="" type="checkbox"/> Unaltered	858 = =	Culture/Phase <u>American</u>	840 = =
<input type="checkbox"/> Fair	863 = =	<input checked="" type="checkbox"/> Original Site	858 = =	Period <u>20th century</u>	845 = =
<input type="checkbox"/> Deteriorated	863 = =	<input type="checkbox"/> Restored () (Date:) () 858 = =			
		<input type="checkbox"/> Moved () (Date:) () 858 = =			

NR Classification Category: District 916 = =

Threats to Site:

Check One or More

<input type="checkbox"/> Zoning () () 878 = =	<input type="checkbox"/> Transportation (X) 878 = =
<input type="checkbox"/> Development (X) () 878 = =	<input type="checkbox"/> Fill (X) () 878 = =
<input type="checkbox"/> Deterioration () () 878 = =	<input type="checkbox"/> Dredge (X) () 878 = =
<input type="checkbox"/> Borrowing (X) () 878 = =	
<input type="checkbox"/> Other (See Remarks Below):	878 = =

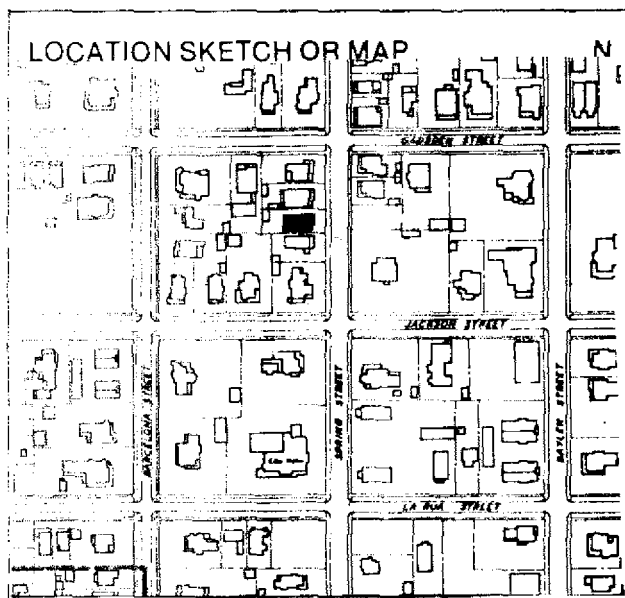
Areas of Significance: Architecture, History 910 = =

Significance:

This frame vernacular house was one of three rental houses built by Susie R. Moreno, wife of Scarritt Moreno, a wealthy Pensacola businessman. It was owned for the longest period, 1915 to 1946, by Felo McAllister.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame vernacular 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) wood, novelty siding 854 ==
 STRUCTURAL SYSTEM(S) wood frame 856 ==
 PORCHES E/ 2 tiered hipped verandah w/ turned posts and spindle and spool baluster; 4 bay; access from E 942 ==
 FOUNDATION: brick pier 942 ==
 ROOF TYPE: gable on hip 942 ==
 SECONDARY ROOF STRUCTURE(S): 942 ==
 CHIMNEY LOCATION: center ridge 942 ==
 WINDOW TYPE: DHS, 2/2, wood 942 ==
 CHIMNEY: brick 882 ==
 ROOF SURFACING: composition shingle, diamond 882 ==
 ORNAMENT EXTERIOR: brackets, gingerbread trim, stained glass panels 882 ==
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 2 1/2 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 MIN Pensacola 1970; North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude: " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

UTM Coordinates: 890 ==

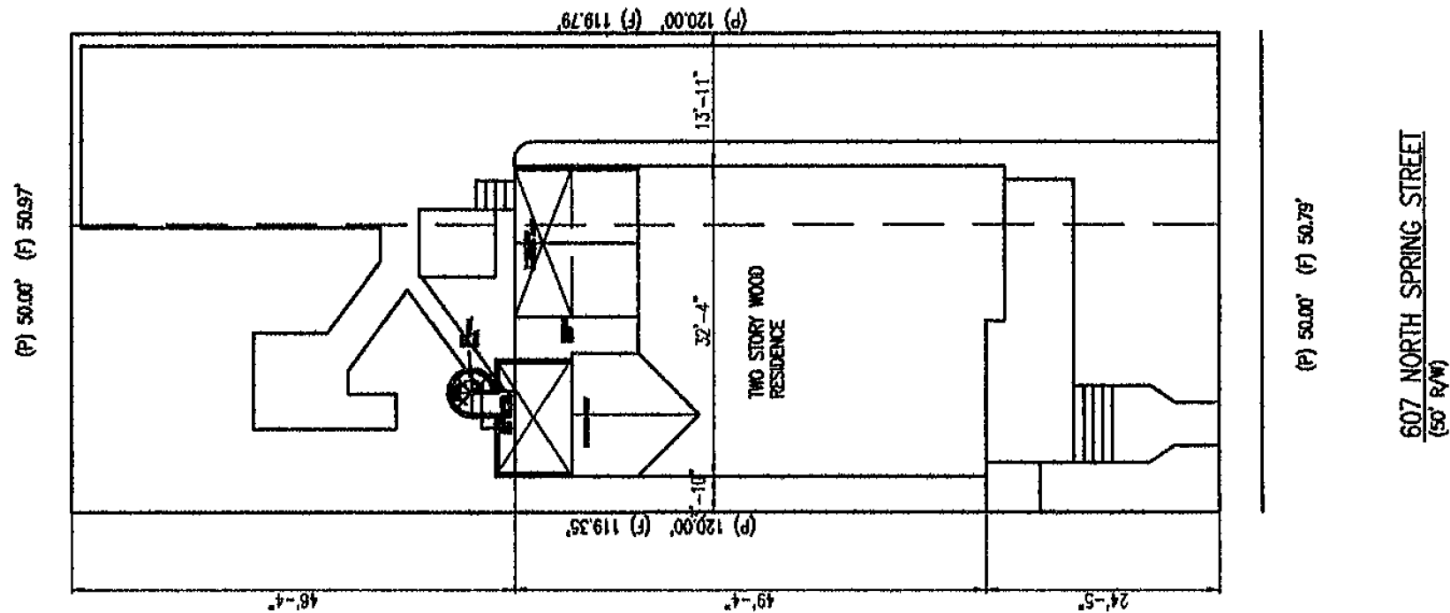
Zone	Easting	Northing

Photographic Records Numbers HPPB P80, 21 Fr 4; NH 12-8A 860 ==

Contact Print



607 N Spring St



Site Plan- No change to the site plan

- Request permission to use Aeratis Tongue and Groove Heritage two sided porch decking during repairs to the front porch.
- Request permission to complete the replacement of windows on three sides of the house

Porch Tongue and Groove Decking

- Request to use Aeratis Tongue and Groove decking to replace the current decking that is unsafe and was incorrectly repaired in the past.
- Request to use this decking on both levels of the porch, it is two sided for underside appeal.
- Request to use the Battleship Gray color which matches the upstairs color of the current porch.

Aeratis Heritage

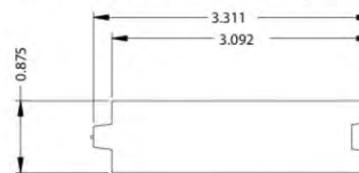


Aeratis Heritage is a true double-sided tongue and groove porch plank that comes in three pre-finished colors, Battleship Gray, Weathered Wood and Vintage Slate. These colored boards are made with slight color variation along with subtle, random streaking to match the richness and depth of natural wood. Heritage, like all the other Aeratis products, can be painted or stained any color, any time in the future, by following the steps within the Traditions paint instructions.

The Heritage line of products are ADA slip compliant and carry a Class "B" fire rating (more flame resistant than any other competitors' product). This double-sided board offers a finished ceiling look from the underside of a porch floor that is visible from underneath.

Aeratis Heritage T&G porch flooring board dimensions are 3-1/8" x 7/8" and are available in 12', 16' and 20' lengths. As seen above from left to right: Battleship Gray, Weathered Wood and Vintage Slate. The Aeratis products have the appearance of wood and natural color variation.

Aeratis Heritage T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'
Width: 3-1/8" (3.092)
Thickness: 7/8"



<https://www.aeratis.com/heritage>

Current Upstairs Decking

- Request Battleship Gray color because upstairs decking is currently gray and the original decking is on the left side of this picture.
- As seen in the picture, on the right, facing the front of the house, the last 2 feet of the porch was replaced with dissimilar wood and is dangerously weak due to rotting.



Current Downstairs Decking

- Front porch is bucking and warping and is currently painted multiple colors.
- Replacement of the entire porch is being completed due to multiple rotten support beams being replaced. Decking must be removed to complete repairs.



Jeldwen Siteline Clad Double Hung Windows

Request to use JeldWen Wind CAT 3 Windows as described on the right.

After the house fire in 2011, this product line was used to replace 9 windows on the house.

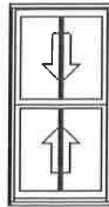
Request to finish the replacement of the remaining windows on three sides of house with this product line. A total of 12 remaining windows to be replaced which are not facing the street.

All windows will be replaced with 2 panes over 2 panes to match the original house windows.

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-3

Rough Opening: 29 3/4 X 56 3/4



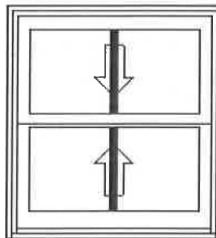
Viewed from Exterior. Scale: 1/4" = 1'

Frame Size : 29 X 56

Siteline Clad Double Hung, Auralast Pine,
Brilliant White Exterior,
Primed Interior,
Nail Fin (Standard), Color Match Metal DripCap,
4 9/16 Jamb,
Standard Double Hung, Tan Jambliner, Concealed Jambliner
White Hardware,
Florida - FBC, Wind Zone 3 Rated, PG 50, (+50/-65) FL# 20118.1
Insulated Low-E 366 Impact w/Annealed Out, PVB Interlayer,
Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
Brilliant White SDL, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int
BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High
Top, 2 Wide 1 High Btm,
BetterVue Mesh Brilliant White Screen,
Custom-Width, GlassThick=0.706, Clear Opening:25.2w, 24.4h,
4.2 sf
PEV 2019.4.0.2787/PDV 6.286 (12/06/19) NW

Line-4

Rough Opening: 32 1/8 X 35 1/8



Viewed from Exterior. Scale: 1/2" = 1'

Frame Size : 31 3/8 X 34 3/8

Siteline Clad Double Hung, Auralast Pine,
Brilliant White Exterior,
Primed Interior,
Nail Fin (Standard), Color Match Metal DripCap,
5 1/4 Jamb, 4/4 Thick,
Standard Double Hung, Tan Jambliner, Concealed Jambliner
White Hardware,
Florida - FBC, Wind Zone 3 Rated, PG 50, (+50/-65) FL# 20118.1
Insulated Low-E 366 Impact w/Annealed Out, PVB Interlayer,
Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
Brilliant White SDL, 1 1/8" Bead SDL w/Perm Wood Trad'l. Bead Int
BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High
Top, 2 Wide 1 High Btm,
BetterVue Mesh Brilliant White Screen,
Custom-Height, GlassThick=0.706, Clear Opening:27.6w, 13.6h,
2.6 sf
PEV 2019.4.0.2787/PDV 6.286 (12/06/19) NW

South Side of SR Moreno House

- All windows except one were replaced on this side of the house in 2012 after house fire.
- Window to replace is outlined in red.
- All other windows are an example of the JELDWEN siteline windows requested to be approved for this 2020 remodel.



West Side of SR Moreno House (Back)

- Request to replace two windows on the back of the house.
- Upclose photo of JELDWEN window installed



North Side of SR Moreno House (Back)

- Request to replace all windows on this side of the house.
- Three windows were replaced in ~2009 on the bottom floor, left hand side.

Request to replace and match in window design with south side of house.



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 2**
202 Cevallos Street
PHD / HR-2 / Wood Cottages
Contributing Structure

BACKGROUND

Kurt Krueger is requesting approval to replace window shutters on a contributing structure. The existing wood shutters will be replaced with storm-rated colonial-style aluminum shutters. Based on photographs from the Florida Master Site File, shutters were likely added to the house during or after the 1980's. The proposed materials are very similar to materials approved at 1 E. Zarragossa Street (June 2016) and are identical to those approved at 122 Calle de Santiago Court (February 2014).

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(A)(6)(g) *PHD, Shutters*



HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE Version 4.0 1/07

Site #81 **ES03853**
Field Date 8-30-2013
Form Date 8-30-2013
Recorder # _____

Original
 Update

Shaded Fields represent the minimum acceptable level of documentation.
Consult the Guide to Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 202 S Cevallos St Multiple Listing (DHR only) _____
Survey Project Name REBUILD NW Florida's Hazard Mitigation Program Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 202 Direction S Street Name Cevallos Street Type Street Suffix Direction _____
Address: 202 S Cevallos Street
Cross Streets (nearest/between) S Cevallos St, E Intendencia
USGS 7.5 Map Name PENSACOLA USGS Date 1982 Plat or Other Map _____
City / Town (within 3 miles) PENSACOLA In City Limits? yes no unknown County Escambia
Township 2S Range 30W Section 24 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # 00-0S-00-9001-004-342 46 Landgrant PENSACOLA
Subdivision Name PENSACOLA Block 20 Lot 342&343
UTM Coordinates: Zone 16 17 Easting 480198 Northing 3364419
Other Coordinates: X: 30.41165 Y: -87.20517 Coordinate System & Datum WGS84
Name of Public Tract (e.g., park) OLD CITY TRACT

HISTORY

Construction Year: 1918 approximately year listed or earlier year listed or later
Original Use: Private residence From (year): 1918 To (year): 2013
Current Use: Private residence From (year): 1918 To (year): 2013
Other Use: _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address: _____
Alterations: yes no unknown Date: unknown Nature: Bringing interior up to current codes
Additions: yes no unknown Date: _____ Nature: _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) unknown

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 2
Exterior Fabric(s) 1. Wood siding 2. Not applicable 3. _____
Roof Type(s) 1. Gable 2. Not applicable 3. _____
Roof Material(s) 1. Sheet metal: 5V crimp 2. Other 3. _____
Roof secondary strucs. (dormers etc.) 1. Rip extension 2. _____
Windows (types, materials, etc.) Simple windows with vertical orientation

Distinguishing Architectural Features (exterior or interior ornaments) Full width front porch with columnar supports and wide stairs.

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) none

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date		Date	Init.
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date		Date	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. Other 2. Other
Structural System(s): 1. Wood frame 2. _____ 3. _____
Foundation Type(s): 1. Piers 2. _____
Foundation Material(s): 1. Brick 2. Concrete, Generic
Main Entrance (stylistic details) Door is centered on front facade and is flanked by 2 windows on either side.

Porch Descriptions (types, locations, roof types, etc.) Large front porch under a hip roof extension, Large enclosed porch under a gable roof

Condition (overall resource condition): excellent good fair deteriorated ruinous
Narrative Description of Resource _____

Archaeological Remains unknown - ground not disturbed Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
FL State Archives/photo collection city directory occupant/owner interview plat maps
property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
other methods (describe) Exterior Inspection
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information
Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) _____

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents
1) Document type Photographs Maintaining organization REBUILD Northwest Florida, Inc.
Document description Photos taken during exterior inspection File or accession #'s _____
2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Salina Randall Affiliation REBUILD Northwest Florida, Inc.
Recorder Contact Information 150 W Maxwell Street, 850-497-7024 ext 25/ salina@rebuildnwf.org
(address / phone / fax / e-mail)

Required Attachments

- 1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- 2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- 3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 2**
202 Cevallos Street
PHD / HR-2 / Wood Cottages
Contributing Structure

BACKGROUND

Kurt Krueger is requesting approval to replace window shutters on a contributing structure. The existing wood shutters will be replaced with storm-rated colonial-style aluminum shutters. Based on photographs from the Florida Master Site File, shutters were likely added to the house during or after the 1980's. The proposed materials are very similar to materials approved at 1 E. Zarragossa Street (June 2016) and are identical to those approved at 122 Calle de Santiago Court (February 2014).

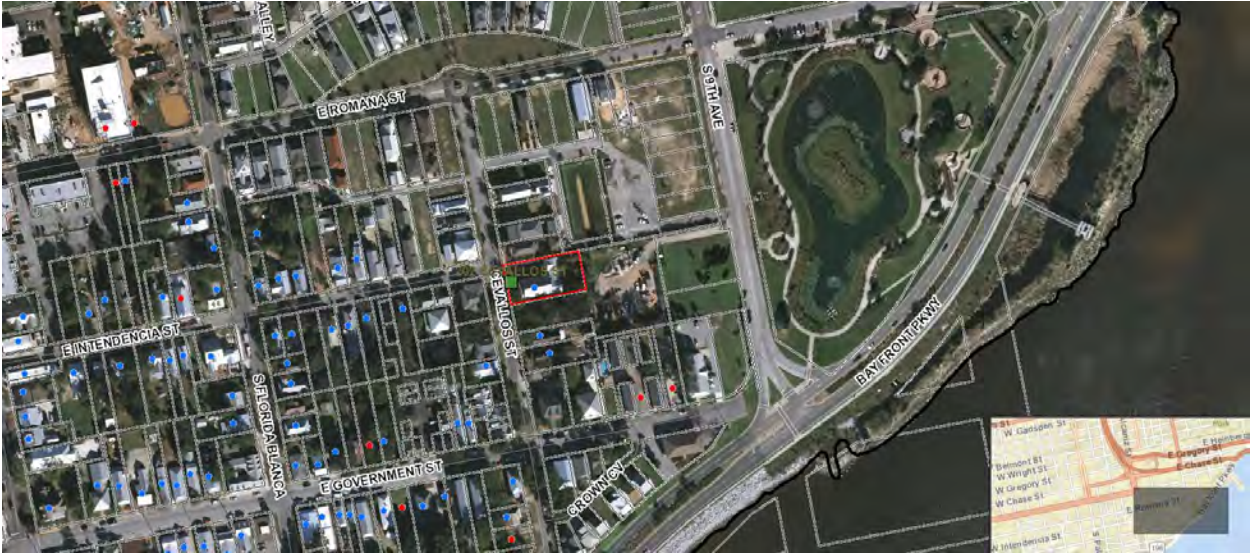
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(A)(6)(g) *PHD, Shutters*



202 Cevallos Street





Architectural Review Board Application
Full Board Review

Application Date: 27 JANUARY 2020

Project Address: 202 CEVALLOS ST. PENSACOLA, FL 32502

Applicant: KURT A. KRUEGER

Applicant's Address: 202 CEVALLOS ST. PENSACOLA FL 32502

Email: KDKRUEGER@AOL.COM Phone: 850-554-6220

Property Owner: KURT A. and DEE A. KRUEGER
(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

THIS PROJECT IS TO REPLACE SHUTTERS AT OUR PRIMARY RESIDENCE. THE REPLACEMENTS ARE STORM SECURE RATED ALUMINUM COLONIAL STYLE SHUTTERS FIBC APPROVAL # FL 17473. COLOR WILL BE EXACTLY WHAT IS PRESENTLY IN PLACE: AN EPOXY PRIMER WITH POWDER-COAT FINISH. A VERY SIMILAR PRODUCT WAS INSTALLED IN WINDOWS OVER JACKSON'S RESTAURANT.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]
Applicant Signature

1/27/2020
Date

ARCHITECTURAL REVIEW BOARD

Application for Exterior Shutter Replacement
202 Cevallos St., Pensacola, FL 32502

Requested: Replacement of existing exterior window shutters with Storm Secure Rated Aluminum Colonial Style Shutters FBC approval # 17473. See Storm Secure SEI Manufacturing summary sheet.

Epoxy primer with powder-coat finish to be used. See technical data sheet. Color will be exactly as is currently in place – see Sherwin-Williams architectural custom manual match.

Replacement is very similar to that placed above Jackson's Restaurant – see photos of those shutters and email concerning their approval.

There are 24 openings as shown in the accompanying site plan, with the following sizes:

15 @ 3x6
5 @ 3x8
2 @ 3x5
1 @ 6.5x6
1 @ 9x6

See photo of sample, and property appraiser plat for placement.



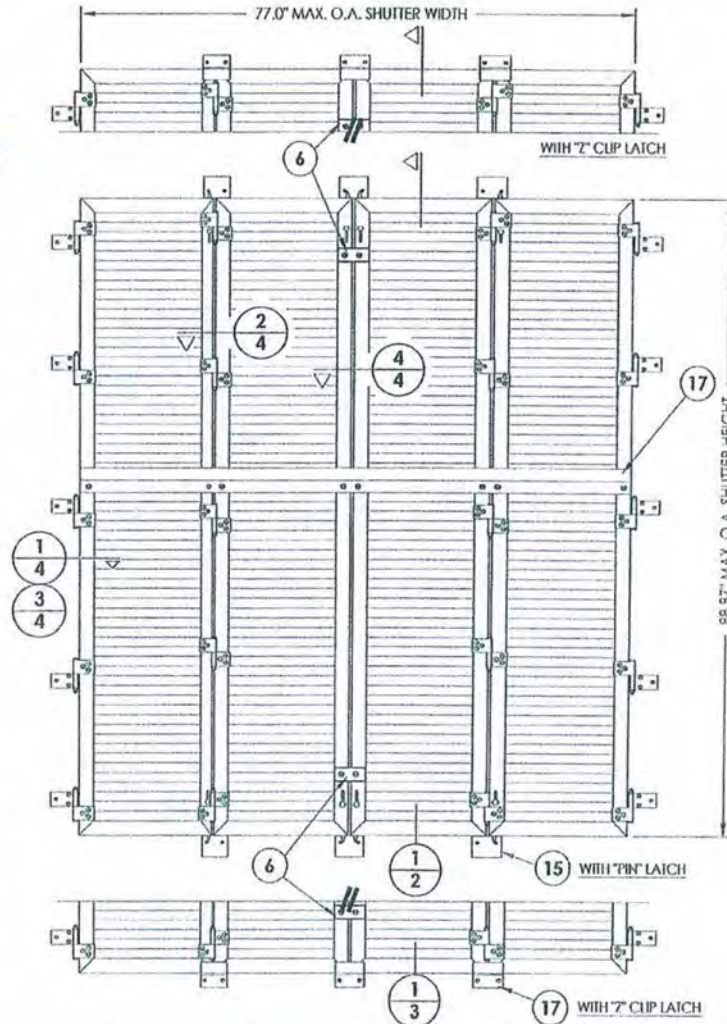
EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER "IMPACT"

GENERAL NOTES

1. This product has been evaluated and is in compliance with the 5th Edition (2014) Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Section 1609.1.2 of the FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E 1996 and Section 1609.1.2.2 of the FBC.
4. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
5. Aluminum shutter material shall be 6063-T6.
6. The Engineer or Architect of Record is responsible for determining the wind loads for any specific application and to determine that the existing structure is capable of withstanding the loads imposed by the shutter system.

TABLE OF CONTENTS

SHEET#	DESCRIPTION
1	Typical elevation, design pressures & general notes
2	Vertical cross sections masonry & stud construction
3	Vertical cross sections masonry & stud construction
4	Horizontal cross sections masonry & stud construction
5	Anchoring locations masonry and stud installation
6	Anchoring locations masonry and stud installation
7	Bill of materials & components



LATCH TYPE	MAX. FRAME DIMENSION	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE
"PIN"	77.0" X 88.87"	+65.0	-65.0
"Z" CLIP	77.0" X 88.87"	+80.0	-90.0



SEI
EXTRUDED ALUMINUM
COLONIAL HURRICANE SHUTTER
PART OR ASSEMBLY

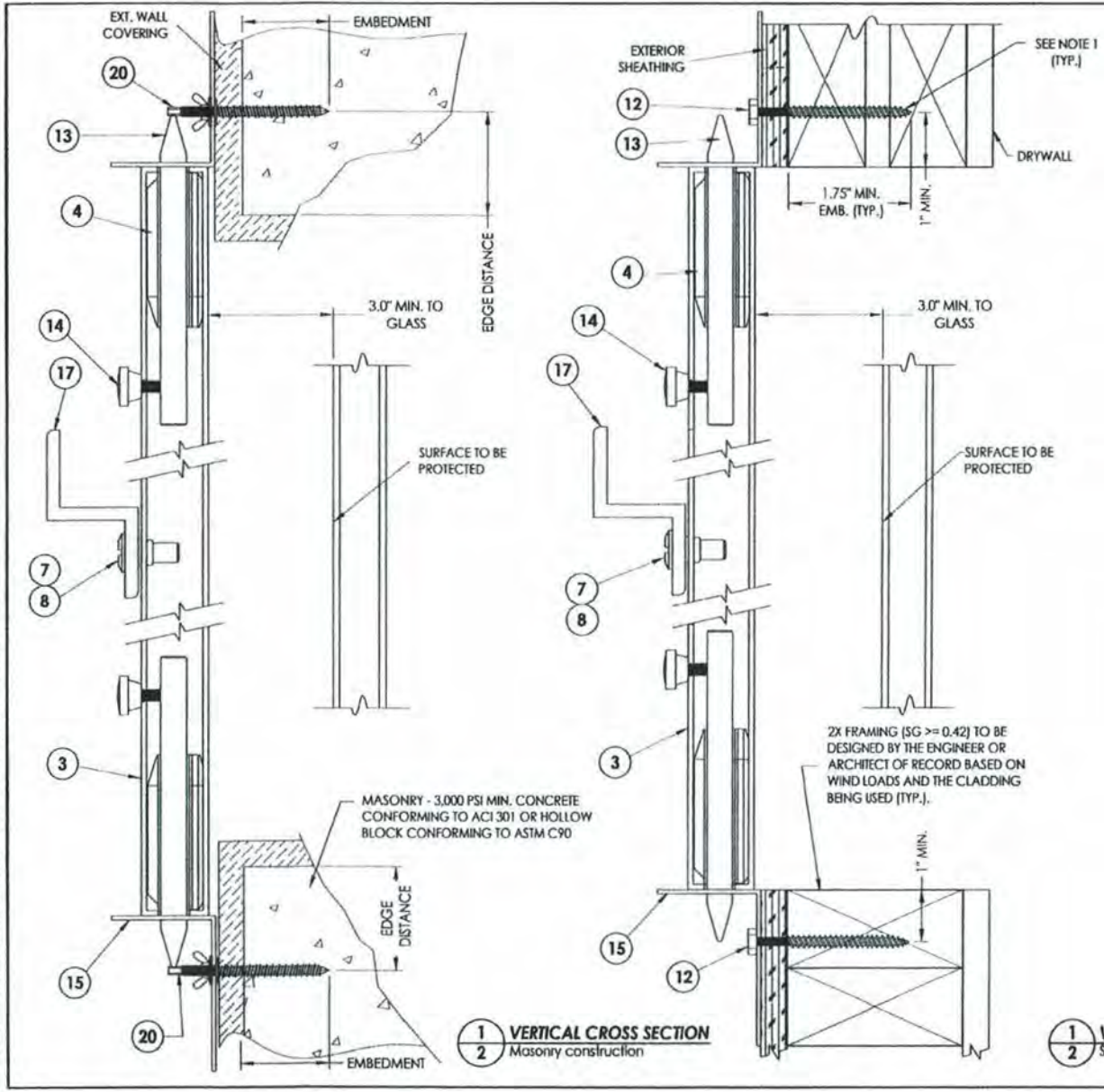
TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	BY	REVISIONS

DATE: 2/05/15
SCALE: N.T.S.
DWG. BY: JJK
CHK. BY: IFS
DRAWING NO.: FL-17474.1
SHEET 1 of 7

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R:\Client\SEI PERMANENT\Florida Product Approval\FL-17474\Drawings\Current\FL-17474.1.dwg, FL-17474.1



NOTE 1:
 MAINTAIN 3/8" MIN. EDGE
 DISTANCE TO EDGE OF STUD TO
 PREVENT SPLITTING OF WOOD.

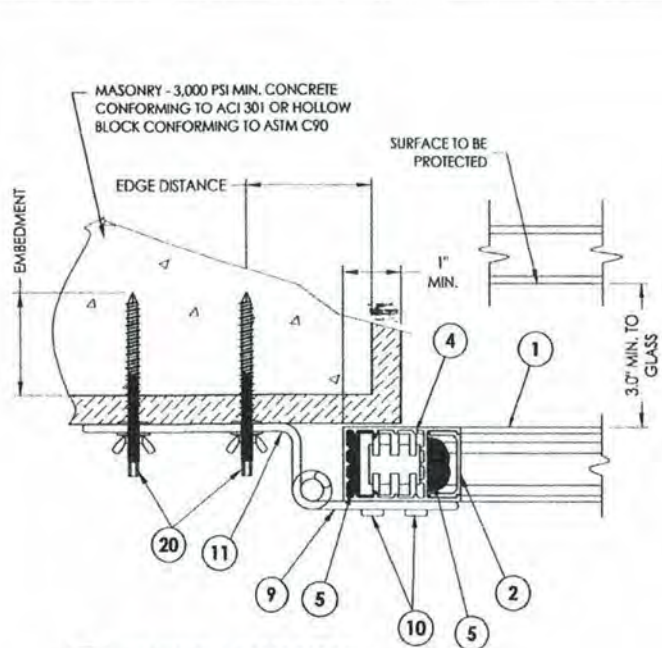
L. SCHMIDT
 LICENSE
 No. 43409

Documents Prepared By:
 Lynden F. Schmidt
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 P.O. Box 230, Valrico, FL 33599
 Phone No.: 813.659.8197
 FBPE, C.A. No. 9813

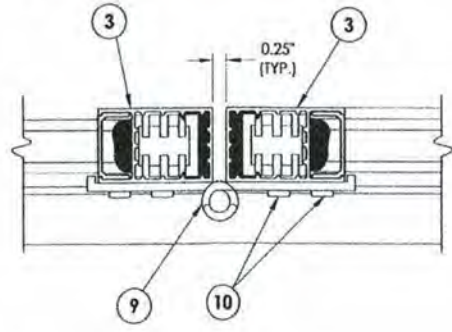
20 MASONRY ANCHOR SCHEDULE

CONCRETE CONFORMING TO ACI 301	HOLLOW BLOCK CONFORMING TO ASTM C90
<p style="text-align: center;">ANCHOR</p> <p>1/4" SAMMY'S SSC TAPCON SG EM = 1.75" CL = 3" ED = 1.25" (3,295 PSI MIN. CONC.)</p> <p>1/4" IW RED HEAD DYNABOLT SLEEVE ANCHOR EM = 1.125" CL = 3" ED = 1.5" (3000 PSI MIN. CONC.)</p> <p>1/4" ALL POINTS SOLID-SET ANCHOR EM = 0.875" CL = 3" ED = 2" (3,000 PSI MIN. CONC.)</p> <p>1/4" IW TAPCON EM = 1.75" CL = 3" ED = 4" (3,000 PSI MIN. CONC.)</p>	<p style="text-align: center;">ANCHOR</p> <p>1/4" SAMMY'S SSC TAPCON SG EM = 1.25" CL = 3" ED = 2.5"</p> <p>1/4" IW RED HEAD DYNABOLT SLEEVE ANCHOR EM = 1.125" CL = 3" ED = 1.5"</p> <p>1/4" ALL POINTS SOLID-SET ANCHOR EM = 0.875" CL = 3" ED = 2"</p>
<p>EM = MINIMUM EMBEDMENT (PENETRATION) CL = MINIMUM CENTER TO CENTER ANCHOR SPACING ED = EDGE DISTANCE</p>	

PRODUCT:	SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER	BY:	
PART OR ASSEMBLY:	VERTICAL CROSS SECTIONS MASONRY & STUD CONSTRUCTION	NO.:	DATE:
		REVISIONS	
		NO.:	DATE:
		DATE: 2/05/15	
		SCALE: N.T.S.	
		DWG. BY: JK	
		CHK. BY: LFS	
		DRAWING NO.: FL-17474.1	
		SHEET 2 OF 7	

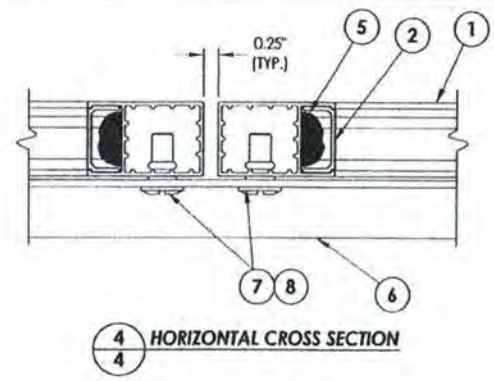


1 HORIZONTAL CROSS SECTION
4 Masonry construction

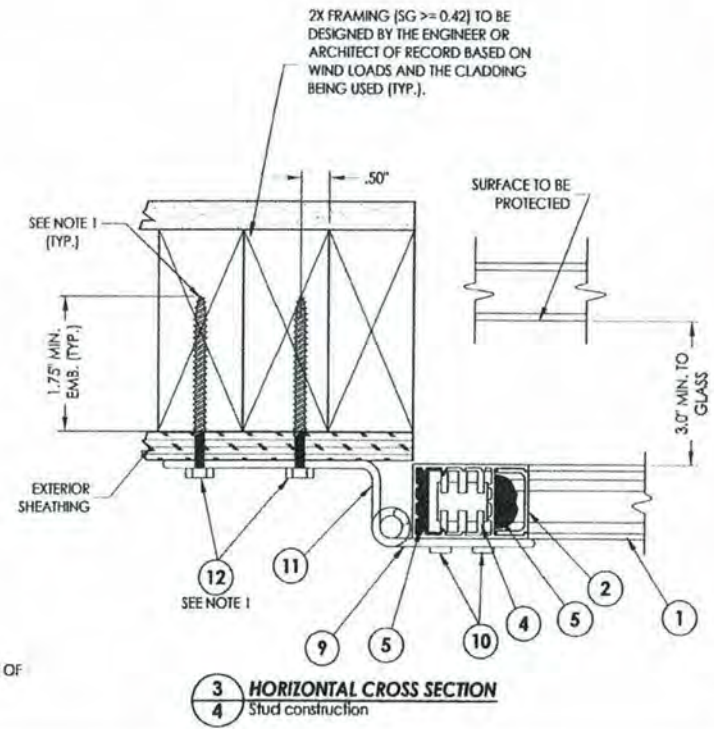


2 HORIZONTAL CROSS SECTION
4 Stud construction

NOTE 1:
MAINTAIN 3/8\"/>



4 HORIZONTAL CROSS SECTION
4 Stud construction

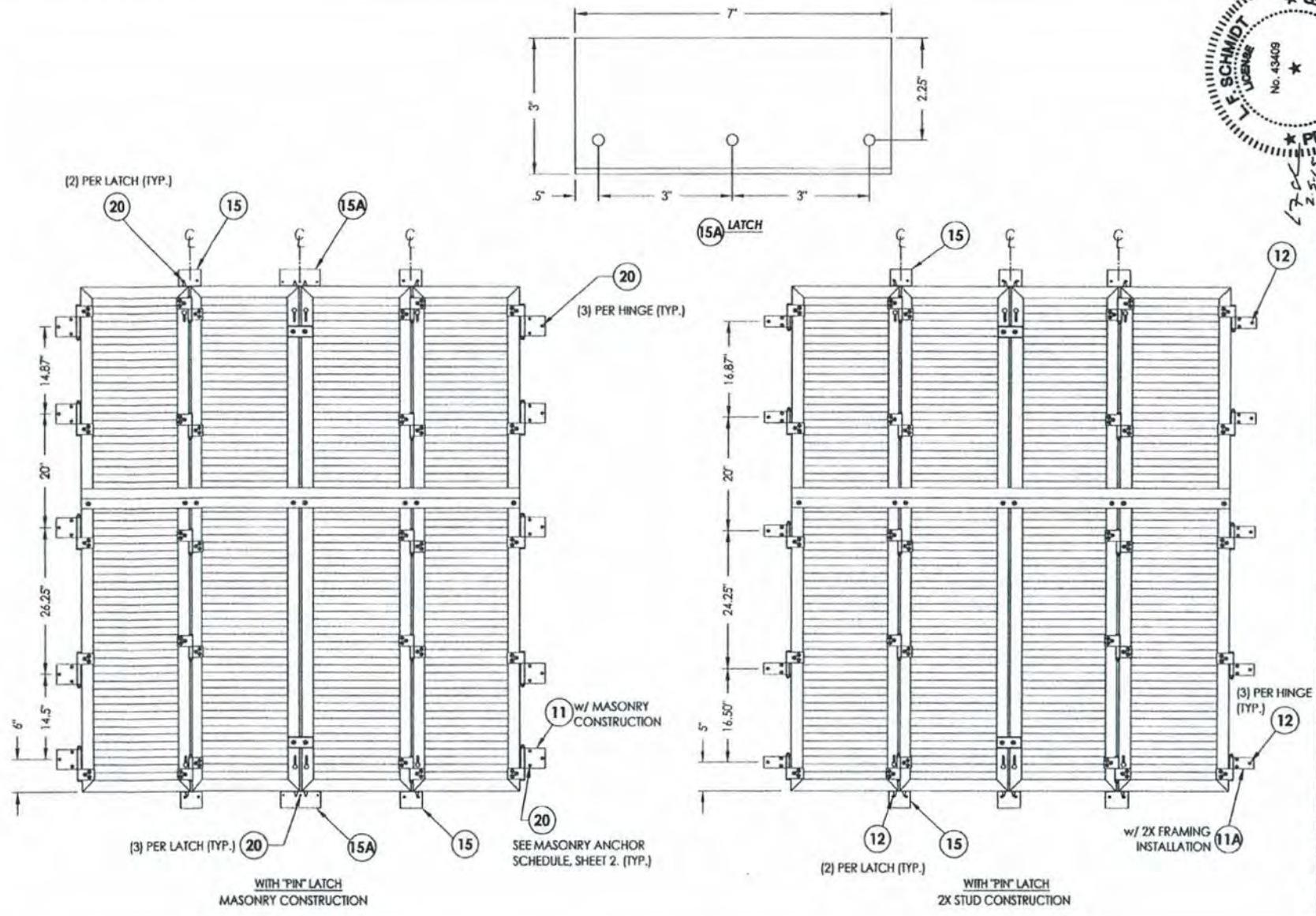


3 HORIZONTAL CROSS SECTION
4 Stud construction

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 LICENSE No. 43409
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

Documents Prepared By:
 Lyndon F. Schmidt
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 P.O. Box 230, Vero Beach, FL 33595
 Phone No.: 813.686.9187
 FBPE C.A. No. 9813

PRODUCT:	SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY:	NO.	DATE
	HORIZONTAL CROSS SECTIONS MASONRY & STUD CONSTRUCTION		
		BY	
REVISIONS			
DATE: 2/05/15			
SCALE: N.T.S.			
DWG. BY: JJK			
CHK. BY: LFS			
DRAWING NO.: FL-17474.1			
SHEET 4 OF 7			



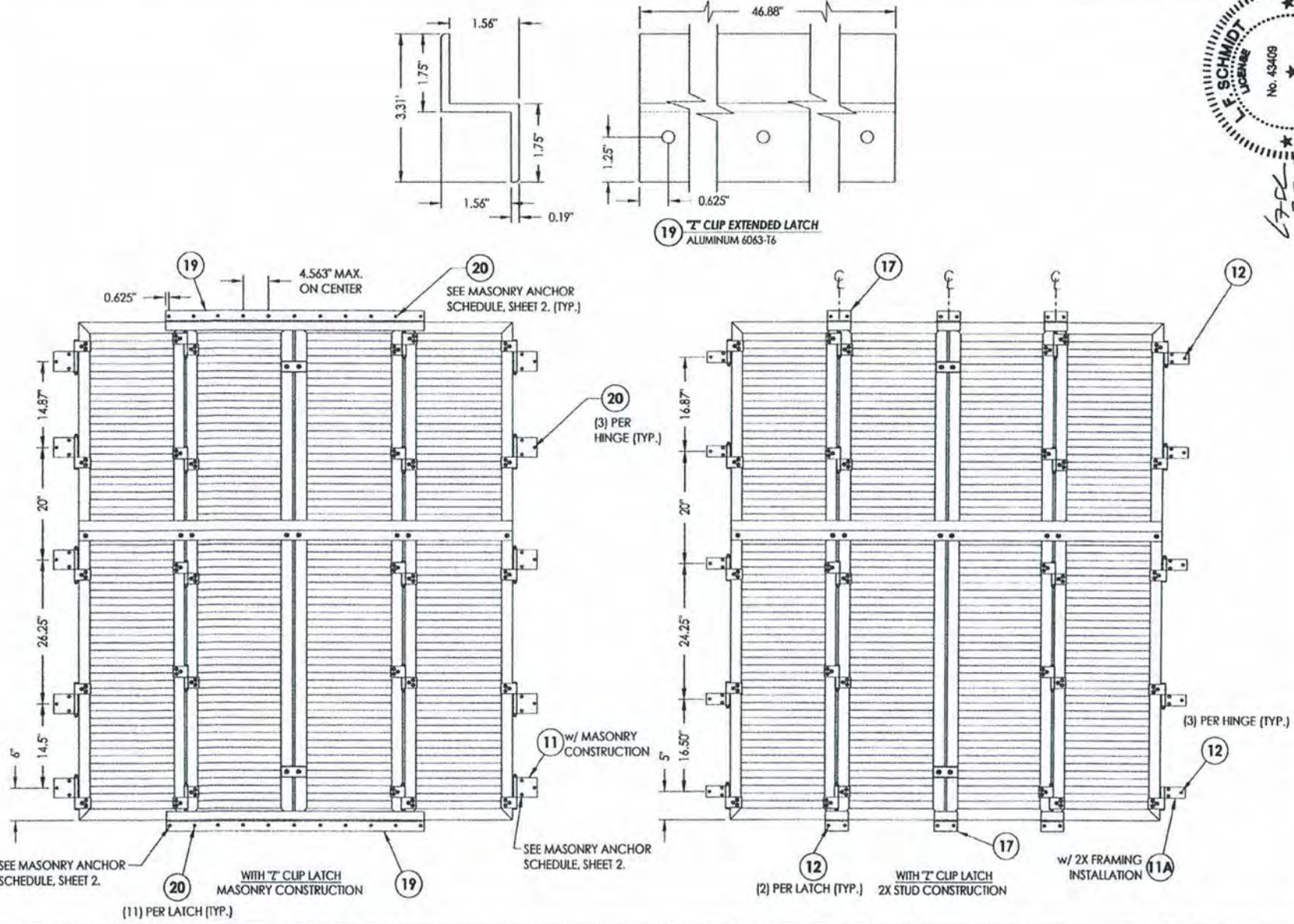
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FLORIDA PROFESSIONAL ENGINEER
L. SCHMIDT
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 P.E. No. 43408

R.W. BUILDING CONSULTANTS, INC.
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 Phone No.: 813.859.9187
 FBPE C.A. No. 9813

Documents Prepared By: Lyndon F. Schmidt, P.E. No. 43408
 Date: 2-5-15

PRODUCT: SEI EXTRUDED ALUMINUM COLONIAL HURRICANE SHUTTER PART OR ASSEMBLY: ANCHORING LOCATIONS MASONRY & STUD INSTALLATION	
NO.	DATE
BY	REVISIONS
DATE: 2/05/15	SCALE: N.T.S.
DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-17474.1	SHEET: 5 OF 7



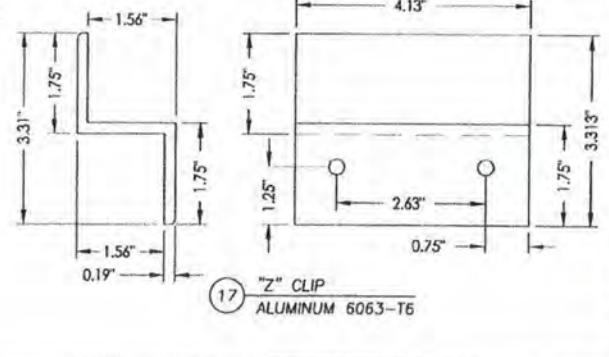
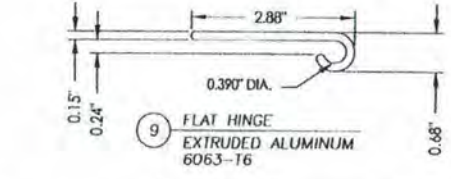
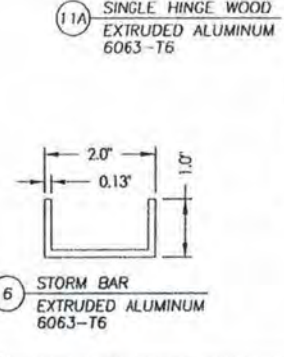
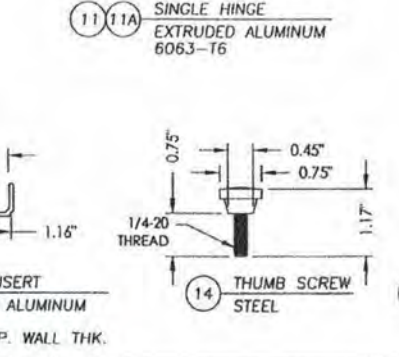
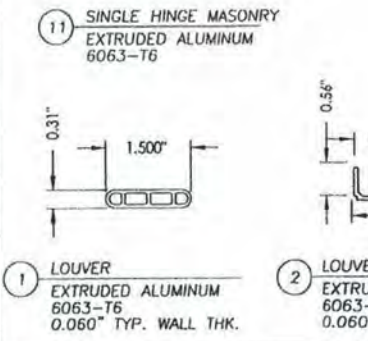
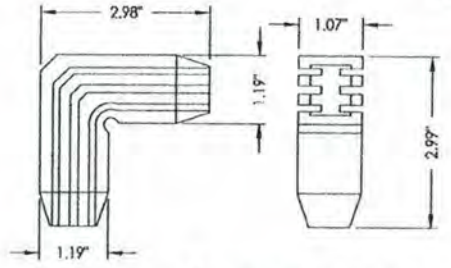
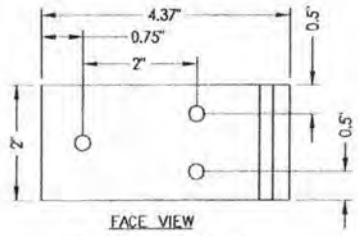
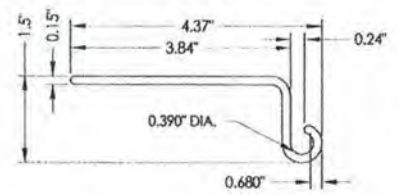
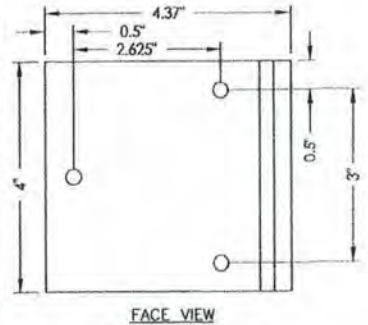
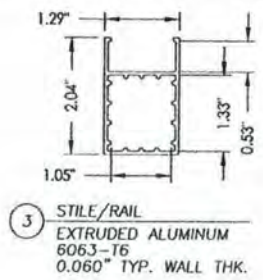
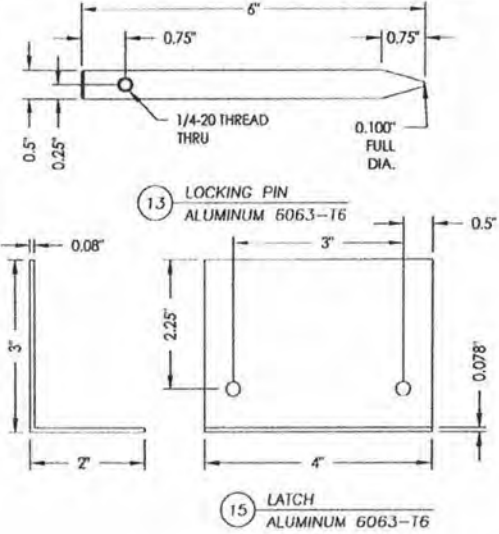
Documents Prepared By:
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RW BUILDING CONSULTANTS, INC.
 P.O. Box 230, Valrico, FL 33595
 Phone No.: 813-689-9197
 FBPE C.A. No. 9813

PRODUCT:
 SEI
 EXTRUDED ALUMINUM
 COLONIAL HURRICANE SHUTTER
 PART OR ASSEMBLY:
 ANCHORING LOCATIONS
 MASONRY & STUD INSTALLATION

NO.	DATE	BY	REVISIONS

DATE: 2/05/15
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.:
 FL-17474.1
 SHEET 6 OF 7

BILL OF MATERIALS		
1	LOUVER 6063-T6 0.060"	ALUM.
2	LOUVER/INSERT 6063-T6 0.060"	ALUM.
3	STILE/RAIL 6063-T6 0.060"	ALUM.
4	NYLON CORNER KEY	NYLON
5	STRUCTURAL ADHESIVE	
6	STORM BAR 6063-T6	ALUM.
7	1/4-20 x 1" SIDEWALK BOLT	STEEL
8	1/4-20 RIV-NUT	ALUM.
9	FLAT HINGE	ALUM.
10	3/16" DIA. POP RIVET	ALUM.
11	SINGLE HINGE MASONRY	ALUM.
11A	SINGLE HINGE WOOD	ALUM.
12	1/4" x 3" H.H. LAG SCREW	STEEL
13	LOCKING PIN	ALUM.
14	THUMB SCREW	STEEL
15	LATCH	ALUM.
17	"Z" CLIP	ALUM.
19	"Z" CLIP EXTENDED LATCH	ALUM.
20	ANCHOR - SEE MASONRY ANCHOR SCHEDULE	STEEL



E. SCHMIDT
P.E. LICENSE
No. 43408

STATE OF FLORIDA
PROFESSIONAL ENGINEER

L70d
2-5-15

Documents Prepared By:
Lyndon F. Schmidt
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RW
BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.698.9197
FBPE C.A. No. 9813

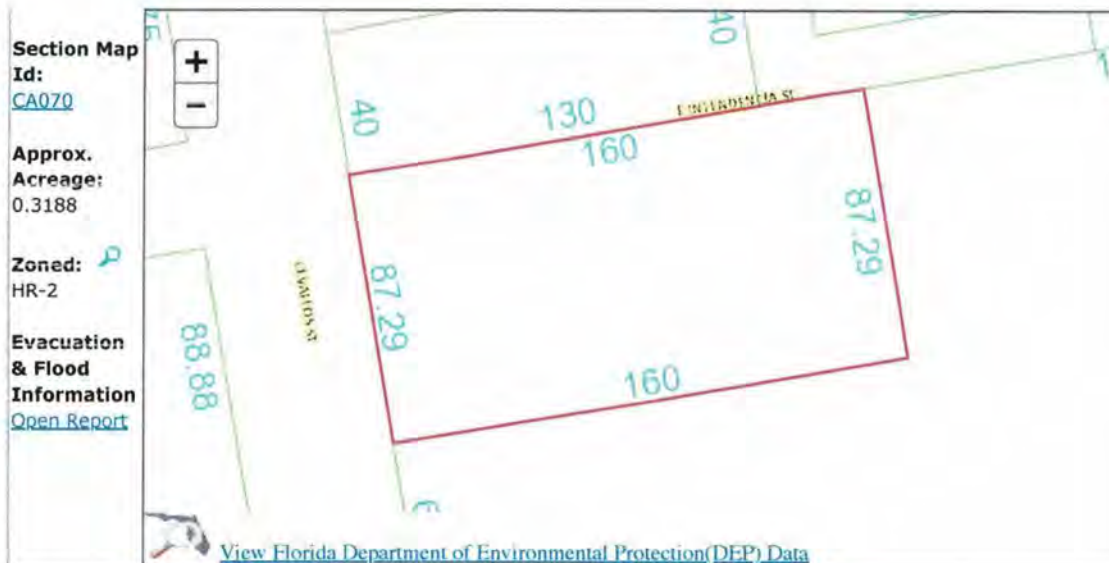
PRODUCT:		REVISIONS	
SEI	EXTRUDED ALUMINUM	NO.	DATE
COLONIAL HURRICANE SHUTTER			
PART OR ASSEMBLY:			
BILL OF MATERIALS & COMPONENTS			
		BY	

DATE: 2/05/15
SCALE: N.T.S.
DRG. BY: JK
CHK. BY: LFS
DRAWING NO.: 17474.1
SHEET 7 of 7

**KW Epoxy Primer
ELSS 72131**

Description:	Thermosetting powder coating based on an epoxy resin. Epoxies are designed for interior applications where exterior durability is not required. This product has been modified to provide excellent corrosion protection and is recommended for primer applications.	
Typical Physical Properties:	Film Thickness (ASTM D)	2.0-3.0 mil
	Gloss 60°angle (ASTM D-523-89)	30-60
	Hardness (ASTM D-3363-92A)	2H+
	Flexibility (ASTM D-1737-89)	1/8 inch
	Adhesion (ASTM D-3359-95A)	5B (100%)
	Impact Direct/Indirect (ASTM D-2794-93)	160/160 in/lbs
	Chemical Resistance	Excellent
	Salt Spray (ASTM B117)	2500 hrs, 3 mm creepage
	Abrasion Resistance (ASTM D4060)	40 mg loss after 1000 cycles
	Heat Resistance ASTM D2485	Passes at 270°F
	Specific Gravity	1.60±0,05
Application Data:	Epoxies can be applied with either a corona electrostatic powder spray gun at between 60kv – 100 kv or a Tribo gun. Epoxies can also be formulated for fluid bed application upon request.	
Cure Schedules:	Epoxies can be cured in a direct or indirect gas convection oven, an electric oven, or an Infrared. A combination of any of these ovens is also suitable. Care must be taken with excess heat, as epoxies tend to discolor on overtake.	
	<i>Cure:</i>	<i>10 minutes@ 340°f Peak Metal Temperature</i>
Storage:	Product should be stored at temperatures below 80°f, in a dry area away from any heat source.	
Notes:	All tests were performed on Bonderite 1000, iron phosphated panels with a nominal film thickness of 2 mils. Lower gloss levels may require higher cure temperatures or longer dwell times. Please refer to the MSDS for safety information.	

Any recommendations contained herein or any information given by any IFS COATINGS representative is based on tests and information believed to be accurate. However, since we have no control over the conditions under which our products are transported, stored, handled, or used by purchasers, all recommendations and sales are made on condition that IFS COATINGS will not be held liable for any damages resulting from their use. No representative of ours has any authority to waive or change this provision.



Buildings

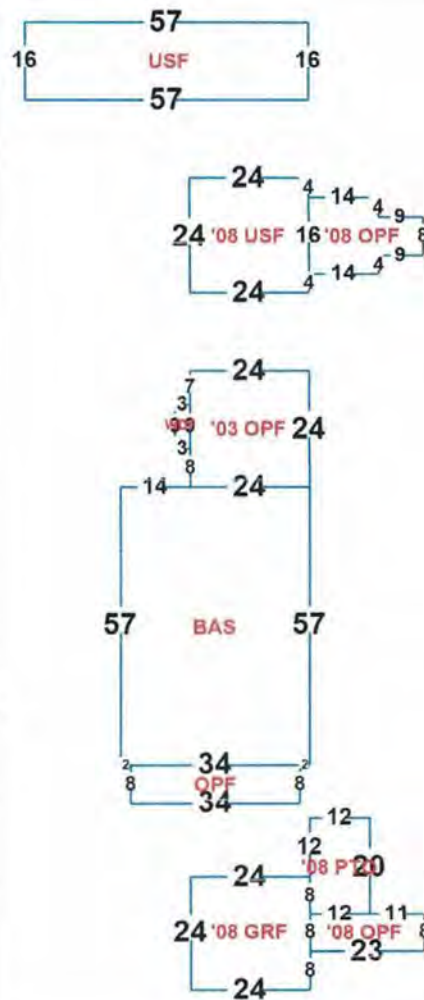
Address: 202 CEVALLOS ST, Year Built: 1918, Effective Year: 1990

Structural Elements

- DECOR/MILLWORK-ABOVE AVERAGE**
- DWELLING UNITS-1**
- EXTERIOR WALL-SIDING-LAP.AAVG**
- FLOOR COVER-CARPET**
- FOUNDATION-WOOD/SUB FLOOR**
- HEAT/AIR-CENTRAL H/AC**
- INTERIOR WALL-DRYWALL-DECORAT**
- NO. PLUMBING FIXTURES-16**
- NO. STORIES-2**
- ROOF COVER-METAL/MODULAR**
- ROOF FRAMING-GABLE-HI PITCH**
- STORY HEIGHT-11**
- STRUCTURAL FRAME-WOOD FRAME**

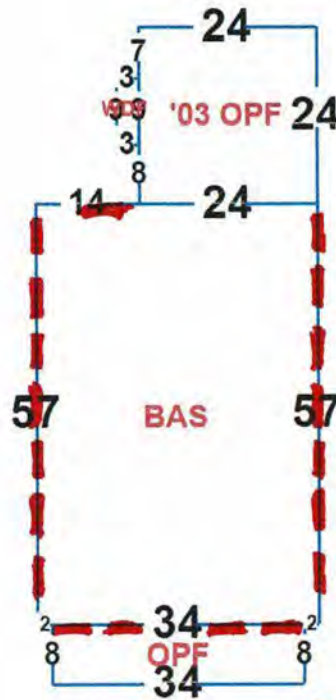
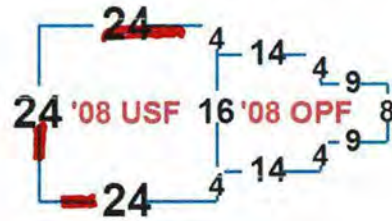
Areas - 5825 Total SF

- BASE AREA - 2166**
- GARAGE FIN - 576**
- OPEN PORCH FIN - 1328**
- PATIO - 240**
- UPPER STORY FIN - 1488**
- WOOD DECK FIN - 27**



Images

Escambia County Property Appraiser
130580000



! - WINDOW OPENINGS
FOR SHUTTER REPLACEMENT

From: Gregg Harding
Sent: Monday, November 18, 2019 9:53 AM
To: 'Kurt Krueger' <kdkrueger@aol.com>
Subject: RE: Shutters

Kurt,

Please see the response below from the UWF advisor to the ARB. Please let me know if you have any questions moving forward!

Gregg,

I believe we approved a metal storm shutter that looks like wood on the windows above Jackson's Restaurant. There is a company on Government Street that I toured when this was being proposed back in 2014 called Storm Tech, Inc. <https://stormtechinc.com/>

If the owner can show the shutters will look like wood and that they are hurricane rated, they most likely will get approved, but they will need to go through the full board.

Ross

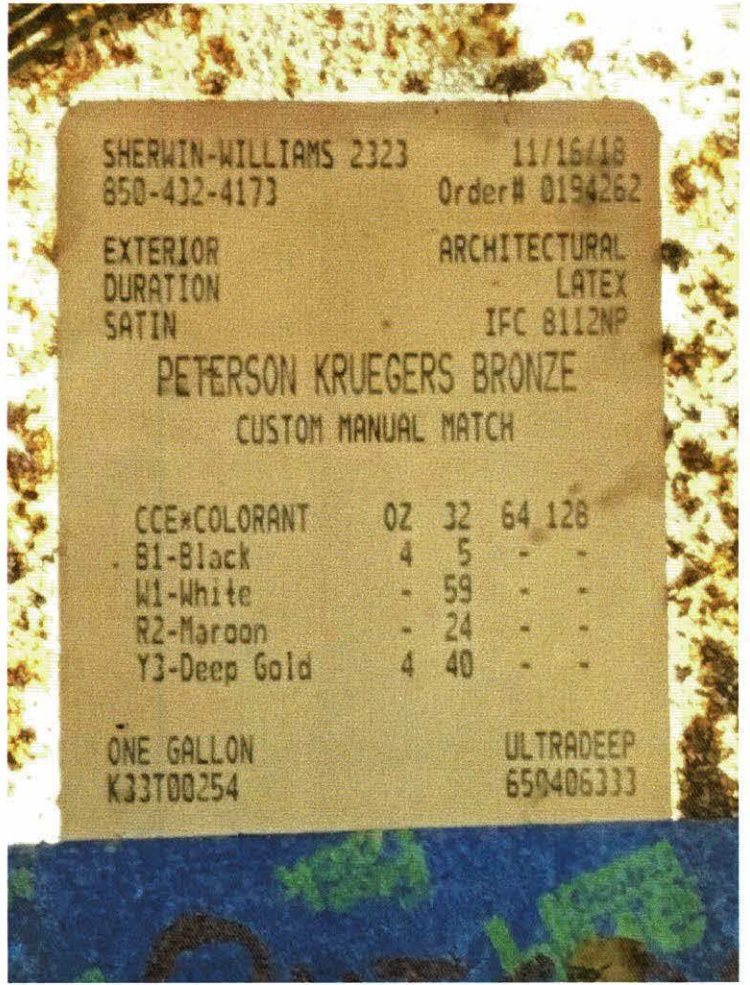
Gregg Harding, RPA

Historic Preservation Planner

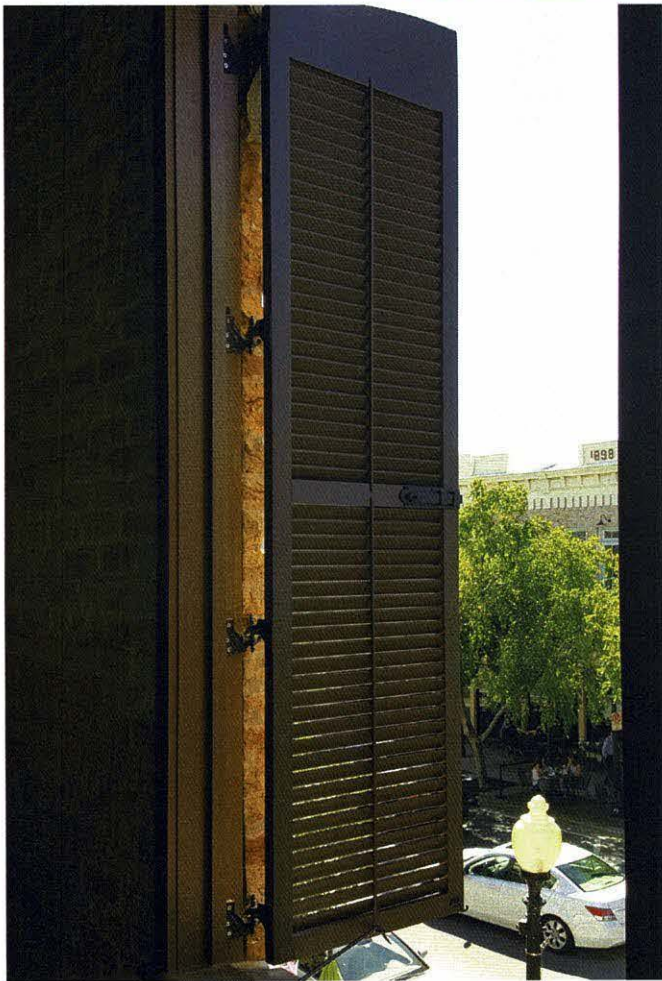
Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

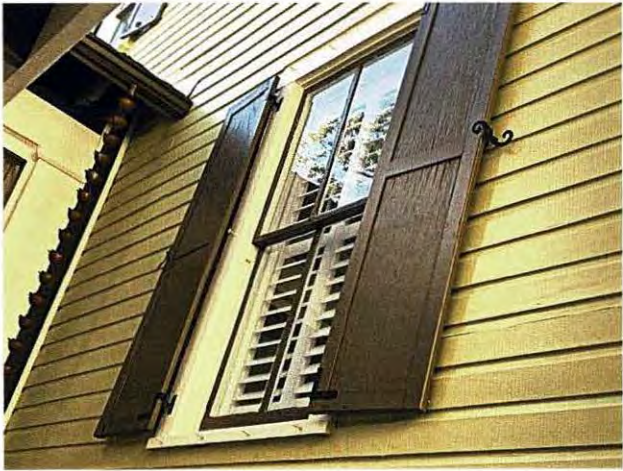


SHUTTER REPLACEMENT



ABOVE JACKSON'S







Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 3**
122 W. Lloyd Street
PR-1AAA
Contributing Structure

BACKGROUND

Mary Bozeman is seeking approval to add 34 solar panels to the roof of a contributing structure. All 34 panels are proposed to be added to the south side of the roof which faces Lloyd Street. Per Florida Statute Sec. 163.04(2), "a property owner may not be denied permission to install solar collectors [...] by any entity." However, "such entity may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45° east or west of due south provided that such determination does not impair the effective operation of the solar collectors."

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Florida Statute – Sec. 163.04 *Florida Solar Rights Law*

Sec. 12-2-10(B)(4) *NHPD, Procedure for review (all activities regulated by this subsection shall be subject to review and approval by the ARB)*

Sec. 12-2-10(B)(6) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*



**Architectural Review Board Application
Full Board Review**

Application Date: 1/24/20

Project Address: 122 W Lloyd St. Pensacola, FL 32501

Applicant: Titan Solar Power FL

Applicant's Address: 12221 N. US 301 Thomasassa, FL 33592

Email: CParsik@titansolarpower.com Phone: 8139829001

Property Owner: Mary Bezman
(if different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

solar PV install - south side of roof.
34 modules, 10.88kW

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

1/24/20
Date

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
 1009 ==

Site No. Es 905
 Site Name Freeman, R.R. House 830 == Survey Date 8009 820 ==
 Address of Site: 122 W. Lloyd St. Pensacola, FL. 32501 905 ==
 Instruction for locating NE corner W. Lloyd and N. Spring 813 ==
 Location: Clapp Tract 162 1-4 port 5 868 ==
subdivision name block no. lot no.
 County: Escambia 808 ==
 Owner of Site: Name: Bozeman, Frank C. and Mary C. ;
 Address: 122 W. Lloyd St.
Pensacola, FL. 32501 902 ==
 Type of Ownership Private 848 == Recording Date 8009 832 ==
 Recorder:
 Name & Title: Gantzhorn, Alan; Hawley, Nancy ;
 Address: HPPB 818 ==

Condition of Site: Integrity of Site: Original Use Residence 838 ==
 Check One Check One or More Present Use Residence 850 ==
 Excellent 863 == Altered 858 == Dates: Beginning +1926-27 844 ==
 Good 863 == Unaltered 858 == Culture/Phase American 840 ==
 Fair 863 == Original Site 858 == Period 20th Century 845 ==
 Deteriorated 863 == Restored () (Date:) () 858 ==
 Moved () (Date:) () 858 ==

NR Classification Category: District 916 ==

Threats to Site:

Check One or More
 Zoning () () 878 == Transportation (X) 878 ==
 Development (X) 878 == Fill (X) 878 ==
 Deterioration (X) 878 == Dredge (X) 878 ==
 Borrowing (X) 878 ==
 Other (See Remarks Below): 878 ==

Areas of Significance: Architecture 910 ==

Significance:
 Built by attorney, R.R. Freeman, this Federal Revival house has been owned solely by lawyers. All three owners have been practicing attorneys in Pensacola.
 911 ==

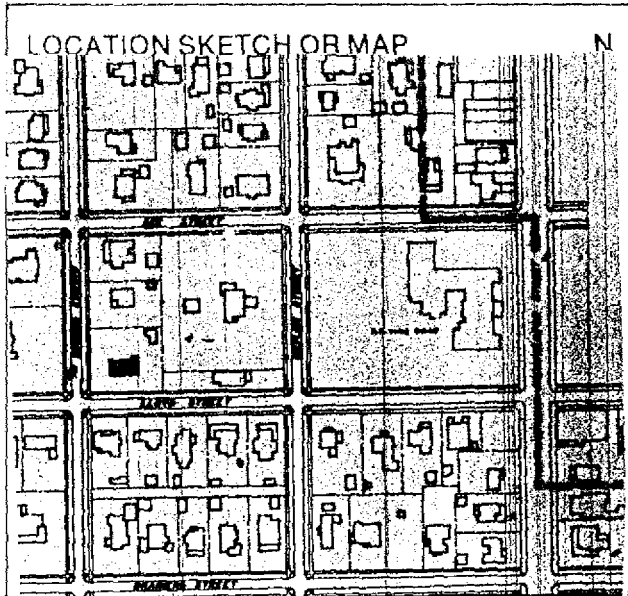
ARCHITECT Yonge and Hart (Pensacola, Fl.) 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Federal Revival 964 ==
 PLAN TYPE Rectangle 966 ==
 EXTERIOR FABRIC(S) Aluminum siding 854 ==
 STRUCTURAL SYSTEM(S) Wood Frame 856 ==
 PORCHES none

942 ==
 FOUNDATION: Continuous brick 942 ==
 ROOF TYPE: Gable with returns 942 ==
 SECONDARY ROOF STRUCTURE(S): 1 st add. flat roof 942 ==
 CHIMNEY LOCATION: End:ridge End: ext. 942 ==
 WINDOW TYPE: DHS, 6/6; arched, DHS, wood with shutters 942 ==
 CHIMNEY: Brick 882 ==
 ROOF SURFACING: Composition shingle: butt 882 ==
 ORNAMENT EXTERIOR: Ped. ent. with paired pillasters 882 ==
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS 0 954 ==

Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==

Latitude and Longitude: " " " " 800 ==

Site Size (Approx. Acreage of Property): L/T 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

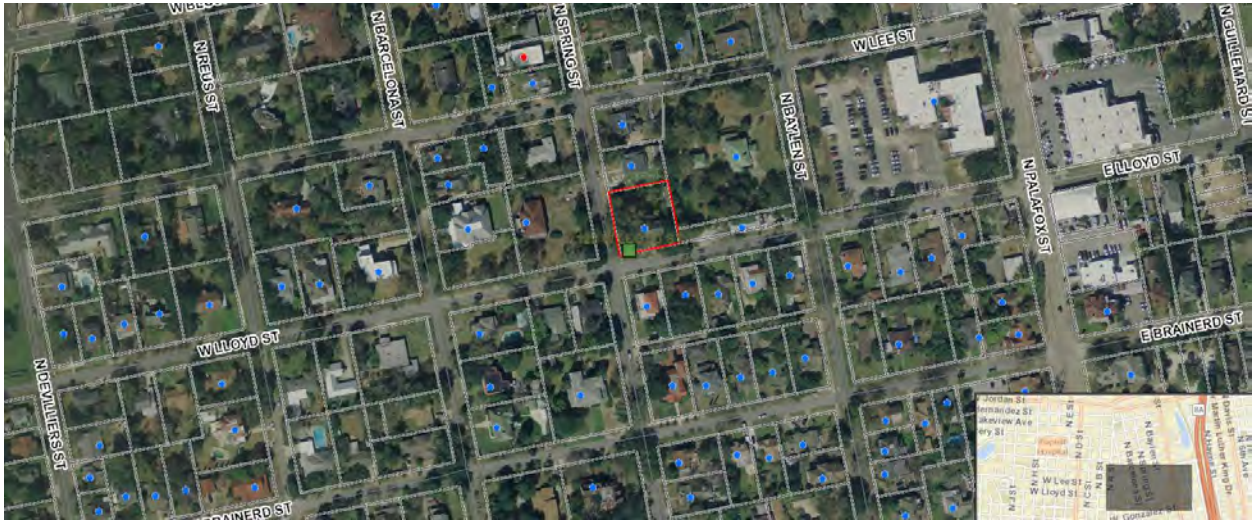
UTM Coordinates: 890 ==
 Zone Easting Northing

Photographic Records Numbers HPPB P80. 32 Fr. 9A 860 ==

Contact Print



122 W. Lloyd Street



Florida

Solar Rights Law

Florida law forbids ordinances, deed restrictions, covenants, or similar binding agreements from prohibiting solar equipment use. Under this law, a homeowner may not be denied permission to install a solar collector, clothesline, or other energy device based on renewable resources by "any entity granted the power or right in any deed restriction, covenant or similar binding agreement to approve, forbid, control, or direct alteration of property..."



While a homeowner cannot be prevented from installing a solar energy system, certain restrictions may be imposed without violating the law. However, those restrictions must be

reasonable, not arbitrary, and uniformly imposed on homeowners in the subdivision. The restrictions cannot act to impair the performance of a solar system or it may be seen as "effectively" prohibiting solar.

The law specifically prohibits a community association from preventing the installation of solar collectors on the roof. The association may determine where on the roof the collectors may be installed, so long as the installation is within the area required for its effective operation, that is, south, or east or west of due south. The association is, thereby, limited in imposing requirements which would effectively restrict the system's operating efficiency or increase the installation cost. As such, requirements for screening the system from view, whether by trees or fences, ground-mounting, or limiting visibility from the street, are contrary to the spirit and letter of the law if the result impairs the efficiency of the system.

There has been some litigation with respect to the applicability of Section 163.04. However, most cases have been resolved through mediation. One such case involved the installation of a solar pool heater on the roof of a home. In this case, the association filed an injunction requesting removal of the rooftop system and instead required that the system be ground-mounted. This change would have impaired the system's operating efficiency; and the yard space was insufficient to allow ground mounting. The parties settled, with the homeowner's prevailing on the issue of roof mounting. Although the collectors were relocated to a less conspicuous area on the roof, more panels were added to compensate for the loss of system efficiency.

Another case dealt with the denial of a residential pool heating system. This case was decided in favor of the association based on

the sole issue of whether Section 163.04 applied to homeowner associations. The court held that the law did not apply to homeowner associations. Subsequently, the law was amended to specifically include actions taken by homeowner associations.

More recently, there have been cases decided under 163.04 that have protected the right of homeowners to install tubular skylights on their residences, including condominiums and townhome villas where the devices were installed on common property. In both cases, the homeowners prevailed and the association was required to pay court costs and attorney fees – for themselves and for the prevailing homeowner.

The Legislature has made successive amendments to the statute to better state its intent to protect the right of all Floridians to use solar energy to reduce the cost of operating their homes, while at the same time reducing the state's dependence on fossil fuels. The law applies to all actions taken with respect to approval or denial of a solar system, regardless of when the community was instituted or when the association bylaws may have been adopted.

It is important to seek the approval of a homeowners association prior to the installation of a solar system. Section 163.04 does not waive the need for association approval if it is required by the governing documents.



The logo features a stylized sun with rays in the upper left corner. The word "Florida" is written in a large, yellow, cursive font, and "Solar Rights Law" is written in a smaller, white, serif font below it.

Florida Solar Rights Law

Florida Statute - Section 163.04

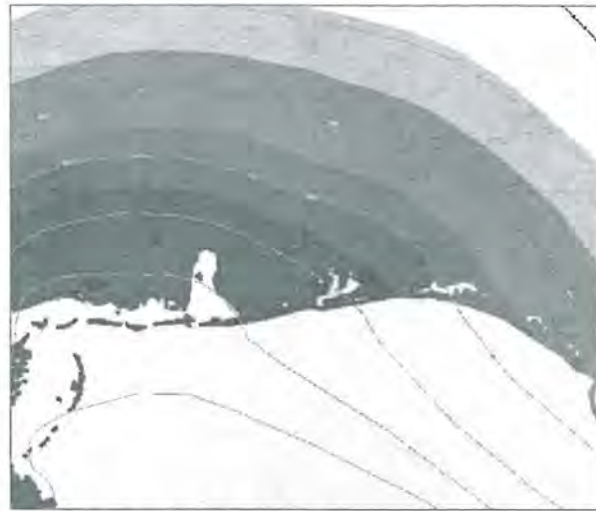
Energy devices based on renewable resources—

- (1) Notwithstanding any provision of this chapter or other provision of general or special law, the adoption of an ordinance by a governing body, as those terms are defined in this chapter, which prohibits or has the effect of prohibiting the installation of solar collectors, clotheslines, or other energy devices based on renewable resources is expressly prohibited.
- (2) No deed restrictions, covenants, or similar binding agreements running with the land shall prohibit or have the effect of prohibiting solar collectors, clotheslines, or other energy devices based on renewable resources from being installed on buildings erected on the lots or parcels covered by the deed restrictions, covenants, or binding agreements. A property owner may not be denied permission to install solar collectors or other energy devices based on renewable resources by any entity granted the power or right in any deed restriction, covenant, or similar binding agreement to approve, forbid, control, or direct alteration of property with respect to residential dwellings not exceeding three stories in height. For purposes of this subsection, such entity may determine the specific location where solar collectors may be installed on the roof within an orientation to the south or within 45° east or west of due south provided that such determination does not impair the effective operation of the solar collectors.
- (3) In any litigation arising under the provisions of this section, the prevailing party shall be entitled to costs and reasonable attorney's fees.
- (4) The legislative intent in enacting these provisions is to protect the public health, safety, and welfare by encouraging the development and use of renewable resources in order to conserve and protect the value of land, buildings, and resources by preventing the adoption of measures which will have the ultimate effect, however unintended, of driving the costs of owning and operating commercial or residential property beyond the capacity of private owners to maintain. This section shall not apply to patio railings in condominiums, cooperatives, or apartments.

History—s. 8, ch. 80-163; s. 1, ch. 92-89; s. 14, ch. 93-249.

Florida Solar Energy Center®

A Research Institute of the University of Central Florida
1679 Clearlake Road, Cocoa, FL 32922-5703
321.638.1000 • www.fsec.ucf.edu • info@fsec.ucf.edu



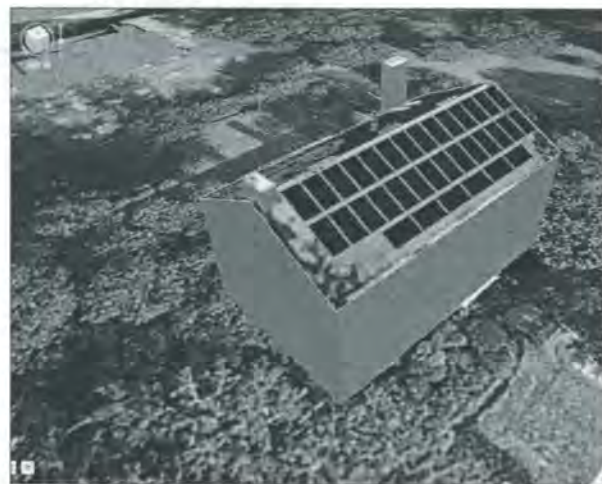
LOCATION MAP

SCALE: NONE



IRRADIANCE VIEW

SCALE: NONE

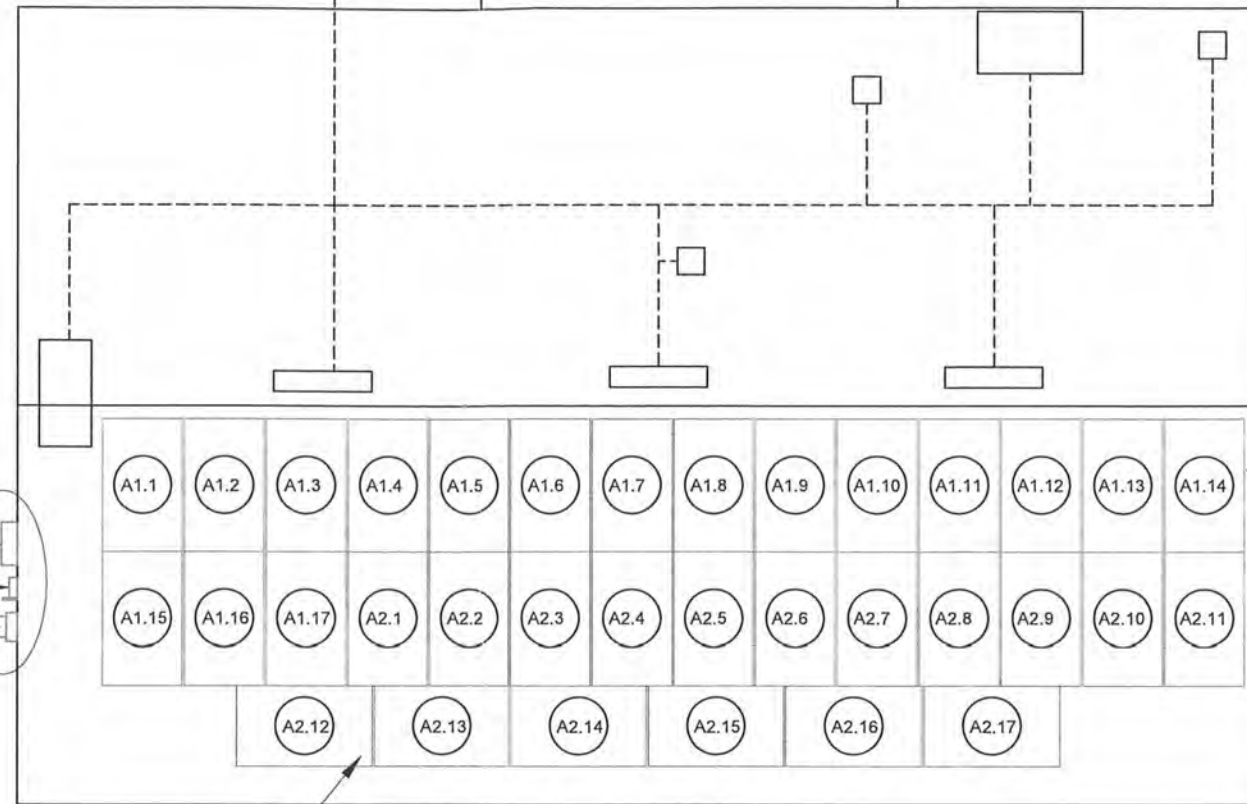


3D RENDERING

SCALE: NONE

ROOF OBSTRUCTIONS

PV STRING INVERTER
PV DISCONNECT
EXISTING ELECTRIC METER



ARRAY-A
TILT=26°
AZIMUTH= 168° (S)



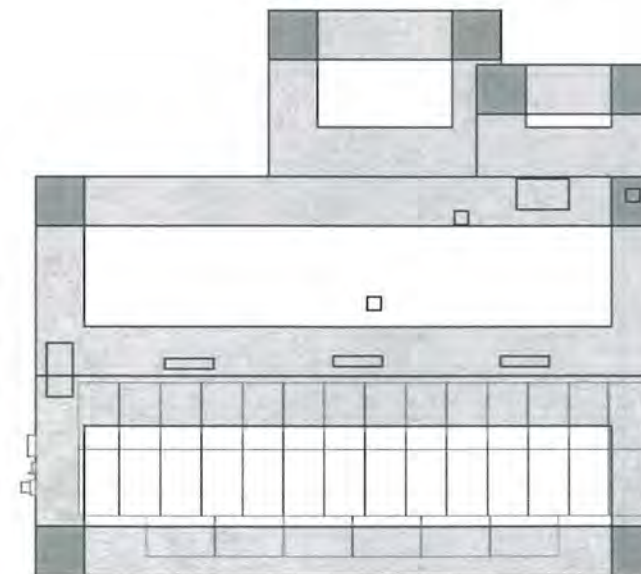
- ZONE 1
- ZONE 2
- ZONE 3

ARRAY LAYOUT

SCALE: 1/4" = 1'-0"

REFERENCE

SCALE: NONE



PROJECT DESCRIPTION

INSTALLATION OF GRID-TIED PHOTOVOLTAIC STRING INVERTER SYSTEM ON SHINGLE ROOF OF EXISTING FAMILY RESIDENCE.

SYSTEM CAPACITY: 10.88 KW DC / 7.6 KW AC

PV PANELS: (34) SILFAB-SLA-M-320 320W 60 CELLS

OPTIMIZERS: (34) OPTIMIZERS P320

INVERTER: (1) SE7600H-US 240V INVERTER FROM SOLAR EDGE

RACKING SYSTEM: IRONRIDGE XR RAIL FAMILY MODEL XR1000

ARRAY-A: 34 PANELS ON PORTRAIT SETUP FACING SOUTH, RAILS EAST TO WEST ON PITCHED ROOF

GENERAL NOTES

PER FL. STATUTE 377.705 (REVISED 7/1/2017), I RAFAEL A. GONZALEZ SOTO, P.E. 83104 AN ENGINEER LICENSED PURSUANT TO CHAPTER 471, CERTIFY THAT THE PV ELECTRICAL SYSTEM AND ELECTRICAL COMPONENTS ARE DESIGNED AND APPROVED USING THE STANDARDS CONTAINED IN THE MOST RECENT VERSION OF THE FLORIDA BUILDING CODE.

APPLICABLE CODES: 2017 FLORIDA BUILDING CODE 6TH, ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES, NEC 2014 ELECTRICAL CODE

ALL WIND DESIGN CRITERIA AND PARAMETERS ARE FOR HIP AND GABLE RESIDENTIAL ROOFS, CONSIDERING FROM A 7" TO A MAXIMUM 27" (2/12 TO A MAXIMUM 6/12 PITCH ROOF IN SCHEDULE. ALL RESIDENTIAL ROOFS SHALL NOT EXCEED 30'-0" MEAN ROOF HEIGHT. ROOF SEALANTS SHALL CONFORM TO ASTM C920 AND ASTM 6511, AND IS RESPONSIBILITY OF THE CONTRACTOR TO PILOT FILL ALL HOLES. CONTRACTOR SHALL ENSURE ALL ROOF PENETRATIONS TO BE INSTALLED AND SEALED PER 2017 FLORIDA BUILDING CODE OR LOCAL GOVERNING CODE.

ALL WIRING METHODS AND INSTALLATION PRACTICES SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (NEC) 2014, LOCAL STATE CODES, AND OTHER APPLICABLE LOCAL CODES. MEANS SHALL BE PROVIDED TO DISCONNECT ALL CURRENT CARRYING CONDUCTORS OF THE PHOTOVOLTAIC POWER SOURCE FROM ALL OTHER CONDUCTORS IN THE BUILDING. CONNECTORS TO BE TORQUED PER DEVICE LISTING, OR MANUFACTURERS RECOMMENDATIONS. NON-CURRENT CARRYING METAL PARTS SHALL BE CHECKED FOR PROPER GROUNDING.

REQUIRED SAFETY SIGNS AND LABELS SHALL BE PERMANENTLY ATTACHED BY ADHESIVE, OR OTHER MECHANICAL MEANS, LABELS SHALL COMPLY WITH ARTICLE 690 VI OF THE NEC 2014 OR OTHER APPLICABLE STATE AND LOCAL CODES. SEE LABELS AND MARKING PAGE FOR MORE INFORMATION.

SHEET SUMMARY

C-1	COVER SHEET
E-1	SINGLE LINE
E-2	LABELS
S-1	STRUCTURAL PLAN
S-2	RACKING PLAN
D-1	DATA SHEET
D-2	DATA SHEET
D-3	DATA SHEET

PROJECT INFORMATION

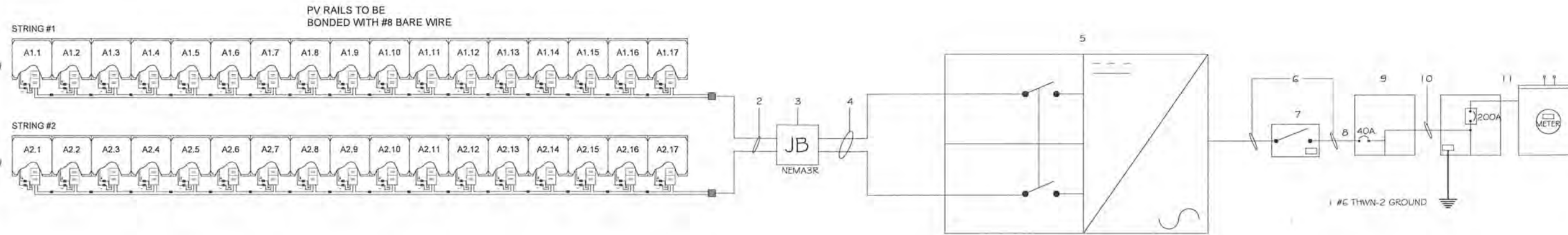
PROJECT LATITUDE	30.425653	MIN AMBIENT TEMP	1° C
PROJECT LONGITUDE	-87.220885	MAX AMBIENT TEMP	35° C
UTILITY NAME	FPL	WIND EXPOSURE	C
AHJ	PENSACOLA COUNTY	MAX WIND SPEED	151mph

COVER SHEET

PROJECT ID	DESIGNED BY	SHEET TITLE
TSP30734	ENG. RAFAEL A. GONZALEZ SOTO, PE	C-1
INSTALL DETAILS	DATE	SHEETS
SHINGLE	11/07/2019	1 OF 8

REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME
			ENGPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGPARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982-9001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	COVER SHEET PROJECT ID: TSP30734 DESIGNED BY: ENG. RAFAEL A. GONZALEZ SOTO, PE DATE: 11/07/2019 SHEET TITLE: C-1 SHEETS: 1 OF 8

WIRE TAG	WIRE SIZES, QUANTITY & TYPE			RACEWAY SIZE, TYPE, LOCATION & INFO.			WIRE AMPACITY CALCULATIONS					ADDITIONAL INFORMATION					
	CONDUCTOR QTY. SIZE & TYPE	NEUTRAL QTY. SIZE & TYPE	GROUND QTY. SIZE & TYPE	RACEWAY SIZE & TYPE	RACEWAY LOCATION	RACEWAY HEIGHT ABOVE ROOF	OUTPUT CURRENT	125% OF OUTPUT CURRENT	MIN OCPD	WIRE DE-RATED CALCULATION				DIST.	VOLTAGE	VOLTAGE DROP %	CONDUIT FILL %
										WIRE RATING	AMBIENT TEMP	# OF COND.	FINAL AMPACITY				
DC.1 (BEFORE JB) DC.2 (AFTER JB) AC.1(FROM INVERTER TO SERVICE)	(4) #10 AWG PV WIRE (4) #10 AWG THWN-2 (2) #6 AWG THWN-2	(1) #6 AWG THWN-2	(1) #8 AWG BARE COPPER (1) #8 AWG THWN-2 (1) #8 AWG THWN-2	NOT APPLICABLE 3/4" EMT CONDUIT 3/4" EMT CONDUIT	UNDER ARRAY ABOVE ROOF EXTERIOR WALL	1/2" TO 3-1/2" 1/2" TO 3-1/2" "N/A"	15A 15A 32A	18.8A 18.8A 40A	20A 20A 40A	40A X 0.76 X 1 = 30.4 A 40A X 0.76 X 0.8 = 24.3 A 55A X 0.76 X 1 = 41.8 A	10 FT. 20 FT. 5 FT.	350V 350V 240V	0.11% 0.21% 0.1%	6.4% 8.1% 7.7%			



EXISTING SERVICE
240V/120V 200A BUS BAR
3 #2/0 THWN-2

INVERTER TOTAL OUTPUT: 32A
SAFETY RATING (125%): 40A
TOTAL PV SYSTEM OCPD: 40A

MAIN BREAKER RATING: 200A
BUS BAR RATING: 200A
120% BACKFEED RATING: 40A

RACKING ROOF MOUNT SYSTEM SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTRUCTION MANUAL, INCLUDING ALL GROUNDING WEBB CLIPS, GROUND LUGS, AND RAIL SPLICE KITS FOR ELECTRICAL CONTINUITY

PV MODULE
MANUFACTURER: SILFAB SOLAR
MODEL: SLA-M320 320W 60 CELLS
QUANTITY.....(34)
POWER AT STC.....320W
POWER AT PTC.....227W
V-OC (OPEN-CIRCUIT VOLTAGE).....39.85V
V-MP (MAX-POWER VOLTAGE).....32.8V
I-SC (SHORT-CIRCUIT CURRENT).....9.71A
I-MP (MAX-POWER CURRENT).....9.16A
MNFR V.OC TEMP COEFFICIENT: -0.30%/°C

PV OPTIMIZER
MANUFACTURER: SOLAREEDGE
MODEL: P320
QUANTITY.....34
MAXIMUM I-SC INPUT.....11A
MAXIMUM V-OC INPUT.....48V
MAXIMUM POWER PER STRING...5700W

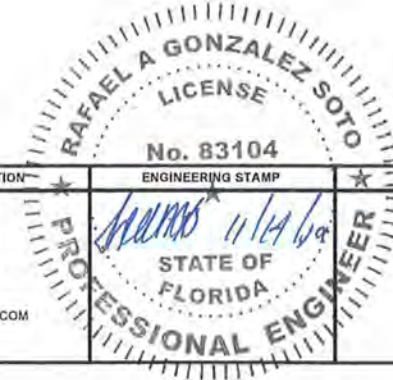
INVERTER
SOLAREEDGE_TECHNOLOGIES
SE-7600H-US(240V)
MODEL: SE-7600H-US
MAX OUTPUT CURRENT.....32A
MINIMUM OCPD.....40A
MAX NUMBER OF STRINGS.....2
NUMBER OF MPPT'S.....1
MAXIMUM INPUT VOLTAGE.....480V
TRANSFORMERLESS (Y/N).....YES
OPERATING CURRENT.....15A
OPERATING VOLTAGE.....380V
MAXIMUM SYSTEM VOLTAGE.....500V
SHORT CIRCUIT CURRENT.....12.8A

LEGEND:

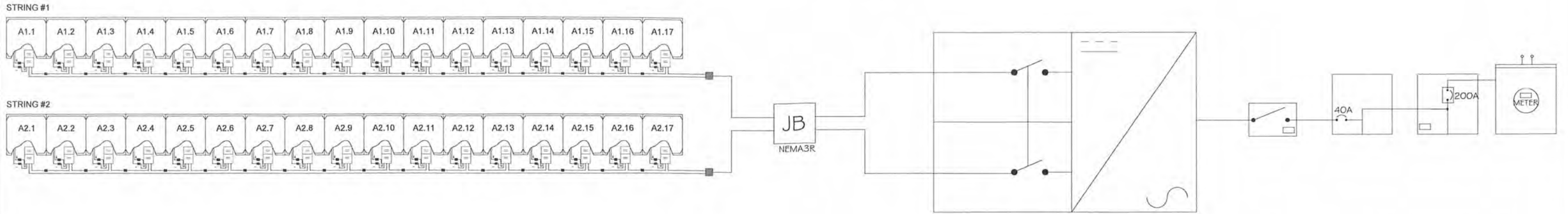
1	PV MODULES SLA-M 320 FROM SILFAB SOLAR 60 CELL P:320W, VMP: 32.8V, VOC: 39.85V, IMP: 9.16A, ISC: 9.71A	6	2 #8 L1,L2 THWN-2 1 #8 THWN-2 GROUND 3/4" EMT CONDUIT
2	2 #10 PV WIRE 1 #8 BARE WIRE GROUND 3/4" EMT CONDUIT	7	PV SYSTEM DISCONNECT RATED FOR 60A AIC RATING 100KA
3	NEMA3R JUNCTION BOX	8	BACKFEED PV BREAKER 2P-40A
4	4 #10 THWN-2 1 #10 THWN-2 GROUND 3/4" EMT CONDUIT	9	EXISTING FPL UTILITY METER BASE 200A RATED WITH 200A MAIN BREAKER AIC 10KA
5	SE7600H-US 240V INVERTER FROM SOLAR EDGE POWER: 7.6 KW, IMAX: 40A EFF @240V: 99% WITH INTEGRATED RAPID SHUTDOWN MECHANICAL DC 2P SWITCH		

SINGLE LINE DIAGRAM

SCALE: NONE



REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786-393-4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982-9001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00009-8390	SINGLE LINE PROJECT ID: TSP30734 DESIGNED BY: ENG. RAFAEL A. GONZALEZ SOTO, PE SHEET TITLE: E-1 SHEETS: 2 OF 8 DATE: 11/07/2019



1 Combiner Box / Circuits / Conduit Combiner Box / Enclosures / EMT Enclosures

WARNING
ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION
NEC 690.17 (E) | Part No. 596-00497

WARNING
ELECTRICAL SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE UNGROUNDED
AND MAY BE ENERGIZED
NEC 690.35 (E) | Part No. 596-00588

WARNING
TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL
NEC 110.27 (C) & OSHA 1910.145 (f)(7)
Part No. 596-00499

2 AC Disconnect / Breaker / Points of Connection

WARNING
ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION
NEC 690.17 (E) | Part No. 558-00497

120/240V
60Hz
7.6KW
32A
40A
NEC 690.52 | Part No. 558-00252

32A
240V
NEC 690.54 | Part No. 596-00239

3 Main Service Disconnect

WARNING
ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION
NEC 690.17 (E) | Part No. 558-00497

WARNING
TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL
NEC 690.5(C) | Part No. 558-00499

WARNING: PHOTOVOLTAIC
SYSTEM DISCONNECT

CAUTION: SOLAR ELECTRIC
SYSTEM CONNECTED
NEC 690.15 & NEC 690.13(B) | Part No. 558-00613

4 EMT / Conduit Raceways
*(Reflective Material Required)

WARNING PHOTOVOLTAIC
POWER SOURCE
NEC 690.31 | Part No. 558-00206

5 Inverter

WARNING
ELECTRICAL SHOCK HAZARD
IF A GROUND FAULT IS INDICATED
NORMALLY GROUNDED CONDUCTORS
MAY BE UNGROUNDED AND ENERGIZED
NEC 690.5 (C) | Part No. 596-00498

32A
240V
NEC 690.54 | Part No. 596-00239

6 Breaker Panel / Pull Boxes

WARNING
ELECTRICAL SHOCK HAZARD
IF A GROUND FAULT IS INDICATED
NORMALLY GROUNDED CONDUCTORS
MAY BE UNGROUNDED AND ENERGIZED
NEC 690.5 (C) | Part No. 558-00498

32A
240V
NEC 690.54 | Part No. 558-00239

WARNING
TURN OFF PHOTVOLTAIC
AC DISCONNECT PRIOR TO
WORKING INSIDE PANEL
NEC 110.27 (C) & OSHA 1910.145 (f)(7)
Part No. 558-00499

NEC 690.33 (E)(2) | Part No. 558-00244

CAUTION
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED
NEC 705.15(D)(4) & NEC 690.64
Part No. 558-00495

WARNING
ELECTRICAL SHOCK HAZARD
DO NOT TOUCH TERMINALS
ON BOTH LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION
NEC 690.17 (E) | Part No. 558-00497

WARNING DUAL POWER SOURCE
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED
NEC 705.12(D)(4) & NEC 690.64 | Part No. 558-00495

WARNING
INVERTER OUTPUT CONNECTION. DO NOT
RELOCATE THIS OVERCURRENT DEVICE
NEC 705.12(D)(2)(C) | Part No. 558-00589

7 Main Service Disconnect / Utility Meter

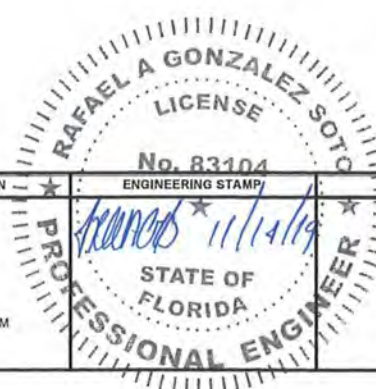
WARNING PHOTOVOLTAIC
SYSTEM DISCONNECT

8 AC Disconnect

PHOTOVOLTAIC
SYSTEM EQUIPPED
WITH RAPID SYSTEM
SHUTDOWN

PV SAFETY LABELS

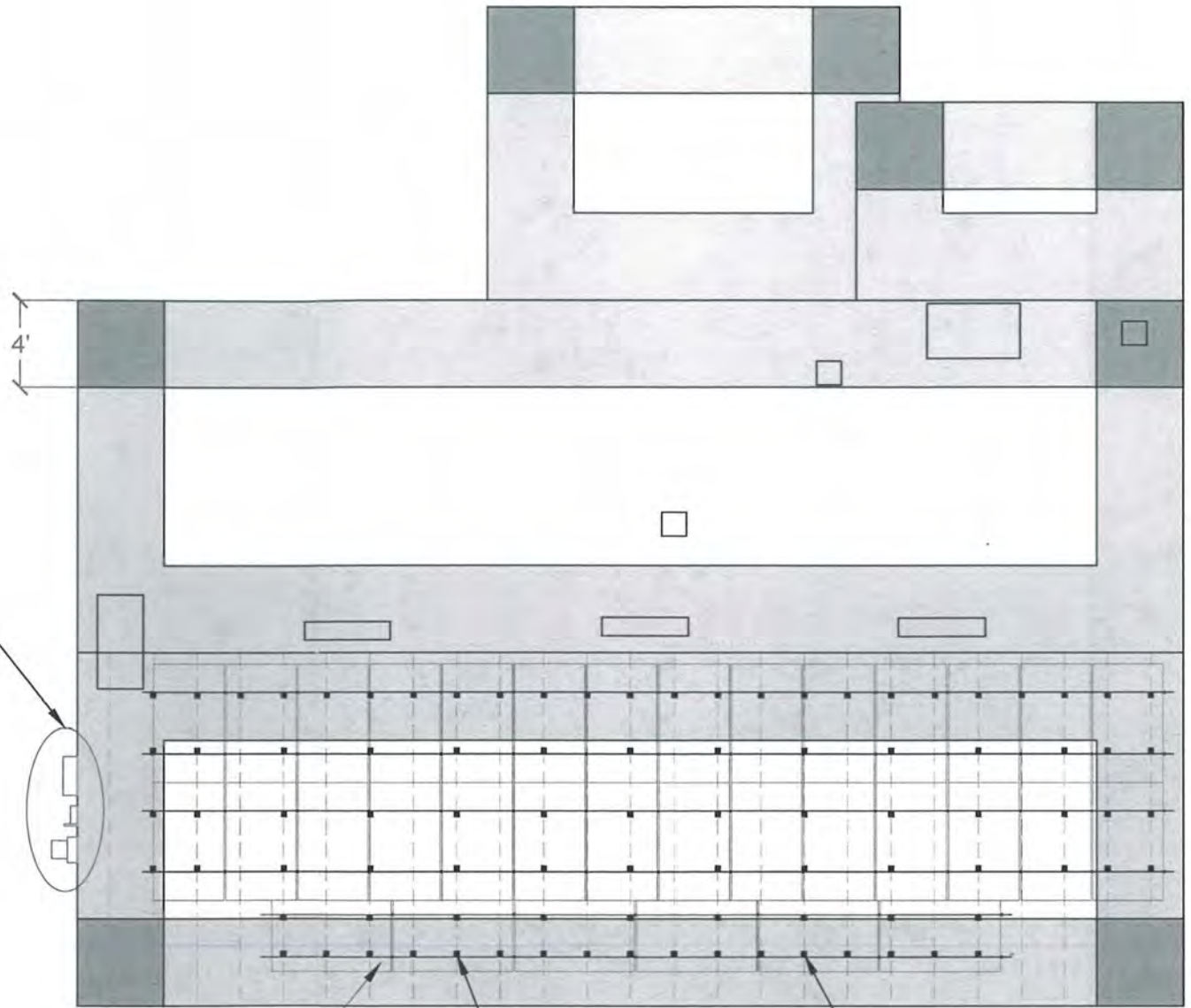
SCALE: 10"=1'-00"



REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	BOZEMAN, MARY	SHEET NAME
			ENGPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGPARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 8001 #EC13008093		PROJECT PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM ADDRESS 122 W Lloyd St, Pensacola, FL 32501, USA PARCEL NUMBER 20-26-16-0640-00000-8390	BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	SHEET NAME LABELS PROJECT ID TSP30734 DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE SHEET TITLE E-2 INSTALL DETAILS SHINGLE DATE 11/07/2019 SHEETS 3 OF 8

ROOF AREA	
EXISTING SHINGLE ROOF	
TOTAL ROOF AREA:	2042.06 sq.-ft
TOTAL PHOTOVOLTAIC AREA:	622.88 sq.-ft
PERIMETER WIDTH:	4.0-ft
PRESSURE ZONE:	1 & 2
MEAN ROOF HEIGHT:	23.40-ft
ROOF SLOPE:	5.9/12 -ft
TOTAL MODULES:	34
TOTAL ROOF MOUNTS:	92
ZONE 1	<input type="checkbox"/> -29.97psf
ZONE 2	<input type="checkbox"/> -52.17psf
ZONE 3	<input type="checkbox"/> -77.15psf

PSF

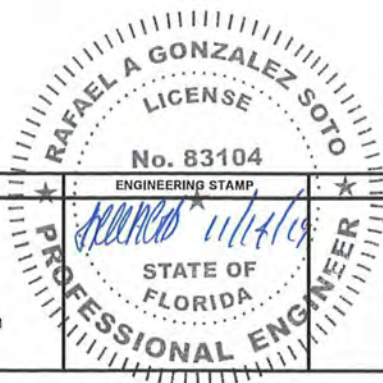


ELECTRICAL SERVICE



STRUCTURAL PLAN

SCALE: 1/4"=1'-0"



REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME		
			ENGI PARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGI PARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 -9001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	STRUCTURAL PLAN		
								PROJECT ID TSP30734	DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE	SHEET TITLE S-1
								INSTALL DETAILS SHINGLE	DATE 11/07/2019	SHEETS 4 OF 8

Slotted L-Foot

Our Slotted L-feet are engineered for most roof mounting applications. Vertical slots allow for easily dropping in rails with attached hardware and provide adjustability to account for roof irregularities.



Property	Value
Material	6000 Series Aluminum
Finish	Mill & Black
Height	3"
Width	2"
Depth	2"
Length of Vertical Slot	1.125"
Weight	0.22 Lbs
Hardware	3/8" SS

XR100 Rail

XR100 is the ultimate residential mounting rail. It supports a range of wind and snow conditions, while also maximizing spans.



Property	Value
Material	6000 Series Aluminum
Finish	Clear & Black Anodized
Beam Height	2.44"
Weight / Linear Foot	0.68 Lbs
Total Cross-Sectional Area	0.582 In ²
Section Modulus (X-axis)	0.297 In ³
Moment of Inertia (X-axis)	0.390 In ⁴
Moment of Inertia (Y-axis)	0.085 In ⁴
Torsional Constant	0.214 In ³
Polar Moment of Inertia	0.126 In ⁴

Mid Clamp

IronRidge Mid Clamps secure PV modules to the rail when there are multiple modules in a row.



Property	Value
Material	5000 Series Aluminum
Finish	Mill & Black
Spacing between Modules	1/4"
Width	1"
Depth	1.5"
Weight	0.05 Lbs
Hardware	1/4"-20 SS Nut and Bolt

End Clamp

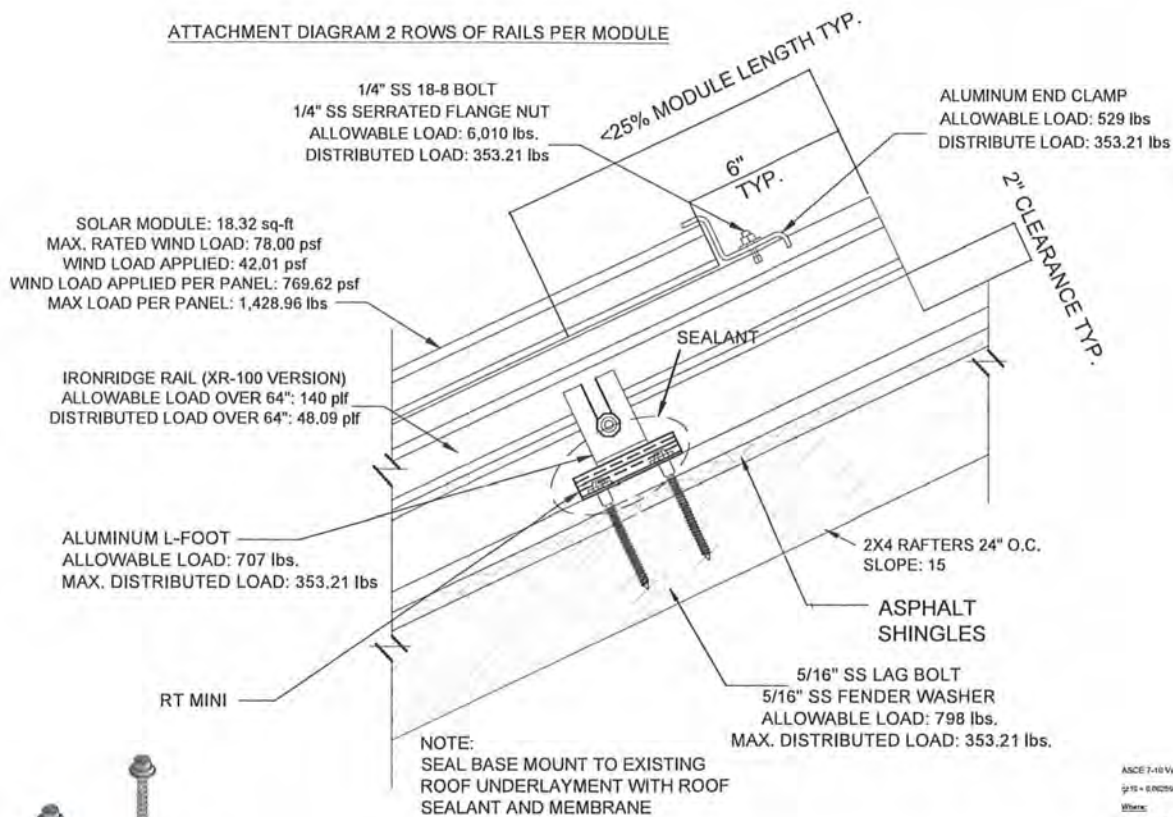
IronRidge End Clamps secure PV modules to XR Rails using the top slot, independent upon the module's mounting holes.



Property	Value
Material	5000 & 6000 Series Aluminum
Finish	Mill & Black
Height	Varies depending on Module
Width	1.5"
Depth	1.5"
Weight	0.05 Lbs
Hardware	1/4"-20 SS Nut and Bolt

RAIL XR100		FLUSH MOUNT SYSTEM SPAN TABLE (inches) PORTRAIT INSTALLATION (MAXIMUM MODULE LENGTH 67.5") EXPOSURE B		
WIND SPEED (mph)	ROOF SLOPE (degs.)	GROUND SNOW: 0 psf		
		ZONE 1	ZONE 2	ZONE 3
160	5	93	70	57
	10	97	72	58
	15	96	71	58
	20	95	71	58
	25	94	70	57
	30	85	81	81
	45	84	79	79

ATTACHMENT DIAGRAM 2 ROWS OF RAILS PER MODULE



ARRAY WIND LOAD CALCULATIONS

SOLAR PANEL	34
Total Area (SF)	622.88
Wind Load (PSF)	-52.17
Total Wind Load (lbs.)	-32,495.64
Total Roof Mounts (#)	92
Tension Force per Mount (lbs.)	353.21

LAG BOLT PULL OUT CALCULATIONS

Spruce, Pine,	Per Inch Thread Depth	266lbs
SS Lag Bolt 5/16" x 4"	Min. Thread Depth	0'-3"
Wood Strength x Thread Depth = Pull Out Strength		
266 lbs. x 3 in = 798 lbs.		
Allowable Pull Out Strength per Lag Bolt		798 lbs.
Max. Pull Out Strength Required per Lag Bolt		353.21
Lag Bolt Pull Out Strength Safety Factor		2.26

DESIGN WIND PRESSURE CALCULATIONS FOR SOLAR MODULES INSTALLED ON ROOF

ABOUT THIS TOOL:
This tool is based on the CEC Wind Loads for Enclosed Buildings. Design wind pressures are calculated using ASCE 7-10 equations 6-5.1, 6-5.2, and 6-5.3. All roofs in Figures 3D-1, 3D-2, 3D-3, and 3D-4 have been incorporated. Mean roof height must be less than 60 feet.

SITE INFORMATION

FBC VERSION	2017	RISK CATEGORY	II
MEAN ROOF HEIGHT (ft)	13.18	EXPOSURE CATEGORY	C
LENGTH (ft)	91.0	ROOF SLOPE (°)	26
WIDTH (ft)	32.4	ROOF TYPE	CHABLE
PARAPET HEIGHT (ft)	0	ULTIMATE WIND SPEED	100mph
MODULE LENGTH (ft)	3.48	NOMINAL WIND SPEED	157mph
MODULE WIDTH (ft)	3.20	K _c	0.85
# OF MODULES IN ROW	14	K _{z1}	1.0
EFFECTIVE WIND AREA (ft²)	19	K _{z2}	0.85

DESIGN CALCULATIONS

VELOCITY PRESSURE (q) = 0.00255 * K_{z1} * K_{z2} * V²
VELOCITY PRESSURE (ASD) 27.75

WIDTH OF PRESSURE COEFFICIENT WIDTH 4.00

EXTERNAL PRESSURE COEFFICIENT ZONE 1	0.5	-0.9
ZONE 2	0.5	-1.7
ZONE 3	0.5	-2.8

INTERNAL PRESSURE COEFFICIENT (+/-) 0.18

DESIGN PRESSURES

ROOF ZONE	DOWN	UP
1	-1.7	0.8
2	-1.7	0.8
3	-1.7	0.8

Bostik
HURRICANE STRONG POLYURETHANE SEALANT
915

DESCRIPTION
Bostik 915 is a two-component, smooth polyurethane adhesive capable of dynamic joint movements...
APPLICABLE STANDARDS
ASTM F1001, F1002, F1003, F1004, F1005, F1006, F1007, F1008, F1009, F1010, F1011, F1012, F1013, F1014, F1015, F1016, F1017, F1018, F1019, F1020, F1021, F1022, F1023, F1024, F1025, F1026, F1027, F1028, F1029, F1030, F1031, F1032, F1033, F1034, F1035, F1036, F1037, F1038, F1039, F1040, F1041, F1042, F1043, F1044, F1045, F1046, F1047, F1048, F1049, F1050, F1051, F1052, F1053, F1054, F1055, F1056, F1057, F1058, F1059, F1060, F1061, F1062, F1063, F1064, F1065, F1066, F1067, F1068, F1069, F1070, F1071, F1072, F1073, F1074, F1075, F1076, F1077, F1078, F1079, F1080, F1081, F1082, F1083, F1084, F1085, F1086, F1087, F1088, F1089, F1090, F1091, F1092, F1093, F1094, F1095, F1096, F1097, F1098, F1099, F1100, F1101, F1102, F1103, F1104, F1105, F1106, F1107, F1108, F1109, F1110, F1111, F1112, F1113, F1114, F1115, F1116, F1117, F1118, F1119, F1120, F1121, F1122, F1123, F1124, F1125, F1126, F1127, F1128, F1129, F1130, F1131, F1132, F1133, F1134, F1135, F1136, F1137, F1138, F1139, F1140, F1141, F1142, F1143, F1144, F1145, F1146, F1147, F1148, F1149, F1150, F1151, F1152, F1153, F1154, F1155, F1156, F1157, F1158, F1159, F1160, F1161, F1162, F1163, F1164, F1165, F1166, F1167, F1168, F1169, F1170, F1171, F1172, F1173, F1174, F1175, F1176, F1177, F1178, F1179, F1180, F1181, F1182, F1183, F1184, F1185, F1186, F1187, F1188, F1189, F1190, F1191, F1192, F1193, F1194, F1195, F1196, F1197, F1198, F1199, F1200, F1201, F1202, F1203, F1204, F1205, F1206, F1207, F1208, F1209, F1210, F1211, F1212, F1213, F1214, F1215, F1216, F1217, F1218, F1219, F1220, F1221, F1222, F1223, F1224, F1225, F1226, F1227, F1228, F1229, F1230, F1231, F1232, F1233, F1234, F1235, F1236, F1237, F1238, F1239, F1240, F1241, F1242, F1243, F1244, F1245, F1246, F1247, F1248, F1249, F1250, F1251, F1252, F1253, F1254, F1255, F1256, F1257, F1258, F1259, F1260, F1261, F1262, F1263, F1264, F1265, F1266, F1267, F1268, F1269, F1270, F1271, F1272, F1273, F1274, F1275, F1276, F1277, F1278, F1279, F1280, F1281, F1282, F1283, F1284, F1285, F1286, F1287, F1288, F1289, F1290, F1291, F1292, F1293, F1294, F1295, F1296, F1297, F1298, F1299, F1300, F1301, F1302, F1303, F1304, F1305, F1306, F1307, F1308, F1309, F1310, F1311, F1312, F1313, F1314, F1315, F1316, F1317, F1318, F1319, F1320, F1321, F1322, F1323, F1324, F1325, F1326, F1327, F1328, F1329, F1330, F1331, F1332, F1333, F1334, F1335, F1336, F1337, F1338, F1339, F1340, F1341, F1342, F1343, F1344, F1345, F1346, F1347, F1348, F1349, F1350, F1351, F1352, F1353, F1354, F1355, F1356, F1357, F1358, F1359, F1360, F1361, F1362, F1363, F1364, F1365, F1366, F1367, F1368, F1369, F1370, F1371, F1372, F1373, F1374, F1375, F1376, F1377, F1378, F1379, F1380, F1381, F1382, F1383, F1384, F1385, F1386, F1387, F1388, F1389, F1390, F1391, F1392, F1393, F1394, F1395, F1396, F1397, F1398, F1399, F1400, F1401, F1402, F1403, F1404, F1405, F1406, F1407, F1408, F1409, F1410, F1411, F1412, F1413, F1414, F1415, F1416, F1417, F1418, F1419, F1420, F1421, F1422, F1423, F1424, F1425, F1426, F1427, F1428, F1429, F1430, F1431, F1432, F1433, F1434, F1435, F1436, F1437, F1438, F1439, F1440, F1441, F1442, F1443, F1444, F1445, F1446, F1447, F1448, F1449, F1450, F1451, F1452, F1453, F1454, F1455, F1456, F1457, F1458, F1459, F1460, F1461, F1462, F1463, F1464, F1465, F1466, F1467, F1468, F1469, F1470, F1471, F1472, F1473, F1474, F1475, F1476, F1477, F1478, F1479, F1480, F1481, F1482, F1483, F1484, F1485, F1486, F1487, F1488, F1489, F1490, F1491, F1492, F1493, F1494, F1495, F1496, F1497, F1498, F1499, F1500, F1501, F1502, F1503, F1504, F1505, F1506, F1507, F1508, F1509, F1510, F1511, F1512, F1513, F1514, F1515, F1516, F1517, F1518, F1519, F1520, F1521, F1522, F1523, F1524, F1525, F1526, F1527, F1528, F1529, F1530, F1531, F1532, F1533, F1534, F1535, F1536, F1537, F1538, F1539, F1540, F1541, F1542, F1543, F1544, F1545, F1546, F1547, F1548, F1549, F1550, F1551, F1552, F1553, F1554, F1555, F1556, F1557, F1558, F1559, F1560, F1561, F1562, F1563, F1564, F1565, F1566, F1567, F1568, F1569, F1570, F1571, 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F2144, F2145, F2146, F2147, F2148, F2149, F2150, F2151, F2152, F2153, F2154, F2155, F2156, F2157, F2158, F2159, F2160, F2161, F2162, F2163, F2164, F2165, F2166, F2167, F2168, F2169, F2170, F2171, F2172, F2173, F2174, F2175, F2176, F2177, F2178, F2179, F2180, F2181, F2182, F2183, F2184, F2185, F2186, F2187, F2188, F2189, F2190, F2191, F2192, F2193, F2194, F2195, F2196, F2197, F2198, F2199, F2200, F2201, F2202, F2203, F2204, F2205, F2206, F2207, F2208, F2209, F2210, F2211, F2212, F2213, F2214, F2215, F2216, F2217, F2218, F2219, F2220, F2221, F2222, F2223, F2224, F2225, F2226, F2227, F2228, F2229, F2230, F2231, F2232, F2233, F2234, F2235, F2236, F2237, F2238, F2239, F2240, F2241, F2242, F2243, F2244, F2245, F2246, F2247, F2248, F2249, F2250, F2251, F2252, F2253, F2254, F2255, F2256, F2257, F2258, F2259, F2260, F2261, F2262, F2263, F2264, F2265, F2266, F2267, F2268, F2269, F2270, F2271, F2272, F2273, F2274, F2275, F2276, F2277, F2278, F2279, F2280, F2281, F2282, F2283, F2284, F2285, F2286, F2287, F2288, F2289, F2290, F2291, F2292, F2293, F2294, F2295, F2296, F2297, F2298, F2299, F2300, F2301, F2302, F2303, F2304, F2305, F2306, F2307, F2308, F2309, F2310, F2311, F2312, F2313, F2314, F2315, F2316, F2317, F2318, F2319, F2320, F2321, F2322, F2323, F2324, F2325, F2326, F2327, F2328, F2329, F2330, F2331, F2332, F2333, F2334, F2335, F2336, F2337, F2338, F2339, F2340, F2341, F2342, F2343, F2344, F2345, F2346, F2347, F2348, F2349, F2350, F2351, F2352, F2353, F2354, F2355, F2356, F2357, F2358, F2359, F2360, F2361, F2362, F2363, F2364, F2365, F2366, F2367, F2368



SLA-M 320 Wp

60 Cell Monocrystalline PV Module



INDUSTRY LEADING WARRANTY
All our products include an industry leading 25-year product workmanship and 30-year performance warranty.

35+ YEARS OF SOLAR INNOVATION
Leveraging over 35+ years of worldwide experience in the solar industry, Silfab is dedicated to superior manufacturing processes and innovations such as Bifacial and Back Contact technologies, to ensure our partners have the latest in solar innovation.

NORTH AMERICAN QUALITY
Silfab is the largest and most automated solar manufacturer in North America. Utilizing premium quality materials and strict quality control management to deliver the highest efficiency, premium quality PV modules 100% made in North America.



BAA / ARRA COMPLIANT

Silfab panels are designed and manufactured to meet Buy American Act Compliance. The US State Department, US Military and FAA have all entrusted Silfab panels in their solar installations.

LIGHT AND DURABLE

Engineered to accommodate low load bearing structures up to 5400Pa. The light-weight frame is exclusively designed for wide-ranging racking compatibility and durability.

LOWEST DEFECT RATE

Total automation ensures strict quality controls during the entire manufacturing process at our ISO certified facilities. 48.18 ppm as per December 2018.

DOMESTIC PRODUCTION

Silfab is 100% North American which means our customer service is direct, efficient and local. Your solar panels can be delivered anywhere in the Continental USA within days.

AESTHETICALLY PLEASING

All black sleek design doesn't compromise on quality.

PID RESISTANT

PID Resistant due to advanced cell technology and material selection. In accordance to IEC 62804-1



Electrical Specifications		SILFAB SLA Monocrystalline	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	320	242
Maximum power voltage (Vpmax)	V	33.7	30.3
Maximum power current (Ipmax)	A	9.5	8.0
Open circuit voltage (Voc)	V	40.45	37.42
Short circuit current (Isc)	A	9.96	8.17
Module efficiency	%	19.6	18.5
Maximum system voltage (VDC)	V		1000
Series fuse rating	A		20
Power Tolerance	Wp		+/- 3%
Measurement conditions: STC 1000 W/m ² • AM 1.5 • Temperature 25 °C • NOCT 800 W/m ² • AM 1.5 • Measurement uncertainty ≤ 3% • Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by 45% and power by +/- 3%.			
Temperature Ratings		SILFAB SLA Monocrystalline	
Temperature Coefficient Isc	%/K		0.03
Temperature Coefficient Voc	%/K		-0.30
Temperature Coefficient Pmax	%/K		-0.38
NOCT (± 2°C)	°C		45
Operating temperature	°C		-40/+85
Mechanical Properties and Components		SILFAB SLA Monocrystalline	
Module weight (± 1 kg)			19 kg
Dimensions (H x L x D; ± 1mm)			1650 x 990 x 38 mm
Maximum design load (wind/snow)*			2400 Pa upward / 5400 Pa downward
Hail impact resistance			Ø 25 mm at 83 km/h
Cells			60 - Si monocrystalline - 5 busbar - 156.75 x 156.75 mm
Glass			3.2 mm high transmittance, tempered, antireflective coating
Backsheet			Multilayer polyester-based
Frame			Anodized Al (Black)
Bypass diodes			3 diodes, 20SQ040 (45V/20A) IP67/IP68 Junction Box
Cables and connectors (See installation manual)			90° C, 12 AWG, PV Wire, MC4 compatible
Warranties		SILFAB SLA Monocrystalline	
Module product workmanship warranty			25 years
Linear power performance guarantee			30 years
Certifications		SILFAB SLA Monocrystalline	
Product		ULC ORD C1703, UL 1703, IEC 61215, IEC 61730-1 and IEC 61730-2 Certified, FSEC and CEC listed, IEC 62716 Ammonia Corrosion, IEC 61701:2011 Salt Mist Corrosion Certified	
Factory		UL Fire Rating: Type 2 (Type 1 on request) ISO9001:2015	

*Please refer to the Safety and Installation Manual for mounting specifications.
▲ Warning: Read the installation and User Manual before handling, installing and operating modules.

Third-party generated pan files from Fraunhofer-Institute for Solar Energy Systems ISE are available for download at: www.silfabsolar.com/downloads

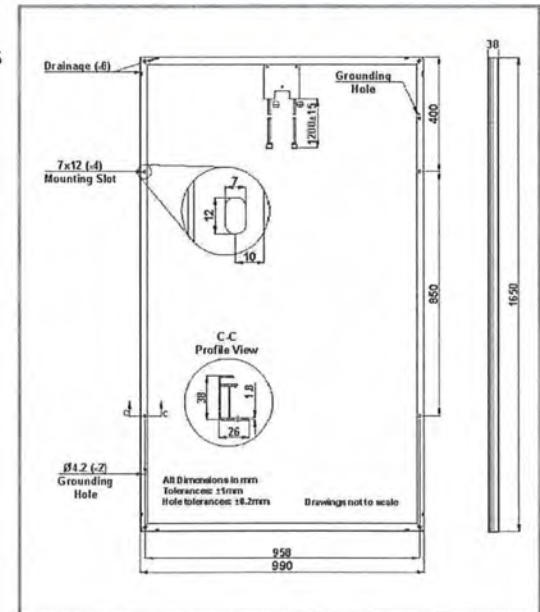


Modules Per Pallet: 26
Pallets Per Truck: 36
Modules Per Truck: 936



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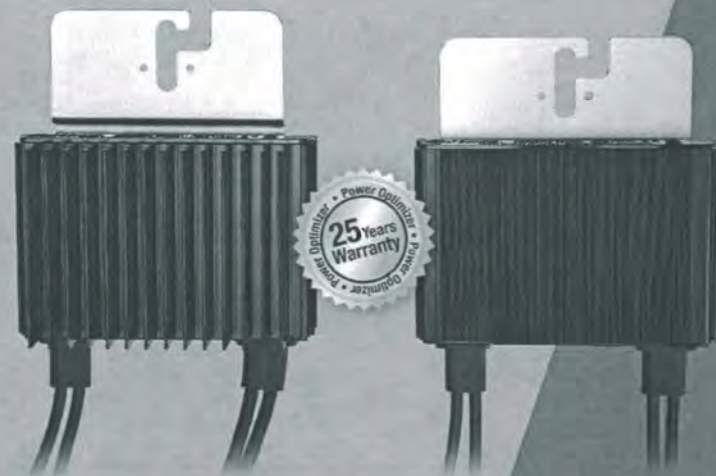
REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	BOZEMAN, MARY	SHEET NAME	DATE SHEET	
			ENGIPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGIPARTNERS.COM 786 - 393 - 4740		TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 9001 #EC13008093		PROJECT PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM ADDRESS 122 W Lloyd St, Pensacola, FL 32501, USA PARCEL NUMBER 20-26-16-0640-00000-8390	PROJECT ID TSP30734 INSTALL DETAILS SHINGLE	DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE DATE 11/07/2019	SHEET TITLE D-1 SHEETS 6 OF 8	



SolarEdge Power Optimizer

Module Add-On For North America

P320 / P370 / P400 / P405 / P505



POWER OPTIMIZER

PV power optimization at the module-level

- Specifically designed to work with SolarEdge inverters
- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Compliant with arc fault protection and rapid shutdown NEC requirements (when installed as part of the SolarEdge system)
- Module-level voltage shutdown for installer and firefighter safety

USA-CANADA-GERMANY-UK-ITALY-THE NETHERLANDS-JAPAN-CHINA-AUSTRALIA-ISRAEL-FRANCE-BELGIUM-TURKEY-INDIA-BULGARIA-ROMANIA-HUNGARY- www.solaredge.us
SWEDEN-SOUTH AFRICA-POLAND-CZECH REPUBLIC



SolarEdge Power Optimizer

Module Add-On for North America

P320 / P370 / P400 / P405 / P505

OPTIMIZER MODEL (typical module compatibility)	P320 (for high-power 60-cell modules)	P370 (for higher-power 60 and 72-cell modules)	P400 (for 72 & 96-cell modules)	P405 (for thin film modules)	P505 (for higher current modules)	
INPUT						
Rated Input DC Power ⁽¹⁾	320	370	400	405	505	W
Absolute Maximum Input Voltage (Voc at lowest temperature)	48	60	80	125	83	Vdc
MPPT Operating Range	8 - 48	8 - 60	8 - 80	12.5 - 105	12.5 - 83	Vdc
Maximum Short Circuit Current (Isc)	11	11	10.1	14	14	Adc
Maximum DC Input Current	13.75	13.75	12.63	17.5	17.5	Adc
Maximum Efficiency			99.5			%
Weighted Efficiency			98.8		98.6	%
Overvoltage Category	II					
OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREGE INVERTER)						
Maximum Output Current	15					Adc
Maximum Output Voltage	60			85		Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREGE INVERTER OR SOLAREGE INVERTER OFF)						
Safety Output Voltage per Power Optimizer	1 ± 0.1					Vdc
STANDARD COMPLIANCE						
EMC	FCC Part15 Class B, IEC61000-6-2, IEC61000-6-3					
Safety	IEC62109-1 (class II safety), UL1741					
RoHS	Yes					
INSTALLATION SPECIFICATIONS						
Maximum Allowed System Voltage	1000					Vdc
Compatible inverters	All SolarEdge Single Phase and Three Phase Inverters					
Dimensions (W x L x H)	128 x 152 x 28 / 5 x 5.97 x 1.1	128 x 152 x 36 / 5 x 5.97 x 1.42	128 x 152 x 50 / 5 x 5.97 x 1.96	128 x 152 x 59 / 5 x 5.97 x 2.32		mm / in
Weight (including cables)	630 / 1.4		750 / 1.7	845 / 1.9	1064 / 2.3	gr / lb
Input Connector	MC4 ⁽²⁾					
Output Wire Type / Connector	Double Insulated; MC4					
Output Wire Length	0.95 / 3.0	1.2 / 3.9				m / ft
Operating Temperature Range	-40 - +85 / -40 - +185					°C / °F
Protection Rating	IP68 / NEMA6P					
Relative Humidity	0 - 100					%

⁽¹⁾ Rated STC power of the module. Module of up to +5% power tolerance allowed.

⁽²⁾ For other connector types please contact SolarEdge

PV SYSTEM DESIGN USING A SOLAREGE INVERTER ⁽¹⁾⁽²⁾	SINGLE PHASE HD-WAVE	SINGLE PHASE	THREE PHASE 208V	THREE PHASE 480V	
Minimum String Length	8	10	18		
Maximum String Length	6	8	14		
Maximum String Length (Power Optimizers)	25	25	50 ⁽³⁾		
Maximum Power per String	5700 (6000 with SE7600H-US, SE10000H-US)	5250	6000	12750	W
Parallel Strings of Different Lengths or Orientations	Yes				

⁽¹⁾ For detailed string sizing information refer to: http://www.solaredge.com/sites/default/files/string_sizing_na.pdf.

⁽²⁾ It is not allowed to mix P405/P505 with P320/P370/P400/P600/P700/P800 in one string.

⁽³⁾ A string with more than 30 optimizers does not meet NEC rapid shutdown requirements; safety voltage will be above the 30V requirement.



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REV	DESCRIPTION	DATE	DESIGNER CONTACT INFORMATION	ENGINEERING STAMP	COMPANY CONTACT INFO	COMPANY LOGO	CUSTOMER	SHEET NAME	PROJECT ID	DESIGNED BY	SHEET TITLE
			ENGI PARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGI PARTNERS.COM 786 - 393 - 4740	RAFAEL A. GONZALEZ SOTO No. 83104 STATE OF FLORIDA PROFESSIONAL ENGINEER	TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982-9001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	DATA SHEET	TSP30734	ENG. RAFAEL A. GONZALEZ SOTO, PE	D-2
									11/07/2019		7 OF 8

solar**edge**

Single Phase Inverter
with HD-Wave Technology
for North America

SE3000H-US / SE3800H-US / SE5000H-US /
SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

INVERTERS

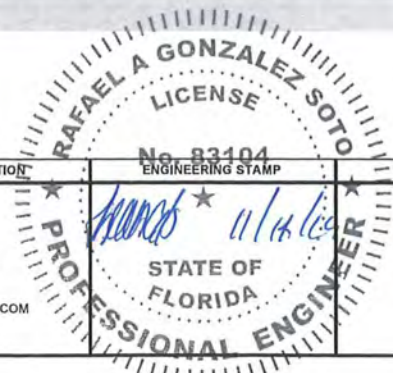


Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking efficiency
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Extremely small
- High reliability without any electrolytic capacitors
- Built-in module-level monitoring
- Outdoor and indoor installation
- Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)



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solar**edge**

Single Phase Inverter
with HD-Wave Technology for North America
SE3000H-US / SE3800H-US / SE5000H-US /
SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
Max. AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	-	Vac
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Frequency (Nominal)					59.3 - 60 - 60.5 ¹⁾			Hz
Maximum Continuous Output Current 208V	-	16	-	24	-	-	-	A
Maximum Continuous Output Current @ 240V	12.5	16	21	25	32	42	47.5	A
GFDI Threshold					1			A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds					Yes			
INPUT								
Maximum DC Power @ 240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @ 208V	-	5100	-	7750	-	-	-	
Transformer-less, Ungrounded					Yes			
Maximum Input Voltage					480			Vdc
Nominal DC Input Voltage					380	400		Vdc
Maximum Input Current 208V	-	9	-	13.5	-	-	-	Adc
Maximum Input Current @ 240V	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Max. Input Short Circuit Current					45			Adc
Reverse-Polarity Protection					Yes			
Ground-Fault Isolation Detection					600ka Sensitivity			
Maximum Inverter Efficiency	99			99.2				%
CEC Weighted Efficiency					99			%
Nighttime Power Consumption					< 2.5			W
ADDITIONAL FEATURES								
Supported Communication Interfaces					RS485, Ethernet, ZigBee (optional), Cellular (optional)			
Revenue Grade Data, ANSI C12.20					Optional ²⁾			
Rapid Shutdown - NEC 2014 and 2017 690.12					Automatic Rapid Shutdown upon AC Grid Disconnect			
STANDARD COMPLIANCE								
Safety					UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCl according to T.I.L. M-07			
Grid Connection Standards					IEEE1547, Rule 21, Rule 14 (H)			
Emissions					FCC Part 15 Class B			
INSTALLATION SPECIFICATIONS								
AC Output Conduit Size / AWG Range					3/4" minimum / 14-6 AWG		3/4" minimum / 14-4 AWG	
DC Input Conduit Size / # of Strings / AWG Range					3/4" minimum / 1-2 strings / 14-6 AWG		3/4" minimum / 1-3 strings / 14-6 AWG	
Dimensions with Safety Switch (HxWxD)					17.7 x 14.6 x 6.8 / 450 x 370 x 174		21.3 x 14.6 x 7.3 / 540 x 370 x 185	
Weight with Safety Switch	22 / 10	25.1 / 11.4		26.2 / 11.9		38.8 / 17.6		lb / kg
Noise					< 25	< 50		dBA
Cooling					Natural Convection		Natural convection	
Operating Temperature Range					-13 to +140 / -25 to +60 ³⁾ (-40°F / -40°C option) ⁴⁾			
Protection Rating					NEMA 3R (Inverter with Safety Switch)			°F / °C

¹⁾ For other regional settings please contact SolarEdge support
²⁾ Revenue grade Inverter P/N: SExxxxH-US000NNC2
³⁾ For power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>
⁴⁾ 40 version P/N: SExxxxH-US000NNU4

RoHS

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			ENGPARTNERS, LLC C.A. 32661 330 SW 27 AVE STE 508 MIAMI, FL 33135 RGONZALEZ@ENGPARTNERS.COM 786 - 393 - 4740	TITAN SOLAR POWER FL, INC. 12221 N US HIGHWAY 301 THONOTASASSA, FL 33592 (813) 982 - 8001 #EC13008093		BOZEMAN, MARY PV GRID-TIED: 10.88 KW DC / 7.60 KW AC STRING INVERTER SYSTEM 122 W Lloyd St, Pensacola, FL 32501, USA 20-26-16-0640-00000-8390	DATA SHEET		
							PROJECT ID TSP30734	DESIGNED BY ENG. RAFAEL A. GONZALEZ SOTO, PE	SHEET TITLE D-3
							INSTALL DETAILS SHINGLE	DATE 11/07/2019	SHEETS 8 OF 8

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 4**
903 N. Spring Street
NHPD / PR-2
Contributing Structure

BACKGROUND

Dio Perera, Walcott Adams Verneuille Architects, is requesting approval for a detached carriage house. The proposed two-car garage with second-story living space has been designed to complement the primary residence. The paint palette will match the existing approved palette for the principle structure. Proposed materials include Marvin wood windows and doors. The garage doors will be carriage style painted Sherwin Williams "Classic Light Buff and the roof will be architectural shingles in "Oxford Grey". A similar design of this project was approved as presented by the Board in November 2018.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(8) NHPD, Regulations for new construction in North Hill

Sec. 12-2-10(B)(6) NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures in North Hill



HISTORICAL STRUCTURE FORM
FLORIDA SITE FILE
Version 2.0 7/92

Site #8 ES00725
Recorder #
Field Date 5 / 3 / 95
Form Date 7 / 9 / 95

Original
Update

NAME NAMES (addr. if none) E. J. FORBES HOUSE [MULT. LIST. #8]
SURVEY NORTH HILL [SURVEY #]
NATIONAL REGISTER CATEGORY building structure X district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 903 N. SPRING ST.
CROSS STREETS nearest/between NW CORNER OF N. SPRING ST. AND W. STRONG ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS X yes no
COUNTY ESCAMBIA TAX PARCEL # 9010-020-042
SUBDIVISION NAME NORTH HILL BLOCK 42 LOT NO. 20-22
OWNERSHIP private-profit priv-nonprofit X priv-indiv priv-unspecified city county state federal unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
[UTM: ZONE 16 17 EASTING | | | | 0 | NORTHING | | | | 0 |]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

STYLE QUEE EXTERIOR PLAN IRRE NO. STORIES 2.5
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER, CONT Materials BRIC, STUC
EXTERIOR FABRICS WTBD
ROOF: Types GAHP Materials SHCO
Secondary strucs. (dormers etc.) SE CORNER, OCTAGONAL TOWER
CHIMNEY : No. 3 Materials BRIC LOCATIONS W LAT SLOPE, SW SLOPE,
WINDOWS (types, materials, and placements) SE SLOPE
DHS, 1/1, WOOD; BAY (SEMI-OCTAGONAL)

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations F AND S/ 1 STORY ENCIRCLING VERANDAH
Porch roof types WITH WOOD COLUMNS, SPINDLE AND SPOOL BALLUSTER; 6 BAY, ACCESS FROM E
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: X excellent good fair deteriorated ruinous
SURROUNDINGS (N-None, S-Some, M-Most, A-All or nearly all) commercial A residential institutional rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)
Artifacts or other remains

NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORY

CONSTRUCTION DATE 1900 CIRCA yes no
 ARCHITECT: (last name first) _____
 BUILDER: (last name first) _____
 MOVES yes no Dates _____ Orig.addr. _____
 ALTERATIONS yes no Dates _____ Nature _____
 ADDITIONS yes no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) RESIDENCE
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) WILLIAM J. FORBES (ORIGINAL),
ELWOOD MCLAUGHLIN (UNTIL 1953), JANE D. AND DOUGLAS S. ASHLEY (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic her _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____
give FSF Manuscript Number, or loc _____)



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R10, F3-4

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

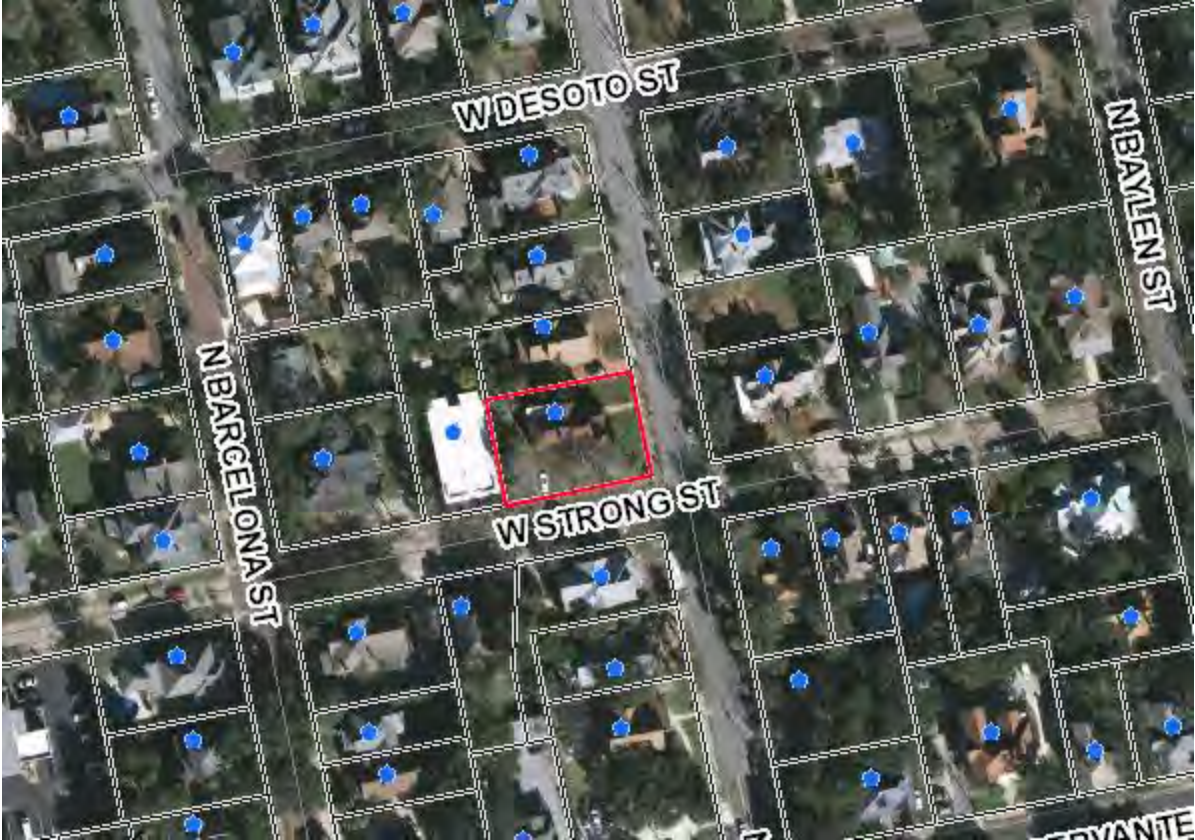
FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DIR USE ONLY	OFFICIAL EVALUATIONS	DIR USE ONLY
NR DATE _____	KEEPER-NR ELIGIBILITY* <input type="checkbox"/> y <input type="checkbox"/> n <input type="checkbox"/> pe <input type="checkbox"/> i Date _____	
DELIST DATE _____	SHPO-NR ELIGIBILITY* <input type="checkbox"/> y <input type="checkbox"/> n <input type="checkbox"/> pe <input type="checkbox"/> i Date _____	
	LOCAL DESIGNATION* _____ Date _____	
	Local office _____	

* y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information

- REQUIRED:
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

903 N. Spring Street





**Architectural Review Board Application
Full Board Review**

Application Date: 1/24/20

Project Address: 903 N Spring Street, Pensacola, Florida 32501

Applicant: Walcott Adams Verneuille Architects, Inc. - Diosdado Perera

Applicant's Address: 1 S School Street, Fairhope, Alabama 36532

Email: diosdado@wavarchitects.com
missouri@wavarchitects.com **Phone:** 251-928-6041

Property Owner: Rhonda and Daryl Brach

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of a carriage house which will include living space above and parking for 2 vehicles below.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

1/24/20

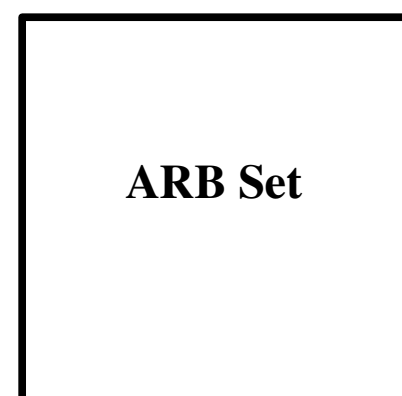
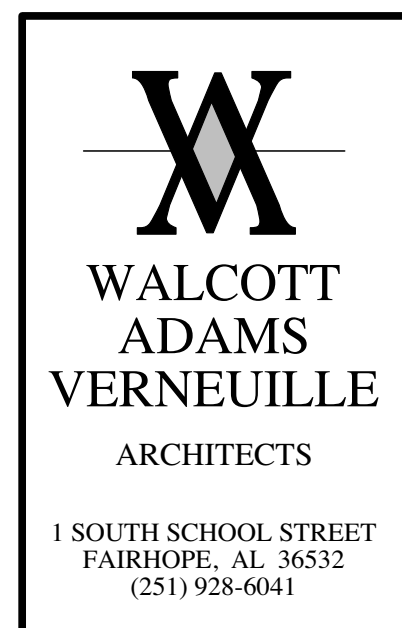
Date

Architectural Review Set

January 30, 2020

Index of Drawings

T1.1	Title
C1.1	Survey of Record
C1.2	Site Context
C1.3	Architectural Site Plan
A1.1	Floor Plans
A3.1	Elevations
SP.1	Specs



GENERAL NOTES

- DO NOT SCALE ANY DRAWING.
- The Architect shall be consulted in the event any item of work necessary for the proper completion of the Project which is not specifically covered in the drawings and/or specifications.
- All work performed by the Contractor and all Sub-Contractors shall be of superior quality performed in a manner consistent with industry standards, all building code requirements and in a professional manner by mechanics skilled and licensed in their respective trades.
- All manufactured articles, materials and equipment shall be applied, installed, erected and connected in accordance with manufacturer's directions and recommendations.
- Any discrepancies between drawings and/or specifications, local codes, building inspector requirements and/or existing conditions shall be referred to the Architect for resolution. All Contractors shall check all dimensions and conditions prior to commencement of construction or the work of their specific trade.
- The Contractor shall verify and be responsible for all dimensions and conditions for the Project. Where job conditions prevent obtaining dimensions or results as shown or specified, the Contractor shall consult the Architect for resolution.
- All Work performed by the Contractor and all Sub-Contractors shall conform to the requirements of municipal, local, federal and state laws, as well as any other governing requirements, and conventional guidelines, whether or not specified on the drawings.
- These Plans may be used only under such conditions in which all applicable laws, rules and regulations is the sole responsibility of the Contractor.
- Where the contract, notes or drawings call for any work of a more stringent nature than that required by the building code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished in all cases.
- The Architect shall be provided with shop drawings or samples of custom fabricated items prior to construction.
- Reasonable allowances shall be provided for all items not specified in the drawings, materials list, notes and specifications.
- Substitutions for specified items shall be permitted only upon written consent from the Architect.
- Written dimensions have precedence over scaled dimensions. Larger scale details have precedence over smaller scale details.
- The Contractor shall be responsible for prompting owner to obtain builders risk insurance prior to construction. The Contractor shall be responsible for obtaining all permits and approvals, all fees and taxes necessary to the construction of the Project.
- The Contractor shall be fully and solely responsible for the removal, replacement and rectification of all damaged and defective material and workmanship in connection with the contract work.
- The Contractor and all Sub-Contractors shall obtain and apply for all legally required approvals and permits necessary for the execution and completion of his work.
- The Contractor is responsible that easements and setbacks are not encroached.
- The Contractor shall coordinate all tie-ins and all utility services with the respective utility companies.
- The Contractor shall remove all construction debris and leave the site uniformly graded.
- The contractor shall protect from damage all existing trees, shrubs, vegetation and landscape elements or features adjacent to and in the vicinity of the building pad and staging areas during the entire period of construction.

New Carriage House for

Rhonda and Daryl Brach

903 North Spring Street

Pensacola, FL 32501

New Carriage House for
 Rhonda and Daryl Brach
 903 N. Spring St.
 Pensacola, FL 32501

Project Information

Property Address:
903 N. Spring St.
Pensacola, FL
32501

Owner/ Contacts

Contacts:
Rhonda and Daryl Brach

Rhonda Brach
rsbrach@gmail.com

Daryl Brach
daryl.brach@gmail.com

Architectural

Walcott Adams Verneuille Architects
One South School Street
Fairhope, Alabama 36532

Contacts:
Gina Walcott
Dio Perera

Phone: 251-928-6041
Fax: 251-928-6045

Gina@wavarchitects.com
Dio@wavarchitects.com

General Contractor

Heath Kelly Construction
2328 Brightview Place,
Cantonment, FL 32533

Contact:
Heath Kelly
cell: 850-232-7195

Geo. Tech.

Not Yet Selected

Structural

Dean A. Spencer Engineering Inc.
2735 Sanibel Pl.
Gulf Breeze, FL 32563

Contact:
Max Spencer

Phone: 850-932-8730

dean.spencer.pe@gmail.com

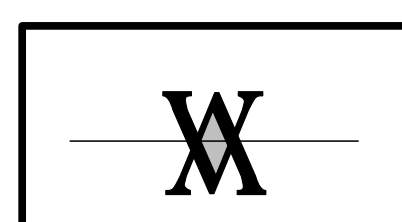
Landscape

Not yet selected

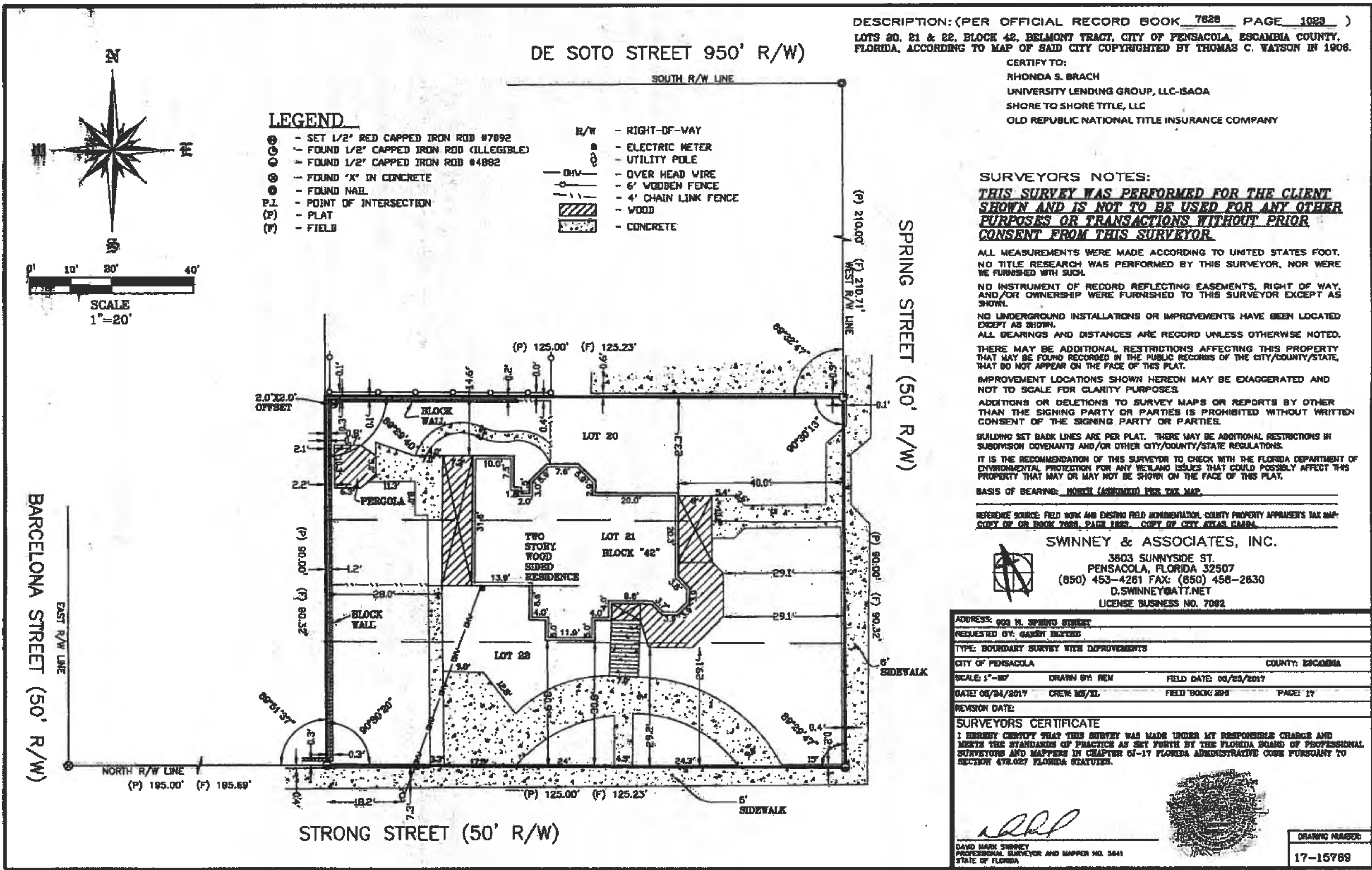
Date	January 30, 2020
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Revised	
Revised	
Drawn	
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T1.1

Title sheet



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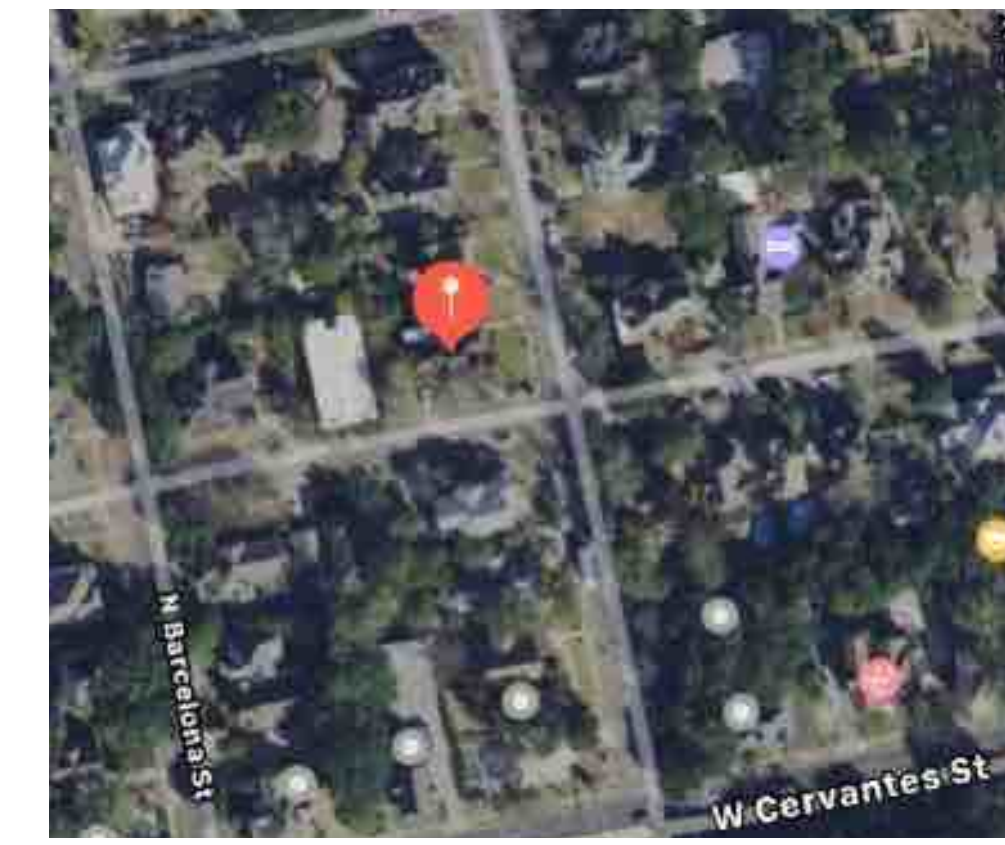


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Location Map of 903 N. Spring St.

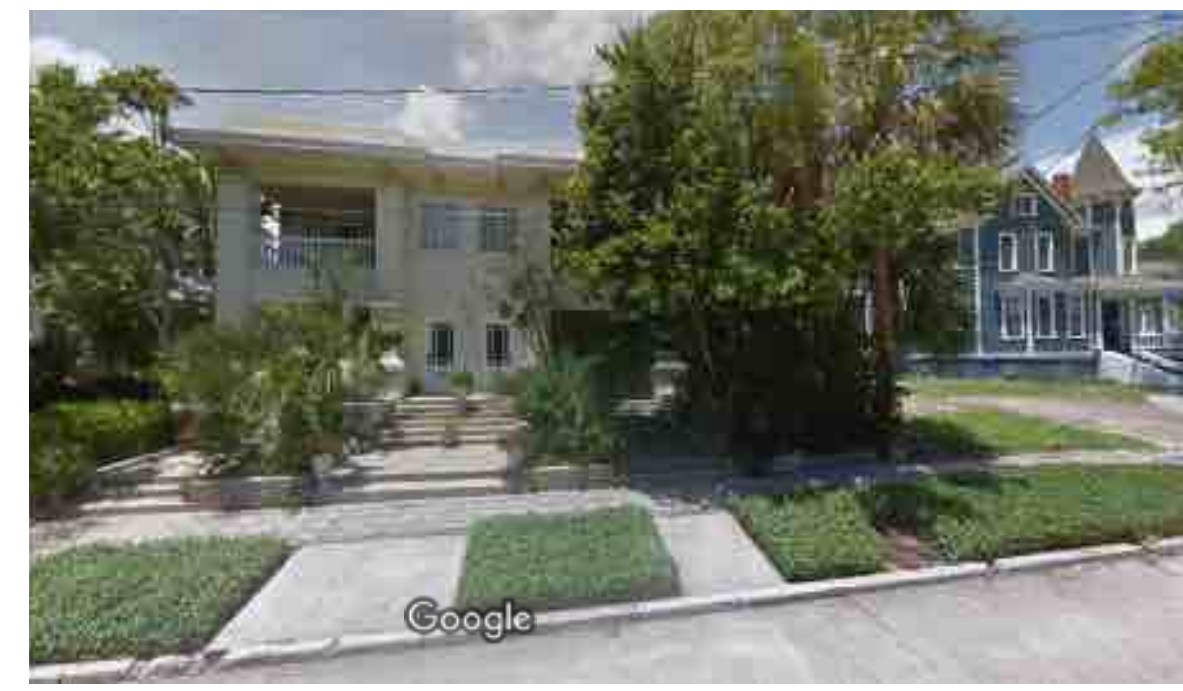


Satellite Image of 903 N. Spring St.

Reference House Images Taken on both Strong and Spring Streets



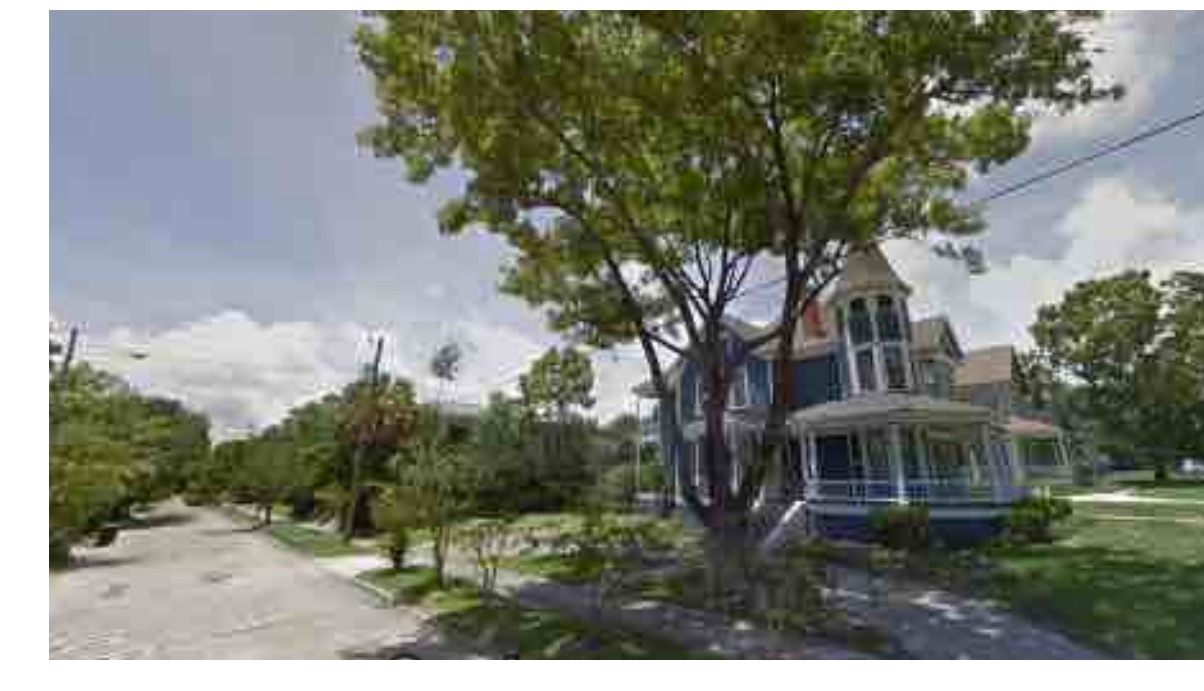
904 N. Barcelona St.



208 W. Strong St.



Property from Strong Street



Property @ intersection of Strong & Spring Street



Property from Spring Street



909 N. Spring Street



911 N. Spring Street



915 N. Spring Street

Two Story Carriage House Reference Images within 0.2 miles of Property



905 N. Barcelona Street



1001 N. Barcelona Street



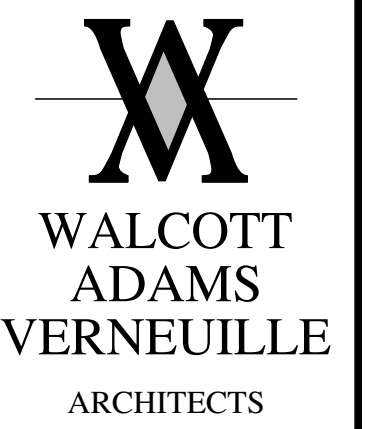
904 N. Barcelona Street



225 W. Gonzalez Street



222 W. De Soto Street



1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

*New Carriage House for
Rhonda and Daryl Brach*
903 N. Spring St.
Pensacola, FL 32501

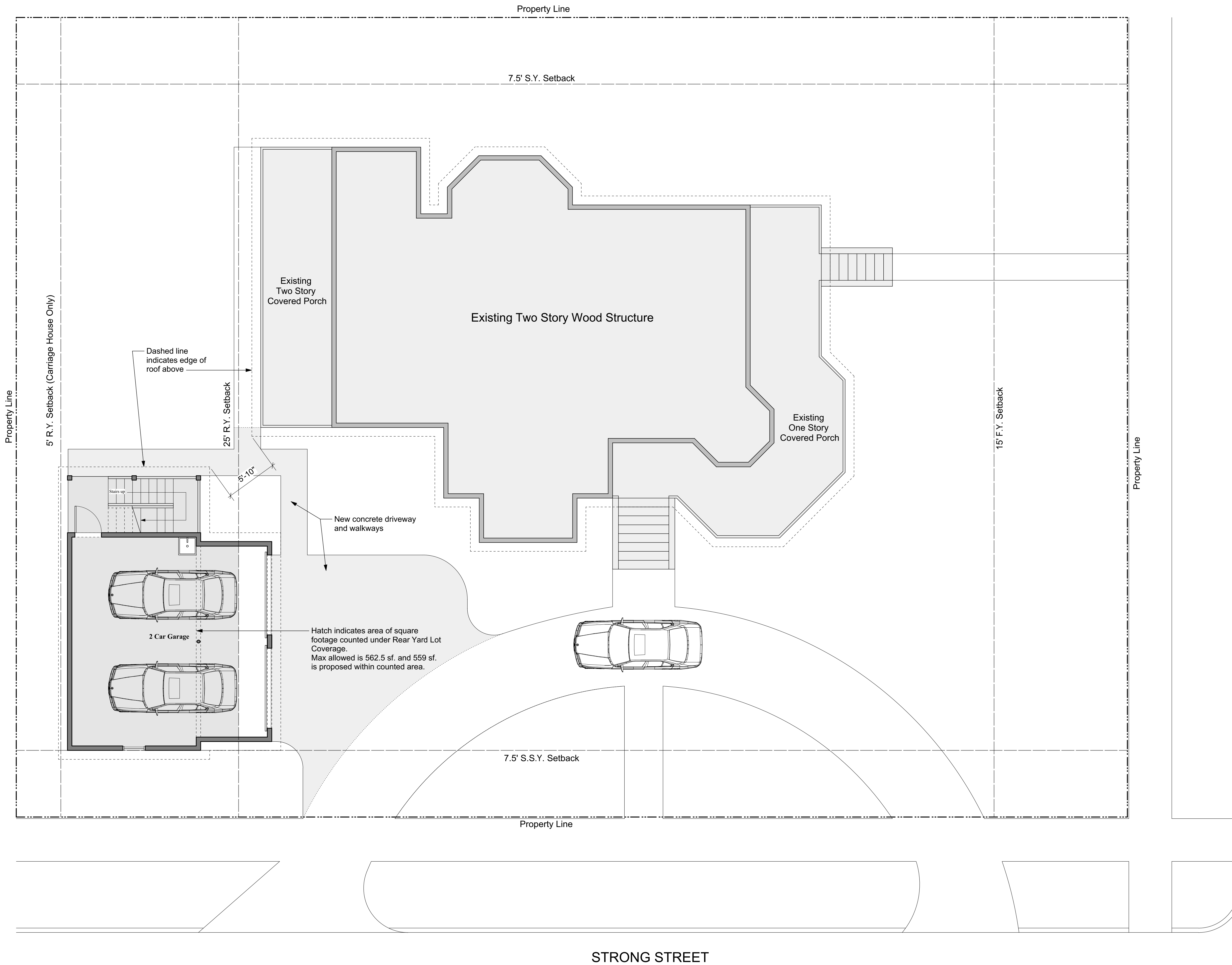
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Revised	
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C1.2

Site Context



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W
**WALCOTT
 ADAMS
 VERNEUILLE**
 ARCHITECTS
 1 SOUTH SCHOOL STREET
 FAIRHOPE, AL 36532
 (251) 928-6041

STATE OF ALABAMA
 REGISTERED ARCHITECTS
 C.M. Walcott 2054
 V.H. Walcott
ARBSet
 C.L. Adams III 3344
 L.D. Verneuille 7788
 R.E. Baker 6327

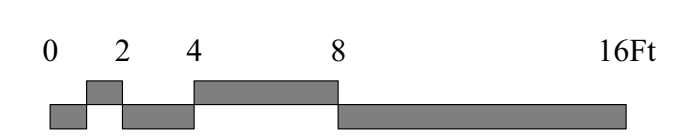
*New Carriage House for
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 903 N. Spring St.
 Pensacola, FL 32501

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C1.3
 Site Plan

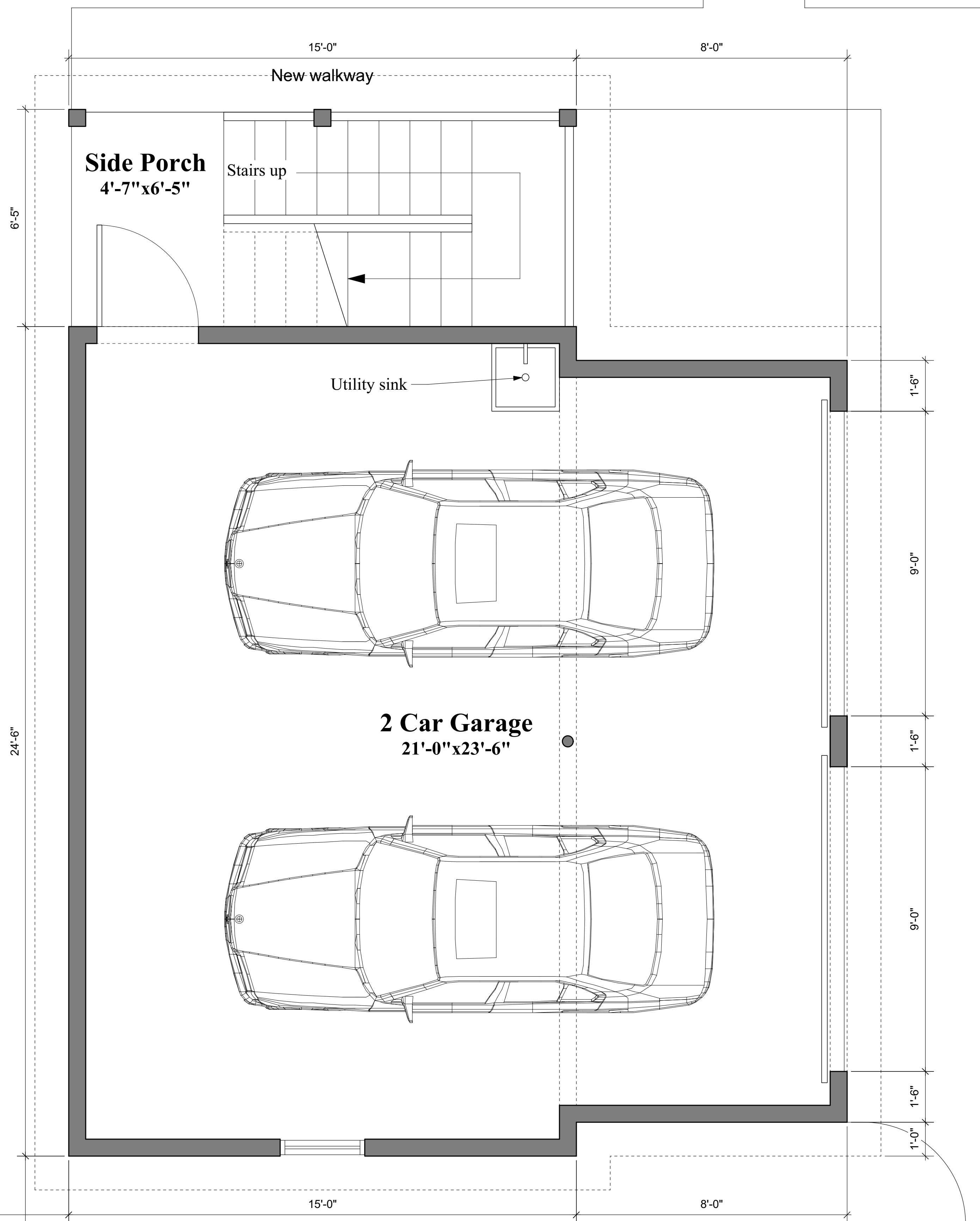
W

1
C1.3 Architectural Site Plan
 3/16"=1'-0"

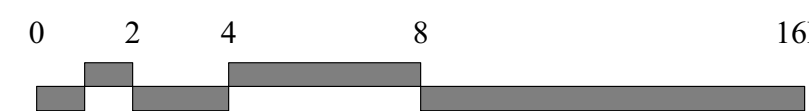


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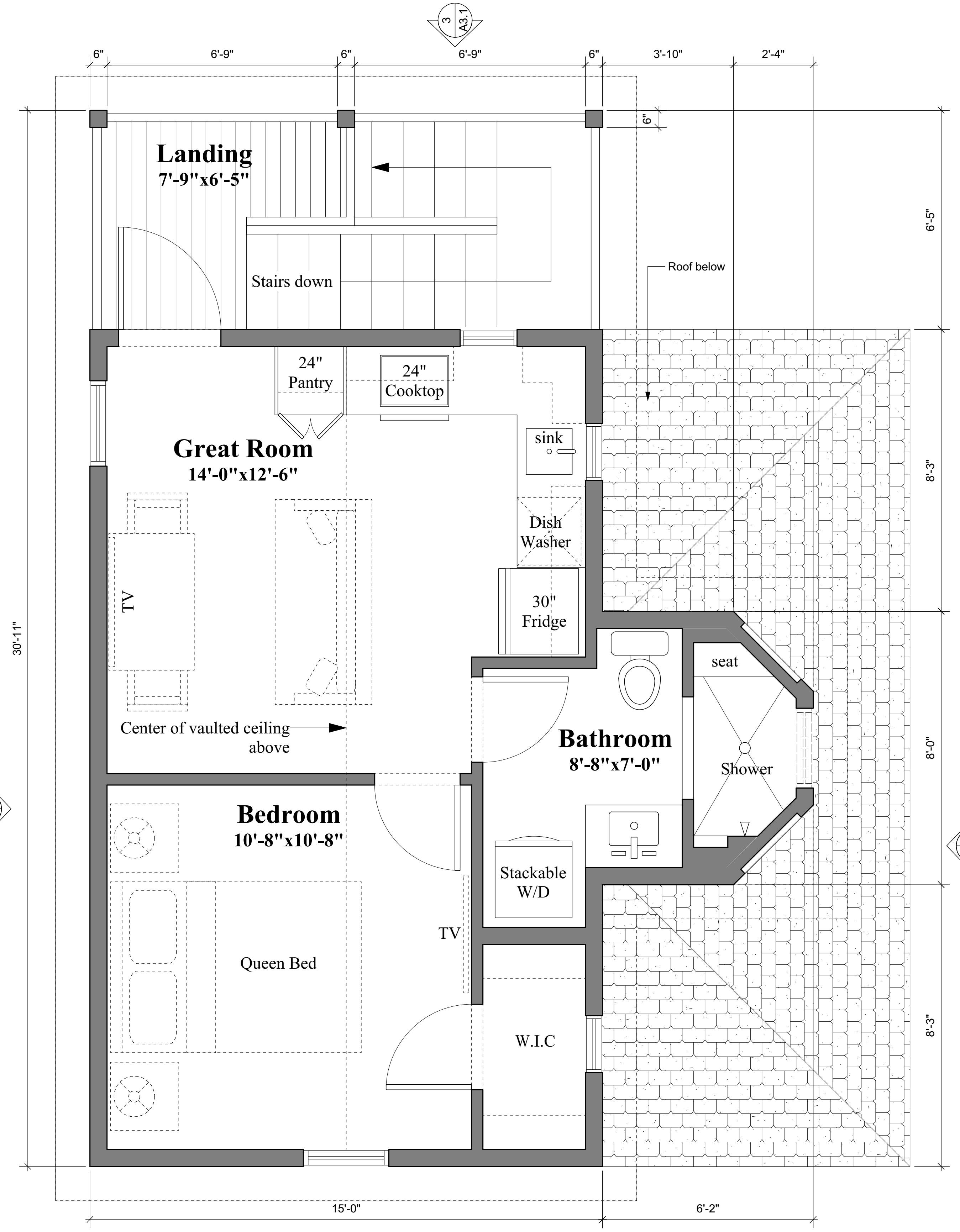
Property Line



1
A1.1
First Floor Plan
1/2"=1'-0"



Property Line



2
A1.2
Second Floor Plan
1/2"=1'-0"

First Floor:		Second Floor:	
Garage	547 s.f.	Heated & Cooled	411 s.f.
Side Porch	29 s.f.	Landing Porch	40 s.f.
Stairs	67 s.f.	Total Under Roof	1,094 s.f.

W
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ADAMS
VERNEUILLE
ARCHITECTS
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

STATE OF ALABAMA
C.M. Walcott 3954
V.H. Walcott
A.R.B. Set
C.L. Adams III 3344
L.D. Verneuille 7788
R.E. Baker 6327
REGISTERED ARCHITECTS

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A1.1
Floor Plans

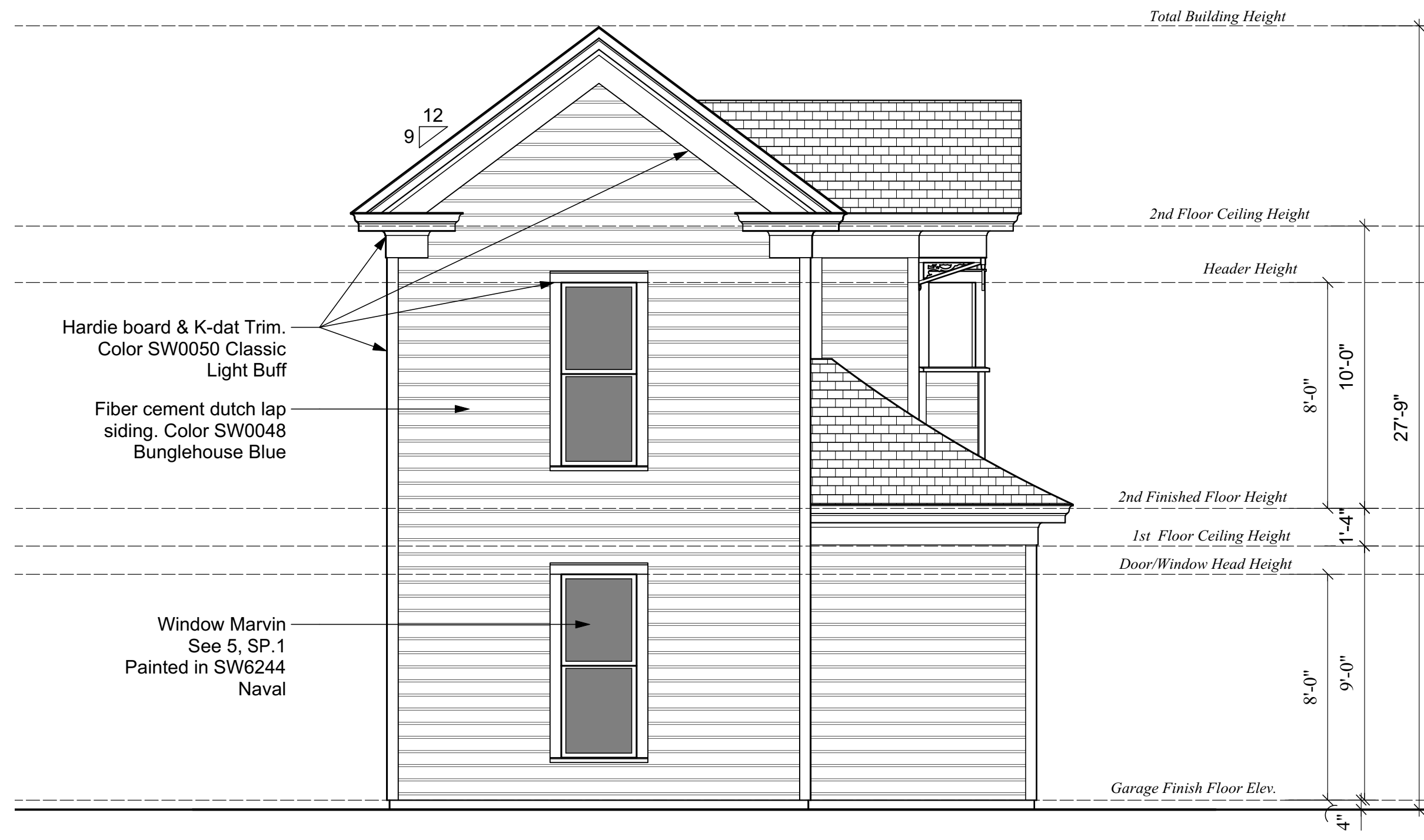
W

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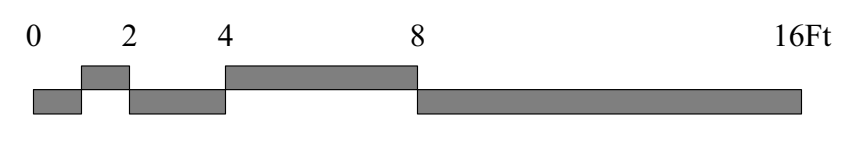
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Revised	
Revised	
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A3.1
 Elevations - Opt. 2

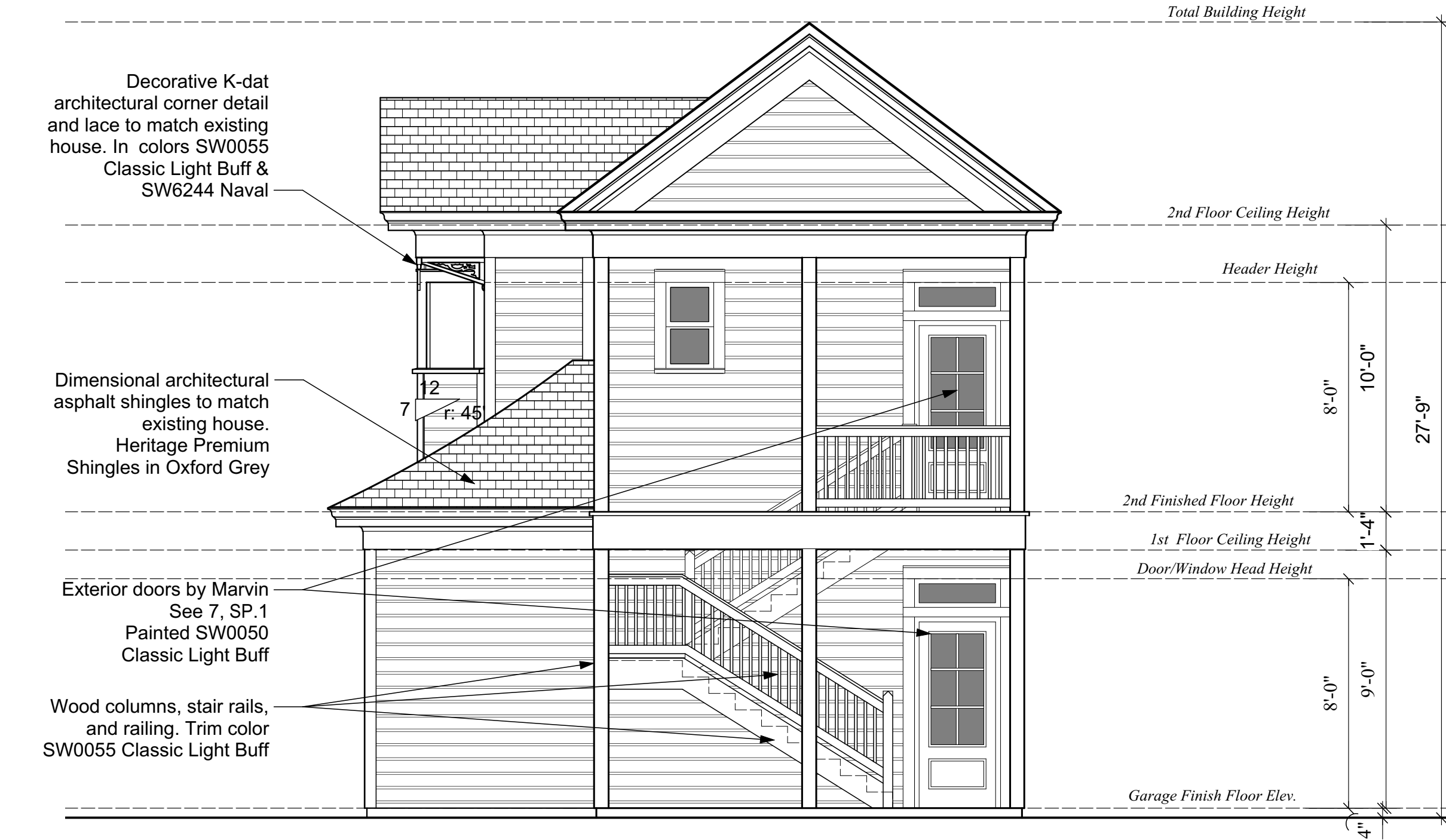
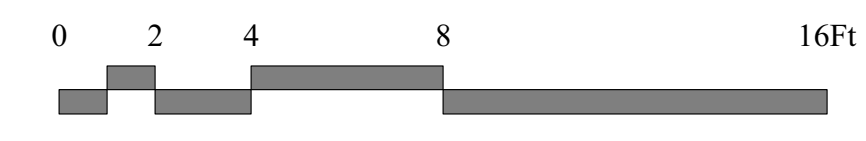
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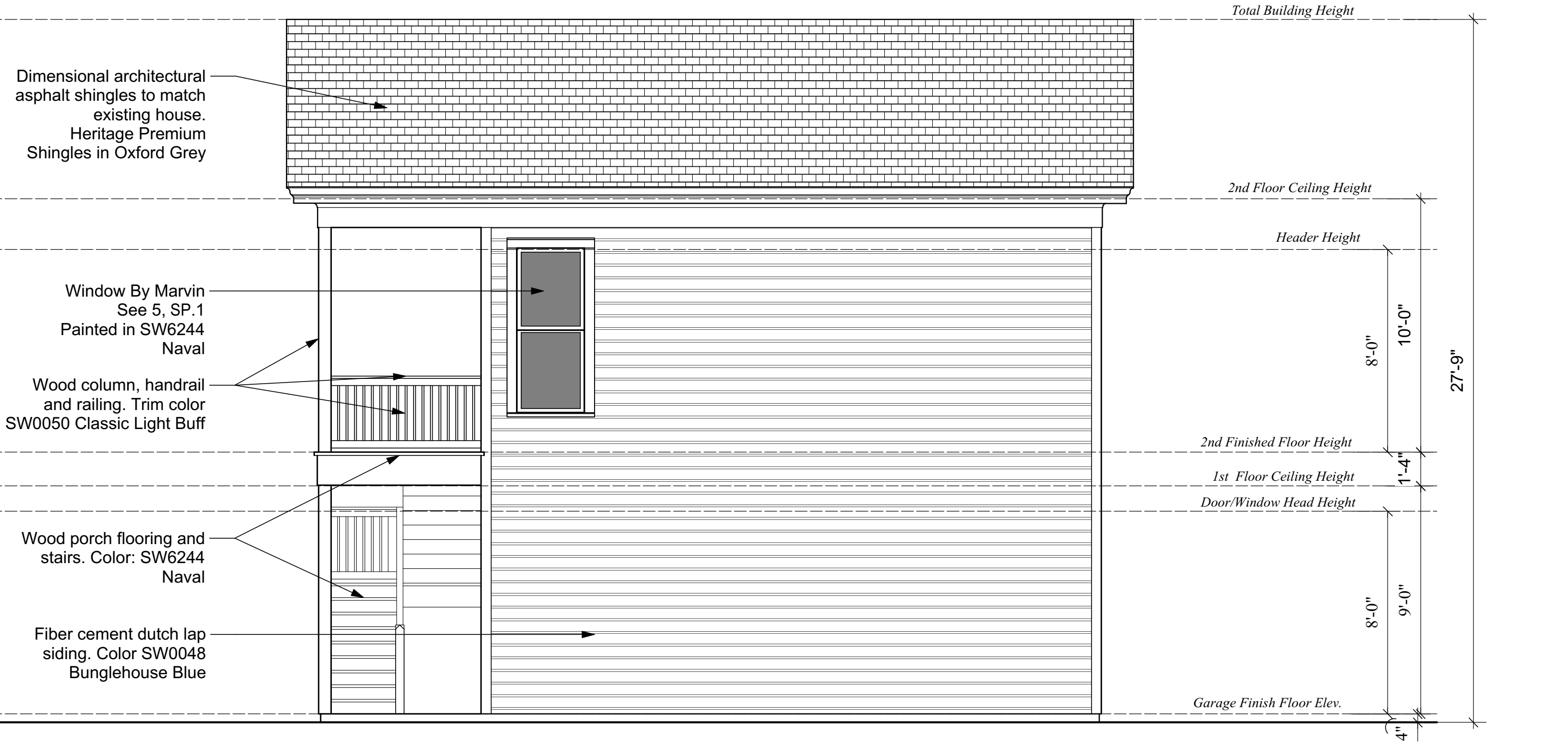
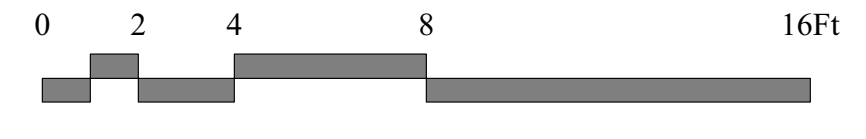
1 South Elevation
 A3.1 1/4"=1'-0"



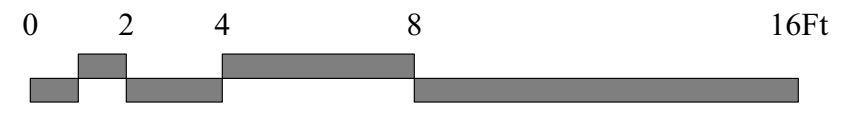
2 East Elevation
 A3.1 1/4"=1'-0"



3 North Elevation
 A3.1 1/4"=1'-0"



4 West Elevation
 A3.1 1/4"=1'-0"





1
A3.2 **Strong Street Elevation**



2
A3.2 **Spring Street Elevation**

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ADAMS
VERNEUILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

ARB Set

*New Carriage House for
Rhonda and Daryl Brach*
903 N. Spring St.
Pensacola, FL 32501

Date January 30, 2020

Revised

Revised

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A3.2

Street Elevations

W

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SW 0048
Bunglehouse Blue
 Interior / Exterior

1 House Body Color

SW 0050
Classic Light Buff
 Interior / Exterior

2 House Trim Color

SW 6244
Naval
 Interior / Exterior
 Locator Number: 253-C6

3 Porch Flooring, Stairs and Windows

Architectural Details Being Referenced

W
 WALCOTT
 ADAMS
 VERNEUILLE
 ARCHITECTS
 1 SOUTH SCHOOL STREET
 FAIRHOPE, AL 36532
 (251) 928-6041

ARB Set



Fascia and trim details



Decorative bracket extension on bay window



Rear porch door

*New Carriage House for
 Rhonda and Daryl Brach*
 903 N. Spring St.
 Pensacola, FL 32501

Stained glass privacy window

Rear porch railing post detail



REC14

4 Garage Door

Garage doors from Clopay's Carriage House Doors, Grand Harbor Collection, Series 2, Design 22 with top section of windows in style REC 14. To be painted in SW0050 Classic Light Buff.

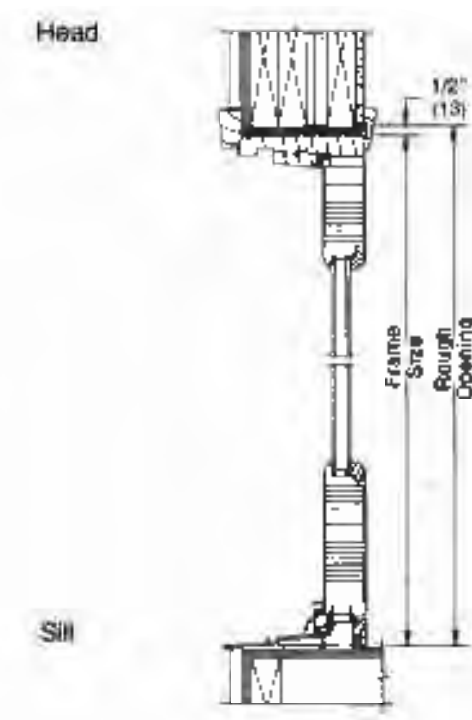


Exterior View

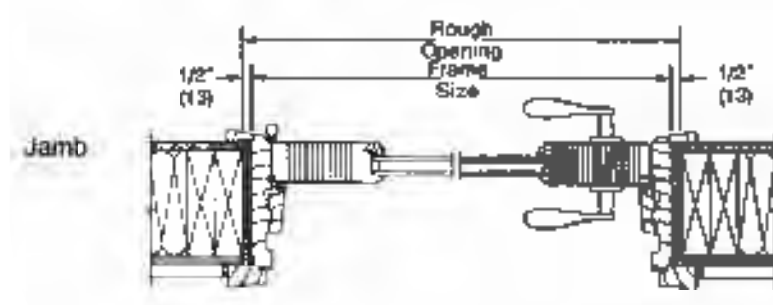
Interior View

5 Double Hung Window Style

Marvin Signature Series Ultimate wood double hung window with IZ3 coastal/hurricane certification & CE certified. Painted in SW6244 Naval



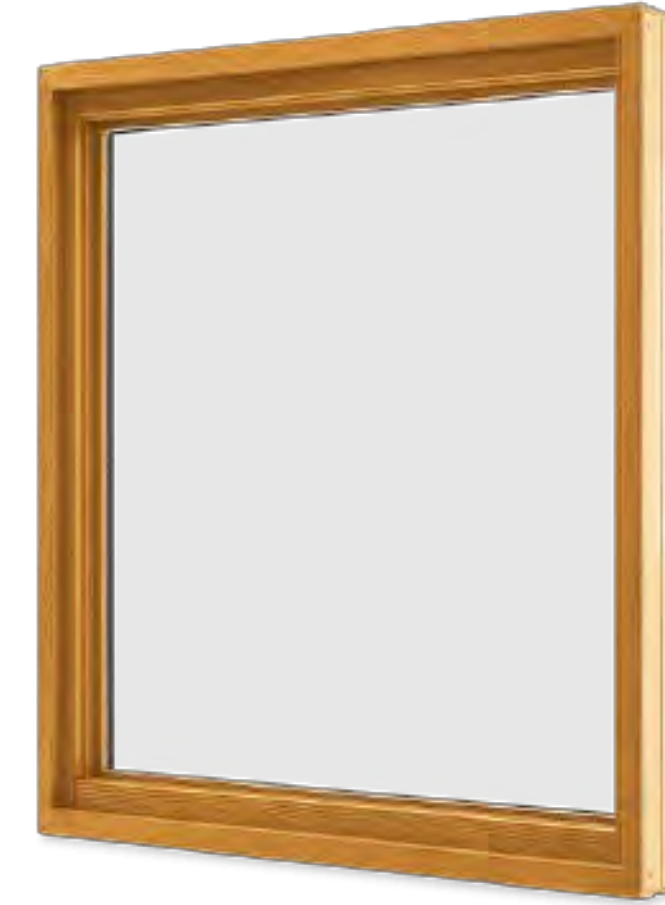
Marvin Ultimate outswing wood french door with double-panel French style. IZ4 coastal/hurricane certification & CE certified. Painted in SW0050 Classic Light Buff w/ lites in SW6244 Naval



Wood Siding with 2x6 Frame Construction



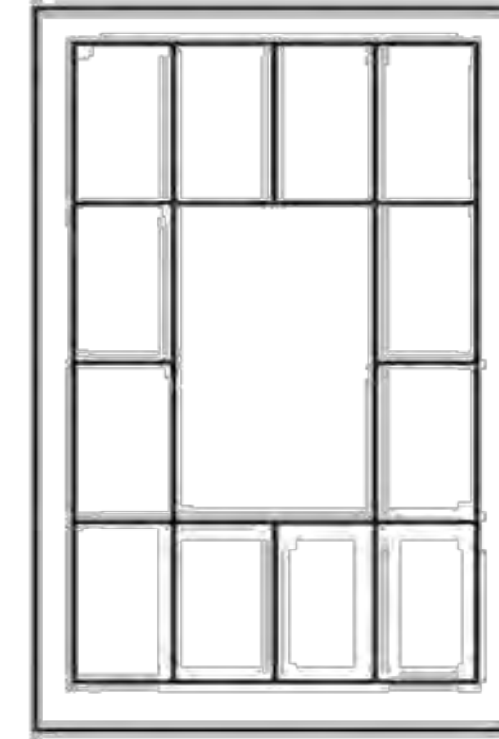
7 Porch Door



Glue Ship Glass



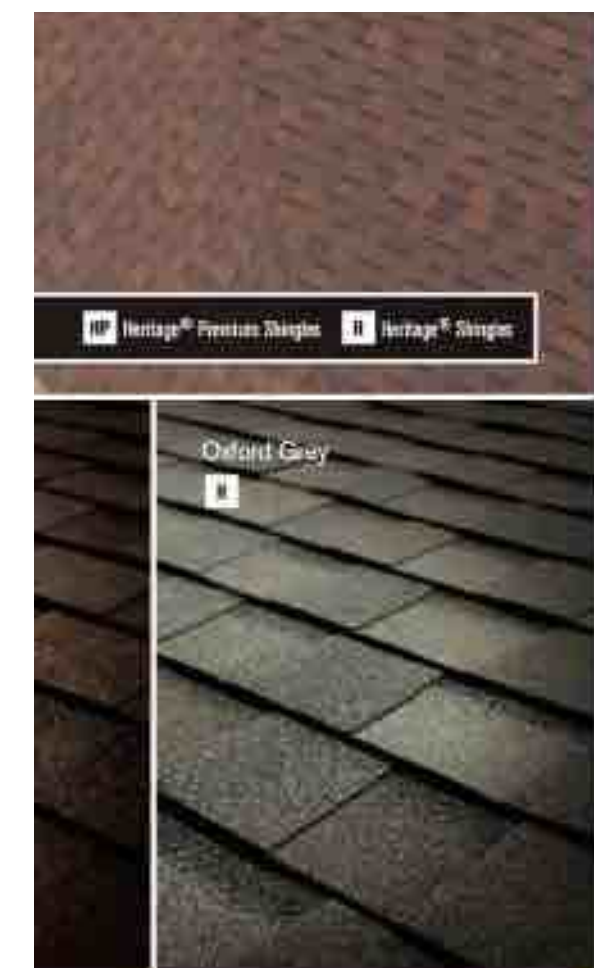
True Divided Lite



Victorian Pattern

6 Picture Window

Marvin Signature Series Ultimate wood picture window with IZ3 coastal/hurricane certification & CE certified. Victorian divided lite option. Glue Chip glass center with bronze & green tinted interlayers in the perimeter. Painted in SW6244, Naval



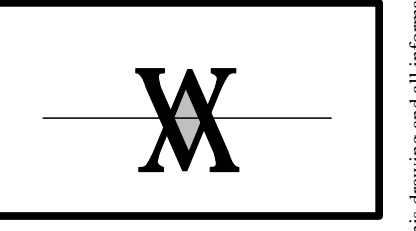
Diffrent Grey



8 Roof Shingles

Date	January 30, 2020
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SP.1



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Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 5
220 W. Gadsden Street
NHPD / PR-2
New Construction**

BACKGROUND

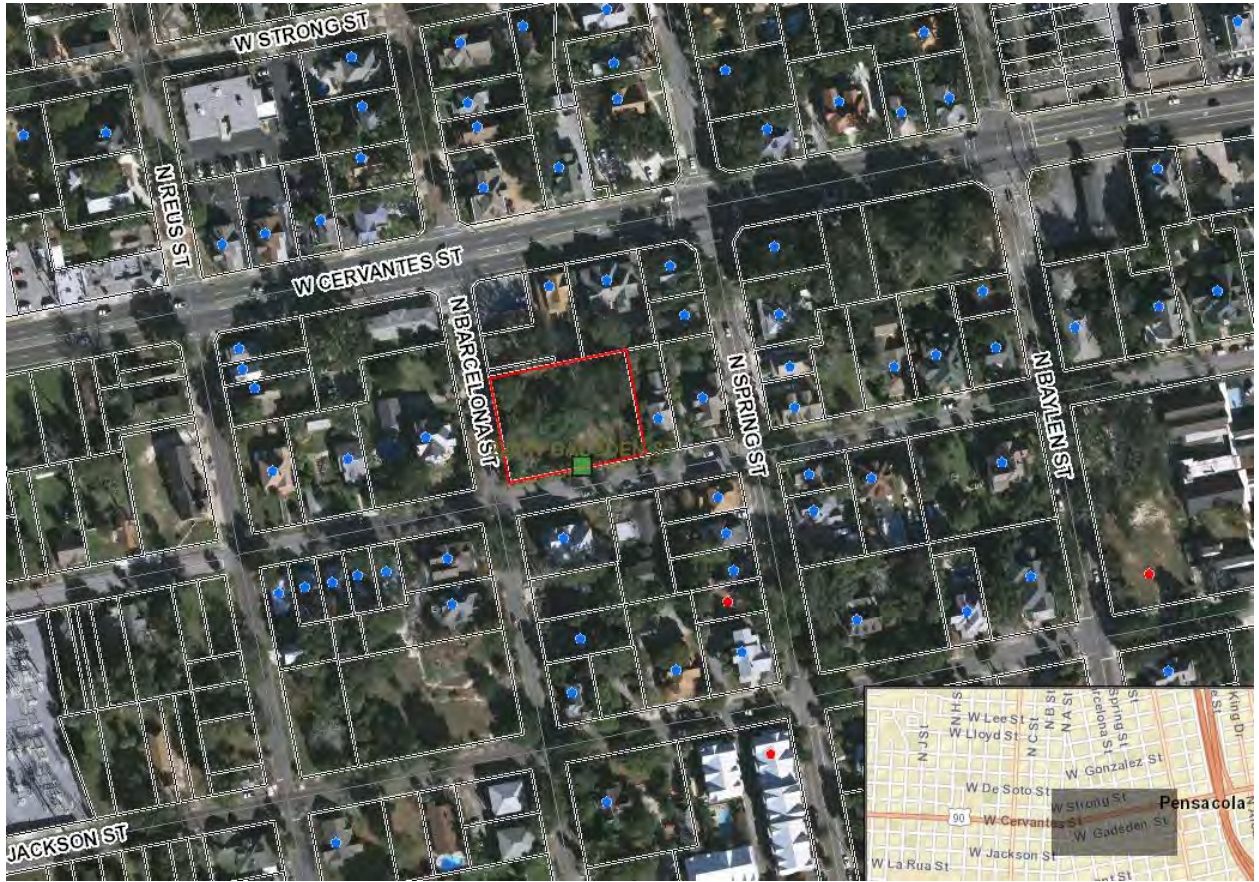
Jim Veal is requesting *CONCEPTUAL* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. The southwest parcel received final approval for a single family residence in July 2019. The proposed craftsman-style home will have a large front porch, hipped roof and access to an attached two-car garage. The architectural design is meant to blend with the neighborhood and with the future residences to the west. All exterior materials will be submitted for final review at a later date.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

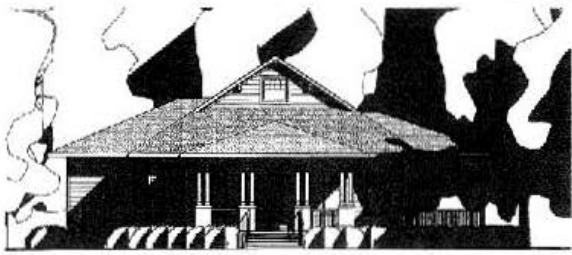
Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction*

220 W. Gadsden Street





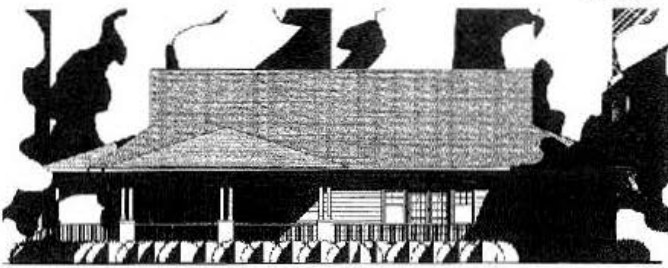
PERSPECTIVE ①



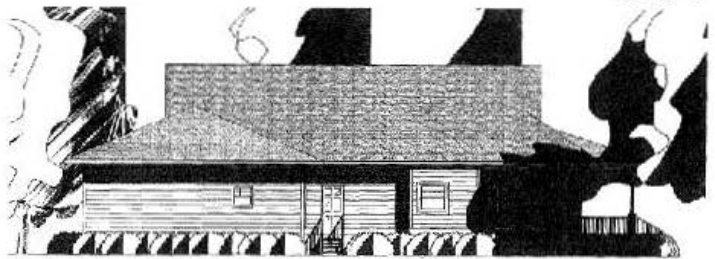
WEST ELEVATION
1/4" = 1'-0" ①



EAST ELEVATION
1/4" = 1'-0" ①



SOUTH ELEVATION
1/4" = 1'-0" ②



NORTH ELEVATION
1/4" = 1'-0" ②



Architectural Review Board Application
Full Board Review

Application Date: 1-29-2020

Project Address: 220 E Gadsden St

Applicant: J. Veal, Architect

Applicant's Address: 627 Bayshore Dr,

Email: jvealarchitect.com Phone: 850-450-3295

Property Owner: Robert Holmes (Gordon Properties)

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

Conceptual Approval for single family residences

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]
Applicant Signature

1-29-2020
Date

NOTES
 01. PROPERTY OF THE ARCHITECT
 02. DO NOT DISTRIBUTE OR DUPLICATE

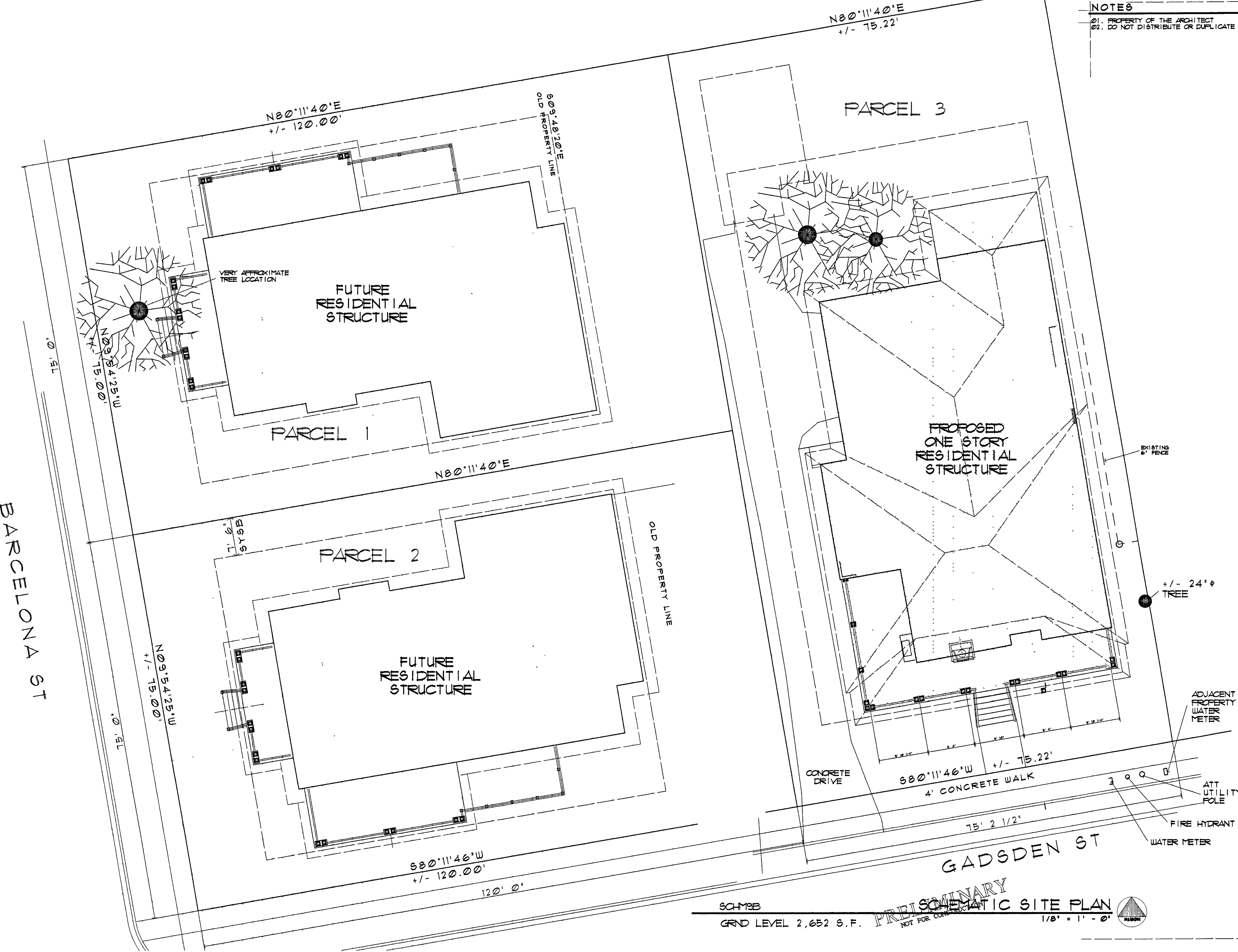
DATE:
 01-28-20

J. VEAL
 ARCHITECT
 627 BAYSHORE DR. PENSACOLA, FL 32507
 1-850-450-3295 jv@jvealarchitect.com

A NEW RESIDENCE FOR
HOLMES HOME
 EAST GADSDEN STREET, PENSACOLA, FL

© 2020 J. VEAL ARCH.

DRAWN BY:
COV
 OR
 DN



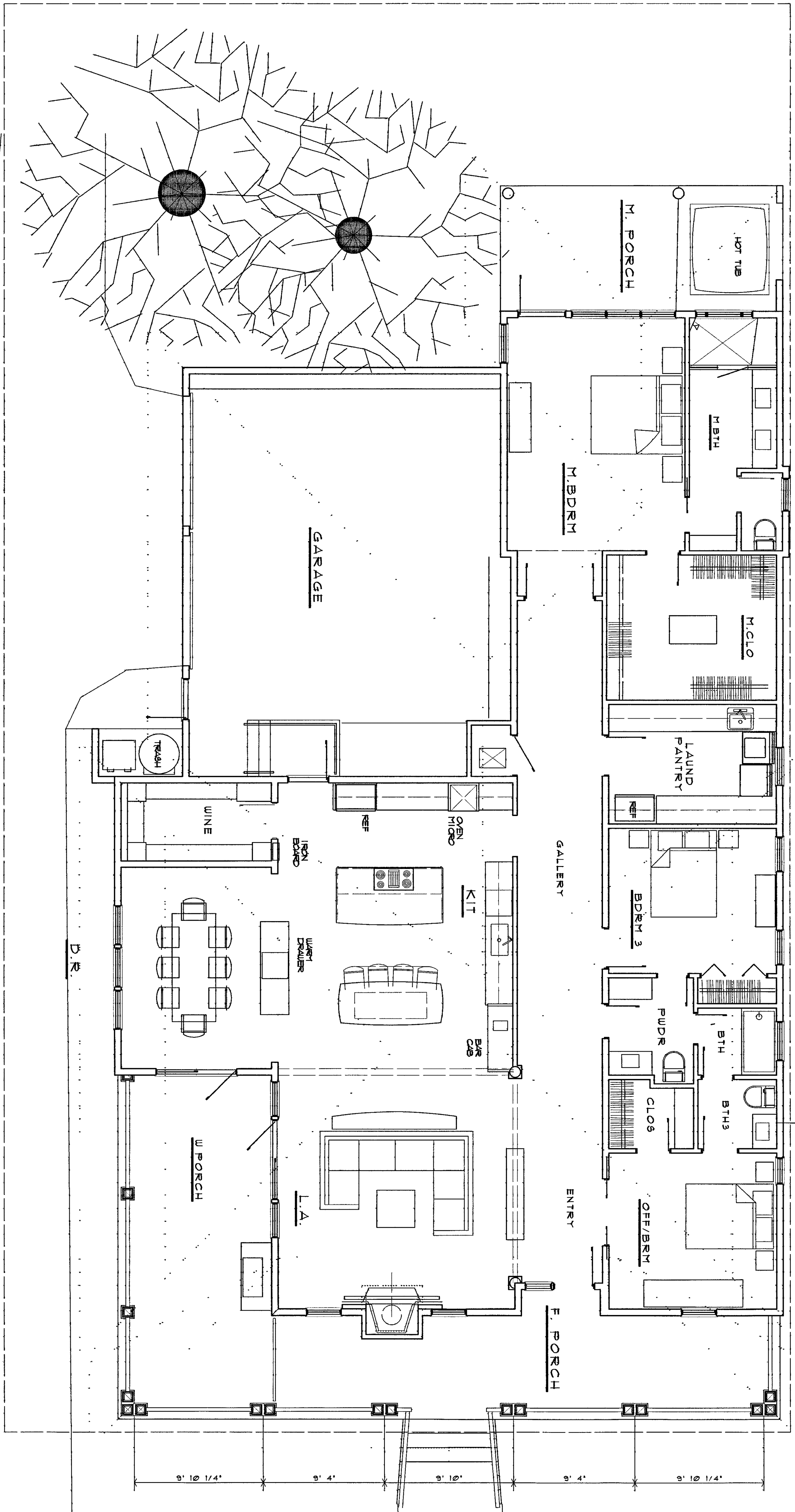
SCHMBB
 GRND LEVEL 2,652 S.F.

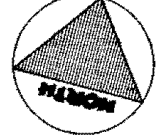
PRELIMINARY
 Schematic SITE PLAN
 NOT FOR CONSTRUCTION 1/8" = 1' - 0"



15' 0"

NOTES
 01. PROPERTY OF THE ARCHITECT
 02. DO NOT DISTRIBUTE OR REPLICATE
AREA TABULATION
 CONDITIONED AREA 2,655 s.f.
 TOTAL FLOOR AREA
 GARAGE AREA
 TOTAL AREA



PRELIMINARY
 NOT FOR CONSTRUCTION
SCHEMATIC FLOOR PLAN
 1/4" = 1'-0"


DRAWN BY:
A-1
 OF DN

© 2010 J.V.EAL ARCH.
 J.V.EAL ARCHITECT

A NEW RESIDENCE for
HOLMES HOME
 XXX EAST GADSDEN ST. PENSACOLA, FL

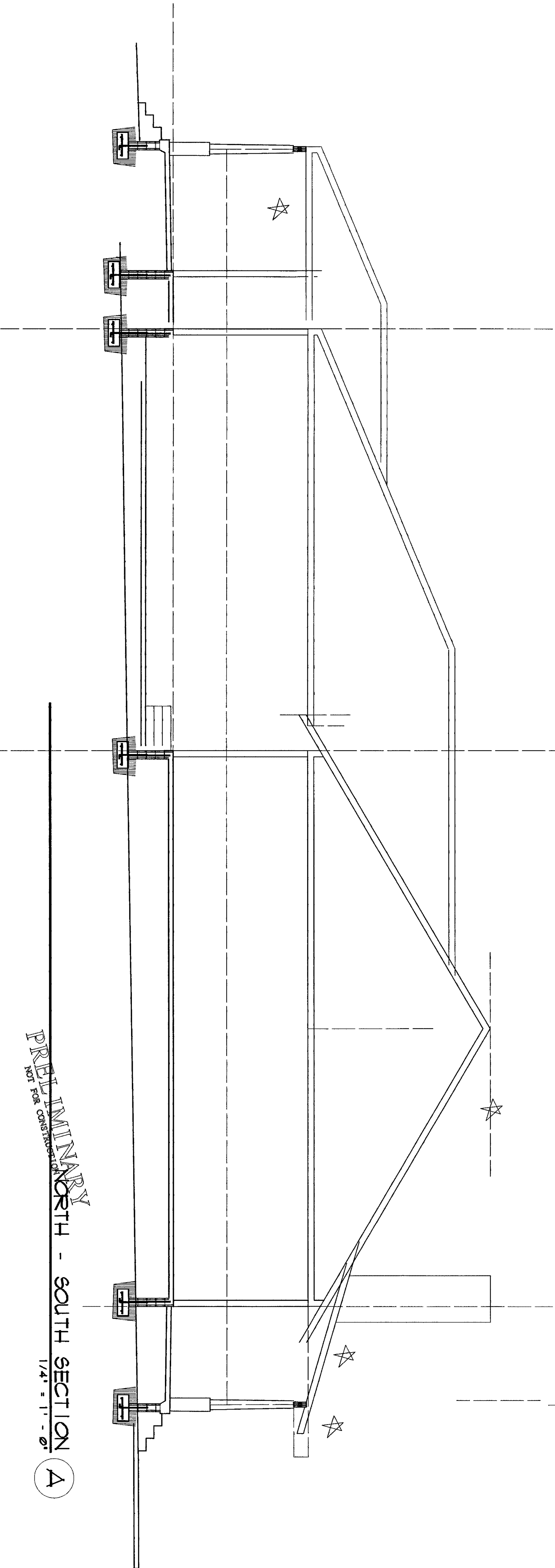
ENTRY
 OFF/BRM
 CLOS
 BTH
 PWR
 BDRM 3
 LAUND PANTRY
 M.CLO
 M.BTH
 M.BDRM
 M.PORCH
 GARAGE
 WINE
 IRON BOARD
 W.PORCH
 L.A.
 KIT
 BAR
 E.PORCH


J.VEAL ARCHITECT
 627 BAYSHORE DR. PENSACOLA, FL 32507
 1-850-450-3295 jv@jvealarchitect.com

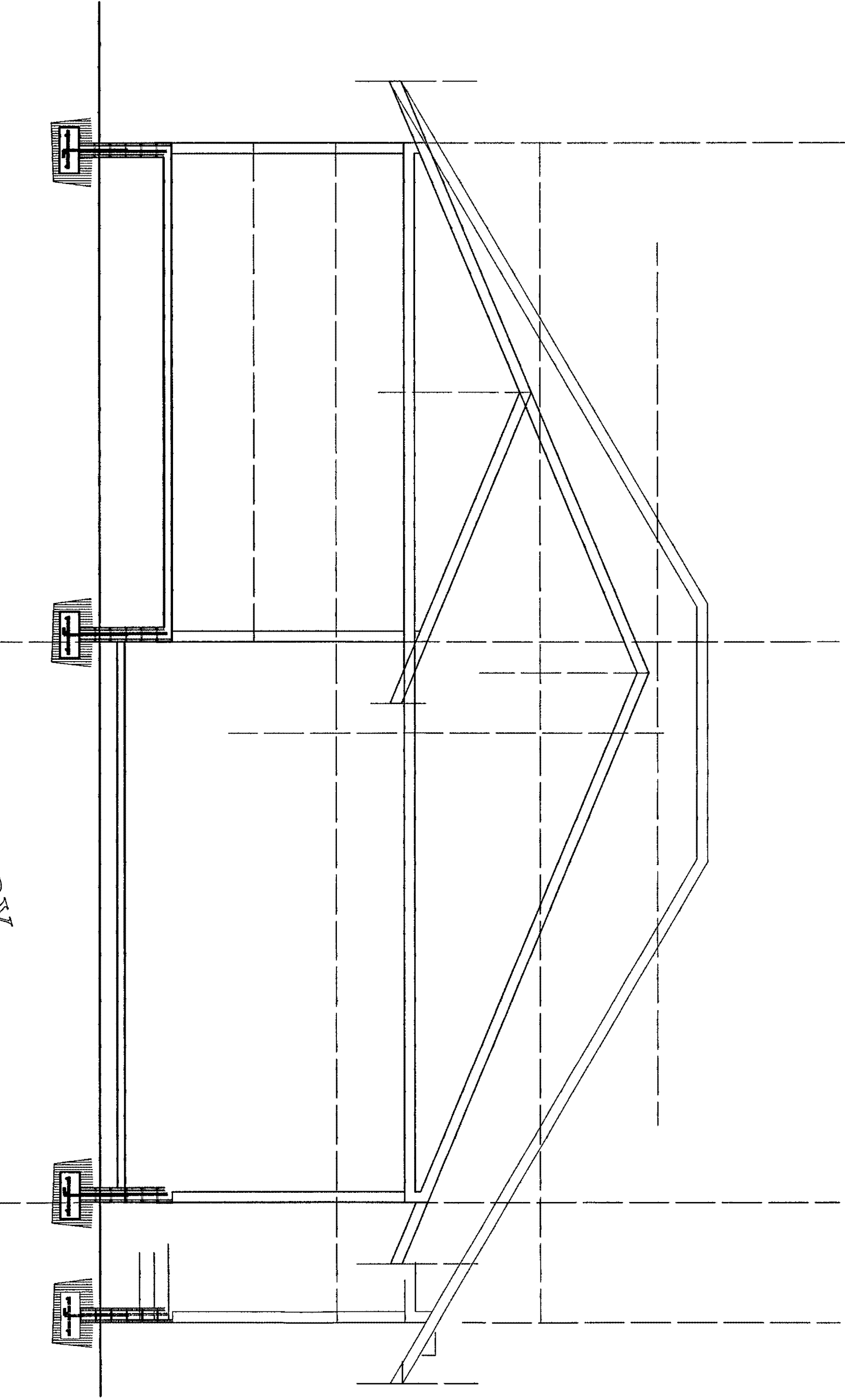
DATE:
 01-09-20

NOTES
01. PROPERTY OF THE ARCHITECT
02. DO NOT DISTRIBUTE OR REPRODUCE

DATE:
01-09-19



PRELIMINARY
NOT FOR CONSTRUCTION
NORTH - SOUTH SECTION A
1/4" = 1' - 0"



PRELIMINARY
NOT FOR CONSTRUCTION
EAST - WEST SECTION B
1/4" = 1' - 0"

DATE:
01-09-19

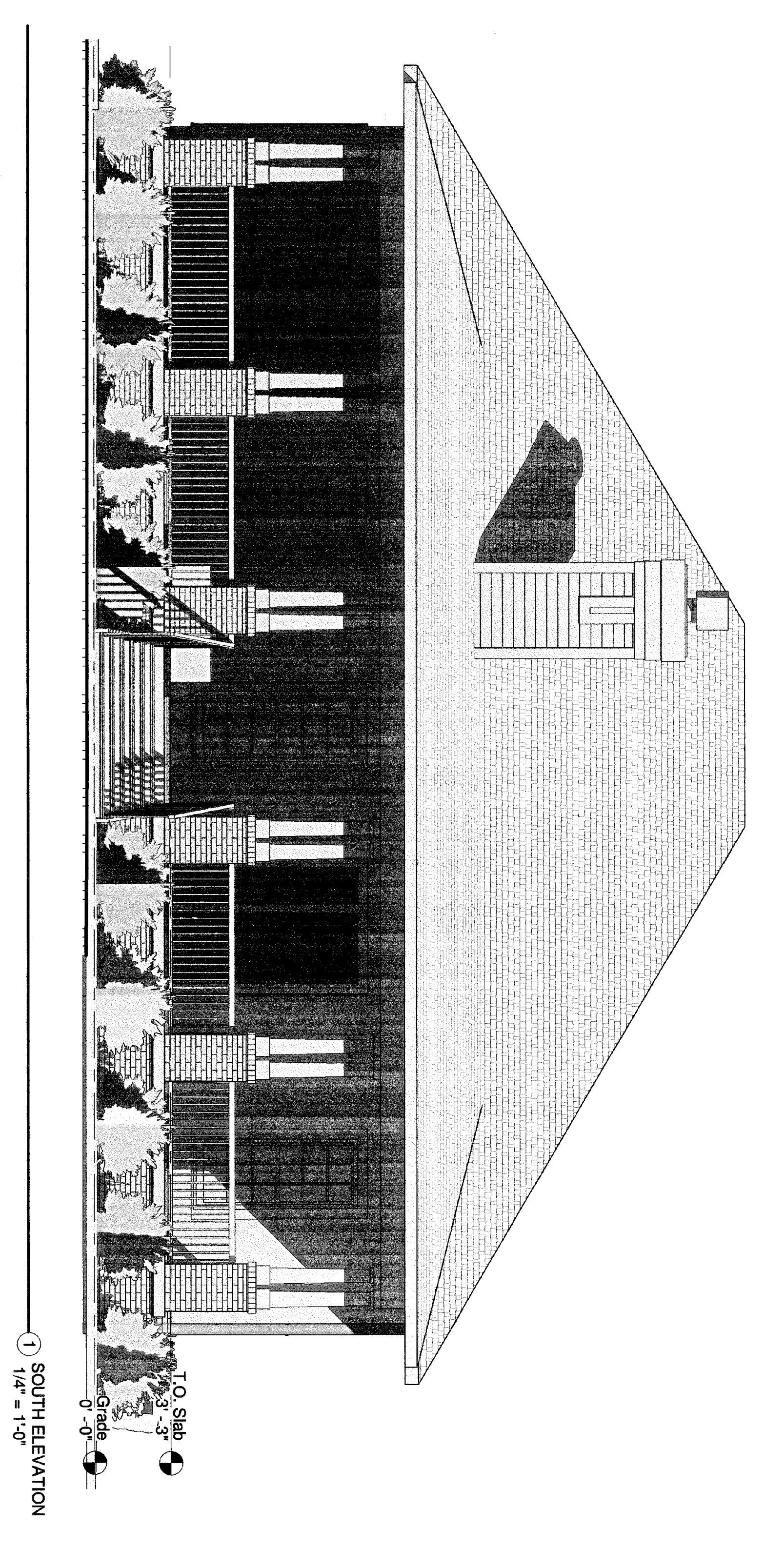
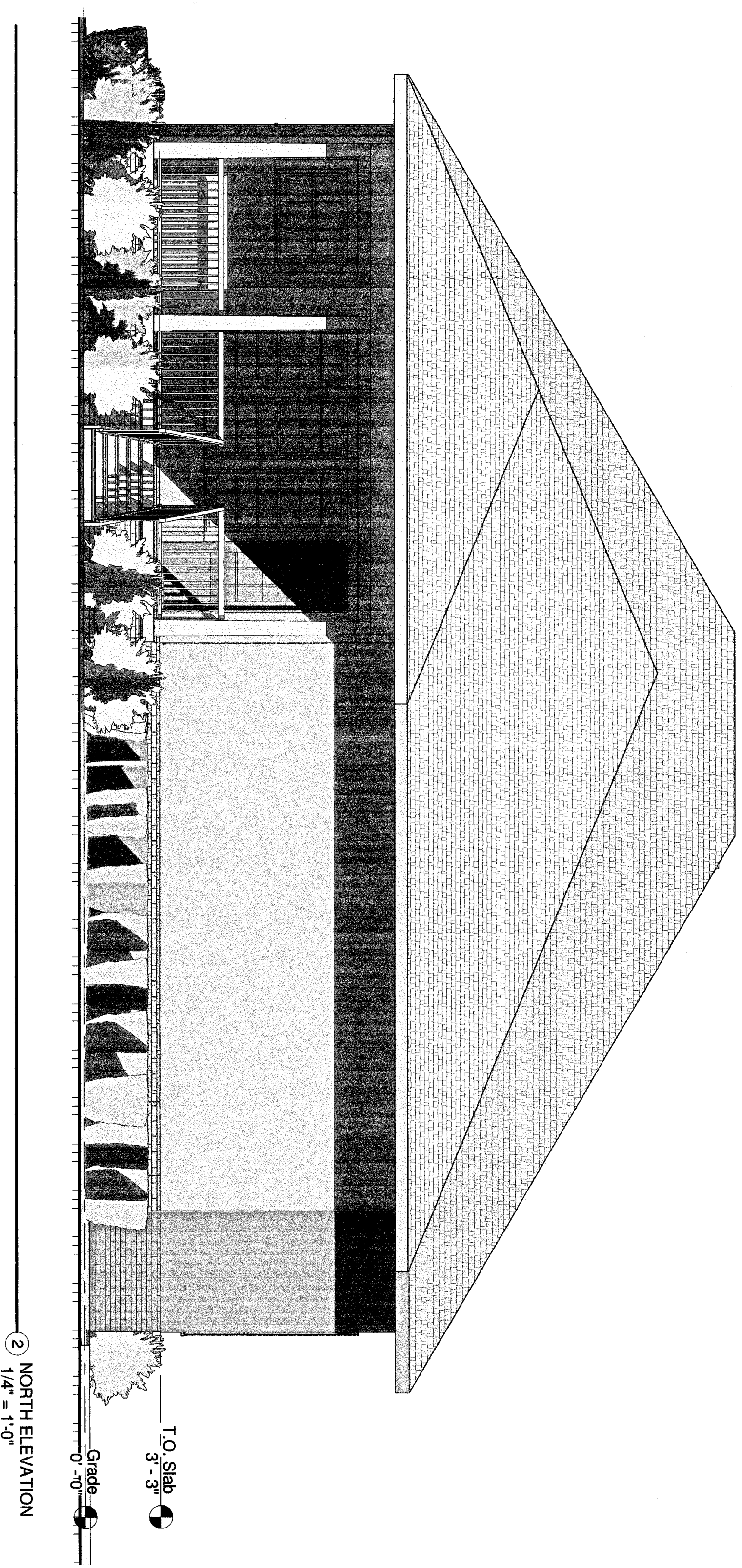
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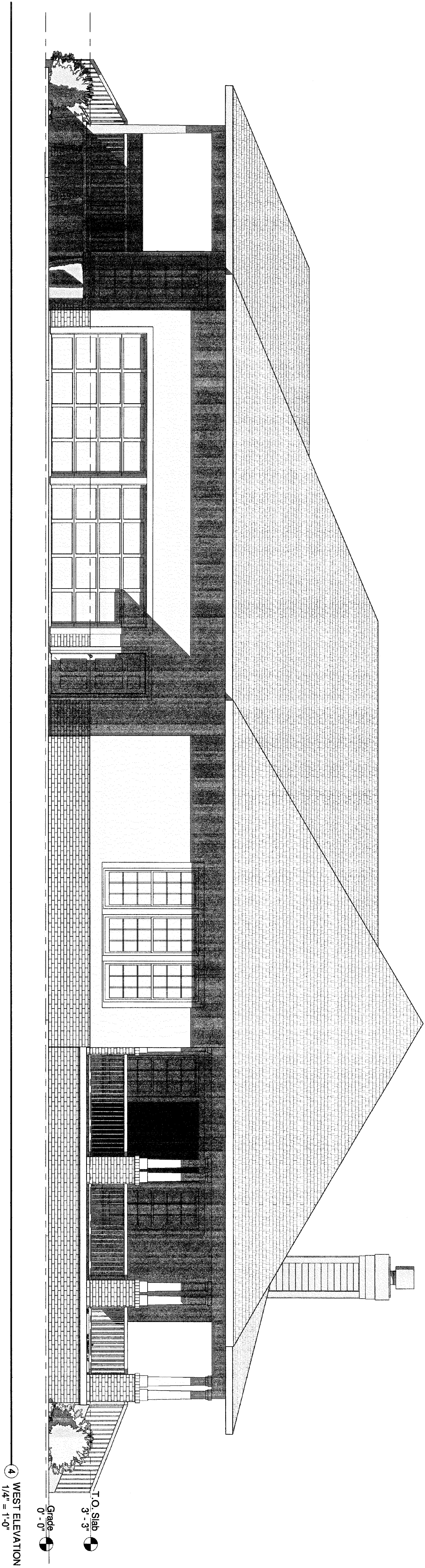
A NEW RESIDENCE for
HOLMES HOME
XXX EAST GADSDEN ST. PENSACOLA, FL

DATE:
01-09-19

J. VEAL
ARCHITECT
627 BAYSHORE DR. PENSACOLA, FL 32507
1-850-450-3295 jv@jvealarchitect.com

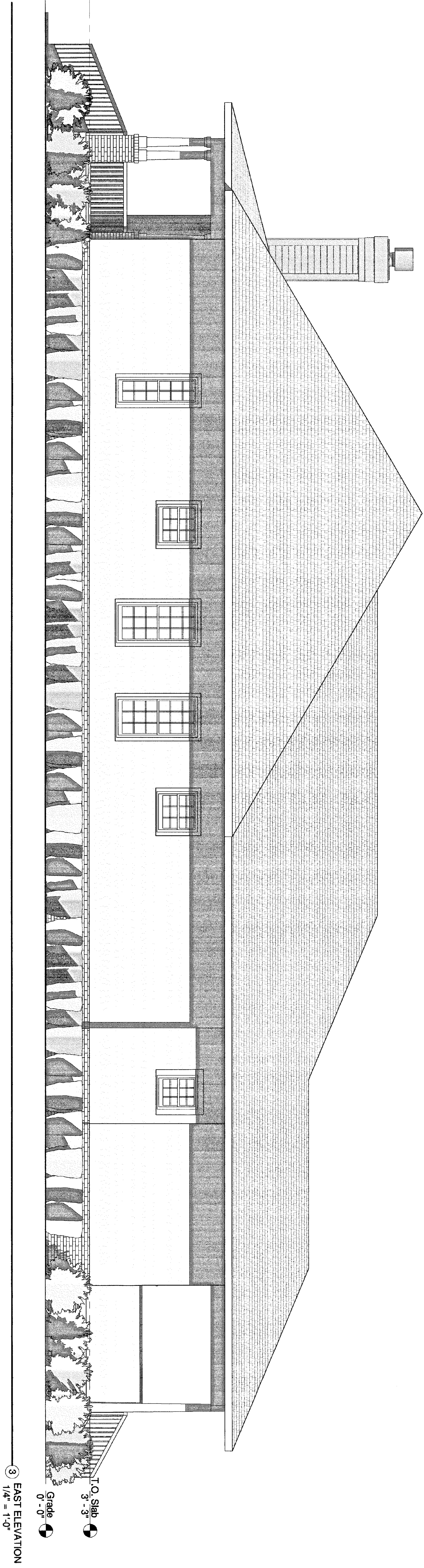
DATE:
01-09-19





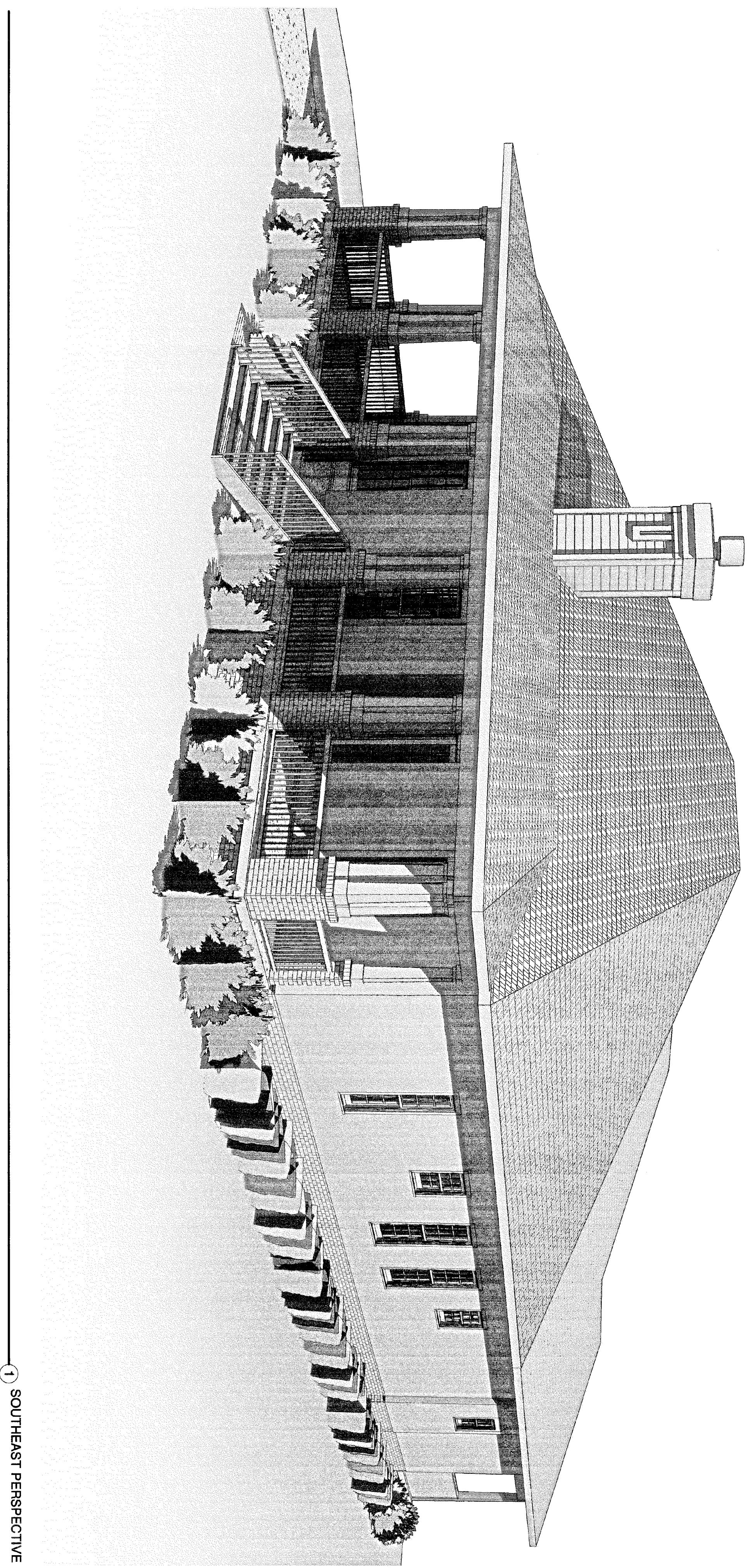
4 WEST ELEVATION
1/4" = 1'-0"

Grade 0'-0"
T.O. Slab 3'-3"



3 EAST ELEVATION
1/4" = 1'-0"

Grade 0'-0"
T.O. Slab 3'-3"



1 SEVENTH PERSPECTIVE

OF
A-5
DN

PRELIMINARY
NOT FOR
CONSTRUCTION
© 2019 J.VEAL ARCHITECT

A NEW HOUSE
HOLMES HOUSE
PENSACOLA, FLORIDA

JVA
J. VEAL, ARCHITECT
1-850-450-3295 jv@jvealarchitect.com
AL 32636 FL # 13055

DATE:
01-02-20

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 6**
314 S. Alcaniz Street
PHD / HC-1 / Wood Cottages District
Variance

BACKGROUND

Scott Holland is seeing a Variance to increase the minimum rear yard setback from twenty (20) feet to twelve (12) feet, six (6) inches to accommodate a new two-story single family residence.

This item is in consideration with Item 7.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*

Figure 12-2.1 *PHD, Wood cottages district – Streetscape type 1 and 2 (setback list)*

314 S. Alcaniz Street



- Zoning Board of Adjustment*
- Architectural Review Board*
- Planning Board*
- Gateway Review Board*

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of \$500.00.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) FIGURE 12-2.1, STREETSCAPE TYPE 2 Zoning HC-1

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 314 South Alcaniz Street / Pensacola, FL. / 32502

Current use of property: Residential

1. Describe the requested variance(s): To reduce the rear yard setback from 20 feet to 12.5 feet to accommodate a new single family residence.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

(See Attachment)

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

(See Attachment)

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

(See Attachment)

5. Explain what other condition(s) may justify the proposed variance(s):

(See Attachment)

Application Date: 01-30-20

Applicant: R. Scott & Karen P. Holland

Applicant's Address: 101 Entrada 2 / Pensacola Beach, FL. / 32561

Email: scoho1@hhma.com Phone: (850) 393-2168

Applicant's Signature: 

Property Owner: R. Scott & Karen P. Holland

Property Owner's Address: 101 Entrada 2 / Pensacola Beach, FL. / 32561

Email: scoho1@hhma.com Phone: (850) 393-2168

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

VARIANCE CRITERIA

Per Sec. 12-12-2(A)(2), in order to authorize any variance from the Land Development Code the Board must find:

1. *That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;*

The existing structure slated for removal (or demolition) currently has a rear yard setback of 10.33 feet. The adjacent building to the north has a rear yard setback of 3.08 feet and the adjacent building to the south has a rear yard setback of 7.00 feet.

The current structure underwent a renovation in 2004 and was allowed to retain the existing rear yard setback of 10.33 feet. The existing building to the north underwent an addition in 2008 and was allowed to remove an existing non-conforming lean-to and replace it with a new addition utilizing the same footprint. Both of these projects were allowed to be permitted and constructed given the shallow depth of the site and the existing locations of the buildings and their respective rear yard setbacks.

The existing building to the south appears to have been built circa 1960's. The reason it was granted a rear yard setback of 7.00 feet is unknown to the applicant.

2. *That the special conditions and circumstances do not result from the actions of the applicant;*

All rear yard setbacks to this specific site and the adjacent buildings to the north and south are pre-existing.

3. *That granting the variance requested will not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district;*

Granting this variance will allow the applicant to construct a single-family residence utilizing the current rear yard setback is not a special privilege given the fact that in 2004 the existing structure was granted its current rear yard setback. In addition, the two adjacent buildings to the north and south were granted the same request and have rear yard setbacks less than what the applicant is requesting.

NOTE: The variance being requested (12.50 feet) is 2.17 feet less than the pre-existing 10.33 feet, is 9.42 feet less than the adjacent building to the north, and is 5.50 feet less than the adjacent building to the south.

4. *That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardship on the applicant;*

Given the shallowness of the site, plus the existing rear yard setbacks of this site and the two adjacent sites located to the north and south, having to adjust to a 20.00-foot rear yard setback would render the site unbuildable. The additional depth is needed to accommodate off-street parking and to help preserve an existing 12" live oak and 24" southern magnolia.

5. *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

Granting this variance for a rear yard setback of 12.50 feet will allow the applicant to design and construct a single-family residence with the proper square footage, to obtain off-street parking, and to save two (2) heritage trees.

6. *That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

Granting this variance allows the new structure to closely maintain it's current footprint by utilizing the current rear yard setback. The new design will reflect the character of the Seville Historic District and will be an asset to downtown.

7. *That the variance will not constitute any change in the districts shown on the zoning map, will not impair an adequate supply of light and air to adjacent property, will not increase the congestion of public streets, or increase the danger of fire, will not diminish or impair established property values within the surrounding area, and will not otherwise impair the public health, safety, and general welfare of the city.*

Granting this variance will NOT change zoning, does NOT impair light and air to adjacent property owners, will NOT increase congestion of public streets, will NOT be a fire hazard, will NOT diminish property values, and will NOT impair public health, safety, and general welfare of the city.

NOTE: The construction of this new single-family residence will increase the current property value and the utilization of reinforced CMU exterior walls and non-combustible exterior cladding materials will definitely decrease the potential of a fire hazard to adjacent neighboring structures.

Additional Criteria:

- a) *That the Variance granted will not detract from the architectural integrity and/or historical accuracy of the development and its surroundings; and*
- b) *That the grant of the Variance will be in harmony with the general intent and purpose of this title and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

Granting this variance allows the construction of a new structure to closely maintain the current footprint of the existing structure by utilizing the current rear yard setback. In addition, the new design reflects the architectural integrity and character of the Seville Historic District and will be an asset to downtown.

The new construction project, which is an integral part of this variance request, will be the permanent residence for the applicants, Scott and Karen Holland. They are committed not only to the design and construction of this project, but are also committed to becoming an active part of downtown life and will maintain the new structure and its grounds to the highest standards in which the District deserves.

PHOTO 1

VIEW LOOKING EAST TOWARDS BACK
OF PROPERTY



PHOTO 2

VIEW LOOKING NORTH FROM
BEHIND ADJACENT PROPERTY TO THE
SOUTH



PHOTO 3

VIEW LOOKING NORTH ALONG
SUBJECT PROPERTY AND THE
AJACENT PROPERTY TO THE NORTH



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 7**
314 S. Alcaniz Street
PHD / HC-1 / Wood Cottages District
Variance

BACKGROUND

Scott Holland is seeing *CONCEPTUAL* approval for a new two-story single family residence. The proposed new structure will have a reinforced concrete foundation, Hardie ship-lap siding and corrugated metal roof panels. A two-car garage will be located on the north side of the house alongside a side entrance covered by brick veneer and a hard-coat stucco finish. Materials include powder-coated aluminum handrails and heavy-timber wood brackets. Exterior doors and windows will be Kolbe clad wood with horizontal muntins. The demolition of the existing structure was approved in December 2019 with the condition that the applicant continue to seek opportunities for removal or salvage and that demolition only be approved if applicant cannot find any practicable offer to relocate. Conceptual approval of this project was denied without prejudice and encouragement to resubmit.

This item is in consideration with Item 6.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*

Figure 12-2.1 *PHD, Wood cottages district – Streetscape type 1 and 2 (setback list)*

314 S. Alcaniz Street





**Architectural Review Board Application
Full Board Review**

Application Date: 01-30-20

Project Address: 314 South Alcaniz Street / Pensacola, FL / 32502

Applicant: R. Scott Holland / Heffernan Holland Morgan Architecture

Applicant's Address: 312 South Alcaniz Street / Pensacola, FL / 32502

Email: scho1@hhma.com **Phone:** 850-393-2168

Property Owner: R. Scott & Karen P. Holland

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

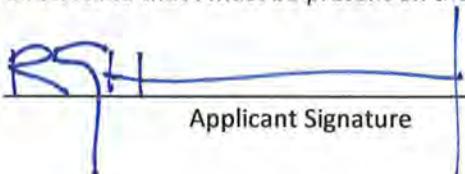
- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Please see attachment.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

01-30-20
Date

PROJECT SPECIFICS / DESCRIPTION:

This application is for the following requests:

1. Demolition of the existing structure (or the possibly of relocation);
2. Schematic Site Approval; and
3. Schematic Design Approval of “Single-Family” Residential Structure

Demolition:

The current structure is composed of a 540 SF cottage and an attached three-car open carport. This structure is classified as a “non-contributing” historic building; believed to have been constructed in the early 1960’s as a one-car garage.

New Construction:

The proposed new construction is for a 1,887 SF (conditioned space) two-story, single-family residence. The new structure will be designed to withstand 200+ MPH wind loads and shall be composed of the following components:

1. Foundation: Reinforced concrete spread footings with 8” CMU reinforced stem walls;
2. Exterior Walls: Load-bearing, reinforced 8” CMU walls extended to roof structure;
3. Interior Walls: Wood stud framing;
4. First Floor: Back-fill with reinforced concrete slab (exposed, polished);
5. Second Floor: Wood floor trusses, 20” deep;
6. Roof: Open-trussed wood framing;
7. Exterior Doors & Windows: Kolbe clad wood, impact-rated, horizontal muntins;
8. Exterior Cladding: Hardie “Artisan” ship-lap siding (7” exposure), brick veneer plinth and wall cladding, and hard-coat stucco in selected areas (as shown on elevations);
9. “Eye-Brow” Shade Components: Heavy-timber wood brackets with 2x6 T&G decking and metal roof panels; and
10. Roofing: Metal roof panels, corrugated, Galvalume.

It is the desire of the Owners to design a “Net-Zero” residence utilizing solar power, geothermal mechanical system, and other energy-saving components and equipment.

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE

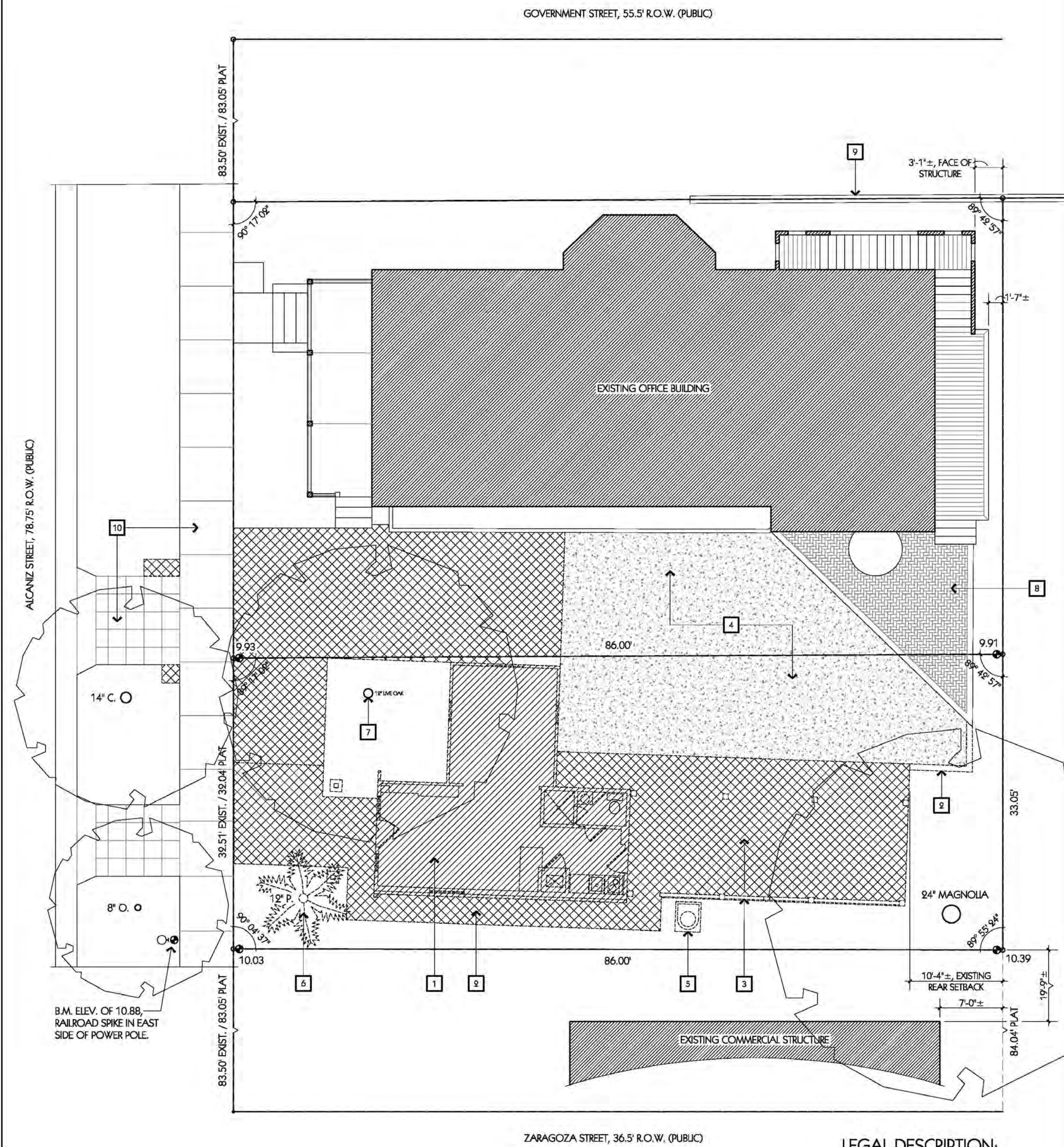
312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942

CONSULTANTS

SHEET TITLE TITLE SHEET	PROJECT NO.	1902	00% SUBMITTAL		PROJECT TITLE PI ² 314 SOUTH ALCANIZ STREET PENSACOLA, FL 32502
	CAD DWG FILE	1902A3.1.dwg	DATE	01-30-20	
	DRAWN BY	RSI	REVISION 1	00-00-00	
	CHECKED BY	RSI			
	COPYRIGHT	HI-WA 2017			

P12

A1



SITE PLAN - EXISTING CONDITIONS / DEMOLITION
SCALE: 1/4"=1'-0"



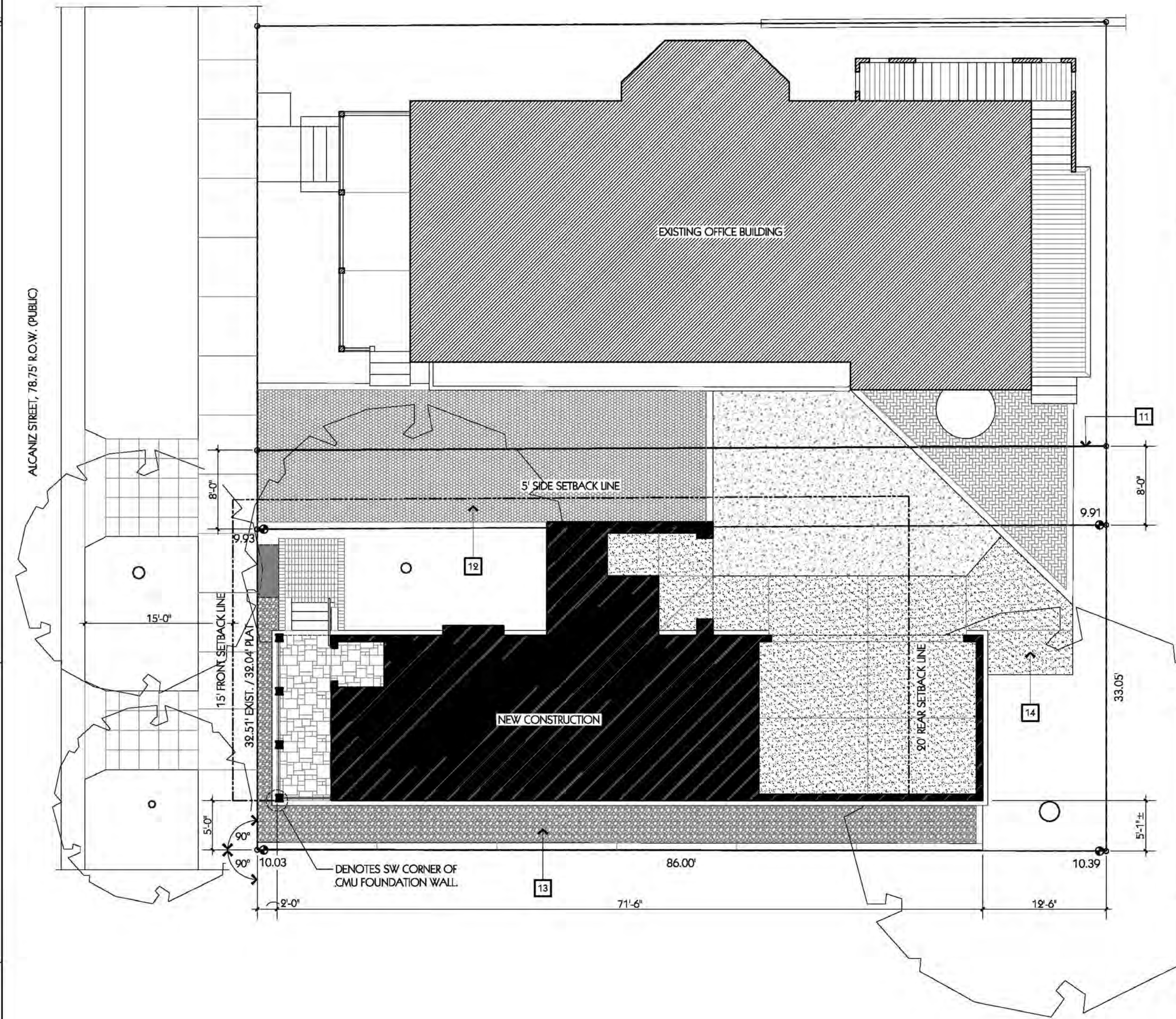
LEGAL DESCRIPTION:

THE NORTH HALF OF LOT 50, LESS THAN THE NORTH 51 FEET THEREOF, BLOCK 9, OLD CITY TRACT, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO "MAP OF PENSACOLA, FLORIDA" COPYRIGHTED BY THOMAS C. WATSON IN 1906.

STREET ADDRESS:
314 SOUTH ALCANIZ STREET
PENSACOLA, FLORIDA / 32502

KEYNOTES (FOR THIS SHEET ONLY)

- 1 DENOTES EXISTING COTTAGE TO BE REMOVED.
- 2 DENOTES EXISTING SABEL PALM TO BE REMOVED.
- 3 DENOTES EXISTING BRICK AND/OR CONC. PAVING & CURBS TO BE REMOVED, TYP.
- 4 DENOTES EXISTING COVERED CARPORT AREA TO BE REMOVED, TYPICAL.
- 5 DENOTES EXISTING GRAVEL CAR COURT TO REMAIN.
- 6 DENOTES EXISTING A/C UNIT TO BE REMOVED.
- 7 DENOTES EXISTING TREES TO BE REMAIN, TYPICAL.
- 8 DENOTES EXISTING BRICK PAVING TO REMAIN, TYPICAL.
- 9 DENOTES EXISTING 6" H. BRICK PRIVACY WALL TO REMAIN, TYPICAL.
- 10 DENOTES EXISTING CONC. PAVING TO REMAIN, TYPICAL.
- 11 DENOTES NEW PROPOSED NORTH PROPERTY LINE WITH COMMON EASEMENT.
- 12 DENOTES NEW PERMEABLE, DRIVABLE GRASS / BLOCK PAVER SYSTEM WITH 8" W. REINF. CONC. HEADER CURBS, TYP.
- 13 DENOTES NEW ROCK BED COMPOSED OF GRAY MEXICAN BEACH ROCK WITH 8" W. REINF. CONC. HEADER CURB, TYPICAL.
- 14 DENOTES NEW CONC. PAVING, TYPICAL.



SITE PLAN - NEW CONSTRUCTION
SCALE: 1/4"=1'-0"

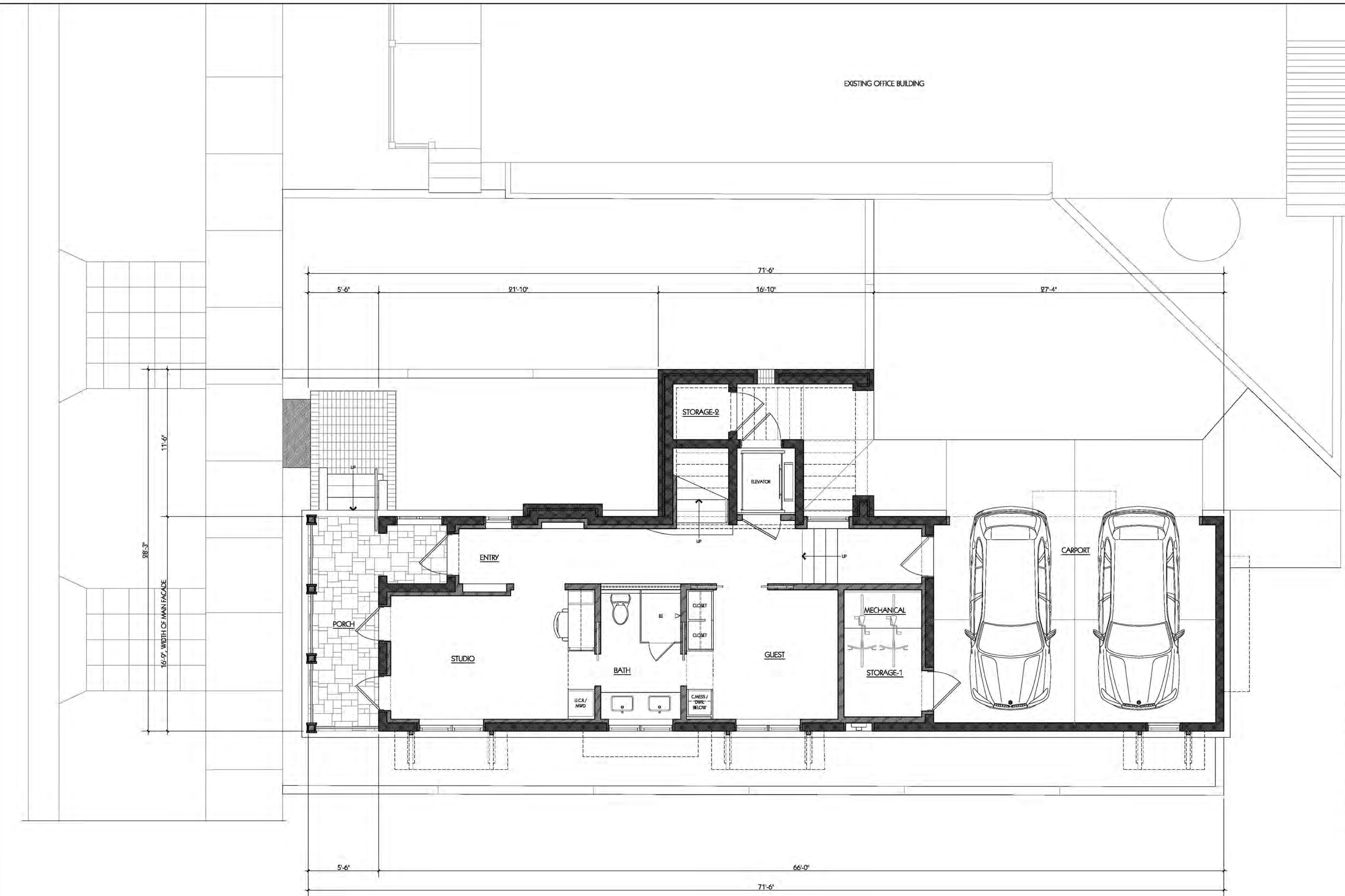


CONSULTANTS

PROJECT TITLE
P12
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

PROJECT NO.	00% SUBMITTAL	DATE	REVISION
1902	01-30-20	01-30-20	00-00-00
CAD DWG FILE	1902AS1.dwg		
DRAWN BY	RSI		
CHECKED BY	RSI		
COPYRIGHT	H-HA 2017		

SHEET TITLE
SITE PLAN - EXISTING CONDITIONS / DEMOLITION & NEW CONSTRUCTION



FIRST FLOOR PLAN - NEW CONSTRUCTION

SCALE: 1/4" = 1'-0"



BUILDING DATA:
 764 S.F. COND. SPACE - FIRST FLR.
 1,193 S.F. COND. SPACE - SECOND FLR.
 1,887 S.F. COND. SPACE - TOTAL
 380 S.F. GARAGE
 230 S.F. EXTERIOR SPACE UNDER ROOF - FIRST FLOOR
 270 S.F. EXTERIOR SPACE UNDER ROOF - SECOND FLOOR

SQUARE FOOTAGE AREAS CALCULATED TO OUTSIDE FACE OF CMU AND/OR WOOD STUD.

CONSTRUCTION DATA:
 NEW STRUCTURE COMPOSED OF EXTERIOR REINFORCED-CMU, LOAD-BEARING WALLS WITH A RAISED FIRST FLOOR REINFORCED CONC. SLAB ON COMPACTED FILL.

SECOND FLOOR FRAMING COMPOSED OF THE FOLLOWING: 20" D. WOOD FLOOR TRUSSES AND 3/4" PLYWOOD FLOOR SHEATHING AND SOME EXTERIOR WALL WOOD STUD FRAMING.

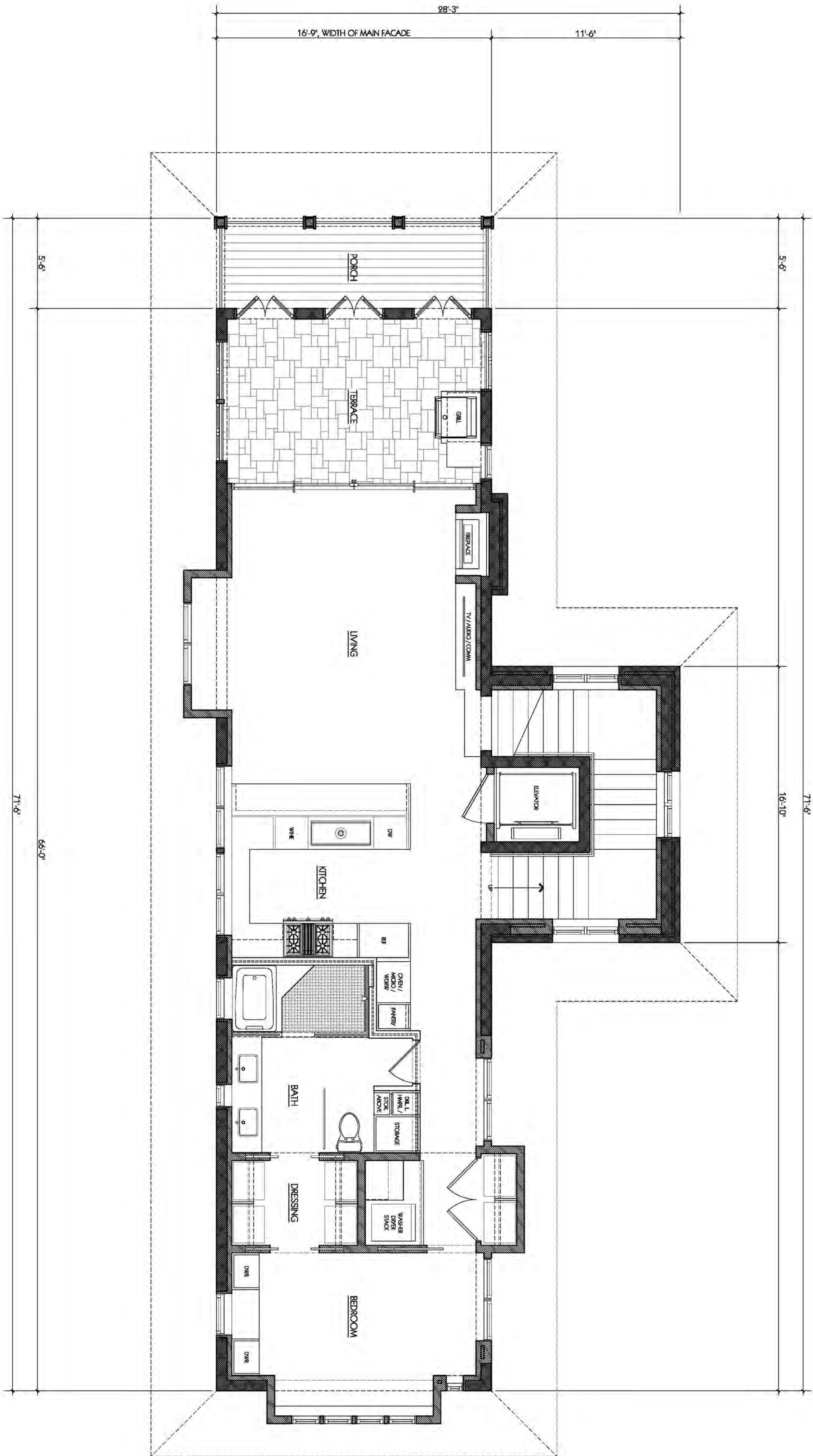
SECOND ROOF SYSTEM SHALL BE COMPOSED OF A COMBINATION OF CUSTOM WOOD FRAMING AND PRE-FABRICATED WOOD TRUSSES WITH 5/8" PLYWOOD ROOF SHEATHING.

CONSULTANTS

PROJECT TITLE
 P12
 314 SOUTH ALCANIZ STREET
 PENSACOLA, FL 32502

PROJECT NO.	1902	1902A3.1.dwg	DATE	01-30-20	REVISION 1	00-00-00
CAD DWG FILE	1902A3.1.dwg					
DRAWN BY	RSI					
CHECKED BY	RSI					
COPYRIGHT	H-HA 2017					

SHEET TITLE
 FIRST FLOOR PLAN - NEW CONSTRUCTION



SECOND FLOOR PLAN - NEW CONSTRUCTION

SCALE: 1/4"=1'-0"



PROJECT NORTH

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE

312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942

CONSULTANTS

PROJECT TITLE
Pl²
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

00% SUBMITTAL	
DATE	01-30-20
REVISION 1	00-00-00

PROJECT NO.	1902
CAD DWG FILE	1902A3.1.dwg
DRAWN BY	RSH
CHECKED BY	RSH
COPYRIGHT	HI-WA 2017

SHEET TITLE

SECOND FLOOR
PLAN - NEW
CONSTRUCTION



KEYNOTES (FOR THIS SHEETS A4.1 - A4.3)

- 1 DENOTES PAINTED COMPOSITE SHIP-LAP SIDING, 7" EXPOSURE, TYPICAL.
- 2 DENOTES BRICK VENEER, TYPICAL.
- 3 DENOTES HARD-COAT STUCCO FINISH, TYPICAL.
- 4 DENOTES CLAD WOOD WINDOWS AND DOORS WITH HORIZ. MUNTINS, TYPICAL.
- 5 DENOTES POWDER-COATED ALUMINUM HANDRAILS, TYPICAL.
- 6 DENOTES CORRUGATED METAL ROOF PANELS WITH GALVALLUME FINISH, TYPICAL.
- 7 DENOTES OPERABLE WOOD SHUTTERS, TYPICAL.

WEST ELEVATION - MAIN VIEW FROM ALCANIZ STREET
SCALE: 1/4"=1'-0"

CONSULTANTS

PROJECT TITLE

P12
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

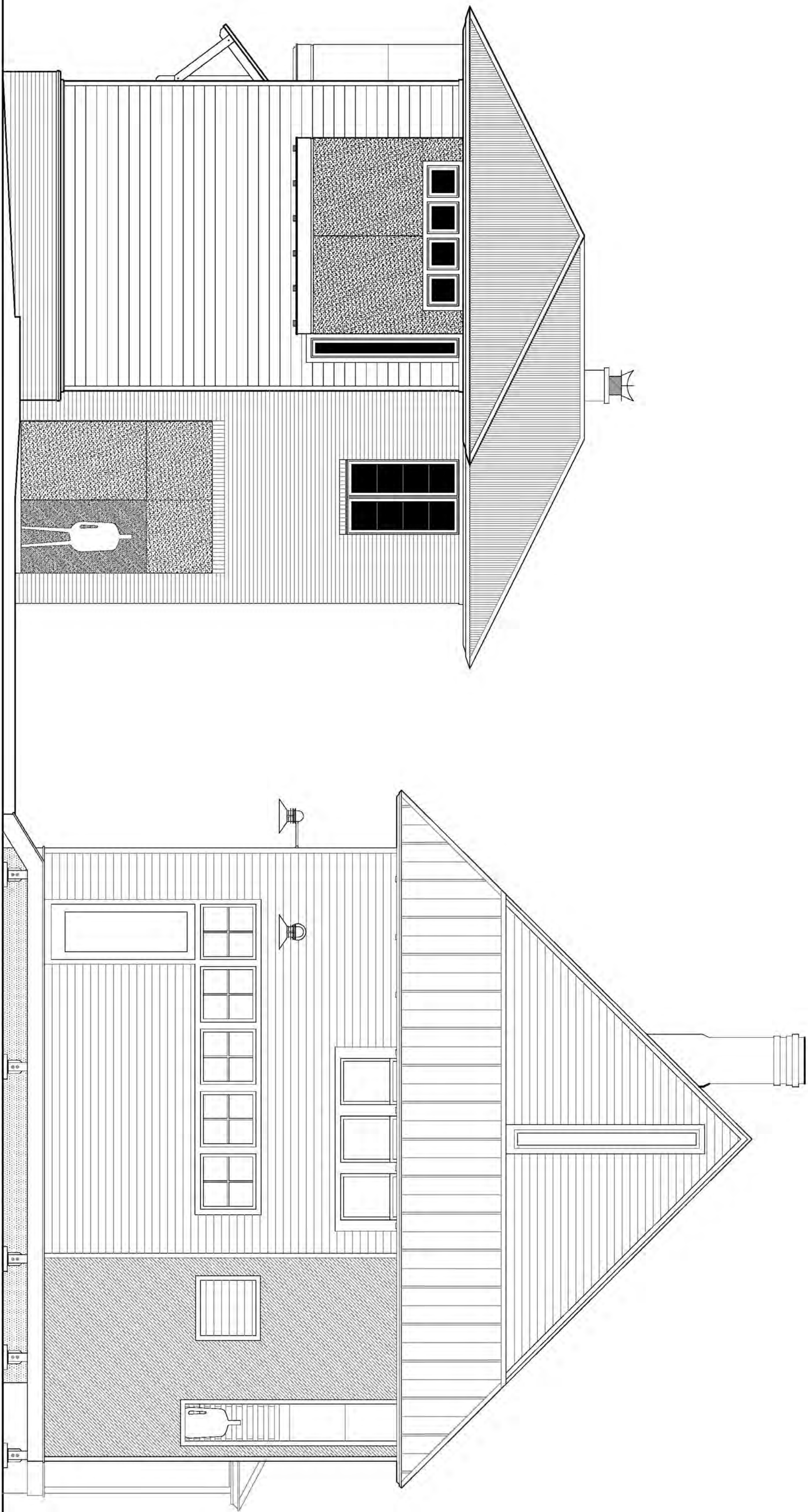
00% SUBMITTAL

1902

PROJECT NO.
CAD DWG FILE
DRAWN BY
CHECKED BY
COPYRIGHT

SHEET TITLE

WEST ELEVATION



EAST ELEVATION - REAR VIEW
SCALE: 1/4"=1'-0"

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE

312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942

CONSULTANTS

PROJECT TITLE

pl²
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

00% SUBMITTAL

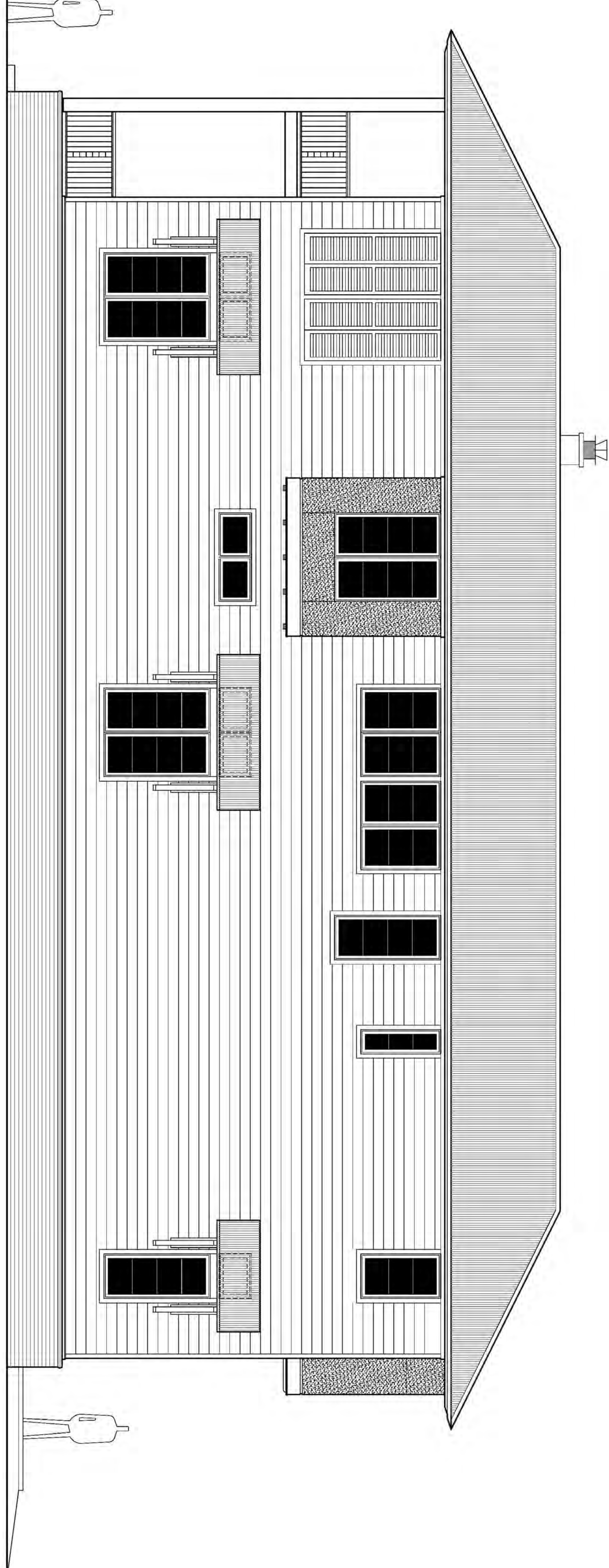
DATE	01-30-20
REVISION 1	00-00-00

PROJECT NO.	1902
CAD DWG FILE	1902A4.1.dwg
DRAWN BY	RSH
CHECKED BY	RSH
COPYRIGHT	HI-WA 2017

SHEET TITLE

EAST ELEVATION

A4.1



SOUTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

SOUTH ELEVATION

SHEET TITLE

PROJECT NO.	1902	00% SUBMITTAL	
CAD DWG FILE	1902A4-1.dwg	DATE	01-30-20
DRAWN BY	RSH	REVISION 1	00-00-00
CHECKED BY	RSH		
COPYRIGHT	HI-WA 2017		

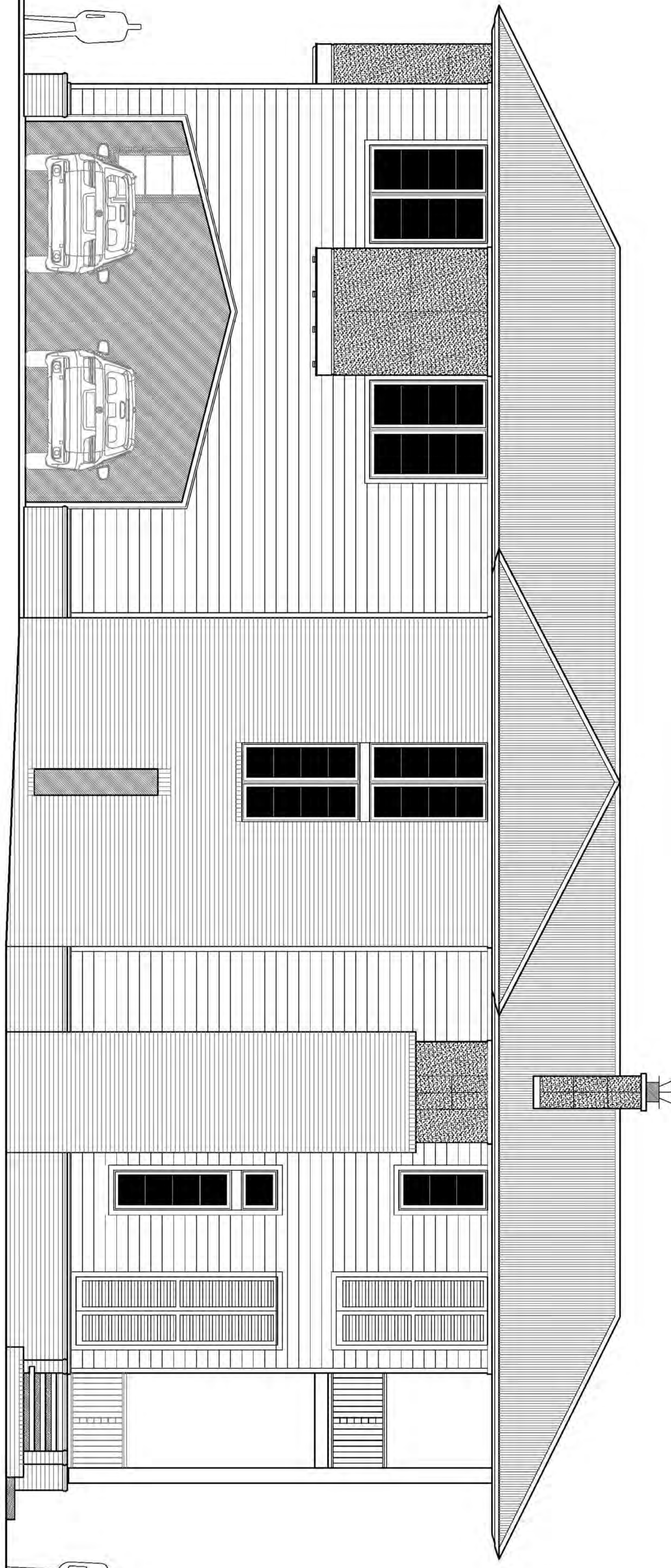
PROJECT TITLE

pl²
314 SOUTH ALCANIZ STREET
PENSACOLA, FL 32502

CONSULTANTS

HEFFERNAN HOLLAND MORGAN
ARCHITECTURE

312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942



NORTH ELEVATION - SIDE VIEW
SCALE: 1/4"=1'-0"

PROJECT NO.	1902	00% SUBMITTAL	
CAD DWG FILE	1902A4-1.dwg	DATE	01-30-20
DRAWN BY	RSH	REVISION 1	00-00-00
CHECKED BY	RSH		
COPYRIGHT	HI-WA 2017		

PROJECT TITLE
 pl²
 314 SOUTH ALCANIZ STREET
 PENSACOLA, FL 32502

CONSULTANTS

HEFFERNAN HOLLAND MORGAN
 A R C H I T E C T U R E
 312 S ALCANIZ STREET PENSACOLA, FL 32502 850 433 2799 FL AAC001942

SHEET TITLE
 NORTH ELEVATION



FRONT VIEW LOOKING BETWEEN BUILDINGS



FRONT VIEW LOOKING NE



FRONT VIEW LOOKING SE



REAR VIEW

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 8**
820 N. Baylen Street
NHPD / PR-2
Variance

BACKGROUND

Paula and Jared Willets are seeking two Variances: to decrease the maximum required rear yard setback from 25' to 2' and to decrease the maximum required south side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters. By definition, accessory dwelling units may only be built alongside detached single family residences and are typically not allowed for existing duplexes. However, this zoning district allows multifamily development which is also the current use of this property. The intention of the requested Variances is to allow the applicants to demolish an existing and dilapidated non-contributing garage and to rebuild within its footprint. The existing garage sits approximately 1'-3 ½" away for the south side yard property line and approximately 8 ½" away from the rear property line.

This item is under consideration with Item 9.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3 (E)(1) *ARB, Conditions for granting a zoning variance*

Table 12-2.9 *NHPD, Regulations*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

 Site #8 ES00893
 Recorder # _____
 Field Date 5/3/95
 Form Date 6/26/95

 Original _____
 Update _____

 SITE NAMES (addr. if none) EDITH P. LIONS HOUSE [MULT. LIST. #8 _____]
 SURVEY NORTH HILL [SURVEY # _____]
 NATIONAL REGISTER CATEGORY _____ building structure district site object

LOCATION & IDENTIFICATION

 ADDRESS (Include N,S,E,W; st., ave., etc.) 820 N. BAYLEN ST.
 CROSS STREETS nearest/between SE CORNER OF N. BAYLEN AND W. STRONG ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS yes no
 COUNTY ESCAMBIA TAX PARCEL # 9010-009-035
 SUBDIVISION NAME NORTH HILL BLOCK 35 LOT NO. 9-10
 OWNERSHIP private-profit priv-nonprofit priv-indiv priv-unspecified city county state federal unknown
 NAME OF PUBLIC TRACT (e.g., park) BELMONT
 ROUTE TO _____

MAPPING

 USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 25 RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
 [UTM: ZONE 16 17 EASTING | | | | | 0 | NORTHING | | | | | 0 |]
 PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

 STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 2
 STRUCTURAL SYSTEMS MASO
 FOUNDATION: Types CONT Materials BRIC
 EXTERIOR FABRICS BRIC
 ROOF: Types GAHP Materials SHCO
 Secondary strucs. (dormers etc.) CRGA
 CHIMNEY: No. 1 Materials BRIC LOCATIONS NORTH EXTERIOR
 WINDOWS (types, materials, and placements) DHS; 6/6 WOOD SINGLE AND GROUPED

 MAIN ENTRANCE (stylistic details) _____
 PORCHES: #open _____ #closed _____ #incised _____ Locations W/2STORY HIPPED PORCHES
 Porch roof types AT ENTRANCES
 EXTERIOR ORNAMENT BRICK QUOINS POLYCROYMATIC BRICK WORK

 INTERIOR PLAN _____ CONDITION: excellent good fair deteriorated ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial residential institutional rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

 ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)
 Artifacts or other remains _____

 NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
 EXAMPLE OF 1930s MASONRY VERNACULAR ARCHITECTURE.



HISTORY

CONSTRUCTION DATE 1930+ CIRCA yes no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES yes no Dates _____ Orig. addr. _____
 ALTERATIONS yes no Dates _____ Nature _____
 ADDITIONS yes no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) RESIDENCE
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) EDITH B. LIONS (ORIGINAL)
WILLIAM BROWN (CURRENT)

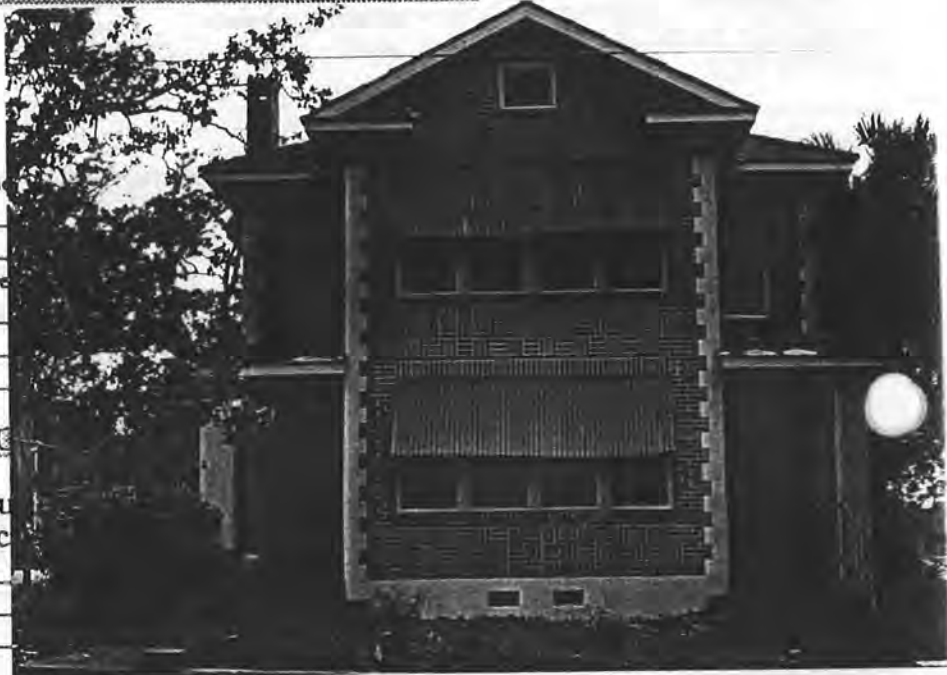
SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic h _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____
 give FSF Manuscript Number, or loc _____)



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R10, F23-24

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

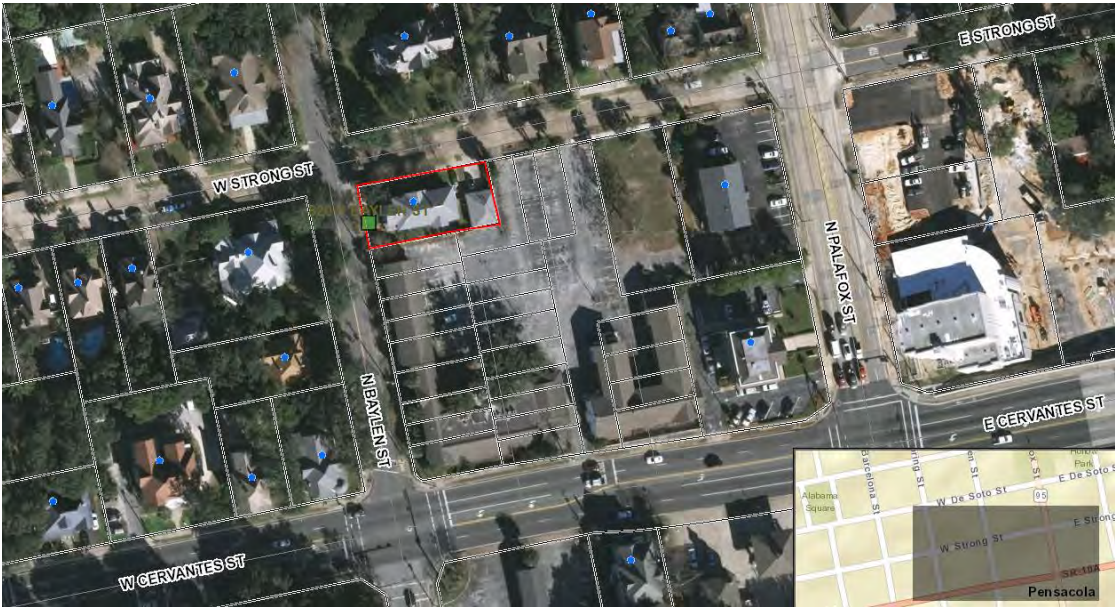
FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS		DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY*	y n pe ü	Date	/ /	
	SHPO-NR ELIGIBILITY*	y n pe ü	Date	/ /	
DELIST DATE	LOCAL DESIGNATION*		Date	/ /	
	Local office				

* y=Yes; n=No; pe=Potentially Eligible; ü=Insufficient Information

- REQUIRED:
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

820 N. Baylen Street





- Zoning Board of Adjustment**
- Architectural Review Board**
- Planning Board**
- Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Table 12-2.9 Zoning PR-2

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 820 N. Baylen Street

Current use of property: Multi family dwelling

1. Describe the requested variance(s): (1) Decrease the maximum required rear yard setback from 25' to 2' and (2) decrease the maximum required side yard setback from 7.5' to 2' to accommodate a detached garage with 2nd-story living quarters.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:
see attached

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

see attached

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

see attached

5. Explain what other condition(s) may justify the proposed variance(s):

see attached

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

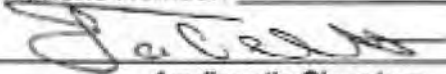
"The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event to allow the City time to provide the requested services."

APPLICANT INFORMATION

Name: Jared & Paula Willets

Address: 820 North Baylen Street

Telephone Number: (850) 417-2891

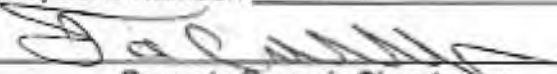

Applicant's Signature

PROPERTY OWNER INFORMATION

Name: Jared & Paula Willets

Address: 820 North Baylen Street

Telephone Number: (850) 417-2891


Property Owner's Signature

VARIANCE APPLICATION
820 NORTH BAYLEN STREET

1. We request a variance on setbacks to rebuild our garage on the existing footprint and a variance to build a second story with an additional dwelling unit.

2. There is not enough property to build under current setbacks.

3. The garage has been neglected for many years and is in a serious state of disrepair. Repair is not an option.

4. In it's current state, the garage is an eyesore. A new structure, built in the style of the main house, would be a welcome addition to the neighborhood.

Our neighbor (Covington Place) adjacent to the south and west of our home supports our plans.

VARIANCE APPLICATION 2
820 NORTH BAYLEN STREET

Architectural Review Board
Pensacola, FL

We are seeking variances to continue the restoration of our home at 820 North Baylen St.

Phase three of the project is the demolition and rebuilding of our garage. The new structure would be built in the style of the main house using the same materials.

We would like the new garage to include a second story with an additional dwelling unit.

A variance of setbacks would allow us to build the new garage on the existing footprint. Under current setbacks, there is not enough property to build. A variance of height would allow for the ADU.

The developer of our closest neighbor (Covington Place) supports our proposal. Charles Liberis has sent a letter to the ARB expressing that support. (see attached)

Upon approval, we will have our designer begin work on plans to be submitted to the ARB for consideration.

Thank you,
Jared & Paula Willets

From: Charles Liberis <cliberis@liberislaw.com>
Subject: RE: 820 North Baylen St.
Date: December 4, 2019 at 5:55 AM
To: Jared Willets <jwillets@bellsouth.net>
Cc: Kaylan Walden <kwalden@liberislaw.com>

Jared

Happy to support your effort. Important that you get Support of the North Hill Preservation Group

Kaylan

Please prepare letter to ARB on Olde City Developers LLC letterhead

Dear _____

Olde City is the developer of Covington Place Townhomes adjacent to the above property. We have no objection to and strongly support Mr Willets plan to demolish his existing garage and construct a new garage apartment in an architectural style similar to his primary structure

Very truly yours,



Charles S. Liberis
Liberis Law Firm
212 W. Intendencia
Pensacola, FL 32502
Office: 850-438-9647
Fax: 850-433-5409

Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check. ****Be aware!** Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds. **** NOTE: OUR wire instructions will NEVER have a Swift Code.**

The information contained in this message is protected by the attorney work-product privilege. It is intended only for the use of the addressee(s) named above. If this message has been sent to you by mistake, the privileges are not waived by virtue of that mistake. If you are not the named addressee(s) or the employee or agent responsible to deliver it to the named addressee(s), you may not use, disseminate, distribute, or copy this message. If you have received this message in error, please immediately so notify us by reply e-mail and delete this message from your computer. Thank you.

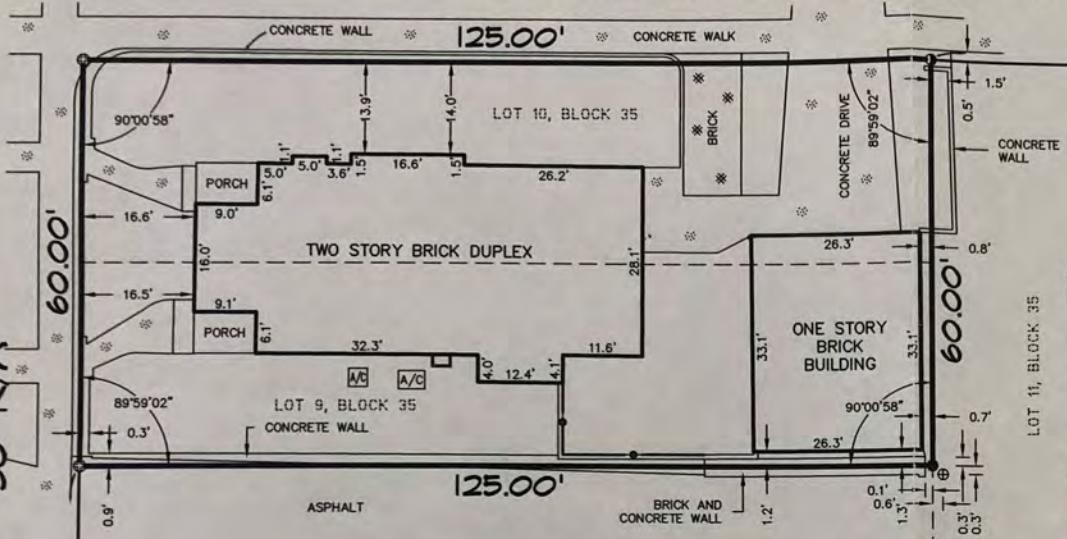
From: Jared Willets <jwillets@bellsouth.net>
Sent: Tuesday, December 3, 2019 5:37 PM
To: Charles Liberis <cliberis@liberislaw.com>
Subject: 820 North Baylen St.

BAYLEN STREET 50' R/W

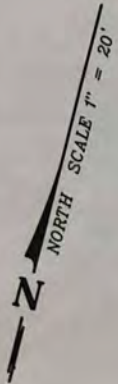
STRONG STREET 50' R/W

PALAFIX STREET U.S. HIGHWAY 29
STATE ROAD #95 70' R/W

CERVANTES STREET STATE ROAD #10-A 80' R/W



A BOUNDARY SURVEY AND LOCATION OF IMPROVEMENTS



LEGEND:

- R/W Right of way
- 1/2" Capped Iron rod set #1073
- 1/2" Capped Iron rod found #noted
- ⊕ 1/2" Iron rod found
- ⊙ PK Nail found
- ⊗ 3/4" Crimped Iron pipe found
- ⊞ Air conditioning unit
- ⊠ Concrete
- ⊡ Wood fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
3. This survey does not reflect or determine ownership.
4. This drawing only reflects setback lines, which appear on the recorded plat. This property may also be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
5. Footers and foundations below natural grade not located.

STREET ADDRESS: 820 North Baylen Street

LEGAL DESCRIPTION:

Lot 9 and 10, Block 35, Belmont Tract, according to map of City of Pensacola copyrighted by Thomas C. Watson in 1906, Section 23, Township 2 South, Range 30 West, Escambia County, Florida.

CERTIFIED TO MEET MINIMUM TECHNICAL STANDARDS TO:

First American Title Insurance Company
Gulf Coast Community Bank
Carl E. Valletto and Annette M. Valletto

Bearing Reference: N.A.
Ordered By: MR. DAVID VALETTA Elevation Reference
I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
David D. Glaze
PSM #6190

PITTMAN, PALAZE AND GASSOCIATES, INC.
LAND SURVEYORS
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone (850) 434-6666
Fax (850) 434-6661
Email: pgasurvey@bellsouth.net

SHEET	1	NOT VALID UNLESS IMPRINTED WITH EMBOSSED SEAL AND SIGNED SURVEYOR
OF	1	
		LB No. 7073

Date of Survey	1-6-13
Date of Plat	1-8-13
Date of Revision	
Scale	1" = 20'
File No.	B-12296
Job No.	35760-13
FB 1504 PG	35-37
FB	PG
Encroachments	CONCRETE

Drawn By: PMJ
Checked By: NJS

STRONG STREET

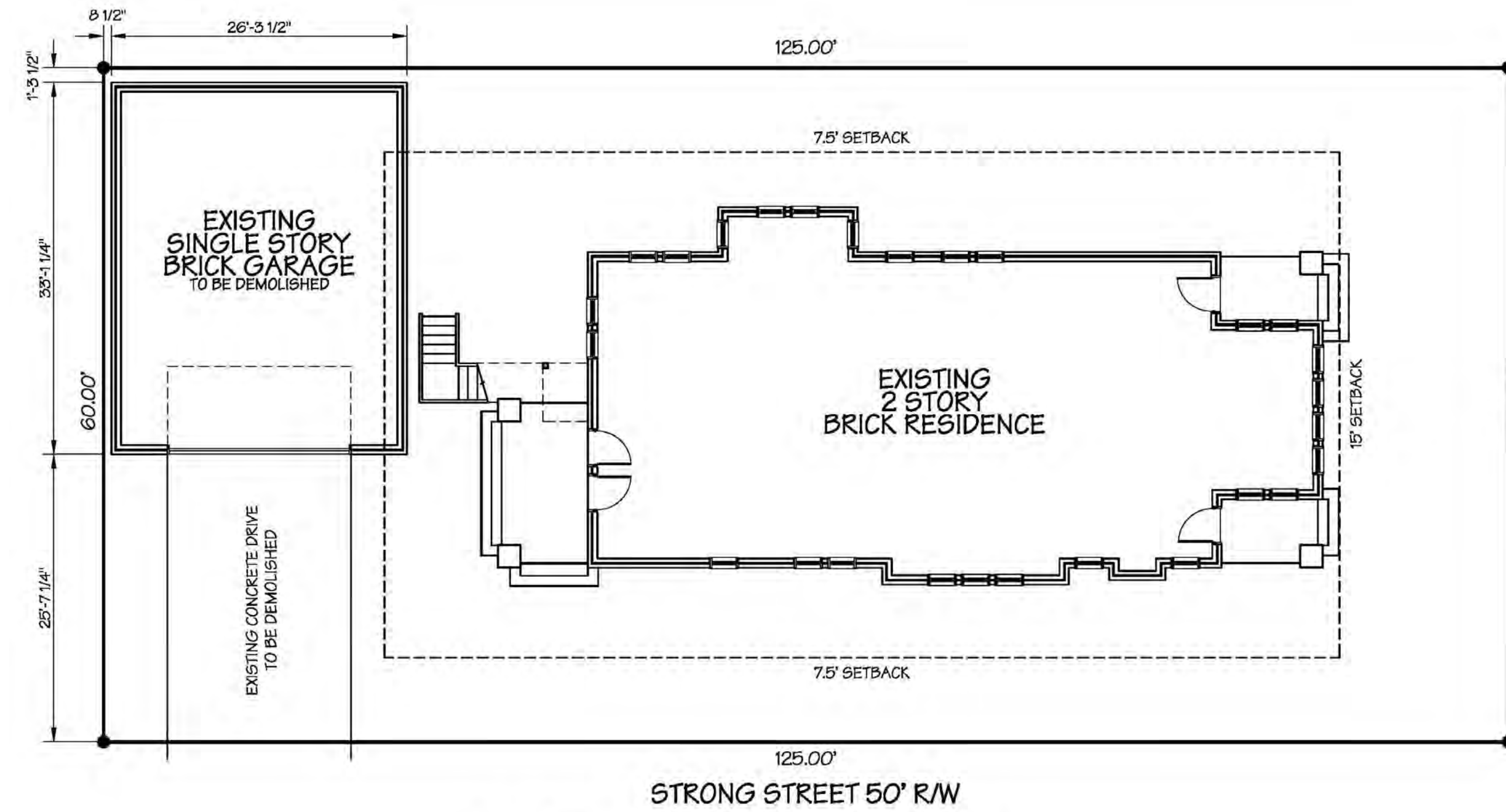
BAYLEN STREET



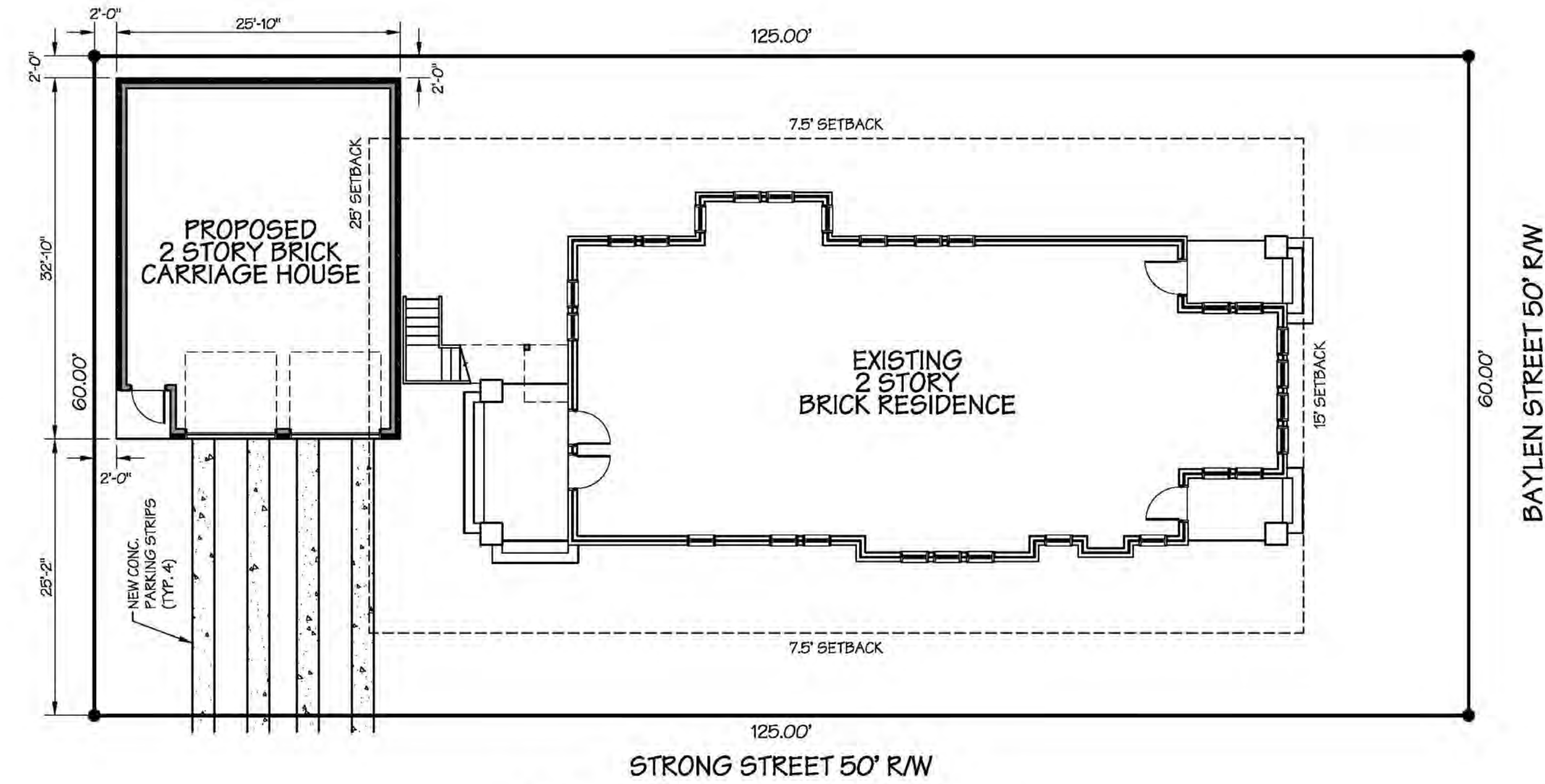
ARCHITECTURAL SITE PLAN

CERVANTES STREET

EXISTING COMMERCIAL PROPERTY



1 EXISTING SITE PLAN
SCALE: 1"=10'



2 PROPOSED SITE PLAN
SCALE: 1"=10'

- SCOPE OF WORK**
1. DEMOLISH EXISTING GARAGE AND CONCRETE DRIVE.
 2. CONSTRUCT NEW, 2 STORY, WOOD FRAMED CARRIAGE HOUSE WITH BRICK VENEER TO MATCH EXISTING RESIDENCE. CONSTRUCTION IS TO BE WITHIN THE FORMER GARAGE FOOTPRINT.
 3. CONSTRUCT NEW PARKING STRIPS.

EXISTING IMPERVIOUS AREA

EXIST. HOUSE: 2,038 SF
EXIST. GARAGE: 871 SF
EXIST. CONC. DRIVEWAY: 418 SF
TOTAL EXISTING: 3,327

PROPOSED IMPERVIOUS AREA

EXIST. HOUSE: 2,038 SF
NEW CARRIAGE HOUSE: 848 SF
NEW PARKING STRIPS: 212 SF
TOTAL EXISTING: 3,098 SF (229 SF LESS)

SQUARE FOOTAGES

EXISTING HOUSE:
3,614 SF INTERIOR CONDITIONED
250 SF COVERED EXTERIOR
3,864 SF TOTAL

CARRIAGE HOUSE:
22 SF COVERED EXTERIOR
826 SF INTERIOR UNCONDITIONED
848 SF 2ND LEVEL CONDITIONED
1,696 SF TOTAL



3 NORTH ELEVATION
SCALE: 3/16"=1'-0"

No.	Date	Description

Willets Carriage House
820 N. Baylen Street
Pensacola, Florida 32501

SITE PLANS AND ELEVATION

A1

DATE: 01/21/20

PROJECT NO: WCB1953

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 9**
820 N. Baylen Street
NHPD / PR-2
Demolition / New Construction

BACKGROUND

Paula and Jared Willets are requesting approval to demolish an existing non-contributing garage and *CONCEPTUAL* approval for a new detached garage with second story living quarters. The existing brick garage is dilapidated and beyond repair. The applicants are proposing to rebuilt within the footprint of the garage and with some added space between the property lines and exterior walls. The style of the proposed structure will match the main house with a brick exterior, architectural shingles, and 3 over 1 windows. Since the applicants are requesting conceptual approval only, all proposed materials and additional plans will be submitted for a later, final review. The north elevation which depicts the street front side of the proposed garage has been provided in this packet.

This item is under consideration with Item 8.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(9) *NHPD, Demolition of structures*

Sec. 12-2-10(B)(8) *NHPD, New construction* reference to Sec. 12-2-10(A)(10) *PHD, Other demolition permits*



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

 Site #8 ES00893
 Recorder # _____
 Field Date 5/3/95
 Form Date 6/26/95
 Original
 Update

 SITE NAMES (addr. if none) EDITH P. LIONS HOUSE [MULT. LIST. #8 _____]
 SURVEY NORTH HILL [SURVEY # _____]
 NATIONAL REGISTER CATEGORY building structure district site object

LOCATION & IDENTIFICATION

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 CROSS STREETS nearest/between SE CORNER OF N. BAYLEN AND W. STRONG ST.
 NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS yes no
 COUNTY ESCAMBIA TAX PARCEL # 9010-009-035
 SUBDIVISION NAME NORTH HILL BLOCK 35 LOT NO. 9-10
 OWNERSHIP private-profit priv-nonprofit priv-indiv priv-unspecified city county state federal unknown
 NAME OF PUBLIC TRACT (e.g., park) BELMONT
 ROUTE TO _____

MAPPING

 USGS 7.5' MAP NAME 30087-D2-TF-024 1987
 TOWNSHIP 25 RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
 [UTM: ZONE 16 17 EASTING | | | | | 0 | NORTHING | | | | | 0 |]
 PLAT OR OTHER MAP (Map's name, location) _____

DESCRIPTION

 STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 2
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 EXTERIOR FABRICS BRIC
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 Secondary strucs. (dormers etc.) CRGA
 CHIMNEY: No. 1 Materials BRIC LOCATIONS NORTH EXTERIOR
 WINDOWS (types, materials, and placements) DHS; 6/6 WOOD SINGLE AND GROUPED

 MAIN ENTRANCE (stylistic details) _____
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 Porch roof types AT ENTRANCES
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 INTERIOR PLAN _____ CONDITION: excellent good fair deteriorated ruinous
 SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial residential institutional rural
 ANCILLARY FEATURES (No., type of outbuildings; major landscape features) _____

 ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)
 Artifacts or other remains _____

 NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
 EXAMPLE OF 1930s MASONRY VERNACULAR ARCHITECTURE.



HISTORY

CONSTRUCTION DATE 1930+ CIRCA yes no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES yes no Dates _____ Orig. addr. _____
 ALTERATIONS yes no Dates _____ Nature _____
 ADDITIONS yes no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) RESIDENCE
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) EDITH B. LIONS (ORIGINAL)
WILLIAM BROWN (CURRENT)

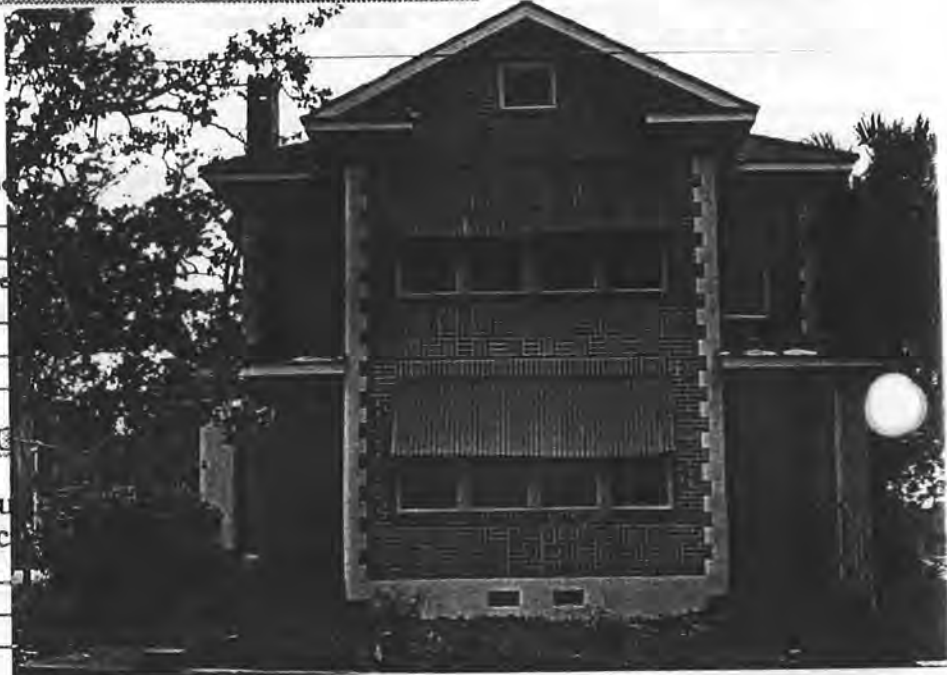
SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic h _____)

EXPLANATION OF EVALUATION (re _____)

BIBLIOGRAPHIC REFERENCES (Au _____
 give FSF Manuscript Number, or loc _____)



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R10, F23-24

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

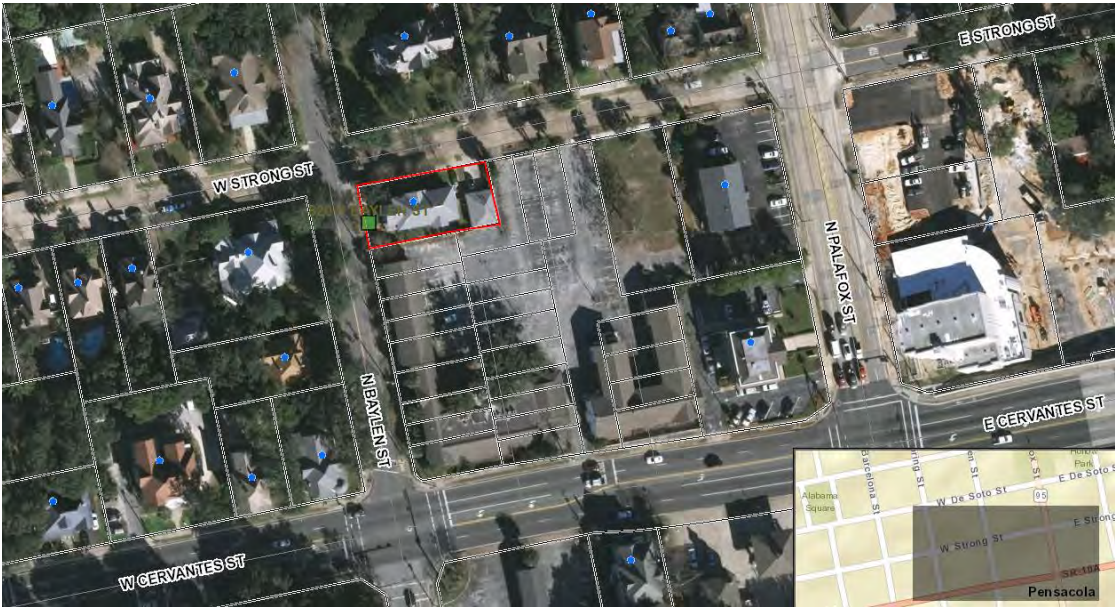
FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS		DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY*	y n pe ü	Date	/ /	
	SHPO-NR ELIGIBILITY*	y n pe ü	Date	/ /	
DELIST DATE	LOCAL DESIGNATION*		Date	/ /	
	Local office				

* y=Yes; n=No; pe=Potentially Eligible; ü=Insufficient Information

- REQUIRED:
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

820 N. Baylen Street





**Architectural Review Board Application
Full Board Review**

Application Date: 1/30/2020

Project Address: 820 N. Baylen Street

Applicant: Jared and Paula Willets

Applicant's Address: 820 N. Baylen Street

Email: jwillets@bellsouth.net **Phone:** _____

Property Owner: Jared and Paul Willets

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Requesting approval to demolish existing single story brick garage. Garage is falling down and is not a contributing historic structure.

Requesting CONCEPTUAL approval to rebuild a 2 story brick carriage house within the existing garage footprint. Proposed garage to match main house.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on file.

Applicant Signature

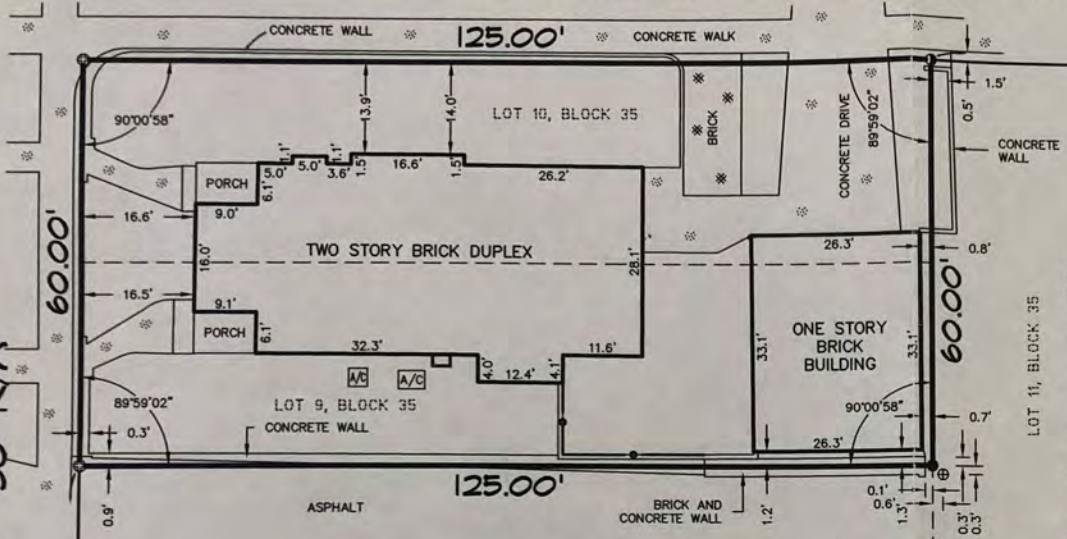
Date

BAYLEN STREET 50' R/W

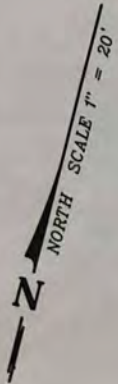
STRONG STREET 50' R/W

PALAFIX STREET U.S. HIGHWAY 29
STATE ROAD #95 70' R/W

CERVANTES STREET STATE ROAD #10-A 80' R/W



A BOUNDARY SURVEY AND LOCATION OF IMPROVEMENTS



LEGEND:

- R/W Right of way
- 1/2" Capped Iron rod set #1073
- 1/2" Capped Iron rod found #noted
- ⊕ 1/2" Iron rod found
- ⊙ PK Nail found
- ⊗ 3/4" Crimped Iron pipe found
- ⊠ Air conditioning unit
- ⊞ Concrete
- Wood fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
3. This survey does not reflect or determine ownership.
4. This drawing only reflects setback lines, which appear on the recorded plat. This property may also be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
5. Footers and foundations below natural grade not located.

STREET ADDRESS: 820 North Baylen Street

LEGAL DESCRIPTION:

Lot 9 and 10, Block 35, Belmont Tract, according to map of City of Pensacola copyrighted by Thomas C. Watson in 1906, Section 23, Township 2 South, Range 30 West, Escambia County, Florida.

CERTIFIED TO MEET MINIMUM TECHNICAL STANDARDS TO:

First American Title Insurance Company
Gulf Coast Community Bank
Carl E. Valletto and Annette M. Valletto

Bearing Reference: N.A.
Ordered By: MR. DAVID VALETTA Elevation Reference
I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
PSM #5605

Walter J. Glaze
PSM #6190

PITTMAN, PALAZE AND GASSOCIATES, INC.
LAND SURVEYORS

5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone (850) 434-6666
Fax (850) 434-6661
Email: pgasurvey@bellsouth.net

SHEET	1	NOT VALID UNLESS IMPRINTED WITH EMBOSSED SEAL AND SIGNED SURVEYOR
OF	1	
		LB No. 7073

Date of Survey	1-6-13
Date of Plat	1-8-13
Date of Revision	
Scale	1" = 20'
File No.	B-12296
Job No.	35760-13
FB 1504 PG	35-37
FB PG	
Encroachments	CONCRETE

Drawn By: PMJ
Checked By: NJS

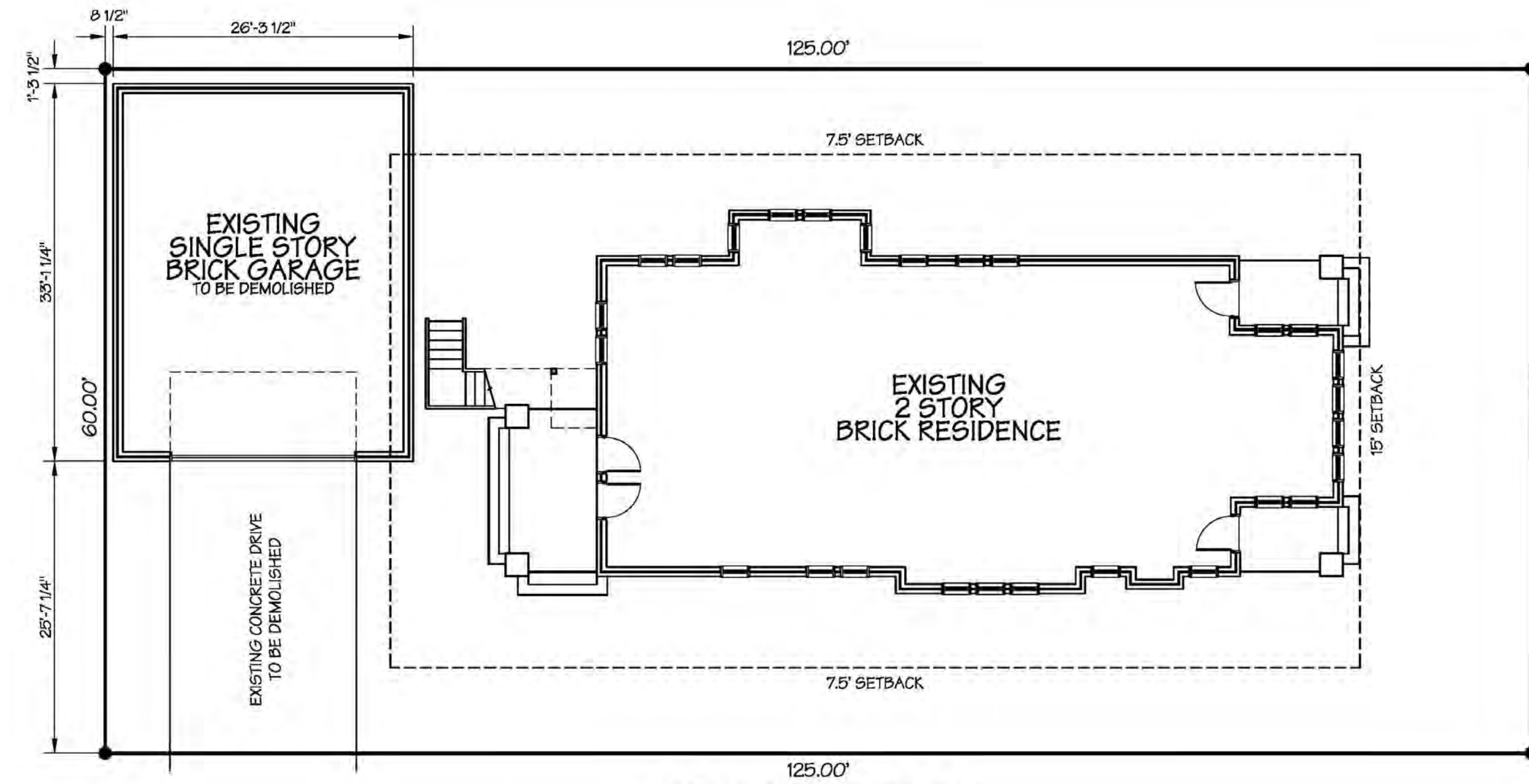
STRONG STREET

BAYLEN STREET

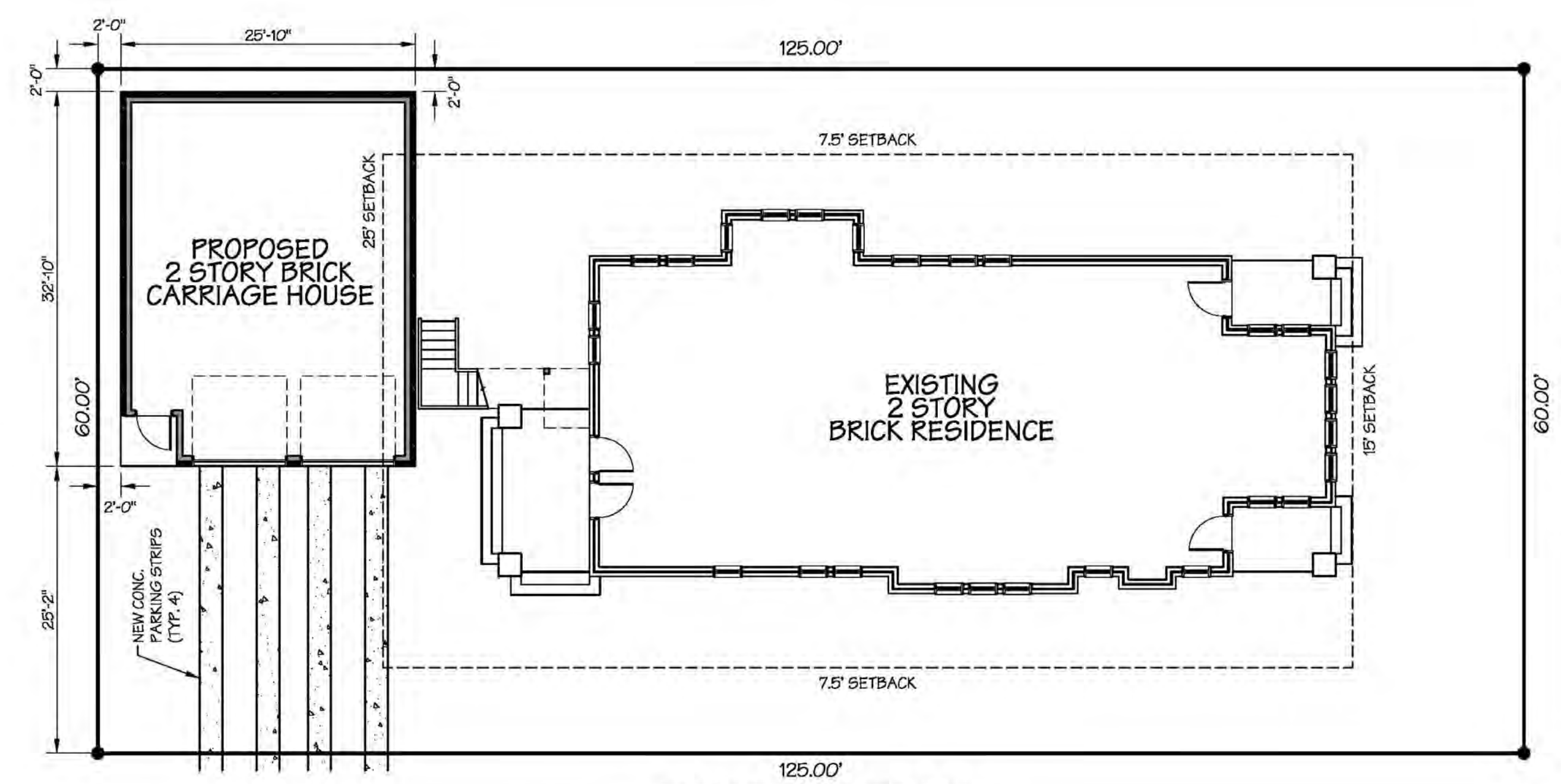


ARCHITECTURAL SITE PLAN

CERVANTES STREET



1 EXISTING SITE PLAN
SCALE: 1"=10'



2 PROPOSED SITE PLAN
SCALE: 1"=10'



3 NORTH ELEVATION
SCALE: 3/16"=1'-0"

- SCOPE OF WORK**
1. DEMOLISH EXISTING GARAGE AND CONCRETE DRIVE.
 2. CONSTRUCT NEW, 2 STORY, WOOD FRAMED CARRIAGE HOUSE WITH BRICK VENEER TO MATCH EXISTING RESIDENCE. CONSTRUCTION IS TO BE WITHIN THE FORMER GARAGE FOOTPRINT.
 3. CONSTRUCT NEW PARKING STRIPS.

EXISTING IMPERVIOUS AREA
EXIST. HOUSE: 2,038 SF
EXIST. GARAGE: 871 SF
EXIST. CONC. DRIVEWAY: 418 SF
TOTAL EXISTING: 3,327

PROPOSED IMPERVIOUS AREA
EXIST. HOUSE: 2,038 SF
NEW CARRIAGE HOUSE: 848 SF
NEW PARKING STRIPS: 212 SF
TOTAL EXISTING: 3,098 SF (229 SF LESS)

SQUARE FOOTAGES
EXISTING HOUSE:
3,614 SF INTERIOR CONDITIONED
250 SF COVERED EXTERIOR
3,864 SF TOTAL

CARRIAGE HOUSE:
22 SF COVERED EXTERIOR
826 SF INTERIOR UNCONDITIONED
848 SF 2ND LEVEL CONDITIONED
1,696 SF TOTAL

No.	Date	Description

Willets Carriage House
820 N. Baylen Street
Pensacola, Florida 32501

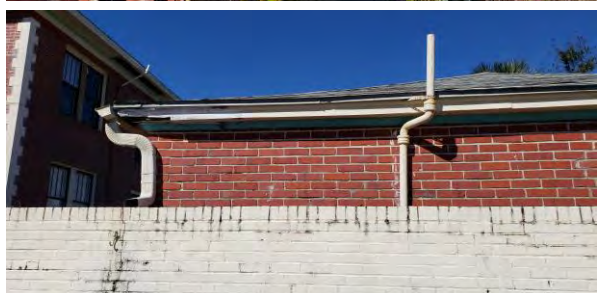
SITE PLANS AND ELEVATION

A1

DATE: 01/21/20

PROJECT NO: WCB1953

820 N. Baylen Street – Garage



820 N. Baylen Street – Garage



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 10**
200 BLK S. 9th Avenue
PHD / HC-1 / Brick Structures
New Construction

BACKGROUND

Elizabeth and Stephen Steck are seeking *final* approval for a new single family residence. This project received conceptual approval in October 2019. The revised plans still depict a three-level house with a garage, foyer, and storage area on the first floor, primary living space on the second, and a master suite and bedrooms on the third. The exterior, however, has undergone a redesign which reflect the applicants' preferred style and input from the Board. The revised elevations show a brick structure with faux carriage doors, brick work, and windows to resemble a historic warehouse. Bronze aluminum guardrails will line the second and third level balconies and a stained cypress pergola will adorn the third. Windows and doors are to be PGT vinyl. Lighting will include up down lights on the third floor and gas lanterns on the ground level. The applicants have also provided a landscape plan with consideration to the ECUA easement.

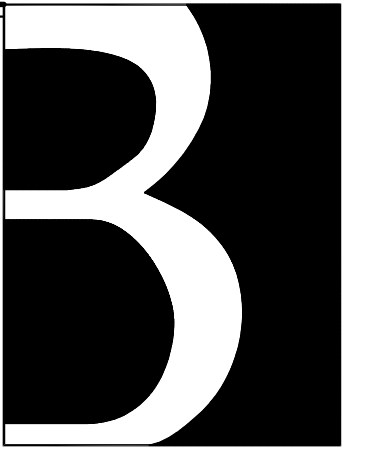
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(8) *PHD, New construction*
Figure 12-2.2 *PHD, Type III for the brick structures district*

200 BLK South 9th Avenue





bounds
 Architecture Studio
 3804 Tiger Point Blvd.
 Gulf Breeze, FL 32563
 v 850.469.9552
 FL# : AA2600637
 www.boundsarch.com

NOT FOR CONSTRUCTION

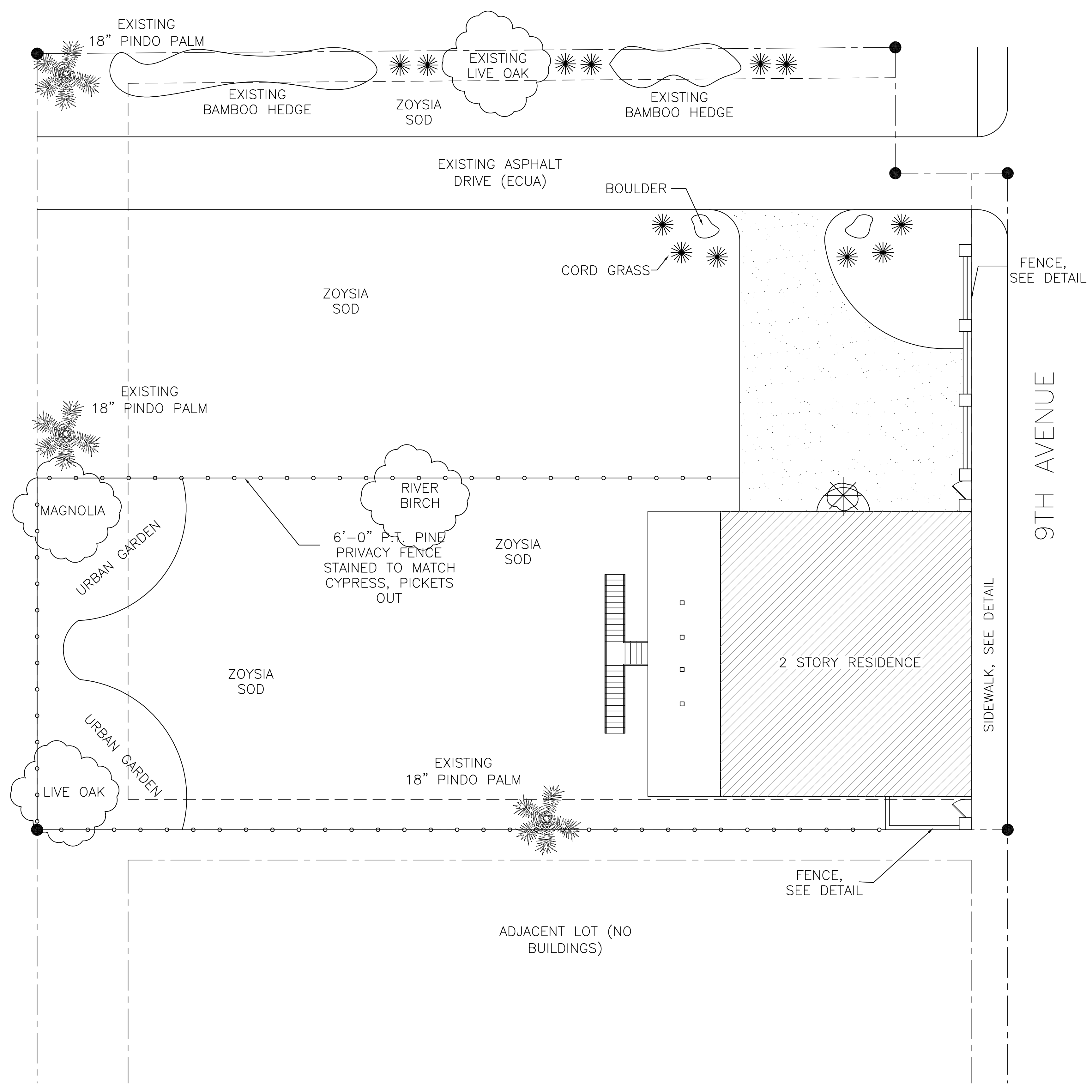
A. ALLEN BOUNDS III, R.A.

JOB NUMBER: 184.23	
DATE: 10.2.2019	
DESIGN: AAB	DRAWN: AAB

STECK RESIDENCE
 9TH AVENUE
 PENSACOLA, FL.

SHEET TITLE
 LANDSCAPE PLAN

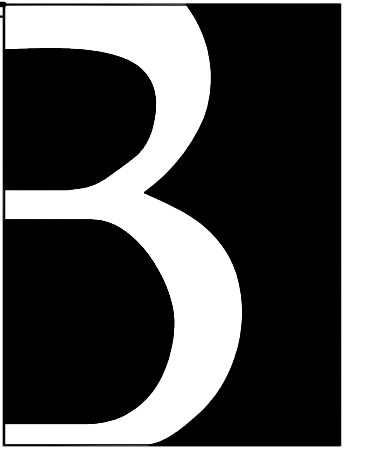
SHEET NO:
L2



1
L2 LANDSCAPE PLAN
 SCALE: 1" = 10'-0"



October 2019 ARB



bounds
Architecture Studio

3804 Tiger Point Blvd.
Gulf Breeze, FL 32563
v 850.469.9552
FL# : AA2600637
www.boundsarch.com

NOT FOR CONSTRUCTION

A. ALLEN BOUNDS III, R.A.

JOB NUMBER: 184.23	
DATE: 10.2.2019	
DESIGN: AAB	DRAWN: AAB

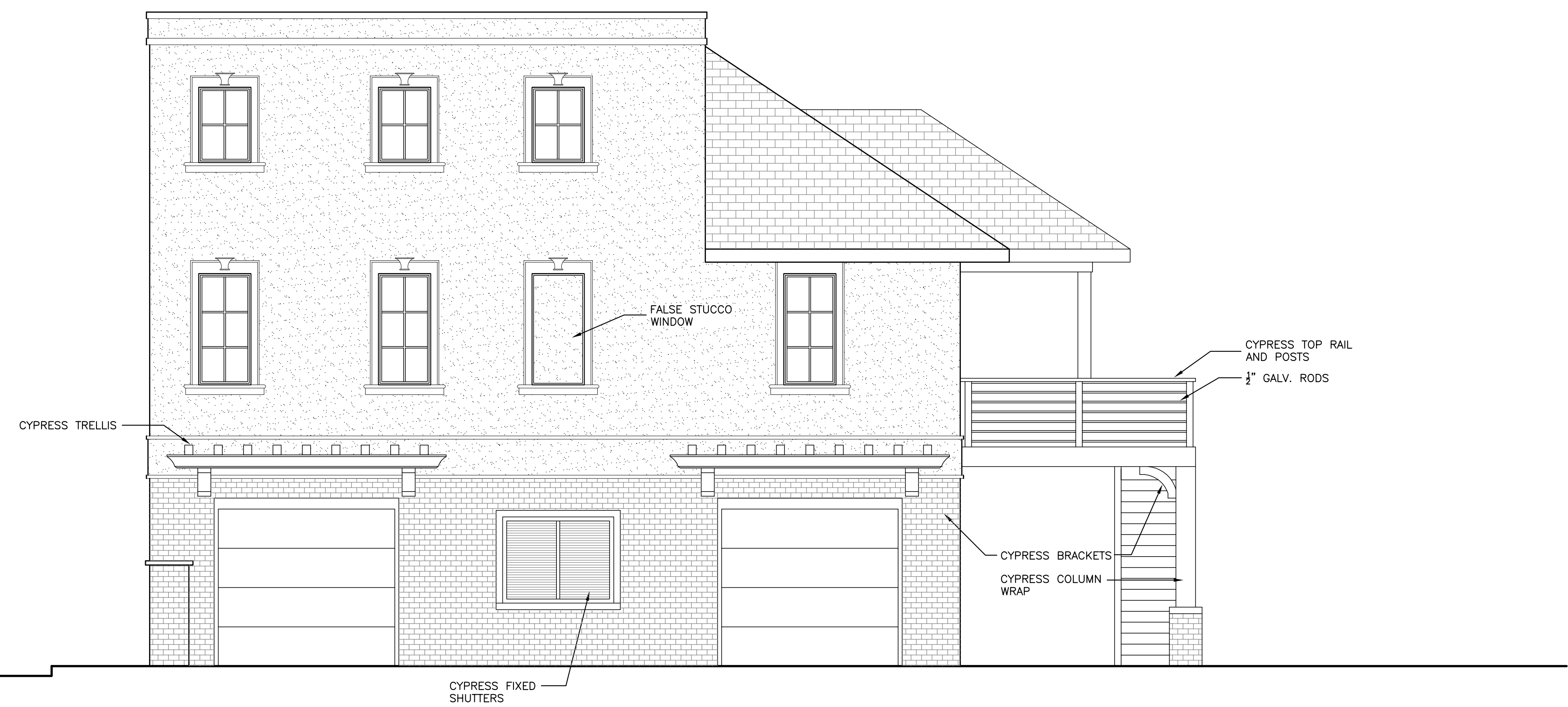
STECK RESIDENCE
9TH AVENUE
PENSACOLA, FL.

SHEET TITLE ELEVATIONS
--

SHEET NO:
A5.1
COPYRIGHT 2019 BOUNDS, INC.

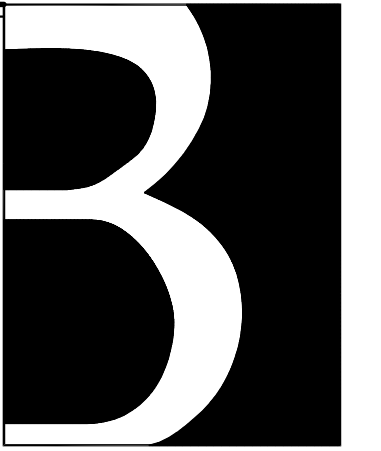


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

October 2019 ARB



bounds
Architecture Studio

3804 Tiger Point Blvd.
Gulf Breeze, FL 32563
v 850.469.9552
FL# : AA2600637
www.boundsarch.com

NOT FOR CONSTRUCTION



1 WEST ELEVATION
A5 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A5 SCALE: 1/4" = 1'-0"

A. ALLEN BOUNDS III, R.A.

JOB NUMBER: 184.23	
DATE: 10.2.2019	
DESIGN: AAB	DRAWN: AAB

STECK RESIDENCE
9TH AVENUE
PENSACOLA, FL.

SHEET TITLE ELEVATIONS

SHEET NO:
A5.2
COPYRIGHT 2019 BOUNDS, INC.



**Architectural Review Board Application
Full Board Review**

Application Date: 1/30/2020

Project Address: SOUTH 9TH AVE. 500 BLOCK.

Applicant: Elizabeth and Steve Steck

Applicant's Address: 840 Green Hills Rd. Cantonment, FL 32533

Email: steck.elizabeth72@gmail.com Phone: 850-777-7887

Property Owner: Elizabeth and Steve Steck

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Follow-up to the October conceptual approval for final approval. There are additional changes above what the board recommended. The home foot print has been changed to maximize the front view and removal of large back porch. The home is now more warehouse like with all brick, large front windows, carriage openings on the first floor, foot print of floors fully stacks on top of each other and parapet roof. The front porch and balcony now have bronze aluminum railing to match the bronze windows. The plan is for the garage doors, faux carriage doors, front door and pergola to be wood to give the beauty of wood as it ages. The front door will be custom to match the above window.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Elizabeth A. Steck
Applicant Signature

1-30-2020
Date

PROPOSED RESIDENCE FOR: MR. & MRS. STECK

REVISIONS	BY
01-30-2020	



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
PINE HALL BRICK
"MARSHTON QUEEN"

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR(S) TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM TO ANY PHASE OF CONSTRUCTION.
BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

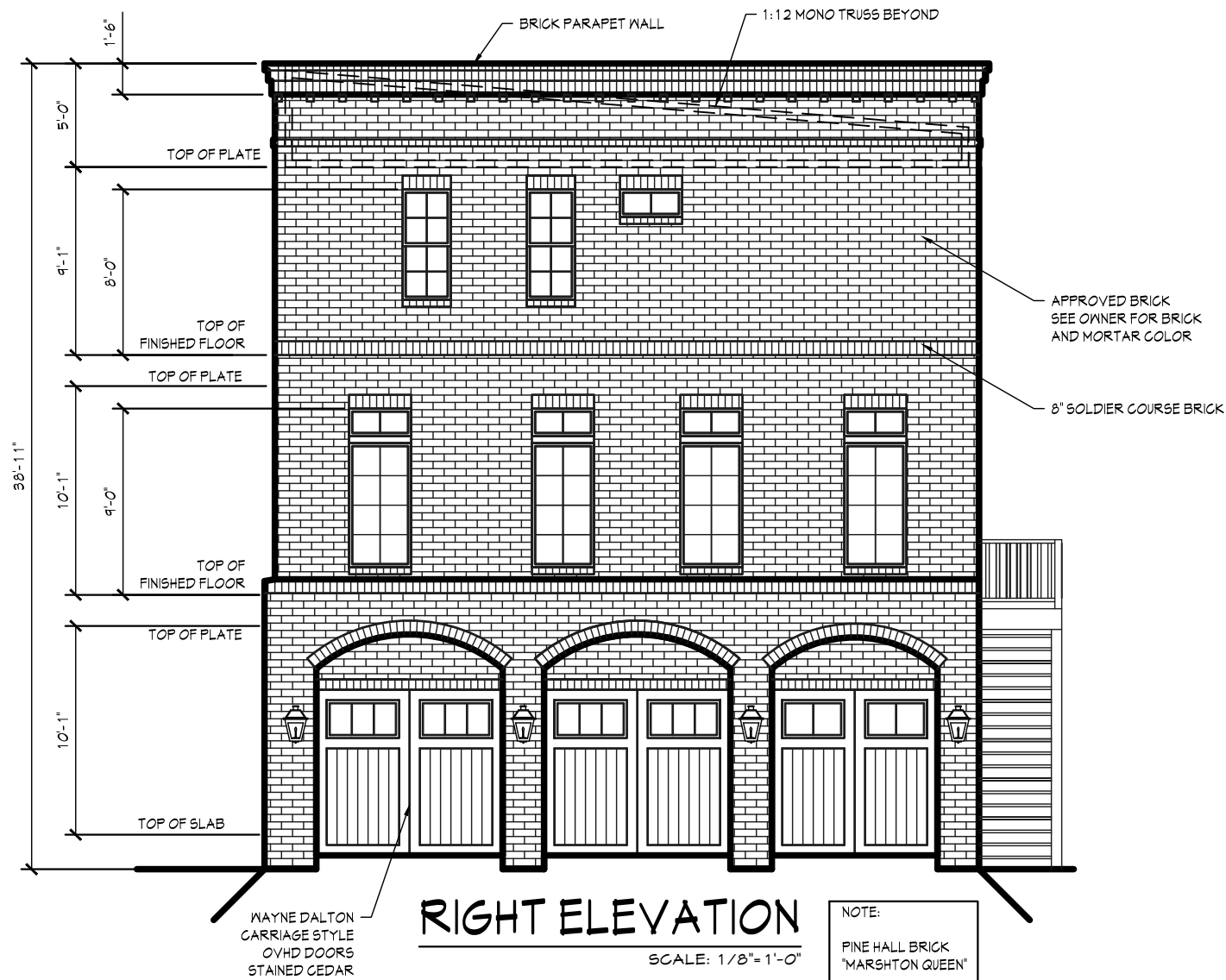
THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE ONE RESIDENCE IN THE CITY OF BIRMINGHAM. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT. THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR HOME DESIGNS
 PH: (850) 977-6612
 EMAIL: jesse@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	
SHEET	A1

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
 BUILDER/CONTRACTOR(S) TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM TO ANY PHASE OF CONSTRUCTION.
 BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

CUSTOMER INFORMATION

NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE

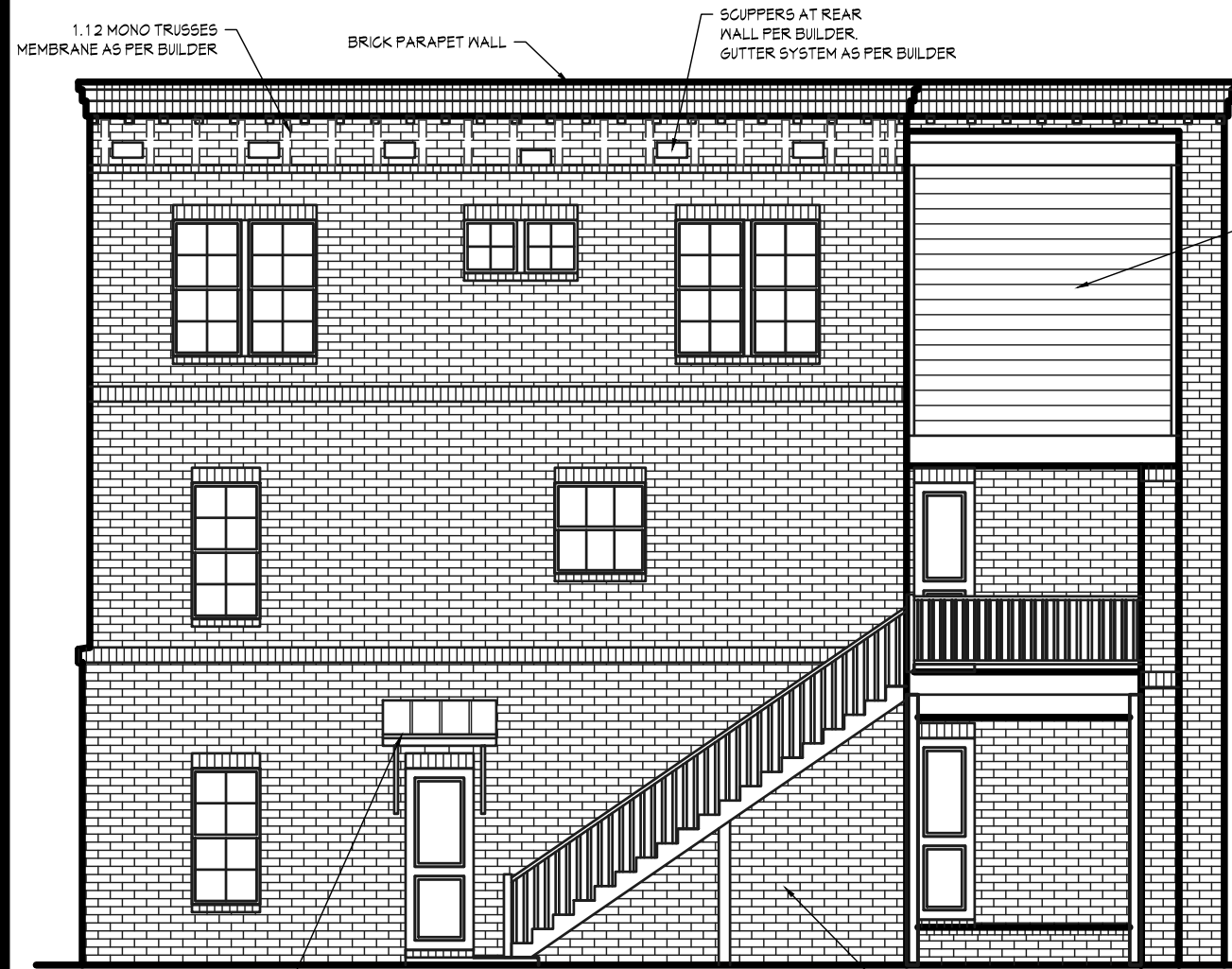
BUILDER / CONTRACTOR:

BRODEUR HOME DESIGNS
 PH: (850) 977-6612
 EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	
SHEET	A2

PROPOSED RESIDENCE FOR: MR. & MRS. STECK

REVISIONS	BY
01-30-2020	



REAR ELEVATION
SCALE: 1/8"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"
APPROVED BRICK
SEE OWNER FOR BRICK
AND MORTAR COLOR

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR(S) TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM TO ANY PHASE OF CONSTRUCTION.
BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE ONE RESIDENCE ONLY AUTHORIZED UNDER THE COMMON COPYRIGHT ACT. THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

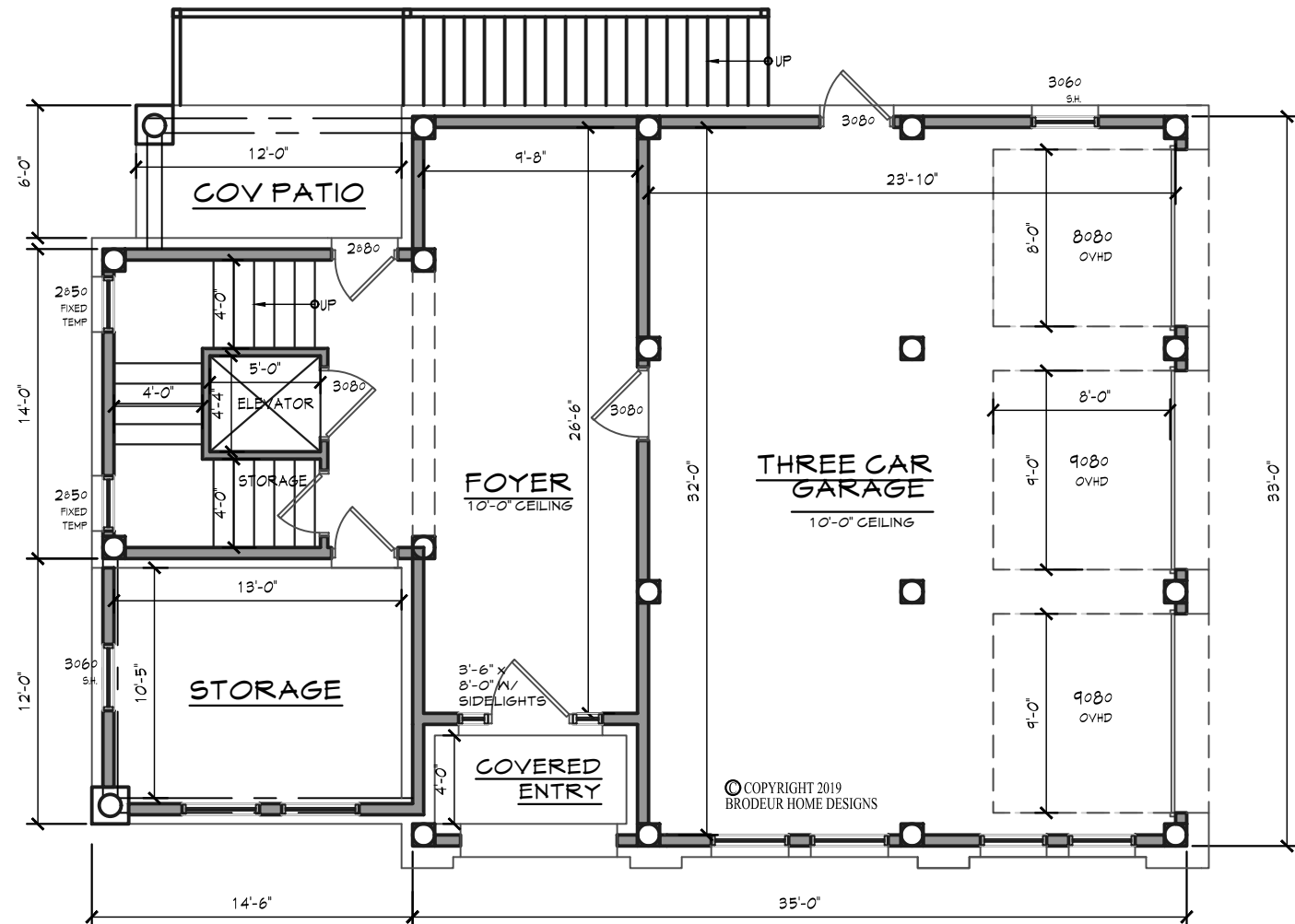
CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR HOME DESIGNS
PH: # (850) 977-6612
EMAIL: jesse@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	
SHEET	A3

PROPOSED RESIDENCE FOR: MR. & MRS. STECK

REVISIONS	BY
01-30-2020	



NOTE:
GARAGE DOORS TO BE WAYNE DALTON CARRIAGE STYLE DOORS

NOTE:
ALL WINDOWS TO BE PGT BRONZE VINYL IMPACT GLASS RATED LOW E WINDOWS

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA CALCULATIONS:

MAIN FLOOR LIVING	1211 S.F.
UPPER FLOOR LIVING	1211 S.F.
TOTAL LIVING AREA	2422 S.F.
GROUND FLOOR LIVING	409 S.F.

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR(S) TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM ANY PHASE OF CONSTRUCTION.

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE ONE RESIDENCE ONLY UNLESS OTHERWISE SPECIFIED IN WRITING. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT.

THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

CUSTOMER INFORMATION

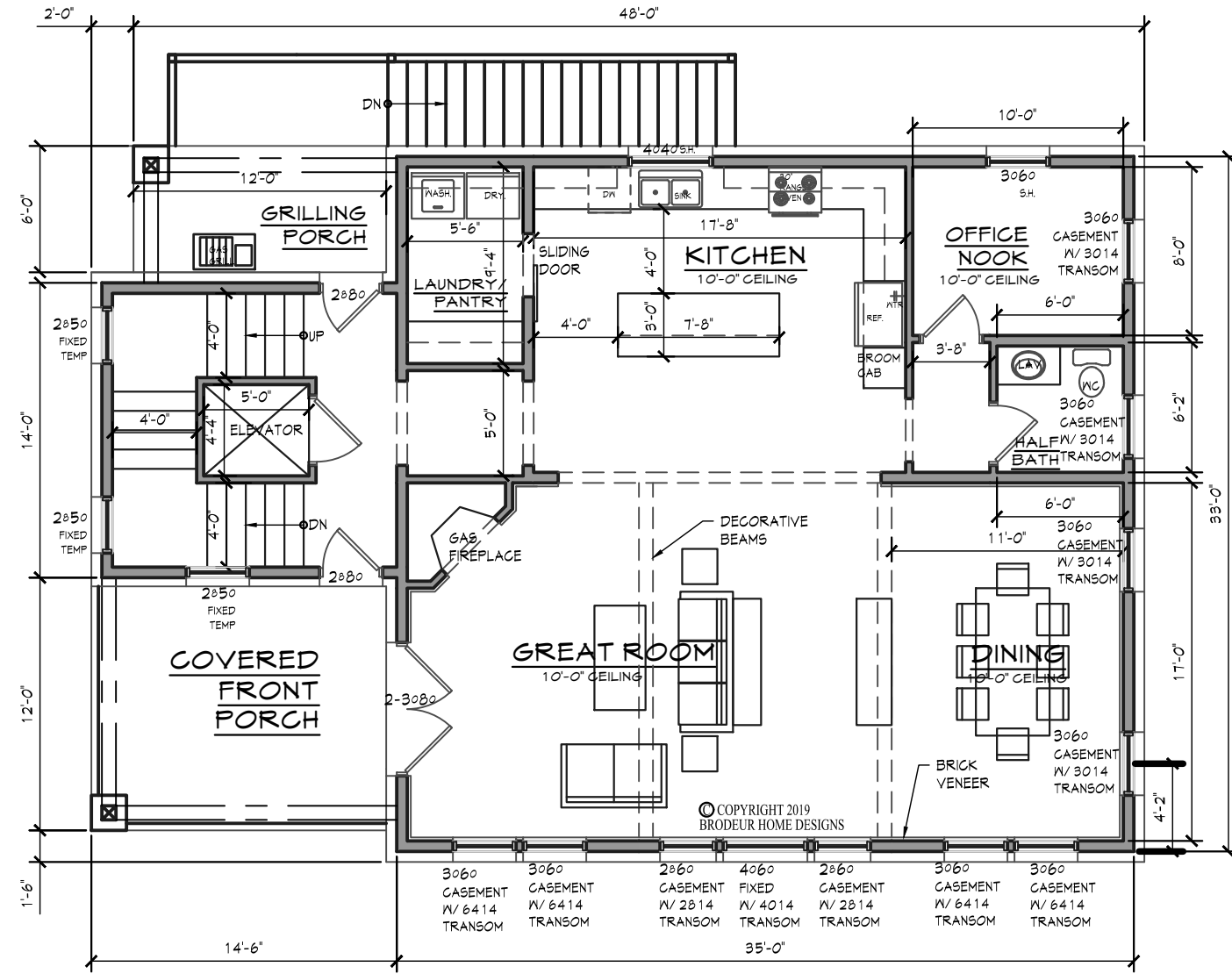
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR HOME DESIGNS
PH: (850) 977-6612
EMAIL: jesse@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	
SHEET	A4

PROPOSED RESIDENCE FOR: MR. & MRS. STECK

REVISIONS	BY
01-30-2020	



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
ALL WINDOWS TO BE PGT
BRONZE VINYL IMPACT GLASS
RATED LOW E WINDOWS

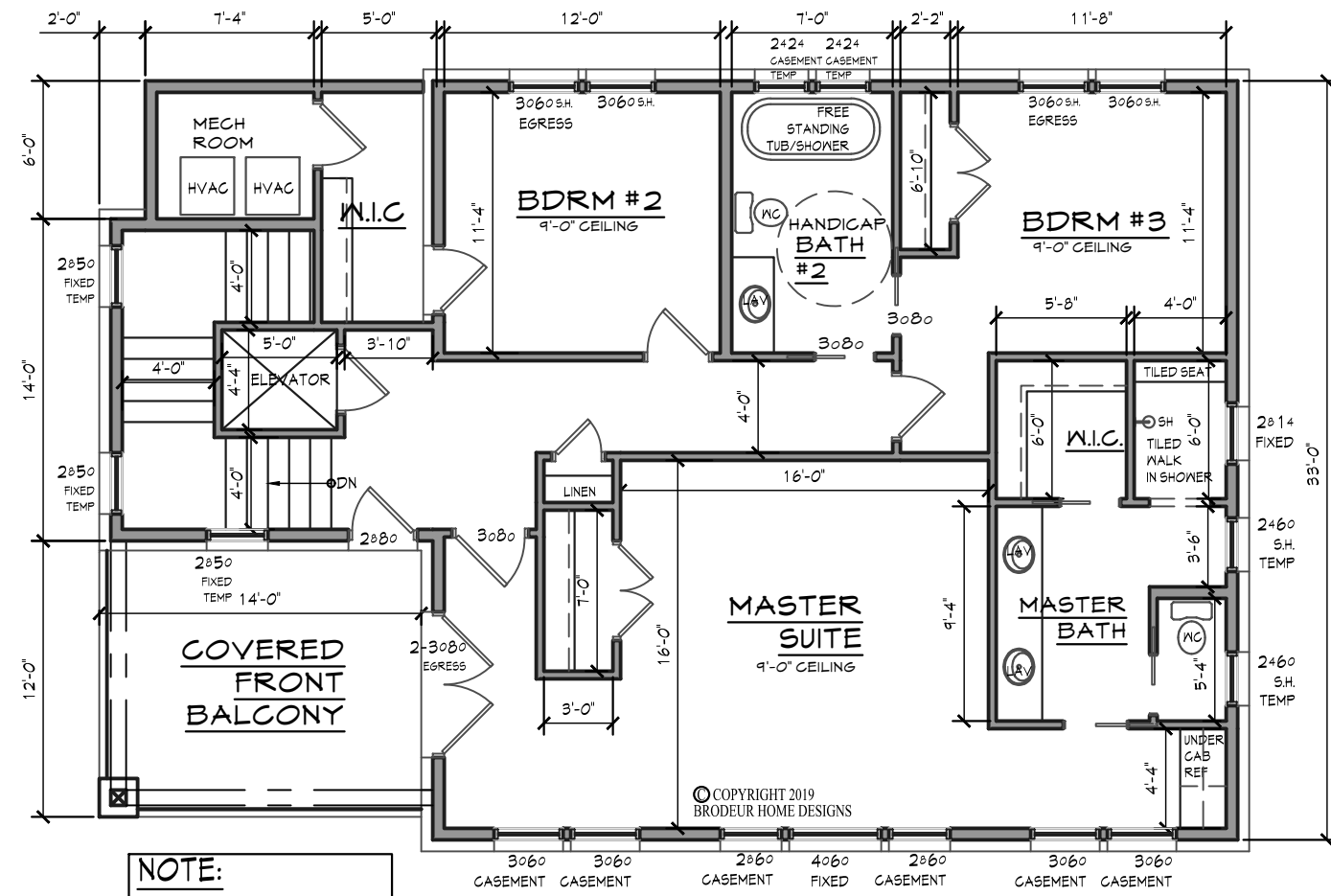
BUILDER/CONTRACTOR'S NOTE:
BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM ANY PHASE OF CONSTRUCTION.
BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR HOME DESIGNS
EMAIL: jessie@brodeurhomedesigns.com
PH: (850) 977-6612

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	
SHEET	A5

PROPOSED RESIDENCE FOR: MR. & MRS. STECK



NOTE:
ALL WINDOWS TO BE PGT
BRONZE VINYL IMPACT GLASS
RATED LOW E WINDOWS

UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY
01-30-2020	

BUILDER/CONTRACTOR(S) NOTE:
BUILDER/CONTRACTOR(S) TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS FROM ANY PHASE OF CONSTRUCTION.
BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL CITY/REGIONAL BUILDING CODES.

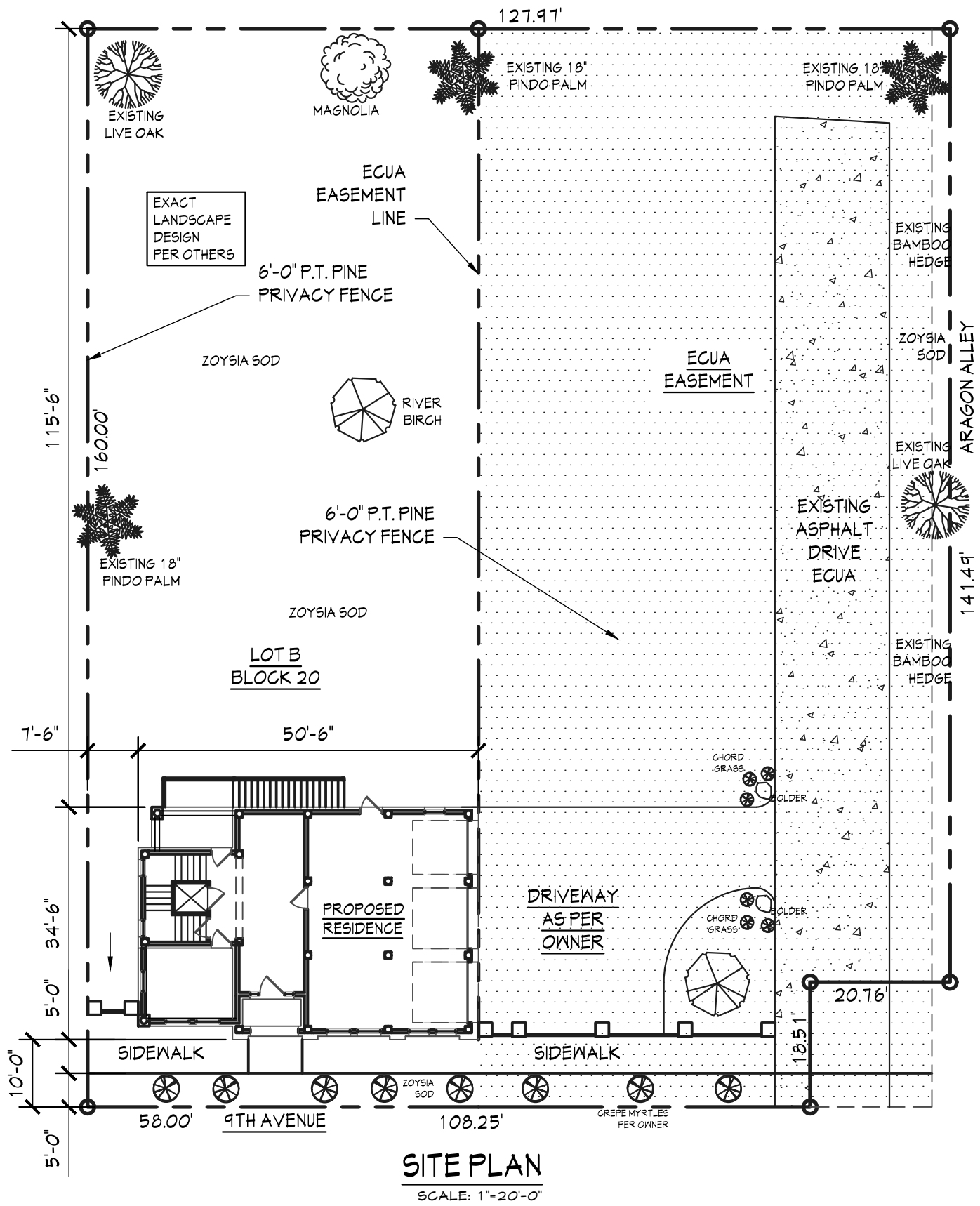
THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE PROJECT AND RESIDENCE ONLY. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT. THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

CUSTOMER INFORMATION	
NAME:	MR. & MRS. STECK
ADDRESS:	500 BLOCK SOUTH 9TH AVE
BUILDER / CONTRACTOR:	

BRODEUR HOME DESIGNS
PH: (850) 977-6612
EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY:	JB
CHECKED BY:	JB
DATE:	
SCALE:	AS SHOWN
JOB NO.	

SHEET
A6



SITE PLAN
SCALE: 1"=20'-0"

A7	DRAWN BY:
	CHECKED BY:
	DATE:
	SCALE:
	JOB NO.:
SHEET	

BRODEUR
HOME DESIGNS

PH.# (850) 377-6612 EMAIL: Jesse@brodeurhomedesigns.com

CUSTOMER INFORMATION

NAME: _____ MR. & MRS.

ADDRESS: _____

BUILDER / CONTRACTOR: _____

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE CONSTRUCTION OF NO MORE THAN ONE RESIDENCE. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT.

THE PLANS SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT EXPRESSED WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.

BUILDER/CONTRACTOR(S) NOTE:

BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, SIZES, AND LOCATIONS PRIOR TO ANY PHASE OF CONSTRUCTION.

BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

REVISIONS	

Materials and Supplies List

Pine Hall Brick, Marston Queen with lite beige mortar.

Hardie Board & wood back stairs, Sherman Williams, Deepest Mauve.



Windows: PGT, bronze vinyl, impact glass, low.

Doors: French and front elevation: PGT, bronze vinyl, impact glass, low e.

GRID FEATURES

FLAT GRID (GBG)

9/16" wide or 13/16" wide
Grid between the glass

CONTOUR GRID (GBG)

1" wide
Grid between the glass

TRADITIONAL SIMULATED DIVIDED LITE GRIDS

7/8" wide raised ogee applied to exterior and interior
with 9/16" wide bronze shadow bar between the glass



BRONZE



Standard grid pattern as shown on elevations.
Sizes and type shown on A5 & A6 of plans.

SH5500

- Movable bottom sash slides to open vertically
- Constant force balance system for smooth, easy operation

- Spiral balance system
Standard feature on larger window sizes ensures ease of sash operation
Optional upgrade on any window size
- SecureConnect integrated corner keys for added sash strength
- Tilt sash design for easy exterior cleaning
- Embedded tilt latch
 - For added strength in holding sash into frame
 - Presents cleaner sight lines
- Stylish ComfortLift handles
 - Allows ease of operation and option to add style by selecting hardware finish
 - Optional lift rail for alternative opening method
- Beveled meeting rail enhances visual appeal of profile
- Configuration Options
 - Radius and Arch Tops
 - Proview/Oriel, Cottage, and custom sashes
- Standard glass options
 - Laminated Insulating Glass (impact-resistant)

CA5540

- Hinged on the right or left hand side and can be opened by turning a handle
- Multi-point locking system for added strength and security
- Washable hinge
Standard option for easy cleaning from inside the home
- Egress hinge option
Optional upgrade meets egress requirement of one operation to unlock window
- Nesting handle will not interfere with window treatments
- TrueHold heavy-duty hinge
Standard feature on larger window sizes ensures durability of sash operation
Optional upgrade on standard window sizes for additional durability of sash operation
- Available in single vent or custom units
Single unit hinged for opening either left or right
Double unit hinged for opening: one left, one right
Triple unit hinged for opening: one left, one right, fixed center unit
- Standard glass options
Laminated Insulating Glass (impact-resistant)
- Window comes with a standard screen

AW5540

- Hinged along the top and can be opened by turning a handle
- Multi-point locking system for added strength and security
- Washable hinge
Standard option for easy cleaning from inside the home
- Nesting handle will not interfere with your window treatments
- Available in single vent or custom units
Individual vent units can be mulled vertically or horizontally for custom configurations
- Standard glass options
Laminated Insulating Glass (impact-resistant)
- Window comes with a standard screen

PW5520

- Fixed (non-operable) windows, often used as accent windows
- Available in a variety of shapes and sizes
Provides maximum amount of light
Can serve as standalone or companion window
- Available in popular Fixed Lite Architectural shapes
Half Circle, Eyebrow, Arch, Trapezoid
- Standard glass options
Laminated Insulating Glass (impact-resistant)

FD5555

- Hinged frame surrounds a glass pane extending almost the full height of the door
- Mechanically fastened corners for added strength and durability
- Traditional panel joinery
The aesthetics and charm of a traditional wood door without the maintenance
- Multi-point locking system
Creates built-in anti-lift device for enhanced strength and security
- Stainless steel hinges
Corrosion resistant and provide smooth door operation
- Conventional 4-9/16" frame depth
Fits easily into openings without costly modifications
- Solid cellular vinyl material sounds and feels like solid wood
- Optional sidelites available
Fills large openings and provides additional light
- Standard glass options
Laminated Insulating Glass (impact-resistant)
Tempered Glass

CD290

- Hinged door with glass panes
- Integrated window design
Delivers a more sleek, upscale appearance versus the "utility" look of other manufacturers' cabana doors
Eliminates the need for window inserts with unsightly handle and deadbolt notches
- Concealed weather-strip
Keeps elements out without detracting from the door's appearance
- Installation screw cover
Conceals unsightly install screws from view
Provides a clean, sleek finish
- Modern design
Smooth panel surface versus scalloped panel surface of other manufacturers
- Custom kickplate heights available
- Single Hung and Picture Window styles available
Single Hung style with sash that opens to allow airflow
Picture Window style allows maximum light into any room
- Standard glass options
Laminated Insulating Glass (impact-resistant)
Tempered Glass

Back Elevation Exterior Doors:



More Options Available

Metal Awning: Standing seam



Bronze

Feather River Doors 37.5 in. x 81.625 in. 6 Lite Craftsman Stained Chestnut Mahogany Right-Hand Inswing Fiberglass Prehung Front Door
Model# FF3791

Front Step: 7" ramp.
Back Stairs will be made of wood

Lights.



Cylinders 2-Light Bronze Outdoor Wall Lantern Sconce with LED Bulbs
Modern and sleek, power coated outdoor wall lantern
Dimensions:
W: 6 in. H: 18 1/4 in.; extends: 8 3/4 in.

Charleston Outdoor Wall Lantern - 1 Light

- **Actual Size:** 15.75"Hx8"Wx8"D
- **Bulb Base:** US Medium-E26
- **Color:** Oiled Bronze / Glass
- **Indoor-Outdoor:** Yes
- **Material:** Glass, Metal
- **Max Bulb Wattage:** 100
- **Number of Lights:** 1
- **Safety Rating:** Wet



Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 11**
36 E. Garden Street
PHBD / C-2A
Contributing Structure

BACKGROUND

Philip Partington is requesting *CONCEPTUAL* approval for exterior modifications to a contributing structure. The proposed plans show “Reynolds Music House” converted into a new restaurant with covered outdoor seating and green wall systems. The front elevation will be partially filled in and will have aluminum entry doors and window systems. Windows and doors are also proposed to be installed along the Jefferson Street side which will be covered with a standing seam metal roof system supported by columns. Metal canopies will also be placed above the front and rear entry doors.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
 1009 ==

Site No. ES 1089
 Site Name _____ 830 == Survey Date 8210 820 ==
 Address of Site: 36 E. Garden St., Pensacola, FL 32501 905 ==
 Instruction for locating NW corner of Jefferson St. extension and
E. Garden St. 813 ==
 Location: Old City Tract Arpent lts. port. lts. 54&45 868 ==
subdivision name block no. lot no.
 County: Escambia 808 ==
 Owner of Site: Name: Reynolds Music House ;
 Address: 36 E. Garden St.
Pensacola, FL 32501 902 ==
 Type of Ownership Corporate 848 == Recording Date _____ 832 ==
 Recorder:
 Name & Title: Marcille, Ruth ;
 Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 838 ==
 Check One Check One or More
 Excellent 863 == Altered 858 == Present Use Commercial 850 ==
 Good 863 == Unaltered 858 == Dates: Beginning C+ 1918 844 ==
 Fair 863 == Original Site 858 == Culture/Phase American 840 ==
 Deteriorated 863 == Restored () (Date:) 858 == Period 20th Century 845 ==
 Moved () (Date:) 858 ==

NR Classification Category: Building 916 ==

Threats to Site:
 Check One or More
 Zoning () () 878 == Transportation () () 878 ==
 Development () () 878 == Fill () () 878 ==
 Deterioration () () 878 == Dredge () () 878 ==
 Borrowing () () 878 ==
 Other (See Remarks Below): 878 ==

Areas of Significance: Architecture 910 ==

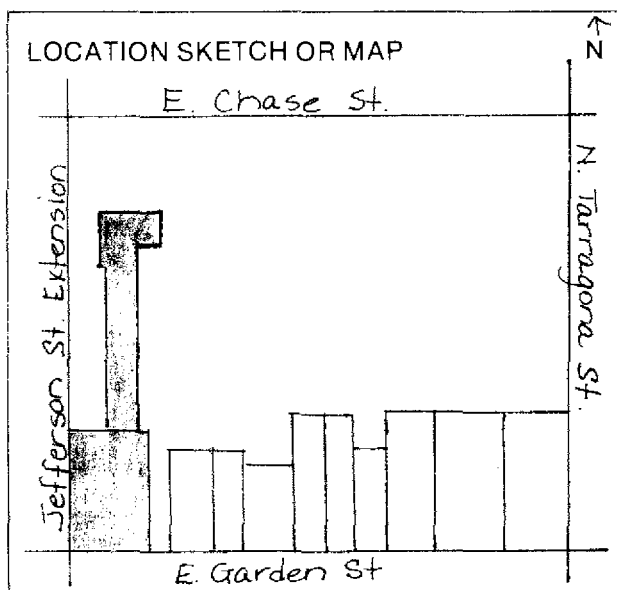
Significance: Built c. + 1918 by Mr. A. B. Saunders, this masonry vernacular structure originally housed the Pensacola Feed Company. The building is adjacent to the site where the Southern Hotel, built in 1902, once stood. The Hotel was destroyed by fire in 1910. The west wall of the present structure is part of that Hotel.

The building has been the location for various businesses. The Reynolds Music House, Inc. bought the structure in 1943 and currently occupies the building.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

911 ==

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Irregular 966 = =
 EXTERIOR FABRIC(S) Stucco # stone veneer 854 = =
 STRUCTURAL SYSTEM(S) Masonry: brick 856 = =
 PORCHES _____ 942 = =
 FOUNDATION: Continuous: brick 942 = =
 ROOF TYPE: Flat: built-up with parapet 942 = =
 SECONDARY ROOF STRUCTURE(S): Marquis, flat 942 = =
 CHIMNEY LOCATION: - 942 = =
 WINDOW TYPE: Glass panels 942 = =
 CHIMNEY: - 882 = =
 ROOF SURFACING: Built-up 882 = =
 ORNAMENT EXTERIOR: _____ 882 = =
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 Min Pensacola 1970
 _____ 809 = =
 Latitude and Longitude: _____ 800 = =
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section
2S	30W	46

812 = =

UTM Coordinates:

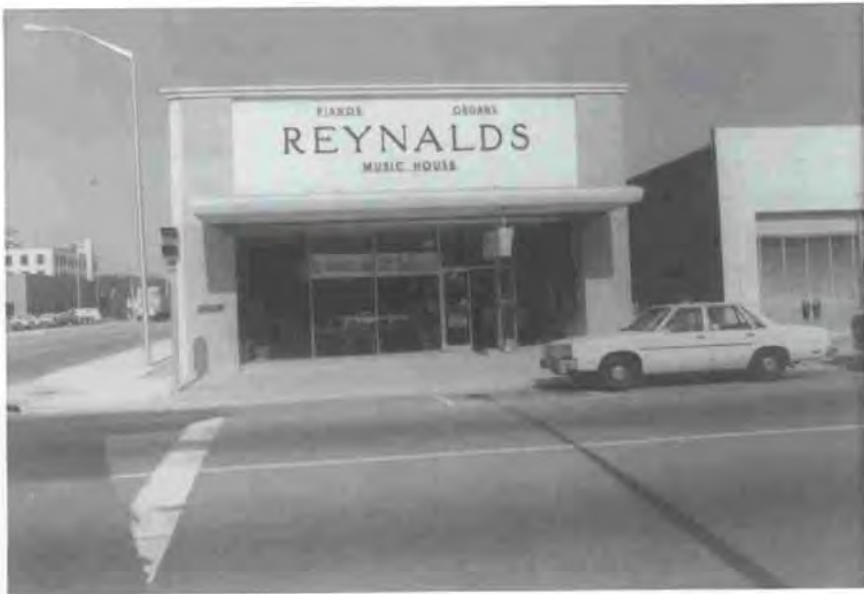
Zone Easting Northing

890 = =

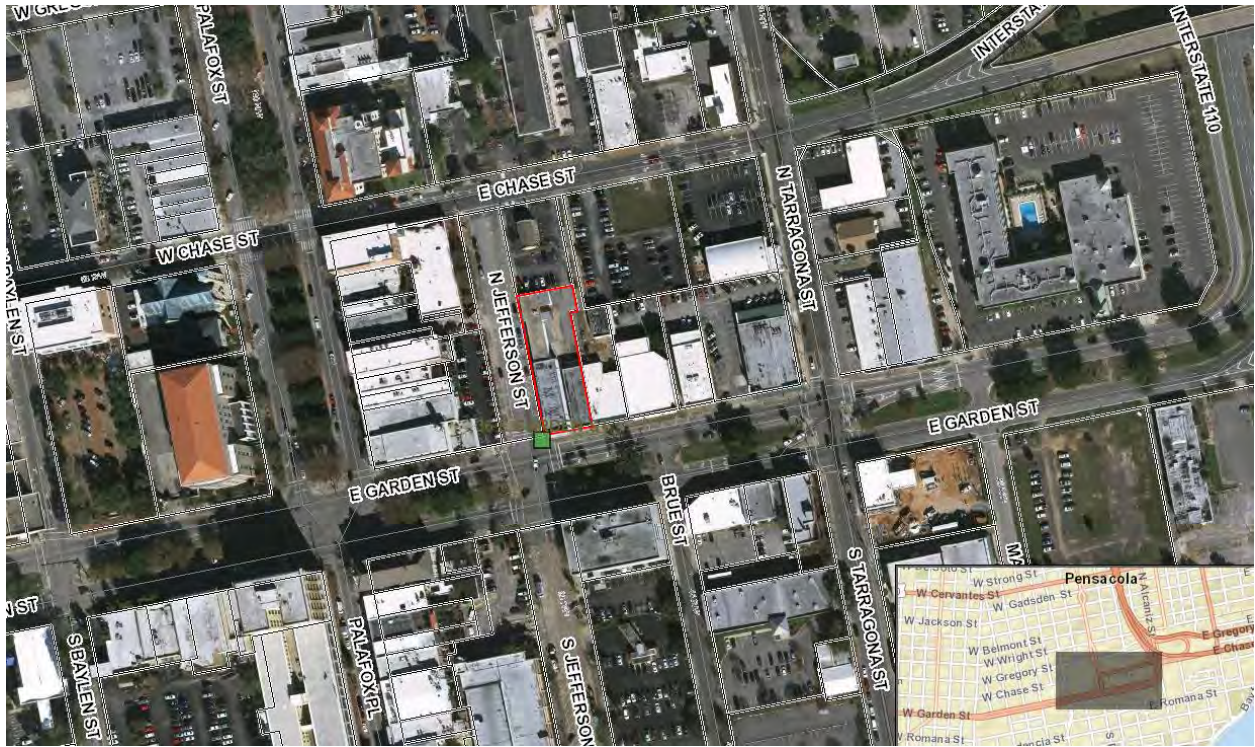
Photographic Records Numbers HPPB P.83.7 Frame 34

860 = =

Contact Print



36 E. Garden Street





**Architectural Review Board Application
Full Board Review**

Application Date: 1/30/20

Project Address: 36 East Garden St. Pensacola FL

Applicant: Philip Partington, AIA

Applicant's Address: 40 S. Palafox Place, Pensacola, FL.

Email: Philip@smp-arch.com **Phone:** 432-7772-ext 216

Property Owner: 90 East Garden Street LLC

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

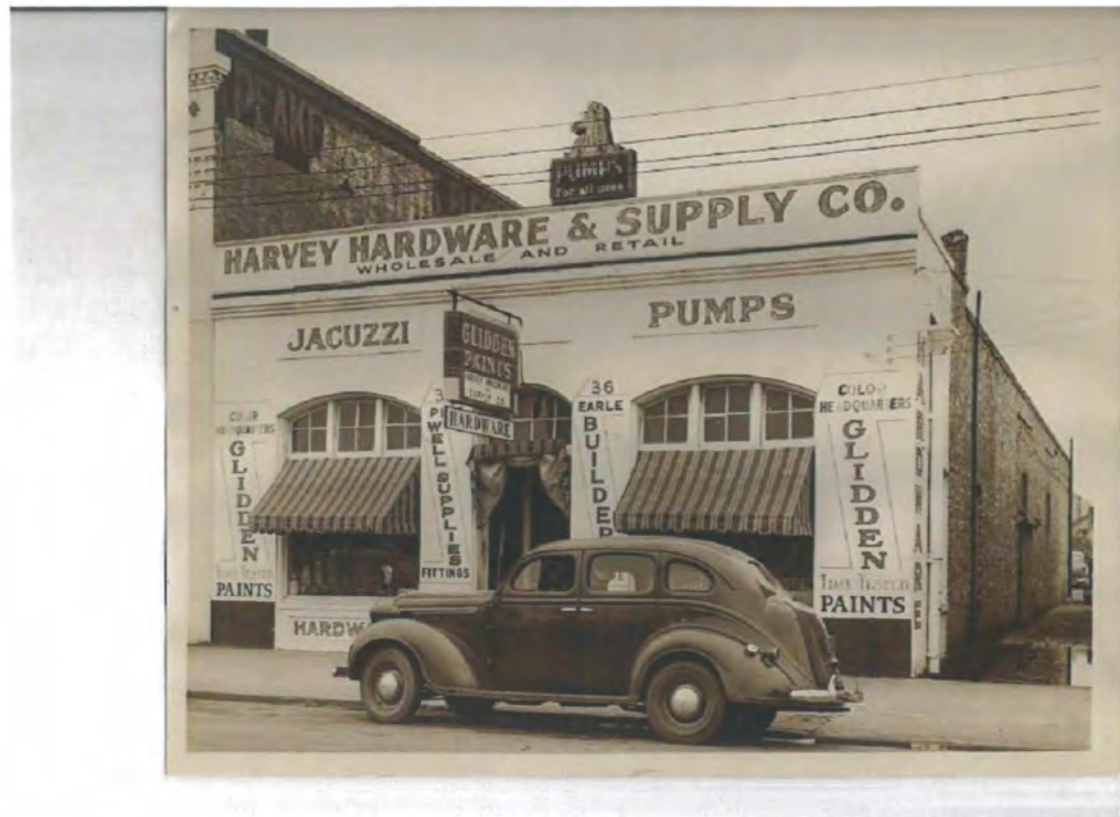
The project is the renovation of the existing building known as the "Reynolds Music House" to serve as the home for Cast restaurant .

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Philip Partington
Applicant Signature

1/30/20
Date





1 SOUTH ELEVATION (GARDEN STREET AROUND 1943)
A-202 SCALE: NO SCALE



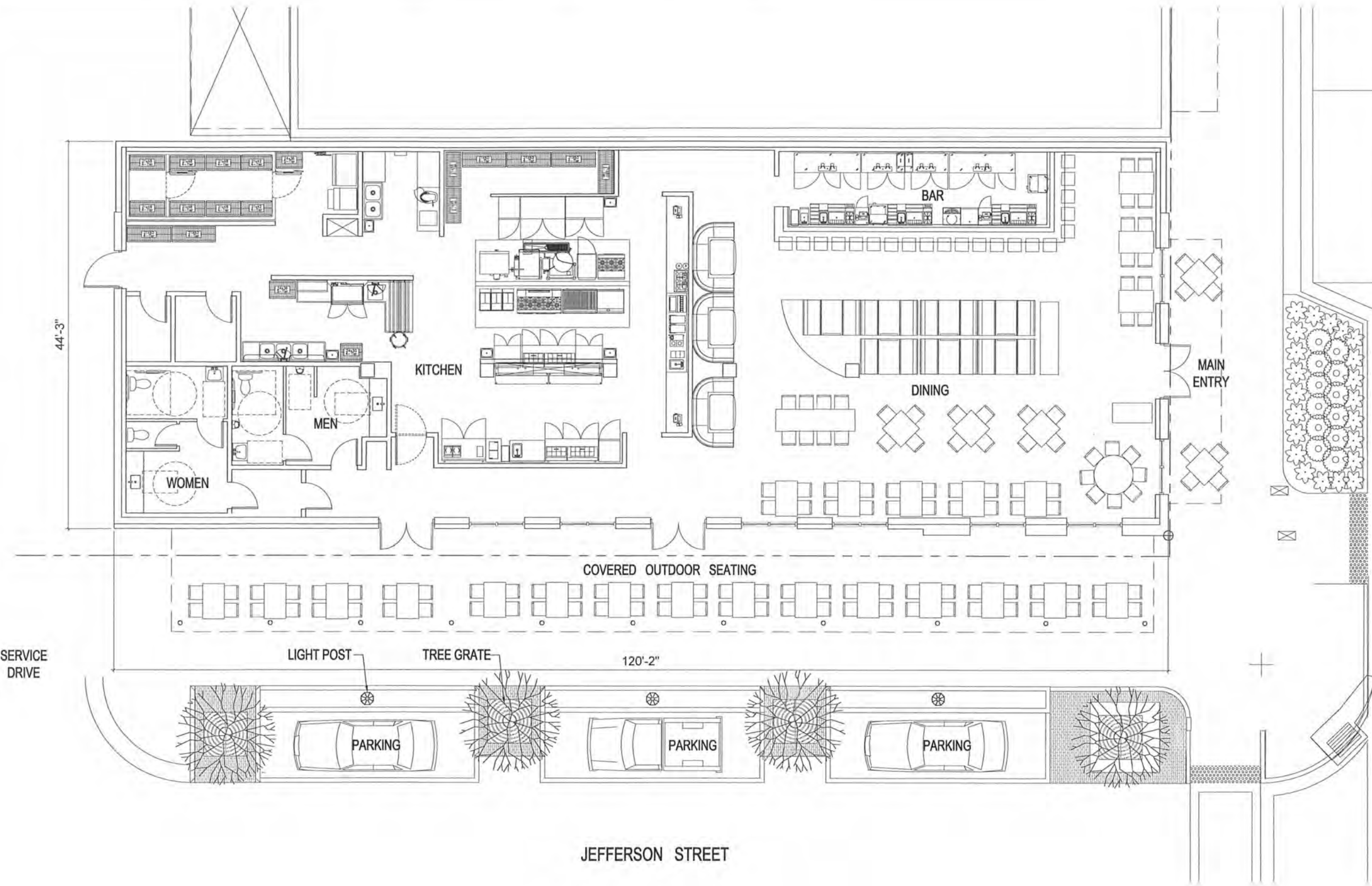
2 EXISTING SOUTH ELEVATION (GARDEN STREET)
A-101 SCALE: NO SCALE



3 EXISTING WEST ELEVATION (JEFFERSON STREET)
A-202 SCALE: NO SCALE



3 EXISTING NORTH ELEVATION
A-101 SCALE: 3/16" = 1'-0"



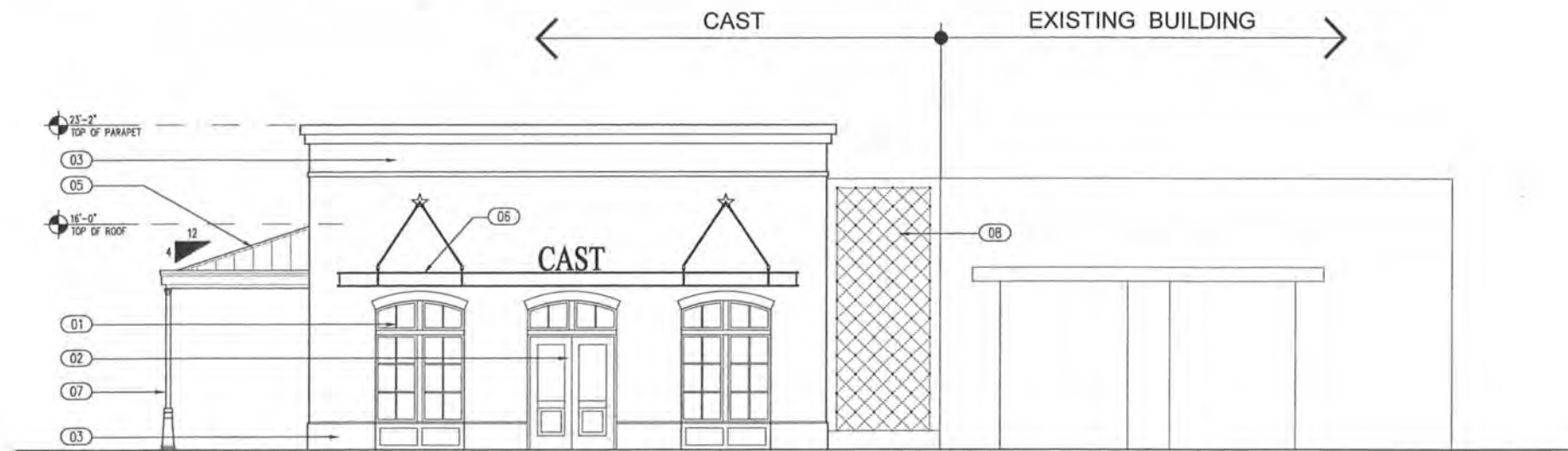


ARCHITECTURAL SITEPLAN
 SCALE: 3/16" = 1'-0"

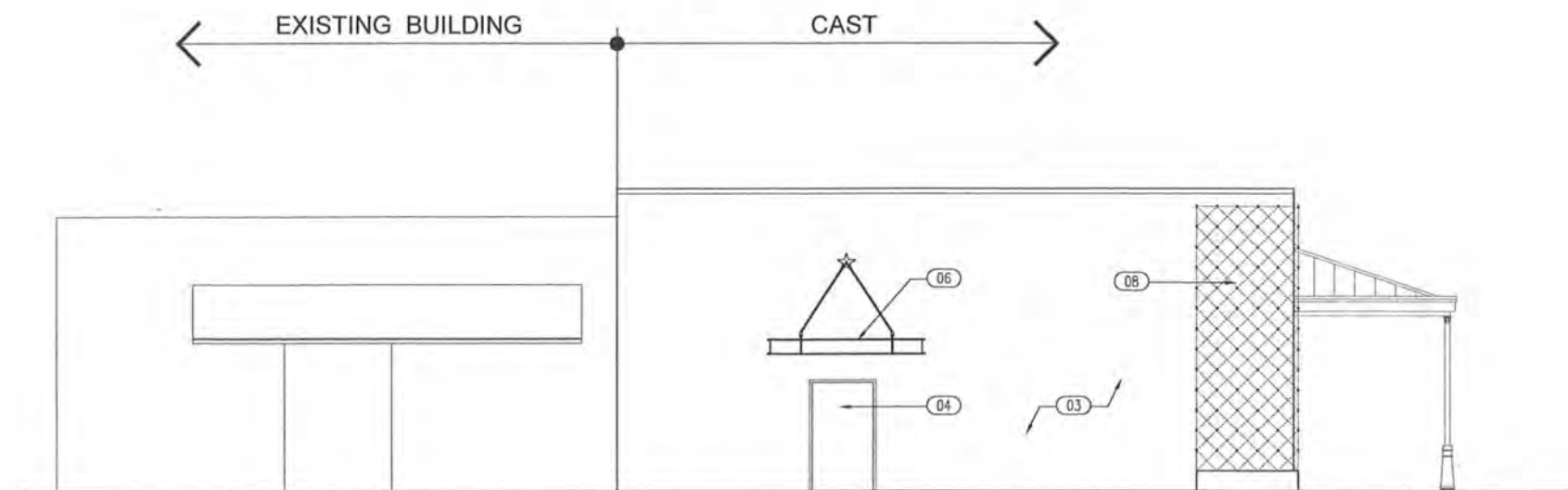
1/30/20



1 WEST ELEVATION (JEFFERSON STREET)
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION (GARDEN STREET)
SCALE: 3/16" = 1'-0"



3 NORTH REAR ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES :

- 01 ALUMINUM WINDOW SYSTEM.
- 02 ALUMINUM ENTRY DOOR SYSTEM.
- 03 STUCCO SYSTEM WALL & BASE.
- 04 HOLLOW METAL DOOR & FRAME.
- 05 PRE-FINISHED ALUMINUM STANDING SEAM METAL ROOF SYSTEM.
- 06 PRE-FINISHED ALUMINUM METAL CANOPY SYSTEM.
- 07 PRE-FINISHED ALUMINUM CAST IRON COLUMNS.
- 08 GREEN WALL SYSTEM.

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 12**
18 and 20 E. Garden Street
PHBD / C-2A
Contributing Structures

BACKGROUND

Scott Sallis is requesting approval to renovate the storefronts of two retail spaces. The scope of work will include the installation of a metal garage door, storefront, sconce lighting and metal canopy to 18 E. Garden and a new storefront system, sconce lighting, canopy, and metal planters to 20 E. Garden. New metal doors will also be added to the side and rear of the work area. Please note that any signage will be reviewed at a later time and by Abbreviated Review.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) PHBD, Architectural review of proposed exterior development

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
 1009 ==

Site No. Es 1088

Site Name _____ 830 == Survey Date 8210 820 ==
 Address of Site: 18 E. Garden St., Pensacola, FL 32501 905 ==
 Instruction for locating N. Side E. Garden St. between N. Palafox St. and
Jefferson St. extension 813 ==
 Location: Old city tract Arpent lts. Port. 54 868 ==
subdivision name block no. lot no.
 County: Escambia 808 ==
 Owner of Site: Name: McGraw, Artice L.
 Address: 26 E. Garden Street 902 ==
Pensacola, FL 32501
 Type of Ownership Private 848 == Recording Date _____ 832 ==
 Recorder:
 Name & Title: Marcille, Ruth
 Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 838 ==
 Check One Check One or More
 Excellent 863 == Altered 858 == Present Use Commercial 850 ==
 Good 863 == Unaltered 858 == Dates: Beginning C +1910 844 ==
 Fair 863 == Original Site 858 == Culture/Phase American 840 ==
 Deteriorated 863 == Restored () (Date:) 858 == Period 20th Century 845 ==
 Moved () (Date:) 858 ==

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More
 Zoning (X) 878 == Transportation (X) 878 ==
 Development (X) 878 == Fill (X) 878 ==
 Deterioration (X) 878 == Dredge (X) 878 ==
 Borrowing (X) 878 ==
 Other (See Remarks Below): _____ 878 ==

Areas of Significance: Architecture, Commerce 910 ==

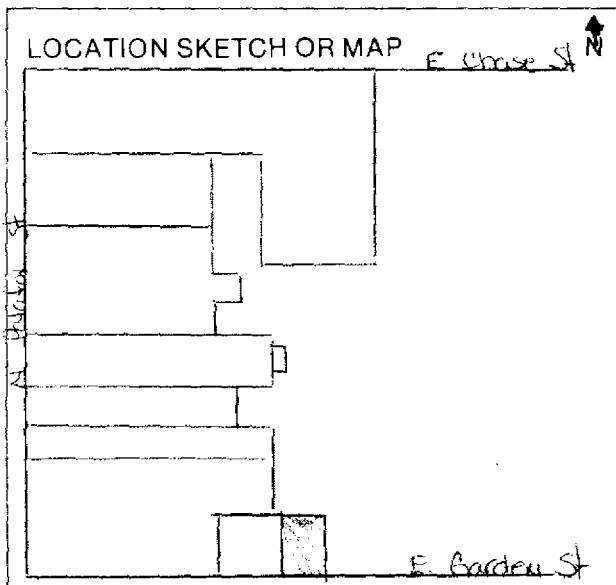
Significance:

This modest masonry vernacular structure dates to about 1910 when J.M. Muldon acquired this valuable real estate. It was originally occupied by a tailor and an ice cream company.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

911 ==

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Masonry vernacular 964 ==
 PLAN TYPE Rectangular 966 ==
 EXTERIOR FABRIC(S) Stucco: smooth # brick: running # stucco: textured 854 ==
 STRUCTURAL SYSTEM(S) Masonry: brick 856 ==
 PORCHES _____
 _____ 942 ==
 FOUNDATION: Continuous: stucco & brick 942 ==
 ROOF TYPE: Flat: built up with parapet - gable 942 ==
 SECONDARY ROOF STRUCTURE(S) (Marquee) flat: metal 942 ==
 CHIMNEY LOCATION: _____ 942 ==
 WINDOW TYPE: Fixed 942 ==
 CHIMNEY: _____ 882 ==
 ROOF SURFACING: Built up 882 ==
 ORNAMENT EXTERIOR: Tile: (indented) 882 ==
 NO. OF CHIMNEYS 0 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min. Pensacola 1970 _____
 _____ 809 ==
 Latitude and Longitude: _____
 _____ 800 ==
 Site Size (Approx. Acreage of Property): Lt. 1 833 ==



Township	Range	Section	
2S	30W	46	812 ==

UTM Coordinates: _____ 890 ==

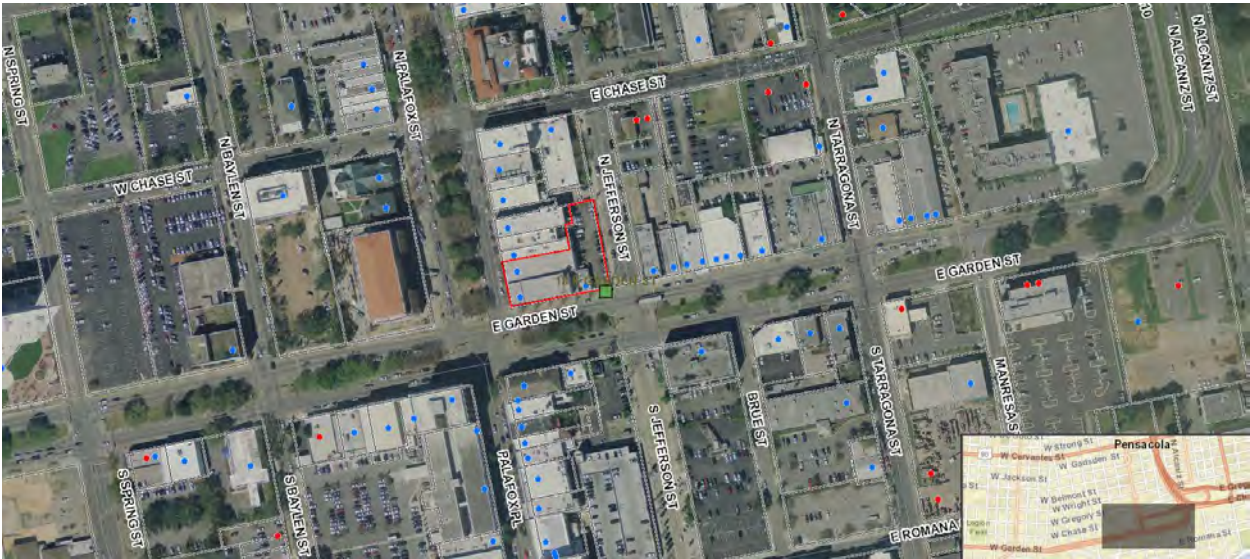
Zone _____ Easting _____ Northing _____

Photographic Records Numbers HPPB P. 83.7 Frame 33 860 ==

Contact Print



18 and 20 E. Garden Street





Architectural Review Board Application
Full Board Review

Application Date: 01-30-2020

Project Address: 18 & 20 E. GARDEN ST.
Applicant: Dalrymple Sallis Architecture
Applicant's Address: 503 E. Government Street, Pensacola, Florida 32502
Email: scott@dalsal.com Phone: 850-470-6399
Property Owner: Chad Henderson

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

The work consists of storefront renovation for two retail spaces on E. Garden St.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Stewart Mitchell
Applicant Signature

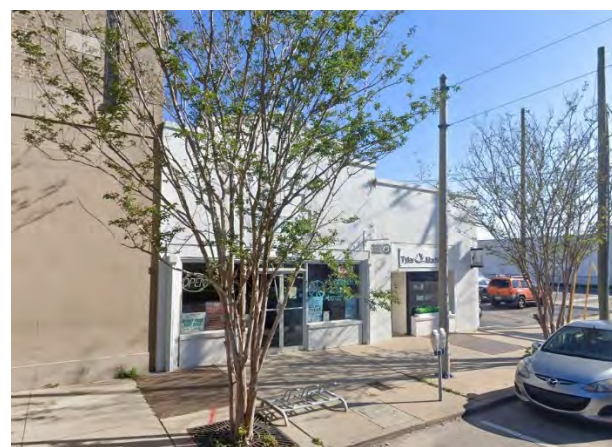
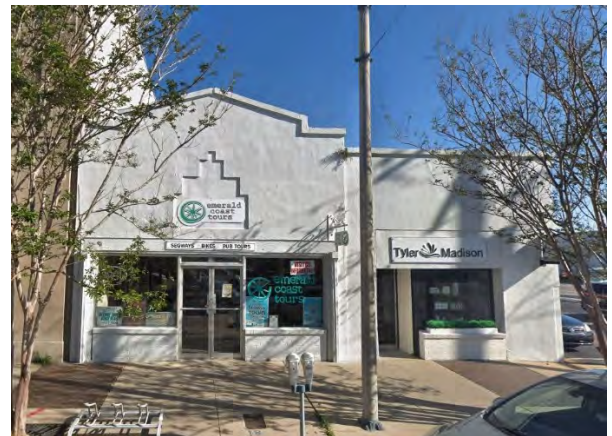
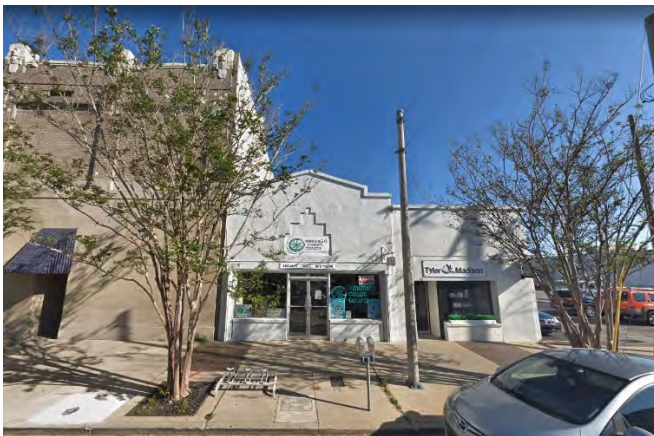
01/30/2020
Date

Date: Thursday, January 30, 2020

Project: 18 & 20 East Garden Shell
18-20 E. GARDEN ST.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions





Exterior Color Schedule – 18 E. Garden

Date: Thursday, January 30, 2020

Project: 18 E. Garden St. Shell
18 E. Garden St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>COLOR</u>
GLASS GARAGE DOOR	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL CANOPY	TBD	POWDER COATED STEEL CAOPY DARK BRONZE
SCONCES	EATON LIGHTING	SATIN DARK BRONZE
DESCRIPTIVE SIGN	TBD	FUTURE SUBMITAL BY TENANT
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT



503 E. Government St.
Pensacola, FL 32502

V 850.470.6399
F 850.470.6397
www.dalsal.com

Exterior Color Schedule – 20 E. Garden

Date: Thursday, January 30, 2020

Project: 20 E. Garden St. Shell
20 E. Garden St.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>COLOR</u>
STOREFRONT WINDOWS	TBD	DARK BRONZE
ENTRANCE DOOR	JELD-WEN	DARK BRONZE
METAL AWNING	TBD	POWDER COATED STEEL AWNING DARK BRONZE
SCONCES	HINKLEY	OIL RUBBED BRONZE
TENANT SIGN	TBD	FUTURE SUBMITAL BY TENANT

18 E. GARDEN: PAINT COLORS

SW 0059
Frostwork
Interior / Exterior



MAIN COLOR

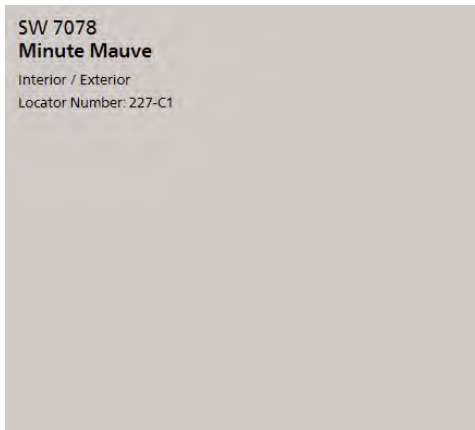
SW 6700
Daybreak
Interior
Locator Number: 269-C5



RECESSED PORTION OF FACADE

20 E. GARDEN: PAINT COLORS

SW 7078
Minute Mauve
Interior / Exterior
Locator Number: 227-C1



MAIN COLOR

18 E. GARDEN: COLOR – MATERIALS

POWDER COATED METAL CANOPY



DARK BRONZE

METAL CANOPY – HANGER SUPPORTED



DARK BRONZE
17'-0" long x 3'-6" wide

GARAGE STOREFRONT AND ENTRANCE DOOR



DARK BRONZE ALUMINUM FRAME
GARAGE DOOR: 10'-0" x 8'-0"
ENTRANCE DOOR: 3'-0" x 8'-0"

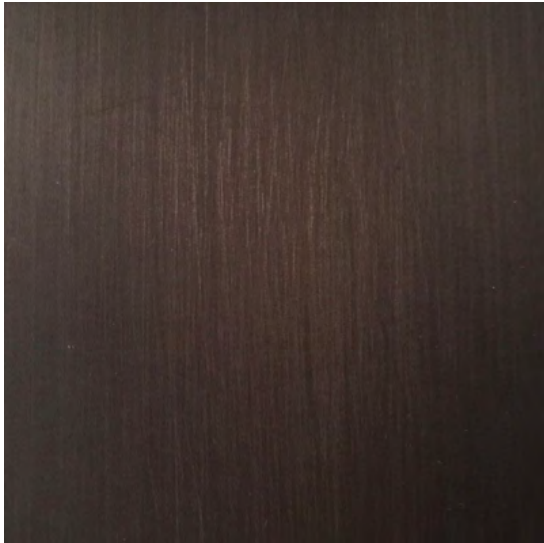
SCONCE



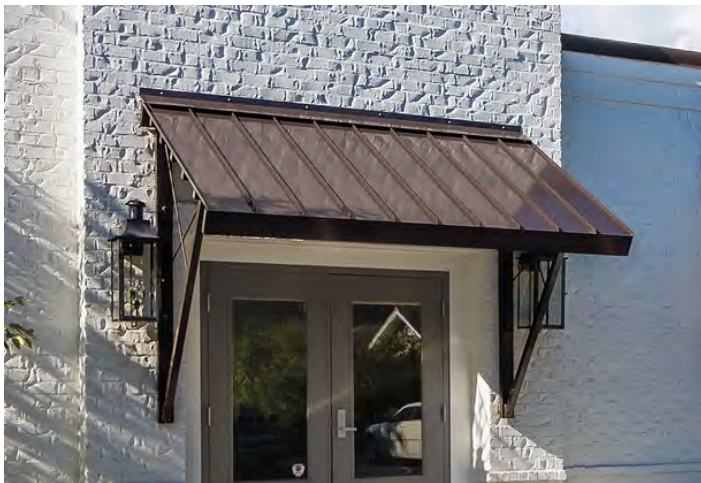
Eaton 674-WP Series
Shaper 31 inch Satin Dark Bronze Aluminum frame with a Matte White Acrylic Diffuser

20 E. GARDEN: COLOR – MATERIALS

METAL AWNING



OIL RUBBED BRONZE



OIL RUBBED BRONZE
11'0" long x 4'-6" wide

STORFRONT SYSTEM AND ENTRANCE DOOR



OIL RUBBED BRONZE ALUMINUM FRAME

SCONCES



Hinkley 2324OZ-LED
Manhattan LED 15 inch Oil Rubbed Bronze Outdoor Wall Mount

RENDERINGS

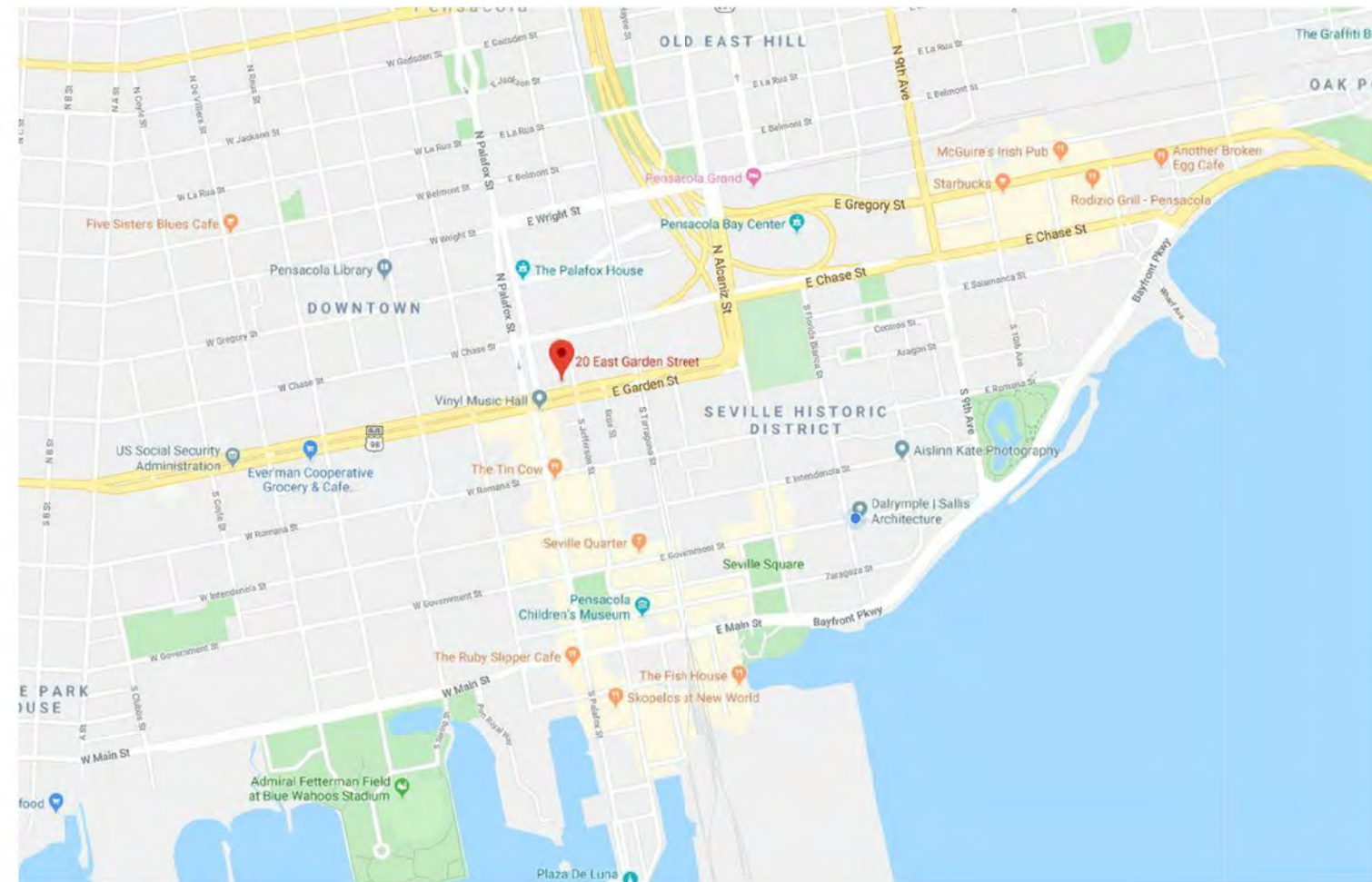




18 | 20 East Garden Shell

AN EXTERIOR SHELL RENOVATION FOR 18 AND 20 EAST GARDEN

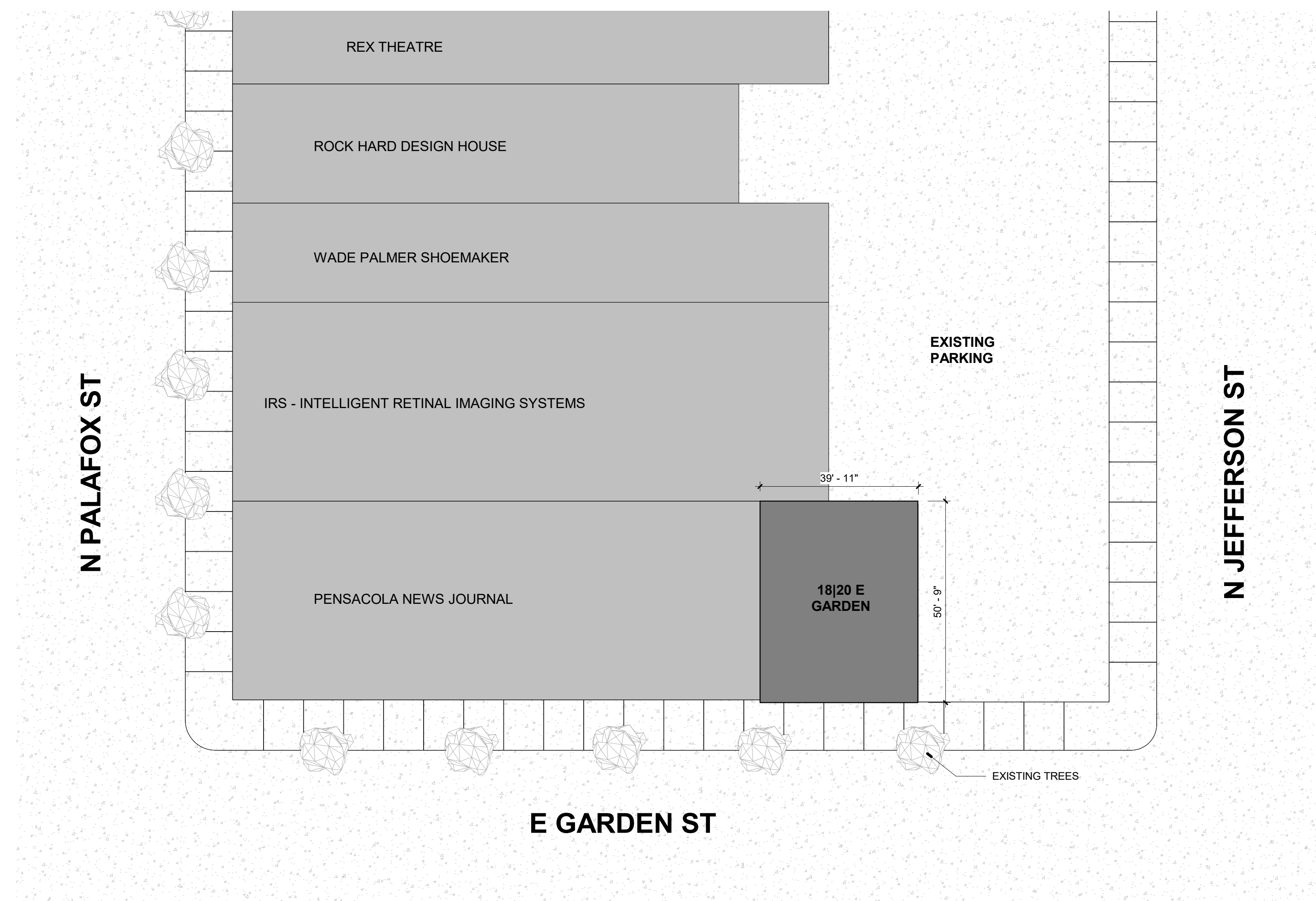
18 & 20 East Garden St, Pensacola, FL



VICINITY MAP



SITE MAP



2 KEY PLAN
1" = 20'-0"

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A101	DEMO AND NEW WORK PLANS	
A201	EXTERIOR ELEVATIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEVED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

ELEVATION REFERENCES		ANNOTATION REFERENCES	
	ELEV. NO.		WALL TAG REFERENCE
	INTERIOR ELEVATION REFERENCE		FIRE RATING
	SHEET NO.		DOOR NUMBER REFERENCE
	DETAIL NO.		WINDOW TYPE
	SHEET NO.		DATUM ELEVATION
	DETAIL NO.		CENTERLINE
	DETAIL REFERENCE		COLUMN GRID NUMBER
	DETAIL NO.	Room name	ROOM TAG
	SHEET NO.		CEILING HEIGHT - ABOVE FIN. FLOOR
		REVISION NUMBER REFERENCE	
			REVISION NO.



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
t: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

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CERTIFICATION

NOT FOR CONSTRUCTION

18 | 20 East Garden Shell

18 & 20 East Garden St, Pensacola, FL

DRAWN BY: HH
CHECKED BY: JSS

ISSUE DATE:
01/30/2020

REVISIONS:
No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO.:

G001

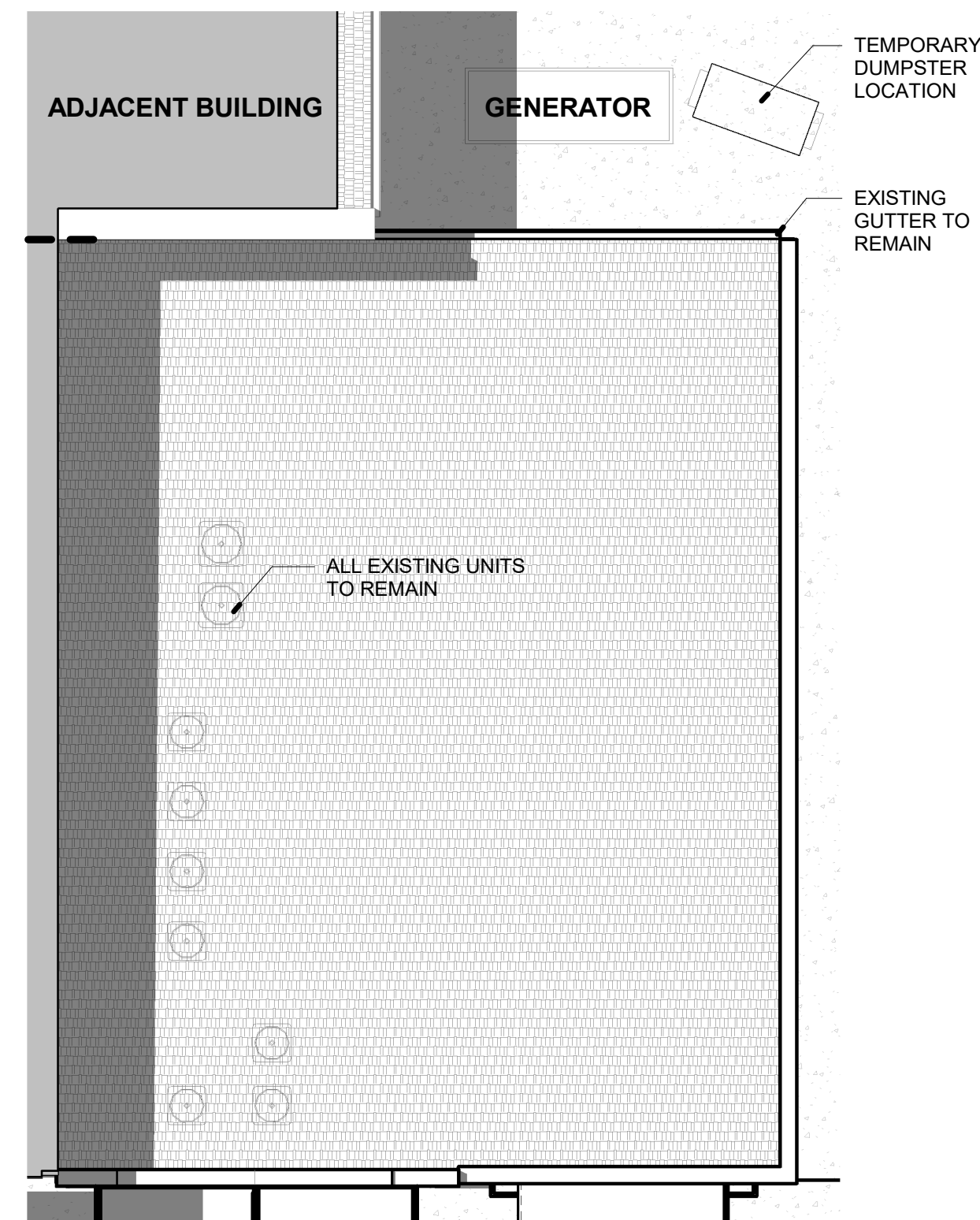
PROJECT NO.
Project Number

DEMOLITION NOTES

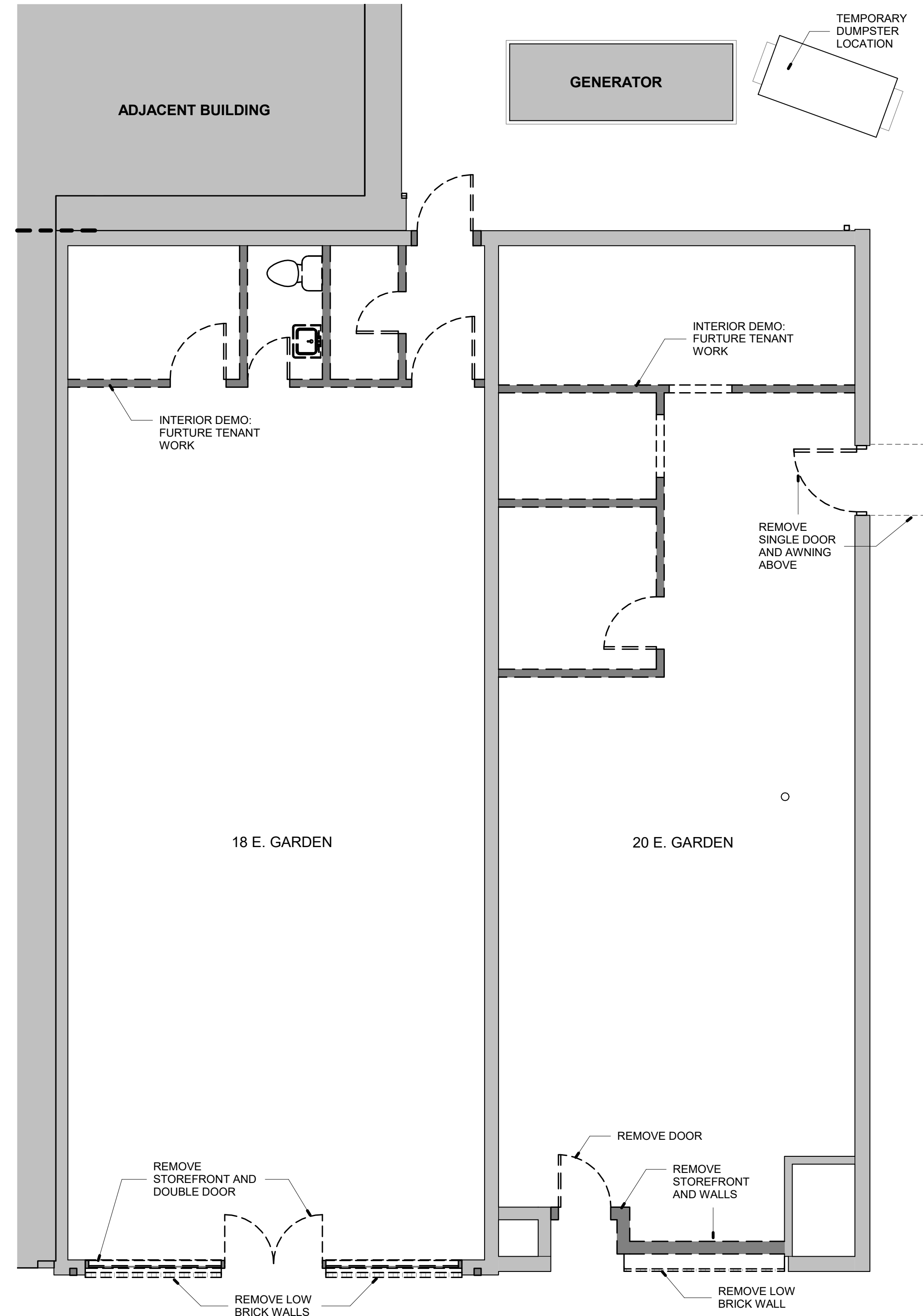
1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
4. REMOVE EXISTING STOREFRONT SYSTEMS FROM BUILDING 18 AND 20.
5. REMOVE EXISTING FRONT ENTRANCE DOORS FROM BUILDING 18 AND 20.
6. REMOVE LOW BRICK WALLS FROM BUILDING 18 AND 20.
7. REMOVE EAST DOOR FROM BUILDING 20 AND AWNING ABOVE DOOR.

NEW WORK NOTES

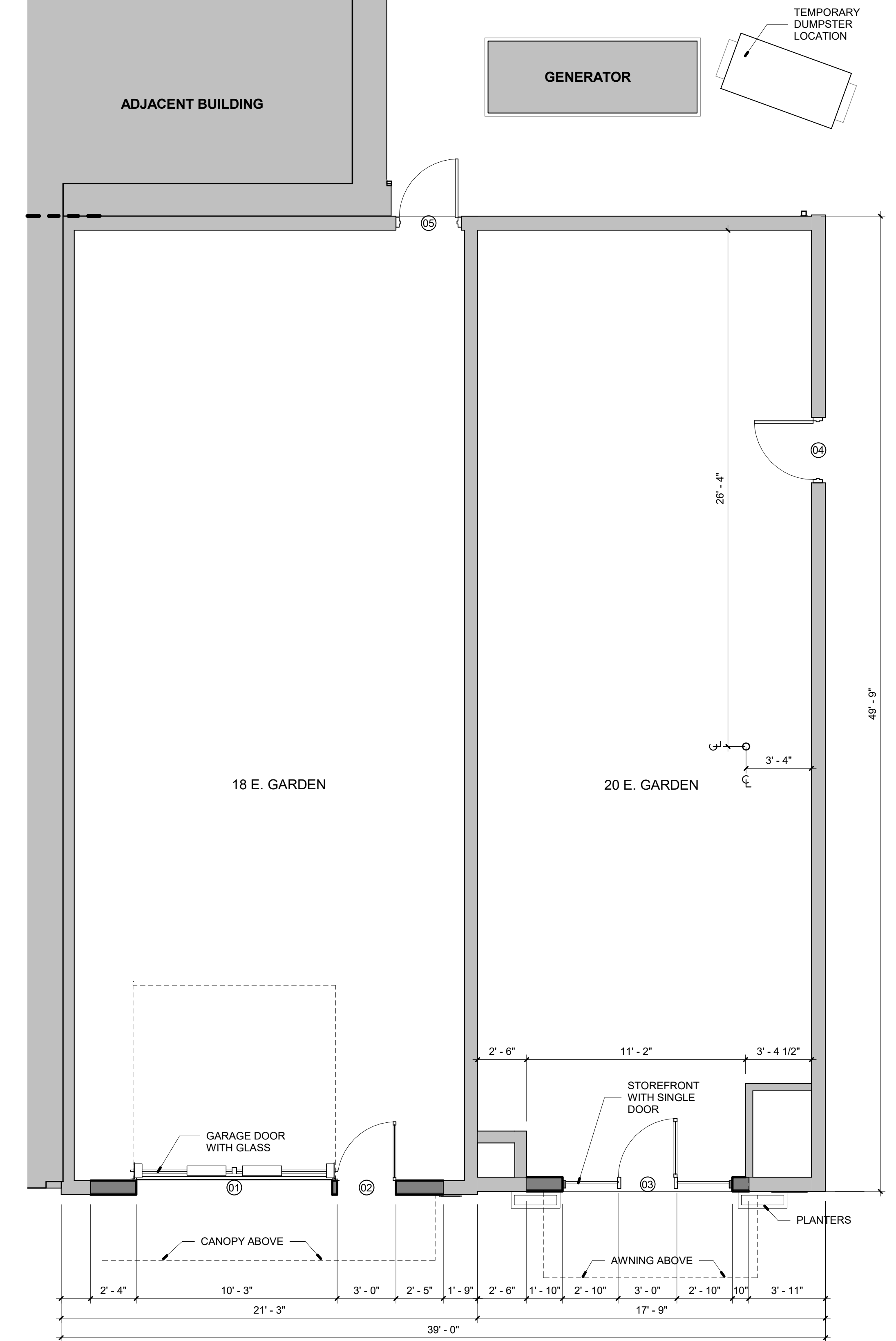
1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
5. INSTALL NEW DOORS AND ALUMINUM STOREFRONT AS INDICATED ON PLAN.



3 ROOF PLAN
1/8" = 1'-0"



2 DEMOLITION PLAN
1/4" = 1'-0"



1 NEW WORK PLAN
1/4" = 1'-0"



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18 & 20 East Garden St, Pensacola, FL

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REVISIONS
No. Des. Date

SHEET TITLE:
DEMO AND NEW WORK PLANS

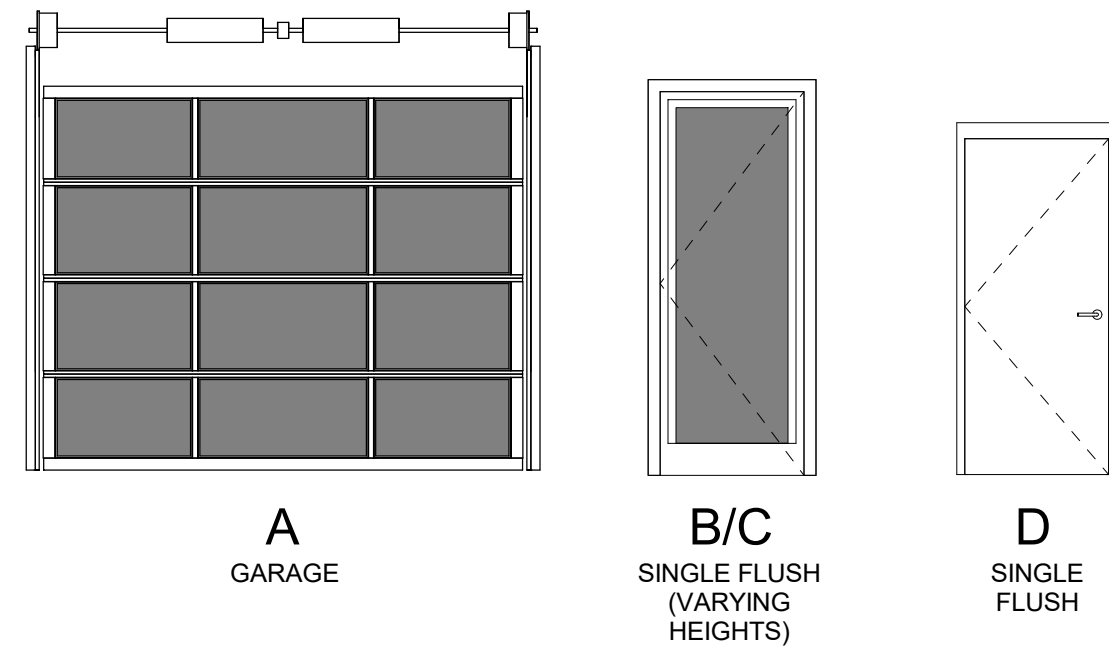
SHEET NO:

A101

PROJECT NO:
Project Number

DOOR SCHEDULE							
MARK #	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	HARDWARE	NOTES
First Floor							
01	10'-0"	8'-0"	A	METAL	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
02	3'-0"	8'-0"	B	STOREFRONT	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
03	3'-0"	7'-0"	C	STOREFRONT	BRONZE	PRIVACY	INCLUDED IN SHELL WORK
04	3'-0"	7'-0"	D	HMD	ALUM.	PRIVACY	INCLUDED IN SHELL WORK
05	3'-0"	7'-0"	D	HMD	ALUM.	PRIVACY	INCLUDED IN SHELL WORK

DOOR TYPES

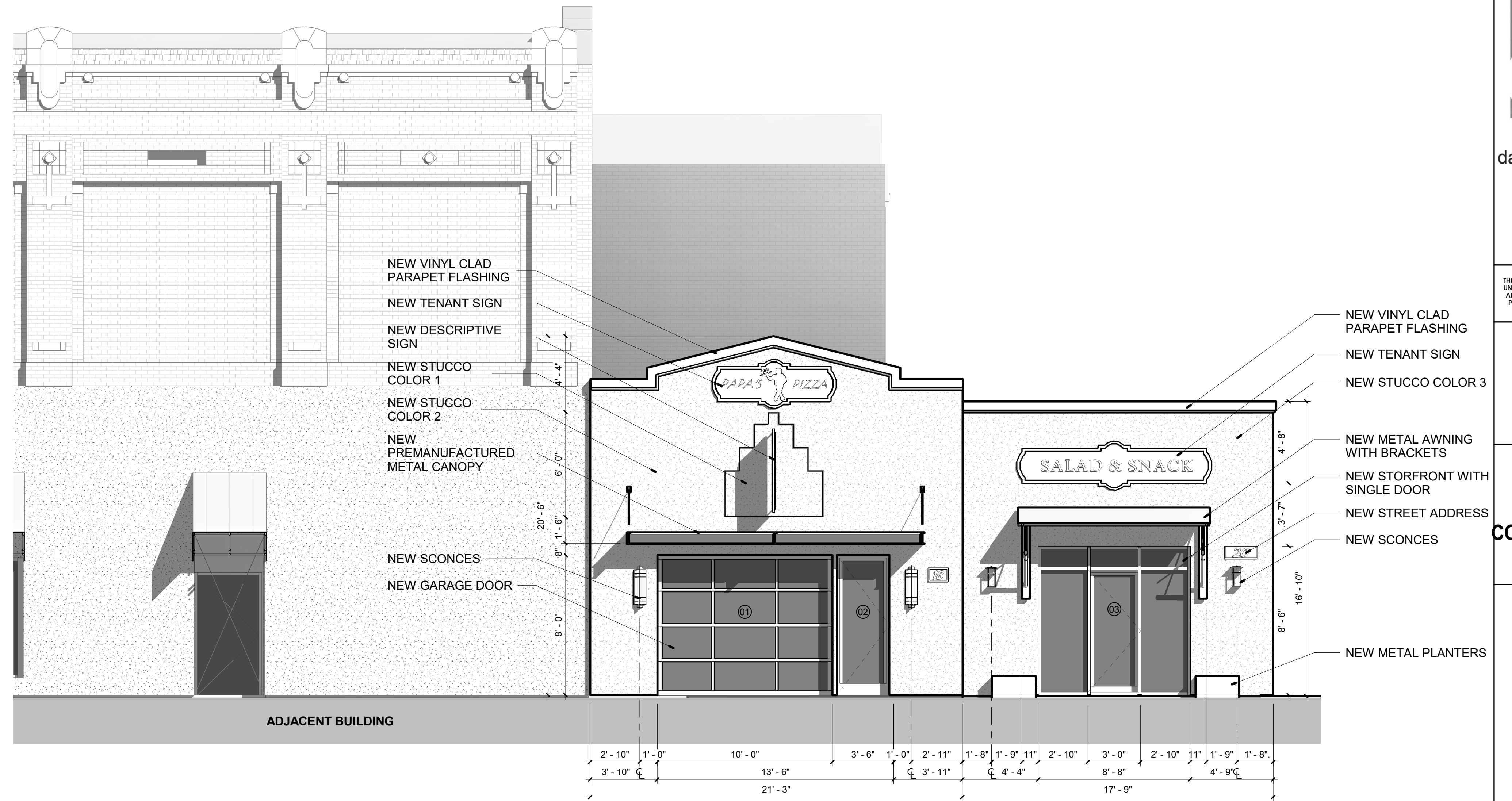


DOOR NOTES

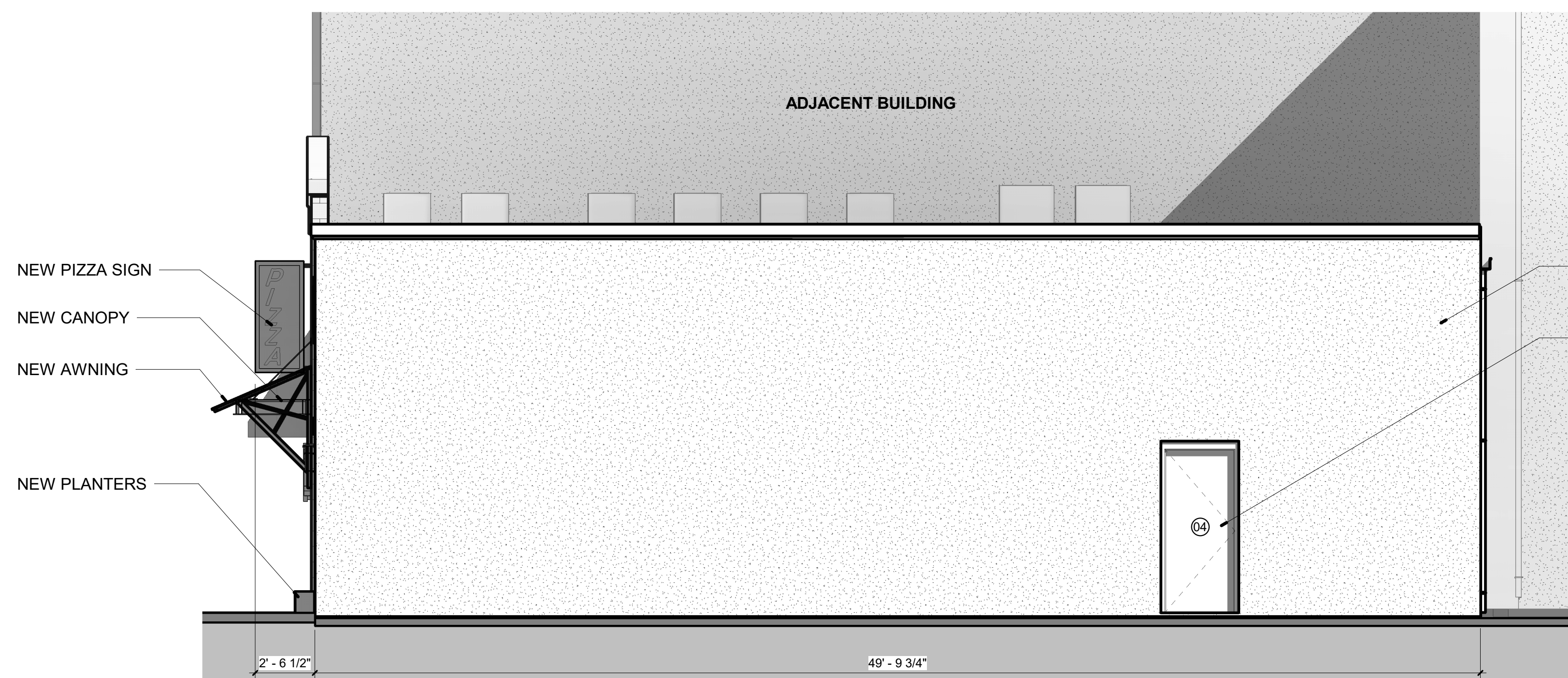
- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- PROVIDE LEVER STYLE HARDWARE, TYP.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

STOREFRONT NOTES:

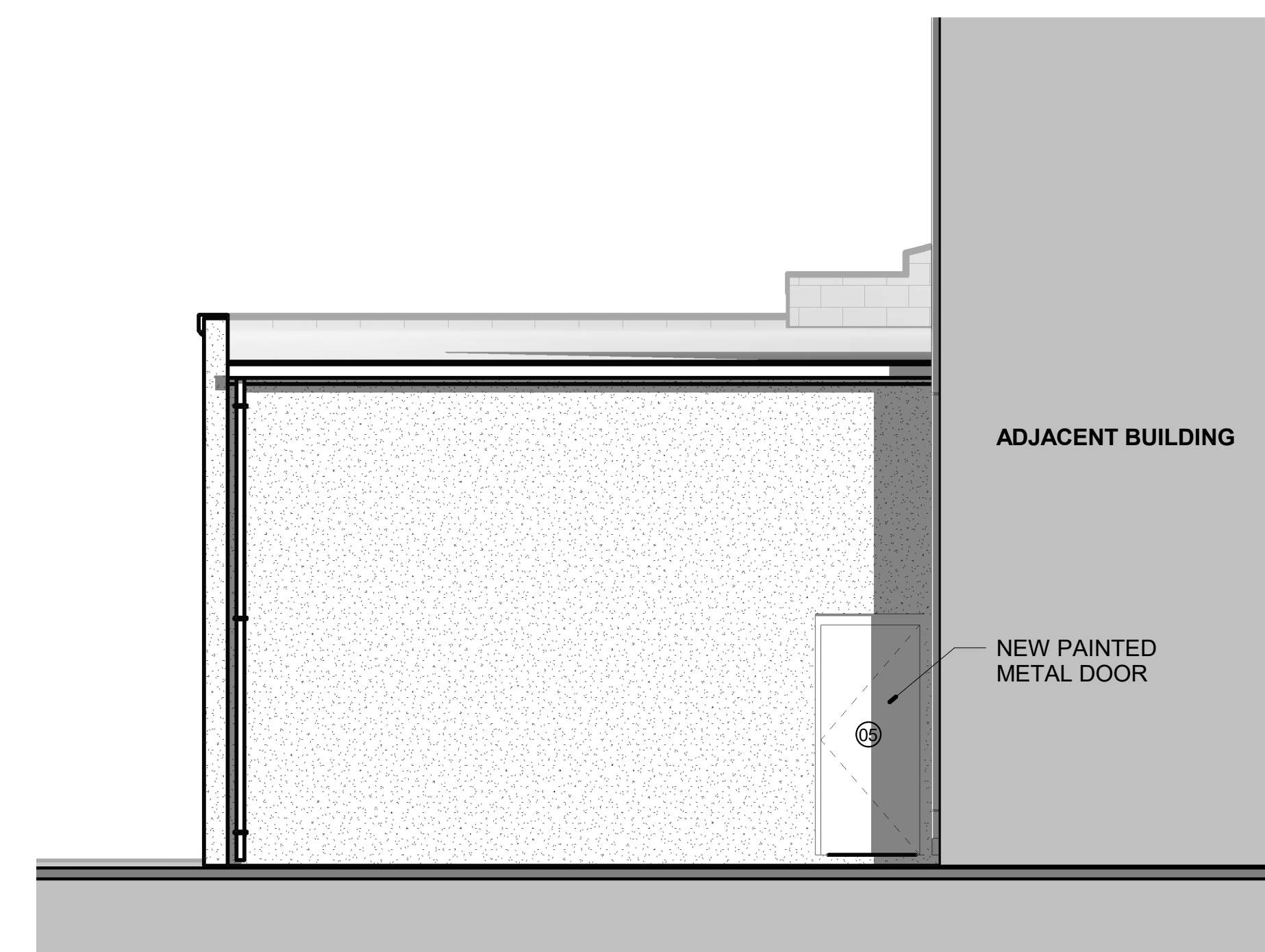
- CONTRACTOR TO FIELD VERIFY OPENING MEASUREMENTS PRIOR TO ORDERING.
- ALUMINUM STOREFRONT SYSTEM AND GLAZING MUST PASS BASIC PROTECTION REQUIREMENTS IN ASTM E1996 FOR WIND ZONE 3.
- EXTERIOR STOREFRONT SYSTEMS SHALL INCLUDE THERMAL BREAK.
- MULLION FINISH TO BE HIGH-PERFORMANCE ORGANIC, TWO COAT FLUOROPOLYMER SYSTEM, COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- ACCEPTABLE MANUFACTURERS: KAWNEER, CORAL INDUSTRIES, OLDCASTLE, OR ARCHITECT-APPROVED EQUAL.
- PROVIDE GLAZING ASSEMBLY WITH LOW-E COATED #2 SURFACE, AIR-FILLED GLAZING, AND SOLAR HEAT GAIN COEFFICIENT OF 0.25 MAXIMUM AND A MINIMUM VISIBLE LIGHT TRANSMITTANCE OF 45%.



1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



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18 & 20 East Garden St, Pensacola, FL

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01/30/2020

REVISIONS
No. Des. Date

SHEET TITLE:
EXTERIOR ELEVATIONS

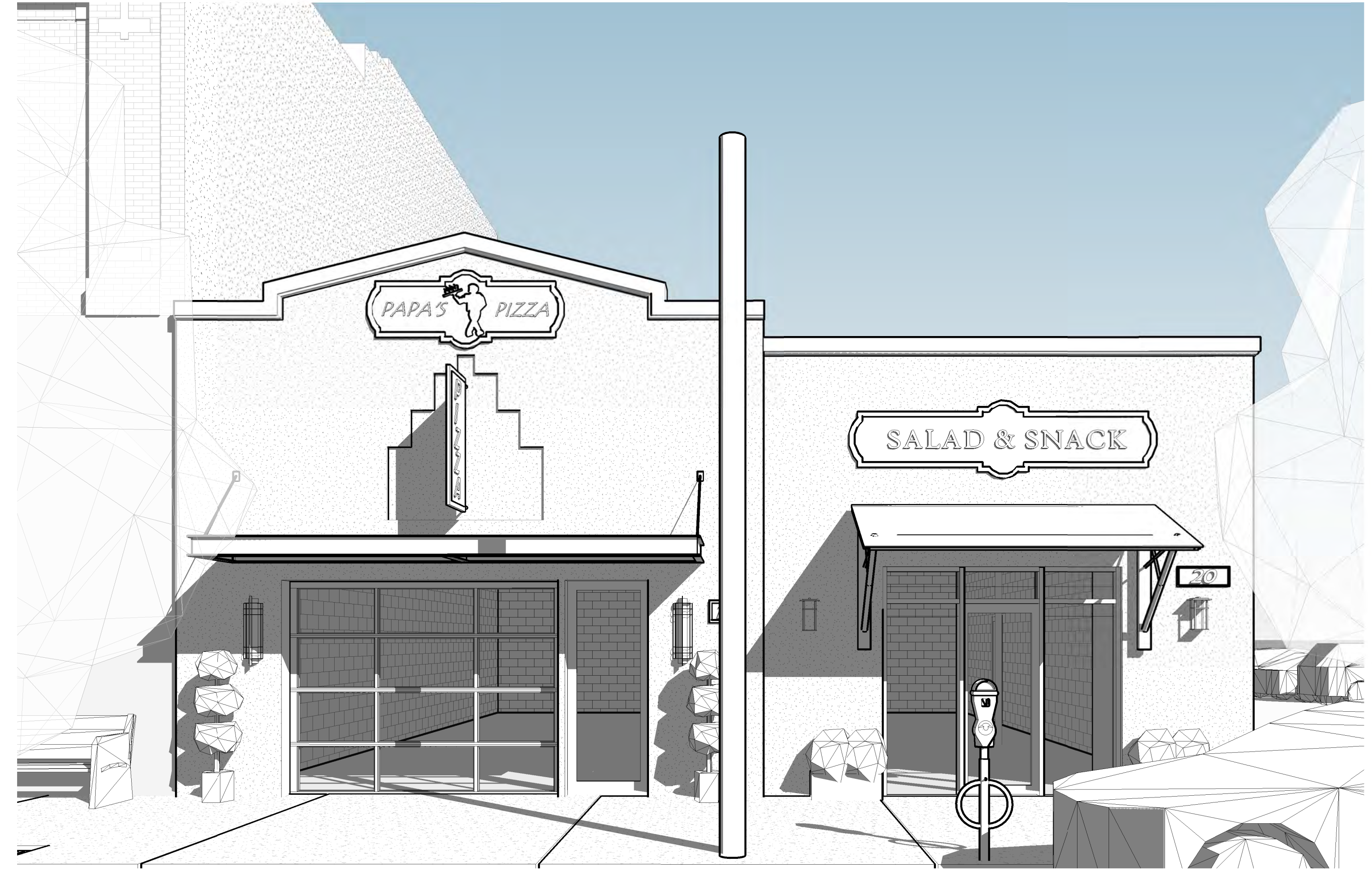
SHEET NO:

A201

PROJECT NO:
Project Number



④ 3D View 1



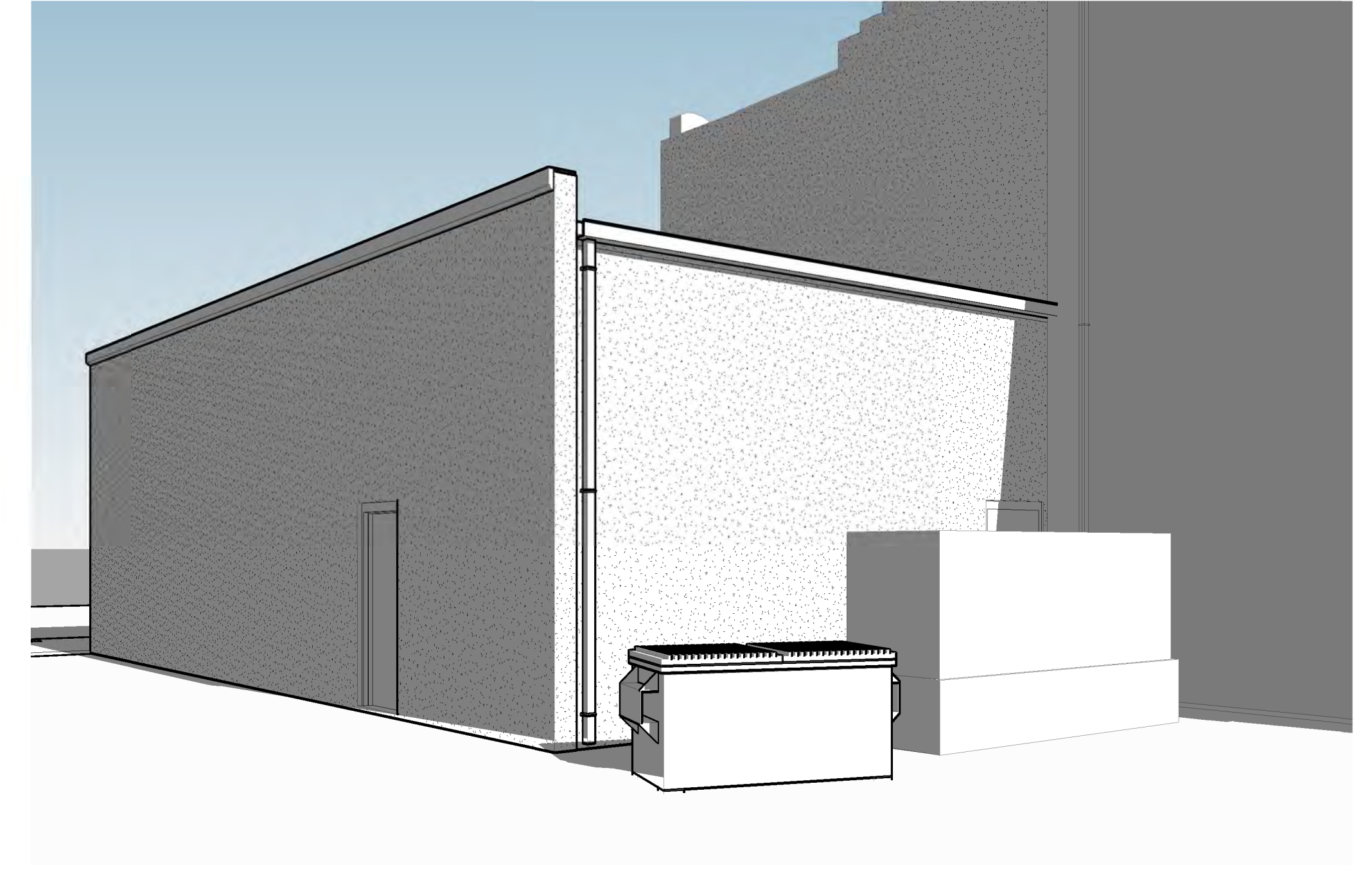
① EXTERIOR 1



⑤ 3D View 2



② EXTERIOR 2



③ EXTERIOR 3

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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DRAWN BY: HH CHECKED BY: JSS

ISSUE DATE: 01/30/2020

REVISIONS No. Des. Date

SHEET TITLE:
3D EXTERIOR PERSPECTIVE VIEWS

SHEET NO.:

A701

PROJECT NO. Project Number

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 13**
121 S. Palafox Place
PHBD / C-2A
Contributing Structures

BACKGROUND

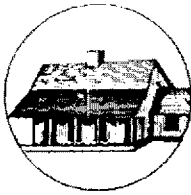
Scott Sallis is seeking approval to remove and modify the front and rear facades. This work will push the existing ground floor out to be relatively flush with the adjoining buildings and new doors, windows and decorative tile will be added. Balconies supported by steel columns and lined with aluminum railing will be added to both sides of the building. Standing seam metal roofing will also be installed. Modifications to the southern rear portion of the building was approved in December 2019. Although the December motion only included details on the southern rear space, a conceptual design of the full building was provided to the Board at that time.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) PHBD, Architectural review of proposed exterior development

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **ES03704**
Field Date 8-21-2011
Form Date 9-20-2011
Recorder # _____

Shaded fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 115-121 S. Palafox St Pensacola Fl 32502 Multiple Listing (DHR only) _____
Survey Project Name Downtown Pensacola Historic Business District Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 115-121 Direction S Street Name Palafox (Place) Street Type Street Suffix Direction _____
Address: 115-121 S Palafox (Place) Street
Cross Streets (nearest / between) W side between E Intendencia St and E Romana St
USGS 7.5 Map Name PENSACOLA USGS Date 2009 Plat or Other Map _____
City / Town (within 3 miles) Pensacola In City Limits? yes no unknown County Escambia
Township 2S Range 30W Section 46 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # 000S009001006199 Landgrant _____
Subdivision Name Old City Tract Block 26 Lot 175-177
UTM Coordinates: Zone 16 17 Easting 479349 Northing 3364394
Other Coordinates: X: 30.4114137 Y: -87.2150133 Coordinate System & Datum NAD83/WGS84
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 approximately year listed or earlier year listed or later
Original Use Department store From (year): _____ To (year): _____
Current Use Commercial From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): Unknown Builder (last name first): R.H. Turner
Ownership History (especially original owner, dates, profession, etc.) This building was built in 1959 by J.C. Penny's.

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe HPBD Architecture Review Board

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 2
Exterior Fabric(s) 1. Stucco 2. Concrete block 3. ceramic tiles
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. parapet
Roof secondary strucs. (domers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) Fixed

Distinguishing Architectural Features (exterior or interior ornaments) _____

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Metal skeleton 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) _____

Porch Descriptions (types, locations, roof types, etc.) W. and S. recessed entry w/ round columns covered w/variegated ceramic tile.

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource Built in 1959 to house J.C. Penny's department store and is typical of mid-century commercial architecture

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- FMSF record search (sites/surveys)
- FL State Archives/photo collection
- property appraiser / tax records
- cultural resource survey (CRAS)
- other methods (describe) WFHPI and PHBD Architectural Review Files
- library research
- city directory
- newspaper files
- historic photos
- building permits
- occupant/owner interview
- neighbor interview
- interior inspection
- Sanborn maps
- plat maps
- Public Lands Survey (DEP)
- HABS/HAER record search

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Photographic reference numbers: HPPB P.81.26 frames 31 and 32 and P.83.8 frames 13.

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not, use separate sheet if needed) Commercial vernacular structure typical in size and scale

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. Commerce 3. _____ 5. _____
- 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization _____
 Document description PHBD Architectural Review Files File or accession #'s _____
- 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Cynthia A. Catellier 850-288-0189 Affiliation City of Pensacola/University of West Florida

Recorder Contact Information 222 Main ST Donald W Kelly Planning Services Coordinator (850) 436-5655
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**Architectural Review Board Application
Full Board Review**

Application Date: 01-17-20

Project Address: 121 Palafox Pl.
Applicant: Dalrymple | Sallis Architecture
Applicant's Address: 503 E. Government St.
Email: scott@dalsal.com **Phone:** 850-470-6399
Property Owner: 121 Palafox Place Inc.

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Removing existing building's front and rear facades to create new facades.

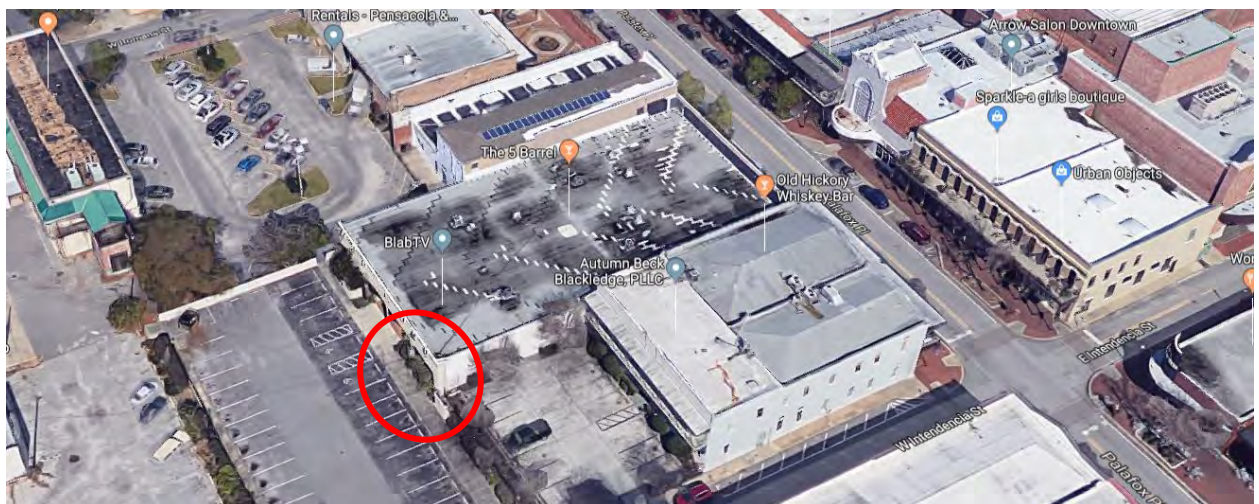
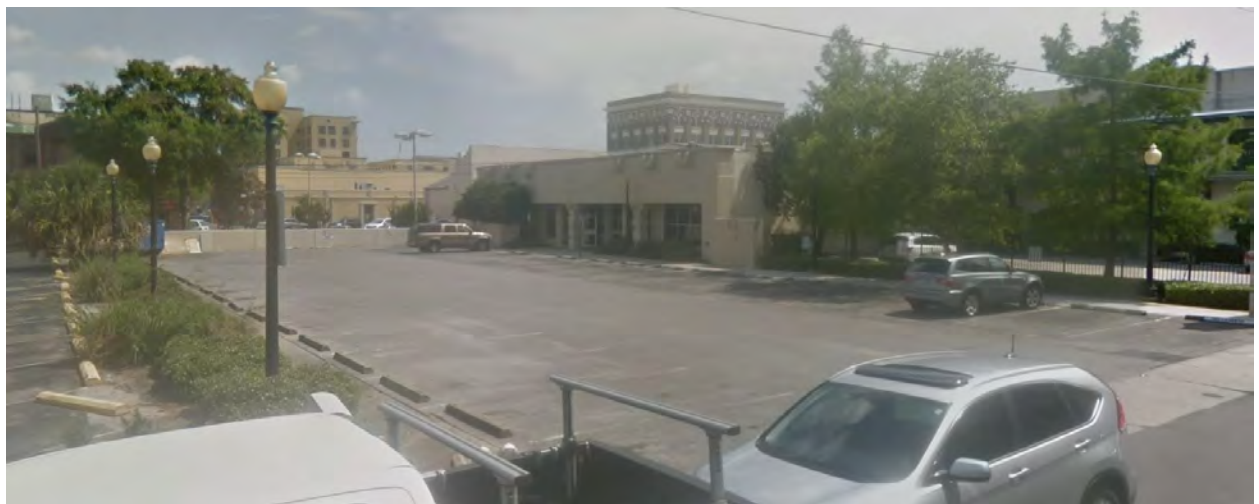
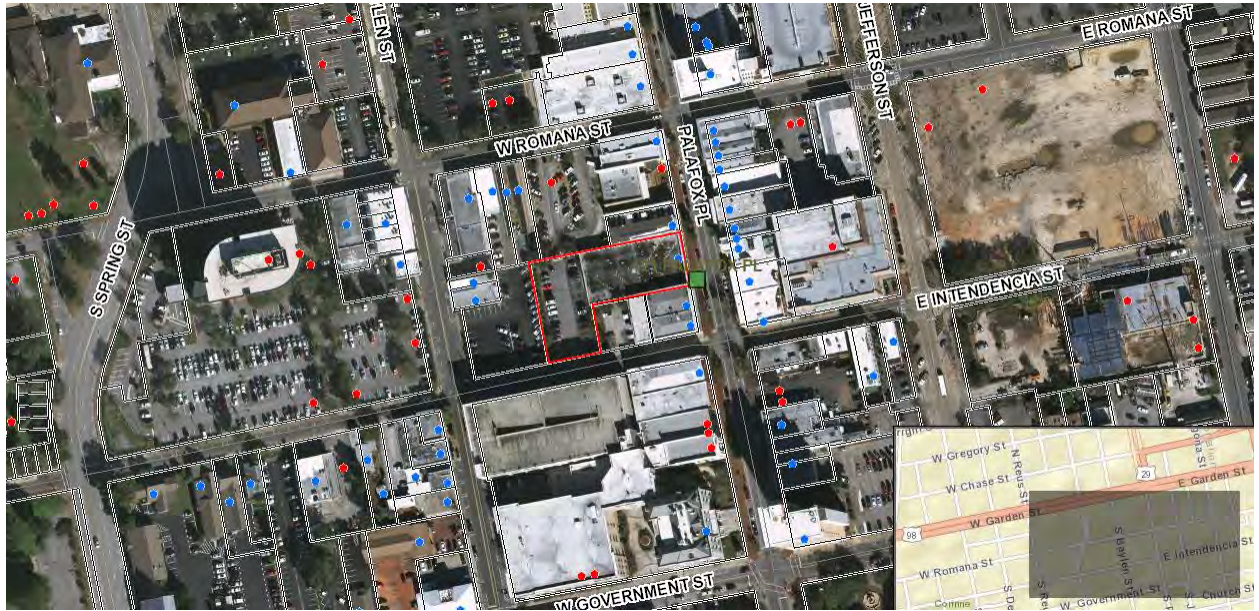
Addition of second story balconies, beer garden, and rentable residential units.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Scott Dalrymple
Applicant Signature

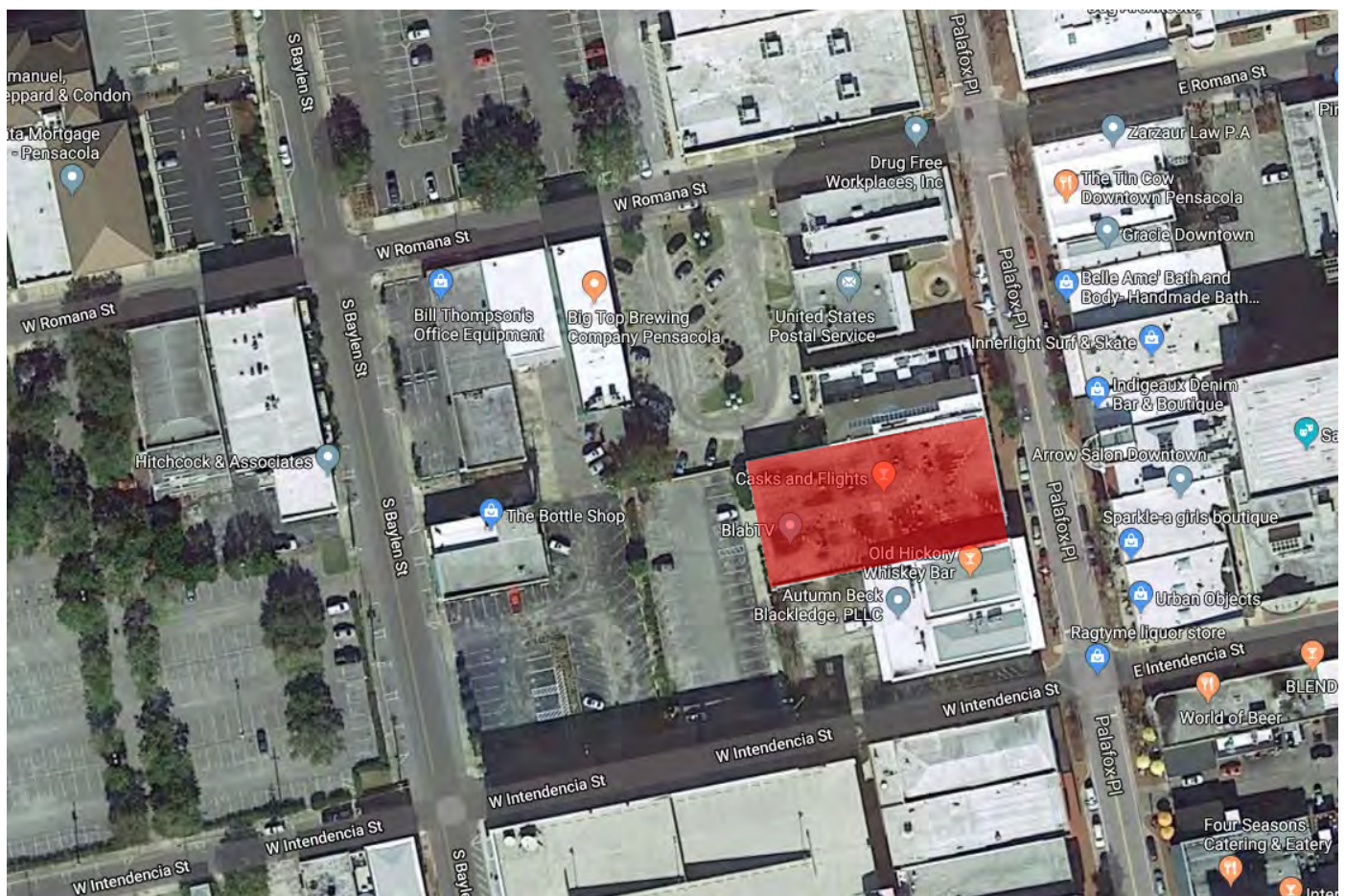
01/30/20
Date

121 S. Palafox Place



Date: Thursday, January 30, 2020
Project: 121 Palafox Place Phase 2
121 S. Palafox St.
Pensacola, FL 32502
Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



Project Location



View of Existing Front



View of Existing Rear





View of Existing North Side



View of Existing South Side

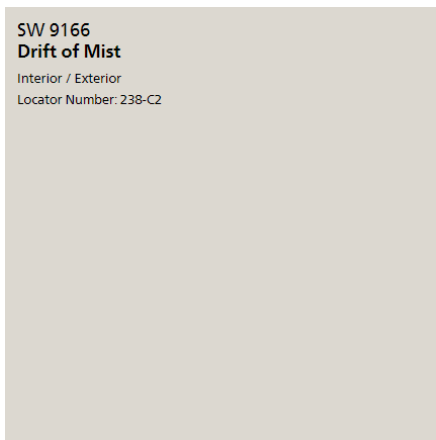


View of Existing Roof

Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Stucco	TBD	SW "Drift of Mist"
Trim	Sherwin Williams	SW "Gray Matters"
Storefront Windows/Doors	TBD	Dark Bronze Aluminum
Façade Tile	LiLi Tile	Bali 3: 1000, 2020, 7008
Water Table	TBD	Precast Concrete
Cornice	Sherwin Williams	SW "Cityscape"
Columns/Brackets	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Skirt	Sherwin Williams	SW "Roycroft Bottle Green"
Railing	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Fascia	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Framing	Sherwin Williams	SW "Roycroft Bottle Green"
Balcony Deck	TBD	Cast Concrete
Balcony Ceiling	Sherwin Williams	SW "Hawthorn"
Balcony Roofing	Metal Sales	Galvalume
Shutters	Contractor Made	SW "Cityscape"
Flower Box	Pre-manufactured PVC	SW "Cityscape"
Entry Ceiling	Sherwin Williams	SW "Hawthorn"
Entry Paving	Brick Paver	Color to match existing sidewalk
Lighting	TBD	Black or Dark Bronze Metal

PAINT COLORS



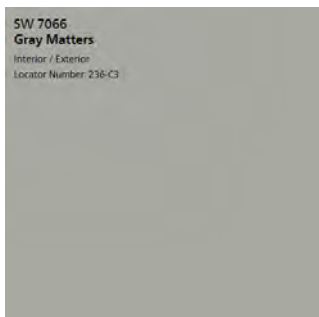
SW 9166
Drift of Mist
Interior / Exterior
Locator Number: 238-C2

Stucco
Sherwin Williams: "Drift of Mist"



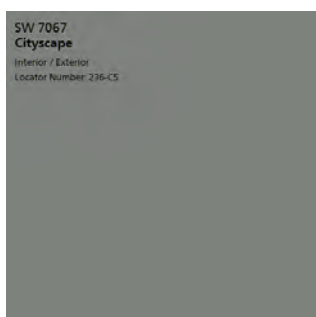
SW 2847
Roycroft Bottle Green
Interior / Exterior

Balcony Columns/Trimwork/Railings
Sherwin Williams: "Roycroft Bottle Green"



SW 7066
Gray Matters
Interior / Exterior
Locator Number: 236-C3

Façade Extrusion/
Trim Bands
Sherwin Williams:
"Gray Matters"



SW 7067
Cityscape
Interior / Exterior
Locator Number: 236-C5

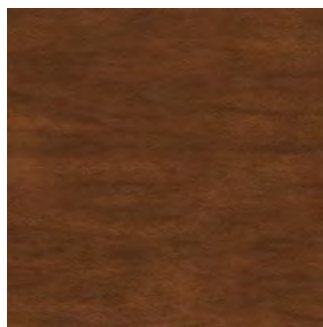
Accent Color (Cornice, Shutters, Flower Boxes)
Sherwin Williams: "Cityscape"

TILE



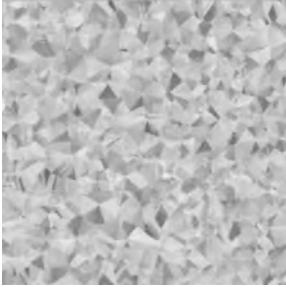
Façade Base/Window
Transoms
Lili Tile
"Bali 3"

STAIN



Tongue and Groove Ceilings
Sherwin Williams: "Hawthorn"
Exterior Transparent Stain

ROOFING



Metal Sales
Standing Seam Metal: Galvalume

SHUTTERS



Composite Board and Batten
Color: SW "Cityscape"

RAILINGS



Powder Coated Metal
Color: SW "Roycroft Bottle Green"

COLUMNS



LIGHTING



Sconces

Finish: Bronze Metal

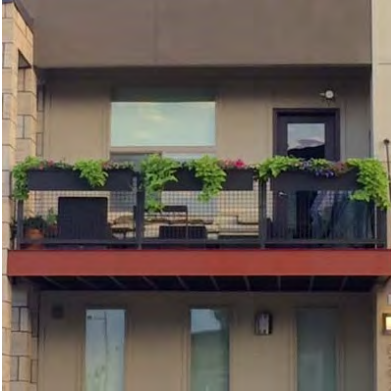


Chandelier

Okholm Lighting – Gren Chandelier

Finish: Bronze Metal

PLANTING



PVC Planters
42" Length
Painted SW "Cityscape"



Foxtail Fern
Planters and Flower Bed



Silver Saw Palmetto
Flower Bed

Renderings



Views of Front



View at Dusk



View of Sidewalk



View of Interior Corridor



View of Balcony



View of Beer Garden



View of Outdoor Hall



Views of Rear



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CERTIFICATION

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121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

REVISIONS
No. Des. Date

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A201

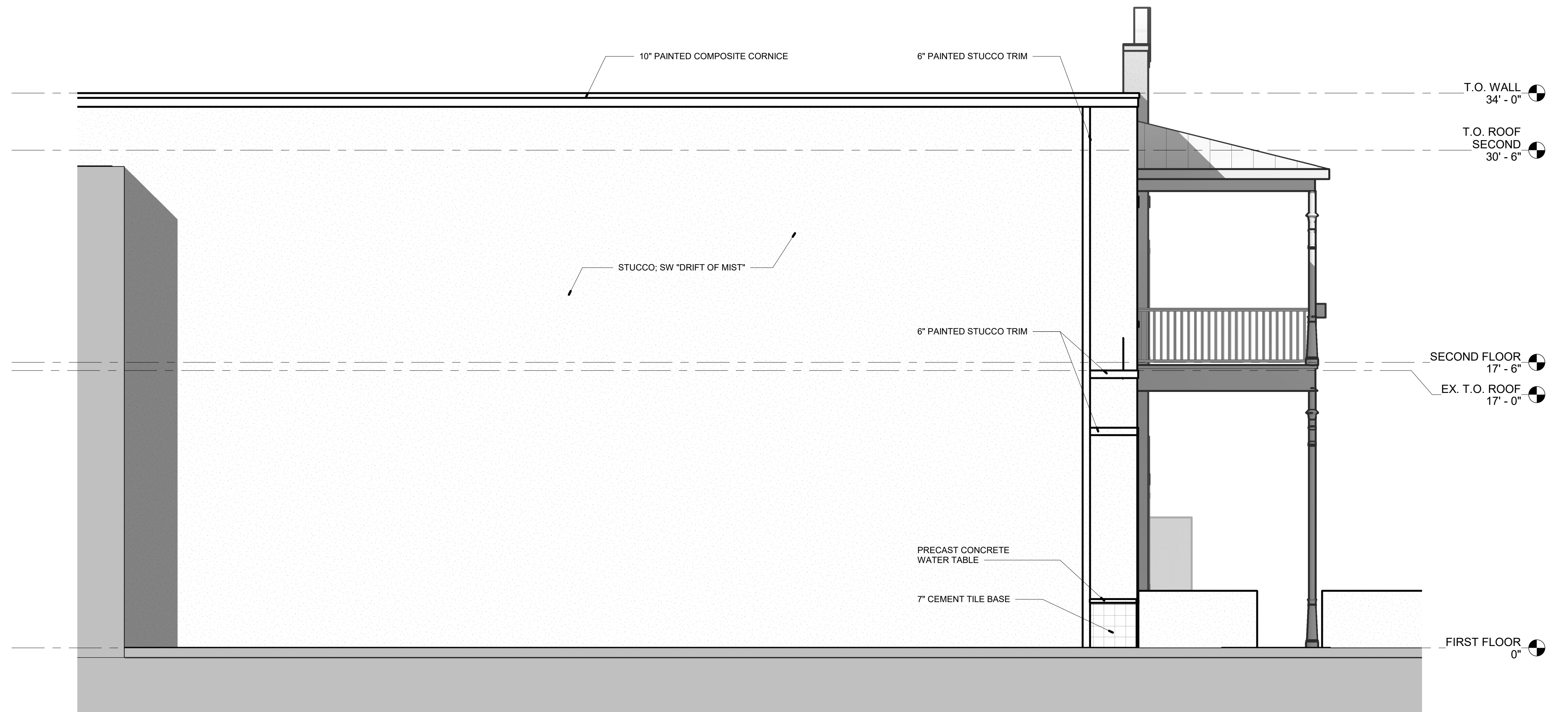
PROJECT NO:
19028



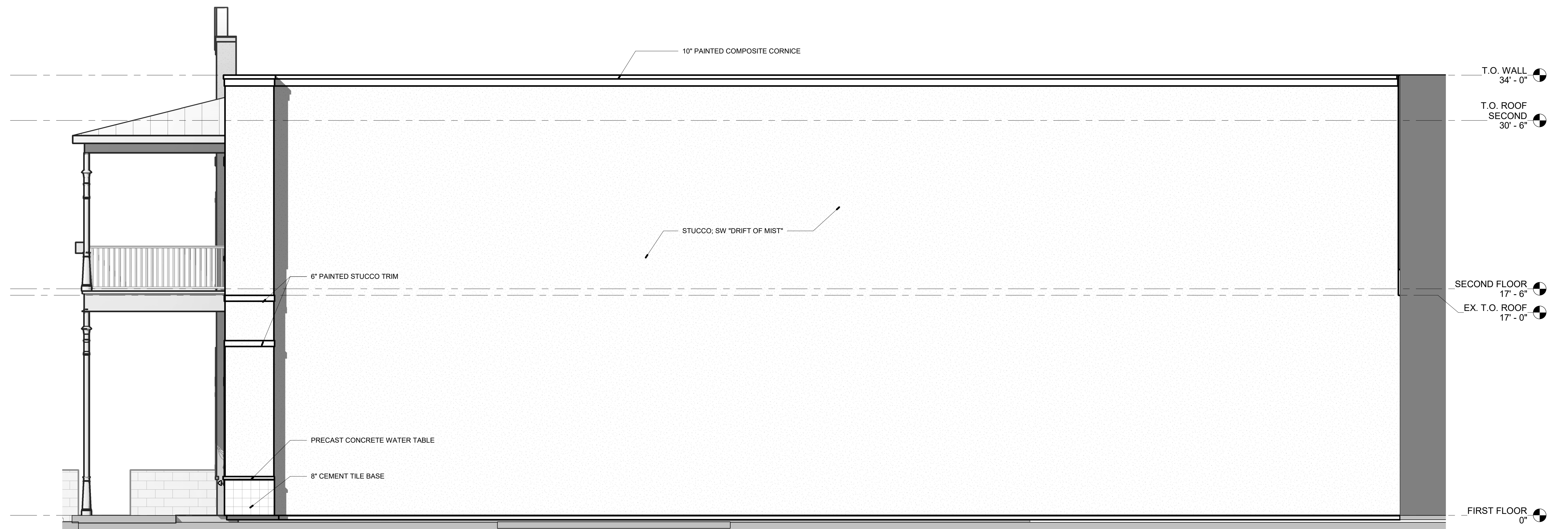
1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



1 NORTH (SIDE) ELEVATION
1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION
1/4" = 1'-0"

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121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

REVISIONS No.	Des.	Date

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A202

PROJECT NO:
19028



dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
t: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

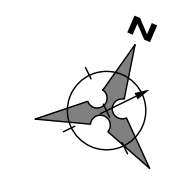
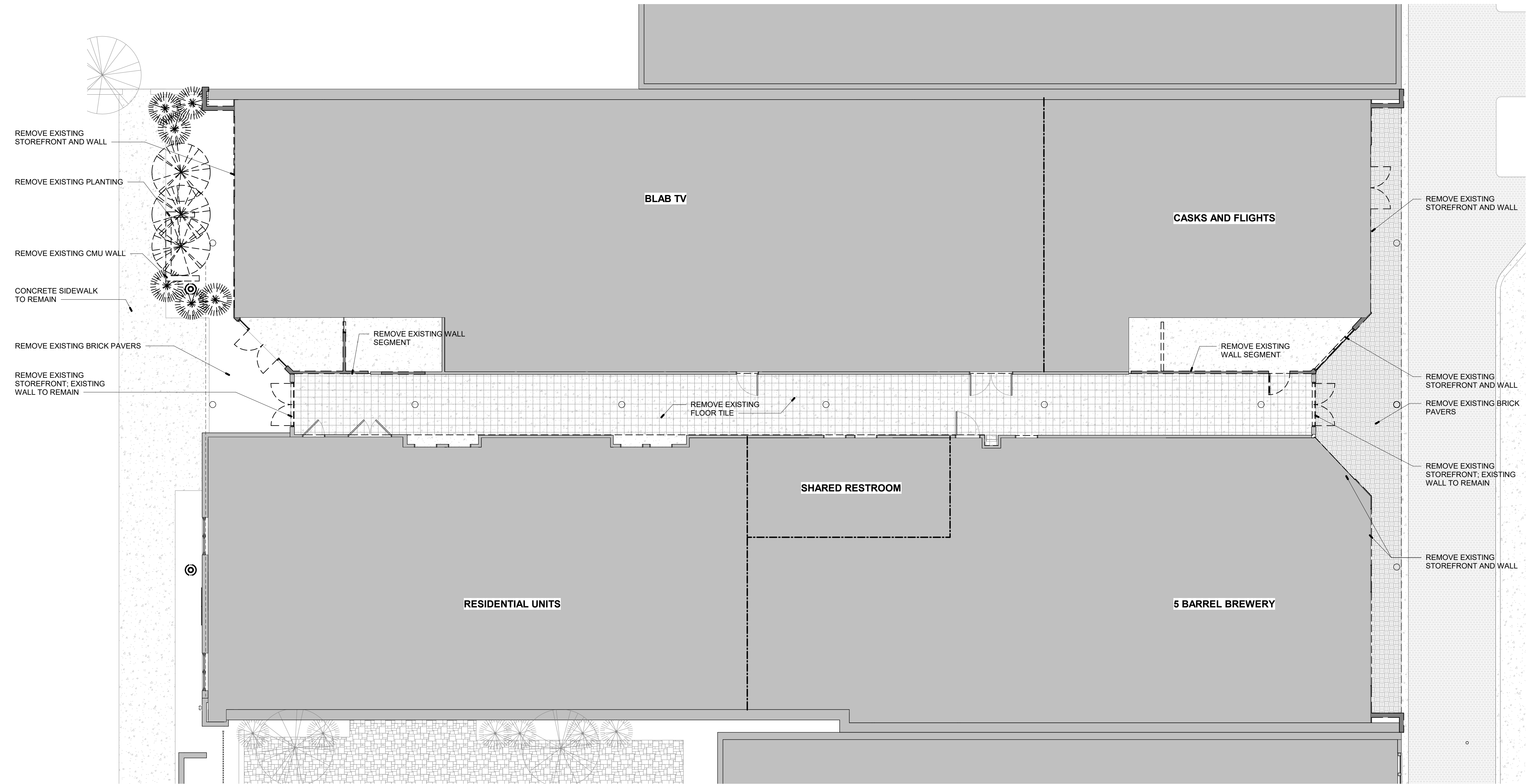
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CERTIFICATION

NOT FOR CONSTRUCTION

121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502



1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

DRAWN BY: SRJ/MH
CHECKED BY: JSS

ISSUE DATE: 01/30/20

REVISIONS No.	Des.	Date

SHEET TITLE:

FIRST FLOOR DEMO PLAN

SHEET NO:

A001

PROJECT NO: 19028



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architecture

503 E. Government St.
Pensacola, FL 32502
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01/30/20

CERTIFICATION

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121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

REVISIONS
No. Des. Date

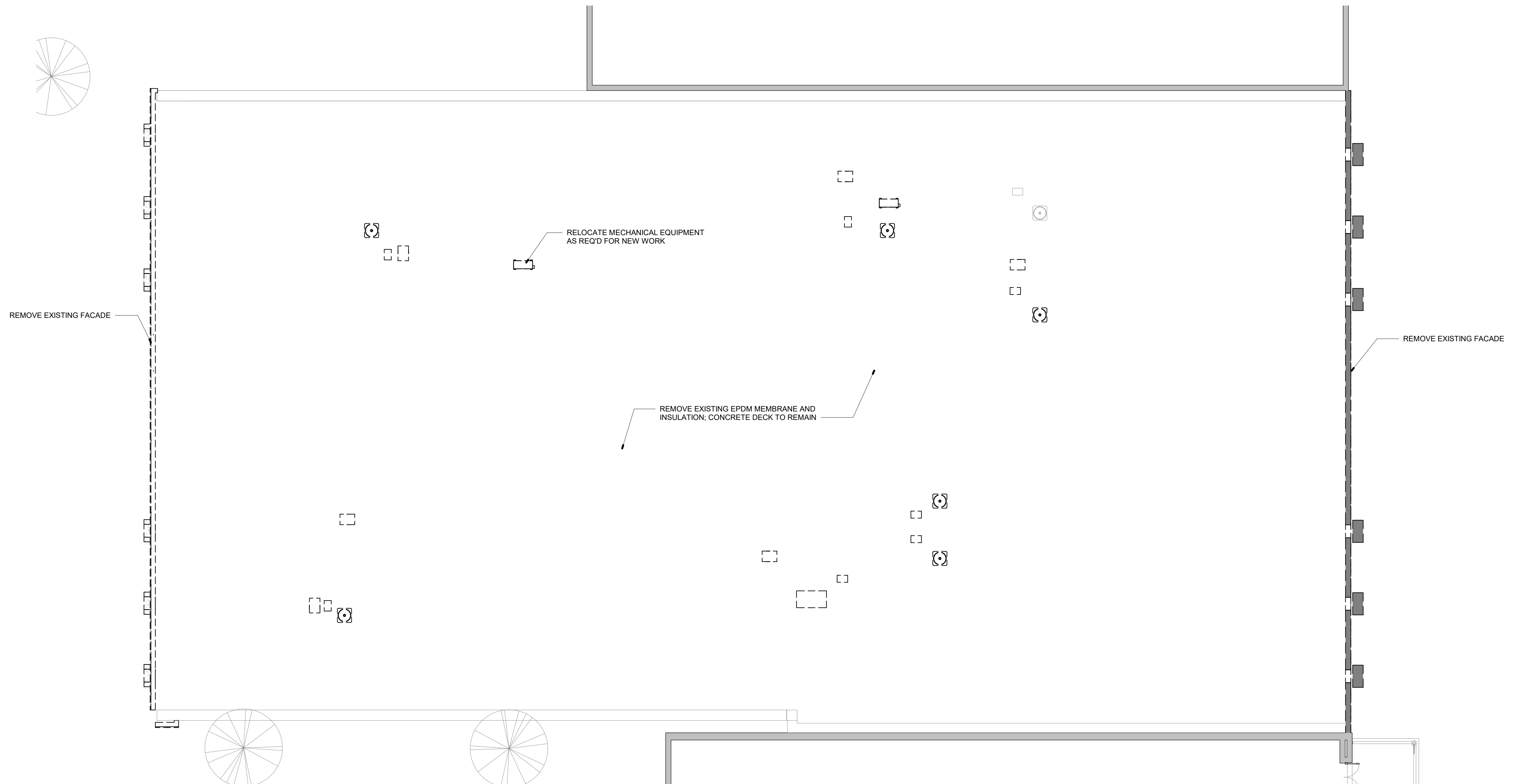
SHEET TITLE:

ROOF DEMO PLAN

SHEET NO:

A002

PROJECT NO:
19028



1 ROOF DEMO PLAN
1/8" = 1'-0"



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architecture

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f: 850-470-6397
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CERTIFICATION

NOT FOR CONSTRUCTION

121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: SRJ/MH
CHECKED BY: JSS

ISSUE DATE: 01/30/20

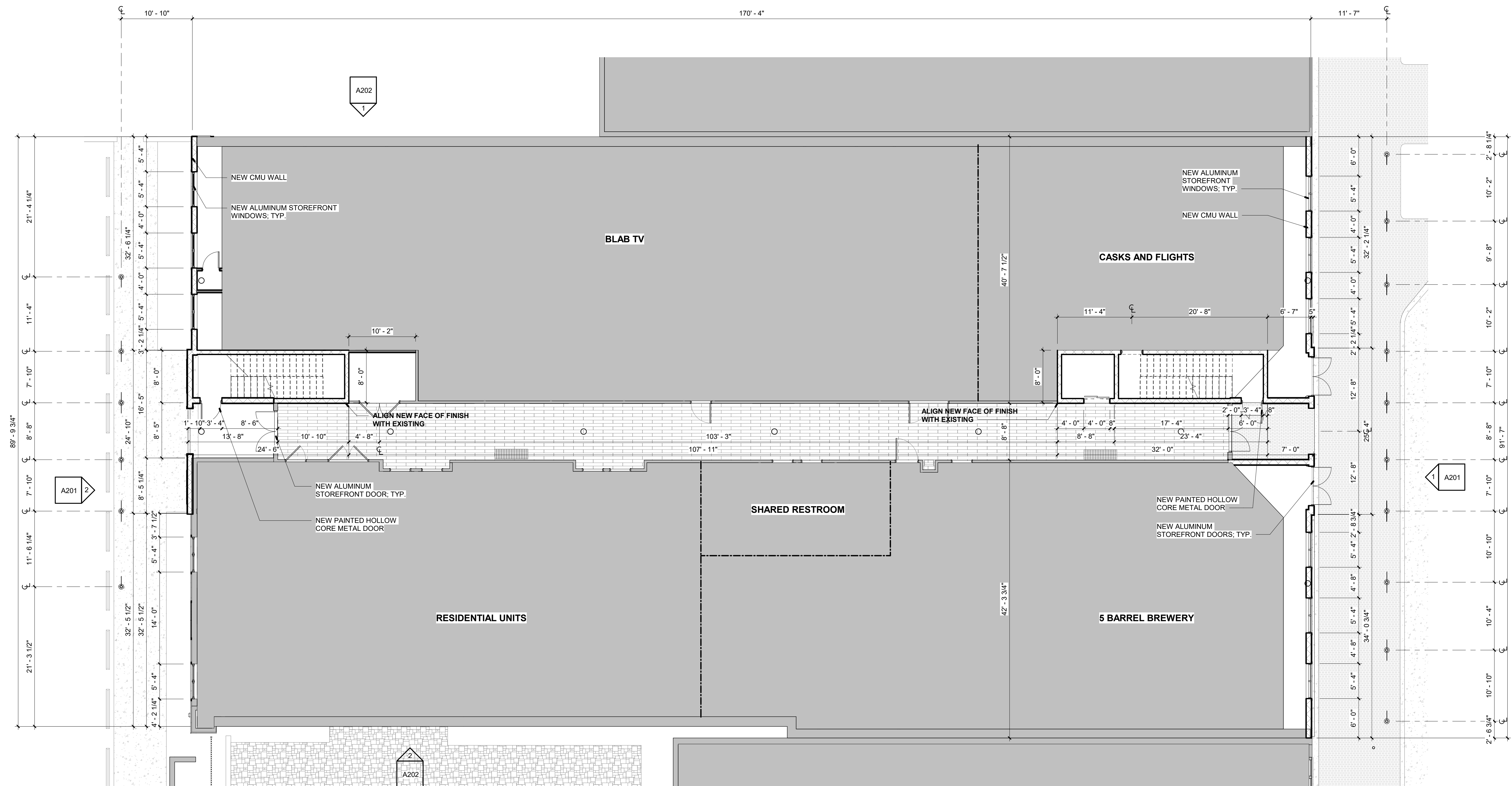
REVISIONS No. Des. Date

SHEET TITLE:
NEW WORK FIRST FLOOR PLAN

SHEET NO:

A101

PROJECT NO:
19028



1 FLOOR PLAN
1/8" = 1'-0"



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architecture

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t: 850-470-6399
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www.dalsal.com
AR 0016385

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CERTIFICATION

NOT FOR CONSTRUCTION

121 Palafox Place Phase 2

121 S. Palafox St.
Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
01/30/20

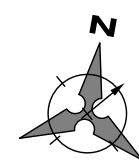
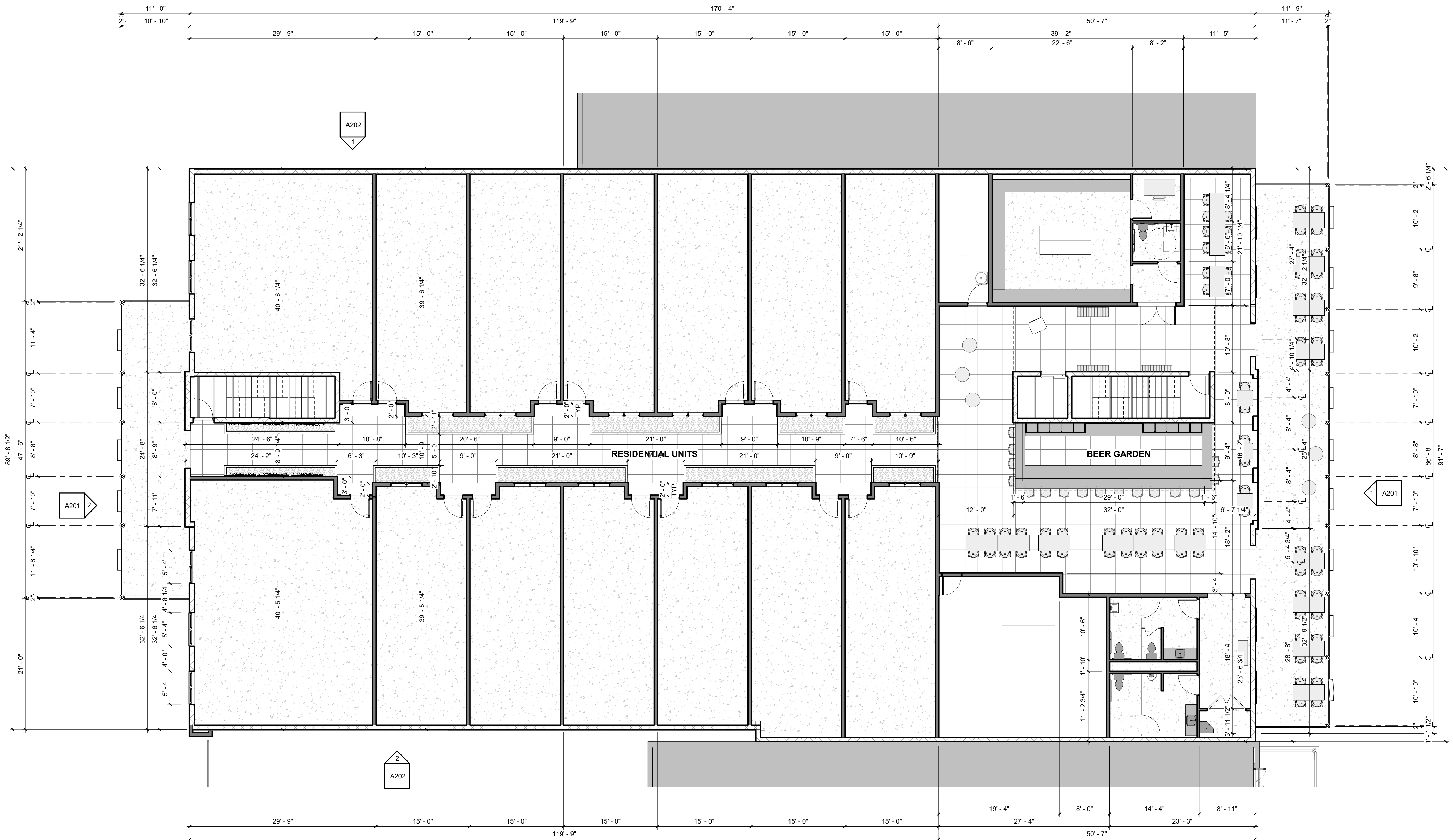
REVISIONS
No. Des. Date

SHEET TITLE:
**NEW WORK
SECOND
FLOOR PLAN**

SHEET NO.:

A102

PROJECT NO:
19028



1 SECOND FLOOR PLAN

1/8" = 1'-0"

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 14**
100 BLK S. Spring Street
GCD / C-2
New Construction

BACKGROUND

Rimmer Covington is requesting final approval for a 14-unit townhome development with rooftop terraces. The façade will consist of a contemporary mix of painted brick and FRC panels with battens and steel balconies. The roof materials will consist of galvalume with exposed rafters. The doors and windows will be contemporary with clear panels on the windows and dark gray panels on the garage doors. The color palette is neutral with Sherwin Williams “Individual White” on the brick, “Imagine” on the FR panels, and “Browse Brown” on the doors, downspouts, and rails.

This item received conceptual approval at the February 2018 ARB meeting and final approval at the March 2018 meeting. Since then, there have been several design modifications which require ARB approval to proceed with construction permitting. These items include design changes to the entranceways, patio areas, windows, and the addition of lighting.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS
Sec. 12-2-22 GCD

AGUADA CREEK TOWNHOMES

SPRING STREET AT INTENDENCIA STREET
PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

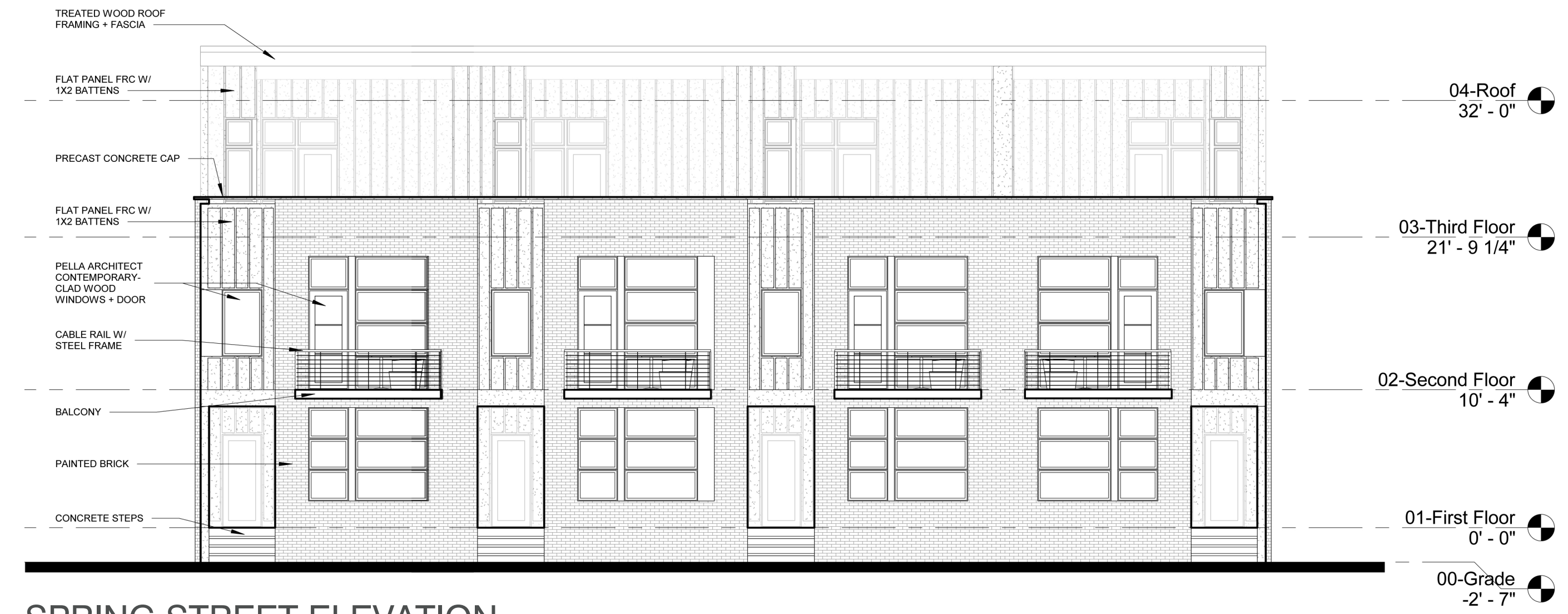
22 FEBRUARY 2018

Intendencia and Spring Street Exterior Elevations



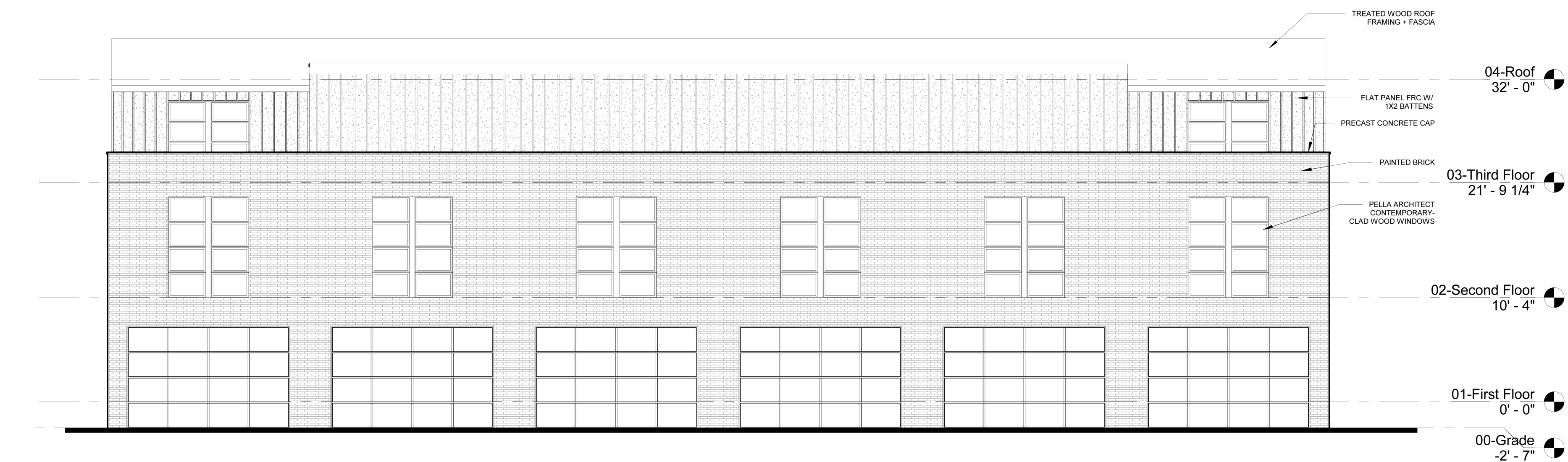
INTENDENCIA STREET ELEVATION

SCALE: 1/8" = 1'-0"



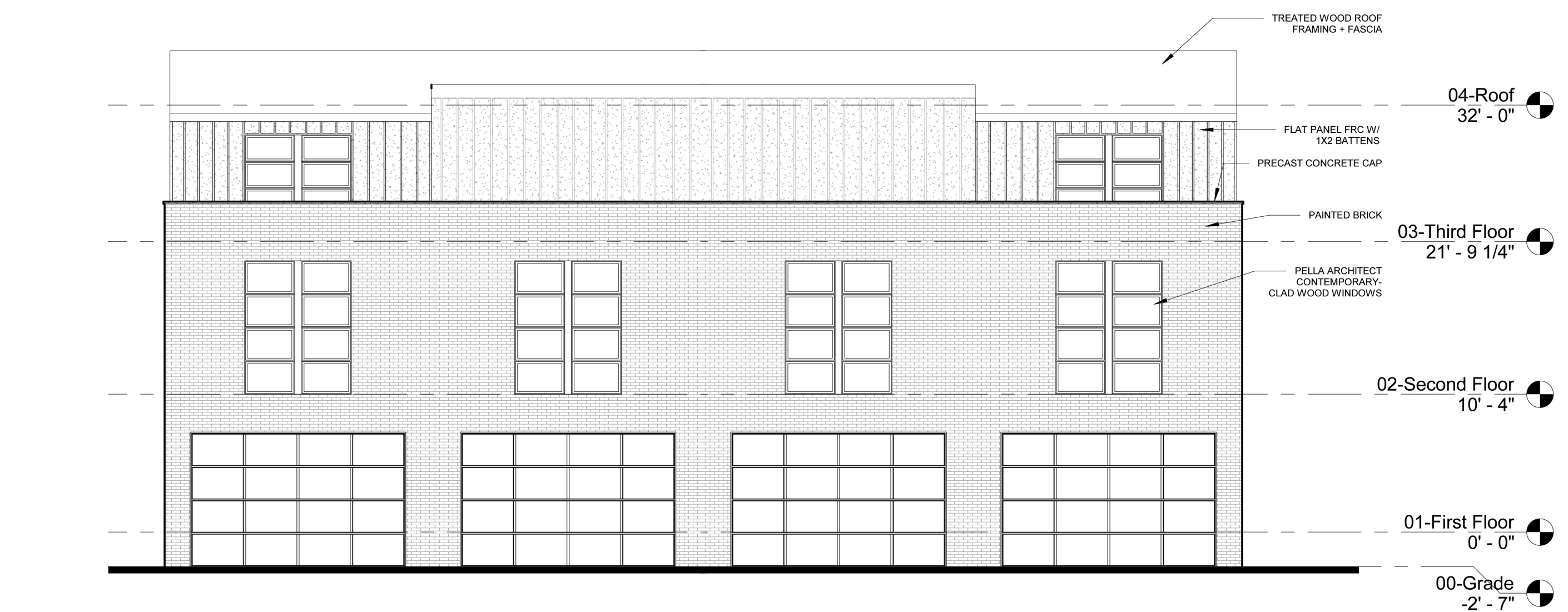
SPRING STREET ELEVATION

SCALE: 1/8" = 1'-0"



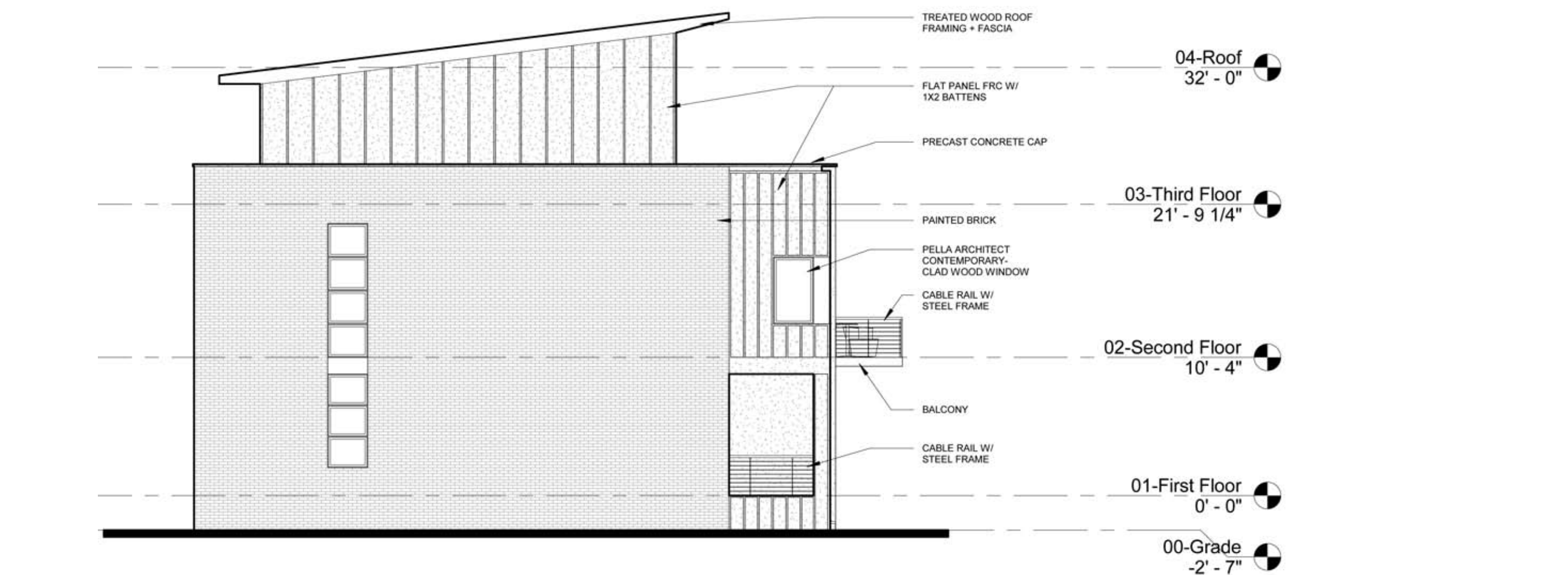
INTENDENCIA PARKING COURT ELEVATION

SCALE: 1/8" = 1'-0"



SPRING PARKING COURT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL END ELEVATION

SCALE: 1/8" = 1'-0"

AGUADA CREEK TOWNHOMES

SPRING STREET AT INTENDENCIA STREET
PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

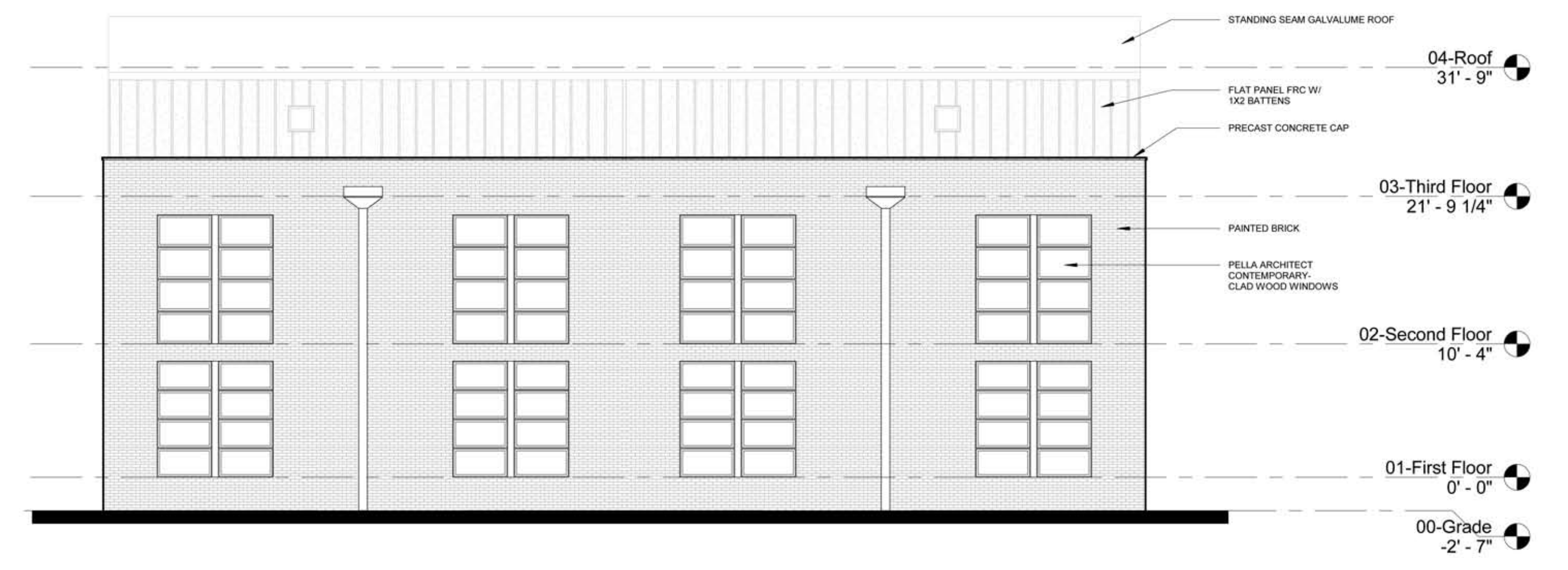
22 FEBRUARY 2018

Interior Units Exterior Elevations



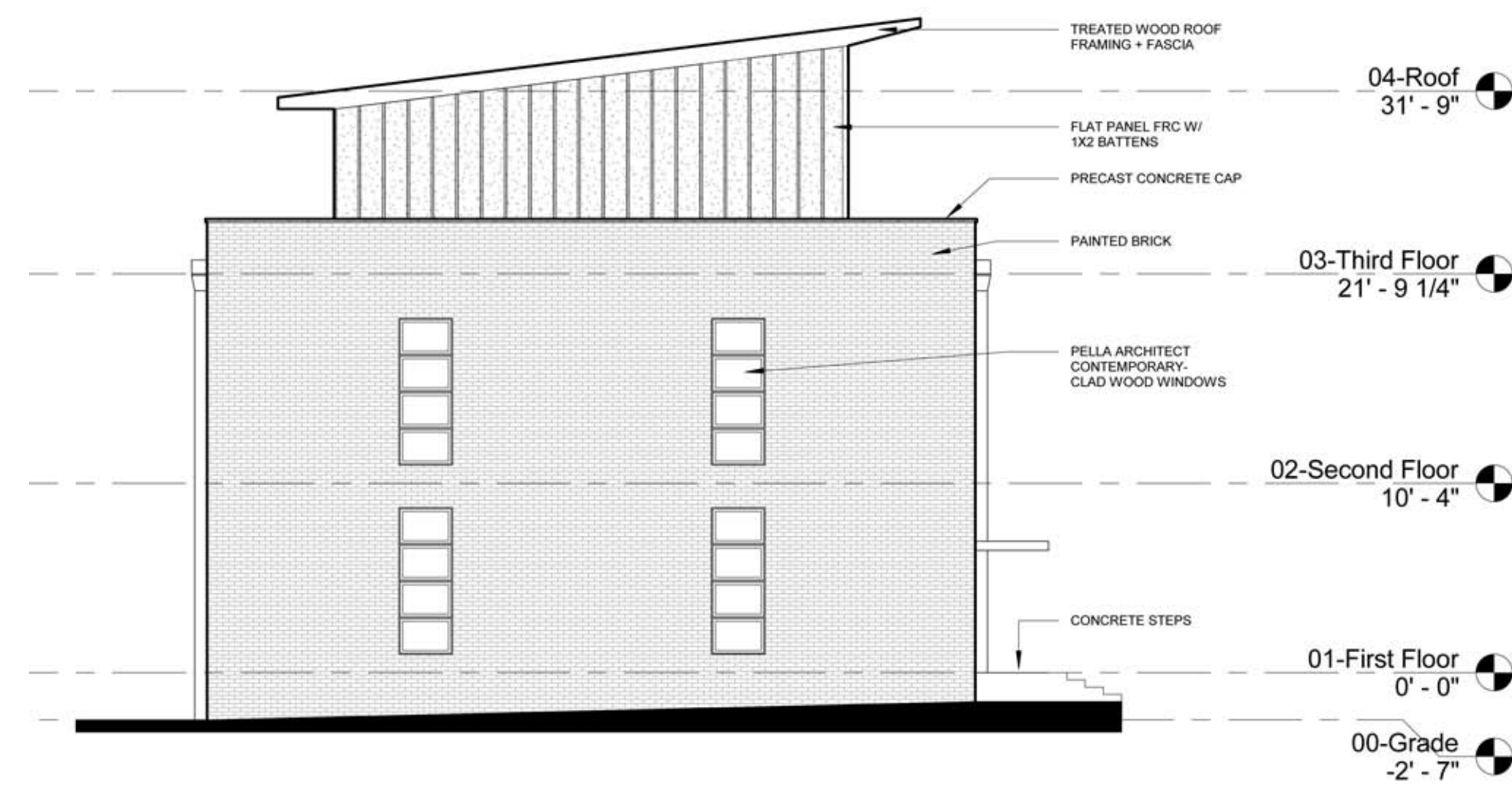
INTERIOR UNIT PARKING COURT ELEVATION (east)

SCALE: 1/8" = 1'-0"



INTERIOR UNIT GARDEN ELEVATION (west)

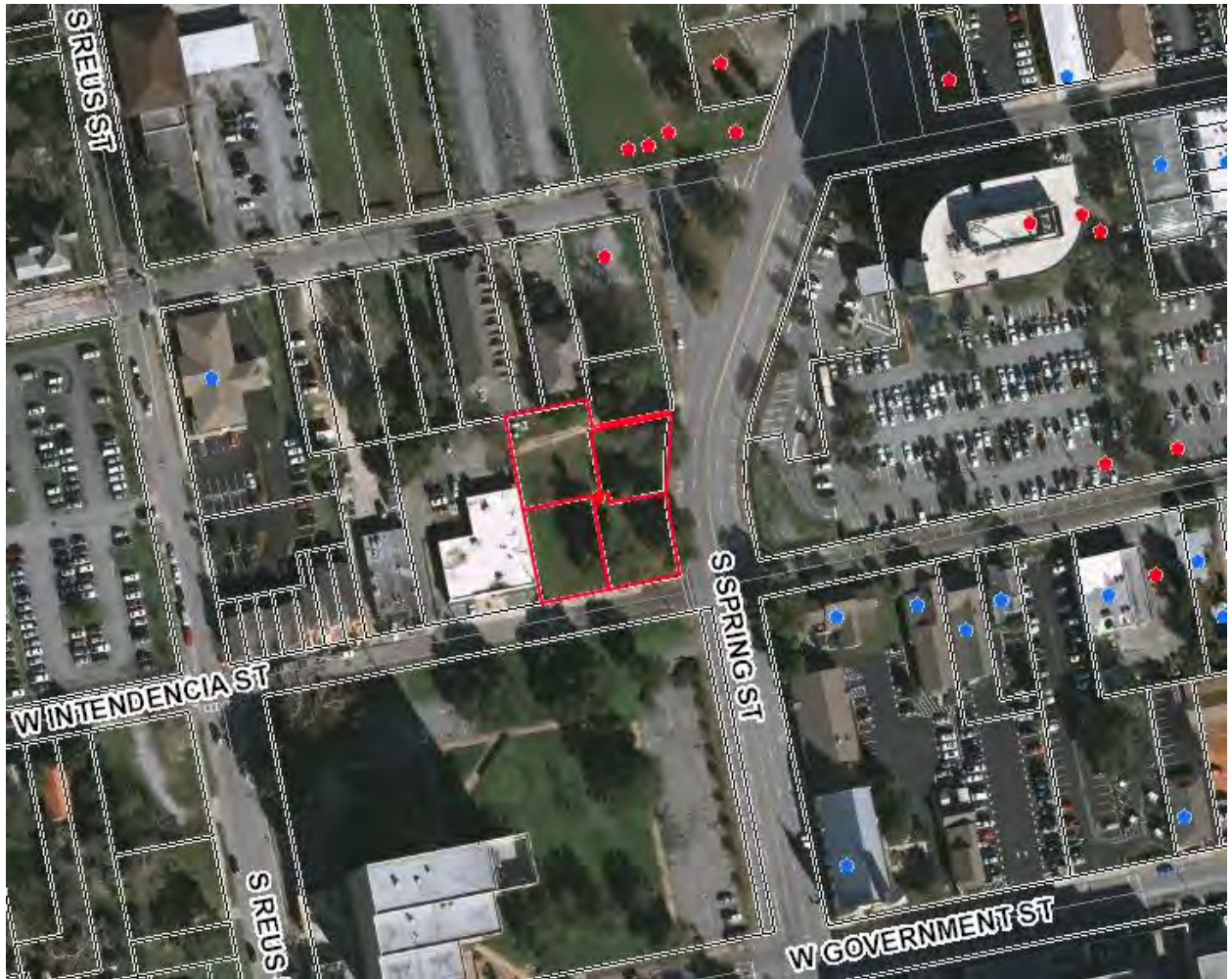
SCALE: 1/8" = 1'-0"



TYPICAL INTERIOR UNIT END ELEVATION (south)

SCALE: 1/8" = 1'-0"

100 BLK S. Spring Street





**Architectural Review Board Application
Full Board Review**

Application Date: 31 January 2020

Project Address: Aguada Creek Townhomes, 111 S. Spring Street. Pensacola FL 32502

Applicant: Rimmer Covington

Applicant's Address: 1215 E. Beach Blvd, Pass Christian MS, 39571

Email: rimmer@shaggys.biz **Phone:** 601.951.3981

Property Owner: Ahi Esta Inc.

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

14 unit townhome development, 3 stories, wood frame construction, brick and Hardi Board exterior cladding.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

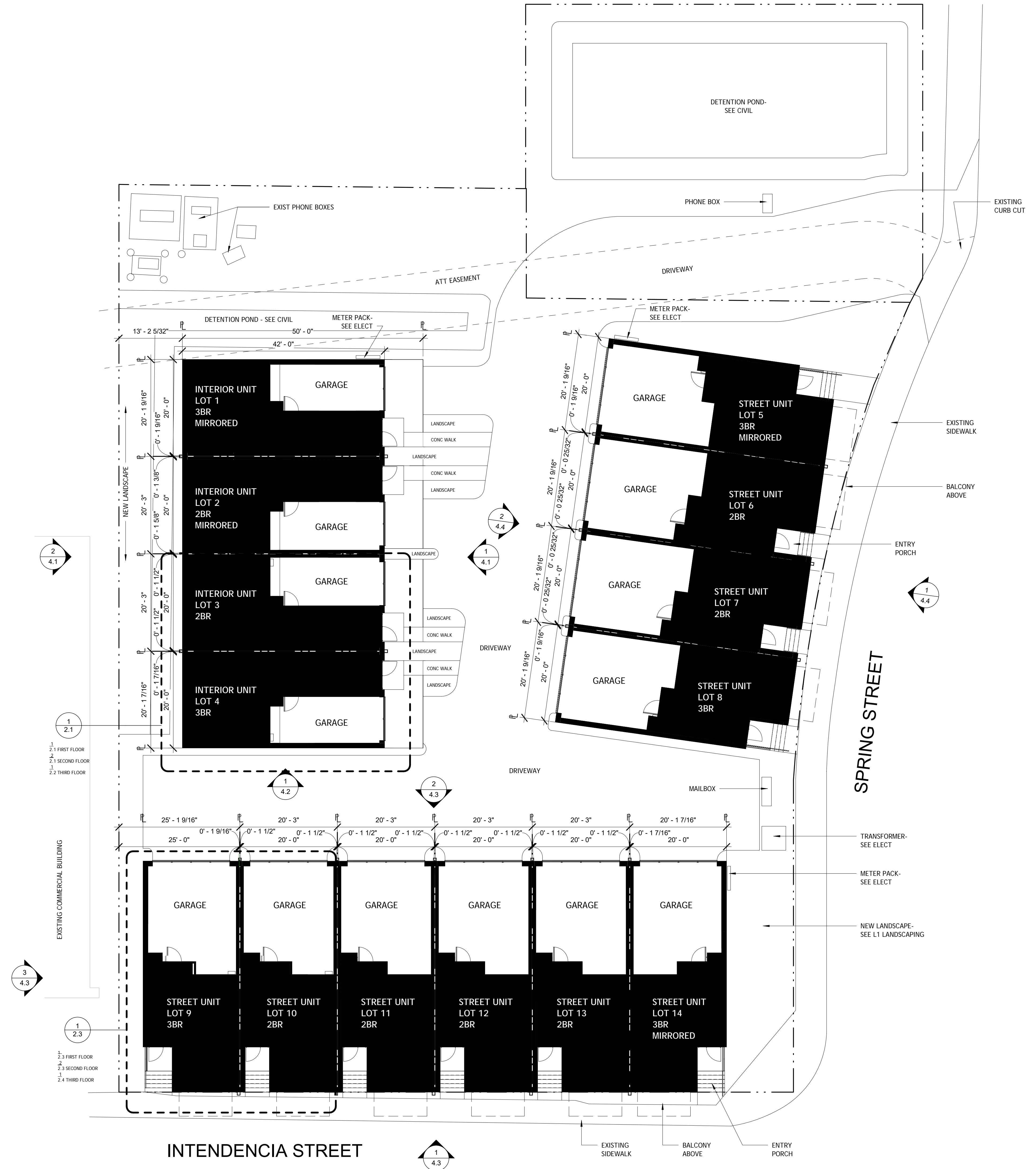
Applicant Signature

31 Jan 2020

Date

*John Anderson Architect
unbridged Architecture
for Mr. Rimmer Covington*

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



1 00-FIRST FLOOR SITE
4.1 | 3/32" = 1'-0"

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01
PROJECT ISSUE DATE | 22 JUNE 2018
CONSTRUCTION DOCUMENTS



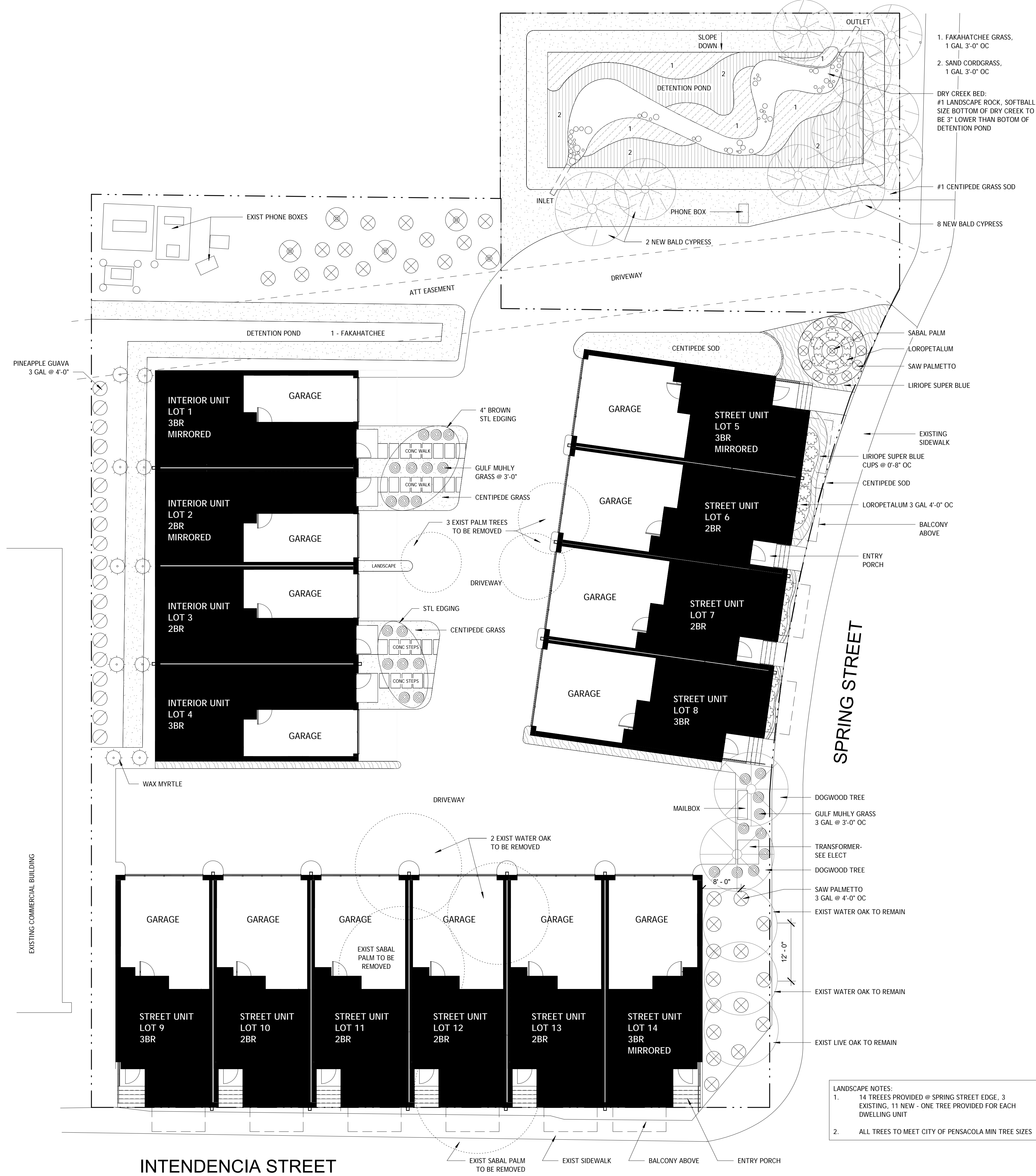
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The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS
1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

REVISION 2
3 APRIL 2019
BUILDING DEPARTMENT COMMENTS

SITE PLAN



- CENTIPECTE GRASS SOD
- LIRIOPE SUPER BLUE
- FAKAHATCHEE GRASS (1)
- SAND CORDGRASS (2)
- SABAL PALM
- MEXICAN FAN PALM
- SAW PALMETTO
- LOROPETALUM
- GULF MUHLY GRASS
- WAX MYRTLE
- PINEAPPLE GUAVA
- DOGWOOD TREE
- BALD CYPRESS TREE

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01
PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION DOCUMENTS



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REVISIONS

- 1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS
- 2 - 25 MAR 19 - LANDSCAPE REVISIONS

LANDSCAPE SITE PLAN



1 SPRING STREET ELEVATION
1/4" = 1'-0"



2 SPRING PARKING COURT ELEVATION
1/4" = 1'-0"

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01

PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION DOCUMENTS



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REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

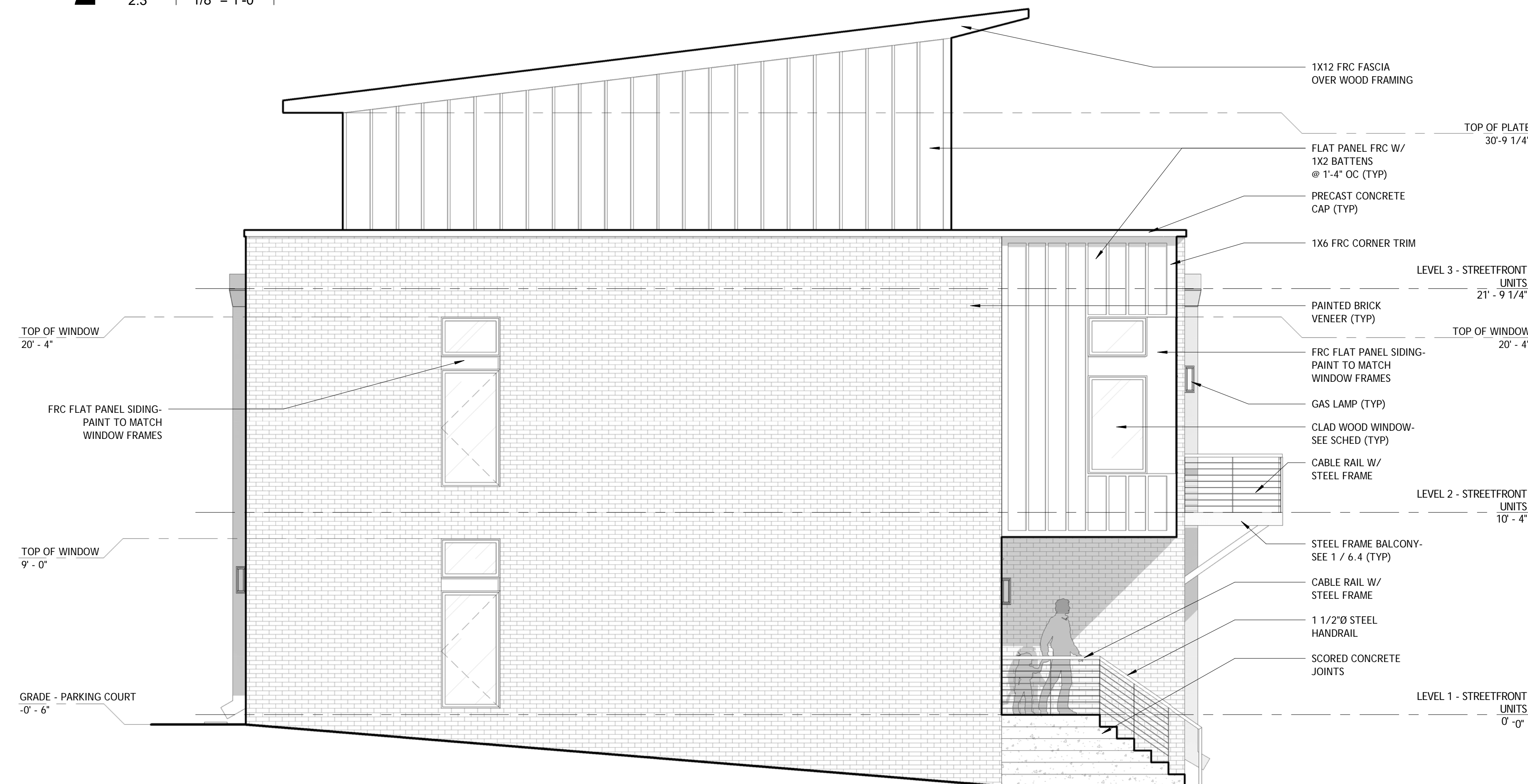
EXTERIOR ELEVATIONS



1 INTENDENCIA STREET ELEVATION
2.3 | 1/8" = 1'-0" |



2 INTENDENCIA PARKING COURT ELEVATION
2.3 | 1/8" = 1'-0" |



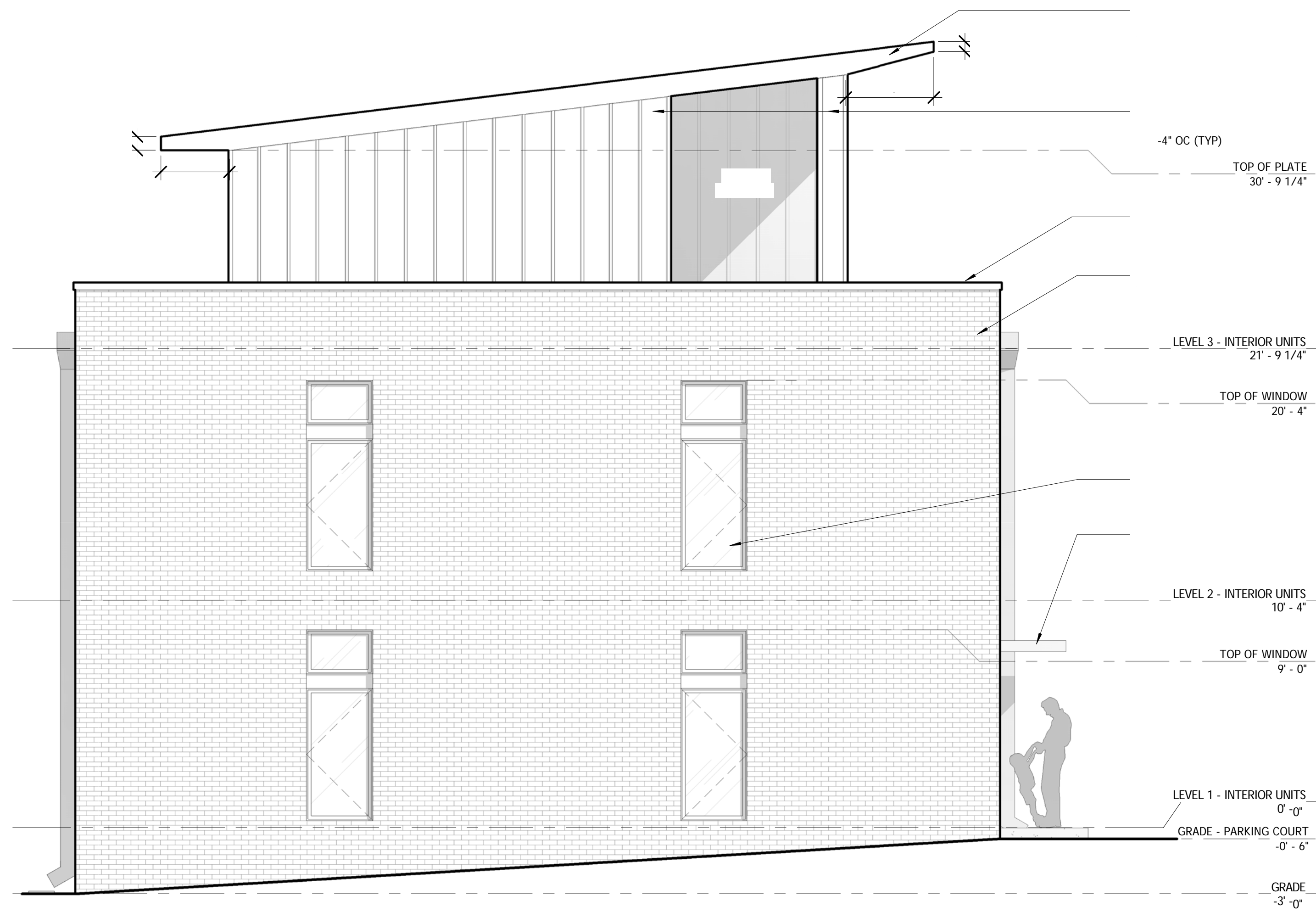
3 TYPICAL END ELEVATION
2.3 | 1/4" = 1'-0" |



The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS



1 TYPICAL INTERIOR UNIT END ELEVATION - SOUTH (NORTH SIM)
1/4" = 1'-0"

AGUADA CREEK TOWNHOMES

111 S SPRING STREET
PENSACOLA, FL 32502

UA PROJECT NO. | 18.101.01

PROJECT ISSUE DATE | 22 JUNE 2018

CONSTRUCTION DOCUMENTS



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REVISIONS

- 1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS



1 INTERIOR UNIT PARKING COURT ELEVATION - EAST
 1/4" = 1'-0"



2 INTERIOR UNIT GARDEN ELEVATION - WEST
 1/4" = 1'-0"



The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

- 1 - 1 OCT 18 - BUILDING DEPARTMENT COMMENTS

EXTERIOR ELEVATIONS

SPRING STREET AT INTENDENCIA STREET PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

30 JANUARY 2020

MATERIALS SELECTIONS



MAILBOX - CUSTOMIZE WITH STREET ADDRESS



- WINDOW, DOOR, DOWNSPOUT AND RAIL PAINT COLOR
- FRC PAINT COLOR
- BRICK PAINT COLOR

PAINT COLORS



WOOD STAIN COLOR - TREATED PINE STAINED TO MATCH MEDIUM LIGHT OAK



METAL ROOF FINISH
NATURAL GALVALUME

SPRING STREET AT INTENDENCIA STREET PENSACOLA, FLORIDA

FINAL ARCHITECTURAL REVIEW BOARD SUBMITTAL

30 JANUARY 2020

MATERIALS SELECTIONS



WINDOW TYPE - WINDSOR PINNACLE SERIES - GLASS TO BE INSULATING, LOW-E, CLEAR, FRAME COLOR BLACK OR SABLE



GARAGE DOORS - LIGHT GRAY FRAME, DARK GRAY PANELS, RECTANGULAR GLASS PANELS AT TOP, RAYNOR ASPEN SERIES



Hi Greg, sorry I forgot to include these with the original package. The wall mounted gas lamp will be the Flambeaux Lakeview, 16" high x approx. 7" wide x approx. 7" deep. See attached picture. The finish will be aged copper as seen in the Manhattan photo attached. Dark, almost black color to match windows and other metal elements.

Web page for the fixture below:

<https://www.flambeauxlighting.com/product/lakeview-bracket-mount/>

John M. Anderson AIA, LEED-AP





Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: February 12, 2020

SUBJECT: **New Business - Item 15
1217 E. Mallory Street 1/2
R-1AA / New City Tract
Historic Structures Demolition Review**

BACKGROUND

Per the City of Pensacola's Historic Building Demolition Review Ordinance (Sec. 12-12-5(E)), the above structure has been found to be potentially significant in regards to their architecture and/or its association with persons significant to local, regional or national history. Per the ordinance, the Board is tasked with determining whether or not these structures meet criteria for listing in the National Register of Historic Places. If eligible and deemed historically significant by those criteria, the Board must determine if the buildings are subject to a demolition delay of no more than 60 days. To determine that a historically significant building is subject to the demolition delay, the ARB must find that, in the public interest, it is preferable that the building(s) be preserved or rehabilitated rather than demolished.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-5(E), *City of Pensacola's Historic Building Demolition Review*



**Architectural Review Board Application
Abbreviated Review for Historic Structure
Demolition**

Application Date: 1.24.2020

Project Address: 1217 E MALLORY STREET 1/2

Applicant: MORETTE COMPANY

Applicant's Address: _____

Email: _____ Phone: 850.432.4084

Property Owner: DIOCESE OF PENSACOLA / TALLAHASSEE
(If different from Applicant)

(Office Use)

Construction year 1903 per FMSF.

Construction Year: 1955, EFFECTIVE YEAR 1965

Current Use: USED BY CATHEDRAL OF THE SACRED HEART

Ownership History: DEED RESEARCH BY INVESTIGATIONS AS OF 1.30.20
T BY UWFHT

Meets NRHP criteria: POSSIBLY - SEE UWFHT'S COMMENTS BELOW 2.3.20
OR BASED ON CRITERIA 2 (SIG PERSONS) + 3 (ARCHITECTURE)

Notes: MUST BE REVIEWED BY FULL BOARD PER
SEC. 12-12-5(E)(5)(b) PARAGRAPH 2 - 2.3.20

Historical significance determination based on National Register of Historic Places criteria (see Sec. 12-12-5(E)(5)(c)). If applicable, provide photographs of all elevations and a completed FMSF Historical Structures Form.

This request was reviewed by the following member of Planning Staff.

[Signature]
ARB Secretary Signature

1.30.2020
Date

This request was reviewed by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

[Signature] 1-30-2020
UWFHT Representative Signature / Date

Comments: Architecture and connection
to significant person. Condition of house
is good and the property should be considered
for salvage or moved. send to ARB

ES 873

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management

FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM 802 ==
1009 ==

DAI 1-1AAA Rev 3-79

Site No. 9025-001-204

Site Name 1217 E. Mallory St. 830 == Survey Date 8011 820 ==

Address of Site: 1217 E. Mallory St. 905 ==

Instruction for locating On S side E Mallory between N 12th Ave

and N 13th Ave 813 ==

Location: New City Tract 204 Lts 1-6 & w 10' 7 868 ==

subdivision name block no. lot no.

County: Escambia 808 ==

Owner of Site: Name: Church Diocese of Pensacola, Tallahassee ;

Address: (Rene H. Gracida, Bishop) PO Box 2248

Pensacola, Fl. 32503 902 ==

Type of Ownership private 848 == Recording Date 8011 632 ==

Recorder:

Name & Title: Hawley, Nancy; Wells, Merrily ;

Address: HPPB

Condition of Site: Integrity of Site: Original Use residence 838 ==

Check One	Check One or More	Present Use Church diocese 850 ==
Excellent 863 ==	<input checked="" type="checkbox"/> Altered 858 ==	Dates: Beginning ca 1903 844 ==
Good 863 ==	<input type="checkbox"/> Unaltered 858 ==	Culture/Phase American 840 ==
<input checked="" type="checkbox"/> Fair 863 ==	<input checked="" type="checkbox"/> Original Site 858 ==	Period 20th Century 845 ==
Deteriorated 863 ==	<input type="checkbox"/> Restored () (Date: X) 858 ==	
	<input type="checkbox"/> Moved () (Date: X) 858 ==	

NR Classification Category: Building 916 ==

Threats to Site:

Check One or More

<input checked="" type="checkbox"/> Flood (X) 878 ==	<input type="checkbox"/> Transportation (X) 878 ==
<input checked="" type="checkbox"/> Development (X) 878 ==	<input type="checkbox"/> Fill (X) 878 ==
<input checked="" type="checkbox"/> Deterioration (X) 878 ==	<input type="checkbox"/> Dredge (X) 878 ==
<input checked="" type="checkbox"/> Borrowing (X) 878 ==	
Other (See Remarks Below): 878 ==	

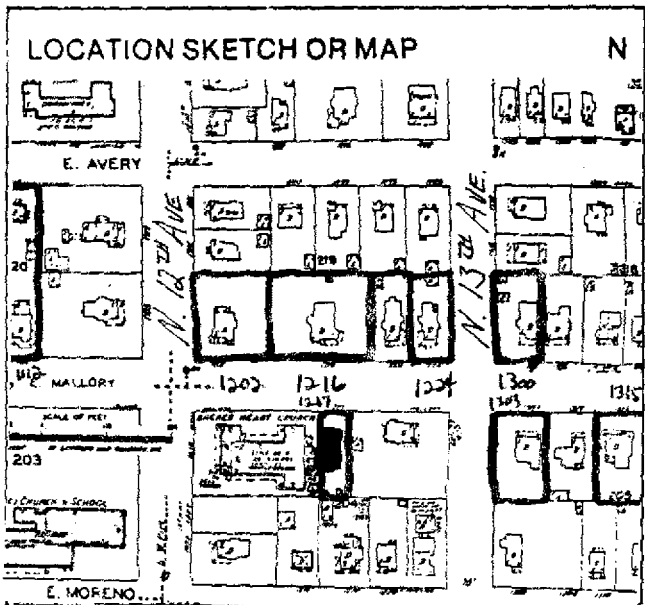
Areas of Significance: Architecture 910 ==

Significance: Built in 1903 by Pensacola contractor A.V. Clubbs, this house was owned by the Born family from 1903 to 1952, when it was purchased by the Catholic Church.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

911 ==

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame Vernacular 964 ==
 PLAN TYPE rectangle 966 ==
 EXTERIOR FABRIC(S) Wood: novelty siding 854 ==
 STRUCTURAL SYSTEM(S) wood frame 856 ==
 PORCHES N/ 1-story veranda, 5-bay, curved roof 942 ==
 FOUNDATION: pier: brick 942 ==
 ROOF TYPE: gable 942 ==
 SECONDARY ROOF STRUCTURE(S): roof dormer 942 ==
 CHIMNEY LOCATION: 2 center ridge; 1 east lateral slope 942 ==
 WINDOW TYPE: casement single light; DHS, 1/1, wood 942 ==
 CHIMNEY: Brick 882 ==
 ROOF SURFACING: composition shingle: butt 882 ==
 ORNAMENT EXTERIOR: - 882 ==
 NO. OF CHIMNEYS 3 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 1 954 ==
 Map Reference (Incl. scale & date) USGS 7.5 min, Pensacola, 1970 809 ==
 Latitude and Longitude: " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
2S	32 W	22

UTM Coordinates: 812 ==
 Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P. 80.19-G.5 860 ==

Contact Print

1217 E. Mallory Street – ¼

Front elevation, facing south



Front elevation, facing south



Front elevation, facing southeast



Front porch area, facing up and south



Front porch / entrance area, facing south



Front porch, facing west



Front porch, facing east



Front porch window



Northeast corner of house, facing southwest



East side gable



East side of house, facing southwest



South portion of east side, facing southwest



East elevation, facing northwest



Rear of structure, facing north



Rear of structure, facing northwest



Rear porch, facing west



Rear porch, facing west



South portion of west side, facing northeast



Southwest corner of house, facing northeast



North portion of west side, facing southeast

