



City of Pensacola

Planning Board

Agenda

Tuesday, September 14, 2021, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

QUORUM / CALL TO ORDER

APPROVAL OF MEETING MINUTES

1. [21-00750](#) MINUTES FOR THE AUGUST 10, 2021 PLANNING BOARD MEETING

Attachments: [Planning Board Minutes August 10 2021](#)

REQUESTS

2. [21-00789](#) REPEAL OF SECTION 12-3-65 - PARKING FOR CERTAIN USES PROHIBITED - OF THE CODE OF THE CITY OF PENSACOLA

Attachments: [Sec. 12-3-65 -- Parking for certain uses prohibited -- Proposed Amer](#)

3. [21-00742](#) REQUEST FOR FUTURE LAND USE AND ZONING MAP AMENDMENT FOR 1717 N. PALAFOX STREET

Attachments: [Rezoning and FLUM Application 1717 N. Palafox Street](#)
[Review Comments 1717 N Palafox Street](#)
[Current FLU](#)
[Current Zoning](#)
[Proposed FLU](#)
[Proposed Zoning](#)

4. [21-00743](#) REQUEST FOR NON-RESIDENTIAL PARKING IN A RESIDENTIAL ZONE - 518 WYNNEHURST STREET

Attachments: [Nonresidential Parking in a Residential Zone Application](#)
[Section 12-3-93](#)

5. [21-00747](#) REQUEST FOR AESTHETIC REVIEW - 900 S. PALAFOX ST. - PLAZA DE LUNA REPAIRS

Attachments: [Plaza De Luna Repairs Application](#)
[900 S. Palafox St. Aesthetic Review](#)

6. [21-00749](#) AMENDMENT TO THE LAND DEVELOPMENT CODE (LDC) - TABLE 12-3.9 - REGULATIONS FOR THE NORTH HILL PRESERVATION ZONING DISTRICTS - PR-2 MINIMUM LOT SIZE REQUIREMENTS

Attachments: [Sec. 12 3 1. Establishment of future land use and zoning di](#)
[PR-2 Table 12-3.9 Building Standards](#)
[NHPD Parcels Zoning](#)
[NHPD Parcels](#)

OPEN FORUM

DISCUSSION

ADJOURNMENT

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00750

Planning Board

9/14/2021

SUBJECT:

Minutes for the August 10, 2021 Planning Board Meeting



MINUTES OF THE PLANNING BOARD
August 10, 2021

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Larson, Board Member Grundhoefer, Board Member Powell, Board Member Van Hoose, Board Member Villegas

MEMBERS ABSENT: Board Member Sampson

STAFF PRESENT: Assistant Planning Director Cannon, Historic Preservation Planner Harding, Assistant City Clerk Tice, Assistant City Attorney Lindsay, Senior Planner Statler, Capital Improvements Forte, Network Engineer Johnston, Help Desk Technician Russo

STAFF VIRTUAL: Planning Director Morris

OTHERS PRESENT: Jack & Cheri Sparks, Michelle MacNeil, Laurie Flynn Tankersley, Dickie & Jo Heckler, Clint Geci, Kevin Hagen

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from July 13, 2021.
- **New Business:**
- 525 Aragon Street – Aesthetic Review – Gateway Review District
- Request for License to Use Right-of-Way - 1154 North 12th Avenue
- Request to Recommend a New Zoning District and Future Land Use Category for the Voluntary Annexation of One (1) Parcel Owned by AMR at Pensacola, Inc.
- Amendment to the Land Development Code (LDC) Allowing Density Transfer
- Open Forum
- Discussion
- Adjournment

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:15 pm with a quorum present. Assistant City Clerk Tice swore in Board members Van Hoose, Villegas, Ritz, Larson and Grundhoefer. Board Member Larson nominated Board Member Ritz for Chairperson, seconded by Board Member Grundhoefer, and it carried 5 to 0; Board Member Grundhoefer nominated Board Member Larson for Vice Chairperson, seconded by Board Member Van Hoose, and it carried 5 to 0.

Chairperson Ritz explained the procedures of the Board meeting including requirements for audience participation.

Approval of Meeting Minutes - Board Member Larson made a motion to approve the July 13, 2021 minutes, seconded by Board Member Grundhoefer, and it carried 5 to 0.

New Business -

3. 525 Aragon Street – Aesthetic Review – Gateway Review District

Michelle MacNeil, Architect, is requesting approval for a new 2-story single-family residence with a detached garage and courtyard located at 525 Aragon Street. The structure provides a front and rear balcony as well as a pergola and patio/pool area between the residence and the detached garage. The Aragon Architectural Review Board approval letter was furnished to the Board. Staff clarified that Aragon was located within the Gateway Review District (GRD) and therefore reviewed by this Board.

Ms. MacNeil presented to the Board and explained this was a side-yard house in Aragon, and the client was hoping to build a principal building toward the front of the site and an outbuilding in the rear. Chairperson Ritz noted the comments from Mr. Crawford supporting the project and had nothing to add except that it was an aesthetically pleasing house. **Board Member Grundhoefer agreed and made a motion to approve, seconded by Board Member Larson, and it carried 5 to 0.**

4. Request for License to Use Right-of-Way – 1154 North 12th Avenue

(Board Member Powell was sworn in and joined the Board.)

Dickie Heckler is requesting approval for a License to Use (LTU) for eleven additional parking spaces within the Right-of-Way at 1154 North 12th Avenue. The additional parking being requested is in conjunction with a proposed new restaurant and includes an easement for a future City sidewalk.

Chairperson Ritz clarified the LTU would actually be on Brainerd Street. Mr. Geci presented to the Board and stated the previous use was a salon, but the current owner was converting the site to a restaurant which triggered an LTU for parking. They proposed gravel parking and addressed concerns of the Engineering Department. Chairperson Ritz explained that the applicants were requesting to use the LTU exclusively for their benefit to say they were their parking spaces, and they could control them, however, the City would still own the property. He pointed out other LTUs within that area and he had no issues with the LTU on Brainerd. He explained the Board's purview was to weigh the merits of an LTU on this parcel and not get in to the details of their site plans or parking count for this project and this meeting. He explained the City had been hesitant to have any LTU on the 12th Avenue thoroughfare.

Board Member Van Hoose verified that the LTU would change the parking lot from grass to gravel with wheel stops. Mr. Geci advised the change was to make it a more permanent parking area. Chairperson Ritz advised this item was in a C-1 zone as opposed to residential. Mr. Geci stated anything new that they proposed would require a permanent surface, and it was requested to be gravel. He stated if they could keep it as grass, they would entertain that, but Engineering had requested it be gravel. Chairperson Ritz stated anything allowed by the City for that size parking lot would be allowed since the Board could not change the LDC for parking lot design. Staff advised the Board was giving the applicant a recommendation for permission to go forward and apply to use this land since

it was City right-of-way. A recommendation could include working with Engineering for some alternative other than gravel alone. Assistant City Attorney Lindsay stated the Board's recommendations were welcome and could be considered. Staff advised Section 12.4.3(2)(b) stated parking lots with ten or less parking spaces may be surfaced with alternative surface materials which included crushed stone, gravel, or other suitable materials. Chairperson Ritz advised the Board's recommendation would be forwarded to Council to accept, reject, or modify. Mr. Geci indicated the Engineering comments involved delineating the parking slots with treated timbers. Staff advised Engineering was making sure the easement was properly recorded for pedestrian ingress, egress and conveyed to the City – there was an easement on this in case the City desired to have a sidewalk in the future. Board Member Villegas did not have a problem with the gravel but was concerned with extra gravel and areas having water runoff. Chairperson Ritz stated when going for construction permits, that issue would be reviewed by City staff since this Board did not review stormwater issues. Mr. Geci explained the stormwater threshold had been reviewed, and they were below the threshold for impervious surface.

Ms. Sparks, owner of the property next door, advised her building was formerly doctors' offices. She now has five clinicians and mental health counselors who see clients in this building. She was concerned when the effect of COVID goes away, crowded parking will return with the new project becoming a restaurant. She asked if she was allowed designated parking in front of her business and how many tables and staff would there be in the new business. Chairperson Ritz offered that the parking along 12th Avenue does not have LTUs, and she could not place signs along 12th Avenue. The number of tables in the restaurant belonged in the permitting process in determining tables to parking spaces. The Board's purview was to determine if the LTU was appropriate for Brainerd Street. Since her business had no parking, she relied on City right-of-way parking, and it was in a neighborhood where that occurred frequently. Staff clarified that since the parking spaces on 12th Avenue were adjacent to the applicants property, they would be allowed to count those spaces toward the required parking requirement, and the LTU was necessary to meet the LDC parking requirements. The LTU spaces could be controlled, but they would not be able to claim the 12th Avenue spaces for their use only.

Mr. Sparks asked about speaking to this item after the meeting, and Chairperson Ritz stated the only time this Board would discuss this item was during this meeting. The Board would make a recommendation, and the item would proceed to Council for consideration.

Mr. Heckler, co-owner of the 1154 property, stated the City indicated they had to pave, rock, or shell the LTU parking area as well as insure it; they were happy to comply and appreciated the opportunity to be in East Hill.

Board Member Grundhoefer made a motion to approve the LTU with the recommendation to Council that they work with City Engineering to allow for grass parking in lieu of gravel. Chairperson Ritz clarified the motion was to approve the LTU with the direction to ask the City Engineering staff to look into allowing grass in place of the gravel parking. Staff advised the previously stated Section 12.4.3(2)(b) referred to parking lots. Chairperson Ritz indicated the way the City applied this section, if the LTU were approved, it would become a parking lot. **The motion was seconded by Board Member Powell and carried 6 to 0.**

5. Request to Recommend a New Zoning District and Future Land Use Category for the Voluntary Annexation of One (1) Parcel owned by AMR at Pensacola, Inc.

AMR at Pensacola, Inc. officially requested Annexation into the City of Pensacola on June 1, 2021. The requested parcel is located on the southeast corner of the intersection of West Blount Street with North Pace Boulevard which is in an unincorporated portion of Escambia County. The proposed area for annexation is on the west border of the City and is referred to as “AMR Annexation Area.”

The AMR Annexation Area is contiguous to the City and encompasses approximately forty-four-hundredths (0.44) acres. Staff advised the request was simultaneously going before Council for 2nd reading, and the zoning and future land use goal was to be as compatible with the surrounding area as possible (the City area). R-2 zoning regulations Section 12-3-6 – Residential/office land use district, were read to the Board.

Chairperson Ritz stated he believed the intent was to build tiny homes for affordable housing on this site. It was determined this item would go as a recommendation to Council.

Mr. Hagen, President of the Board of Directors for AMR at Pensacola, Inc., advised they were gifted this property from Baptist Hospital, and their intent was to build eight (8) tiny homes. The R-2 designation made sense and worked with their plans. He advised with the annexation zoning established, they would be ready to proceed after the 2nd reading from Council. Staff confirmed the Board was solely approving the zoning district, and annexation was proceeding in Council; after annexation was complete and zoning in place, the applicants were set to move forward with their site planning. The Board’s focus was on the compatibility of the surrounding zoning which was R-2 and office. Planning Director Morris clarified that the City’s LDC already allows for tiny homes not by a specific reference but through our cumulative zoning and density allowances. Inspections submitted the appendix to the Building Code and Council approved it. That allows for tiny homes under the Building Code. State Statute requires that we bring annexed property under the City zoning or future land use districts.

Board Member Van Hoose wanted to make clear that the Board was voting to determine zoning for land currently in the county. Assistant City Attorney Lindsay advised the Board was making a recommendation of a zoning designation for land that is to be annexed; Council would make the final determination.

Board Member Grundhoefer recommended R-2 as appropriate zoning, seconded by Board Member Larson, and it carried 6 to 0.

6. Amendment to the Land Development Code (LDC) – Allowing Density Transfer

Staff stated the Board approved Amendments to the Comprehensive Plan to provide for density transfers between parcels as an additional means to provide flexibility within areas where redevelopment and/or affordable housing was desirable. Per Objective FLU 1.8 and 1.8.3, density transfers shall be a direct transfer of unutilized density from a donor site to a receiving site, subject to the City’s land development and density transfer regulations. A draft of what was approved in July 2019 was given to the Board. When changes are made to the Comprehensive Plan which sets the vision for the City, those changes are reviewed by the Department of Economic Opportunity (DEO) for the State. At that time, the DEO had asked for more specifics in the Comprehensive Plan amendments; the LDC amendments mirror what was approved in the Comprehensive Plan. In order to implement the FLU in the Comprehensive Plan, you must also update the LDC. Chairperson Ritz explained that a landowner might have a parcel that might be undesirable, and they want to take the available residential units on that property and transfer them to a piece of property which may be more desirable – the donor piece gives

up its units to the receiver piece. The Board had approved the Comprehensive Plan language and was now including that language into the LDC to become codified. Board Member Grundhoefer questioned the recent Density Bonus only going before the Building and Inspections Department. Assistant Planning Director Cannon explained that was because of the green building design which was approved by that department. The language states that “all density bonuses and density transfers shall be approved by the City Planning Board.” Appeals would proceed to the Council. Green Building Design proceeds to the Building and Inspections Department. Board Member Villegas inquired about the process for the sites to transfer. Staff advised it there were 35 dwelling units per acre, you can get a 10% density transfer which would add 3.5 more units if you demonstrate you have superior site design. The goal is to incentivize someone to come forward with a high-quality product. It would also promote a more compact and better design. Chairperson Ritz indicated the City was primarily built out, but there might be places people felt were underutilized and should have that density elsewhere. He explained that Council has asked that the Board itemize the rationale for approval or disapproval of these transfers. This applies to Medium Density Residential and greater and does not take away from the Low Density Residential. Board Member Grundhoefer pointed out the language stated approved for superior buildings and site design and preservation of archaeology and environmentally sensitive lands – listing all of the above criteria.

Vice Chairperson Larson made a motion to approve, second by Board Member Grundhoefer, and it carried 6 to 0.

Open Forum -

Discussion – Vice Chairperson Larson welcomed the new members and was glad to see such a diverse group serving on the Board.

Adjournment - With no further business, Chairperson Ritz thanked the Board and adjourned the meeting at 3:20 pm.

Respectfully Submitted,

Cynthia Cannon, AICP
Assistant Planning Director
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00789

Planning Board

9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/10/2021

SUBJECT:

REPEAL OF SECTION 12-3-65 - PARKING FOR CERTAIN USES PROHIBITED - OF THE CODE OF THE CITY OF PENSACOLA

BACKGROUND:

On September 9, 2021 City Council referred to the Planning Board a proposed repeal of Section 12-3-65 - Parking for certain uses prohibited - of the Land Development Code. Currently within City code, there are two (2) duplicative sections; 11-2-24 and 12-3-65 - Parking for certain uses prohibited.

At the same meeting, City Council approved an ordinance on first reading that, upon adoption, will amend Section 11-2-24 of the City Code to add clarity to the language regulating "parking for certain uses". As the temporary parking of vehicles, and associated mobile activities is not related to zoning and is not the actual development of land, Chapter 11 "Traffic and Vehicles" is the more appropriate location for these requirements. In order to remove the duplicative language, and avoid creating conflict between the two Code sections, it is necessary to repeal Section 12-3-65.

Sec. 12-3-65. Parking for certain uses prohibited.

No person shall park a vehicle upon any street, right-of-way, vacant lot or parking lot for the principal purpose of:

- (1) ~~Displaying such vehicle for sale;~~
- (2) ~~Washing, greasing or repairing such vehicle, except repairs necessitated by an emergency;~~
- (3) ~~Displaying advertising;~~
- (4) ~~Selling merchandise from such vehicle except in a duly established marketplace or when so authorized or licensed under the ordinances of this municipality; or~~
- (5) ~~Storage for more than 24 hours.~~

(Code 1986, § 12-2-42; Ord. No. 9-96, § 11, 1-25-1996; Ord. No. 04-06, § 1, 2-9-2006)



Memorandum

File #: 21-00742

Planning Board

9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/7/2021

SUBJECT:

Request for Future Land Use and Zoning Map Amendment for 1717 N. Palafox Street

BACKGROUND:

Donald and Linda Lindsey, Trustees, are requesting a Future Land Use Map (FLUM) and Zoning Map Amendment for the property located at 1717 N. Palafox Street and identified by parcel number 00-0S-00-9010-001-101. The property is currently zoned R-1AAA, Low-Density Residential Zoning District and the existing Future Land Use (FLU) designation is LDR, Low Density Residential. The applicant is proposing to amend the zoning district to R-1A, Medium Density Zoning District and the FLU to MDR, Medium Density Residential.

Existing Zoning	Proposed Zoning	Existing FLU	Proposed FLU	Total Acreage
R-1AAA	R-1A	LDR	MDR	.74

- R-1AAA (existing zoning) The low density residential land use district is established for the purpose of providing and preserving areas of single-family, low intensity development at a maximum density of 4.8 dwelling units per acre in areas deemed suitable because of compatibility with existing development and/or the environmental character of the areas.
- R-1A (proposed zoning). The medium-density residential land use district is established for the purpose of providing a mixture of one- and two-family dwellings with a maximum density of 17.4 dwelling units per acre. Recognizing that, for the most part, these zoning districts are located in older areas of the city, the zoning regulations are intended to promote infill development which is in character with the density, intensity and scale of the existing neighborhoods.
- LDR (existing FLU) 5 or fewer residential dwelling units per acre.

- MDR (proposed FLU) 18 or fewer residential dwelling units per acre.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



REZONING

Please check application type:

- | | | |
|--|---|---|
| <input type="checkbox"/> Conventional Rezoning
Application Fee: \$2,500.00
Rehearing/Rescheduling (Planning Board): \$250.00
Rehearing/Rescheduling (City Council): \$750.00 | <input type="checkbox"/> Comprehensive Plan / FLUM Amendment
(< 10 acres)
\$3,500.00
\$250.00
\$750.00 | <input type="checkbox"/> (≥ 10 acres)
\$3,500.00
\$250.00
\$1,000.00 |
|--|---|---|

Applicant Information:

Name: Olde City Developers, LLC Date: August 9, 2021

Address: 212 West Intendencia St, Pensacola, FL 32502

Phone: 850-438-9647 Fax: 850-433-5409 Email: cliberis@liberislaw.com

Property Information:

Owner Name: Donald R. & Linda B. Lindsey, Trustees Phone: 850 712-7000

Location/Address: Westerly portion of 1717 North Palafox St. See (survey)

Parcel ID: _____ - _____ - _____ - _____ - _____ - _____ Acres/Square Feet: _____

Zoning Classification: Existing R-1AAA Proposed R-1A

Future Land Use Classification: Existing LDR Proposed MDR

Reason Rezoning Requested: _____

Owner has city plat maps and deep for purchase that shows and describes the property as being made up of eight lots.
Owner wishes to construct eight single family homes, one on each lot.

- Required Attachments: (A) Full legal description of property (from deed or survey)
(B) General location map with property to be rezoned indicated thereon

The above information, together with all other answers and information provided by me (us) as petitioner (s)/applicant (s) in the subject application, and all other attachments thereto, is accurate and complete to the best of my (our) knowledge and belief as of this _____ day of _____, 20____

[Signature]
Applicant Signature

DocuSigned by: Linda B. Lindsey
DocuSigned by: _____
Owner Signature... CB078C0176024AA...

Applicant Name (Print)

Donald R. Lindsey & Linda B. Lindsey
Owner Name (Print)

Sworn to and subscribed to before me this _____ day of _____, 20____

Name: _____ Commission Expires: _____

<u>FOR OFFICE USE ONLY</u>			
Council District: _____	Date Received: _____	Case Number: _____	
Date Postcards mailed: _____	Planning Board Date: _____	Recommendation: _____	
Committee Date: _____	Council Date: _____	Council Action: _____	
Second Reading: _____	Ordinance Number: _____		

PROJECT OVERVIEW

This application seeks to rezone and change the Future Land Use on seven (8) lots located at the northeast corner of Mallory and Baylen Streets. The eight lots were the combination of three separate purchases. The first purchase consisted of lot 1 thru 5 and lot 30 as depicted on survey job 20-12852-S-1 dated August 11, 2020. The second purchase consists of only lot 29 and identified as job 20-12851-S-1 also dated August 11, 2020 and the third purchase added lot 28 for a total of eight lots. The attached survey identifies all as lots 1,2,3,4,5,28,29, and 30 block 101. Taken together, the three purchases represent those areas that are comprised as lots 1,2,3,4,5,28,29 and 30 that make up the combined descriptions in the application request.

These 8 lots are currently zoned as R-AAA and the application requests a change to R-1A. Combined with the Future Land Use change from LDR to MDR creates a transitional zone effect comprised of the surrounding and existing R-1AAA zoned properties to the north, west and south of the site together with Low Density Future Land Use designated properties located west of the site.

**MERRILL
PARKER
SHAW, INC.
SURVEYING**

Phone: (850) 478-4923 • Fax: (850) 478-4924
4928 N. Davis Hwy. • Pensacola, FL 32503



DESCRIPTION:

LOTS 1-5 AND LOTS 28-30, ALL IN BLOCK 101, BELMONT TRACT, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

Merrill Parker Shaw, Inc.
Professional Surveying Services
4928 North Davis Highway Pensacola, FL 32503
Phone: (850) 478-4923 Fax: (850) 478-4924



MERRILL PARKER SHAW, INC.

4928 N. DAVIS HWY
PENSACOLA, FL 32503

PROFESSIONAL SURVEYING SERVICES

PH. (850) 478-4923
FAX. (850) 478-4924

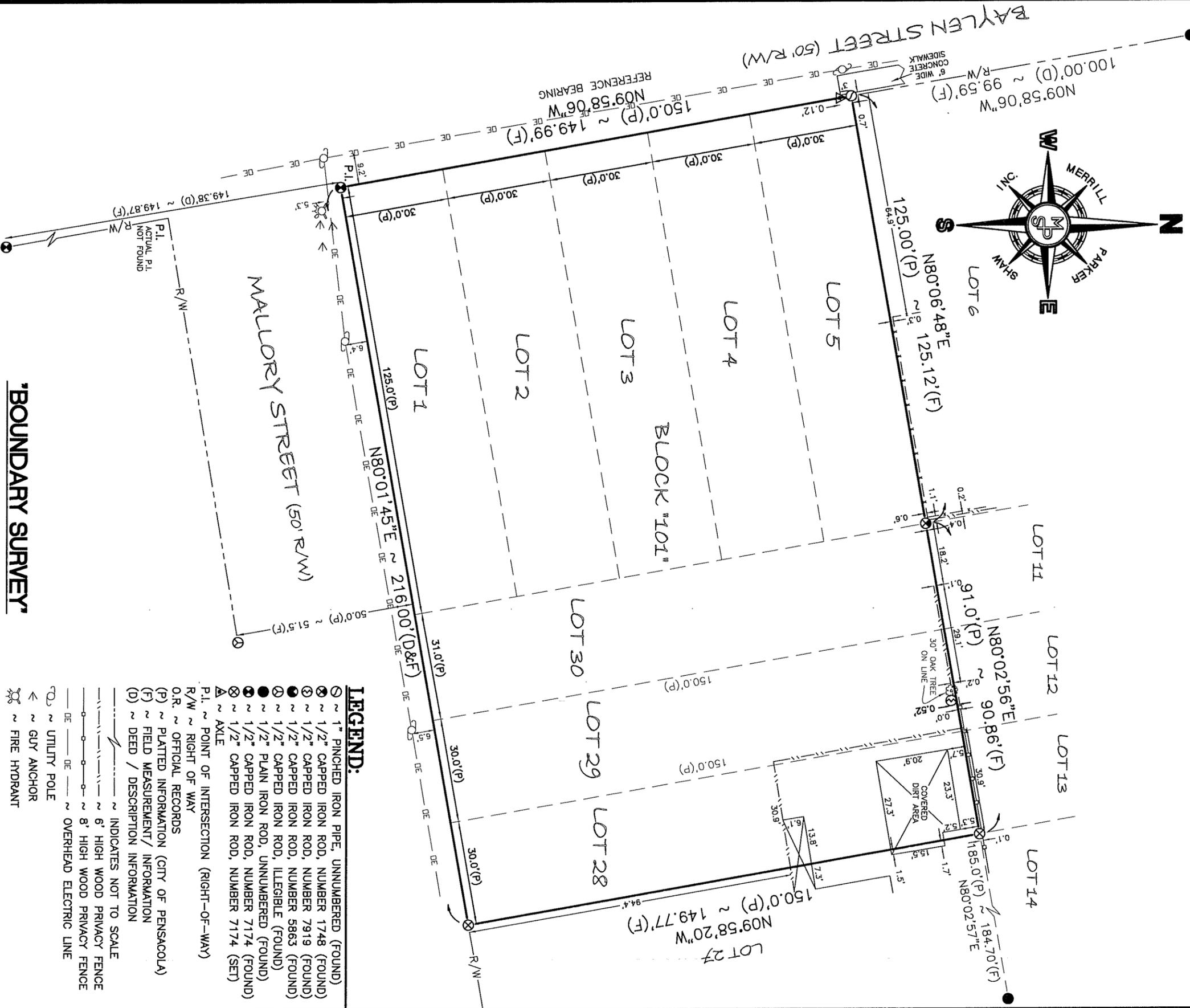


PREPARED FOR: OLDE CITY REALTY
REQUESTED BY: KEVIN FOX

PROPERTY ADDRESS: N/A

JOB NO.: 20-12852-S-3
DATE: AUGUST 11, 2020

SCALE: 1" = 30'



'BOUNDARY SURVEY'

MEASUREMENTS MADE TO UNITED STATES STANDARDS

SHEET 1 OF 2
DESCRIPTION: SEE PAGE 2 OF 2

SECTION N/A, TOWNSHIP N/A, RANGE N/A, ESCAMBIA COUNTY, STATE OF FLORIDA.
 RECORDED N/A BOOK N/A, PAGE N/A *THE ENCROACHMENTS ARE AS SHOWN*
 FIELD DATE: 9/7/21, FIELD BOOK: 486, PG. 15
 MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174
 E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR
 FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA

REVISIONS:

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR

LEGEND:

- ⊗ ~ 1" PINCHED IRON PIPE, UNNUMBERED (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBER 1748 (FOUND)
- ⊚ ~ 1/2" CAPPED IRON ROD, NUMBER 7919 (FOUND)
- ⊛ ~ 1/2" CAPPED IRON ROD, NUMBER 5863 (FOUND)
- ⊜ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ⊝ ~ 1/2" PLAIN IRON ROD, UNNUMBERED (FOUND)
- ⊞ ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (FOUND)
- ⊠ ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)
- ⊡ ~ AXLE
- P.I. ~ POINT OF INTERSECTION (RIGHT-OF-WAY)
- R/W ~ RIGHT OF WAY
- O.R. ~ OFFICIAL RECORDS
- (P) ~ PLATTED INFORMATION (CITY OF PENSACOLA)
- (F) ~ FIELD MEASUREMENT / INFORMATION
- (D) ~ DEED / DESCRIPTION INFORMATION
- INDICATES NOT TO SCALE
- 6' HIGH WOOD PRIVACY FENCE
- 8' HIGH WOOD PRIVACY FENCE
- OVERHEAD ELECTRIC LINE
- ⊕ ~ UTILITY POLE
- ⊙ ~ GUY ANCHOR
- ⊚ ~ FIRE HYDRANT

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P.C.-DB DRAFTED: ROD TYPED: ROD CHECKED: EWP



MERRILL PARKER SHAW, INC.

4928 N. DAVIS HWY
PENSACOLA, FL 32503

PROFESSIONAL SURVEYING SERVICES

PH. (850) 478-4923
FAX. (850) 478-4924



PREPARED FOR: OLDE CITY REALTY

JOB NO.: 20-12852-S-3

REQUESTED BY: KEVIN FOX

DATE: AUGUST 11, 2020

PROPERTY ADDRESS: N/A

SCALE: 1" = 30'

DESCRIPTION:

LOTS 1 TO 5, INCLUSIVE, AND LOTS 28 TO 30, INCLUSIVE, BLOCK 101, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

SURVEYOR'S NOTES:

- 1.) THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 09 DEGREES 38 MINUTES 06 SECONDS WEST ALONG THE EAST RIGHT OF WAY LINE OF BAYLEN STREET (50' R/W, THE CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA.
- 2.) SOURCE OF INFORMATION: THE DEEDS OF RECORD; THE RECORD MAP OF "THE CITY OF PENSACOLA" COPYRIGHTED BY THOMAS C. WATSON IN 1906; AND EXISTING FIELD MONUMENTATION.
- 3.) NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.
- 4.) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
- 5.) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.
- 6.) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.
- 7.) THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.
- 8.) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.

CERTIFIED TO:

OLDE CITY DEVELOPERS, LLC
LIBERIS LAW FIRM, P.A.

THAT THE SURVEY SHOWN HEREON MEETS THE FLORIDA STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN THE STATE OF FLORIDA, ACCORDING TO FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.051 AND 5J-17.052, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

"BOUNDARY SURVEY"

SHEET 2 OF 2

MEASUREMENTS MADE TO UNITED STATES STANDARDS

DESCRIPTION: SEE ABOVE

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P.C.: DB DRAFTED: ROC TYPED: ROC CHECKED: EWP

SECTION N/A, TOWNSHIP N/A, RANGE N/A, ESCAMBIA COUNTY, STATE OF FLORIDA.
RECORDED N/A, BOOK N/A, PAGE N/A *THE ENCROACHMENTS ARE AS SHOWN*
FIELD DATE: 9/7/21, FIELD BOOK: 486, PG. 15

MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174

REVISIONS:

E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR

Vacant Land Contract



1* 2* 3* 4* 5* 6* 7* 8* 9* 10* 11* 12* 13* 14* 15* 16* 17* 18* 19* 20* 21* 22* 23* 24* 25* 26* 27* 28* 29* 30* 31* 32* 33* 34* 35* 36* 37* 38* 39* 40* 41* 42* 43* 44* 45* 46* 47* 48* 49* 50* 51* 52*

1. Sale and Purchase: Donald R & Linda B Trustees ("Seller")
and Old City Developers LLC ("Buyer")
(the "parties") agree to sell and buy on the terms and conditions specified below the property ("Property")
described as:

Address: Adjacent to 1737 N Palafox address not yet assigned
Legal Description: LTS 1, 2, 3, 4, 5 (dimensions of 150' FF on Baylen x 125' deep, 18750 sqft, 4,400,000)
Lots 30 (dimensions 30' FF x 150' Deep, 4500 sq ft, \$32,580)

SEC ___/TWP ___/___/ RNG ___ of ___ County, Florida. Real Property ID No.: ___
Including all improvements existing on the Property and the following additional property: ___

2. Purchase Price: (U.S. currency) \$ 4,400,000
All deposits will be made payable to "Escrow Agent" named below and held in escrow by:
Escrow Agent's Name: Liberis Law Firm PA
Escrow Agent's Contact Person: _____
Escrow Agent's Address: 212 W Intendencia St
Escrow Agent's Phone: (850) 438-9647
Escrow Agent's Email: closings@liberislaw.com

- (a) Initial deposit (\$0 if left blank) (Check if applicable)
 - accompanies offer
 - will be delivered to Escrow Agent within _____ days (3 days if left blank) after Effective Date \$
- (b) Additional deposit will be delivered to Escrow Agent (Check if applicable)
 - within 60 days (10 days if left blank) after Effective Date \$
 - within _____ days (3 days if left blank) after expiration of Feasibility Study Period \$
- (c) Total Financing (see Paragraph 6) (express as a dollar amount or percentage) \$ _____
- (d) Other: _____ \$ _____
- (e) Balance to close (not including Buyer's closing costs, prepaid items, and prorations) to be paid at closing by wire transfer or other Collected funds \$
- (f) (Complete only if purchase price will be determined based on a per unit cost instead of a fixed price.) The unit used to determine the purchase price is lot acre square foot other (specify); _____ prorating areas of less than a full unit. The purchase price will be \$ _____ per unit based on a calculation of total area of the Property as certified to Seller and Buyer by a Florida licensed surveyor in accordance with Paragraph 8(c). The following rights of way and other areas will be excluded from the calculation: _____

3. Time for Acceptance; Effective Date: Unless this offer is signed by Seller and Buyer and an executed copy delivered to all parties on or before July 9, 2020 this offer will be withdrawn and Buyer's deposit, if any, will be returned. The time for acceptance of any counter-offer will be 3 days after the date the counter-offer is delivered. The "Effective Date" of this contract is the date on which the last one of the Seller and Buyer has signed or initialed and delivered this offer or the final counter-offer.

4. Closing Date: This transaction will close on see paragraph 23 ("Closing Date"), unless specifically extended by other provisions of this contract. The Closing Date will prevail over all other time periods including, but not limited to, Financing and Feasibility Study periods. However, if the Closing Date occurs on a Saturday, Sunday, or national legal holiday, it will extend to 5:00 p.m. (where the Property is located) of the next business day. In the event insurance underwriting is suspended on Closing Date and Buyer is unable to obtain property insurance, Buyer may postpone closing for up to 5 days after the insurance underwriting suspension is lifted. If this transaction does not close for any reason, Buyer will immediately return all Seller provided documents and other items.

5. Extension of Closing Date: If Paragraph 6(b) is checked and Closing Funds from Buyer's lender(s) are not available on Closing Date due to Consumer Financial Protection Bureau Closing Disclosure delivery requirements

Buyer [Signature] and Seller [Signature] acknowledge receipt of a copy of this page, which is 1 of 8 pages.

Vacant Land Contract

1* 1. **Sale and Purchase:** Donald R. Linda B Trustees ("Seller")
 2* and Old City Developers LLC ("Buyer")
 3 (the "parties") agree to sell and buy on the terms and conditions specified below the property ("Property")
 4 described as:

5* Address: Adjacent to 1737 N Palafox address not yet assigned
 6* Legal Description: LTS 1,2,3,4,5 (dimensions of 150' FF on Baylen x 125' deep, 18750 sqft, [redacted])
 7 Lots 30 (dimensions 30' FF x 150' Deep, 4500 sq ft, \$32,580)

11* SEC ___/TWP ___/___/ RNG ___ of _____ County, Florida. Real Property ID No.: _____
 12* Including all improvements existing on the Property and the following additional property: _____

14* 2. **Purchase Price:** (U.S. currency) \$ [redacted]
 15 All deposits will be made payable to "Escrow Agent" named below and held in escrow by:
 16* Escrow Agent's Name: Liberis Law Firm PA
 17* Escrow Agent's Contact Person: _____
 18* Escrow Agent's Address: 212 W Intendencia St
 19* Escrow Agent's Phone: (850) 438-9647
 20* Escrow Agent's Email: closings@liberislaw.com

- 21 (a) Initial deposit (\$0 if left blank) (Check if applicable)
 22* accompanies offer
 23* will be delivered to Escrow Agent within _____ days (3 days if left blank)
 24* after Effective Date \$ [redacted]
 25 (b) Additional deposit will be delivered to Escrow Agent (Check if applicable)
 26* within 60 days (10 days if left blank) after Effective Date
 27* within _____ days (3 days if left blank) after expiration of Feasibility Study Period \$ [redacted]
 28* (c) Total Financing (see Paragraph 6) (express as a dollar amount or percentage) \$ _____
 29* (d) Other: _____ \$ _____
 30 (e) Balance to close (not including Buyer's closing costs, prepaid items, and prorations)
 31* to be paid at closing by wire transfer or other Collected funds \$ [redacted]
 32* (f) (Complete only if purchase price will be determined based on a per unit cost instead of a fixed price.) The
 33* unit used to determine the purchase price is lot acre square foot other (specify); _____
 34* prorating areas of less than a full unit. The purchase price will be \$ _____ per unit based on a
 35 calculation of total area of the Property as certified to Seller and Buyer by a Florida licensed surveyor in
 36 accordance with Paragraph 8(c). The following rights of way and other areas will be excluded from the
 37* calculation: _____

38 3. **Time for Acceptance; Effective Date:** Unless this offer is signed by Seller and Buyer and an executed copy
 39* delivered to all parties on or before July 9, 2020, this offer will be withdrawn and Buyer's deposit, if
 40 any, will be returned. The time for acceptance of any counter-offer will be 3 days after the date the counter-offer is
 41 delivered. The "Effective Date" of this contract is the date on which the last one of the Seller and Buyer has
 42 signed or initialed and delivered this offer or the final counter-offer.

43* 4. **Closing Date:** This transaction will close on see paragraph 23 ("Closing Date"), unless specifically
 44 extended by other provisions of this contract. The Closing Date will prevail over all other time periods including, but
 45 not limited to, Financing and Feasibility Study periods. However, if the Closing Date occurs on a Saturday,
 46 Sunday, or national legal holiday, it will extend to 5:00 p.m. (where the Property is located) of the next business
 47 day. In the event insurance underwriting is suspended on Closing Date and Buyer is unable to obtain property
 48 insurance, Buyer may postpone closing for up to 5 days after the insurance underwriting suspension is lifted. If
 49 this transaction does not close for any reason, Buyer will immediately return all Seller provided documents and
 50 other items.

51 5. **Extension of Closing Date:** If Paragraph 6(b) is checked and Closing Funds from Buyer's lender(s) are not
 52 available on Closing Date due to Consumer Financial Protection Bureau Closing Disclosure delivery requirements

Buyer [Signature] and Seller [Signature] acknowledge receipt of a copy of this page, which is 1 of 8 pages.

Department:	Comments:
FIRE	No comments
PW/E	No concerns.
InspSvcs	No comments
ESP	No comments
ECUA	No comments
GPW	No objections
ATT	No comments
Surveyor	See attached
Planning	No comments
Traffic	No concerns.



MERRILL PARKER SHAW, INC.

4928 N. DAVIS HWY
PENSACOLA, FL 32503

PROFESSIONAL SURVEYING SERVICES

PH: (850) 478-4923
FAX: (850) 478-4924



PREPARED FOR: OLDE CITY REALTY

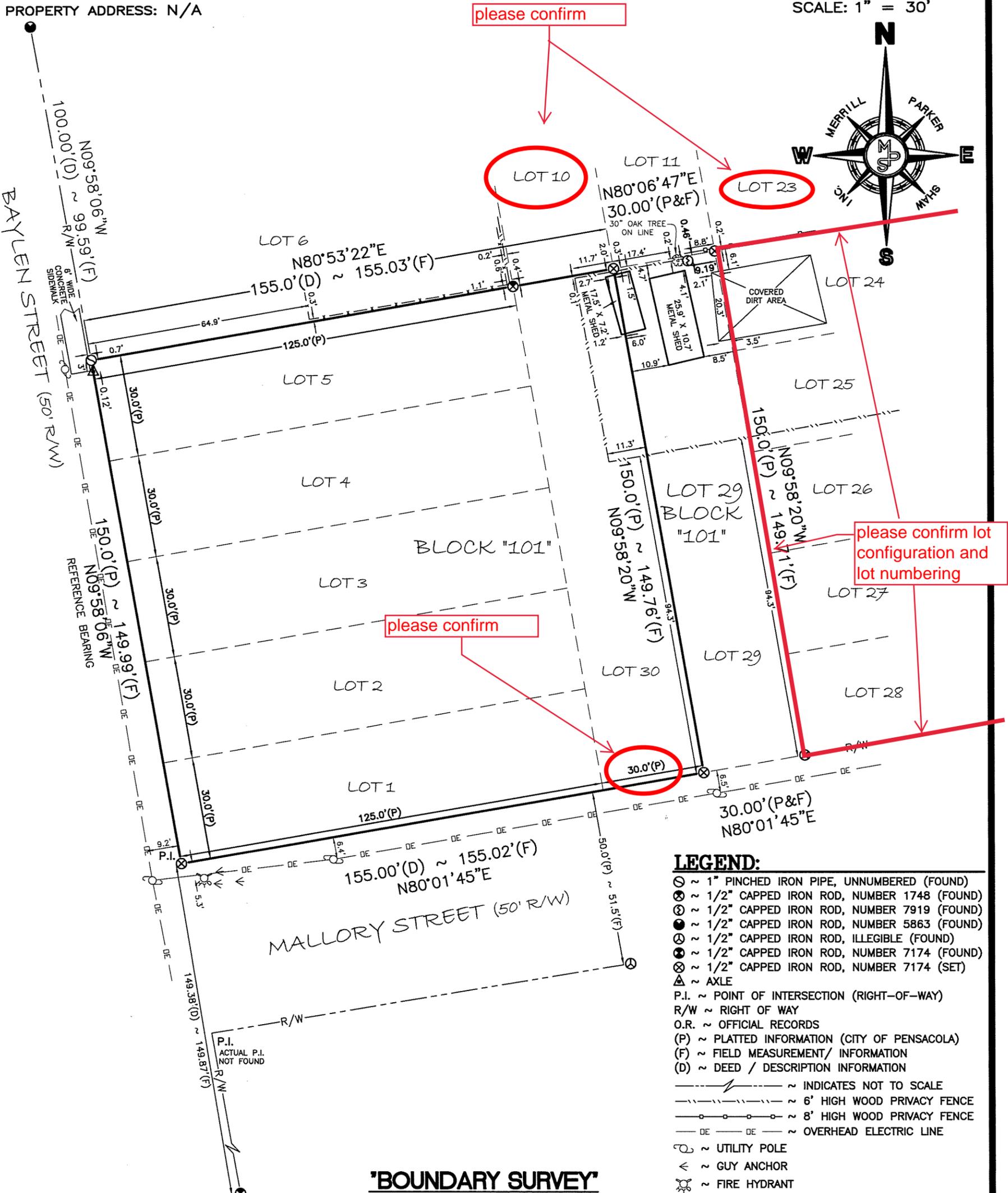
REQUESTED BY: KEVIN FOX

JOB NO.: 20-12852-S-1

DATE: AUGUST 11, 2020

PROPERTY ADDRESS: N/A

SCALE: 1" = 30'



LEGEND:

- ⊙ ~ 1" PINCHED IRON PIPE, UNNUMBERED (FOUND)
- ⊗ ~ 1/2" CAPPED IRON ROD, NUMBER 1748 (FOUND)
- ⊕ ~ 1/2" CAPPED IRON ROD, NUMBER 7919 (FOUND)
- ⊖ ~ 1/2" CAPPED IRON ROD, NUMBER 5863 (FOUND)
- ⊗ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ⊕ ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (FOUND)
- ⊖ ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)
- ⊗ ~ AXLE
- P.I. ~ POINT OF INTERSECTION (RIGHT-OF-WAY)
- R/W ~ RIGHT OF WAY
- O.R. ~ OFFICIAL RECORDS
- (~) ~ PLATTED INFORMATION (CITY OF PENSACOLA)
- (F) ~ FIELD MEASUREMENT/ INFORMATION
- (D) ~ DEED / DESCRIPTION INFORMATION
- ~ INDICATES NOT TO SCALE
- - - - - ~ 6' HIGH WOOD PRIVACY FENCE
- - - - - ~ 8' HIGH WOOD PRIVACY FENCE
- DE - DE ~ OVERHEAD ELECTRIC LINE
- ⊕ ~ UTILITY POLE
- ⊗ ~ GUY ANCHOR
- ⊗ ~ FIRE HYDRANT

SHEET 1 OF 2

MEASUREMENTS MADE TO UNITED STATES STANDARDS

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P.C.: DB DRAFTED: RDC TYPED: RDC CHECKED: EWP

DESCRIPTION: SEE PAGE 2 OF 2

AS PER THE RECORD MAP OF "THE CITY OF PENSACOLA" COPYRIGHTED BY THOMAS C. WATSON IN 1906.

SECTION N/A, TOWNSHIP N/A, RANGE N/A, ESCAMBIA COUNTY, STATE OF FLORIDA.

RECORDED N/A BOOK N/A, PAGE N/A *THE ENCROACHMENTS ARE AS SHOWN*

FIELD DATE: 8/6/20, FIELD BOOK: 449, PG. 23

MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174

REVISIONS:

E. Wayne Parker DATE: 8/12/20

E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA

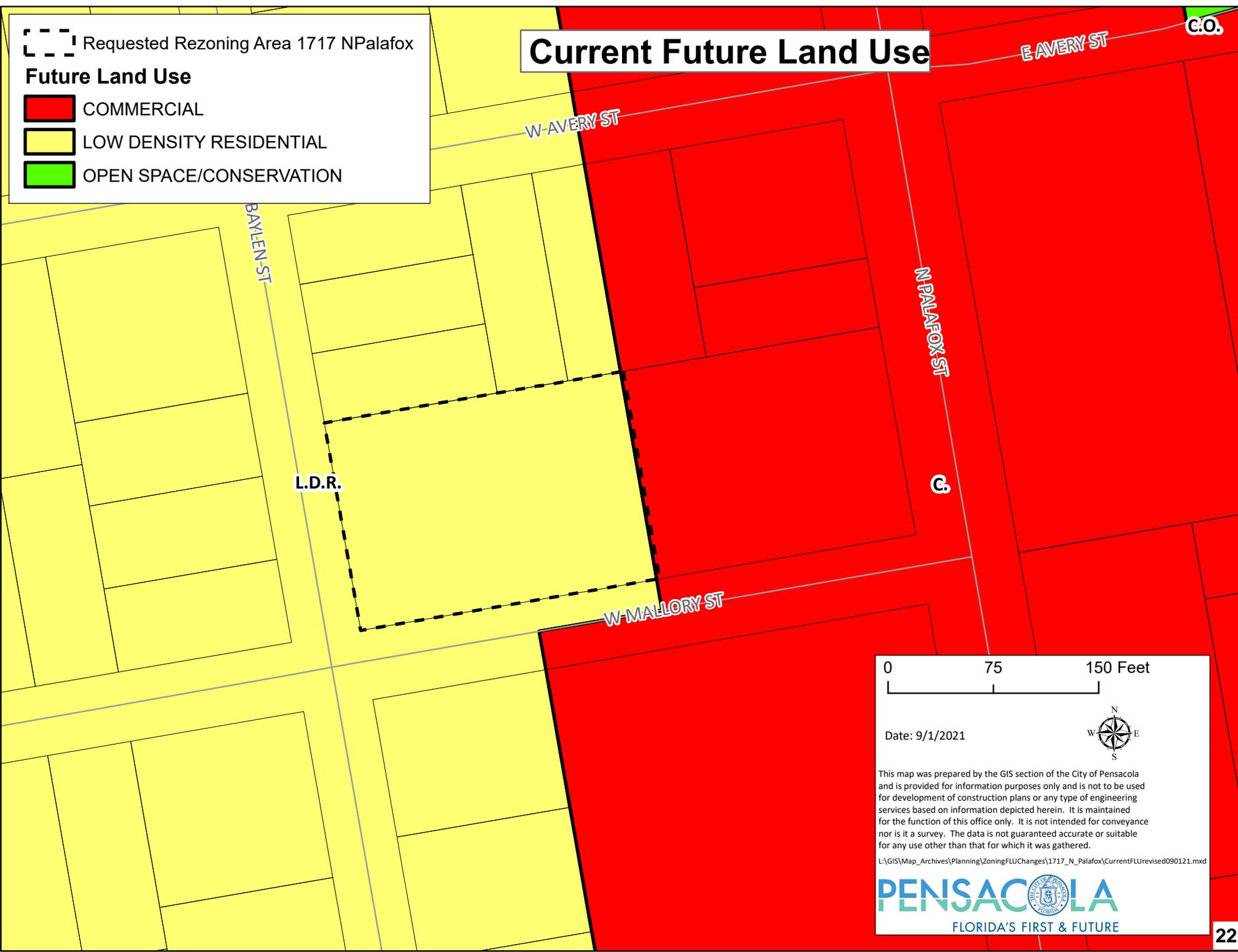
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR

Requested Rezoning Area 1717 NPalafox

Future Land Use

-  COMMERCIAL
-  LOW DENSITY RESIDENTIAL
-  OPEN SPACE/CONSERVATION

Current Future Land Use



L.D.R.

0 75 150 Feet

Date: 9/1/2021



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

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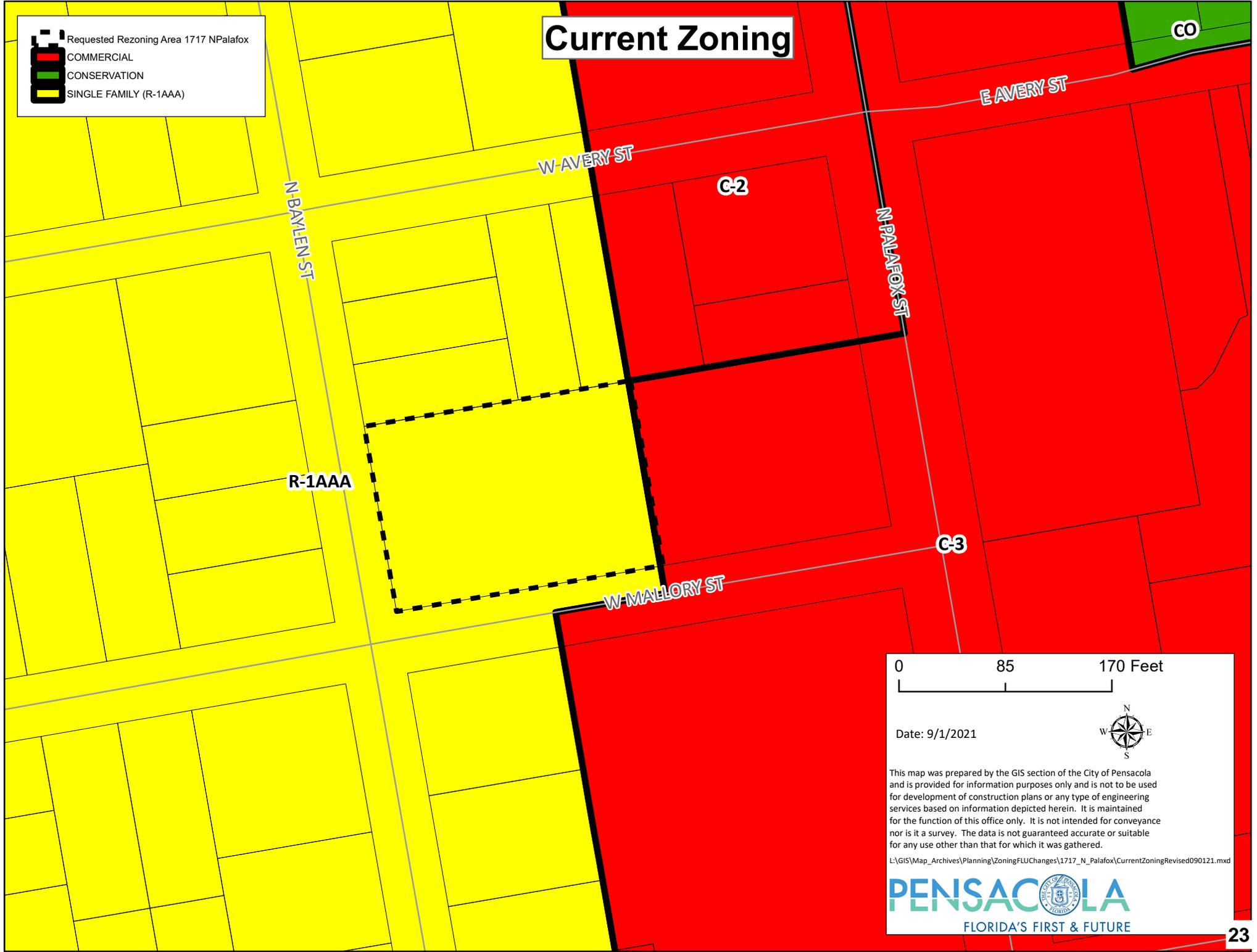
Requested Rezoning Area 1717 NPalafox

COMMERCIAL

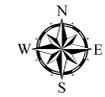
CONSERVATION

SINGLE FAMILY (R-1AAA)

Current Zoning



Date: 9/1/2021



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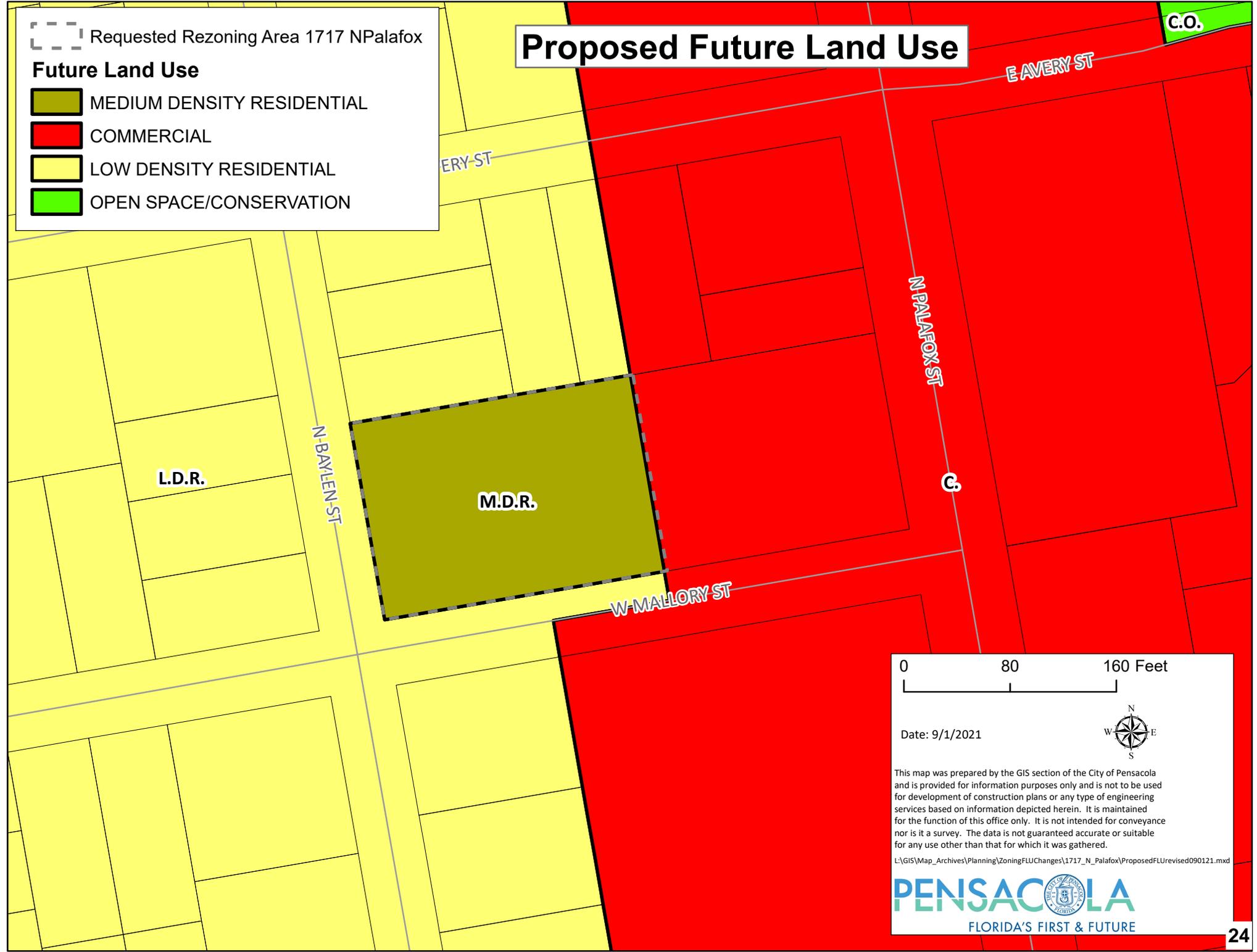
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Requested Rezoning Area 1717 NPalafox

Future Land Use

-  MEDIUM DENSITY RESIDENTIAL
-  COMMERCIAL
-  LOW DENSITY RESIDENTIAL
-  OPEN SPACE/CONSERVATION

Proposed Future Land Use



Date: 9/1/2021



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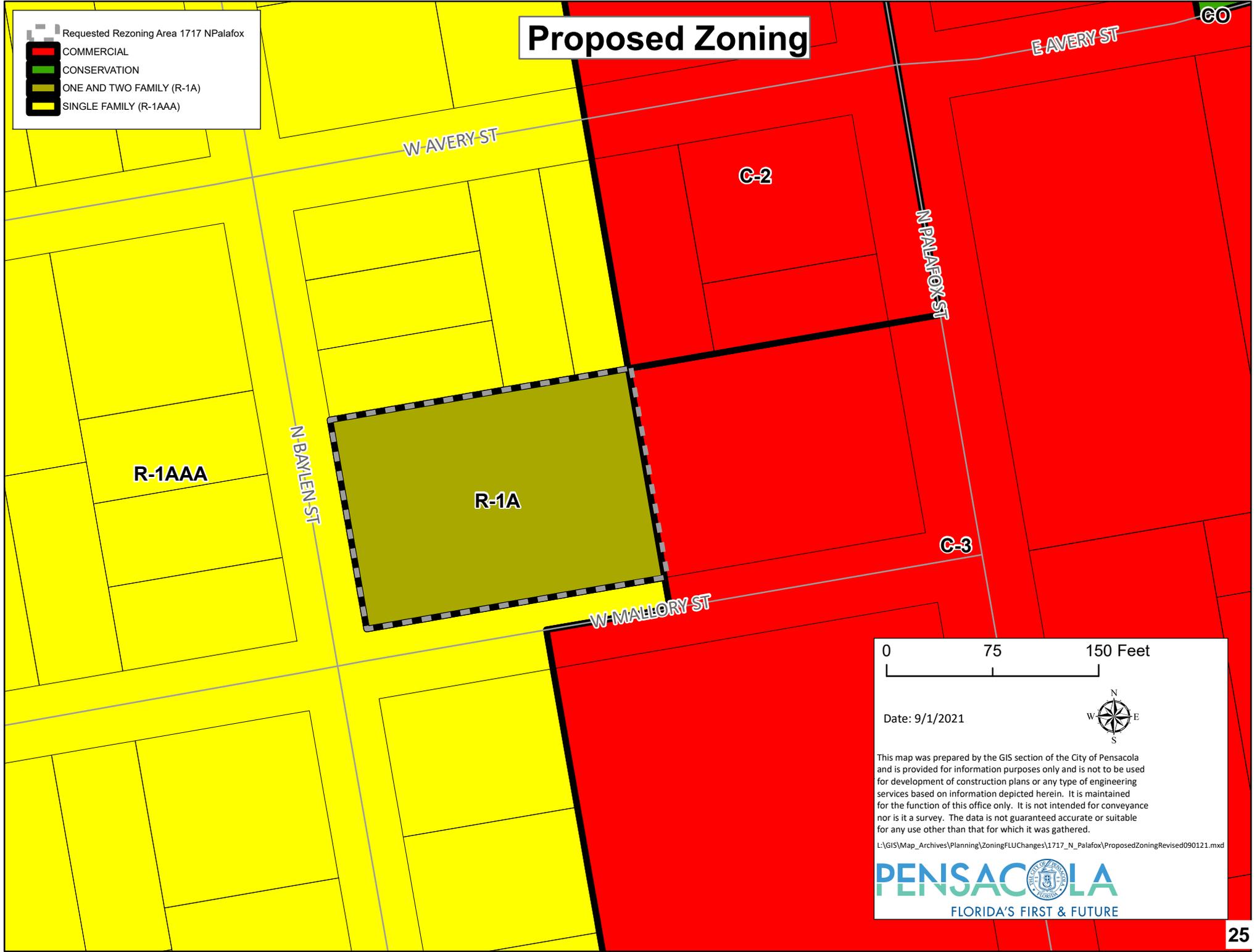
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Proposed Zoning

Requested Rezoning Area 1717 NPalafox

- COMMERCIAL
- CONSERVATION
- ONE AND TWO FAMILY (R-1A)
- SINGLE FAMILY (R-1AAA)



Date: 9/1/2021

This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00743

Planning Board

9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/7/2021

SUBJECT:

Request for Non-residential Parking in a Residential Zone - 518 Wynnehurst Street

BACKGROUND:

C.R. Quint Higdon is requesting the use of non-residential parking in a residential zone for the property located at 518 Wynnehurst Street, which is zoned R-1AAA. If the request is approved the subject parcel would serve as an accessory use to the future medical office building at 4304 Davis Hwy, which is zoned C-3.

Per Section 12-3-93. Accessory off-street facilities serving nonresidential uses of property in R-2, PR-2, R-NC, R-NCB C-1, PC-1, C-2, C-3 or SSD zones may be permitted in R-1AAA, PR-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2 or PR-2 zoning districts where such property is contiguous to such commercial zoned area or is separated therefrom by an alley, and may be authorized by the planning board, subject to the conditions stated in the attachments.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



APPLICATION FOR SITE PLAN APPROVAL

Please Check Application Type and Required Fees:

Site Plan "A"		
<input type="checkbox"/>	Conditional Use	
<input type="checkbox"/>	Special Planned Development	
<input type="checkbox"/>	Major Revisions to SSD's	
<input type="checkbox"/>	Exception to the 4,000 sq. ft. maximum area for a commercial use in an R-NC district	
Site Plan "A" Fees:		
<input type="checkbox"/>	Preliminary	Fee: \$1,500.00
<input type="checkbox"/>	Final	Fee: \$1,500.00
<input type="checkbox"/>	Preliminary & Final	Fee: \$2,000.00
<input type="checkbox"/>	Review Board Rehearing/Rescheduling	Fee: \$250.00
<input type="checkbox"/>	City Council Rehearing/Rescheduling	Fee: \$750.00

Site Plan "C"		
<input checked="" type="checkbox"/>	Non-residential Parking in a Residential Zone	
Site Plan "C" Fees:		
<input checked="" type="checkbox"/>	Application	Fee: \$1,500.00
<input type="checkbox"/>	Appeal to City Council	Fee: \$250.00

Site Plan "B"		
<input type="checkbox"/>	Conservation district (CO)	
<input type="checkbox"/>	Airport district – all private, non-aviation related development in the ARZ zone and all developments except single-family in an approved subdivision in the ATZ-1 and AZT-2 zones	
<input type="checkbox"/>	Waterfront Redevelopment district (WRD)	
<input type="checkbox"/>	South Palafox Business district (SPBD)	
<input type="checkbox"/>	Interstate Corridor district (IC)	
<input type="checkbox"/>	Multi-family developments over 35' high within the R-2A district	
<input type="checkbox"/>	Buildings over 45' high in the R-2, R-NC and C-1 districts	
Site Plan "B" Fees:		
<input type="checkbox"/>	Preliminary	Fee: \$1,500.00
<input type="checkbox"/>	Final	Fee: \$1,500.00
<input type="checkbox"/>	Preliminary & Final	Fee: \$2,000.00
<input type="checkbox"/>	Review Board Rehearing/Rescheduling	Fee: \$250.00
<input type="checkbox"/>	City Council Rehearing/Rescheduling	Fee: \$750.00

APPLICATION DEADLINE IS 30 CALENDAR DAYS PRIOR TO THE PLANNING BOARD MEETING

Applicant Information: PERFORMANCE P&O

Name: C.R. "QUINT" HIGDON IV Date: 8-2-21

Address: 3010 N. 12th AVE

Phone: 850 982 6499 Fax: 850 607 6674 Email: quint@performancepo.com

Property Information:

Owner Name: SASSER (UNDER CONTRACT) Phone: _____

Location/Address: 4304 DAVIS HWY E 518 WYNNHURST ST.

Parcel ID: 49-15-30-9101-001-041 Square Feet/Acres: 1 ACRE

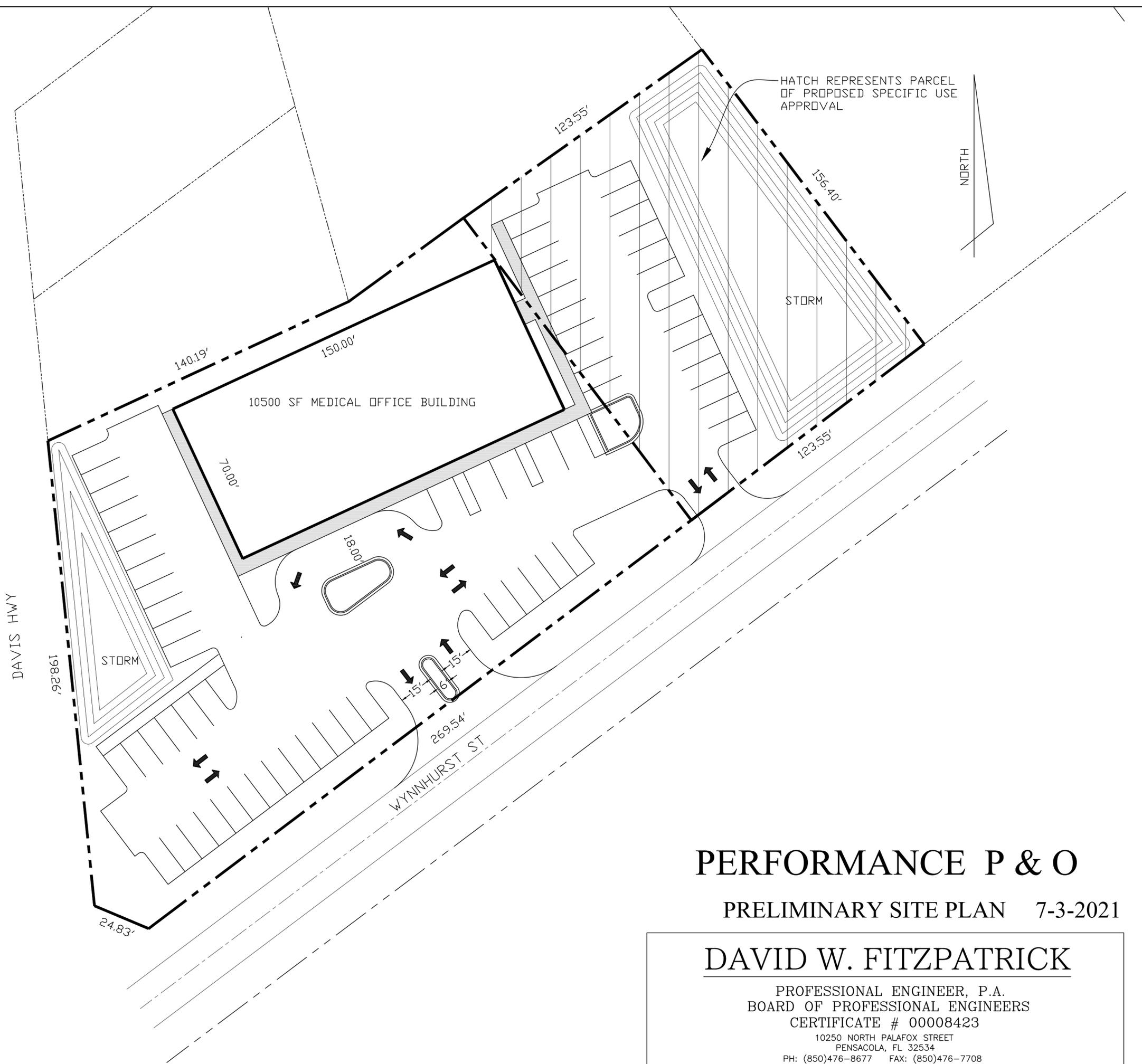
4915309101000045 .5 ACRE

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of site plan approval: NEW OFFICE FOR PERFORMANCE PROSTHETICS & OPTICS.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this site plan and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

[Signature] Date: 8-2-21
Signature of Applicant (Owner of Property or Official Representative of Owner)



PERFORMANCE P & O

PRELIMINARY SITE PLAN 7-3-2021

DAVID W. FITZPATRICK

PROFESSIONAL ENGINEER, P.A.
 BOARD OF PROFESSIONAL ENGINEERS
 CERTIFICATE # 00008423
 10250 NORTH PALAFOX STREET
 PENSACOLA, FL 32534
 PH: (850)476-8677 FAX: (850)476-7708



N DAVIS HWY

Sec. 12-3-93. - Nonresidential parking in R-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2, PR-1AAA and PR-2 zoning districts.

- (a) *General conditions.* Accessory off-street parking facilities serving nonresidential uses of property in R-2, PR-2, R-NC, R-NCB C-1, PC-1, C-2, C-3 or SSD zones may be permitted in R-1AAA, PR-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2 or PR-2 zoning districts where such property is contiguous to such commercial zoned area or is separated therefrom by an alley, and may be authorized by the planning board, subject to the following conditions:
- (1) The parking lot shall be accessory to, and for use in connection with one or more existing nonresidential establishments located in adjoining districts or in connection with one or more existing professional or institutional office buildings or institutions. In the event that the use of the professional or institutional office building or institution or other nonresidential establishment changes or is abandoned for a period of not less than 180 days after the special use is approved, said approval will terminate automatically. This provision is in no way intended to prohibit the property owner from applying for approval for the changed use pursuant to applicable provisions of this Code.
 - (2) Said parking lot shall be used solely for the parking of vehicles. These vehicles shall be those of the customers and employees of the adjacent business.
 - (3) No commercial repair work or service of any kind shall be conducted on said parking lot.
 - (4) Parking lot plans are to be reviewed and approved by the city engineer. The city engineer shall base his or her approval of the plans upon sound engineering principles as well as the safety and general welfare of the citizens of the city.
 - (5) No sign of any kind other than signs designating entrances, exits, and conditions of use shall be maintained on said parking lot, and said sign shall not exceed 20 square feet in area.
 - (6) Said parking lot shall not encroach more than 150 feet into the residential zone.
 - (7) In addition to the foregoing requirements such parking lots shall conform to section 12-4-1 and chapter 12-6.
- (b) *Review and approval process.* All applications for nonresidential parking in residential zones shall comply with regulations established in section 12-3-120.

(Code 1986, § 12-2-64; Ord. No. 29-93, § 22, 11-18-1993; Ord. No. 3-94, § 7, 1-13-1994)

Sec. 12-4-1. - Off-street parking spaces requirements.

Off-street parking is required in all zoning districts, except as provided below. The following off-street parking is required by this chapter:

(1) *General provisions.*

- a. Area calculations based on gross square footage.
- b. Where the required number of parking spaces results in a fraction, the number of spaces required shall be construed to be the next whole number.
- c. Where parking spaces are required based on number of employees or students/clients, the number of employees must reflect the largest shift and the number of students/clients must reflect the maximum capacity allowed.
- d. For multiple land use developments, additional parking spaces will be required for each different land use and/or accessory use.
- e. Handicapped parking spaces are required as a percentage of total required parking spaces for all developments other than single-family, duplex or zero-lot-line residential.
- f. With respect to any parking lot that is required to be paved, the number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five bicycles.
- g. The number of off-street parking spaces provided for buildings constructed prior to October 13, 1994, shall be deemed in compliance with the requirements of this Code, for as long as the same land use is maintained within the same building footprint. Effective October 13, 1994, off-street parking requirements set forth in subsection (2) of this section shall be required for the following development or redevelopment activities except as specifically exempted in subsections (1)j through k of this section:
 1. New construction.
 2. Construction of an addition to an existing building. Whenever a building is enlarged or increased in floor area, number of dwelling units, seating capacity, intensity, density or in any manner so as to create a need for a greater number of parking spaces than currently existing, such additional spaces must be provided in accordance with subsection (2) of this section. The required number of additional parking spaces must be provided concurrently with the building enlargement. In the event that additional parking spaces are required, and the resulting number of spaces required for the whole building (existing and new) exceeds ten spaces, the entire parking lot shall comply with the provisions of section 12-4-3.
 3. A change in land use in an existing building or portion of a building. Whenever a land use is changed to another land use requiring a greater number of parking spaces than that existing, such additional spaces must be provided in accordance with subsection

(2) of this section. The required number of additional parking spaces must be provided concurrently with the change in land use. In the event that additional parking spaces are required as a result of a change in land use for buildings constructed prior to October 13, 1994, the entire number of required parking spaces for the new land use must be provided in accordance with subsection (2) of this section. In the event that additional parking spaces are required, and the resulting number of spaces required for the new land use exceeds ten spaces, the entire parking lot shall comply with the provisions of section 12-4-3.

- h. Except as provided in subsections (4) and (5) of this section, all required parking spaces must be located on the same lot or parcel with the building or use served or on an adjacent lot or parcel owned or leased by the same owner of the building site for which the parking is required. If the required parking is provided on an adjacent property separated from the common boundary by a street, appropriate measures shall be undertaken to provide pedestrian safety. Such measures include, but are not limited to, pedestrian crosswalk, pedestrian crossing with automated traffic control, pedestrian overpass, and underground pedestrian tunnel.
- i. Off-street parking is not required in the HC-1 and HC-2 districts (see section 12-3-10(1)e.7.iii).
- j. Off-street parking is not required in the dense business area for residential land uses.
- k. New construction of buildings within the South Palafox business district that do not exceed 40 feet in height, or the renovation or change in land use of existing buildings that do not exceed 40 feet in height are exempt from the off-street parking requirements (see also section 12-3-13(4)f).
- l. New construction of buildings within the C-2A district that do not exceed 40 feet in height and 5,000 square feet in total floor area, or the renovation or change in land use of existing buildings that do not exceed 40 feet in height and 5,000 square feet in total floor area are exempt from the off-street parking requirements.

(2) *Parking requirements for specific land uses.* The following list of requirements shall apply for any land use that is permitted or that is granted a conditional use within any zoning district.

Amusement center	1 space/250 s.f.
Art gallery	1 space/500 s.f.
Auditorium	1 space/50 s.f. of assembly area
Bank	1 space/300 s.f.

Barbershop/beauty parlor	2 spaces/chair
Bed and breakfast	1 space for owner/manager plus 1 space/ sleeping room
Billiard hall	2 spaces/table
Boarding house	1 space for owner/manager plus 1 space/ sleeping room
Bowling alley	3 spaces/lane plus spaces required for accessory uses
Car wash	
Full-service	2 spaces/washing stall
Self-service	2 stacking spaces and 1 drying space per wash stall
Child care facility	1 space/300 s.f.
Church	1 space/4 fixed seats
Note: On-street parking within 500 feet of the building, except in residential districts, may be used towards fulfilling this requirement.	
Cocktail bar	1 space/75 s.f.
Community center	1 space/300 s.f.
Community residential home	1 space/2 beds
Convenience store	1 space/200 s.f. plus accessory uses
Dormitory/fraternity/sorority residence	1 space/2 beds

Dry-cleaning shop	1 space/500 s.f.
Funeral parlor/mortuary	1 space/200 s.f.
Game room	1 space/250 s.f.
Garage, repair	1 space/200 s.f.
Gas station	1 space/200 s.f.
Greenhouse	1 space/1,000 s.f. of lot area
Group home	1 space/2 beds
Gymnasium	1 space/50 s.f. of assembly area
Health spa	1 space/200 s.f.
Hospital	1.5 spaces/bed
Hotel	1 space/room
Industrial	1 space/500 s.f.
Kennel	1 space/1,000 s.f.
Laundromat	1 space/2 washing machines
Library	1 space/250 s.f.
Note: on-street parking within 500 feet of the building, except in residential districts, may be used toward this requirement.	
Lodging house	1 space for owner/manager plus 1 space/sleeping room
Manufacturing	1 space/500 s.f.

Marina	1 space/4 boat slips
Miniature golf course	1 space/hole
Mini-warehouse	4 spaces/1,000 s.f. of office
Motel	1 space/room
Museum	1 space/300 s.f.
Nightclub	1 space/75 s.f.
Nursery	1 space/1,000 s.f. of lot area
Nursing home	1 space/2 beds
Office	
General office	1 space/300 s.f.
Accessory office unit	1 space/300 s.f.
Government office	1 space/500 s.f.
<p>Note: On-street parking within 500 feet of the building, except in residential districts, may be used towards this requirement for non-employee parking only. In any event, one off-street parking space shall be required for each employee in the building.</p>	
Medical/dental office	1 space/200 s.f.
Open air market	1 space/300 s.f.
Printing or publishing firm	1 space/300 s.f.
Private club	1 space/100 s.f.
Racquetball club	1 space/court

Radio or television station	1 space/300 s.f.
Repair shop	1 space/300 s.f.
Residential	
Single-family, duplex and accessory residential unit	1 space/unit (public street) 2 spaces/unit (private street)
Multifamily, townhouse, manufactured home unit	1 space/unit
Rest home	1 space/2 beds
Restaurant	
Drive-in only	1 space/100 s.f.
Drive-through only	1 space/100 s.f.
Sit-down only	1 space/100 s.f. (including outdoor dining areas)
Combination drive-through/sit-down	1 space/100 s.f. (including outdoor dining and/or activity areas)
Retail sales/rental	
Boat	1 space/500 s.f.
Carpet	1 space/500 s.f.
Furniture	1 space/500 s.f.
Garment	1 space/300 s.f.
General	1 space/300 s.f.

Grocery store	1 space/300 s.f.
Hardware	1 space/500 s.f.
Home improvement	1 space/500 s.f.
Lumber and building materials	1 space/600 s.f.
Machinery and equipment	1 space/600 s.f.
School	
Business or trade	1 space/2 employees plus 1 space/200 s.f.
High school, college or junior college	1 space/2 employees plus 1 space/10 students
Kindergarten, elementary and middle/junior high school	1 space/2 employees plus 1 space/classroom
Self-service storage facility	4 spaces/1,000 s.f. of office plus 1 space/employee
Shopping center	1 space/300 s.f.
Skating rink	1 space/5 rated patron capacity
Stadium	1 space/5 seats
Studio	1 space/300 s.f.
Tavern	1 space/75 s.f.
Tennis club	1 space/court
Theater	1 space/6 seats

Vehicle sales/rental	1 space/400 s.f. sales area
Veterinary clinic or hospital	1 space/300 s.f
Video arcade	1 space/300 s.f.
Warehousing	1 space/2,000 s.f.
Wholesale establishment	1 space/1,000 s.f.

- (3) *All other uses.* Any use not covered by this chapter shall require one parking space for each 300 square feet of gross floor area in the building.
- (4) *Off-site parking.* The off-street parking requirements set forth in subsection (2) of this section may be provided off-site through a shared parking facility or leased parking facility.
- a. Off-site parking may be provided as specified below:
1. Shared use parking facility shared by uses that have different principal operating hours. The schedule of operation of all such land uses shall provide that none of the uses sharing the facilities normally require off-street parking facilities at the same time as other uses sharing them. The total number of required off-street parking spaces shall be determined by the combined peak hour parking requirement for all uses sharing the facility.
 2. Off-site parking spaces that are leased on an annual basis from a private owner or public agency.
 3. Off-site parking spaces located on a site owned and controlled by the owner/developer of the building site for which the off-street parking is required.
 4. When a portion or all of the required off-street parking is provided pursuant to one of the options specified above in subsections (4)a through c of this section a written agreement shall be drawn in a form satisfactory to the city attorney and executed by all parties concerned assuring the continued availability of the off-site parking facilities for the use they are intended to serve. Such written agreement shall be required as a prerequisite for the approval of a building permit for the new development or redevelopment proposed for which the parking is required. Such written agreement shall be reviewed annually as a condition for renewal of a business license required in chapter 7-2. If a written agreement securing the number of parking

spaces is not provided as part of the annual business license certification, the license may be revoked by the city unless the required off-street parking is otherwise provided.

5. When a portion or all of the required off-street parking is provided pursuant to one of the options specified above in subsections (4)a through c of this section a sign directing business patrons to the off-street parking shall be required and shall be placed in a clearly visible location in accordance with the provisions of section 12-5-4(g)(3).
6. Off-site parking provided for businesses within the Brownsville Business Core must be located within the city limits.
7. Downtown Pensacola parking reductions described in Table 12.3-1 shall apply only to the community redevelopment agency's boundaries, as defined in Resolution No. 13-84.

TABLE 12.3-1. DOWNTOWN PENSACOLA CRA
PARKING REDUCTIONS

Educational	25%
Lodging	35%
Office	30%
Eating/drinking establishments	100%
Indoor amusement	40%
Services	50%
College	50%
Places of worship	50%
Indoor recreation	50%
Apparel/furniture	50%
Retail < 5,000 s.f.	60%

Community services	75%
Single-family and multifamily	Only 1 space/unit required

- b. Approval of off-site parking will be based upon consideration of the following factors:
1. The location of the business and the proposed off-site parking;
 2. The number of off-site parking spaces proposed;
 3. Intended users of the proposed off-site parking (i.e. employees, patrons or both);
 4. The distance of the proposed off-site parking measured along the shortest legal pedestrian route (i.e. along public sidewalks, crosswalks) from the nearest lot line of the building site for which the off-site parking is proposed to the nearest lot line of the off-site parking;
 5. Pedestrian safety;
 6. Nature of the business proposing the off-site parking;
 7. Potential conflicts/overlaps in any off-site shared parking arrangement;
 8. Recommendation of city attorney regarding the form of the written agreement specified in subsection (4)a.4 of this section.
- (5) The number of required parking spaces for the geographic areas and zoning districts identified in subsection (4) of this section may be reduced by the number of on-street parking spaces provided in accordance with the following criteria:
- a. The on-street parking space must be located between the extended property lines of the property requesting the reduction. If a parking space straddles two properties owned by different property owners each property may count the space towards the required parking. Where the right-of-way contains a median and parking is provided along the median, the property owner requesting the reduction may include those spaces provided they are located between the extended property lines and the centerline of the median.
 - b. The on-street parking spaces must remain open for use by the public.
- (6) New construction, additions to existing buildings and changes in land use of existing buildings within the dense business area resulting in an increase of parking requirements may comply with the parking requirements through an in-lieu payment approved by the city council.
- a. All funds collected through the in-lieu payment process shall be utilized for the express purpose of parking capital improvement projects within the dense business area.
 - b. The in-lieu payment will be calculated by the mayor and approved by the city council in accordance with the following formula:

In-lieu parking payment = (total spaces required to meet code - on-site spaces - approved off-site spaces - approved on-street parking spaces) × (in-lieu fee)

The in-lieu fee shall be based upon the cost of construction for parking spaces considering such factors as land acquisition, design fees, engineering, financing, construction, inspection, and other relevant factors.

(Code 1986, § 12-3-1; Ord. No. 6-93, § 21, 3-25-1993; Ord. No. 29-93, § 26, 11-18-1993; Ord. No. 44-94, § 6, 10-13-1994; Ord. No. 33-95, § 9, 8-10-1995; Ord. No. 8-99, § 7, 2-11-1999; Ord. No. 44-99, § 3, 11-18-1999; Ord. No. 6-02, § 2, 1-24-2002; Ord. No. 05-06, § 1, 2-9-2006; Ord. No. 16-10, § 212, 9-9-2010; Ord. No. 39-13, § 1, 11-14-2013; Ord. No. 12-14, § 1, 3-27-2014)

Sec. 12-6-2. - Applicability.

- (a) *Zoning districts.* The provisions of this chapter shall be applicable within the following zoning districts:
- (1) *Residential districts.*
 - a. R-1AAAAA through R-1A districts.
 - b. R-ZL (zero lot line dwelling district).
 - c. R-2A and R-2B (multiple-family).
 - (2) *Mixed residential districts.*
 - a. R-2 (residential/office).
 - b. R-NC (residential/neighborhood commercial).
 - (3) *Commercial districts.*
 - a. C-1 (local commercial).
 - b. C-2 (general commercial).
 - c. R-C (residential commercial).
 - d. C-3 (general commercial and limited industry).
 - (4) *Industrial districts.*
 - a. M-1 (wholesale/light industry).
 - b. M-2 (light industry).
 - (5) *Other districts.* The provisions of this chapter shall also be used as guidelines in reviewing site plans in site specific zoning and development (SSD) amendment applications, airport transition zone (ATZ-1 and ATZ-2) districts and in applications for special planned developments.
- (b) *Public institutional uses and churches.* The provisions of this chapter shall be applicable to public institutional uses and churches. Public institutional uses and churches located in R-1AAAAA through R-1A zones shall not be exempt from the provisions of this chapter. In addition, these uses shall conform with the requirements of subsection 12-6-3(1) and all other sections of this title applicable to the R-ZL, R-2A, R-2B and R-2 zones.
- (c) *Exemptions.* All single-family and duplex uses are exempt from the provisions of this chapter, except as provided for in section 12-3-56 (buffer yards), subsection (d) (heritage trees), section 12-6-6(4) (new subdivisions) and section 12-6-7(5) (heritage tree removal mitigation). The C-2A downtown retail commercial district is exempt from the provisions of this chapter, except as provided for in subsections 12-6-6(1), (5), (6), and (7). All healthcare related uses of property owned or controlled by an entity which is licensed as an acute care hospital under F.S. ch. 395, owned or controlled by a parent company of an entity which is licensed as an acute care hospital under F.S. ch. 395 are exempt from the provisions of this chapter, except as provided for in

section 12-6-3 and subsection 12-6-6(1), (3), (5), (6), and (7). In conjunction with the development of any such healthcare related use, a payment of \$5,000.00 per acre of new developed impervious surface area shall be made to the tree planting trust fund. The designated clear zone areas around the Pensacola Regional Airport and any other area identified by the airport manager and approved by the city council as critical to aircraft operations shall be exempt from this chapter.

- (d) *Heritage trees*. A protected tree identified by species in Appendix A of this chapter which is four times the minimum diameter breast height (DBH) or greater. Heritage trees are protected in all the zoning districts listed in this section 12-6-2, and for all land uses and are considered natural resources. Removal, cutting or pruning of heritage trees on proposed development sites may be permitted upon approval of a landscape and tree protection plan (section 12-6-4). Removal, cutting or pruning of heritage trees on developed property may be authorized per section 12-6-7. A permit will be required for removal or pruning of a heritage tree in all zoning districts listed in this section 12-6-2, and for all land uses, including single-family or duplex as set out in section 12-6-7.
- (e) *DBH*. All tree measurements shall be taken at diameter breast height (DBH), which is the diameter of the tree at four and one-half feet (54 inches) above ground. If the tree has a bump or branch at four and one-half feet above ground then DBH shall be measured immediately below the bump or branch. If the tree is growing vertically on a slope, DBH shall be measured from the midpoint of the trunk along the slope. If the tree is leaning, DBH shall be measured from the midpoint of the lean. If the tree forks below or near DBH the tree shall be measured at the narrowest part of the main stem below the fork. If the tree splits into more than one trunk close to ground level, DBH shall be determined by measuring each of the trunks separately and then taking the square root of the sum of all squared stem DBHs.
- (f) *City-designated arborist*. All references to the city's designated arborist shall be construed to mean the mayor's designee who is charged with administering and enforcing the provisions contained within this chapter, who shall have successfully completed the International Society of Arboriculture (ISA)'s Tree Risk Assessment Qualification (TRAQ), which qualifies a tree professional to use a standardized, systematic process for assessing risks presented by trees.
- (g) Notwithstanding any other provision of this chapter, the mitigation cost to a residential property owner (single-family and duplex uses) where the property is already developed shall not exceed \$1,000.00; provided, however, no mitigation cost shall be charged where statutorily prohibited. Mitigation costs for residential property owners on property being developed shall be assessed in accordance with section 12-6-6(2)e.
- (h) Prior to pruning or removal of any tree(s), any permit issued under this chapter must be posted promptly upon receipt, in the manner prescribed in section 12-6-4(4), in a conspicuous place on the property where the tree(s) is located.

(Code 1986, § 12-6-2; Ord. No. 50-00, § 5, 10-26-2000; Ord. No. 31-09, § 1, 9-10-2009; Ord. No. 31-09, § 1, 9-10-2009; Ord. No. 04-21, § 1, 2-25-2021)



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00747

Planning Board

9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/7/2021

SUBJECT:

Request for Aesthetic Review - 900 S. Palafox St. - Plaza de Luna Repairs

BACKGROUND:

Plaza de Luna is located at 900 S. Palafox Street within the Waterfront Redevelopment District - WRD. This site experienced major damage from Hurricane Sally in September 2020. The damage to the park features included sidewalks, handrails, lighting, splash pad equipment and other minor features. The proposed improvements will replace the damaged features with the same or similar material.

The City proposes to relocate the underground splash pad equipment to a new pump house building located adjacent to the DeLuna Café for better protection from future storms. The pump building will be approximately 11' X 17' and shall have similar brick as the adjacent café.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



Waterfront Review Board
P.O. Box 12910
Pensacola, Florida 32521

RE: Plaza de Luna Repairs –Redevelopment Application

August 4, 2021

220 West Garden Street
Suite 700
Pensacola FL 32502
United States of America

Dear Planning Board:

T +1 (850) 484 6011
F +1 (850) 484 8199
mottmac.com/americas

Mott MacDonald was tasked in developing construction plans for the repairs to Plaza de Luna for the City of Pensacola. Hurricane Sally’s high winds and flooding caused damage throughout the park. As part of the repairs, the City wants to relocate the underground splash pad equipment to a new pump house building. The pump house building will provide better protection of the splash pad equipment during extreme events. The brick will be similar in color and style as the brick used at DeLuna Café. This letter includes the application, site photos, and construction plans.

Please contact me if you have any questions.

Sincerely,
Mott MacDonald

A handwritten signature in blue ink, appearing to read 'Kevin Morgan'.

Kevin Morgan, PE
Project Manager

Review Board Application



**Planning Board Application
Request for Aesthetic Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

**Redevelopment
District:**

Waterfront

Gateway

**South Palafox
Business**

**North 9th
Avenue**

** An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

Applicant Signature

Date

Site Photos

Photo 1: Existing splash pad equipment vaults



Photo 2: Existing splash pad equipment



Photo 3: Proposed location of the pump house building from the street



Photo 4: Proposed location of the pump house building looking north



Photo 5: DeLuna Café adjacent to the pump house building



Construction Plans

CITY OF PENSACOLA, FLORIDA

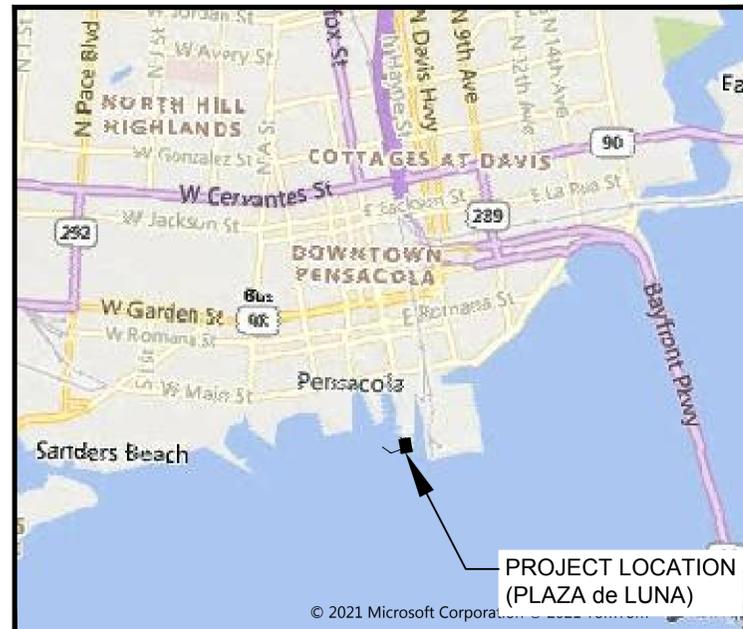
MAYOR - GROVER C. ROBINSON, IV



AUGUST 2021

PLAZA DE LUNA DESIGN

VICINITY MAP



SCALE: 1"=1000'

ISSUE FOR BID



Mott MacDonald
220 W. Garden St., Suite 700
Pensacola, FL 32502
United States of America
T +1 (850) 484-6011
www.mottmac.com/americas

Architects Engineers Surveyors
AA - C0000035 EB - 0000155 LB - 0006783

Rev	Date	Drawn	Description	Ch'k'd	App'd

M M
MOTT MACDONALD

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Architects Engineers Surveyors
AA - C0000035 EB - 0000155 LB - 0006783

Client City of Pensacola

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501



Title Plaza de Luna Design

COVER SHEET

ISSUE FOR BID

Kevin M. Morgan, P.E.
Florida License No. 71350



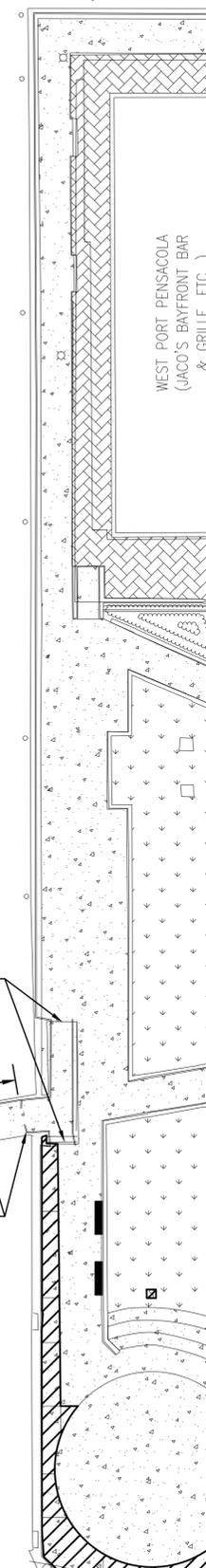
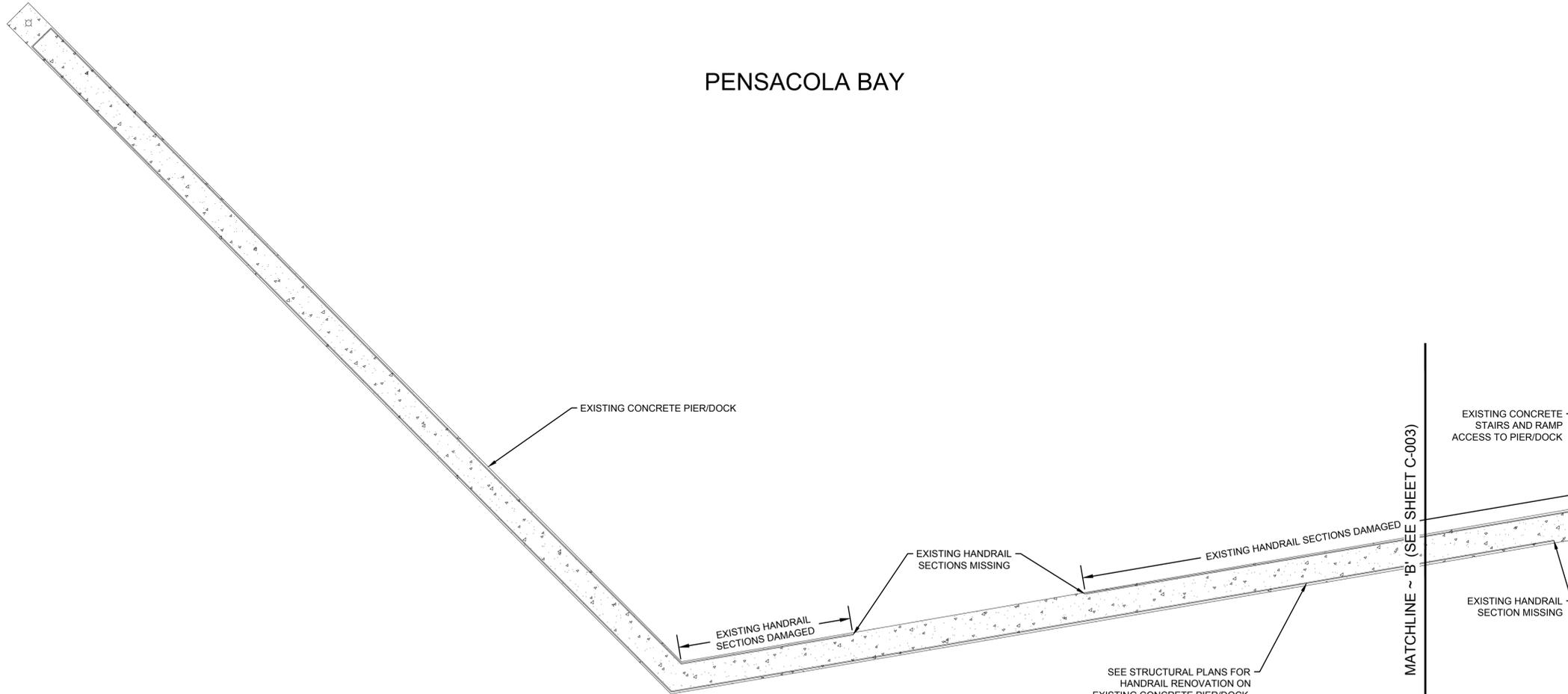
Date _____

SEAL VALID ONLY WITH ENGINEER SIGNATURE

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Designed	Eng check	
Drawn	Coordination	
Dwg check	Approved	
Scale at ANSI D	Status	Rev
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Drawing Number	Security	
	STD	

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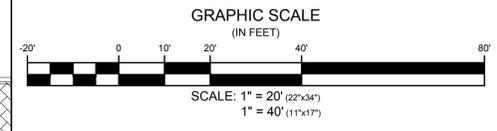


LEGEND:

	EXISTING CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING BRICK PAVERS
	EXISTING EARTHEN WALK
	EXISTING GRASSED / SODDED AREA
	PROPOSED DEMOLISH & REMOVE

NOTE:

- SEE STRUCTURAL DRAWINGS FOR EXTENT OF HANDRAIL REPAIR / REPLACEMENT.



Rev	Date	Drawn	Description	Ch'k'd	App'd

M M
MOTT MACDONALD

Architects Engineers Surveyors
AA - C0000035 EB - 0000155 LB - 0006783

Mott MacDonald Florida, LLC.
220 W. Garden St., Suite 700
Pensacola, FL 32502
United States of America
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www.mottmac.com/americas

Client **City of Pensacola**

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501

Title **Plaza de Luna Design**

PROPOSED DEMOLITION PLAN

ISSUE FOR BID

Kevin M. Morgan, P.E.
Florida License No. 71350

Date _____

SEAL VALID ONLY WITH ENGINEER SIGNATURE

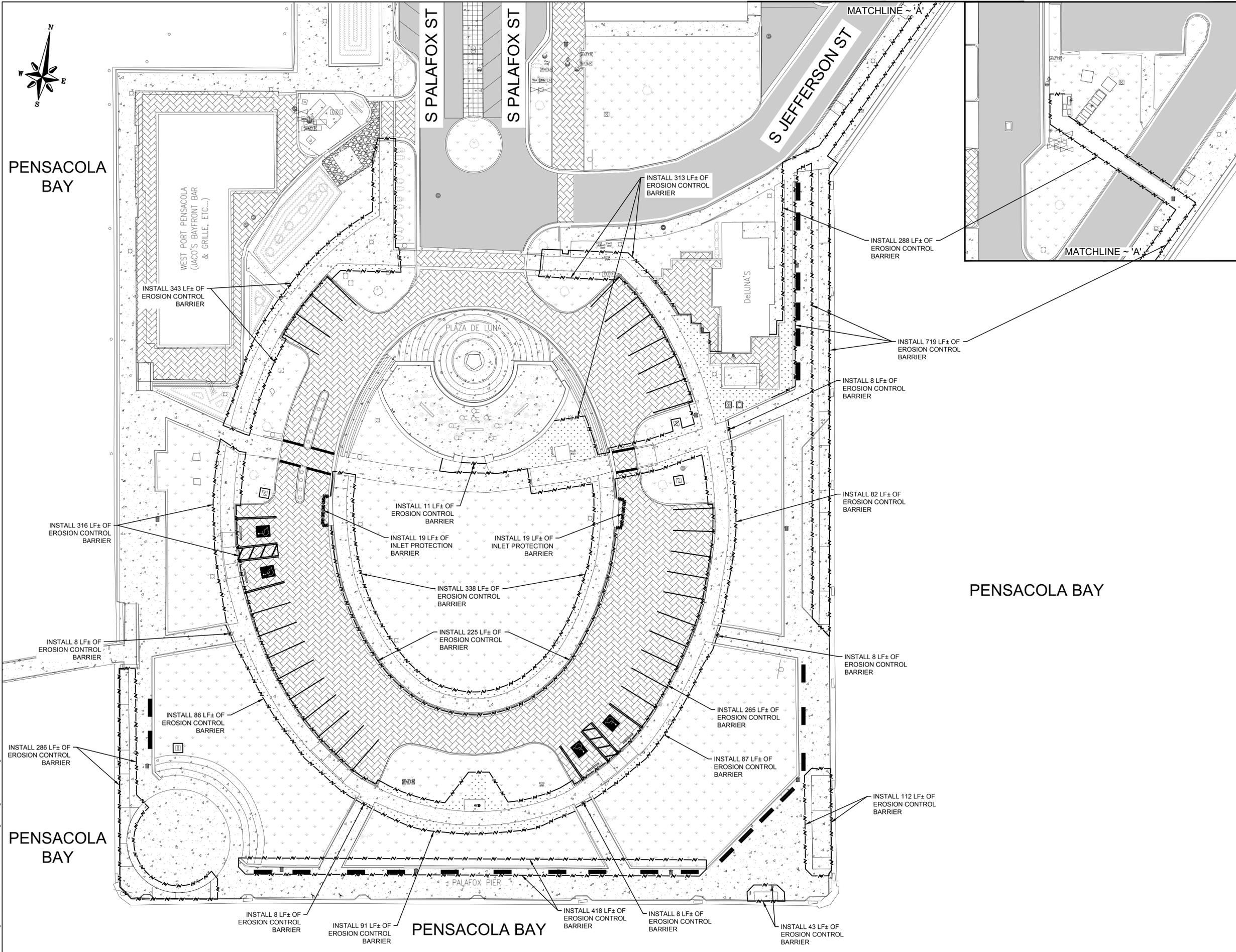
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K. MORGAN	K. MORGAN	
Drawn	Coordination	
G. EDWARDS	G. EDWARDS	
Dwg check	Approved	
T. FROMM	K. MORGAN	
Scale at ANSI D	Status	Rev
1" = 20'	BID	0
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C-004	STD	

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PENSACOLA BAY

PENSACOLA BAY

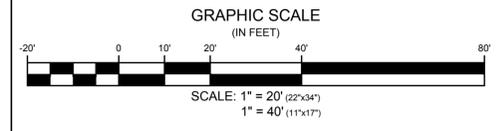


LEGEND:

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- BRICK PAVERS
- EXISTING GRASSED / SODDED AREA
- PROPOSED SOD AREA
- PROPOSED EROSION CONTROL BARRIER (TO BE INSTALLED PRIOR TO DEMOLITION WORK AND TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION)

NOTE:

1. CONTRACTOR SHALL ERECT TEMPORARY EROSION CONTROL BARRIERS AS NECESSARY DURING INSTALLATION OF CONDUITS, PIPE SLEEVES AND PIPING.



Rev	Date	Drawn	Description	Ch'k'd	App'd

M M
MOTT MACDONALD

Architects Engineers Surveyors
AA - C0000035 EB - 0000155 LB - 0006783

Mott MacDonald Florida, LLC
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United States of America
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Client **City of Pensacola**

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501

Title **Plaza de Luna Design**

PROPOSED EROSION CONTROL PLAN

ISSUE FOR BID

Kevin M. Morgan, P.E.
Florida License No. 71350

Date _____

SEAL VALID ONLY WITH ENGINEER SIGNATURE

Project Number 502100054-020	B/O 7	Total 48
Designed K. MORGAN	Eng check K. MORGAN	
Drawn G. EDWARDS	Coordination G. EDWARDS	
Dwg check T. FROMM	Approved K. MORGAN	
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GENERAL

- 1. TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE 7TH EDITION FLORIDA BUILDING CODE (2020).
2. THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
3. COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, OSHA, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
4. ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE PLANS AND SPECIFICATIONS ARE ISSUED FOR BIDDING.
5. REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT/ENGINEER. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
6. ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT / ENGINEER.
7. PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
9. DO NOT SCALE DRAWINGS; USE DIMENSIONS.
10. REFER TO ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
11. DETAILS LABELED "TYPICAL DETAILS" OR "TYP" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT / ENGINEER.
12. BUILDING DESIGN LOADS AND CRITERIA:
A. MINIMUM FLOOR LIVE LOADS
-GROUND FLOOR 125 PSF
B. ROOF
-LIVE LOAD 20 PSF
-WIND UPLIFT REFER TO A7
C. WIND CRITERIA (FBC), REFER TO GENERAL NOTE 13, BELOW
-ULTIMATE WIND SPEED 163 MPH
-NOMINAL WIND SPEED 126 MPH
-EXPOSURE D
-RISK CATEGORY III
-ENCLOSURE CLASSIFICATION ENCLOSED
E. SEISMIC CRITERIA
-IMPORTANCE FACTOR: 1.25
-SPECTRAL RESPONSE COEFFICIENTS
-Ss: 0.079
-Si: 0.054
-Sps: 0.085
-Spi: 0.087
-SITE CLASS: D
-SEISMIC DESIGN CATEGORY: B
-SEISMIC - FORCE - RESISTING SYSTEM: ORDINARY REINFORCED MASONRY SHEAR WALLS
-RESPONSE MODIFICATION FACTOR: R=2.0
-ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
13. ALL WIND FORCES SHALL BE DETERMINED ACCORDING TO THE PROVISIONS OF THE FBC USING THE MINIMUM WIND CRITERIA STATED IN NOTE 12, ABOVE. INCLUDE ALL APPROPRIATE SHAPE, HEIGHT, AND GUST FACTORS FOR THE MAIN WIND FORCE RESISTING SYSTEM AND COMPONENTS AND CLADDING. TO CALCULATE THE MAXIMUM NET UPLIFT, USE 60% OF THE SUPERIMPOSED DEAD LOADS.
14. CONTRACTOR SHALL PROVIDE ALL CODE REQUIRED PRODUCT APPROVAL NUMBERS TO THE GOVERNING BUILDING AGENCY. REFER TO WIND UPLIFT DIAGRAM & WIND LOADING CRITERIA FOR REQUIRED WIND LOADS. SIGNED & SEALED CALCULATIONS SHALL BE SUBMITTED FOR ALL PRODUCTS AS REQUIRED BY THE PRODUCT APPROVAL DOCUMENTATION.
15. "REF" IS THE ABBREVIATION FOR REFERENCE. WHEN PLACED NEXT TO A DIMENSION OR ELEVATION IT INDICATES THAT THE DIMENSION OR ELEVATION HAS BEEN DETERMINED FROM OTHER SOURCES SUCH AS EXISTING DRAWINGS. THE CORRECTNESS OF REFERENCE DATA IS NOT VERIFIED. THE CONTRACTOR SHALL VERIFY THE CORRECTNESS OF ALL REFERENCED DATA INDEPENDENTLY.

SHOP DRAWING SUBMITTAL

- 1. THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF THE SPECIFICATIONS.
2. REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. RESPONSIBILITY FOR THE CORRECTNESS OF DIMENSIONS, DETAILS, QUANTITIES, AND SAFETY DURING FABRICATION AND CONSTRUCTION SHALL REMAIN WITH THE CONTRACTOR.
3. CORRECTIONS AND/OR COMMENTS MADE ON THE SHOP DRAWINGS DURING REVIEW DO NOT IMPLY THAT ALL ERRORS AND OMISSIONS HAVE BEEN CORRECTED, NOR DOES IT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONTRACT DOCUMENTS.
4. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.
5. SHOP DRAWINGS WILL NOT BE REVIEWED UNLESS THEY ARE STAMPED "APPROVED" OR "APPROVED AS NOTED" BY THE GENERAL CONTRACTOR OR CONTRACTION MANAGER, WHICHEVER IS APPLICABLE.
6. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS TO THE CONTRACT DOCUMENTS AND OBTAIN ENGINEER'S WRITTEN APPROVAL BEFORE PROCEEDING.
7. IN ACCORDANCE WITH THE SPECIFICATIONS SUBMIT SHOP DRAWINGS CONSISTENT WITH THE FOLLOWING CRITERIA:
A. ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER REQUIRES A MINIMUM OF 10 WORKING DAYS TO REVIEW AN AVERAGE SUBMITTAL AFTER RECEIPT OF THEM.
B. SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
C. SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.
8. ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL.
9. DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.
10. SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED.

SHOP DRAWING SUBMITTAL (CONT.):

- 11. RESPONSIBILITIES OF DETAILERS AND FABRICATORS:
A. GENERAL
- SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.
B. CONCRETE REINFORCING DETAILER
- PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BENDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
- CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, A CONTROL JOINTS, EXPANSION JOINTS, LINTELS, CONCRETE BOND BEAMS, AND PILASTERS.
- CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
- CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST BE CLEARLY SHOWN.
- CLEARLY SHOW ELEVATION, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS.
- CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
- CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.
12. FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, REFER TO "SHOP DRAWING REQUIRING ENGINEERING INPUT BY SPECIALTY ENGINEER" GENERAL NOTE SECTION.

SOIL PREPARATION AND COMPACTION:

- 1. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD SHALL BE FOLLOWED.
2. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY. A REPORT BEARING THE SIGNATURE AND EMBOSSED SEAL OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE THE PROJECT IS LOCATED WHO CONTROLLED AND TESTED THE SOIL COMPACTION SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD AS AN INDICATION THAT THE REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
3. EXCAVATE EXISTING SOIL TO BOTTOM OF FOOTINGS. ALL DELETERIOUS MATERIAL MUST BE COMPLETELY REMOVED.
4. ALL EXISTING UTILITIES AND ORGANICS(INCLUDING STUMPS AND ROOTS) SHALL BE COMPLETELY REMOVED PRIOR TO FILL OPERATIONS.
5. SOIL COMPACTION, FILL, AND ITS REPLACEMENT SHALL BE FIELD CONTROLLED BY THE TESTING AGENCY OR GEOTECHNICAL ENGINEER OF RECORD. THE TESTING AGENCY SHALL RANDOMLY SELECT ALL TEST LOCATIONS.
6. THE CONTRACTOR SHALL DETERMINE WHETHER DE-WATERING WILL BE REQUIRED BASED ON ACTUAL GROUND WATER CONDITIONS AT THE TIME OF CONSTRUCTION.

SHALLOW FOUNDATIONS

- 1. ALLOWABLE BEARING PRESSURE: 1500 PSF
2. SOIL COMPACTION BENEATH THE FOUNDATIONS AND SLAB SHALL BE 98% MODIFIED PROCTOR .
3. DO NOT EXCAVATE FOR ANY PURPOSE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOOTING OR FOUNDATION UNLESS SUCH FOOTING OR FOUNDATION IS FIRST PROPERLY PROTECTED AGAINST SETTLEMENT.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ACCUMULATED WATER FROM EXCAVATION AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS. THE CONTRACTOR SHALL FIELD VERIFY GROUND WATER DEPTHS PRIOR TO CONSTRUCTION.
6. ANY ANCILLARY DEWATERING DISCHARGE SHALL BE REMOVED FROM THE SITE PER LOCAL CITY AND COUNTY ORDINANCES.

SLABS ON GRADE:

- 1. PREPARE SUBGRADE AS PER THE RECOMMENDATION OUTLINED IN THE GEOTECHNICAL REPORT INCLUDED IN THE SPECIFICATIONS.
2. CHAIR WIRE FABRIC DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.
3. USE 10 MIL. POLYETHYLENE SHEETING BETWEEN SOIL AND CONCRETE SLAB, UNLESS OTHERWISE NOTED.
4. PLACE CONTROL JOINTS AS INDICATED IN THE STANDARD DETAILS IN ALL FLOATING SLABS ON GRADE. DO NOT EXCEED A 1.5 TO 1 WIDTH TO LENGTH RATIO. CONTRACTOR SHALL SUBMIT A CONTROL JOINT LAYOUT FOR ENGINEER'S REVIEW.
5. RECESS SLABS ON GRADE FOR FLOOR FINISHES PER ARCHITECTURAL DRAWINGS.
6. FOR 6" THICK SLABS ON GRADE REINFORCE WITH 6X6 W2.9xW2.9. WELDED WIRE FABRIC SHALL BE SUPPLIED IN SHEETS, NOT ROLLS.

REINFORCED CONCRETE:

- 1. USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI-316 AND 301 AND PROPORTION CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
FOOTINGS AND SLABS: 4000 PSI
CMU FILL: 3000 PSI
ALL OTHER CONCRETE: 4000 PSI
PROVIDE CURRENT (MAXIMUM 1 YEAR OLD) STATISTICAL DATA FOR EACH CONCRETE MIX DESIGN SUBMITTED.
2. WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE USE CONCRETE CONTAINING A SUPERPLASTICIZING (N.R.W.R.) ADMIXTURE, ASTM C494 TYPE F. SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7 ±1".
3. IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK. USE A MINIMUM 4-INCH PUMP, UNLESS PRE-APPROVED BY ENGINEER. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END. TAKE CONCRETE SAMPLES FOR CYLINDER TESTING AT DISCHARGE END.
4. PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318 CH. 6.4 AND SUBMIT SHOP DRAWINGS SHOWING LOCATIONS AND DIRECTION OF CONCRETE PLACEMENT FOR STRUCTURAL ENGINEER'S REVIEW. PROVIDE KEY WAYS AND ADEQUATE DOWELS IN ALL CONSTRUCTION JOINTS.
5. PROVIDE REINFORCING STEEL ERECTOR WITH A SET OF STRUCTURAL PLANS FOR FIELD USE. INSPECT REINFORCING STEEL PLACING FROM STRUCTURAL PLANS.
6. USE ASTM A-615 GR. 60 FOR ALL REINFORCING STEEL, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPLICE FOR CONTINUOUS BARS, UNLESS OTHERWISE NOTED. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MID SPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS OTHERWISE NOTED.
7. PLACE REINFORCING STEEL SUCH THAT BARS ADJACENT TO CONCRETE SURFACES AND COLD JOINTS MEET MINIMUM CLEAR COVER REQUIREMENTS, BUT DO NOT EXCEED THOSE REQUIREMENTS. USE THE FOLLOWING CLEAR COVER OVER REINFORCING:
BOTTOM TOP SIDES
FOOTINGS, GRADE BEAMS, AND TURNDOWN SLABS 3" 3" 3"
SLABS ON GRADE 2" 1 1/2" 2"
8. HORIZONTAL BARS SHALL BE MADE CONTINUOUS WITH HOOKS AROUND CORNERS.
9. USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES.
10. SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY, UNLESS APPROVED BY ENGINEER.
11. SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATING REINFORCING STEEL. DO NOT REPRODUCE THE STRUCTURAL DRAWINGS FOR USE AS SHOP DRAWINGS.
12. PROVIDE CLASS 'B' LAP SPLICE AT SUPPORTS AND HOOK DISCONTINUOUS ENDS AT THE FAR FACE OF SUPPORTS FOR ALL BEAMS UNLESS OTHERWISE NOTED.
13. REINFORCING PLACED IN LOCATIONS WHERE PROPER COVER CANNOT BE ACHIEVED SHALL BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A767 WITH 2 OUNCES OF ZINC COATING PER SQUARE FOOT OF SURFACE AREA MINIMUM.
14. ALL EXPOSED CONCRETE AND GROUT EDGES SHALL HAVE 3/4", 45° CHAMFER UNLESS OTHERWISE NOTED.

MISCELLANEOUS STEEL

- 1. FOR MISCELLANEOUS STEEL NOT SHOWN ON STRUCTURAL DRAWINGS, REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS.
2. EDGE ANGLES, CLIP ANGLES, PLATES, BARS, AND OTHER MISCELLANEOUS ROLLED SHAPES SHALL BE ASTM A-36 STRUCTURAL STEEL, UNLESS OTHERWISE NOTED AND SHALL BE GALVANIZED.
3. THE PROVISIONS OF THE ABOVE STRUCTURAL STEEL SECTION SHALL ALSO APPLY TO MISCELLANEOUS STEEL.

STEEL FASTENERS AND HARDWARE

- 1. FASTENERS IN CONTACT WITH ACO TREATED LUMBER SHALL EITHER BE TYPE 304/316 STAINLESS STEEL OR SHALL BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A153 WITH 2 OUNCES OF ZINC COATING PER SQUARE FOOT MINIMUM, AND SEPARATED WITH A WATERPROOF MEMBRANE. INDOOR VISUALLY EXPOSED FASTENERS SHALL BE PAINTED AND FINISHED IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS.
2. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE. DO NOT MIX HOT-DIPPED GALVANIZED ITEMS WITH STAINLESS STEEL.
3. ALL NON-STAINLESS STEEL PLATES AND SHAPES SHALL BE ASTM A-36, UNLESS OTHERWISE NOTED.
4. BOLTS AND LAG SCREWS SHALL COMPLY WITH THE REQUIREMENTS OF ANSI/ASME STANDARD B18.2.1 GRADE 2 OR ASTM A307, GRADE 2, AND SHALL PREFERABLY BE DOME HEAD TIMBER BOLTS.
5. WASHERS SHALL BE PROVIDED UNDER BOLT AND LAG SCREW HEADS AND NUTS THAT ARE IN CONTACT WITH WOOD. WASHERS MAY BE OMITTED UNDER HEADS OF SPECIAL TIMBER BOLTS OR DOME HEAD BOLTS WHEN THE SIZE AND STRENGTH OF THE HEAD IS SUFFICIENT TO DEVELOP CONNECTION STRENGTH WITHOUT WOOD CRUSHING.

Table with 5 columns: Rev, Date, Drawn, Description, Ch'k'd, App'd. The table is currently empty.

MOTT MACDONALD logo and contact information: Mott MacDonald, Florida, LLC, 220 West Garden Street, Suite 700, Pensacola, Florida 32502. Includes phone number (850) 484-6011 and website www.mottmac.com/americas.

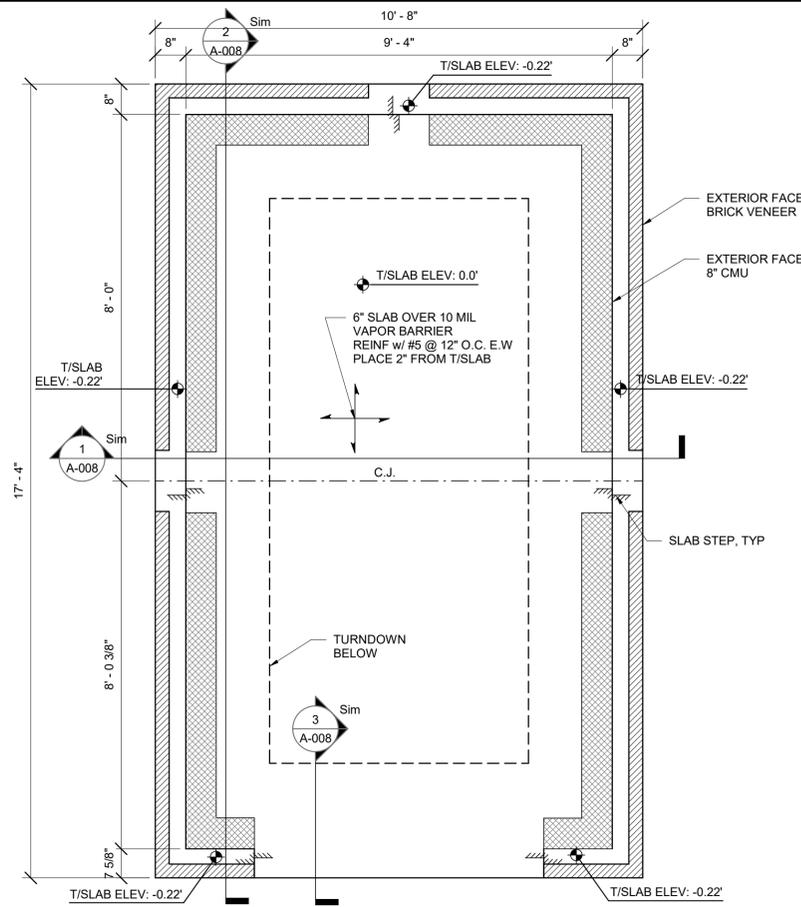
Client: City of Pensacola. Public Works & Facilities Department, 2757 N. Palafox Street, Pensacola, FL 32501. Includes the City of Pensacola seal.

Plaza de Luna Design
GENERAL NOTES (1 OF 2)

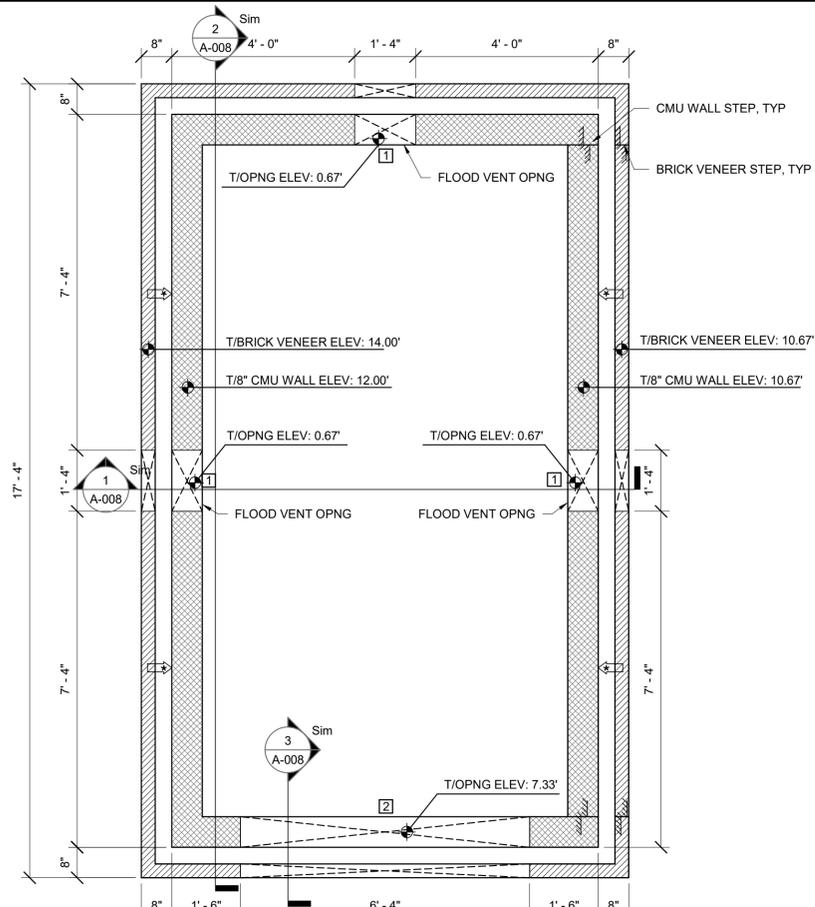
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Table with project details: Project Number 502100054-020, B/O, Total, Designed by MJT, Drawn by MJT, Dwg Check by CEL, Scale at ANSI D, Status BID, Rev, Security, Drawing Number A-003.

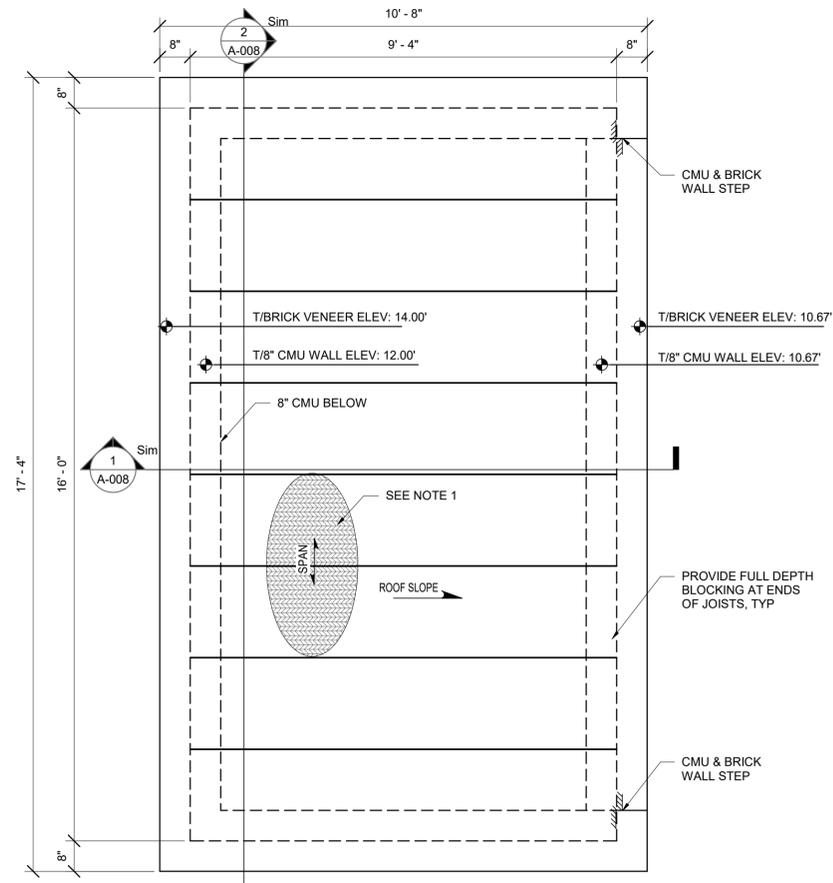
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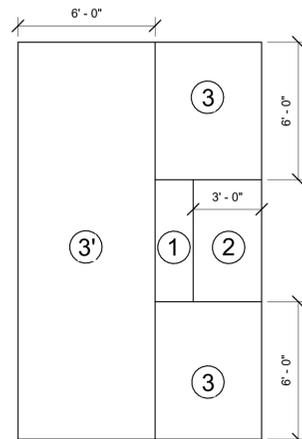
1 SLAB AND FOUNDATION PLAN
1/2" = 1'-0"



2 WALL PLAN
1/2" = 1'-0"



3 ROOF PLAN
1/2" = 1'-0"



4 ROOF AND WALL COMPONENT AND CLADDING PRESSURES
1/4" = 1'-0"

NOTES

- ROOF SHALL BE STANDING SEAM METAL ROOF OVER SELF ADHERING MEMBRANE ON 5/8" APA RATED STRUCTURAL 1 EXTERIOR GRADE PLYWOOD. PLYWOOD DECKING SHALL BE ATTACHED WITH 10d NAILS AT 6" O.C. AT EDGES AND INTERMEDIATE SUPPORTS. ALL EDGES OF SHEATHING SHALL BE BLOCKED.
- ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. REFER TO GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- COORDINATE FLOOR AND WALL OPENINGS WITH OTHER DISCIPLINES. REFER TO A-009 FOR ADDITIONAL CONCRETE NOTES AND DETAILS.
- REFER TO A-010 FOR ADDITIONAL MASONRY NOTES AND DETAILS.

LEGEND

- DENOTES 8" CMU WALL. REFER TO A-010.
- DENOTES 4" EXTERIOR BRICK VENEER.
- DENOTES WALL CONTROL JOINTS. REFER TO A-010.
- DENOTES SLAB CONTROL JOINT. REFER TO A-009.
- DENOTES LINTEL BEAM TYPE

ROOF PRESSURES			
ZONE	EFFECTIVE AREA (FT ²)	PRESSURE (PSF)	
		POSITIVE	NEGATIVE
1	10	17.2	-45.7
	20	16.1	-45.7
	50	14.6	-45.7
	100	13.6	-45.7
2	10	17.2	-52.9
	20	16.1	-51.8
	50	14.6	-50.4
	100	13.6	-49.3
3	10	17.2	-70.7
	20	16.1	-64.3
	50	14.6	-55.7
	100	13.6	-49.3

WALL PRESSURES					
ZONE	EFFECTIVE AREA (FT ²)	WALL PRESSURE (PSF)		PARAPET PRESSURE (PSF)	
		POSITIVE	NEGATIVE	POSITIVE	NEGATIVE
4	10	38.6	-41.8	38.6	-52.9
	50	34.6	-37.9	-	-
	200	31.2	-34.4	-	-
	500	28.9	-32.2	-	-
5	10	38.6	-51.4	38.6	-70.7
	50	34.6	-43.5	-	-
	200	31.2	-36.7	-	-
	500	28.9	-32.2	-	-

NOTES:

- WALL SECTION 5 EXTENDS FROM THE BUILDING CORNERS A DISTANCE OF 3'-0". WALL SECTION 4 IS THE REMAINDER OF THE WALL.
- THE WIND PRESSURES SHOWN IN THE TABLES ARE ALLOWABLE PRESSURES AND SHALL NOT BE REDUCED ANY FURTHER. THE 0.6 LOAD FACTOR HAS ALREADY BEEN APPLIED TO THE WIND PRESSURES SHOWN IN THE TABLES.

Rev	Date	Drawn	Description	Ch'k'd	App'd

M M
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AA - C000035 EB - 0000155 LB - 0006783

Client
City of Pensacola

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501

Title
Plaza de Luna Design

PLANS

Project Engineer: **Chad E. Lyner**
Florida Certification No.: **66277**

VALID ONLY WITH SEAL

DATE

Project Number 502100054-020	B/O	Total
Designed MJT	Eng Check	
Drawn MJT	Coordination	
Dwg Check CEL	Approved T.JARMAN	
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Security		
Drawing Number A-006		

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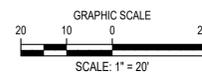
PENSACOLA BAY

PENSACOLA BAY

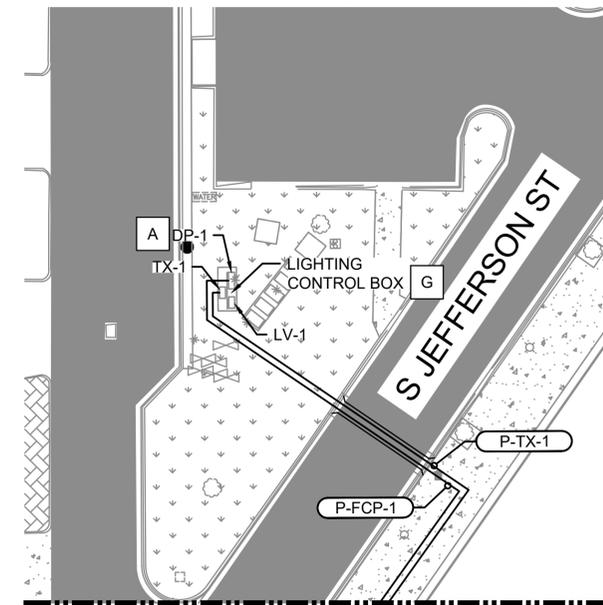
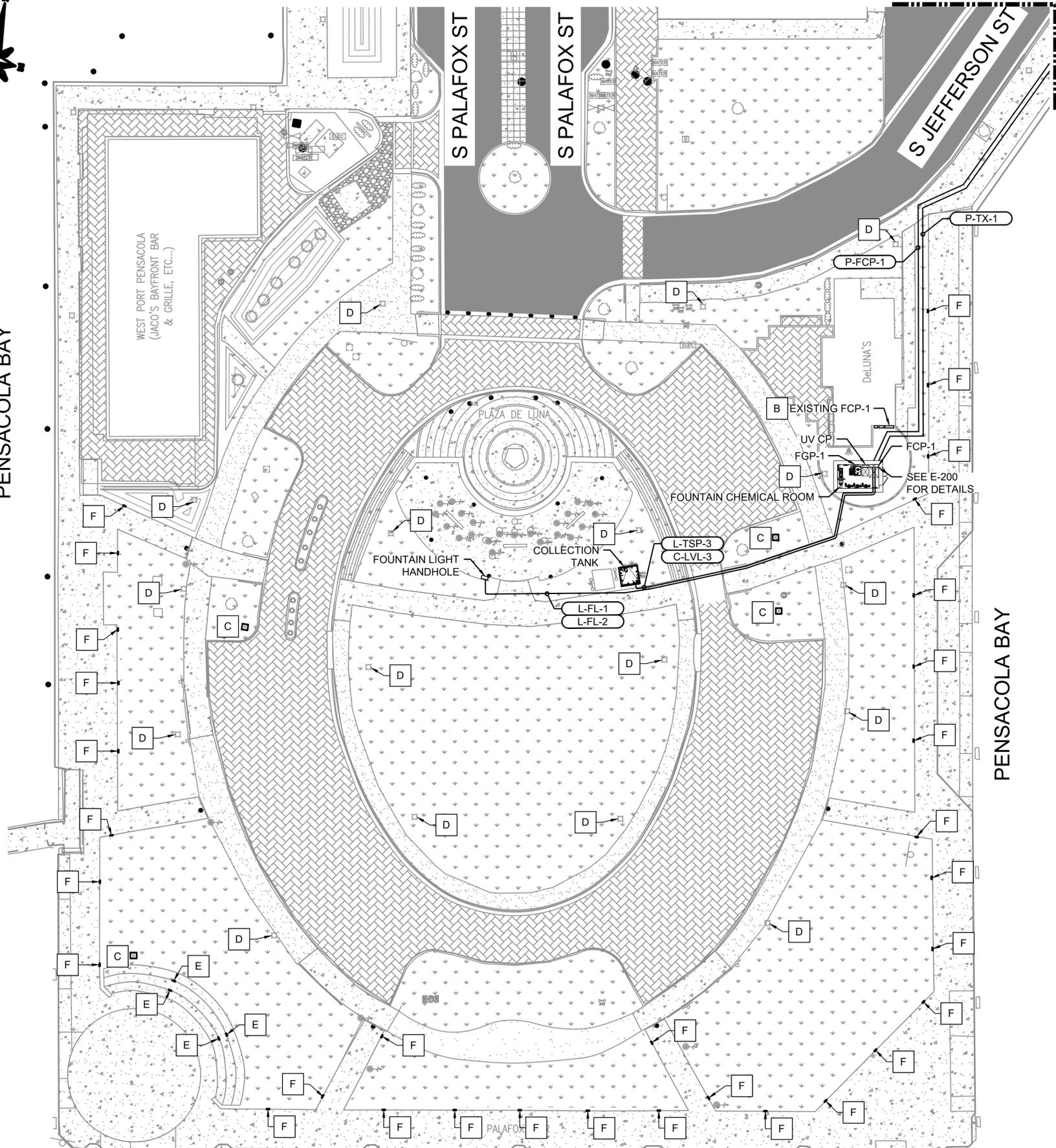
PENSACOLA BAY

ELECTRICAL SITE PLAN

SCALE: 1"=20'



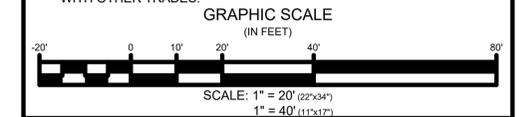
SEE CONTINUATION THIS SHEET



CONTINUED FROM THIS SHEET

KEY NOTES

- A REPAIR OR REPLACE EXISTING DISTRIBUTION PANEL (DP-1).
- B REPLACE THE EXISTING FOUNTAIN CONTROL PANEL 480V THREE PHASE POWER CONDUIT AND WIRE. CONNECT TO THE NEW FOUNTAIN CONTROL PANEL IN THE NEW BUILDING. INSTALL CONDUIT AND WIRE FEEDING TX-2.
- C REPLACE THE VENDOR RECEPTACLE STANDS AND WIRE. THE REPLACEMENT VENDOR RECEPTACLE STANDS SHALL BE, EATON HATTERAS LIGHT POWER PEDESTAL WITH 20A (120V), 30A (120V), 50A (120/240V) RECEPTACLES PROTECTED BY CIRCUIT BREAKERS ALL GFCI TYPICAL OF 4.
- D REPLACE THE APPROXIMATELY 5000 FEET OF LIGHTING CONDUCTORS AND REPAIR THE LIGHTING FIXTURE. REPLACE THE LIGHTING FIXTURE WITH P-1 ON THE LIGHTING FIXTURE SCHEDULE IF REPAIR IS NOT FEASIBLE. TYPICAL OF 17. EXACT CONDUIT ROUTING IS UNKNOWN THEREFORE DIMENSIONS ARE APPROXIMATE.
- E REPLACE THE LIGHTING FIXTURE WITH FIXTURE S1 ON THE LIGHTING FIXTURE SCHEDULE. REPLACE LIGHTING CONDUCTORS AND REPAIR THE CONTROLS AS NEEDED. COORDINATE WITH OTHER TRADES FOR MASONRY. TYPICAL OF 4.
- F REPLACE THE LIGHTING FIXTURE WITH FIXTURE S2 ON THE LIGHTING FIXTURE SCHEDULE. REPLACE THE APPROXIMATELY 5000 FEET OF LIGHTING CONDUCTORS AND REPAIR CONTROLS AS NEEDED. COORDINATE WITH OTHER TRADES FOR MASONRY. TYPICAL OF 32.
- G REPLACE THE LIGHTING CONTROLS PHOTOCELL, CONTACTOR, AND NEW SWITCHES TO CREATE AN OPERABLE SYSTEM.
- H SAW CUT ROAD AND SIDEWALKS FOR INSTALLATION OF THE REPLACEMENT CONDUITS. VERIFY WIRE CAN BE PULLED TO EACH EXISTING CIRCUIT BEFORE PROCEEDING TO THIS STEP. REUSING AS MUCH OF THE EXISTING CONDUIT INFRASTRUCTURE POSSIBLE IS DESIRED. RESTORE AREAS AFFECTED BY THIS ACTIVITY. COORDINATE WITH OTHER TRADES.



Rev	Date	Drawn	Description	Ch'k'd	App'd

M M
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Pensacola, FL 32501



Title **Plaza de Luna Design**

ELECTRICAL PLAN

ISSUE FOR BID

Andrew K. Gibbs, P.E.
Florida License No. 77293

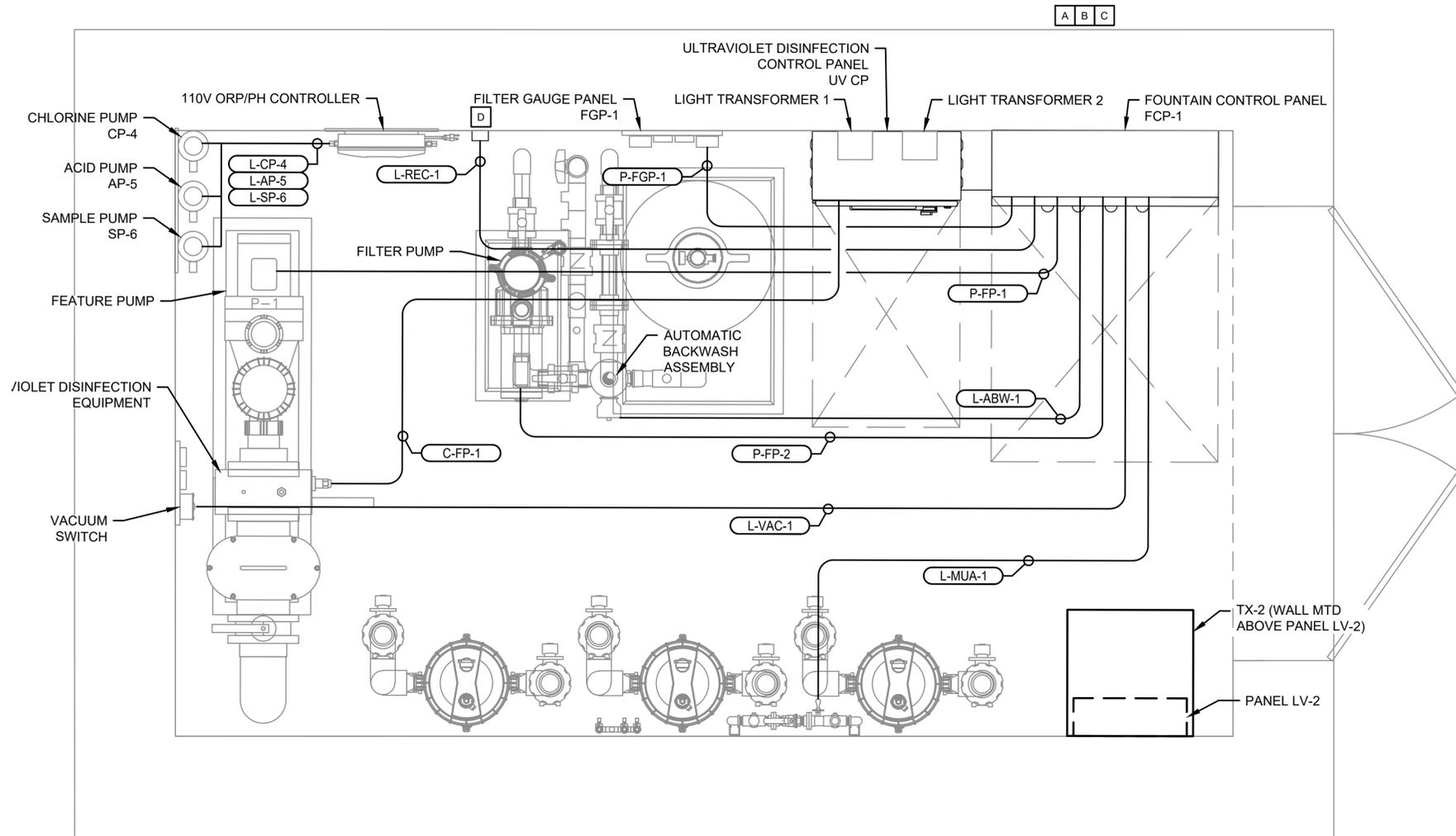


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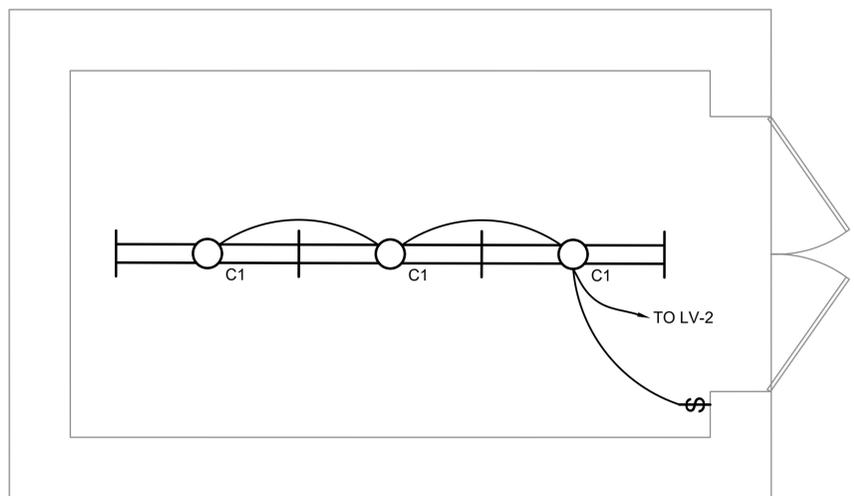
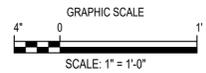
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Drawn H. ERSKINE	Coordination M. KERR	
Dwg check A. GIBBS	Approved A. GIBBS	
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Drawing Number E-100	Security STD	

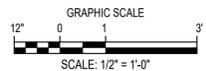
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FOUNTAIN CONTROL ROOM ELECTRICAL PLAN
SCALE: 1"=1'-0"



FOUNTAIN CONTROL ROOM LIGHTING PLAN
SCALE: 1/2"=1'-0"



GENERAL NOTES

1. WIRE CONTROLS, PUMPS, PANELS, SOLENOIDS, SWITCHES, AND SENSORS PER THE MANUFACTURER AND DELTA FOUNTAINS INSTRUCTIONS.

KEY NOTES

- A** INSTALL A NEW FOUNTAIN CONTROL PANEL (FCP-1) FROM DELTA FOUNTAINS IN NEW BUILDING.
- B** REPLACE THE EXISTING FOUNTAIN CONTROL PANEL 480V THREE PHASE POWER CONDUIT AND WIRE. CONNECT TO THE NEW FOUNTAIN CONTROL PANEL IN THE NEW BUILDING. INSTALL CONDUIT AND WIRE FEEDING TX-2.
- C** INSTALL NEW A NEW TRANSFORMER (TX-2) IN THE NEW BUILDING.
- D** 110V RECEPTACLE FOR ORP/PH CONTROLLER.

Rev	Date	Drawn	Description	Ch'k'd	App'd

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Client **City of Pensacola**

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501

Title **Plaza de Luna Design**

PROPOSED FOUNTAIN CONTROL ROOM ELECTRICAL PLANS

ISSUE FOR BID

Andrew K. Gibbs, P.E.
Florida License No. 77293

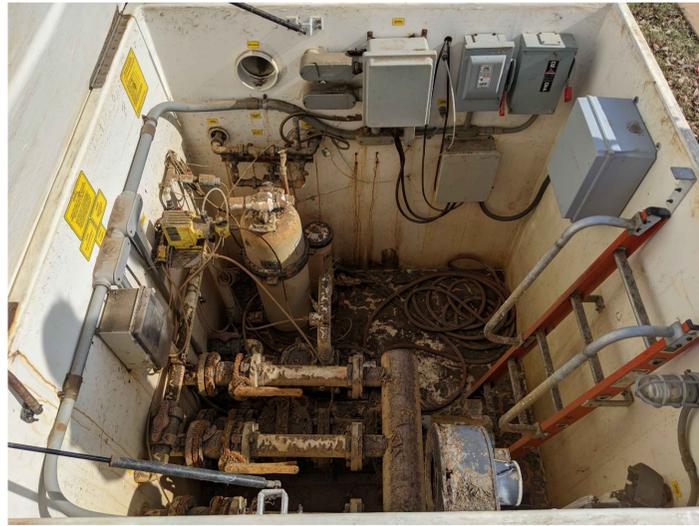
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SEAL VALID ONLY WITH ENGINEER SIGNATURE

Project Number 502100054-020	B/O 34	Total 47
Designed M. KERR	Eng check F. WELLS	
Drawn H. ERSKINE	Coordination M. KERR	
Dwg check A. GIBBS	Approved A. GIBBS	
Scale at ANSI D 1" = 1'	Status BID	Rev 0
Drawing Number		Security STD

E-200

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 Time Stamp: Jun 18, 2021 - 11:50:11AM
 Drawing Name: E-200 Electrical Building Plan.dwg
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EXISTING FOUNTAIN EQUIPMENT PIT
NO SCALE



EXISTING VENDOR RECEPTACLE STAND
NO SCALE



EXISTING FOUNTAIN CONTROL PANEL
NO SCALE



EXISTING CONDITION OF PATH LIGHTING
NO SCALE



TRANSFORMER SHIFTED OFF OF PAD
NO SCALE



EXISTING PANEL DP
NO SCALE



EXISTING PANEL DP
NO SCALE



EXISTING PANEL LV-1
NO SCALE

Rev	Date	Drawn	Description	Ch'k'd	App'd

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Client **City of Pensacola**

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Pensacola, FL 32501



Title **Plaza de Luna Design**

ELECTRICAL DETAILS

ISSUE FOR BID

Andrew K. Gibbs, P.E.
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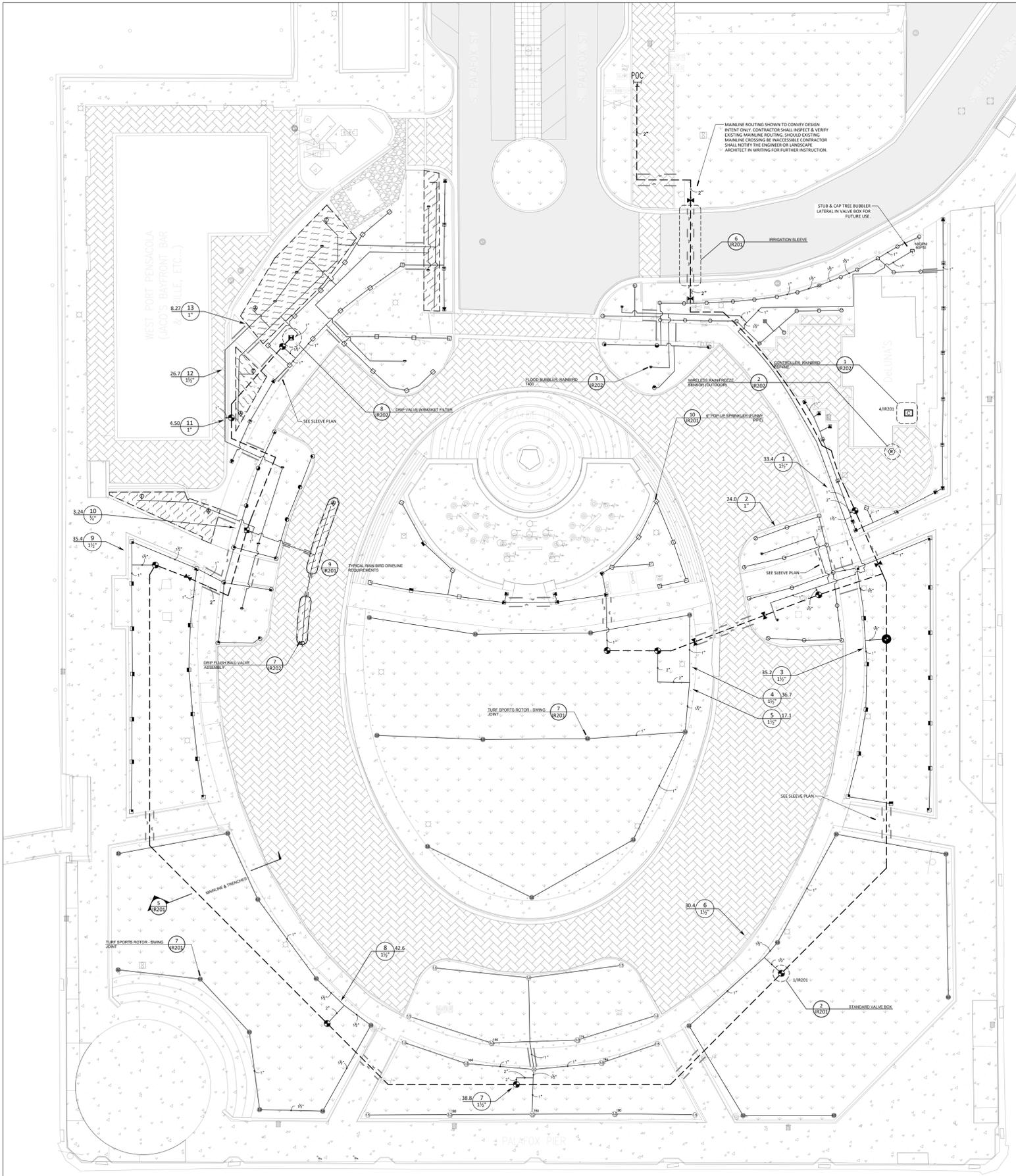


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Project Number 502100054-020	B/O 36	Total 47
Designed M. KERR	Eng check H. ERSKINE	Total F. WELLS
Drawn H. ERSKINE	Coordination M. KERR	
Dwg check A. GIBBS	Approved A. GIBBS	
Scale at ANSI D NO SCALE	Status BID	Rev 0
		Security STD
Drawing Number E-901		

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 Time Stamp: Jun 18, 2021 - 11:54:41 AM
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IRRIGATION SCHEDULE **ABBREV. (OAE) - OR APPROVED EQUAL**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
☀	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	29	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	3	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	30	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	29	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 8 SERIES MPR SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	22	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 12 SERIES MPR SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	15	30	10/IR201
☀	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 15 SERIES MPR SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	16	30	10/IR201
☀	RAIN BIRD-1400 FLOOD-TREE BUBBLER (OAE) 1401 FIXED FLOW RATE (0.25-2.0GPM), FULL CIRCLE BUBBLER. 1/2" FIPT.	13	40	3/IR202

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	DETAIL
☀	RAIN BIRD 3504-PC-SAM -TURF ROTOR (OAE) TURF ROTOR. 4.0" POP-UP. ADJUSTABLE AND FULL CIRCLE. WITH SEAL-A-MATIC CHECK VALVE.	8	45	1.48	7/IR201
☀	RAIN BIRD 3504-PC-SAM -TURF ROTOR (OAE) TURF ROTOR. 4.0" POP-UP. ADJUSTABLE AND FULL CIRCLE. WITH SEAL-A-MATIC CHECK VALVE.	9	45	3.00	7/IR201
☀	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR. 6.0" POP-UP. STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	2	45	1.54	7/IR201
☀	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR. 6.0" POP-UP. STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	17	45	3.09	7/IR201
☀	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR. 6.0" POP-UP. STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NOZZLE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	9	45	6.01	7/IR201

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
☀	RAIN BIRD LFV-075 (OAE) 3/4" LOW FLOW DV VALVE	1	8/IR202
☀	RAIN BIRD XCZF-100-PRF (OAE) 1" MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE WITH 1" PRESSURE REGULATING FILTER AT 40PSI, AND MDCC FITTING. 3GPM-15GPM.	1	8/IR202
☀	RAIN BIRD MDCCPCAP (OAE) DRIPLINE FLUSH VALVE PURPLE CAP IN COMPRESSION FITTING COUPLER. FOR NON-POTABLE WATER USE.	4	7/IR202
☀	RAIN BIRD ARV050 (OAE) 1/2" AIR RELIEF VALVE. MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX (SEB 7XB EMITTER BOX). USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	4	6/IR202
☀	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-09-12 (OAE) XFD ON SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.9 GPM EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 24" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	767.4 L.F.	9/IR201

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
☀	RAIN BIRD PEB (OAE) 1-1/2" 1"-1-1/2" 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION.	9	1/IR201
☀	RAIN BIRD PEB (OAE) 1" 1"-1-1/2" 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION.	2	1/IR201
☀	NIBCO P-619-RW (OAE) 2" TO 12" CAST IRON GATE VALVE. SAME SIZE AS MAINLINE PIPE WHERE LOCATED. RESILIENT WEDGE NON-RISING STEM FLOW CONTROL. WITH IPS PUSH-ON ENDS.	6	4/IR202
☀	RAIN BIRD ESPM3E3 WITH (2)ESP-SM3 (1)ESP-SM6 (OAE) 16 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1	1/IR202
☀	RAIN BIRD WR2-48 (OAE) WIRELESS RAINFREEZE SENSOR.	1	2/IR202
☀	CAP FOR FUTURE USE	1	
☀	EXISTING METER/BACKFLOW CONNECTION EXISTING CITY WATER METER & BACKFLOW	1	
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"	3,418 L.F.	5/IR201
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2"	472.7 L.F.	5/IR201
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 2"	38.9 L.F.	5/IR201
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 2"	935.4 L.F.	5/IR201
---	PIPE SLEEVE: PVC SCHEDULE 40	SEE SLEEVE PLAN	6/IR201

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	PSI	PRECIP
1	RAIN BIRD PEB (OAE)	1-1/2"	TURF SPRAY	33.36	48	30	36.41	1.31 in/h
2	RAIN BIRD PEB (OAE)	1"	BUBBLER	24.00	4	40	47.39	6.81 in/h
3	RAIN BIRD PEB (OAE)	1-1/2"	TURF SPRAY	35.18	27	30	35.11	1.04 in/h
4	RAIN BIRD PEB (OAE)	1-1/2"	TURF ROTOR	36.73	11	45	50.48	0.42 in/h
5	RAIN BIRD PEB (OAE)	1-1/2"	TURF SPRAY	17.11	19	30	35.26	1.21 in/h
6	RAIN BIRD PEB (OAE)	1-1/2"	TURF ROTOR	30.39	7	45	50.37	0.8 in/h
7	RAIN BIRD PEB (OAE)	1-1/2"	TURF ROTOR	38.84	17	45	49.03	0.99 in/h
8	RAIN BIRD PEB (OAE)	1-1/2"	TURF ROTOR	42.58	10	45	50.38	0.81 in/h
9	RAIN BIRD PEB (OAE)	1-1/2"	TURF SPRAY	35.40	25	30	34.76	1.11 in/h
10	RAIN BIRD LFV-075 (OAE)	3/4"	AREA FOR DRIPLINE	3.24	216.6 L.F.	40	43.52	0.72 in/h
11	RAIN BIRD PEB (OAE)	1"	BUBBLER	4.50	9	40	41.76	1.7 in/h
12	RAIN BIRD PEB (OAE)	1-1/2"	TURF SPRAY	26.66	25	30	34.52	1.36 in/h
13	RAIN BIRD XCZF-100-PRF (OAE)	1"	AREA FOR DRIPLINE	8.27	550.8 L.F.	40	50.24	0.72 in/h

Rev	Date	Drawn	Description	Ch'k'd	App'd



Client **City of Pensacola**

Public Works & Facilities Department
2757 N. Palafox Street
Pensacola, FL 32501

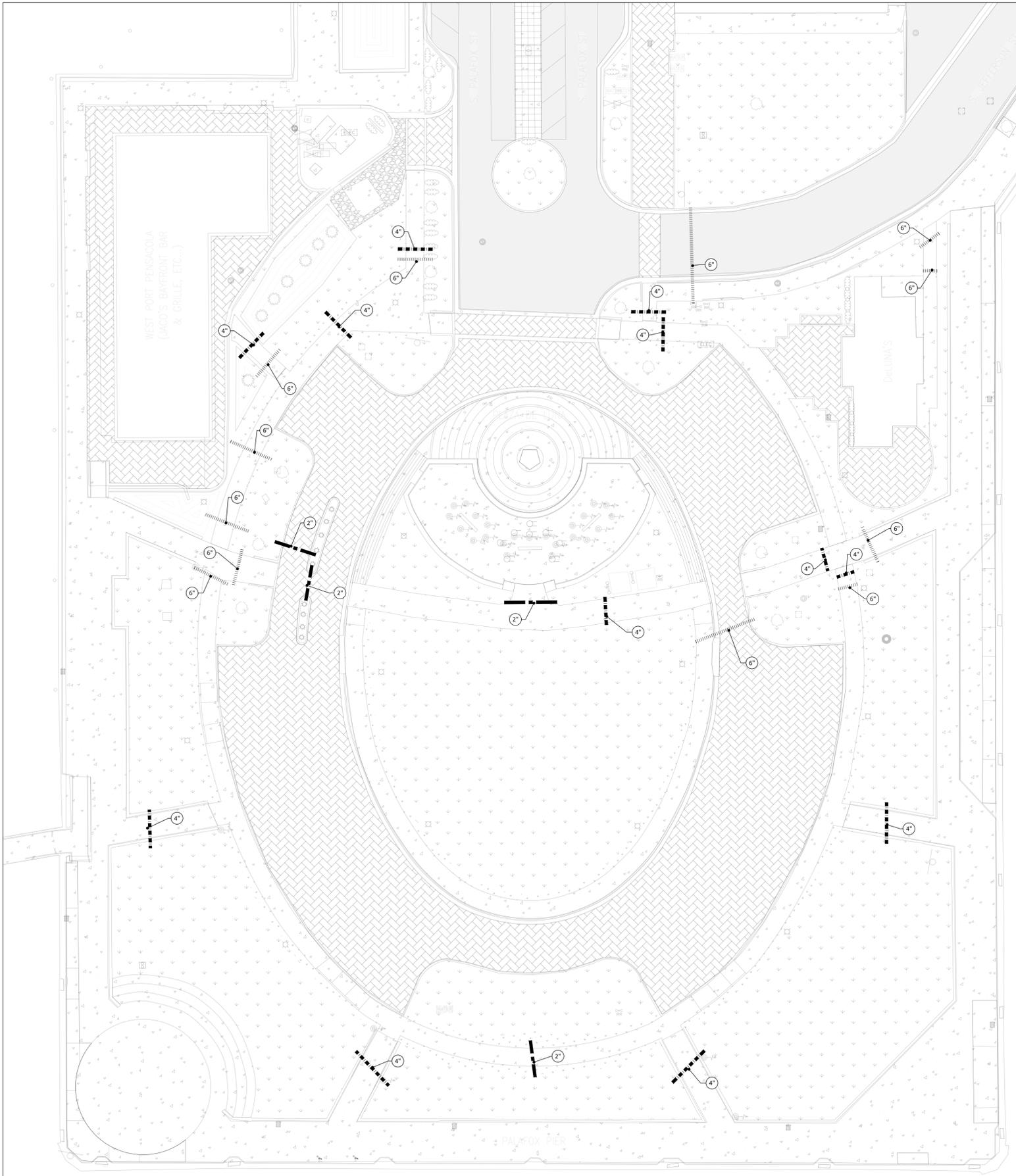


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IRRIGATION PLAN

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Project Number 502100054-020	B/O VALUE	Total 20
Designed B. ALEXANDER	Eng check K. MORGAN	
Drawn B. ALEXANDER	Coordination G. EDWARDS	
Dwg check S. DANA	Approved K. MORGAN	
Scale at ANSI D 1" = 20'	Status BID	Rev 0
Drawing Number IR-101	Security STD	



SLEEVE SCHEDULE

CODE	DESCRIPTION	QTY
----	2" 2 INCH - SCH 40 PVC SLEEVE	56 LF
-----	4" 4 INCH - SCH 40 PVC SLEEVE	138 LF
	6" 6 INCH - SCH 40 PVC SLEEVE	160 LF

NOTE:
 -SLEEVES PER IRRIGATION DETAILS. SEE IRRIGATION PLAN & DETAILS.
 -REFERENCE NOTES SCHEDULE IS FOR INFORMATIONAL PURPOSES ONLY.
 -CONTRACTOR SHALL PERFORM THEIR OWN TAKE-OFF BASED ON SPECIFICATIONS.
 -ALL SLEEVES SHALL BE TWO TIMES THE DIAMETER OF PIPE CONTAINED WITHIN.
 - EXAMPLE: 1" LATERAL IRRIGATION LINE = 2" SCH 40 PVC SLEEVE MIN.

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Client **City of Pensacola**

Public Works & Facilities Department
 2757 N. Palafox Street
 Pensacola, FL 32501

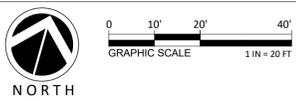


Title **Plaza de Luna Design**

IRRIGATION SLEEVE PLAN

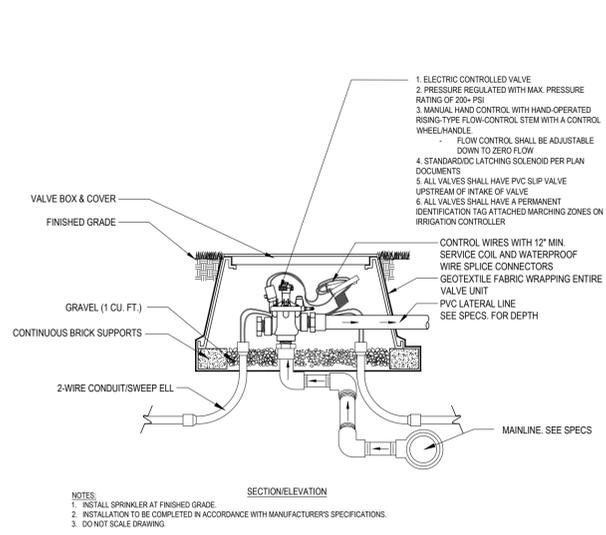
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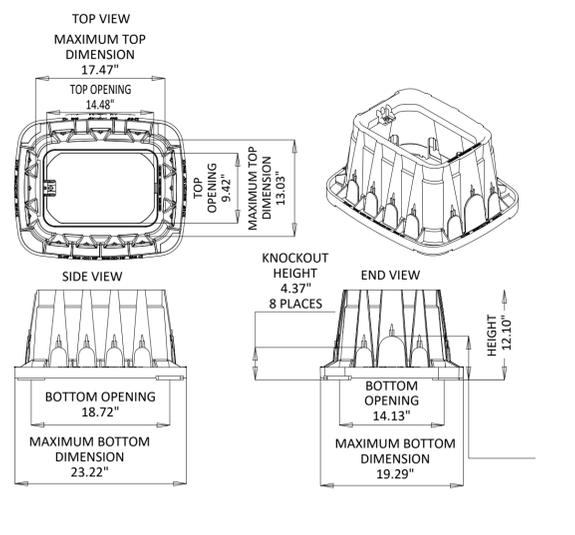


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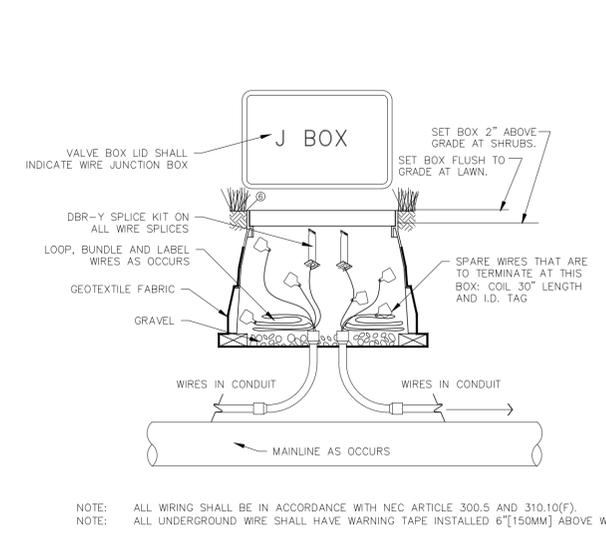
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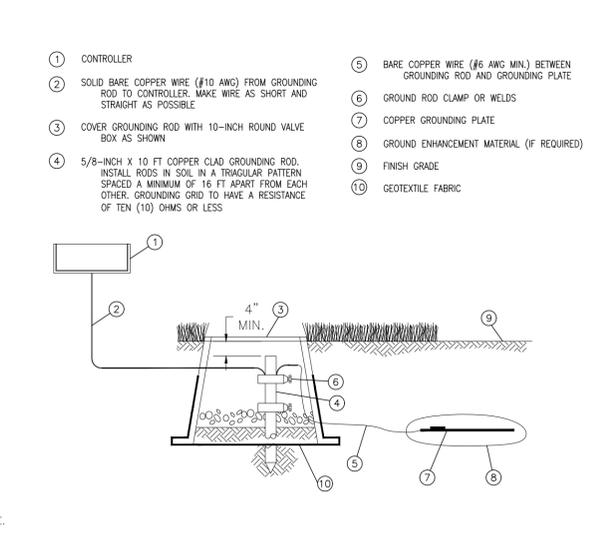
1 MAINLINE SWING JOINT TO ELECTRIC VALVE
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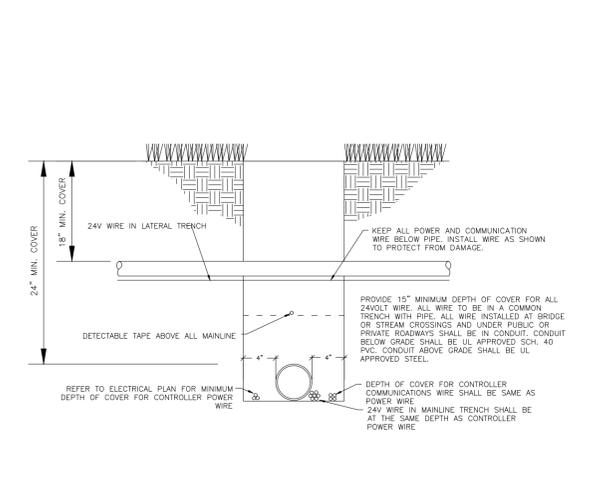
2 STANDARD VALVE BOX
 NTS JPD-IR-CIRR-AUXI-328409-07



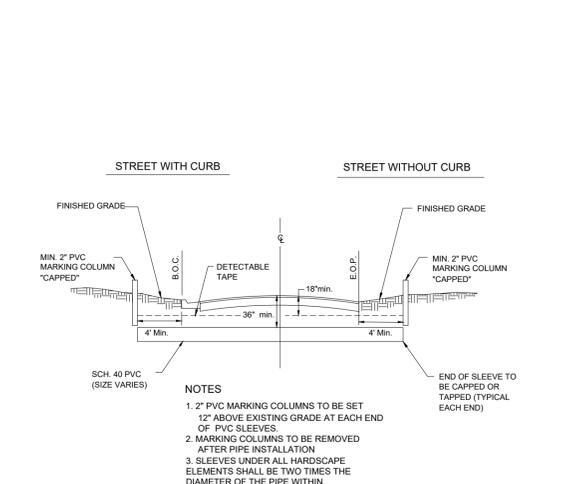
3 WIRE BUNDLE JUNCTION BOX
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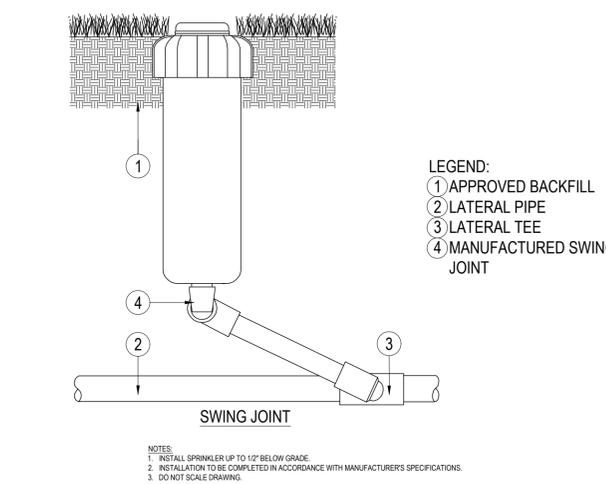
4 CONTROLLER GROUNDING GRID IF REQUIRED
 NTS JPD-IR-CIRR-AUXI-328413-34



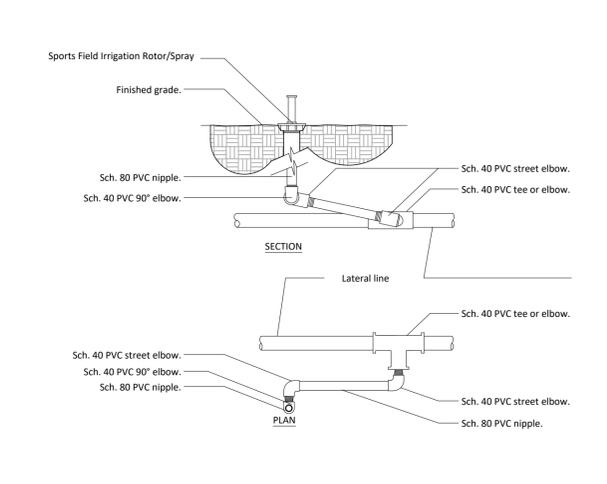
5 MAINLINE & TRENCHES
 NTS JPD-IR-CIRR-PIPE-328413-05



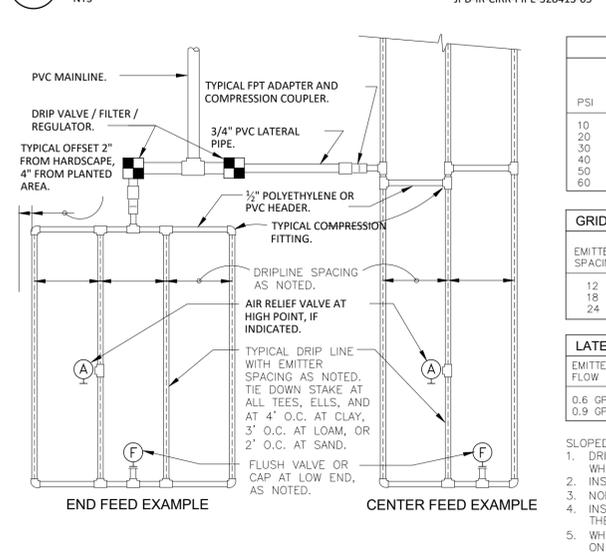
6 IRRIGATION SLEEVE
 NTS JPD-IR-CIRR-PIPE-328413-11



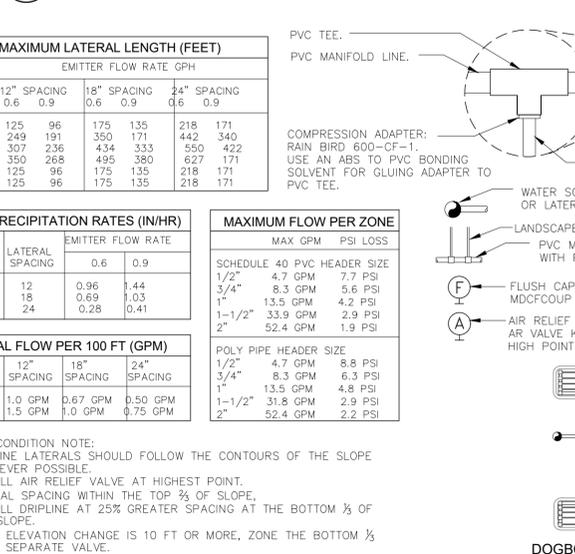
7 TURF SPORTS ROTOR - SWING JOINT
 NTS JPD-IR-CIRR-ROTO-328403-09



8 SWING JOINT
 NTS JPD-IR-CIRR-PIPE-328413-24



9 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS
 3" = 1'-0" FX-IR-RB-DRIIP-30



10 6" POP-UP SPRINKLER (FUNNY PIPE)
 NTS JPD-IR-CIRR-SPRA-328403-01

PSI	EMITTER FLOW RATE GPH			
	12" SPACING	18" SPACING	24" SPACING	30" SPACING
10	125	96	175	135
20	249	191	350	171
30	307	236	434	233
40	350	268	495	380
50	125	96	175	135
60	125	96	175	135

EMITTER SPACING	LATERAL SPACING	EMITTER FLOW RATE	
		0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

EMITTER FLOW	SPACING	EMITTER FLOW RATE	
		0.6	0.9
0.6 GPH	1.0 GPM	0.67 GPM	0.50 GPM
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM

MAXIMUM FLOW PER ZONE

SCHEDULE 40 PVC HEADER SIZE	MAX GPM	PSI LOSS
1/2"	4.7 GPM	7.7 PSI
3/4"	8.3 GPM	5.6 PSI
1"	13.5 GPM	4.2 PSI
1-1/2"	33.9 GPM	2.9 PSI
2"	52.4 GPM	1.9 PSI

POLY PIPE HEADER SIZE

SCHEDULE 40 PVC HEADER SIZE	MAX GPM	PSI LOSS
1/2"	4.7 GPM	8.8 PSI
3/4"	8.3 GPM	6.3 PSI
1"	13.5 GPM	4.8 PSI
1-1/2"	31.8 GPM	2.9 PSI
2"	52.4 GPM	2.2 PSI

LATERAL FLOW PER 100 FT (GPM)

SLOPED CONDITION NOTE:

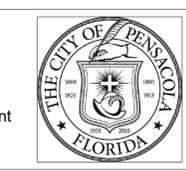
- DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
- INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
- NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
- INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
- WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

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 Pensacola, FL 32501

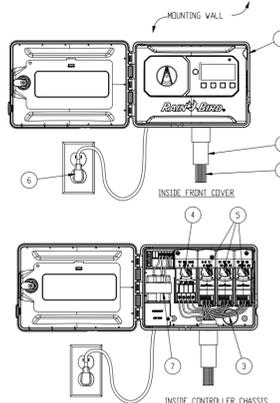


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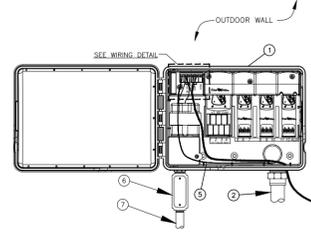
IRRIGATION DETAILS

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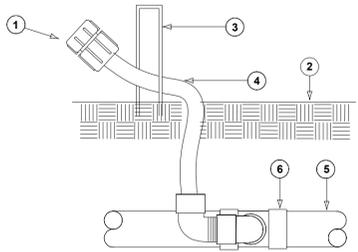
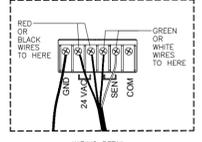


- GENERAL NOTES:
1. MODULAR HYBRID CONTROLLER RAIN BIRD ESP-4ME3 INSIDE WALL MOUNT
 2. 1-INCH PVC SCH 40 CONDUIT AND FITTINGS
 3. WIRES TO REMOTE CONTROL VALVES
 4. STANDARD MODULE FOR 4-STATION CONTROLLERS
 5. OPTIONAL MODULES FOR 2-STATION CONTROLLER
 6. STANDARD 120 V PLUG
 7. 120 VAC, 60 HZ INTERNAL TRANSFORMER

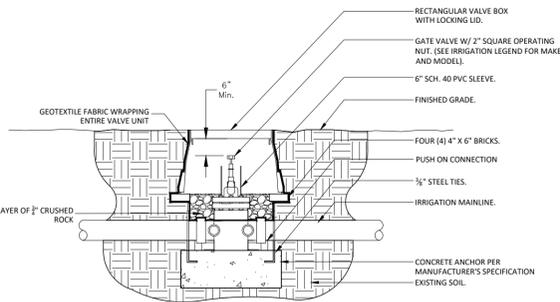


1. RAIN BIRD CONTROLLER: OUTDOOR WALL MOUNT
2. 1-INCH PVC SCH 40 CONDUIT AND FITTINGS FOR VALVE WIRES
3. RAIN BIRD WIRELESS SENSOR CONTROLLER INTERFACE
4. CABLE HARNESS FOR CONTROLLER INTERFACE (NOT MARKING)
5. GROUND WIRE TO GROUNDING GRID (IF REQ.)
6. JUNCTION BOX (IF REQ.)
7. 1/2-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY (IF REQ.)

NOTES:
 1. FOR BEST PERFORMANCE, THE CONTROLLER INTERFACE SHOULD BE INSTALLED AT LEAST FIVE FEET ABOVE THE GROUND.
 2. IT IS RECOMMENDED THAT THE CONTROLLER INTERFACE BE INSTALLED AWAY FROM SOURCES OF ELECTRICAL INTERFERENCE (SUCH AS TRANSFORMERS, GENERATORS, PUMPS, FANS, ELECTRICAL METER BOXES) AND METAL SUBJECTS TO MAXIMIZE COMMUNICATION RANGE.



1. FLOOD BUBBLER, RAINBIRD 1400
2. FINISH GRADE
3. LANDSCAPE STAPLE
4. FUNNY PIPE
5. LATERAL LINE PIPING
6. LATERAL LINE PIPE FITTING



- NOTES:
 1. INSTALL GATE VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 2. VALVE BOX SHALL BE WRAPPED WITH MINIMUM 3 MIL THICK PLASTIC AND SECURE IT TO VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.

1 CONTROLLER: RAINBIRD ESP4ME

NTS

2 WIRELESS RAIN/FREEZE SENSOR (OUTDOOR)

NTS

JPD-IR-CIRR-ALXI-328409-12

3 FLOOD BUBBLER, RAINBIRD 1400

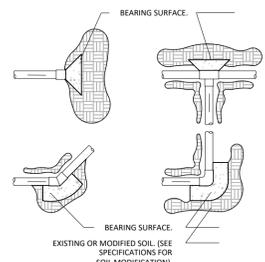
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JPD-IR-CIRR-DRIP-328413-01

4 PUSH-ON CAST IRON GATE VALVE

NTS

JPD-IR-CIRR-VALV-328413-36



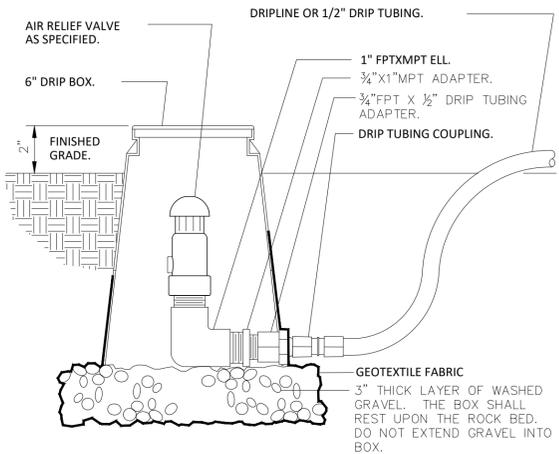
PIPE SIZE	TEE AND PLUG	90° BEND	45° BEND
1-1/2"	0.45 FEET ²	0.63 FEET ²	0.34 FEET ²
2"	0.69 FEET ²	0.97 FEET ²	0.53 FEET ²
2-1/2"	1.0 FEET ²	1.43 FEET ²	0.77 FEET ²
3"	1.46 FEET ²	2.10 FEET ²	1.14 FEET ²
4"	2.43 FEET ²	3.45 FEET ²	1.87 FEET ²
6"	5.25 FEET ²	7.43 FEET ²	4.02 FEET ²
8"	9.08 FEET ²	12.83 FEET ²	6.96 FEET ²
10"	14.93 FEET ²	21.07 FEET ²	11.44 FEET ²

- NOTES:
 1- SIZE THRUST BLOCKS SHALL BE SPECIFIED AS SHOW IN THE TABLE ABOVE.
 2- CONTROL WIRES SHALL NOT BE ENCASED IN CONCRETE.
 3- ALL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE TO PREVENT CONCRETE FROM ADHERING TO PIPE, FITTINGS OR BOLTS.
 4- JOINTS AND BOLTS SHALL BE ACCESSIBLE FOR REPAIRS.
 5- THRUST BLOCKS SHALL BE A MINIMUM OF 6" THICK.

5 THRUST BLOCK

NTS

JPD-IR-CIRR-PIPE-328413-17

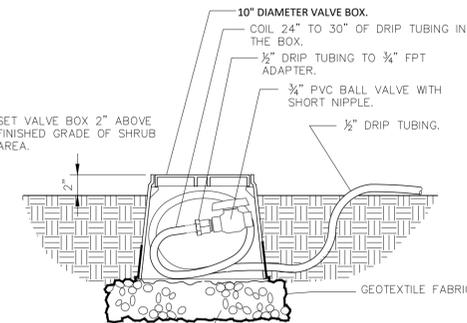


- NOTES:
 1. INSTALL MIN. (1) AIR RELIEF VALVE PER ZONE.

6 DRIP AIR RELIEF VALVE IN BOX

NTS

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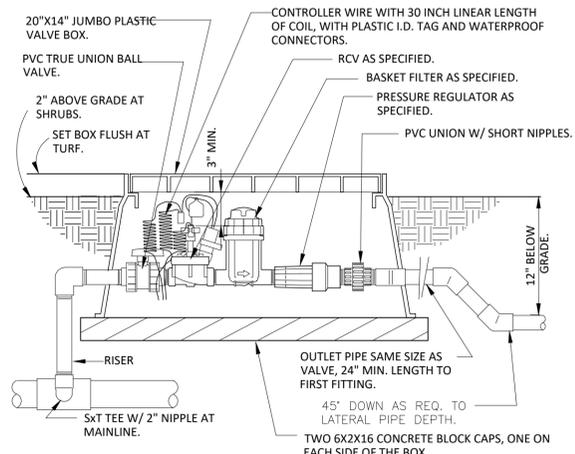


- NOTES:
 1. INSTALL (1) FLUSH VALVE AT THE END OF EACH 3/4" TUBING RUN.
 2. ENSURE THAT THE COILED DRIP TUBING IS OF SUFFICIENT LENGTH TO COMPLETELY EXTEND 3' OUT OF THE VALVE BOX WHEN FLUSHING.

7 DRIP FLUSH BALL VALVE ASSEMBLY

NTS

JPD-IR-CIRR-DRIP-328413-09



- NOTES:
 1. OUTLET PIPE SAME SIZE AS VALVE, 24" MIN. LENGTH TO FIRST FITTING.
 2. 45° DOWN AS REQ. TO LATERAL PIPE DEPTH.
 3. TWO 6X2X16 CONCRETE BLOCK CAPS, ONE ON EACH SIDE OF THE BOX.

8 DRIP VALVE W/BASKET FILTER

NTS

JPD-IR-CIRR-DRIP-328413-23

IRRIGATION NOTES:

1. Locate all underground utilities, electrical wiring, water, sewer, telephone, cable tv, and other underground lines before landscape and irrigation installation.
2. Install an automatic irrigation system to ensure 100% coverage of all grassed. The contractor shall adjust all irrigation heads to cover only intended areas and not buildings, structures, fencing, concrete or any other hardscape.
3. The contractor shall provide as-built drawings to landscape architect and owner showing all information required by local codes and necessary for the efficient operation and maintenance of the system.
4. Element location on the drawings is schematic showing intent. Contractor shall not make changes to pipe sizing or routing without prior approval of owner & irrigation designer.
5. The controller shall be equipped by the contractor with properly located and installed rain / freeze / wind shutoff sensors. The sensors shall be located in such a manner so that they are unobstructed, and directly exposed to natural rainfall, wind, and sunlight from all directions, but not to runoff water from swales or other surfaces.
6. Earth grounding is required per manufacturer's specifications.
7. Mainline pipe shall be **SDR 21 CL200 PVC**. Restrained following the requirements set forth by pipe and fitting manufacturers.
8. **SCH 40** fittings shall be used for irrigation mainline pipe.
9. Lateral pipe three inch (3") and greater shall be **SDR 21 CL200 gasketed PVC**. Restrained following the requirements set forth by pipe and fitting manufacturers.
10. Lateral piping, 2.5" and less, shall be **SDR 21 CL200 PVC** with glue fittings. Glue fittings shall be glued following the requirements of the pipe and fitting manufacturers, and county plumbing ordinance.
11. Irrigation sleeves shall be **Schedule 40 PVC**, 2x total pipe diameter.
12. Requests to use equal, substitute materials shall be submitted to the landscape architect in writing and owner's approval given in writing before the substitution is allowed. Requests to use equal, substitute materials shall include complete product specifications and any cost savings to the project.
13. If discrepancies occur between the plans, notes, and actual conditions contact the landscape architect in writing for clarification before proceeding.
14. The installer shall be familiar with all requirements for the work, and to conduct his work in a clean, safe, and workmanlike manner. The Owner reserves the right to act to protect his property and the other personnel at work there, and to make emergency repairs or take corrective action if the Installer does not fulfill his obligations in a timely manner. The Owner further reserves the right to back-charge the installer to cover such expenses, to the extent allowed under applicable law.
15. Irrigation materials and workmanship shall be warranted for one year. Manufacturer's warranties shall be passed to the owner.
16. All work shall be done in accordance with prevailing codes and regulations, and Escambia County irrigation standards. It shall be the responsibility of the Contractor to verify and conform to the particular codes and regulations applicable to this location, as well as Escambia County irrigation standards. The Contractor shall be responsible for obtaining all necessary permits, including those for any new water line taps or wells, locates, and inspections.
17. Irrigation system and its components shall be installed according to manufactures' specifications
18. All wire splices shall occur in a valve box with DBR waterproof wire splice kits.
19. Irrigation schedules, runtimes, watering schedule & analysis are provided for informational purposes only. Contractor is responsible for performing their own take off based on plan documents & ensuring uniform coverage of landscaped areas. Should landscape material require increased precipitation the irrigation watering schedule shall be adjusted as needed to ensure a healthy landscape.
20. Contractor shall amend soil adjacent to grounding rods/plates to achieve manufacturer ohm requirements.
21. Locate rain freeze sensor on exterior of building per detail. Contractor shall test and verify property signal strength between sensor & controller.

Rev	Date	Drawn	Description	Ch'k'd	App'd



Client City of Pensacola

Public Works & Facilities Department
 2757 N. Palafox Street
 Pensacola, FL 32501



Title Plaza de Luna Design

IRRIGATION DETAILS

THIS DRAWING IS NOT FOR CONSTRUCTION

Project Number	502100054-020	B/O	VALUE	Total	20
Designed	B. ALEXANDER	Eng check	K. MORGAN		
Drawn	B. ALEXANDER	Coordination	G. EDWARDS		
Dwg check	S. DANA	Approved	K. MORGAN		
Scale at ANSI D	1" = 20'	Status	BID	Rev	0
Drawing Number				Security	STD

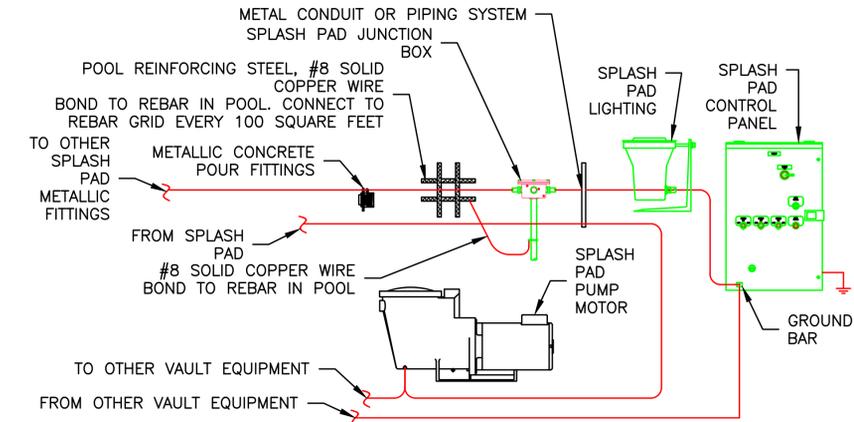
IR-202

GENERAL ELECTRICAL NOTES:

- THE INSTALLATION OF ELECTRICAL EQUIPMENT AND WIRING IN WATER CAN PRODUCE EXTREME HAZARDS, IT IS THE RESPONSIBILITY OF THE INSTALLING ELECTRICAL CONTRACTOR TO CONSULT & COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC) PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION; PALAFOX, PENSACOLA AND SAFETY REGULATIONS PRIOR TO INSTALLATION OF ELECTRICAL EQUIPMENT. IN THE EVENT OF CONFLICTING REQUIREMENTS BETWEEN CONTRACT DOCUMENTS AND ANY LOCAL ELECTRIC CODE OR OTHER GOVERNING ORGANIZATIONS FOR THIS LOCATION, THE MOST STRINGENT SHALL GOVERN AND TAKE PRECEDENCE. IN THIS EVENT, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF SUCH CONFLICT.
- IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS CRITICAL TO SPLASH PAD EQUIPMENT INSTALLATION AND PERFORMANCE AND REPORT ANY DISCREPANCIES, IN WRITING, TO DELTA FOUNTAINS AND THE ENGINEER UPON IMMEDIATE NOTICE.
- IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL ELECTRICAL EQUIPMENT IS INSTALLED AND WIRED WHETHER IT IS CALLED OUT WITHIN THE CONTRACT DOCUMENTS OR NOT, BY A QUALIFIED LICENSED ELECTRICIAN EXPERIENCED IN SPLASH PAD SYSTEM WIRING. DELTA FOUNTAINS ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR INSTALLATIONS NOT CARRIED OUT BY A QUALIFIED, LICENSED, ELECTRICIAN AND IN ACCORDANCE WITH OUR SHOP DRAWINGS, AND ALL PROVISIONS OF THE LATEST EDITION OF NEC IN GENERAL, ARTICLE 680 SPECIFICALLY, AND LOCAL SAFETY REGULATIONS. ALL DELTA FOUNTAINS ELECTRICAL CONTROL PANELS INCLUDE GFCI'S WHEN AND WHERE REQUIRED, WHEN FURNISHED.
- A CLASS 'A' GROUND FAULT CIRCUIT INTERRUPTER (GFCI) MUST BE INSTALLED IN EACH BRANCH CIRCUIT SUPPLYING SUBMERSIBLE OR UNDERWATER SPLASH PAD EQUIPMENT. EQUIPMENT OPERATING AT 15 VOLTS OR LESS MUST BE PROTECTED BY SUITABLE TRANSFORMER U.L. LISTED AND MARKED FOR THE APPLICATION.
- SUBMERSIBLE/UNDERWATER LIGHTING FIXTURES MUST BE INSTALLED FOR OPERATION AT 150 VOLTS LESS BETWEEN CONDUCTORS. SUBMERSIBLE PUMPS MUST OPERATE AT 300 VOLTS OR LESS BETWEEN CONDUCTORS.
- WET/DRY LIGHTING FIXTURES MUST BE INSTALLED WITH THE TOP OF THE FIXTURE LENS BELOW THE GRATE AND MUST HAVE THE LENS ADEQUATELY GUARDED TO PREVENT CONTACT BY ANY PERSON.
- SUBMERSIBLE LIGHTING FIXTURES MUST BE INSTALLED WITH THE TOP OF THE FIXTURE LENS A MINIMUM OF 2" BELOW THE NORMAL OPERATION WATER LEVEL AND MUST HAVE THE LENS ADEQUATELY GUARDED TO PREVENT CONTACT BY ANY PERSON.
- ALL ELECTRICAL EQUIPMENT WHICH DEPENDS ON SUBMERSION FOR SAFE OPERATION MUST BE PROTECTED AGAINST OVERHEATING BY AN INDEPENDENT LOW WATER CUTOFF DEVICE IF THE WATER LEVEL DROPS BELOW NORMAL OPERATING LEVELS, OR CONTAIN AN INTERNAL THERMAL BIMETALLIC AMBIENT COMPENSATING OVERLOAD.
- MAXIMUM LENGTH OF EXPOSED CORD IN SPLASH PAD IS LIMITED TO 9'. NO ADDITIONAL CORD OR SPLICES OTHER THAN THOSE MADE IN A WATERTIGHT JUNCTION BOX, ARE TO BE MADE IN THE SPLASH PAD. CORDS EXTENDING BEYOND SPLASH PAD PERIMETER MUST BE ENCLOSED IN APPROVED WIRING ENCLOSURES.
- ALL SUBMERSIBLE LIGHTS AND PUMPS MUST HAVE SUFFICIENT CORD LENGTH TO ALLOW REMOVAL FROM THE WATER FOR RE-LAMPING AND NORMAL MAINTENANCE. FIXTURES CANNOT BE PERMANENTLY IMBEDDED IN THE SPLASH PAD STRUCTURE SO THAT THE WATER LEVEL MUST BE REDUCED OR THE SPLASH PAD DRAINED FOR RE-LAMPING, MAINTENANCE, OR INSPECTION.
- SUBMERSIBLE EQUIPMENT MUST BE INHERENTLY STABLE OR BE SECURELY FASTENED IN PLACE WITH NON-CORROSIVE FASTENERS SUITABLE FOR THE PURPOSE.
- UNDERWATER JUNCTION BOXES MUST BE FILLED WITH AN APPROVED RE-ENTERABLE ELECTRICAL POTTING COMPOUND (WAX OR PARAFFIN IS NOT ACCEPTABLE) PRIOR TO FILLING SPLASH PAD AND, AFTER ALL CIRCUITS HAVE BEEN CHECKED, TO PREVENT THE ENTRY OF MOISTURE, AND BE FIRMLY ATTACHED TO SUPPORTS OR DIRECTLY TO THE SPLASH PAD SURFACE AND BONDED AS REQUIRED. ALL CONDUIT STUBBED UP THROUGH THE SPLASH PAD FLOOR MUST BE STAINLESS STEEL. PVC, RED BRASS, AND EVERDUR ARE NOT ACCEPTABLE AS A CONDUIT SUPPORT STUB FOR SUBMERSIBLE JUNCTION BOXES. ALL CONDUIT ENTRIES MUST BE COMPLETELY SEALED PRIOR TO POTTING TO PREVENT COMPOUND FROM ENTERING CONDUIT SYSTEM. AFTER TESTING, JUNCTION BOXES SHALL BE SEALED WITH SCOTCH 3M RE-ENTERABLE COMPOUND OR OTHER APPROVED FILLING COMPOUND. CONFIRM POTTING COMPOUND HAS CURED BEFORE INSTALLING LID ON JUNCTION/DECK BOXES.
- ALL ELECTRICAL CONDUIT AND CONDUIT FITTINGS BETWEEN SUBMERSIBLE LIGHT FIXTURE NICHES, JUNCTION BOXES AND CONTROL PANELS WILL BE U.L. LISTED RIGID, NONMETALLIC, PVC NEMA, TC-2 MAX. 90°C, SUNLIGHT RESISTANT FOR ABOVE AND BELOW GROUND USE. ALL CONDUITS SHALL BE PROTECTED AT ALL TIMES FROM POSSIBLE WATER INGRESS. USE ONLY APPROVED PRIMER AND PVC GLUE SUITABLE FOR JOINING ALL PVC CONDUITS AND FITTINGS PER MANUFACTURER'S INSTRUCTIONS.
- ALL UNDERWATER JUNCTION BOXES MUST BE EQUIPPED WITH THREADED CONDUIT ENTRIES AND COMPRESSION TYPE CORD CONNECTORS FOR CORD ENTRY. STRAIN RELIEF CONNECTORS SERVING NICHE-MOUNTED UNDERWATER LIGHTS SHALL BE CAPABLE OF SEALING BOTH THE FIXTURE CORD AND AN AWG #8 BARE BONDING WIRE WHICH MAY BE REQUIRED BY SOME LOCAL CODES.
- ALL ELECTRICAL EQUIPMENT MUST BE PROPERLY BONDED AND GROUNDED FOR SAFETY, PER THE LATEST NEC AND LOCAL CODE REQUIREMENTS. ALL BONDING LUGS SHALL BE PROVIDED BY INSTALLING ELECTRICAL CONTRACTOR. INSTALLING CONTRACTOR SHALL VERIFY ALL NECESSARY REQUIREMENTS OF LOCAL INSPECTOR BEFORE INSTALLING, AND NOTIFY DELTA FOUNTAINS OF ANY REQUIRED DEVIATIONS FROM SPECIFICATIONS OR PLANS AND NOTES, AND RESOLVE ALL CONFLICTS BEFORE INSTALLING EQUIPMENT. CONTRACTOR TO INSURE THAT ALL BONDING CODES ARE COMPLIED WITH FOR EACH METAL SPLASH PAD EQUIPMENT COMPONENT.
- ALL CONDUIT CONNECTIONS BETWEEN DISSIMILAR METALS MUST BE MADE WITH DIELECTRIC FITTINGS, AND SEALED WITH DIELECTRIC THREAD COMPOUND TO PREVENT GALVANIC DEGRADATION.
- THE INSTALLING ELECTRICAL CONTRACTOR WILL VERIFY THAT ALL ELECTRICAL EQUIPMENT GROUNDS WILL HAVE THE SAME REFERENCE POTENTIAL AND WILL GIVE EVIDENCE OF SUCH TO DELTA FOUNTAINS BEFORE ANY EQUIPMENT IS INITIALLY ENERGIZED.
- THE INSTALLING CONTRACTOR SHALL SIZE ALL FEED-WIRES LEADING TO SPLASH PAD CONTROL PANEL FOR NO MORE THAN 2% VOLTAGE DROP, AND SHALL NOTIFY DELTA FOUNTAINS BEFORE THE CONTROL PANEL IS FABRICATED IF WIRE IS UPSIZED SUCH THAT EXTRA LARGE WIRE LUGS ARE REQUIRED. IT IS THE RESPONSIBILITY OF ELECTRICAL CONTRACTOR TO PROVIDE ANY DISCONNECT REQUIRED BY LOCAL CODE REQUIREMENTS.
- THE SPLASH PAD CONTROL PANEL SHALL BE ADEQUATELY PROTECTED FROM DEBRIS AND STORED PROPERLY DURING CONSTRUCTION AND PRIOR TO INITIAL OPERATION AND SHALL BE VACUUMED CLEAN AND ALL SCREWS FOR TERMINAL CONNECTIONS TIGHTENED.
- THE ELECTRICAL CONTRACTOR SHALL ENSURE THAT SUPPLY VOLTAGE IS WITHIN 5% OF DESIGN VOLTAGE WHEN ALL EQUIPMENT IS IN OPERATION AND SHALL RE-TAP TRANSFORMER, UP SIZE WIRE, OR SUPPLY A BUCK AND BOOST TRANSFORMER TO GET SUPPLY VOLTAGE TO NECESSARY LEVEL, IF NECESSARY.
- ANY AND ALL COSTS ASSOCIATED WITH THE ABOVE ARE THE RESPONSIBILITY OF INSTALLING CONTRACTOR.
- CONDUITS ENTERING SPLASH PAD SYSTEM CONTROL PANELS SHALL BE INSTALLED INTO BOTTOM OF ENCLOSURE IN THE EVENT WATER ENTERS CONDUIT AND FLOWS INTO PANEL THROUGH CONDUIT OPENINGS. A DRAIN OPENING MUST BE MADE IN BOTTOM OF ENCLOSURE PAN TO ALLOW DRAINAGE OF WATER FROM ENCLOSURE IN THE EVENT OF WATER INGRESS. DO NOT MOUNT CONTROL PANEL WHERE IRRIGATION NOZZLES WILL SPRAY DIRECTLY AT PANEL.
- PULL CORRECT QUANTITY AND SIZE WIRES WITH SEPARATE GROUND THROUGH CONDUIT INTO JUNCTION BOX. MAKE ALL SPLICES AND CONNECTIONS TIGHT AND WELL INSULATED. CONNECT GROUND WIRE TO GROUND LUGS IN JUNCTION BOX. ALL WIRING AND CONDUIT SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL ELECTRICAL CODES AND REGULATIONS. WHERE WIRED CONDUIT SIZES ARE SPECIFIED ON THE DRAWINGS, THEY SHALL BE INTERPRETED AS MINIMUM ALLOWABLE SIZES. ALL CONDUCTORS SHALL BE COPPER WITH INSULATION SUITABLE FOR THE PARTICULAR WIRING LOCATION. MINIMUM ACCEPTABLE INSULATION TYPE IS THWN OR BETTER, SUITABLE FOR BOTH DRY AND WET LOCATIONS. CONDUCTOR INSULATION SHALL BE MOISTURE RESISTANT, FLAME RETARDANT THERMOPLASTIC AS APPROVED BY THE NEC. CONDUCTOR SIZING SHALL BE BASED ON AN AMBIENT TEMPERATURE OF 30 DEGREES CELSIUS AND A CONDUCTOR TEMPERATURE RATING OF 75 DEGREES CELSIUS MAX. PER ARTICLE 310 OF THE NEC. ALL UNDERWATER ELECTRICAL CABLE SHALL EITHER BE ENCASED IN WATERPROOF, SEALED PVC CONDUIT OR SHALL BE RATED FOR CONTINUOUS OPERATION IN UNDERWATER, MARINE ENVIRONMENTS.
- INSERT EACH SUBMERSIBLE CORD THROUGH THE BRASS CORD SEALS PROVIDED ON THE JUNCTION BOX, AND TIGHTEN COMPLETELY.
- DO NOT OPERATE SUBMERSIBLE LIGHTS OR PUMPS MORE THAN 10 SECONDS UNLESS COMPLETELY SUBMERGED OR DAMAGE WILL RESULT AND WARRANTIES WILL BE VOIDED.
- ALL CONDUCTORS FOR FEEDERS WHICH EXCEED 200 FEET IN LENGTH SHALL BE INCREASED 1 TRADE SIZE AND INCREASED AN ADDITIONAL 1 TRADE SIZE FOR EACH ADDITIONAL 100 FEET OF FEEDER CABLE LENGTH.
- THE INFORMATION SUPPLIED IN THESE DRAWINGS SPECIFIES THE GENERAL REQUIREMENTS OF A COMPLETE FUNCTIONING ELECTRICAL POWER DISTRIBUTION AND CONTROL SYSTEM. THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATION ACTIVITIES WITH THE CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ARCHITECT AND (WITH RESPECT TO WORK PHASE) OTHER SEPARATE CONTRACTORS PERFORMING WORK RELATED TO THE SPLASH PAD INSTALLATION.
- ALL CONDUCTORS SHALL BE RUN IN RIGID CONDUIT SIZED FOR THE NUMBER OF WIRES CONTAINED WITHIN PER NEC REQUIREMENTS. RIGID CONDUIT SHALL BE CORROSION RESISTANT AND EITHER GALVANIZED STEEL OR RIGID PVC. WHEN CONDUIT IS SUBMERGED OR IN OTHER WET LOCATIONS, RIGID PVC SHALL BE REQUIRED. CONDUCTOR SIZING SHALL BE CORRECTED FOR THE NUMBER OF WIRES TO BE RUN IN A SINGLE CONDUIT OR RACEWAY IN ACCORDANCE WITH THE NEC. ALL CONDUIT LOCATIONS AND ROUTING SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
- THE WORK TO COMPLETE THE INSTALLATION OF THE SPLASH PAD INCLUDES SUCH NECESSARY MATERIAL AND DEVICES OF A MINOR NATURE THAT MAY NOT BE INDICATED ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS, BUT WHICH ARE NECESSARY FOR THE COMPLIANCE WITH CODES AND FOR THE SUCCESSFUL OPERATION OF THE FEATURE. THE CONTRACTOR SHALL BE ALLOWED NO EXTRA COMPENSATION BECAUSE OF THIS REQUIREMENT.
- THOROUGHLY TEST ALL FIXTURES, SERVICES AND ALL CIRCUITS FOR PROPER OPERATING CONDITIONS AND FREEDOM FROM GROUNDS AND SHORT CIRCUITS BEFORE ACCEPTANCE IS REQUESTED. ALL EQUIPMENT, APPLIANCES AND DEVICES SHALL BE OPERATED UNDER LOAD CONDITIONS.
- THERMAL OVERLOAD RELAYS SHALL BE SET AT NOT MORE THAN 115% OF MOTOR FULL LOAD CURRENT AND/OR IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- ALL CONNECTIONS MUST BE RECHECKED BEFORE START UP AND ONE MONTH AFTER STARTUP BY A QUALIFIED TECHNICIAN.
- ALL G.F.C.I. PROTECTED CIRCUITS MUST HAVE A SEPARATE NEUTRAL.
- ALL G.F.C.I. BREAKERS HAVE PIGTAILS WIRED TO THE NEUTRAL BAR.
- CONTRACTOR TO ENSURE THAT ALL BONDING CODES ARE COMPLIED WITH FOR EACH METAL SPLASH PAD EQUIPMENT COMPONENT.
- WIRES FOR WATER LEVEL SENSOR MUST BE RUN IN A SEPARATE CONDUIT FROM THE SPLASH PAD TO THE CONTROL PANEL.
- ALL CONDUIT PENETRATIONS THROUGH STRUCTURE WALLS INTO OPEN AREAS BELOW SPLASH PAD STRUCTURE MUST HAVE ALLOWANCES MADE FOR SETTLEMENT.

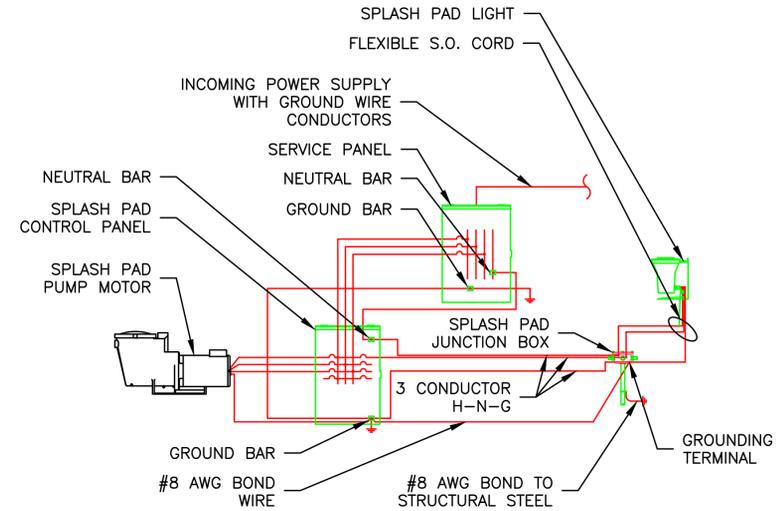
- ALL CONDUIT INSTALLATION IN TRADE AREAS BELOW THE SPLASH PAD SHALL BE INSTALLED WITH E.M.T. AND IN THE LEVEL BELOW AND WITH E.M.T. STRAPS PER N.E.C. AND SPECIFICATIONS.
- FLOOR MOUNTED CONTROL CENTERS AND TRANSFORMERS FOR SPLASH PAD RELATED EQUIPMENT SHALL BE INSTALLED ON A 4" CONCRETE HOUSEKEEPING PAD IF INSTALLED IN AN EQUIPMENT ROOM OR A PVC HOUSEKEEPING PAD IF INSTALLED IN A FIBERGLASS EQUIPMENT ROOM.
- CONTRACTOR INSTALLING SPLASH PAD MANUFACTURER SUPPLIED DECK BOXES IN CONCRETE FOR SPLASH PAD NICHE LIGHTING IS TO ENSURE THAT ALL OPEN CONDUIT PORTS ARE PLUGGED AND ARE WATERTIGHT PRIOR TO SLAB POUR AROUND DECK BOXES.
- ALL PENETRATIONS THROUGH OUTSIDE WALLS TO BELOW GRADE SHALL BE SEALED PER BUILDING SPECIFICATIONS. USING "EASY-LINK SEALS" IS RECOMMENDED.
- ALL CONNECTIONS IN THE SPLASH PAD SHALL BE MADE WITH THE ASSISTANCE OF A PLUMBER, USING TEFLON TAPE OR TEFLON PASTE TO ELIMINATE ALL LEAKS. USE ONLY TAPERED (N.P.T.) BRASS OR STAINLESS STEEL FITTINGS OR NIPPLES. THE USE OF GALVANIZED, PVC OR BLACK STEEL IS UNACCEPTABLE.
- CONDUITS ARE DRAWN FOR CLARITY AND DO NOT NECESSARILY SHOW EXACT ROUTING. CONTRACTOR SHALL INSTALL CONDUITS IN COMPLIANCE WITH NEC CODE, WHICH THERE SHALL BE NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREES TOTAL) BETWEEN PULL POINTS, E.G., CONDUIT BODIES AND BOXES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY INSTALLATION PERMITS AND INSPECTIONS.
- ALL COMPONENT ITEMS USED IN THE PRODUCTION OF DELTA FOUNTAINS' PRODUCTS ARE U.L. LISTED WHENEVER SUCH LABELING IS AVAILABLE FROM THE SOURCE EQUIPMENT OR MATERIAL.
- SHOULD ANY PRODUCT REQUIRE A 'THIRD PARTY' LABEL OR CERTIFICATION AS AN ASSEMBLY (E.G., N.E.C., U.L. OR E.T.L. LISTING) SUCH REQUIREMENTS SHALL BE DETERMINED, CONTRACTED FOR, AND PAID BY OTHERS.
- DELTA FOUNTAINS SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY MANNER WHATSOEVER FOR SPECIAL LABELING OR CERTIFICATION REQUIREMENTS, INCLUDING THIRD PARTY PRODUCT TESTING UNLESS SPECIFICALLY INCLUDED IN ITS PROPOSALS, QUOTATIONS, DRAWING DESCRIPTIONS AND DETAILS, REGARDLESS OF PROJECT SPECIFICATION OR CODE REQUIREMENTS.

- ALL METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF SPLASH PAD AND ALL METAL PARTS OF ASSOCIATED ELECTRICAL EQUIPMENT MUST BE BONDED TOGETHER PER NEC 680.
- ALL BONDING CONDUCTORS SHALL BE BARE #8 SOLID COPPER.
- ALL BONDING SHALL BE CONTINUOUS WITHOUT SPLICES. ALL CONNECTIONS SHALL BE MADE BY EXOTHERMIC WELD OR FITTING APPROVED FOR SUCH USE IN SPLASH PAD AND POOLS.
- IF EPOXY COATED REBAR IS SPECIFIED THE CONTRACTOR MUST USE A #8 SOLID COPPER WIRE GRID FOR BONDING IN THE CONCRETE OF ALL AREAS CONTAINING WATER OR COMING IN CONTACT WITH WATER IN THE SPLASH PAD. CONTRACTOR TO CONFORM TO NEC AND LOCAL JURISDICTIONAL CODE REQUIREMENTS FOR THE BONDING.



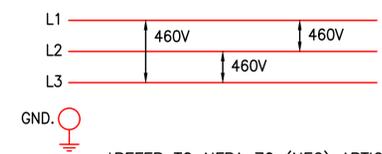
1 TYPICAL SPLASH PAD "BONDING" SCHEMATIC
F3.00 NTS

- ALL METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF SPLASH PAD AND ALL METAL PARTS OF ASSOCIATED ELECTRICAL EQUIPMENT MUST BE BONDED TOGETHER PER NEC 680 (SEE BONDING SCHEMATIC ABOVE).



2 TYPICAL SPLASH PAD "GROUNDING" SCHEMATIC
F3.00 NTS

PUMP SYSTEM POWER REQUIREMENT:
460 VOLT, THREE PHASE, 3-WIRE + GND.



3 ELECTRICAL POWER SUPPLY OPTIONS
F3.00 NTS

SERVICE OCPD RATING	VAULT PENETRATION SIZE
60A	1 1/2"
100A	2"
200A	3"
300A	4"

INCOMING VAULT PENETRATION SIZE:
THE PENETRATION SIZES ARE BASED ON COPPER WIRE. IF SERVICE CONDUCTOR SIZE IS INCREASED DUE TO VOLTAGE DROP OR ALUMINUM WIRE, DELTA FOUNTAINS MUST BE NOTIFIED BEFORE PRODUCTION IN ORDER TO ACCOMMODATE THE INCREASED PENETRATION SIZE

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SEAL:

PALAFOX PIER PARK
PENSACOLA, FLORIDA

SHEET TITLE:
POWER SUPPLY AND BONDING DETAILS
DATE: 05/06/2021
DRAWN BY: CJB
CHECKED: JWT

REVISIONS

PROJECT NUMBER SHEET NUMBER
E0621 F3.10

GENERAL NOTES

- FINAL NOZZLE INSTALLATION AND ADJUSTMENT FOR POSITIONING AND THROTTLING TO ACHIEVED SPECIFIED PERFORMANCES FOR ALL DISPLAY DISCHARGE POINTS TO BE PERFORMED BY INSTALLING CONTRACTOR.
- THE EQUIPMENT ROOM LOCATION IS SHOWN IN GENERAL VICINITY ONLY. VERIFY WITH THE ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION OF THE EQUIPMENT ROOM AND PROPER ELEVATION.
- CONTRACTOR SHALL STORE ALL COMPONENTS IN THEIR ORIGINAL PACKAGES AND PROTECT ALL ITEMS FROM DAMAGE UNTIL FINAL PLACEMENT OCCURS. CONTRACTOR SHALL ROTATE ALL MOTOR SHAFTS ¼ TURN EACH AND EVERY MONTH DURING STORAGE UP TO THE TIME OF FIRST PERFORMANCE TO ENSURE MOTOR SHAFT INTEGRITY. TIGHTEN ALL PLUGS, BOLTS, NUTS, AND UNION TYPE FITTINGS AND CLOSE ALL VALVES UNTIL SYSTEM IS READY FOR STARTUP.
- PIPE ROUTING ON THE DRAWINGS IS DIAGRAMMATIC AND IN SOME INSTANCES EXAGGERATED FOR CLARITY. THE CONTRACTOR SHALL DETERMINE THE EXACT ROUTING AT THE SITE TO AVOID CONFLICT WITH SITE CONDITIONS. ANY ROUTING WHICH CREATES A TRAPPED CONDITION IN THE PIPING MUST BE CALLED TO THE ATTENTION OF THE SPLASH PAD CONSULTANT BEFORE THE PIPE IS INSTALLED.
- ALL PIPING SHALL BE INSTALLED TO PREVENT FREEZING. SYSTEM TO BE DRAINED AND WINTERIZED DURING WINTER MONTHS IF SPLASH PAD IS NOT IN OPERATION.
- ALL PIPING BETWEEN THE WATER FEATURES AND EQUIPMENT ROOM SHALL BE INSTALLED SLOPED TOWARD THE EQUIPMENT ROOM A MINIMUM OF 2% UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- THE WORK TO COMPLETE THE INSTALLATION OF THE SPLASH PAD INCLUDES SUCH NECESSARY MATERIAL AND DEVICES OF A MINOR NATURE THAT MAY NOT BE INDICATED ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS, BUT WHICH ARE NECESSARY FOR THE COMPLIANCE WITH CODES AND FOR THE SUCCESSFUL OPERATION OF THE FEATURE. THE CONTRACTOR SHALL BE ALLOWED NO EXTRA COMPENSATION BECAUSE OF THIS REQUIREMENT.
- THOROUGHLY TEST ALL FIXTURES, SERVICES AND ALL CIRCUITS FOR PROPER OPERATING CONDITIONS AND FREEDOM FROM GROUNDS AND SHORT CIRCUITS BEFORE ACCEPTANCE IS REQUESTED. ALL EQUIPMENT, APPLIANCES AND DEVICES SHALL BE OPERATED UNDER LOAD CONDITIONS.
- CONTRACTOR SHALL ENSURE THAT INSTALLATION COMPLIES WITH ALL APPLICABLE NATIONAL, LOCAL CODES AND INTERNATIONAL CODES AND PROJECT SPECIFICATIONS.
- PRIOR TO ANY FINISHING MATERIALS (I.E. LIGHTS, JETS, COVER PLATES ETC.) BEING INSTALLED, ALL SPLASH PAD SHALL BE TESTED FOR LEAKS FOR A MINIMUM OF 72 HOURS AND ALL WATERPROOFING AND TILE WORK SHALL BE COMPLETED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- CONSULT ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS NOT SHOWN ON THESE DRAWINGS.
- WHERE APPLICABLE, ALL WEIRS SHALL BE INSTALLED WITH AN ACCURACY OF "+4" OR "-4" 1/16" OVER THE ENTIRE WEIR LENGTH. UNLESS OTHERWISE NOTED, REFER TO THE ARCHITECTURE DRAWINGS FOR WEIR DETAILS.
- CONTRACTOR SHALL PROVIDE ALL CONCRETE WORK AS REQUIRED BY ALL MECHANICAL AND ELECTRICAL SPLASH PAD EQUIPMENT REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, HOUSEKEEPING PADS, LOCK-DOWN SLABS, AND THRUST BLOCKS WHERE INDICATED.
- CONTRACTOR SHALL PROVIDE ALL UTILITIES SUCH AS POWER SUPPLIES, WATER SUPPLIES, AND SEWER CONNECTIONS UNDER THE BUILDING CONTRACT UP TO THE SPLASH PAD CONTROLS, EQUIPMENT AND/OR SPLASH PAD FITTINGS WHERE INDICATED.
- CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL ELEVATION AND X-Y COORDINATES RELATING TO ALL SPLASH PAD EQUIPMENT INCLUDING VAULTS, SPLASH PAD FLOORS, AND PUMPS.
- CONTRACTOR/INSTALLER IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS AT JOBSITE. DELTA FOUNTAINS IS NOT RESPONSIBLE FOR CONSTRUCTION/INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES, STEPS, OR PROCEDURES, OR FOR ANY SAFETY REQUIREMENTS, CODES, PRECAUTIONS, RULES, REGULATIONS, OR PROGRAMS PERTAINING TO THE CONSTRUCTION PROJECT, INCLUDING, BUT NOT LIMITED TO OSHA CONFINED SPACE REQUIREMENTS FOR EQUIPMENT ROOMS.
- ALL COMPONENT ITEMS USED IN THE PRODUCTION OF OUR PRODUCTS ARE U.L. LISTED WHENEVER SUCH LABELING IS AVAILABLE FROM THE SOURCE EQUIPMENT OR MATERIAL.
- SHOULD ANY PRODUCT REQUIRE A "THIRD PARTY" LABEL OR CERTIFICATION AS AN ASSEMBLY (E.G., N.E.C., U.L. OR E.T.L. LISTING) SUCH REQUIREMENTS SHALL BE DETERMINED, CONTRACTED FOR, AND PAID BY OTHERS.
- DELTA FOUNTAINS SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY MANNER WHATSOEVER FOR SPECIAL LABELING OR CERTIFICATION REQUIREMENTS, INCLUDING THIRD PARTY PRODUCT TESTING UNLESS SPECIFICALLY INCLUDED IN ITS PROPOSALS, QUOTATIONS, DRAWING DESCRIPTIONS AND DETAILS, REGARDLESS OF PROJECT SPECIFICATION OR CODE REQUIREMENTS.
- EQUIPMENT MANUFACTURED, SUPPLIED AND OTHERWISE FURNISHED BY DELTA FOUNTAINS IS PRIMARILY DESIGNED FOR EMBEDMENT OR CASTING DIRECTLY INTO CONCRETE OR GUNITE STRUCTURAL MATERIAL. IT IS NOT DESIGNED FOR NATURAL OR SYNTHETIC LINER OR MEMBRANE INSTALLATION INCLUDING FIBERGLASS OR METAL LINERS, SHELLS, COVERS, OR CLADDING. ANY SUCH REQUIREMENT FOR LINER OR MEMBRANE INSTALLATION OR ADAPTATION IS THE RESPONSIBILITY OF THE SPECIFIER, PURCHASER AND INSTALLER, INCLUDING BUT NOT LIMITED TO FLANGES, CLAMPING DEVICES, GASKETS, FASTENING DEVICES, COATINGS, ADHESIVES OR BONDING AGENTS.
- FATAL SUCTION ENTRAPMENT CAN OCCUR IF SPLASH PAD MECHANICAL EQUIPMENT AND PIPING IS NOT INSTALLED CORRECTLY AS SHOWN. ANTI-VORTEX PLATES MUST BE SECURELY FASTENED TO SUMPS AND/OR SPLASH PAD FLOOR USING SUITABLE VANDAL RESISTANT SAFETY FASTENERS AND ANCHORS AT ALL TIMES DURING OPERATION OF SPLASH PAD SYSTEM.
- NOTWITHSTANDING THE CONTRACT DOCUMENTS, INCLUDING ARCHITECT'S FINAL "FOR CONSTRUCTION" PLANS AND SPECIFICATION DATA, THE SPLASH PAD SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH DELTA FOUNTAINS FINAL AND APPROVED SET OF SHOP/INSTALLATION DRAWINGS AND DETAILS OR SPLASH PAD PRODUCT WARRANTY AND SYSTEM PERFORMANCE GUARANTEE IS VOID.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- DELTA FOUNTAINS RECOMMENDS ALL SPLASH PADS BE PROPERLY WATERPROOFED BY SPECIFIED APPROVED MEANS AND ALL SPLASH PAD COMPONENTS BE PROPERLY SEALED WITH A SUITABLE WATERPROOF CAULKING COMPOUND TO ENSURE A WATERTIGHT SPLASH PAD INSTALLATION.
- ANY WATERPROOFING DETAILS OR SPECIFICATIONS THAT MAY APPEAR ON DELTA FOUNTAINS PLANS OR EQUIPMENT DETAILS ARE FOR GENERAL REFERENCE ONLY AND SHALL NOT BE INTERPRETED OR RELIED UPON AS A FORMAL SPECIFICATION OR RECOMMENDATION. CONVERSELY, THE ABSENCE OF WATERPROOFING DETAILS OR SPECIFICATION ON DELTA FOUNTAINS PLANS, DETAILS OR PRODUCT SHEETS DO NOT IMPLY THAT WATERPROOFING IS NOT A PROJECT REQUIREMENT.
- IT IS THE RESPONSIBILITY OF THE PROJECT ARCHITECT/ENGINEER TO SPECIFY ANY AND ALL WATERPROOFING REQUIREMENTS, PRODUCTS, INSTALLATION/APPLICATION MEANS, PROCEDURES, AND OTHER DETAILS AS MAY BE NECESSARY AND REQUIRED FOR THE SPLASH PAD STRUCTURE AND SPLASH PAD COMPONENTS.
- IT IS THE RESPONSIBILITY OF THE WATERPROOFING CONTRACTOR TO REVIEW THE PROJECT SPECIFICATIONS FOR WATERPROOFING REQUIREMENTS FOR THE SPLASH PAD AND RELATED COMPONENTS AND PROVIDE THE SPECIFIED WATERPROOFING PRODUCTS AND SYSTEMS TO ENSURE WATERPROOF INTEGRITY OR THE SPLASH PAD SYSTEM.
- IT IS THE RESPONSIBILITY OF THE SPLASH PAD EQUIPMENT INSTALLER TO COORDINATE ALL WATERPROOFING MATERIALS, SYSTEMS, APPLICATIONS, PROCEDURES, MEANS AND METHODS WITH THE WATERPROOFING CONTRACTOR, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- DELTA FOUNTAINS ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR ANY WATERPROOFING ISSUES RELATED TO ITS DESIGN PACKAGE, SCOPE OF WORK, OR EQUIPMENT SUPPLY UNDER ANY CIRCUMSTANCES. IF THE SPLASH PAD CONTRACTOR/WATERPROOFER HAS QUESTIONS PERTAINING TO WATERPROOFING, THEY SHALL BE DIRECTED TO THE PROJECT ARCHITECT/ENGINEER WHO IS SOLELY RESPONSIBLE FOR SUCH MATTERS.
- ALL SPLASH PAD SYSTEM EQUIPMENT AND COMPONENTS FURNISHED BY DELTA FOUNTAINS IS DESIGNED AND MANUFACTURED FOR USE IN FRESH WATER APPLICATIONS ONLY. DO NOT INSTALL OR OPERATE ANY EQUIPMENT IN SALT, BRINE, OR BRACKISH WATER OF ANY KIND OR WARRANTY IS VOID.
- DUE TO OUR CONTINUING PRODUCT IMPROVEMENT, DELTA FOUNTAINS RESERVES THE RIGHT TO CHANGE PRODUCT AND SYSTEM SPECIFICATIONS WITHOUT NOTICE.
- DELTA FOUNTAINS SHALL NOT BE RESPONSIBLE OR LIABLE FOR ANY CIVIL OR STRUCTURAL DESIGN DRAWINGS, DETAILS, NOTATIONS, OR ANY OTHER ASPECTS OF THE PROJECT REGARDING SPLASH PAD LAYOUT, STRUCTURE OR CONSTRUCTION/BUILDING PRACTICES, INCLUDING, BUT NOT LIMITED TO, SOIL INTEGRITY, CONCRETE DESIGN, SPECIFICATIONS, AND SLAB POUR METHODS, CONCRETE STRUCTURAL WATERPROOFING SPECIFICATIONS, MATERIALS, AND METHODS, ETC. UNLESS OTHERWISE SPECIFICALLY STATED.
- ANY STRUCTURE DEPICTED OR APPEARING ON OUR PLANS SHALL BE SHOWN SOLELY FOR DIMENSIONAL REFERENCE AND GENERAL STRUCTURAL ORIENTATION IN ORDER TO ADEQUATELY IDENTIFY, COORDINATE, ORIENT, LOCATE AND INSTALL OUR EQUIPMENT PACKAGE, AND SHALL NOT BE RELIED ON FOR ANY OTHER PURPOSES.
- CLIENT IS ADVISED TO ENLIST THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FAMILIAR AND EXPERIENCED WITH SUCH WORK WHEN DESIGNING/CONSTRUCTING ANY SPLASH PAD OR EQUIPMENT ROOM STRUCTURE, WHO SHALL ACCEPT COMPLETE RESPONSIBILITY AND LIABILITY FOR ALL STRUCTURAL, GEOTECHNICAL, AND CIVIL ENGINEERING DETAILS PERTAINING TO THE PROJECT.
- CONTRACTOR IS ADVISED TO ENLIST THE SERVICES OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT TO COORDINATE LANDSCAPE, HARDSCAPE, AND TOPOGRAPHICAL ENVIRONMENT SURROUNDING THE SPLASH PAD AREA SO THAT PROPER PLANT MATERIAL AND GROUND COVER IS SPECIFIED TO ENSURE EXCESS DEBRIS WILL BE KEPT AWAY FROM, AND OUT OF THE SPLASH PAD SYSTEM. PROPER SLOPE OF GRADE IS MANDATORY TO KEEP RAIN WATER AND IRRIGATION WATER FROM ENTERING INTO THE SPLASH PAD BASIN AND EQUIPMENT ROOM OR ENCLOSURE.
- REFER TO MECHANICAL AND ELECTRICAL NOTES ON DRAWINGS FOR FURTHER INFORMATION.
- THE EQUIPMENT VAULT IS PRE-WIRED AT THE FACTORY FOR TESTING PURPOSES. IN THE EVENT THE LOCAL AUTHORITY, HAVING JURISDICTION OVER THE INSTALLATION OF THE VAULT AND FINAL PASS/FAIL INSPECTION, REQUIRES ANY MODIFICATIONS TO THE CONDUIT OR WIRING AS INSTALLED, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING THE CHANGES OR MODIFICATIONS AS REQUIRED TO CONFORM TO ALL LOCAL CODES.

PRESSURE TESTING

- PERFORM TESTS IN THE PRESENCE OF THE OWNER, ARCHITECT, OR AUTHORIZED REPRESENTATIVE FOR DESIGNATED DURATION WITH NO PRESSURE LOSS OR NOTICEABLE LEAKS.
- DO NOT INCLUDE EQUIPMENT IN TESTS WHICH COULD BE DAMAGED BY HIGH PRESSURE.
- FLUSH OUT ALL PIPES WITH CLEAN WATER PRIOR TO PERFORMING LEAK TESTS.
- PERFORM TESTS AS FOLLOWS:

SYSTEM	TEST PRESSURE	MEDIUM	DURATION
WATER	150 % OF OPERATING PRESSURE	WATER	8 HOURS
DRAINAGE	10FT. OVER HIGHEST PIPE INVERT	WATER	24 HOURS
- AUTOMATIC MAKE-UP WATER SYSTEMS SHALL BE THOROUGHLY TESTED AND OPERATIVE AT THE TIME OF FINAL OBSERVATION.
- AFTER THE SYSTEM HAS OPERATED FOR ONE WEEK, CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL INSPECT WATER MAKE-UP RATES AND AGREE THAT WATER USAGE IS APPROPRIATE FOR A SYSTEM OF THIS TYPE, ARE WITHIN LOCAL ORDINANCES OR CODES, AND THAT SUCH RATES ARE NOT INDICATIVE OF EXCESSIVE LEAKAGE FROM SYSTEM. A WATER METER SHALL BE PLACED ON THE FILL LINE FOR THIS PURPOSE, IF NECESSARY TO DOCUMENT PRECISE WATER USAGE.

GENERAL PIPING NOTES

- IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS CRITICAL TO SPLASH PAD EQUIPMENT INSTALLATION AND PERFORMANCE AND REPORT ANY DISCREPANCIES, IN WRITING TO DELTA FOUNTAINS AND THE ARCHITECT UPON DISCOVERY. REFER TO SPECIFICATION SECTION 3.1 "EXAMINATION" FOR FURTHER INSTRUCTION AND CLARIFICATION.
- IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO CHECK AND COMPLY WITH ALL APPLICABLE NATIONAL AND LOCAL PLUMBING CODES PRIOR TO INSTALLATION OF EQUIPMENT. LOCAL CODES TAKE PRECEDENCE OVER GENERAL NOTES WHERE DISCREPANCIES OR CONFLICTS EXIST.
- ALL SPLASH PAD PIPING PENETRATIONS THROUGH ANY CONCRETE WALL OR FLOOR MUST BE MADE WITH STAINLESS STEEL PIPE APPROPRIATE FOR THE APPLICATION, AND MUST BE FLASHED OR FITTED WITH A WATERSTOP FLANGE TO PREVENT LEAKAGE. FOR PIPE PENETRATIONS OVER 4" PIPE SIZE USE BACK TO BACK P.V.C. FLANGES WITH STAINLESS STEEL BOLTS AND HARDWARE FOR WATERSTOP.
- INTERCONNECTING PIPING AND FITTINGS INSIDE EQUIPMENT ROOM IS SCHEDULE 80 P.V.C.
- INTERCONNECTING PIPING AND FITTINGS BETWEEN THE FEATURE AND EQUIPMENT ROOM IS SCHEDULE 80 P.V.C. OR COPPER AS SUITABLE FOR THE WORKING PRESSURE OF THE SYSTEM SPECIFICATION REQUIREMENTS AND LOCAL CODES. IF STEEL OR CAST IRON PIPING IS SPECIFIED, IT MUST HAVE HOT-DIPPED GALVANIZED OR COAL TAR EPOXY COATING. REFER TO PROJECT SPECIFICATIONS FOR EXCEPTIONS.
- ALL PIPE CONNECTIONS BETWEEN DISSIMILAR METALS MUST BE MADE WITH DIELECTRIC FITTINGS AND DIELECTRIC THREAD SEALING COMPOUND TO PREVENT GALVANIC DEGRADATION.
- SUCTION EYE OF PUMP MUST BE LOCATED BELOW SPLASH PAD FLOOR ELEVATION IF FLOODED-END-SUCTION TYPE, AND NOT MORE THAN 4' ABOVE SPLASH PAD FLOOR ELEVATION IF SELF-PRIMING TYPE. ALL REDUCING FITTINGS MUST BE CONCENTRIC TYPE ON DISCHARGE LINE AND ECCENTRIC TYPE ON SUCTION LINE.
- SUCTION LINE MUST BE A STRAIGHT RUN INTO THE PUMP EYE OF AT LEAST 8 PIPE DIAMETERS WITH NO LOOPS, HIGH POINTS, OR TRAPS.
- USE LONG RADIUS ELBOWS ON ALL DIRECTIONAL CHANGES ON SUCTION AND DISCHARGE LINES, IN SOME INSTANCES, PIPING DIAGRAMS ARE EXAGGERATED FOR PURPOSES OF CLARITY. MAKE ALL SUCTION AND DISCHARGE PIPE RUNS USING THE MOST DIRECT ROUTES POSSIBLE AND USING THE MINIMUM NUMBER OF FITTINGS POSSIBLE. SLOPE ALL LINES DOWN TO PUMP, IN ALL CASES, WITH NO LOOPS, TRAPS, OR HIGH POINTS.
- ON SUCTION LINES USE ONLY LUG TYPE BUTTERFLY VALVES, FULL-PORT, OR GATE TYPE VALVES. DO NOT REGULATE OR ADJUST FLOW FROM SUCTION SIDE OF PUMP. USE SUCTION VALVES FOR EQUIPMENT ISOLATION PURPOSES ONLY.
- ON DISCHARGE LINES USE ONLY LUG TYPE BUTTERFLY, GLOBE, BALL, PLUG OR OTHER LOW LOSS INFINITELY ADJUSTABLE VALVES FOR ISOLATION AND FLOW REGULATION.
- AN IN-LINE BASKET STRAINER IS RECOMMENDED ON THE SUCTION SIDE OF PUMPS, WITH BASKET PERFORATIONS PROPERLY SIZED TO PROTECT THE PUMP IMPELLER, AND SPLASH PAD NOZZLE/JET ORIFICES.
- PROVIDE ADEQUATE OVERFLOW DRAIN AND FILL LINE CAPACITY FOR THE SPLASH PAD SYSTEM.
- THE PIPING SYSTEM SHALL BE WATER PRESSURE TESTED FOR 24 HOURS PRIOR TO BACKFILLING AND SHALL THEN BE BURIED AND/OR SUPPORTED AS REQUIRED TO PROTECT THE INTEGRITY OF MECHANICAL SYSTEM. (REFER TO PVC INSTALLATION NOTES).
- INSTALLING CONTRACTOR TO INSTALL THRUST BLOCKS AT ALL PIPING INTERSECTIONS ON SUBTERRANEAN PIPING RUNS.
- INSTALLING CONTRACTOR IS RESPONSIBLE FOR ALL PIPE SUPPORTS AND HANGERS AS REQUIRED. ALL PIPING IN OPEN AREAS BELOW THE SPLASH PAD SHALL BE INSTALLED FREEHANGING FROM THE CEILING IN THE LEVEL BELOW WITH PIPE HANGERS PER LOCAL CODE AND SPECIFICATIONS.
- INSTALLER SHALL PROVIDE ADEQUATE ACCESS, LIGHTING, DRAINAGE AND VENTILATION IN EQUIPMENT ROOM TO PREVENT FLOODING, CONDENSATION OR OVERHEATING OF EQUIPMENT, AND COMPLY WITH ALL OSHA CONFINED SPACE REGULATIONS AND REQUIREMENTS, BEFORE, DURING AND AFTER SYSTEM INSTALLATION.
- ANY PRESSURIZED CITY WATER LINES SUPPLYING THE SPLASH PAD SYSTEM SHALL BE OF TYPE K COPPER AND SHALL BE PROTECTED BY AN APPROVED BACKFLOW PREVENTION DEVICE AND PRESSURE REDUCING VALVE SET AT 50 PSI MAXIMUM PRESSURE AND MINIMUM OF 40 PSI.
- THE INCOMING WATER SUPPLY LINE PRESSURE MUST NOT EXCEED 50 PSI AND IS PART OF THE BUILDING CONTRACT, NOT THE SPLASH PAD.
- 'P' TRAPS AND VENTS SHALL BE INSTALLED ON ANY DRAIN LINE CONNECTED TO A SANITARY SEWER SYSTEM, WHERE AND WHEN REQUIRED BY PLUMBING CODE, REGARDLESS OF WHETHER SHOWN ON INSTALLATION DRAWINGS.
- SOIL COMPACTION AROUND SUBTERRANEAN PIPING TO BE COMPACTED IN 6" LIFTS.
- ALL PIPING TO HAVE MINIMUM 2% SLOPE DOWN FROM SPLASH PAD TO EQUIPMENT ROOM UNLESS OTHERWISE SPECIFIED ON THE CONTRACT DOCUMENTS.
- PRESSURE TESTING ON ALL PIPE RUNS BETWEEN THE PUMPING EQUIPMENT AND THE SPLASH PAD BASIN SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR AFTER "ROUGH-INS" (PIPES INSTALLED AND STUBBED UP) ARE COMPLETE AND AGAIN BEFORE ANY CONCRETE IS POURED. IT IS RECOMMEND TO MAINTAIN ALL PIPING UNDER PRESSURE DURING THE CONSTRUCTION PHASE TO DETECT ANY DAMAGE EARLY ON. ALL TESTS SHALL USE WATER, NOT AIR FOR PRESSURE TESTING.
- ALL PENETRATIONS THROUGH OUTSIDE WALLS TO BELOW GRADE SHALL BE SEALED PER BUILDING SPECIFICATIONS. USING "EASY-LINK SEALS" IS RECOMMENDED.
- ALL PIPING PENETRATIONS THROUGH STRUCTURE WALLS INTO OPEN AREAS BELOW SPLASH PAD STRUCTURE MUST HAVE ALLOWANCES MADE FOR SETTLEMENT.
- ANY AND ALL COSTS ASSOCIATED WITH ABOVE ARE RESPONSIBILITY OF INSTALLER.
- ALL PIPING IS ASSUMED TO BE BURIED BELOW GROUND IN ALL CASES, AND NOT INSTALLED ON OR ABOVE GRADE WHERE AN AIR TRAP, LOOP, OR HIGHPOINT COULD BE CREATED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY INSTALLATION PERMITS AND INSPECTIONS.
- ALL WELDED PVC FITTINGS ABOVE 6" DIAMETER SHALL BE FIBERGLASS REINFORCED AND USED ONLY ON NON-PRESSURIZED LINES.

PVC INSTALLATION NOTES

- UNLESS ARCHITECT'S SPECIFICATIONS INDICATE OTHERWISE, THE SUGGESTED MINIMUM PIPING AND FITTING STANDARD RECOMMENDED FOR THIS INSTALLATION IS TYPE 1. PVC TYPE 1 CELL CLASSIFICATION 12454, CONFORMING TO ASTM STANDARD 1784.
- USE ONLY PURPLE PVC PRIMER MEETING NSF, UPC, AND ASTM #F-656 STANDARDS FOR SOFTENING AND PREPARING FIELD PIPE AND FITTING SURFACES FOR SOLVENT CEMENTING (IPS CORPORATION "WELD-ON TYPE P-70 OR EQUIVALENT). WELD-ON P-70 PRIMER IS A PURPLE COLORED, NON-BODIED, VERY FAST ACTING, WATER THIN SOLVENT SYSTEM. WHEN USED IN CONJUNCTION WITH APPROPRIATE WELD-ON CEMENTS, WILL MAKE CONSISTENTLY STRONG, WELL-FUSED JOINTS. IT IS ESSENTIAL THAT THE JOINING SURFACES OF PIPE AND FITTINGS BE SOFTENED PRIOR TO ASSEMBLY. THE MAIN FUNCTION OF THIS PRIMER IS TO EXPEDITE THE PENETRATION AND SOFTENING OF THESE SURFACES. ITS RATE OF PENETRATION INTO THE JOINING SURFACES IS MUCH MORE RAPID THAN THAT OF CEMENT ALONE. IT IS SUITABLE FOR USE WITH ALL TYPES, SCHEDULES AND CLASSES OF PVC AND CPVC PIPE AND FITTINGS. FOLLOW ALL DIRECTIONS AND INSTRUCTIONS APPEARING ON PRODUCT LABEL.
- USE ONLY GREY, HEAVY BODIED, MEDIUM SETTING PVC CEMENT MEETING NSF, UPC, AND ASTM #D-2564, STANDARDS FOR SOLVENT CEMENTING PVC PLASTIC PIPE AND FITTINGS (IPS CORPORATION "WELD-ON" TYPE 711 OR EQUIVALENT). WELD-ON 711 GREY, HEAVY BODIED, MEDIUM SET, HIGH STRENGTH SOLVENT CEMENT FOR CEMENTING ALL SCHEDULES AND CLASSES OF PVC PIPE AND FITTINGS THROUGH 12" INCLUDING SCHEDULE 80. WELD-ON 719 GREY OR WHITE, EXTRA HEAVY BODIED, THIXOTROPIC (PASTE-LIKE), HIGH STRENGTH SOLVENT CEMENT FOR CEMENTING ALL SCHEDULES AND CLASSES OF PVC PIPE AND FITTINGS 4" THROUGH 30" INCLUDING SCHEDULE 80. WELD-ON 711 AND 719 FOR USE ON ALL TYPES OF PVC PLASTIC PIPE APPLICATIONS, TYPE I AND TYPE II. IT IS APPROVED FOR USE WITH POTABLE WATER PRESSURE SYSTEMS, IRRIGATION, TURF IRRIGATION, GAS, CONDUIT, INDUSTRIAL PIPE APPLICATIONS, SEWER AND DRAIN, WASTE AND VENT SYSTEMS. FOLLOW ALL DIRECTIONS AND INSTRUCTIONS ON PRODUCT LABEL.
- PRESSURE TEST ALL WATER PIPING PRIOR TO COMMENCING BACKFILL OPERATIONS. (SEE #4 IN "PRESSURE TESTING" SECTION ABOVE). HYDROSTATIC (WATER) TESTING SHALL BE THE ONLY APPROVED METHOD. DO NOT PRESSURE TEST WITH COMPRESSED AIR AS SEVERE PIPE DAMAGE AND BODILY INJURY CAN OCCUR. DO NOT EXCEED THE RATED OPERATIONAL PRESSURE OF THE PIPING AND/OR FITTINGS CARRYING THE LOWEST PRESSURE RATING. LOCATE AND REPAIR ANY LEAKS AND RETEST (PER #4 IN "PRESSURE TESTING" SECTION ABOVE) PRIOR TO COMPLETION OF BACKFILL OPERATIONS.
- CONCRETE "THRUST" BLOCKING IS RECOMMENDED AT ALL DIRECTIONAL CHANGES (TEES, ELBOWS, ETC.), REDUCER FITTINGS AND LINE TERMINATIONS (BUSHINGS, END CAPS, PLUGS, ETC.) IN SPLASH PAD DISCHARGE PIPING 6" AND LARGER.
- PERFORM ADEQUATE TRENCHING AND BACKFILL OPERATIONS WHEN INSTALLING PVC PIPING BELOW GRADE. TRENCH WIDTH SHOULD BE MINIMUM OF "PIPE O.D. PLUS 12 INCHES" AND DEEP ENOUGH TO ALLOW PIPING TO BE BURIED A MINIMUM OF 12" BELOW THE MAXIMUM EXPECTED FROST PENETRATION LINE TO AVOID FREEZE DAMAGE. LAY PIPING IN HORIZONTAL, PARALLEL, AND PERPENDICULAR MANNER. AVOID VERTICAL STACKING OF PIPES. SPACE MINIMUM OF 3" APART ON ALL PARALLEL RUNS.
- USE ONLY CLEAN, FREE-FLOWING, NON-EXPANSIVE BACKFILL MATERIAL (NATURALLY ROUNDED ¼" PEA GRAVEL, 57 STONE, OR SAND) AND BACKFILL IN 6" LIFTS WITH ADEQUATE AND COMPLETE COMPACTION BETWEEN LIFTS TO 90% OF MAXIMUM DENSITY PER ASTM 1557-70. COMPACTION TO EXCESSIVE LOADS SHALL NOT BE PERMITTED. A SECOND PRESSURE TEST ON THE PIPING SYSTEM MUST BE MADE AT THIS TIME TO INSURE THAT PIPING HAS NOT BEEN DAMAGED DURING BACKFILL OPERATIONS (SEE #4 IN "PRESSURE TESTING" SECTION ABOVE).
- AVOID LAYING SUCTION PIPING IN A MANNER THAT COULD RESULT IN A SUCTION LOOP BEFORE, DURING, OR AFTER BACKFILLING AND COMPACTION. ALWAYS PITCH PIPE IN A DOWNWARD DIRECTION TO AVOID A SUCTION LOOP THAT WILL CAUSE AIR TO BE PERMANENTLY TRAPPED, CAUSING LOSS IN PERFORMANCE OF THE PIPING SYSTEM DUE TO INCREASED FRICTION AND WORK LOAD DEMAND.
- ANY AND ALL COSTS ASSOCIATED WITH ABOVE ARE RESPONSIBILITY OF INSTALLER.
- INTERCONNECTING PIPING AND FITTINGS INSIDE EQUIPMENT ROOM IS SCHEDULE 80 P.V.C.

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PENSACOLA, FLORIDA

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NOTES

DATE: 05/06/2021
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CHECKED: JWT

REVISIONS

PROJECT NUMBER	SHEET NUMBER
E0621	F4.20

Department:	Comments:
FIRE	No comments
PW/E	No issues
InspSvcs	No comments
ESP	The only gas line in the area that could be affected is the gas service to Jaco's. It runs from the median on Palafox straight to the gas meter and it appears new sprinkler lines will be installed over this area. This should be caught with the 811 locate ticket.
ECUA	No comments
GPW	No comments
ATT	No comments
Surveyor	Planning Board Application Project Address is listed as "600" South Palafox. This information should be confirmed. Unable to locate the benchmarks on the civil plans. This civil plans need to include at least two benchmarks for construction.
Planning	No comments
GIS	Project address should be 900 S. Palafox St.



Memorandum

File #: 21-00749

Planning Board

9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/7/2021

SUBJECT:

Amendment to the Land Development Code (LDC) - Table 12-3.9 - Regulations For The North Hill Preservation Zoning Districts - PR-2 Minimum Lot Size Requirements

BACKGROUND:

On June 8, 2021 and August 12, 2021 the Planning Board and City Council respectively suggested that City staff amend the PR-2, North Hill Preservation multiple-family zoning district to better align with criteria designed for transitional zoning districts. Subsequently the Mayor directed staff to initiate the process for approval of the requested amendment.

Currently the PR-1AAA, single family district, and PR-2, multiple-family district contain similar building standards, and the same minimum lot size requirements. At present the main differences between these zoning districts are the types of uses that are allowed by right and the minimum building setbacks for the front and side yards. In order to allow for the PR-2 district to function as a transitional zoning district between the North Hill single family and commercial districts, the proposed amendment will allow for a smaller minimum lot width and lot area. Table 12-3.9 *Regulations For The North Hill Preservation Zoning Districts* (attached) contains the current applicable lot and building standards.

The proposed amendment would be limited to Table 12-3.9 and do not include any changes to the types of allowed uses or to the required setbacks in the PR-2 zoning district.

The following changes are proposed:

- Minimum Lot Area for Residential Uses: Currently - 9,000 SF
 Proposed - 5,000 SF
- Minimum Lot Width at Building Setback Line: Currently - 75 feet
 Proposed - 50 feet

Sec. 12-3-1. Establishment of future land use and zoning districts and official maps.

- (a) *Establishment of districts.* For the purposes of this title, the city is divided into future land use and zoning districts in the manner provided for elsewhere in this title. Each land use district shall contain a set of zoning districts that may be permitted within its boundaries and are consistent with its allowable uses.
- (b) *Official maps.*
 - (1) The boundaries of the future land use and zoning districts are hereby established and shall be delineated on official maps for the city entitled "The Future Land Use Map for the Comprehensive Plan of the City of Pensacola" and "The Zoning Map of the City of Pensacola" which, with all explanatory matter set forth thereon, are incorporated in and hereby made a part of this title. The official land use and zoning maps shall be identified by the signature of the mayor, attested by the city clerk, and bearing the seal of the city under the following words: "This is to certify that this is the Official Future Land Use Map referred to in section 12-2-3 of the Code of the City of Pensacola" and "This is to certify that this is the Official Zoning Map referred to in section 12-3-1 of the City of Pensacola Land Development Code," together with the date of certification.
 - (2) If changes are made in district boundaries or other matter portrayed on the official land use or zoning map, such changes shall be made on the official maps promptly after the amendments have been approved by the city council. A land use and/or zoning number and an ordinance number shall be given to each change and a file of such changes kept by the city.
- (c) *Interpretation of district boundaries.* Where uncertainty exists as to the boundaries of districts as shown on the official land use or zoning map, the following rules shall apply:
 - (1) Where district boundaries appear to follow centerlines of streets, alleys, easements, railroads and the like, they shall be construed as following centerlines.
 - (2) Where district boundaries appear to follow lot, property or similar lines, they shall be construed as following such lines.
 - (3) In subdivided property or where a district boundary divides a lot, the location of such boundary, unless the same is indicated by dimensions, shall be determined by use of the scale appearing on the map.
 - (4) Where a district boundary line divides a lot or parcel of land the uses permitted in the zoning district on either portion of the lot may be extended a distance not to exceed 50 feet beyond the district line into the remaining portion of the lot.
 - (5) Where any street or alley is hereafter officially vacated or abandoned, the regulations applicable to each parcel of abutting property shall apply to that portion of such street or alley added thereto by virtue of such vacation or abandonment.
 - (6) Boundaries indicated as following shorelines shall be construed to follow the mean high water line and, in the event of change in the shoreline, shall be construed as moving within the high water mark; boundaries indicated as approximately following the centerlines of streams, rivers, canals, lakes or other bodies of water shall be construed to follow such centerlines.
 - (7) All areas within the corporate limits of the city that are underwater and are not shown as included within any district shall be subject to all of the regulations of the district that immediately adjoins the water area. If the water area joins two or more districts, the boundaries of each district shall be construed to extend into the water area in a straight line until they meet the other district.
- (d) *Future land use and zoning districts.* In the establishment, by this chapter, of the respective zoning districts, the city council has given due and careful consideration to the peculiar suitability of each district for the particular regulations applied thereto, and the necessary, proper and comprehensive groupings and

arrangements of the various uses and densities of population in accordance with a well-considered plan for the development of the city.

In order to regulate and limit the height and size of buildings, to regulate and limit the intensity of the use of lot areas, to regulate and determine the areas of open spaces surrounding buildings, to classify, regulate and restrict the location of trades and industries, and to regulate the location of buildings designed for specified industrial, business, residential, and other uses, the city is hereby divided into the following districts:

CONSERVATION LAND USE—CO	
CO	Conservation zoning district.
LOW-DENSITY RESIDENTIAL LAND USE—LDR	
R-1AAAAA	Single-family zoning district.
R-1AAAA	Single-family zoning district.
R-IAAA	Single-family zoning district.
MEDIUM-DENSITY RESIDENTIAL LAND USE—MDR	
R-1AA	One- and two-family zoning district.
R-1A	One- and two-family zoning district.
HIGH-DENSITY RESIDENTIAL LAND USE—HDR	
R-ZL	Zero-lot-line dwelling zoning district.
R-2A	Multiple-family zoning district.
R-2B	Multiple-family zoning district.
OFFICE LAND USE—O	
R-2	Residential/office zoning district.
RESIDENTIAL/NEIGHBORHOOD COMMERCIAL LAND USE—RNC	
R-NC	Residential/neighborhood commercial zoning district.
COMMERCIAL LAND USE—C	
C-1	Commercial zoning district (retail).
C-2A	Commercial zoning district (retail).
C-2	Commercial zoning district (retail).
C-3	Commercial zoning district (wholesale and light industry).
INDUSTRIAL LAND USE—ID	
M-1	Light industrial zoning district.
M-2	Heavy industrial zoning district.
HISTORIC AND PRESERVATION LAND USE—HP	
HR-1	Historic one- and two-family zoning district.
HR-2	Historic multiple-family zoning district.
HC-1	Historic commercial zoning district.
HC-2	Historic commercial zoning district.
PR-1AAA	North Hill Preservation single-family zoning district.
PR-2	North Hill Preservation multiple-family zoning district.

PC-1	North Hill Preservation commercial zoning district.
OEHR-2	Old East Hill residential/office district.
OEHC-1	Old East Hill neighborhood commercial district.
OEHC-2	Old East Hill retail commercial district.
OEHC-3	Old East Hill commercial district.
AIRPORT LAND USE—A	
ARZ	Airport restricted zoning district.
ATZ-1	Airport transition zoning district 1.
ATZ-2	Airport transition zoning district 2.
REDEVELOPMENT LAND USE—R	
GRD	Gateway redevelopment zoning district.
GRD-1	Gateway redevelopment district, Aragon redevelopment area.
WRD	Waterfront redevelopment zoning district.
BUSINESS—B	
SPBD	South Palafox business zoning district.
INTERSTATE CORRIDOR LAND USE—IC	
IC	Interstate corridor zoning district.
SPECIAL ZONING DISTRICT	
SSD	Site specific development zoning district.
NEIGHBORHOOD LAND USE—N	
May include several zoning districts, depending on the regulations for the individual neighborhood districts.	

(Code 1986, § 12-2-1; Ord. No. 29-93, § 1, 11-18-1993; Ord. No. 13-06, § 4, 4-27-2006; Ord. No. 28-07, § 1, 6-14-2007)

Sec. 12-3-10. Historic and preservation land use district.

The regulations in this section shall be applicable to the Pensacola historic district, the North Hill preservation district and the Old East Hill preservation district: HR-1, HR-2, HC-1, HC-2, PR-1AAA, PR-2, PC-1, OEHR-2, OEHC-1, OEHC-2 and OEHC-3.



(1) *Historic zoning districts: HR-1, HR-2, HC-1 and HC-2.*

- a. *Purpose.* The historic zoning districts are established to preserve the development pattern and distinctive architectural character of the district through the restoration of existing buildings and construction of compatible new buildings. The official listing of the Pensacola historic district (which includes all areas designated as historic zoning districts) on the National Register of Historic Places and the authority of the architectural review board reinforce this special character. Zoning regulations are intended to ensure that future development is compatible with and enhances the pedestrian scale of the existing structures and period architectural character of the districts.
- b. *Character of the district.* The historic district is characterized by lots with narrow street frontage (based on the original British city plan, c. 1765), and the concentration of Frame Vernacular, Folk Victorian and Creole homes which date from the early 19th Century and form a consistent architectural edge along the street grid. These buildings and historic sites and their period architecture make the district unique and worthy of continuing preservation efforts. The district is an established business area, residential neighborhood and tourist attraction, containing historic sites and museums, a variety of specialty retail shops, restaurants, small offices, and residences.
- c. *Uses permitted.*
 1. *HR-1, one- and two-family.*
 - i. Single-family and two-family (duplex) dwellings.
 - ii. Libraries, community centers and buildings used exclusively by the federal, state, county or city government for public purposes.
 - iii. Churches, Sunday school buildings and parish houses.
 - iv. Home occupations allowing: not more than 60 percent of the floor area of the total buildings on the lot to be used for a home occupation; retail sales shall be allowed, limited to uses listed as conditional uses in subsection (1)c.2.vi of this section; two nonfamily members shall be allowed as employees in the home occupation; and a sign for the business not to exceed three square feet shall be allowed.

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- v. Publicly owned or operated parks and playgrounds.
 - vi. Community residential homes licensed by the state department of health and rehabilitative services with six or fewer residents providing that it is not to be located within 1,000 feet of another such home. If it is proposed to be within 1,000 feet of another such home, measured from property line to property line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
 - vii. Bed and breakfast subject to regulations in section 12-3-84.
 - viii. Conditional uses permitted:
 - (a) Single-family attached dwellings (townhouses).
 - (b) Multiple-family dwellings.
 - ix. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot and not involving the conduct of business.
 - x. Family day care homes licensed by the state department of children and family Services as defined in state statutes.

2. *HR-2, multiple-family and office.*

- i. Any use permitted in the HR-1 district, including conditional uses.
- ii. Boarding and lodging houses.
- iii. Offices under 5,000 square feet.
- iv. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district, measured from property line to property line, and/or within 500 feet of a single-family zoning district, measured from property line to district line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
- v. Child care facilities subject to regulations in section 12-3-87.
- vi. Conditional use permitted:

The following uses limited to a maximum area of 3,000 square feet:

- (a) Antique shops.
- (b) Bakeries whose products are sold at retail and only on the premises.
- (c) Grocery stores.
- (d) Barbershops and beauty parlors.
- (e) Laundromats, including dry-cleaning pick-up stations.
- (f) Clothing and fabric shops.
- (g) Studios.

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- (h) Vending machines when an accessory to a business establishment and located in the same building as the business.
 - (i) Small appliance repair shops.
 - (j) Floral gardens and shops.
 - (k) Hand craft shops for custom work or making custom items not involving noise, odor, or chemical waste.
 - (l) Secondhand stores.
 - (m) Specialty shops.
 - vii. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
 - 3. *HC-1, historical commercial district.*
 - i. Any use permitted in the HR-2 district, including the conditional uses, with no size limitations.
 - ii. Small appliance repair shops.
 - iii. Marinas.
 - iv. Restaurants (except drive-ins).
 - v. Motels.
 - vi. Commercial parking lots.
 - vii. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
 - 4. *HC-2, historical commercial district.*
 - i. Any use permitted in the HC-1 district.
 - ii. Private clubs and lodges except those operated as commercial enterprises.
 - iii. Health clubs, spas and exercise centers.
 - iv. Tavern, lounges, nightclubs, cocktail bars.
 - v. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
 - vi. Adult entertainment establishments subject to the requirements of chapter 7-3 when located within the dense business area as defined in chapter 12-13, Definitions.
 - d. *Procedure for review.*
 - 1. Review and approval by the architectural review board. All activities regulated by this subsection shall be subject to review and approval by the architectural review board as established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for paint colors, minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review without the necessity for review by the entire board; provided, however, such abbreviated review process shall require review by the staff of West Florida Historic Preservation, Inc. If agreement cannot be reached as it

pertains to such request for abbreviated review by the board designee and West Florida Historic Preservation, Inc. staff, then the matter will be referred to the entire board for a decision.

2. Decisions.

- i. General consideration. The board shall consider plans for existing buildings based on their classification as contributing, non-contributing or modern infill as depicted on the map entitled "Pensacola Historic District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In their review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials, textures and colors; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, including painting, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods, paint colors or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
- ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:
 - (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
 - (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials and colors.
- iii. No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by the Historic Pensacola Preservation Board) in its original style, dimensions or position on its original structural foundation.

3. Plan submission. Every activity that requires plans in order to erect, construct, demolish, renovate or alter an exterior of a building, sign or exterior site work, located or to be located in the historic zoning districts shall be accompanied with drawings or sketches. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'0"; the minimum scale for floor plans is 1/8" = 1'0"; and the minimum scale for exterior elevations is 1/8" = 1'0". The scale for other items, such as signs and details, shall

be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above for ease of presentation.

- i. *Site plan.*
 - (a) Indicate overall property dimensions and building size and location on the property.
 - (b) Indicate relationship of adjacent buildings, if any.
 - (c) Indicate layout of all driveways and parking on the site.
 - (d) Indicate all fences, and signs with dimensions as required to show exact locations.
 - (e) Indicate existing trees and existing and new landscaping.
- ii. *Floor plan.*
 - (a) Indicate locations and sizes of all exterior doors and windows.
 - (b) Indicate all porches, steps, ramps and handrails.
 - (c) For renovations or additions to existing buildings, indicate all existing conditions and features as well as the revised conditions and features and the relationship of both.
- iii. *Exterior elevations.*
 - (a) Indicate all four elevations of the exterior of the building.
 - (b) Indicate the relationship of this project to adjacent structures, if any.
 - (c) Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
 - (d) Indicate exterior wall materials, including type of materials, dimensions, architectural elements and color.
 - (e) Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.
 - (f) Indicate all porches, steps, and ramps, including type of materials, dimensions, architectural elements and color.
 - (g) Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, trim, and color.
 - (h) Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashing, and color.
 - (i) Indicate all signs, whether they are built mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.
- iv. *Miscellaneous.*
 - (a) Show enlarged details of any special features of either the building or the site that cannot be clearly depicted in any of the above-referenced drawings.

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4. Submission of photographs.
 - i. *Renovations/additions to existing buildings.*
 - (a) Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the "streetscape" — that is, the immediate vicinity and all adjacent buildings — should be supplied.
 - (b) If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered and replaced.
 - (c) Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.
 - ii. *New construction.*
 - (a) Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
 - (b) Provide photographs of the adjoining "streetscape," including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.
 5. Submission of descriptive product literature/brochures.
 - i. Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
 - ii. Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
 - iii. Provide samples or descriptive literature on roofing material and trip to augment the information on the drawings. The information must indicate dimensions, details, material, color and style.
 - iv. Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing and color.
 6. Conceptual approval is permitted by the board only when the applicant specifies on their application that is the approval they are seeking. Conceptual approval applications shall be complete with the exception of final details such as material and color selections. Conceptual approval by the board does not permit the issuance of a building permit.
 - e. *Regulations and guidelines for any development within the historic zoning districts.* These regulations and guidelines are intended to address the design and construction of elements common to any development within the historic district that requires review and approval by the architectural review board. Regulations and guidelines which relate specifically to new construction and/or structural rehabilitation and repair to existing buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in

subsections (1)f through h of this section. Illustrations, photographs and descriptive examples of many of the design elements described in this subsection can be found in the document prepared by the Florida Northwest Chapter of the American Institute of Architects entitled "Seville Historic District Guideline Study."

1. *Building height limit.* No building shall exceed the following height limit established by zone: HR-1 (one- and two-family), HR-2 (multiple-family), HC-1 (historic commercial), HC-2 (historic commercial)— 35 feet.
 - i. Bayfront Parkway setback/height requirement. The following height/setback requirement shall be observed along Bayfront Parkway between Tarragona Street and 9th Avenue (setback distance measured from northern right-of-way line) to create a scenic open space image along the parkway.

Building Height	Building Setback
20 feet	20 feet
25 feet	25 feet
30 feet	30 feet
35 feet (maximum height)	35 feet

2. *Protection of trees.* It is the intent of this section to recognize the contribution of shade trees and certain flowering trees to the overall character of the historic zoning districts and to ensure the preservation of such trees as described below:
 - i. Any of the following "specimen tree" species having a minimum trunk diameter of eight inches (25.1 inches in circumference) at a height of one foot above grade: Live Oak, Water Oak, Pecan, and Magnolia having a minimum trunk diameter of six inches (18.8 inches in circumference) at a height of one foot above grade; and
 - ii. Any of the following flowering trees with a minimum trunk diameter of four inches (12.55 inches in circumference) at a height of one foot above grade: Redbud, Dogwood, and Crape Myrtle.

No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, undertake tree removal, or effectively destroy through damaging, any specimen or flowering tree, whether it be on private property or right-of-way within the district, without first having obtained a permit from the city to do so. Refer to section 12-6-7 for tree removal permit application procedures and guidelines.

3. *Fences.* The majority of original fences in the historic district were constructed of wood with a paint finish in many varying ornamental designs. To a lesser extent, fences may have been constructed of brick or wrought iron. The style of the fence and the materials used typically related directly to the style and type of materials used for the building on the property.

All developments in the historic zoning districts shall comply with fence regulations as established in section 12-3-63(a) through (d), applicable to maximum heights permitted. In addition, the following provisions apply:

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- i. Chain-link, concrete block and barbed wire are prohibited fence materials in the historic district. Approved materials will include, but not necessarily be limited to, wood, brick, stone and wrought iron.
 - ii. All wood or wrought iron fences shall be painted if the principal building is painted. Wood fences shall be constructed utilizing one of a variety of "picket" designs, especially a design that will reflect details similar to those on the building. It is recommended that the use of wrought iron or brick fences be constructed in conjunction with buildings that use masonry materials in their construction.
 4. *Signs.* Those few signs that may have originally been used in the historic district, including those which were used in the commercial areas, were typically smaller in scale than many signs in current use. Ordinarily, their style was complementary to the style of the building on the property. The support structure and trim work on a sign was typically ornamental, as well as functional.

Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. In addition to the prohibited signs listed below, all signs listed in section 12-5-7 are prohibited within the historic district. The design, color scheme and materials of all signs shall be subject to approval by the architectural review board. All official signs within the district will be authorized, created, erected and maintained by the city or the Historic Pensacola Preservation Board using as their guide the document entitled "A Uniform System for Official Signs in the Seville Square Historical District." This document also includes recommendations for and descriptive drawings of commercial signs appropriate to the district.

- i. *Permitted signs.*
 - (a) *Temporary accessory signs.*
 - (1) One non-illuminated sign advertising the sale, lease, or rental of the lot or building, said sign not exceeding six square feet in area.
 - (2) One non-illuminated sign not more than 50 square feet in area in connection with new construction work and displayed only during such time as the actual construction work is in progress.
 - (b) *Permanent accessory signs.*
 - (1) One sign per lot per street frontage for churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including retail and office buildings) or historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area and having a maximum height of eight feet; provided, however, that signs projecting from a building or extending over public property shall maintain a clear height of nine feet six inches above the public property and shall not exceed a height of 12 feet six inches. The sign may be mounted to the face of a wall of the building, hung from a bracket that is mounted to a wall of a building, hung from other ornamental elements on the building, or may be freestanding. Attached or wall signs may be placed on the front or one side of the building. The sign may be illuminated provided the

source of light is not visible beyond the property line of the lot on which the sign is located.

- (2) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than three square feet and shall be attached flat against the wall of the building.
- (3) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the mayor and board.

ii. *Prohibited signs.*

- (a) Any sign using plastic materials for lettering or background.
- (b) Internally illuminated signs.
- (c) Portable signs.
- (d) Nonaccessory signs.

5. *Screening.* The following uses must be screened from adjoining property and from public view with fencing and/or landscaping or a combination of the two approved by the board:

- i. Parking lots.
- ii. Dumpsters or trash handling areas.
- iii. Service entrances or utility facilities.
- iv. Loading docks or spaces.

6. *Landscaping.* Within the original historic district development, the majority of each site not covered by a building was typically planted in trees, shrubbery or ground cover. No formal landscape style has been found to predominate in the district. The following regulations apply for landscaping:

- i. Within the front yard setback the use of grass, ground cover or shrubs is required and trees are encouraged in all areas not covered by a drive or walkway.
- ii. The use of brick or concrete pavers set on sand may be allowed in the front yard in addition to drives or walkways, with board approval based on the need and suitability of such pavement.

7. *Driveways, sidewalks and off-street parking.* Original driveways in the historic district were probably unimproved or sidewalks were typically constructed of brick, cobblestones or small concrete pavers using two different colors laid at diagonals in an alternating fashion. Parking lots were not a common facility in the historic district. The following regulations and guidelines apply to driveways, sidewalks and parking lots in the historic district:

- i. *Driveways.* Unless otherwise approved by the board, each building site shall be allowed one driveway, standard concrete ribbons, or access drive to a parking lot. No new driveways or access drives to parking lots may be permitted directly from Bayfront Parkway to any development where alternative access from the inland street grid is available.
 - (a) Where asphalt or concrete is used as a driveway material, the use of an appropriate coloring agent is required.

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- (b) From the street pavement edge to the building setback the only materials allowed shall be shell, brick, concrete pavers, colored asphalt and approved stamped concrete or #57 granite or marble chips.
 - ii. *Sidewalks.* Construction, repair and maintenance of sidewalks are all required on public rights-of-way within the district. Sidewalks shall be constructed of the following materials or combination of materials and approved by the board:
 - (a) Brick pavers;
 - (b) Concrete pavers;
 - (c) Poured concrete stamped with an ornamental pattern and colored with a coloring agent;
 - (d) A combination of concrete with brick or concrete paver bands along the edges of the sidewalk. This combination may also include transverse brick or concrete paver bands spaced at regular intervals.

Walkways shall be provided from the street side sidewalk to the front entrance as approved by the board.

- iii. *Off-street parking.* Off-street parking is not required in the HC-1 and HC-2 zoning districts. Because parking lots have not been a common land use in the district, their location is encouraged behind the structures which they serve.
 - (a) Parking lots shall be screened from view of adjacent property and the street by fencing, landscaping or a combination of the two approved by the board.
 - (b) Materials for parking lots shall be concrete, concrete or brick pavers, asphalt, oyster shells, clam shells or #57 granite or marble chips. Where asphalt or concrete are used, the use of a coloring agent is required. The use of acceptable stamped patterns on poured concrete is also encouraged.
- 8. *Paint colors.* The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the historic district. Samples of these palettes can be reviewed at the Historic Pensacola Preservation Board and at the office of the building inspector.
- 9. *Residential accessory structures.* Residential accessory structures shall comply with regulations set forth in section 12-3-55 except that the following shall apply: Accessory structures shall not exceed one story in height for a maximum in height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
- 10. *Additional regulations.* In addition to the regulations established above in subsections (1)e.1 through 9 of this section, any permitted use within the historic district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.
- f. *Restoration, rehabilitation, alterations or additions to existing contributing structures in the historic district.* The Secretary of the Interior's standards for rehabilitation, codified at 37 CFR 67, and the related guidelines for rehabilitating historic buildings shall form the basis for rehabilitation of existing contributing structures. The following regulations and guidelines for specific building elements are intended to further refine some of the general recommendations found in the Department of the Interior's document to reflect local conditions in the

rehabilitation of structures. In the case of a conflict between the Department of the Interior's publication and the regulations set forth herein, the more restrictive shall apply. The "Seville Historic District Guideline Study" describes the building styles that are typical in the historic district. This definition of styles should be consulted to ensure that the proper elements are used in combination in lieu of combining elements that, although they may be typical to the district, are not appropriate for use together on the same building.

For all of the following elements, the documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances. The following regulations and guidelines shall apply to renovations, repairs and alterations to contributing structures which may or may not have documentary proof of the original elements and to alterations or additions to a contributing structure which seek to reflect the original elements.

1. *Exterior lighting.* Exterior lighting in the district in its original development typically consisted of post-mounted street lights and building-mounted lights adjacent to entryways. Occasionally, post lights were used adjacent to the entry sidewalks to buildings. Lamps were typically ornamental in design with glass lenses and were mounted on ornamental cast iron or wooden posts.
 - i. Exterior lighting fixtures shall be in a design typical to the district in a pre-1925 Era. They shall be constructed of brass, copper, or painted steel and have clear lenses.
 - ii. If exterior lighting is detached from the building, the fixtures shall be post-mounted and used adjacent to sidewalk or driveway entrances or around parking lots. If post-mounted lights are used, they shall not exceed 12 feet in height.
 - iii. The light element itself shall be a true gas lamp or shall be electrically operated using incandescent or high pressure sodium lamps. Fluorescent and mercury vapor lamps are prohibited.
 - iv. The use of pole mounted high pressure sodium utility/security lights is discouraged. If absolutely necessary, they will be considered, but only in the rear portions of the property.
2. *Exterior walls.* The two building materials basic to the historic district are clapboard style wood siding and brick masonry, the former being most prevalent. In general, the wood siding is associated with the residential-type buildings and the brick masonry is associated with more commercially-oriented buildings. Brick is used in predominantly wooden structures only for foundation piers and for fireplaces and chimneys.
 - i. Vinyl or metal siding is prohibited.
 - ii. Wood siding and trim shall be finished with paint, utilizing colors approved by the board. If documentary evidence is submitted showing that the original structure was unpainted, the board may not require a paint finish unless the condition of the wood warrants its use.
 - iii. Foundation piers shall be exposed brick masonry or sand textured plaster over masonry. If infill between piers was original then it must be duplicated. It is encouraged that infill of wood lattice panels is utilized.

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3. *Roofs.* The gable roof is the most typical in the historic district. On shotgun house types or buildings placed on narrow deep lots the gable-end is usually oriented toward the street. On the creole type houses or buildings having larger street frontages the gable-end is typically oriented towards the side yard. Some hip roofs are found in newer, typically larger than average buildings. Dormers are found typically in association with the creole type houses. The roof slope is at least six on 12, but can be found to slope as much as 12 on 12. Roofing materials typically consisted of wood shingles, tin and corrugated metal panels.
 - i. The combination of varying roof styles or shapes on a single building is prohibited. The only exception to this is when a three-sided hip roof is used over a porch on the front of a gable roofed building.
 - ii. In order to protect the architectural integrity of the district and structure, roof materials original to each structure should be used. Alternatives to the materials may be considered on a case-by-case basis, but shall match the scale, texture, and coloration of the historic roofing material. Unless original to the structure, the following materials shall be prohibited: less than 30-year fiberglass or asphalt dimensional shingles, rolled roofing, and metal shingles. Thirty-year or 40-year dimensional shingles may be permitted. Provided, however, existing flat-roofed commercial structures may retain the same style roof and continue to use built-up or single-ply roofing.
 - iii. Eave metal and flashing shall be naturally weathered copper or galvanized steel, or may be painted.
 - iv. Gutters and downspouts are discouraged within the district except on brick commercial buildings.
 4. *Porches.* The porch, consisting of raised floor platform, sheltering roof, supporting columns, handrails and balustrade, and connecting steps is typical to wood structures in the district.
 - i. Porches are required in any renovation or alteration of a contributing structure that originally had a porch, and are encouraged as additions when the style of the building will allow it.
 - ii. The original materials, method of construction and style of building elements shall be duplicated when making repairs, alterations or additions to existing porches.
 - iii. The size and design of all porch elements, i.e., the flooring, the columns, the handrails, the pickets, the roof beam, the floor support piers, and any other ornamentation shall be consistent with any one single style that is typical to the district. The elements shall maintain proper historical scale, dimensions and detailing.
 5. *Doors.* Entrance doors made up of a solid wood frame, with an infill of raised wood panels below and glazed panels above, are historically correct for the district. Single doorways with a glazed transom above allowed for both light and ventilation to enter the entrance way or entrance foyer of the building. Double doors were usually associated with a larger home or building layout.

The placement of the doorway was not necessarily in the center of the front wall; in fact, it was usually off to one side in most cases, specifically in the shotgun house types. The larger creole cottage, and French creole house type, normally had the front door centered, leading to a center hallway or stair hall.

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- i. Doors are to be fabricated of solid wood, with three horizontal rails and two vertical stiles. The lower infill panels shall be constructed of wood and shall be located below the locking device with glazed panels located above the locking device. The top of the upper glazed panels can be semi-circular/half rounded. Beveled glass is encouraged.
 - ii. Panel infill may vary slightly from that noted in subsection (1)f.5.i of this section, but usually shall not exceed six panels. Variations must be approved by the architectural review board.
 - iii. Trim or casing shall be used on all doors and sidelights and shall typically range in width between five inches and eight inches.
 6. *Windows.* Traditionally the windows employed in the Seville Historic District were constructed of wood and were the double hung or triple hung type. The windows opening toward the front porch of the building usually were triple hung with the sill close to or almost flush with the adjacent floors. This allowed for optimum flow of air, and for passage to and from the exterior space. The other windows of the building had the normal placement of the window sill at approximately 30 inches above finished floor. Typical windows ranged in width from 32 to 36 inches and ranged in height from six to seven feet exclusive of trim dimensions. The taller windows, when double hung, frequently had the lower section greater in vertical dimension than the upper section, giving freer movement through to the adjacent porch or veranda.
 - i. Windows are to be fabricated of wood and must, in the judgement of the architectural review board, closely approximate the scale and configuration of the original window designs.
 - ii. The window proportions/dimensions will be decidedly vertical, following the historic appearance and character of those encountered throughout the district.
 - iii. Window sections shall typically be divided into two to six panes, and in the usual double hung window, the layout of window panes will be six over six. All windows shall have true divided lites. Any variation to this division of the window opening shall be approved by the architectural review board.
 - iv. The window frame will be given a paint finish appropriate to the color scheme of the exterior of the building.
 - v. Window trim or casing is to be a nominal five-inch member at the two sides and the head.
 - vi. Other than the full height windows at the front porch and smaller windows at kitchens and bathrooms, all remaining windows shall be proportioned with the height between two and 2½ times the width. The sill height for standard windows shall be approximately 30 inches above finished floor.
 - vii. Glass for use in windows shall typically be clear, but a light tinted glass will be given consideration by the architectural review board.
 7. *Shutters.* Shutters are an exterior ornamental and functional architectural feature that have traditionally been used on windows, and occasionally, on doors within the historic district. On renovation projects to existing contributing structures, it is recommended that shutters not be installed unless they were original to the structure.

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- i. If shutters are to be used on a project, they must be dimensioned to the proper size so that they would completely cover the window both in width and height if they were closed.
 - ii. The shutters must be installed in a manner that will appear identical to an original operable installation. Shutters installed currently are not required to be operational, but rather can be fixed in place; however, they must be installed with some space between the back of the shutter and the exterior wall surface material and must overlap the door or window trim in a fashion identical to an original operable installation.
 - iii. The style of the shutters must be louvered, flat vertical boards or panelled boards, with final determination being based on compatibility with the overall building design.

8. *Chimneys.* Chimneys constructed of brick masonry, exposed or cement plastered, are typical to original construction in the district.

The chimney in the historic district is that necessary element usually serving back-to-back fireplaces, and as such, would not be located on the exterior wall of the building. Consequently, the appropriate location for chimneys would be projecting through some portion of the roof of the building, in lieu of being placed on an exterior wall.

- i. The chimney or chimneys are to be located within the slope of the roof, rather than being placed on an exterior wall, and shall extend above the roof ridge line.
 - ii. The chimney or chimneys are to be constructed of masonry with the exposed surface to be brick or sand textured plaster. Rough texture stucco is prohibited.
 - iii. The finished exposed surface of chimneys are to be left natural without any paint finish.
 - iv. Flashing shall consist of galvanized steel, copper sheet metal or painted aluminum.
 - v. The extent of simplicity or ornamentation shall be commensurate with the overall style and size of the building on which the chimney is constructed.
 - vi. The use in contributing structures of prefabricated fireplaces with steel chimneys is prohibited.
9. *Trim and miscellaneous ornament.* Most trim, except for window and door casings/trim, was used more for decorative than functional purposes. Trim and ornament was almost always constructed of wood, and was painted to match other elements (doors, windows, porches, etc.) of the building. Ornament on masonry buildings was typically limited to corbling or other decorative use of brick at window openings, door openings, columns, parapet walls and on major facades above the windows and doors.
 - i. In renovation work, only that decorative trim or ornament historically significant to the specific building will be permitted.
 - ii. The scale and profile/shape of existing ornament used within the district will dictate approval for all new proposals.
 - iii. Trim and ornament, where used, is to be fabricated of wood.

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- iv. Trim and ornament will be painted to match, or be coordinated with, door and window casings, porch railings, porch columns, and basic projecting elements of the building.

10. *Miscellaneous mechanical equipment.*

- i. Air conditioning condensing units shall not be mounted on any roof where they are visible from any street.
- ii. Air conditioning condensing units that are mounted on the ground shall be in either side yards or rear yards. No equipment shall be installed in a front yard.
- iii. Visual screening consisting of ornamental fencing or landscaping shall be installed around all air conditioning condensing units to conceal them from view from any adjacent street or property owner.
- v. Exhaust fans or other building penetrations as may be required by other authorities shall be allowed to penetrate the wall or the roof but only in locations where they can be concealed from view from any street. No penetrations shall be allowed on the front of the building. They may be allowed on side walls if they are properly screened. It is desirable that any penetrations occur on rear walls or the rear side of roofs.

11. *Accessibility ramps and outdoor stairs.*

- i. Whenever possible, accessibility ramps and outdoor stairways shall be located to the side or the rear of the property.
- ii. The design of accessibility ramps and outdoor stairs shall be consistent with the architectural style of the building.
- iii. Building elements, materials and construction methods shall be consistent with the existing structure.

g. *Renovation, alterations and additions to noncontributing and modern infill structures within the historic district.* Many of the existing structures within the district do not meet the criteria established for contributing structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations and guidelines established in subsection (1)e of this section, relating to streetscape elements, and paint colors described in subsection (1)f.3 of this section shall apply to noncontributing and modern infill structures. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.

h. *New construction in the historic district.* This subsection does not intend to mandate construction of new buildings of historical design. New construction shall complement original historic buildings or shall be built in a manner that is complementary to the overall character of the district in scale, building materials, and colors.

For purposes of describing the scale and character required in new construction within the historic district, the district is herein subdivided into two general building style districts as shown on Map 12-3.1: the "residential" wood cottages district and the "commercial" brick structures district. Within the wood cottages district all new construction shall conform to the building types I and II (described herein) in scale, building materials and colors. Within the brick structures district all new construction shall conform to the building types I, II, or III (described herein) in scale, building materials and colors. The regulations for the two building style districts will

establish building heights and setbacks and will illustrate relationships between the streetscape, the building and exterior architectural elements of the building. The streetscape element regulations established in subsection (1)e of this section are applicable to all new construction in the historic district, no matter what style building. If new construction is intended to match historical designs, then the building elements described in subsection (1)f.1 through 12 of this section should be utilized as guidelines. If it is to be a replica of a historic building, the building must be of a historic style characteristic of the Pensacola historic district.

1. Figure 12-3.1 illustrates the scale and characteristics of building types I and II for the wood cottages district.
2. Figure 12-3.2 illustrates the scale and characteristics of building type III for the brick structures district.
3. Aragon subdivision Block "L" & "N" and lots within Privateer's Alley shall conform to section 12-3-12(2)e.10, GRD-1 Architectural Review Standards, with the exception of section 12-3-12(2)e.10.v, Doors. Exterior doors shall comply with subsection (1)f.5 of this section.

**MAP 12-3-1-HISTORIC BUILDING
STYLE DISTRICTS**

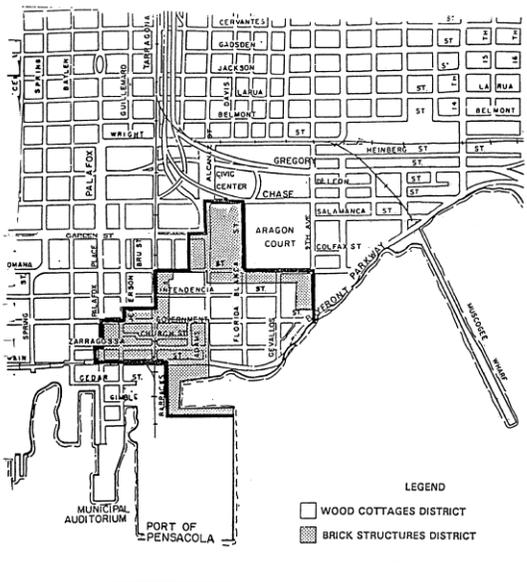
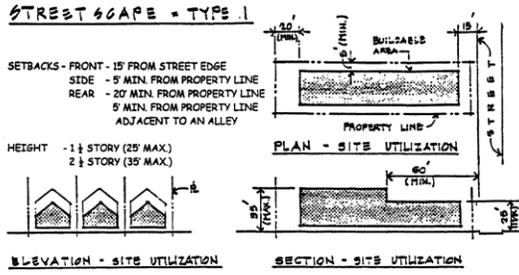


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETScape, TYPE 1



ITEM	DIMENSION	MATERIAL	REMARKS
A - WALK	6'-0"	1/2" SQ. CONC	SAVER UNITS
B - YARD	9'-0"	GRASS	LANDSCAPING
C - PORCH	8'-0"	1x WOOD	TONGUE & GROOVE
D - FOUNDATION	2'-5"	BRICK PIERS	WOOD LATTICE IN FILL
E - RAIL	2'-5"	WOOD	
F - COLUMNS	4'-0"	WOOD	
G - ROOF RIDGE	10'-5"	WOOD	
H - ROOF RIDGE	10'-0"	WOOD	

* SEE CHAPTER 3 & 4 FOR BUILDING ELEMENTS DESCRIPTION.

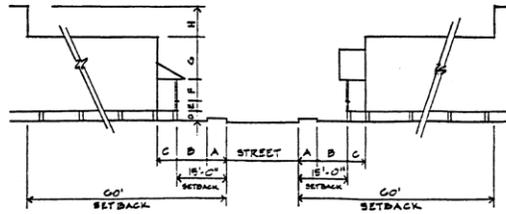


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 1

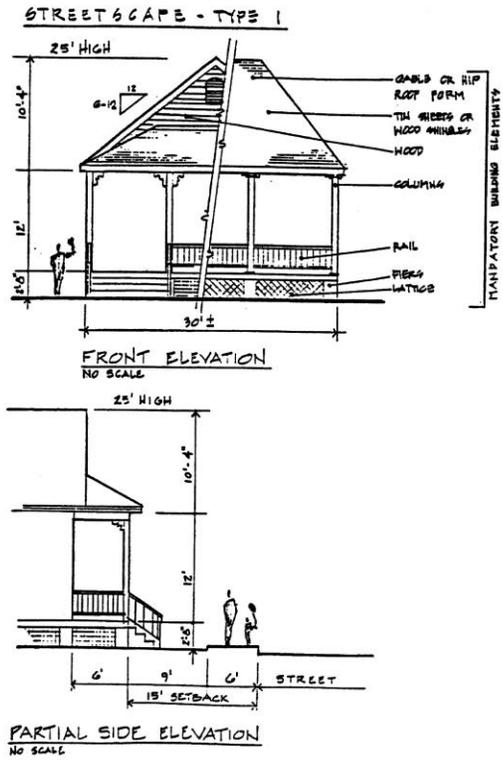
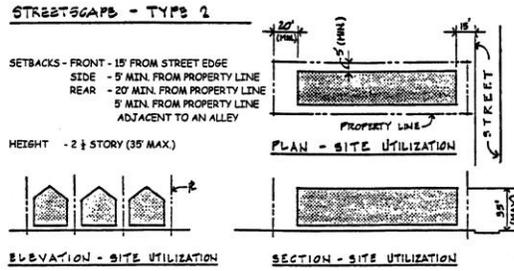


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 2



ITEM #	DIMENSION	MATERIAL	REMARKS
A - WALK	4'-0"	12" SQ. CONC.	PAVER UNITS
B - YARD	11'-0"	GRASS	LANDSCAPING
C - PORCH	8'-0"	1 X WOOD	TONGUE & GROOVE
D - FOUNDATION	1'-4"	BRICK PIERS	
E - RAIL	2'-6"	WOOD	
F - COLUMNS	8'-0"	WOOD	
G - PORCH	1'-0"	WOOD	
H - RAIL	2'-6"	WOOD	
I - COLUMNS	6'-0"	WOOD	
J - ROOF ROSS	10'-0"	WOOD	

SEE CHAPTER 3 & 4 FOR HISTORICAL BUILDING ELEMENT DESCRIPTIONS.

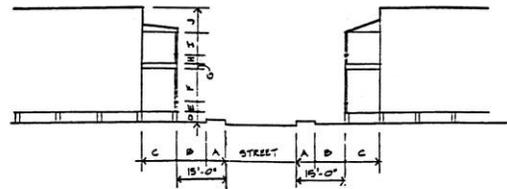


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 2

STREETScape - TYPE 2

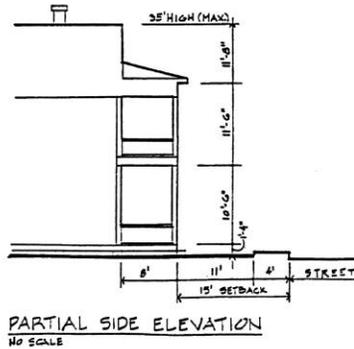
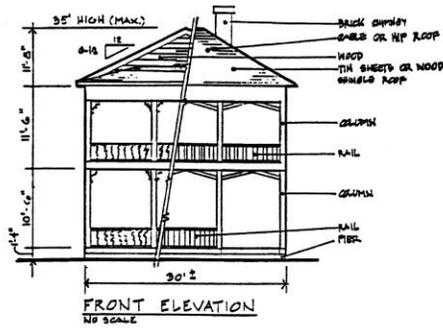
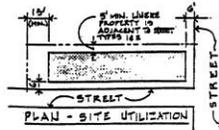


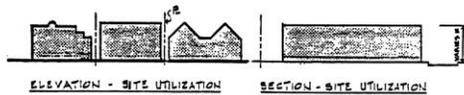
FIGURE 12-3.2. BRICK STRUCTURES DISTRICT-STREETScape, TYPE 3

STREETScape - TYPE 3

- SETBACKS - FRONT - 6' FROM STREET EDGE
- SIDE - 5' MIN. FROM PROPERTY LINE
0' MIN. FROM PROPERTY LINE
FOR LOTS WITHIN ARAGON
S/D PRIVATEER'S ALLEY
- REAR - 15' MIN. FROM PROPERTY LINE
5' MIN. FROM PROPERTY LINE
ADJACENT TO AN ALLEY OR
WITHIN ARAGON S/D PRIVATEER'S
ALLEY



*HEIGHT - BUILDING HEIGHT SHALL BE LIMITED TO THE ADJACENT LOT'S STREETScape TYPE.



ITEM	DIMENSION	MATERIAL	REMARKS
A - WALK	6'-0"	12" SQ. CONC. BRICK	PAVER UNITS
B - ROOF RIDGE OR PARAPET			SEE HEIGHT LIMIT, ABOVE

ARAGON S/D BLK. "L" & "N" AND LOTS WITHIN PRIVATEER'S ALLEY SHALL CONFORM TO SECTION 12-2-12(B)(9)(J), ORD-1 ARCHITECTURAL REVIEW STANDARDS WITH THE EXCEPTION OF SEC. 12-2-12(B)(9)(J). DOORS, EXTERIOR DOORS SHALL COMPLY WITH 12-2-10(A)(6)(e) OF THIS SECTION.

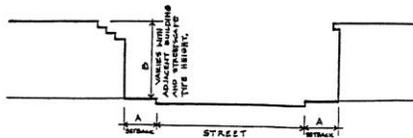
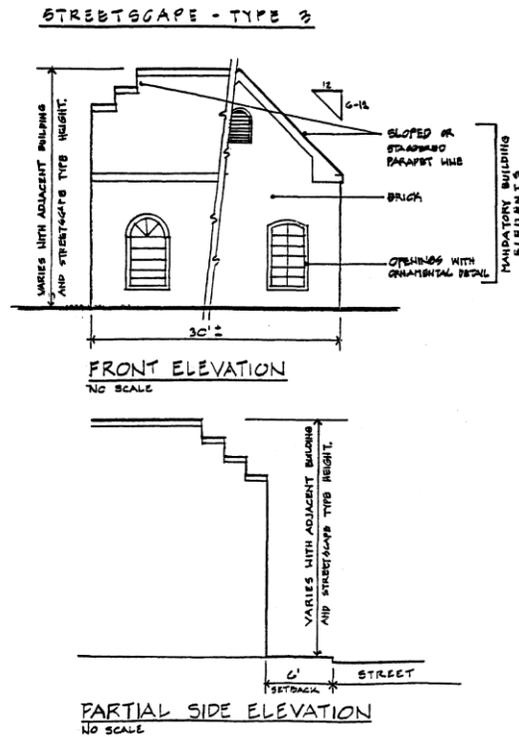


FIGURE 12-3.2. BRICK STRUCTURES DISTRICT-STREETSCAPE, TYPE 3



- i. *Demolition of contributing structures.* Demolition of a contributing structure constitutes an irreplaceable loss to the quality and character of the historic district and is strongly discouraged. Therefore, no permit shall be issued for demolition of a contributing structure unless the owner demonstrates to the board clear and convincing evidence of unreasonable hardship. Provided, however, nothing herein shall prohibit the demolition of a contributing structure if the building official determines that there is no reasonable alternative to demolition in order to bring the structure in compliance with the unsafe building code. When the owner fails to prove unreasonable economic hardship the applicant may provide to the board additional information that may show unusual and compelling circumstances in order to receive board recommendation for demolition of the contributing structure.

The board shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular structure against the special merit of the proposed replacement project.

- 1. *Unreasonable economic hardship.* When a claim of unreasonable economic hardship is made, the public benefits obtained from retaining the historic resource must be analyzed and duly considered by the board. The owner shall submit to the board for its recommendation the following information:
 - i. *For all property:*
 - (a) The assessed value of the land and improvements thereon according to the two most recent assessments;
 - (b) Real estate taxes for the previous two years;

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- (c) The date of purchase of the property or other means of acquisition of title, such as by gift or inheritance, and the party from whom purchased or otherwise acquired;
 - (d) Annual debt service, if any, for the previous two years;
 - (e) All appraisals obtained within the previous two years by the owner or applicant in connection with his or her purchase, financing or ownership of the property;
 - (f) Any listing of the property for sale or rent, price asked and offers received, if any;
 - (g) Any consideration by the owner as to profitable adaptive uses for the property;
 - (h) Replacement construction plans for the contributing structure in question;
 - (i) Financial proof of the ability to complete the replacement project which may include, but not be limited to, a performance bond, a letter of credit, a trust for completion of improvements, or a letter of commitment from a financial institution; and
 - (j) The current fair market value of the property, as determined by at least two independent appraisals made by appraisers with competent credentials.
- ii. *For income-producing property:*
- (a) Annual gross income from the property for the previous two years;
 - (b) Itemized operating and maintenance expenses for the previous two years, including proof that adequate and competent management procedures were followed;
 - (c) Annual cash flow, if any, for the previous two years; and
 - (d) Proof that efforts have been made by the owner to obtain a reasonable return on his or her investment based on previous service.

The applicant shall submit all necessary materials to the board at least 15 days prior to the board hearing in order that staff may review and comment and/or consult on the case. Staff and/or professional comments shall be forwarded to the board for consideration and review and made available to the applicant for consideration prior to the hearing.

The board may require that an applicant furnish such additional information that is relevant to its determination of unreasonable economic hardship and may require that such additional information be furnished under seal. The board or its agent may also furnish additional information as the board believes is relevant. The board shall also state which form of financial proof it deems relevant and necessary to a particular case.

In the event that any of the required information is not reasonably available to the applicant and cannot be obtained by the applicant, the applicant shall file with his or her affidavit a statement of the information that cannot be obtained and shall describe the reasons why such information cannot be obtained.

2. *Unusual and compelling circumstances and demolition of a contributing structure.* When an applicant fails to prove economic hardship in the case of a contributing structure, the

applicant may provide to the board additional information that may show unusual and compelling circumstances in order to receive board recommendation for demolition of the contributing structure. The board, using criteria set forth in this subsection, shall determine whether unusual and compelling circumstances exist and shall be guided in its recommendation in such instances by the following additional considerations:

- i. The historic or architectural significance of the structure;
- ii. The importance of the structure to the integrity of the historic district;
- iii. The difficulty or the impossibility of reproducing such a structure because of its design, texture, material, detail, or unique location;
- iv. Whether the structure is one of the last remaining examples of its kind in the historic district;
- v. Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans will have on the architectural, cultural, historical, archaeological, social, aesthetic, or environmental character of the surrounding area, as well as the economic impact of the new development; and
- vi. Whether reasonable measures can be taken to save the structure from further deterioration, collapse, arson, vandalism or neglect.

3. *Recommendation of demolition.*

- i. Should the applicant for demolition of a contributing structure satisfy the board that he or she will suffer an economic hardship if a demolition permit is not recommended, or, if in failing to demonstrate economic hardship, the applicant demonstrates unusual and compelling circumstances that dictate demolition of the contributing structure, either a recommendation for demolition or a recommendation for a six-month moratorium on the demolition shall be made.
- ii. In the event that the board recommends a six-month moratorium on the demolition, within the moratorium period, the board shall consult with the Historic Pensacola Preservation Board, the city and any other applicable public or private agencies to ascertain whether any of these agencies or corporations can preserve or cause to be preserved such architectural or historically valuable buildings. If no agencies or organizations are prepared to preserve the buildings or cause their preservation, then the board shall recommend approval of the demolition.
- iii. Following recommendation for approval of demolition, the applicant must seek approval of replacement plans prior to receiving a demolition permit and other building permits. Replacement plans for this purpose shall include, but shall not be restricted to, project concept, preliminary elevations and site plans, and adequate working drawings for at least the foundation plan that will enable the applicant to receive a permit for foundation construction. The board may waive the requirements for replacement plans under extreme, unusual and compelling circumstances or public safety purposes.
- iv. Applicants that have received a recommendation for demolition shall be permitted to receive such demolition permit without additional board action on demolition, following the board's recommendation of a permit for new construction.

4. *Prevention of demolition by neglect.*

- i. All contributing structures within the historic district shall be preserved against decay and deterioration and kept free from certain structural defects by the owner thereof or such other person who may have legal custody and control thereof. The owner or other person having such legal custody and control shall repair such building, object, site, or structure if it is found to have any of the following defects:
 - (a) Deteriorated or inadequate foundation. Defective or deteriorated flooring or floor supports or flooring or floor supports of insufficient size to carry imposed loads with safety;
 - (b) Members of walls, partitions or other vertical supports that split, lean, list or buckle due to defective material or deterioration. Members of walls, partitions or other vertical supports that are of insufficient size to carry imposed loads with safety;
 - (c) Members of ceilings, roofs, ceiling and roof supports or other horizontal members that sag, split, or buckle due to defective materials or deterioration. Members of ceilings, roofs, ceiling and roof supports or other horizontal members that are of insufficient size to carry imposed loads with safety;
 - (d) Fireplaces or chimneys that list, bulge or settle due to defective materials or deterioration. Fireplaces or chimneys that are of insufficient size or strength to carry imposed loads with safety;
 - (e) Deteriorated or ineffective waterproofing of exterior walls, roofs, foundations or floors, including broken windows or doors. Defective protection or lack of weather protection for exterior wall coverings, including lack of paint, or weathering due to lack of paint or other protective covering. Any fault or defect in the building that renders same structurally unsafe or not properly watertight.

In addition, the owner or other person having legal custody and control of a historic landmark or a building, object, site, or structure located in a historic district shall keep all property, including vacant property, clear of all weeds, fallen trees or limbs, debris, abandoned vehicles, and all other refuse.

- ii. The board, on its own initiative, may file a petition with the building official requesting that he or she proceed to require correction of defects or repairs to any structure covered by subsection (1)i.4.i of this section so that such structure shall be preserved and protected in accordance with the purposes of this section and the public safety and housing ordinance.

j. *Other demolition permits.*

1. All applications for permits to demolish structures other than contributing structures shall be referred to the board for the purpose of determining whether or not the structure may have historical, cultural, architectural, or archaeological significance. Such determination shall be made in accordance with the criteria found in subsections (1)i.2.i through vi of this section.
2. The board shall make such determination within 30 days after receipt of the completed application and shall notify the building official in writing. If the structure is determined to

have no cultural, historical, architectural, or archaeological significance, a demolition permit may be issued immediately, provided such application otherwise complies with the provisions of all city code requirements.

3. If said structure is determined by the board to have historical significance, the board shall make such information available to the preservation board for review and recommendation as to significance. If the board concurs in the significance, using criteria set forth in subsections (1)i.2.i through vi of this section, the board shall recommend to the city council that the structure be designated a contributing structure.
 4. Upon such a recommendation by the board, issuance of any permit shall be governed by subsection (1)i.3 of this section.
- k. *Treatment of site following demolition.* Following the demolition or removal of any buildings, objects or structures located in the historic district, the owner or other person having legal custody and control thereof shall:
1. Remove all traces of previous construction, including foundation;
 2. Grade, level, sod and/or seed the lot to prevent erosion and improve drainage; and
 3. Repair at his or her own expense any damage to public rights-of-way, including sidewalks, curb and streets, that may have occurred in the course of removing the building, object, or structure and its appurtenances.

(2) *North Hill preservation zoning districts: PR-1AAA, PR-2, PC-1.*

- a. *Purpose.* The North Hill preservation zoning districts are established to preserve the unique architecture and landscape character of the North Hill area, and to promote orderly redevelopment that complements and enhances the architecture of this area of the city.
- b. *Character of the district.* The North Hill preservation district is characterized by mostly residential structures built between 1870 and the 1930s. Queen Anne, Neoclassical, Tudor Revival, Craftsman Bungalow, Art Moderne and Mediterranean Revival are among the architectural styles found in North Hill. North Hill is listed on the National Register of Historic Places.
- c. *Uses permitted.*
 1. *PR-1AAA, single-family district.*
 - i. Single-family dwellings at a maximum density of 4.8 units per acre.
 - ii. Home occupations, as regulated in section 12-3-57.
 - iii. Community residential homes licensed by the state department of health and rehabilitative services with six or fewer residents providing that it is not to be located within 1,000 feet of another such home. If it is proposed to be within 1,000 feet of another such home, measured from property line to property line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
 - iv. Municipally owned or operated parks or playgrounds.
 - v. Public schools and educational institutions having a curriculum the same as ordinarily given in public schools and colleges.
 - vi. Libraries, community centers and buildings used exclusively by the federal, state, regional, county and city government for public purposes.
 - vii. Churches, Sunday school buildings and parish houses.

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- viii. Conditional uses permitted: two-family dwellings (duplex) at a maximum density of 9.6 units per acre.
 - ix. Accessory buildings and uses customarily incidental to the above uses not involving the conduct of a business.
 - x. Family day care homes licensed by the state department of children and family services as defined in state statutes.
2. *PR-2, multiple-family district.*
- i. Any use permitted in the PR-1AAA district.
 - ii. Single-family, two-family and multifamily residential attached or detached units with a maximum density of 35 dwelling units per acre.
 - iii. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district and/or within 500 feet of a single-family zoning district it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
 - iv. Bed and breakfast subject to regulations in section 12-3-84.
 - v. Conditional uses permitted:
 - (a) Private clubs and lodges except those operated primarily as commercial enterprises.
 - (b) Office buildings (under 5,000 square feet).
 - (c) Antique shops—No outside displays.
 - (d) Art galleries—No outside displays.
 - (e) Social services homes/centers.
 - (f) Boarding and lodging houses.
 - (g) Child care facilities subject to regulations in section 12-3-87.
 - vi. Accessory buildings. Buildings and uses customarily incidental to any of the above uses, including storage garages when located on the same lot not involving the conduct of a business.
3. *PC-1, preservation commercial district.*
- i. Any use permitted in the PR-2 district, including conditional uses.
 - ii. Hand craft shops for custom work or making custom items not involving unreasonable noise, odor or chemical waste.
 - iii. Office buildings (under 7,000 square feet).
 - iv. Barbershops and beauty parlors.
 - v. Florists.
 - vi. Studios.

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- vii. Vending machines when an accessory to a business establishment and located inside the same building as the business.
 - viii. Conditional uses permitted:
 - (a) Gas stations.
 - (b) Other retail shops.
 - (c) Office buildings (over 7,000 square feet).
 - (d) Restaurants, with the exception of drive-in restaurants.
 - ix. Accessory buildings and uses customarily incidental to the above uses.
- d. *Procedure for review.*
1. *Review and approval.* All activities regulated by this subsection shall be subject to review and approval by the architectural review board as established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for paint colors, minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review without the necessity for review by the entire board; provided, however, such abbreviated review process shall require review by the staff of the Historic Pensacola Preservation Board. If agreement cannot be reached as it pertains to such request for abbreviated review by the board designee and Historic Pensacola Preservation Board staff, then the matter will be referred to the entire board for a decision.
 2. *Decisions.*
 - i. General consideration. The board shall consider plans for existing buildings based on its classification as contributing, non-contributing or modern infill as depicted on the map entitled "North Hill Preservation District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In its review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials, textures and colors; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods, paint colors or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
 - ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:

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- (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
 - (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials and colors.
 - iii. No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by the Historic Pensacola Preservation Board) in its original style, dimensions or position on its original structural foundation.
3. *Plan submission.* Every application for a building permit to erect, construct, demolish, renovate or alter an exterior of a building, sign or exterior site work (i.e., paving and landscaping), located or to be located in the North Hill preservation district, shall be accompanied with plans for the proposed work pursuant to subsections (1)d.3 through 5 of this section, applicable to the historic district.
- e. *Regulations and guidelines for any development within the preservation district.* These regulations and guidelines are intended to address the design and construction of elements common to any development within the North Hill preservation district which requires review and approval by the architectural review board. Regulations and guidelines that relate specifically to new construction and/or structural rehabilitation and repair to existing buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in subsections (2)f through h of this section.
- 1. *Off-street parking.* All development within the North Hill preservation district shall comply with the regulations established in chapter 12-4. Parking lots shall comply with the requirements of chapter 12-6. Design of and paving materials for parking lots, spaces and driveways shall be subject to approval of the architectural review board. For all parking lots, a solid wall, fence or compact hedge not less than four feet high shall be erected along the lot lines when autos or lots are visible from the street or from an adjacent residential lot.
 - 2. *Signs.* Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. The location, design and materials of all accessory signs, historical markers and other signs of general public interest shall be subject to the review and approval of the architectural review board. Only the following signs shall be permitted in the North Hill preservation district:
 - i. *Temporary accessory signs.*
 - (a) One non-illuminated sign advertising the sale, lease or rental of the lot or building, said sign not exceeding six square feet of area.
 - (b) One non-illuminated sign not more than 50 square feet in area in connection with new construction work, and displayed only during such time as the actual construction work is in progress.
 - ii. *Permanent accessory signs.*

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- (a) One sign per street frontage for churches, schools, boarding and lodging houses, libraries, and community centers, multiple-family dwellings and historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area. The signs shall be placed flat against the wall of the building, perpendicular or may be freestanding. Such signs may be illuminated provided that the source of light shall not be visible beyond the property line of the lot on which the sign is located.
 - (b) Commercial establishments may have one attached or one freestanding sign per street frontage not to exceed 12 square feet provided that the freestanding sign be no closer to any property line than five feet. The attached or wall signs may be placed on the front or one side of the building. As used herein, "commercial establishments" shall mean an establishment wherein products are available for purchase. Such signs may be illuminated provided the source of light shall not be visible beyond the property line of the lot on which the sign is located. Office complexes may have one freestanding sign per street frontage not to exceed 12 square feet.
 - (c) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than 100 square inches and may be attached to the dwelling. This section shall be applicable to occupants and home occupations.
 - (d) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the mayor and board.
 - (e) The maximum height for freestanding signs shall be eight feet. No attached sign shall extend above the eave line of a building to which it is attached.
3. *Protection of trees.* The purpose of this subsection is to establish protective regulations for specified trees within the North Hill preservation zoning districts. It is the intent of this subsection to recognize the contribution of shade trees and certain flowering trees to the overall character of the preservation district and to ensure the preservation of such trees as described below.
- i. Any of the following species having a minimum trunk diameter of eight inches (25.1 inches in circumference) at a height of one foot above grade: Live Oak and Water Oak; Magnolia having a minimum trunk diameter of six inches (18.8 inches in circumference) at a height of one foot above grade; and any of the following flowering trees with a minimum trunk diameter of four inches (12.55 inches in circumference) at a height of one foot above grade: Redbud, Dogwood, and Crape Myrtle.
 - ii. Tree removal. No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, or effectively destroy through damaging, any specimen tree, whether it be on private property or right-of-way within the defined limits of the preservation district of the city, without first having obtained a permit from the city to do so. Refer to section 12-6-7 for application procedures and guidelines for a tree removal permit.
 - iii. In addition to the specific tree preservation provisions outlined in this subsection, the provisions of chapter 12-6 shall be applicable in this district.

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4. *Fences.* All developments in the North Hill preservation zoning districts shall comply with fence regulations as established in section 12-3-63. Fences are subject to approval by the architectural review board. Approved materials will include but not necessarily be limited to wood, brick, stone or wrought iron. No concrete block or barbed wire will be permitted. Chain-link fences shall be permitted in side and rear yard only with board approval.
 5. *Paint colors.* The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the Preservation District. Samples of these palettes can be reviewed at the Historic Pensacola Preservation Board and at the office of the building inspector.
 6. *Residential accessory structures.* Residential accessory structures shall comply with regulations set forth in section 12-3-55 except that the following shall apply: Accessory structures shall not exceed one story in height for a maximum in height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
 7. *Additional regulations.* In addition to the regulations established above in subsections (2)e.1 through 6 of this section, any permitted use within the North Hill preservation district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.
- f. *Restoration, rehabilitation, alterations or additions to existing contributing structures in the North Hill preservation district.*
1. The document entitled "Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings," published by the United States Department of the Interior in 1983, shall form the basis for rehabilitation of existing contributing buildings. The proper building elements should be used in combinations that are appropriate for use together on the same building.
 2. Documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances.
 3. Regulations established in Table 12-3.9 shall apply to alterations and additions to contributing structures. The regulations and guidelines established in subsection (2)e of this section, relating to streetscape elements, shall apply to contributing structures.
- g. *Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.*
1. Many of the existing structures within the district do not meet the criteria established for "contributing" structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations and guidelines established in subsection (2)e of this section, relating to streetscape elements, shall apply to noncontributing and modern infill structures. Regulations established in Table 12-3.9 below, shall apply to alterations and additions to existing noncontributing structures. The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the district. Only paint colors approved by the board shall be permitted.

2. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.
- h. *Regulations for new construction and additions to existing structures in the North Hill preservation district.* New construction is encouraged to be built in a manner that is complementary to the overall character of the district in scale, building materials and colors. The regulations established in subsection (2)e of this section, relating to streetscape elements, shall apply to new construction. Table 12-3.9 describes height, area and yard requirements for new construction and, where applicable, for additions to existing structures in the North Hill preservation district.

TABLE 12-3.9. REGULATIONS FOR THE NORTH HILL PRESERVATION ZONING DISTRICTS

Standards	PR-1AAA	PR-2	PC-1
Minimum Yard Requirement (Minimum Building Setbacks) Front Yard Side Yard Rear Yard>	*30 feet 9 feet 25 feet	*15 feet 7.5 feet 25 feet	None 5 feet (for dwellings or wood frame structures only) 15 feet
Minimum Lot Area for Residential Uses	9,000 s.f.	5,000 9,000 s.f. for single-family and 10,000 s.f. for multifamily	None
Minimum Lot Width at Street Row Line	50 feet	50 feet	None
Minimum Lot Width at Building Setback Line	75 feet	<u>50</u> 75 feet	None
Maximum Building Height (Except as Provided in Section 12-3-62)	35 feet	35 feet	45 feet
Minimum Floor Area	N/A	600 s.f. per dwelling unit for multifamily	None
*Front yard depths in the North Hill Preservation zoning district shall not be less than the average depths of the front yards located on the block, up to the minimum yard requirement; in case there are no other dwellings, the front yard depths shall be no less than the footages noted.			

- i. *Demolition of structures within the North Hill preservation district.* The demolition provisions established in subsections (1)i through k of this section, applicable to contributing and noncontributing structures within the historic district, shall apply in the preservation district.
- (3) *Old East Hill preservation zoning districts: OEHR-2, OEHC-1, OEHC-2 and OEHC-3.*

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- a. *Purpose.* The Old East Hill preservation zoning districts are established to preserve the existing residential and commercial development pattern and distinctive architectural character of the structures within the district. The regulations are intended to preserve, through the restoration of existing buildings and construction of compatible new buildings, the scale of the existing structures and the diversity of original architectural styles.
 - b. *Character of the district.* The Old East Hill neighborhood was developed over a 50-year period, from 1870 to the 1920's. The architecture of the district is primarily vernacular, but there are also a few properties that display influences of the major architectural styles of the time, such as Craftsman, Mission and Queen Anne styles.
 - c. *Boundaries and zoning classifications.* The boundaries of the Old East Hill preservation district shall be identified as per a map and legal description, and the zoning classifications of properties within the district shall be identified as per a map, filed in the office of the city clerk.
 - d. *Uses permitted.*
 1. *OEHR-2, residential/office district.*
 - i. Single-family detached dwellings.
 - ii. Single-family attached (townhouse or quadraplex type construction) and detached zero-lot-line dwellings. Development must comply with the minimum standards established for the R-ZL zoning district in section 12-3-5(1).
 - iii. Two-family attached dwellings (duplex).
 - iv. Multiple-family attached dwellings (three or more dwelling units).
 - v. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district and/or within 500 feet of a single-family zoning district it shall be permitted with city council approval after public notification of property owners in a 500-foot radius
 - vi. Home occupations subject to regulations in subsection (1)c.1.iv of this section.
 - vii. Bed and breakfast subject to regulations in section 12-3-84.
 - viii. Boarding and lodging houses.
 - ix. Office buildings.
 - x. Studios.
 - xi. Municipally owned or operated parks or playgrounds.
 - xii. Public schools and educational institutions having a curriculum the same as ordinarily given in public schools and colleges subject to regulations in section 12-3-94.
 - xiii. Libraries, community centers and buildings used exclusively by the federal, state, regional, county and city government for public purposes subject to regulations in section 12-3-90.
 - xiv. Churches, Sunday school buildings and parish houses subject to regulations in section 12-3-86.

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- xv. Minor structures for the following utilities: unoccupied gas, water and sewer substations or pumpstations, electrical substations and telephone substations subject to regulations in section 12-3-88.
 - xvi. Accessory structures, buildings and uses customarily incidental to the above uses subject to regulations in section 12-3-55, except that the following shall apply:
 - (a) Accessory structures shall not exceed one-story in height for a maximum height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
 - (b) The wall of an accessory structure shall not be located any closer than six feet to the wall of the main residential structure.
 - xvii. Family day care homes licensed by the state department of children and family services as defined in state statutes.

2. *OEHC-1, neighborhood commercial district.*

- i. Any use permitted in the OEHR-2 district.
- ii. Child care facilities subject to regulations in section 12-3-87.
- iii. Nursing homes, rest homes, convalescent homes.
- iv. Parking lots.
- v. The following uses, retail only, with no outside storage or work permitted, except as provided herein:
 - (a) Food and drugstore.
 - (b) Personal service shops.
 - (c) Clothing and fabric stores.
 - (d) Home furnishing, hardware and appliance stores.
 - (e) Craft and specialty shops.
 - (f) Banks.
 - (g) Bakeries.
 - (h) Secondhand stores.
 - (i) Floral shops.
 - (j) Martial arts studios.
 - (k) Outdoor sales of trees, shrubs, plants and related landscaping materials as an accessory to indoor retail sales uses permitted by this section, provided that the area is enclosed within a fence attached to the rear or side of the main building, and provided that the outdoor area does not exceed 20 percent of the total area of the main building.
 - (l) Restaurants.
 - (m) Mortuary and funeral parlors.
 - (n) Pet shops with all uses inside the principal building.

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- (o) Printing firms.
 - (p) Business schools.
 - (q) Upholstery shops.
 - vi. Conditional uses permitted: animal hospitals, veterinary clinics and pet resorts with fully enclosed kennels and no outside runs. Outside exercise areas permitted only if supervised and limited to five or fewer animals.
 - 3. *OEHC-2, retail commercial district.*
 - i. Any use permitted in the OEHC-1 district.
 - ii. Open air sales of trees, plants and shrubs. The business shall include a permanent sales or office building (including restrooms) on the site.
 - iii. Hospitals, clinics.
 - iv. Private clubs and lodges, except those operated as commercial enterprises.
 - v. Electric motor repair and rebuilding.
 - vi. Appliance repair shop.
 - vii. Garages for the repair and overhauling of automobiles.
 - viii. Sign shop.
 - ix. Photo shop.
 - x. Plumbing and electrical shop.
 - xi. Pest extermination services.
 - 4. *OEHC-3, commercial district.*
 - i. Any use permitted in the OEHC-2 district.
 - ii. Dive shop.
 - iii. Fitness center.
 - iv. Theater, except for drive-in.
 - v. Taverns, lounges, nightclubs, cocktail bars.
 - e. *Procedure for review of plans.*
 - 1. *Plan submission.* Every application for a building permit to erect, construct, demolish, renovate or alter an exterior of a building or sign, located or to be located in the Old East Hill preservation district, shall be accompanied with plans as necessary to describe the scope of the proposed work pursuant to subsections (1)d.3 through 5 of this section.
 - 2. *Review and approval.* All such plans shall be subject to review and approval by the architectural review board established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review by the entire board; provided, however, such abbreviated review process shall require review by the staff of West Florida Historic Preservation, Inc. If agreement cannot be reached as it pertains to such request for abbreviated review by the board designee and West Florida Historic Preservation, Inc. staff, then the matter will be referred to the entire board for a decision.

3. *Decisions.*

- i. General consideration. The board shall consider plans for existing buildings based on its classification as contributing, non-contributing or modern infill as depicted on the map entitled "Old East Hill Preservation District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In its review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials and textures; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
 - ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:
 - (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
 - (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style and materials.
 - iii. No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by West Florida Historic Preservation, Inc.) in its original style, dimensions or position on its original structural foundation.
 - iv. No provision of this section shall be interpreted to require a property owner to make modifications, repairs or improvements to property when the owner does not otherwise intend to make any modifications, repairs or improvements to the property, unless required elsewhere in this Code.
- f. *Regulations and guidelines for any development within the Old East Hill preservation district.* These regulations and guidelines are intended to address the design and construction of elements common to any development within the Old East Hill preservation district which requires review and approval by the architectural review board. Regulations and guidelines that relate specifically to new construction and/or structural rehabilitation and repair to existing

buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in subsections (3)f through h of this section.

1. *Off-street parking.* Design of, and paving materials for, parking lots, spaces and driveways shall be subject to approval of the architectural review board. For all parking lots, a solid wall, fence or compact hedge not less than three feet high shall be erected along the lot lines when automobiles or parking lots are visible from the street or from an adjacent residential lot.
 - i. OEHR-2 district. All nonresidential development shall comply with off-street parking requirements established in chapter 12-4.
 - ii. OEHC-1, OEHC-2 and OEHC-3 districts. All nonresidential development shall comply with off-street parking requirements established in chapter 12-4. The required parking may be provided off-site by the owner/developer as specified in section 12-4-1(4).
2. *Landscaping.* Landscape area requirements and landscape requirements for parking lots within the OEHR-2, OEHC-1 and OEHC-2 districts shall comply with regulations established in section 12-6-3 for the R-2, C-1 and C-2 zoning districts.
3. *Signs.* Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. The location, design and materials of all accessory signs, historical markers and other signs of general public interest shall be subject to the review and approval of the architectural review board. Only the following signs shall be permitted in the Old East Hill preservation district:
 - i. *Temporary accessory signs.*
 - (a) One non-illuminated sign advertising the sale, lease or rental of the lot or building, said sign not exceeding six square feet of area.
 - (b) One non-illuminated sign not more than 50 square feet in area in connection with new construction work, and displayed only during such time as the actual construction work is in progress.
 - ii. *Permanent accessory signs.*
 - (a) North 9th Avenue, Wright Street, Alcaniz Street and Davis Street. For churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including office and retail buildings) or historic sites serving as identification and/or bulletin boards, one freestanding or projecting sign and one attached wall sign or combination of wall signs placed on the front or one side of the building not to exceed 50 square feet in area. The signs may be painted on the building, mounted to the face of the wall of the building, hung from a bracket that is mounted to a wall of a building, hung from other ornamental elements on the building, or may be freestanding. Signs projecting from a building or extending over public property shall maintain a clear height of nine feet, six inches above the public property and shall not exceed a height of 12 feet. Freestanding signs shall not exceed a height of 12 feet.
 - (b) All other streets in the district. One sign per lot per street frontage for churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including office and

retail buildings) or historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area and eight feet in height; provided, however, that signs projecting from a building or extending over public property shall maintain a clear height of nine feet six inches above the public property and shall not exceed a height of 12 feet six inches. The sign may be mounted to the face of the wall of the building, hung from a bracket that is mounted to a wall of a building, hung from other ornamental elements on the building, or may be freestanding. The sign may be illuminated provided that the source of light is not visible beyond the property line of the lot on which the sign is located.

- (c) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than three square feet and shall be attached to the dwelling. This section shall be applicable to occupants and home occupations.
- (d) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the board.

- 4. *Fences.* All developments in the Old East Hill preservation zoning districts shall comply with fence regulations as established in section 12-3-63. Fences are subject to approval by the architectural review board. Approved materials will include but not necessarily be limited to wood, brick, stone or wrought iron. No concrete block or barbed wire fences will be permitted. Chain-link fences shall be permitted in side and rear yard only.
- 5. *Additional regulations.* In addition to the regulations established above in subsections (1)f.1 through 4 of this section, any permitted use within the Old East Hill preservation district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.

g. *Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.*

- 1. The Secretary of the Interior's standards for rehabilitation, codified at 37 CFR 67, and the related guidelines for rehabilitating historic buildings shall form the basis for rehabilitation of existing contributing buildings. The proper building elements should be used in combinations that are appropriate for use together on the same building. Documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances.
- 2. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to contributing structures. Regulations established in Table 12-3.10 shall apply to alterations and additions to contributing structures.

h. *Renovation, alterations and additions to non-contributing and modern infill structures within the Old East Hill preservation district.*

- 1. Many of the existing structures within the district do not meet the criteria established for contributing structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to non-contributing and modern infill structures. Regulations established in Table 12-3.10 shall apply to alterations and additions to existing non-contributing structures.

2. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.
 - i. *Regulations for new construction in the Old East Hill preservation district.* New construction shall be built in a manner that is complementary to the overall character of the district in height, proportion, shape, scale, style and building materials. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to new construction. Table 12-3.10 describes height, area and yard requirements for new construction in the Old East Hill preservation district.
 - j. *Demolition of structures within the Old East Hill preservation district.* The demolition provisions established in subsections (1)i through k of this section, applicable to contributing and non-contributing structures within the historic district, shall apply in the preservation district.

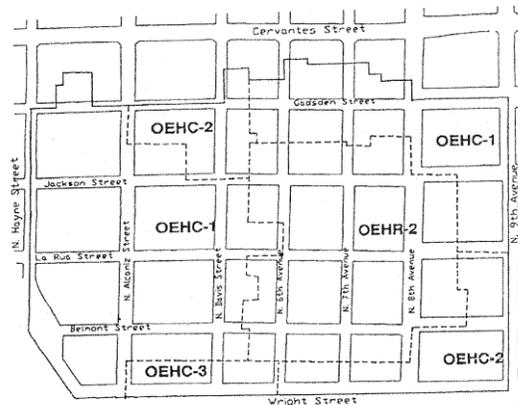
TABLE 12-3.10. REGULATIONS FOR OLD EAST HILL PRESERVATION ZONING DISTRICTS

Standards	OEHR-2	OEHC-1	OEHC-2	OEHC-3
Minimum Yard Requirement (Minimum Building Setbacks) Front Yard Side Yard Rear Side	*15 feet 5 feet 15 feet	There shall be a 5-foot side yard setback, but no front or rear yard setbacks, unless this chapter requires a larger yard or buffer yard.		None
Minimum Lot Area For Residential Uses				
Single-family Detached Residential Duplex Residential Multifamily Residential	3,500 s.f. 5,000 s.f. 9,000 s.f.	None		
Minimum Lot Width at Street Row Line	30 feet	None		
Minimum Lot Width at Building Setback Line	30 feet	None		
Maximum Lot Coverage	N/A	The maximum combined area of all principal and accessory buildings shall not exceed 50% of the square footage of the lot.		None

Maximum Building Height (except as provided in section 12-3-62)	Residential buildings shall not exceed two stories in height, with a usable attic. No building shall exceed 35 feet in height, except that three feet may be added to the height of the building for each foot the building is set back from the building setback or property lines to a maximum height of 45' with approval of the architectural review board.
Minimum Floor Area For Multifamily Developments	600 square feet per dwelling unit
*Front yard depths in the Old East Hill preservation zoning district shall not be less than the average depths of all of the front yards facing the street on the block, up to the minimum yard requirement; in case there are no other dwellings, the front yard depth shall be no less than the footage noted.	

(Code 1986, § 12-2-10; Ord. No. 6-93, §§ 7, 8, 3-25-1993; Ord. No. 17-93, § 1, 6-10-1993; Ord. No. 29-93, §§ 7—12, 11-18-1993; Ord. No. 32-93, §§ 1, 2, 12-16-1993; Ord. No. 3-94, §§ 5, 6, 1-13-1994; Ord. No. 11-94, § 2, 4-14-1994; Ord. No. 9-96, §§ 5—8, 1-25-1996; Ord. No. 35-97, §§ 1—3, 10-23-1997; Ord. No. 40-99, §§ 6—9, 10-14-1999; Ord. No. 44-99, § 1, 11-18-1999; Ord. No. 13-00, § 1, 3-9-2000; Ord. No. 50-00, §§ 1, 2, 10-26-2000; Ord. No. 2-01, §§ 1—3, 1-11-2001; Ord. No. 6-02, § 2, 1-24-2002; Ord. No. 22-02, § 1, 9-26-2002; Ord. No. 13-06, §§ 5—9, 4-27-2006; Ord. No. 03-09, § 1, 1-8-2009; Ord. No. 16-10, §§ 198, 199, 9-9-2010; Ord. No. 05-17, § 1, 3-9-2017; Ord. No. 11-18, § 1, 9-13-2018)

OLD EAST HILL PRESERVATION DISTRICT



Standards	PR-1AAA	PR-2	PC-1
Minimum Yard Requirement (Minimum Building Setbacks) Front Yard Side Yard Rear Yard>	*30 feet 9 feet 25 feet	*15 feet 7.5 feet 25 feet	None 5 feet (for dwellings or wood frame structures only) 15 feet
Minimum Lot Area for Residential Uses	9,000 s.f.	5,000 9,000 s.f. for single-family and 10,000 s.f. for multifamily	None
Minimum Lot Width at Street Row Line	50 feet	50 feet	None
Minimum Lot Width at Building Setback Line	75 feet	50 75 feet	None
Maximum Building Height (Except as Provided in Section 12-3-62)	35 feet	35 feet	45 feet
Minimum Floor Area	N/A	600 s.f. per dwelling unit for multifamily	None
*Front yard depths in the North Hill Preservation zoning district shall not be less than the average depths of the front yards located on the block, up to the minimum yard requirement; in case there are no other dwellings, the front yard depths shall be no less than the footages noted.			

