



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, April 20, 2023, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [23-00309](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES FROM MARCH 16, 2023
Sponsors: D.C. Reeves
Attachments: [3-16-23 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [23-00310](#) 30 S. SPRING STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A / CITY COUNCIL DISTRICT 6
CHANGE OF WINDOWS AT A NON-CONTRIBUTING STRUCTURE
Sponsors: D.C. Reeves
Attachments: [Images](#)
[Application Packet 4-5-23](#)
3. [23-00311](#) 119 W. GADSDEN STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2 / CITY COUNCIL DISTRICT 6
ADDITION OF A SIDE DECK AND DOOR ON A CONTRIBUTING STRUCTURE
Sponsors: D.C. Reeves
Attachments: [Florida Master Site File Form](#)
[Images](#)
[Application Packet 4-5-23](#)
[Additional Information 4-11-23](#)

4. [23-00313](#) 105 W. JACKSON STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2 / CITY
COUNCIL DISTRICT 6
EXTERIOR ADDITION AND BACKYARD LANDSCAPE
IMPROVEMENTS AT A CONTRIBUTING STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Florida Master Site File Form](#)
[Images](#)
[Application packet 4-5-23](#)
5. [23-00314](#) 18 W. WRIGHT STREET
NORTH HILL PRESERVATION DISTRICT & PALAFOX HISTORIC
BUSINESS DISTRICT / ZONE C-2A / CITY COUNCIL DISTRICT 6
FINAL APPROVAL FOR ALTERATIONS AND ADDITIONS TO A
CONTRIBUTING STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Images](#)
[11-17-22 ARB minutes](#)
[Conceptual Approval November 2022](#)
[Application Packet 4-5-23](#)
6. [23-00316](#) 524 N. HAYNE STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1 / CITY
COUNCIL DISTRICT 6
RENOVATION OF CONTRIBUTING STRUCTURES FOR
RETAIL/COFFEE SHOP AND OFFICE
- Sponsors:** D.C. Reeves
- Attachments:** [Florida Master Site File Form Grocery](#)
[Florida Master Site File Form Cottage](#)
[Images](#)
[Application Packet 4-5-23](#)

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00309

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

Architectural Review Board meeting minutes from March 16, 2023



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

March 16, 2023

MEMBERS PRESENT: Chairperson Salter, Board Member Mead, Board Member Courtney, Board Member Yee, Advisor Pristera

MEMBERS ABSENT: Board Member McCorvey, Board Member Fogarty, Board Member Ramos

STAFF PRESENT: Assistant Planning & Zoning Division Manager Harding, Digital Media Specialist Russo, Cultural Resources Coordinator Walker, Deputy City Administrator Forte, Assistant City Attorney Lindsay

STAFF VIRTUAL: Development Services Director Morris, Planning and Zoning Division Manager Cannon, CRA Urban Design Planner Bennett, Development Services Coordinator Statler

OTHERS PRESENT: Christi Colabianchi, Alana Rawlings, Robert Van Slyke, George Sitton, Phil Partington, Beverly Perry, Brian Spencer, David and Terri Davidson, Paul Ritz

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Assistant Planning & Zoning Division Manager Harding asked the board to approve a typo and the addition of letters presented to the board by individual speakers during the quasi-judicial hearing of 255 W. Brainerd Street before the final draft of the minutes are signed and published to the online calendar. The board was agreeable.

Board Member Mead made a motion to approve the February 16, 2023, minutes, seconded by Board Member Yee, and it carried 4-0.

OPEN FORUM

NEW BUSINESS

Item 2 426 E. Government Street PHD / Zone HC-1, City Council District 6
Replacement of Windows at a Contributing Structure

Action Taken: Approved as presented

David and Terri Davidson are requesting approval to replace ten windows at a contributing structure. The existing windows are wood and the proposed new windows will be JELD-WEN series W-5500 clad-wood, double hung and three over one with high profile simulated divided lites. The three over one pattern is representative of the existing upstairs windows.

Mr. Davidson presented to the board. Board Member Mead asked for the age of the building and Advisor Pristera answered around the 1880s. The windows in question, however, appeared to be from a later addition and were probably installed in the 1930s. Board Member Mead made the comment that windows such as these are repairable and are meant to be repaired every 20-30 years. However, these are not original windows and are replacements. The original windows at the front of the building will not be replaced. The second-floor windows were leaking and were causing additional damage elsewhere. Board Member Mead understood the concern and recognized that the proposed product was a high quality, being fully wood except for the cladding. Board Member Courtney agreed with Board Member Mead in that historic windows are meant to be maintained and she hoped that additional training would take place locally to assist homeowners with maintaining windows. The house was well maintained, and she appreciated that the front windows would be maintained. Mr. Davidson remarked that the proposed windows to be replaced were an inferior product and were not original. The proposed window was a good product and would help protect the home further. Advisor Pristera has some initial concerns, but with the additional information he was satisfied with the project, especially since these were not on the main body of the house and were probably replacements anyway. Board Member Mead asked if the product was consistent with the historic district ordinance, and staff (along with Chairman Salter) agreed that the window was high quality and met the intent of the ordinance for alterations to contributing structures.

Board Member Mead made the motion to approve as presented. Board Member Courtney seconded the motion and it carried 4-0.

Item 3 301 N. Baylen Street PHBD / Zone C2-A, City Council District 6
Demolition of a Contributing Structure

Action Taken: Denied

Immanuel Lutheran Church is seeking approval to demolish a contributing structure known as the Trailways Bus Station. This request is due to the structure being in a state of disrepair and the safety liability since the parcel is currently being used as overflow parking for the church.

If approved, the applicant is also requesting that the board waive the requirements for replacement plans due to extreme, unusual, and compelling circumstances, as well as public safety purposes per Sec. 12-3-10(1)i.3.iii. This would allow the applicant to apply for a demolition permit. The plan is to demolish the building to justify the cost to hire a civil engineering firm to reorient the property for overflow parking, storm water drainage, buffers, and landscaping that meets City of Pensacola Development Code.

Board Member Courtney and Board Member Mead asked the applicant if there were structural reports or documentation of the structure's condition that could be provided. Ms. Colabianchi, the applicant's representative, provided an outline of the application. Only a letter from Rev. Randy Blankschaen has been added to the application packet and copies were handed out to the board. Ms. Colabianchi continued her presentation to the board.

Board Member Mead asked if staff recalled any past rehabilitation work to this structure. Advisor Pristera answered that an Eagle Scout project took place in 2012. About 5 months, 75 volunteers,

1100 estimated hours, and \$9,000 went into the work so that the building could be reused by the church. Unfortunately, it doesn't appear that the building was used afterwards. Board Member Mead noted that, despite some damage to the building, there wasn't anything that appeared irreparable and that could not be fixed. Most of the damage appeared to be related to Hurricane Sally damage that had never been repaired. Advisor Pristera came to the same assessment. There were roof leaks in 2012, but those had been fixed. It was an old roof system, but it could be easily repaired. Board Member Mead asked the Ms. Colabianchi if the church had explored alternative uses for the property. Board Member Mead had a strong reaction against creating more blank parking lots which was opposite of what the board was supposed to encourage. There were many uses that could occur here without the need to demolish the structure. Staff confirmed the zoning as commercial which could accommodate many uses. Board Member Mead didn't think alternative uses for the property not involving demolition had been explored. Ms. Colabianchi had asked the church such questions and the church's response was that they wanted to repurpose the property for parking. Ms. Colabianchi read sections of Rev. Blankschaen's letter. The church had issues with homeless people trespassing on the property. Ms. Colabianchi mentioned issues with homeless people using the property as a bathroom and which were occurring elsewhere in the immediate area. There have been issues with graffiti and skateboarders. These issues were costly and unwanted and caused liabilities since the existing parking is used regularly by the church, other churches, and by those attending downtown events. Ms. Colabianchi stated that the church understands the responsibility and value of maintaining historic structures since their main facility was built in 1885. Ms. Colabianchi has personal experiences with dealing with homeless people on this site and it is quite intimidating. The bus station building serves as a shelter and hideaway for people to participate in illegal activities and it's been a continual problem for the church. Ms. Colabianchi continued with her reading of Rev. Blankschaen's letter. After reading sections of the letter, Ms. Colabianchi was confident they could redesign the parking to be attractive.

Mr. Paul Ritz addressed the board. He was against the demolition of the building. The bus station was a part of the historic fabric of the city. He remembered visiting the building as a child. Regarding the comments on homelessness, that issue was not specific to this building and it occurred elsewhere in the downtown area. Mr. Ritz offered that when someone or a group purchases a historic structure, it's a societal responsibility to maintain that structure if they can. If citizens purchased structures only to let them be demolished by neglect, it would be a great disservice to the city. As a family member who owned a significant historic structure, Mr. Ritz realizes that even when the property is not producing a substantial amount of money, they are still invested in the fabric of the city, and they owe it to the citizens because they made the choice to buy a historic property. This building has a position in the fabric of the city and in the neighborhood.

Mr. Brian Spencer addressed the board. This type of architecture was Mr. Spencer's favorite. He recalled visiting the Trailways bus station as a child. He was involved with the Eagle Scout project, it was a great project with a great result. That a volunteer took the time and effort to preserve this building was a great service. Mr. Spencer mentioned that this type of building and architecture is protected in other cities such as Sarasota, Florida. He suggested that with additional media coverage of this project, he hoped that local architects could come together to volunteer their time and efforts for ideas of adaptive reuse of the property. There are so many surface parking lots in this area, he offered that the church would be better suited to purchase a street-legal golf cart to assist with any parking issues.

Mr. Phil Partington addressed the board. Mr. Partington also recalled this building and that it was an excellent example of mid-century modern architecture. He was against the demolition and hoped that the church could find an alternative to demolition. He agreed with Mr. Spencer and welcomed the opportunity to help find another way.

Mr. Bob VanSlyke addressed the board. Mr. VanSlyke is a neighbor and has lived in the area for 20 years. He has experienced what has happened to this property and wanted to make sure that the property is cleaned up. It is a mess. And it has been for most of the 20 years. There was an effort to clean it up, but the church has not done an adequate job of keeping it up, so there's no reason to believe it will be kept up if redeveloped. Repurposing of this property would be a wonderful alternative. He would be happy to contribute in any way possible.

Ms. Colabianchi appreciated the speakers and will take the comments back to the church. She wanted to be clear that the intent was not for the church to sell or repurpose the building. It was not a historic building until 2012, when it achieved 50 years in age.

Board Member Courtney asked if the intent was to fence off the property if the building is demolished. Ms. Colabianchi had not gotten into the redesign yet. They needed to know if demolition was feasible before they moved on to design.

Advisor Pristera stated that the church has created the situation it's in. An abandoned building that is not being taken care of will encourage unwanted activity. The best way to prevent this from happening is to populate the site with people and to activate the space. The best thing to happen would be for the building to be reused. The church hasn't maintained this structure for 30 years. And with the exception of the Boy Scout project, the church has been a bad steward of this property and what is happening is demolition by neglect. The building has reached the 50-year mark, and based on it's architecture and history, it's likely eligible for listing on the National Register of Historic Places. It has a lot of its original character and is unique to the area. The building has a lot of potential. Leasing the building, like what the Historic Trust does with other historic buildings, can diversify the church's revenue and help the organization continue. A tenant could fix the structure for the benefit of the church and community. The church appears to be demolishing this building by neglect which is not right. Board Member Mead asked what the conditions for demolition approval are. Staff answered that the demolition of contributing buildings essentially requires two requests – demolition of the building and then approval of replacement plans. In this case, the applicant is asking for the board to waive the second. For the first, the applicant needs to demonstrate economic hardship or unusual or compelling circumstances. The applicant is requesting the board to review the application according to the second criterion – unusual or compelling circumstances. In this case, the board is to be guided in it's review by six criteria listed in 12-3-10(1)i.2.,

- i. The historic or architectural significance of the structure;
- ii. The importance of the structure to the integrity of the historic district;
- iii. The difficulty or the impossibility of reproducing such a structure because of its design, texture, material, detail, or unique location;
- iv. Whether the structure is one of the last remaining examples of its kind in the historic district;
- v. Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans will have on the architectural, cultural, historical, archaeological, social, aesthetic, or environmental character of the surrounding area, as well as the economic impact of the new development; and
- vi. Whether reasonable measures can be taken to save the structure from further deterioration, collapse, arson, vandalism or neglect.

Per 12-3-10(1)i.3.iii., following recommendation for approval of demolition, the applicant must seek approval of replacement plans prior to receiving a demolition permit and other building permits. Replacement plans for this purpose shall include, but shall not be restricted to, project concept, preliminary elevations and site plans, and adequate working drawings for at least the foundation plan that will enable the applicant to receive a permit for foundation construction. The board may waive the requirements for replacement plans under extreme, unusual and compelling circumstances or public

safety purposes.

Chairperson Salter echoed Advisor Pristera's comments. It appears that all special circumstances were due to the action, or inaction, of the property owner. There's been nothing presented by the applicant that meets criteria for the building to be considered for demolition. The building is architecturally significant. It is unique to the city. It is probably the last remaining example of this type of architecture locally. It will never be reproduced. To lose it would be a drastic loss to the historic district. Pensacola is a destination for historic architecture, and this is a building that people notice. Its loss would be tragic. Based on the code and in his opinion that ARB is required to enforce, there has not been anything presented which would allow the board to approve demolition. And it is in fact being demolished by neglect which is against the city code. Chairperson Salter pointed out that Rev. Blankschaen's letter states that, "The church is simply trying to do the right thing". In his opinion, the right thing is to properly maintain the building, which is the church's responsibility.

Based on the understanding that the applicant is not moving on the basis of economic hardship, Board Member Mead made a motion to deny the application since there are not unusual or compelling circumstances to justify the demolition; specifically because the building is historically and architecturally significant; it is important to the integrity of the district both as a modern tie to a historic area that connects it to the world in terms of its status as a bus station and at a time when that was an important link to the world; it is exactly a structure that is unable (and unlikely) to be reproduced in current terms; it is the last of its kind in the area; that reuse plans and the proposed impact would be a detriment to the area, by replacing a structure that if maintained would be nice to look at as opposed to a parking lot which would not solve the complaints of homelessness due to its disuse; and lastly that measures to preserve the property are not impossible. If put to reuse, the property would probably pay for itself and earn money for the church. The application does not meet the ordinance requirements in Sec. 12-3-10(1)i.2. Board Member Mead added the comment that because it is a church, Jesus didn't just meet people in churches and synagogues. He met them in taverns and in the forum, and outside of the temple. Matthew 25 speaks to the maintenance of structures. You don't just bury them in the ground. You put it to use and make it useful for people. That's what we're required to do as stewards of property, and stewards of things that we're given that we can't take with us. Board Member Mead encouraged the church to take a different view of this property and look at how they could use it to serve their mission and in a way that's not just extra square feet of asphalt. **Board Member Courtney second the motion and it carried 4-0.**

Before moving to the next item, Chairperson Salter addressed the board's attention to Sec. 12-3-10(1)i.4.ii. which states, "The board, on its own initiative, may file a petition with the building official requesting that he or she proceed to require correction of defects or repairs to any structure covered by subsection (1)i.4.i of this section so that such structure shall be preserved and protected in accordance with the purposes of this section and the public safety and housing ordinance".

Chairperson Salter proposed that the board discuss making such petition to the building official. Board Member Mead made a motion for petition. Chairperson Salter stated that based on the discussion already had, there appeared to be support among the board. **Board Member Courtney seconded the motion and it carried 4-0.** The board asked Assistant City Attorney Lindsay if all was in order for the board to make such a request and that the board could hear further public comment if so desired. No further comments were provided.

Item 4 1401 N. 20th Avenue East Hill / Zone R-1AAA, City Council District 7
Historic Structure Demolition Review

Action Taken: Delayed 60 days (until May 16, 2023)

Per the City of Pensacola’s Historic Building Demolition Review Ordinance, the referenced structure has been found to be potentially significant in regards to its location and the historic development of the East Hill neighborhood. Per the ordinance, the Board is tasked with determining whether or not this structure meets the criteria for listing in the National Register of Historic Places. If eligible and deemed historically significant by those criteria, the Board must also determine if the building is subject to a demolition delay of no more than 60 days. To determine that a historically significant building is subject to a demolition delay, the Board must find that in the interest of the public it is preferable that the building be preserved or rehabilitated rather than demolished.

Assistant Planning & Zoning Division Manager Harding provided an outline of the historic structures demolition ordinance and introduced the item. Advisor Pristera provided an historic overview of the property and that it may have been part of the 1920s initial development of the area when T. L. Gant investment company began selling lots in the neighborhood along Bayview Park. The house was built around 1928 and it is a good example of the Craftsman-Bungalow style. It is a prominent structure. The original owners were in the insurance business and involved in local education. They played a large part in the development of the city during that time. From a historical significance standpoint, there was a human connection in how the original owners contributed to the city, an architectural significance with the structure’s uniqueness and prominence, and it played a role in the neighborhood’s early development. Board Member Courtney commented on the uniqueness of the home and that it was a very attractive historic structure and in very good condition. Mr. Sitton commented that he was demolishing it to rebuild a home for a client. The original intent was to not tear it down, but to subdivide the original lot and keep the home. However, after advertising the property for a time, a client purchased the property with intent to demolish and rebuild. Board Member Mead asked if the new subdivided lot was being built on and the answer was yes. Staff was asked to read the criteria for determining significance:

- i. The building is associated with events that have made a significant contribution to the broad patterns of our national, regional or local history;
- ii. The building is associated with the lives of persons significant in our national, regional or local past;
- iii. The building embodies the distinctive characteristics of a type, period or method of construction, or that represents the work of a master, or that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- iv. The building has yielded, or may be likely to yield, information important in national, regional or local history.

Based on the board’s discussion, the house met all four criteria.

Board Member Mead made a motion that the board determine that all four criteria for architectural and historic significance were met, and that preservation was warranted and that it is in the public interested that it be preserved and rehabilitated rather than demolished and that the board place a 60-day moratorium for a demolition permit in hopes that it could be saved. Board Member Courtney seconded the motion and it carried 4-0.

**Item 5 702 N. 'E' Street Westside Garden District / Zone R-1AA, City Council District 6
Historic Structure Demolition Review**

Action Taken: Delayed 60 days (until May 16, 2023)

Assistant Planning & Zoning Division Manager Harding provided an outline of the historic structures demolition ordinance and introduced the item. Alana Rawling presented to the board. The original intention was to restore the property which was once owned by a pastor. However, 3 different contractors provided quotes showing it to be more financially feasible to demolish rather than rehabilitate. Advisor Pristera provided a historic overview of the structure. It is unique in that it is larger than all the surrounding structures. It has more architectural detail, although simple. Looking further, it dated to around 1914 (older than what the application says) and the first owner was E. E. Harper who was in law enforcement for 41 years. He lived in the house and served two terms as City Commissioner and was also the Chief of Police and in the Fire Department. He played a significant role in the city and played multiple roles in local government. There are accounts of him being shot and attacked several times during his job. He died in 1951 and the house probably was sold several times. The house is in rough shape, but there are key components that could be saved. It has a uniqueness that other houses in the neighborhood do not have.

Board Member Courtney mentioned that her house in Old East Hill was not in much better condition when it was bought. A lot of blood, sweat, and tears went into hers. The overall structure didn't look too terrible and there were a lot of existing elements that appeared to be intact – windows, porch railings, etc. It is a lovely house, and she would love to see it restored.

Ms. Rawlings agreed, but there were holes in the floor and issues with the foundation and wood rot. Her contractor's foot went through the floor when touring the property. There were also issues with vagrants. There were hidden costs that were not realized when the property was bought and she was afraid that they wouldn't be able to finish restoring the house due to costs. The rear-most portion was determined to be a nonoriginal addition.

Board Member Mead echoed Board Member Courtney's comments. The house he rehabilitated in North Hill was in a similar state. This house has a lot of potential and the pier foundation issues could be handled on a spot-treatment basis. These old houses will take a lot of abuse and can usually be brought back. This is a nice structure on a nice property, and he recommended exploring all options. The house was lovely. Ms. Rawlings stated that a quote for foundation repairs would be \$25,000 minimum. There were concerns about the fireplaces and taking the home down to the studs. Board Member Mead agreed that a lot of work would need to take place, but some of it could be done without tremendous costs.

Board Member Yee appreciated the situation, and the cost of construction was unfortunate. The applicants had done their due diligence. It doesn't make the board's job any easier and this one was a little different than the past two. He asked about any grant opportunities.

Staff mentioned the CRA façade grant which this building would be eligible. Staff offered to provide more information to the applicant after the meeting. If it was helpful to the applicant, Board Member Mead stated that ARB could also express a view of eligibility in the terms of historic significance. Assistant City Attorney also thought there was a forgivable loan program which may be up to \$100,000.00. Advisor Pristera also mentioned an ad valorem tax program for improvements to historically significant homes. Ms. Rawlings stated that she would be open to any options, and she'd be happy to look into opportunities more.

Board Member Mead made a motion that the board determine that criteria i. and ii. (a. and b.) for significance are met and that preservation was warranted and that it is in the public interest that it be preserved and rehabilitated rather than demolished and that the board place a 60-day moratorium for a demolition permit with encouragement to the applicant to seek out opportunities through the City and other means; and that if application to the CRA

façade grant program is made, that ARB make recommendation for approval for the reasons expressed here. This would be a feasible and important project for the neighborhood. Board Member Yee seconded the motion and it carried 4-0.

Board Member Mead also made the recommendation to ask staff to communicate to the applicant of the N. 20th Avenue item to also seek out similar opportunities. Board Member Courtney seconded, and it carried 4-0.

There was a discussion on the National Register of Historic Places program, the designation of new historic districts, and continued development west of the historic districts.

ADJOURNMENT

With no further business, the meeting adjourned at 3:51 p.m.

Respectfully Submitted,



Assistant Planning & Zoning Division Manager Harding
Secretary to the Board



**IMMANUEL LUTHERAN CHURCH
LCMS**

**Rev. Randy M. Blankschaen
Pastor**

24 W Wright St
P O Box 12912
Pensacola FL 32591-2912
Phone: (850) 438-8138
E-mail: office@immlu.com

Dear governing authorities,

My name is Rev. Randy Blankschaen. I have served as Pastor of Immanuel Lutheran Church since 2010. I served previously as a Vicar at this institution in 2005-2006. In my capacity as pastor, I do not oversee property or building matters. Instead, I oversee the spiritual affairs of the congregation, that is, worship, prayer, and spiritual care. Thus, I share my concerns as a citizen who spends much time at Immanuel Lutheran Church's 24 W. Wright St. building in close proximity to the building under review.

That building (at the NW corner of Baylen and W. Wright) has been a problem issue for Immanuel Lutheran Church and our immediate neighbors for decades. I have witnessed many times persons urinating inconspicuously on the building. These events happened with the public library a mere block away (during its open hours). These events happened on the highly trafficked Baylen Street in plain view, which could have been witnessed by the children of Episcopal Day School. Neighbors have complained of witnessing people defecating around this structure. It is common to see trash – including many empty alcoholic beverage containers. It is disgustingly common to see human feces on this property.

There have been several instances of graffiti – inappropriate in nature – on said structure. This incurs cost and gives offense to our community.

The structure is a haven for skateboarders. While I have no problem with youth exploring sport, I nevertheless note that doing so on this property creates a liability for the church. Moreover, the current ceiling could collapse at any time, which could cause injury.

Many persons find shelter under this structure and, at times, have set up encampments. We understand their desire to avoid rain – especially since the nearby bus stop provides no shelter. Thus, we are sympathetic, but again, this is at Immanuel's expense. It creates another liability for the church and a potentially dangerous situation for the person. Representatives of the church, myself included, have had many confrontations asking trespassers to stop trespassing. In some instances, the Pensacola Police Department has been called. Even when kindly asking squatters to move on, I have been regularly met with profanities and threats against my person or our historic church building. The presence of the building provides a harbor to trespassers. It has invited risks and threats.

The ceiling of the overhang is in disrepair and a portion of it has collapsed. Many folks who are not affiliated with our congregation park on this property, especially during events held for Christ Church, Episcopal Day School, the Farmers' Market, or parades. It is only a matter of time before one trespassing has his vehicle or self injured by the further collapse of the ceiling. In addition, the exterior roof does not have functional lighting, which is a significant safety concern when anyone is on that property at night.

The interior of this building is nowhere near feasible to repair. I am not a mold expert, but the odor and current state of the building has made it unavailable for any functional use. The church cannot use this building for storage. Functionally, its only use is a statue which has become a longtime eyesore and danger for us and our neighbors.

Please hear this! The church is simply trying to do the right thing. At this time, I believe the best path forward is to remove this building as a further danger and blight. This would make our downtown community more attractive, remedy multiple safety concerns, and improve our historic downtown landscape.

In love of God and my neighbors,

Rev. Randy M. Blankschaen



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00310

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

30 S. Spring Street
Palafox Historic Business District / Zone C-2A / City Council District 6
Change of Windows at a Non-Contributing Structure

BACKGROUND:

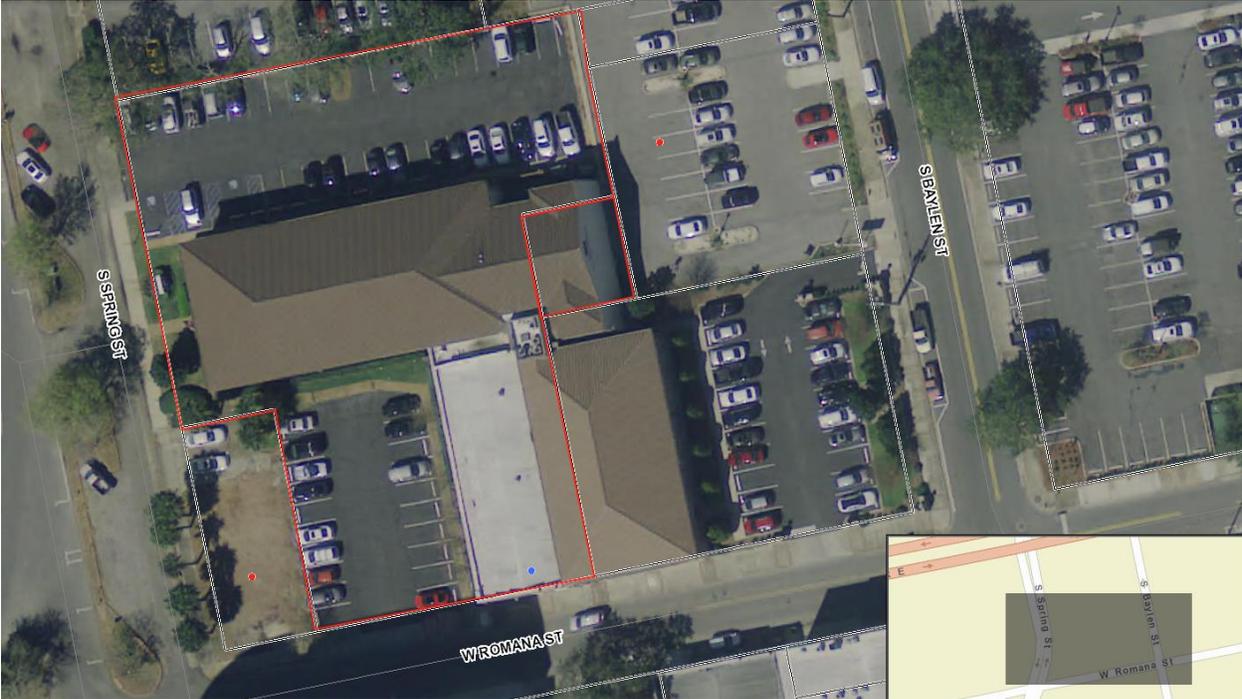
Arcadia ICR Group, LLC is requesting approval to replace thirteen windows at a non-contributing structure. The existing windows are wood and the proposed new windows will be Andersen 400 series clad-wood, double hung, two over two with simulated divided lites (non-operable).

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(g)(2)a. Palafox Historic Business District; District rehabilitation, repair and maintenance guidelines; Windows

30 S. Spring Street





City of Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 03/22/2023

Project Address: 104 West Romana Street, Pensacola, FL 32502

Applicant: Arcadia ICR Group, LLC

Applicant's Address: P.O. Box 11977, Pensacola, FL 32524

Email: lisa@arcadiaicr.com Phone: 850-470-9827

Property Owner: Emmanuel, Sheppard & Condon

District: PHD NHPD OEHPD PHBD GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Replace specific old window units (13) with new Anderson 400 Series windows on South side of building - West Romana Street. New units to be non-operable, SDL.

FL Approval Code FL15905.6

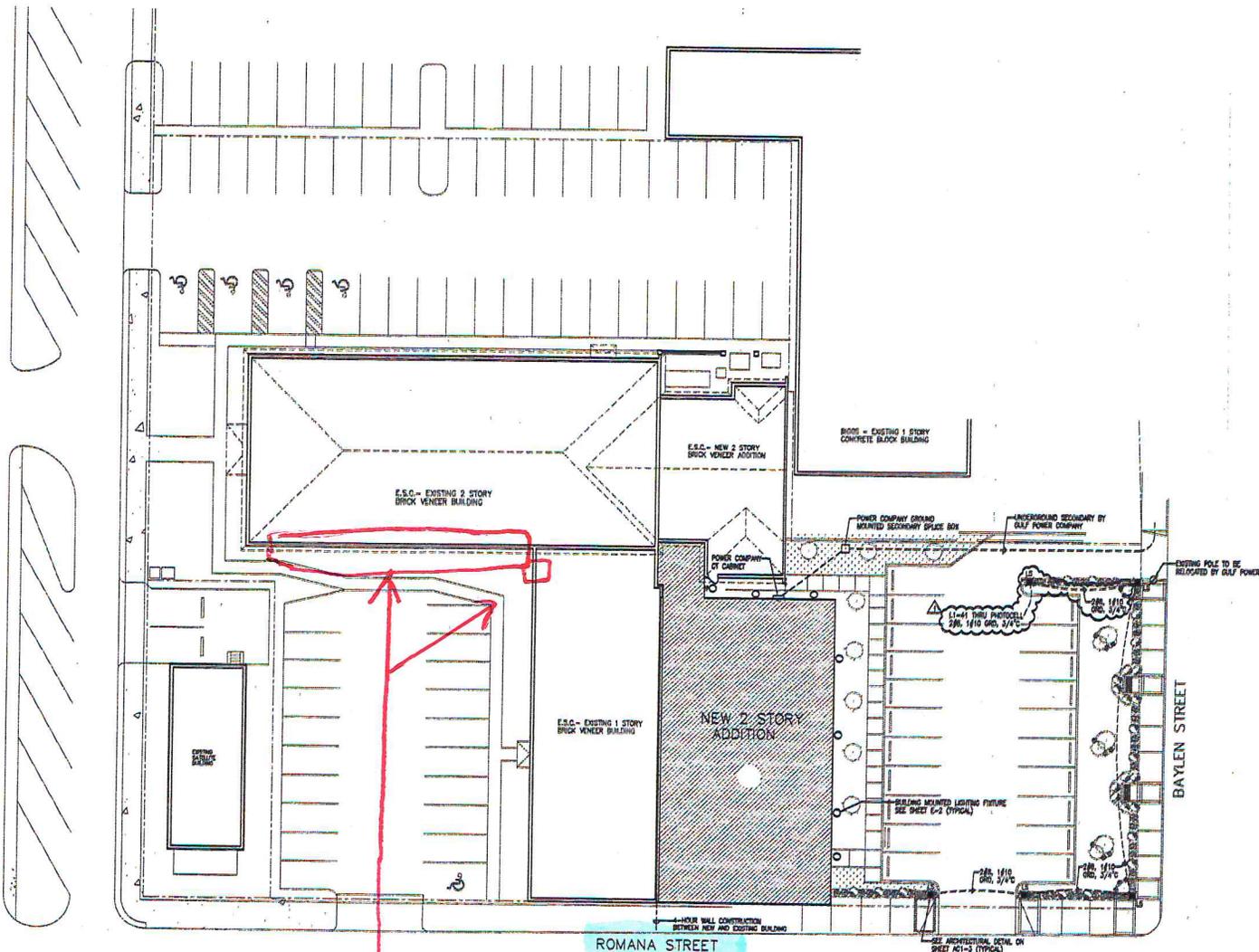
Replacement due to significant wood rot at existing windows

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

3-22-23
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

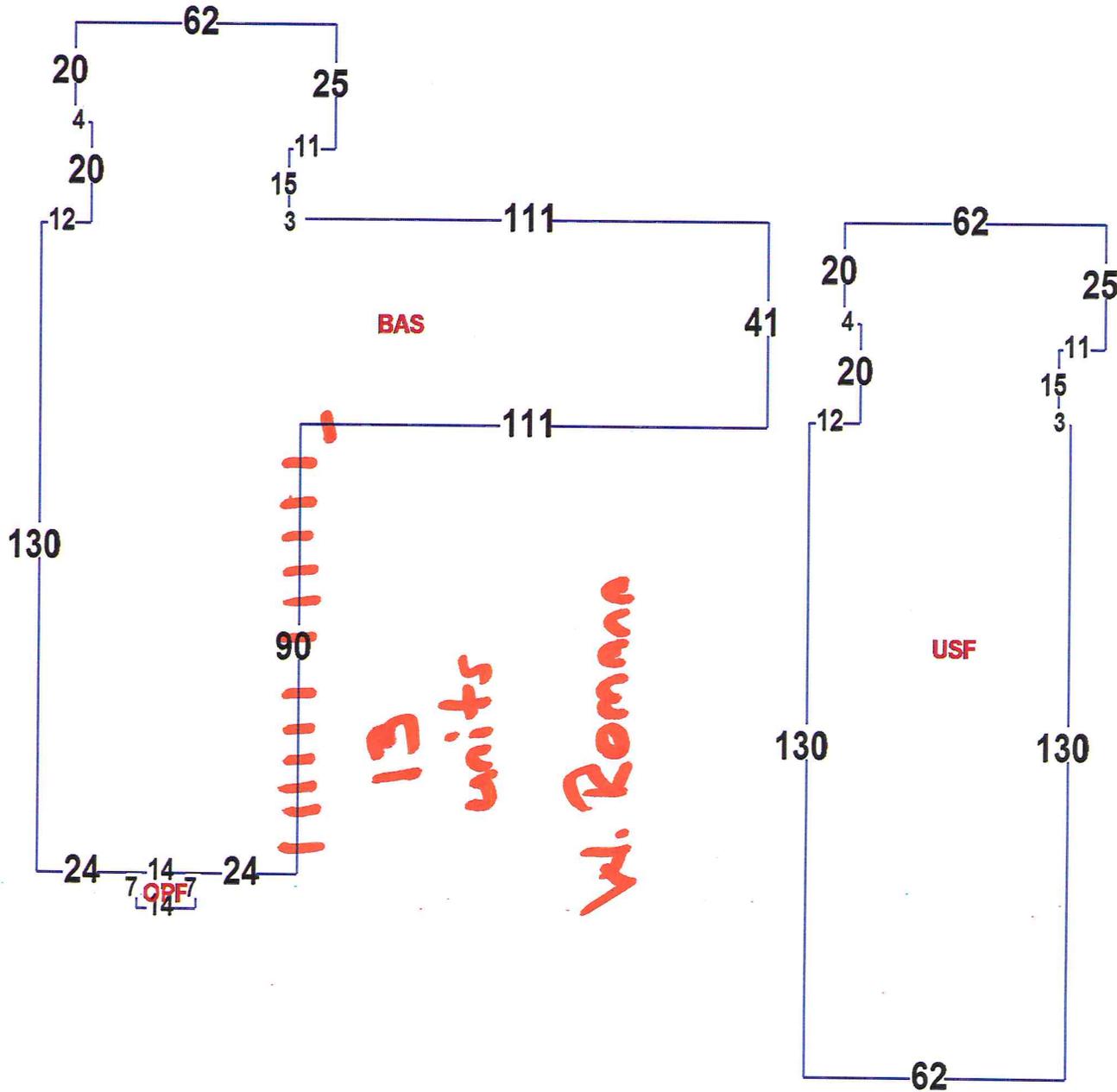


1st Floor
13 windows

ELECTRICAL SITE PLAN
SCALE 1/16" = 1'-0"

SPENCER MAXWELL BULLOCK ARCHITECTS 17 EAST MAIN STREET, SUITE 100 PENSACOLA, FLORIDA 32501 850 - 432 - 7772 FAX 850 - 432 - 7007	
CERTIFICATION: 	
PROJECT - LOCATION: Addition to: EMMANUEL SHEPPARD & CONDON South Spring Street Pensacola, Florida	
ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UNREPRODUCED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. REVISIONS: Δ REVISION #1 04/22/06	
DESIGNED BY:	KLOCKE
DRAWN BY:	MILYARCZYK
CHECKED BY:	KLOCKE
PROJECT NO.	0327
DATE:	JANUARY 31, 2006
SHEET TITLE:	ELECTRICAL SITE PLAN
SHEET NO.:	E-1

Escambia County Property Appraiser
130424000





West Romana St.

Escambia County Property Appraiser
000S009001001238





Emmanuel Shepard and Condon
30 S Spring St, Pensacola, FL 32502
Replacement of 13 Window Units

SPECIALTY WINDOWS

FEATURES

FRAME

A Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance. Raddi are made of laminated pine, offering improved strength and appearance.

B The lined sections of the jamb and sill on eyebrow, extended gothic, octagon, monumental, Flexiframe®, custom arch and arch windows are covered with a low-maintenance, fiberglass-reinforced composite. The arched head members and Springline™ units are covered with stretch-formed aluminum.

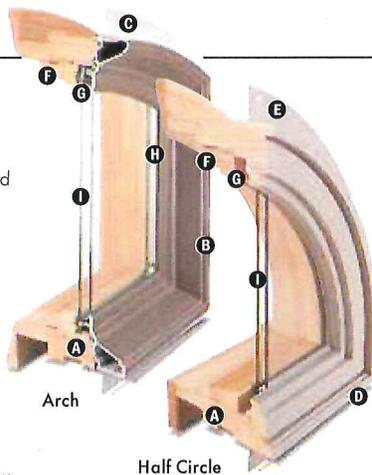
C The vinyl installation flange on eyebrow, extended gothic, octagon, monumental, Flexiframe, custom arch, arch and Springline units extends 1 1/4" (32) around the entire perimeter of the unit. It helps seal the unit to the structure.

D Circle, half circle, quarter circle, elliptical and oval windows are covered with a rigid vinyl cladding. Low-maintenance exterior cladding provides long-lasting beauty.

E Rigid vinyl cladding on circle, half circle, quarter circle, elliptical and oval window frames forms a full-perimeter installation flange for securing the unit to the structure. It also helps maintain an attractive appearance while minimizing maintenance.

F Inside trim stop is made of unfinished pine. Arched trim stops are made with quality, full-length laminated pine. Units are shipped with the trim stops tacked on, so removal is easy – expediting finishing and joining procedures.

G Unfinished interior wood glazing stops help secure the glass in place. Arched glazing stops are made with full-length laminated pine.



GLASS

H In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

I High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

StormWATCH[®]

PROTECTION

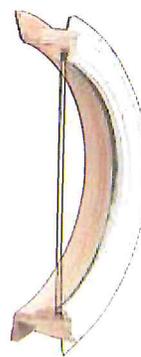
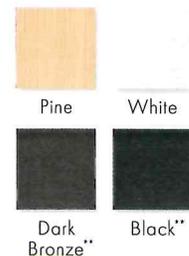
Specialty windows are available with Stormwatch® Protection. Visit andersenwindows.com/coastal for more details.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



Circle/Oval



Springline™



Flexiframe®

*Visit andersenwindows.com/warranty for details.

**Products with dark bronze and black interiors have matching exteriors.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors. See your Andersen supplier for actual color samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

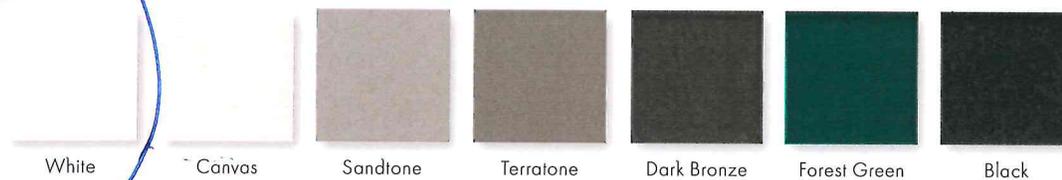
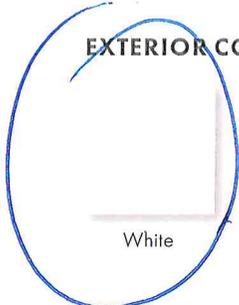


EXTERIOR & INTERIOR OPTIONS

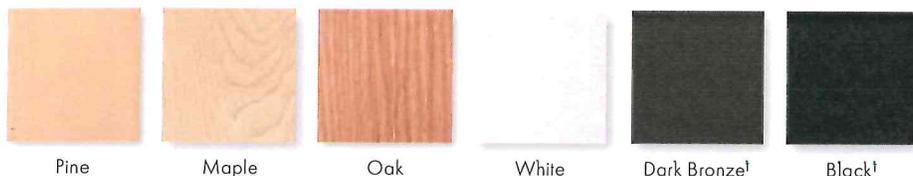
Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting,* low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**

white



INTERIOR OPTIONS**



Design your window at
andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.

**Some products are not available in all colors or wood species. See your Andersen supplier for details.

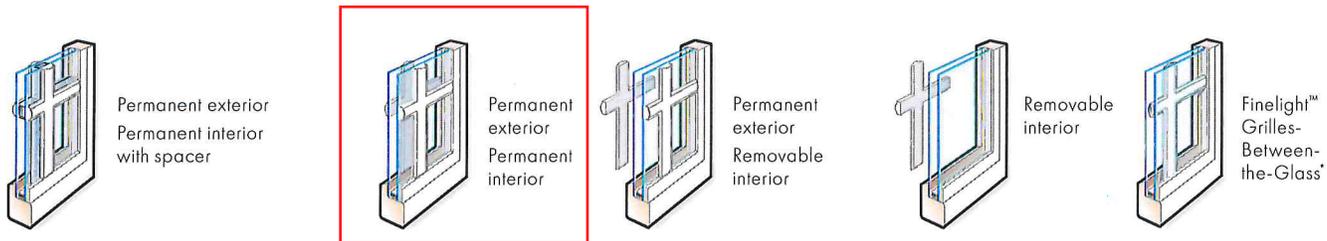
†Products with dark bronze and black interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Will match existing

GRILLE OPTIONS

A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.



FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

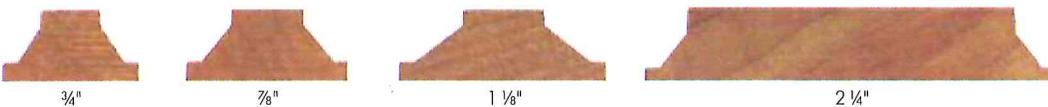
SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured 3/4" or 1" profile.

Grille Bar Widths



Our 2 1/4" wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air; ** all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



*3/8", 1 1/8" and 2 1/4" not available in Finelight grilles-between-the-glass.

**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.



THE RIGHT GLASS OPTIONS FOR ANY CLIMATE

From SmartSun™ glass that blocks 95% of the sun’s harmful UV rays to PassiveSun® glass that brings the heat from sunlight into your home, there’s an Andersen glass option for every climate and every project. Check with your Andersen dealer for the selections that are ENERGY STAR® certified in your area.

GLASS	ENERGY		LIGHT	
	U-Factor <small>How well a product prevents heat from escaping.</small>	Solar Heat Gain Coefficient <small>How well a product blocks heat caused by sunlight.</small>	Visible Light Transmittance <small>How much visible light comes through a product.</small>	UV Protection <small>How well a product blocks ultraviolet rays.</small>
SmartSun Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factors.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4® Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factors.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Triple-Pane with Low-E coatings on two surfaces Three panes of glass combine with either argon gas blend air or low-E coatings to provide enhanced energy performance.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of March 2019. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.



GLASS OPTIONS

NORTHERN CLIMATES

Triple-Pane Glass

Three panes of glass combine with either argon gas blend or air and Low-E coatings to provide our most energy-efficient glass option.

Low-E & Low-E4® Glass

Excellent thermal performance for climates where both heating and cooling costs are a concern. Energy-efficient Low-E glass options are available in all Andersen product lines.

SmartSun™ Glass

It gives you the benefits of Low-E glass, plus it helps shield your home from the sun's heat and filters out 95% of harmful UV rays while letting sunlight shine through.

PassiveSun® Glass

A great solution for cold climates where solar heat gain is desired. Ideal for passive solar applications.

SOUTHERN CLIMATES

SmartSun™ Glass

Shields your home from the sun's heat and filters out 95% of harmful UV rays while letting sunlight shine through.

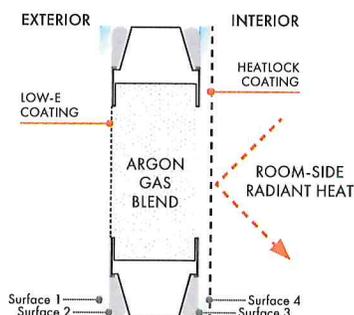
Sun Glass

It's tinted for maximum protection from the effects of intense sunlight while providing excellent energy efficiency.

EVEN BETTER EFFICIENCY

HeatLock® Technology

Our optional HeatLock coating can be applied to the room-side glass surface (surface #4) of our windows and doors. The coating helps reflect escaping heat back into the room, resulting in improved insulation and better U-Factors.

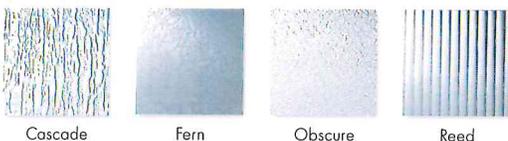


ADDITIONAL GLASS OPTIONS

Tempered safety glass (standard on patio doors).

Laminated glass for added strength, enhanced security and sound control.

Patterned glass can be substituted for clear glass to let in light while obscuring vision (patterns shown below).



Cascade

Fern

Obscure

Reed

Cascade and reed patterns can be ordered with either a vertical or horizontal orientation.

COASTAL PROTECTION

Some Andersen products are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements in your area.

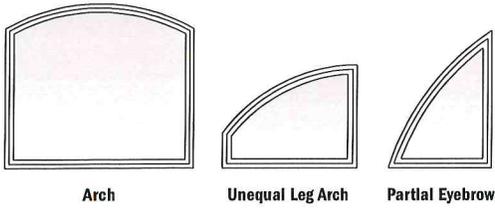
StormWATCH
PROTECTION



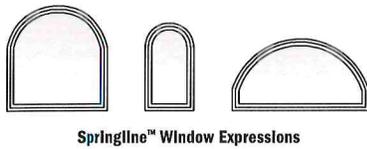
For more information, visit andersenwindows.com/glass

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency. "Andersen" and all other marks where denoted are trademarks of Andersen Corporation. ©2020 Andersen Corporation. All rights reserved. 02/20

Custom Arch Windows



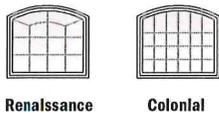
Andersen offers even greater design flexibility with custom-dimensioned arch, unequal leg arch and partial eyebrow windows. Custom arch windows can be designed using one of 10 standard radii, further expanding the existing line of 90 standard sizes of Andersen® arch windows.



16' (4877) Radius for Joined Combinations

Custom arch shapes and sizes are specially constructed to be used in combination with other Andersen windows, including casement, awning, double-hung, gliding and Flexiframe® windows, and hinged or gliding patio doors.

Andersen grilles are available for most styles and sizes. Contact your supplier for availability.



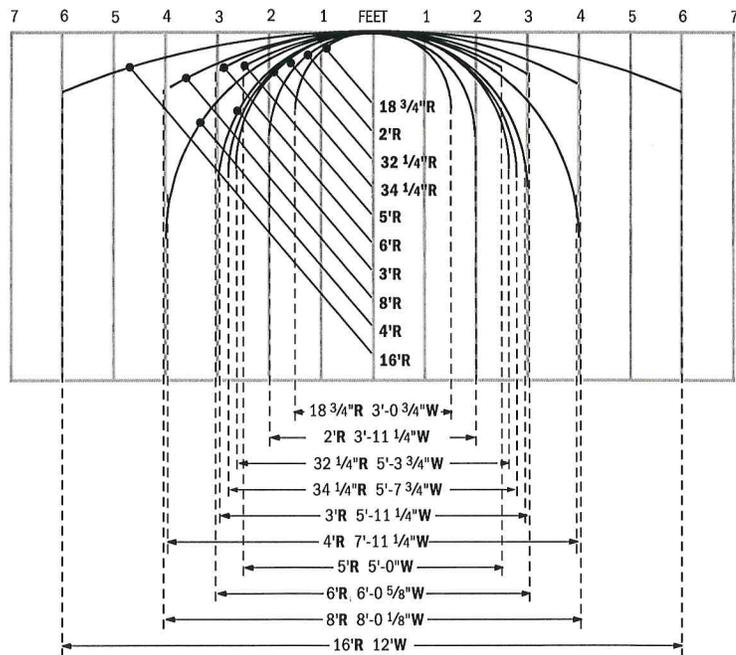
Design Criteria

Listed below are some factors that must be considered when deciding on a custom arch size and shape. For specific design criteria, joining instructions and order information, contact your Andersen supplier.



- Do all calculations in inches to 3 decimal places
- Order extension jambs along with window for correct sizing
- All units are fixed
- Maximum standard glass area of 60 sq. ft. or 5.57 m²
- Ten standard radii:
18 3/4" (476), 2' (610), 32 1/4" (819), 34 1/4" (870), 3' (914), 4' (1219), 5' (1524), 6' (1829), 8' (2438), 16' (4877)
- Maximum radii: based on available radius piece length; contact supplier for specific information
- Maximum equal leg arch unit width:
36 3/4" (399) for 18 3/4" (476) radius to 12' (3658) for 16' (4877) radius
- Maximum unequal leg arch unit width:
18 3/4" (476) for 18 3/4" radius to 11'-2" (3404) for 16' (4877) radius
- Maximum partial eyebrow unit width:
18 3/4" (476) for 18 3/4" radius to 11'-5 1/2" (3493) for 16' (4877) radius
- Only one dimension, height or width, can exceed 7'-0" (2134)
- No height dimension greater than 12'-0" (3658)
- No leg dimension less than 6" (152)

400 Series Specialty Windows



Standard Radii and Maximum Unit Width for Custom Arch Windows

* Dimensions in parentheses are in millimeters.

Table of Springline™ Flanker Window Sizes

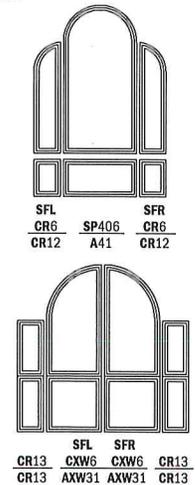
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-5" (432)	1'-5" (432)	1'-8 1/2" (521)	1'-8 1/2" (521)	2'-0 1/8" (613)	2'-0 1/8" (613)	2'-4 3/8" (721)	2'-4 3/8" (721)	2'-11 15/16" (913)	2'-11 15/16" (913)
Minimum Rough Opening	1'-5 1/2" (445)	1'-5 1/2" (445)	1'-9" (533)	1'-9" (533)	2'-0 5/8" (625)	2'-0 5/8" (625)	2'-4 7/8" (733)	2'-4 7/8" (733)	3'-0 1/2" (927)	3'-0 1/2" (927)
Unobstructed Glass	12 3/4" (324)	12 3/4" (324)	15 3/4" (400)	15 3/4" (400)	19 3/8" (492)	19 3/8" (492)	23 5/8" (600)	23 5/8" (600)	31 3/16" (792)	31 3/16" (792)
Radius	CR 18 3/4" (476)		CN 24" (610)		C 32 1/4" (819)		CW 32 1/4" (819)		CXW 36" (914)	
Chord Height	18 5/8" (473)		23 11/16" (584)		31 3/16" (792)		32" (813)		36" (914)	
Side Height	2'-11 15/16" (913)		2'-11 15/16" (913)		2'-11 15/16" (913)		2'-11 15/16" (913)		2'-11 15/16" (913)	
	3'-4 13/16" (1037)		3'-4 13/16" (1037)		3'-4 13/16" (1037)		3'-4 13/16" (1037)		3'-4 13/16" (1037)	
	4'-0" (1219)		4'-0" (1219)		4'-0" (1219)		4'-0" (1219)		4'-0" (1219)	
	4'-11 7/8" (1521)		4'-11 7/8" (1521)		4'-11 7/8" (1521)		4'-11 7/8" (1521)		4'-11 7/8" (1521)	
	5'-11 7/8" (1826)		5'-11 7/8" (1826)		5'-11 7/8" (1826)		5'-11 7/8" (1826)		5'-11 7/8" (1826)	

• "Window Dimension" always refers to outside frame-to-frame dimension.
 • "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.
 • Dimensions in parentheses are in millimeters.

Window dimensions shown in table are compatible with standard casement window widths (CR, CN, C, CW, CXW) and heights (C3, C35, C4, C5, C6). Grille patterns shown on page 132.

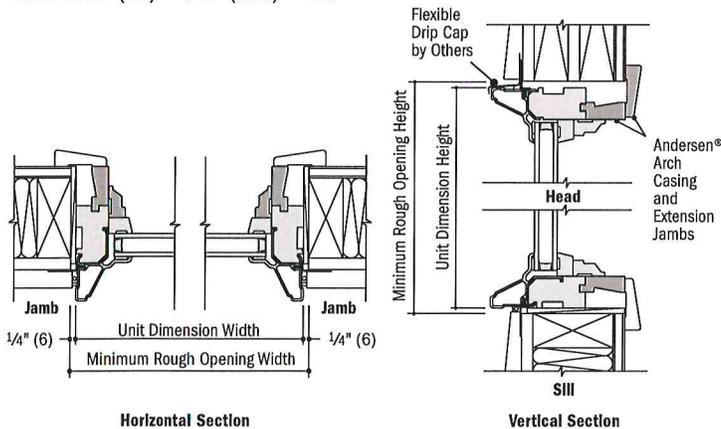
Examples:



400 Series Specialty Windows

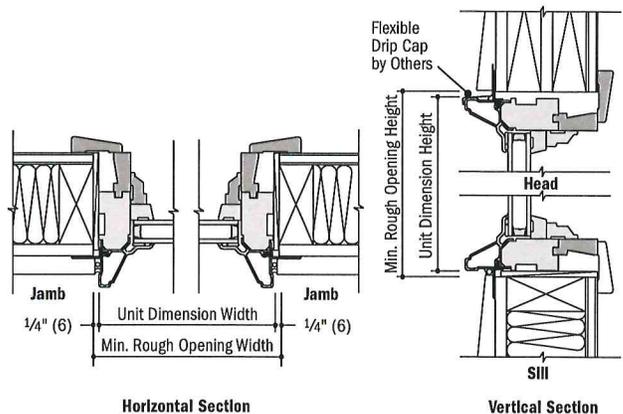
Arch Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



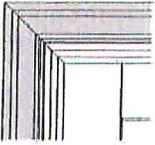
Springline™ Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



• Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
 • Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See Installation Information on pages 210-211.
 • Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
 • Dimensions in parentheses are in millimeters.

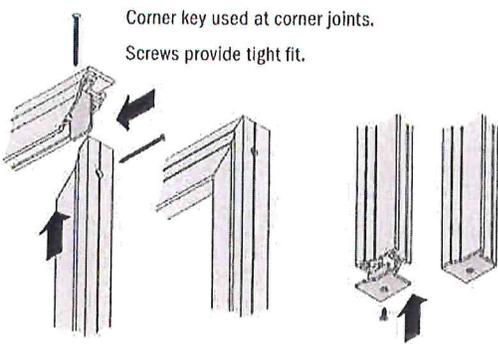
Brick Mould



Brick mould with mitered corners

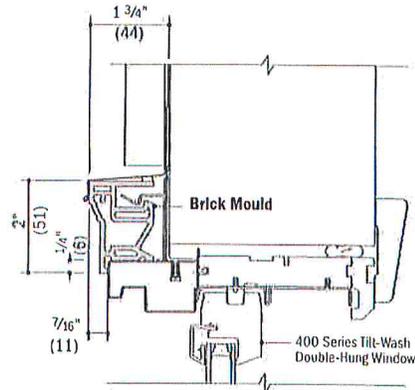
Formula for dimension of window/door plus exterior trim:

Add 1 3/4" (44) per side for brick mould



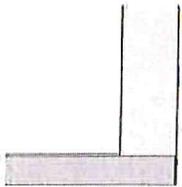
Trim Detail

Scale 3" (76) = 1'-0" (305) – 1:4

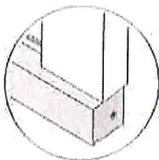


Exterior Trim

Sill Nose

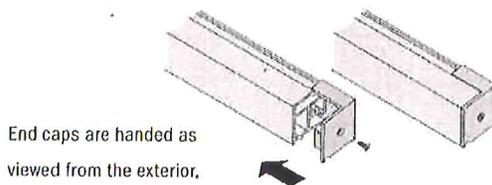


Sill nose and 3 1/2" (89) flat casing with flush corner



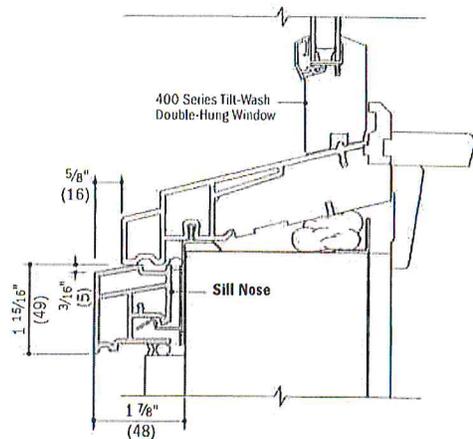
Formula for dimension of window plus exterior trim:

Add 1 15/16" (49) for sill nose



Trim Detail

Scale 3" (76) = 1'-0" (305) – 1:4



* Dimensions in parentheses are in millimeters.
* Typical trim combinations shown. Additional combinations may also be used. Some restrictions apply. For more information, contact your Andersen supplier.
* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.

10/27/2023 3:48 PM
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ANDERSEN CORPORATION

400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZ)(NON-IMPACT)

INSTALLATION NOTES:

1. ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN, UNLESS OTHERWISE STATED.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF ±1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
4. **NAILING FLANGE:** FOR INSTALLATION INTO 2X WOOD FRAME USE ONE (1) #8 WOOD SCREW OR 5d ROOFING NAIL OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
5. **NAILING FLANGE:** FOR INSTALLATION THROUGH METAL STRUCTURE ONE (1) #8 SELF-TAPPING SCREWS OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION BEYOND METAL STRUCTURE.
6. **INSTALLATION CLIP:** FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE ONE (1) 3/16 INCH ITW TAPCON PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
7. **INSTALLATION CLIP:** FOR INSTALLATION INTO 2X BUCK USE TWO (2) #8 OR ONE (1) #10 WOOD SCREWS PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
8. **INSTALLATION CLIP:** FOR INSTALLATION THROUGH METAL STRUCTURE USE TWO (2) #8 SELF-TAPPING SCREWS PER INSTALLATION CLIP OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION BEYOND METAL STRUCTURE.
9. **FASTENER THROUGH FRAME:** FOR INSTALLATION INTO 2X BUCK USE ONE (1) #10 WOOD SCREW OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
10. **FASTENER THROUGH FRAME:** FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE ONE (1) 3/16 INCH ITW TAPCON OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
11. **FASTENER THROUGH FRAME:** FOR INSTALLATION THROUGH METAL STRUCTURE USE ONE (1) #10 SELF-TAPPING SCREW OF SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM PENETRATION BEYOND METAL STRUCTURE.
12. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
13. INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
14. FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.
15. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
16. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - A. WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 - C. GROUT-FILLED CMU - UNIT STRENGTH CONFORMS TO ASTM C-90 WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AND GROUT CONFORMS TO ASTM C 476, MINIMUM GROUT COMPRESSIVE STRENGTH OF 2000 PSI.
 - D. HOLLOW BLOCK CMU - UNIT STRENGTH CONFORMS TO ASTM C-90 WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
 - E. STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 33 MILS (20 GAUGE).
 - F. ALUMINUM - ALUMINUM - 1/8" MINIMUM THICKNESS (6063-T5).

GENERAL NOTES:

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE CURRENT FLORIDA BUILDING CODE (FBC), CURRENT INTERNATIONAL BUILDING CODE AND CURRENT INTERNATIONAL RESIDENTIAL CODE, EXCLUDING HVHZ, AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - AAMA/WDMA/CSA 101/ I.S.2/A440-11
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, 2X AND METAL STUD FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
3. 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
4. THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.
5. APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED TO PROTECT THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.
6. WINDOW FRAME MATERIAL: PONDEROSA PINE OR EQUIVALENT (MIN. S.G. = 0.40)
7. GLASS MEETS THE REQUIREMENTS OF ASTM E1300 GLASS CHARTS. SEE SHEET 8 FOR GLAZING DETAILS.
8. DESIGNATIONS "X" AND "O" STAND FOR THE FOLLOWING:
 X: OPERABLE PANEL
 O: FIXED PANEL

TABLE OF CONTENTS	
SHEET	SHEET DESCRIPTION
1	GENERAL & INSTALLATION NOTES
2	ELEVATIONS & ANCHOR LAYOUTS (1)
3	ELEVATIONS & ANCHOR LAYOUTS (2)
4	SHAPES & ANCHOR SCHEDULE
5	VERTICAL SECTIONS
6	HORIZONTAL SECTIONS (1)
7	HORIZONTAL SECTIONS (2)
8	BILL OF MATERIALS, COMPONENTS & GLAZING DETAILS
9	ONE-WAY WOOD MULL TABLES & ELEVATIONS
10	TWO-WAY WOOD MULL TABLES & ELEVATION

DESIGN PRESSURE RATING		
INSTALLATION	DESIGN PRESSURE	MISSILE IMPACT RATING
INSTALLATION CLIP	+70.0 / -70.0 PSF	NON-IMPACT
FASTENER THROUGH FRAME	+70.0 / -70.0 PSF	NON-IMPACT
NAILING FLANGE INSTALLATION*	+50.0 / -50.0 PSF	NON-IMPACT

*FOR NAILING FLANGE INSTALLATION METHOD, MAX. UNITS UP TO 30 SQ. FT.



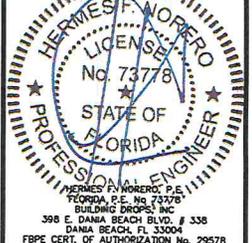
100 FOURTH AVE NORTH
 BAYPORT, MN 55003-1096
 PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZ)(NON-IMPACT)
 GENERAL & INSTALLATION NOTES
 PREPARED BY: BUILDING DROPS, INC.
 398 E. DANIA BEACH BLVD., STE. 338
 DANIA BEACH, FL 33004
 PH: (954) 944-4738
 FAX: (954) 944-4738
 WEB: www.buildingdrops.com

REMARKS	BY	DATE
4TH FBC CODE CHANGE	MS	2.22.12
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	CL	8.15.17
7TH FBC CODE CHANGE	SR	8.20.20

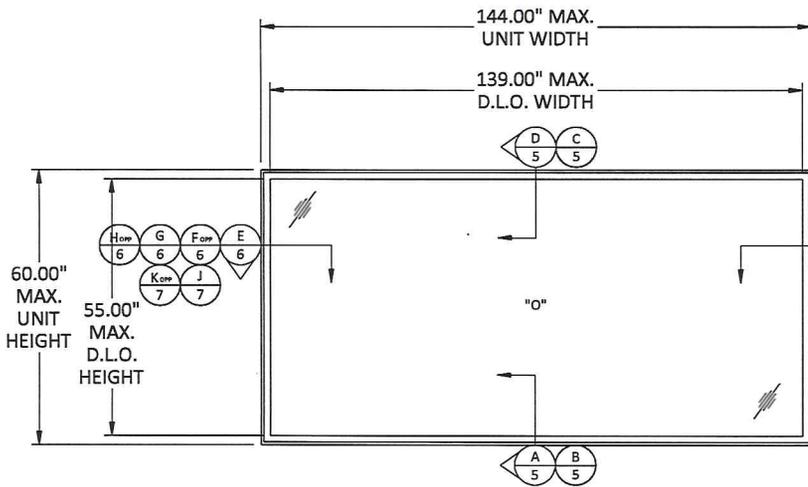
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Digitally signed by Hermes F Norero
 Reason: I am approving this document
 Date: 2020.10.15 10:28:44 -02'00'

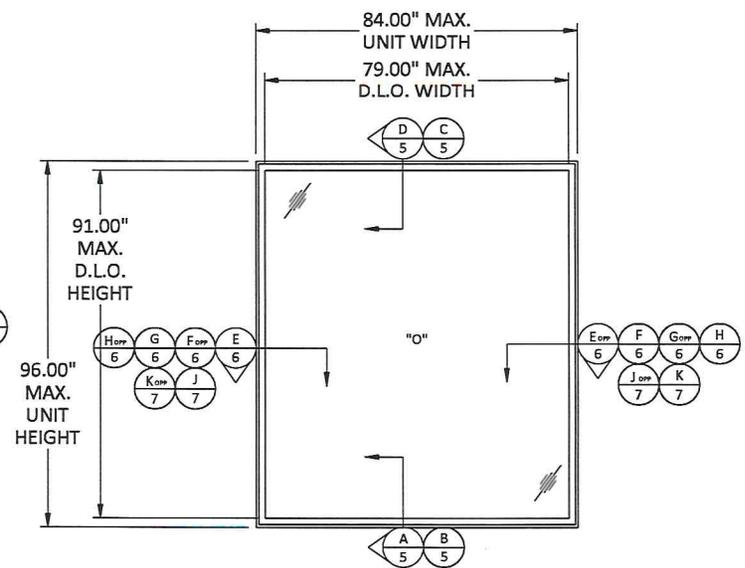


HERMES F. NORERO, P.E.
 FLORIDA, P.E. NO. 73778
 BUILDING DROPS, INC.
 398 E. DANIA BEACH BLVD. # 338
 DANIA BEACH, FL 33004
 FBPE CERT. OF AUTHORIZATION No. 29578

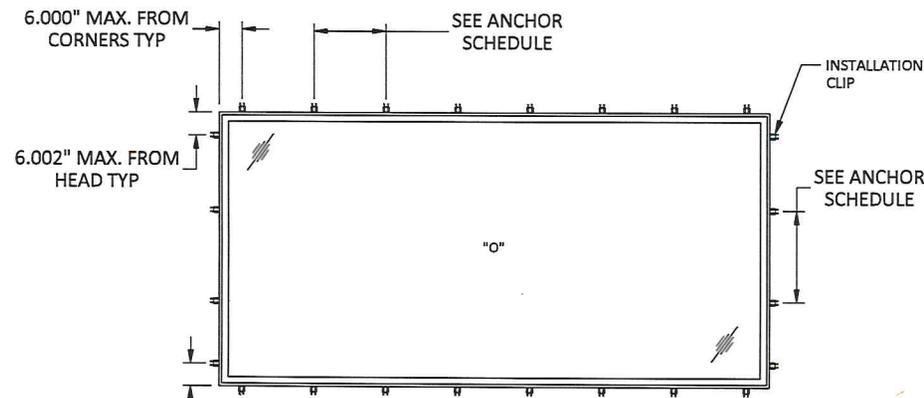
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 DATE: **08.15.17**
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 SCALE: **NTS**
 DWG. #: **AWD139**
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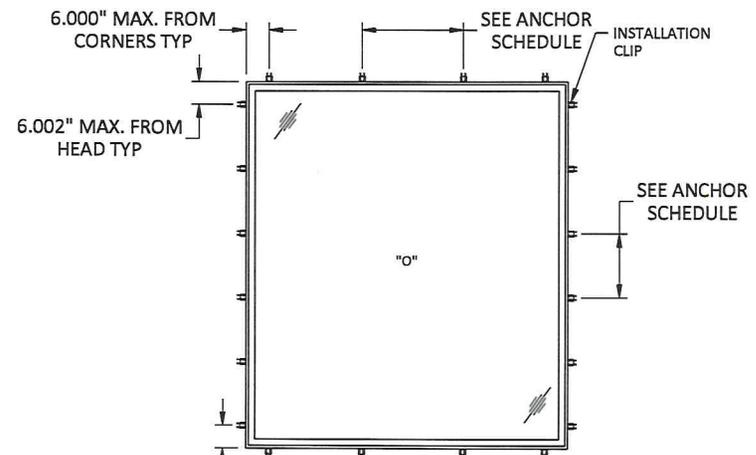
ELEVATION



ELEVATION



**ANCHOR LAYOUT
INSTALLATION CLIP OR
FASTENER THROUGH FRAME**



**ANCHOR LAYOUT
INSTALLATION CLIP OR
FASTENER THROUGH FRAME**



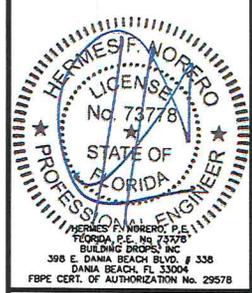
100 FOURTH AVE NORTH
BAYPORT, MN 55003-1096
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZ/ NON-IMPACT) ELEVATIONS & ANCHOR LAYOUTS (1)

PREPARED BY: BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., STE. 338
DANIA BEACH, FL 33004
PH: (954) 399-8478
FAX: (954) 741-4726
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REMARKS	BY	DATE
4TH FBC CODE CHANGE	MS	2.22.12
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	CL	8.15.17
7TH FBC CODE CHANGE	SR	8.20.20

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DWG. #:	AWD139

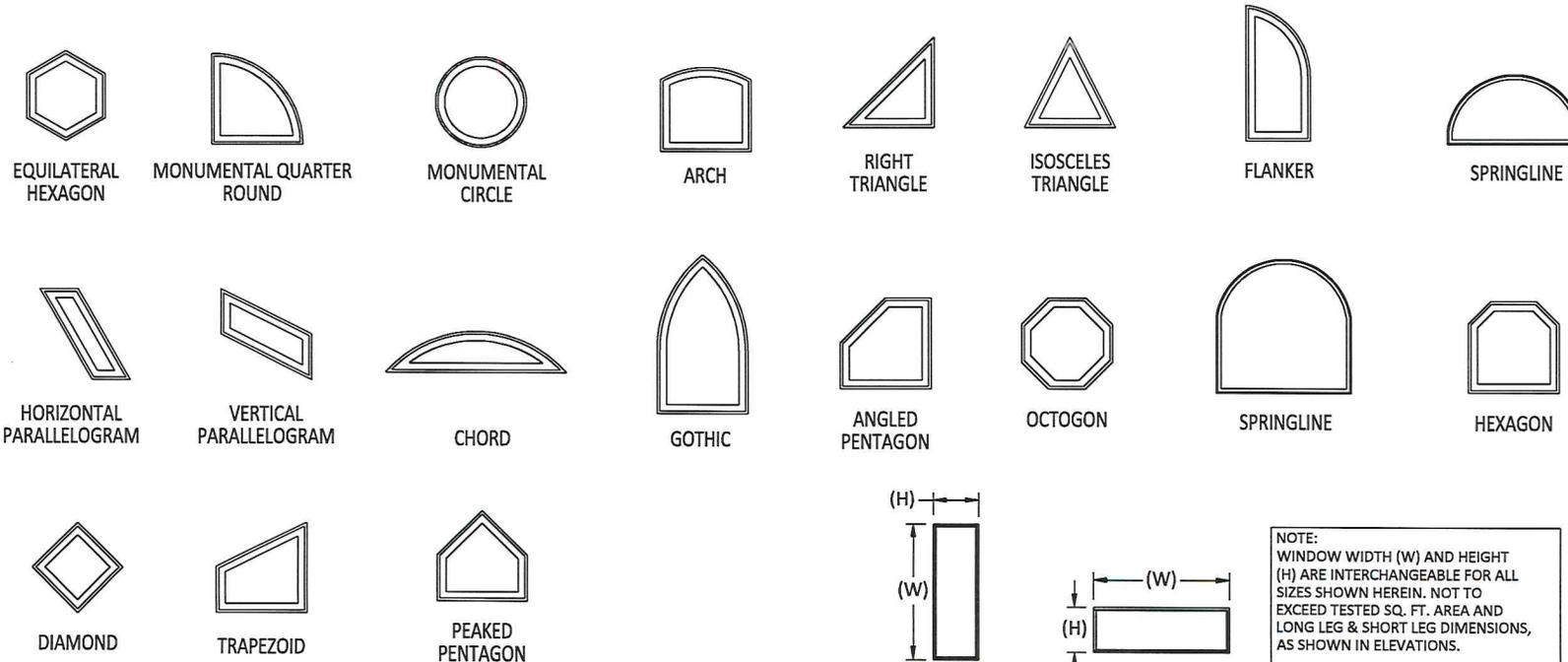
SHEET: **2** OF 10

ANCHOR SCHEDULE

INSTALLATION TYPE	QTY PER LOCATION	SUBSTRATE	ANCHOR TYPE	EMBEDMENT (IN.)	EDGE DISTANCE (IN.)	SHORT LEG MAX. O.C. DISTANCE (IN.)	LONG LEG MAX. O.C. DISTANCE (IN.)	CORNER DISTANCE (IN.)
CLIP	2	WOOD	#8 WOOD ANCHOR	1.50	0.75	22.00	21.00	6.00
CLIP	1	WOOD	#10 WOOD ANCHOR	1.50	0.75	14.50	14.00	6.00
CLIP	1	CONCRETE/MASONRY	3/16" ITW TAPCON	1.25	2.50	16.50	16.50	6.00
CLIP	2	METAL STUD	#8 SELF-TAPPING SCREW	3 THREADS	N/A	24.00	24.00	6.00
THRU FRAME	1	WOOD	#10 WOOD ANCHOR	1.50	0.75	16.50	16.50	6.00
THRU FRAME	1	CONCRETE/MASONRY	3/16" ITW TAPCON	1.25	2.50	16.50	16.50	6.00
THRU FRAME	1	METAL STUD	#10 SELF-TAPPING SCREW	3 THREADS	N/A	16.50	16.50	6.00
NAILING FIN	1	WOOD	#8 WOOD ANCHOR	1.50	0.75	8.00	8.00	6.00
NAILING FIN	1	WOOD	5D ROOFING NAIL	1.50	0.75	8.00	8.00	6.00
NAILING FIN	1	METAL STUD	#8 SELF-TAPPING SCREW	3 THREADS	N/A	8.00	8.00	6.00

NOTES:

1. NAILING FLANGE UNITS LIMITED TO DESIGN PRESSURE OF +/- 50 PSF FOR NAILING FLANGE INSTALLATION METHOD, MAX. UNITS UP TO 30 SQ. FT.
2. OVERALL WIDTH AND HEIGHT DIMENSIONS OF SHAPES SHOWN BELOW SHALL BE WITHIN AND CIRCUMSCRIBED BY MAX. OVERALL DIMENSIONS SHOWN ON SHEETS 2 & 3.
3. CURVED OR ANGLED SIDES SHALL UTILIZE THE LESSER MAX. O.C. ANCHOR SPACING BETWEEN HEAD/SILL AND JAMB SPACING AS SPECIFIED IN THE ANCHOR SCHEDULE TABLE AT LEFT



NOTE:
WINDOW WIDTH (W) AND HEIGHT (H) ARE INTERCHANGEABLE FOR ALL SIZES SHOWN HEREIN. NOT TO EXCEED TESTED SQ. FT. AREA AND LONG LEG & SHORT LEG DIMENSIONS, AS SHOWN IN ELEVATIONS.



ANDERSEN
WINDOWS & DOORS

100 FOURTH AVE NORTH
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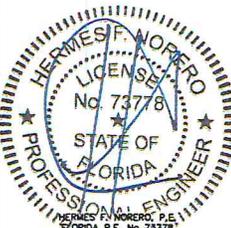
TITLE: 400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZ)/(NON-IMPACT) SHAPES & ANCHOR SCHEDULE

PREPARED BY: BUILDING DROPS, INC.
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FAX: (954) 974-4738
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REMARKS	BY	DATE
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FLORIDA P.E. NO. 73778
BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., # 338
DANIA BEACH, FL 33004
FBPE CERT. OF AUTHORIZATION NO. 29578

FL #: **FL15905**

DATE: **08.15.17**

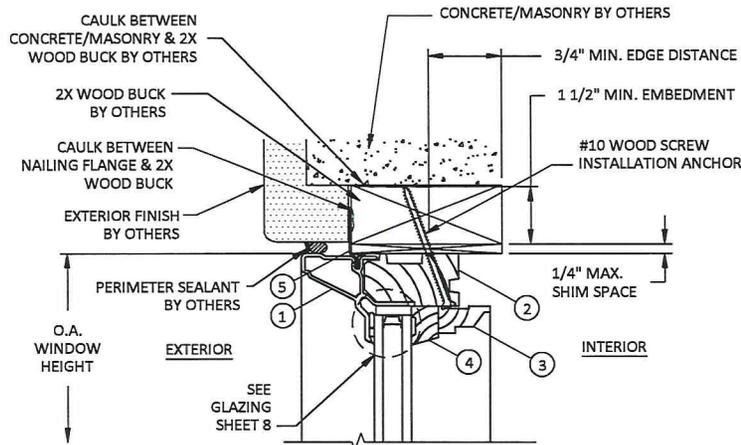
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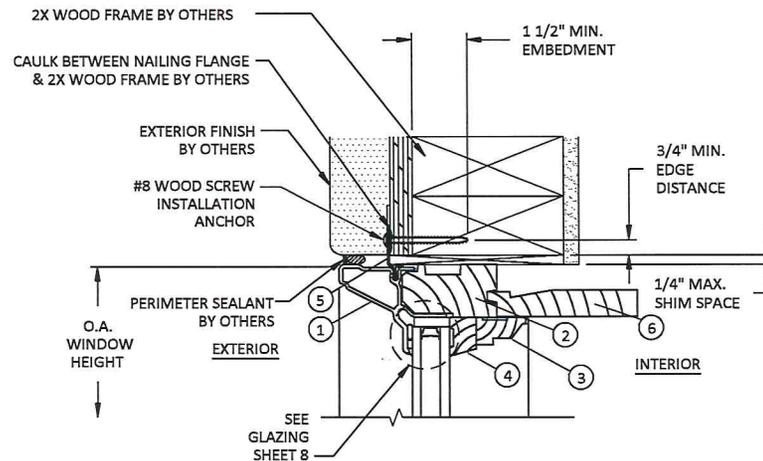
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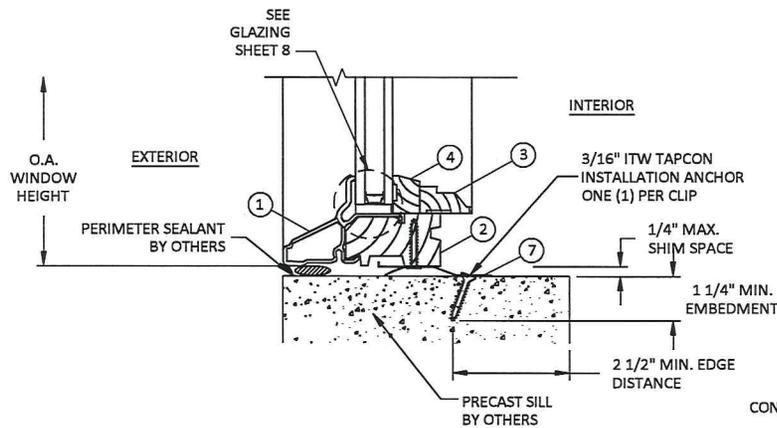
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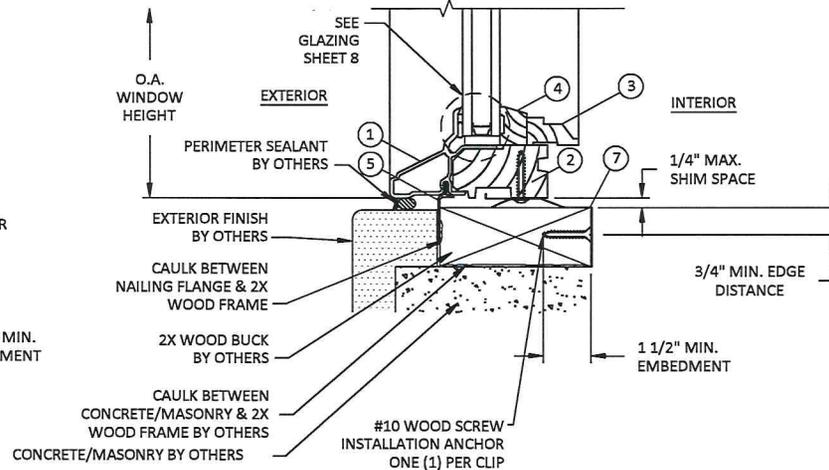
C
5 **VERTICAL SECTION**
HEAD - 2X WOOD FRAME
FASTENER THROUGH FRAME



D
5 **VERTICAL SECTION**
HEAD - 2X WOOD FRAME
NAILING FLANGE



A
5 **VERTICAL SECTION**
SILL - PRECAST CONCRETE
INSTALLATION CLIP



B
5 **VERTICAL SECTION**
SILL - 2X WOOD FRAME
INSTALLATION CLIP

NOTE: NAILING FIN USE IS REQUIRED WHEN INSTALLATION CLIP (ITEM #7) IS WRAPPED AROUND BUCK AS SHOWN IN DETAILS B/5.



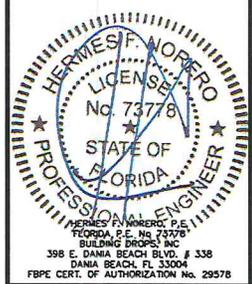
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WINDOWS & DOORS

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BAYPORT, MN 55003-1096
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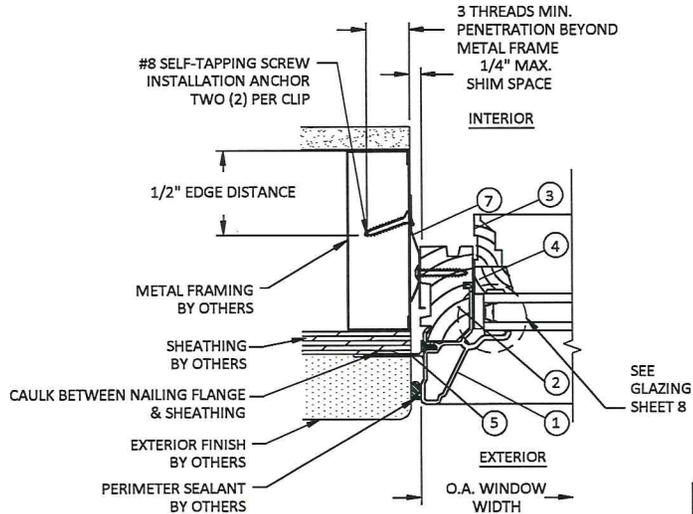
TITLE: 400 SERIES SPECIALTY WINDOW -
FLEXIFRAME, ARCH FLEXIFRAME
AND SPRINGLINE
(NON-HVHZ)(NON-IMPACT)
VERTICAL SECTIONS
PREPARED BY: BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., STE. 338
DANIA BEACH, FL 33004
TEL: (954) 974-4778
FAX: (954) 974-4778
WEB: www.buildingdrops.com

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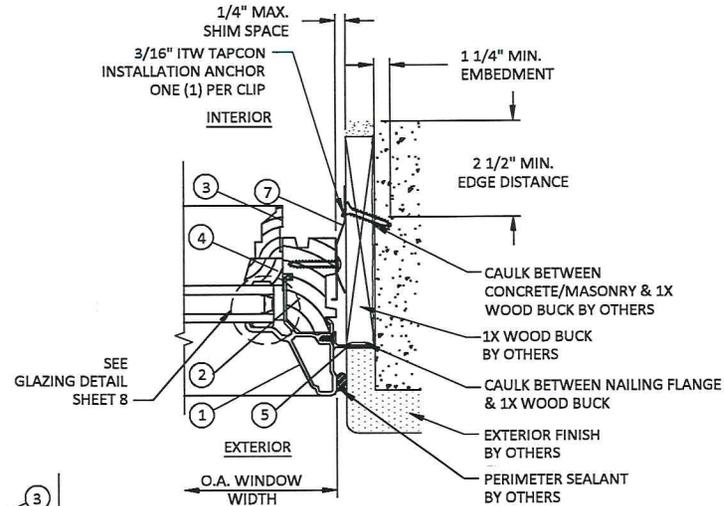
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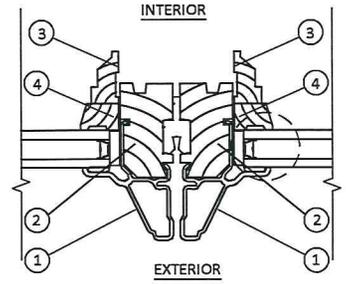
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CHK. BY:	HFN
SCALE:	NTS
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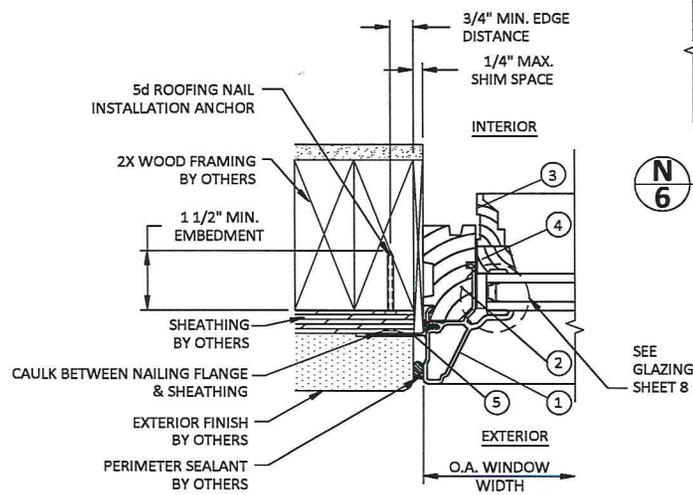
G
6
HORIZONTAL SECTION
JAMB - METAL FRAME
INSTALLATION CLIP



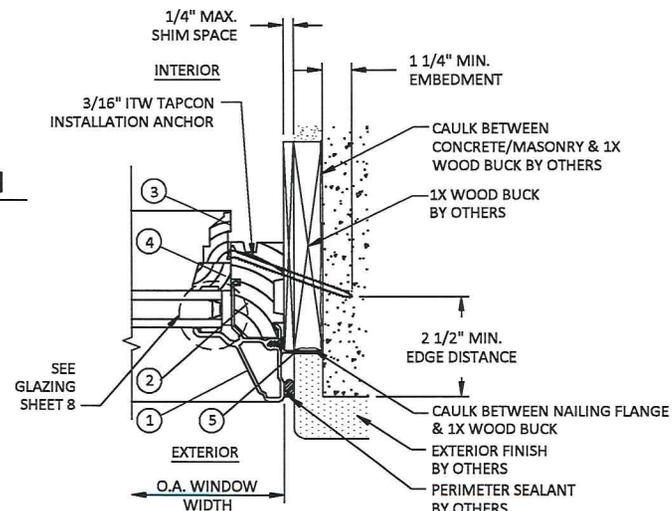
H
6
HORIZONTAL SECTION
JAMB - CONCRETE/MASONRY
INSTALLATION CLIP



N
6
HORIZONTAL SECTION
NARROW WOOD MULL



E
6
HORIZONTAL SECTION
JAMB - 2X WOOD FRAME
NAILING FLANGE



F
6
HORIZONTAL SECTION
JAMB - CONCRETE/MASONRY
FASTENER THROUGH FRAME



ANDERSEN
WINDOWS

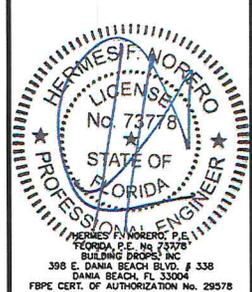
100 FOURTH AVE NORTH
BAYPORT, MN 55003-1096
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW -
FLEXIFRAME, ARCH FLEXIFRAME
AND SPRINGLINE
(NON-HVHZ)/(NON-IMPACT)
HORIZONTAL SECTIONS (1)

PREPARED BY:
BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., STE. 338
DANIA BEACH, FL 33004
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WWW: www.buildingdrops.com

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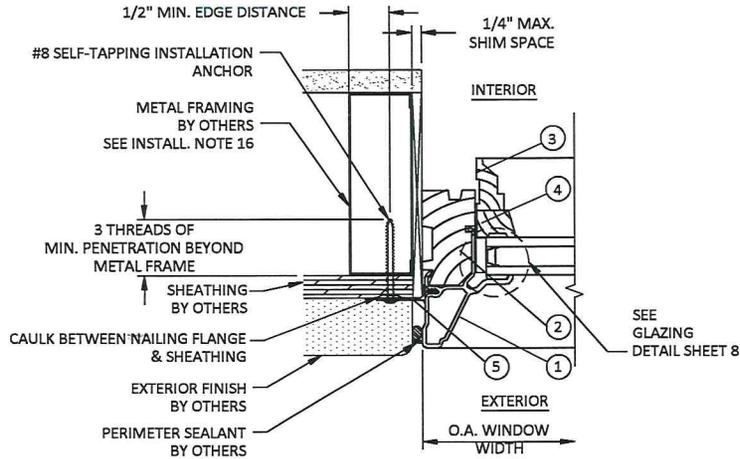
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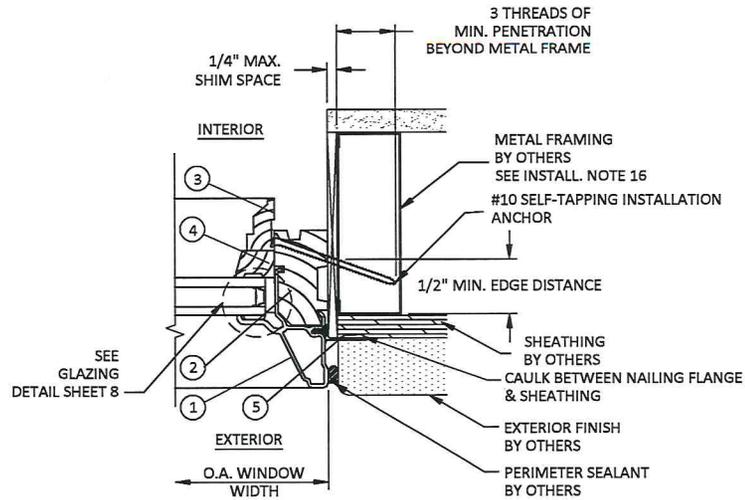
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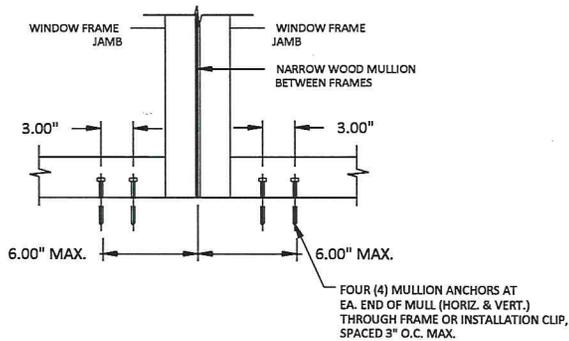
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OF 10



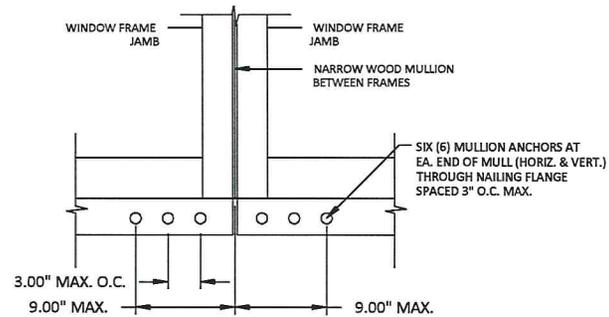
J
7 HORIZONTAL SECTION
JAMB - METAL FRAME
NAILING FLANGE



K
7 HORIZONTAL SECTION
JAMB - METAL FRAME
FASTENER THROUGH FRAME



L
7 FRONT VIEW
MULLION ANCHOR DETAIL
THROUGH FRAME/INSTALLATION CLIP



M
7 FRONT VIEW
MULLION ANCHOR DETAIL
NAILING FLANGE



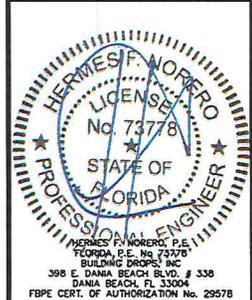
100 FOURTH AVE NORTH
BAYPORT, MN 55005-1096
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW -
FLEXFRAME, ARCH FLEXFRAME
AND SPRINGLINE
(NON-HVHZ)/(NON-IMPACT)
HORIZONTAL SECTIONS (2)

PREPARED BY:
BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., STE. 338
DANIA BEACH, FL 33004
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WWW.BUILDINGDROPS.COM

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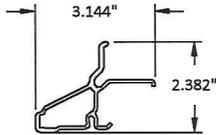
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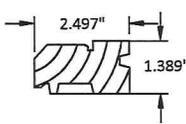
DWG. #: **AWD139**

SHEET:
7

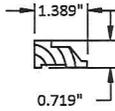
1 EXTERIOR FRAME
FIBERGLASS/ALUMINUM



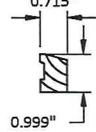
2 FRAME WOOD



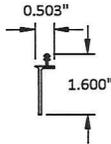
3 TRIM STOP
WOOD



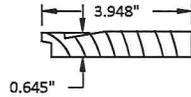
4 GLASS STOP
WOOD



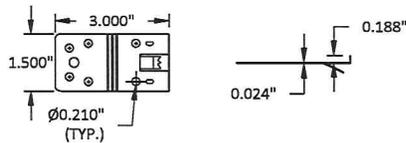
5 FLANGE
PVC



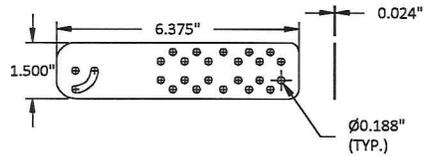
6 EXTENSION JAMB
WOOD



7 INSTALLATION CLIPS
304 SS



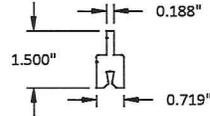
7 INSTALLATION CLIPS
304 SS



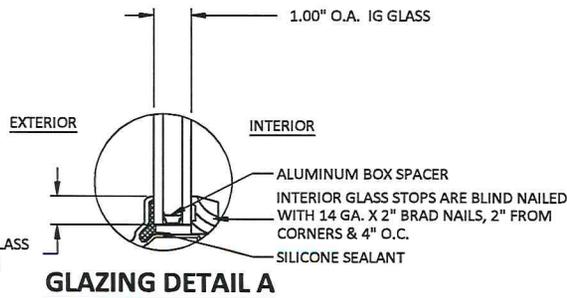
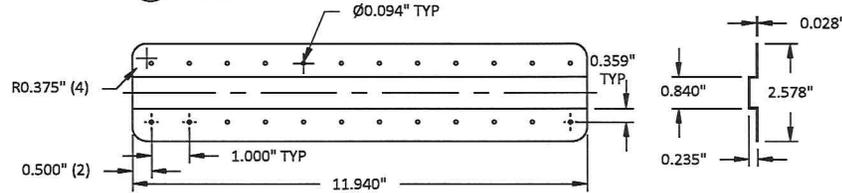
BILL OF MATERIALS			
ITEM NO.	DESCRIPTION	MATERIAL	MANUFACTURER
1	EXTERIOR FRAME	FIBERGLASS/ALUMINUM	ANDERSEN CORPORATION
2	FRAME	WOOD	ANDERSEN CORPORATION
3	TRIMSTOP	WOOD	ANDERSEN CORPORATION
4	GLASS STOP	WOOD	ANDERSEN CORPORATION
5	FLANGE	PVC	ANDERSEN CORPORATION
6	EXTENSION JAMB	WOOD	ANDERSEN CORPORATION
7	INSTALLATION CLIP	304 SS	ANDERSEN CORPORATION
8	NARROW WOOD MULLION	WOOD	ANDERSEN CORPORATION
9	NARROW WOOD MULL GUSSET PLATE	GALV. STEEL	ANDERSEN CORPORATION

NOTE: ALL WOOD COMPONENTS TO BE PONDEROSA PINE OR EQUIVALENT

8 NARROW WOOD MULLION
WOOD



9 NARROW WOOD MULL GUSSET PLATE
GALV. STEEL



GLAZING NOTES:

- GLASS TYPE & THICKNESS SHALL COMPLY WITH ASTM E1300 REQUIREMENTS AS WELL AS APPLICABLE SAFETY GLAZING REQUIREMENTS PER THE FBC. TEMPER AND SAFETY GLAZING REQUIREMENTS SHALL BE REVIEWED ON A SITE SPECIFIC BASIS.
- SETTING BLOCK DUROMETER HARDNESS OF 70-90 (SHORE A) AS REFERENCED IN FBC CHAPTER 24.
- SETTING BLOCKS TO BE LOCATED AT 1/4 SPAN LENGTH FOR GLASS WIDER THAN 36" AS PER FBC CHAPTER 24.
- D.L.O. AND DESIGN PRESSURES MAY NOT EXCEED MAX VALUES IN GLASS CHARTS.

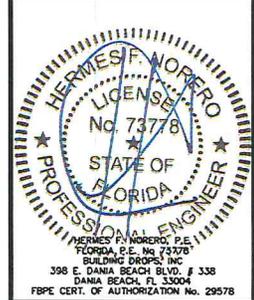


100 FOURTH AVE NORTH
BAYPORT, MN 55003-1096
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW -
FLEXIFRAME ARCH FLEXIFRAME
AND SPRINGLINE
(NON-HVHZ/NON-IMPACT)
BILL OF MATERIALS, COMPONENTS &
GLAZING DETAILS
PREPARED BY:
BUILDING DROPS, INC.
398 E. DANIA BEACH BLVD., STE. 338
DANIA BEACH, FL 33004
PH: (954) 399-8478
FAX: (954) 744-4738
WEB: www.buildingdrops.com

REMARKS	BY	DATE
4TH FBC CODE CHANGE	MS	2.22.12
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	CL	8.15.17
7TH FBC CODE CHANGE	SR	8.20.20

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DWG. #:	AWD139
SHEET:	8

Maximum Design Pressure Capacity Chart (+/- PSF)

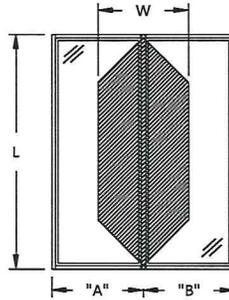
One-Way Narrow Wood Mullion

Design pressures are limited by mullion capacity only.

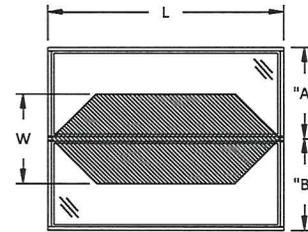
Span (L)(in)	Tributary Width (W) (in)																							
	18.0	25.0	30.0	37.0	42.0	49.0	54.0	61.0	66.0	73.0	78.0	85.0	90.0	97.0	102.0	109.0	114.0	121.0	126.0	133.0	138.0	145.0	150.0	
30.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
37.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
42.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
49.0	80.0	80.0	71.4	62.6	59.1	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4	57.4
54.0	80.0	66.5	57.4	49.5	46.0	43.4	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9	42.9
61.0	69.2	51.3	43.9	37.3	34.2	31.5	30.3	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7	29.7
66.0	58.9	43.4	37.0	31.2	28.4	25.8	24.6	23.7	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5	23.5
73.0	47.9	35.2	29.8	25.0	22.6	20.3	19.1	18.0	17.6	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4	17.4
78.0	39.5	29.0	24.6	20.6	18.7	16.7	15.8	14.8	14.4	14.3	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2	14.2
85.0	30.4	22.3	18.9	15.7	14.2	12.6	11.8	11.0	10.5	10.4	10.3	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2	10.2
90.0	25.6	18.7	15.8	13.1	11.8	10.5	9.7	9.0	8.6	8.5	8.3	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1	8.1
97.0	20.4	14.9	12.5	10.4	9.3	8.2	7.6	7.0	6.7	6.5	6.3	6.1	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
102.0	18.0	13.1	11.1	9.1	8.2	7.2	6.7	6.1	5.8	5.4	5.3	5.1	5.0	4.9	4.9	4.9	4.9	4.9	4.9	4.9	4.9	4.9	4.9	4.9
109.0	14.7	10.7	9.0	7.4	6.6	5.8	5.4	4.9	4.6	4.3	4.2	4.0	3.9	3.8	3.8	3.8	3.8	3.8	3.8	3.8	3.8	3.8	3.8	3.8
114.0	12.9	9.4	7.9	6.5	5.8	5.0	4.7	4.2	4.0	3.7	3.6	3.4	3.3	3.2	3.2	3.2	3.1	3.1	3.1	3.1	3.1	3.1	3.1	3.1
121.0	10.8	7.8	6.6	5.4	4.8	4.2	3.9	3.5	3.3	3.1	2.9	2.8	2.7	2.6	2.6	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5

NOTE:

- MULLION CHART APPLIES TO NARROW WOOD MULLION ASSEMBLIES, SEE TYP. DETAIL N/6, WHEN USED TO MULL WINDOWS IN CONFIGURATIONS SHOWN IN ELEVATIONS A & B BELOW.
- DESIGN PRESSURE VALUES ARE POSITIVE AND NEGATIVE IN PSF.
- MAXIMUM DEFLECTION HAS BEEN LIMITED TO L/175.
- DESIGN PRESSURE OF ASSEMBLY IS LIMITED TO THE LESSER DESIGN PRESSURE OF THE NARROW WOOD MULLION OR THE INDIVIDUAL WINDOW UNIT OF INSTALLATION.
- MULLION CHART ABOVE APPLIES TO MULLED ASSEMBLIES CONSISTING OF 400 SERIES DIRECT SET FLEXIFRAME WINDOWS, DIRECT SET VINYL CLAD WINDOWS, CASEMENT WINDOWS, AND/OR AWNING WINDOWS.
- ADJACENT WINDOWS SHALL BE FASTENED TO THE ROUGH OPENING WITH ADDITIONAL ANCHORS IN ACCORDANCE WITH DETAILS L/7 & M/7, SHEET 7.



ELEVATION A
TRIBUTARY WIDTH = $W = (A+B)/2$



ELEVATION B
TRIBUTARY WIDTH = $W = (A+B)/2$

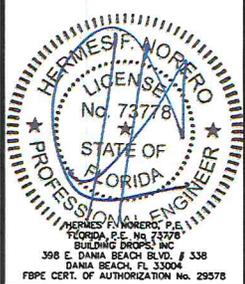


100 FOURTH AVE NORTH
BAYPORT, MN 55003-1056
PH: (651) 264-5150 FX: (651) 264-5485

TITLE: 400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZ)/(NON-IMPACT) ONE-WAY WOOD MULL TABLES & ELEVATIONS
PREPARED BY: BUILDING DROPS, INC. 398 E. DANIA BEACH BLVD., STE. 338 DANIA BEACH, FL 33004 PH: (954) 939-8478 FAX: (954) 744-4738 WEB: www.buildingdrops.com

REMARKS	BY	DATE
4TH FBC CODE CHANGE	MS	2.22.12
5TH FBC CODE CHANGE	SM	4.14.15
6TH FBC CODE CHANGE	CL	8.15.17
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FL #: **FL15905**
DATE: **08.15.17**
DWG. BY: **CL** | CHK. BY: **HFN**
SCALE: **NTS**
DWG. #: **AWD139**
SHEET: **9** OF 10

10/5/2009 3:48 PM

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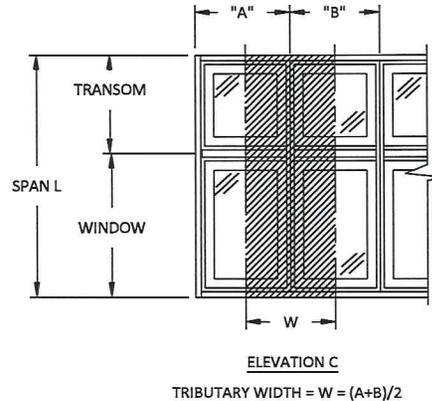
Maximum Design Pressure Capacity Chart
Two-Way Narrow Wood Mullion

Design pressures are limited by mullion capacity only.

Span (L) (in.)	Tributary Width (W) (in)																
	18.0	25.0	30.0	37.0	42.0	49.0	54.0	61.0	66.0	73.0	78.0	85.0	90.0	97.0	102.0	109.0	
30.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	75.8	68.5	64.1	58.8	55.6	51.6	49.0	45.9
36.0	80.0	80.0	80.0	80.0	80.0	70.9	64.3	56.9	52.6	47.6	44.5	40.9	38.6	35.8	34.1	31.9	
42.0	80.0	80.0	80.0	69.0	60.8	52.1	47.3	41.8	38.7	35.0	32.7	30.0	28.4	26.3	25.0	23.4	
48.0	80.0	78.2	65.1	52.8	46.5	39.9	36.2	32.0	29.6	26.8	25.0	23.0	21.7	20.1	19.2	17.9	
54.0	80.0	61.8	51.5	41.7	36.8	31.5	28.6	25.3	23.4	21.1	19.8	18.2	17.2	15.9	15.1	14.2	
60.0	69.5	50.0	41.7	33.8	29.8	25.5	23.2	20.5	18.9	17.1	16.0	14.7	13.9	12.9	12.3	11.5	
66.0	57.4	41.3	34.4	27.9	24.6	21.1	19.1	16.9	15.7	14.2	13.2	12.2	11.5	10.7	10.1	9.5	
72.0	48.2	34.7	28.9	23.5	20.7	17.7	16.1	14.2	13.2	11.9	11.1	10.2	9.6	9.0	8.5	8.0	
78.0	41.1	29.6	24.7	20.0	17.6	15.1	13.7	12.1	11.2	10.1	9.5	8.7	8.2	7.6	7.3	6.8	
84.0	33.3	24.4	20.6	17.0	15.2	13.0	11.8	10.5	9.7	8.7	8.2	7.5	7.1	6.6	6.3	5.9	
90.0	27.0	19.7	16.6	13.7	12.2	10.7	9.8	8.7	8.1	7.4	7.0	6.4	6.1	5.7	5.4	5.1	
96.0	22.2	16.2	13.7	11.2	10.0	8.7	8.0	7.2	6.7	6.1	5.7	5.3	5.0	4.7	4.4	4.2	
102.0	18.4	13.5	11.3	9.3	8.3	7.2	6.6	5.9	5.5	5.0	4.7	4.4	4.2	3.9	3.7	3.5	
108.0	15.5	11.3	9.5	7.8	7.0	6.1	5.5	5.0	4.6	4.2	4.0	3.7	3.5	3.2	3.1	2.9	
114.0	13.2	9.6	8.1	6.6	5.9	5.1	4.7	4.2	3.9	3.6	3.4	3.1	3.0	2.8	2.6	2.5	
120.0	11.3	8.2	6.9	5.7	5.0	4.4	4.0	3.6	3.3	3.1	2.9	2.7	2.5	2.4	2.2	2.1	

NOTE:

- MULLION CHART APPLIES TO NARROW WOOD MULLION ASSEMBLIES, SEE DETAIL N/6, WHEN USED TO MULL WINDOWS IN CONFIGURATIONS SHOWN IN TYP. ELEVATION C BELOW.
- DESIGN PRESSURE VALUES ARE POSITIVE AND NEGATIVE IN PSF.
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- ADJACENT WINDOWS SHALL BE FASTENED TO THE ROUGH OPENING WITH ADDITIONAL ANCHORS IN ACCORDANCE WITH DETAILS L/7 & M/7, SHEET 7.

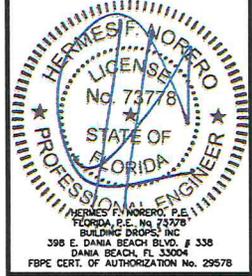


100 FOURTH AVE NORTH
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TITLE: 400 SERIES SPECIALTY WINDOW - FLEXIFRAME, ARCH FLEXIFRAME AND SPRINGLINE (NON-HVHZI/NON-IMPACT) TWO-WAY WOOD MULL TABLES & ELEVATION
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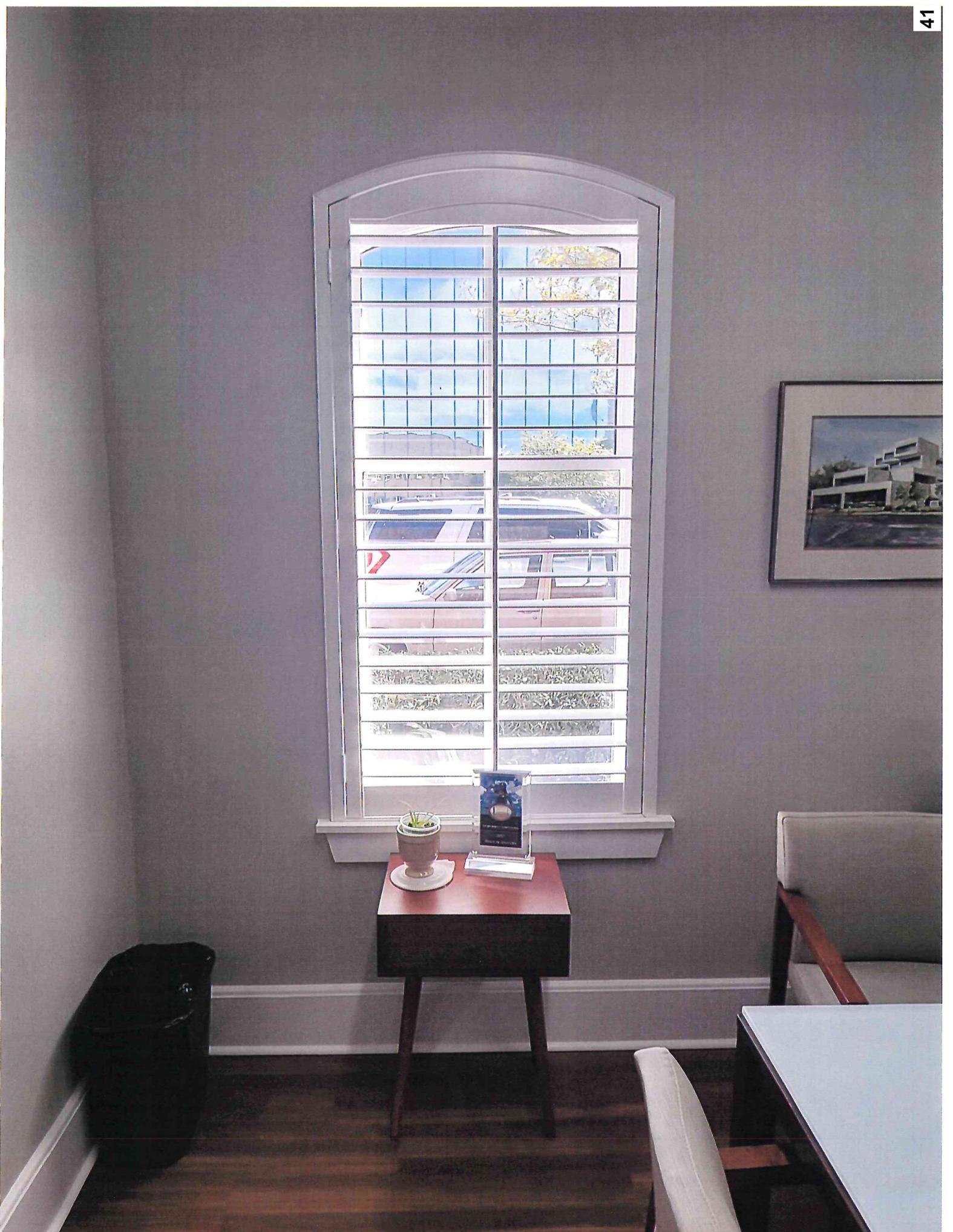
REMARKS	BY	DATE
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SHEET:	10











































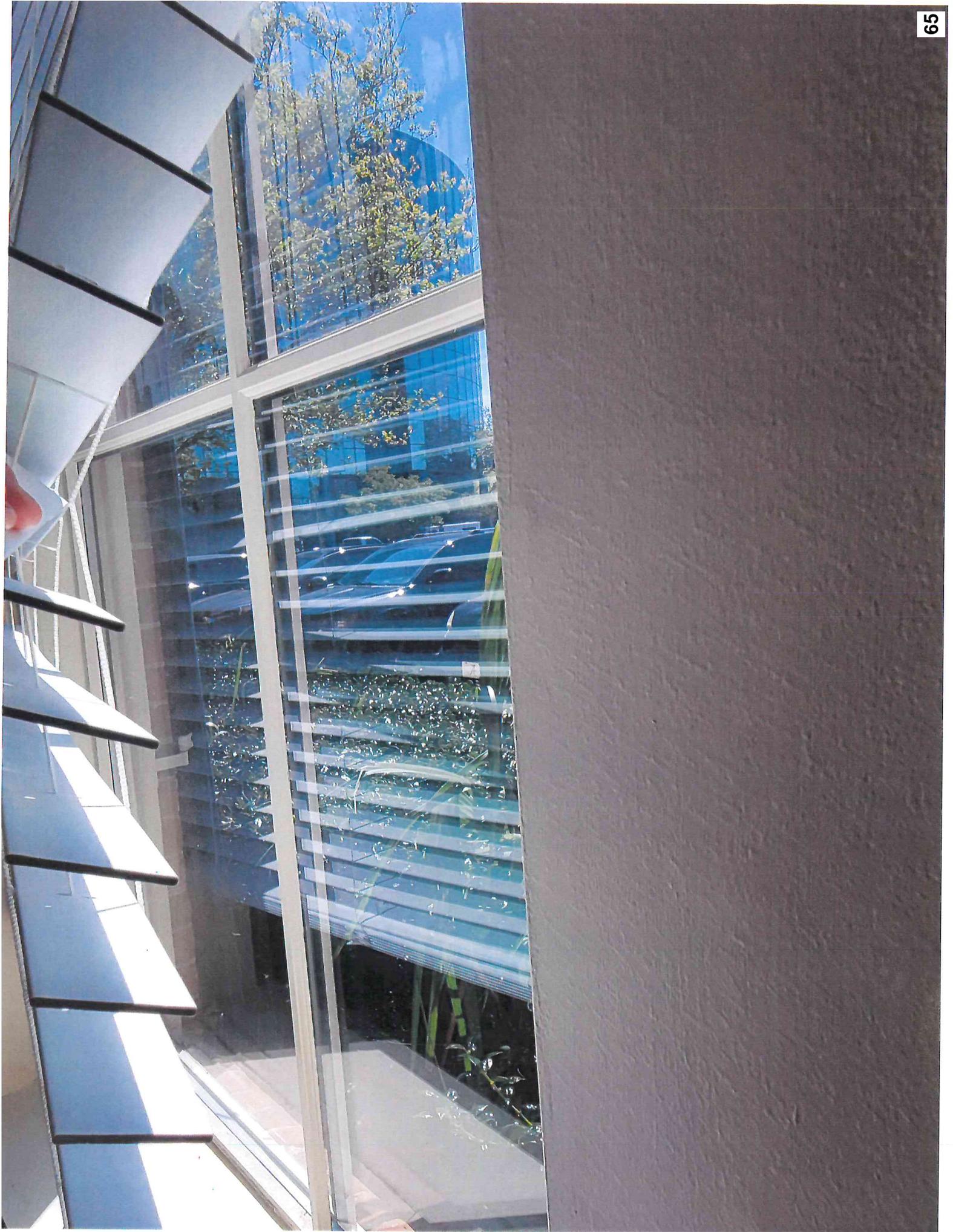






EM
SH
& C







ESC Build Out II (Lease Space)
Acentria
112 W Romana St • Pensacola,
FL 32502

Thu, Mar 16 01:24 PM
by Arcadia's Photos



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00311

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

119 W. Gadsden Street
North Hill Preservation District / Zone PR-2 / City Council District 6
Addition of a Side Deck and Door on a Contributing Structure

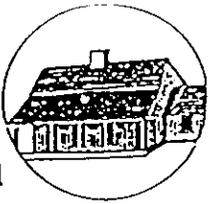
BACKGROUND:

Carla Nolen is requesting approval for the addition of a side deck made of composite decking and the removal of one door to be replaced with a clad wood, outswing double door with full pane glass.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)g. Restoration, rehabilitation, alterations or additions to existing contributing structures in the North Hill preservation district.



HISTORICAL STRUCTURE FORM
FLORIDA SITE FILE
Version 2.0 7/92

Site #8 ES00649
Recorder #
Field Date 5/1/95
Form Date 6/30/95

Original
 Update

SITE NAMES (addr. if none) EMILY C. WRIGHT RENTAL HOUSE [MULT. LIST. #8]
SURVEY NORTH HILL [SURVEY # 4758]
NATIONAL REGISTER CATEGORY building structure district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 119 W. GADSDEN ST.
CROSS STREETS nearest/between BETW. N. BAYLEN AND N. SPRING ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS yes no
COUNTY ESCAMBIA TAX PARCEL # 9010-061-024
SUBDIVISION NAME NORTH HILL BLOCK 24 LOT NO 1, 12, p 6-10
OWNERSHIP private-profit priv-nonprofit priv-indiv priv-unspecified city county state federal unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 25 S RANGE 30 W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
[UTM: ZONE 16 17 EASTING | | | | | 0 | NORTHING | | | | | 0 |]
PLAT OR OTHER MAP (Map's name, location)

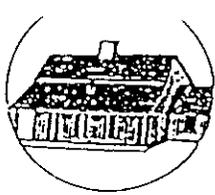
DESCRIPTION

STYLE FRAM EXTERIOR PLAN RECT NO. STORIES 1.5
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types HIP Materials SHCO
Secondary strucs. (dormers etc.) DRHI
CHIMNEY: No. 1 Materials BRIC LOCATIONS EXTERIOR EAST
WINDOWS (types, materials, and placements) DHS 1/1, WOOD- LOUVERED SHUTTERS

MAIN ENTRANCE (stylistic details)
PORCHES: #open ___ #closed ___ #incised ___ Locations ___
Porch roof types
EXTERIOR ORNAMENT 6 PANEL DOOR, TRANSOM WITH SIDE LIGHTS; FULL
ENTABLATURE WITH DENTILS
INTERIOR PLAN CONDITION: excellent good fair deteriorated ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial residential institutional rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)
THIS FRAME VERNACULAR SHOWS CLASSICAL INFLUENCES BY ITS NEAR SYMMETRICAL
CONSTRUCTION AND ENTABLATURED DOOR WITH TRANSOM AND SIDELIGHTS.



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1905 CIRCA yes no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES yes no Dates _____ Orig. addr. _____
 ALTERATIONS yes no Dates 1987 Nature SCREEN PORCH ENCLOSED
 ADDITIONS yes no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) EMILY C. WRIGHT (ORIGINAL)
JOHN M. ALDRIDGE JR AND CAROLYN L. ALDRIDGE

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	Local Designation Category _____ _____
Individually elig. for Nat. Register?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	
Potential contributor to NR district?	<input type="checkbox"/> yes	<input type="checkbox"/> no	<input type="checkbox"/> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R5, F17-18

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DEER USE ONLY	OFFICIAL EVALUATIONS		DEER USE ONLY
NR DATE	KEEPER-NR ELIGIBILITY	<input type="checkbox"/> y <input type="checkbox"/> n <input type="checkbox"/> pe <input type="checkbox"/> ii	Date
DEER USE ONLY	SHPO-NR ELIGIBILITY	<input type="checkbox"/> y <input type="checkbox"/> n <input type="checkbox"/> pe <input type="checkbox"/> ii	Date
	LOCAL DESIGNATION		Date
	Local office		Date

- REQUIRED:
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



BM 87

70

EC00649

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
 1009 ==

Site No. ES 649
 Site Name Wright, Emily C. Rental 830 == Survey Date 8005 820 ==
 Address of Site: 119 W. Gadsden Street, Pensacola, FL 32501 905 ==
 Instruction for locating S side of W. Gadsden Street between N. Baylen Street and
N. Spring Street 813 ==
 Location: Belmont Tract 24 port. 6-10, 11, 12 868 ==
subdivision name block no. Tot No.
 County: Escambia 808 ==
 Owner of Site: Name: Olsen, Richard G. and Karen E. ;
 Address: 119 W. Gadsden Street, Pensacola, FL 32501
 902 ==
 Type of Ownership private 848 == Recording Date 832 ==
 Recorder:
 Name & Title: Gantzhorn, Alan; Guedez, Susan ;
 Address: HPPB 818 ==

Condition of Site: Integrity of Site: Original Use residence 838 ==
 Check One Check One or More
 Excellent 863 == Altered 858 ==
 Good 863 == Unaltered 858 ==
 Fair 863 == Original Site 858 ==
 Deteriorated 863 == Restored () (Date:) () 858 ==
 Moved () (Date:) () 858 ==
 Present Use residence 850 ==
 Dates: Beginning +1905 844 ==
 Culture/Phase American 840 ==
 Period 20th century 845 ==

NR Classification Category: District 916 ==

Threats to Site:

Check One or More
 Zoning () () 878 == Transportation () () 878 ==
 Development () () 878 == Fill () () 878 ==
 Deterioration () () 878 == Dredge () () 878 ==
 Borrowing () () 878 ==
 Other (See Remarks Below): 878 ==

Areas of Significance: Architecture, History 910 ==

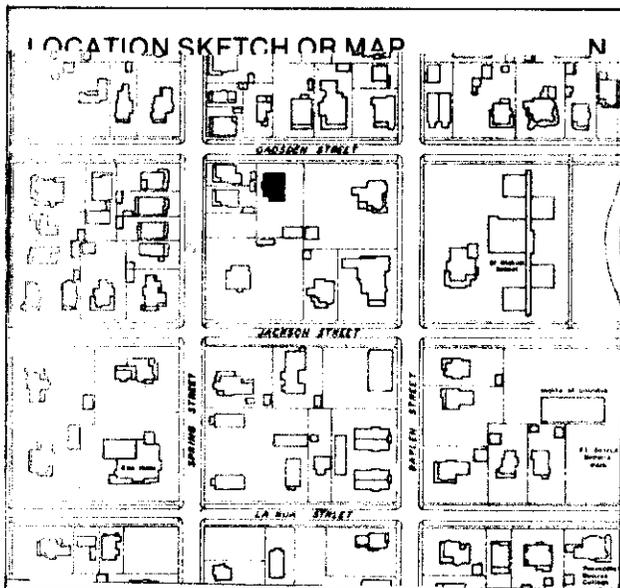
Significance:

This frame house shows classical influences in its near-symmetrical construction and its entablatured door with transom and side lights. It was constructed as a rental unit by Emily C. Wright, widow of Henry T. Wright, a lumber merchant.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

911 ==

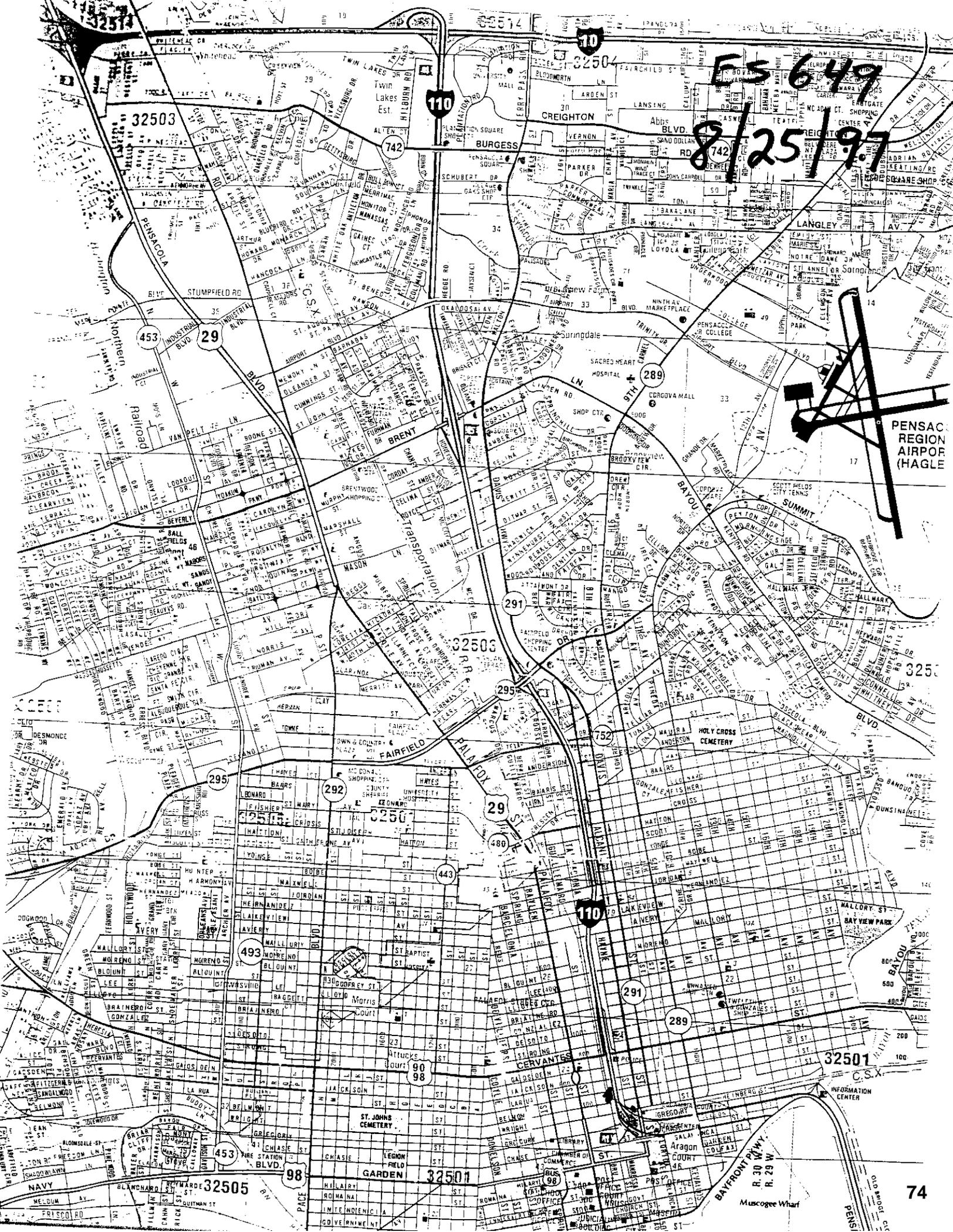
ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame vernacular 964 ==
 PLAN TYPE Rectangular 966 ==
 EXTERIOR FABRIC(S) wood, clapboard 854 ==
 STRUCTURAL SYSTEM(S) wood frame 856 ==
 PORCHES E/ 1 story porch with unfluted columns, screened, 1 bay
 942 ==
 FOUNDATION: brick pier 942 ==
 ROOF TYPE: hipped 942 ==
 SECONDARY ROOF STRUCTURE(S): hipped dormers NE&W 942 ==
 CHIMNEY LOCATION: Ext E within porch 942 ==
 WINDOW TYPE: DHS, 1/1, wood; louvered shutters 942 ==
 CHIMNEY: brick 882 ==
 ROOF SURFACING: composition shingle, butt 882 ==
 ORNAMENT EXTERIOR: 6 panel door, transom with sidelights, full entablature 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 1 1/2 950 ==
 NO. OF DORMERS 3 954 ==
 Map Reference (incl. scale & date) USGS 7.5 MIN Pensacola 1970; North Hill,
Gordon Richmond, 1974 809 ==
 Latitude and Longitude: " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



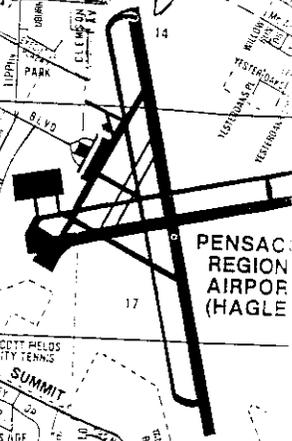
Township	Range	Section	
2S	30W	19	812 ==
UTM Coordinates:			
Zone	Easting	Northing	890 ==

Photographic Records Numbers HPPB P80. 12, Fr 25A; NH 10-26,27 860 ==

Contact Print



ES 649
8725197



PENSACOLA REGION AIRPORT (HAGLE)



119 W. Gadsden Street





Architectural Review Board Application
Full Board Review

Application Date: 3/23/2023

Project Address: 119 W. Gadsden Street

Applicant: Carla Nolen

Applicant's Address: 119 W. Gadsden Street

Email: carla@thenolens.com Phone: 617-840-3070

Property Owner: Douglas Berk / Carla Nolen

District: PHD NHPD OEHPD PHBD GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

Add a side deck to the home so that the 2nd story "door to no-where" is usable and so that the historic steps are made safe with the addition of a banister. Remove one window and replace with a double door in the same style for access to the deck from the kitchen.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Carla Nolen
Applicant Signature

3/23/2023
Date



REPLACE WITH
KOLBE CLAD
OUTSWING DOUBLE
DOORS
(PICS)







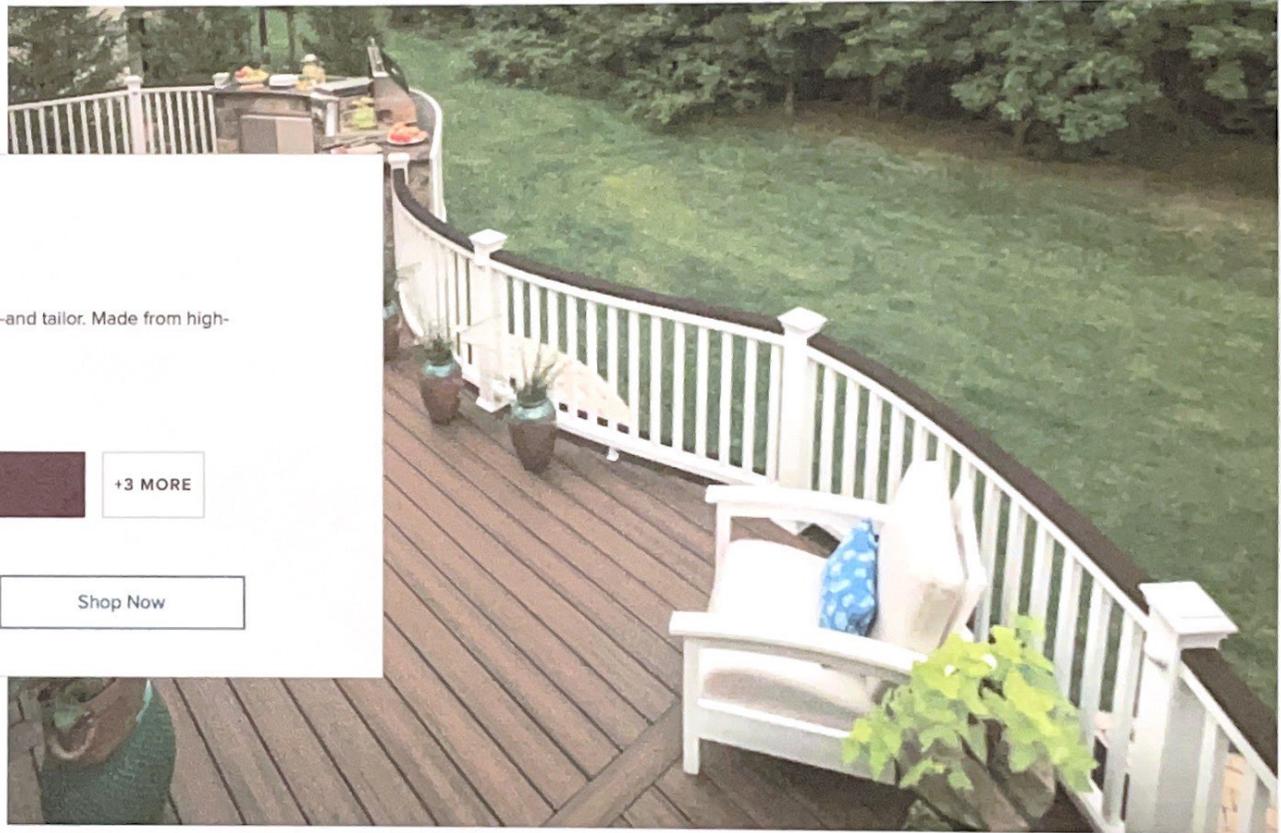
Streetscape 1 of 2



Street
scape
2 of 2



DECK - AS SHOWN (Railing)



BETTER

Trex Transcend®

Timeless design you can trust—and tailor. Made from high-performance composite.

Color: Classic White



+3 MORE

[Learn More](#)

[Shop Now](#)

DECK AS SHOWN - (color)

Trex Select® Composite Decking

FEATURES

GALLERY

PROFILES

INSPIRATION

Shop Now

High Performance

Trex Select stands up to both weather and weekend mishaps alike, thanks to its high-performance shell. It resists stains and mold better than traditional composites.

Perennial Beauty

Trex Select comes in five nature-inspired colors that pair smartly with any home, and offers a soft, splinter-free finish that's comfortable underfoot.

Sustainable Style

Select decking uses 95% recycled plastic film and reclaimed sawdust, and is backed by our [35-Year Limited Residential Fade & Stain Warranty](#).

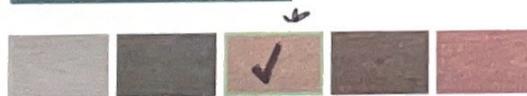
Select Saddle

Select Saddle is a sunny medium brown with an easy-to-maintain, wood-like grain pattern, making it the simple choice.

[Read more](#)

12 Inch Composite Deck Board Sample \$5.00

Order a Sample



Outswing Doors

Outswing doors are available with the same multitude of options as inswing doors, but swing outward for areas that have indoor space constraints. Outswing entrance and patio doors are available in single, double and French units, and can be customized with sidelites or transoms to create a distinctive opening.



✓ DOORS

Outswing Door Standard Features

- ▶ 1-3/4" thick panel prehung in a 1-1/16" frame
- ▶ Overall jamb width is 4-9/16"
- ▶ Stiles and top rails are a nominal 4-5/8" wide; bottom rail is a nominal 7-9/16" high
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mullied units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating *(meets performance requirements of AAMA 2605)*
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, tempered Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Toronto handle set in Bright Brass PVD[†] finish
- ▶ Stainless steel multi-point locking hardware on single door panels; French doors have a 3-point lock on the active panel and a 2-point lock on the less active panel
- ▶ Non-adjustable, residential, 4" x 4" ball-bearing hinges with 1/4" radius corners in a Bright Brass finish
- ▶ Bronze anodized aluminum bumper sill with oak interior threshold
- ▶ Heavy vinyl nailing fins with head drip caps*
- ▶ Raised panels and/or glass lites

NOTE: All measurements are nominal.

* Standard only on units without brickmould.

[†]PVD (Physical Vapor Deposition) finish is an application over the color which helps protect the finish from tarnishing, peeling, and cracking.

Hardware

See entire swinging door hardware selection on pgs. 154-157.

Divided Lite Options

Expand the character of your home or project by adding one of our divided lite options to your windows and doors. Choose anything from a traditional, colonial-style pattern to a unique, custom design to accentuate the overall appearance of your project. Kolbe offers two types of divided lites for Ultra Series products: performance divided lites and grilles-in-the-airspace. As standard, wood bars have a beveled profile, however, an ovolo profile or a square profile is also available. Divided lite cross section drawings can be found on pg. 213.

Performance Divided Lites

Kolbe's performance divided lite (PDL) glazing system gives the appearance of true divided lites without sacrificing energy efficiency. Extruded aluminum bars are adhered to the exterior and pine bars are adhered to the interior of the single lite of insulating glass. Aesthetically pleasing spacer bars are installed within the insulating glass unit. Together, these bars create the illusion of true divided lites. PDL bars are available in 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bar widths. The exterior finish of the aluminum bars will match the exterior finish on the unit. Variations on the PDL option may include custom grille patterns, custom bar widths or no spacer bars. Some designs may have a composite material for the exterior PDL bar.



Beveled



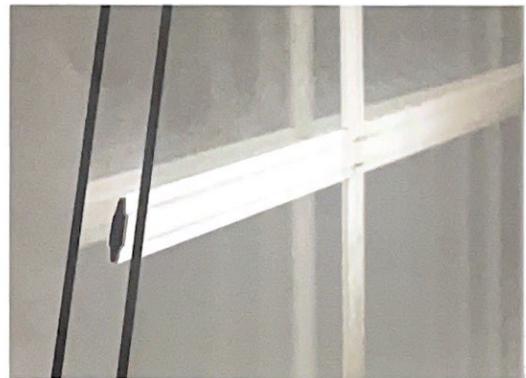
Ovolo



Square

Grilles-in-the-Airspace

Grilles-in-the-airspace are constructed with aluminum bars sealed between two panes of insulating glass, offering the look of divided panes while reducing cleaning time. For units with 7/8" insulating glass, contoured, 3/4" wide bars are standard in White, Beige, Sand, Rustic, Hartford Green and Chutney. Optional colors are light wood and dark wood faux finishes. Two-tone contour or flat grilles are available with either light or dark wood faux finishes to the interior and White to the exterior. Also available for 7/8" insulating glass are 5/16" wide Brass and Pewter pencil bars.



Glazing Beads & Muntin Bars

As standard, glazing beads have a beveled profile, but may also be ordered with an ovolo or square profile. Matching muntin bars are available on units with performance divided lites (PDL). Units will have beveled muntin bars on the exterior, regardless of which profile is chosen for the interior. (See divided lite cross section drawings on pg. 213).



Beveled



Ovolo



Square



FULL PANE

Outswing Door Options

Hardware (pgs. 154-156)

- ▶ Toronto, Munchen or Verona handle set in Bright Brass PVD¹, Antique Brass, Satin Nickel PVD¹, Antique Nickel PVD¹, Oil-Rubbed^{**}, Rustic Umber, Matte Black or Smoky Gray PVD¹ (pgs. 154-155)
- ▶ Dallas handle set in Bright Brass PVD¹, Satin Nickel PVD¹, Rustic Umber, Matte Black, Smoky Gray PVD¹, or Matte Black/Brushed Gold
- ▶ Baldwin handle sets in various styles; available in Bright Brass PVD¹, Satin Brass PVD¹, Antique Brass, Satin Nickel PVD¹, Brushed Chrome, Antique Nickel, Oil-Rubbed^{**}, Rustic Umber, Matte Black or Distressed Smoky Gray (pg. 156)
- ▶ Keyed lock
- ▶ 2-point flush bolt lock on less active panel of French doors
- ▶ Single-point locking system
- ▶ Electronic multi-point lock (available for select single-panel doors up to 8 feet high and with stiles wider than 3"; not available on double or French door configurations. Not recommended for coastal applications.)

Hinges (pg. 157)

- ▶ Adjustable 4" x 3-5/8" hinges with 5/8" radius corners in Bright Brass PVD¹, Antique Brass, Brushed Chrome PVD¹, Satin Nickel PVD¹, Silver, Antique Nickel, Smoky Gray PVD¹, Oil-Rubbed^{**}, Rustic Umber or Matte Black
- ▶ Non-adjustable, residential 4" x 4" ball-bearing hinges with 1/4" radius corners in Bright Brass, Antique Brass, Satin Nickel, Antique Nickel, Stainless Steel, Oil-Rubbed^{**} or Matte Black
- ▶ Non-adjustable, commercial-grade 4" x 4" ball-bearing hinges with square corners in Bright Brass, Antique Brass, Stainless Steel, Oil-Rubbed^{**}, Matte Black or Satin Nickel
- ▶ Non-adjustable, commercial-grade 4-1/2" x 4-1/2" hinges in Bright Brass, Oil-Rubbed^{**} or Stainless Steel

Glass (pg. 200)

- ▶ Solar Gain Low-E
- ▶ Solar Advanced Control Low-E
- ▶ Solar Control Low-E
- ▶ ThermaPlus™ Low-E
- ▶ Neat®
- ▶ Triple pane[†]
- ▶ Patterned-, bronze-, or gray-lite
- ▶ Laminated
- ▶ Other options standard to the industry

Divided Lites (pg. 201)

- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
- ▶ Grilles-in-the-airspace

Sills

- ▶ Clear anodized bumper sill
- ▶ Oak or Mahogany sill
- ▶ Thermal or non-thermal ADA-compliant sill

Other Options (custom options are also available)

- ▶ 2-1/4" thick panel
- ▶ 3" or 6" stiles
- ▶ 12-5/8" bottom rail
- ▶ Other wood species and FSC®-certified wood (pg. 198)
- ▶ Flat panel
- ▶ Ovolo or square profile glazing beads and interior divided lite bars (pg. 201)
- ▶ Interior prefinishing (pg. 198)
- ▶ Interior casing
- ▶ Extruded aluminum accessories applied to accessory grooves on the exterior frame (pgs. 206-212)
- ▶ Extension jambs (up to 12" applied, over 12" shipped loose for field application)
- ▶ Galvanized steel installation clips
- ▶ High performance or impact performance modifications (pg. 205)

NOTE: All measurements are nominal.

¹PVD (Physical Vapor Deposition) finish is an application over the color which helps protect the finish from tarnishing, peeling, and cracking.

^{**}The Oil-Rubbed finish is a living finish, which means that it will change appearance over time with use.

[†] 2-1/4" panels only; size limitations apply. Contact your Kolbe dealer for more information.

Inswing Doors

Whether it's an entrance door or a patio door, inswing doors provide convenient access between spaces. A corresponding radius, transom or sidelite unit can allow even more illumination, while additional options and custom solutions provide ample opportunity for personalization.



Inswing Door Standard Features

- ▶ 1-3/4" thick panel, prehung in a 1-5/16" frame
- ▶ Overall jamb width is 4-9/16"
- ▶ Stiles and top rails are a nominal 4-5/8" wide; bottom rail is a nominal 7-9/16" high
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating (meets performance requirements of AAMA 2605)
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, tempered Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Toronto handle set in a Bright Brass PVD* finish
- ▶ Stainless steel multi-point locking hardware on single door panels; French doors have a 3-point lock on the active panel and a 2-point lock on the less active panel
- ▶ Adjustable, 4" x 3-5/8" hinges with 5/8" radius corners in a Gold-painted finish
- ▶ "Ultra" sliding insect screen with BetterVue® fiberglass mesh and extruded aluminum frame
- ▶ Bronze anodized aluminum, weep sill with an oak interior threshold
- ▶ Heavy vinyl nailing fins with head drip caps*
- ▶ Raised panels and/or glass lites

NOTE: All measurements are nominal

* Standard only on units without brickmould.

†PVD (Physical Vapor Deposition) finish is an application over the color which helps protect the finish from tarnishing, peeling, and cracking.

TORONTO HANDLE

Hardware

See entire swinging door hardware selection on pgs. 154-157.

Toronto Handle (shown in Satin Nickel PVD)

München Handle (shown in Bright Brass PVD)

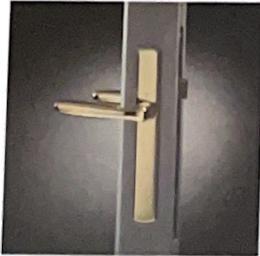
Verona Handle (shown in Antique Nickel PVD)

Dallas Handle (shown in Smokey Gray)





Verona Handle Set



Bright Brass PVD[†]



Satin Nickel PVD[†]



Rustic Umber



Matte Black
(shown with keyed cylinder)



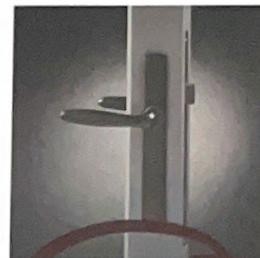
Smoky Gray PVD[†]



Antique Brass



Antique Nickel PVD[†]



Oil-Rubbed^{*}

**HANDLE
COLOR**

Dallas Handle Set



Bright Brass PVD[†]



Satin Nickel PVD[†]



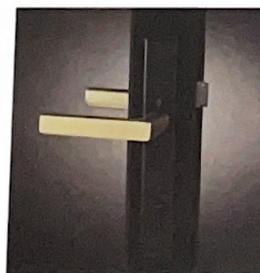
Rustic Umber



Matte Black
(shown with keyed cylinder)



Smoky Gray PVD[†]



Matte Black/Brushed Gold^{††}
(shown with keyed cylinder)

*The Oil-Rubbed finish is a living finish, which means that it will change appearance over time with use.
[†]PVD (Physical Vapor Deposition) finish is an application over the color which helps protect the hardware against tarnishing, peeling and cracking.
^{††}This two-tone finish is only available in the combination shown.

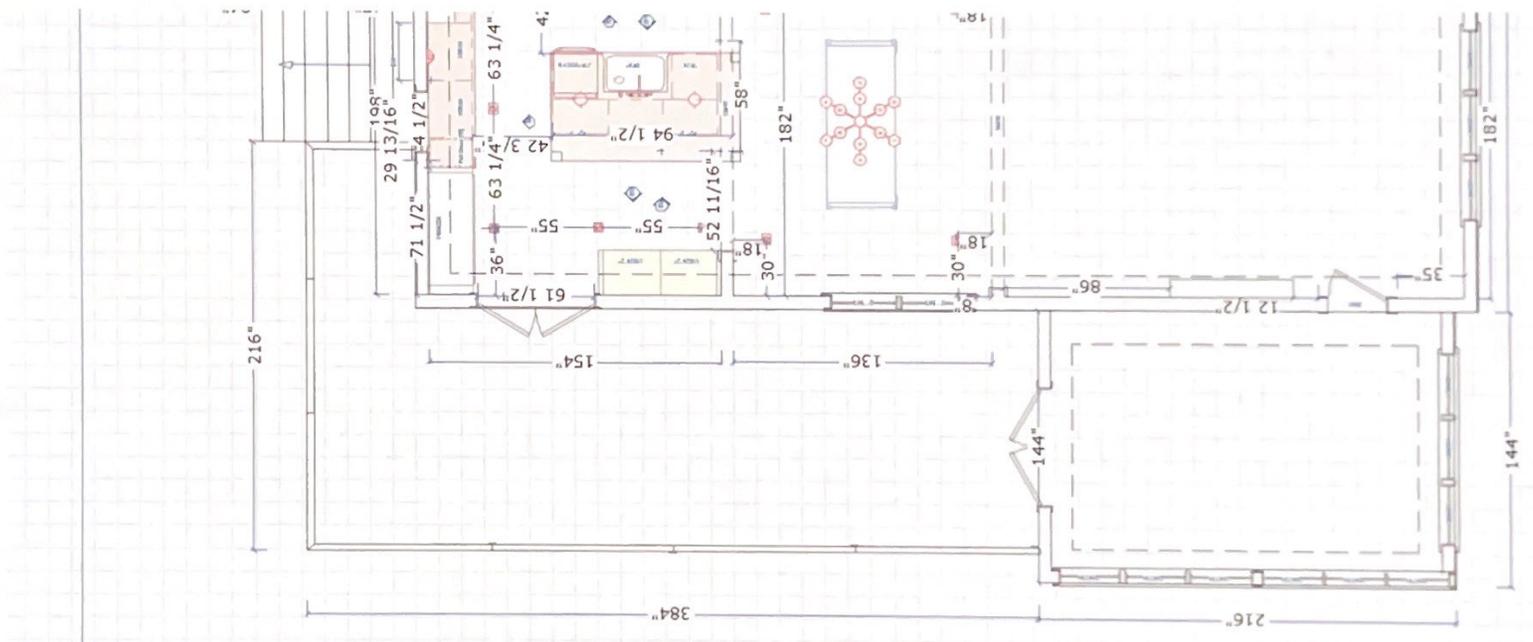
Exterior Color Options

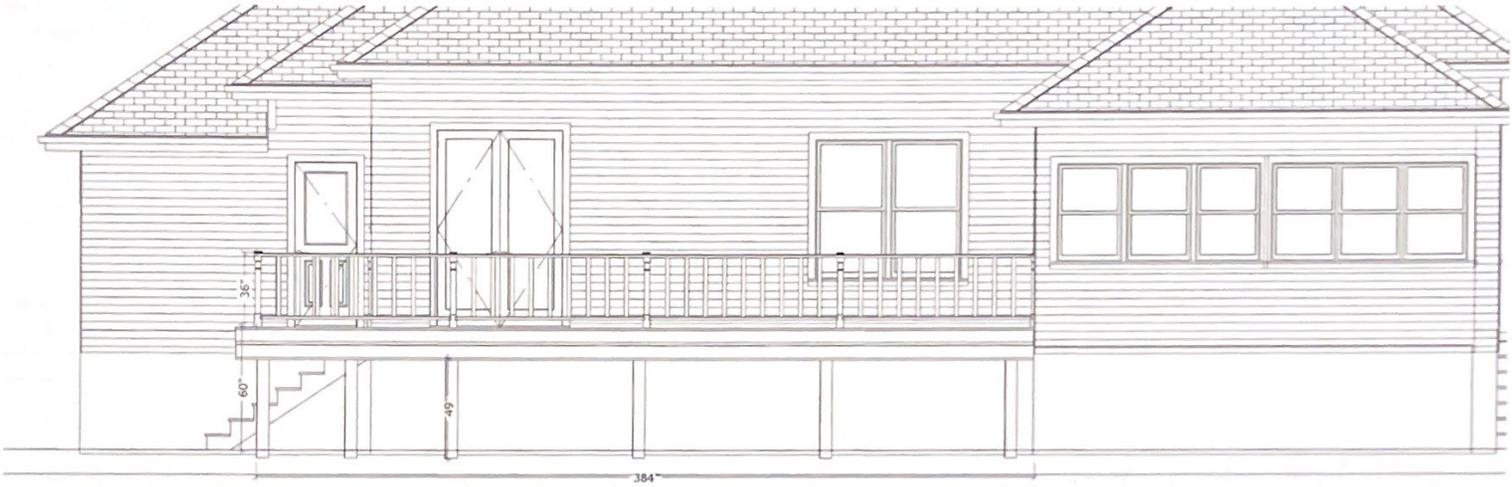
Ultra Series products are finished with a 70% PVDF fluoropolymer coating, which is the best choice for durability and resistance to chemicals, abrasion, corrosion, and weathering. It carries up to a 30-year warranty, which proves Kolbe's commitment to providing the very best. In addition to the standard colors, custom colors can be specified, as can 4 anodized aluminum finishes and 4 mica fluoropolymer finishes.



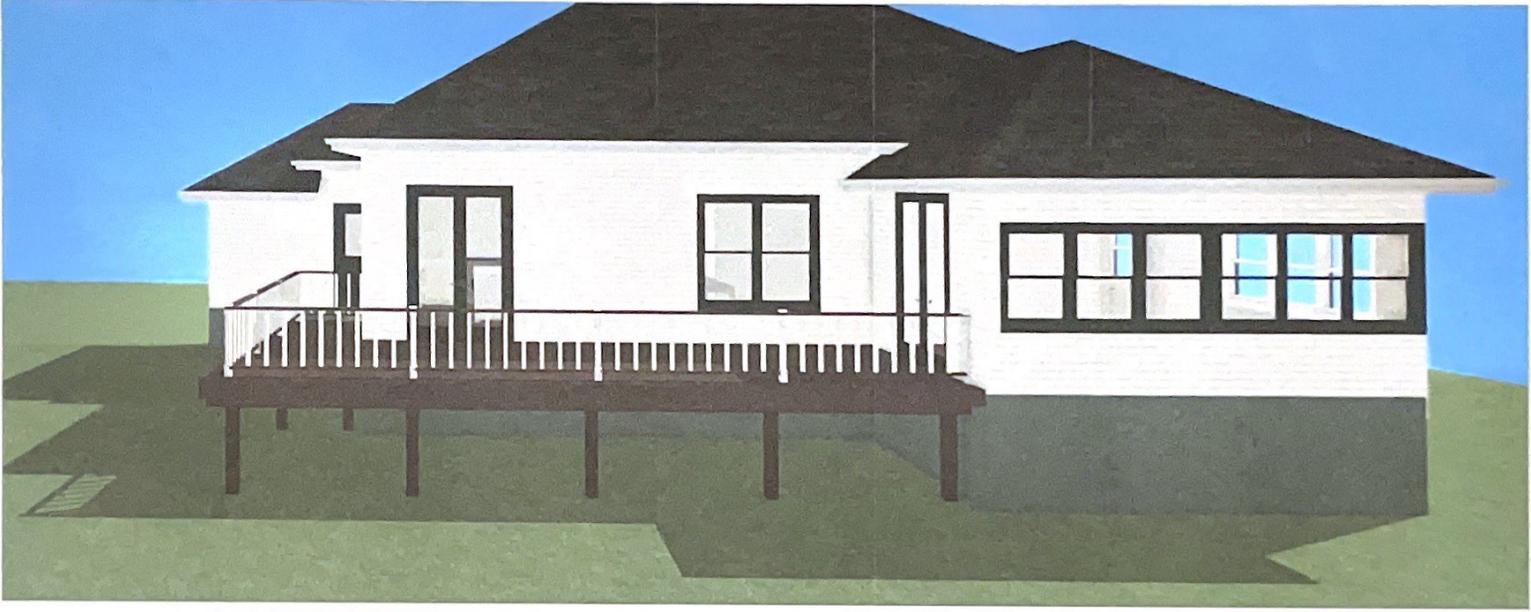
	White	Cloud	Ultra Pure White			
	Abalone	Alabaster	Camel			
Mudpie	Nutmeg	Khaki	Sahara	Beige	Natural Cotton	Spiced Vinegar
Gingersnap	Truffle	Bronze	Rustic	Shadow	Shale	Smokestack
Onyx	Coal Black	Midnight	Steel Gray	Slate	Castlerock	Timberwolf
Corbeau	Sapphire	Coastal Storm	Anchor Gray	Lunar	Emerald Isle	Mediterranean
Cider	Copper Canyon	Maize	Green Tea Leaf	Basil	Hartford Green	Mystic Ivy
Papaya	Roma	Chutney	Create Your Color			
Galaxy Silver	Silverstorm	Cosmic Gray	Night Sky			
					Anodized	
					Clear	Champagne
					Black	Dark Bronze

Some options for our products may have limited color offerings or may incur a nominal charge. Check with your Kolbe dealer for further details on pricing and availability. Printed images of exterior finishes may vary slightly from actual colors. Selections should be made based on actual color samples available from your Kolbe dealer. There is a "color range" with anodized colors. That is, there is an acceptable "light" to "dark" color range that can be experienced on any job. According to AAMA 611-98 specifications, Section 8.3, the range may be up to 5 Delta E's. We can provide from our anodized vendor color samples of this color range if requested. The color range is due to numerous variables which include (but are not limited to) the shape of the parts, alloy variations and time in the anodizing process. This could mean that a sash part may appear slightly different in color than a frame part. This is/will be acceptable. Even the samples that may be provided may vary from the final product due to the variables. You must be aware of this as this will be considered acceptable.











Adrienne Walker

From: Carla Nolen, Re Vera Services LLC <cnolen@reveraservices.com>
Sent: Monday, April 10, 2023 4:40 PM
To: Adrienne Walker
Cc: Gregg Harding; gray.deemcdavidinteriors@gmail.com
Subject: [EXTERNAL] RE: City of Pensacola Architectural Review Board Meeting / Thursday, April 20, 2023

Follow Up Flag: Follow up
Flag Status: Flagged

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Adrienne,

Thank you; below is the information you requested:

1. Railings:
→Size of posts:



6" Post Sleeve

Hollow sleeve that fits over a solid, pressure-treated post or post mount.

Fits over 4"x4" Pressure-Treated Post.

Available in Classic White only.

6" X 6" X 39"/108" Actual External Dimensions:

5.5" x 5.5" x 39" (139 mm x 139 mm x 990 mm)

5.5" x 5.5" x 108" (139 mm x 139 mm x 274 cm)



Flat Post Sleeve Cap

12 per box. Cap topping each post is the decorative finish that also withstands the weather.

6" Available in Classic White only.

Actual External Dimensions:

4" x 4": 4.55" x 4.55" (115 mm x 115 mm)

6" x 6": 5.55" x 5.55" (140mm x 140mm)



Post Sleeve Skirt

12 per box. Finishing piece at the base of the post that covers any cuts where the decking and railing meet. Usually coordinates with the cap.

6" Available in Classic White only.

Actual External Dimensions:

4" x 4": 4.55" x 4.55" (115 mm x 115 mm)

6" x 6": 5.55" x 5.55" (140mm x 140mm)

→Size of pickets:



Balusters/Spindles

SQUARE BALUSTERS PROFILES:

- 36" Rail Height (16/pack) (1.418 in x 1.418 in x 30.375 in or 36 mm x 36 mm x 771 mm actual dimensions)
- 42" Rail Height (16/pack) (1.418 in x 1.418 in x 36.375 in or 36 mm x 36 mm x 923 mm actual dimensions)

COLORS:

Charcoal Black, Classic White, Gravel Path, Rope Swing, Vintage Lantern

→Size of top rail:



Top & Bottom Rails

PROFILES:

- 6' (67.5 in or 171 cm actual length) Crown Top Rail
- 8' (91.5 in or 232 cm actual length) Crown Top Rail
- 6' (67.5 in or 171 cm actual length) Universal Top/Bottom Rail
- 8' (91.5 in or 232 cm actual length) Universal Top/Bottom Rail

COLORS:

Charcoal Black, Classic White, Gravel Path, Rope Swing, Vintage Lantern

→Spacing of posts: Every 6 feet

→Spacing of pickets: ~3.6" apart

2. Railing is prefabricated, premium trex transcend
3. The deck is free-standing and will not connect to the structure as we do not want to penetrate the exterior of the home.
4. There is an access point under the new deck, in order to access the crawl space. We are open to skirting, we just prefer it open.

5. Also including the image of the actual deck, which I did include but this describes it (it's a premium Trex product):



1" Grooved Edge Board

Our grooved edge boards install with our Hidden Fastening System beneath the deck surface, leaving a tidy finish free of screw holes.

ACTUAL DIMENSIONS

.94 in x 5.5 in x 12 ft (24 mm x 140mm x 365 cm)

.94 in x 5.5 in x 16 ft (24 mm x 140mm x 487 cm)

.94 in x 5.5 in x 20 ft (24 mm x 140mm x 609 cm)

The Re Vera Services Team
verifications@reveraservices.com
phone +1-617-661-6146
fax +1-617-275-8642
www.reveraservices.com

The information contained in this message may be privileged, confidential, and protected from disclosure. If the reader of this message is not the intended recipient, or any employee or agent responsible for delivering this message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by replying to the message and deleting it from your computer.

From: Adrienne Walker <AWalker@cityofpensacola.com>
Sent: Monday, April 10, 2023 3:45 PM
To: Carla Nolen, Re Vera Services LLC <cnolen@reveraservices.com>
Cc: Gregg Harding <GHarding@cityofpensacola.com>
Subject: City of Pensacola Architectural Review Board Meeting / Thursday, April 20, 2023

Good afternoon,



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00313

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

105 W. Jackson Street
North Hill Preservation District / Zone PR-2 / City Council District 6
Exterior Addition and Backyard Landscape Improvements at a Contributing Structure

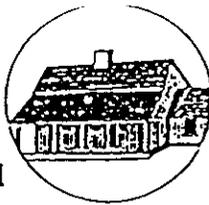
BACKGROUND:

Dalrymple Sallis Architecture is requesting final approval for exterior backyard landscape improvements at a contributing structure including the addition of a bathroom to the existing garage and renovate and extend the existing rear porch covering, leaving the existing lattice and columns in place. Exterior landscaping includes the addition of a pool, patio, outdoor kitchen, and water fountain feature. The wood framed porch covering will be constructed with columns to match the existing and all siding, trim, and the door of the bathroom addition will match existing adjacent finishes.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)e. Regulations and guidelines for any development within the preservation district
Sec. 12-3-10(2)f. Restoration, rehabilitation, alterations or additions to existing contributing structures in the North Hill preservation district.



HISTORICAL STRUCTURE FORM
FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES00908
Recorder #
Field Date 5 / 1 / 95
Form Date 7 / 5 / 95

Original
 Update

SITE NAMES (addr. if none) THE BARN [MULT. LIST. #8
SURVEY NORTH HILL [SURVEY # 4758
NATIONAL REGISTER/CATEGORY building structure district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 105 W. JACKSON ST.
CROSS STREETS nearest/between BETW. N. BAYLEN AND N. SPRING ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS yes no
COUNTY ESCAMBIA TAX PARCEL # 9010-011-019
SUBDIVISION NAME NORTH HILL BLOCK 19 LOT NO. 11-14
OWNERSHIP private-profit priv-nonprofit priv-indiv priv-unspecified city county state federal unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 19 1/4 1/4-1/4 IRREG. SECT.? y n
UTM: ZONE 16 17 EASTING NORTHING
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

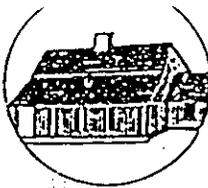
STYLE FRAM EXTERIOR PLAN IRRE NO. STORIES 2
STRUCTURAL SYSTEMS WOOD FRAME
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GA Materials SHCO
Secondary strucs. (dormers etc.) TWPA
CHIMNEY: No. 2 Materials BRIC LOCATIONS CENTER RIDGE, E GABLE
WINDOWS (types, materials, and placements) W EXTENSION
SHS, 6/6, WOOD GROUPED, 14 LIGHT FRENCH DOORS

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations N PORTICO WITH SQUARE WOOD POSTS,
Porch roof types GABLED
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: excellent good fair deteriorated ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial residential institutional rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)
Artifacts or other remains

NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORY

CONSTRUCTION DATE 1889 CIRCA xyes no
 ARCHITECT: (last name first) _____
 BUILDER: (last name first) T. A. TUCKER (CHICAGO, ILLINOIS)
 MOVES yes xno Dates _____ Orig.addr. _____
 ALTERATIONS yes no Dates _____ Nature _____
 ADDITIONS yes no Dates _____ Nature _____
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) COMMERCIAL
 OWNERSHIP HISTORY (especially original owner) ROGER G. WEEKS AND BARBARA A. RESLER
 (CURRENT) _____

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?	<u> </u> yes <u> </u> no <u> </u> insuff. info	Local Designation Category _____ _____
Individually elig. for Nat. Register?	<u> </u> yes <u> </u> no <u> </u> insuff. info	
Potential contributor to NR district?	<u> </u> yes <u> </u> no <u> </u> insuff. info	

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip. Location of negatives/neg. nos. R6, F25-26

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DATE	OFFICIAL EVALUATION	DATE
NR DATE	KEEPER-NR ELIGIBILITY <u> </u> <u> </u> <u> </u> <u> </u>	Date _____
SHPO-NR ELIGIBILITY	<u> </u> <u> </u> <u> </u> <u> </u>	Date _____
DECISION DATE	LOCAL DESIGNATION _____	Date _____
	Local office _____	

- REQUIRED:
- (1) USGS MAP WITH STRUCTURE PINPOINTED
 - (2) LARGE-SCALE STREET OR PLAT MAP
 - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
 1009 ==

Site No. Es 908

Site Name "The Barn" 830 == Survey Date 8005 820 ==
 Address of Site: 105 W. Jackson St. Pensacola, Fl. 32501 905 ==
 Instruction for locating S side W Jackson St. between N Baylen and
N Spring St. 813 ==
 Location: Belmont Tract 19 11-14 868 ==
subdivision name block no. lot no.
 County: Escambia 808 ==
 Owner of Site: Name: Weeks, Roger G. and Barbara ;
 Address: 105 W. Jackson St.
Pensacola, Fl. 32501 902 ==
 Type of Ownership Private 848 == Recording Date 8005 832 ==
 Recorder:
 Name & Title: Gantzhorn, Alan; Guedez, Susan ;
 Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence 838 ==
 Check One Check One or More
 Excellent 863 == Altered 858 ==
 Good 863 == Unaltered 858 ==
 Fair 863 == Original Site 858 ==
 Deteriorated 863 == Restored () (Date: 177) 858 ==
 Moved () (Date:) () 858 ==

Present Use Commercial 850 ==
 Dates: Beginning + 1889 844 ==
 Culture/Phase American 840 ==
 Period 19th Century 845 ==

NR Classification Category: District 916 ==

Threats to Site:

Check One or More
 Zoning () () 878 == Transportation () () 878 ==
 Development () () 878 == Fill () () 878 ==
 Deterioration () () 878 == Dredge () () 878 ==
 Borrowing () () 878 ==
 Other (See Remarks Below): 878 ==

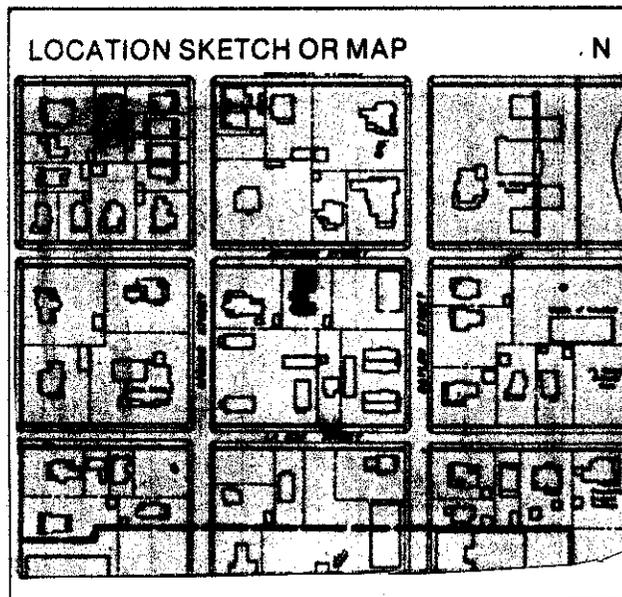
Areas of Significance: Architecture, History 910 ==

Significance:

105 W. Jackson St. was originally constructed as a barn for the Baars family estate. F. Celestiono Brent owned the property from 1906 to 1925, when it was purchased by William J. Davis of Chicago and converted from a barn to a winter residence. In 1938 the family moved into the house permanently and maintained ownership until 1973. The architectural firm, Weeks and Bass, has its offices there now.

911 ==

ARCHITECT Unknown 872 ==
 BUILDER Tucker, T.A. (Chicago, IL) 874 ==
 STYLE AND/OR PERIOD Frame Vernacular 964 ==
 PLAN TYPE Irregular 966 ==
 EXTERIOR FABRIC(S) Wood: clapboard; fish scale shingles 854 ==
 STRUCTURAL SYSTEM(S) Wood frame 856 ==
 PORCHES N portico with sq wood posts, gabled 942 ==
 FOUNDATION: Piers: brick 942 ==
 ROOF TYPE: Gable 942 ==
 SECONDARY ROOF STRUCTURE(S): N/tower, pyramid roof; E/2 st cross 942 ==
 CHIMNEY LOCATION: Center ridge, E gable; center ridge W ext. 942 ==
 WINDOW TYPE: SHS, 6/6, wood; grouped, 14 light french doors, wood 942 ==
 CHIMNEY: brick, scored stucco; terra cotta 882 ==
 ROOF SURFACING: Composition shingle; diamond 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 2 N; 1½ S 950 ==
 NO. OF DORMERS 1 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970 809 ==
North Hill, Gordon Richmond, 1974
 Latitude and Longitude: " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
2S	30W	19

UTM Coordinates:

Zone	Easting	Northing
		890 ==

gable, 1 st gable ext. W: 942-
 SE/1½ st cross gable dormer;
 E/gabled dormer between cross
 gables; NW/gabled dormer;
 N/2nd st shed dormer;
 S/shed carport

Photographic Records Numbers HPPB P80.6 Fr. 9A, 10A 860 ==
P 74.12 (historic Photos) Fr. 1-20 NH11-18A, 19A, 20A

Contact Print

CONTINUATION SHEET

942—Secondary Roof Structures: gable, 1 st gable ext. W;
SE/1½ st cross gable dormer; E/gabled dormer between cross
gables; NW/gabled dormer; N/2nd st shed dormer; S/shed
carport

ES 908



United States Department of the Interior

NATIONAL PARK SERVICE
1849 C Street, N.W.
Washington, D.C. 20240

IN REPLY REFER TO:

H30(2255)

January 9, 2004

Mr. Walter A. Steigleman
Stargate Management Inc.
P.O. Box 685
142 SE Eglin Pkwy.
Ft. Walton Beach, FL 32549

PROPERTY: **The Barn, 105 W. Jackson Street, Pensacola, FL**
PROJECT NUMBER: **(8994)**
TAXPAYER ID NUMBER [REDACTED]

Dear Mr. Steigleman

On March 15, 2002, the National Park Service notified you that review of your Historic Preservation Certification Application -- Part 1 had been suspended for lack of sufficient information to complete our review. On November 21, 2003, we sent a second notice reminding you that the requested information had not been received and that the file would be closed if the information was not received by December 31, 2003. The information has not been received, and we have closed the file.

Consequently, this project does not qualify as a "certified rehabilitation," and is not eligible for the 20% investment tax credit for historic preservation. A copy of this letter will be forwarded to the Internal Revenue Service.

If you have any questions, please contact me at (202) 354-2044.

Sincerely,

Gary Sachau
Technical Preservation Services Branch

cc: IRS
FL SHPO
Michael Phillips, 105 W. Jackson Street, Pensacola, FL 32501



United States Department of the Interior

NATIONAL PARK SERVICE
1849 C Street, N.W.
Washington, D.C. 20240

IN REPLY REFER TO:

H30(2255)

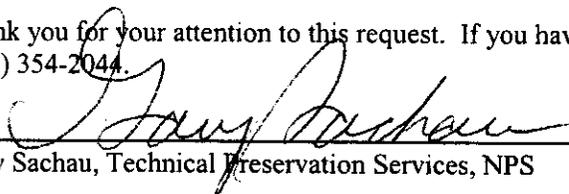
SECOND NOTICE

To: Mr. Walter A. Steigleman
Stargate Management Inc.
P O Box 685
142 SE Eglin Pkwy.
Ft. Walton Beach, FL 32549

On March 15, 2002, the National Park Service (NPS) notified you that review of your Historic Preservation Certification Application -- Part 1 had been suspended for lack of sufficient information (see attached). Additional information requested on that date has not been received.

Please detach the bottom of this letter, check your response, and return it to this office at Tax Incentives Program, Technical Preservation Services, National Park Service, 1849 C Street, NW, Org. 2255, Washington, D.C. 20240. (Overnight mail may be sent to Tax Incentives Program, Technical Preservation Services, National Park Service, 1201 Eye Street, NW, 6th Floor, Washington, D.C. 20005.) If we do not hear from you by December 31, 2003, we will close the file, and this project **will not** qualify as a "certified rehabilitation" for purposes of the Tax Reform Act of 1986.

Thank you for your attention to this request. If you have any questions about your application or bill, please call (202) 354-2044.



Gary Sachau, Technical Preservation Services, NPS

Date

11-21-03

Enclosure

cc: FL SHPO
Michael Phillips, 105 W. Jackson Street, Pensacola, FL 32501

PROPERTY: The Barn, 105 W. Jackson Street, Pensacola, FL
PROJECT NUMBER: (8994)

My response is to:

- Request NPS to discontinue the review process and close the file.
 Request NPS to keep the file open. The requested information will be furnished within the next thirty days.
 Other. Explain:

Owner's Signature

Date

G. Sachau
3-15-02

H30(2255)

March 15, 2002

Mr. Walter A. Steigleman
Stargate Management, Inc.
P.O. Box 685
142 SE Eglin Parkway
Ft. Walton Beach, FL 32549

PROPERTY: **The Barn, 105 W. Jackson Street, Pensacola, FL**
PROJECT NUMBER: (8994)
TAXPAYER ID NUMBER: [REDACTED]

Dear Mr. Steigleman:

The National Park Service has received your Historic Preservation Certification Application – Part 1 for this property and has determined that the application is incomplete. As a result, the review has been placed on hold and cannot be completed without the following additional information:

- 1) Clearly labeled photographs of all exterior elevations. We received only three photographs, which show just the elevation facing the driveway.
- 2) Clearly labeled photographs of representative interior spaces on both floors.
- 3) A map locating the building within the North Hill Preservation District.

In addition, we note that your submitted photographs of the exterior appear to depict a completed rehabilitation project. If this is the case, you must also submit clearly labeled, pre-rehabilitation photographs of both the exterior and interior. This documentation is especially important--and it is required--when we evaluate a Part 2 application for this property.

Please provide the information **directly** to this office, with a copy to the State Historic Preservation Office (SHPO), within 60 days of the date of this letter. **Please note: We strongly recommend that you use non-Postal Service overnight mail to send our copy, due to recent events that have affected the processing of mail sent to us via the Postal Service. Non-Postal Service overnight mail should be sent to Tax Incentives Program, Technical Preservation Services, National Park Service, Suite 200, 800 North Capitol Street, NW, Washington, D.C. 20002.** For your information, our regular Postal Service mailing address is Tax Incentives Program, Technical Preservation Services, National Park Service, Room NC200, 1849 C Street, NW, Washington, D.C. 20240. If the information is not received within 60 days of the date of this letter, the file will be closed and work undertaken on the structure will not qualify as a "certified rehabilitation" for purposes of the Tax Reform Act of 1986.

Requests for extensions of the hold period must be made in writing. Upon receipt of the requested information, a new 30-day review period will begin.

Thank you for your attention to this request. If you have any questions, please call me at 202-343-9531.

Sincerely,



Gary Sachau

Technical Preservation Services Branch

cc: FL SHPO
Michael Phillips, 105 W. Jackson Street, Pensacola, FL 32501



United States Department of the Interior

NATIONAL PARK SERVICE
1849 C Street, N.W.
Washington, D.C. 20240

IN REPLY REFER TO:

H30(2255)

March 15, 2002

Mr. Walter A. Steigleman
Stargate Management, Inc.
P.O. Box 685
142 SE Eglin Parkway
Ft. Walton Beach, FL 32549

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PROJECT NUMBER: (8994)
TAXPAYER ID NUMBER: [REDACTED]

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Thank you for your attention to this request. If you have any questions, please call me at 202-343-9531.

Sincerely,

A handwritten signature in cursive script that reads "Gary Sachau". The signature is written in black ink and is positioned above the printed name.

Gary Sachau
Technical Preservation Services Branch

cc: FL SHPO
Michael Phillips, 105 W. Jackson Street, Pensacola, FL 32501

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

Historic Preservation Certification Application
State Historic Preservation Office Review & Recommendation Sheet
Significance--Part 1

Project number: _____

NUMBER
1

105 West Jackson St., Pensacola, FL
(Property)

_____ Preliminary done

North Hill Preservation District
(Historic District)

NR District _____ Certified State or Local district

Date application received by State 12-10-01

Date(s) additional information requested by State 12-28-01

Date complete information received by State: _____

Date of transmittal to NPS: 2/14/02

Property visited by State staff? _____ yes, no

SHPO REVIEW SUMMARY

___ Fully reviewed by SHPO

___ No outstanding concerns

___ Owner informed of SHPO recommendation

___ In-depth NPS review requested

___ Recommendation different from applicant's request

NUMBER
2

STATE RECOMMENDATION:

Robert O. Jones, Historic Sites Specialist who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

___ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for the purpose of rehabilitation.

___ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Internal Revenue Code.

___ The property does not contribute to the significance of the above-named district.

Insufficient documentation has been provided to evaluate the structure.

___ This application is being forwarded without recommendation

Preliminary determinations:

___ The property appears to meet National Register Criteria for Evaluation and will be nominated individually.

___ The property does not appear to meet National Register Criteria for Evaluation and will not be nominated.

___ The property appears to contribute to the significance of a: _____ potential historic district that appears to meet the National Register Criteria for Evaluation and will likely be nominated.

___ registered historic district but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS and nomination will be amended.

___ The property is located in a proposed historic district and:

___ The property does not appear to contribute to the significance of the proposed historic district.

___ The proposed historic district does not appear to meet the NR criteria for Evaluation and will not be nominated.

2/14/2002
Date

Janet Snyder Matthews
State Official Signature

NUMBER
3

ISSUES

___ Extensive loss or deterioration of historic fabric

___ Moved property

___ Substantial alterations over time

___ State recommendation inconsistent with NR documentation

___ Significance less than 50 years old

___ Functionally related complex or multiple buildings within an individual nomination

___ Obscured or covered elevation(s)

___ Other

NUMBER
4

Complete items below as appropriate:

(1) 1870-1939 is the period(s) of significance of the district.

(2) The property is mentioned in the NR or state or local district documentation, Section 7, Page 2.

(3) For preliminary determinations, the status of the nomination for the property/historic district:

___ Nomination has already been submitted to State Review Board, and will be forwarded to the NPS within ___ months. Draft nomination is enclosed.

___ Nomination was submitted to NPS on _____.

___ Nomination process will likely be completed within thirty months.

___ Other, explain:

(4) ___ The property is located in a registered district but its current condition is inconsistent with the determination of its contribution to the district as stated in the nomination. Supplemental Listing Record requested.

NUMBER
5

Describe problematic issues or other concerns.

___ See attachments: ___ photographs ___ maps ___ other:

NPS COMMENTS:

Date

National Park Service Reviewer

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

NPS Office Use Only

NRIS No:

NPS Office Use Only

Project No:

Instructions: Read the instructions carefully before completing application. No certifications will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets.

1. Name of Property: "The Barn"
Address of Property: Street 105 W. Jackson Street
City Pensacola County ESCAMBIA State FLORIDA Zip 32501
Name of historic district: Northhill Preservation District
 National Register district certified state or local district potential district

2. Check nature of request:
 certification that the building contributes to the significance of the above-named historic district (or National Register property) for the purpose of rehabilitation.
 certification that the structure or building, and where appropriate, the land area on which such structure or building is located contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes
 certification that the building does not contribute to the significance of the above-named historic district.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project contact:
Name Michael Phillips
Street 105 W. Jackson Street City Pensacola
State FL Zip 32501 Daytime Telephone Number 850-469-0444

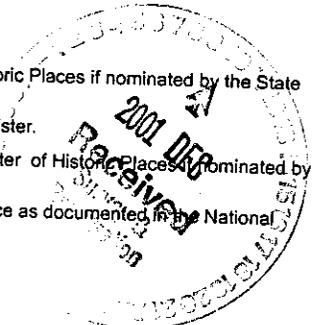
4. Owner:
I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 U.S.C. 1001.
Name Walker A. Skieleman Signature [Signature] Date 11/16/01
Organization Stargate Management Inc
Social Security or Taxpayer Identification Number [Redacted]
Street P.O. Box 185 / 142 SEE Link City Walton Beach
State FL Zip 32549 Daytime Telephone Number 850-244-3164

NPS Office Use Only

The National Park Service has reviewed the "Historic Certification Application - Part 1" for the above-named property and hereby determines that the property:
 contributes to the significance of the above-named district (or National Register property) and is a "certified historic structure" for the purpose of rehabilitation.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
 does not contribute to the significance of the above-named district.

Preliminary determinations:

appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district but is outside the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS.
 does not appear to qualify as a certified historic structure.



Date

National Park Service Authorized Signature

National Park Service Office/Telephone No.

See Attachments

'The Barn'

HISTORIC PRESERVATION
CERTIFICATION APPLICATION -
PART 1

NPS Office Use Only

Project Number:

Property Name

105 W. Jackson Street

Property Address

5. Description of physical appearance:

The house is surrounded by a brick courtyard, with an antique fountain. "Barn-like" characteristics still exist. upstairs loft opens over the large room that was once the stable (loft now has hard wood floors with original bay loft door over front entrance of house. Timbers inside south room reveal barn architecture. Horse-post still resides at staircase base. large front door and domed main hallways - most likely originally structured for horse entrance. Gingerbread railing/spindles throughout the house. Most of original glass and hardware still remain. Three rooms contain original hardwood flooring. Rare Portuguese cork flooring covers most of downstairs. Some original lighting and bathroom fixtures. Other notable features include fireplace, stained glass windows surrounded by old Florida palms, and brick sidewalks.

Date of Construction:

1889

Source of Date:

Newspaper article

Date(s) of Alteration(s):

n/a

Has building been moved? yes no If so, when?

6. Statement of significance:

The historical building located at 105 W. Jackson Street has stood beautifully since erected in 1889. The building was originally built as a barn and stable by the Baars family. The great room on the south end was a stable for horses, then in the 1900's (when owned by the Brent family) a plane was built in the same space. "The Barn" did not become a family dwelling until the 1920's when the Davis' of Chicago bought and transformed the building into their winter home. During the Depression, the Davis' moved to the Indiana and rented their home to the Navy for use as a club, appropriately named "The Barn". "The Barn" remained a club until 1938 when the Davis' moved to Pensacola permanently. After Mrs. Davis died, the home was transformed into apartments that divided the building. The hallways were enclosed for a communal bath and linen room covered the beautifully aged floors - at least this is how an architect and his artist wife found the building. Much to its benefit the building was restored very closely to its original condition to house an art studio and office.

7. Photographs and maps.

Attach photographs and maps to application

Continuation sheets attached: yes no

DIVISIONS OF FLORIDA DEPARTMENT OF STATE
Office of the Secretary
Office of International Relations
Division of Elections
Division of Corporations
Division of Cultural Affairs
Division of Historical Resources
Division of Library and Information Services
Division of Licensing
Division of Administrative Services



MEMBER OF THE FLORIDA CABINET
State Board of Education
Trustees of the Internal Improvement Trust Fund
Administration Commission
Florida Land and Water Adjudicatory Commission
Siting Board
Division of Bond Finance
Department of Revenue
Department of Law Enforcement
Department of Highway Safety and Motor Vehicles
Department of Veterans' Affairs

FLORIDA DEPARTMENT OF STATE
Katherine Harris
Secretary of State
DIVISION OF HISTORICAL RESOURCES

December 28, 2001

Mr. Michael Phillips
105 West Jackson Street
Pensacola, Florida 32501

Mr. Phillips:

I am reviewing the Part I of your application for the Federal Rehabilitation Tax Credit program for 105 W. Jackson Street, in the North Hill Preservation Historic District, in Pensacola. To evaluate the property you will need to send additional photographs of the building, and a floor plan sketch (not to scale). The photographs need to depict the various sides of the exterior, and views and details of interior. Under your statement of significance you write that after Mrs. Davis died the building was sub-divided into apartments. Can you give a date, or approximate date that this alteration took place?

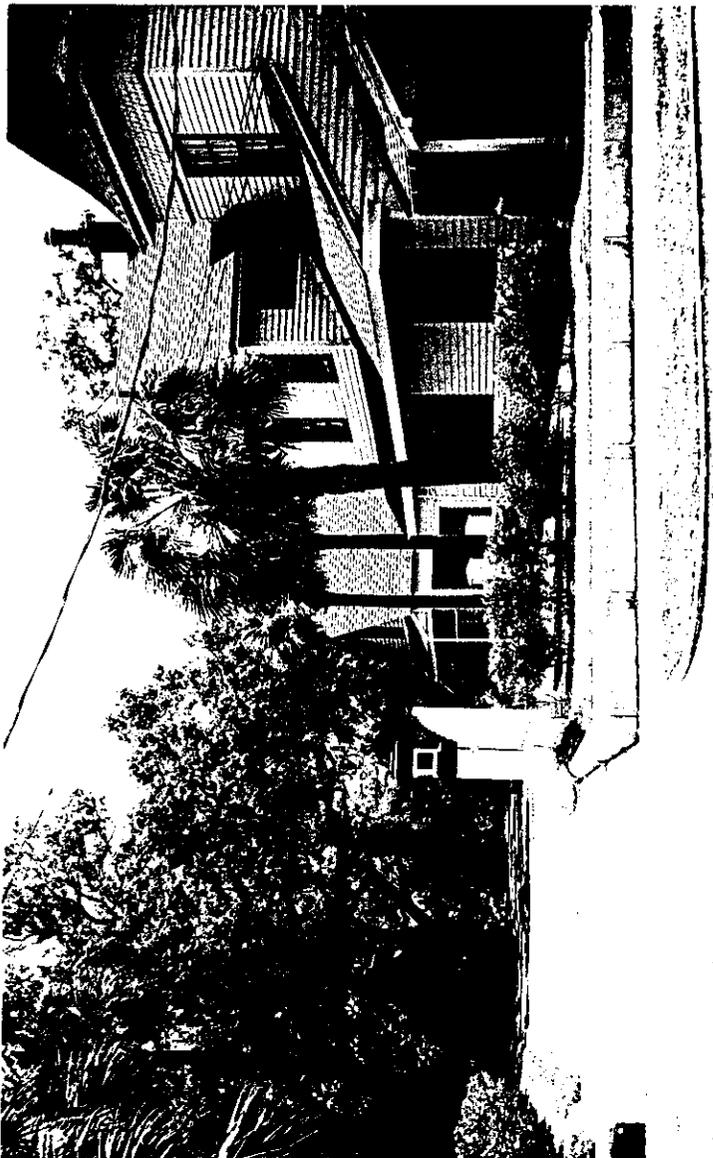
If you have any questions please phone me at 850-245-6333.

Sincerely,

Robert O. Jones
Historic Sites Specialist

R.A Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399-0250 • <http://www.flheritage.com>

<input type="checkbox"/> Director's Office (850) 488-1480 • FAX: 488-3353	<input type="checkbox"/> Archaeological Research (850) 487-2299 • FAX: 414-2207	<input type="checkbox"/> Historic Preservation (850) 487-2333 • FAX: 922-0496	<input type="checkbox"/> Historical Museums (850) 488-1484 • FAX: 921-2503
<input type="checkbox"/> Historic Pensacola Preservation Board (850) 595-5985 • FAX: 595-5989	<input type="checkbox"/> Palm Beach Regional Office (561) 279-1475 • FAX: 279-1476	<input type="checkbox"/> St. Augustine Regional Office (904) 825-5045 • FAX: 825-5044	<input type="checkbox"/> Tampa Regional Office (813) 272-3843 • FAX: 272-2340



ES 908

PROCESSING LOG

HISTORIC PRESERVATION CERTIFICATION APPLICATION

BHP Project Number 911

Address 105 W Jackson St Pensacola

Name The Barn

Date of Receipt 12/10/07 Application Part 1

Action Review Date [Due] 1/9/02

Action request photos/floor plan 12.28.01 Date [Due] _____

Action _____ Date [Due] _____







105 W. Jackson Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. Scott Sallie

Applicant Signature

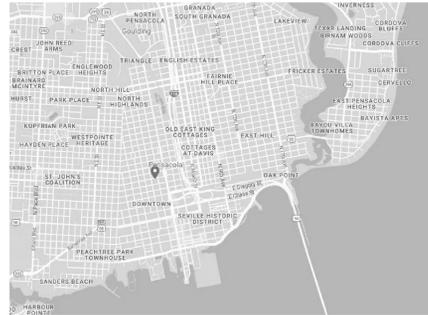
03-23-2023

Date

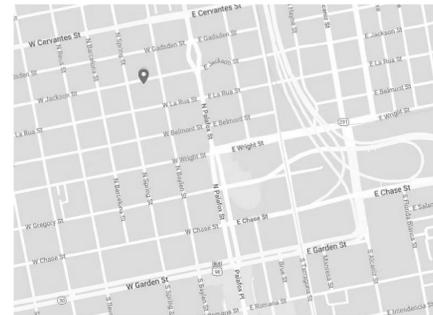
The Barn Pool

A NEW POOL AND OUTDOOR LIVING RENOVATION

105 W. Jackson St. Pensacola, FL



VACINITY MAP



SITE MAP



FLOOD MAP



1 VIEW FROM SOUTHEAST CORNER

BUILDING DATA

APPLICABLE CODES:
2020 FLORIDA BUILDING CODE, RESIDENTIAL

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
(PR-2) - NORTH HILL PRESERVATION MULTIPLE FAMILY

PHYSICAL PROPERTIES:

NEW CONDITIONED	71 SF
NEW UNCONDITIONED	707 SF
TOTAL NEW SQUARE FOOTAGE	777 SF

BUILDING HEIGHT:	36'-8"
NO. OF STORIES:	2

GENERAL NOTES

- COMPLY WITH 2020 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK. OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.
- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS. ALL DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Civil		
C101	SITE PLAN	
Structural		
S001	STRUCTURAL NOTES AND DIAGRAMS	
S101	FOUNDATION PLAN	
S102	ROOF FRAMING PLAN	
Architectural		
A001	DEMOLITION PLAN	
A101	NEW WORK FLOOR PLAN	
A102	ROOF PLAN	
A103	REFLECTED CEILING PLAN	
A201	EXISTING EXTERIOR ELEVATIONS	
A202	NEW WORK EXTERIOR ELEVATIONS	
A301	WALL SECTIONS	
A401	ENLARGED POOL BATH PLAN	
A402	INTERIOR & EXTERIOR ELEVATIONS	
A403	INTERIOR & EXTERIOR ELEVATIONS	
A501	DETAILS	
A601	SCHEDULES AND DIAGRAMMS	



213 S. Baylen St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

The Barn Pool
105 W. Jackson St. Pensacola, FL

DRAWN BY: MN
CHECKED BY: JSS

ISSUE DATE:
02-23-23

REVISIONS:
No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO:
22049



dalrymple | sallis
architecture
213 S. Baylen St
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

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DRAWN BY: MN
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REVISIONS No. Des. Date

SHEET TITLE:

SITE PLAN

SHEET NO:

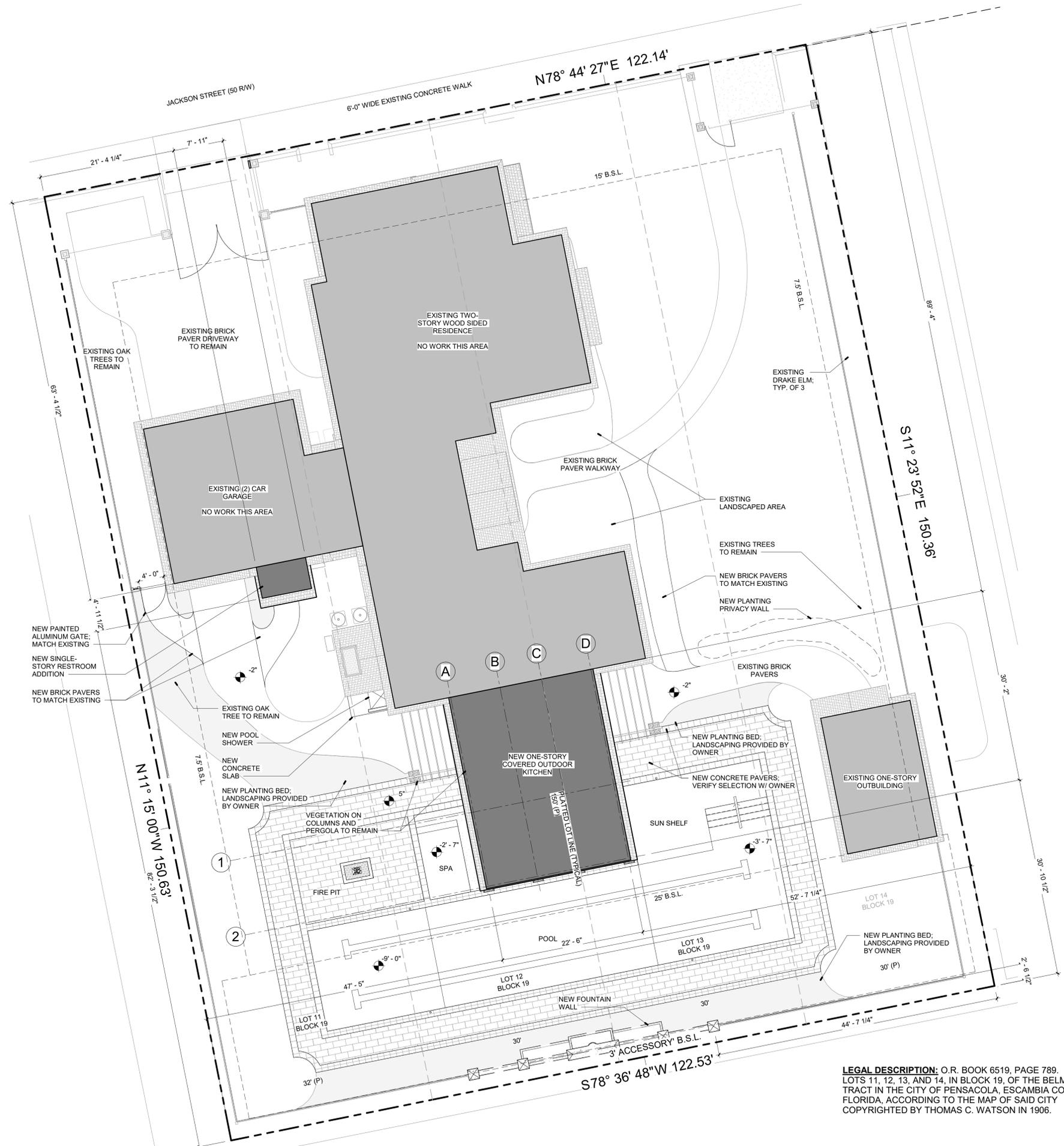
C101

PROJECT NO: 22049



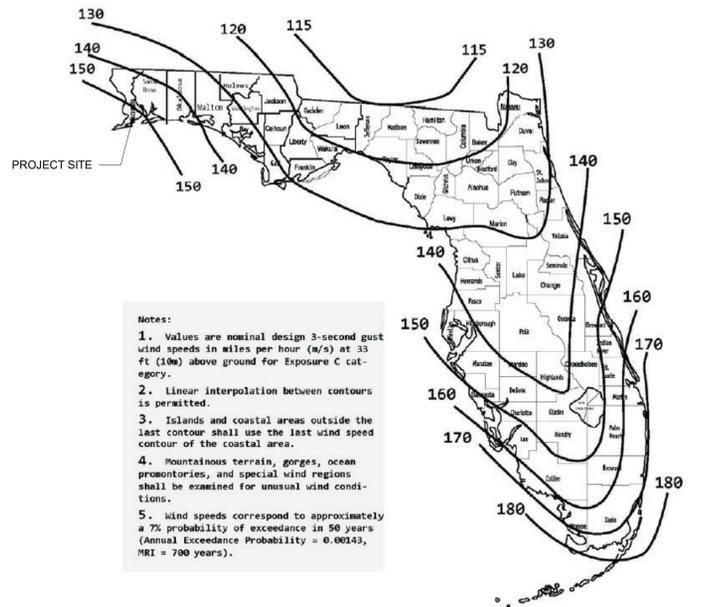
1 ARCHITECTURAL SITE PLAN

1/8" = 1'-0"



LEGAL DESCRIPTION: O.R. BOOK 6519, PAGE 789, LOTS 11, 12, 13, AND 14, IN BLOCK 19, OF THE BELMONT TRACT IN THE CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

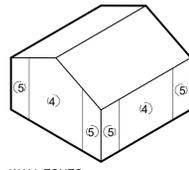
FLORIDA WIND SPEED MAP; RISK CATEGORY II



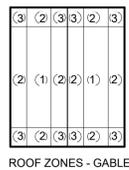
- Notes:
- Values are nominal design 3-second gust wind speeds in miles per hour (m/s) at 33 ft (10m) above ground for Exposure C category.
 - Linear interpolation between contours is permitted.
 - Islands and coastal areas outside the last contour shall use the last wind speed contour of the coastal area.
 - Mountainous terrain, gorges, ocean promontories, and special wind regions shall be examined for unusual wind conditions.
 - Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (Annual Exceedance Probability = 0.00143, MRI = 700 years).

ZONE	EFFECTIVE WIND AREA (SQ. FT)	BASIC WIND SPEED 160 MPH	OVERHANG
1	10	27.9-65.6	-85.1
2e	10	27.9-65.6	-85.1
2h	10	27.9-104.6	-124.1
2r	10	27.9-104.6	-124.1
3e	10	27.9-104.6	-147.5
3r	10	27.9-122.0	-160.9
WALL			
4	10	46.1-60.0	
5	10	46.1-61.7	

TYPICAL EDGE STRIP WIDTH EQUALS 3'-0"



WALL ZONES



ROOF ZONES - GABLE THETA > 7°

Component and Cladding ASD Wind Pressures

Roof	Area	Surface Pressure (psf)
		10 sf 50 sf 100 sf
Negative Zone 1	-24.3	-21.42 -20.16
Negative Zone 2	-28.38	-25.5 -24.3
Negative Zone 3	-28.38	-25.5 -24.3
Positive All Zones	20.76	20.76 20.16
Overhang Zone 2	-41.16	-38.28 -37.02
Overhang Zone 3	-41.16	-38.28 -37.02
Wall		
	Area	Surface Pressure (psf)
		10 sf 100 sf 500 sf
Negative Zone 4	-26.34	-22.68 -20.16
Negative Zone 5	-32.52	-25.26 -20.16
Positive Zone 4 & 5	24.3	20.64 18.12

Component and Cladding Ultimate Wind Pressures

Roof	Area	Surface Pressure (psf)
		10 sf 50 sf 100 sf
Negative Zone 1	-40.5	-35.7 -33.6
Negative Zone 2	-47.3	-42.5 -40.5
Negative Zone 3	-47.3	-42.5 -40.5
Positive All Zones	34.6	34.6 33.6
Overhang Zone 2	-68.6	-63.8 -61.7
Overhang Zone 3	-68.6	-63.8 -61.7
Wall		
	Area	Surface Pressure (psf)
		10 sf 100 sf 500 sf
Negative Zone 4	-43.9	-37.8 -33.6
Negative Zone 5	-54.2	-42.1 -33.6
Positive Zone 4 & 5	40.5	34.4 30.2

NOTE: ALL EDGES OF WALL SHEATHING ARE BLOCKED. ORIENT WALL SHEATHING HORIZONTALLY. ROOF SHEATHING SHALL BE FASTENED W/ RING SHANK NAILS.

SHEATHING NAILING REQUIREMENTS			
ZONE	NAIL SIZE	SPACING	LOCATION
1	8d	6"	PERIMETER
	8d	6"	FIELD
2	8d	4"	PERIMETER
	8d	8"	FIELD
3	8d	4"	FIELD & PERIMETER
	8d	6"	PERIMETER
4	8d	10"	FIELD
	8d	6"	PERIMETER
5	8d	6"	PERIMETER
	8d	8"	FIELD
OVERHANG	8d	3"	FIELD & PERIMETER

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
 - THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
 - SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
 - REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.
- DESIGN LOADS AND CRITERIA:
- A. FLOOR LIVE LOAD 40 PSF
 FLOOR DEAD LOAD 76 PSF
 PARTITION LOAD 0 PSF
 ROOF LIVE LOAD 12 PSF
 ROOF DEAD LOAD 19 PSF
- B. WIND CRITERIA FBC 2014 ASCE 7-10
 RISK CATEGORY II
 BASIC WIND SPEED 160 MPH
 EXPOSURE CATEGORY B
 STRUCTURE TYPE ENCLOSED

WOOD FRAMING AND SHEATHING

- OSB IS NOT CONSIDERED AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD SHEATHING.
- ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR EXPOSED TO EXTERIOR ELEMENTS AND LEFT UNFINISHED SHALL BE PRESSURE TREATED.
- DO NOT PAINT PRESSURE TREATED WOOD WHEN MOISTURE CONTENT IS ABOVE 19%.
- ALL STRUCTURAL GRADE LUMBER SHALL BE SOUTHERN YELLOW PINE, No. 2 GRADE OR BETTER.

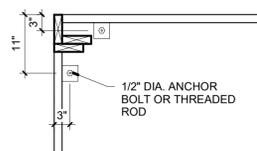
PRE-ENGINEERED WOOD TRUSSES

- WOOD STUD TRUSSES AND REQUIRED BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA AND EXPERIENCED IN THE DESIGN OF PRE-ENGINEERED WOOD STRUCTURES. THE ENGINEER SHALL SEAL, SIGN, AND DATE THE SHOP DRAWINGS AND CALCULATIONS.
- DESIGN SHALL BE IN ACCORDANCE WITH ANSI/TPI 1-2002 "National Design Standard for Metal Plate Connected Wood Truss Construction". TOP AND BOTTOM CHORDS SHALL BE PROVIDED WITH THE SHAPES AND CONFIGURATIONS INDICATED ON THE DRAWINGS. ARRANGEMENT OF WEB MEMBERS TO BE AT THE DISCRETION OF THE SPECIALTY DESIGN ENGINEER AT TRUSS JOINTS. CENTERLINES OF MEMBERS SHALL INTERSECT AT A COMMON POINT OR ECCENTRICITIES SHALL BE CONSIDERED IN THE DESIGN.
- THE WOOD JOIST & TRUSS FABRICATORS SHALL SUBMIT CERTIFIED LETTERS TO THE ARCHITECT STATING THAT HE HAS RECEIVED SPRINKLER DRAWINGS. THE WOOD JOIST & TRUSS FABRICATORS SHALL DESIGN THEIR PRODUCTS TO MEET THE REQUIREMENTS OF THE SPRINKLER MAIN SUPPLY LINES AND BRANCHES. THE WOOD JOIST & TRUSS FABRICATORS SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF THE JOIST & TRUSS DESIGNS RESPECTFULLY. IF SPRINKLER DRAWINGS ARE NOT AVAILABLE, THE JOIST & TRUSS FABRICATORS SHALL USE A DESIGN LOAD OF 3 PSF APPLIES AS UNIFORM OR CONCENTRATED LOADS WHICH CAN BE SUPPORTED BY THEIR SYSTEMS.
- TRUSSES SHALL BE DESIGNED FOR THE DEAD WEIGHT OF THE TRUSSES AND BRACING PLUS THE LOADS GIVEN IN NOTE 4 OF THE GENERAL NOTES. TRUSS STORAGE, HANDLING, RESTRAINING AND BRACING SHALL BE PER BUILDING COMPONENT SAFETY INFORMATION GUIDELINES AS PRODUCED BY THE TRUSS PLATE INSTITUTE.

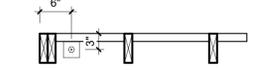
CONCRETE MASONRY

- ALL MASONRY WORK IS TO CONFORM TO ACI 530 AND 530.1.
- USE CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. PROVIDE fm OF 1500 PSI (UNIT STRENGTH 1900 PSI). PERFORM fm AND C90 COMPLIANCE BY UNIT TEST METHOD. USE ONLY MASONRY UNITS THAT ARE A MIN. OF 50% OF SOLID.
- USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270. USE 3/8" FULL-BEDDED JOINTS. FOR ALL MASONRY UNITS, REMOVE MORTAR PROTRUDING INTO CELL CAVITIES THAT ARE TO BE REINFORCED AND GROUTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR TO CURE BEFORE PLACING GROUT.
- USE ALL GROUT CONFORMING TO ASTM C-476 WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, TESTED IN ACCORDANCE WITH ASTM C1019. AGGREGATE TO CONFORM TO ASTM C404 FOR COARSE GROUT AND SLUMP OF 8" TO 11".
- FOR REINFORCED MASONRY USE STANDARD (9 GAGE CROSS AND SIDE RODS) LADDER TYPE HORIZONTAL JOINT REINFORCING IN EVERY OTHER COURSE UNLESS NOTED OTHERWISE. USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISCONTINUOUS ENDS A MIN. OF 12". HORIZONTAL REINFORCING SHALL CONFORM TO ASTM A-82.
- USE ASTM A-615 GRADE 40 REINFORCING STEEL.
- USE PRESSURE-TREATED WOOD FOR ALL WOOD IN CONTACT WITH MASONRY.

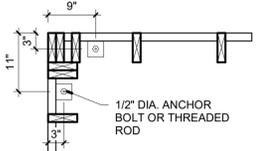
OPTIONAL 3-STUD CORNER



EDGE OF OPENING LAYOUT



CORNER LAYOUT



1 ANCHOR BOLT DETAIL

3/4" = 1'-0"

SHALLOW FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF FOR FOOTINGS.
- SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
- COMPACTED FILL UNDER SLABS, CONCRETE APRONS, PATIO PAVERS, AND OTHER NON-PERVIOUS SURFACES TO RECEIVE AN APPROVED TERMITE TREATMENT PER FBC 2304.11.6

SLABS ON GRADE

- FOR SLABS ON GRADE, REINFORCE WITH W1.4xW1.4 / 6x6 WWF REINFORCEMENT. PLACE IN CENTER OF SLAB THICKNESS.
- USE 15 MIL POLYETHYLENE SHEETING BETWEEN SOIL AND CONCRETE SLAB, UNLESS NOTED OTHERWISE.
- PLACE CRACK CONTROL JOINTS AT 12 FT. MAX. SO AS TO LIMIT CONCRETE PLACEMENT AREAS TO 144 SQ. FT. MAX. IN ALL FLOATING SLABS ON GRADE. DO NOT EXCEED A 2 TO 1 WIDTH TO LENGTH RATIO. CONTRACTOR MAY ELECT TO SUBMIT A CONTROL JOINT LAYOUT FOR ARCHITECT'S REVIEW PRIOR TO CONCRETE PLACEMENT.
- SLAB FINISHES: EXTERIOR WALKING SURFACES - MEDIUM BROOM DRIVING SURFACES - MEDIUM BROOM INTERIOR SURFACES - STEEL TROWEL

REINFORCED CONCRETE

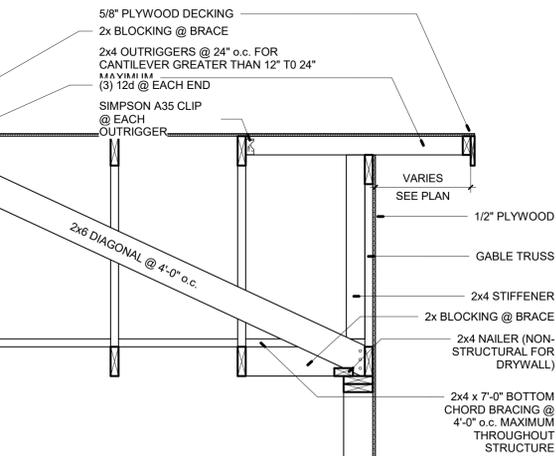
- USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI 318 AND 301 BID PROPER FOR CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MIN. ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

FOOTING	3000 PSI
GRADE BEAMS	3000 PSI
POURED WALLS	5000 PSI ***
COLUMNS	5000 PSI ***
BEAMS & ELEVATED SLABS	5000 PSI ***
ALL OTHER CONCRETE	5000 PSI ***

 *** UNLESS NOTED OTHERWISE
- WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE USE CONCRETE CONTAINING A SUPERPLASTICIZER (N.R.W.R.) ADMIXTURE, ASTM C494 TYPE F. SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7"±.
- IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 2 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP, UNLESS PRE-APPROVED BY ARCHITECT. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END.
- USE ASTM A-615 GR. 40 REINFORCING STEEL IN ALL RESIDENTIAL WORK & GR. 60 REINFORCING STEEL IN ALL COMMERCIAL WORK, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPLICE FOR CONTINUOUS BARS, UNLESS NOTED OTHERWISE. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS NOTED OTHERWISE. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS:

FOOTING/PILECAP	BOTTOM	3"	TOP	2"	SIDES	3"
BEAMS (U.O.N.)		1 1/2"		1 1/2"		1 1/2"
COLUMNS		-		-		1 1/2"
SLABS ON GROUND		2"		1"		2"
SLABS (OTHER THAN ON GROUND)		1"		1"		1"
POURED WALLS RETAINING FILL		-		-		2"
POURED WALLS ABOVE GROUND		-		-		1 1/2"
- USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES. SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY, UNLESS APPROVED BY ARCHITECT. WHERE PIPES OR DUCTS PENETRATE SLABS, A MAX. OF TWO BARS EACH WAY MAY BE CUT, PROVIDED SPLICE BARS ARE PLACED ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-BAR-DIA. LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDUITS IN SLABS IN ACCORDANCE WITH ACI-318 CH. 6.3. PROVIDE 16 X 8 EACH WAY PLACED DIAGONALLY AT MID-DEPTH AROUND ALL OPENINGS LARGER THAN 12", U.O.N.

FOOTING/PILECAP	BOTTOM	3"	TOP	2"	SIDES	3"
BEAMS (U.O.N.)		1 1/2"		1 1/2"		1 1/2"
COLUMNS		-		-		1 1/2"
SLABS ON GROUND		2"		1"		2"
SLABS (OTHER THAN ON GROUND)		1"		1"		1"
POURED WALLS RETAINING FILL		-		-		2"
POURED WALLS ABOVE GROUND		-		-		1 1/2"



2 GABLE END DETAIL

3/4" = 1'-0"

SHOP DRAWING SUBMITTALS

- THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF SPECIFICATIONS.
- REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT. IN ACCORDANCE WITH THE SPECIFICATIONS, SUBMIT A COPY OF THE SHOP DRAWING SUBMITTAL REGISTER TO THE STRUCTURAL ENGINEER, SHOWING DATES OF SUBMITTAL FOR EACH SPECIFIC STRUCTURAL SECTION OF THE WORK, CONSISTENT WITH THE FOLLOWING CRITERIA:
 - ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 WORKING DAYS OF RECEIPT BY THEM.
 - SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., ON THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
 - SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.
- ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL.
- DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.
- SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED AND WILL BE RETURNED WITHOUT COMMENT. RESPONSIBILITIES OF DETAILERS AND FABRICATORS:
 - GENERAL - SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.
 - CONCRETE REINFORCING DETAILER - PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BENDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
 - CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS.
 - INDICATE CONTROL JOINTS, EXPANSION JOINTS, LITELES, CONCRETE BOND BEAMS, AND OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, PLASTERS.
 - CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
 - CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST CLEARLY SHOW THE LOCATION OF ALL BEAM TO COLUMN CONNECTIONS.
 - CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
 - CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.
- FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, SEE BELOW.

SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY SPECIALTY ENGINEER

- DEFINITION -
 - A FLORIDA REGISTERED PROFESSIONAL ENGINEER WHO SPECIALIZES IN AND WHO UNDERTAKES THE DESIGN OF STRUCTURAL COMPONENTS OR STRUCTURAL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT.
 - SHALL BE:
 - AN EMPLOYEE OR OFFICER OF A FABRICATOR.
 - AN EMPLOYEE OR OFFICER OF AN ENTITY SUPPLYING COMPONENTS TO A FABRICATOR.
 - AN INDEPENDENT CONSULTANT RETAINED BY THE FABRICATOR OR HIS SUPPLIER.
- THE FOLLOWING SYSTEMS AND COMPONENTS AS A MINIMUM REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A SPECIALTY ENGINEER:
 - PRE-ENGINEERED WOOD ROOF TRUSSES.
 - THE SPECIALTY ENGINEER OR MANUFACTURER SHALL DESIGN, PROVIDE, AND INSTALL THEIR COMPONENTS AND THE COMPONENT CONNECTIONS TO THE PRIMARY STRUCTURE PER THE WIND CRITERIA STATED IN NOTES 14 & 15 OR THE CURRENT GOVERNING BUILDING CODES, WHICHEVER IS MORE STRINGENT.
 - SUBMITTALS SHALL CLEARLY IDENTIFY THE SPECIFIC PROJECT AND APPLICABLE CODES, LIST THE DESIGN CRITERIA, AND SHOW ALL DETAILS AND PLANS NECESSARY FOR PROPER FABRICATION AND INSTALLATION. CALCULATIONS AND SHOP DRAWINGS SHALL IDENTIFY SPECIFIC PRODUCT UTILIZED. GENERIC PRODUCTS WILL NOT BE ACCEPTED.
 - SHOP DRAWINGS AND CALCULATIONS MUST BE PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE SPECIALTY ENGINEER.
 - SHOP DRAWINGS AND CALCULATIONS REQUIRE THE EMBOSSED SEAL, DATE AND SIGNATURE OF THE SPECIALTY ENGINEER. COMPUTER PRINTOUTS ARE AN ACCEPTABLE SUBSTITUTE FOR MANUAL COMPUTATIONS PROVIDED THEY ARE ACCOMPANIED BY SUFFICIENT DESCRIPTIVE INFORMATION TO PERMIT THEIR PROPER EVALUATION. SUCH DESCRIPTIVE INFORMATION SHALL BEAR THE EMBOSSED SEAL AND SIGNATURE OF THE SPECIALTY ENGINEER AS AN INDICATION THAT HE HAS ACCEPTED RESPONSIBILITY FOR THE RESULTS. SEPIAS DO NOT REQUIRE SIGNATURE AND SEAL. THE ARCHITECT WILL RETAIN ONE SIGNED AND SEALED BLUELINE PRINT FOR RECORD.
 - CATALOG INFORMATION ON STANDARD PRODUCTS DOES NOT REQUIRE THE SEAL OF A SPECIALTY ENGINEER.
 - THAT THE SPECIFIED STRUCTURAL SUBMITTALS HAVE BEEN FURNISHED.
 - THAT THE STRUCTURAL SUBMITTALS HAVE BEEN SIGNED AND SEALED BY THE SPECIALTY ENGINEER.
 - THAT THE SPECIALTY ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND HAS USED THE SPECIFIED STRUCTURAL CRITERIA. (NO DETAILED CHECK OF CALCULATIONS WILL BE MADE.)
 - THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)
- REVIEW BY THE ARCHITECT OF SUBMITTALS IS LIMITED TO VERIFYING THE FOLLOWING:
 - LIST SHALL BE PREPARED AND MAINTAINED BY THE CONTRACTOR FOR ALL SHOP DRAWINGS REQUIRING PARTICIPATION OF A SPECIALTY ENGINEER. THE LIST SHALL CONTAIN PROJECT NAME, NAME OF CONTRACTOR, NAME OF SUBCONTRACTOR, NAME OF SPECIALTY ENGINEER, DRAWING NUMBER, DRAWING TITLE, AND LATEST REVISION NUMBER AND DATE. FOR PARTIAL SUBMITTALS, THE LIST SHALL CONTAIN ALL ANTICIPATED DRAWING NUMBERS AND TITLES REQUIRED TO COMPLETE THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE LATEST UPDATED LIST OF DRAWINGS WITH EACH SUBMITTAL.
 - SUBMITTALS NOT MEETING THE ABOVE CRITERIA WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.

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The Barn Pool
 105 W. Jackson St. Pensacola, FL

DRAWN BY: MN
 CHECKED BY: JSS

ISSUE DATE: 02-23-23

REVISIONS
 No. Des. Date

SHEET TITLE:
STRUCTURAL NOTES AND DIAGRAMS

SHEET NO:
S001

PROJECT NO:
 22049

DEMOLITION NOTES

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
4. ALL VEGETATION ON EXISTING FENCE AND COLUMNS TO REMAIN.



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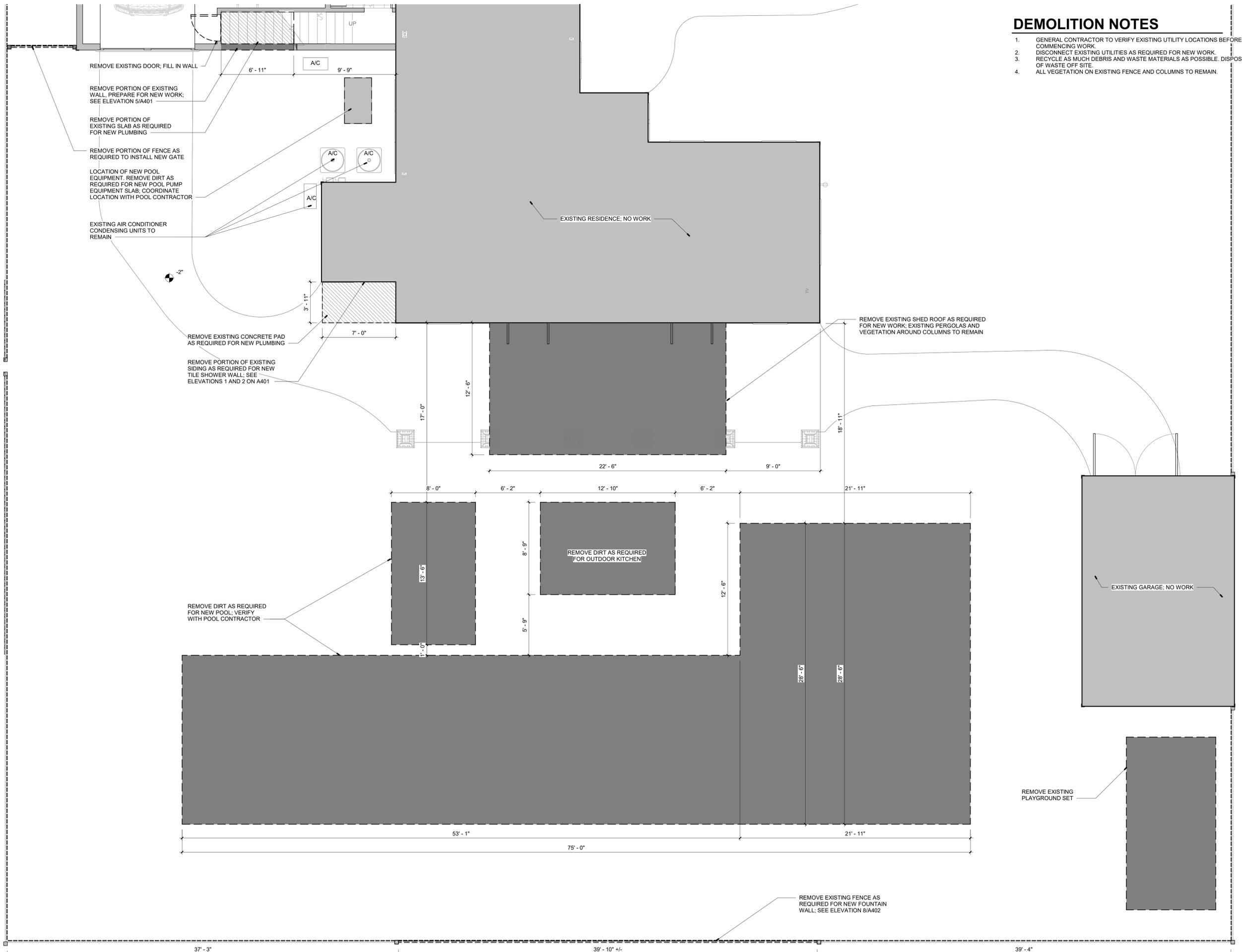
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SHEET TITLE:
DEMOLITION PLAN

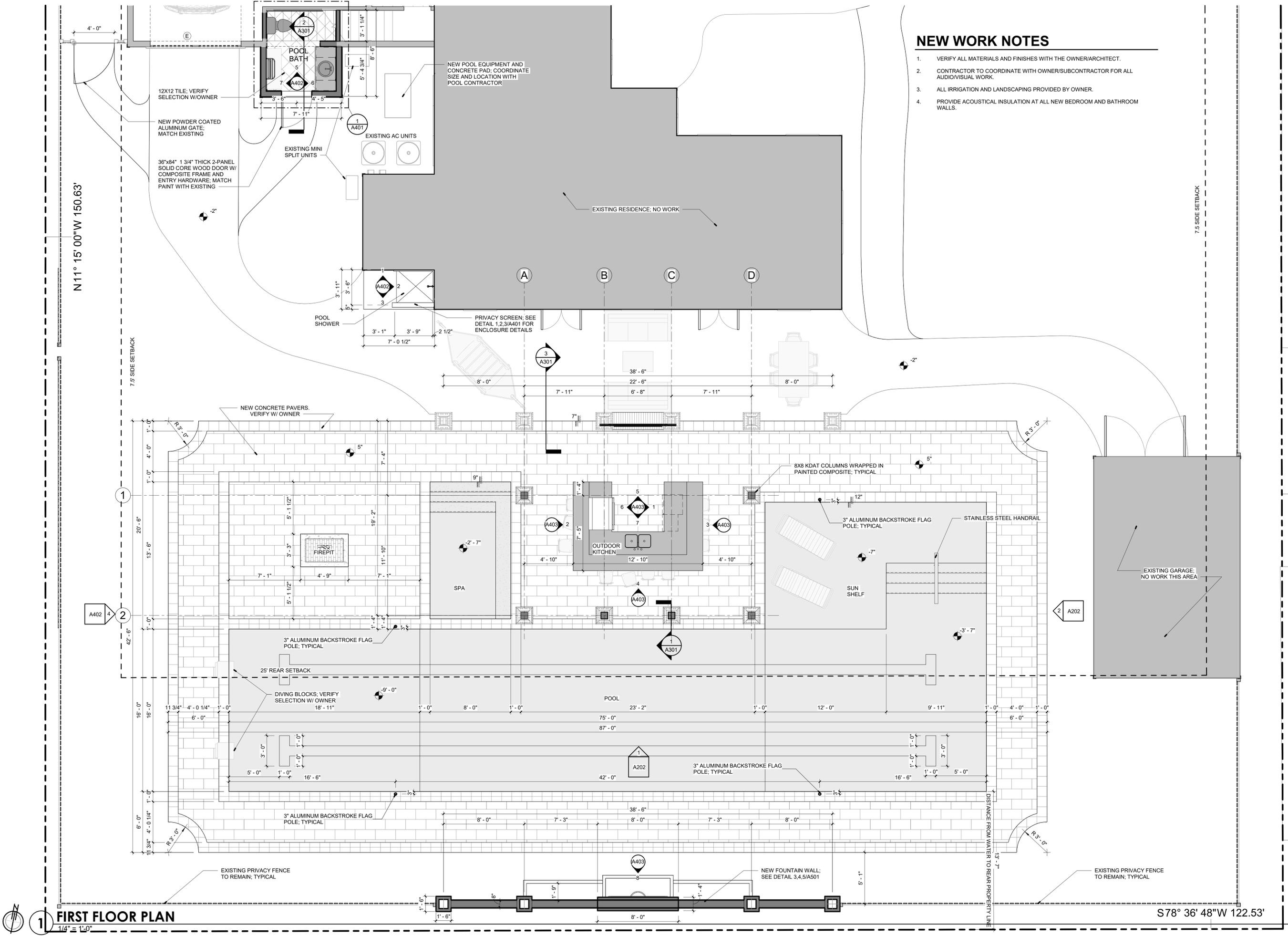
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A001

PROJECT NO:
22049



1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



NEW WORK NOTES

1. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
2. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIOVISUAL WORK.
3. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
4. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.

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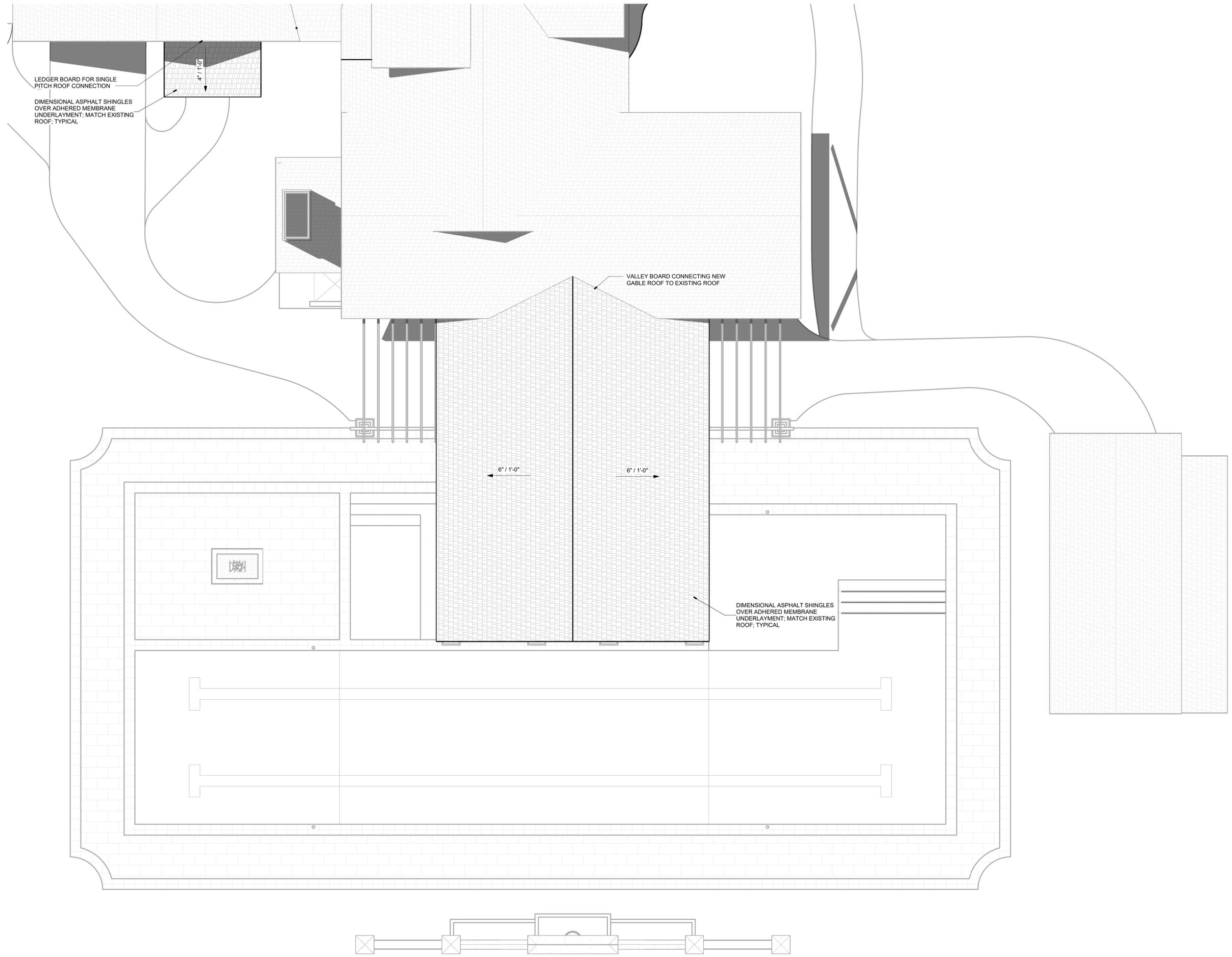
SHEET TITLE:
NEW WORK FLOOR PLAN

SHEET NO:
A101
PROJECT NO:
22049

FIRST FLOOR PLAN
1/4" = 1'-0"

S 11° 23' 52" E 150.36'

S 78° 36' 48" W 122.53'



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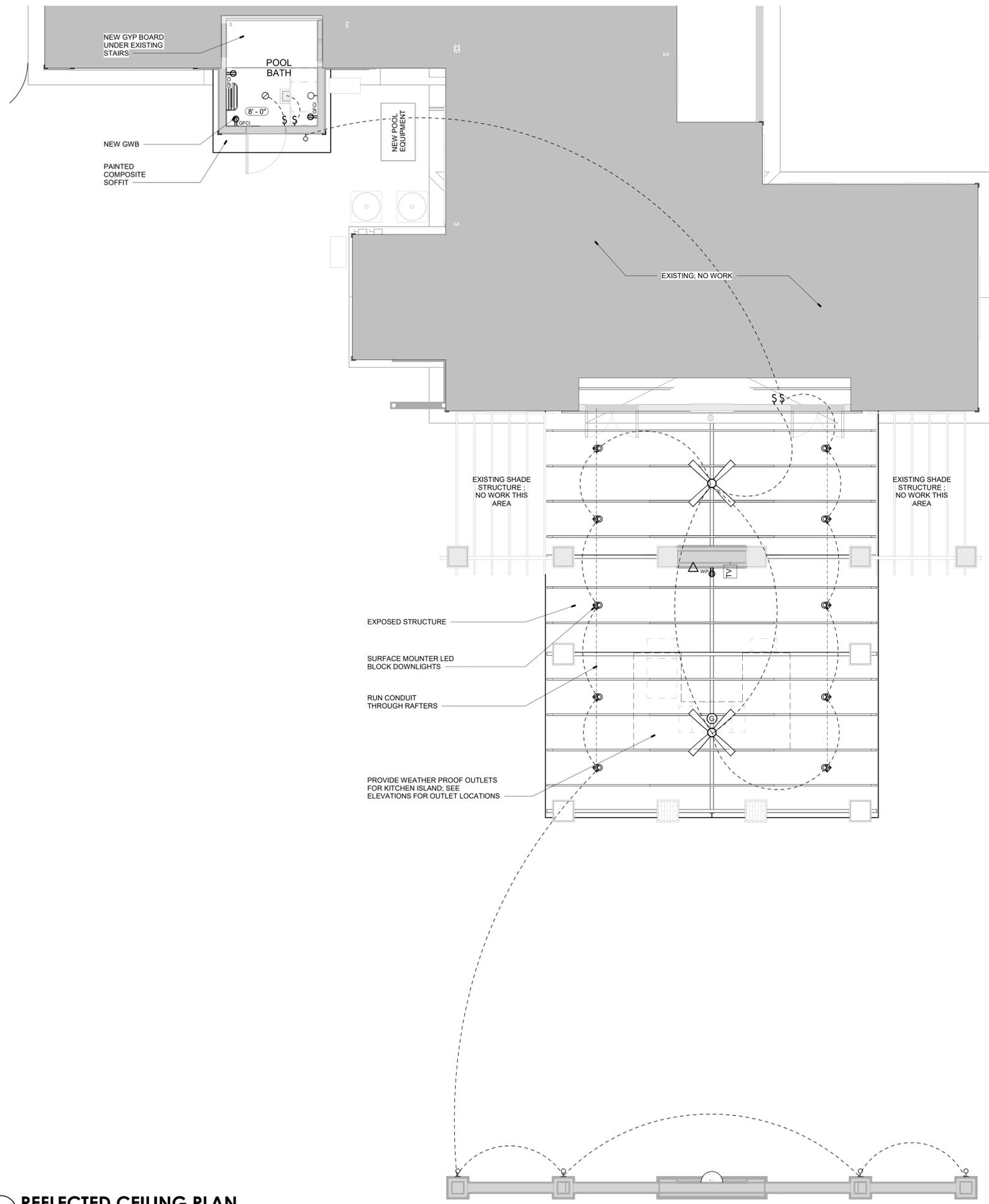
SHEET TITLE:

ROOF PLAN

SHEET NO:

A102

PROJECT NO:
22049



ELECTRICAL LEGEND

- ⊕ DUPLEX
- Ⓢ SWITCH
- △ DATA
- Ⓞ IN-SINK GARBAGE DISPOSAL
- TV CABLE TV
- ☐ EXHAUST FAN
- RECESSED LIGHT FIXTURE
- ⊗ CEILING FAN
- WP WEATHER-PROOF
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- Ⓞ WALL MOUNTED (SCONCE) LIGHT FIXTURE

ELECTRICAL NOTES

- CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- CONDUITS AND CONNECTIONS**
- FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS).
 - CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.
 - CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY, CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
 - CONDUIT MATERIAL SHALL BE AS FOLLOWS:
 A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 B) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY)
 C) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE.
 D) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
 E) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ROMEX
 F) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB - INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.
- CODES & EQUIPMENT**
- ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE W/ GULF POWER. TO ENSURE THE OWNER HAS A COMPLETE AND OPERABLE SERVICE.
 - ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.
 - THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE NAMEPLATE VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
 - COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC. WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
 - VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SWITCHES.
 - WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.
- RECEPTACLES & SWITCHES**
- ALL LOW VOLTAGE WIRING AND BOXES BY INTEGRATED SURROUNDINGS.
 - ROUTE LIGHT FIXTURE SWITCH LEGS TIED TO DIGITAL KEY PADS AS HOME RUNS TO CLOSET SHOWN AT SOUTH WEST CORNER OF GROUND FLOOR.
 - WHERE TWO SWITCHES ARE SHOWN, PROVIDE SINGLE POLE COMBINATION DECORATOR LIGHT SWITCH - WHITE
 - ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE CENTER OF THE BOX.
 - VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PRIOR TO ROUGH-IN.
 - RECEPTACLES, SWITCHES AND COVER PLATES SHALL BE DECORATOR STYLE. COLOR SHALL BE WHITE.
 - WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.
 - RECEPTACLE SPACING MUST BE PER NEC.
 - ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.
 - SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

1 REFLECTED CEILING PLAN
1/4" = 1'-0"

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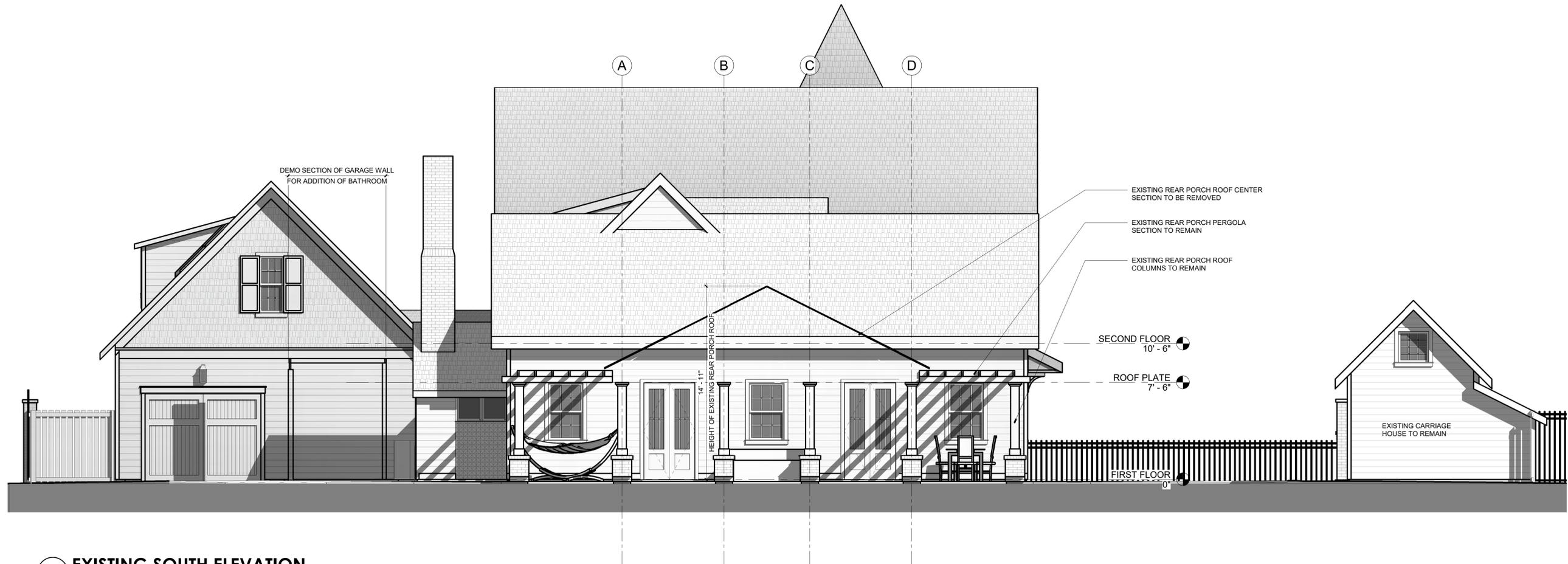
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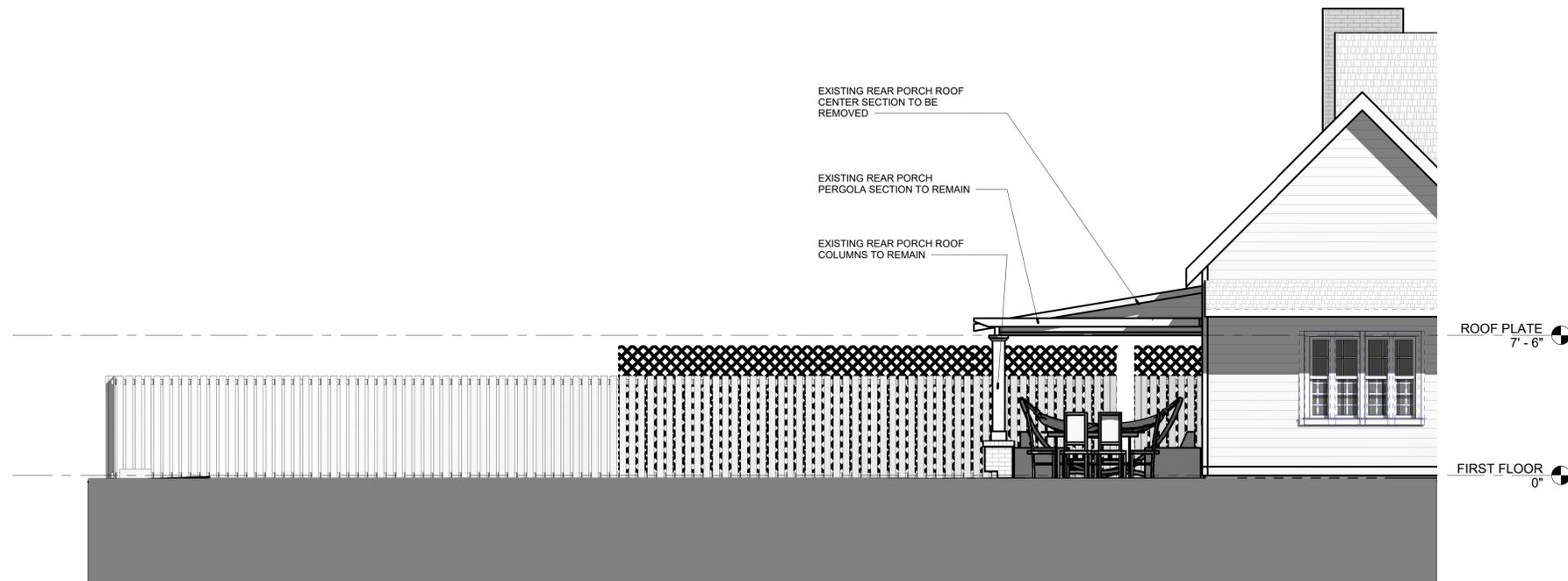
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SHEET TITLE:
REFLECTED CEILING PLAN

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A103
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1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 EXISTING EAST ELEVATION
1/4" = 1'-0"



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SHEET TITLE:
EXISTING EXTERIOR ELEVATIONS

SHEET NO:
A201
PROJECT NO:
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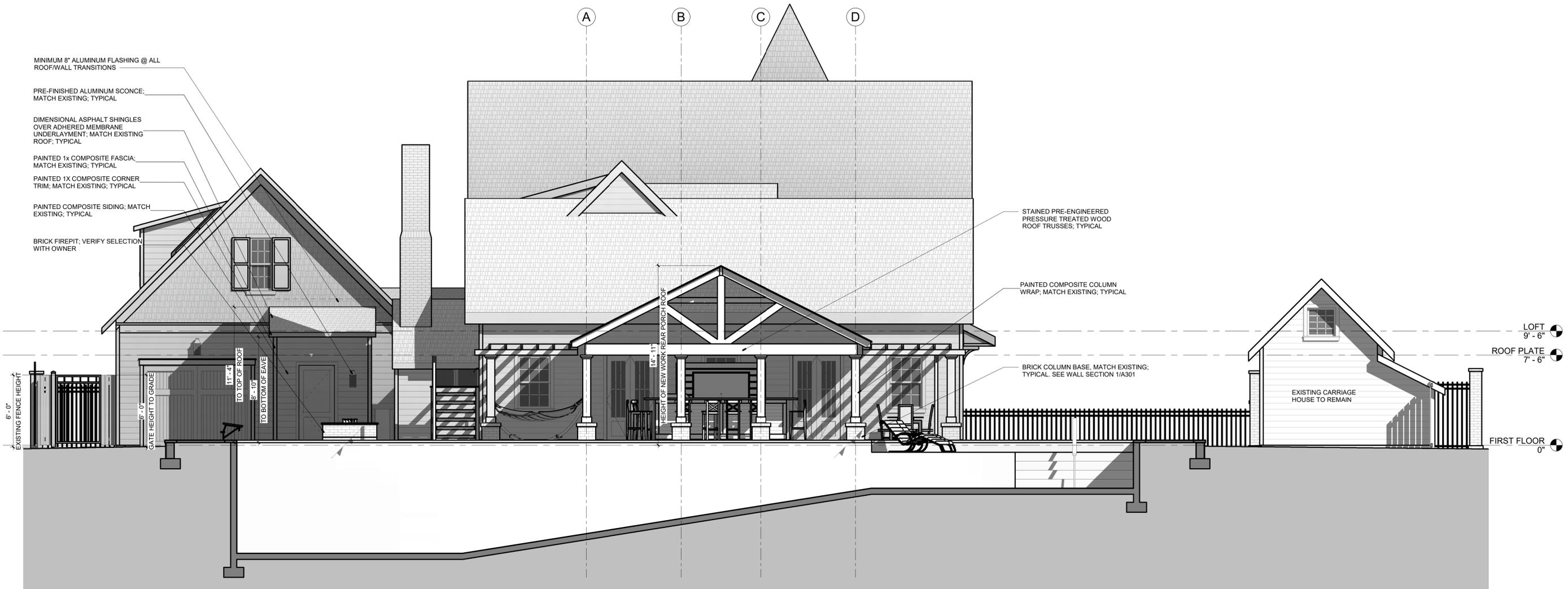
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SHEET TITLE:
NEW WORK EXTERIOR ELEVATIONS

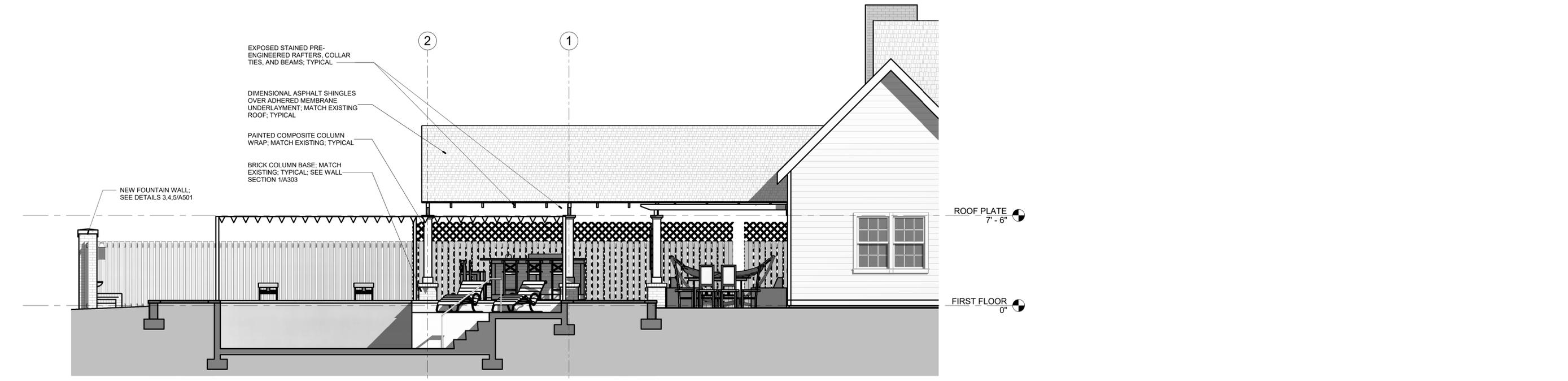
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A202

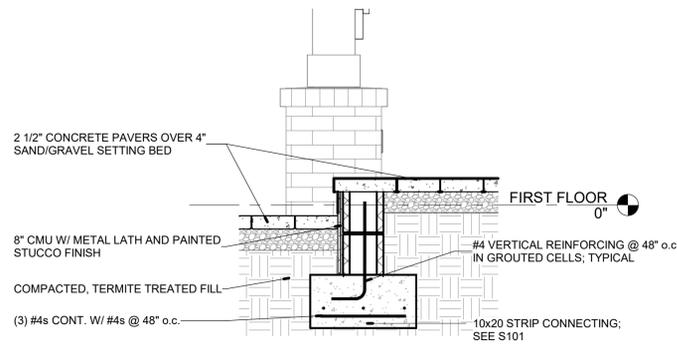
PROJECT NO:
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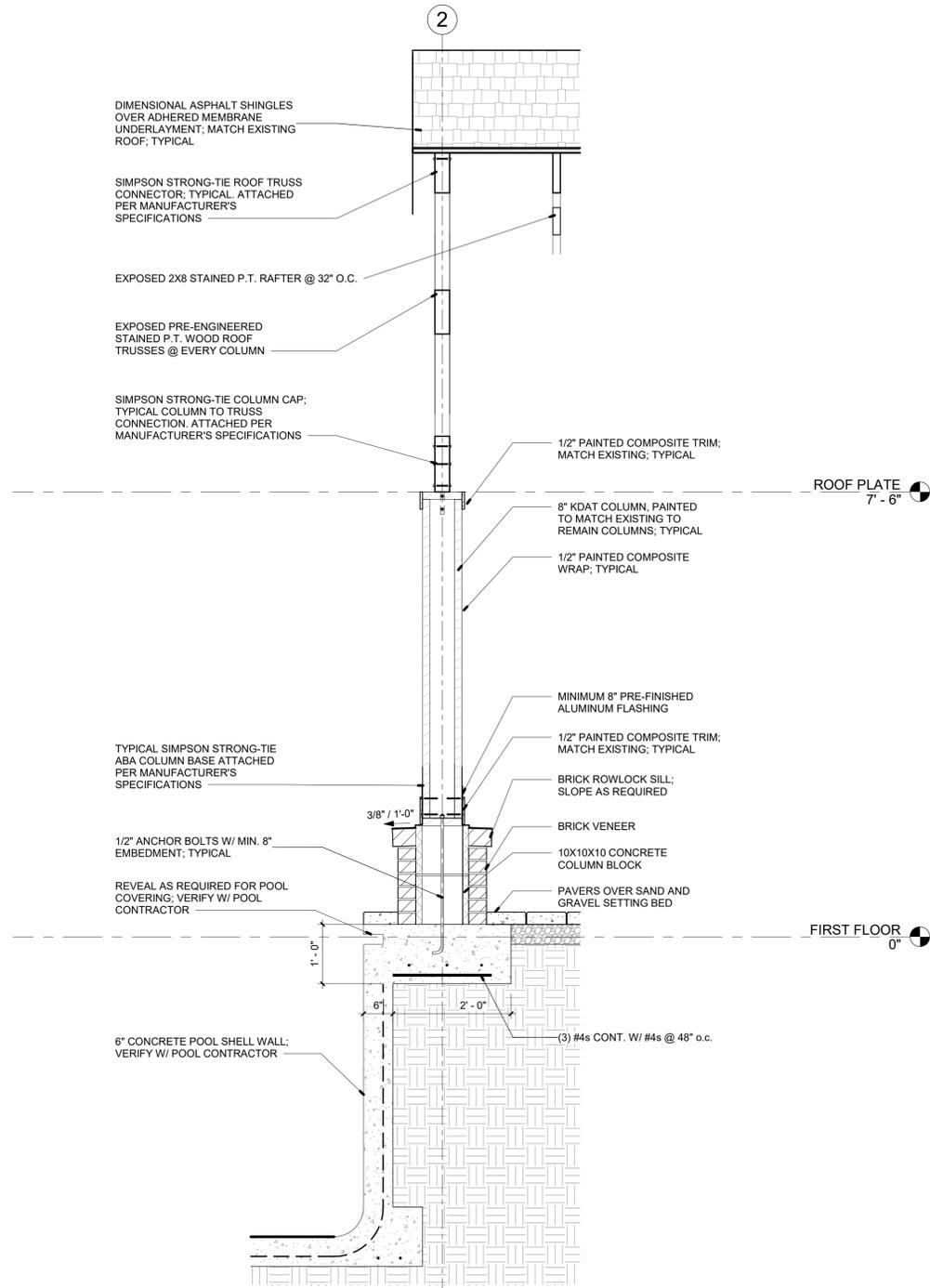
1 SOUTH ELEVATION
1/4" = 1'-0"



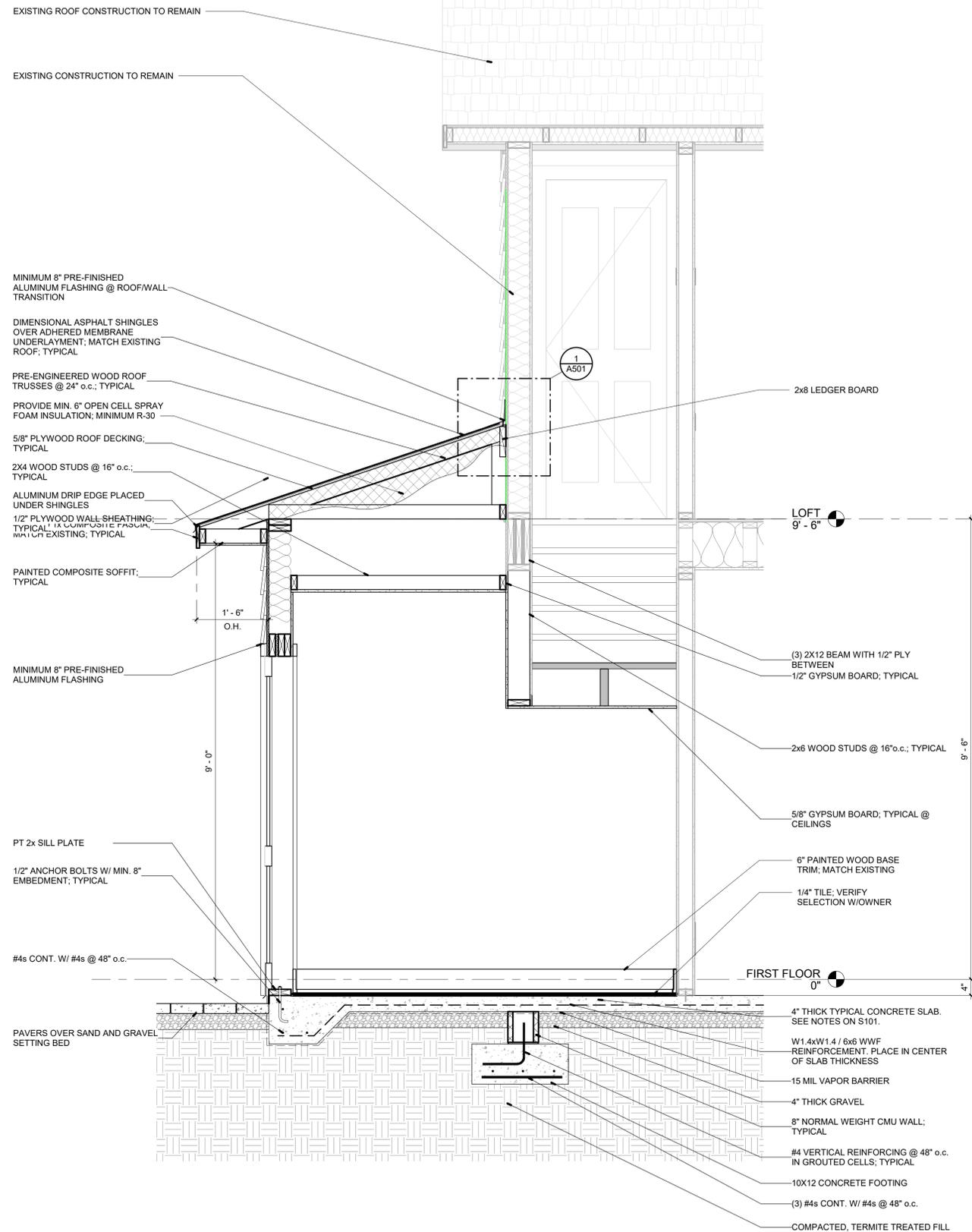
2 EAST ELEVATION
1/4" = 1'-0"



3 DETAIL @ EXISTING/POOL PAVERS
3/4" = 1'-0"



1 WALL SECTION @ OUTDOOR KITCHEN
3/4" = 1'-0"



2 WALL SECTION @ POOL BATH
3/4" = 1'-0"



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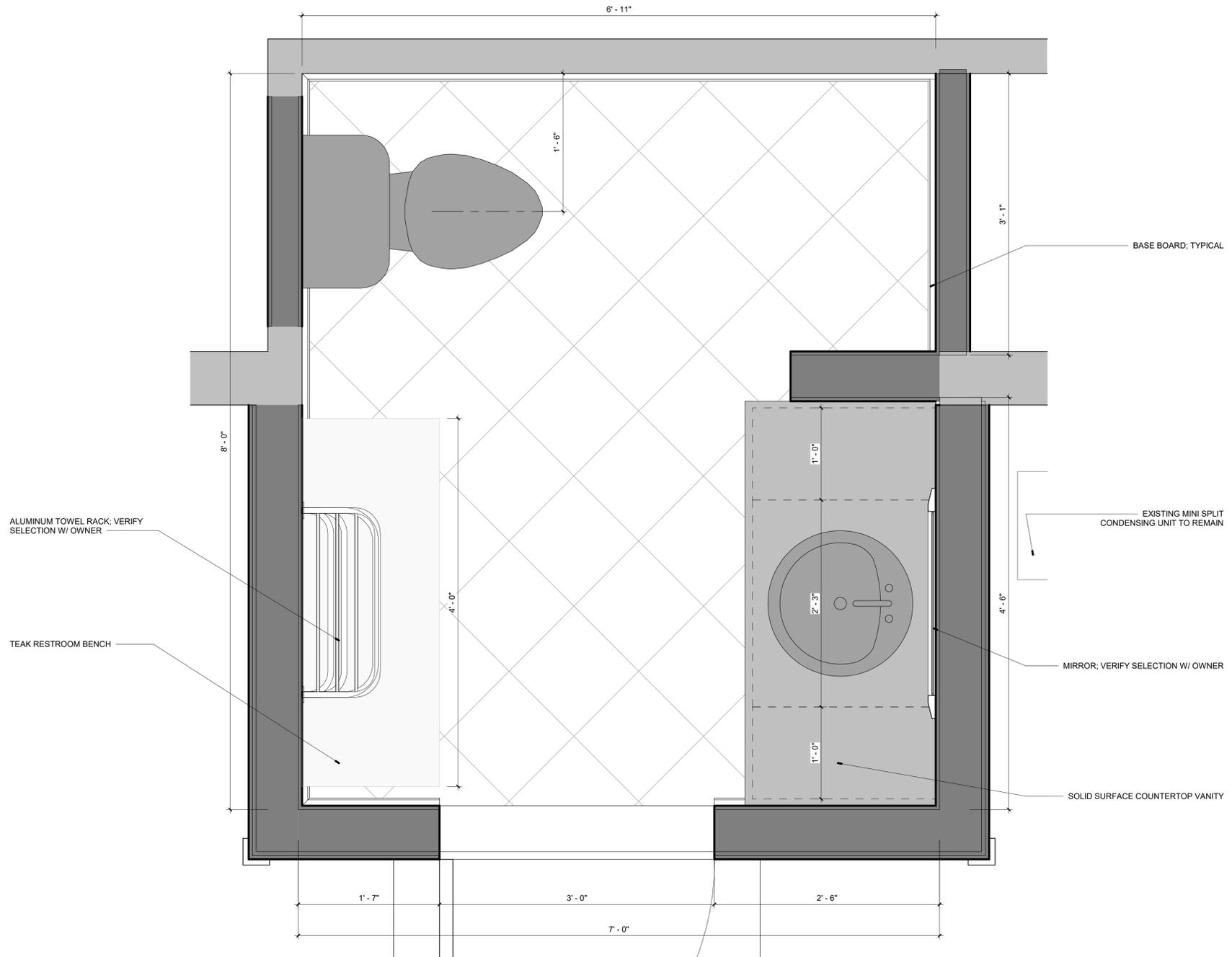
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SHEET TITLE:
ENLARGED POOL BATH PLAN

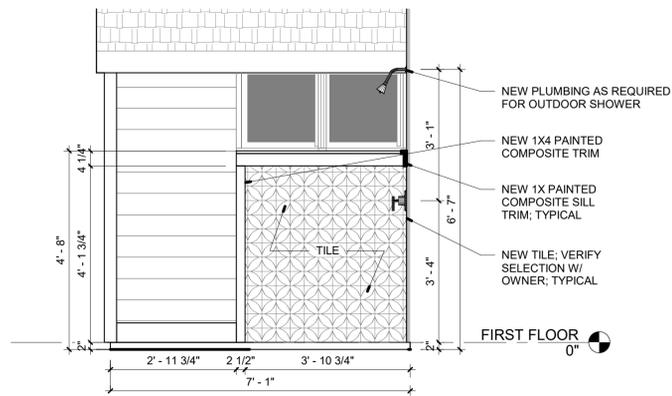
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A401

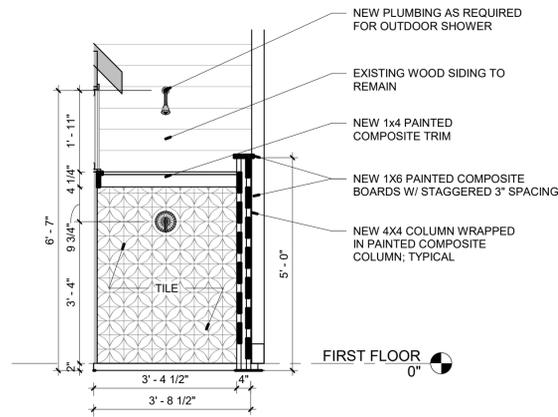
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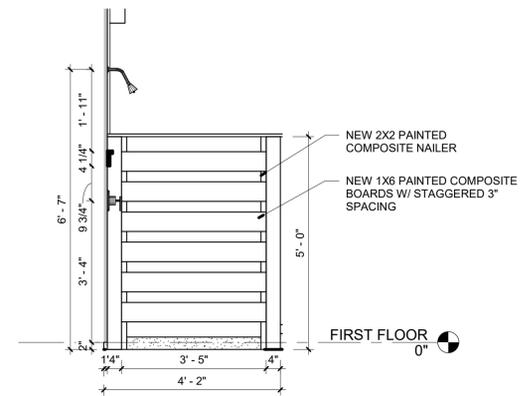
1 ENLARGED POOL BATH PLAN
1 1/2" = 1'-0"



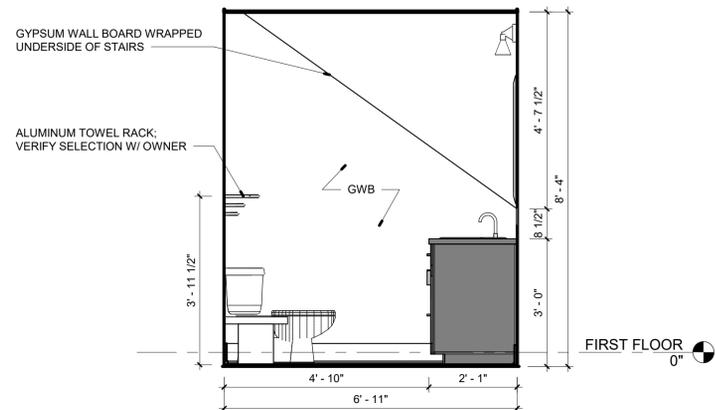
1 POOL SHOWER A
1/2" = 1'-0"



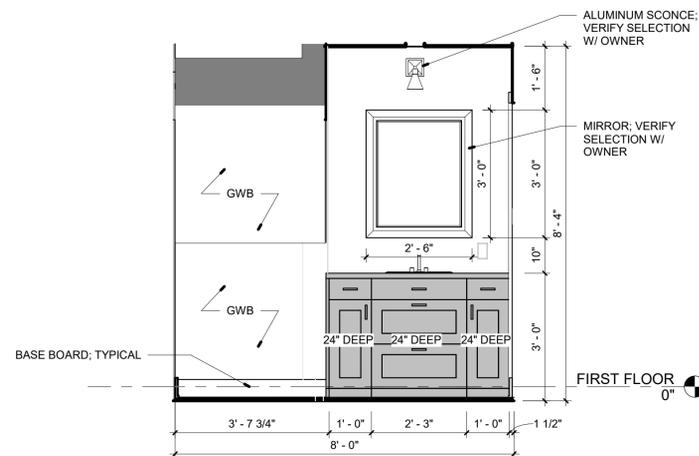
2 POOL SHOWER B
1/2" = 1'-0"



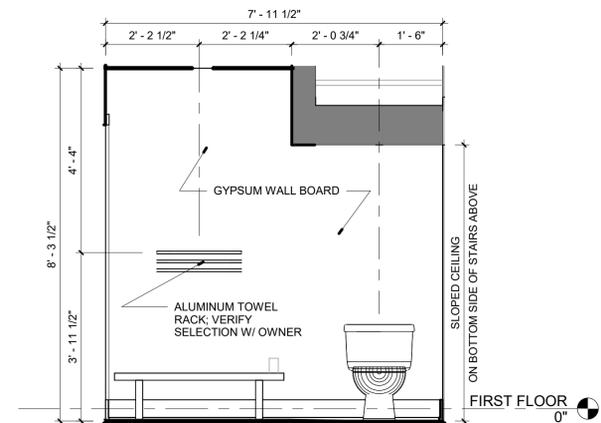
3 POOL SHOWER C
1/2" = 1'-0"



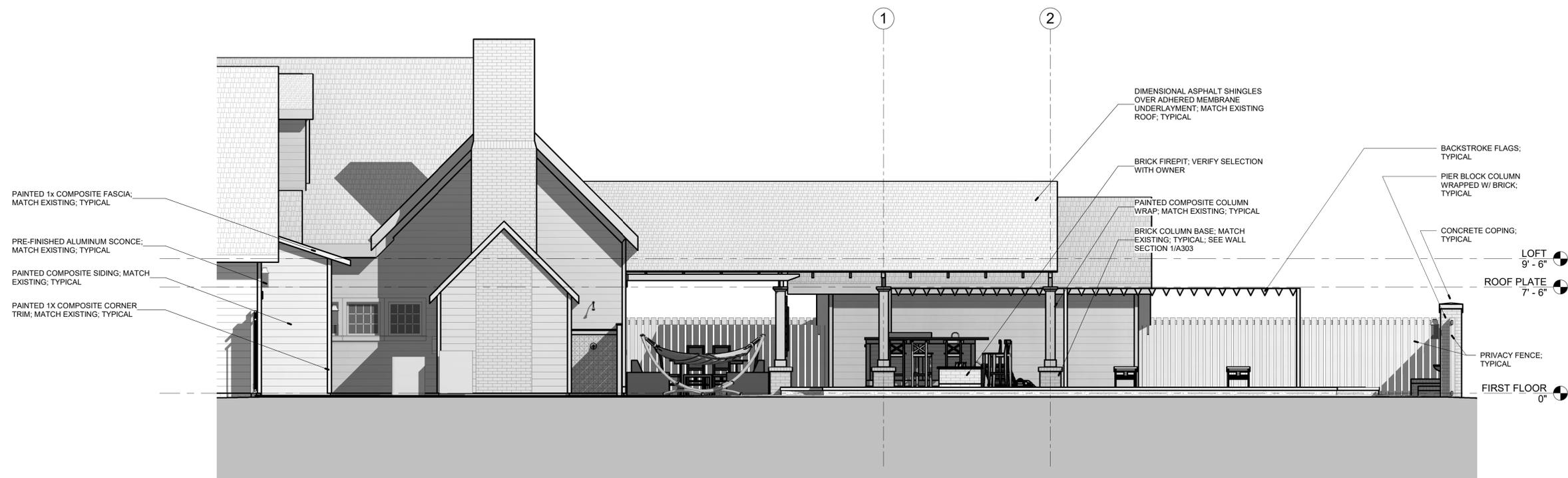
5 POOL BATH A
1/2" = 1'-0"



6 POOL BATH B
1/2" = 1'-0"



7 POOL BATH C
1/2" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

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SHEET TITLE:
INTERIOR & EXTERIOR ELEVATIONS

SHEET NO:

A402

PROJECT NO:
22049

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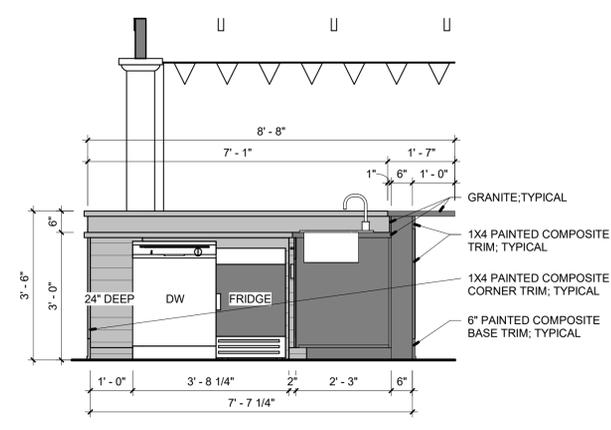
NOT FOR CONSTRUCTION

The Barn Pool
105 W. Jackson St. Pensacola, FL

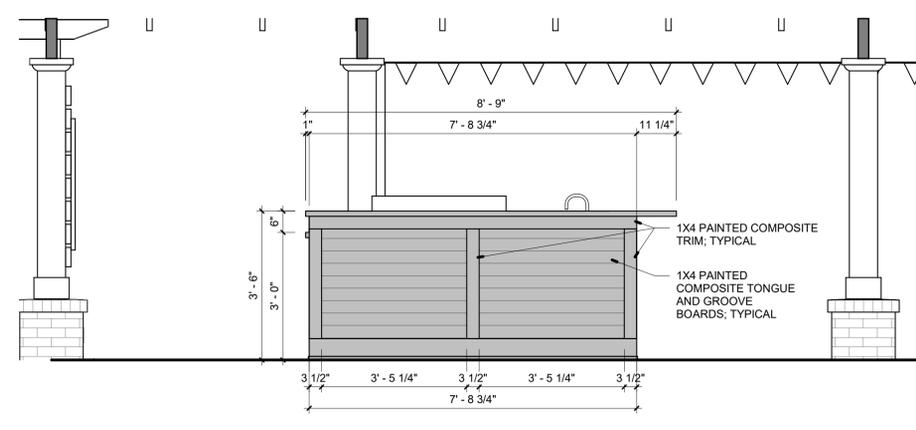
DRAWN BY: MN
CHECKED BY: JSS
ISSUE DATE: 02-23-23
REVISIONS: No. Des. Date

SHEET TITLE:
INTERIOR & EXTERIOR ELEVATIONS

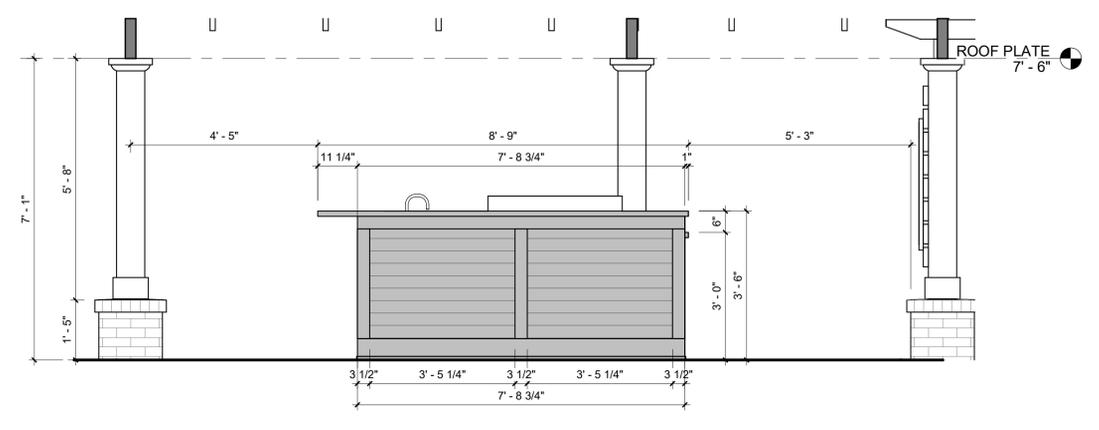
SHEET NO:
A403
PROJECT NO:
22049



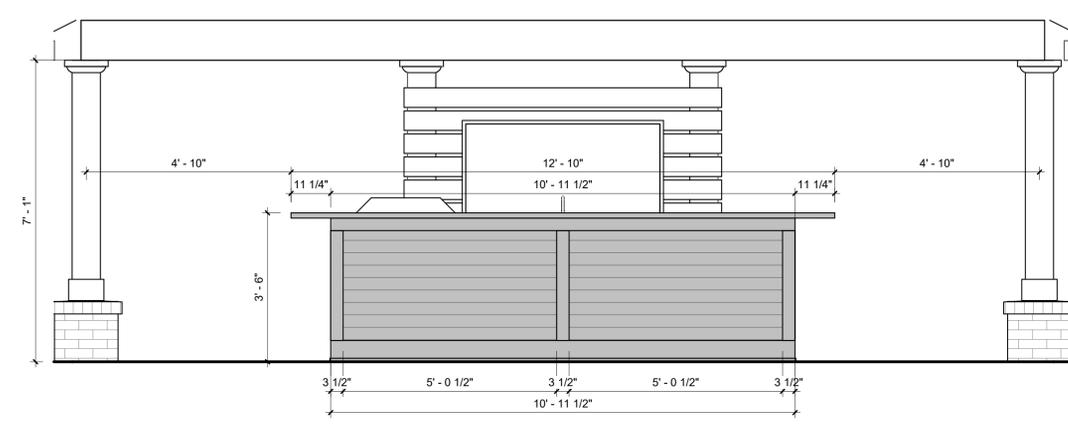
1 KITCHEN A
1/2" = 1'-0"



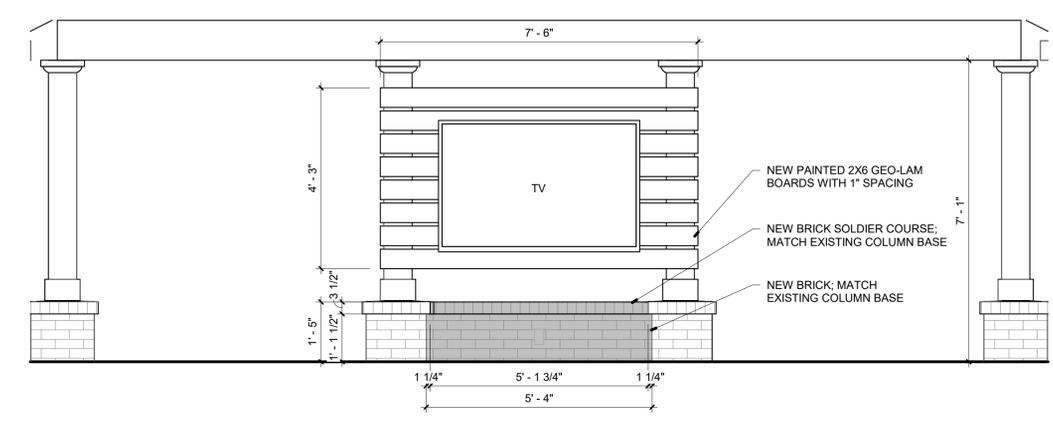
2 KITCHEN B
1/2" = 1'-0"



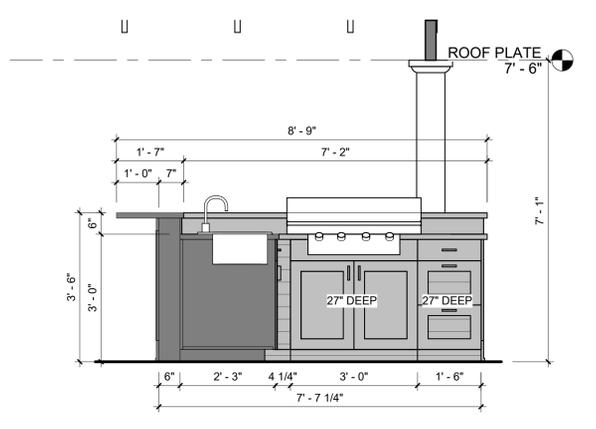
3 KITCHEN C
1/2" = 1'-0"



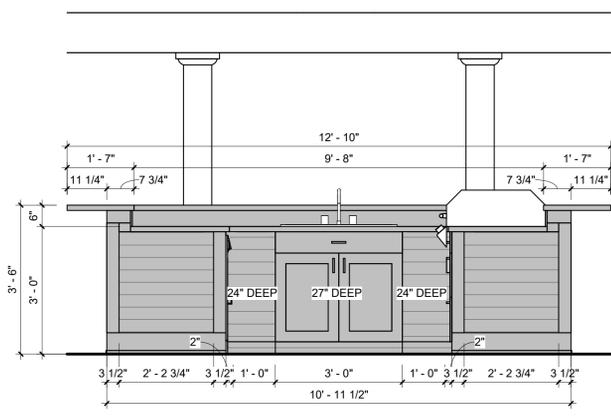
4 KITCHEN D
1/2" = 1'-0"



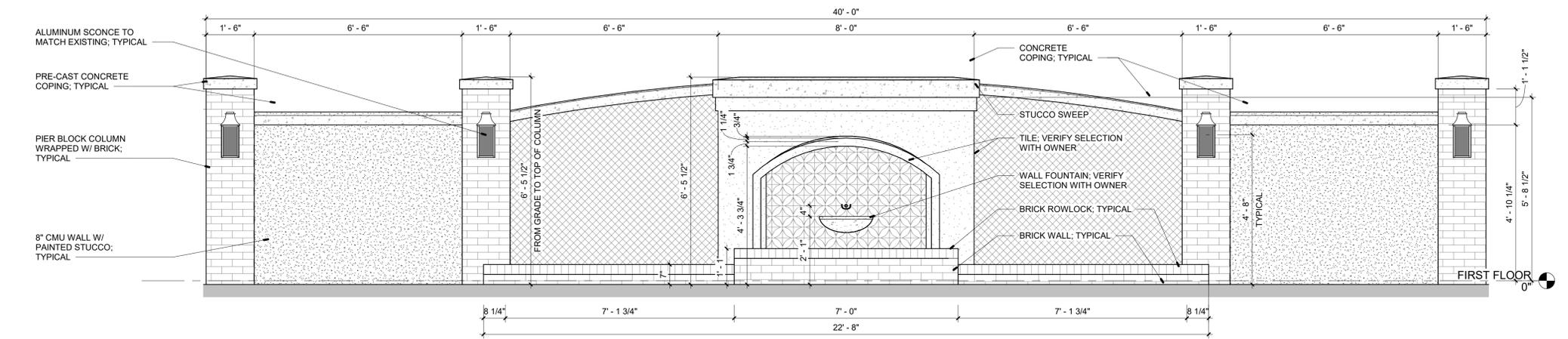
5 KITCHEN E
1/2" = 1'-0"



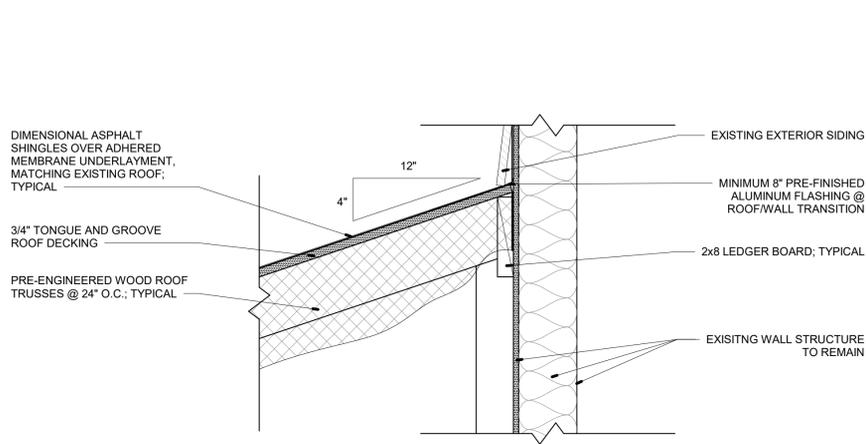
6 KITCHEN F
1/2" = 1'-0"



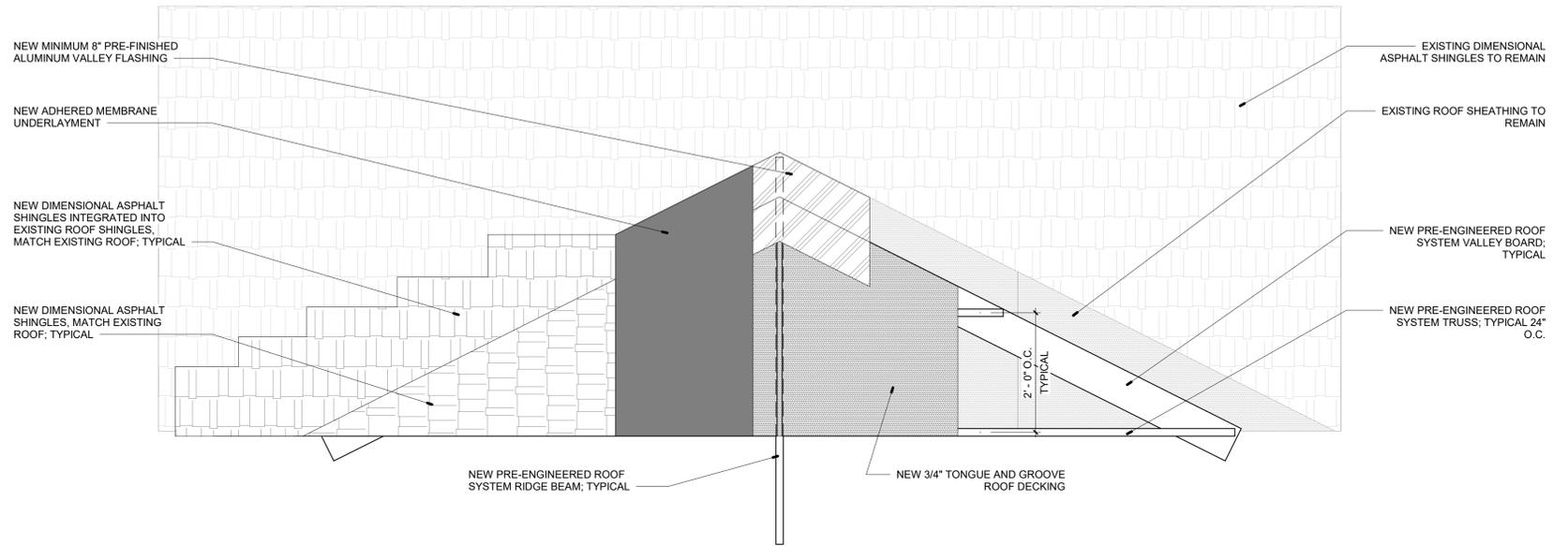
7 KITCHEN G
1/2" = 1'-0"



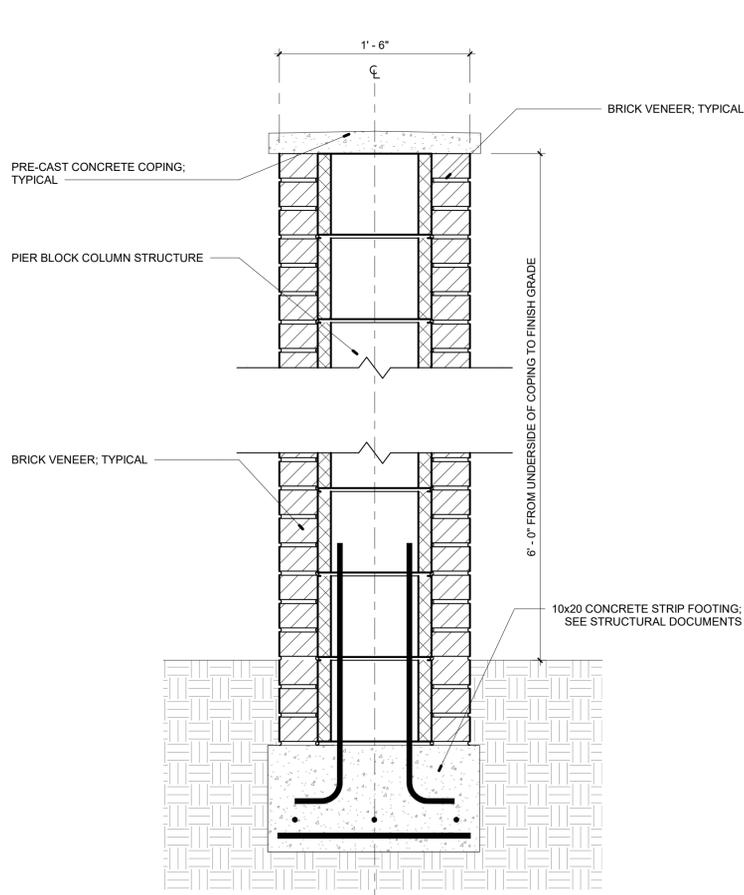
8 POOL FOUNTAIN WALL
1/2" = 1'-0"



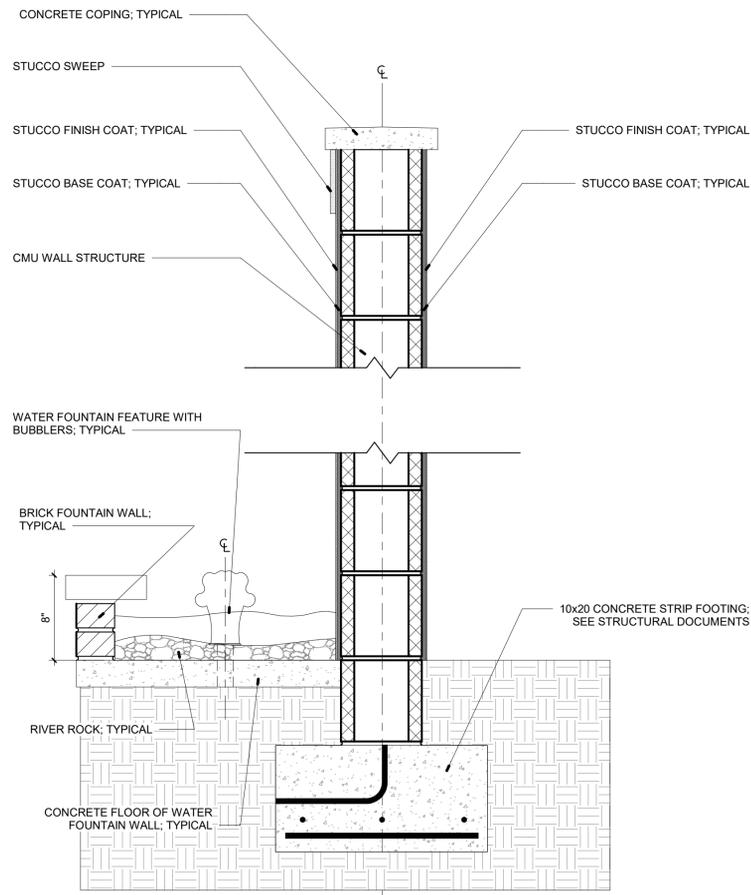
1 LEDGER BOARD ROOF TRUSS DETAIL
1 1/2" = 1'-0"



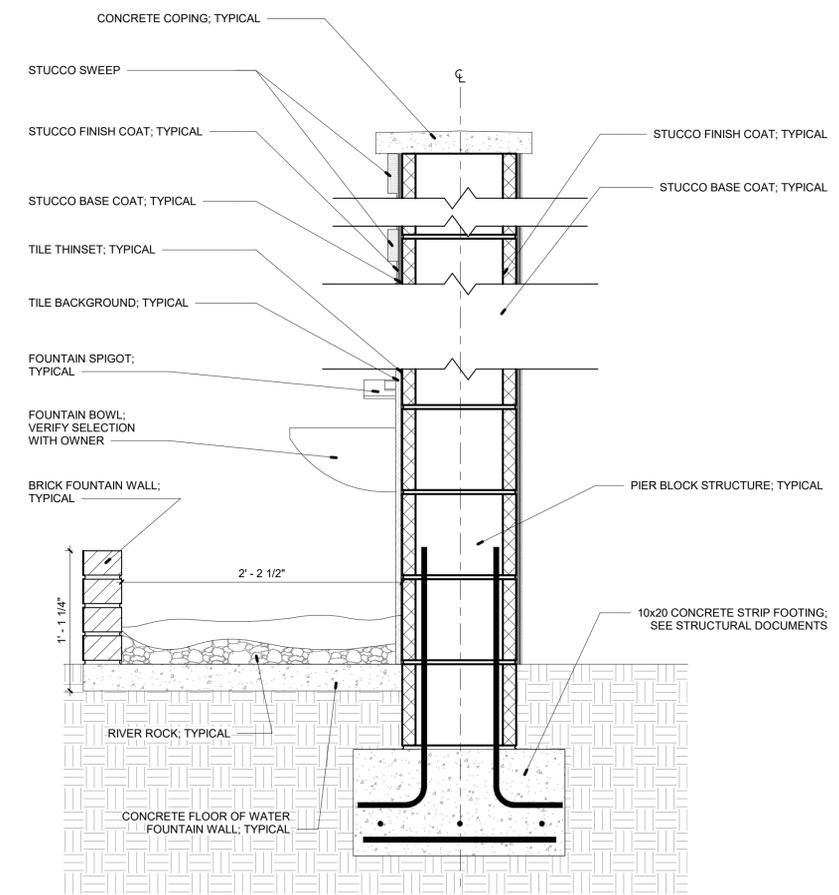
2 VALLEY BOARD ROOF DETAIL
3/4" = 1'-0"



3 FOUNTAIN WALL COLUMN DETAIL
1 1/2" = 1'-0"



4 FOUNTAIN WALL DETAIL
1 1/2" = 1'-0"



5 FOUNTAIN WALL CENTER DETAIL
1 1/2" = 1'-0"



dalrymple | sallis
architecture
213 S. Baylen St
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

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CERTIFICATION

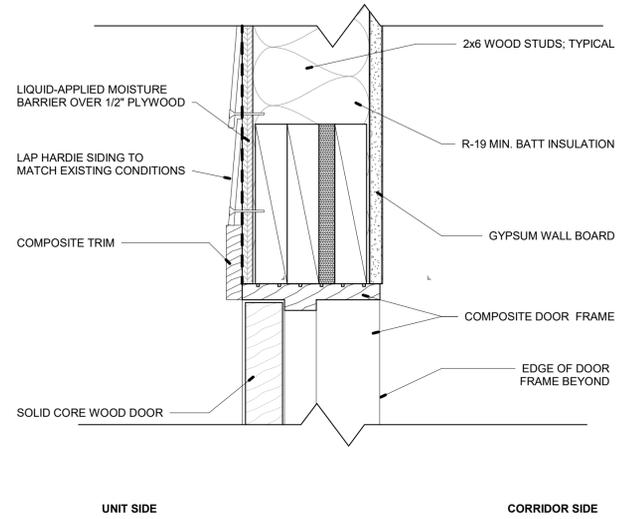
NOT FOR CONSTRUCTION

The Barn Pool
105 W. Jackson St. Pensacola, FL

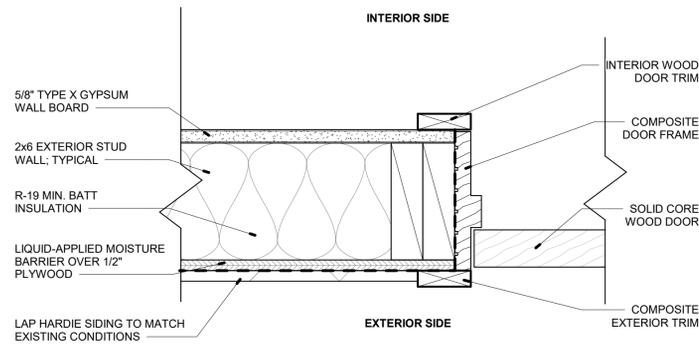
DRAWN BY:	CHECKED BY:
MN	JSS
ISSUE DATE:	
02-23-23	
REVISIONS	Date
No. Des.	

SHEET TITLE:
DETAILS

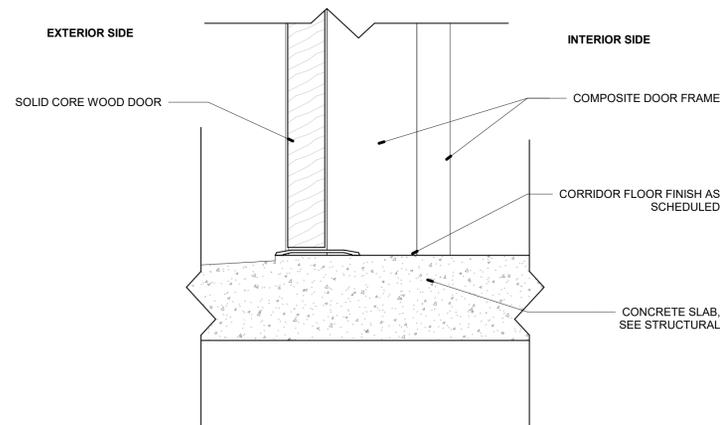
SHEET NO:
A501
PROJECT NO:
22049



1 DOOR HEAD DETAIL
3" = 1'-0"



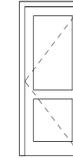
2 DOOR JAMB DETAIL
3" = 1'-0"



3 DOOR THRESHOLD DETAIL
3" = 1'-0"

DOOR SCHEDULE								
Type Mark	Mark	Width	Height	Thickness	Door Material	Frame Material	Lockset	Comments
A	101	3' - 0"	7' - 0"	1 3/4"				

DOOR TYPES



A
SINGLE-
2 PANEL

DOOR NOTES

- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- PROVIDE LEVEL STYLE HARDWARE. TYP.
- WOOD DOORS TO BE SOLID CORE, PAINTED.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

ABBREVIATION KEY

CONC	CONCRETE
CPT	CARPET
GWB	GYPSUM WALL BOARD
MIRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
TILE	TILE
WD	WOOD
COMP	COMPOSITE

FINISHES

PAINT FINISHES
PAINT 1: BENJAMIN MOORE "PURITAN GRAY" HC-164
PAINT 2: BENJAMIN MOORE "SIMPLY WHITE" OC-117
PAINT 3: BENJAMIN MOORE "NEWBURG GREEN" HC-158

EXTERIOR

NEW COMP. SIDING: PAINT 1

NEW & EX. SHAKE: PAINT 1

WOOD BEAMS & COLUMNS: PAINT 2

NEW WOOD BRACKETS: PAINT 3

EX. & NEW BRACKETS: PAINT 2

SOFFIT, FASCIA, & TRIM: PAINT 2

EX. & NEW DOOR TRIM: PAINT 3

EX. & NEW DOORS: PAINT 3



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CERTIFICATION

NOT FOR CONSTRUCTION

The Barn Pool

105 W. Jackson St. Pensacola, FL

DRAWN BY: MN
CHECKED BY: JSS

ISSUE DATE:
02-23-23

REVISIONS
No. Des. Date

SHEET TITLE:
SCHEDULES AND DIAGRAMS

SHEET NO.:

A601

PROJECT NO.:
22049

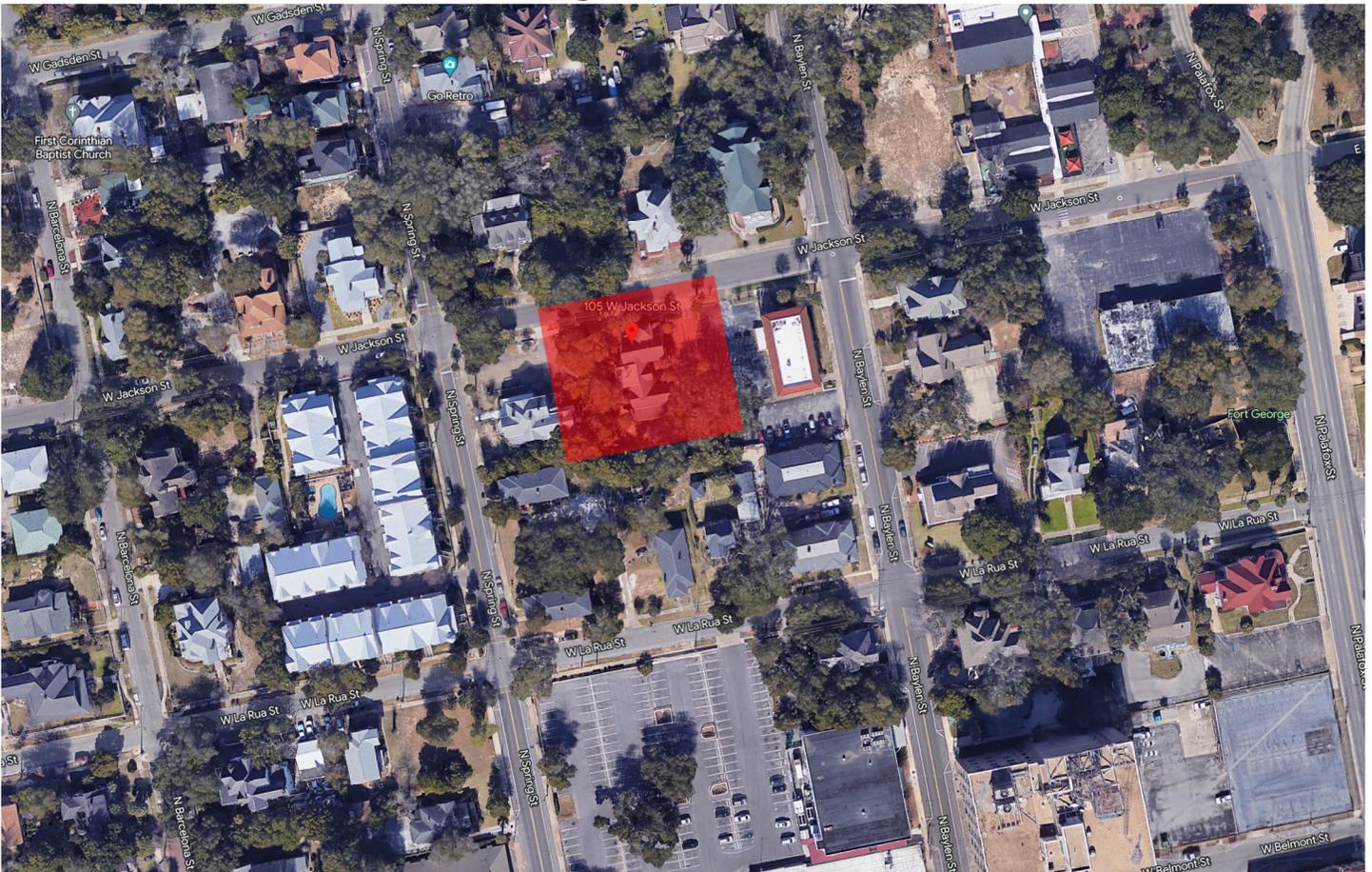


Date: Wednesday, March 29, 2023

Project: The Barn Pool
105 W. Jackson St.
Pensacola, FL 32501

Recipient: Architectural Review Board – City of Pensacola

Project Location



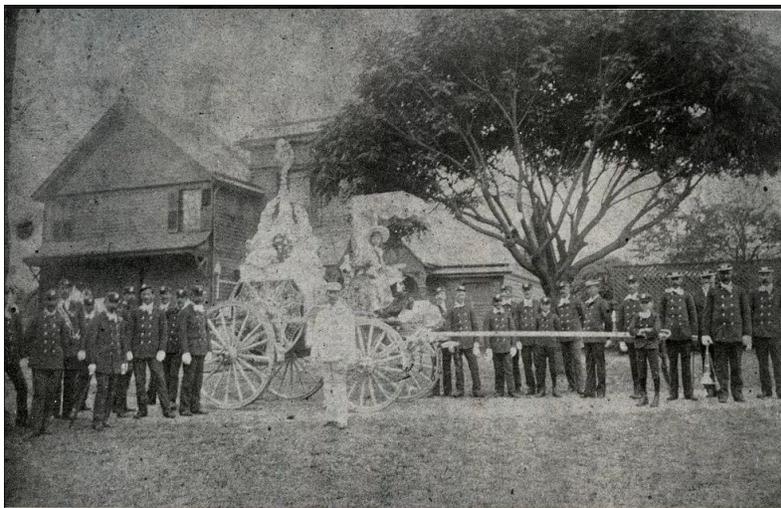
Existing Photographs







Historic Photographs



The Washington Hose Company; picture taken circa 1889, possibly in front of the Barrs residence after the annual Mayday Parade. Photo from personal collection of Arnold Rosenbleeth.

105 West Jackson St.

Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
SIDING	BENJAMIN MOORE	HC-164 "PURITAN GRAY"
TRIM, CORNERBOARDS, LOUVERS	BENJAMIN MOORE	OC-117 "SIMPLY WHITE"
SOFFIT AND FASCIA	BENJAMIN MOORE	OC-117 "SIMPLY WHITE"
COLUMNS	BENJAMIN MOORE	OC-117 "SIMPLY WHITE"
Architectural Grade Running Trim	TBD	TO MATCH EXISTING
EXTERIOR DOOR	JELD-WEN, CLAD WOOD	"BRILLIANT WHITE"
Stucco	TBD	TO MATCH EXISTING
Coping	TBD	Precast concrete
GATE	TBD	WHITE TO MATCH ADJACENT FENCING
HANDRAIL IN POOL	TBD	MARINE GRADE STAINLESS STEEL



Pergola and Trim Color

Similar to exterior Pergola and Trim siding



Garage Siding

Similar to Existing Garage Siding

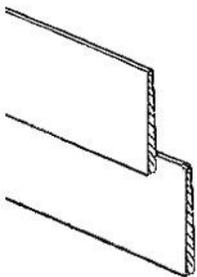
Door – Two panel exterior solid core wood

Manufacturer Jeld-wen, custom clad – Wood – Painted to match existing white.



Lap Siding Profile

To Match Existing



Traditional Lap

Paver Selection

Peacock Paver – Rice White



Precast Concrete Coping

Manufacturer TBD – Concrete



Lighting

Hinkley – Republic 1



Brick

Boral - Alamo



COLORS

FEATURES

- Wide variety of clays from different manufacturing facilities creates a huge variety of colors and textures.
- Low-maintenance, durable and energy efficient.
- Traditional, substantial and upscale aesthetics
- Specialized Boral shapes for architectural details.
- ""Transferable Residential Warranty"" protects you through the ownership of your home and if you should sell, the warranty is passed on to the new owner.
- Size: Modular, Queen, Modular, Queen

Ceiling fan

Maverick Max – Monte Carlo 70"



3MAVR70AGP - Monte Carlo 70" Maverick Max in Aged Pewter

3MAVR70AGP

☆☆☆☆☆ (Reviews)

- 6821 CFM (2.34 MPH Breeze)
- Aged Pewter Motor w/Light Grey Weathered Oak Finish
- Blades
- 70 Inch Blade Span | 13 Degree Pitch
- Rated For Indoors (dry rated), Outdoor Cc x 28mm Super Efficient DC Motor
- 6 Speed Remote Control

Options

3MAVR70AGP in Aged Pewter

● ● ● (see options below)

Add EXTRA Downrod (6" downrod included)

Add EXTRA Controls

MSRP \$4,350

Water fountain

Estrella Custom Stone Inc



Fountain tile

Arial 2.83in x 7.67in polished ceramic fish scale wall tile



Asphalt shingles

GAF Timberline CS shingles



Timberline® CS Shingles

Highly reflective shingles that can help to reduce temperatures in your attic, and help save on air-conditioning costs.

★★★★★ 4.6 (30) [WRITE A REVIEW](#)

[ALL COLORS](#)

[IN YOUR AREA](#)

Color/Finish: **Antique Slate**



[FIND A CONTRACTOR](#)

Renderings







City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00314

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

18 W. Wright Street
North Hill Preservation District & Palafox Historic Business District / Zone C-2A / City Council District
6
Final Approval for Alterations and Additions to a Contributing Structure

BACKGROUND:

Townes Plus Architects are requesting final approval for alterations and additions to the Christ Episcopal Church facility including a rectangular addition with a low slope roof and parapet walls around the exterior which will house a new kitchen, a new porte cochere is proposed for the north parking lot that will protect a new accessible ramp, and the enclosure of the arcade at the south cloister utilizing a storefront window system. All materials are to match the existing including Spanish tile roofing, matching gutters and downspouts, exposed aggregate stucco, and cast stone details.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)e. Regulations and guidelines for any development within the preservation district
Sec. 12-3-10(2)f. Restoration, rehabilitation, alterations or additions to existing contributing structures in the North Hill preservation district.
Sec. 12-3-27(f) Architectural review of proposed exterior development.

18 W. Wright Street



chimneys are in with the scope of work, the application process and projects are sent to ARB for review if in the historic districts. Board Member Courtney suggested the possibility of adding more questions to screen the project and to prevent future miscommunications. Assistant Planning & Zoning Division Manager Harding clarified that this is the first time since he has been with the city that this situation has occurred. Projects cannot receive permits in historic districts without gaining ARB approval first and he briefly spoke of the process of ARB approvals after meetings. Board Member Yee asked whether there is a list of ARB requirements or comments that go along with the approval letters. Assistant Planning & Zoning Division Manager Harding replied that there is a general list that states if there is deviation to the project, then the project must come back through ARB review. He continues that staff can look into adding a roof specific section that could help protect chimney elements in the future.

Board Member Yee made the motion to approve the application. Board Member Fogarty seconded the motion and it carried 5-1 with Board Member Ramos dissenting.

Item 10 18 W. Wright Street PHBD / Zone C-2A, City Council District 6
Conceptual Additions and Alterations to a Contributing Structure
Action Taken: Approved as submitted

Townes Plus Architects is seeking *conceptual* review for additions and alterations to a contributing structure. The proposed scope of work will be to add a kitchen addition and a new porte cochere at the interior of the campus, and to enclose the central entryway with storefronts and to add new stairs and a ramp. All work will be done with in-kind materials as to match the existing building elements. Since this is for conceptual review, further plans and all materials will be provided at a later date. This review is meant to provide the applicants with feedback before final plans are drawn.

Mr. Townes presented to the board. Advisor Pristera asked how deep the storefront would be placed within the south cloister in relation to the front of the arches. Mr. Townes replied that the project is not that far developed, and they are still reviewing various systems for that feature. He further stated that he would prefer the glass to be flush with the building and ideally, they would like the storefront to be as minimal as possible. Chairperson Salter reiterated Advisor Pristera's comment and recommended that as they move forward with the project, to keep in mind that the south cloister is an important feature and make sure to work to keep the current space to the best of their ability. He further commented on the rear portion of the project. Board Member Ramos asked for clarification on the fascia and whether the new porte cochere will match the rest of the building. Mr. Townes replied that it will match.

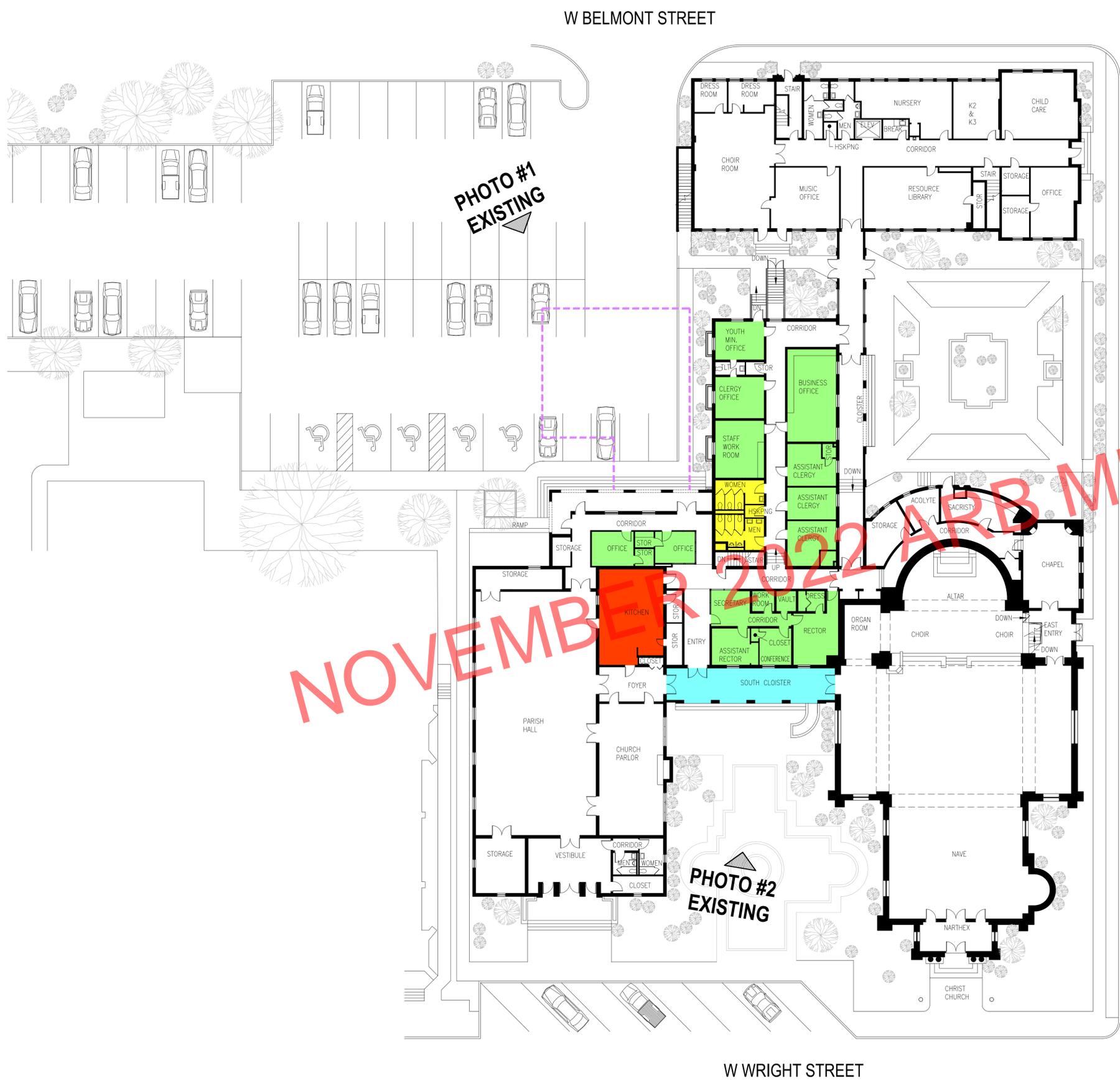
Board Member Fogarty made the motion to approve as submitted. Board Member Ramos seconded the motion and it carried 6-0.

Board Member Courtney left the meeting resulting in 5 members present and with keeping a required quorum.

Item 11 117 W. Garden Street PHBD / Zone C-2A, City Council District 6
Conceptual Review for Façade Alterations and a Rooftop Addition
Action Taken: Conceptually approved with Comments

Casie Harris is requesting conceptual review to modify the elevations and to add a rooftop addition at a contributing structure. The proposed work will replace the existing storefronts and windows with new, it will add second-floor balconies to the front, and an occupiable third floor will be constructed for a lounge and bar. Since this is for conceptual review, details on all exterior materials and products will follow at a later date.

G:\PROJECT FOLDERS\CHRIST CHURCH\ALTERATIONS TO CHRIST CHURCH\ARB PRESENTATION DRAWINGS\ARB EXISTING COND PLAN.DWG



PROJECT LOCATION

EXISTING CONDITIONS PLAN

- CURRENT KITCHEN LOCATION
(TO BE RELOCATED TO ACCOMMODATE NEW ACCESSIBLE RESTROOMS)
- OFFICES AND RECEPTION
(TO BE RENOVATED TO ACCOMMODATE NEW ACCESSIBLE RESTROOMS AND IMPROVE CIRCULATION PATTERNS & WAY FINDING)
- CURRENT RESTROOM LOCATION
(TO BE MOVED TO MAIN FLOOR TO PROVIDE ACCESSIBILITY AND IMPROVE FIXTURE COUNT)
- SOUTH CLOISTER/ SANCTUARY ENTRANCE
(TO BE RENOVATED TO PROVIDE ENCLOSED CIRCULATION BETWEEN SANCTUARY & SOCIAL HALL AND TO PROVIDE ACCESSIBLE ENTRANCE/EXIT FROM WRIGHT STREET TO FACILITY)
- NORTH PARKING LOT
(TO BE REWORKED TO PROVIDE NEW PORTE COCHERE AND ACCESSIBLE ENTRANCE ACCOMMODATIONS)

NOVEMBER 2022 ARB MEETING

EXISTING FLOOR PLAN
SCALE: 1/16"=1'-0"

TOWNES + ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
PH: (850) 433-0203
AA-26001051

EXISTING CONDITIONS

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

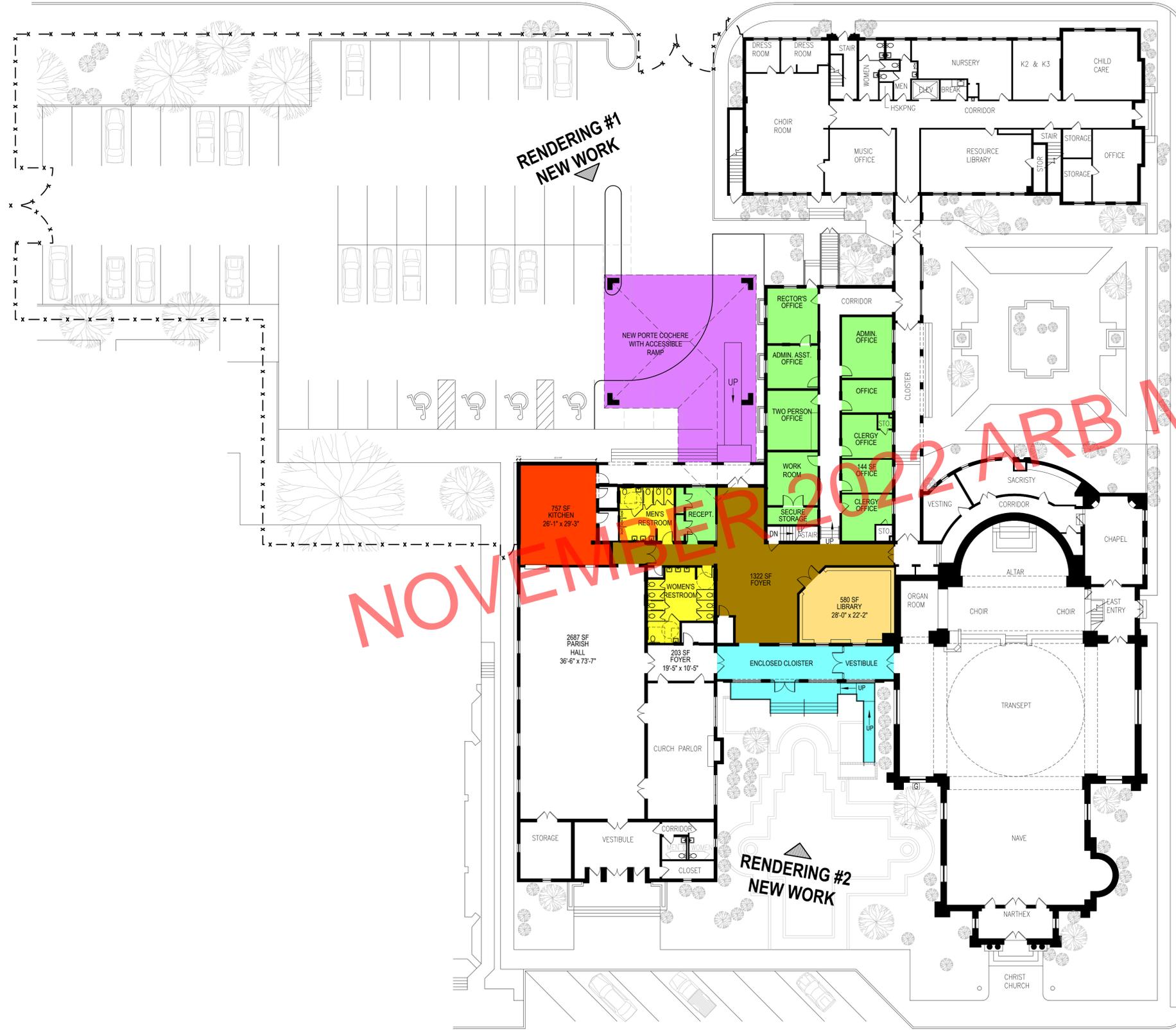
Revision Schedule	



NOT VALID UNLESS SIGNED

SCHEMATIC DESIGN	
Scale: AS NOTED	
Date:	
Job No.:	Filename:
Drawn:	Checked: BMT

EXISTING
SHEET #



NEW WORK PLAN

- NEW KITCHEN LOCATION**
(RELOCATED FROM AREA WHICH WILL BE RENOVATED FOR ACCESSIBLE RESTROOMS)
- IMPROVED CIRCULATION**
(ACCESSIBILITY TO NORTH AND SOUTH EXITS, ENHANCES SECURITY MONITORING, ENHANCES WAY FINDING)
- REMODELED OFFICES AND RECEPTION**
- NEW ACCESSIBLE RESTROOMS**
(LOCATED ON SAME FLOOR LEVEL AS SOCIAL HALL AND SANCTUARY)
- NEW LIBRARY**
- ENCLOSED CLOISTER**
(PROVIDES ENCLOSED CONDITIONED PASSAGE FROM SANCTUARY TO SOCIAL HALL, PROVIDES ACCESSIBLE ROUTE TO WRIGHT STREET COURTYARD)
- PORTE COCHERE WITH ACCESSIBLE RAMP**
(PROVIDES PROTECTED VEHICULAR PULL-UP & DROP-OFF, PROVIDES ACCESSIBLE ROUTE TO NORTH PARKING LOT AND NEW PORTE COCHERE)



Revision Schedule	



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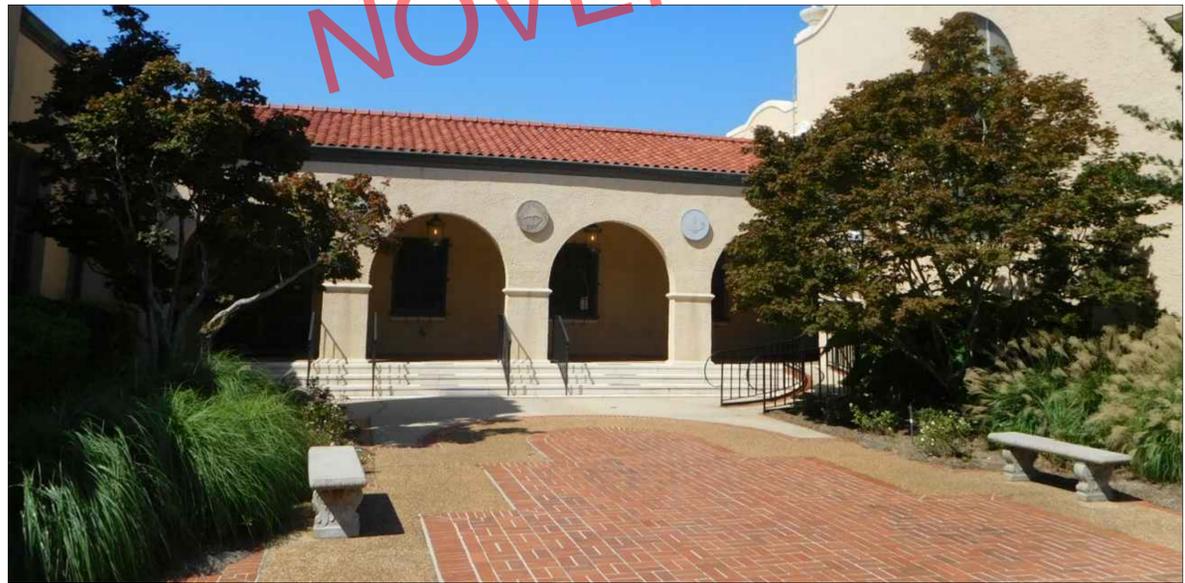
SCHEMATIC DESIGN	
Scale: AS NOTED	
Date:	
Job No.:	Filename:
Drawn:	Checked: BMT



▲ PHOTO #1 - EXISTING CONDITIONS
 (NORTH PARKING LOT LOOKING SE TOWARD
 FUTURE LOCATION OF KITCHEN AND PORTE
 COCHERE)



▲ RENDERING #1 - PROPOSED
 (NORTH PARKING LOT LOOKING SE TOWARD
 FUTURE LOCATION OF PORTE COCHERE AND
 KITCHEN ON RIGHT)



▲ PHOTO #2 - EXISTING CONDITIONS
 (SOUTH CLOISTER LOOKING NE FROM
 WRIGHT STREET)



▲ RENDERING #2 - PROPOSED
 (SOUTH CLOISTER WITH ENCLOSED ARCHES,
 NEW STEPS AND ACCESSIBLE RAMP)

NOVEMBER 2022 ARCH MEETING

TOWNES + ARCHITECTS, P.A.
 ARCHITECTS - PLANNERS
 2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
 PH: (850) 433-0203
 AA-26001051

EXISTING CONDITIONS AND CONCEPTUAL
 RENDERINGS

ALTERATIONS TO
 CHRIST EPISCOPAL CHURCH
 18 WEST WRIGHT STREET, PENSACOLA, FL

Revision Schedule	



NOT VALID UNLESS SIGNED
 SCHEMATIC DESIGN
 Scale: AS NOTED
 Date: _____
 Job No. _____ Filename: _____
 Drawn: _____ Checked: BMT

PHOTOS
 SHEET #



**Architectural Review Board Application
Full Board Review**

Application Date: March 30, 2023

Project Address: 18 W Wright St, Pensacola, FL 32501
Applicant: Townes Plus Architects
Applicant's Address: 2421 North 12th Ave, Pensacola, FL 32503
Email: miichael@townesplus.com **Phone:** 850-433-0203
Property Owner: _____

District: PHD NHPD OEHPD PHBD GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

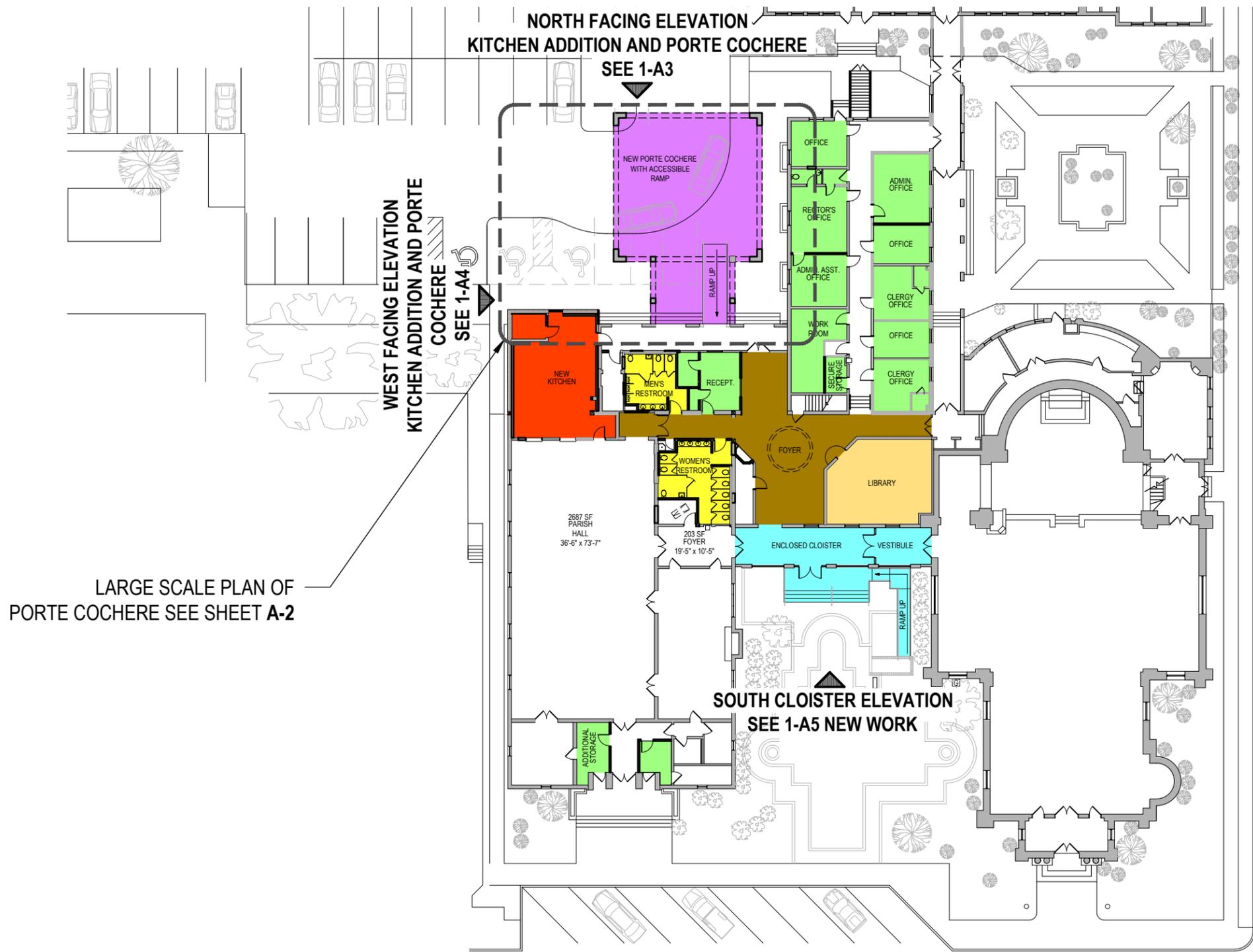
Seeking final approval for alterations and additions to existing church facility to enhance accessibility and functionality. ~~The alterations will be part of one construction project. There are three parts of this construction project for which we are seeking the board's approval as follow:~~

- ~~1. A new kitchen proposed to be housed in new construction directly north of the existing social hall. The space which houses the current kitchen will be renovated to provide accessible restrooms. The new structure will be rectangular in plan with a low slope roof and parapet walls around the exterior walls. The proportions, scale and materials will be similar to the church's educational and administrative buildings in the vicinity of the the church's north parking lot.~~
- ~~2. Also in the north parking lot, a new porte cochere is proposed to accommodate vehicular pull-up and drop-off which will afford protection from the elements for special functions such as weddings and funerals. This structure will also protect a new accessible ramp which will lead to the main floor of the social hall, kitchen and other social function areas.~~
- ~~3. At the exiting South Cloister which faces Wright Street we are proposing to enclose this arcade to provide a conditioned foyer/passage way and an accessible entrance ramp.~~

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

03/30/2023
Date



PROJECT LOCATION

NEW WORK PLAN

- **NEW KITCHEN LOCATION**
(RELOCATED FROM AREA WHICH WILL BE RENOVATED FOR ACCESSIBLE RESTROOMS)
- **IMPROVED CIRCULATION**
(ACCESSIBILITY TO NORTH AND SOUTH EXITS, ENHANCED SECURITY MONITORING, ENHANCED WAY FINDING)
- **REMODELED OFFICES, RECEPTION AND STORAGE**
- **NEW ACCESSIBLE RESTROOMS**
(LOCATED ON SAME FLOOR LEVEL AS SOCIAL HALL AND SANCTUARY)
- **NEW LIBRARY**
- **ENCLOSED CLOISTER**
(PROVIDES ENCLOSED CONDITIONED PASSAGE FROM SANCTUARY TO SOCIAL HALL, PROVIDES ACCESSIBLE ROUTE TO WRIGHT STREET COURTYARD)
- **PORTE COCHERE WITH ACCESSIBLE RAMP**
(PROVIDES PROTECTED VEHICULAR PULL-UP & DROP-OFF, PROVIDES ACCESSIBLE ROUTE TO NORTH PARKING LOT AND NEW PORTE COCHERE)

NEW WORK PLAN WITH COLOR CODING SHOWING WORK AREAS AND ELEVATION LOCATIONS
 SCALE: 1/32"=1'-0"
 1 A1

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
 18 WEST WRIGHT STREET, PENSACOLA, FL

TOWNES+ ARCHITECTS, P.A.
 ARCHITECTS - PLANNERS
 2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
 PH: (850) 433-0203 AA-26001051

ARB FINAL APPROVAL
 Scale: AS NOTED
 Date: MAR. 30, 2023

NEW WORK
 PLAN
A1

WEST FACING ELEVATION
KITCHEN ADDITION AND PORTE
COCHERE
SEE 1-A4

NORTH FACING ELEVATION 39'-4"
KITCHEN ADDITION AND PORTE COCHERE
SEE 1-A3 32'-8"

KEYNOTES

- 1 CONCRETE RAMP FROM CLOISTER LEVEL DOWN TO GRADE AT PORTE COCHERE. MAXIMUM SLOPE OF RAMP SURFACE, 1:12. PROVIDE METAL HAND RAIL SYSTEM EACH SIDE- COLOR SHALL BE FLAT BLACK KYNAR 500 TO MATCH EXISTING.
- 2 PORTE COCHERE COLUMNS COMPRISING STEEL STRUCTURAL MEMBERS ENCASED BY LIGHT GAUGE METAL FRAMING/STUCCO FINISH SYSTEM. STUCCO FINISH TO BE EXPOSED AGGREGATE STUCCO TO MATCH EXISTING.
- 3 GRADING AND PARKING LOT ELEMENTS BY CIVIL ENGINEER

PORTE COCHERE
125

OFFICE
115

OFFICE
113

OFFICE
111

WORK R
109

ENLARGED PORTE COCHERE PLAN



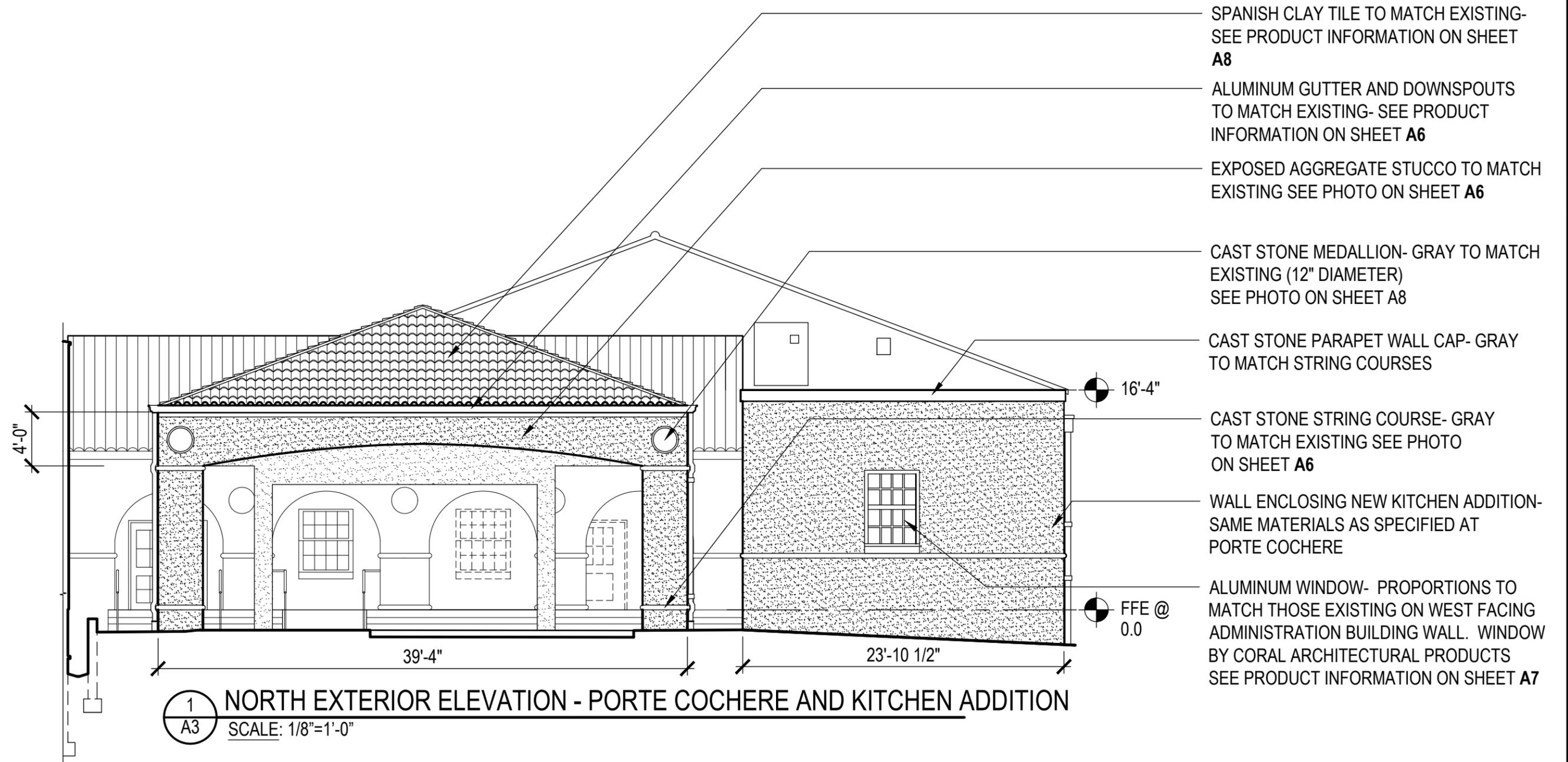
SCALE: 1/8"=1'-0"

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

TOWNES+ ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
PH: (850) 433-0203 AA-26001051

ARB FINAL APPROVAL
Scale: AS NOTED
Date: MAR. 30, 2023

NEW WORK
PLAN
A2



- SPANISH CLAY TILE TO MATCH EXISTING- SEE PRODUCT INFORMATION ON SHEET **A8**
- ALUMINUM GUTTER AND DOWNSPOUTS TO MATCH EXISTING- SEE PRODUCT INFORMATION ON SHEET **A6**
- EXPOSED AGGREGATE STUCCO TO MATCH EXISTING SEE PHOTO ON SHEET **A6**
- CAST STONE MEDALLION- GRAY TO MATCH EXISTING (12" DIAMETER) SEE PHOTO ON SHEET **A8**
- CAST STONE PARAPET WALL CAP- GRAY TO MATCH STRING COURSES
- CAST STONE STRING COURSE- GRAY TO MATCH EXISTING SEE PHOTO ON SHEET **A6**
- WALL ENCLOSING NEW KITCHEN ADDITION- SAME MATERIALS AS SPECIFIED AT PORTE COCHERE
- ALUMINUM WINDOW- PROPORTIONS TO MATCH THOSE EXISTING ON WEST FACING ADMINISTRATION BUILDING WALL. WINDOW BY CORAL ARCHITECTURAL PRODUCTS SEE PRODUCT INFORMATION ON SHEET **A7**

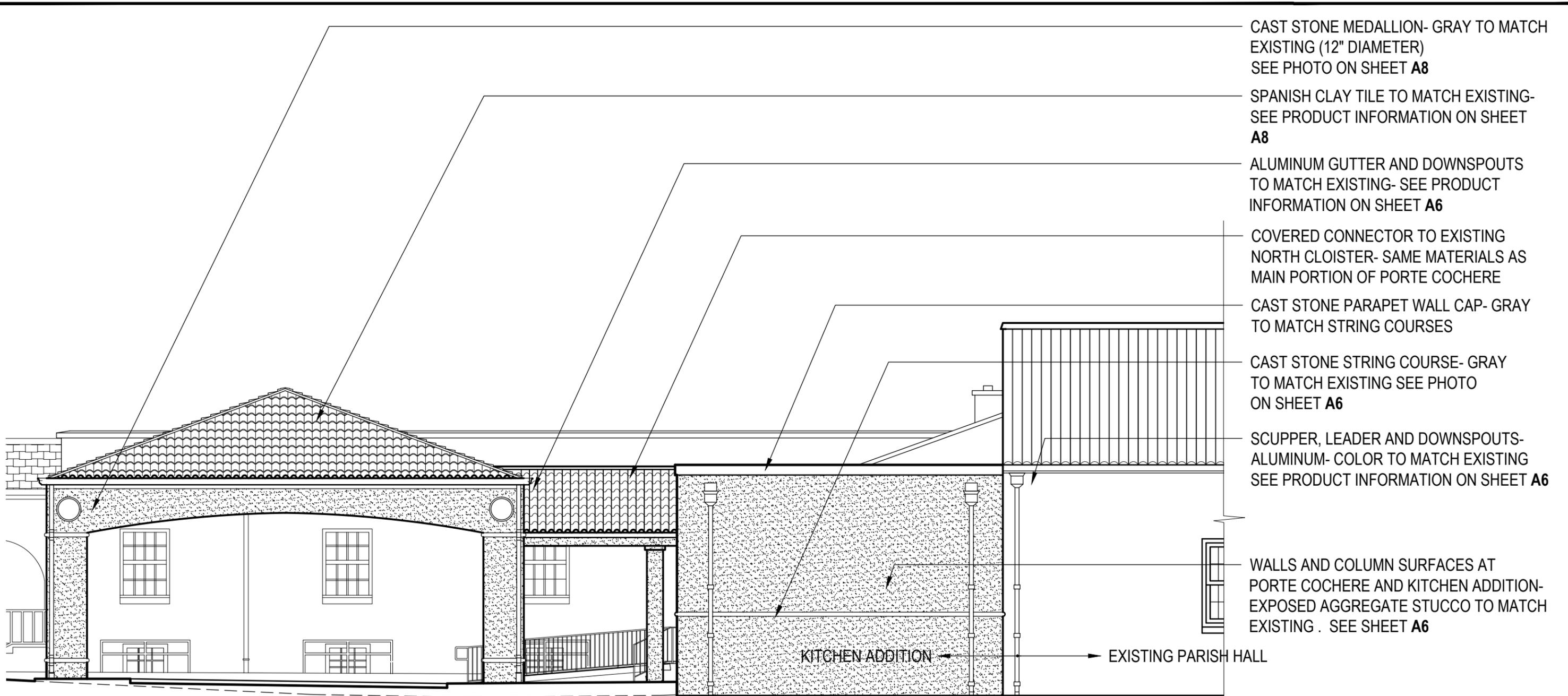
1
A3 NORTH EXTERIOR ELEVATION - PORTE COCHERE AND KITCHEN ADDITION
SCALE: 1/8"=1'-0"

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

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Scale: AS NOTED
Date: MAR. 30, 2023

EXTERIOR
ELEVATION
A3



- CAST STONE MEDALLION- GRAY TO MATCH EXISTING (12" DIAMETER) SEE PHOTO ON SHEET **A8**
- SPANISH CLAY TILE TO MATCH EXISTING- SEE PRODUCT INFORMATION ON SHEET **A8**
- ALUMINUM GUTTER AND DOWNSPOUTS TO MATCH EXISTING- SEE PRODUCT INFORMATION ON SHEET **A6**
- COVERED CONNECTOR TO EXISTING NORTH CLOISTER- SAME MATERIALS AS MAIN PORTION OF PORTE COCHERE
- CAST STONE PARAPET WALL CAP- GRAY TO MATCH STRING COURSES
- CAST STONE STRING COURSE- GRAY TO MATCH EXISTING SEE PHOTO ON SHEET **A6**
- SCUPPER, LEADER AND DOWNSPOUTS- ALUMINUM- COLOR TO MATCH EXISTING SEE PRODUCT INFORMATION ON SHEET **A6**
- WALLS AND COLUMN SURFACES AT PORTE COCHERE AND KITCHEN ADDITION- EXPOSED AGGREGATE STUCCO TO MATCH EXISTING . SEE SHEET **A6**

KITCHEN ADDITION ← → EXISTING PARISH HALL

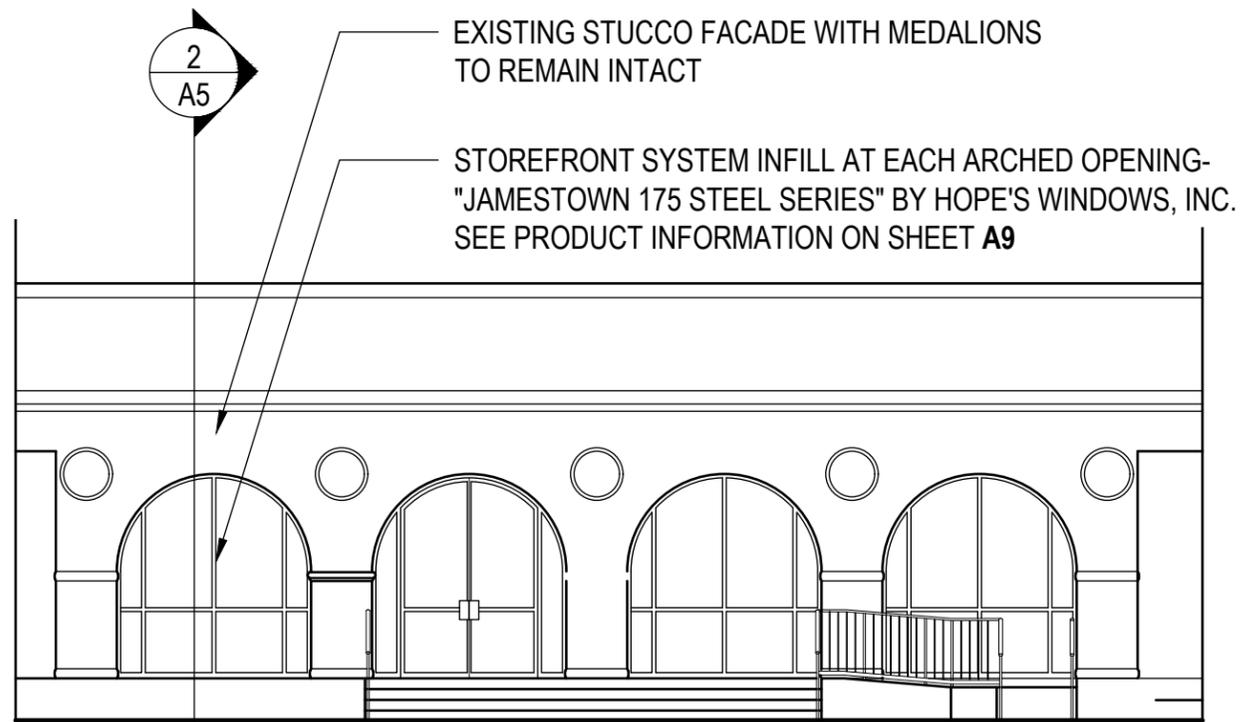
1
A4 WEST EXTERIOR ELEVATION - PORTE COCHERE AND KITCHEN ADDITION
SCALE: 1/8"=1'-0"

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

TOWNES+ ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
PH: (850) 433-0203 AA-26001051

ARB FINAL APPROVAL
Scale: AS NOTED
Date: MAR. 30, 2023

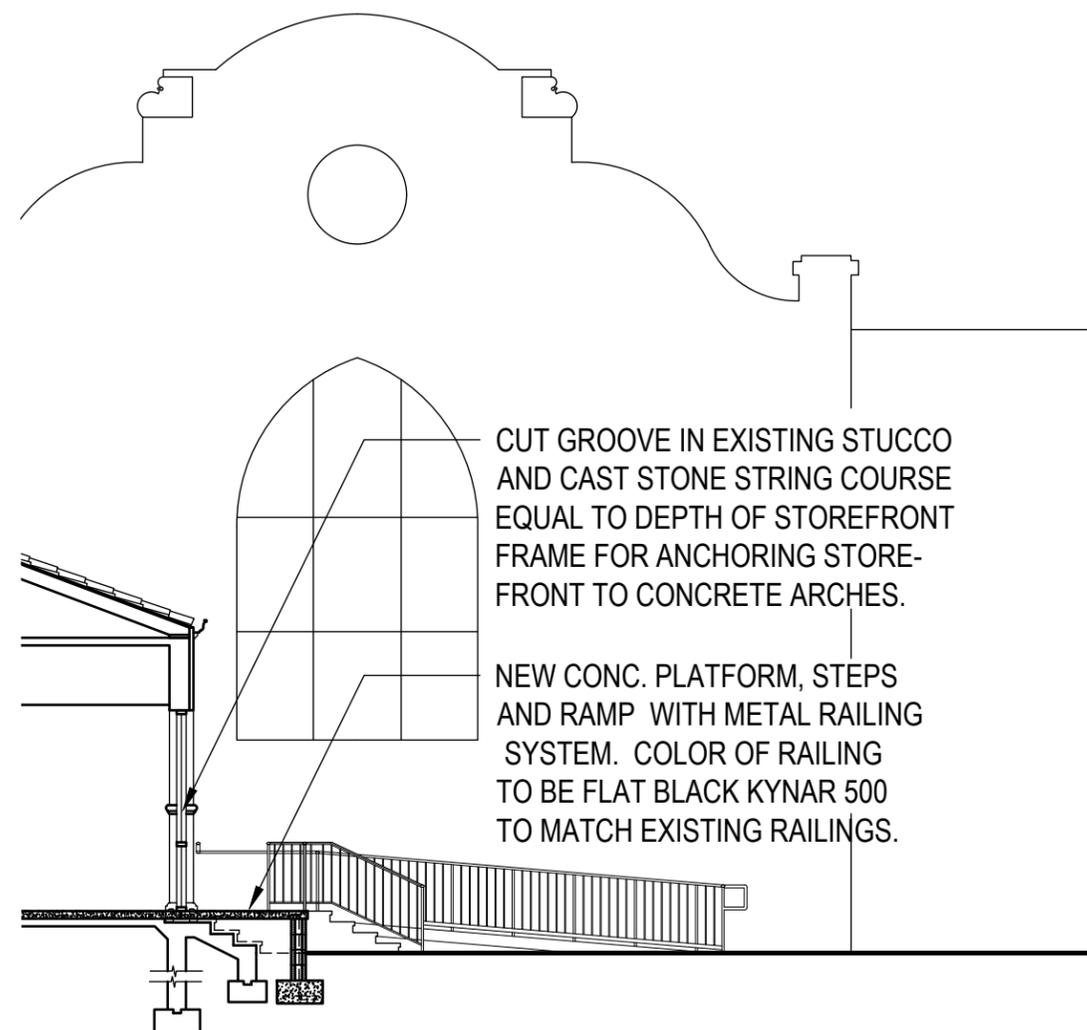
EXTERIOR
ELEVATION
A4



SOUTH EXTERIOR ELEVATION - ARCHES INFILLED WITH STOREFRONT SYSTEM

1
A5

SCALE: 1/8"=1'-0"



SECTION AT SOUTH CLOISTER ARCHES WITH NEW STOREFRONT SYSTEM

2
A5

SCALE: 1/8"=1'-0"

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

TOWNES+ ARCHITECTS, P.A.
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EXTERIOR
ELEVATION
A5



PHOTO DIPICTING EXISTING FINISHES TO MATCH TO FOR STUCCO, STRING COURSES AND KITCHEN WINDOW (SEE A7 FOR KITCHN WINDOW COLOR SELECTION)

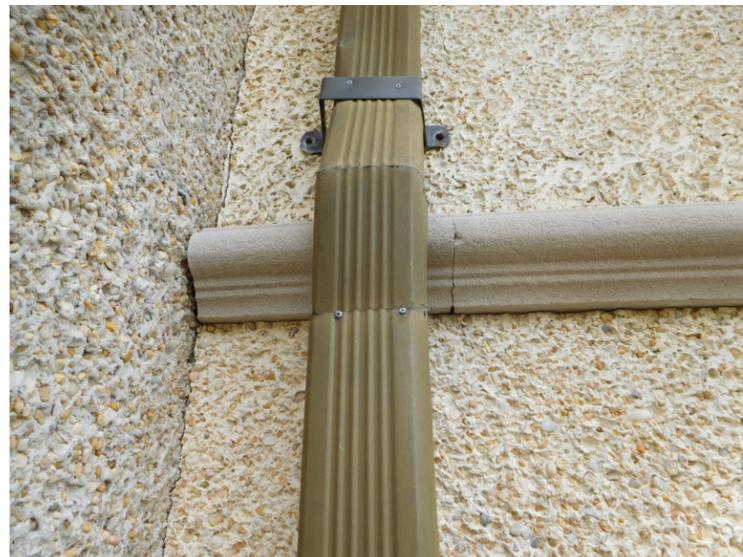


PHOTO DIPICTING EXISTING DOWN- SPOUTS TO MATCH (SEE COLOR SELECTION AT RIGHT)

Premium Paint Finishes for Beautiful and Long-Lasting Performance

✓ Best in class performance ✓ Outstanding color & gloss retention ✓ High film integrity & adhesion ✓ Resistance to UV rays, humidity & heat

70% PVDF containing
KYNAR500®
BY ARKEMA | **Fluorpon®**
by SHERWIN-WILLIAMS
Coatings

Standard Coatings

TERRA COTTA	COLONIAL RED	BURGUNDY	SLATE BLUE	DARK BRONZE	MANSARD BROWN	MEDIUM BROWN
BAYSIDE BLACK	MATTE BLACK	CHARCOAL GRAY	ALMOND	BUCKSKIN	SIERRA TAN	
SANDSTONE	SLATE GRAY	HARTFORD GREEN	EVERGREEN	AGED COPPER	PATINA GREEN	
TROPICAL PATINA	HEMLOCK GREEN	DOVE GRAY	REGAL WHITE	SOLAR WHITE	GALVALUME® ACRYLIC-COATED	

COLOR SELECTION FOR NEW ALUMINUM GUTTERS AND DOWNSPOUTS (KYNAR 500- "MEDIUM BROWN")

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
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Date: MAR. 30, 2023

COLOR SELECTIONS
A6

FL500·2½" x 5"
Impact-Resistant Storefront



FEATURES AND BENEFITS

System Description

Series FL500 is a non-thermal 2½" x 5" impact-resistant center set storefront that accepts ¾" monolithic laminated safety glass designed and engineered for wind-borne debris applications. FL500 impact-resistant storefront is fully tested in accordance with ASTM and Florida Building Code standards for large missile impact and is approved for use in south Florida's High Velocity Hurricane Zone and coastal areas considered wind-borne debris regions.

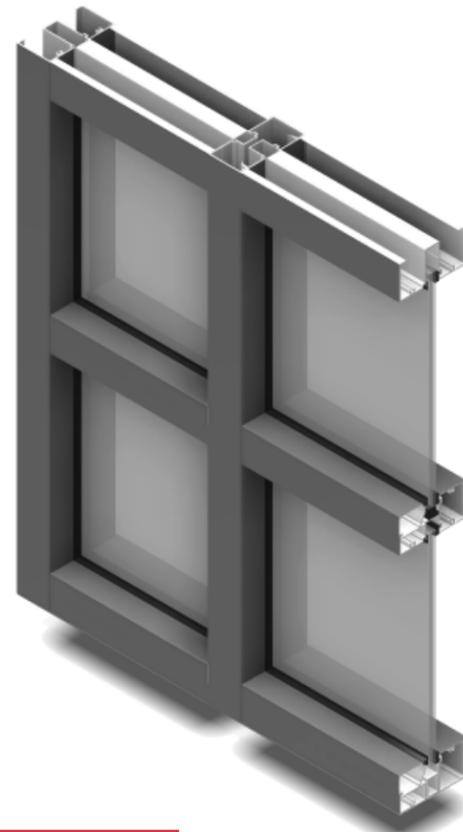
Features

- Outside Glazed
- Screws-spline Assembly
- Accepts ¾" Glazing Infill
- CoraPunch Punch Press Die Sets or Drill Jigs Available
- Deep Glazing Pocket Profiles eliminates blind seal conditions at sill
- Sill Flashing with Full-height Interior Leg and Integral "C" Slot for Continuous Line of Sealant
- Fully Tested

Performance Test Standards

- ASTM E 283 / *TAS 202 – Air Infiltration Test
- ASTM E 331 / *TAS 202 – Water Infiltration Test
- ASTM E 330 / *TAS 202 – Uniform Load Deflection and Structural Test
- ASTM E 1886-1996 / *TAS 201-203 – Missile Impact and Cycling Test
- Florida Product Approval Numer- FL15793 (dry-glazed application) FL10467 (wet-glazed application) (impact-resistant for use in HVHZ)

**Indicates test standards in compliance with the current Florida Building Code.*



WINDOW SELECTION FOR KITCHEN ADDITION- NORTH ELEVATION- CORAL ARCHITECTURAL PRODUCTS- FL500 SERIES. SEE ELEVATION ON SHEET A3 FOR MULLION AND MUNTIN CONFIGURATION

COLOR SELECTION FOR KITCHEN WINDOW- "HARTFORD GREEN"



Interpon D High Durability Architectural Finishes

 Bone White YA200U	 Sandstone 8D201Q	 Seawolf 8D202Q
 Tan 8D2197	 Redwood 8G200Q	
 Hartford Green 8K200Q	 Light Blue 8J200Q	 Coal Black 8N200Q

All products supplied & technical advice given are subject to the standard terms of sale of the AkzoNobel supplying company. Copyright 2009 Akzo Nobel Powder Coatings Ltd. Interpon is a registered trademark of AkzoNobel. (Issue 1 - 11/2009). For technical reasons associated with color reproduction, the colors shown give only an indication of shade. No guarantee can be given that they will exactly match the powder product.



June 2017



3010 Rice Mine Road
Tuscaloosa, AL 35406
Phone 1-800-772-7737
Fax 1-800-443-6261
Website
www.coralap.com

**ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL**

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COLOR
SELECTIONS
A7

SPANISH 18 3/8" BARREL TILE



One of the most popular profiles in Ludowici's Legacy Collection, Spanish tile is prized for its simple, one-piece barrel design which provides a pattern of distinctive ripples across a roof. Often synonymous with clay roof tile, Spanish tile enhances virtually any style of architecture from small bungalows to large public institutions. Spanish tiles have a smooth surface but may be customized with a number of custom textures. Our Spanish tiles are available in all standard and custom colors, mists and blends offered by Ludowici. See the *Colors of Ludowici* brochure for more information about our extensive color program. For a more authentic old European look, consider Spanish 13 1/4" tile, or for a higher profile and more dramatic appearance, consider one of Ludowici's Mission tiles.

PHYSICAL CHARACTERISTICS

CHARACTERISTIC	SPANISH 18 3/8" BARREL TILE	PROFILE
Weight Per Square	800 lbs.	
Pieces Per Square	114 pcs.	
Overall Size	9 3/4" x 18 3/8"	
Exposure	8 1/4" x 15 5/8"	
Installed Barrel Height Off Deck	3" Nominal	
Minimum Slope	4:12	
Color Blends	Available in all standard and custom colors. For more information about Ludowici's color program, please see the <i>Colors of Ludowici</i> brochure.	
Base Texture	Smooth Also available in custom textures. Please see the <i>Terra Cotta Textures</i> brochure for more information.	

APPROVALS & CERTIFICATIONS

- Miami-Dade NOA No: 12-0904.18
- State of Florida Approval No: FL 13777
- ASTM C1167 Grade 1 Roof Tile With Water Absorption Less Than 2%
- Class A Fire Rated
- IAPMO UES ER-452

LUDOWICI WARRANTY

All Ludowici tiles are manufactured in the United States and carry a 75-year warranty against color fading and manufacturing defects. For complete warranty details, please visit www.ludowici.com.



GREEN ATTRIBUTES

Ludowici terra cotta is an energy-efficient, sustainable choice for your new roof. Learn more about our green story in the *Ludowici Green Promise* brochure.



PHOTO ABOVE DIPICTS ROOF AT NORTH CLOISTER IN CONTEXT TO BE MATCHED.

COLOR SELECTION FROM MANUFACTURER'S STANDARD COLORS- CLAY RED

COLORS OF LUDOWICI



With over 50 designer colors and the ability to custom match nearly any hue, the color possibilities are endless. Our color glazes are kiln fired at extreme temperatures during production, fusing the color into the tile and ensuring that the original tones and hues are retained for generations.

STANDARD COLOR BLENDS



Colors are shown for representation purposes only. Due to monitor and print calibration differences, these chips should not be used for final product selection. Tiles ordered should be chosen from actual samples available at the time of order. Ludowici reserves the right to alter and adjust products, colors and finishes at any time. Please contact a sales representative for more information.



*Gloss glazes
**Weathered glazes

ALTERATIONS TO
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PRODUCT SELECTIONS
A8

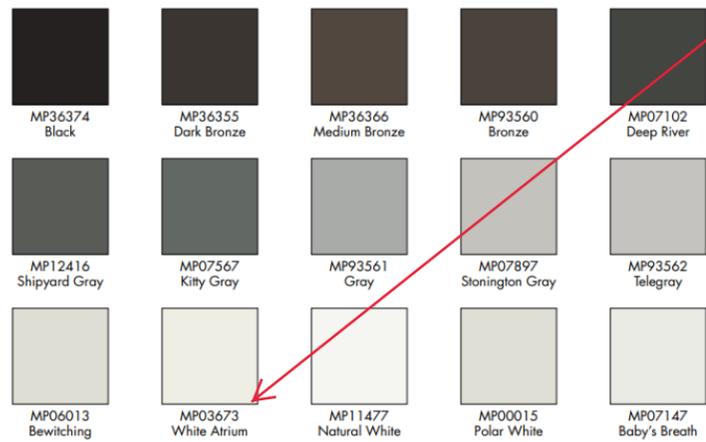


ARTIST'S RENDER AS SUBMITTED FOR CONCEPTUAL APPROVAL. CONFIGURATION OF MULLIONS HAS NOT CHANGED SINCE INITIAL SUBMITTAL

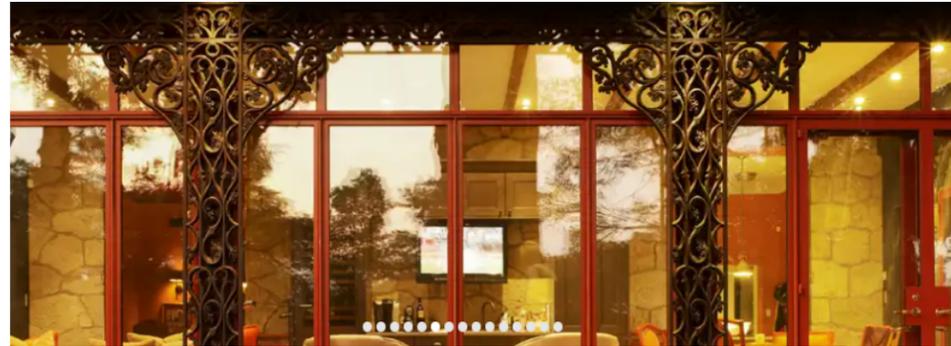


Gloss Range: 18-26% Sheen: low sheen/satin

Hope's Standard Paint Colors



COLOR SELECTION FROM MANUFACTURER'S STANDARDS IS "WHITE ATRIUM"



JAMESTOWN175™ SERIES
STEEL WINDOWS AND DOORS

Hope's Jamestown175 Series is ideal for projects requiring oversize windows and doors as well as special operating types such as top hung or pivoting windows. A 20% increase in window section depth and corresponding strength compared to our Landmark175™ Series allows for larger window sizes without the need for extra reinforcing or mullions. This product series can accommodate various glass thicknesses and makeups.

- Hope's Power of 5 Finishing System
- Narrow Sightlines
- Fully Welded Construction
- Energy Efficient
- Square and Sloped Glazing Beads for Interior or Exterior Installation

Fixed Sightline: 1-7/16"
Operable Sightline: 2-5/8"
Section Depth: 1-3/4"

AVAILABLE ENHANCEMENTS:

- Hurricane / Impact Rated
- Blast Resistant
- Bullet Resistant
- Fire Rated

STANDARD PROFILES

PRODUCT PERFORMANCE

- Meets or exceeds air infiltration test criteria in accordance with ASTM E283
- Meets or exceeds water penetration test criteria in accordance with ASTM E331
- Meets or exceeds structural test criteria in accordance with ASTM E330
- Meets or exceeds forced entry test criteria in accordance with ASTM F588
- Impact-rated product meets or exceeds Florida Building Code test criteria in accordance with TAS 201-94, TAS 202-94 and TAS 203-94
- Impact-rated product meets or exceeds missile impact and cyclic pressure test criteria in accordance with ASTM E1886
- Impact-rated product meets or exceeds hurricane windborne debris test criteria in accordance with ASTM E1996
- Blast resistant product meets or exceeds dynamic overpressure loadings test criteria in accordance with CSA T501 Level C
- Bullet resistant product meets or exceeds ballistic performance test criteria in accordance with UL752

WINDOW SELECTION FOR ARCH INFILLS AT SOUTH CLOISTER IS "JAMESTOWN 175 SERIES" BY HOPE'S WINDOWS INC.

ALTERATIONS TO
CHRIST EPISCOPAL CHURCH
18 WEST WRIGHT STREET, PENSACOLA, FL

TOWNES+ ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12TH AVENUE, PENSACOLA, FL 32503
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ARB FINAL APPROVAL
Scale: AS NOTED
Date: MAR. 30, 2023

PRODUCT SELECTIONS
A9



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00316

Architectural Review Board

4/20/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 4/13/2023

SUBJECT:

524 N. Hayne Street
Old East Hill Preservation District / Zone OEHC-1 / City Council District 6
Renovation of Contributing Structures for Retail/Coffee Shop and Office

BACKGROUND:

JJ Zielinski is requesting final approval for the renovation of two adjoining contributing structures and an associated garage. The Malamo Brothers Grocery will be renovated into a retail and coffee shop, the Nick Malamo House (cottage) will be renovated into an office, and the garage will be renovated into a studio. The scope of work includes exterior repairs to match existing materials; exterior painting of all three structures; minor hardscaping and landscaping; roof replacement for the shop and cottage; and renovation of the shop will include installation of storefront doors and windows, deck repairs and addition of an ADA ramp, and awning replacement.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)(e)(3) Decisions

Sec. 12-3-10(3)(g) Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.

Sec. 12-3-10(3)(h) Renovation, alterations and additions to non-contributing and modern infill structures within the Old East Hill preservation district.

Page 1
X original
update

HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Version 1.1: 3/89

Site 8 ES 02055

Recorder # _____

SITE NAME Malamo Brothers Grocery
HISTORIC CONTEXTS Spanish American War
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO 3226
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 524 N. Hayne St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, NE corner of
N. Hayne St. between E. Jackson St. and E. LaRua St.
SUBDIVISION East King Tract BLOCK NO 24 LOT NO 70
PLAT OR OTHER MAP County Appraiser's Atlas Sheet # 68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC y n LAND GRANT _____
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1900 CIRCA 1900 RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) commercial unspecified
PRESENT USES(S) grocery store

DESCRIPTION

STYLE masonry vernacular
PLAN: EXTERIOR rectangular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 1 PORCHES _____ DORMERS _____
STRUCTURAL SYSTEM(S) unspecified
EXTERIOR FABRIC(S) brick/concrete block
FOUNDATION: TYPE slab MATLS brick
INFILL unspecified
PORCHES _____
ROOF: TYPE shed SURFACING unspecified
SECONDARY STRUCS. _____
CHIMNEY: NO _____ MTLs _____ LOCNS _____
WINDOWS fixed
EXTERIOR ORNAMENT _____
CONDITION fair SURROUNDINGS residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
storefront with wrought iron security bars, residence attached

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y x n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____



Page 1
 original
 update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02054**
Recorder # _____

SITE NAME Nick Malamo House
HISTORIC CONTEXTS Spanish American War
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 522 North Hayne St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, NE corner of
N. Hayne St. between E. Jackson St. and E. laRue St.
SUBDIVISION East King Tract BLOCK NO 24 LOT NO 70
PLAT OR OTHER MAP County Appraiser's Atlas Sheet # 68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? y n LAND GRANT _____
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1900 CIRCA c RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR rectangle
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 1 PORCHES _____ DORMERS _____
STRUCTURAL SYSTEM(S) balloon wood framing
EXTERIOR FABRIC(S) asbestos shingle
FOUNDATION: TYPE pier MATLS brick
INFILL _____
PORCHES 1 front apron roof brick and wood columns
ROOF: TYPE gable SURFACING asbestos shingle
SECONDARY STRUCS. _____
CHIMNEY: NO _____ MTLs _____ LOCNS _____
WINDOWS dw 2/2
EXTERIOR ORNAMENT _____
CONDITION fair SURROUNDINGS residential
NARRATIVE (general, interior, landscape, context; 3 lines only)

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local community development
social history

ELIGIBLE FOR NAT. REGISTER? Y n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? Y n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? *Y n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

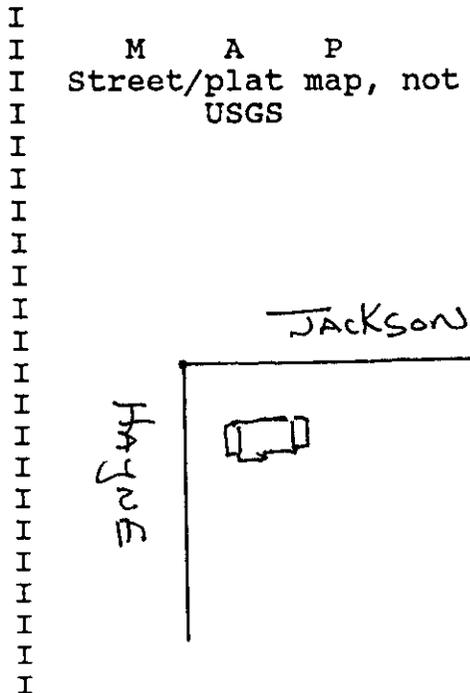
* * *DHR USE ONLY* * * * * DHR USE ONLY * *
*
* DATE LISTED ON NR *
* KEEPER DETERMINATION OF ELIG. (DATE): -YES _____ -NO _____ *
* SHPO EVALUATION OF ELIGIBILITY (DATE): -YES _____ -NO _____ *
* LOCAL DETERMINATION OF ELIG. (DATE): -YES _____ -NO _____ *
* OFFICE _____ *
* * *DHR USE ONLY* * * * * DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T L Brosnahan
DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Bd.

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Historic Pensacola Preservation Bd.
NEGATIVE NUMBERS 91N US WEB (FRAMES 13-14)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



PENSACOLA, FLA.
30087-DA-TF-024
F770
Revised 1987
DMA 3544 NW-Series



524 N. Hayne Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

(Handwritten Signature)

Applicant Signature

3.30.23

Date

***Architectural Review Board Application
Full Review***

The board shall have as its purpose the preservation and protection of buildings of historic and architectural value and the maintenance and enhancement of the following district:

- a. Pensacola Historic District. Refer to subsection 12-2-10(A).
- b. North Hill Preservation District. Refer to subsection 12-2-10(B).
- c. Old East Hill Preservation District. Refer to subsection 12-2-10(C).
- d. Palafox Historic Business District. Refer to section 12-2-21.
- e. Governmental Center District. Refer to section 12-2-22.

It shall be the duty of the board to approve or disapprove plans for buildings to be erected, renovated or razed which are located, or are to be located, within the historical district or districts and to preserve the historical integrity and ancient appearance within any and all historical districts established by the governing body of the city, including the authority to grant variances, under the conditions and safeguards provided in subsection 12-12-2(A)(2), from the zoning ordinances of the city applicable in the Pensacola Historic District, the North Hill Preservation District, the Old East Hill Preservation District, and the Palafox Historic Business District.

- (1) Conditions for granting a zoning variance. In order to authorize any zoning variance from the terms of this title, the board must find in addition to the conditions specified in subsection 12-12-2(A)(2):
 - (a) That the variance granted will not detract from the architectural integrity and/or historical accuracy of the development and of its surroundings;
 - (b) That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- (2) Hearing of variance applications.
 - (1) Application procedure.
 - (a) An application for variance must be submitted to the community development department at least twenty-one (21) days prior to the regularly scheduled meeting of the architectural review board.
 - (b) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
 - (c) Any party may appear in person, by agent, or by attorney.
 - (d) Any application may be withdrawn prior to action of the architectural review board at the discretion of the applicant initiating the request upon written notice to the board secretary.
 - (2) Application submission requirements. No application shall be considered complete until all of the following have been submitted:
 - (a) The application shall be submitted on a form provided by the board secretary.
 - (b) The application shall be accompanied by an accurate site plan drawn to scale and such other information as may be reasonably requested to support the application.
 - (c) The applicant shall be required to pay an application fee according to the current schedule of fees established by the city council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition of the application.

***Architectural Review Board Application
Full Review***

Submittal Instructions/Requirements Checklist:

- _____ **One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;**
- _____ **Ten (10) copies of all photographs, color drawings/renderings, product literature, oversized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".**
- _____ **One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.**

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" - 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.
- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.

***Architectural Review Board Application
Full Review***

- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

COLORS:

- The ARB has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the various districts. Copies of these color

***Architectural Review Board Application
Full Review***

palettes can be obtained from the specific paint supplies/manufacturers.

- Colors must be selected and samples submitted to the ARB during the approval process. The selection must be made for any exterior feature requiring paint, such as foundations, siding, windows and doors, shutters, columns and railings, miscellaneous trim, signs, fences, and any other items.

MISCELLANEOUS:

At the discretion of the ARB or the Secretary of the ARB, the material provided for the ARB during the hearing may be retained and become the property of the ARB for reference purposes and for enforcement of the construction of the project in compliance with the approved design.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

JON SHELL SKATE SHOP

LIST OF PRODUCTS AND MATERIALS

- Page 1-15 – Drawings (not for construction)
- Page 16-25 - Existing Condition Photos
- Page 26-30 – Color Renderings (with selected paint color locations)
- Page 31-35 – Paint Color #1a selected for Brick/CMU on Shop/Cottage/Rental [SW 2826-Colonial Rival Green Stone]
Paint Color #1c selected for Brick Accent on Shop/Cottage [SW 2846- Roycroft Bronze Green]
Paint Color #2a selected for Roof Fascia on Shop/Awning [SW 2848 – Roycroft Pewter]
Paint Color #3a selected for Columns/Windows and Doors for Cottage/Rental [SW 7005 – Pure White]
Paint Color #4a selected for Siding of the Cottage [SW 2832 -Colonial Rival Gray]
- Page 36-43 - Existing Brick Photos
- Page 44 – Storefront Manufacturer
- Page 45 – Storefront Frame Color
- Page 46 – Commercial Metal Door (back and side entrance)
- Page 47 – Wood Residential Door
- Page 48 – Concrete Pavers
- Page 49 – Handrails
- Page 50 – Metal Awning Information
- Page 51 – Metal Awning Example
- Page 52-55 – Roof Coating Product
- Page 56 – Roof Shingles (For Cottage)
- Page 57 - #3 Crushed Stone Grey Gravel
- Page 58 – Rental Man Door
- Page 59 – Rental Garage Door
- Page 60 – Stacked Concrete Paver for Front Rental Wall
- Page 61 - Corrugated Metal Roof Panels for New Awning
- Page 62 – Rental Exterior Wall Sconce
- Page 63 - Exterior Signage Lighting

CULTIVATE & CO.

524 NORTH HAYNE STREET
PENSACOLA, FLORIDA 32501

100% SET 03-30-2023
NOT - FOR - CONSTRUCTION

GENERAL PROJECT NOTES

1. THE DEMOLITION PLANS ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
2. REMOVE FROM THE SITE AS SOON AS POSSIBLE DEMOLISHED MATERIALS AND DEBRIS. DO NOT ACCUMULATE DEBRIS ON SITE.
3. PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED DURING CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER. ALL CONSTRUCTIONS AND DEMOLITION WORK SHALL BE SCHEDULED AND PHASED SO THA IT WILL NOT CONFLICT OR HINDER THE NORMAL OPERATION OF ADJACENT BUSINESSES.
5. TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FBC, 2017 EDITION. CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE FBC, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS. ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
6. THE GENERAL CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS, AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION.
7. ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT OF RECORD FOR REVIEW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
8. PROTECT EXISTING FACILITIES, STRUCTURES, AND UTILITY LINES FROM ALL DAMAGE. THE GENERAL CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC. EACH CONTRACTOR IS SOLEY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS OR HER ACT OF NEGLIGENCE.
9. THE GENERAL CONTRACTOR IS SOLEY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
10. DO NOT SCALE DRAWING; USE DIMENSIONS.
11. DETAILS LABLED "TYPICAL" ON THE DRAWINGS APPLY TO ALL CONDITIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.
12. FIELD VERIFY ALL DIMENSIONS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
13. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
14. FURNITURE TO BE SELECTED BY OWNER. CONTRACTOR TO CONFIRM LOCATION OF ALL FIXTURES, EQUIPMENT, AND FURNITURE WITH TENANT PRIOR TO ROUGH-IN.
15. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE TO MEET THIS REQUIREMENT SHALL BE PROVIDED IF SPECIFICALLY NOTED.
16. ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE ADHERED TO.

THE ARCHITECT'S DISCLAIMER

1. THE ARCHITECTS CERTIFICATION OF DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
2. THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND / OR AUTHORIZED IN WRITING BY THE ARCHITECT.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISION IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES OR AESTHETIC INTENT.

ARCHITECT OF RECORD

JMH ARCHITECTURE
15561 OMAI CT.
FORT MYERS, FL. 33908
CONTACT: JASON HICKS
561.756.7121 PHONE
JAHSUN365@YAHOO.COM EMAIL

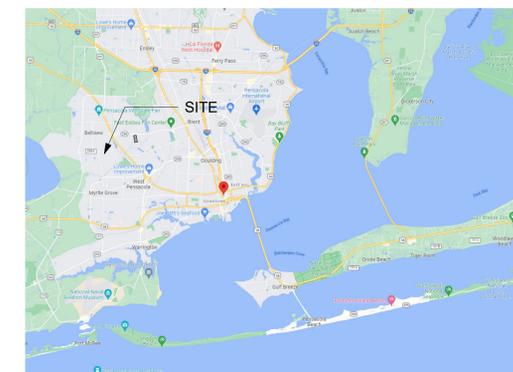
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REV. DATE	ISSUE DATE	SHEET NO	SHEET TITLE
-	-	A-0.0	COVER SHEET
-	-	A-0.0x	PROJECT SHEET INFO
-	-	A-0.1	ARCHITECTURAL SITE PLAN
-	-	A-0.2	EXISTING CONDITIONS _ELEVATIONS
-	-	A-0.3	DEMO PLAN
-	-	A-0.4	LIFE SAFETY PLAN,
-	-	A-0.5	CODE ANALYSIS
-	-	A-0.6	ADA NOTES
-	-	A-0.7	PERSPECTIVE VIEWS
-	-	A-1.0	NEW WORK PLANS OVERALL
-	-	A-1.1	ENLARGED NEW WORK PLANS RETAIL SPACE
-	-	A-1.2	ENLARGE NEW WORK PLANS OFFICE
-	-	A-1.3	RETAIL SHOP NEW WORK RCP / SECTIONS
-	-	A-3.0	ELEVATIONS NEW WORK & EXISTING SIGNAGE DIAGRAM
-	-	A-3.1	ELEVATIONS NEW WORK

Grand total: 15

SITE LOCATION MAP

524 NORTH HAYNE STREET PENSACOLA, FLORIDA 32501



No.	Description	Date

ARCHITECT OF RECORD
JASON M HICKS
AR100084

COVER SHEET

Date 03-30-2023

Drawn By

Checked By

A-0.0

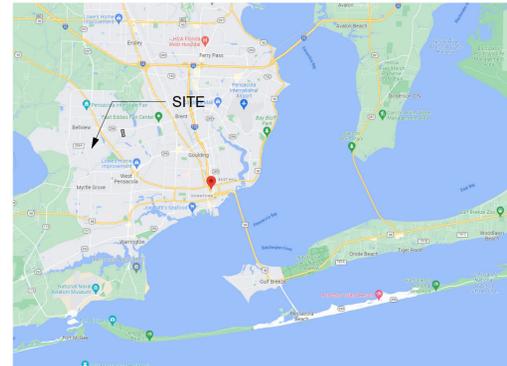
SHELL DETACHED STUDIO

524 NORTH HAYNE STREET PENSACOLA, FLORIDA 32501

100% SET 03-30-2023

SITE LOCATION MAP

524 NORTH HAYNE STREET PENSACOLA, FLORIDA 32501



GENERAL NOTE:
CONFIRM AND COORDINATE FINAL DOOR & WINDOW TYPES / SIZES / LOCATIONS / SILL HEIGHTS / OPERATION TYPE & DIRECTION / QUANTITIES WITH OWNER AND PERMIT DRAWINGS. COORDINATE & V.I.F. ALL R.O. / SIZES WITH MFR. SPECIFICATIONS. COORDINATE WITH R.O. W/ MASONRY COURSE DIMENSIONS. CONFIRM / PROVIDE / COORDINATE ANY IMPACT / ENERGY CODE / EGRESS COMPLIANT DOORS AND WINDOWS AS REQUIRED BY LOCAL / STATE CODES. FINAL SELECTION DOOR & WINDOW SELECTION TO BE SELECTED AND CONFIRMED BY OWNER & COORDINATE WITH GENERAL CONTRACTOR.

CODE ANALYSIS

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2020 FLORIDA BUILDING CODE W/ LOCAL ADMENDMENTS

BUILDING AREA 583 S.F.

USE & OCCUPANCY CLASSIFICATION RESIDENTIAL

BUILDING HEIGHT (STORY, FEET) 1 STORY

CONSTRUCTION TYPE WD FRAMED & EXISTING CMU WALL TYPE II

UNDER AIR SF CALCULATIONS

EXISTING STRUCTURE UNDER AIR 2,841 SF
PERMISSABLE NEW STRUCTURE (60%) 2,841 x 0.60 = 1,704 SF

RENOVATED STRUCTURE (AUXILIARY)

1ST LEVEL UNDER AIR 508 SF
TOTAL UNDER AIR 508 SF

FLORIDA PRODUCT APPROVAL NUMBERS

WINDOWS

VIWINCO OCEANVIEW SINGLE HUNG- FL. # 15576.1 THROUGH 15576.4
VIWINCO OCEANVIEW FIXED- FL. # 15578.1
VIWINCO OCEANVIEW HORIZ. SLIDER- FL. # 15577.2

DOORS

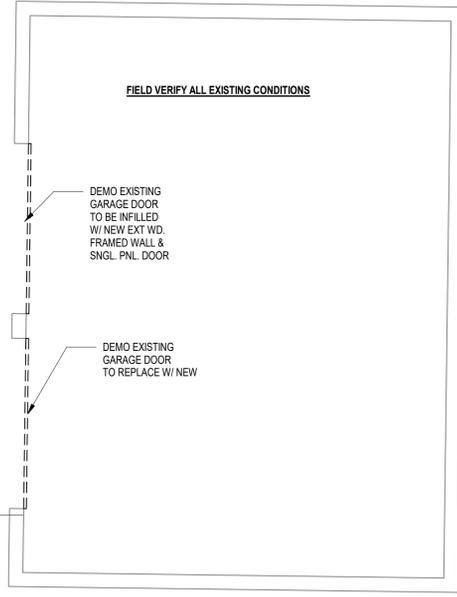
IRON DOORS UNLIMITED ENTRY DOOR- FL. # 17218.1
THERMATRU FIBERGLASS DOOR- FL. # 5891.4

STANDING SEAM METAL ROOF

24 GA. 16" STANDING SEAM METAL ROOF - SEM LOK ; FL# 11175.R1

HURRICANE SHUTTERS

EASTERN METAL SUPPLY ALUMINUM STORM PANEL- FL. # 11964.1



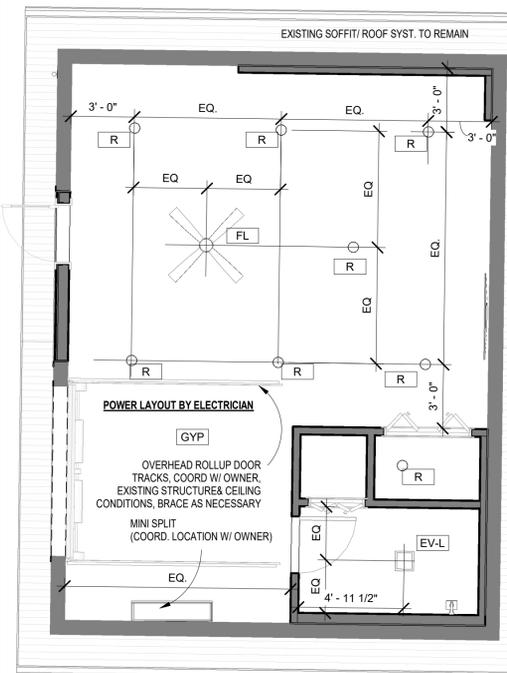
2 Level 1- ACCESSORY UNIT DEMO PLAN
SCALE: 1/4" = 1'-0"

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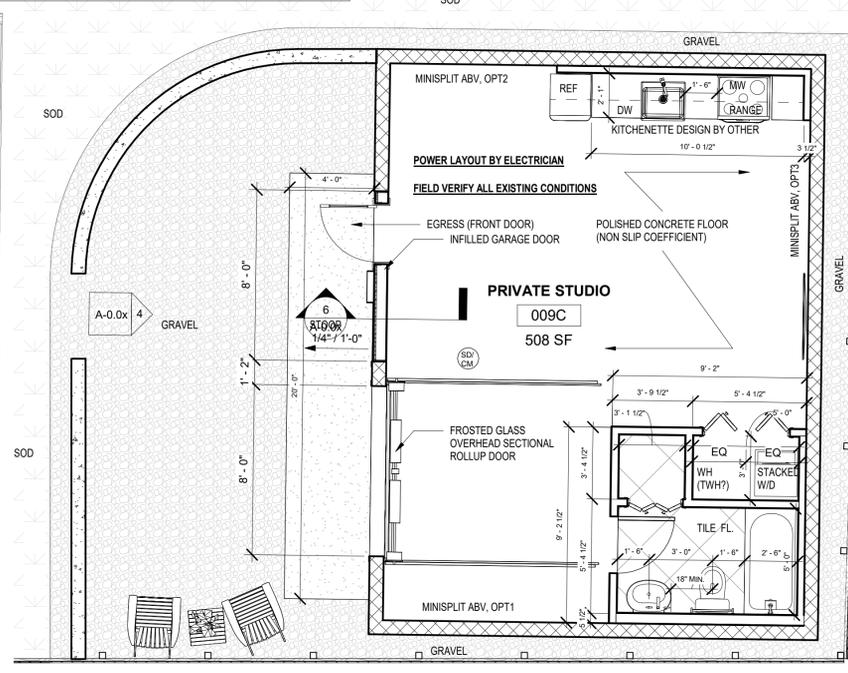
REV. DATE	ISSUE DATE	SHEET NO	SHEET TITLE
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REV. DATE	ISSUE DATE	SHEET NO	SHEET TITLE
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Grand total: 1



8 Level 1-Existing Cottage F.F. Copy 1
SCALE: 1/4" = 1'-0"



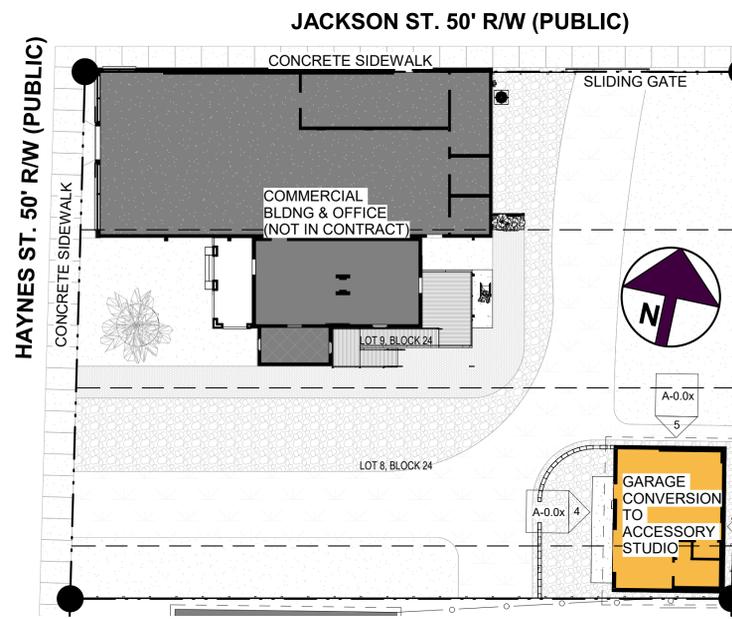
1 Level 1- ACCESSORY UNIT NEW WORK PLAN
SCALE: 1/4" = 1'-0"

RCP LEGEND

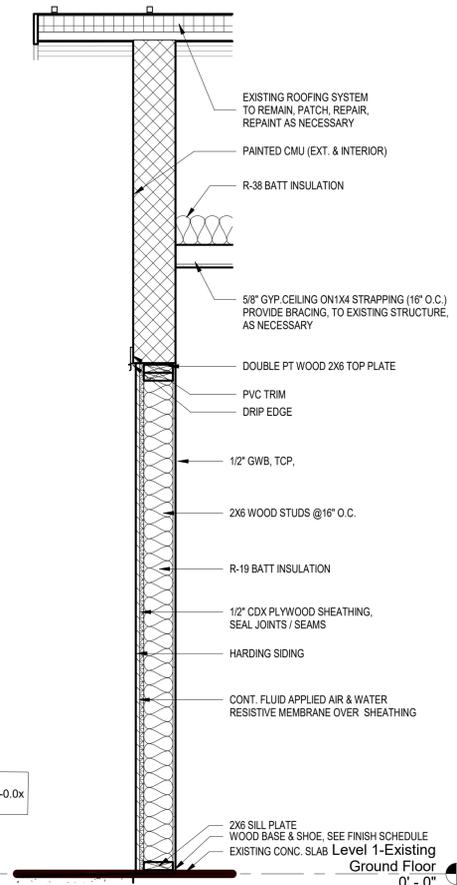
- COMBO CARBON MONOXIDE / SMOKE DETECTOR (HARDWIRED W/BATTERY BACK-UP)
- (R) 4" RECESSED LED FIXTURE, VAPORPROOF AS NECESSARY
- EXHAUST VENT (EV) VENT/ LIGHT COMBO (EV-L) (50 CFM)
- CEILING FAN FL (FAN WITH LIGHT) E (FAN ONLY)

Door Schedule

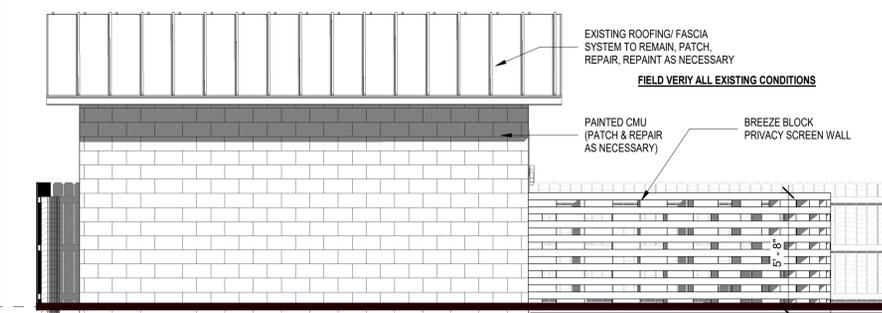
Mark	Width	Height	Level	Description
AS1	2' - 8"	7' - 0"	Level 1-Existing Ground Floor	Exterior Front Entry Door
AS2	8' - 0"	8' - 0"	Level 1-Existing Ground Floor	2-1/8" Thick Aluminum Sectional Door
AS3	2' - 8"	6' - 8"	Level 1-Existing Ground Floor	INT. SNGL PNL H.C. DOOR
AS4	2' - 6"	6' - 8"	Level 1-Existing Ground Floor	BI-FOLD DOORS (LOUVERED AS NECESSARY)
AS5	4' - 0"	6' - 8"	Level 1-Existing Ground Floor	BI-FOLD DOORS (LOUVERED AS NECESSARY)



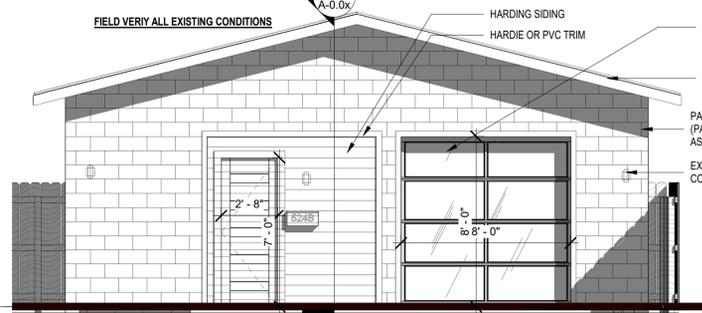
0 ARCHITECTURAL SITE PLAN ACCESSORY UNIT
SCALE: 1/16" = 1'-0"



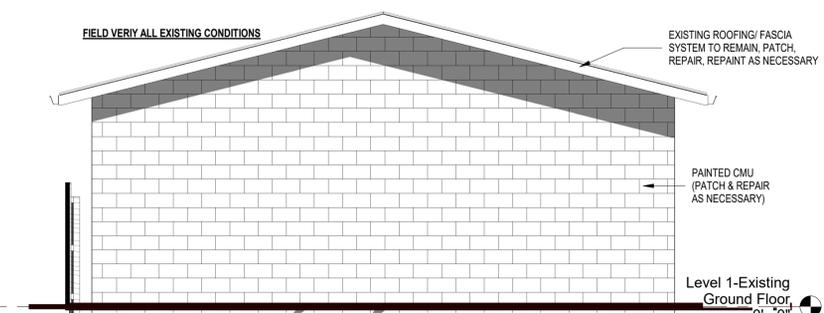
6 Section 6
SCALE: 3/4" = 1'-0"



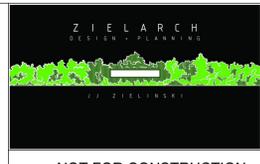
5 NORTH ELEVATION (SOUTH - SIMILIAR) NEW WORK
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION NEW WORK
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION NEW WORK
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

SHELL DETACHED STUDIO

524 NORTH HAYNE STREET PENSACOLA, FLORIDA 32501

No.	Description	Date

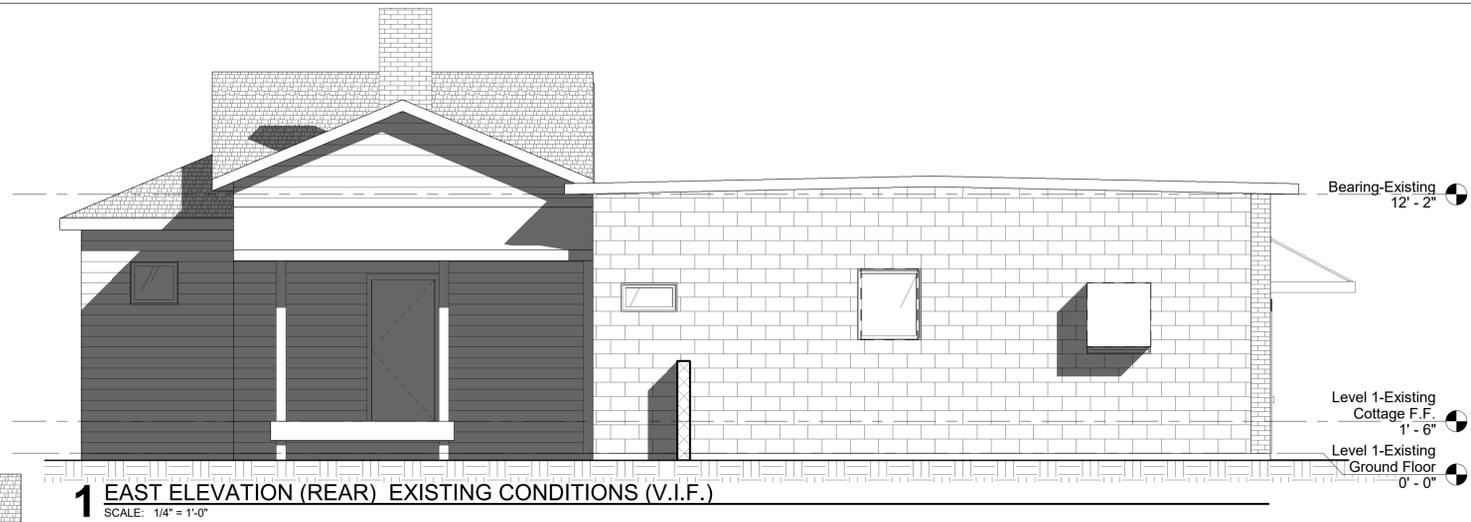
ARCHITECT OF RECORD
JASON M HICKS
AR100084

PROJECT SHEET INFO

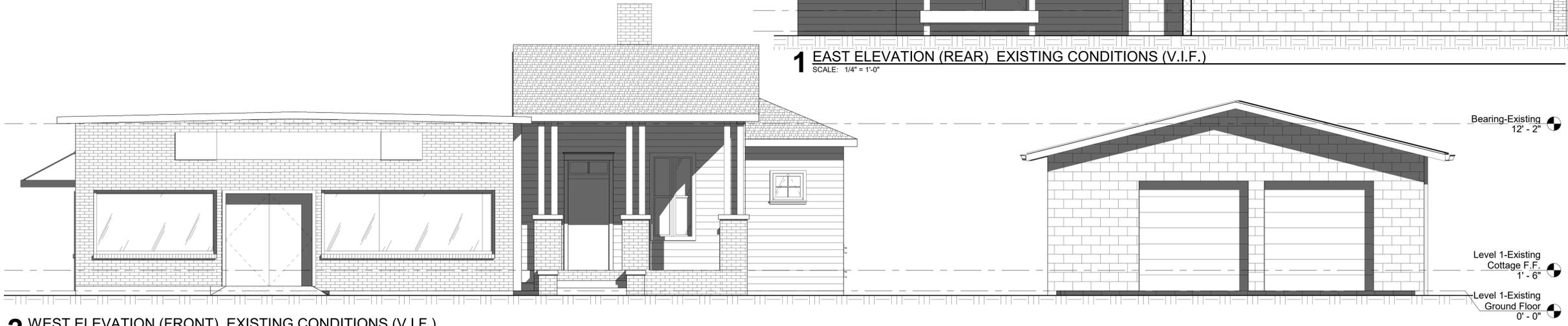
Date 03-30-2023
Drawn By
Checked By

A-0.0x

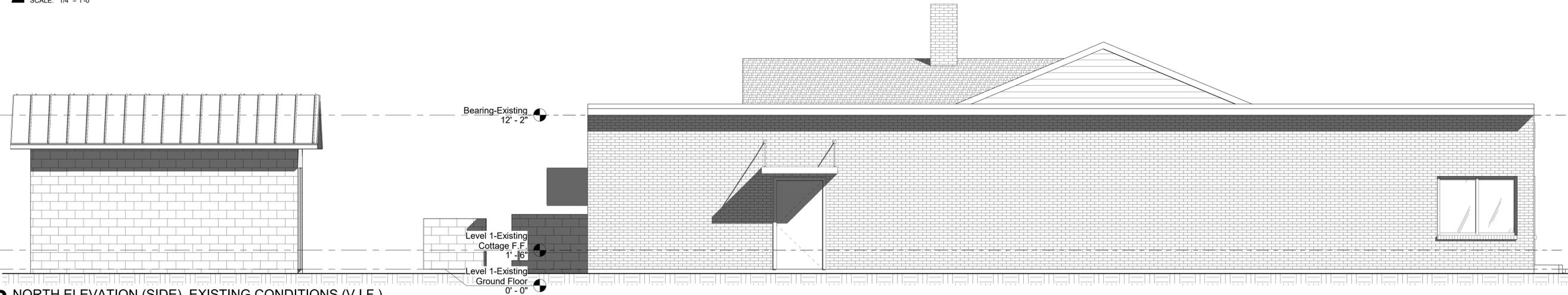
GENERAL NOTE: ELEVATION LINE DRAWINGS ARE FOR COORDINATION / REFERENCE ONLY AND DOES NOT CAPTURE ALL EXISTING CONDITIONS. VERIFY EXISTING CONDITIONS IN FIELD AND COORDINATE SCOPE OF NEW WORK ACCORDINGLY. REQUEST CLARIFICATION FROM ARCHITECT & OWNER(S) AS NEEDED.



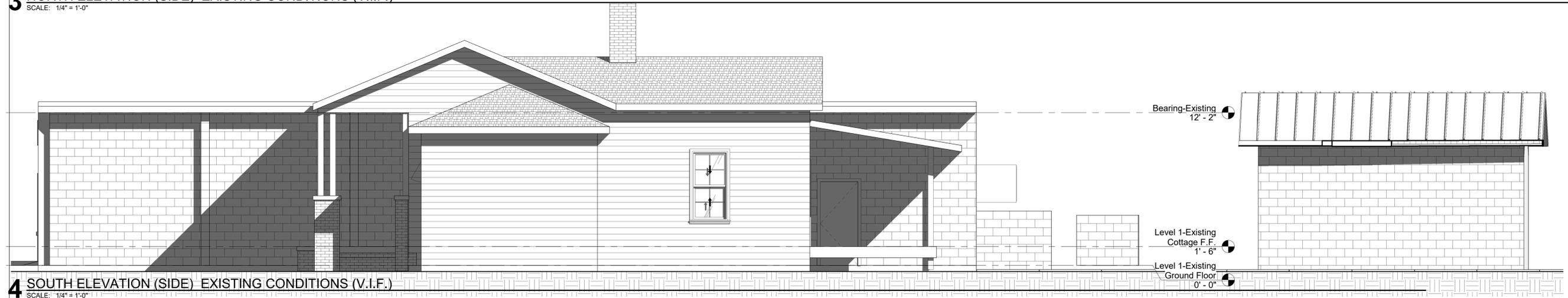
1 EAST ELEVATION (REAR) EXISTING CONDITIONS (V.I.F.)
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION (FRONT) EXISTING CONDITIONS (V.I.F.)
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION (SIDE) EXISTING CONDITIONS (V.I.F.)
SCALE: 1/4" = 1'-0"



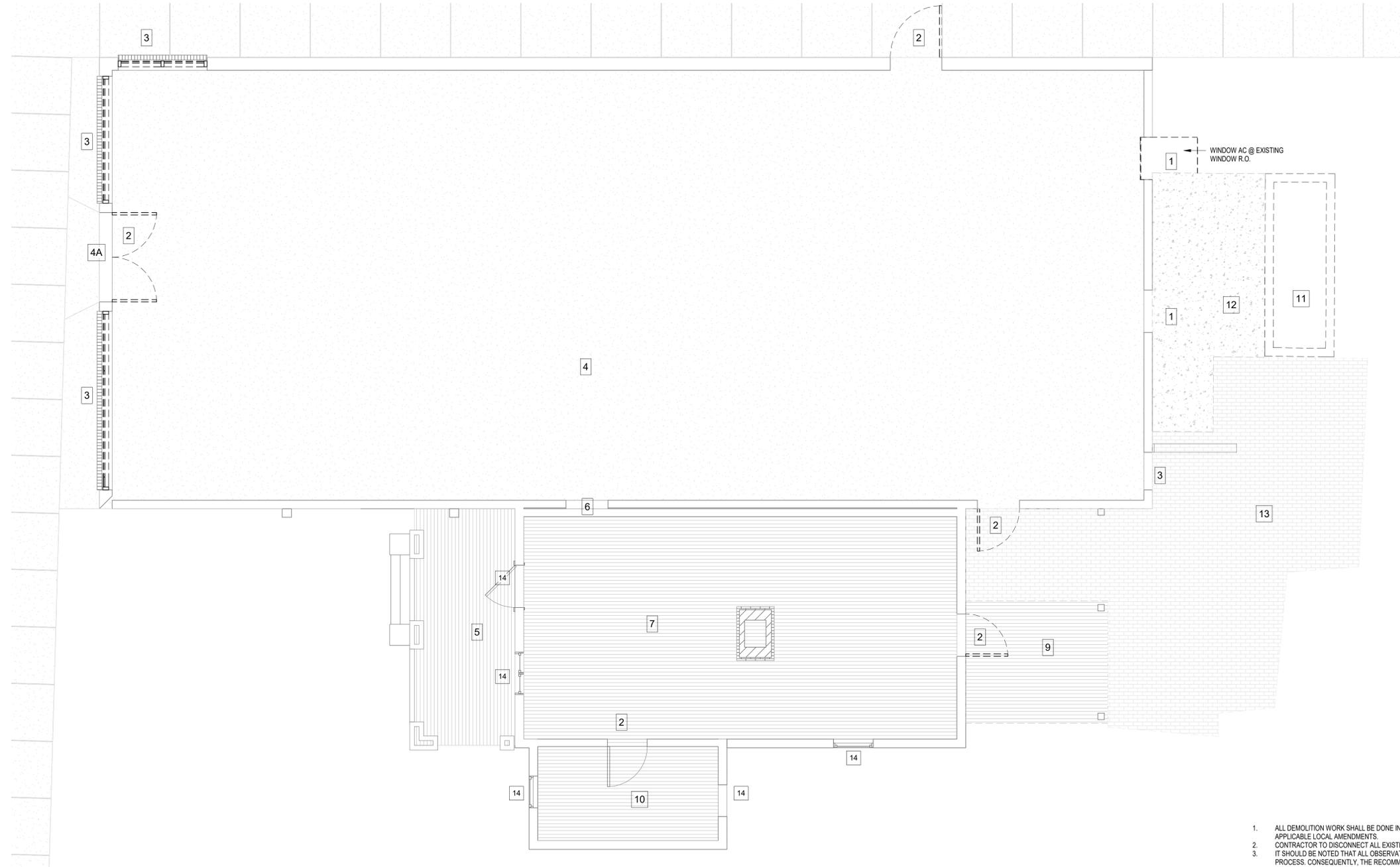
4 SOUTH ELEVATION (SIDE) EXISTING CONDITIONS (V.I.F.)
SCALE: 1/4" = 1'-0"

No.	Description	Date

EXISTING CONDITIONS ELEVATIONS

Date 03-30-2023
 Drawn By Author
 Checked By Checker

A-0.2



- 1 DEMO WINDOWS / EQUIPMENT AND INFILL WITH MATCHING CMU/MORTAR TO MATCH EXISTING WALL. PATCH & REPAIR WHERE/AS NECESSARY
- 2 DEMO EXISTING DOOR(S) AND MAINTAIN EXISTING R.O. . PATCH & REPAIR AS NECESSARY FOR NEW REPLACEMENT DOOR. SEE DOOR SCHEDULE/ COORD. W/ OWNER FOR FINAL SELECTION.
- 3 DEMO STOREFRONT WINDOW. PATCH & REPAIR AS NECESSARY FOR NEW REPLACEMENT STOREFRONT / WINDOW SYSTEMS. SEE WINDOW SCHEDULE / COORD. W/ OWNER FOR FINAL SELECTION.
- 4 REMOVE ALL FLOORING MATERIALS, SUBSTRATES IN ORDER TO EXPOSED FOUNDATION SLAB. PREP/PATCH/REPAIR AS NECESSARY FOR GRINDING & POLISHING AS NECESSARY. COORD. W/ OWNER/ARCHITECT DEPTH OF GRINDING.
- 4A DEMO EXISTING SLOPE AS NECESSARY TO ACHIEVE ADA COMPLIANT ACCESSIBLE ENTRANCE SLOPE AND THRESHOLD. COORDINATE WITH NEW STOREFRONT ENTRY DOOR SYSTEM.
- 5 STRIP EXISTING WD. PORCH DECK AS NECESSARY. PATCH, REPAIR, FOR REFINISHING / STAINING / SEALING
- 6 DEMO AS NECESSARY TO REOPEN EXISTING ROUGH OPENING. PATCH & REPAIR AS NECESSARY TO PREP FOR NEW DOORWAY.
- 7 DEMO EXISTING FLOOR TO SUBSTRATE. PATCH REPAIR SUBFLOOR/ STRUCTURE AS NECESSARY. COORD W/ OWNER FOR NEW FLOORING FINISH. T.B.D.
- 8 DEMO AS NECESSARY TO RESTORE BRICK FIREPLACE TO ORIGINAL AETHETIC AND FOR OPERATIONAL USE. PATCH & REPAIR BRICK AND MORTAR TO MATCH EXISTING AS NECESSARY
- 9 DEMO EXISTING REAR PORCH DECK FOR NEW CONCRETE PORCH SLAB POUR. PREP GRADE AS NECESSARY FOR FOUNDATION POUR. SUPPORT EXISTING LEAN-TO OVERHANG AS NECESSARY. COORD. W/ STRUCTURAL FOR COLUMN REQUIREMENTS WITH NEW PORCH CONCRETE DECK
- 10 DEMO EXISTING FLOOR TO SUBSTRATE. PATCH REPAIR SUBFLOOR/ STRUCTURE AS NECESSARY. COORD W/ OWNER FOR NEW FLOORING FINISH. T.B.D.
- 11 DEMO ALL EXISTING PLUMBING FIXTURES, COORD. WITH NEW WORK PLAN. PATCH REPAIR SUBSTRATE/STRUCTURE AS NECESSARY FOR NEW PLUMBING AND FIXTURE LAYOUT.
- 12 DEMO PLANTER - PREP GRADE FOR LANDSCAPE PAVERS, CONFIRM & COORDINATE WITH OWNER/ARCHITECT FOR NEW LANDSCAPE HARDSCAPE DESIGN LAYOUT AND MATERIAL (TBD)
- 13 DEMO EXT. EXIST. CONCRETE SLAB - PREP GRADE FOR LANDSCAPE PAVERS, CONFIRM & COORDINATE WITH OWNER/ARCHITECT FOR LANDSCAPE HARDSCAPE DESIGN LAYOUT AND MATERIAL (TBD)
- 14 DEMO EXT. EXIST. PAVERS/BRICKS - PREP GRADE FOR LANDSCAPE PAVERS, CONFIRM & COORDINATE WITH OWNER/ARCHITECT FOR NEW LANDSCAPE HARDSCAPE DESIGN LAYOUT AND MATERIAL (TBD)
- 14 EXISTING WD DOORS / WD WINDOWS TO REMAIN

- 1. ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS OF 2020 FLORIDA BUILDING CODE ALONG WITH ANY APPLICABLE LOCAL AMENDMENTS.
- 2. CONTRACTOR TO DISCONNECT ALL EXISTING UTILITIES PRIOR TO COMMENCING DEMOLITION WORK.
- 3. IT SHOULD BE NOTED THAT ALL OBSERVATIONS AND RECOMMENDATIONS ARE BASED UPON A VISUAL, NONDESTRUCTIVE INSPECTION PROCESS. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE CONTRADICTED BY THE PRESENCE OF HIDDEN DEFECTS.
- 4. THIS DRAWING SHOULD IN NO WAY BE TAKEN AS AN IMPLIED WARRANTY THAT THERE ARE NOT ADDITIONAL HIDDEN DEFECTS PRESENT THAT WERE NOT ACCESSIBLE OR VISIBLE AT THE TIME OF THE ON-SITE INSPECTION AND WHETHER OR NOT THIS STRUCTURE WAS ORIGINALLY CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, THE ORIGINAL CONSTRUCTION DOCUMENTS OR ON SOUND ENGINEERING PRINCIPLES AND PRACTICES.
- 5. CONTACT THE ARCHITECT IF CONDITIONS CITED ARE IN CONTRADICTION WITH THIS DRAWING.
- 6. EXISTING ROOF STRUCTURE, SLAB, FOOTERS, AND WALLS ARE BY OTHERS. THEY ARE NOT THE RESPONSIBILITY OF THE ARCHITECT.
- 7. ABANDONED ELECTRICAL CIRCUITS SHALL BE REMOVED AND APPROPRIATELY CAPPED OFF IN JUNCTION BOXES OR DISCONNECTED AT THE PANELS.
- 8. REMOVE AND/OR CAP OFF ANY ABANDONED WATER, WASTE AND PLUMBING VENT LINES.

1 GENERAL DEMOLITION NOTES
SCALE: 1" = 1'-0"

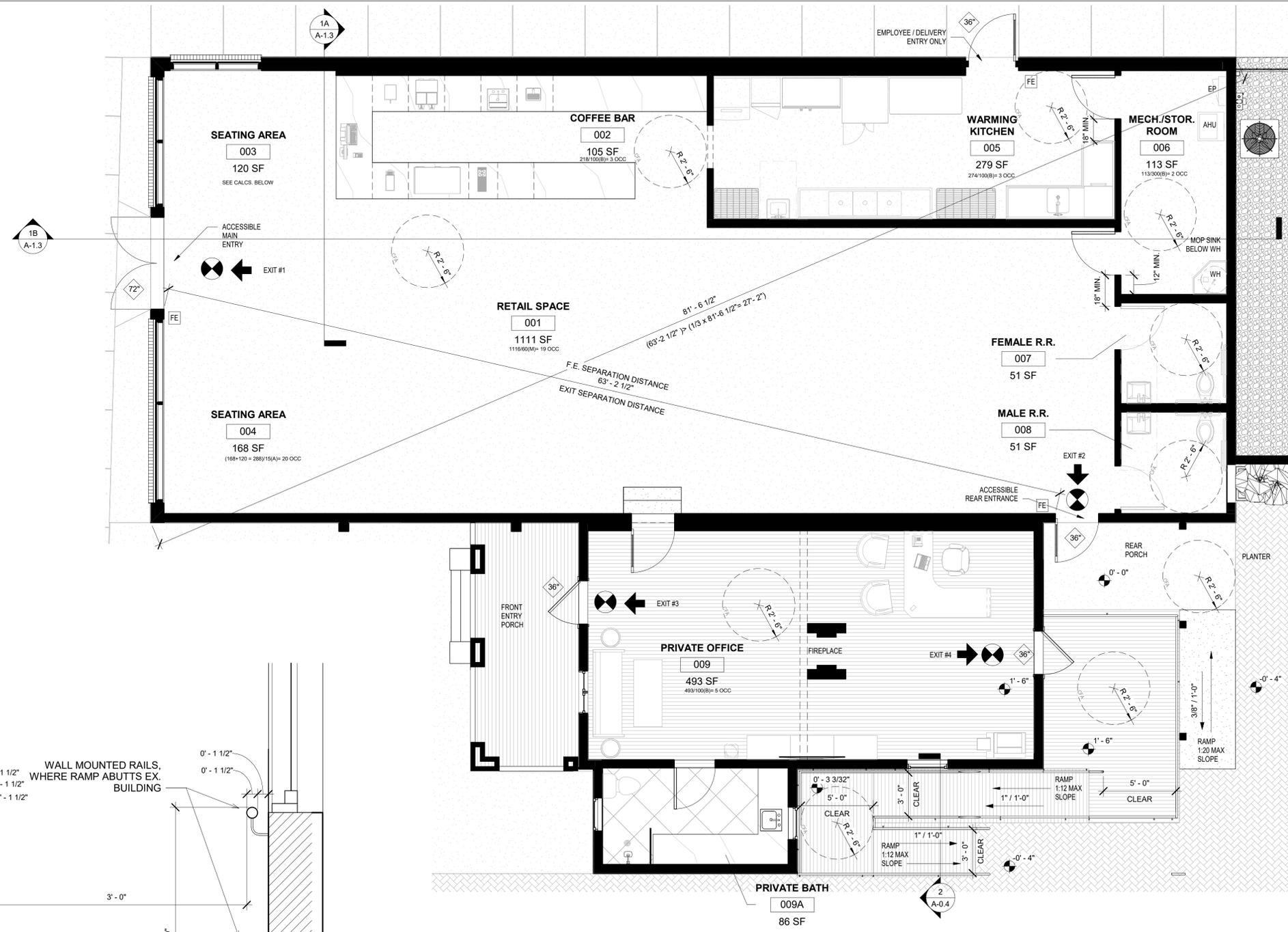
2 LEVEL 1 - DEMOLITION
SCALE: 1/4" = 1'-0"

No.	Description	Date

DEMO PLAN

Date	03-30-2023
Drawn By	Author
Checked By	Checker

A-0.3



1 Level 1- ENLARGE NEW WORK PLAN LIFESAFETY
SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND

	FIRE EXTINGUISHER
	CABINET
	DOOR WIDTH
	PRIMARY EXIT
	SECONDARY EXIT
	EXIT LIGHT
	EXIT TRAVEL DISTANCE
	EMERGENCY LIGHT

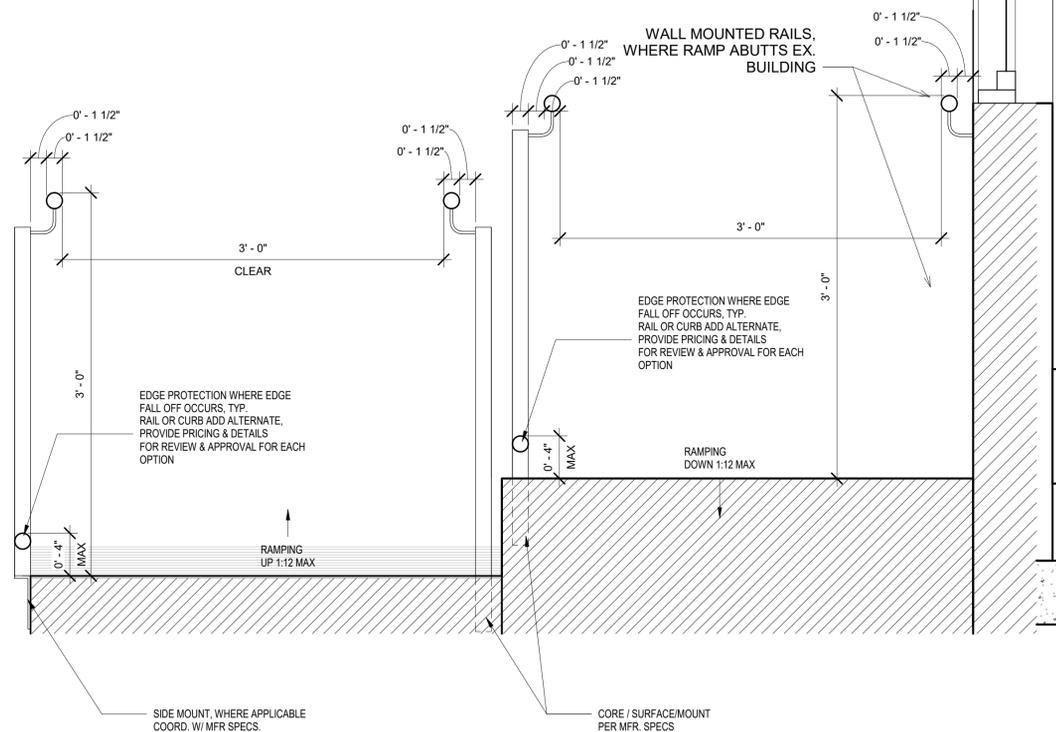
No.	Description	Date

LIFE SAFETY PLAN,

Date	03-30-2023
Drawn By	Author
Checked By	Checker

A-0.4

2 ADA RAMP SECTION / GUARD-HANDRAIL DIMS.
SCALE: 1 1/2" = 1'-0"



No.	Description	Date

CODE ANALYSIS

Date	03-30-2023
Drawn By	Author
Checked By	Checker

A-0.5

PARTITION NOTES

- CONSTRUCTION OF FIRE RATED PARTITIONS SHALL BE IN ACCORDANCE WITH THE TESTING DESIGN DESIGNATED.
- ARCHITECTURAL DETAILS MAY NOT INDICATE EVERY REQUIRED COMPONENT OF TESTED ASSEMBLY.
- PROVIDE CONTROL JOINTS IN ALL GYPSUM WALLBOARD PARTITIONS AT 30'-0" OC MAXIMUM OR AS INDICATED ON FLOOR PLANS.
- ONE SIDE OF GYPSUM WALLBOARD MAY BE INSTALLED WHEN UNUSED SPACE (IE, UNDER STAIR) OR UNFINISHED TENANT SPACE EXISTS ON ONE SIDE, EXCEPT WHERE REQUIRED FOR FIRE RATING.
- ALL STUD/ SPACING SHALL BE 16" OC UNLESS OTHERWISE NOTED.
- PARTITION SYMBOL INDICATIONS ON FLOOR PLANS DESIGNATE THE ENTIRE LENGTH OF WALL INDICATED UNLESS INTERRUPTED BY ANOTHER SYMBOL.
- UTILIZE EXTENDED TRACKS WITH SLOTTED HOLES AT TOPS OF PARTITIONS WHEREVER ATTACHING TO STRUCTURE ABOVE TO ALLOW FOR DEFLECTION.
- PROVIDE FIRE BLOCKING FOR ALL PARTITIONS OPEN TO CEILING CAVITY. UTILIZE GYPSUM WALLBOARD WITH STEEL FRAMING WHERE SPACE IS TOO WIDE FOR SOLID STEEL OR INSULATION TYPE FIRE BLOCKING, UNLESS OTHERWISE INDICATED.
- PROVIDE IMPALING CLIPS WHERE REQUIRED TO SUPPORT INSULATION FIRE BLOCKING.
- SUBSTITUTE MOISTURE RESISTANT BOARD (PURPLE BOARD) FOR WET LOCATIONS (TOILETS, LOCKER ROOMS). USE CEMENTITIOUS TILE BACKER BOARDS IN ALL AREAS TO RECEIVE TILE
- ALL GYPSUM BOARDS SHALL BE 5/8" THICK AND HELD OFF 1/2" FROM FLOOR SURFACE, UNO.
- PROVIDE CONTINUOUS SEALANT UNDER METAL TRACKS AND AT PERIMETER OF GYPSUM BOARD PANELS AT SMOKE RATED, STC RATED OR FIRE RATED ASSEMBLIES.
- PROVIDE MARKINGS ABOVE SUSPENDED CEILINGS AND IN CONCEALED SPACES TO IDENTIFY FIRE RATED PARTITIONS. SUCH SIGNAGE SHALL BE 1" HIGH (MIN) LETTERS AND SHALL STATE "FIRE RATED ASSEMBLY" AT HORIZONTAL INTERVALS OF 8 FT.
- METAL STUD PARTITIONS SCHEDULED TO SUPPORT WALL MOUNTED CASEWORK OR EQUIPMENT SHALL HAVE 33 MIL (20 GA) MIN STUDS FOR THE ENTIRE LENGTH OF THE CASEWORK.
- PROVIDE WOOD OR METAL BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, INCLUDING CASEWORK, GRAB BARS, SHELVING, HANDRAILS, TOILET PARTITIONS, ETC. REF TYP DETAILS FOR BLOCKING.
- PROVIDE DOUBLED 33 MIL (20 GA) MIN STUDS AROUND ALL DOOR, WINDOW OR CASED OPENINGS.
- ALL GYPSUM BOARD FOR FIRE RATED PARTITIONS SHALL BE "TYPE X", UNLESS OTHERWISE REQUIRED BY RATING DESIGN DESIGNATION.
- ORIENTATION OF SHAFT WALL ASSEMBLY MAY VARY FROM THAT SHOWN ON DRAWINGS AND MAY BE DETERMINED ON SITE AS REQUIRED AFTER CONSIDERATION IS MADE FOR STRUCTURAL OBSTRUCTIONS THAT PREVENT THE PROPER FASTENING OF GYPSUM BOARD.
- PROVIDE INSULATION AND PROVIDE SOUND ATTENUATION BLANKETS AT ALL INTERIOR WALL PARTITION LOCATIONS (THERMAFIBER OR EQUAL). THERMAL FIBERGLASS INSULATION NOT ACCEPTABLE.
- STC RATINGS ARE SHOWN FOR KNOWN TEST ASSEMBLIES FOR THE STUD SIZE INDICATED. FOR OTHER STUD SIZES COMPLY WITH REQUIREMENTS OF CLOSEST SIMILAR ASSEMBLY.
- ALL PENETRATIONS IN FULL HEIGHT PARTITIONS SHALL BE SMOKE RESISTIVE AND FIRESTOPPED REGARDLESS OF THE PARTITION RATING.
- PARTIAL-HEIGHT INSULATED PARTITIONS SHALL RECEIVE 1-LAYER OF CONTINUOUS 3" SOUND ATTENUATION BLANKETS ON TOP OF CEILING, EXTENDING 4'-0" FROM EACH SIDE OF PARTITION FACE, UNLESS OTHERWISE INDICATED.
- FIRE-RATED PARTITIONS SHALL RECEIVE LISTED AND LABELED FIRE-RATED SEALANT SYSTEM (EACH SIDE) AT CONNECTION WITH UNDERSIDE OF STRUCTURAL DECK OR FIRE-PROOFED CEILING AND WITH FLOOR STRUCTURE.
- ALL INTERIOR PARTITIONS SHALL RECEIVE BASE FINISH AS SCHEDULED, UNO.
- ALL FULL-HEIGHT PARTITIONS TO RECEIVE CONTINUOUS SEALANT AT GAP BETWEEN GYP BD & STRUCTURE ABOVE, UNO.
- CHASE WALL PARTITIONS SHALL RECEIVE 2 1/2" MTL STUD BRACES OR GYP GUSSET CONNECTING STUDS SPACED VERTICALLY 4'-0" OC, UNO.
- PARTIAL HEIGHT MTL STUD PARTITIONS AT OR ABOVE CEILING HEIGHT SHALL RECEIVE CONTINUOUS STUD TOP TRACK W/ 2 1/2" 33 MIL (20 GA) MTL STUD BRACES AT 4'-0" OC MAX, ALTERNATING SIDES, UNO.
- ALL CEILING-HEIGHT MTL STUD PARTITIONS SHALL RECEIVE 'L' BEAD AT GYP BD CEILING CONNECTION, UNO.
- ALL CEILING-HEIGHT MTL STUD PARTITIONS SHALL RECEIVE PARTITION CLIP FOR ATTACHMENT W/ DIAGONAL BRACING ABOVE CEILING, UNO. PROVIDE DIAGONAL BRACING FOR ACOUSTICAL CEILING PANELS.
- ALL FULL-HEIGHT MASONRY PARTITIONS TO RECEIVE COMPRESSIBLE FILLER AT CONNECTION WITH STRUCTURE ABOVE, UNO.
- ALL MASONRY PARTITIONS TO RECEIVE HORIZONTAL MASONRY REINFORCEMENT AT 16" OC VERTICALLY, UNO.
- ALL PARTIAL-HEIGHT BELOW-CEILING PARTITIONS SHALL RECEIVE 3"x3"x5/16" STEEL ANGLE POSTS WELDED TO 8"x3 1/2"x3/8" STEEL FLOOR PLATE AND 3"x3"x5/16" TOP ANGLE. PROVIDE 1" DIA HOLE IN STEEL ANGLE POSTS FOR CONDUIT. ATTACH STEEL FLOOR PLATE TO FLOOR STRUCTURE W/ (3) 3/8" DIA ANCHOR BOLTS.
- ALL PARTIAL-HEIGHT BELOW-CEILING PARTITIONS SHALL RECEIVE GYP BD CAP & WOOD BLOCKING ATTACHED TO STEEL TOP ANGLE, UNLESS OTHER TRIM IS INDICATED.
- ALL SHAFT WALL PARTITIONS SHALL RECEIVE J-STUD RUNNER (24 GA MIN) ATTACHED TO FLOOR STRUCTURE AND C-H MTL STUDS SPACED @ 24" OC.
- WOOD STUD PARTITIONS SUPPORTED ON FLOORS W/ GYPSUM TOPPING SHALL HAVE DOUBLE SILL PLATES.
- SECURE SILL PLATES ON WOOD I-JOISTS OR TRUSS-SUPPORTED FLOORS THROUGH SUBFLOOR AND INTO STRUCTURAL SUPPORT.

GENERAL NOTES

DEFINITION: THE TERM "DESIGN PROFESSIONAL" MEANS "ARCHITECT", "PROFESSIONAL ENGINEER", "INTERIOR DESIGNER" OR OTHER PARTY RESPONSIBLE FOR PROVIDING DESIGN SERVICES AS APPROPRIATE.

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE AS WELL AS ALL OTHER APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION.
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST QUOTE ON COMPLETED, FULLY OPERABLE SYSTEMS BASED ON THE DESIGN INTENT OF THE CONTRACT DOCUMENTS, AND ALL MATERIAL AND LABOR IMPLIED THEREFROM.
- DIMENSION ON DIMENSION PLAN ARE FROM FACE OF STRUCTURE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR, ALL SUBCONTRACTORS, ALL SUPPLIERS, ETC. SHALL REVIEW PLANS, SPECIFICATIONS, DIMENSIONS, AND JOB SITE CONDITIONS PRIOR TO SUBMITTING PLANS FOR PERMITTING AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES, ERRORS OR OMISSIONS NEEDING CLARIFICATION TO COMPLETE THE PROJECT.
- ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE DRAWINGS).
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES SO AS TO NOT CREATE CONFLICT.
- ALL MATERIALS SHOWN OR CALLED OUT IN THESE PLANS SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS AND/OR SPECIFICATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
- ALL BEAM HEIGHTS OR CRITICAL STRUCTURAL MEMBERS SHALL BE VERIFIED AND COORDINATED WITH TRUSS MANUFACTURER AND OTHER TRADES BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR IS TO VERIFY ALL HVAC CLEARANCES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR TO SUBMIT FLORIDA PRODUCT APPROVALS FOR WINDOWS, DOORS, AND ANY OTHER PRODUCTS REQUIRING SUCH APPROVALS BY BUILDING OFFICIALS.
- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND BE ADHERED TO.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTORS SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
- THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
- THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES OR AESTHETIC INTENT.
- ISOLATE DISSIMILAR METALS TO PROTECT AGAINST GALVANIC CORROSION.
- COORDINATE WALL OPENINGS WITH ALUMINUM AND HOLLOW METAL FRAME DIMENSIONS. PROVISIONS SHALL BE MADE FOR A 1/4" SHIM SPACE AT JAMBS AND HEADS.
- COORDINATE THE LOCATION AND SUPPORT OF MECHANICAL PIPING AND ELECTRICAL SYSTEMS WITH STRUCTURAL REQUIREMENTS.
- COORDINATE THE LOCATION AND SUPPORT OF ITEMS SUSPENDED FROM FLOORS AND ROOFS SUCH AS CEILINGS, BULKHEADS, ETC. WITH STRUCTURAL REQUIREMENTS.
- SEE EXTERIOR ELEVATIONS LOCATIONS OF EXTERIOR CONTROL JOINTS.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AND SEALANT WHERE ALL EXTERIOR CONCRETE SLABS ABOUT THE BUILDING.
- ALL GYPSUM BOARD CEILINGS, SOFFITS, AND BULKHEADS SHALL BE 5/8" THICK.

WINDOW NOTES

- WINDOWS MUST BE IMPACT RESISTANT PER F.B.C. AND MUST MEET DESIGN PRESSURES SPECIFIED IN THE STRUCTURAL DRAWINGS.
- ANCHORAGE SYSTEM FOR WINDOWS SHALL BE BY MANUFACTURERS, SHOWN ON THE WINDOW MANUFACTURERS SUBMITTALS, AND ENGINEERED, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER SPECIALIZING IN THE DESIGN OF EXTERIOR DOOR AND WINDOW ANCHORAGE.
- PROVIDE TEMPERED GLASS IN ALL AREAS REQUIRED BY CODE.
- ALL WINDOWS TO BEAR THE MANUFACTURER'S LABEL OF WIND LOAD CERTIFICATION.
- SEE ELEVATIONS FOR WINDOW HEAD AND SILL HEIGHTS AND CONFIGURATIONS.
- PROVIDE FLUID APPLIED FLASHING COMPLETELY AROUND AND INSIDE OPENING PER CODE AND PER MANUFACTURER'S SPECIFICATIONS.
- SEE MANUFACTURER'S SPECIFICATIONS FOR ROUGH OPENING DIMENSIONS.

DOOR NOTES

- ALL DOORS INTERIOR AND EXTERIOR SHALL BE A.D.A. COMPLIANT AND SHALL HAVE A.D.A. THRESHOLDS.
- ALL DOORS SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR UNLESS OTHERWISE INDICATED.
- ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR SWINGING DOORS AND 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR SWINGING DOORS.
- EGRESS DOORS MUST BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION. SUCH MECHANISM FOR ANY LATCH SHALL BE LOCATED 34" MIN AND 48" MAX ABOVE FINISHED FLOOR. DOORS TO POOL AREA MUST BE SELF-CLOSING AND SELF-LATCHING.
- ALL DOORS TO HAVE METAL FRAMES UNLESS OTHERWISE NOTED.
- EXTERIOR DOORS MUST BE IMPACT RESISTANT PER F.B.C. (UNLESS OTHERWISE NOTED) AND MUST MEET DESIGN PRESSURES SPECIFIED IN THE STRUCTURAL DRAWINGS.
- ANCHORAGE SYSTEM FOR EXTERIOR DOORS SHALL BE BY MANUFACTURERS, SHOWN ON THE WINDOW MANUFACTURERS SUBMITTALS, AND ENGINEERED, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER SPECIALIZING IN THE DESIGN OF EXTERIOR DOOR AND WINDOW ANCHORAGE.
- ALL KEYS AND DEADBOLTS TO BE INTEGRATED WITH PANIC HARDWARE FOR EXITING.
- ALL DOOR HARDWARE TO BE SELECTED AND SPECIFIED BY DOOR SUPPLIER.
- PROVIDE TEMPERED GLASS IN ALL AREAS REQUIRED BY CODE.
- PROVIDE FLUID APPLIED FLASHING COMPLETELY AROUND AND INSIDE OPENING PER CODE AND PER MANUFACTURER'S SPECIFICATIONS.
- SEE MANUFACTURER'S SPECIFICATIONS FOR ROUGH OPENING DIMENSIONS.
- DOOR HARDWARE SHALL BE IN COMPLIANCE WITH FFPC/NFPA 101:7.2.1.5.

CODE REFERENCES

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE FOLLOWING CODES:
 BUILDING CODE - 2020 FLORIDA BUILDING CODE (FBC) & 2020 FLORIDA BUILDING CODE EXISTING BUILDING (THIS PROJECT CONSISTS OF A LEVEL 2 ALTERATION IN COMPLIANCE WITH CHAPTER 8.)
 MECHANICAL CODE - 2020 FBC MECHANICAL PLUMBING CODE - 2020 FBC PLUMBING ELECTRICAL CODE - 2020 NEC (NFPA 70)
 LIFE SAFETY CODE - 2020 FLORIDA FIRE PREVENTION CODE (2018 NFPA 1 & 2018 NFPA 101)
 (THIS PROJECT SHALL BE CLASSIFIED AS A "MODIFICATION" PER FFPC 101 4.6.7.1 AND PER SECTION 4.6.7.2, WORK SHALL COMPLY WITH FFPC 101 SECTION 43.5.)

LIFE SAFETY PLAN NOTES

- ANY RATED WALLS OR PARTITIONS SHALL EXTEND FROM SLAB TO ROOF DECK ABOVE (WHERE APPLICABLE).
- PROVIDE FIRE STOPPING AT ALL PENETRATIONS IN RATED WALLS PER SPECIFICATIONS AND DETAILS (WHERE APPLICABLE).
- REFER TO ELECTRICAL DRAWINGS FOR FIRE ALARM DESIGN, ANNUNCIATOR LOCATIONS AND SYSTEM SPECIFICATIONS (IF APPLICABLE).
- REFER TO FIRE PROTECTION DRAWINGS FOR FIRE SPRINKLER DESIGN, LOCATIONS AND SYSTEM SPECIFICATIONS (IF APPLICABLE).
- 2-A:10B:C PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED PER NFPA 10, 2020 F.B.C. SECTION 906, 2020 FLORIDA FIRE PREVENTION CODE, AND AS OTHERWISE REQUIRED BY CURRENT AND APPLICABLE CODES. SEE PLAN FOR LOCATIONS.
- FIRE EXTINGUISHERS RATED "2-A" ABC TYPE SHALL BE FOR EACH 3,000 S.F. (ORDINARY HAZARD OCCUPANCY) W/ A MAXIMUM 75 FOOT OF TRAVEL DISTANCE. TOP OF EXTINGUISHER NOT TO EXCEED 42" ABOVE FINISHED FLOOR.
- A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1 AND ADA SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
- ALL EXIT LIGHTS AND EMERGENCY LIGHTS SHALL HAVE A BATTERY BACKUP RATED FOR 90 MINUTES MINIMUM. SEE ELECTRICAL DRAWINGS.
- EGRESS DOORS MUST BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION. SUCH MECHANISM FOR ANY LATCH SHALL BE LOCATED 34" MIN AND 48" MAX ABOVE FINISHED FLOOR.

BUILDING CODE ANALYSIS

BUILDING DATA		
OCCUPANCY CLASSIFICATION (FBC 3):	MIXED USE, NON-SEPARATED: (B)-BUSINESS & (M)-MERCHANTILE	
CONSTRUCTION TYPE (FBC 6):	V-B - UNPROTECTED, UNSPRINKLERED	

BUILDING HEIGHTS & AREAS (TABLES 504.3, 504.4, 506.2)		
	ALLOWED	PROVIDED
BUILDING HEIGHT	4F	LESS THAN 4F
MAXIMUM NUMBER OF STOREYS	1	1
BUILDING AREA (PER F.B.C. 503)	9,000 S.F.	2,510 S.F.
AREA MODIFICATIONS	NOT EMPLOYED	-

FIRE PROTECTION REQUIREMENTS			
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS, TABLES 601, 705.8 & 706.4, 707.3, 10			
ELEMENT / COMPONENT	HRS. REQUIRED	HRS. PROVIDED	
PRIMARY STRUCTURAL FRAME	0	0	
COLUMNS, GIRDERS, TRUSSES, BEAMS, HANDRAILS & GRAVITY BRACING	0	0	
BEARING WALLS - EXTERIOR	0	0	
BEARING WALLS - INTERIOR	0	0	
NON BEARING WALLS & PARTITIONS - EXTERIOR	0	0	
NON BEARING WALLS & PARTITIONS - INTERIOR	0	0	
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0	0	
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0	0	
MAX. AREA OF EXTERIOR WALL OPENINGS BASED ON F.S.D. AND DEGREE OF OPENING PROTECTION	NO LIMIT	N/A	
FIRE WALL	N/A	N/A	
FIRE BARRIER	N/A	N/A	
FIRE PARTITION	N/A	N/A	
SMOKE BARRIER	N/A	N/A	
SMOKE PARTITION	N/A	N/A	
SHAFTS ENCLOSURES - EXITS	N/A	N/A	
SHAFTS ENCLOSURES - OTHER	N/A	N/A	
CORRIDOR SEPARATION	N/A	N/A	

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS AND MAX. AREA OF OPENING BASED UPON FIRE SEPARATION DISTANCE, TABLES 602 & 705.10				
WALL LOCATION	FIRE SEPARATION DISTANCE	FIRE RESISTANCE RATING REQUIRED	FIRE RESISTANCE RATING PROVIDED	ALLOWABLE OPENING AREA REQUIRED
NORTH WALL	25'	0 HR	N.R.	NO LIMIT
SOUTH WALL	EXCEEDS 30'	0 HR	N.R.	NO LIMIT
EAST WALL	EXCEEDS 30'	0 HR	N.R.	NO LIMIT
WEST WALL	25'	0 HR	N.R.	NO LIMIT
OTHER WALL	EXCEEDS 30'	0 HR	N.R.	NO LIMIT

FIRE PROTECTION SYSTEMS		
ELEMENT / COMPONENT	REQUIRED	FBC CODE REFERENCE/NOTES
FIRE SPRINKLERS	NO	903.2.7
STANDPIPE	NO	905.3.2
PORTABLE FIRE EXTINGUISHERS	YES	906.1, MAX. F5 TRAVEL DISTANCE
FIRE ALARM SYSTEM	NO	907.2.2 & 907.2.7
MANUAL ALARM BOX	NO	907.2.2 & 907.2.7
SMOKE DETECTORS	YES	

OCCUPANT LOAD PER TABLE 1004.1.2				
FUNCTION OF SPACE	ROOM NAME	ROOM SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY - UNCONCENTRATED	SEATING AREA	258	15	20
	COFFEE BAR	278		3
BUSINESS AREAS	WARNING KITCHEN	274	100	3
	OFFICE	463		5
	SUBTOTAL	983		11
ACCESSORY STORAGE/ MERCHANDISE	MECHANICAL STORAGE	113	300	2
	RETAL SPACE	1,105	60	19
	TOTAL	2,491		53

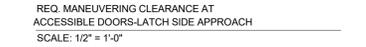
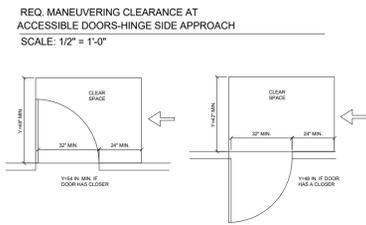
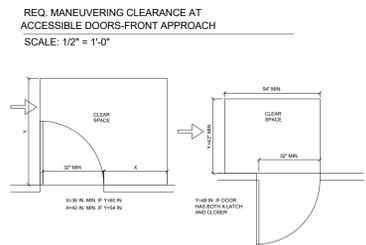
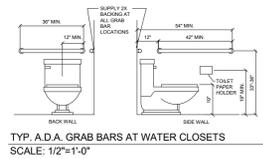
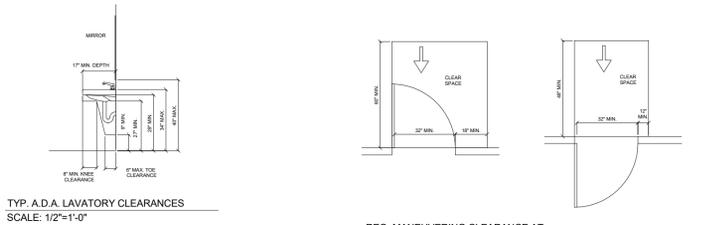
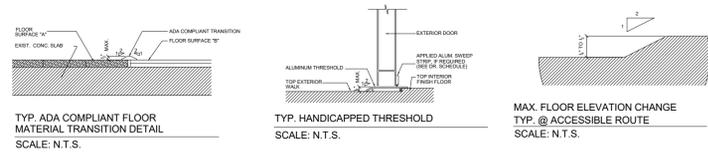
MEANS OF EGRESS REQUIREMENTS			
ELEMENT / COMPONENT	REQUIRED	PROVIDED	
OCCUPANT LOAD	-	53	
EGRESS WIDTH PER OCCUPANT			
STAIRS	30"/OCCUPANT	MORE THAN 30"/OCCUPANT	
OTHER COMPONENTS	20"/OCCUPANT	MORE THAN 20"/OCCUPANT	
MINIMUM WIDTH OF EXIT DOOR	36"/2 CLEAR WIDTH	36"/22" CLEAR WIDTH	
MINIMUM NUMBER OF EXITS	3	3	
MINIMUM WIDTH OF STAIRS	36"	MORE THAN 36"	
MINIMUM CORRIDOR WIDTH	MIN. 44"	N/A	
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	200'	LESS THAN 200'	
MAXIMUM COMMON PATH OF EGRESS TRAVEL	75'	LESS THAN 75'	
MAXIMUM DEAD END CORRIDOR	20'	NONE	
CORRIDOR FIRE RESISTANCE RATING	N/A	0	

WALL AND CEILING FINISH REQUIREMENTS, TABLE 803.11 (FBC 8) FLAME SPREAD INDEX			
ELEMENT / COMPONENT	REQUIRED	PROVIDED	
INT. EXIT STAIRWAYS, RAMP, EXIT PASSAGEWAYS	CLASS A (0-25)	CLASS A (0-25)	
CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRS	CLASS B (26-75)	CLASS B (26-75)	
ROOMS AND ENCLOSED SPACES	CLASS C (76-200)	CLASS C (76-200)	

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES, TABLE 403.1 (FBC-P)			
ELEMENT / COMPONENT	REQUIRED	PROVIDED	
WATER CLOSETS, MALE	1	1	
WATER CLOSETS, FEMALE	1	1	
URINALS, MALE (UP 67% SUBSTITUTED FOR REQUIRED W.C.)	0	0	
LAVATOIRES, MALE	1	1	
LAVATOIRES, FEMALE	1	1	
DRINKING FOUNTAIN	1	0 (EX. 410-4)	
SERVICE SINK	1	1	

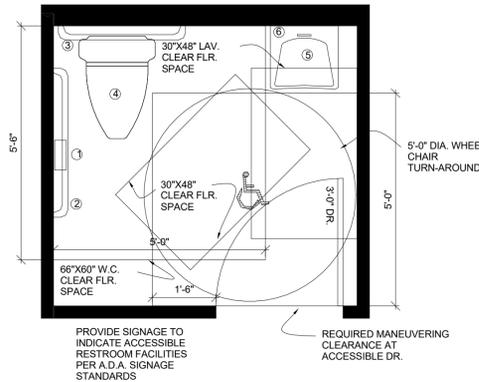
WIND LOAD VELOCITY PRESSURES ON EXTERIOR OPENINGS IN ACCORDANCE WITH TABLES 1609 OF THE F.B.C.

WIND SPEED (PER FIGURE 1609): 150 MPH
 WIND SPEED RISK CATEGORY: II
 WIND EXPOSURE CATEGORY: B
 BUILDING HAS PROTECTED OPENINGS: YES



ACCESSIBILITY REQUIREMENTS:

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. NON-ACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
2. IF EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOMS AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW THE CEILING, WHICHEVER IS LOWER.
3. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
4. ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR SWINGING DOORS AND 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR SWINGING DOORS.
5. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMP. CARPET THICKNESS SHALL BE 0.5 INCH MAX. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH HEIGHT.
6. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIAL MAY BE SITE INSTALLED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS. BEVELED WITH A SLOPE NO GREATER THAN 1:2.
7. ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (I.E. LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY CONTROLLED).
8. FIXTURE MOUNTING HEIGHTS SHALL COMPLY WITH THOSE INDICATED ON THE STANDARD MOUNTING HEIGHT DIAGRAMS UNLESS NOTED OTHERWISE.
9. FIXTURE SPACING AND CLEARANCE SHALL COMPLY WITH THOSE INDICATED ON THE PLANS.



ADA COMPLIANT RESTROOM NOTES:

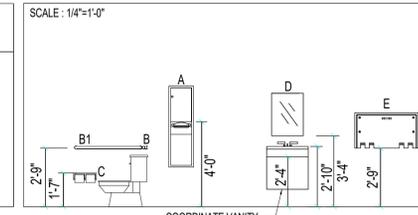
- A. WATER CLOSET SEAT HEIGHT: 19" AFF
- B. CENTER LINE OF WATER CLOSET: 18" FROM SIDE WALL
- C. GRAB BAR BEHIND WATER CLOSET: 36" LONG, 33" TO 36" AFF
- D. GRAB BAR SIDE OF WATER CLOSET: 42" MIN. LENGTH, 33" TO 36" AFF
- E. GRAB BAR DIAMETER: 1-1/4" TO 1-1/2"
- F. SPACE BETWEEN WALL AND GRAB BARS: 1-1/2"
- G. TOILET PAPER DISPENSER: 36" MAX FROM REAR WALL, 19" AFF
- H. KNEE CLEARANCE AT LAV.: 29" MIN. TO BOTTOM OF APRON
- I. LAVATORY DEPTH: 17" MIN.
- J. LAVATORY H.W. & DRAIN PIPES INSULATED WHERE EXPOSED.
- K. LAVATORY RIM SURFACE: 34" AFF MAX.
- L. MIRROR: BOTTOM EDGE MAX. 40" AFF
- M. DOOR SHALL HAVE A D.A. COMPLIANT LEVER TYPE HANDLE W/ SELF CLOSING DEVICE PER A.D.A. S.A.G. 404.2.7 & 404.2.8
- N. WATER SHALL HAVE A MAXIMUM TEMPERATURE OF 110 DEGREES.
- O. PROVIDE SIGNAGE TO INDICATE UNISEX ACCESSIBLE RESTROOM FACILITIES PER A.D.A. S.A.G. 703 SIGNAGE STANDARDS

RESTROOM ACCESSORIES KEY:

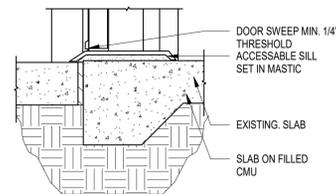
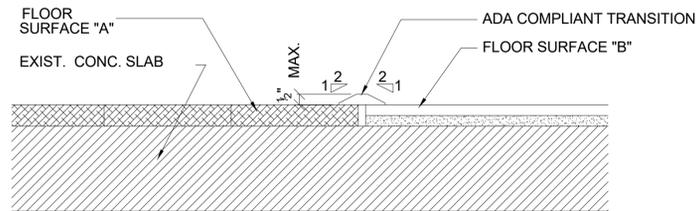
1. 1-1/2" DIA. X MIN. 42" LONG S.S. GRAB BAR
2. 1-1/2" DIA. X MIN. 36" LONG S.S. GRAB BAR
3. FLOOR MOUNTED A.D.A. COMPLIANT WATER CLOSET
4. WALL MOUNTED A.D.A. COMPLIANT LAVATORY W/ COMPLIANT FAUCET
5. WALL MOUNTED MIRROR
6. WALL MOUNTED TOILET PAPER DISPENSER
7. WALL MOUNTED PAPER TOWEL DISPENSER

TOILET & CUSTODIAL ACCESSORIES ABBREVIATIONS KEY

- RESTROOMS:**
- A. - TOWEL DISP./WASTE RECEIPT
 - B. - GRAB BARS 36"
 - B1. - GRAB BARS 42"
 - C. - TOILET PAPER HOLDER, SURFACE MOUNT
 - D. - MIRROR 18" X 36"
 - E. - BABY CHANGING STATION (FOLD DOWN)



2 ADA NOTES
SCALE: 1/8" = 1'-0"



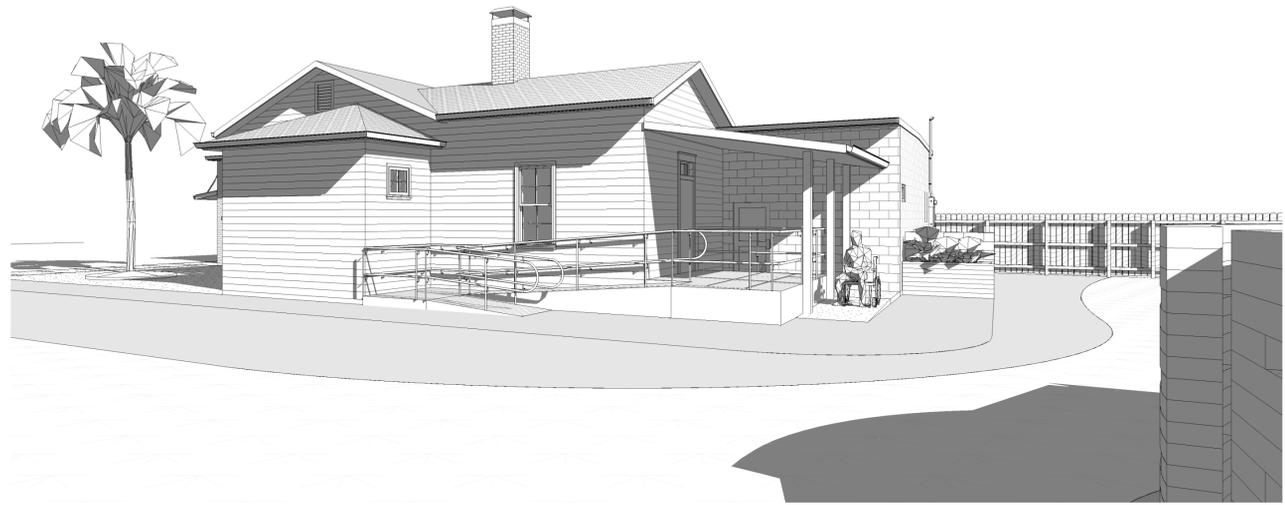
ADA NOTES

Date	03-30-2023
Drawn By	Author
Checked By	Checker

A-0.6



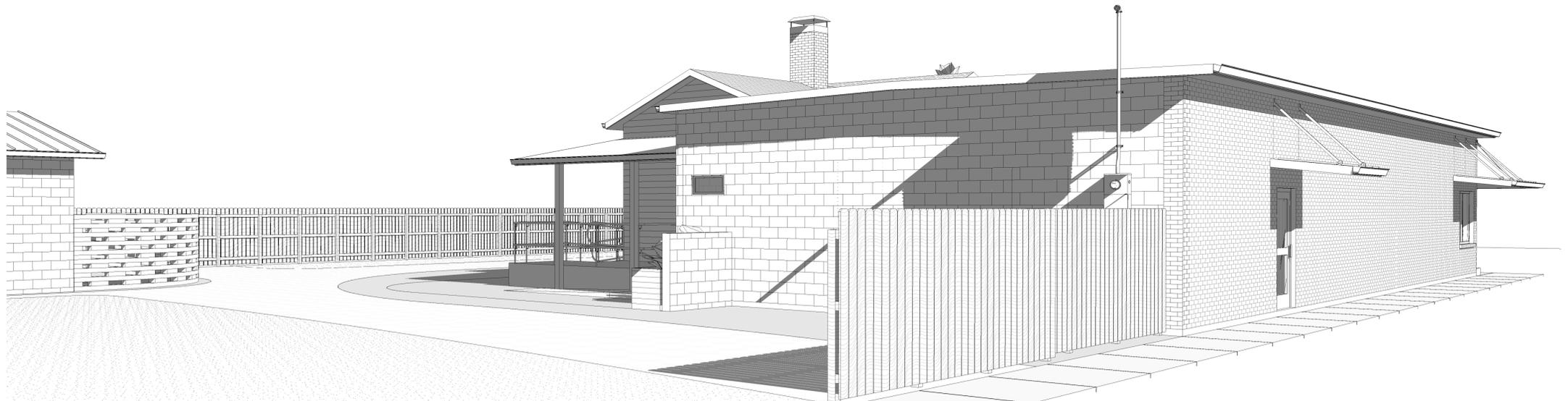
3 3D View 3
SCALE:



1 3D View 1
SCALE:



2 3D View 2
SCALE:



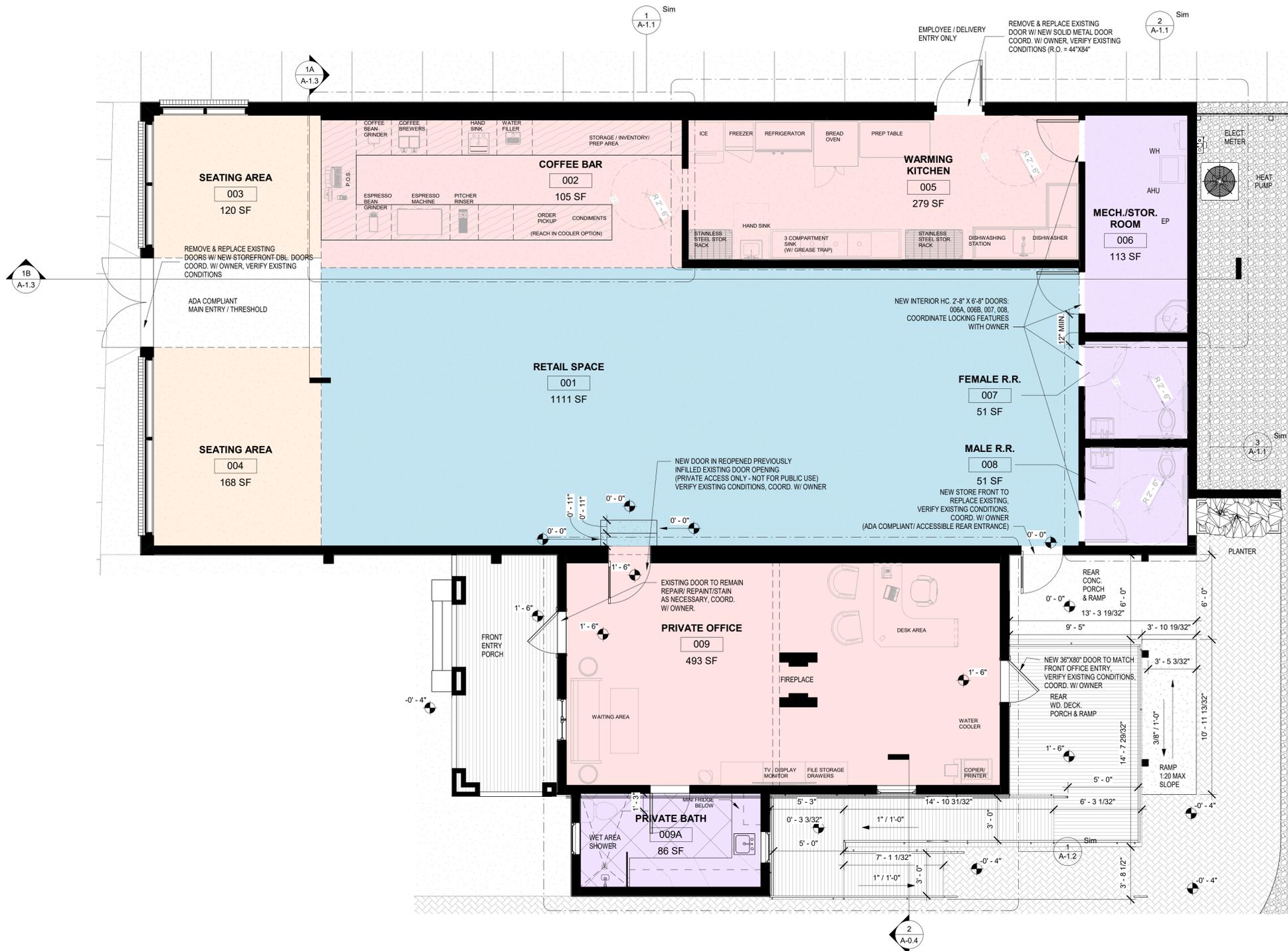
4 3D View 4
SCALE:

No.	Description	Date

PERSPECTIVE VIEWS

Date 03-30-2023
 Drawn By Author
 Checked By Checker

A-0.7



PROGRAM / OCCUPANCY KEY

- BUSINESS AREA
- RETAIL / MERCANTILE AREA
- ASSEMBLY / UNFIXED SEATING AREA
- MECHANICAL / STORAGE / ACCESSORY SPACES

No.	Description	Date

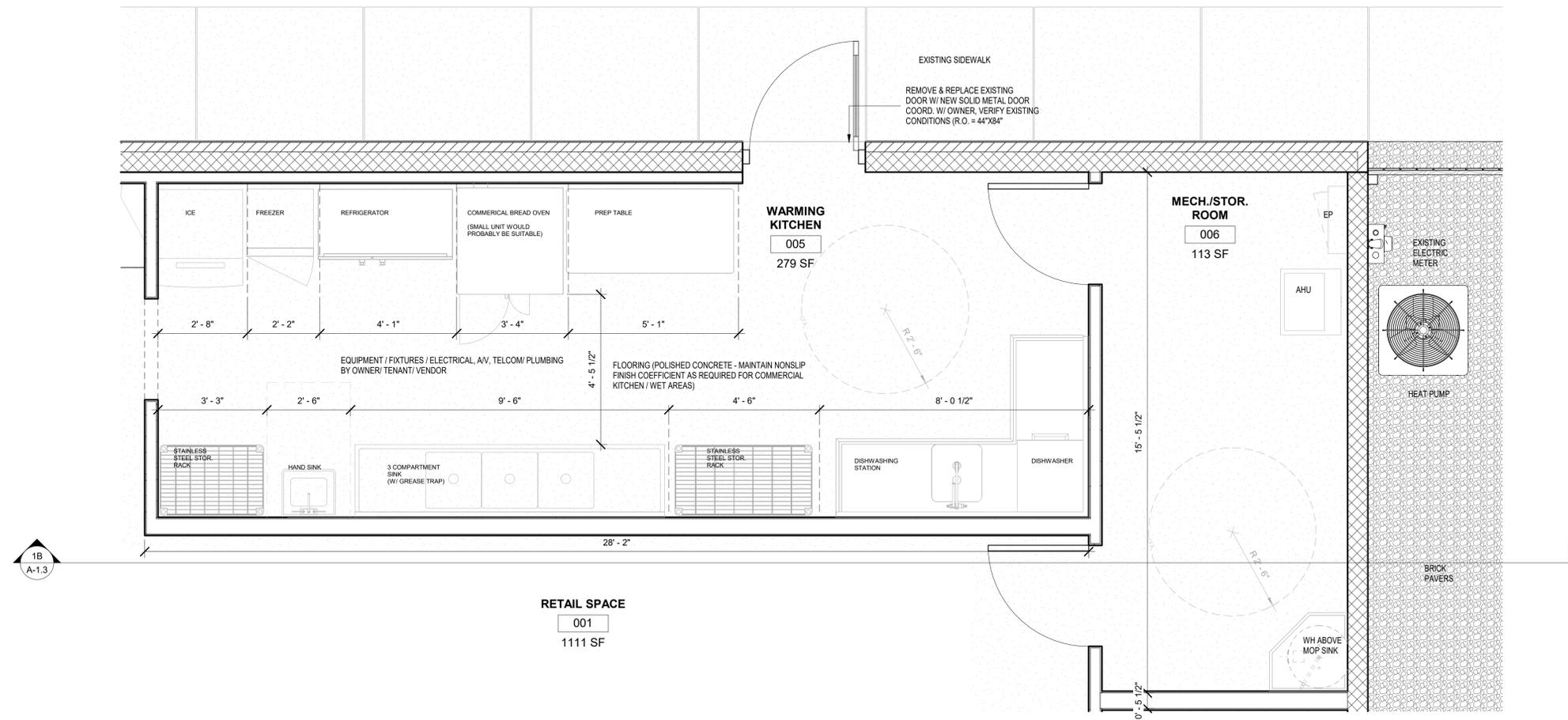
NEW WORK PLANS OVERALL

Date	03-30-2023
Drawn By	Author
Checked By	Checker

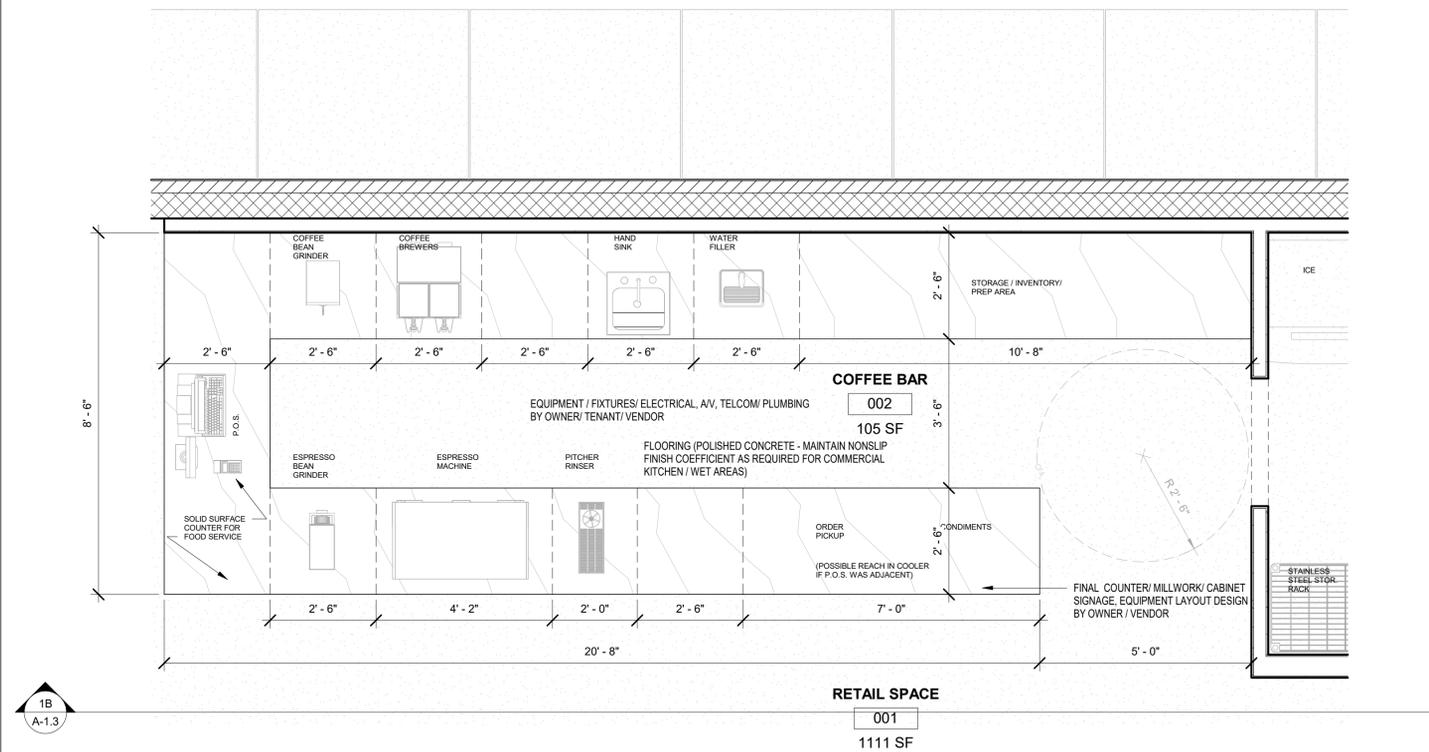
A-1.0

1 Level 1- ENLARGE NEW WORK PLAN OVERALL
SCALE: 1/4" = 1'-0"

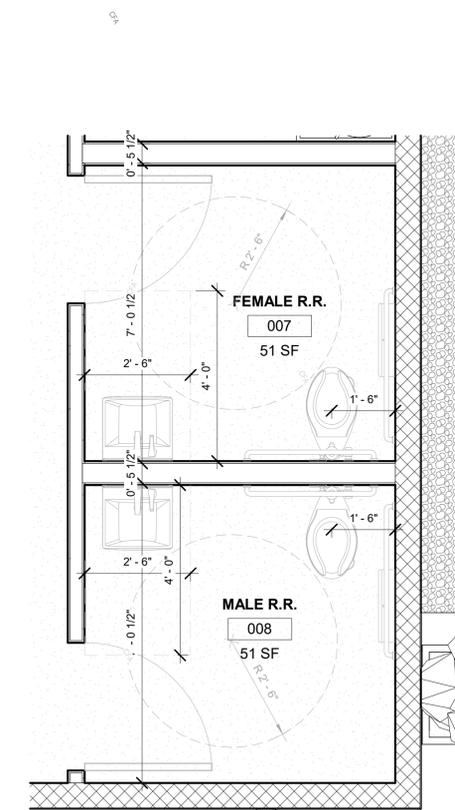
GENERAL NOTES:
FINISHES & EQUIP. SCHEDULE T.B.D.



2 Level 1- ENLARGED NEW WORK PLANS KITCHEN MECH.
SCALE: 1/2" = 1'-0"



1 Level 1- ENLARGED NEW WORK PLANS COFFEE BAR
SCALE: 1/2" = 1'-0"



3 Level 1- ENLARGED NEW WORK PLANS RESTROOM
SCALE: 1/2" = 1'-0"

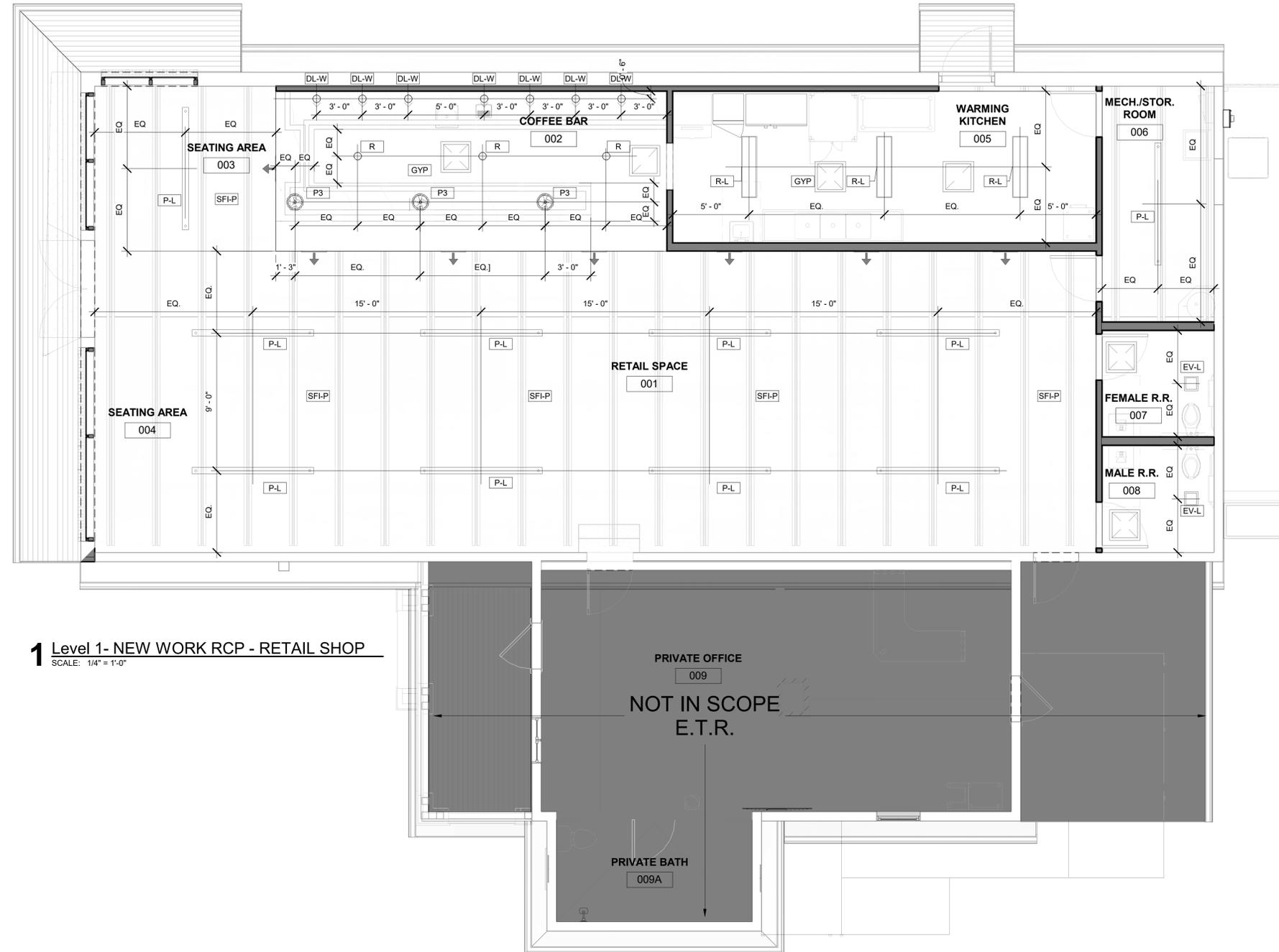
GENERAL NOTES:
FINISHES & EQUIP. SCHEDULE T.B.D.

No.	Description	Date

ENLARGED
NEW WORK
PLANS RETAIL
SPACE

Date	03-30-2023
Drawn By	Author
Checked By	Checker

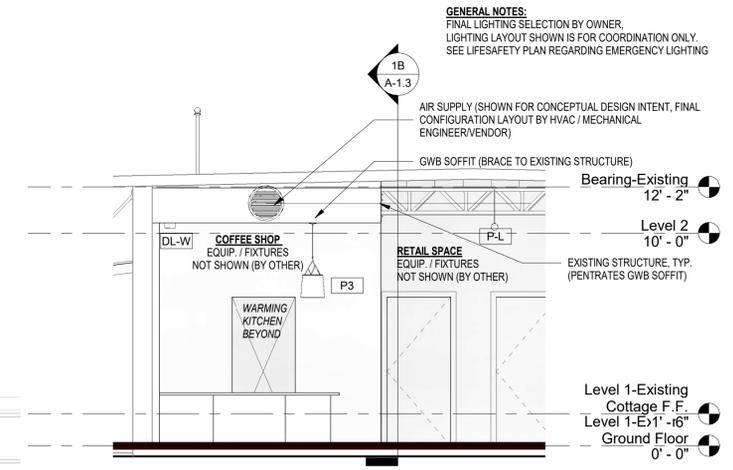
A-1.1



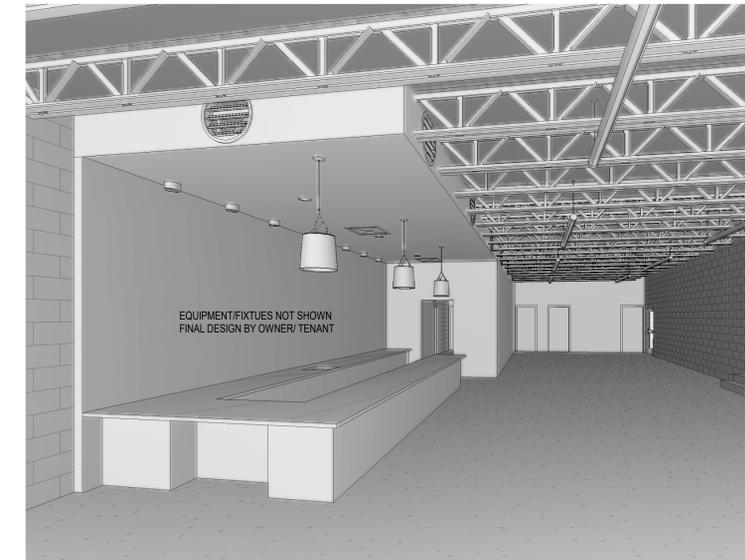
1 Level 1- NEW WORK RCP - RETAIL SHOP
SCALE: 1/4" = 1'-0"



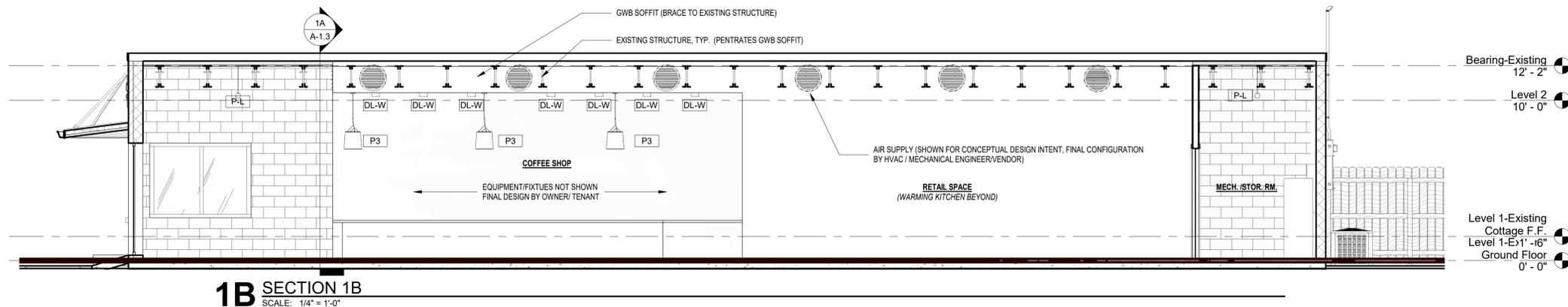
2 RCP LEGEND KEY
NOT TO SCALE



1A SECTION 1A
SCALE: 1/4" = 1'-0"



3 3D View 6
SCALE:



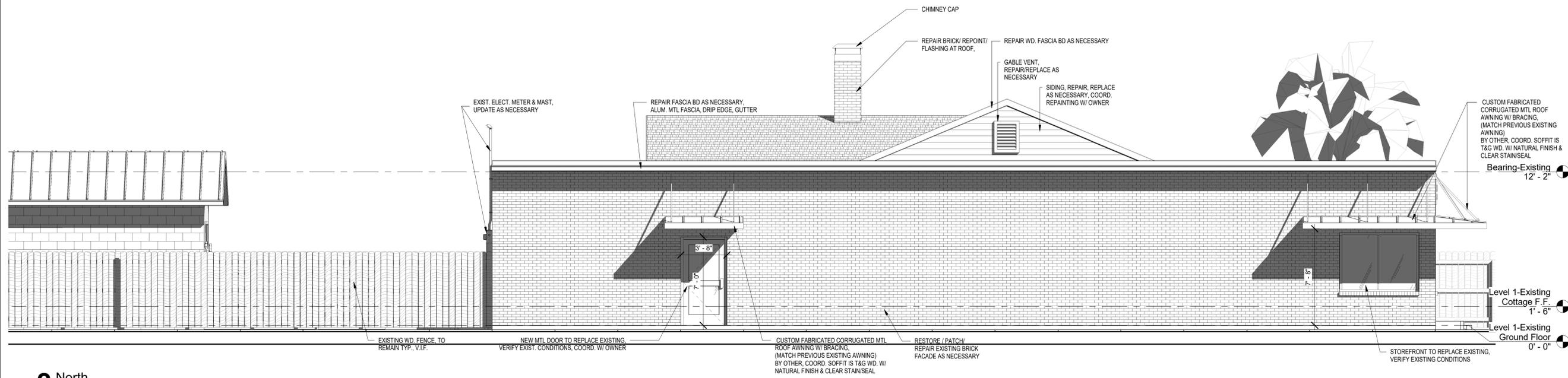
1B SECTION 1B
SCALE: 1/4" = 1'-0"

No.	Description	Date

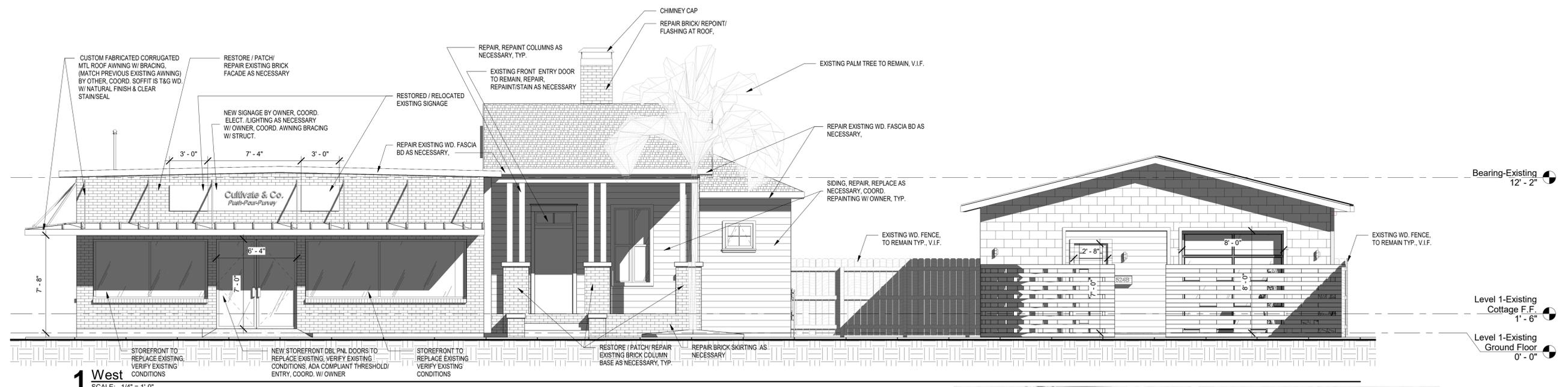
RETAIL SHOP
NEW WORK
RCP /
SECTIONS

Date 03-30-2023
Drawn By Author
Checked By Checker

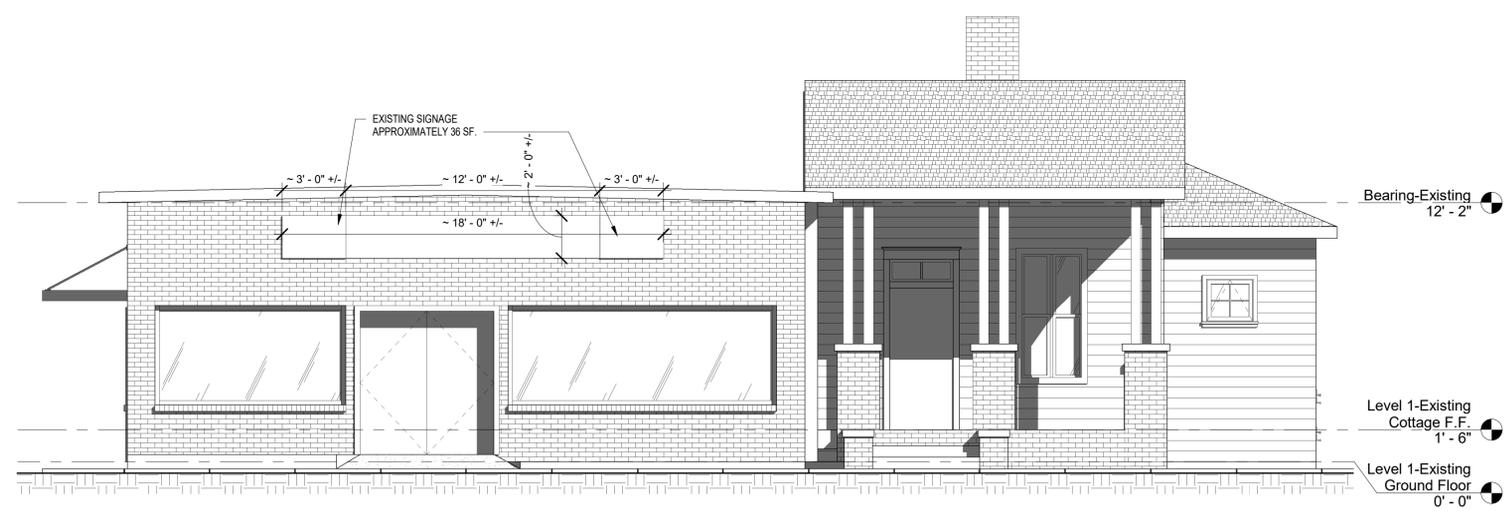
A-1.3



2 North
SCALE: 1/4" = 1'-0"



1 West
SCALE: 1/4" = 1'-0"



B EXISTING SIGNAGE ELEVATION - DIAGRAMMATIC STUDY
SCALE: 1/4" = 1'-0"



A EXISTING STORE PHOTO
NOT TO SCALE

No.	Description	Date

**ELEVATIONS
NEW WORK &
EXISTING
SIGNAGE
DIAGRAM**

Date 03-30-2023
 Drawn By Author
 Checked By Checker

A-3.0

North Elevation (Jackson St.)



East Elevation



East Elevation



South Elevation



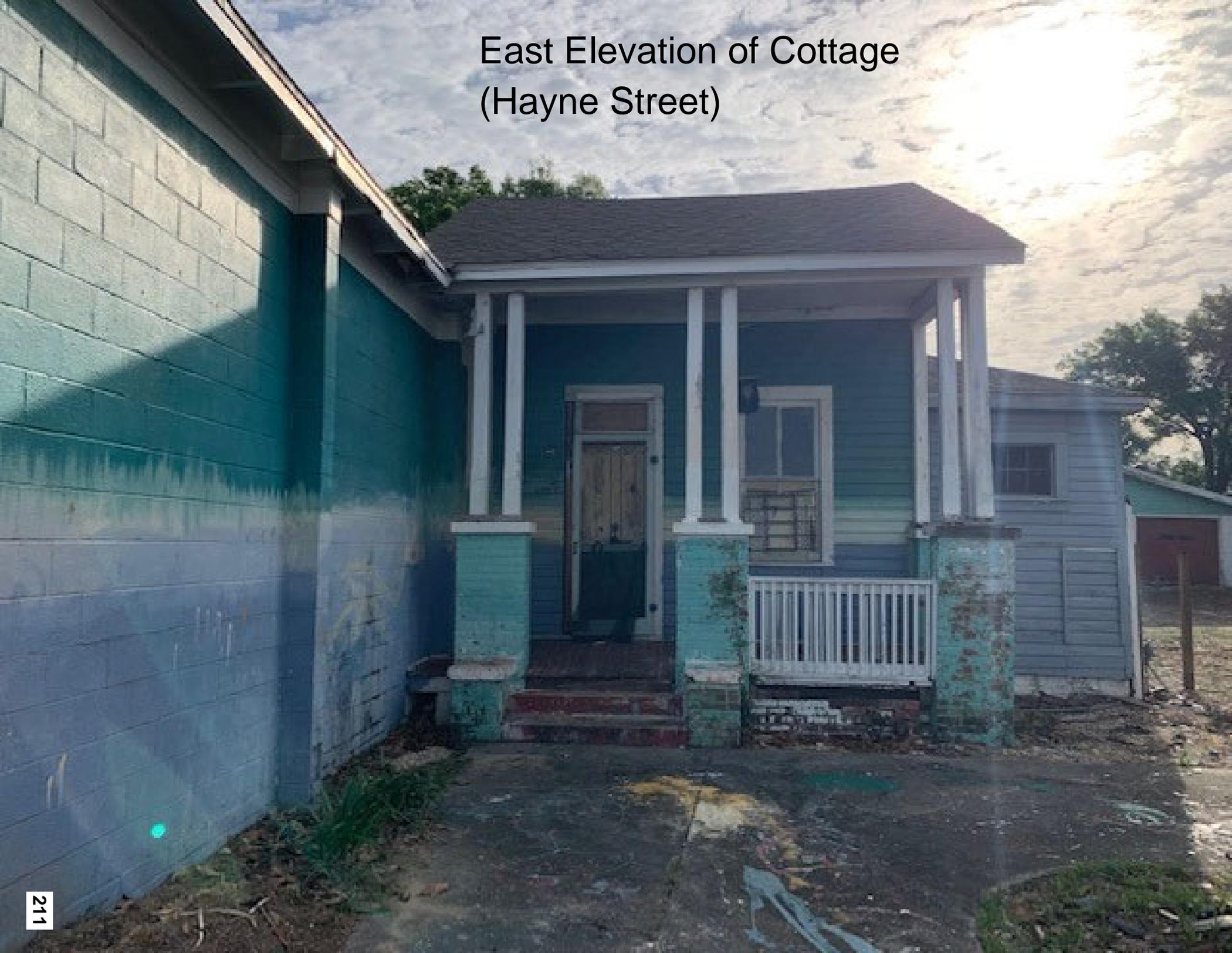
South Elevation



South Elevation Showing Both the Cottage
the CMU Building



East Elevation of Cottage
(Hayne Street)



East Elevation Showing Cottage and
CMU Building (Hayne St.)



East Elevation of Detached Garage/Proposed Rental



North Elevation of Detached
Garage / Rental





- 1a Primary Brick - Main Field Pattern**
Mfr: Sherwin Williams
Color/Style: SW 2826
 Colonial Revival Green Stone
Pattern: Existing to Remain

- 1b Secondary CMU - Main Field Pattern**
Mfr: Sherwin Williams
Color/Style: SW 2826
 Colonial Revival Green Stone
Pattern: Existing to Remain

- 1c Brick Accent - No Pattern**
Paint Mfr: Sherwin Williams
Color/Style: SW 2846
 Roycroft Bronze Green
Pattern: Existing to Remain

- 2a Roof Fascia - No Pattern**
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
 Roycroft Pewter
Pattern: N/A

- 2b Awning/ Bracing I - No Pattern**
Hardware/ Fascia
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
 Roycroft Pewter
Pattern: N/A

- 3a Columns/Trim/ Windows/Doors**
Mfr: Sherwin Williams
Color/Style: SW 7005
 Pure White
Pattern: N/A

- 4a WD. Siding - Primary Office facade**
Paint Mfr: Sherwin Williams
Color/Style: SW 2832
 Colonial Rival Gray
Pattern: N/A

- 5a Porch Wd. Deck - Main Entry**
Paint Mfr: N/A
Color/Style: Natural
 Clear Coat finish
Pattern: Linear Plank

- 6a Awning Soffit I - Main Retail Front/ Side Entry**
Porch Ceiling - Office Front/Rear Entry
Paint Mfr: N/A
Color/Style: Natural
 Clear Coat finish
Pattern: Linear Plank



CULTIVATE & COMPANY

- SUPPLEMENTAL ELEVATION INFORMATION



- 1a Primary Brick** - Main Field Pattern
Mfr: Sherwin Williams
Color/Style: SW 2826
Colonial Revival Green Stone
Pattern: Existing to Remain
- 2a Roof Fascia** - No Pattern
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
Roycroft Pewter
Pattern: N/A
- 2b Awning/ Bracing / Hardware/ Fascia**
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
Roycroft Pewter
Pattern: N/A
- 6a Awning Soffit / Porch Ceiling** - Main Retail Front/ Side Entry
Office Front/Rear Entry
Paint Mfr: N/A
Color/Style: Natural
Clear Coat finish
Pattern: Linear Plank
- 9a Existing To Remain, VIF**



- 1b Secondary CMU - Main Field Pattern**
Mfr: Sherwin Williams
Color/Style: SW 2826
Colonial Revival Green Stone
Pattern: Existing to Remain
- 2a Roof Fascia - No Pattern / Misc. Accessories**
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
Roycroft Pewter
Pattern: N/A
- 3a Columns/Trim/ Windows/Doors - No Pattern**
Mfr: Sherwin Williams
Color/Style: SW 7005
Pure White
Pattern: N/A
- 4a WD. Siding - Secondary Accent Office facade**
Paint Mfr: Sherwin Williams
Color/Style: SW 2832
Colonial Rival Gray
Pattern: N/A
- 6a Ramp / Deck - Office**
Paint Mfr: N/A
Color/Style: Natural
Clear Coat finish
Pattern: Linear Plank
- 7a Planter - Retail Rear**
Paint Mfr: N/A
Color/Style: Dark Honduran
Mahogany Stain
Pattern: N/A
- 8a Railing - Office**
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
Roycroft Pewter
Pattern: N/A



- 1b Secondary CMU - Main Field Pattern**
Mfr: Sherwin Williams
Color/Style: SW 2826
Colonial Revival Green Stone
Pattern: Existing to Remain

- 2a Roof Fascia - No Pattern**
Paint Mfr: Sherwin Williams
Color/Style: SW 2848
Roycroft Pewter
Pattern: N/A

- 3a Columns/Trim/ - No Pattern**
Windows/Doors
Mfr: Sherwin Williams
Color/Style: SW 7005
Pure White
Pattern: N/A

- 4a WD. Siding - Secondary Accent facade**
Paint Mfr: Sherwin Williams
Color/Style: SW 2832
Colonial Rival Gray
Pattern: N/A

- 6a Eave Soffit / - Detached Studio**
Paint Mfr: N/A
Color/Style: Natural
Clear Coat finish
Pattern: Linear Plank

- 7a Entry WD Door - Detached Studio**
Paint Mfr: N/A
Color/Style: Dark Honduran
Mahogany Stain
Pattern: N/A

- 8a Breeze Block- Detached Studio**
Paint Mfr: Sherwin Williams
Color/Style: SW 2832
Colonial Rival Gray
Pattern: Block openings every other row & column.

- 9a Existing To Remain, VIF**

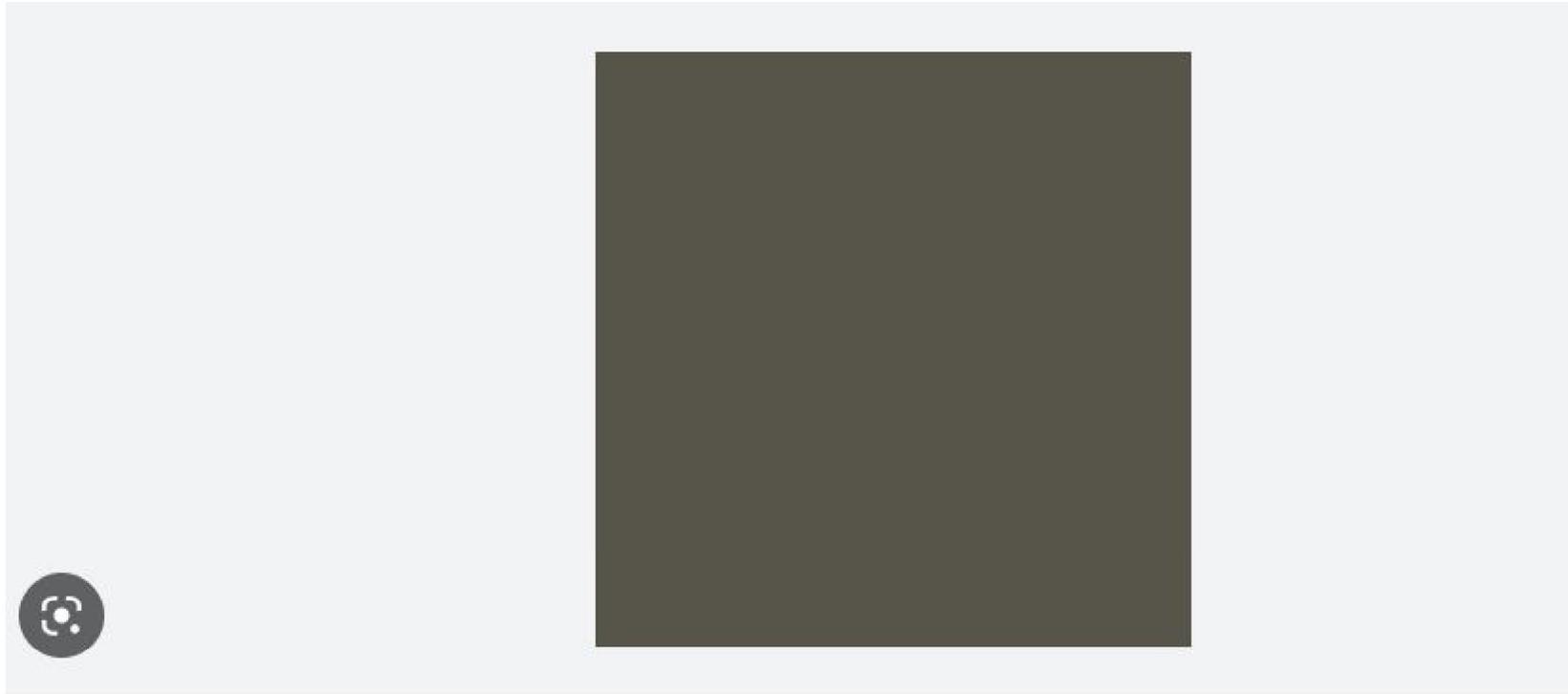
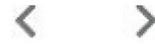
Green Stone



SW 2826 Colonial Revival Green Stone, on Designer Pages



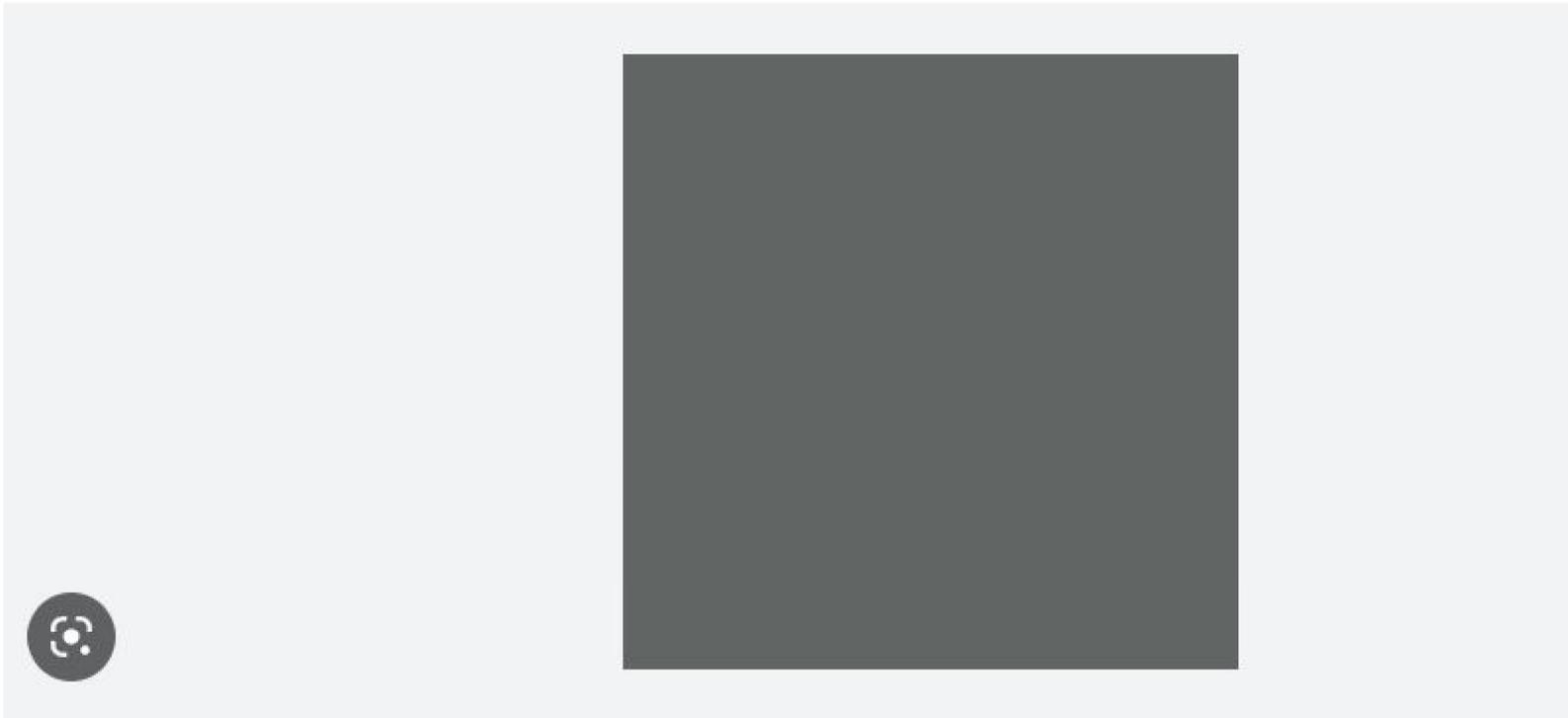
Sherwin-Williams



Roycroft Bronze Green SW 2846 - Historic Color Paint Color - Sherwin-Williams



Sherwin-Williams



Roycroft Pewter SW 2848 - Historic Color Paint Color - Sherwin-Williams

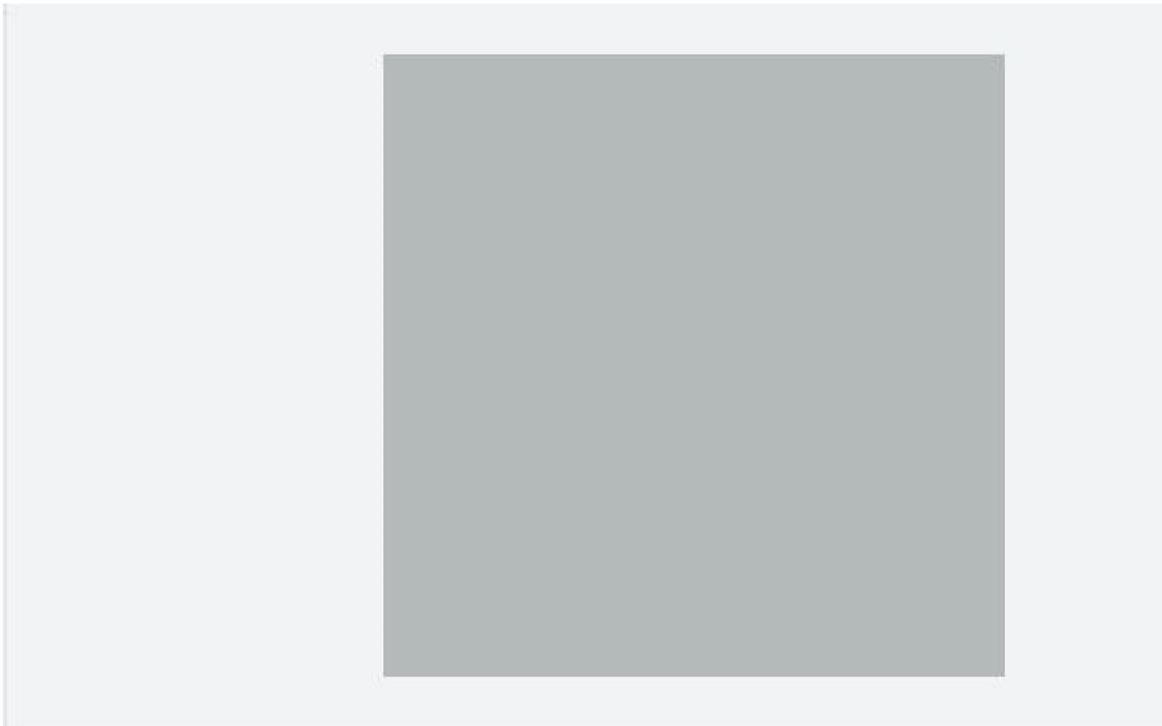


Sherwin-Williams



SW 7005
Pure White





Colonial Revival Gray SW 2832 - Historic Color Paint
Color - Sherwin-Williams

Damaged Brick
Inconsistent Brick Coursing
Not aesthetic transition from
brick to CMU

Goes from a standard running bond
to a Flemish Bond













A close-up photograph of a brick wall. The top portion of the wall features a standard running bond, where bricks are laid in horizontal rows with vertical joints offset by half a brick. The bottom portion of the wall features a Flemish bond, which is a combination of running and header bonds. The text 'Goes from a standard running bond to a Flemish bond' is overlaid in white on the middle of the image.

Goes from a standard running bond
to a Flemish bond

Storefronts Product Categories



Non-Thermal Storefronts

Our non-thermal storefronts come in a variety of system depths, sightlines and infill thicknesses. They are ideal for interior use or when thermal performance is not a driving factor.

[See all Non-Thermal Storefronts products](#) ▶



Thermal Storefronts

Oldcastle BuildingEnvelope®'s complete line of thermal storefronts offers diverse configurations and options. When thermal performance is an important design consideration,

[See all Thermal Storefront products](#) ▶

Market Solutions

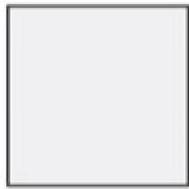


Hurricane Resistant

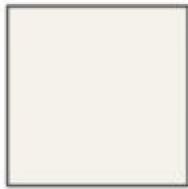
Oldcastle BuildingEnvelope® offers a full range of hurricane impact-resistant glazing and hurricane impact-resistant curtain wall, windows and storefronts.

[See all Hurricane Resistant products](#) ▶

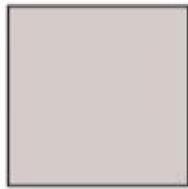
Paint: Kynar 500[®] and Baked Enamel



Bone White



Colonial White



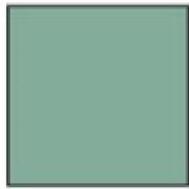
Sandstone



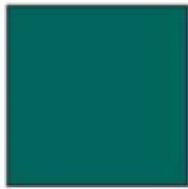
Colonial Grey



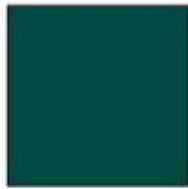
Quaker Bronze



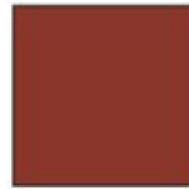
Aged Copper



Interstate Green



Hartford Green

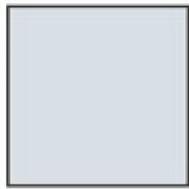


Brick Red



Black

Anodized



Clear Anodize



Light Bronze Anodize



Medium Bronze Anodize



Dark Bronze Anodize



Black Anodize

Cladding



Copper

[CONFIGURE & GET PRICE](#)["OI" Omega Series Door](#)["RI" Regent Series Door](#)[Envoy Series Door](#)

Door Construction

- 18 gauge face sheets
- Polystyrene Core
- Galvanealed face sheets
- Mechanically interlocked edge seams
- 16 gauge inverted top and bottom channels
- Top flush closure cap
- 10 gauge hinge reinforcements
- Non-handed, furnished with hinge closing plates
- 16 gauge closer reinforcement
- 1-1/2 Hour Warnock Hersey fire label
- Made in the USA

[Envoy Series Spec Sheet](#)

235



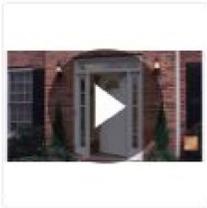
Top Rated

Krosswood Doors

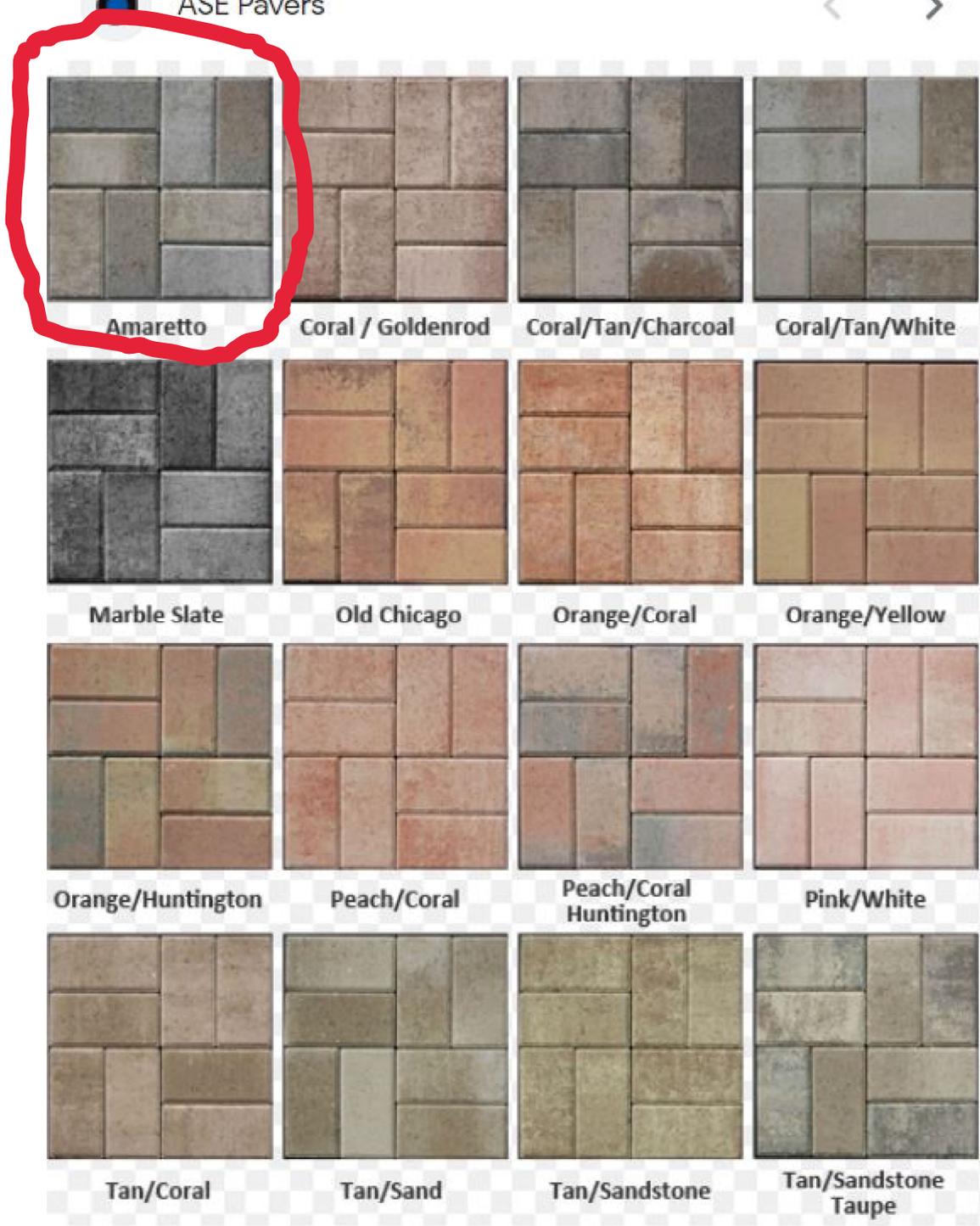
36 in. x 80 in. Krosswood Craftsman Unfinished Rustic Knotty Alder Solid Wood Single Prehung Front Door

★★★★★ (288) Questions & Answers (282)

To be painted "SW Pure White"



Hover Image to Zoom



White Cement | ASE Pavers | Brick Pavers for Driveways, Pool Decks & Patios

HandiRamp > HandiRamp® Handrails, Railings, and ADA Compliant Handrail Systems

To be painted (SW Roycroft Pewter)

HandiRamp® Handrails, Railings, and ADA Compliant Handrail Systems

Need to make your ramp ADA compliant? We can help.

HandiRamp's Handrail & Railing Systems are manufactured from either steel or high-strength aluminum and meet both ADA handrail requirements and OSHA standards. Maintenance-free, these railings are the perfect safety solution for stairways, handicap ramps, walkways, platforms, bridges, and machine barriers. Our handrail systems are manufactured in-house by our expert craftsmen and offer many customized size and strength options.

Our ramp specialists recommend handrails on all ramp systems with rises of 6 inches or more. HandiRamp handrails and railings can be sold on a stand-alone basis or as an additional component on any of our ramp systems.



Easy Installation

Sold separately or purchased in conjunction with our ramp systems, handrails are easy to install and remove. Handrails can mount onto our ramps by bolting directly onto the system or by sliding into receiver tubes which are welded onto the ramp system. Secured by bolts (standard) or quick-release pins, these handicap rails are also available without the purchase of a ramp system where they can be designed to meet a specific mounting requirement or can be bolted to a cement pad using a mounting flange. Don't have the time to install the handrail system on your own? Ask our product specialists about our installation services when you call!

Order Your Handrail System Now

Call our ramp experts at (800) 876-7267 if you have any questions about our railing systems, or if you'd like to request a quote. Our staff are experts when it comes to both residential and commercial ramp applications and will be able to answer any questions you may have. They will also be able to assist you with collecting the proper measurements you will need for your ramp and/or handrails if you have not already done so.

METAL CANOPIES

Metal Canopies are fabricated from aluminum or steel and serve both functional and decorative purposes. We custom design and fabricate our products to meet and exceed our client's specifications and expectations. A variety of colors and finishes including durable powder coated finishes are available. Metal Canopy designs can incorporate the use of glass or polycarbonates, extruded aluminum pans, plate aluminum and roll formed standing seam styles. Gutter systems are built into the design to direct the flow of rainwater. Metal canopies and awnings are a great solution for retail storefronts, entryways and protective walkways. They are also used as decorative sun and rain protection over windows and doors and in parking and loading areas. Residential applications include porch or patio covers, walkways, entries and carports.

Our detailed metal canopy and awning designs are engineered and built to meet or exceed wind load requirements, seismic and snow load, depending on the location of the project. We offer options that

Hanger Rod Canopies

Aluminum metal canopies are commonly supported by rods attached back to the building designed with a formed metal sheets, louvered slats, or a combination of both styles. Hanger Rod Canopies are typically mounted to flat wall surfaces; however, may be fabricated to wrap around building perimeters, or attached to recessed entryways.

Standing Seam Metal Roof Awnings

Enhance any structure. Standing Seam metal roof awnings have a durable finish which will allow for many years of low maintenance performance. Standing Seam Metal Awnings utilize standard awning frames made of aluminum tubing. Each frame is covered with standing seam metal panels that come in variety of widths, gauges and colors and finishes including powder coated, kynar, Hylar, or Galvalume.



TO COME IN WHITE (STANDARD)

Ure-A-Sil[®]

ROOF RESTORATION SYSTEM



THE ULTIMATE FLAT ROOF RESTORATION SOLUTION

www.americanweatherstar.com



Ure-A-Sil®

ROOF RESTORATION SYSTEM

THE URE-A-SIL ADVANTAGE

The Ure-A-Sil System, exclusively from American WeatherStar, is the ultimate commercial flat roof restoration solution. It combines the superior durability and adhesion qualities of urethane coating with the unsurpassed waterproofing and UV performance of silicone coating.

The Ure-A-Sil System is specifically designed to restore and protect a variety of commercial roofing materials from the damaging effects of the wind, rain, and sun exposure. It also helps combat the effects of northern climate conditions, including damage caused by freeze-thaw cycles.

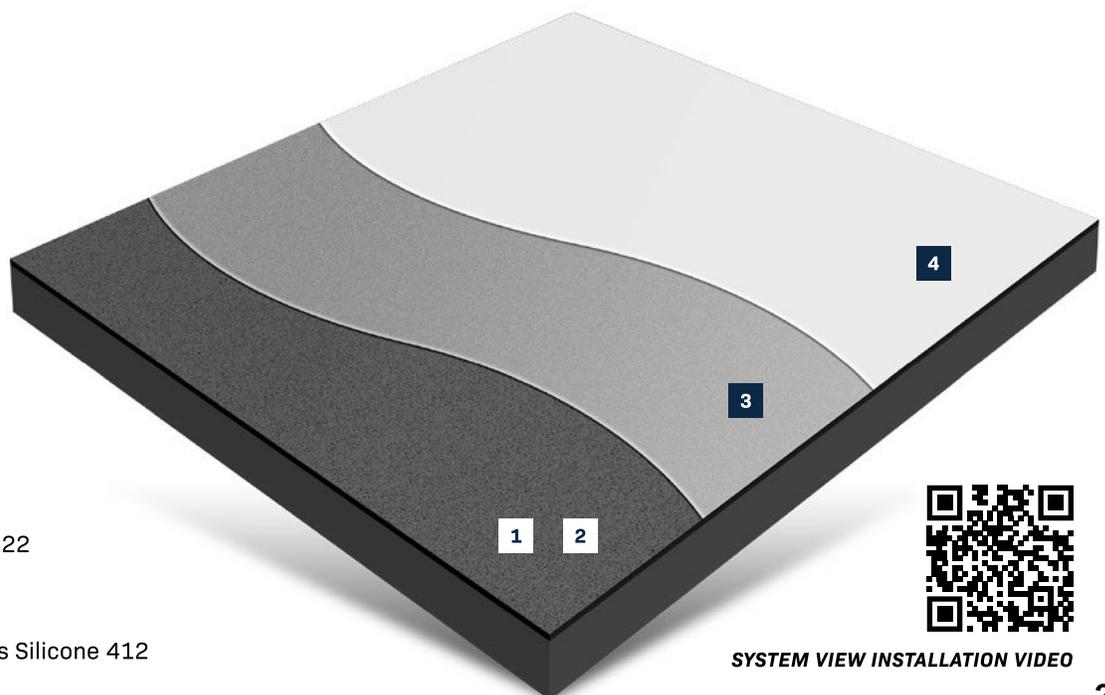
Ure-A-Sil provides a highly reflective and watertight membrane ideal for coating entire roofs, making spot repairs, or adding supplemental protection to flashing.

SUITABLE SUBSTRATES

- Spray Polyurethane Foam
- Modified Bitumen
- Built-Up Roofs
- Single-Ply (TPO, PVC)
- EPDM
- Concrete

FEATURES & BENEFITS

- Half the cost of conventional roof replacement
- Stops leaks and improves existing roof performance
- Increases the lifespan of commercial flat roofs
- Improves energy efficiency
- Significantly reduces maintenance costs
- Highly resistant to ponding water
- Industry leading durability, reflectivity, and UV stability
- Cures to form a seamless and watertight membrane
- Excellent adhesion to a variety of flat roof substrates
- Minimal disruption to business
- Long-term NDNL (no dollar limit) warranties available



SYSTEM VIEW INSTALLATION VIDEO

- 1 Existing roof substrate
- 2 Urethane Brush-Grade 522
- 3 Aromatic Urethane 520
- 4 Silicone 410/High-Solids Silicone 412



152°F SURFACE TEMPERATURE **96°F**

Minimizing the sun’s impact on your roof is key to its longevity. The majority of commercial flat roofing materials are not adequately designed to prevent the flow of heat from constant UV exposure. The Ure-A-Sil roof restoration system is proven to mitigate the damaging effects of the sun on flat roof surfaces and effectively reduce interior cooling costs by up to 30%.

APPLICATION PROCESS

SURFACE PREPARATION: To ensure maximum adhesion, the roof is pressure washed to remove all dirt, dust, debris, and any other foreign contaminants.



WATERPROOFING DETAILS: All seams, transitions, penetrations, drains, and other flashing details are waterproofed with Urethane Brush-Grade 522.



BASE COAT: A base coat application of Aromatic Urethane 520 provides the system with a durable, flexible, and fully-adhered foundation membrane.



TOP COAT: A top coat application of Silicone 410 or High-Solids Silicone 412 forms a seamless, rubber-like membrane that provides unsurpassed UV protection, reflectivity, and resistance to ponding water.

THE AMERICAN WEATHERSTAR DIFFERENCE

Founded in 2004, American WeatherStar is an established leader in the commercial roofing industry. We manufacture high-quality, sustainable, and energy-efficient roof restoration solutions for a variety of commercial and industrial applications.

With over 500 million square feet of commercial roofing warrantied throughout the United States, our fluid-applied roof restoration systems are proven to perform under the most extreme conditions and deliver long-lasting waterproofing protection.

The solutions we provide are specially formulated to stop leaks, reduce energy costs, and prolong service life. The quality control measures of our product manufacturing process go above and beyond industry standards to ensure our materials outperform expectations.

We work closely with our Approved Contractors on every project to ensure quality workmanship and customer satisfaction. For added protection and peace of mind, we offer long-term NDL (no dollar limit) labor and material warranty plans for eligible systems.

STARGARD™ WARRANTY PROGRAM

Protect your investment with the StarGard Warranty Program. We offer a variety of long-term NDL (no dollar limit) warranty options for qualified systems when installed by an American WeatherStar Approved Contractor.

- 12-YEAR**
- 15-YEAR**
- 20-YEAR**



PROTECT YOUR INVESTMENT

With American WeatherStar's StarGard Warranty Program, commercial building owners can expect long-term protection and peace of mind. We provide a variety of long-term warranty alternatives when qualified systems are installed by an American WeatherStar Approved Contractor.



StarGard Warranty Program	GOOD	BETTER	BEST
	ROOF COATING MATERIAL	NDL SYSTEM	NDL SYSTEM ELITE
What's covered?	Material defects	Leaks caused by material defects & workmanship errors	Leaks caused by material defects & workmanship errors
Warranty fee?	No	Yes	Yes
Covers entire system?	Yes	Yes	Yes
No dollar limit for covered repairs?	Yes (material only)	Yes	Yes
Max term length?	20 years (material only)	Up to 15 years (depending on system)	20 years (labor & material)
Includes cost of material to correct problem?	Yes	Yes	Yes
Includes cost of labor to correct problem?	No	Yes	Yes
Requires annual inspection?	No	No	Yes
Recommended annual inspection?	Yes	Yes	Yes
Recommended semi-annual maintenance?	Yes	Yes	Yes
Requires document maintenance?	No	No	Yes
Who can offer warranty?	American WeatherStar Approved Contractor	American WeatherStar Approved Contractor	American WeatherStar Approved Contractor
StarGard+ Warranty Enhancements			
Is the warranty extendable?	Yes	Yes	No
Is the warranty renewable?	Yes	Yes	Yes
Is the warranty transferable?	Yes	Yes	Yes
*ALWAYS REVIEW WARRANTIES FOR COMPLETE COVERAGE AND RESTRICTIONS.			

THE LEADER IN FLUID-APPLIED ROOF RESTORATION
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★★★★★ 4.8 (16778) [WRITE A REVIEW](#)

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[IN YOUR AREA](#)

Color/Finish: **Birchwood**



Harvest Blend Color/Finish:



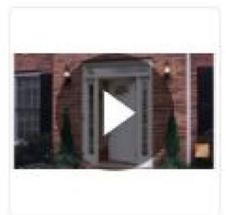
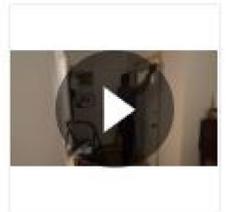
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Pacific Entries

36 in. x 80 in. Contemporary 5 Lite Mist Lite Stained Mahogany Wood Prehung Front Door

★★★★★ (24) [Questions & Answers \(37\)](#)



Hover Image to Zoom

Modern Glass Garage Doors

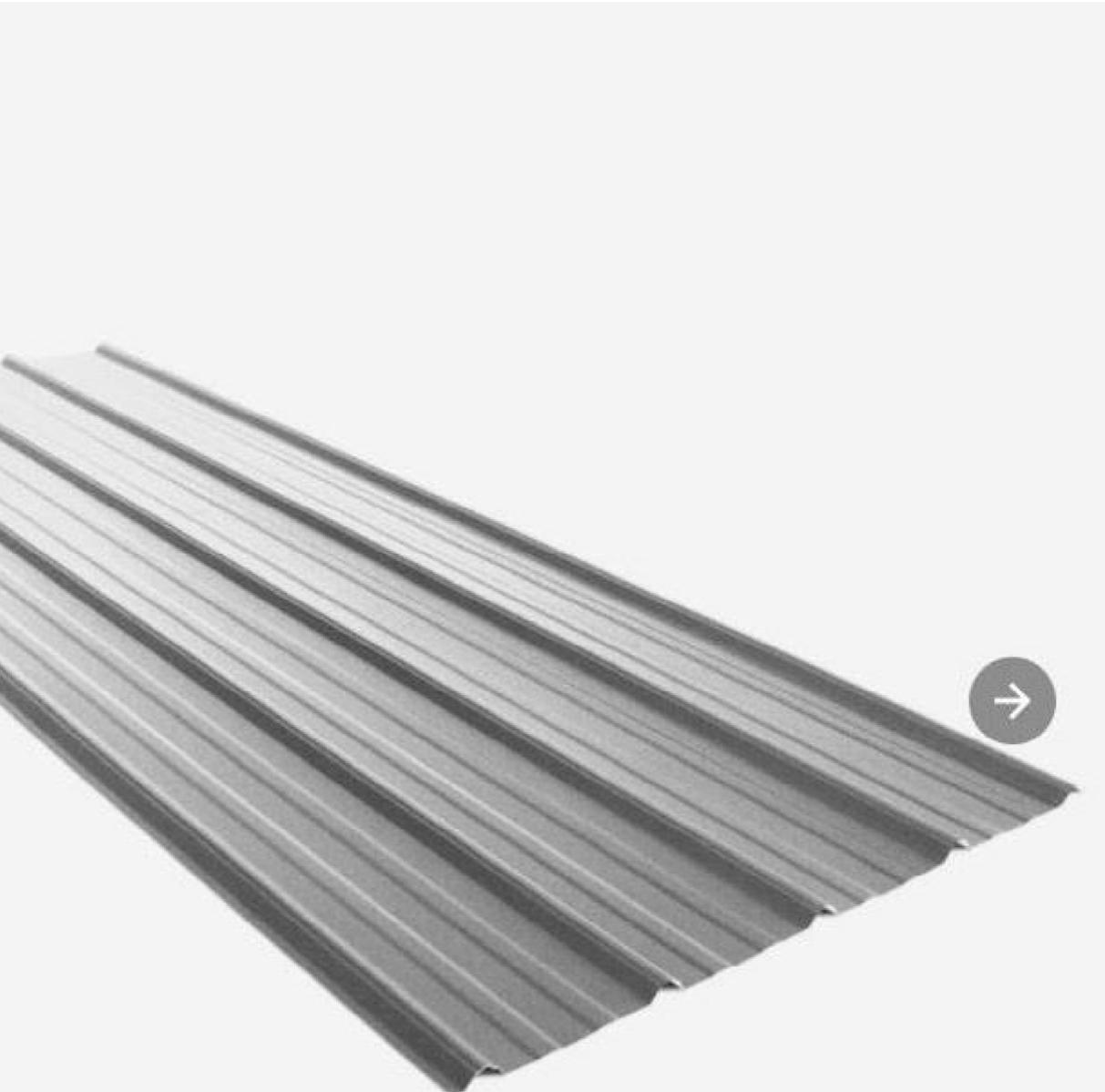
Model 8850



HAMPTON 20X40 RECT. DARK GREY PORCELAIN PAVER GRIP FINISH (1 BOX/1 PIECE/5.38SQFT)(1 PALLET/42 BOXES/225.96 SQFT)

★★★★★ Questions & Answers (5)





- 29 Gauge MasterRib Galvalume roof panel
- Extra wide ribs 3/4-In high for increased strength
- Panel has a 36-In wide coverage

Manufacturer Color/Finish: Silver



*This is the proposed R-Panel for the awnings. These awnings will be at a 7'-8" height with a 2 on 12 slope to match the historic photographs of this same building. The R-Panel also matches the profile of the awning roof in the historic photos. At this height, right on the street, and at that slope the r-panel will hardly be visible.

KICHLER

Kichler Cylinder 2 Light 12" Tall Outdoor Wall

Model:9244BK

★★★★★ 81 Reviews

\$114.95

Finish: Black - 2608 In Stock



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- 1 +

Add to Cart

Key Specifications

- Extension: 7 in.
- Width: 4.75 in.
- Height: 12 in.
- Location Rating: Dry Location, Damp Locat

See More Details





Two to install on top of awning, hidden from site.

Black (Standard)



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