

TRANSMITTAL

To: City of Pensacola Planning Services

Re: 226 Government Street ARB Submittal for September 17th 2020

Date: August 13, 2020

Please find attached the drawings for the September 17th ARB 2020 Meeting. Please assimilate in the following order for the presentation:

Application

Signed Application

Aerial Photo

Photos of the house

Final Materials Board

AS1 Siteplan

AS2 Siteplan diagram

D1 Existing plans

A1-1 New Plans First Floor

A1-2 New Plans Second Floor

A2-1 South Elevation

A2-2 East Elevation

A2-3 North Elevation

A2-4 West Elevation

Exhibit A

Exhibit B

Final PDF's were sent to Gregg Harding and Leslie Statler . Hard copies to follow.

Please call if you have any questions. Please email me at christy931@mchsi.com upon receipt of this check.

Respectfully:

Christy Cabassa, Architect



Architectural Review Board Application
Full Board Review

Application Date: August 2020

Project Address: 226 East Government Street CONCEPTUAL REVEIW ONLY

Applicant: Robert B. Switzer

Applicant's Address: 92 Highpointe Drive Gulf Breeze, Florida 32561

Email: bobby.switzer@gmail.com Phone: 850-712-8844

Property Owner: Robert B. and Janie A. Switzer Jeremy T. and Alise J. Switzer

District: PHD NHPD OEHPD PHBD GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

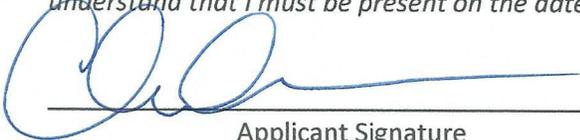
* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

Request for final approval the renovation and addition to the existing house at 226 Government.

The design has been approved at the July 2020 ARB meeting for conceptual approval.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

August 13, 2020

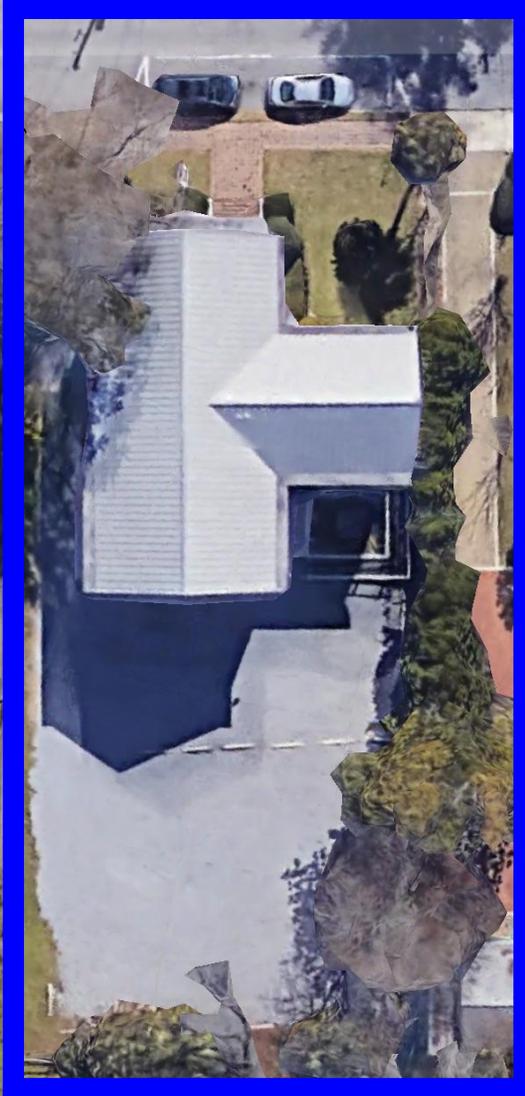
Date

AMSTY CAPREST FOR BOBBY SWITZER
Planning Services

222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

226 East Government

Government St





226 Government Existing Front Elevation



226 Government Existing Rear Elevation



226 Government Existing Elevation Looking at East Side



226 Government Existing Elevation Looking towards West Side



226 Government Elevation Looking towards Westside showing vegetation

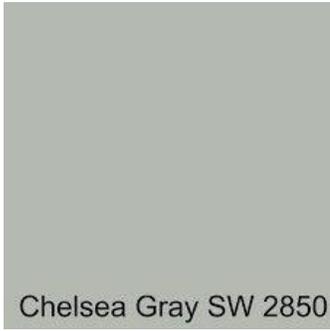


226 Government Existing Window and Trim Condition

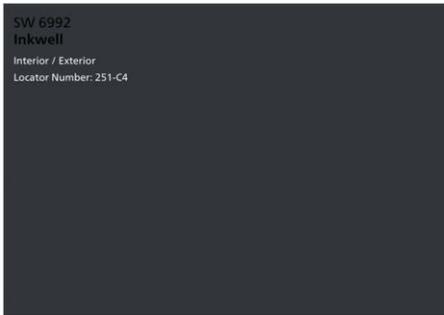


226 Government Existing Window and Trim Condition

Switzer ARB Materials Collage Info-226 Government



House Body Paint Color Sherwin Williams Chelsea Gray



Front Door Paint Color Sherwin Williams Inkwell



Trim Paint color Sherwin Williams pure White



SW6505 Atmospheric



Porch Ceilings Sherwin Williams Atmospheric



Kolbe Metal Clad windows in White with Mullions



Kolbe Ultra Pure White



Bevelo Governor's Light Fixture



Old Texas Brick-Taylor Brick Color: Old Bayou with light gray mortar



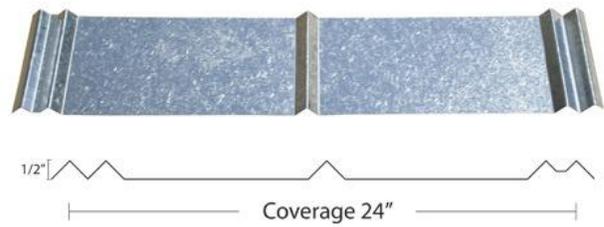
Existing Sidewalk to remain



Aeratis Traditions Proposed for Porch Decking-Painted Darker Gray



Tremron 4x8 Antique Pavers at new driveway tumbled to match existing Pavers at sidewalk



Galvanized Metal roof to match existing roof



Front Doors to be refurbished or replicated with Impact Glass-color is Inkwel



Railing to remain or to replicated as best as possible to bring up to code



Corbels to remain and be refurbished or replicated



Porch Brackets and Column to be replicated and refurbished



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Switzer Family Home
Renovations & Addition

226 Government
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

Final ARB Review Submittal
For September ARB Meeting
City of Pensacola

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Site Plan

SHEET NO. :

AS-1

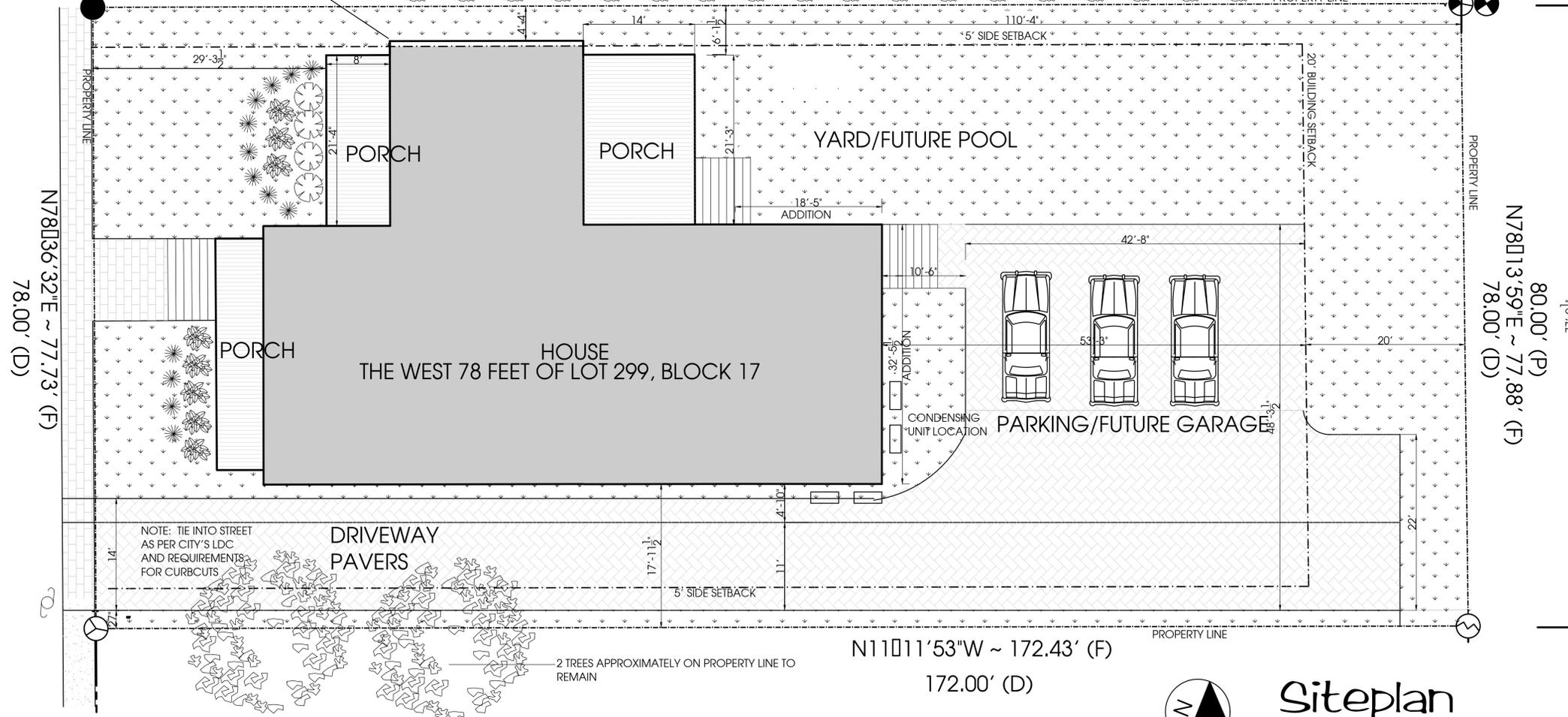
KEENE LAW APPROXIMATE
LOCATION

KEENE LAW
OUTBUILDING
APPROXIMATE

NOTE:
EXISTING ENCROACHMENT FROM
WHEN BUILDING WAS PLACED ON THE
SITE IN THE SEVENTIES

EXISTING HEDGE ON NEIGHBORS PROPERTY

N11°15'00"W ~ 171.92' (F)
N11°15'00"W ~ 172.00' (D)



GOVERNMENT STREET
(60' PUBLIC R/W)

BAKER LAW FIRM
APPROXIMATE LOCATION

NOTE: LANDSCAPE PLAN SHALL BE SUBMITTED BY LANDSCAPER FOR AN ABBREVIATED REVIEW.

Siteplan
Scale 1/8"=1'-0"



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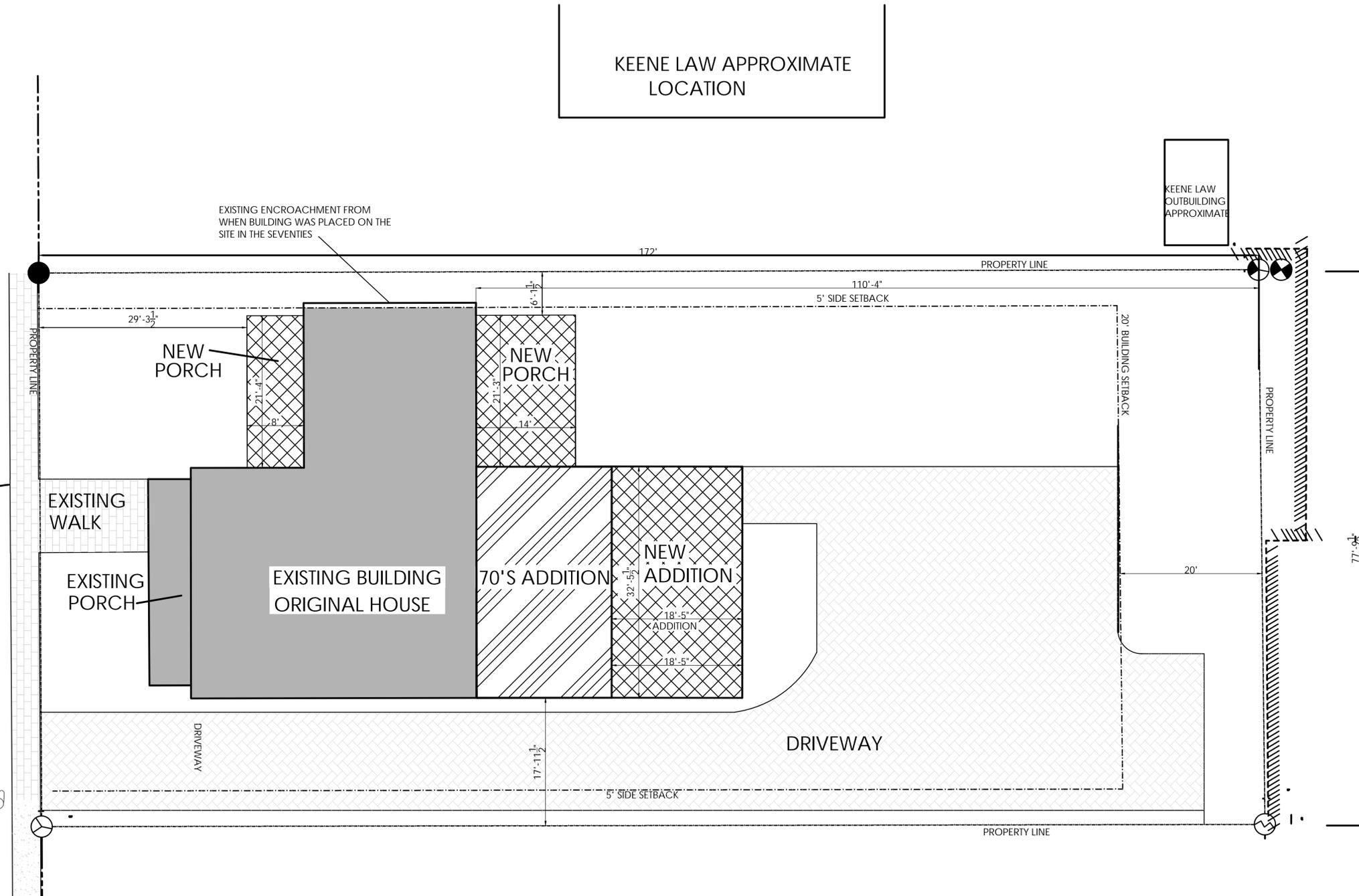
SHEET TITLE :

Site Plan

SHEET NO. :

AS-2

GOVERNMENT STREET
(60' PUBLIC R/W)



BAKER LAW FIRM
APPROXIMATE LOCATION

KEENE LAW APPROXIMATE
LOCATION

KEENE LAW
OUTBUILDING
APPROXIMATE

Siteplan Diagram

Scale 1/8"=1'-0"

LEGEND

-  EXISTING STRUCTURE
-  NEW ADDITION
-  70'S ADDITION
-  FUTURE GARAGE AND BREEZEWAY
-  EXISTING WALK
-  POOL AND DECK AREA
-  NEW DRIVEWAY



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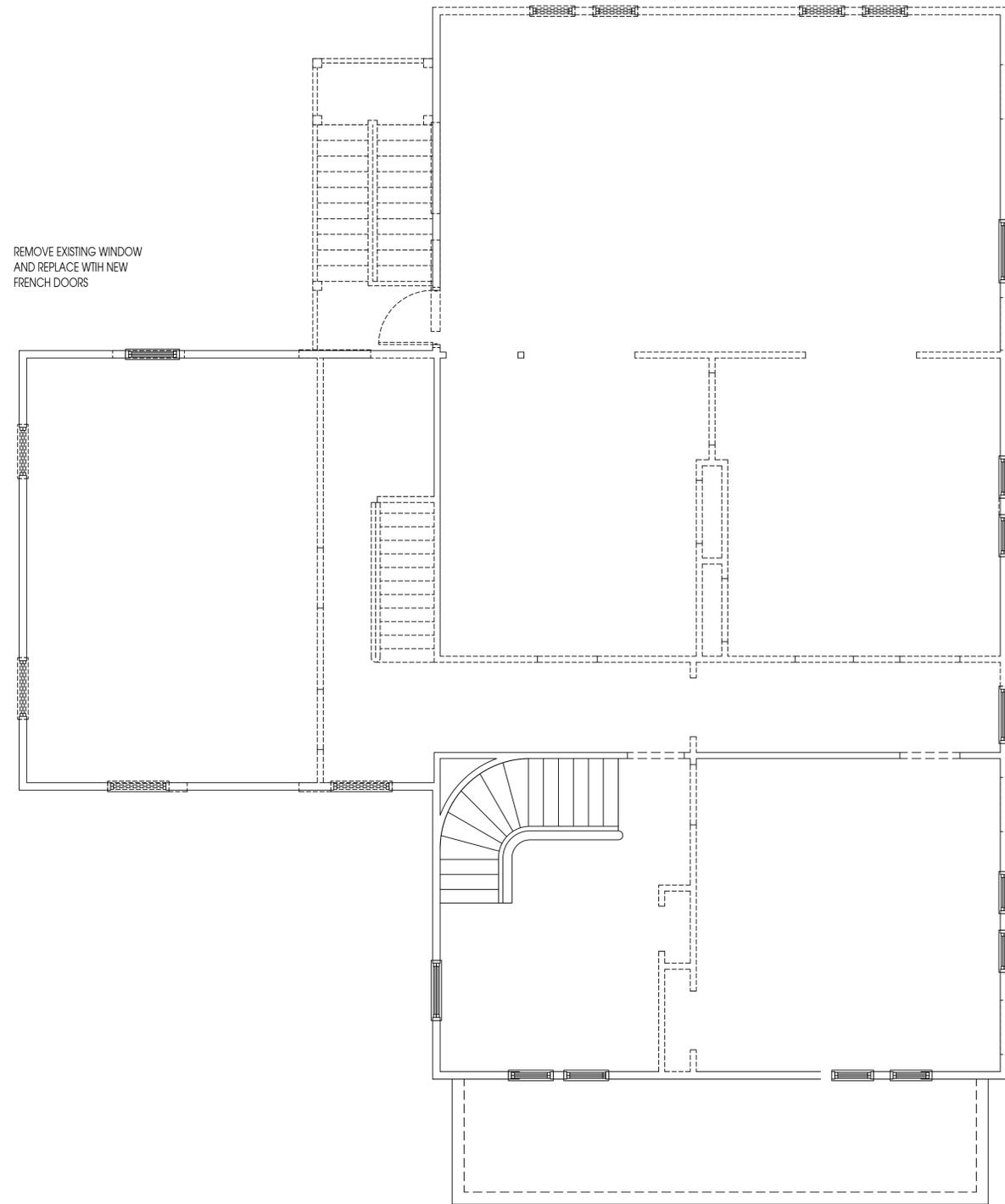
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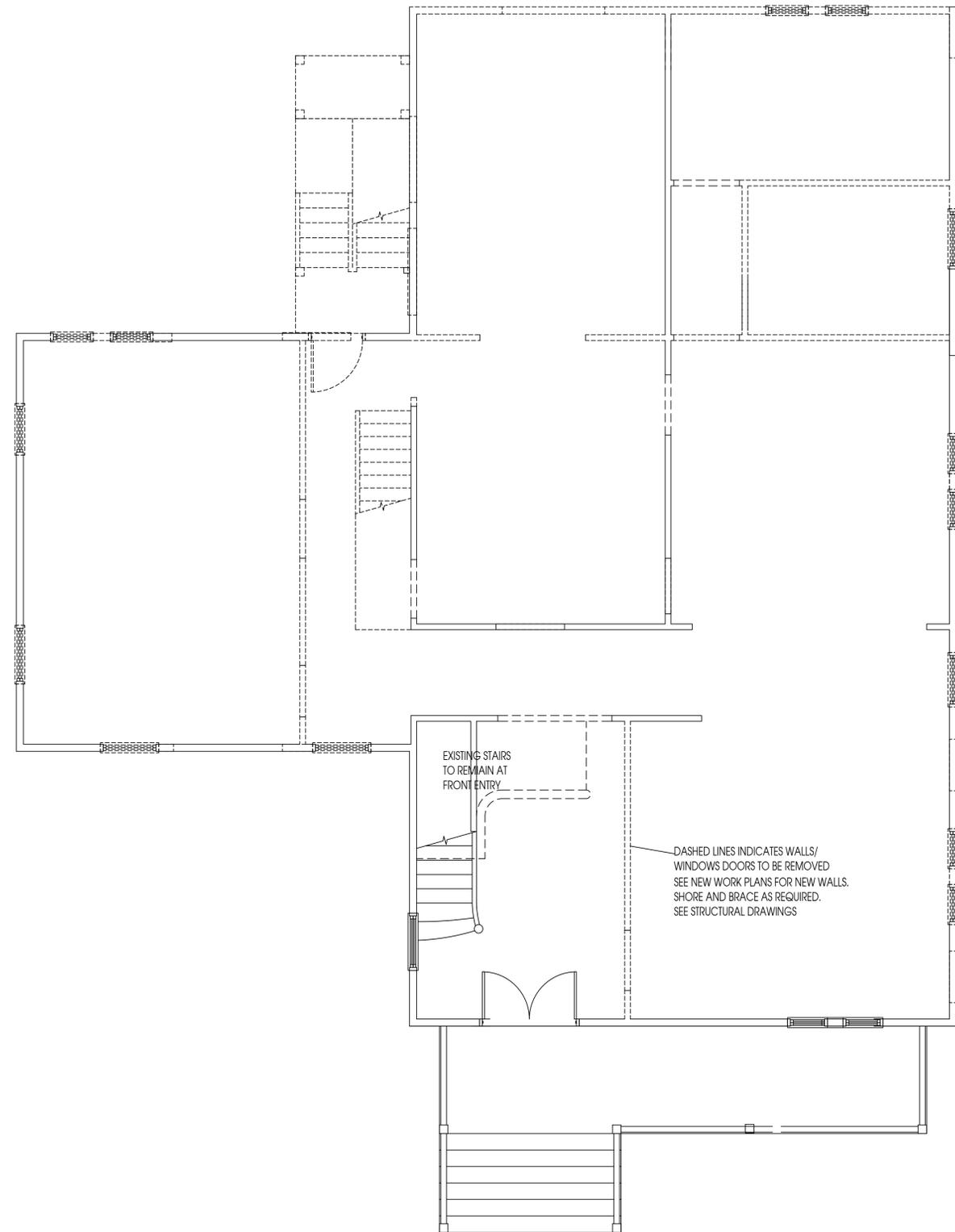
Existing
DemoPlans

SHEET NO. :

D1-1



Existing Second Level
Scale: 1/4"=1'-0"



Existing Ground Level
Scale: 1/4"=1'-0"



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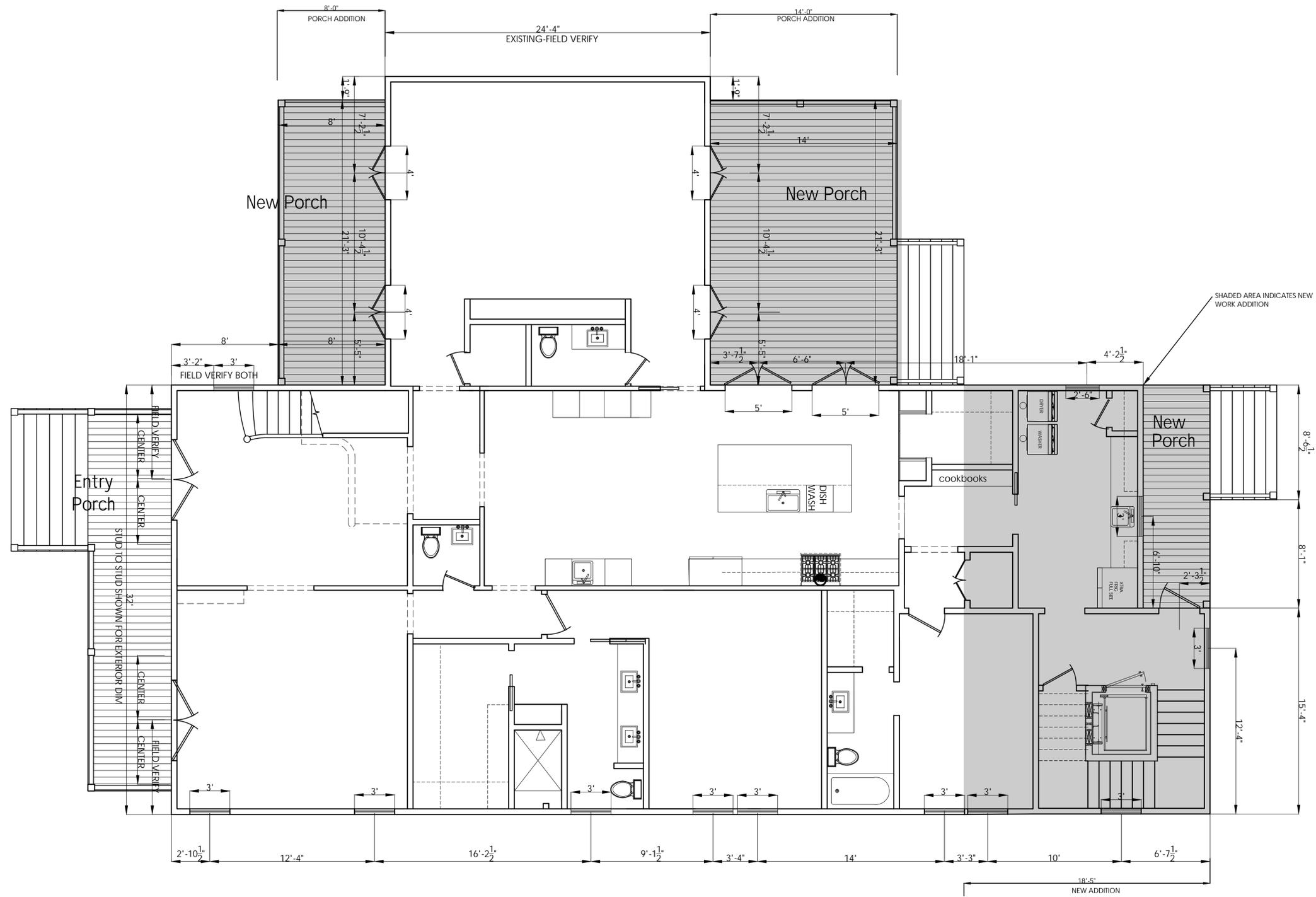
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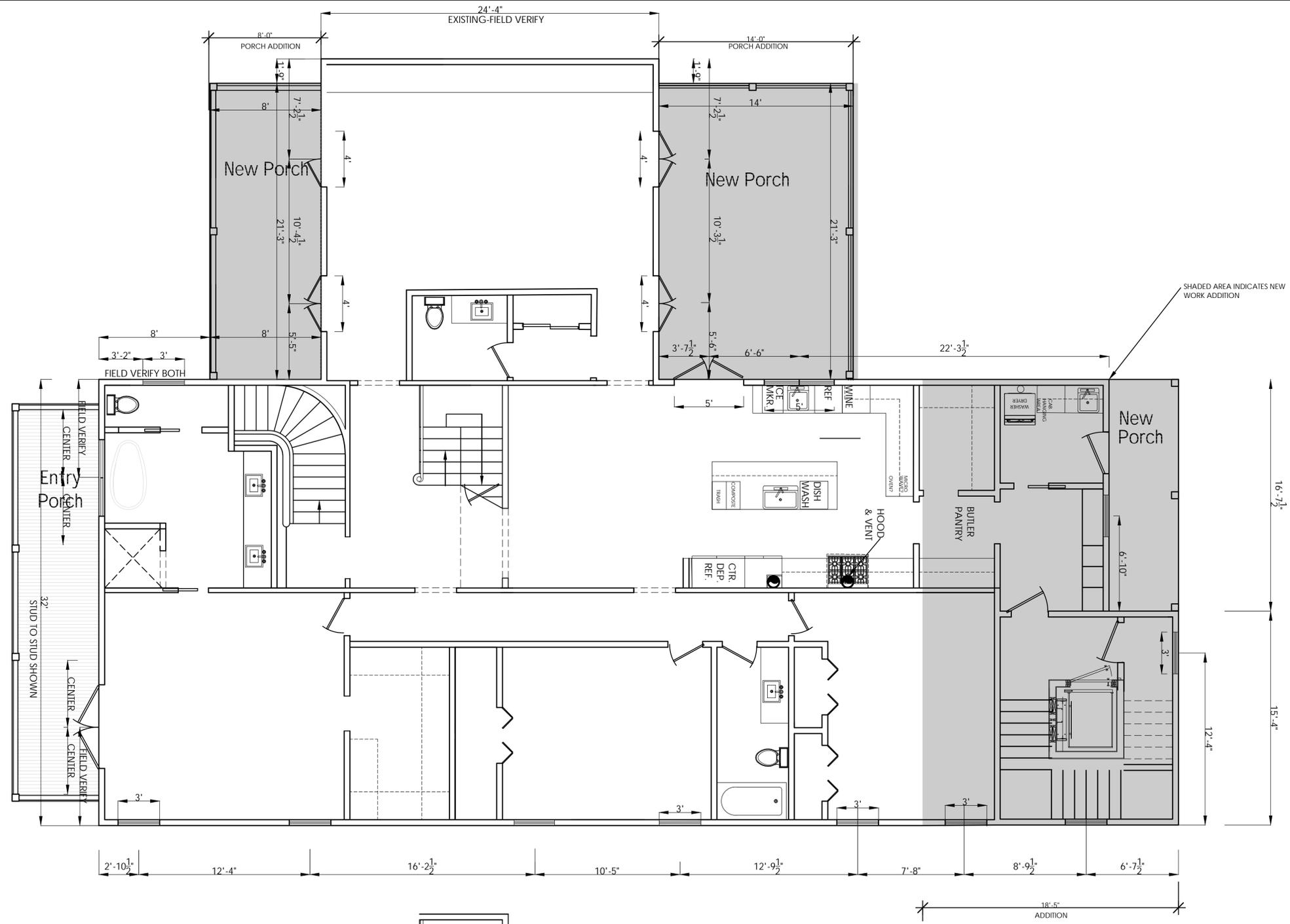
Ground Level
Floor Plans

SHEET NO. :

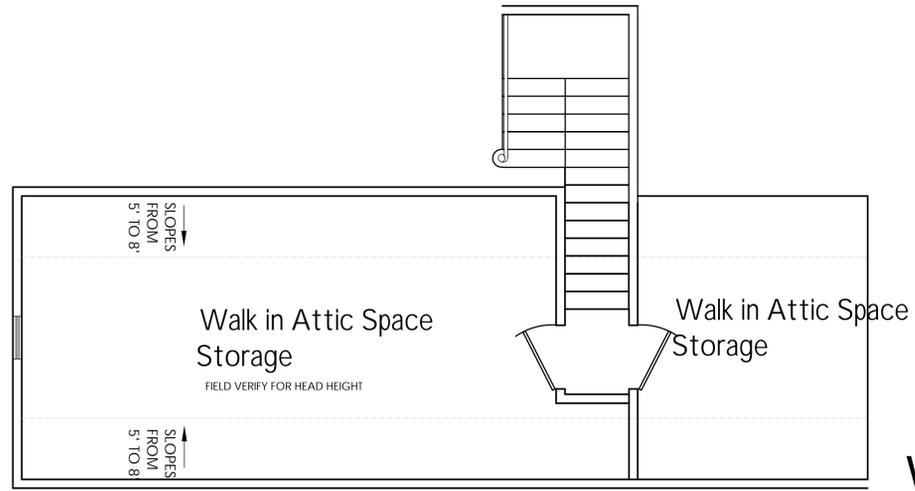
A1-1



New Ground Level
Scale: 1/4"=1'-0"



New Second Level
Scale: 1/4"=1'-0"



Walk up Attic Storage
Scale: 1/4"=1'-0"



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PROJECT NO.

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SHEET TITLE :
**Floor Plans
Second Level**

SHEET NO. :
A1-2



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PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO.

A2-1



Approved at the July ARB Meeting

Proposed Front Elevation

Scale 1/4"=1'-0"



Existing Front Elevation

Scale 1/4"=1'-0"



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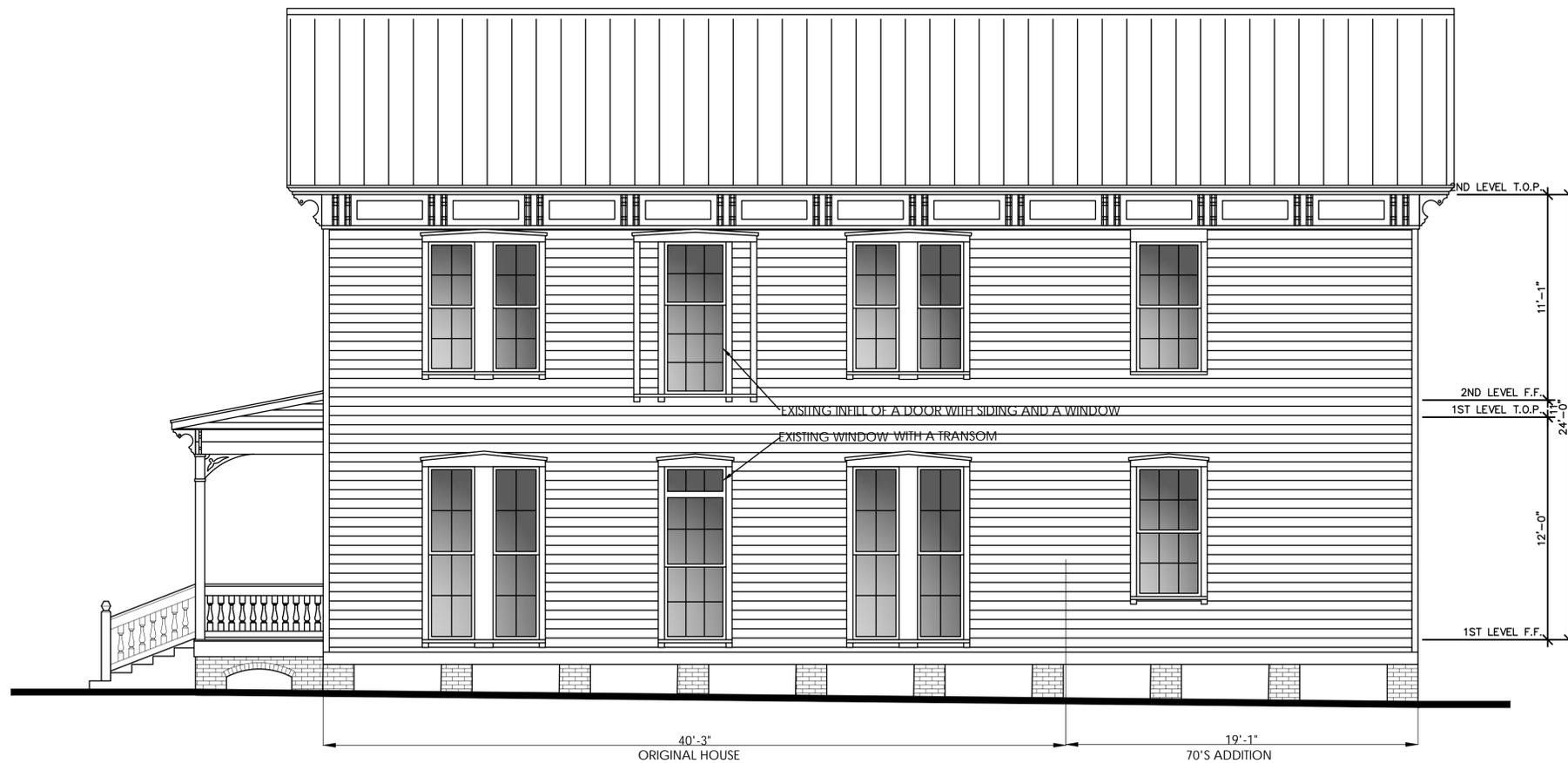
Elevations

SHEET NO. :

A2-2



Approved at the July ARB Meeting





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PROJECT NO.

DATE :

SHEET TITLE :

Elevations

SHEET NO.

A2-3





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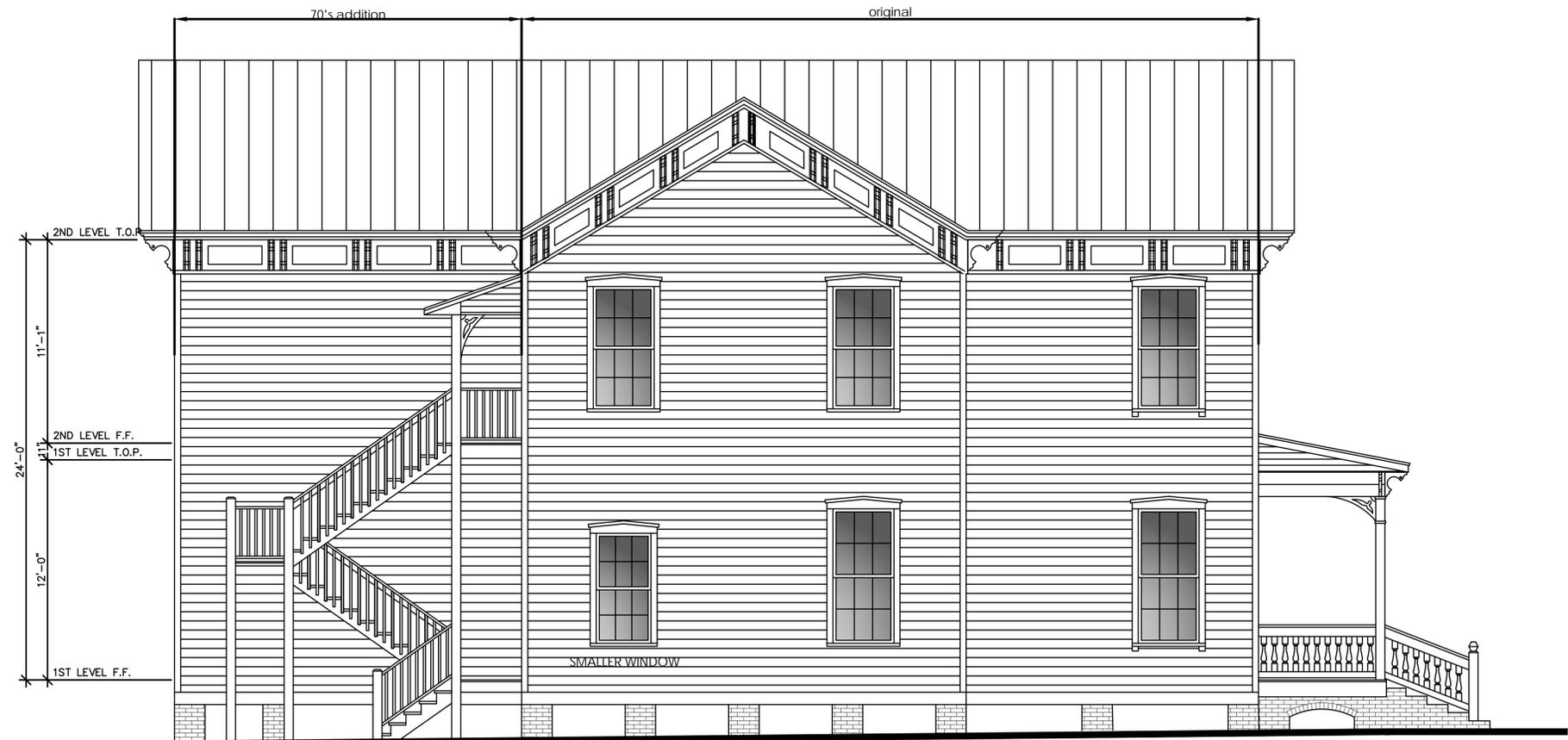
A2-4



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Proposed West Elevation

Scale 1/4"=1'-0"



Existing West Elevation

Scale 1/4"=1'-0"



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PROJECT NO.

DATE :

SHEET TITLE :
Elevations
Hardi Board
Original Windows

SHEET NO. :

Exhibit
A



Proposed Front Elevation with Hardiboard and Refurbish original windows at front right entryside

Scale 1/4"=1'-0"



Existing Front Elevation

Scale 1/4"=1'-0"

Exhibit B

Examples of Contributing structures that have been permitted to have Hardiboard for all of the siding



433 Zaragossa Street-Hardiboard-Contributing



424 Zaragossa Street-Hardiboard-Contributing



434 Zaragossa-Hardiboard-Contributing