



# City of Pensacola

## Architectural Review Board

### Agenda - Final

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Thursday, June 15, 2023, 2:00 PM

Hagler-Mason Conference Room,  
2nd Floor

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#### CALL TO ORDER / QUORUM

#### APPROVAL OF MINUTES

1. [23-00458](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES  
*Sponsors:* D.C. Reeves  
*Attachments:* [5-18-23 ARB minutes](#)

#### OPEN FORUM

#### NEW BUSINESS

2. [23-00459](#) 1401 N. BARCELONA STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY  
COUNCIL DISTRICT 6  
CHANGE OF SIDING ON A NON-CONTRIBUTING STRUCTURE  
*Sponsors:* D.C. Reeves  
*Attachments:* [Images](#)  
[Application and Materials 6-5-23](#)
3. [23-00460](#) 1414 N. BAYLEN STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY  
COUNCIL DISTRICT 6  
NEW ACCESSORY STRUCTURE FOR A NON-CONTRIBUTING  
STRUCTURE  
*Sponsors:* D.C. Reeves  
*Attachments:* [Images](#)  
[Application and Materials 6-7-2023](#)

4. [23-00461](#) 613 E. ROMANA STREET  
PENSACOLA HISTORIC DISTRICT / ZONE HR-2 / CITY COUNCIL  
DISTRICT 6  
NEW CONSTRUCTION OF A PRIMARY AND ACCESSORY  
STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Images](#)  
[Application and Materials 6-5-23](#)
5. [23-00462](#) 410 S. FLORIDA BLANCA STREET  
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / CITY COUNCIL  
DISTRICT 6  
NEW ACCESSIBLE RAMP FOR A CONTRIBUTING STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Florida Master Site File Form](#)  
[Images](#)  
[Application and Materials 6-7-23](#)
6. [23-00463](#) 29 S. DEVILLIERS STREET  
GOVERNMENTAL CENTER DISTRICT / ZONE C-2 / CITY COUNCIL  
DISTRICT 7  
ADDITION TO AN EXISTING STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Images](#)  
[Application and Materials 6-5-23](#)
7. [23-00472](#) 101 E. ROMANA STREET  
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2 & C-2A / CITY  
COUNCIL DISTRICT 6  
CHANGE OF PAINT AT A NON-CONTRIBUTING STRUCTURE
- Sponsors:** D.C. Reeves
- Attachments:** [Images](#)  
[Abbreviated Review Referred to Full Board](#)  
[Renderings 6-8-2023](#)

8.     [23-00464](#)     811 E. BELMONT STREET  
                  OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-2 / CITY  
                  COUNCIL DISTRICT 6  
                  EXTERIOR RENOVATION ON A CONTRIBUTING STRUCTURE

**Sponsors:**             D.C. Reeves

**Attachments:**         [Florida Master Site File Form](#)  
                              [Images](#)  
                              [Application and Materials 6-7-23](#)

## ADJOURNMENT

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.*

*If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.*



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00458

Architectural Review Board

6/15/2023

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**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

Architectural Review Board meeting minutes

**BACKGROUND:**

Architectural Review Board meeting minutes from May 18, 2023.



## MINUTES OF THE ARCHITECTURAL REVIEW BOARD

May 18, 2023

**MEMBERS PRESENT:** Chairperson Salter, Board Member Mead, Board Member Courtney, Board Member Yee, Board Member Fogarty, Board Member Ramos, Advisor Pristera

**MEMBERS ABSENT:** Board Member McCorvey

**STAFF PRESENT:** Assistant Planning & Zoning Division Manager Harding, Digital Media Specialist Russo, Cultural Resources Coordinator Walker, Assistant City Attorney Lindsay

**STAFF VIRTUAL:** Development Services Director Morris, Planning and Zoning Division Manager Cannon

**OTHERS PRESENT:**

### **CALL TO ORDER / QUORUM PRESENT**

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

### **APPROVAL OF MINUTES**

Board Member Mead asked for clarification to Item 2 (30 S. Spring Street) from the April 2023 meeting. Board Member Mead noted the motion references full divided lites with the internal spacer bars, which should be full simulated divided lites. Chairperson Salter noted that the motion was based on the terminology of the product that was presented. Board Member Mead acknowledged and said the motion specifically referenced the Chair's comments about the specific product terminology, but he wanted to make sure the record was clear. Assistant Planning & Zoning Division Manager Harding stated a note will be made in the minutes and the discussion was that what Andersen calls divided lites is not really divided lites (Andersen full divided lites are actually the equivalent of simulated divided lites with most window manufacturers).

**Board Member Fogarty made a motion to approve with the clarification to the motion of Item 2 (30 S. Spring Street) regarding the intent of requiring *simulated* divided lites and not *true* divided lites. The motion was seconded by Board Member Mead, and it carried 6-0.**

## **OPEN FORUM**

### **NEW BUSINESS**

**Item 2                      603 E. Government Street                      PHD / Zone SSD, City Council District 6**  
**Garage Extension on a Non-Contributing Structure**  
**Action Taken: Approved with modification.**

Flynn Built is seeking approval to extend the existing garage on the front elevation. The proposal includes matching the smooth Hardie Plank lap siding painted to match the existing canary yellow color, a carriage style garage door painted maroon to match the existing shutters, matching the existing asphalt shingles; reusing the two existing exterior doors; and adding one LED flood light.

Bobby Dawson represented the project. Board Member Mead noted he had difficulty visualizing the roof line over the garage extension. Mr. Dawson noted that the design looks weird, but it supposed to be very smooth. The transition is supposed to be sleek and clean to keep with the current model of the homes in the area. Board Member Mead noted it was not clear why the transition didn't go down to a hip eave on the left elevation. Board Member Mead asked for clarification if it was a hip projection out of the lower shed roof. Mr. Dawson answered yes. Board Member Yee asked if the existing shed roof is stick framed or trusses. Mr. Dawson answered stick framed. Board Member Yee agreed with Board Member Mead that it would be nicer looking if the existing shed roof became a hip as a part of the new design as opposed to just continuing the shed and having a hip project off it. Board Member Mead noted that in a conventional subdivision this wouldn't be as visible, but this is the interior court for all of those homes, so it is a second face of the home. Board Member Fogarty asked for clarification from Board Member Mead if the roof covering over the new doorway should be a shed roof. Board Member Mead noted yes, that is appropriate.

Chairperson Salter noted that he does not have a major issue with the roof line, but he is concerned with the proposed flood lights. Mr. Dawson noted that the back of the house already has a flood light and there is no reason why it can't be reused. Chairperson Salter stated that just because the existing flood light is there, does not mean that it is appropriate. This is not a fixture utilized in an approved way in the district. Though this is an SSD and not all regulations apply, it is supposed to blend in and match the existing of the historic district. In Chairperson Salter's opinion, this is not an appropriate fixture and the existing light fixtures under the porch are more appropriate and traditional. Board Member Mead noted that wash lighting does not add to security and a better approach is up or down lighting which will illuminate the structures. Board Member Courtney echoed Board Member Mead's sentiments about security lights and the disruption they can cause for neighbors. Mr. Dawson asked for clarification if the board was stating that the light is unnecessary or if they need to choose a more appropriate light. Board Member Courtney answered a more appropriate light with a downward design would be better.

**Board Member Mead made the motion to approve with modification of the lighting selection to be submitted for abbreviated review in light of the comments. Board Member Ramos seconded the motion and it carried 6-0.**

**Item 3                      1400 N. Spring Street                      NHPD / Zone PR-1AAA, City Council District 6**  
**New Accessory Garage Unit and Covered Porch at a Non-Contributing Structure**  
**Action Taken: Approved as submitted with modification.**

Nick Redhead is seeking approval for a new accessory two-car garage unit with a covered roof connecting to a new patio covering off the existing primary structure and replacing the existing concrete driveway with pavers. The new one-story accessory garage will have two garage doors, two entrance doors, and six vinyl windows with simulated divided lites. The siding will be wood lap siding, painted white to match the existing, and the roofing material will be asphalt shingles to match the existing primary structure.

Jason Stuart represented the project. Chairperson Salter asked for clarification on the particular window product. Mr. Stuart answered the Jeld-Wen V4500 series. Chairperson Salter asked staff if the V4500 had been approved in the district previously and the answer was yes. Board Member Mead asked staff for a reminder on the board's scope of review for non-contributing structures in North Hill Preservation District, with a focus on the driveway. Assistant Planning and Zoning Division Manager Harding answered that non-contributing structures are generally required to complement the surrounding district and meant to complement contributing structures in the area. Board Member Mead noted that the existing single load drive services a double load garage and the single load drive branches into double ribbon drives that have been infilled with concrete. The form of the original ribbon drives have been favored in this district and is an existing element of this parcel. Board Member Mead noted that the element of the double ribbon drive could be preserved closer to the street and the infill of pavers around the ribbons would accomplish the objective of more hardscaping for vehicles and it would be consistent with paving around the deck area. It would preserve this element of the existing hardscape and preserve the single to double drives. Chairperson Salter stated that North Hill provided comments with no objections to the request.

**Board Member Mead made the motion to approve the project as submitted with modification to reconfigure the double ribbon drives and with the paving between the ribbons and a configuration similar to that of original ribbon drives and to accept the window package as submitted.**

Board Member Ramos asked for clarification if the intent was to keep the existing width of the curb cut the same and use the existing ribbons that are there, infill with brick, and expanding and curving for the double loaded driveway. Board Member Mead clarified he was referring to keeping the single load or at least minimizing any additional curb cut would be important, and no, the portions he's referring to cannot be reused because they're going to be covered up by the body the building. The street-ward portion should be simply configured in the same manner as the double ribbon drive and put the pavers between the ribbons, so you still have a single load entry with a double load service at the garage face. Board Member Ramos noted it would expand into a double load but asked for clarification that when it expands into a double load, is it brick paver or concrete. Board Member Mead noted that the ribbon would be concrete, and the infill would be brick paver.

**Board Member Ramos seconded the motion.**

Assistant Planning and Zoning Division Manager Harding noted that the work will have to start after the curb cut once it is on private property. The City Engineer has strict guidelines for curb cuts, so it will be concrete at first and then the aesthetic portion will start.

**Board Member Mead asked to amend the motion for submission of the revised driveway plan for abbreviated review. Board Member Ramos accepted the amendment to the motion, and it carried 6-0.**

**Item 4                      400 E. Intendencia Street                      PHD / Zone HR-1, City Council District 6**  
**Exterior Alterations at a Contributing Structure**

**Action Taken: Approved as submitted with options.**

Bob Cleveland is seeking approval to infill an existing rear door and match with 1x6 wood siding, painted to match the existing color. The applicant is also proposing wood railing on the front porch with decorative spindles painted white.

Bob Cleveland and Jason Stuart represented the project. Mr. Cleveland clarified that the reason for infilling the door is to accommodate interior, bathroom modifications. Board Member Courtney asked for clarification about the proposed railing. Mr. Cleveland noted that the back of the house has a straight picket, but the board may prefer a more decorative picket and he would also prefer it. Board Member Courtney asked for clarification about the height of the shutter dog on the far left side. Mr. Cleveland did not know the height, but the drawing in the application will return the pickets outside of the shutter dog. Board Member Courtney noted she has a similar situation and added a catch to the top handrail to keep the shutter open and could this be an option in this case. Mr. Cleveland noted that adding a post to return the railing will solve the issue and bushes would hide the post. Mr. Stuart noted the post will be on the edge of the deck instead of on the deck.

Advisor Pristera noted he prefers the more decorative railing on the front and the scrollwork type is more appropriate. Board Member Courtney asked Advisor Pristera for a solution with encountering the shutter dog. Mr. Stuart noted he has measured, and the rail will be outside of the shutter. The shutter dog is at the edge of the existing porch deck, so the post will be on the outside edge of the deck. Board Member Courtney asked if the partial post was still necessary with the decorative panels to stay outside of the shutter dog. Mr. Cleveland and Mr. Stuart confirmed yes. Board Member Courtney asked the board for another solution that would be better than the post. Board Member Yee asked for clarification on how the new railing is connected. Mr. Stuart noted that the railing will fasten onto the face of the fascia on the deck. Board Member Yee asked if it was possible to mount the new post three inches off the face of the siding of the house, in front of the shutter so that there is still enough clearance for the shutter to be operable. Mr. Cleveland noted he would prefer to run the railing from the existing column back to the house and if it meets board approval, he will bring the shutter out and rest it against the railing much like what Board Member Courtney suggested.

Board Member Ramos asked the height of the porch off the ground and the height of the window sill from the porch. Mr. Cleveland noted the porch is 24 inches from the ground and the sill is probably 24 inches off the deck. Mr. Stuart noted the sill is probably 28-30 inches off the deck. Board Member Ramos noted if the code doesn't require a railing, a lower railing could be installed. Mr. Cleveland stated this was originally a safety issue for young grandchildren, but prefers the option to return to the house and rest the shutter dog against the rail. Or the option for the extra post on the outside of the deck would also work and that post would match the posts on the steps.

Board Member Yee noted that on street view there are houses with railings on the front but not the side of the porch, which is a possibility. Chairperson Salter noted that either option would be appropriate, and his preference would be no railing or to keep the rail in line with the existing column and either style is appropriate, and have the shutter slightly open. Mr. Cleveland noted that either of those options are acceptable as the homeowner. Board Member Yee asked if the board must provide clear direction or if the applicant can be given the option to do either. Chairperson Salter stated the motion could be made to accommodate either option.

**Board Member Yee made a motion to approve the application with the applicant given the option of either no railing or centering the new railing on the existing posts, with regard to the style it is also at the applicant's discretion since the board seemed agreeable to either option. Board Member Mead seconded the motion and it carried 6-0.**

**Item 5                    400 BLK E. LaRua Street OEHPD / Zone OEHC-1, City Council District 6  
New Construction of a Primary and Accessory Structure**

**Action Taken: Approved with abbreviated review required.**

Peter Manis is requesting approval to construct a new, one-story single-family dwelling with a detached garage. The proposed structures will have smooth Hardie Plank board and batten siding, single hung vinyl windows with a two over one grid pattern with simulated divided lites, hurricane rated colonial shutters on the front porch only, and smooth standing seam metal roofs on both structures. The applicant is proposing a flat top wood fence on the east, north, and west perimeters and the driveway will be composed of permeable pavers with a black powder coated aluminum gate.

Cassandra Manis represented the project. Board Member Mead asked for clarification on the bathroom side façade windows and sought more consistency. The smaller window on the left elevation is less obtrusive and fits better. The horizontal windows on the right elevation seem too long and need to be broken into two elements or have a mullion element in them which will match the split mullions in the sash windows. The windows should be of similar size across the façade for consistency. Ms. Manis asked if the largest fixed window on the right elevation should be smaller to match the other windows on that façade. Board Member stated it is preferable. Board Member Ramos asked for clarification on the far right window of the right elevation, that if it should match the window over the kitchen sink or should all three of the smaller windows on the right elevation match. Chairperson Salter noted that the horizontal windows are the biggest indicator of new construction and when there is an elevation with so many horizontal windows, it becomes a dominate aspect of the elevation. The board encourages applicants to add something to make the windows feel more vertical, either reduce in width or increase in height toward a square proportion or break them up into two square windows or add trim below the window and change the siding to look like a fake shutter with a transom window above. Chairperson Salter noted that the three windows on the right elevation need to be more consistent with a vertical element to add division and a vertical feel. Adjusting the windows will help the house fit in with the historic nature of the area.

Ms. Manis noted that possible railing was depicted for the front porch, but the preference is no railing unless code requires it. Ms. Manis would like to have it considered in case it is necessary. Board Member Mead asked for the terrain elevation change and Ms. Manis answered it is negative slope from the back of the lot to the front. The property to the left was roughly 1-1.5 inches off from requiring railing per code. Board Member Mead noted the board is usually concerned with the height of the foundation profile, but if that base is fading into slope at the rear, it is much less of a concern and the base reveal can be adjusted at the back.

**Board Member Mead made a motion to approve the application as submitted with submission for abbreviated review of altered window profiles for the horizontal windows on both facades to more of a square or gang squares profile, consistent with the comments and the prior applications and those required that the Chair referenced and that accommodation be made for diminishing the foundation reveal at the rear if necessary to accommodate a height below the elevation of the porch at the front that would require railing. Board Member Fogarty**

**seconded the motion.**

Ms. Manis asked for clarification on the treatment for addressing the fact the rear elevation is four inches and the front elevation is roughly 30 inches. Board Member Mead clarified that it is fine if the rear foundation reveal diminishes to four inches, if that is what is needed to get below 30 inches on the front. Or the if the foundation remains as depicted, the rail is fine too. Board Member Ramos asked if the board was approving the railing that is in the package. Board Member Mead noted yes, approved as submitted. Board Member Ramos asked if the board had approved a rail with that profile in the past in that district. Assistant Planning and Zoning Division Manager Harding noted yes the board has approved a similar rail in the past and typically the wrought iron look has been approved in all the districts and it depends on the architecture. Board Member Ramos noted that the motion is clarified rather than amended. Board Member Mead noted that both the right and left elevations should be submitted for abbreviated review in regard to the horizontal windows.

**The clarified motion carried 6-0.**

**Item 6                      21 E. Garden Street                      PHBD / Zone C-2A, City Council District 6**  
**Renovation of a Non-Contributing Structure**  
**Action Taken: Approved.**

John Mascia is seeking approval to renovate a non-contributing drive thru bank facility into a drive thru and pick up restaurant. The proposal includes painting the exterior; removing the bank ATM machine, an awning, and an access panel to be infilled with brick veneer wall to match the existing; removing one curb; and replacing the existing drive thru window.

Steve Del Gallo represented the project as the building manager. Board Member Mead asked staff for clarification on what historic district this property falls in and the scope of the board's review on things like colors and the like. Assistant Planning and Zoning Division Manager Harding noted it is Palafox Historic Business District and since paint colors are included as part of the overall permitted work or requested work, the board does have review authority on colors; however, colors in the Palafox Historic Business District do not have to follow historical palettes. Board Member Mead asked the applicant if the signage and coloring in the application represent what is being proposed or is it an example. Mr. Del Gallo noted that the application included an image of an existing facility in Boston and the orange color is on brand and the existing structure is fairly close to the proposed gray color. Board Member Mead asked if the signage was also being reviewed for approval. Mr. Del Gallo stated no, there will be no signage on the structure itself. There is an existing monument sign from Wells Fargo on Jefferson Street that will be used. Assistant Planning and Zoning Division Manager Harding noted that all signage will come back for abbreviated review. The existing monument sign is one of a few internally illuminated signs, which is now prohibited; however, since it is existing non-conforming, it has traditionally been allowed to change out the face but the second the structure is altered, it becomes non-conforming and it must be taken down. Based on discussions with the applicant, just the face will be changed out.

Board Member Mead asked if there will be changes to the lighting. Mr. Del Gallo stated no, the canopy is lit and there are parking lot lights, so it is sufficiently lit at night. Board Member Fogarty asked about the multiple drive thru lanes and if they will be utilized. Mr. Del Gallo noted that the structure will not be modified and the one island is being removed because it is narrow and difficult to maneuver up to the window. There is no plan to change any of the other drive thru lanes. Mr. Del Gallo clarified that the plan is to enter from Jefferson Street and loop around into the drive thru, and

the plan is to close off the Brue Street access.

**Board Member Yee made a motion to approve. Board Member Mead seconded the motion and it carried 6-0.**

**Item 67      23 W. Cervantes Street      NHPD / Zone PC-1, City Council District 6**  
**Renovation of a Non-Contributing Structure**  
**Action Taken: Approved.**

Jordan Yee is seeking approval to renovate a non-contributing vacant service station for a new business. The proposal includes enlarging one of two existing doors in the west brick elevation, the second door being infilled; installing a new egress door in the east brick elevation; replacement of existing fluorescent canopy lighting with new low profile LED lighting; replacing the existing shingle roof with a new shingle roof; painting the existing metal siding and trim; and painting the existing brick. The existing aluminum storefront will remain.

Jordan Yee represented the project and noted that the applicant has interacted with the North Hill Neighborhood Association, and they seem to be positive with the adaptive reuse and appreciate the minimal changes to the exterior, isolated to painting the structure and swapping out the under-canopy lights. The old fluorescent tube lights are likely inoperable, and the new fixtures are similar in proportion. Chairperson Salter noted the North Hill Preservation Association provided comments with no objections. Board Member Fogarty asked for clarification on where parking would occur. Mr. Yee stated that the applicant had a pre-app meeting with FDOT and it was requested that one of the Cervantes Street curb cuts be closed, but it is not clear which one. The applicant is not proposing any changes to pavement. The conditional use application included a site plan that indicates the dumpster location on the southwest corner of the building where the door is being infilled. There is a 30-foot rear yard, and the new dumpster pad will be in the rear grass area. A striping plan will make use of the existing pavement.

Assistant Planning and Zoning Division Manager Harding noted that restaurants are not allowed by right in the PC-1 zoning district, so the applicant is seeking a conditional use that is going to the Planning Board in June and if approval is recommended, will go on to City Council. While in PC-1 this structure is also in the downtown CRA and because this is proposed to be an eating and drinking establishment, there is a 100% parking reduction. If there will be parking, as part of the permitting process a striping plan will be required.

Board Member Mead asked for clarification about restaurants not being allowed in PC-1 zoning district. Assistant Planning and Zoning Division Manager Harding answered that restaurants are only allowed in PC-1 as a conditional use, so it must go to Planning Board and City Council to be allowed. Board Member Mead noted that Hopkins House was a restaurant that once operated right across the street in PC-1, so the proposal for this restaurant is replacing something that was lost and not adding a use that was never there before. Assistant Planning and Zoning Division Manager Harding noted this fact will be included in the minutes and the goal of coming before ARB prior to the Planning Board was the ability to include the ARB minutes as a part of the Planning Board packet that will go to City Council. The ARB's comments will be in support or opposition to the project when Planning Board considers the conditional use request.

Board Member Mead asked if the intent was to use the roll up doors. Mr. Yee noted they are the existing roll up doors and imagines they will be open on nice days. Board Member Mead asked about

the high roofline of the canopy and will it be problematic with rain. Mr. Yee had not discussed this with the applicant and perhaps in the future this may be addressed but it is not part of the current proposal. Board Member Mead asked about outdoor dining furniture and if it will remain in place during operational hours. Mr. Yee answered the building owner will ultimately decide, but it would be a good idea to secure it with a cable and lock. Board Member Mead clarified that there is an architectural element to stored furniture being left in view, especially if glommed together and cabled up, which is not as aesthetically pleasing. If the furniture is left in the configuration and not stored away, there is a potential for attracting nuisance that would be a concern to the neighborhood. Board Member Mead would like to see attention to this question on both counts, how it is viewed when not operating and how the furniture will be stored or configured.

Chairperson Salter addressed the painting of the brick, noting that this is a non-contributing structure and the brick is not a key architectural feature. In this instance, painting the brick and giving a consistent, modern feel is probably a key aspect in its revitalization. Chairperson Salter does not have an issue with painting the brick for this project. Advisor Pristera reiterated that this project and the past project show that there are people interested in these smaller, funkier buildings. The Trailways building could potentially be used like this and it is a hot property right now, and small businesses and restaurants could make a good use for it. Advisor Pristera wanted to reinforce that they don't have to be demolished and he is glad to see that this one has a new life to it. Board Member Mead asked if the curb islands and curbs against the building have steel reinforcement and what is the plan for those in terms of color. Mr. Yee answered yes, they are reinforced with steel and the plans indicate that the curbs will be painted the gray color that was proposed in the packet.

**Board Member Fogarty made a motion to approve. Board Member Courtney seconded, and the motion carried 6-0.**

Cultural Resources Coordinator Walker noted that in considering feedback from recent applicants, the hard copy submission requirement has been reduced from ten hard copies to eight.

## **ADJOURNMENT**

With no further business, the meeting adjourned at 3:23 p.m.

Respectfully Submitted,



Cultural Resources Coordinator Walker  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00459

Architectural Review Board

6/15/2023

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**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

1401 N. Barcelona Street  
North Hill Preservation District / Zone PR-1AAA / City Council District 6  
Change of Siding on a Non-Contributing Structure

**BACKGROUND:**

Elizabeth Jasperson is seeking approval to replace all plywood siding with Hardie Plank smooth vertical siding to match the existing board and batten with 16-inch boards on center with 1.5 inch battens, painted in the color Nomadic Desert from the Sherwin Williams HGTV American Heritage collection.

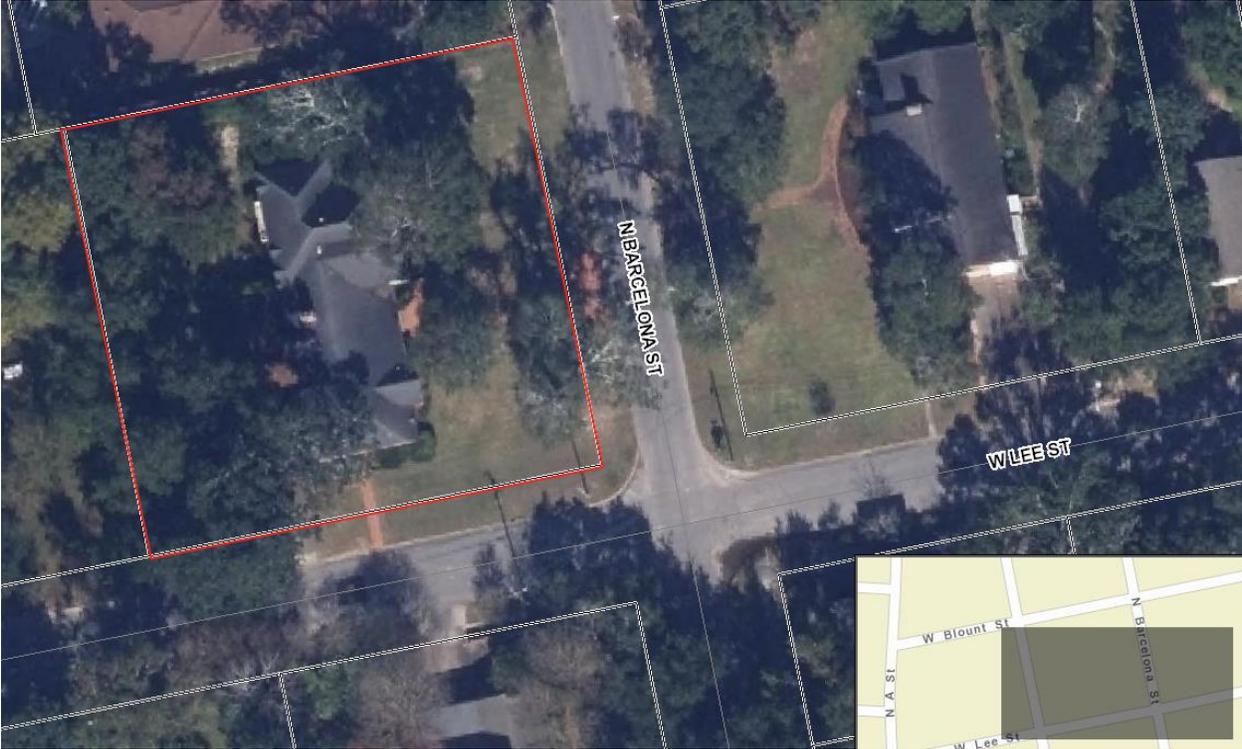
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS**

Sec. 12-3-10(2)e.5. NHPD; Paint colors

Sec. 12-3-10(2)g. NHPD; Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.

1401 N. Barcelona Street





**Architectural Review Board Application  
Full Board Review**

Application Date: 5/15/2023

**Project Address:** 1401 N Barcelona St Pensacola FL 32501

Applicant: Elizabeth Jasperson / Your Local Construction, LLC- Dustin Vaughn

Applicant's Address: 917 Rio Vista Dr Pensacola Beach FL 32561

Email: elizabethwwms@yahoo.com Phone: 850-287-4892

Property Owner: Elizabeth W Jasperson

**District:**  PHD  NHPD  OEHPD  PHBD  GCD  
*(If different from Applicant)*

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**Replace all plywood with Hardie Vertical Smooth Plank to the exact specifications on Boards and Battens 16 from the center with 1.5 Inch battens. Repaint exact color .**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

Applicant Signature

5/15/2023  
Date



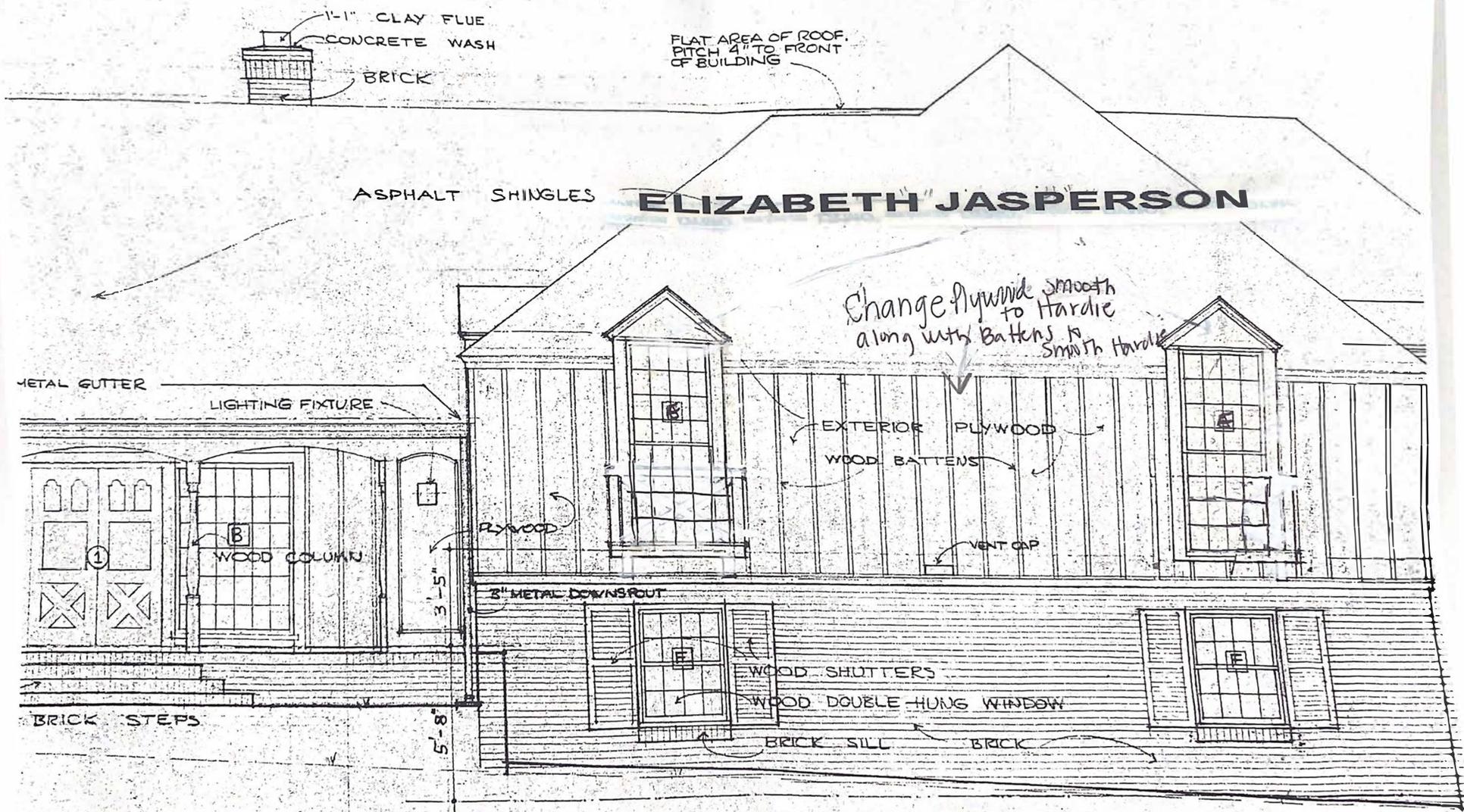








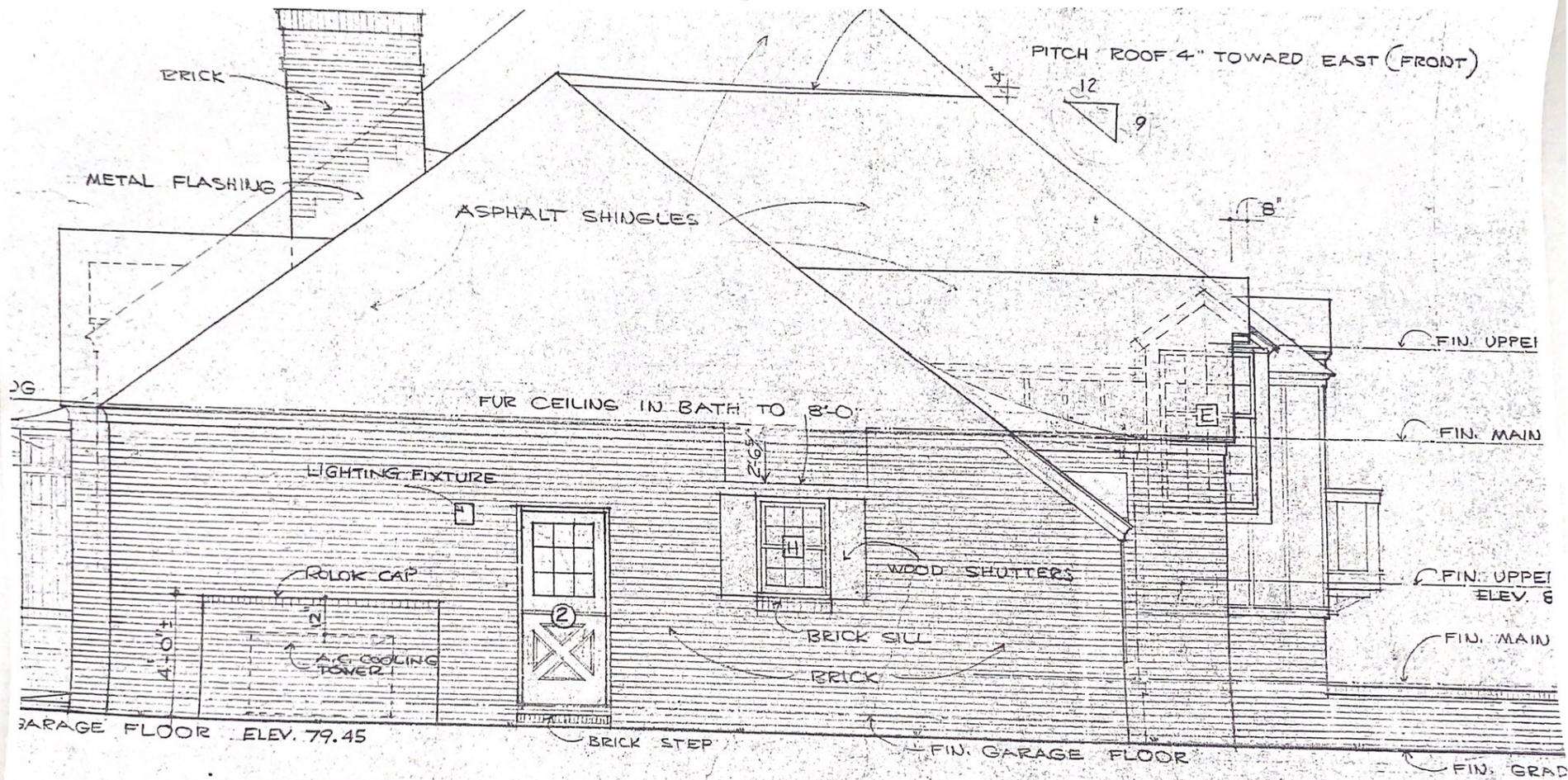
# ELIZABETH JASPERSON



A C T F I E W L T O







SOUTH ELEVATION  
 SCALE 1/4" = 1'-0"

NOTE: FINISH GRADES TO BE BUILDING AT MINIML



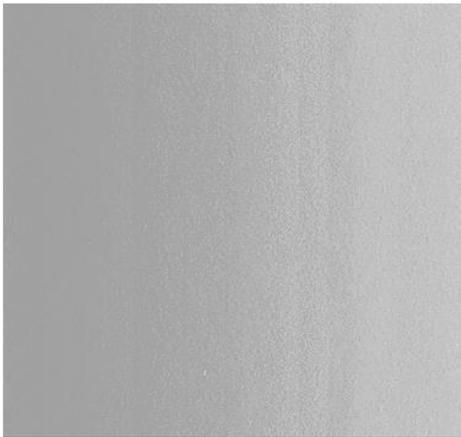
HARDIE® PANEL VERTICAL SIDING

## SMOOTH

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.

### PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



#### AVAILABLE SIZES

<b>THICKNESS:</b>	0.312"	
<b>LENGTH:</b>	108"	120"
<b>WIDTHS:</b>	48"	48"
	96"	
	48"	



## Nomadic Desert

HGSW6107 Previously: HGSW3146

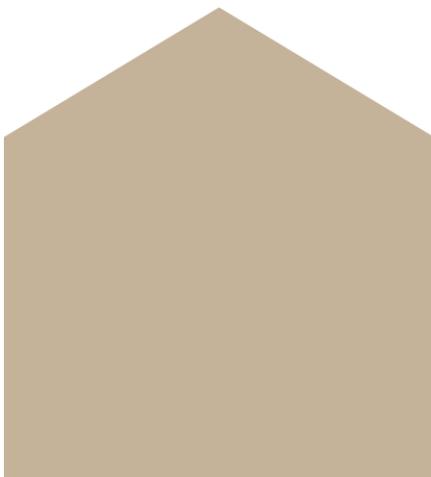
Color Collections

AMERICAN HERITAGE

Color Information 

GET FREE CHIP

Available exclusively at Lowe's  
Free store pickup available.





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00460

Architectural Review Board

6/15/2023

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**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

1414 N. Baylen Street  
North Hill Preservation District / Zone PR-1AAA / City Council District 6  
New Accessory Structure for a Non-Contributing Structure

**BACKGROUND:**

Tuff Shed, Inc. is seeking approval to install an 8 x 8 ft. portable prefabricated shed on the ground surface with a shed floor. The shed will have a single door; vertical, engineered wood siding; and a dimensional shingle roof.

Please find attached all relevant documentation for your review.

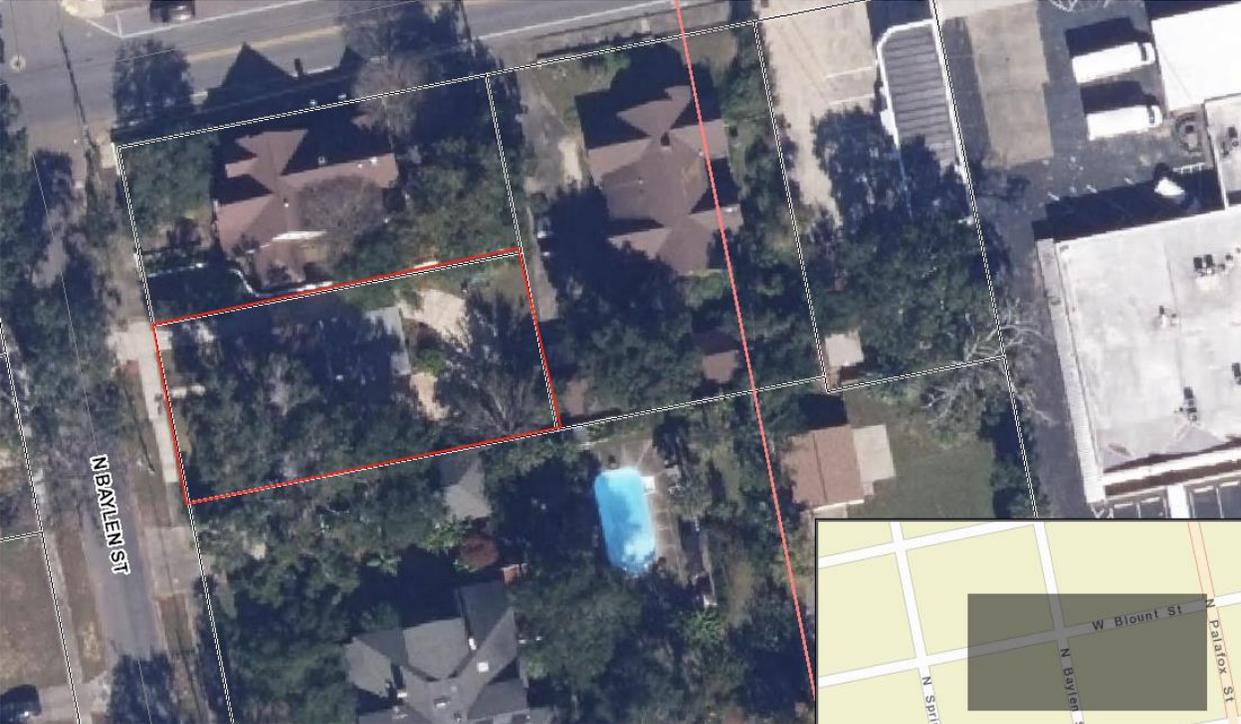
**RECOMMENDED CODE SECTIONS**

Sec. 12-3-10(2)e.5. NHPD; Paint colors

Sec. 12-3-10(2)g. NHPD; Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.

Sec. 12-3-10(2)h. NHPD; Regulations for new construction and additions to existing structures in the North Hill preservation district.

1414 N. Baylen Street



**Architectural Review Board Application  
 Full Board Review**

Application Date: 05.23.2023

**Project Address:** 1414 North Baylen Street Pensacola, FL 32501

**Applicant:** Tuff Shed, INC / Savannah Hudson

**Applicant's Address:** 3450 Armour Ave Mobile, AL 36617

**Email:** licenses@tuffshed.com **Phone:** 251-244-4537

**Property Owner:** Chris Turnage

**District:**                       PHD       NHPD       OEHPD       PHBD       GCD  
(if different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

NO MEPF. Install of a 8x8 portable prefabricated shed on dirt with shed floor.

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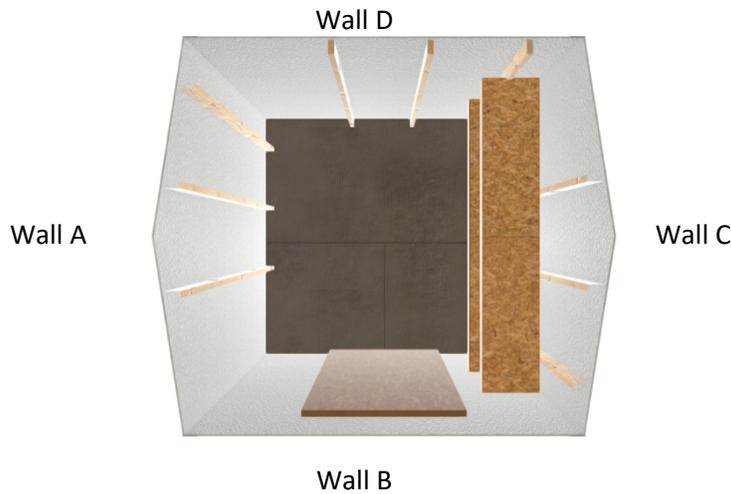


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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

*Savannah Hudson*  
 Applicant Signature

05.23.2023  
 Date



**Base Details**

**Building Size & Style**

Premier Ranch - 8' wide by 8' long

**Door**

4' x 6'2" Single Shed Door, Left Hinge Placement

**Paint Selection**

Base: Ghost Writer, Trim: Delicate White

**Roof Selection**

Charcoal Dimensional Premium Shingle

**Drip Edge**

White

**Is a permit required for this job?**

Yes

**Who is pulling the permit?**

Tuff Shed

**Options Details**

**High Wind**

High Wind - Retail

**Roof**

8 Lin Ft Ridge Vent

**Floor and Foundation**

4 Ea Shed Anchor into Dirt - Auger or MR88

**Interior**

16 Lin Ft Shelving - 16" deep

**Vents**

2 Ea 16"x8" Wall Vent - White

**Shelving Locations**

Shelving on Side C at 39", 60".

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**

No

**Is there a power outlet within 100 feet of installation location?**

Yes

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**

Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**

Yes

**Substrate Shed will be installed on?**

Dirt/Gravel

DocuSigned by:

*Cristal R. Turnage*

Signature:

Date: 5/17/2023

B521C9B6201649D...

# UNINHABITED UTILITY SHED UP TO 12' WIDE x UP TO 24' LONG SR600, TR700, PR

**NOTES:**

- BUILDING CODE:** FLORIDA BUILDING CODE, 7th EDITION (2020)  
BUILDINGS ARE NOT FOR HIGH-VELOCITY HURRICANE ZONES (HVHZ)
- DESIGN LOADING:**  
 WIND SPEED:  $V_{ult} = 165$   
 $V_{asd} = 128$   
 EXPOSURE: C  
 ROOF LIVE LOAD: 20 PSF  
 ROOF DEAD LOAD: 10 PSF  
 FLOOR LIVE LOAD: MIN. 50 PSF (SEE NOTE 5, DETAIL 1, SHEET 3)  
 RISK CATEGORY: I  
 COMPONENT AND CLADDING:      ROOF:      21/-33 PSF (ZONE 1)  
 WIND PRESSURE (psf) (ASD VALUES)      21/-57 PSF (ZONE 2)  
 (BASED ON 10 SQ FT)      21/-84 PSF (ZONE 3)  
 WALL:      36/-39 PSF (ZONE 4)  
 36/-48 PSF (ZONE 5)

**HEADER NAILING:**  
 HEADER TO STUD - 4-16d END NAIL DOUBLED HEADER  
 - 16d @ 16" STAGGERED FACE NAIL

**NAILING:**  
 REFER TO SHEET 2 FOR WALL AND ROOF SHEATHING NAILING.

**MAX WALL HEIGHT FOR EACH SHED:**

- SR600 - 5'-8 $\frac{1}{4}$ " (68 $\frac{1}{4}$ " )
- TR700 - 6'-8 $\frac{1}{4}$ " (80 $\frac{1}{4}$ " )
- PR - 6'-8 $\frac{1}{4}$ " (80 $\frac{1}{4}$ " )

SHED SIZE CHART				
WIDTH	PITCH	SIDEWALL HEIGHT	OVERALL HEIGHT	MID-ROOF HEIGHT
6'	4/12	5'-8 $\frac{1}{4}$ "	7'-5 $\frac{3}{16}$ "	6'-11 $\frac{1}{8}$ "
8'	4/12	5'-8 $\frac{1}{4}$ "	7'-9 $\frac{1}{16}$ "	7'-1 $\frac{1}{16}$ "
10'	4/12	5'-8 $\frac{1}{4}$ "	8'-1 $\frac{9}{16}$ "	7'-3 $\frac{1}{16}$ "
12'	4/12	5'-8 $\frac{1}{4}$ "	8'-5 $\frac{1}{2}$ "	7'-5"
6'	4/12	6'-8 $\frac{1}{4}$ "	8'-5 $\frac{3}{16}$ "	7'-11 $\frac{1}{8}$ "
8'	4/12	6'-8 $\frac{1}{4}$ "	8'-9 $\frac{1}{16}$ "	8'-1 $\frac{1}{16}$ "
10'	4/12	6'-8 $\frac{1}{4}$ "	9'-1 $\frac{9}{16}$ "	8'-3 $\frac{1}{16}$ "
12'	4/12	6'-8 $\frac{1}{4}$ "	9'-5 $\frac{1}{2}$ "	8'-5"

ROOF SHEATHING ( $\frac{1}{16}$ " OSB)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-18'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
8'	8'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
10'	10'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
12'	12'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.

- NOTES:**  
 1. USE 8d COMMON OR GALVANIZED BOX NAILS.

$\frac{3}{8}$ " SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
SIDEWALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

$\frac{3}{8}$ " SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
END WALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

**SIDING TABLE NOTES:**

- NAILING IS FOR  $\frac{3}{8}$ " SMARTSIDE PANEL OR  $\frac{3}{8}$ " SMARTSIDE WITH FOIL BACKER.
- MINIMUM 2'-0" RETURN FROM EACH END OF EACH WALL.**
- NO SINGLE OPENING GREATER THAN 8'-0"
- \* 6' WIDE X 6'-9' LENGTH BUILDINGS ARE BASED ON 3-SIDED DIAPHRAGM. THE END WALL OPPOSITE OF THE OPENING MUST BE FULLY SHEATHED, IN THE 3-SIDED DIAPHRAGM CASES. THE END WALL WITH THE OPENING DOES NOT HAVE A MIN. RETURN WALL ON EACH SIDE OF THE OPENING.
- USE COMMON OR GALVANIZED BOX NAILS.
- ON THESE BUILDINGS 6' X 10' THE 3' DOOR IN THE END WALL WILL NEED TO BE OFF SET. THERE WILL BE A 2' PANEL ON ONE SIDE AND A 1' PANEL ON THE OTHER SIDE OF THE DOOR.
- BUILDING SIZES BELOW REQUIRE SHEATHING ON BOTH SIDES OF WALL WITH OPENING ( $\frac{1}{16}$ " OSB ON INSIDE OF WALL):  
 6'X10' WITH 3' OF OPENING ON END WALL WITH 2' OF SHEAR (SEE NOTE 6)  
 8'X16'-24' WITH 3' OF OPENING ON END WALL WITH 5' OF SHEAR  
 8'X14'-22' WITH 4' OF OPENING ON END WALL WITH 4' OF SHEAR  
 10'X20'-24' WITH 3' OF OPENING ON END WALL WITH 7' OF SHEAR  
 10'X18'-24' WITH 4' OF OPENING ON END WALL WITH 6' OF SHEAR  
 10'X12'-24' WITH 6' OF OPENING ON END WALL WITH 4' OF SHEAR  
 12'X18'-24' WITH 6' OF OPENING ON END WALL WITH 6' OF SHEAR  
 12'X14'-24' WITH 8' OF OPENING ON END WALL WITH 4' OF SHEAR
- NO OPENINGS ARE ALLOWED ON THE END WALLS OF 6' WIDE BUILDINGS LONGER THAN 14'. THE ENDWALL OF 6' WIDE X 10'-14' LONG BUILDINGS MAY HAVE A SINGLE 2' OPENING CENTERED ON THE WALL.

FL PRODUCT APPROVALS			
PRODUCT TYPE	MANUFACTURER	MODEL	FL PRODUCT #
SIDING (PANEL)	LP BUILDING SOLUTIONS	SIDING	FL9190.3
SIDING (LAP)	JAMES HARDIE BUILDING PRODUCTS, INC	LAP	FL10477.1
SIDING (CEMENT)	JAMES HARDIE BUILDING PRODUCTS, INC	CEMENT STUCCO	FL13223.2
IMPACT SLIDING WINDOW	ECO IMPACT SLIDER	IMPACT SLIDER	NOA 19-0219.08
SLIDING WINDOW	TAFCO CORPORATION	SLIDER	FL20743.1
TUFF SHED DOUBLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.1
TUFF SHED DOUBLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.2
TUFF SHED SINGLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.3
TUFF SHED SINGLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.4
STEEL DOOR INSWING	JELD-WEN	6 PANEL/3068	FL11136.1
STEEL DOOR OUTSWING	JELD-WEN	6 PANEL/3068	FL11136.2
FULL LITE DOOR	JELD-WEN	EXTERIOR DOOR	FL17454.1
9 LITE DOOR INSWING	JELD-WEN	EXTERIOR DOOR	FL12509.2
9 LITE DOOR OUTSWING	JELD-WEN	EXTERIOR DOOR	FL12509.4
FLOOD VENTS	FLOOD SOLUTIONS	FOUNDATION	FL17588.1
RIDGE VENTS	GAF COBRA RIDGE RUNNER	RIDGE VENT	NOA 17-0822.06
RIDGE VENTS	GAF COBRA RIGID VENT3	RIDGE VENT	FL6267.1
IMPACT RESISTANT OVERHEAD GARAGE DOOR	OVERHEAD DOOR CORP	GARAGE DOOR	FL14170.6
ROOF UNDERLAYMENT	GAF	FELTBUSTER	FL18686.1
ASPHALT SHINGLES	GAF	SHINGLES	FL10124.1
METAL ROOFING	MARLYN METALS, INC	MAR-RIB	FL8993



Order #: \_\_\_\_\_  
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 Site Address: \_\_\_\_\_  
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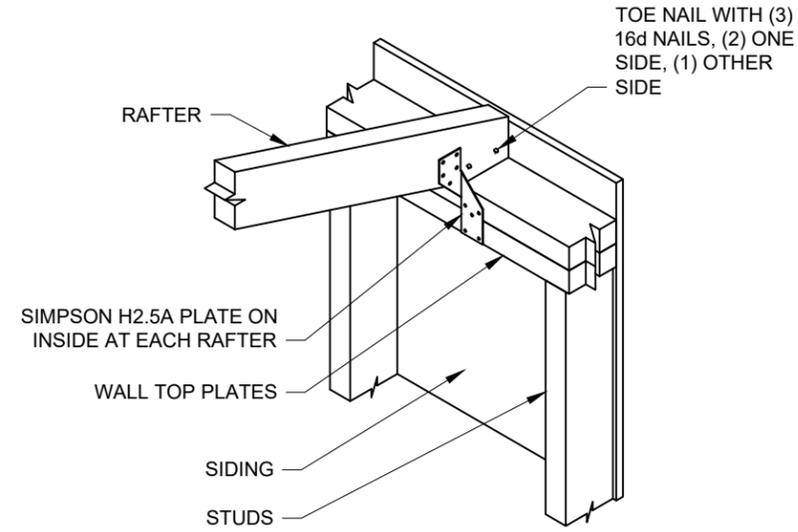
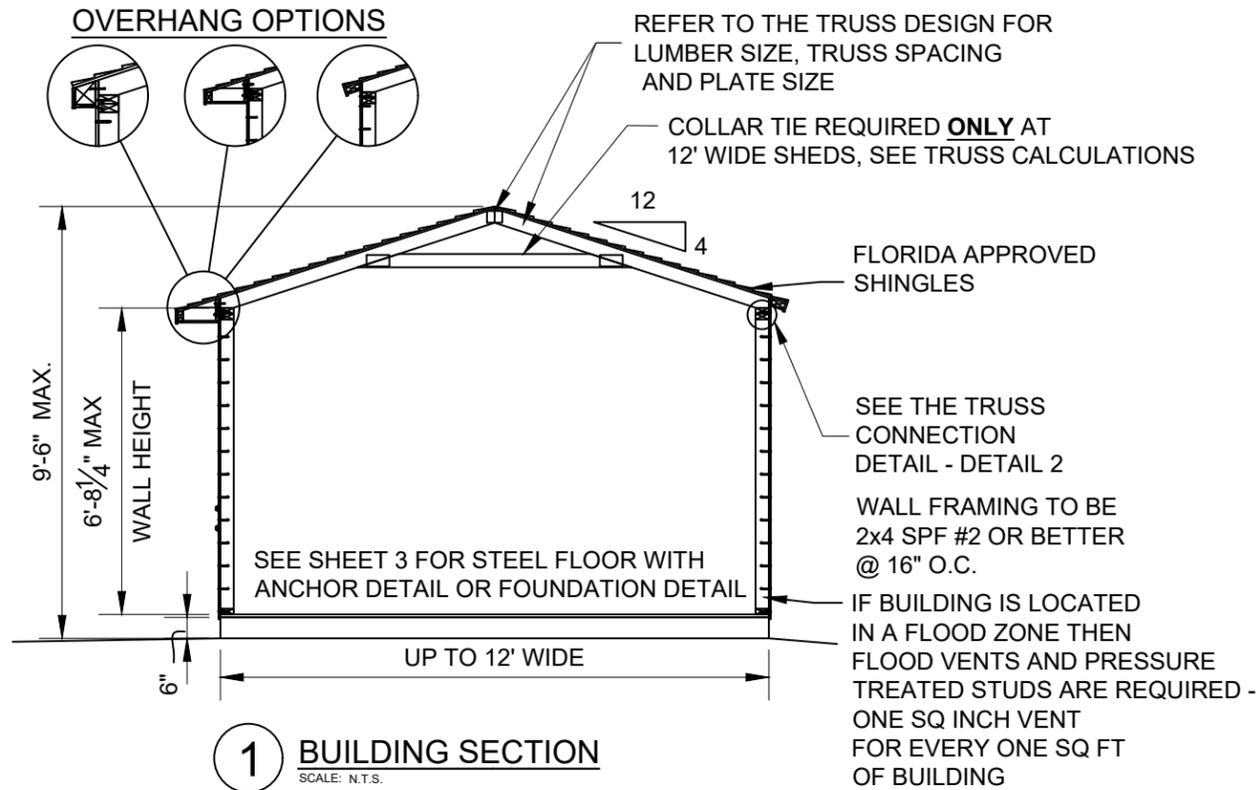
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 Date: 6/21/21  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_  
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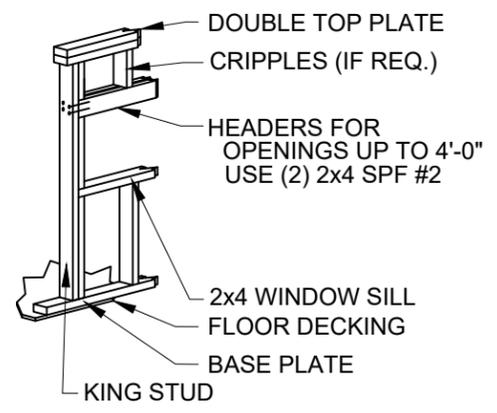
TUFF SHED, INC.  
 ENGINEERING DEPARTMENT  
  
 RICHARD J. WILLS, P.E.  
 RWILLS@TUFFSHED.COM  
 1777 S. HARRISON STREET  
 DENVER, COLORADO 80210  
 (303) 753-8833 EXT. 96315

**TITLE**  
 PROJECT NOTES  
 NAILING REQUIREMENTS  
 FBC, 7th EDITION (2020)  
 162C

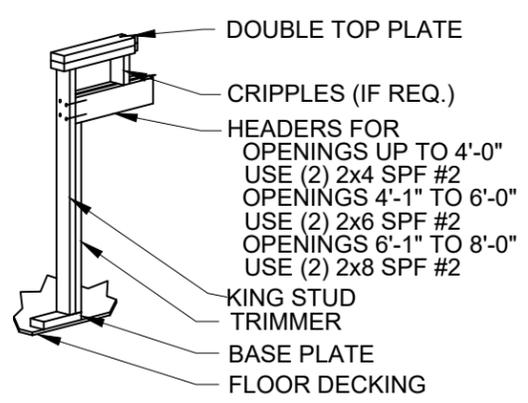
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**REV. LEVEL** 01  
**SHEET** 1  
**PAGE** 1 OF 4



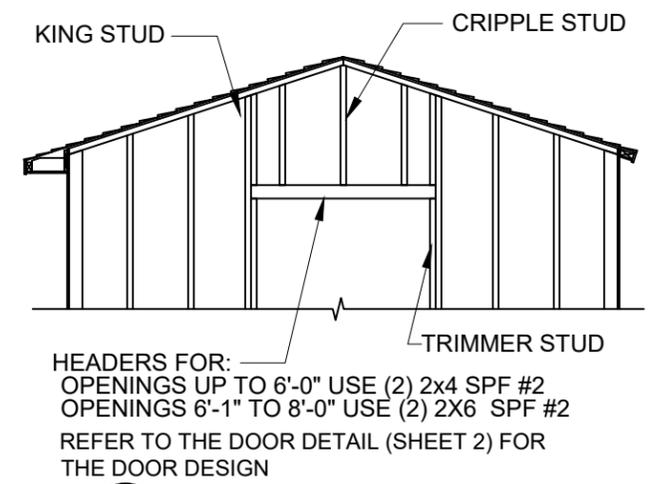
**2 TRUSS TO WALL CONNECTION DETAIL**  
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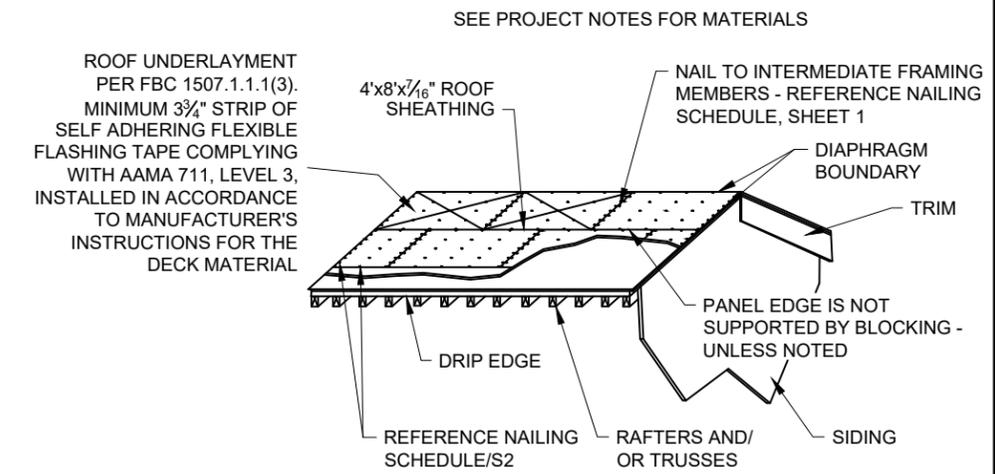
**3A WINDOW HEADER DETAIL FOR SIDE WALLS**  
SCALE: N.T.S.



**3B DOOR HEADER DETAIL FOR SIDE WALLS**  
SCALE: N.T.S.



**4 HEADER DETAIL FOR END WALLS**  
SCALE: N.T.S.



**5 ROOF SHEATHING AND UNDERLAYMENT DETAIL**  
SCALE: N.T.S.



Order #: \_\_\_\_\_  
 Customer: \_\_\_\_\_  
 Site Address: \_\_\_\_\_  
 Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

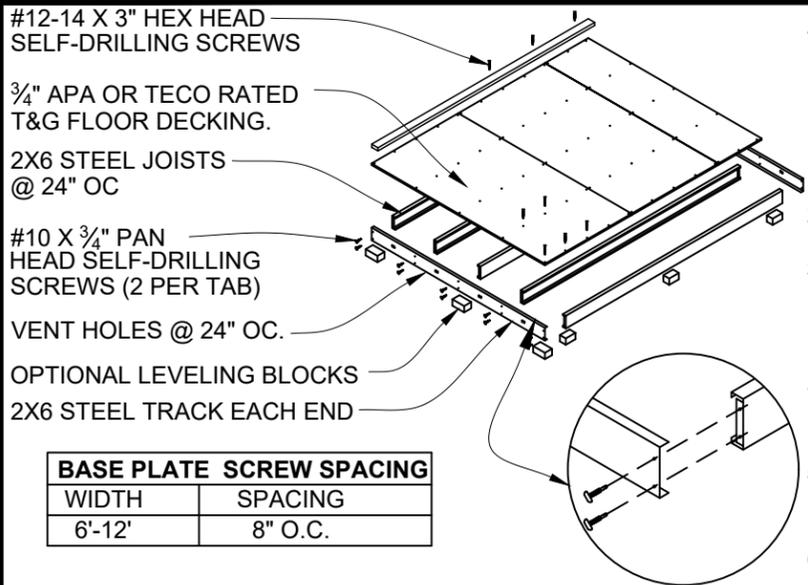
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 Date: \_\_\_\_\_  
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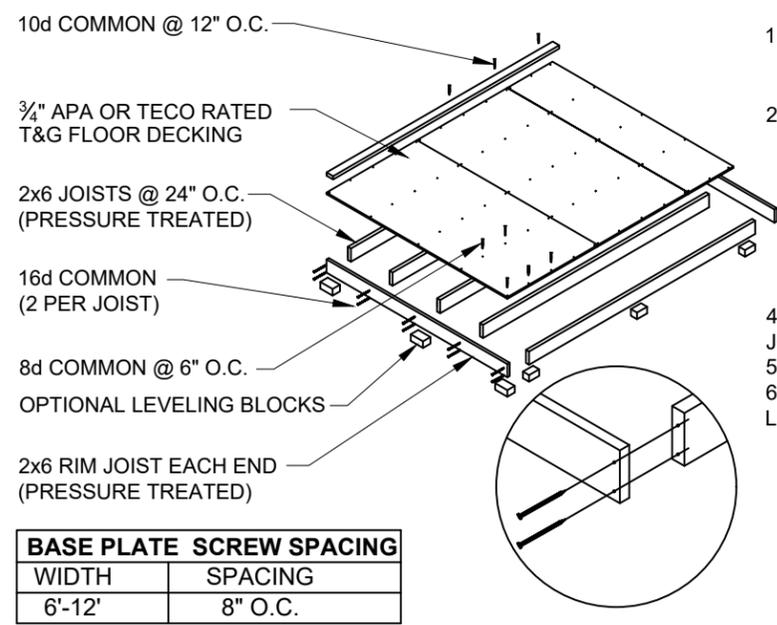
TITLE  
 BUILDING SECTIONS  
 HEADER FRAMING DETAILS  
 FBC, 7th EDITION (2020)  
 162C

DRAWING NO.  
 FL-PR-SR-TR-01  
 REV. LEVEL 01  
 SHEET 2  
 PAGE 2 OF 4



1. STEEL SHED FOUNDATION:  
600T125-054 - 16 GAUGE STEEL TRACKS G140 ZINC COATED  
600S137-054 - 16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C.  
(SUPPLIER: ALLIED STUDCO (JOIST: 600S137-054 / TRACK: 600T125-054) ICC ER-4943P.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
3. FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1 5/8" ZINC PLATED SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #12-14 X 3" GALVANIZED SELF-DRILLING SCREWS. REFERENCE SPACING CHART.
5. ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:  
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".  
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.  
BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

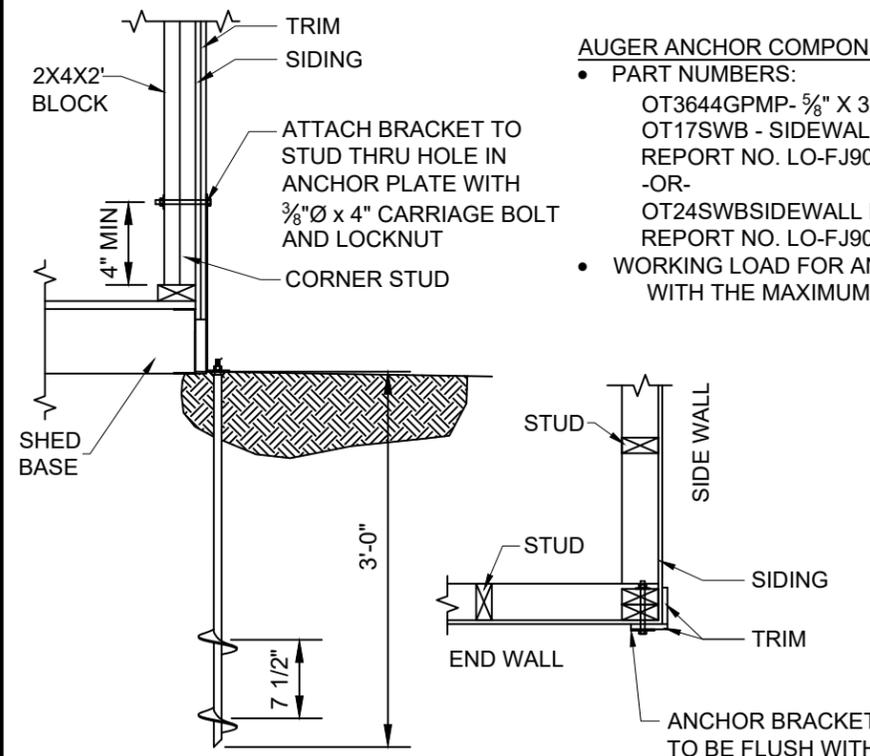


1. WOOD SHED FOUNDATION:  
2x6 #2 PRESSURE TREATED SPRUCE-PINE-FIR RIM JOISTS  
2x6 #2 PRESSURE TREATED SPF JOISTS @ 24" O.C.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1. NAIL PLYWOOD TO JOISTS AND RIM JOISTS:  
BORDER: 8d COMMON SPACED @ 6" O.C.  
EDGE: 8d COMMON SPACED @ 6" O.C.  
FIELD: 8d COMMON SPACED @ 12" O.C.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR RIM JOISTS WITH 10d COMMON SPACED @ 12" O.C.
5. ALLOWABLE FLOOR LIVE LOAD: 40 PSF
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:  
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".  
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.  
BLOCKS UNDER RIM JOISTS SPACED @ 4'-0" O.C. MAXIMUM.

BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

**1** OPTIONAL STEEL SHED BASE DETAIL  
SCALE: N.T.S.

**2** OPTIONAL WOOD SHED BASE DETAIL  
SCALE: N.T.S.

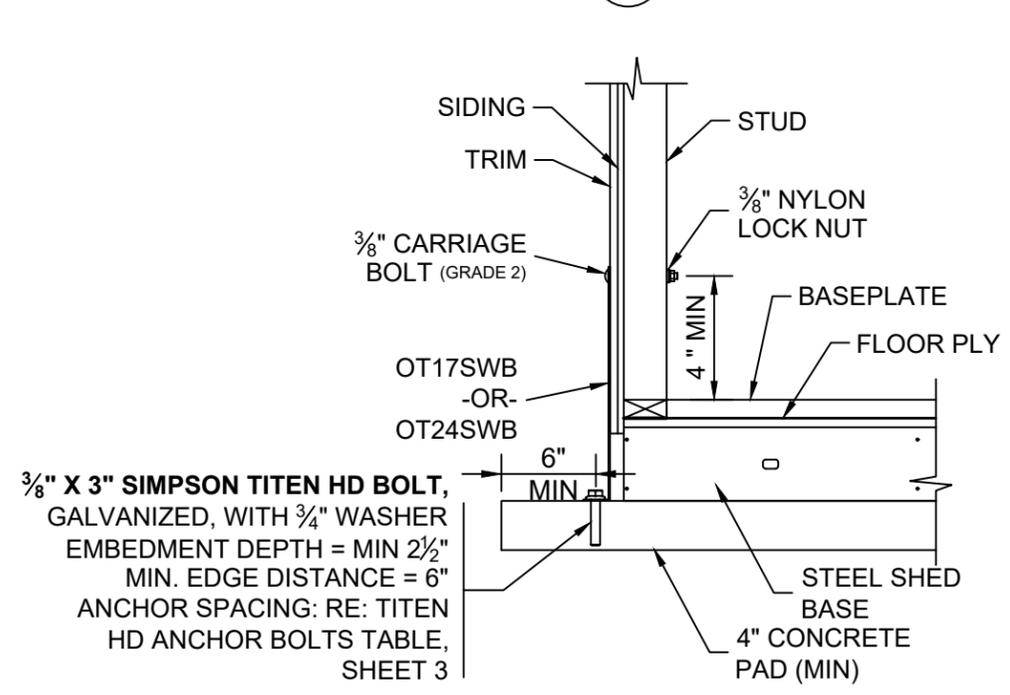


- AUGER ANCHOR COMPONENTS BY OLIVER TECHNOLOGIES**
- PART NUMBERS:  
OT3644GPMP- 5/8" X 36" (36" IMBED) GALVANIZED AUGER  
OT17SWB - SIDEWALL BRACKET FOR USE WITH THRU BOLTS  
REPORT NO. LO-FJ90129-A  
-OR-  
OT24SWBSIDEWALL BRACKET FOR USE WITH THRU BOLTS  
REPORT NO. LO-FJ90129-B
  - WORKING LOAD FOR ANCHOR SYSTEM IS 3,150 LBS WITH THE MAXIMUM LOAD OF 5,080 LBS

AUGER ANCHORS		
WIDTH	LENGTH	# OF ANCHORS
6'	6'-20'	4 ANCHORS
8'	8'-20'	4 ANCHORS
8'	22'-24'	6 ANCHORS
10'	10'-16'	4 ANCHORS
10'	18'-24'	6 ANCHORS
12'	12'-14'	4 ANCHORS
12'	16'-22'	6 ANCHORS
12'	24'	8 ANCHORS

4-ANCHORS PROVIDE (1) AT EA. CORNER OF THE BUILDING.  
6-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EA. SIDE WALL.  
8-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EACH WALL.

**3** OPTIONAL AUGER ANCHOR DETAIL  
SCALE: N.T.S.



TITEN HD ANCHOR BOLTS (INTO CONCRETE) RE: DETAIL 3 SHEET 3		
WIDTH	LENGTH	QTY
6'	6'-10'	4
6'	12'-20'	6
8'	8'-16'	6
8'	18'-24'	8
10'	10'-16'	6
10'	18'-20'	8
10'	22'-24'	10
12'	12'-18'	8
12'	20'-22'	10
12'	24'	12

- NOTES:**
1. ANCHORS TO BE SIMPSON TITEN HD ANCHORS. ANCHORS MAY BE GALVANIZED OR STAINLESS STEEL.
  2. PROVIDE (1) ANCHOR AT EA. CORNER OF THE BUILDING. THE REMAINING ANCHORS EQUALLY SPACED ALONG THE LENGTH OF THE BUILDING. (1/2 THE REMAINING ANCHORS ON EA. LENGTH SIDE EQUALLY SPACED).

**4** OPTIONAL SIDEWALL BRACKET DETAIL  
SCALE: N.T.S.



Order # \_\_\_\_\_  
Customer: \_\_\_\_\_  
Site Address: \_\_\_\_\_  
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA \_\_\_\_\_

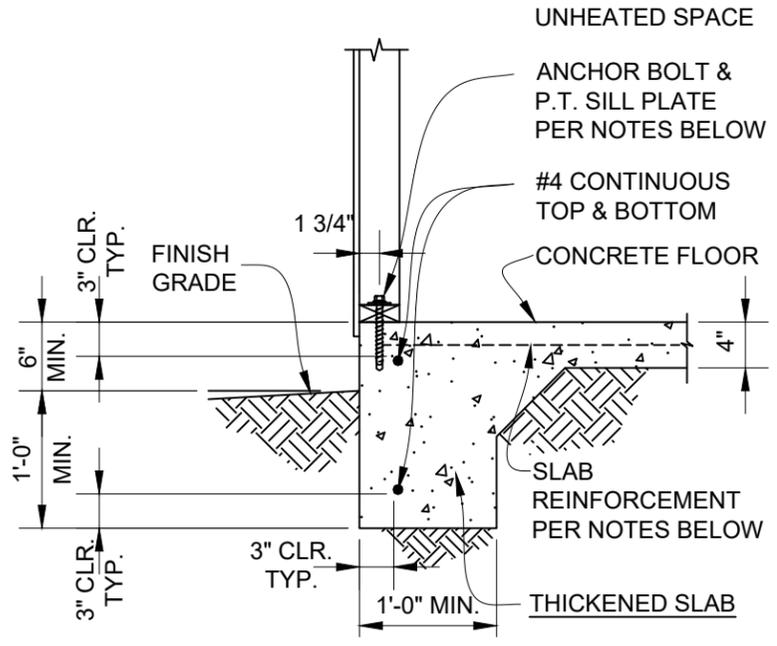
P.O. # \_\_\_\_\_  
Drawn By: PK  
Date: 6/21/21  
Checked By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Scale: N.T.S.

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TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
  
RICHARD J. WILLS, P.E.  
RWILLS@TUFFSHED.COM  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833 EXT. 96315

**TITLE**  
DETAILS  
  
FBC, 7th EDITION (2020)  
162C

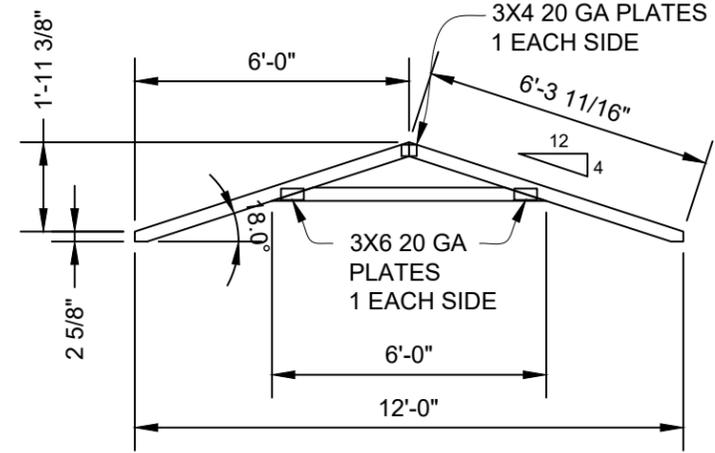
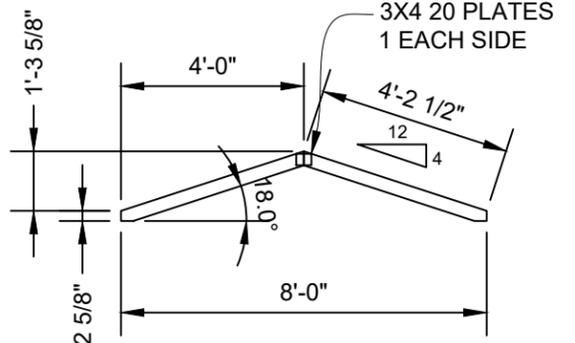
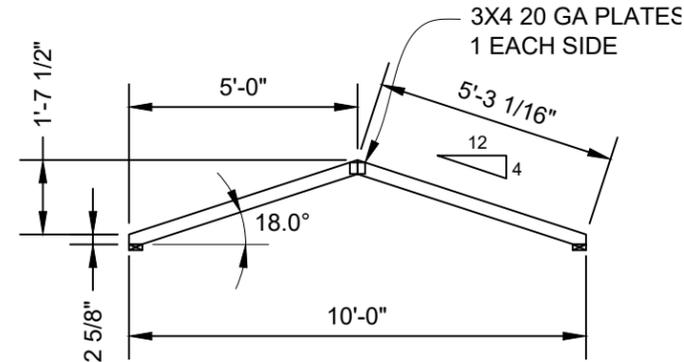
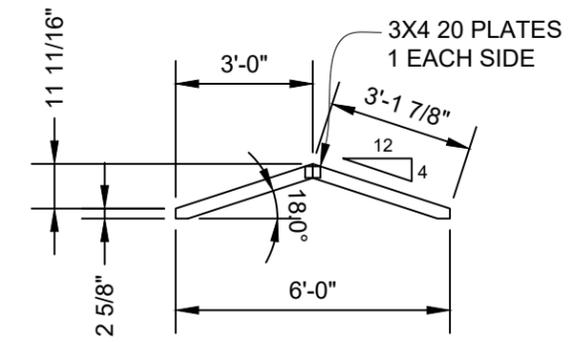
**DRAWING NO.**  
FL-PR-SR-TR-01  
**REV. LEVEL** 01  
**SHEET** 3  
**PAGE** 3 OF 4



- CONTINUOUS FOOTING NOTES**
- TOP OF SLAB TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE WWF 6X6 W1.4xW1.4 . LOCATE AT MID-DEPTH OF SLAB.  
-OR-  
SLAB REINFORCEMENT SHALL BE FIBERMESH 150 OR BLENDED FIBERMESH150. FIBERMESH SHOULD BE DISPERSED UNIFORMLY THROUGH CONCRETE W/ MIN. 1 POUND PER CUBIC YARD OF CONCRETE.
  - ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
  - FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPETENT SOIL, OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1000 PSF AT 12" BELOW GRADE.
  - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH,  $f_c = 2500$  PSI.
  - REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 38 BAR DIAMETERS OR 24" MINIMUM, WHICHEVER IS LARGER.
  - SEISMIC DESIGN CATEGORY: A
    - ATTACH PRESSURE TREATED SOLE PLATE TO THE FOOTING USING 1/2" X 8" LONG SIMPSON TITEN HD ANCHOR WITH WASHERS.
    - EXPANSION BOLTS SHALL BE EMBEDDED AT LEAST 5" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6' OC.
    - THERE SHALL BE A MINIMUM OF 2 BOLTS PER SOLE PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF EACH PIECE.

NOTE: FOR BUILDINGS 18' AND LONGER OR ANY BUILDING DESIGNED AS A 3-SIDED DIAPHRAGM, ADD SIMPSON SSTB16 ANCHORS AND HDU2 HOLD DOWNS AT EACH CORNER OF THE END WALLS. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**1** OPTIONAL CONCRETE FOUNDATION DETAIL  
SCALE: N.T.S.



**DESIGN LOADS:**  
 TOP CHORD LIVE LOAD = 20 PSF  
 TOP CHORD DEAD LOAD = 10 PSF  
 COLLAR TIE DEAD LOAD = 5 PSF

**MAXIMUM DEFLECTION (12 FT. SPAN)**  
 VERT LL: 0.06 in.  
 VERT TL: 0.08 in.

**NOTES:**  
 FBC, 7th EDITION (2020)  
 ANSI/TPI 1-2014  
 TRUSSES TO BE SPACED @ 24" OC  
 MATERIAL TO BE 2X4 SPRUCE PINE FIR GRADE #2 OR BETTER  
 PLATES ARE TO BE PRESSED IN THE WOOD PER TPI.

REP MEMBER INCREASE: YES  
 LUMBER D.O.L.: 1.25

**WIND:**  
 ASCE 7-16, 162 mph, Exposure C, D.O.L.=1.60

PLATES ARE MANUFACTURED BY EAGLE METAL PRODUCTS,  
 ICC-ES #ESR-1082.

**6' SPAN**  
 REACTIONS:  
 MAX. VERTICAL: 180 LBS.  
 MAX. UPLIFT: -195 LBS.

**NOTE:**  
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 12FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

**8' SPAN**  
 REACTIONS:  
 MAX. VERTICAL: 240 LBS.  
 MAX. UPLIFT: -245 LBS.

**NOTE:**  
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 14FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

**10' SPAN**  
 REACTIONS:  
 MAX. VERTICAL: 300 LBS.  
 MAX. UPLIFT: -310 LBS.

**NOTE:**  
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 20FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

**12' SPAN**  
 REACTIONS:  
 MAX. VERTICAL: 390 LBS.  
 MAX. UPLIFT: -400 LBS.

**NOTE:**  
 TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 24FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING THIS TRUSS ARE TO DO SO IN ACCORDANCE TO THE RECOMMENDATIONS OF THE LATEST VERSION OF THE BCSI.



Order #: \_\_\_\_\_  
 Customer: \_\_\_\_\_  
 Site Address: \_\_\_\_\_  
 Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

P.O. # \_\_\_\_\_  
 Drawn By: PK  
 Date: 6/21/21  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Scale: N.T.S.

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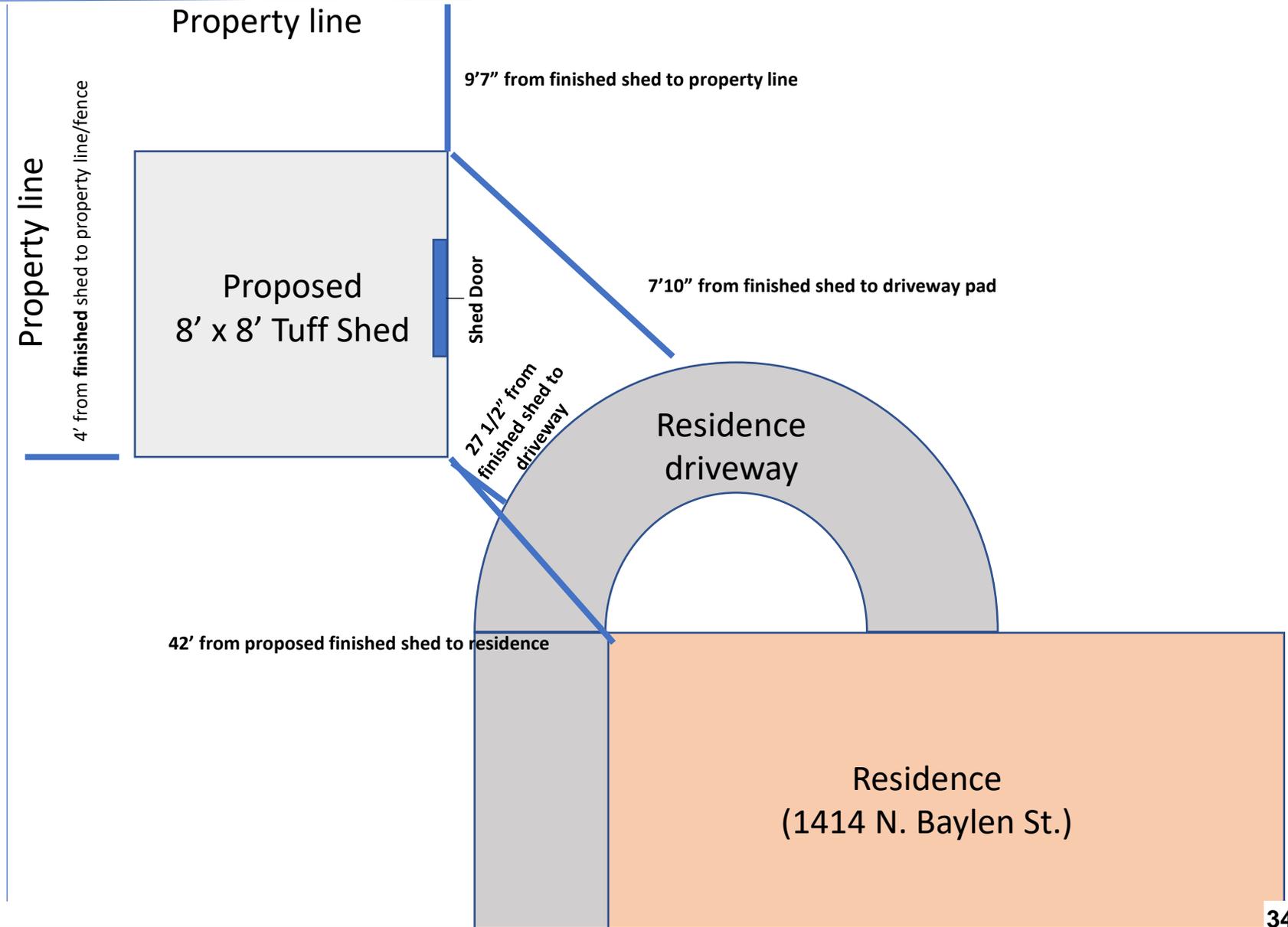
**TITLE**  
 TRUSS DETAILS  
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 162C

**DRAWING NO.**  
 FL-PR-SR-TR-01

**REV. LEVEL** 01

**SHEET** 4

**PAGE** 4 OF 4





**From:** [Savannah Hudson](#)  
**Sent:** Friday, May 26, 2023 3:14 PM  
**To:** [Adrienne Walker](#)  
**Cc:** [Gregg Harding](#)  
**Subject:** Re: [EXTERNAL] 1414 North Baylen Street Pensacola, FL 32501 / ARB Application

---

The vertical siding is staying.

The roof pitch of primary home is unknown.

Max floor elevation is 4". Customer is responsible for any coverings such as plants, lattice, or stones around the bottom of the shed once we receive a passed final building inspection.

Photo is attached as to what the customer is willing to do.



*Savannah Hudson*

Tuff Shed, Inc. - Permit Technician

Factory 600 - Mobile, AL

Direct: 251-244-4537

---

**From:** Adrienne Walker <AWalker@cityofpensacola.com>  
**Sent:** Thursday, May 25, 2023 10:23 AM  
**To:** Savannah Hudson <shudson2@TUFFSHED.com>  
**Cc:** Gregg Harding <GHarding@cityofpensacola.com>  
**Subject:** RE: [EXTERNAL] 1414 North Baylen Street Pensacola, FL 32501 / ARB Application



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00461

Architectural Review Board

6/15/2023

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**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

613 E. Romana Street  
Pensacola Historic District / Zone HR-2 / City Council District 6  
New Construction of a Primary and Accessory Structure

### **BACKGROUND:**

Christy Cabassa is seeking approval for a new two-story, wood pile supported primary structure and accessory garage with a second-story apartment. The finished floor elevation of the residence will be at 12 feet above sea level. The residence will have a true stucco exterior painted in the color Snowbound and trim in the color Touch of Grey, a vented Hardie board crawlspace, and an architectural asphalt shingle roof. The proposed windows are Windsor Pinnacle black metal wood clad with true divided lites, the front door is custom stained wood with impact glass, and the garage doors are Haas eight-panel insulated steel 2000 series painted in the color Touch of Grey. The project includes hardscaping with pavers, a Hardie board or pressure treated fence and landscape wall, and exterior lighting. This residence is in the brick structures district, Type II Cottage section of Aragon in a Coastal Caribbean style and has been approved by the Aragon ARB.

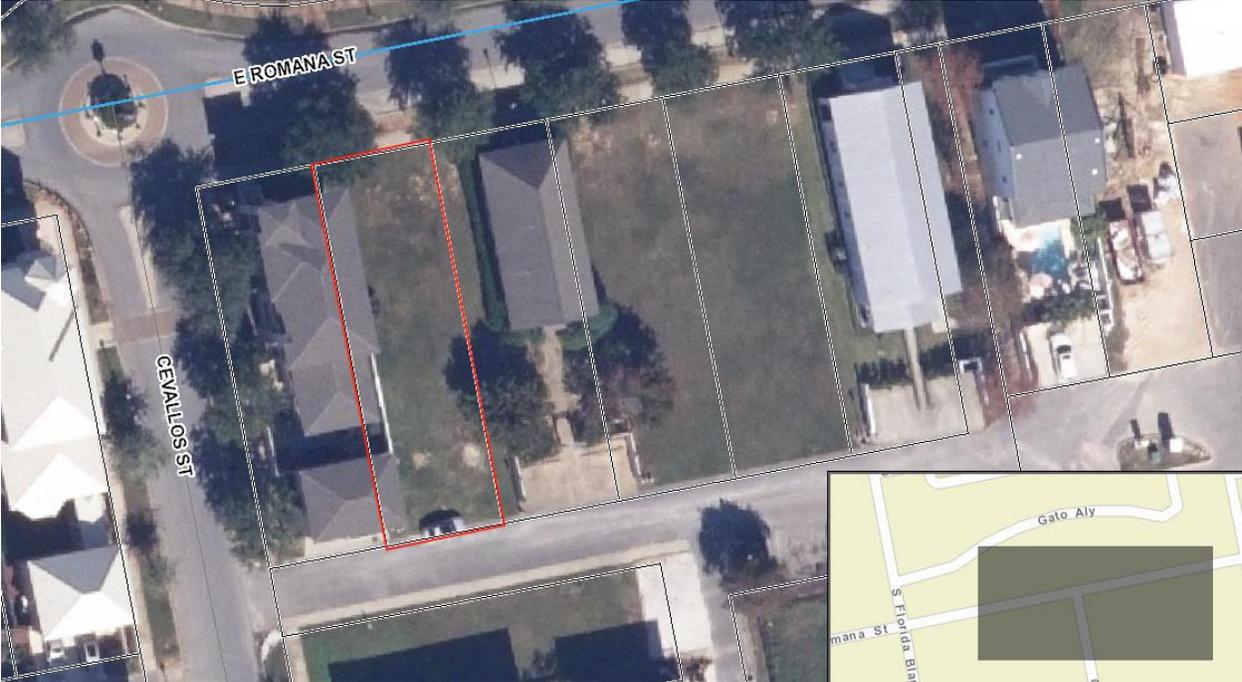
Please find attached all relevant documentation for your review.

### RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)e. Historic zoning districts: HR-1, HR-2 and HC-2; Regulations and guidelines for any development within the historic zoning districts.

Sec. 12-3-10(1)h. New construction in the historic district.

613 E. Romana Street





**Architectural Review Board Application  
Full Board Review**

Application Date: May 12, 2023

**Project Address:** 613 Romana Street  
**Applicant:** Christy Cabassa, Architect for Ashley and Brian Keigley  
**Applicant's Address:** 1189 Mary Lou Lane Gulf Breeze, Florida 32563  
**Email:** christy931@mchsi.com Phone: 850-712-5788  
**Property Owner:** Brian and Ashley Keigley 850-454-6299 keigley@gmail.com

**District:**  **PHD**  **NHPD**  **OEHPD**  **PHBD**  **GCD**  
(If different from Applicant)

Application is hereby made for the project as described herein:

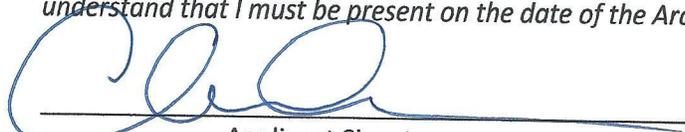
- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

The project is for a new 2 story, wood pile supported house and Garage with an apartment. The house is in an AE flood zone with a preliminary flood zone of AE 9' with a 3' free board. The FFE was set at 12' for the preliminary flood zone. The exterior shall be true stucco with a vented Hardi crawlspace and architectural asphalt shingles. The house is in the brick structures district and the style is Coastal Caribbean variant as approved by the Aragon ARB. the house is 3304 sf and the garage is 700sf. There is a courtyard and small pool.

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

  
Applicant Signature

MAY 12, 2023  
Date

**Architectural Review Board Application  
Full Board Review**



Application Date: May 12, 2023

**Project Address:** 613 Romana Street  
**Applicant:** Christy Cabassa, Architect for Ashley and Brian Keigley  
**Applicant's Address:** 1189 Mary Lou Lane Gulf Breeze, Florida 32563  
**Email:** christy931@mchsi.com Phone: 850-712-5788  
**Property Owner:** Brian and Ashley Keigley 850-454-6299 keigley@gmail.com

**District:**  PHD  NHPD  OEHPD  PHBD  GCD  
(If different from Applicant)

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- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

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Applicant Signature

MAY 12 2023  
Date

**Planning Services**  
 222 W. Main Street \* Pensacola, Florida 32502  
 (850) 435-1670  
 Mail to: P.O. Box 12910 \* Pensacola, Florida 32521

# Keigley Residence Aragon

## 613 East Romana Lot 2 Block M

## Type II Cottage HR-2



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley  
Residence  
Aragon

613 East Romana  
Lot 2 Block M

Type II  
Cottage  
HR-2

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS :

City ARB Submittal  
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

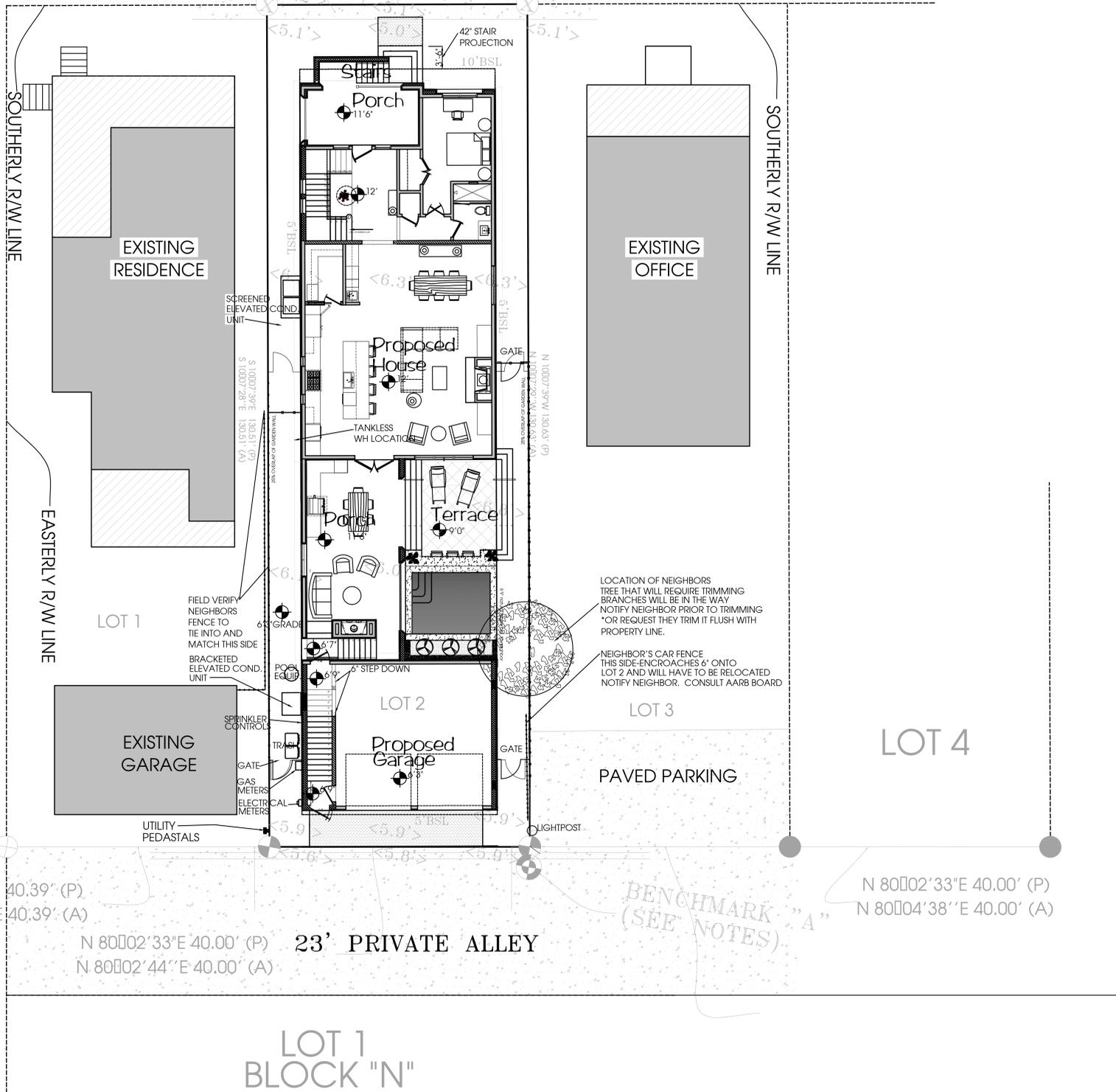
Application

# 613 E. ROMANA STREET

(55' RIGHT OF WAY)

S 79°52'21"W 40.00' (P)  
S 79°52'21"W 40.00' (A)

CEVALLOS STREET  
(56' RIGHT OF WAY)



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ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley  
Residence  
Aragon

613 East Romana  
Lot 2 Block M

Type II  
Cottage  
HR-2

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REVISIONS :

City ARB Submittal  
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Area Siteplan

SHEET NO. :

AS1-1

Area Siteplan  
Scale: 1/8"=1'-0"



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

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613 East Romana  
Lot 2 Block M

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HR-2

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REVISIONS :

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DRAWN BY : CLC

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PROJECT NO.

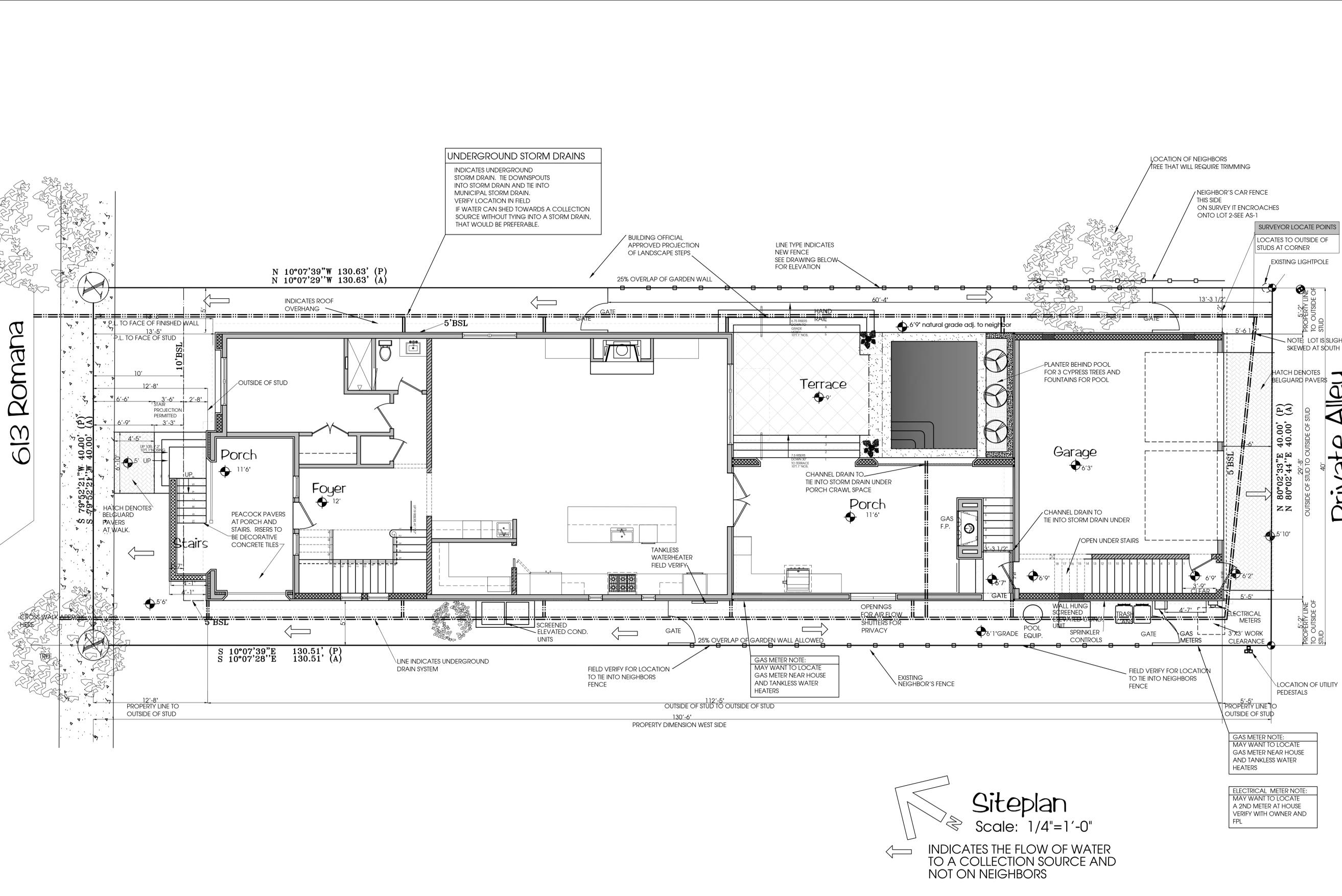
DATE :

SHEET TITLE :

Siteplan

SHEET NO. :

AS1-2



**Siteplan**  
Scale: 1/4"=1'-0"  
INDICATES THE FLOW OF WATER  
TO A COLLECTION SOURCE AND  
NOT ON NEIGHBORS

**FEMA Note**  
NOTE: 12' WILL BE THE NEW FEMA REQUIREMENT ON THE NEW FLOODMAPS TO BE ADOPTED IN 2023 OR IN THE NEAR FUTURE. THE PRELIMINARY FLOODMAP IS AE9' WITH 3' FREEBOARD.

**Electrical Meter Note**  
IF HOUSE IS CONSTRUCTED AFTER PRELIMINARY FLOODMAP IS ADOPTED WITH A REQD. 12' FOR FLOOD, THEN ELECTRICAL METER SHALL BE LOCATED ON THE REAR PORCH IF CURRENT LOCATION IS NOT ACCEPTABLE.

**Lot Coverage Calculations**  
LOT SIZE 5200SF  
3900 SF IMPERVIOUS ALLOWED  
3782 SF IMPERVIOUS ACTUAL  
1300SF PERVIOUS REQUIRED  
1418 SF PERVIOUS ACTUAL  
73% IMPERVIOUS  
27% PERVIOUS

**House Calculations**  
GROUND FLOOR 1567SF GROSS  
GROUND FLOOR 1439 SF NET  
SECOND FLOOR 1737 SF GROSS  
SECOND FLOOR 1611 SF NET  
174 SF GROSS FRONT PORCH  
496 SF GROSS BACK PORCH  
500 SF TERRACE AND POOL  
46 SF FRONT STAIRS  
700 SF GROSS GARAGE GROSS FOOTPRINT/GROUND LEVEL  
700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

SHEET TITLE :  
Siteplan  
SHEET NO. :  
AS1-2





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CERTIFICATION :

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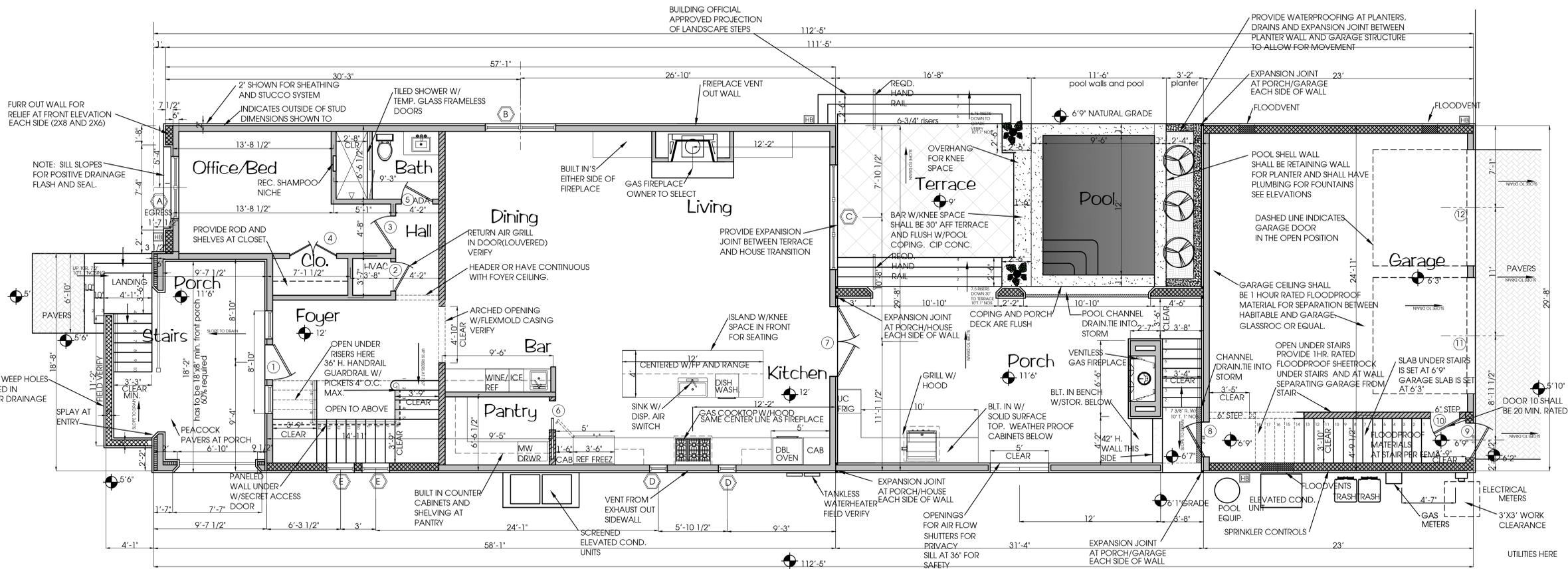
DATE :

SHEET TITLE :

Ground  
Floorplans

SHEET NO. :

A1-1



Ground Floor Plan  
Scale 1/4" = 1'-0"

FLOOR PLAN NOTES

- DOOR CASING DIMENSIONS  
DOORS HAVE BEEN LOCATED TO ALLOW FOR CASING AND PAINTED SHEETROCK. LOCATE SWITCHES AND OUTLETS SO THEY CLEAR CASING.
- ACCESSORIES  
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF TOILET PAPER HOLDERS, TOWEL HOLDERS AND HOOKS.
- SHELVING AND RODS  
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF WOOD SHELVING AND METAL RODS IN CLOSETS.
- POCKET DOOR FRAMING  
VERIFY POCKET DOOR LOCATIONS AND REQUIRED FRAMING. IF CONFLICTS, CONSULT OWNER/ARCHITECT. 6" WALLS ARE SHOWN FOR POCKET DOORS. Provide quality doors and hardware.
- CONFLICTS IN THE FIELD  
WHEN THERE IS A CONFLICT IN THE FIELD WITH THE DRAWINGS, CONTRACTOR AND/OR SUB SHALL IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR RESOLUTION.
- BLOCKING  
PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, SHELVING, TV MOUNTS, BARN DOOR SLIDING DOORS, ETC.
- SHOWER DRAINS  
VERIFY WITH OWNER IF ROUND STANDARD DRAIN OR LINEAR DRAINS ARE REQUIRED AT SHOWERS
- GARAGE SEPARATION REQUIREMENTS:  
Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal. Wall between house and garage shall also be 1 hour rated Type X floodproof material-5/8" Certainteed GlassRoc or Equal.
- DOOR FROM GARAGE RATINGS  
Door from garage to guesthouse stairs shall be 20 minute rated fiberglass. All material in garage is required to be floodproof to comply with FEMA AE requirements..
- FLOODVENTS  
Floodvents are required 1 square inch of vent per 1 square foot of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com Engineered FEMA Compliant Flood Vent or Equal. Prior to construction verify size and quantity and manufacturer to make sure block openings are sufficient and that quantity and size will comply with required 1 square inch per 1 square foot of Gross Area (to include walls). Bottom of vent shall be no greater than 12" above the finish floor elevation. Vents are shown on elevations. Coordinate with structural plans.  
House and Porches are 2783 sf - 2783 si required for floodvents for house. Enclosed garage space is 700 sf which includes the outer walls. 700 si required for floodvents.
- CRAWLSPACE VENTS  
At elevated foundation provide Crawl space vents to comply with Florida Residential code. 1 sf of opening per 150sf of enclosed.  
House and Porches, Terraces and pool are 2783 sf /150 sf =19 sf required x 144si/sf = 2736 si  
An access door to all spaces enclosed is shown on west elevations. Vents shall be provided continuously at foundation walls to allow the flow of air. In addition in these areas there shall be 1 square inch per 1 square foot of floodvents to meet the Flood requirement. Open crawl space vents may count towards the Floodvent calculation. Engineered Floodvents cannot count towards crawl space as they are not open for the flow of air.  
\*FEMA requirements for flood are greater than the crawlspace. Therefore use 2783 si for venting required.

HOUSE CALCULATIONS

GROUND FLOOR 1567SF GROSS  
GROUND FLOOR 1439 SF NET  
SECOND FLOOR 1737 SF GROSS  
SECOND FLOOR 1611 SF NET  
174 SF GROSS FRONT PORCH  
496 SF GROSS BACK PORCH  
500 SF TERRACE AND POOL  
46 SF FRONT STAIRS  
700 SF GROSS GARAGE GROSS FOOTPRINT/GROUND LEVEL  
700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

LEGEND

- (X) DOOR IDENTIFICATION
- (X) WINDOW IDENTIFICATION
- HB HOSEBIB LOCATION

WALL LEGEND

- EXTERIOR WALL-6" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB, WITH R19 BLOWN IN BATTS OR MINERAL WOOL AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (4" STUD FURRED OUT)  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB, WITH W/ 2X4 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING. 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (8" STUD FURRED OUT)  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB, WITH W/ 2X4 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING. 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH SIDE AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..
- EXTERIOR WALL-8" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISONYME INSULATION AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..
- 4" INTERIOR STUD  
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- 6" INTERIOR STUD ALIGN WITH GROUND FLOOR EXTERIOR WALL  
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)  
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR STAIR WALL-8" STUDS (SEE STRUCTURAL)  
2X8 P.T. EXTERIOR STUDS WITH DUROCK, 2 COATS WRB, WITH TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..

VERIFY WITH STRUCTURAL WALLS REQUIRED TO BE SHEAR WALLS WITH PLYWOOD.



Christina Lee Cabassa  
ARCHITECT

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1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley  
Residence  
Aragon

613 East Romana  
Lot 2 Block M

Type II  
Cottage  
HR-2

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REVISIONS :

City ARB Submittal  
May 12, 2023

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PROJECT NO.

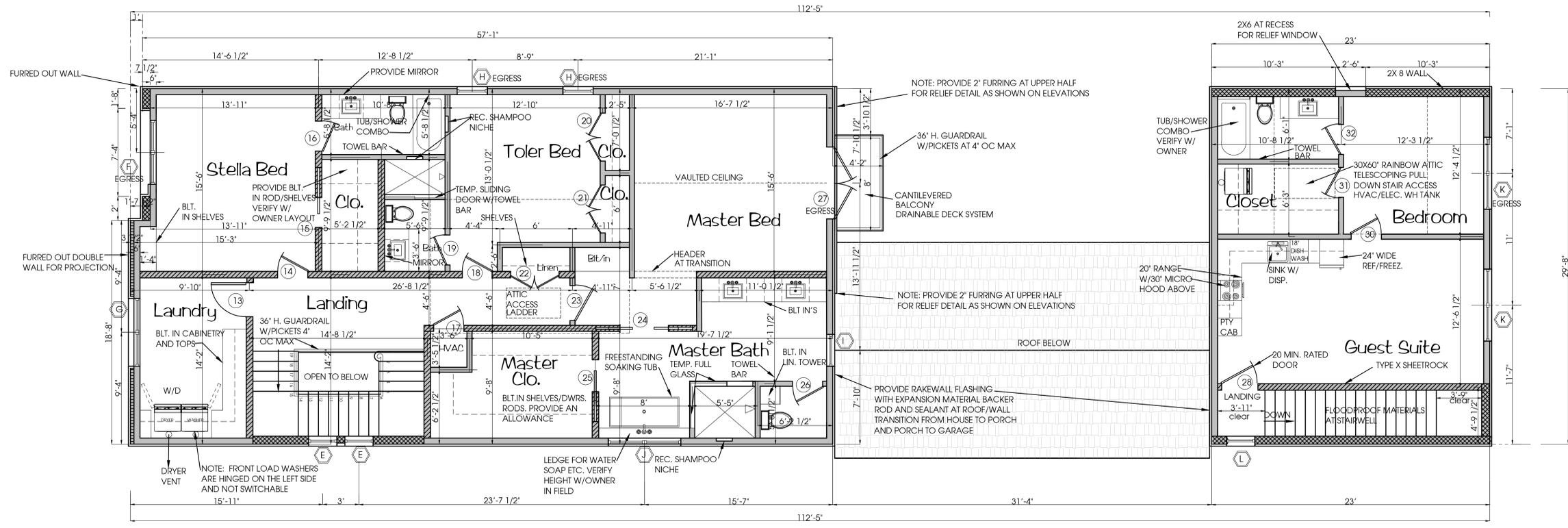
DATE :

SHEET TITLE :

Second  
Floorplans

SHEET NO. :

A1-2



Second Floor Plan  
Scale 1/4"=1'-0"

FLOOR PLAN NOTES

- DOOR CASING DIMENSIONS  
DOORS HAVE BEEN LOCATED TO ALLOW FOR CASING AND PAINTED SHEETROCK. LOCATE SWITCHES AND OUTLETS SO THEY CLEAR CASING.
- ACCESSORIES  
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF TOILET PAPER HOLDERS, TOWEL HOLDERS AND HOOKS.
- SHELVING AND RODS  
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF WOOD SHELVING AND METAL RODS IN CLOSETS.
- POCKET DOOR FRAMING  
VERIFY POCKET DOOR LOCATIONS AND REQUIRED FRAMING. IF CONFLICTS, CONSULT OWNER/ARCHITECT. 6" WALLS ARE SHOWN FOR POCKET DOORS. Provide quality doors and hardware.
- CONFLICTS IN THE FIELD  
WHEN THERE IS A CONFLICT IN THE FIELD WITH THE DRAWINGS, CONTRACTOR AND/OR SUB SHALL IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR RESOLUTION.
- BLOCKING  
PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, SHELVING, TV MOUNTS, BARN DOOR SLIDING DOORS, ETC.
- SHOWER DRAINS  
VERIFY WITH OWNER IF ROUND STANDARD DRAIN OR LINEAR DRAINS ARE REQUIRED AT SHOWERS
- GARAGE SEPARATION REQUIREMENTS:  
Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal. Wall between house and garage shall also be 1 hour rated. Type X floodproof material-5/8" Certainteed GlassRoc or Equal.
- DOOR FROM GARAGE RATINGS  
Door from garage to guesthouse stairs shall be 20 minute rated fiberglass. All material in garage is required to be floodproof to comply with FEMA AE requirements.
- FLOODVENTS  
Floodvents are required 1 square inch of vent per 1 square foot of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com Engineered FEMA Compliant Flood Vent or Equal. Prior to construction verify size and quantity and manufacturer to make sure block openings are sufficient and that quantity and size will comply with required 1 square inch per 1 square foot of Gross Area (to include walls). Bottom of vent shall be no greater than 12" above the finish floor elevation. Vents are shown on elevations. Coordinate with structural plans.  
House and Porches are 2783 sf - 2783 si required for floodvents for house. Enclosed garage space is 700 sf which includes the outer walls. 700 si required for floodvents.
- CRAWLSPACE VENTS  
At elevated foundation provide Crawl space vents to comply with Florida Residential code. 1 sf of opening per 150sf of enclosed.  
House and Porches, Terraces and pool are 2783 sf /150 sf =19 sf required x 144si/sf = 2736 si  
An access door to all spaces enclosed is shown on west elevations. Vents shall be provided continuously at foundation walls to allow the flow of air. In addition in these areas there shall be 1 square inch per 1 square foot of floodvents to meet the Flood requirement. Open crawl space vents may count towards the Floodvent calculation. Engineered Floodvents cannot count towards crawl space as they are not open for the flow of air.  
\*FEMA requirements for flood are greater than the crawlspace. Therefore use 2783 si for venting required.

HOUSE CALCULATIONS

GROUND FLOOR 1567 SF GROSS  
GROUND FLOOR 1439 SF NET  
SECOND FLOOR 1737 SF GROSS  
SECOND FLOOR 1611 SF NET  
174 SF GROSS FRONT PORCH  
496 SF GROSS BACK PORCH  
500 SF TERRACE AND POOL  
46 SF FRONT STAIRS  
700 SF GROSS GARAGE GROSS FOOTPRINT/GROUND LEVEL  
700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

LEGEND

- DOOR IDENTIFICATION
- WINDOW IDENTIFICATION
- HOSEBIB LOCATION

WALL LEGEND

- EXTERIOR WALL-6" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH R19 BLOWN IN BATS OR MINERAL WOOL AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (4" STUD FURRED OUT)  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH W/ 2X4 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFTR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (8" STUD FURRED OUT)  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH W/ 2X8 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFTR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH SIDE AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-8" STUDS  
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISONYNE INSULATION AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.
- 4" INTERIOR STUD  
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- 6" INTERIOR STUD ALIGN WITH GROUND FLOOR EXTERIOR WALL  
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)  
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR STAIR WALL-8" STUDS (SEE STRUCTURAL)  
2X8 P.T. EXTERIOR STUDS WITH DUROCK, 2 COATS WRB. WITH TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.

VERIFY WITH STRUCTURAL WALLS REQUIRED TO BE SHEAR WALLS WITH PLYWOOD.



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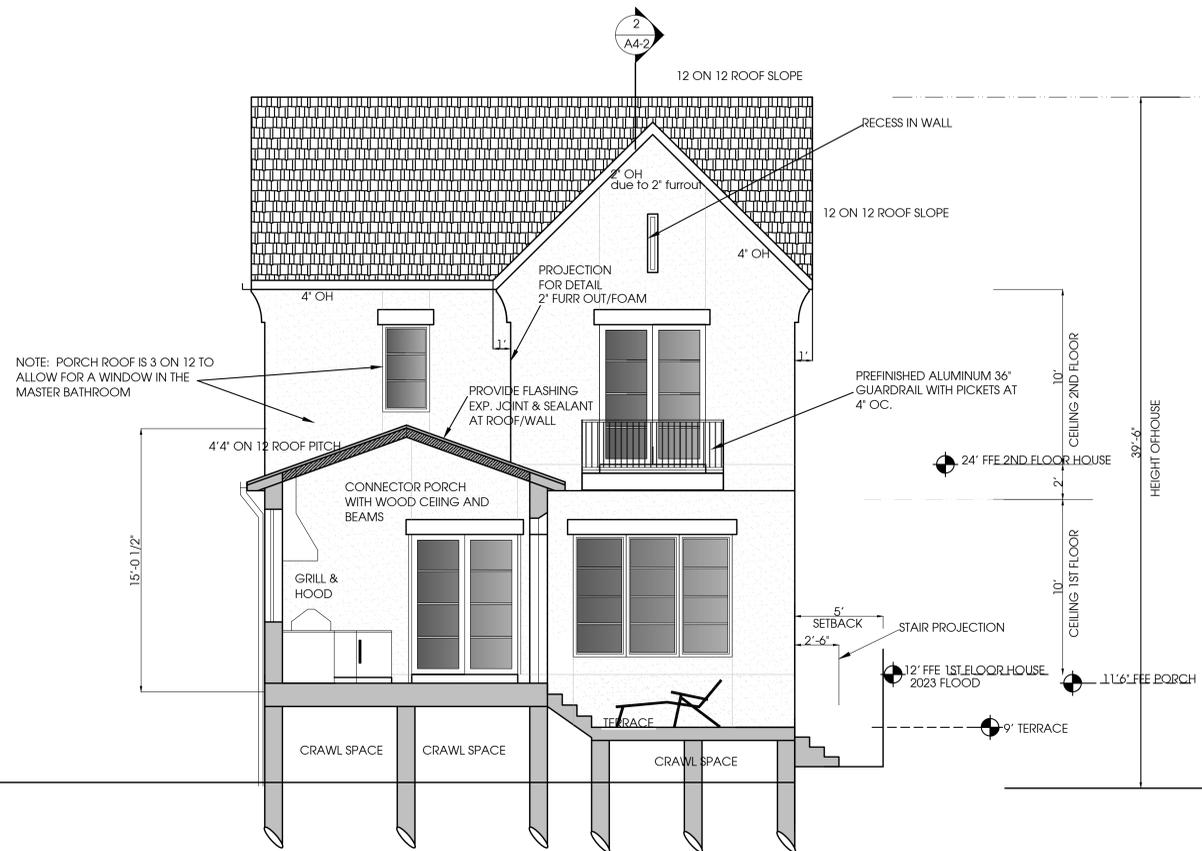
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Elevations

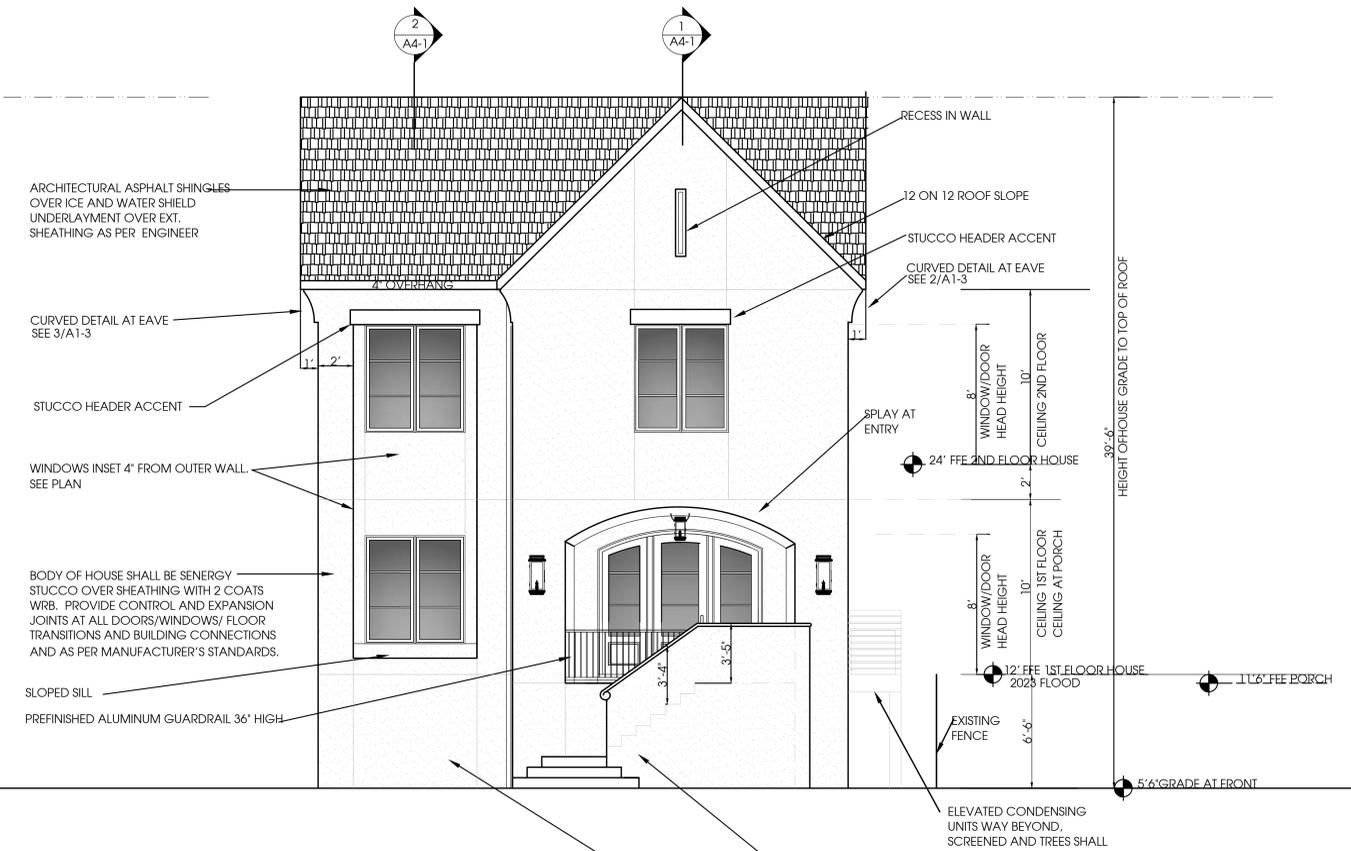
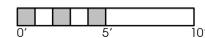
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A2-1



South Elevation-Courtyard

Scale: 1/4"=1'-0"



North Elevation (Front on Romana)

Scale: 1/4"=1'-0"



GENERAL NOTES FOR ELEVATIONS

1. PROVIDE EXPANSION JOINTS AT ALL FLOOR CHANGES, DISSIMILAR MATERIALS, MOVEMENT JOINTS, SUBSTRATE CHANGES.
2. PROVIDE CONTROL JOINTS WHERE AREA IS 144SF MAX. MAXIMUM LENGTH IS 18'.
3. PROVIDE SEALANT AT ALL WINDOWS, DOORS, LIGHTS, ELECTRICAL OUTLETS, HOSEBIBS, DRYER VENTS, ETC. ALL PENETRATIONS.
4. BACKER ROD AND SEALANT AND FLASHING REQUIRED AT ALL DOOR AND WINDOW OPENINGS.
5. INSTALL STUCCO SYSTEM AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS AND AS PER INDUSTRY STANDARDS.
6. PROVIDE EXPANSION JOINT BETWEEN REAR PORCH/HOUSE AND REAR PORCH GARAGE GUEST HOUSE, AT ALL RETAINING AND POOL WALLS NEAR THE HOUSE, DECKS, TO PROVIDE FLEX FOR MOVEMENT BETWEEN DIFFERENT STRUCTURES.

EXTERIOR PROPOSED MATERIALS

EXTERIOR BODY: SENERGY STUCCO  
COLOR: SW SNOWBOUND 7004

EXTERIOR HEADER TRIM: SENERGY STUCCO  
COLOR: SW TOUCH OF GREY 9549

WINDOWS: WINDSOR PINNACLE METAL WOOD CLAD W/ SIMULATED TRUE DIVIDED LITE  
COLOR: BLACK/IMPACT GLASS

FRONT DOOR: STAINED WOOD WITH IMPACT GLASS  
SPECIES & STAIN COLOR: WHITE OAK/LIGHT STAIN

GARAGE DOORS: MFTR: HAAS INSULATED STEEL 2000 SERIES STYLE: 8 PANELS  
COLOR: SW TOUCH OF GREY 9549

CRAWL SPACE: VENTED PAINTED 2X HARDI BOARDS HORIZONTAL AS "LATTICE"  
COLOR: SW TOUCH OF GREY 9549

RAILING: PREFINISHED ALUMINUM  
COLOR: BLACK

ROOF: ARCHITECTURAL ASPHALT SHINGLES MFTR: ATLAS PINNACLE IMPACT  
COLOR: PEWTER

SOFFITS: SENERGY STUCCO FOR SOFFIT  
COLOR: SW SNOWBOUND 7004

FASCIA/FLASHING/DRIP: PREFINISHED ALUMINUM  
COLOR: WHITE

GUTTER AND DOWNSPOUTS: PREFINISHED ALUMINUM  
COLOR: WHITE

PORCH SHUTTERS: PREFINISHED ALUMINUM OR PAINTED PVC  
COLOR: SW WILLIAMS TOUCH OF GREY 9549

PORCH CEILINGS: STAINED WOOD (OR SENERGY WOOD PRODUCT)  
SPECIES: WHITE OAK  
COLOR: WHITE WASHED STAIN

EXTERIOR DRIVE AND SIDEWALK: PAVERS  
MANUFACTURER/STYLE BELGUARD HOLLAND PAVER  
COLOR: SLATE

TERRACE AND PORCH:  
MANUFACTURER/STYLE: PEACOCK PAVERS  
COLOR: RICE WHITE

FENCE AND LANDSCAPE WALL: HARDIBOARD OR P.T. 2X PAINTED  
COLOR: SW TOUCH OF GRAY 9549

EXTERIOR LIGHTING: ST. JAMES WINNIPEG COPPER OUTDOOR LIGHTING AND  
CHANDELIER: COLOR: DARK BRONZE



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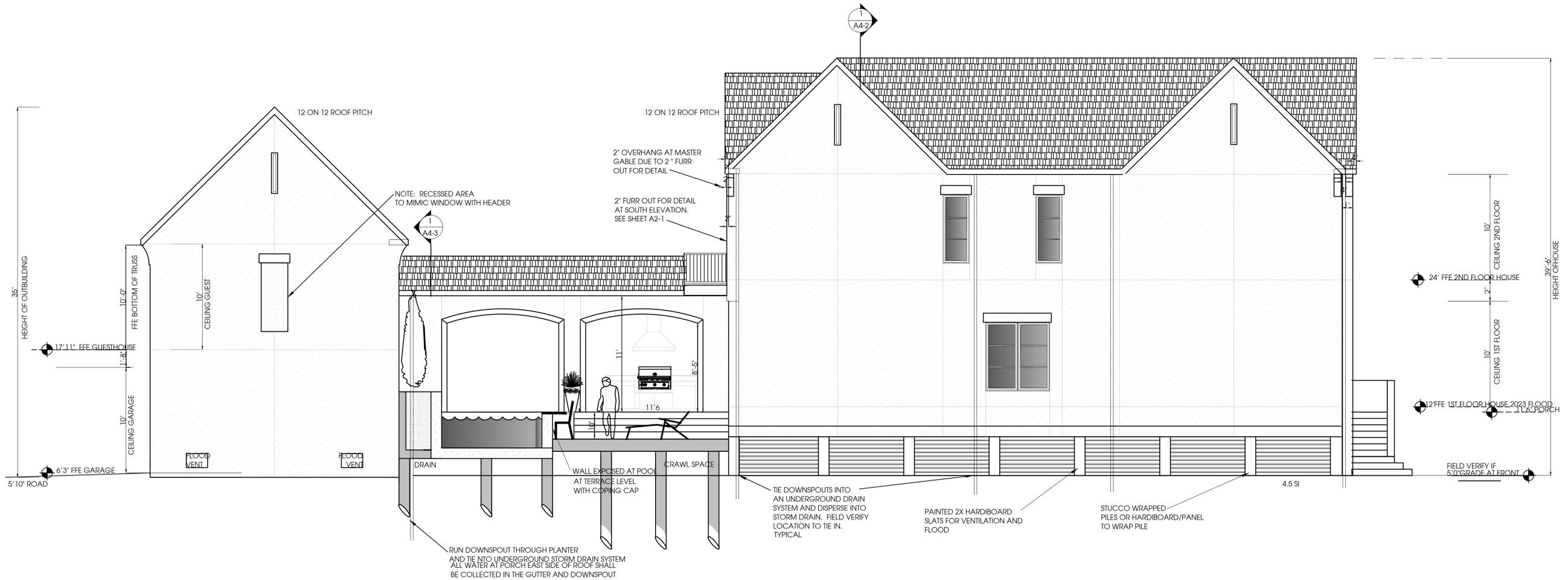
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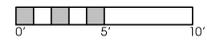
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A2-2



East Elevation

Scale: 1/4"=1'-0"





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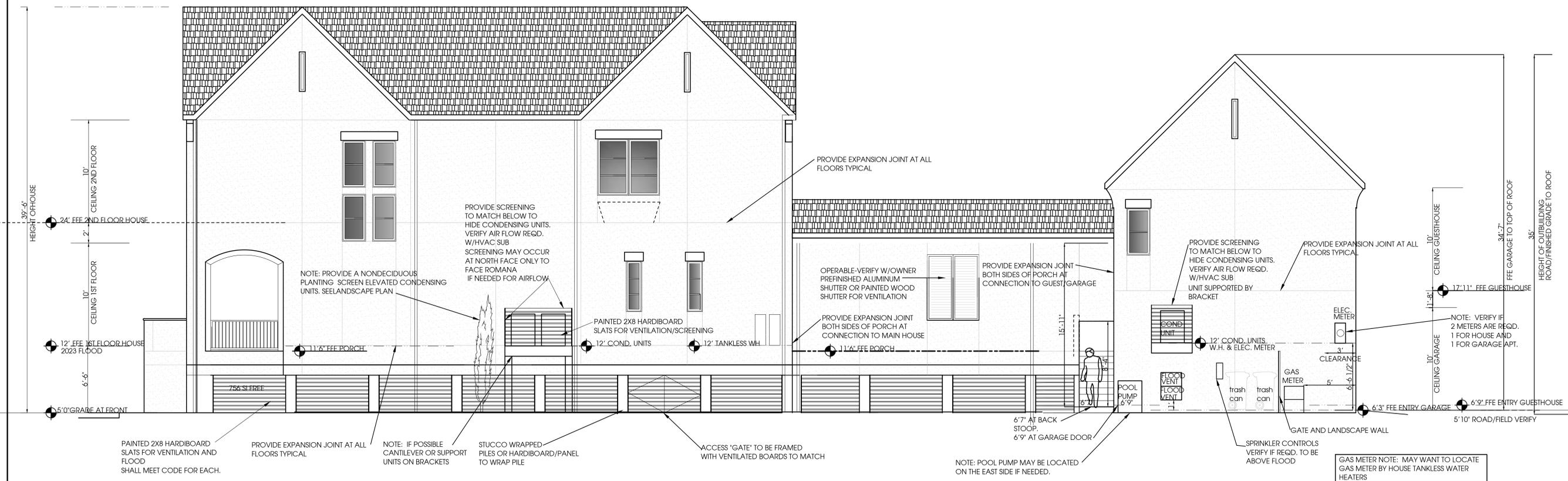
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Elevations

SHEET NO. :

A2-3





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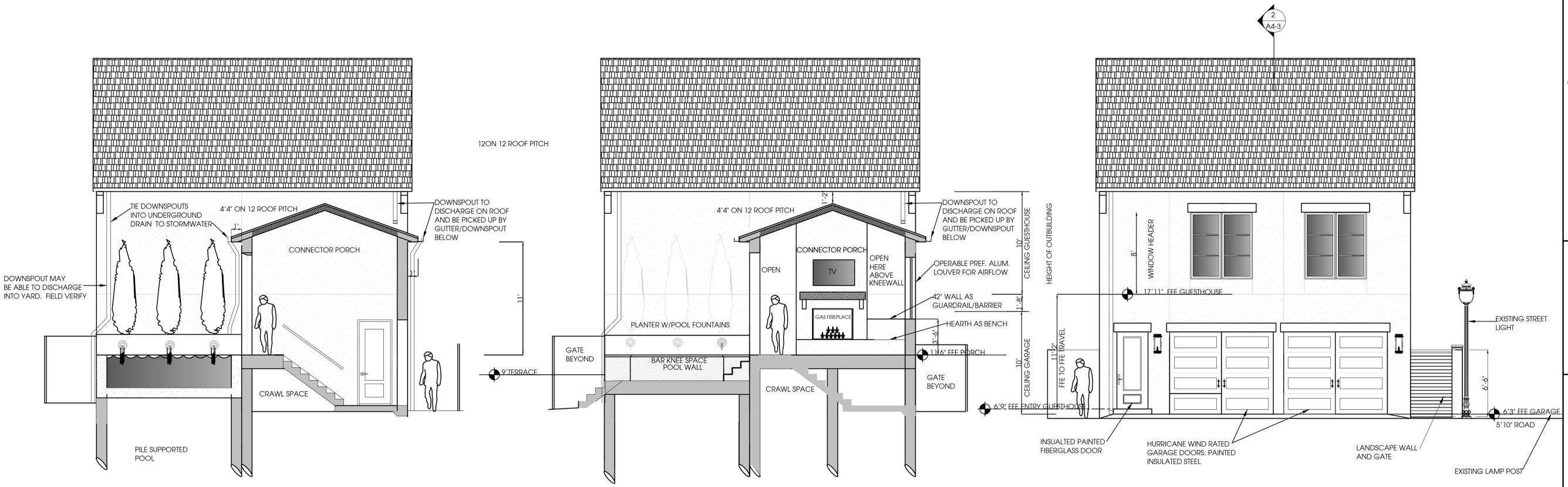
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Elevations

SHEET NO. :

A2-4



Garage Outbuilding Section at Steps

Scale: 1/4"=1'-0"

steps to garage/pool



Garage Outbuilding North Elevation

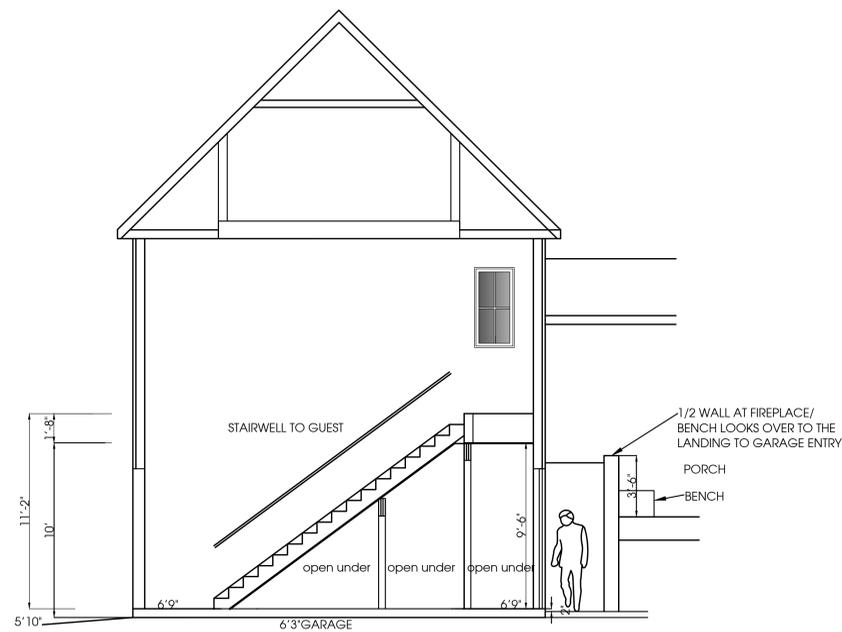
Scale: 1/4"=1'-0"

courtyard/fireplace /terrace



Garage Outbuilding-South Elevation

Scale: 1/4"=1'-0"



Section at Garage Stair looking West

Scale: 1/4"=1'-0"

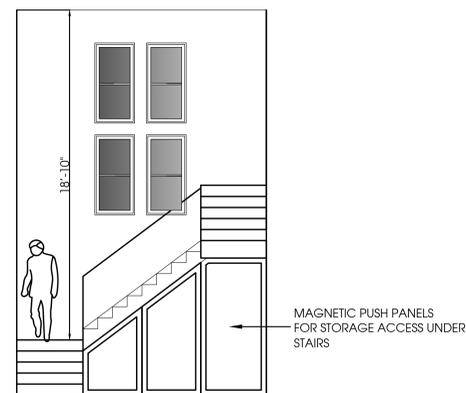
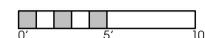


Diagram at Stair looking West

Scale: 1/4"=1'-0"

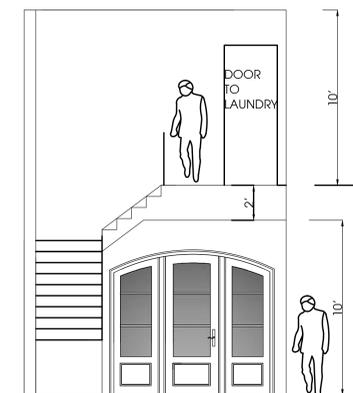
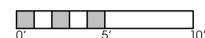
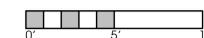
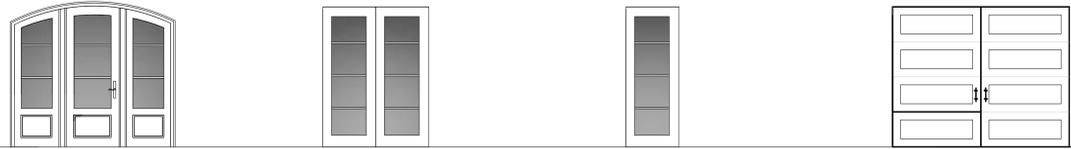


Diagram at Stair looking at Front Door

Scale: 1/4"=1'-0"



# DOOR TYPES



**A** EXTERIOR FRONT DOOR WITH SIDELITES    **B** EXTERIOR FRENCH DOUBLE    **C** EXTERIOR FRENCH    **D** EXTERIOR GARAGE



**E** EXTERIOR    **F** INTERIOR    **G** INTERIOR DOUBLE    **H** INTERIOR LOUVERED

## DOOR NOTES

1. Provide weatherstripping at all doors all sides at exterior doors.
2. Provide floor or wall stops at all door locations. Owner to select style.
3. Provide allowance for nice latchsets/locksets. Emtek hardware or equal. Lever style hardware
4. Owner shall select species on inside face of metal clad doors to be stained
5. Garage door style shown. Impact rated/wind rated Haas Garage door. Insulated steel, painted. 2000 Series.
6. All glass in doors shall be tempered at interior doors where applicable.
7. All exterior door hardware shall be stainless steel such as hinges and butts.
8. Provide sills and flashing at all doors to prevent water intrusion. Seal.
9. Interior doors shall be solid core masonite, painted.
10. Verify prior to ordering with framing that door sizes shown will fit.
11. Doors from Garage to house/guest quarters are required to be 20 min. to comply with the Florida Residential Building Code.
12. Provide Parex Weatherseal at all door rough openings and Dow 795 sealants. Install as per manufacturer's instructions. Provide flashing at all doors per mfr. instructions.
13. Door sizes shown are for doors only, they do not include the frame. Verify with door supplier for required rough openings.

# DOOR SCHEDULE

DOOR MARK	ROOM LOCATION	TYPE/LOCKSET	TYPE	SIZE	MATERIAL	COMMENTS
<b>FIRST FLOOR</b>						
1	FOYER	ENTRY	A	36"X8" W/SIDELITES	STAINED WOOD/IMPACT GLASS	ARCH TO MATCH HOUSE ARCH
2	HVAC	PASSAGE	H	30"X8"	LOUVERED	VERIFY W/HVAC SUB
3	OFFICE	PRIVACY	F	34"X8"	SCM PAINTED	
4	CLOSET	PASSAGE	G	PR 24"X8"	SCM PAINTED	
5	BATH (ADA)	PRIVACY	F	32"X8"	SCM PAINTED	
6	PANTRY	POCKET/PASSAGE	F	30"X8"	SCM PAINTED	
7	KITCHEN	ENTRY	B	PR 36"X8"	METAL CLAD/IMPACT GLASS	
8	GARAGE	ENTRY	E	36"X8"	INSULATED FIBERGLASS	
9	GARAGE	ENTRY	E	36"X8"	INSULATED FIBERGLASS	
10	GARAGE	ENTRY	E	30"X8"	INSULATED FIBERGLASS-20 MINUTE RATED	20 MINUTE RATED
11	GARAGE	OVERHEAD	D	9" WIDE BY 8" HIGH	INSULATED STEEL/MEET WIND CODE	
12	GARAGE	OVERHEAD	D	9" WIDE BY 8" HIGH	INSULATED STEEL/MEET WIND CODE	
<b>SECOND FLOOR</b>						
13	LAUNDRY	PASSAGE	F	34"X8"	SCM PAINTED	
14	STELLA BEDROOM	PRIVACY	F	30"X8"	SCM PAINTED	
15	CLOSET	POCKET PASSAGE	F	30"X8"	SCM PAINTED	
16	STELLA BATH	PRIVACY	F	30"X8"	SCM PAINTED	
17	HVAC	PASSAGE	F OR H	30"X8"	SCM PAINTED	VERIFY W/HVAC SUB IF LOUVERED DOOR REQUIRED
18	TOLER BEDROOM	PRIVACY	F	30"X8"	SCM PAINTED	
19	TOLER BATH	PRIVACY	F	30"X8"	SCM PAINTED	
20	CLOSET	PASSAGE	G	PR 24"X8"	SCM PAINTED	
21	CLOSET	PASSAGE	G	PR 24"X8"	SCM PAINTED	
22	LINENS	PASSAGE	G	PR 24"X8"	SCM PAINTED	
23	MASTER BEDROOM	PRIVACY	F	36"X8"	SCM PAINTED	
24	MASTER BATH	POCKET/PRIVACY	G	PR 24"X8"	SCM PAINTED	
25	MASTER CLOSET	POCKET/PRIVACY	F	32"X8"	SCM PAINTED	
26	MASTER TOILET	PRIVACY	F	30"X8"	SCM PAINTED	
27	MASTER BEDROOM	ENTRY	B	PR 36"X8"	METAL CLAD/IMPACT GLASS	
28	GUEST SUITE ENTRY	ENTRY	F	36"X8"	SCM PAINTED-RATED (OR INSULATED FIBERGLASS)	
29	NOT USED					
30	GUEST BEDROOM	PRIVACY	F	30"X8"	SCM PAINTED	
31	GUEST CLOSET	PRIVACY	F	30"X8"	SCM PAINTED	
32	GUEST BATH	PRIVACY	F	30"X8"	SCM PAINTED	

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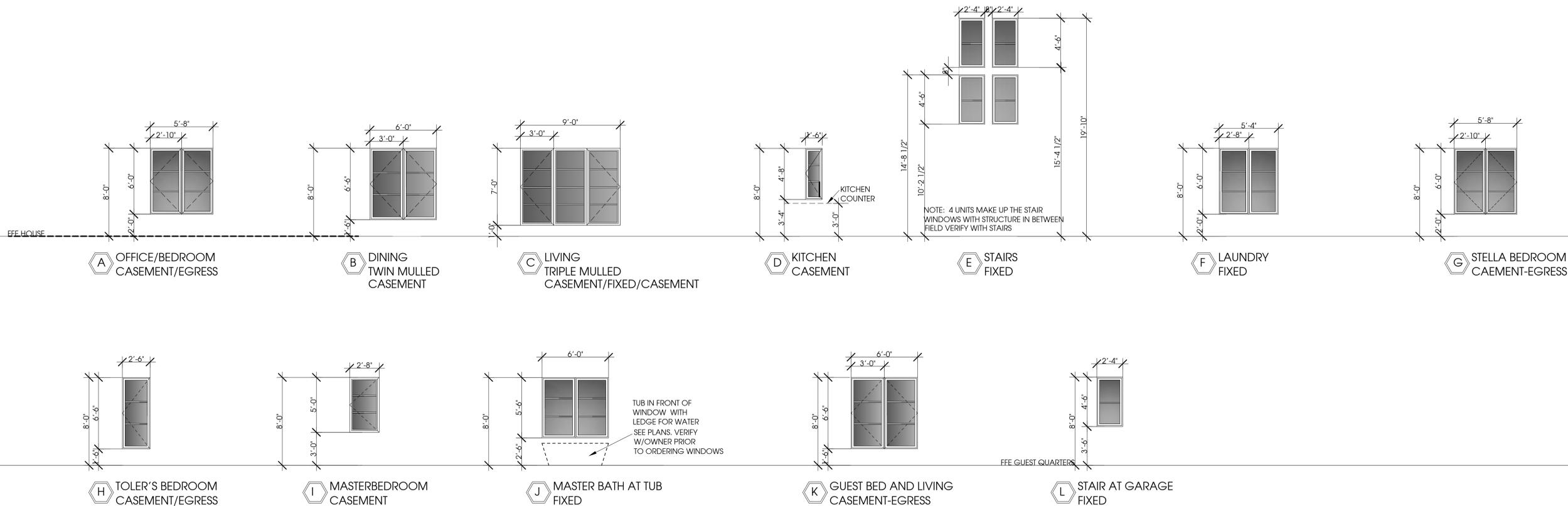
SHEET TITLE :

**Door & Window Schedules**

SHEET NO. :

**A3-1**

# WINDOW TYPES



## WINDOW NOTES

1. PROVIDE SUPPORT MULLION AND TRIM STRIP FOR MULLED WINDOWS.
2. GLASS SHALL BE IMPACT RESISTANT WITH LOW E COATING ON THE 3RD FACE
3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS-VERIFY W/OWNER.
4. WINDOWS SHALL BE SELECTED BY OWNER FOR EACH LOCATION.
5. WINDOWS SHALL COMPLY W/312.2 WINDOW FALL PROTECTION.
6. PROVIDE FLASHING AT ALL WINDOWS AND PROVIDE BACKERROD & SEALANT TO PREVENT WATER INTRUSION. SEE NOTES T1/T2 FOR FLASHING
7. SIZES ARE SHOWN TO HELP W/PRICING. PRICE STANDARD SIZES AS CLOSE TO SIZES SHOWN AS POSSIBLE. OWNER TO APPROVE ALL WINDOW STYLES AND MANUFACTURER.
8. WINDOWS: WINDSOR PINNACLE METAL CLAD WINDOWS W/ APPLIED DIVIDED LITE.
9. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS W/OWNER PRIOR TO ORDERING AND COORDINATE REQUIRED OPENINGS WITH WITH FRAMER. IF ANY ADJUSTMENTS ARE MADE THAT REQUIRE STRUCTURAL REVISIONS, BOTH OWNER AND ARCHITECT SHALL BE ADVISED.
10. WINDOW SILL HEIGHTS ARE SHOWN. VERIFY WITH OWNER/ARCHITECT DURING FRAMING IF DISCREPANCIES
11. PROVIDE PAREX WEATHERSEAL AT ALL WINDOWS ROUGH OPENINGS WITH DOW 795 SEALANTS.
12. CONTRACTOR, OWNER AND WINDOW SUPPLIER SHALL MEET AND REVIEW ALL WINDOWS, WINDOW TYPES, HARDWARE FINISH, OPERATOR TYPE FOR OPENING, SIDE FOR CRANK AND HINGE PRIOR TO ORDERING AND TO VERIFY COLOR



Site Looking South



Site Looking East



Site Looking West



Site Looking North



Improved Property to the East/Office



Improved Property to the West/Residence



East Neighbors Tree encroaching which will have to be trimmed or removed. Car wall is encroaching onto Keigley's property as indicated on the survey



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HR-2

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HEREIN CONSTITUTE ORIGINAL AND UN-  
PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT THE WRITTEN CONSENT  
OF THE ARCHITECT.

REVISIONS :

City ARB Submittal  
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

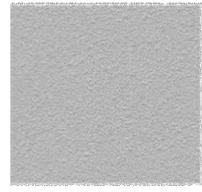
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SHEET NO. :

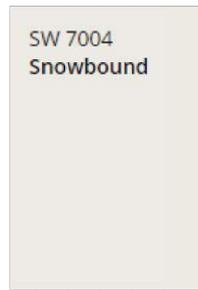
Site Photos

Keigley ARB Selections 613 Romana Aragon

Wall Surface and Paint Colors



Stucco Finish Sand Fine (not color)



House Color



Trim Color & Garage Door

Stucco Finish

Exterior Lighting



St. James The Winnipeg Copper Outdoor Lantern & Chandelier  
Wall Sconce & Front Door Lantern (In Dark Bronze)



Front Door -Custom built



Style of Front door (no vertical mullions)



Color of Wood Finish

Christina Lee Cabassa  
ARCHITECT

Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

Railing Color & Example



Railing Paint Color



Railing Style-Prefinished Aluminum

House Numbers (In Dark Bronze)



Number Style



Color: Dark Bronze

Back Yard French Doors



Windsor Pinnacle Metal Clad Doors  
Mullions 5/8" Putty TDL



Black

Color: Black

PROJECT - LOCATION :

Keigley  
Residence  
Aragon

613 East Romana  
Lot 2 Block M

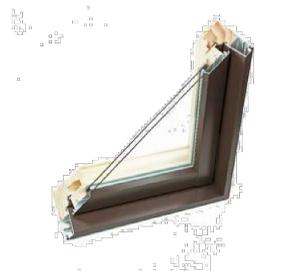
Type II  
Cottage  
HR-2

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Windows



Windsor Pinnacle Metal Clad  
w/applied mullions both sides



Style of window  
Casement 5/8" Putty TDL



Black

Color: Black

Garage Doors



Haas 2000 Series Insulated Steel Doors  
8 panel



Paint color

Roof Material



Atlas Manufacturer Architectural Asphalt Shingle  
Color: Pewter

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

PRODUCTS 1

Porch Ceilings



Ceiling Style



Ceiling Wood Color and Stain  
Weather washed Coating

Exterior Pavers Porches & Backyard



Peacock Pavers Style



Color: Rice White

Front Stair Riser Tile Example



Concrete Decorative Tile at Riser

Gutter and Downspout Style



Ogee Style gutter



Color: White

Landscape Fence style

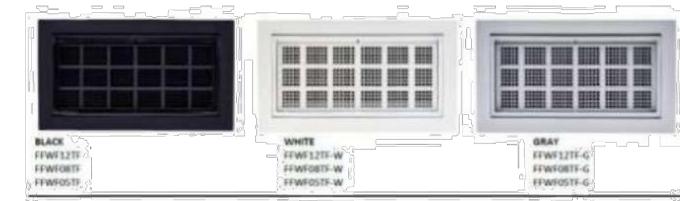


Style of Fence



Color of Fence

Floodvents Venting



FEMA Approved for Floodvents at Garage

Color: White

Pavers at sidewalk and Driveway



Belguard Holland Pavers



Color: Slate

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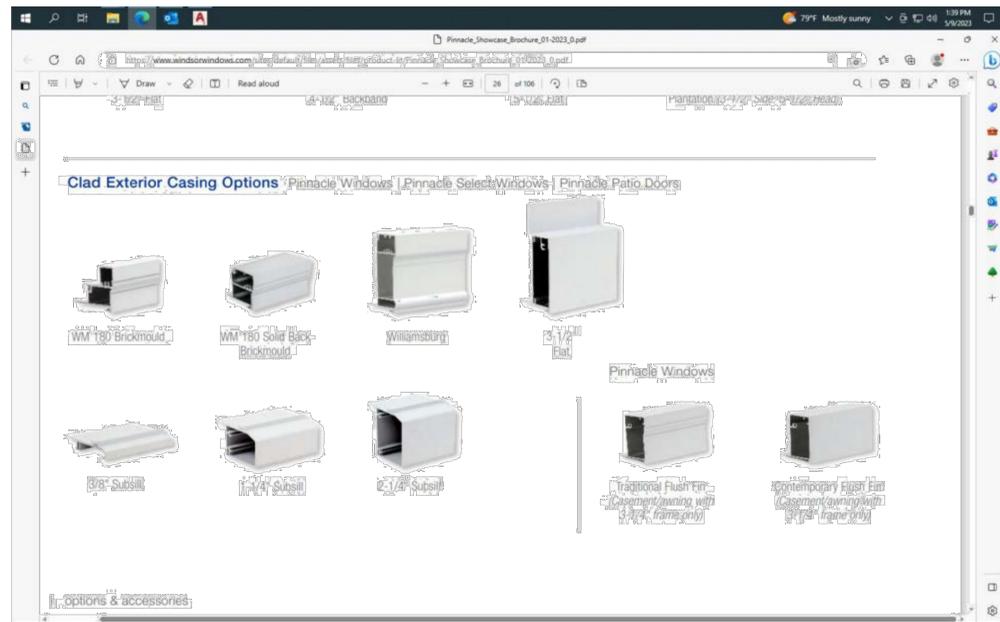
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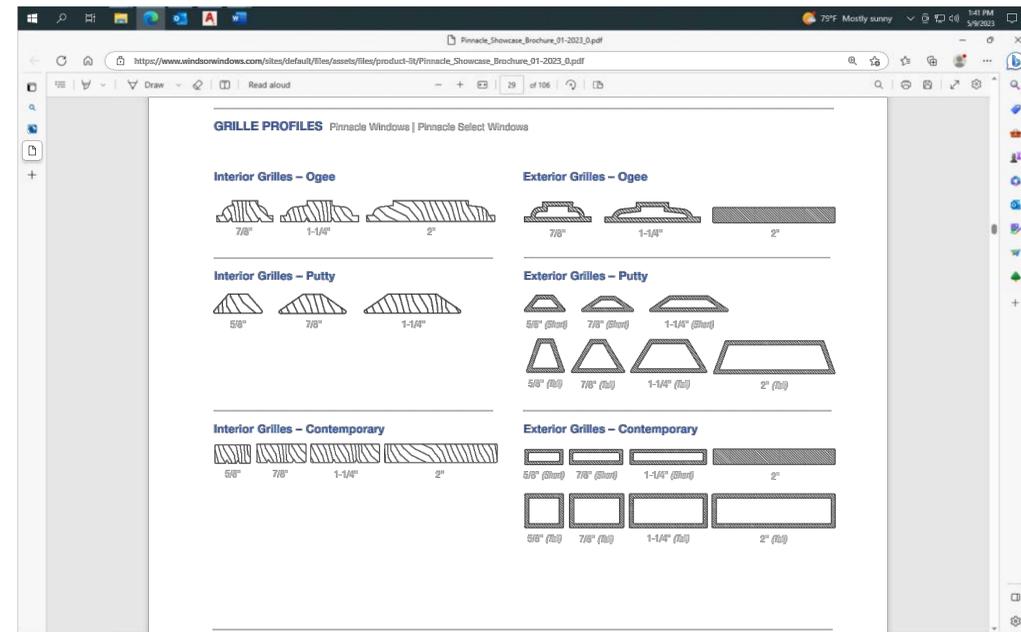
**PRODUCTS 2**

## WINDOW EXTERIOR CASING



EXTERIOR CASING IS TRADITIONAL FLUSH FIN

## WINDOW AND BACK DOOR GRILLE PROFILE



Grille Profile is 5/8" Putty



## Pinnacle Swinging Patio Door

### Features and Benefits

- Stainless steel multi-point locking hardware option for added security
- Integral structural astragal allows for doors up to 12 feet wide to be placed in a single frame, which decreases the potential for air and water infiltration
- "Easy Adjust" hinge system for effortless operation and correction after installation
- Wept sill system to eliminate water infiltration
- Dual-seal frame weatherstripping at panel face and edge improves air and thermal performance
- Taller sill provides excellent water performance and design pressure ratings
- Foam-backed glazing bead prevents paint and stain from bleeding
- Active stiles constructed of an LVL core material for added strength and stability
- Panel exterior matches Pinnacle product line with consistent depth from glass to face of the panel for a clean, complementary appearance
- Panels available in traditional French or contemporary narrow stile
- Low clearance (ADA-approved) sill options
- In-swing and out-swing options available
- 1/2 and 3/4 lite available with flat or split panel option
- Seg-top available

### Sizes

- Five standard heights: 6'8", 6'10", 8'0", 9'0" and 10'0" (9'0" and 10'0" doors available in French panels only)
- Custom sizes available



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### Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone sealant
- Custom and special glass types available

### Exterior Trim

- Clad doors available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; primed doors available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing
- All prime door trims are cellular PVC

### Grilles

- Windsor Divided Lite (WDL) = simulated divided lite
- 7/8" and 1-1/4" Perimeter Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 3-3/8" Simulated Mid Rail
- Standard and custom grille patterns available

### Weatherstripping

- Rigid, weatherable PVC or urethane foam encased in polyethylene film
- In-swing and out-swing doors feature bottom heavy-duty, self-adjusting sweep

### Finishes

- Interior - Available in Clear Select Pine, Douglas Fir or Natural Alder
  - Primed: white or black
  - Painted: white, black or gray
  - Stained: 9 color options
- Exterior - Clad doors available in heavy-duty extruded aluminum cladding; primed doors offer an assortment of traditional cellular PVC trim options

### Clad Colors

- All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments
- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

### Hardware

- Classic or contemporary handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass, antique brass, faux bronze, oil rubbed bronze and black; Euro handle available in satin nickel and black

### Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar

9/2022



## Pinnacle Select Impact Casement & Awning

### Features and Benefits

- Clear Select Pine, Douglas Fir or Natural Alder interior
- Constructed with 2-5/16" wide stiles and rails that add structural stability and provide a more massive architectural appearance
- Robust 2-3/16" thick sash adds dimension and strength
- Double mortise and tenon sash joints fastened with screws for strength and stability
- Select casement and awning available in two styles
  - Operating: standard crank
  - Push-out: lever handle
- Retractable screens available on operating and push-out products; pull bar, cartridge case and frame of screen produced from same wood species as window



- Full-width extension jambs standard
- Push-out hardware consists of an easy-to-operate lever with cam rollers and keepers; this mechanism provides a multi-point locking system that is standard\*



www.windsorwindows.com

- Push-outs equipped with adjustable friction hinges and lock rollers in both casement and awning
- Friction device on larger push-out awning maintains sash opening
- Operating casement uses adjustable hinges
- Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- Meets and exceeds building codes for extreme coastal environment conditions
- Laminated glass dampens sounds from traffic, neighbors and the outdoors
- Preserve protective film standard

### Sizes

Available in hundreds of standard and custom sizes

### Glazing

- Glazed with tape and structural glazing sealant
- Cardinal Sea-Storm® LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glass utilizes annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units with optional SGP inner layer; fixed units feature SGP inner layer

### Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" subsill available

### Grilles

- Windsor Divided Lite (WDL) = simulated divided lite
- 7/8" and 1-1/4" Perimeter Grille (NOT available on radius casements)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8" and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Putty WDL

- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary WDL
- 2" Simulated Check Rail
- Standard and custom grille patterns available

### Finishes

- Interior - Available in Clear Select Pine, Douglas Fir or Natural Alder
  - Primed: white or black
  - Painted: white, black or gray
  - Stained: 9 color options
- Exterior - Clad windows feature heavy-duty extruded aluminum cladding on sash and frame

### Clad Colors

- All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments
- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

### Hardware

- Encore folding nesting crank and cover by Truth® available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass. Push-out available in white, black, faux bronze, satin nickel or oil rubbed bronze
- Units come standard with Seacoast upgraded hinges and locking hardware

### Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar

12/2022

Christina Lee Cabassa  
ARCHITECT

Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley  
Residence  
Aragon

613 East Romana  
Lot 2 Block M

Type II  
Cottage  
HR-2

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REVISIONS :

City ARB Submittal  
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

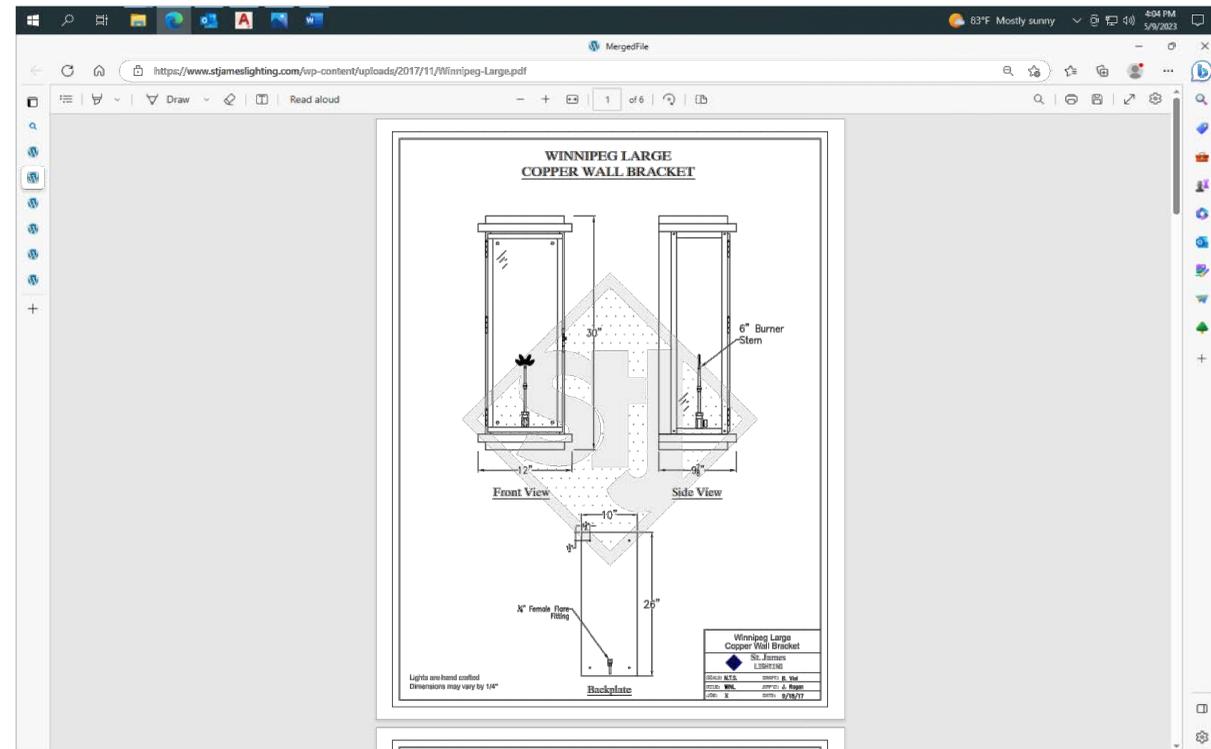
DATE :

SHEET TITLE :

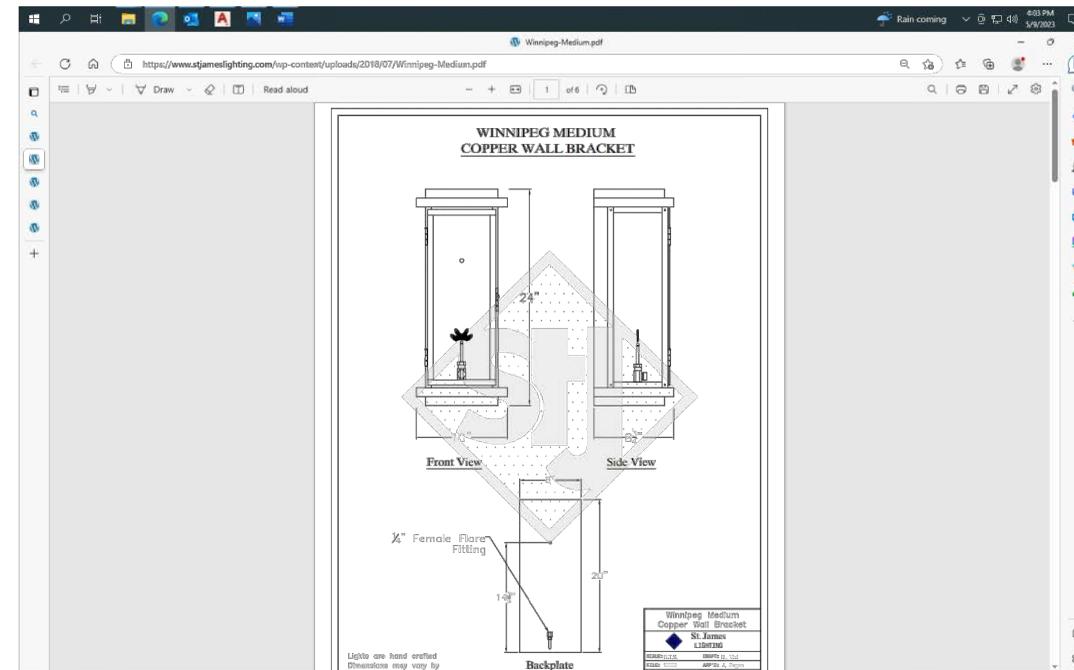
SHEET NO. :

Manufacturer 1

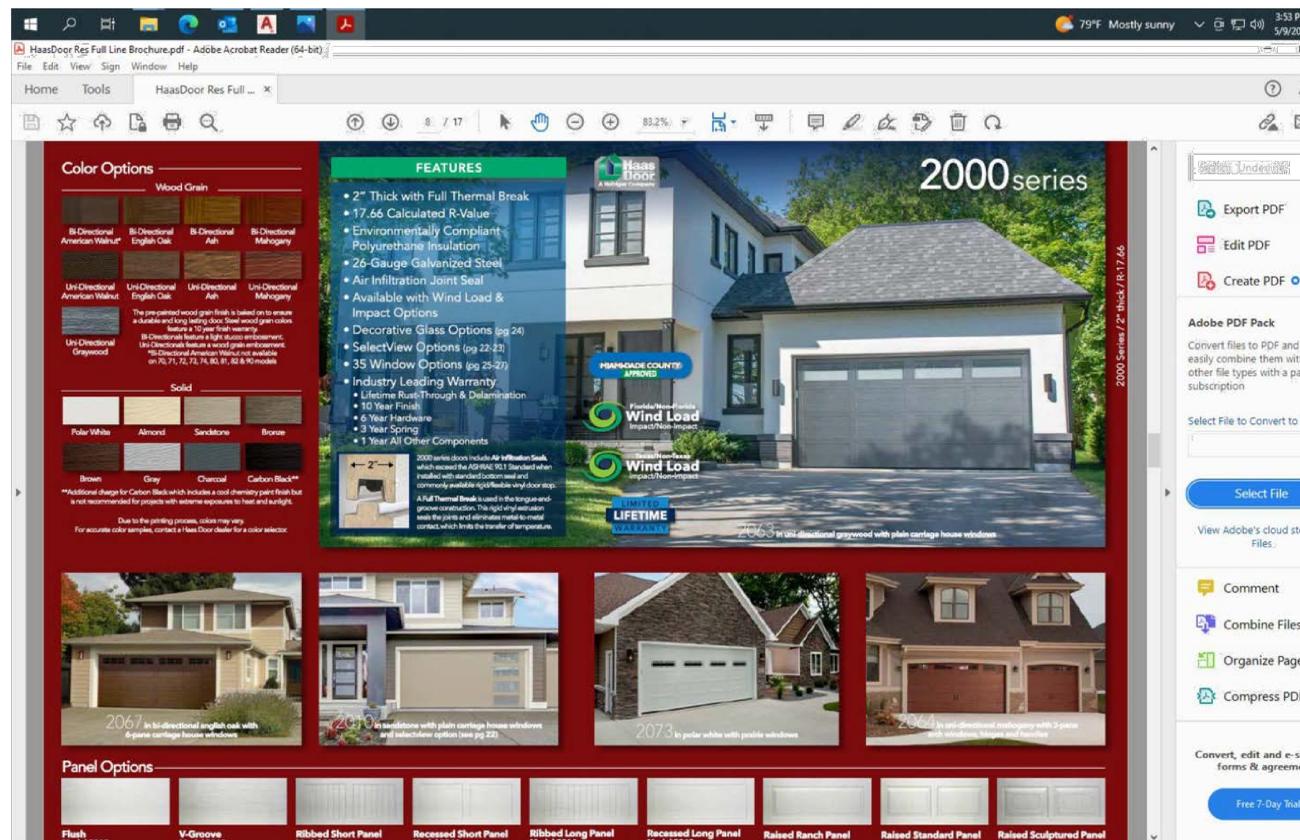
# FRONT LIGHT



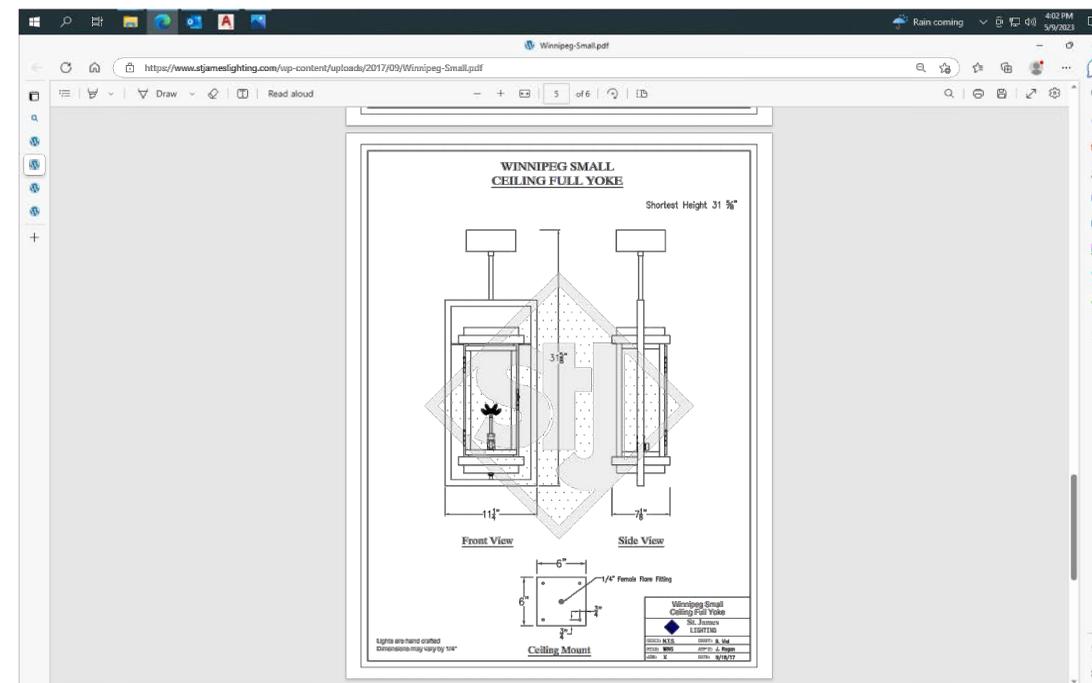
# GARAGE LIGHTS



# GARAGE DOOR SPECS



# FRONT PORCH YOKE LIGHT



Christina Lee Cabassa  
ARCHITECT  
Florida AR0014272  
Florida ID0003615

1189 Mary Lou Lane  
Gulf Breeze, Florida 32563  
Phone/Fax 850-916-9941

CERTIFICATION :

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Lot 2 Block M

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REVISIONS :

City ARB Submittal  
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

Manufacturer 2

## Adrienne Walker

---

**From:** Adrienne Walker  
**Sent:** Tuesday, May 9, 2023 11:36 AM  
**To:** Christy Cabassa; Gregg Harding  
**Cc:** Ashley Keigley; 'Brian Keigley'  
**Subject:** RE: [EXTERNAL] FW: Keigley Construction Document Review

Hi Christy,

The Aragon ARB email correspondence should suffice, and I can include it in your packet as a memo.

The City ARB will require the same information for a complete packet e.g. product information for windows and doors/garage door, window/door schedule, etc. and it probably wouldn't hurt to increase the size of the some of the material imagery just for detail sake. I also suggest including product information/ a brochure for all exterior light fixtures as well.

You are correct, the June 15 ARB meeting deadline for submission is May 25. Providing the complete pdf application ahead of the deadline is always helpful so there is time to review for any last-minute additions. Please let me know if you have any questions.

Thanks,  
Adrienne

**Adrienne Walker, RPA**  
Cultural Resources Coordinator  
Visit us at <http://cityofpensacola.com>  
[222 W Main St.](#)  
[Pensacola, FL 32502](#)  
Office: 850.435.1671  
[awalker@cityofpensacola.com](mailto:awalker@cityofpensacola.com)



***Tell us how we are doing by completing this short [survey](#).***

*Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.*

---

**From:** Christy Cabassa <christy931@mchsi.com>  
**Sent:** Tuesday, May 9, 2023 8:34 AM

**To:** Gregg Harding <GHarding@cityofpensacola.com>; Adrienne Walker <AWalker@cityofpensacola.com>  
**Cc:** Ashley Keigley <akeigley@gmail.com>; 'Brian Keigley' <keigley@gmail.com>  
**Subject:** [EXTERNAL] FW: Keigley Construction Document Review

**THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT**

Gregg and Adrienne

Good Morning!!

Before I submit my final documents on an Aragon project I wanted to be sure this email approval from Aragon ARB would suffice.  
See below.

I had the metal clad windows called out and doors on the drawings and on this ARB selections document.

I have attached to make sure this is what you all will be looking for as well for the material selections.

I hope to submit by Friday or Monday May 15<sup>th</sup>. I believe the deadline is May 25 for the June 15<sup>th</sup> meeting.

Can you please confirm?



*Christy Cabassa, Architect*

1189 Mary Lou Lane phone 850-712-5788 + Gulf Breeze, FL 32563 + email: [christy931@mchsi.com](mailto:christy931@mchsi.com)

Florida Registered Architect AR0014272 Florida Licensed Interior Designer ID0003615

---

**From:** Michael Crawford <[michael@caldwell-assoc.com](mailto:michael@caldwell-assoc.com)>

**Sent:** Friday, May 5, 2023 9:44 AM

**To:** Christy Cabassa <[christy931@mchsi.com](mailto:christy931@mchsi.com)>

**Cc:** 'Brian Keigley' <[keigley@gmail.com](mailto:keigley@gmail.com)>; Ashley Keigley <[akeigley@gmail.com](mailto:akeigley@gmail.com)>; [kelly.wieczorek@gmcnetwork.com](mailto:kelly.wieczorek@gmcnetwork.com);

Michelle MacNeil <[michellemacneil22@gmail.com](mailto:michellemacneil22@gmail.com)>; Nora Bailey <[norabailey52@gmail.com](mailto:norabailey52@gmail.com)>; Susan Moody <[susan@professionalassociationmanagers.com](mailto:susan@professionalassociationmanagers.com)>

**Subject:** RE: Keigley Construction Document Review

Christy – your Construction Document Review application has been approved with the following comments:

1. Please indicate the product line (which determines material composition) of your Windsor windows – they have several that are clad.
2. Please indicate product line of the Haas garage doors – there are 8 different series. Note the carriage style doors are encouraged.
3. PDF packaged worked great – thank you.
4. Please follow up with verification of FEMA minimum flood elevation and if any modifications to the approved plans should be required.
5. Note that this is in the ARB jurisdiction and will need to be presented for approval before its board.

Good luck on your new home.

**Michael Crawford**

AIA, LEED AP, CPTED

(850) 439.3237

michael@caldwell-assoc.com

caldwell-assoc.com



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 23-00462

Architectural Review Board

6/15/2023

---

**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

410 S. Florida Blanca Street  
Pensacola Historic District / Zone HC-1 / City Council District 6  
New Accessible Ramp for a Contributing Structure

**BACKGROUND:**

Carter Quina is seeking approval for a wood accessible ramp connecting to an existing raised porch. The Barkley House is a contributing structure, but the raised porch and restroom/kitchen addition are modern reconstructions. The wood ramp, guard rail, and post caps will be painted white to match the existing with an aluminum brushed grab rail and a paver landing to match existing.

Please find attached all relevant documentation for your review.

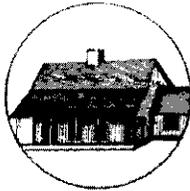
**RECOMMENDED CODE SECTIONS**

Sec. 12-3-10(1) b. Historic and preservation land use district, Historic zoning districts: HR-1, HR-2, HC-1, and HC-2, Character of the district.

Sec. 12-3-10(1)e.8. Paint colors.

Sec. 12-3-10(1)f.11. Restoration, rehabilitation, alterations or additions to existing contributing structures in the historic district, Accessibility ramps and outdoor stairs.

Original  
 Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site # ES00128  
Field Date 9-9-1997  
Form Date 9-9-1997  
Recorder # \_\_\_\_\_

Shaded fields represent the minimum acceptable level of documentation.  
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) BARKLEY HOUSE Multiple Listing (DHR only) \_\_\_\_\_  
Survey Project Name FLORIDA FOLK ARCHITECTURE SURVEY Survey # (DHR only) 21411  
National Register Category (please check one)  building  structure  district  site  object  
Ownership:  private-profit  private-nonprofit  private-individual  private-nonspecific  city  county  state  federal  Native American  foreign  unknown

### LOCATION & MAPPING

Street Number 410 Direction S Street Name FLORIDA BLANCA Street Type Street Suffix Direction S  
Address: \_\_\_\_\_  
Cross Streets (nearest / between) ZARAGOZA AND FLORIDA BLANCA STREET  
USGS 7.5 Map Name PENSACOLA USGS Date 1987 Plat or Other Map TAX ASSESSORS, PENSACOLA  
City / Town (within 3 miles) Pensacola In City Limits?  yes  no  unknown County Escambia  
Township 2S Range 30W Section 46 1/4 section:  NW  SW  SE  NE Irregular-name: \_\_\_\_\_  
Tax Parcel # STATE-OWNED Landgrant OLD CITY TRACT; SITE OF SPANISH COLONIA  
Subdivision Name PENSACOLA HISTORIC DISTR Block 6 Lot 31  
UTM Coordinates: Zone  16  17 Easting        Northing         
Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1821  approximately  year listed or earlier  year listed or later  
Original Use Private Residence (House/Cottage/Cabin) From (year): 1825 To (year): 1966  
Current Use Boardinghouse From (year): 1930 To (year): 1940  
Other Use Community center From (year): 1985 To (year): \_\_\_\_\_  
Moves:  yes  no  unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
Alterations:  yes  no  unknown Date: 1-1-1950 Nature 1972; 1988; REHAB UNDER DIRECTION HPPB  
Additions:  yes  no  unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
Architect (last name first): N/A Builder (last name first): BARKLEY, CHARLES  
Ownership History (especially original owner, dates, profession, etc.) BUILT BY CHARLES BARKLEY, ANGLO SHIP CAPTAIN FOR FRENCH WIFE CLARA GARNIER OF NEW ORLEANS, COMBINES ENGLISH AND FRENCH HOUSE CHARACTERISTICS.  
Is the Resource Affected by a Local Preservation Ordinance?  yes  no  unknown Describe \_\_\_\_\_

### DESCRIPTION

Style French Colonial Exterior Plan Rectangular Number of Stories 3  
Exterior Fabric(s) 1. Drop siding 2. Glazed masonry 3. \_\_\_\_\_  
Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Material(s) 1. Wood shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof secondary strucs. (dormers etc.) 1. Gable dormer 2. \_\_\_\_\_  
Windows (types, materials, etc.) TRIPLE HUNG SASH; WOOD MULTI-PANE  
Distinguishing Architectural Features (exterior or interior ornaments) TURNED WOOD BALUSTERS, DEEPLY CURVED TURNED COLUMNS

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) NONE REMAINING. NOW MUSEUM SETTING. ONCE HAD A COMPLEX OF SEVERAL UTILITARIAN BUILDINGS OF SIMILAR DESIGN ATTACHED WITH A RAISED WALKWAY.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

**DESCRIPTION (continued)**

Chimney: No. 4 Chimney Material(s): 1. Brick 2. \_\_\_\_\_  
Structural System(s): 1. Braced wood frame 2. Brick 3. Masonry - General  
Foundation Type(s): 1. Continuous 2. \_\_\_\_\_  
Foundation Material(s): 1. Brick 2. Stucco  
Main Entrance (stylistic details) MULTI PANE FRENCH DOORS

Porch Descriptions (types, locations, roof types, etc.) THREE OPEN PORCHES AND TWO INCISED PORCHES. SOUTH, EAST AND WEST FACADES. APRON PORCH ON WEST; WRAP AROUND PORCH TO SOUTH, INCISED PORCH ON EAST.

Condition (overall resource condition):  excellent  good  fair  deteriorated  ruinous  
Narrative Description of Resource RARE EXAMPLE OF A RAISED HIGH HOUSE MORE OFTEN FOUND IN THE MISSISSIPPI RIVER VALLEY. MIGHT ALSO BE IDENTIFIED AS AN AMERICAN COTTAGE BECASUE OF THE CENTER HALLWAY, UNUSUAL IN A CREOLE HOUSE OF THIS PERIOD.

Archaeological Remains JUDY BENSE OF UWF EXCAVATED AN HIST. ARCH. LOG CABIN SITE ON  Check if Archaeological Form Completed

**RESEARCH METHODS (check all that apply)**

- FMSF record search (sites/surveys)
- library research
- building permits
- Sanborn maps
- FL State Archives/photo collection
- city directory
- occupant/owner interview
- plat maps
- property appraiser / tax records
- newspaper files
- neighbor interview
- Public Lands Survey (DEP)
- cultural resource survey (CRAS)
- historic photos
- interior inspection
- HABS/HAER record search
- other methods (describe) \_\_\_\_\_

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) \_\_\_\_\_

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?  yes  no  insufficient information  
Appears to meet the criteria for National Register listing as part of a district?  yes  no  insufficient information  
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) SOLE REMAINING COLONIAL CREOLE HIGH HOUSE. SIGNIFICANT FOR HISTORIC AND ARCH. ASSOCIATIONS.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
1. Architecture 3. Maritime history 5. Community planning & development  
2. Ethnic heritage 4. Local 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents  
1) Document type Field maps Maintaining organization Historic Pensacola Preservation Board  
Document description SANBORN MAPS; LOCAL SITE FILES File or accession #'s BY ADDRESS  
2) Document type Photographs Maintaining organization Historic Pensacola Preservation Board  
Document description PHOTO FILES BY ADDRESS File or accession #'s BY ADDRESS

**RECORDER INFORMATION**

Recorder Name DR. DIANA GODWIN Affiliation University of Central FL  
Recorder Contact Information 2086 LAS VEGAS TRAIL, NAVARRE, FL (850) 939-3001  
(address / phone / fax / e-mail)

**Required Attachments**

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

410 S. Florida Blanca



410 S. Florida Blanca Street





**Architectural Review Board Application  
Full Board Review**

Application Date: 5/23/2023

**Project Address:** 410 South Florida Blanca Street Pensacola, FL 32502

**Applicant:** Carter Quina

**Applicant's Address:** 400 West Romana Street Pensacola, FL 32502

**Email:** CQUINA@QGARCHITECTS.COM **Phone:** 850-433-5575

**Property Owner:** UWF Historic Trust

**District:**  **PHD**  **NHPD**  **OEHPD**  **PHBD**  **GCD**  
*(If different from Applicant)*

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**Installation of accessible ramp.**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

  
\_\_\_\_\_  
Applicant Signature

5/23/2023  
\_\_\_\_\_  
Date

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521

# Barkley House Accessible Ramp Addition

## University of West Florida Historic Truste

410 S Florida Blanca Street



Aerial view of Barkley House from the east. The proposed new accessible ramp will be placed north and east of the existing Kitchen which was added to the Barkley House in 2008 to accommodate Restrooms. Zarraggossa Street is to the right and S Florida Blanca Street is beyond.



View of S Florida Blanca Elevation. The new ramp will be located beyond the stair shown on the left. The existing oak tree will remain.



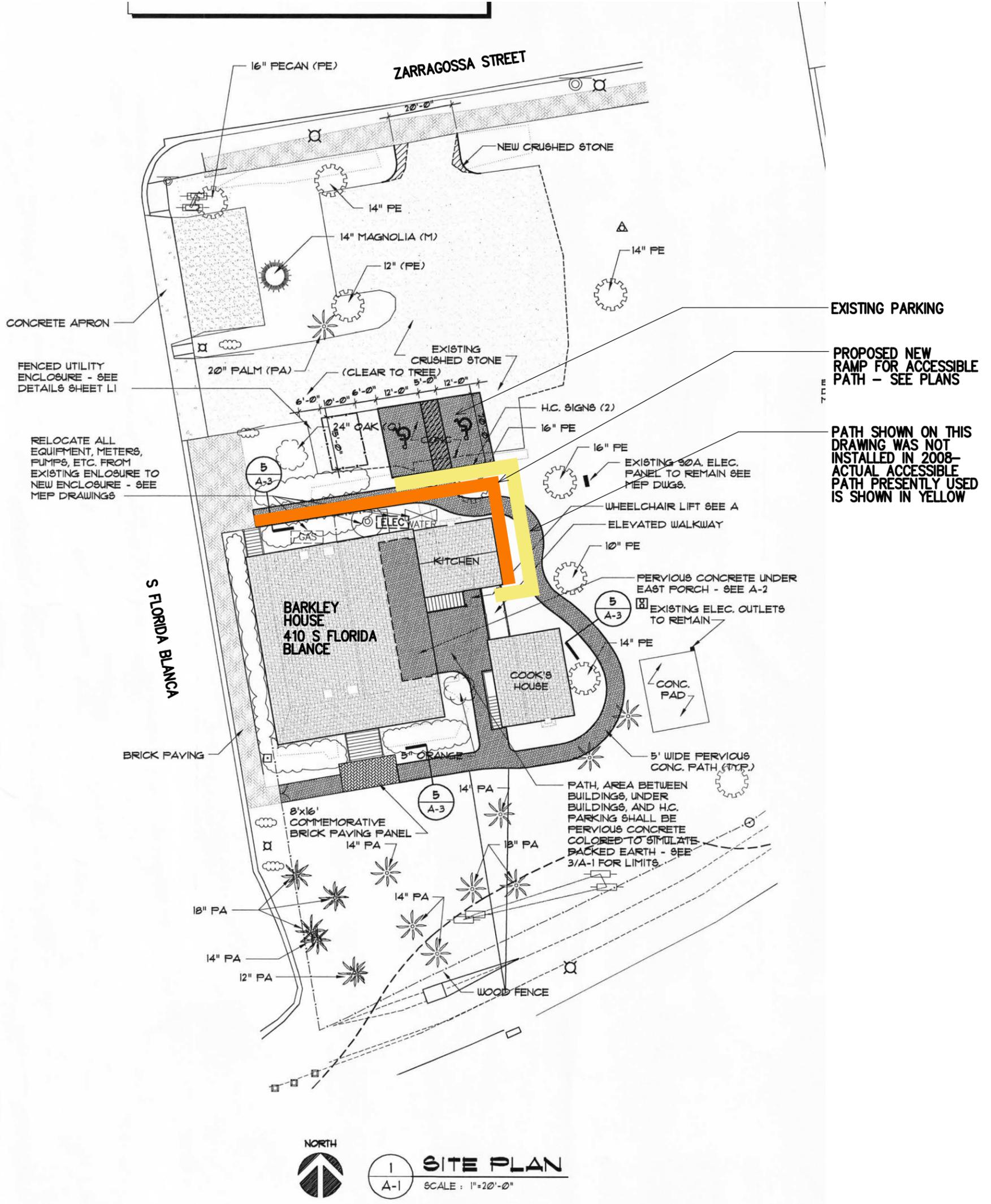
View of the South Elevation. The proposed ramp will have no effect on this primary view.



View of the north elevation of the Kitchen and the Barkley House.



View of the east elevation of the Kitchen used for Restrooms.



EXISTING PARKING

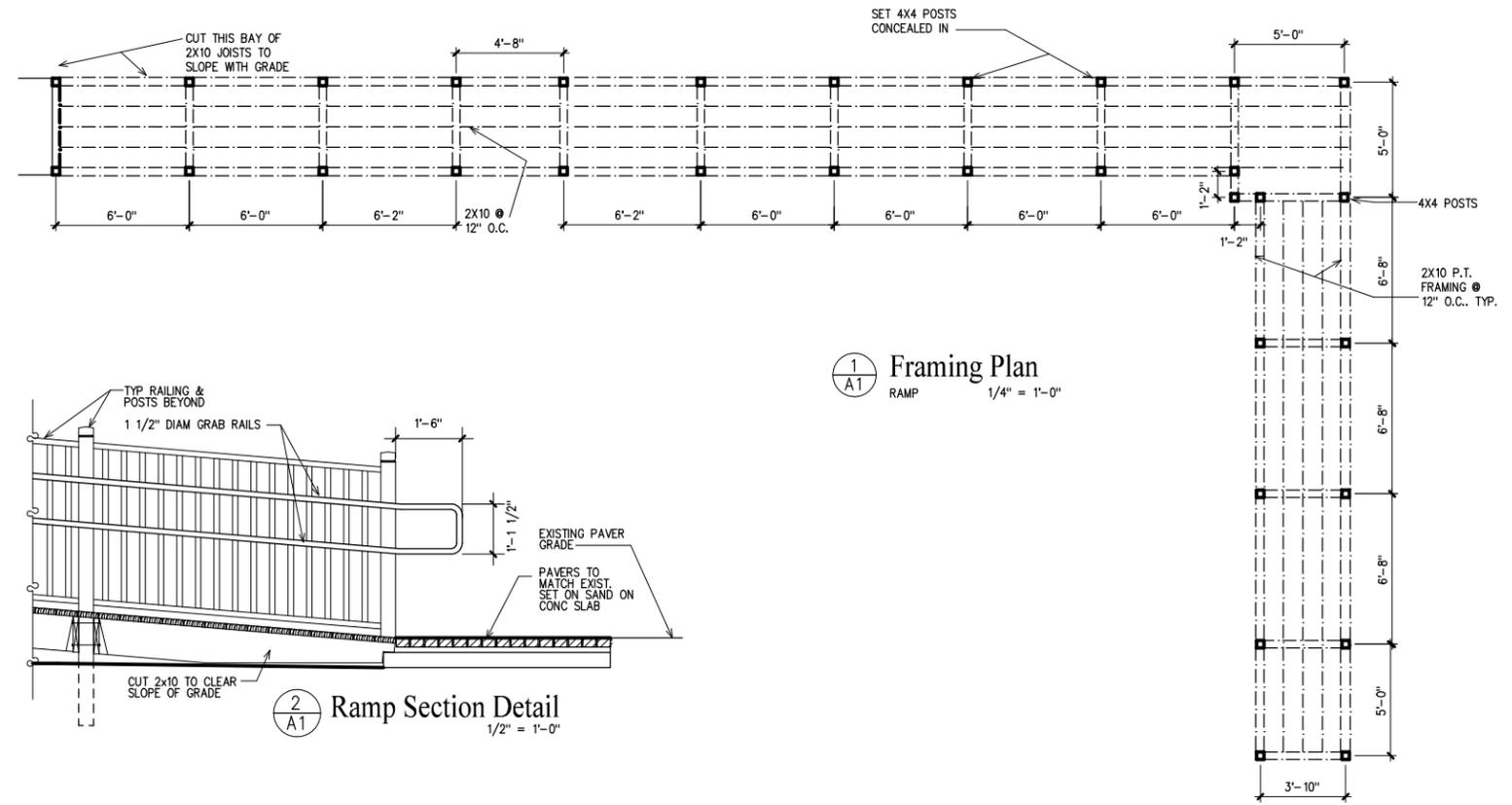
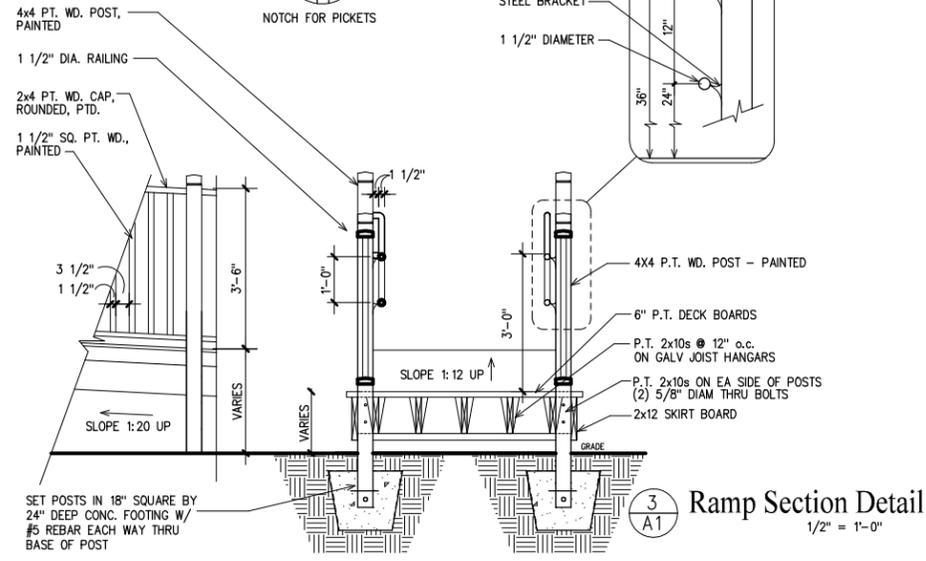
PROPOSED NEW RAMP FOR ACCESSIBLE PATH - SEE PLANS

PATH SHOWN ON THIS DRAWING WAS NOT INSTALLED IN 2008 - ACTUAL ACCESSIBLE PATH PRESENTLY USED IS SHOWN IN YELLOW

NORTH

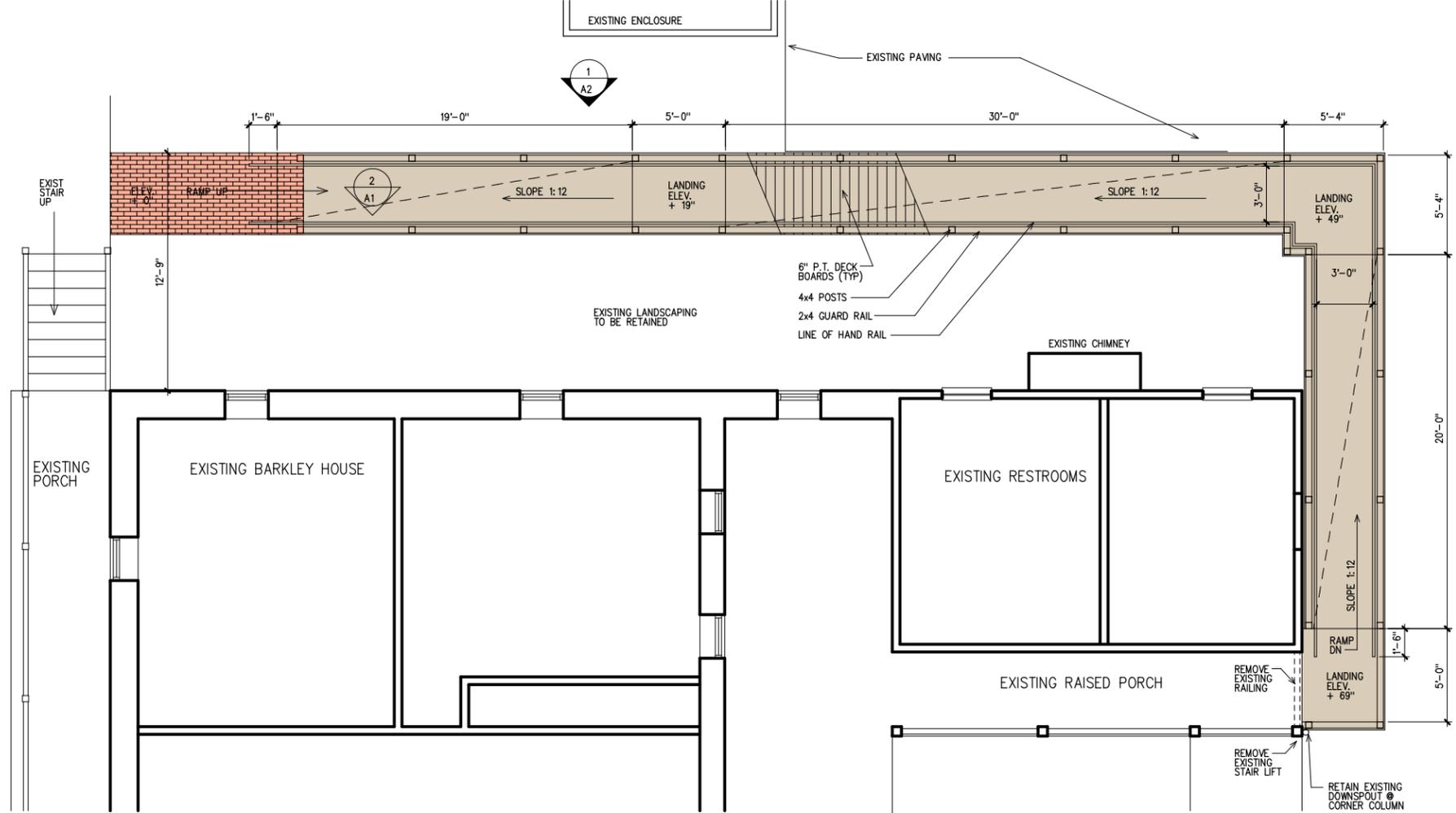
1 SITE PLAN

A-1 SCALE: 1"=20'-0"

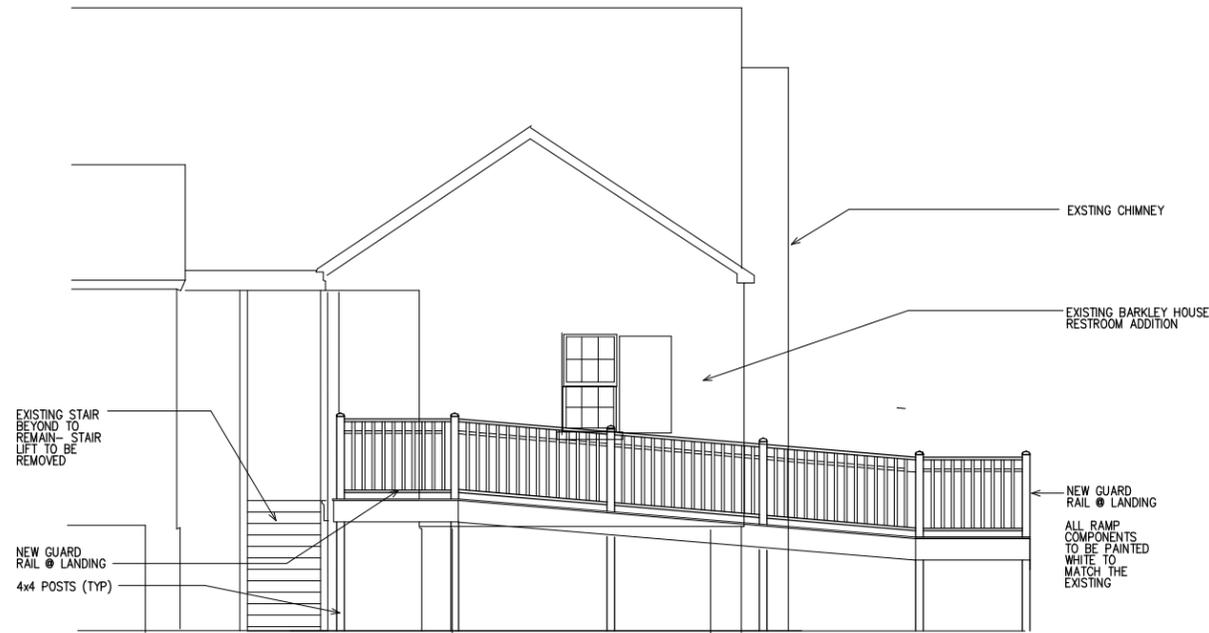


**1**  
A1 Framing Plan  
RAMP  
1/4" = 1'-0"

**3**  
A1 Ramp Section Detail  
1/2" = 1'-0"

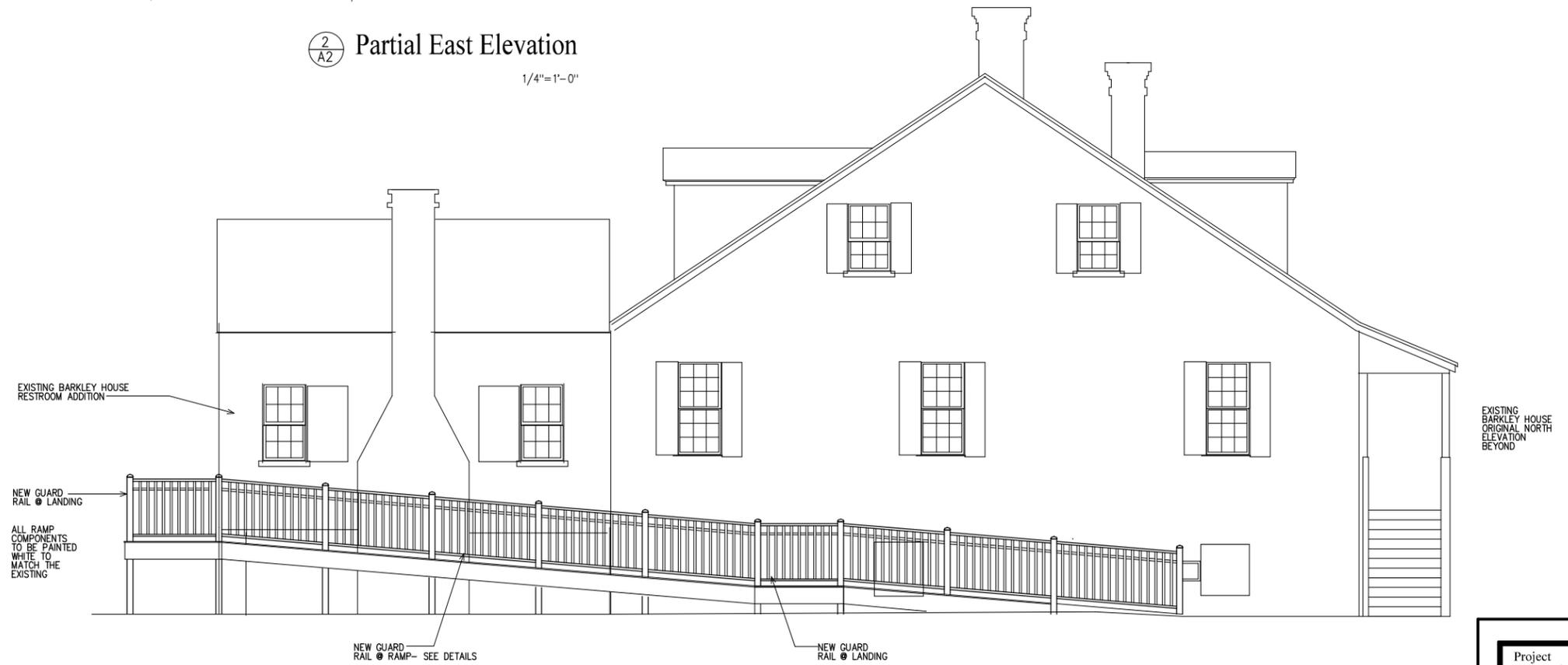


**2**  
A2 Ramp Plan  
1/4" = 1'-0"



2  
A2 Partial East Elevation

1/4"=1'-0"



1  
A2 North Elevation

1/4"=1'-0"

Project  
**Barkely House Ramp**

UWF Historic Trust

Pensacola, Florida

Date:  
04-18-23

Project No.  
2023B

Sheet No.

**A2** 69

Waddell (Brand Rating: 4.2/5) ⓘ

## 4 in. x 4 in. Black Pyramid Post Cap with Pine Base

★★★★★ (5) ▾ Questions & Answers (4)











# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00463

Architectural Review Board

6/15/2023

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**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

29 S. DeVilliers Street  
Governmental Center District / Zone C-2 / City Council District 7  
Addition to an Existing Structure

**BACKGROUND:**

Carter Quina is seeking approval for a 280-sf. addition to an existing structure. The proposed addition will match an existing addition including a galvanized corrugated metal roof, matching wood shutters, 30-inch exposure cedar shingle siding painted to match, new masonry piers with painted stucco and painted metal crawl spaces to match, two existing windows will be relocated, and one, new single hung wood window with true divided lite will be installed.

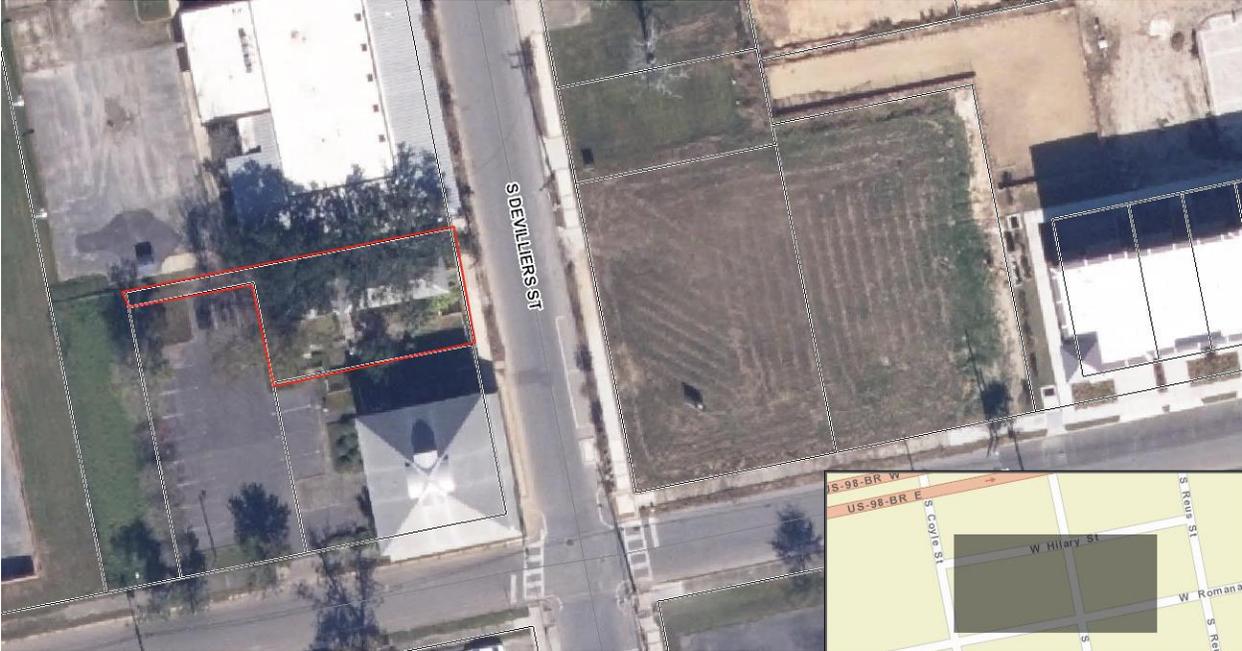
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS**

Sec. 12-3-28(b) Governmental Center District, Procedure for review of plans

Sec. 12-3-28(c) Governmental Center District, Decisions

29 S. DeVilliers Street





**Architectural Review Board Application  
Full Board Review**

Application Date: 3/23/2023

**Project Address:** 29 South DeVilliers Street Pensacola, FL 32502

**Applicant:** Carter Quina

**Applicant's Address:** 400 West Romana Street Pensacola, FL 32502

**Email:** CQUINA@QGARCHITECTS.COM **Phone:** 850-433-5575

**Property Owner:** Quina Group Ltd.

**District:**  PHD  NHPD  OEHPD  PHBD  GCD  
(If different from Applicant)

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**Addition to existing structure.**

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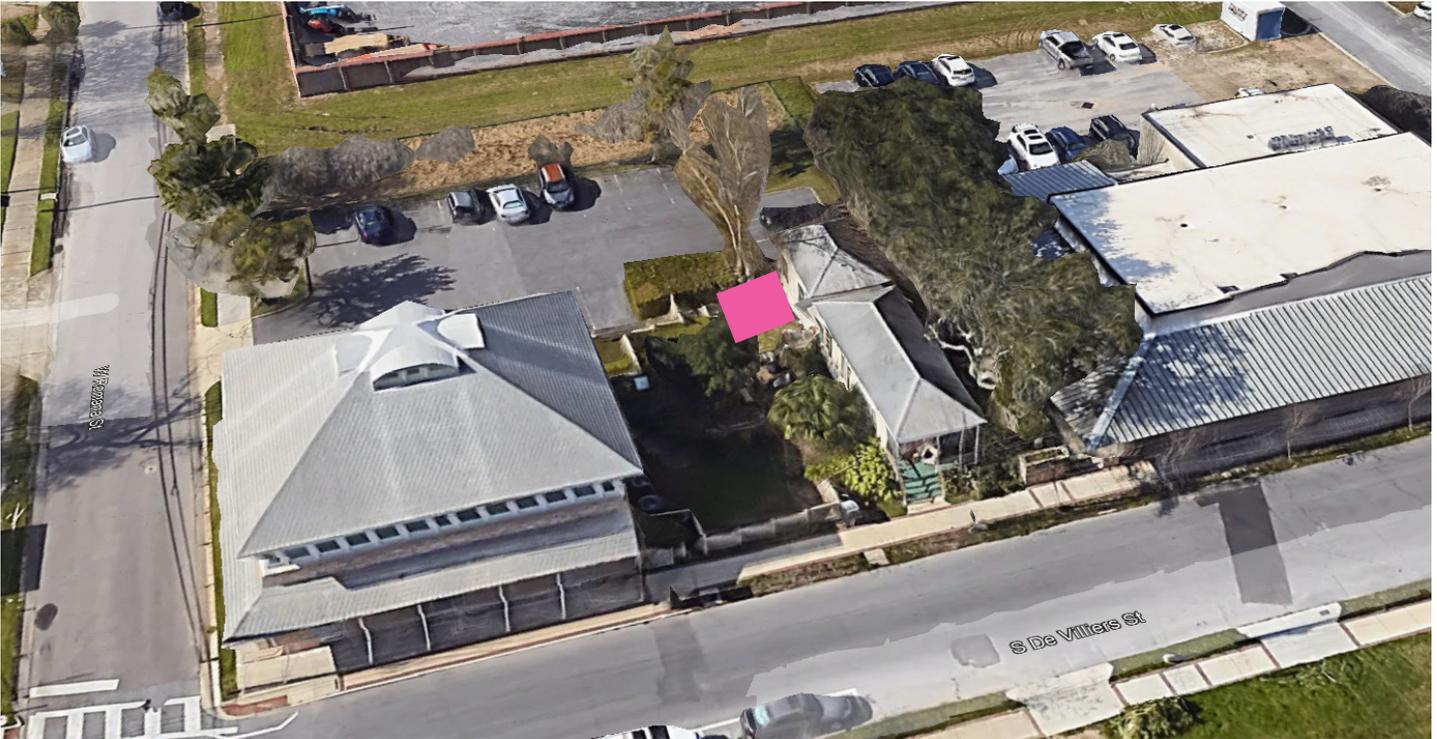
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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

Applicant Signature

3/23/2023  
Date

## Addition of the Casita 29 S DeVilliers Street



Aerial view of 29 S DeVilliers showing Architects office to the left and office building to the right. Pink shows approximate location of the addition.



Existing street view from DeVilliers.



Photo to the left shows the existing 2002 addition to the original Railroad Flat. The recessed entry divides the old and new.



Photo to the left shows the existing condition and the rendering below shows the new addition to the 2002 addition. All the materials and details of the 2023 addition will match the 2002 materials. Two existing windows will be relocated and one new window will be installed.





## Ultimate Wood Single Hung

The Ultimate Wood Single Hung window is a classic style with an operating bottom sash and stationary top sash. Flexible design options like wood species and stains assist with historical accuracy.

- Multiple design options and woods available to match historical aesthetics and design requirements
- Fits openings up to 4 feet wide by 8 feet high
- Also available as a round top, single hung, stationary transom, or picture window



Find Marvin products in your area and request a price quote. Connect with a dealer near you to get started.

New window to be Marvin wood true divided lite with impact glass, single hung. Wood shutters to match existing.

New roof to be galvanized, corrugated metal matching the existing roof.

New siding to be 30" exposure cedar shakes, painted to match existing.

### 12 ft. Corrugated Galvanized Steel 29-Gauge Roof Panel

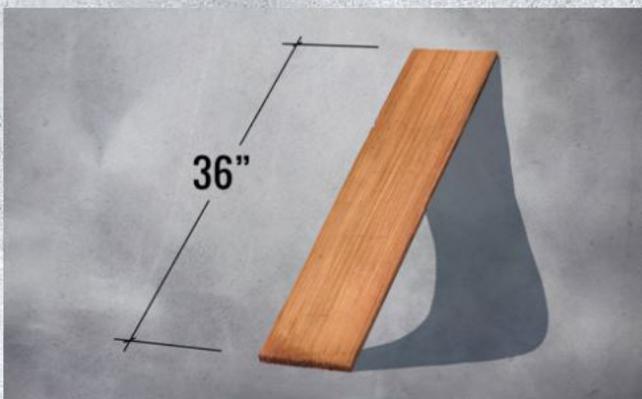
★★★★ (8) Questions & Answers (45)



## 36" Handsplit Shakes

Shakes are a more rustic alternative to shingles that are notable for having one hand-split face. This gives them the rough outer appearance characteristic of traditional ranch homes, but suitable for luxury cottages and a wide range of other applications. Unlike shingles, their irregular sizing requires the use of a felt interlay for weather and moisture resistance.

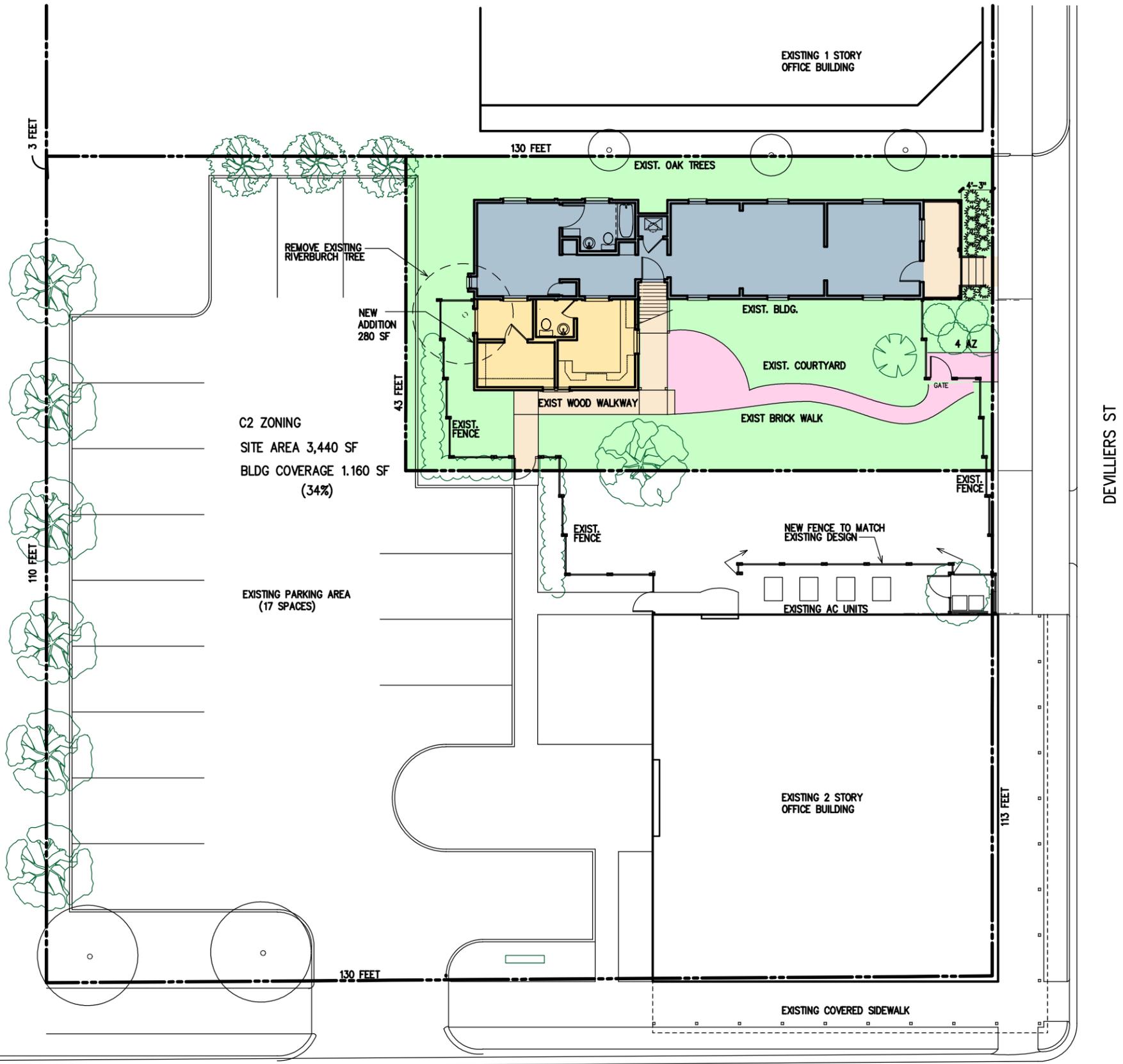
Custom Shingles manufactures a 36" Cedar shake for use on heritage properties and other specialized projects. Longer than our standard shake, it offers a wide range of possibilities for customization while still delivering the quality you expect from our products.



Images © 2006-2023 Custom Shingles

# Addition to The Casita

## 29 S DeVilliers



C2 ZONING  
SITE AREA 3,440 SF  
BLDG COVERAGE 1,160 SF  
(34%)

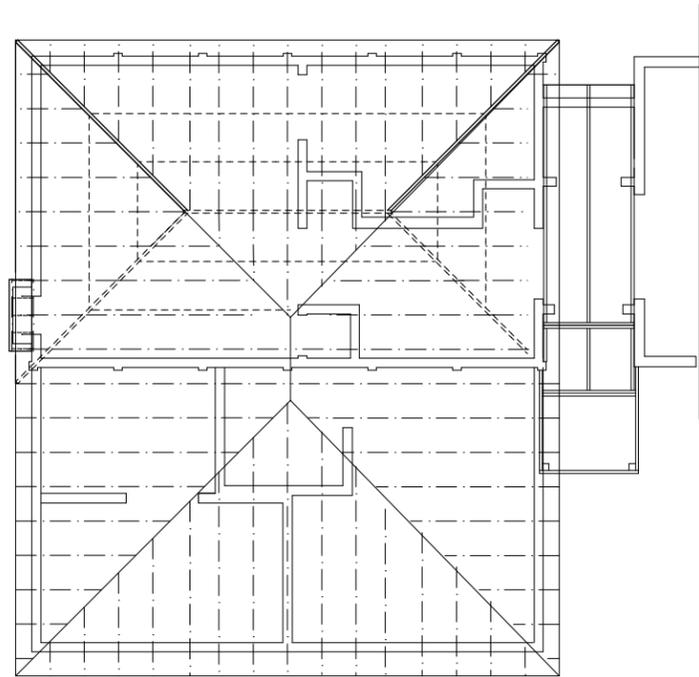
EXISTING PARKING AREA  
(17 SPACES)

W ROMANA ST.

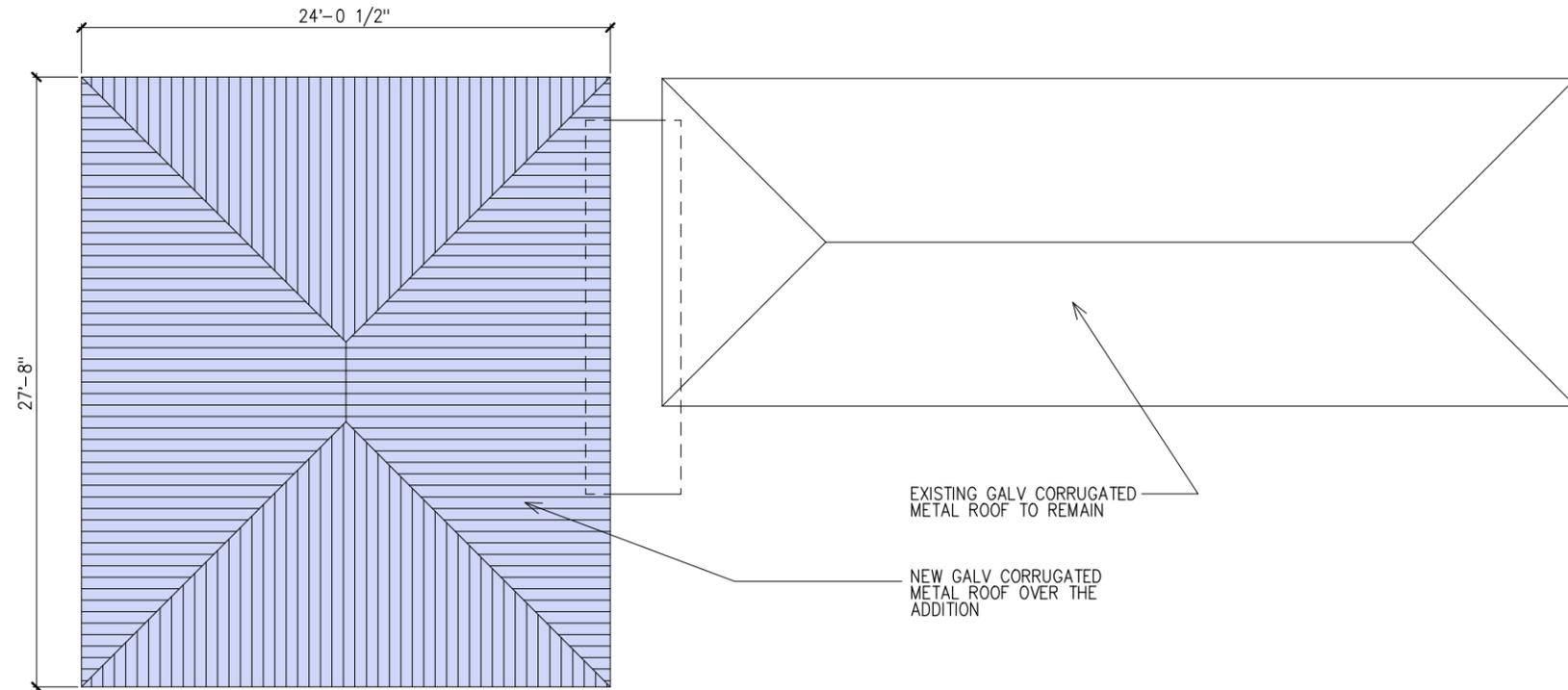


**SITE PLAN**  
1" = 10'-0"

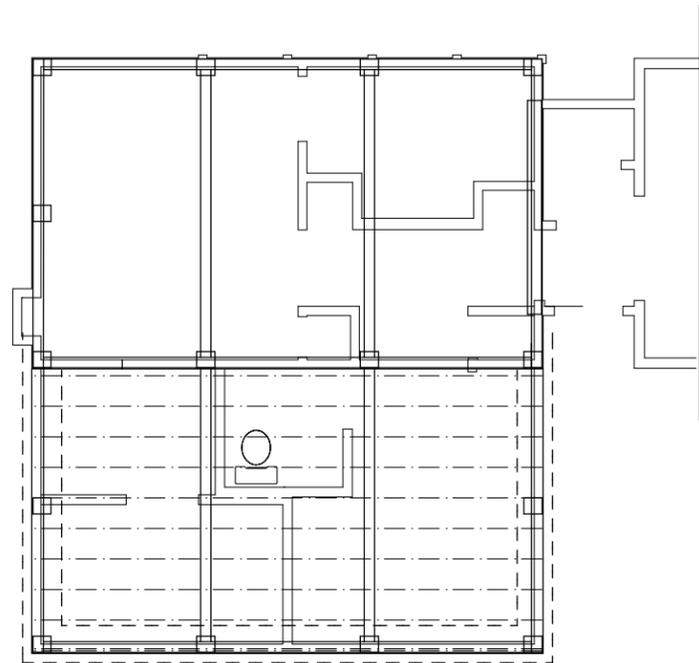
DEVILLERS ST



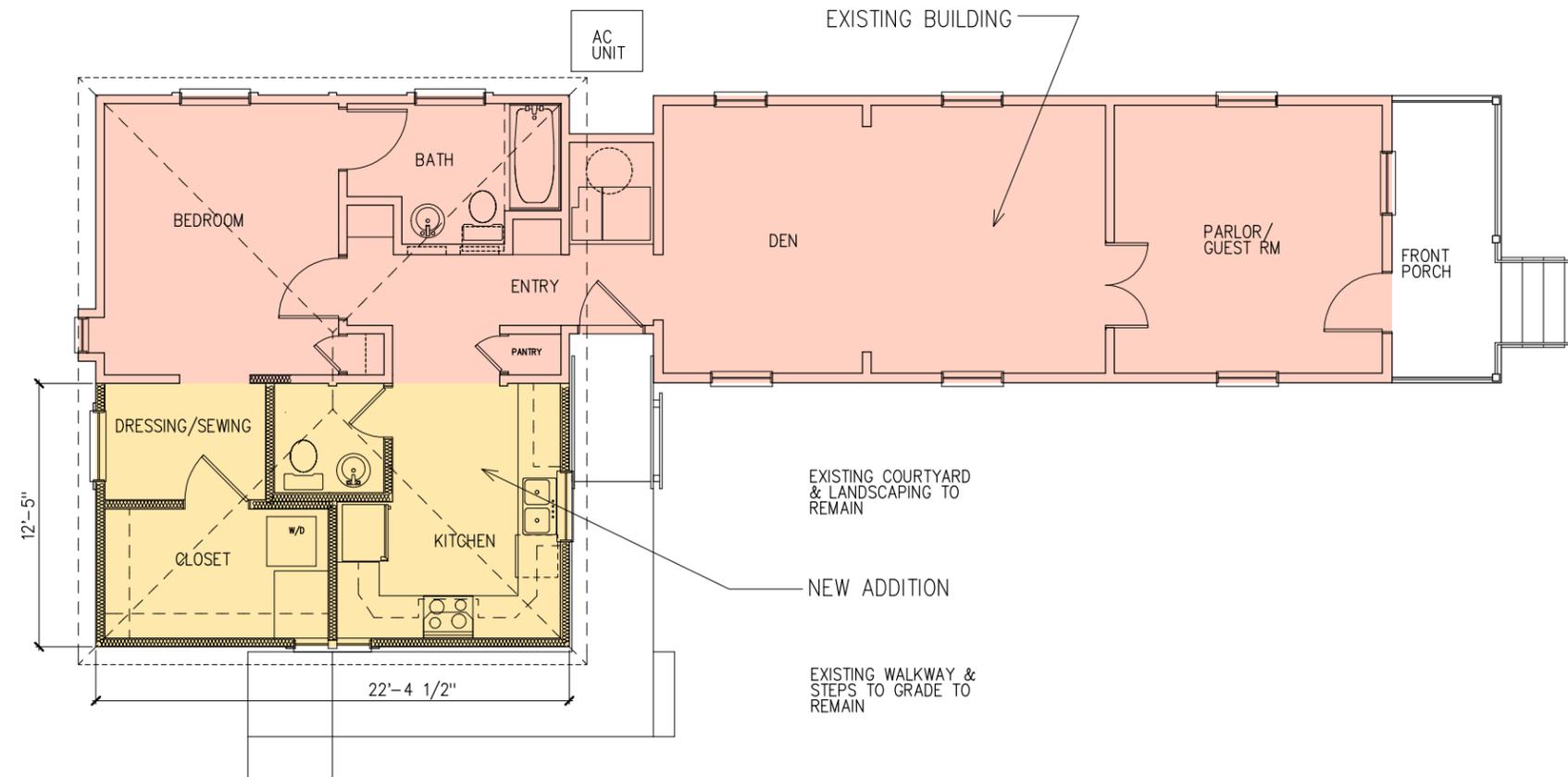
2 ROOF FRAMING PLAN  
3/8" = 1'-0"



1 ROOF PLAN  
3/8" = 1'-0"



3 FLOOR FRAMING PLAN  
3/8" = 1'-0"



FLOOR PLAN  
1/4" = 1'-0" 813 sf (1,093 SF)



EXISTING NORTH ELEVATION SHOWN FOR REFERENCE. NO WORK ON THIS FACADE

1 NORTH ELEVATION  
 A1 3/8" = 1'-0"

GALVANIZED CORRUGATED METAL  
 ROOF ON PEEL & STICK ON  
 5/8" PLYWOOD DECK

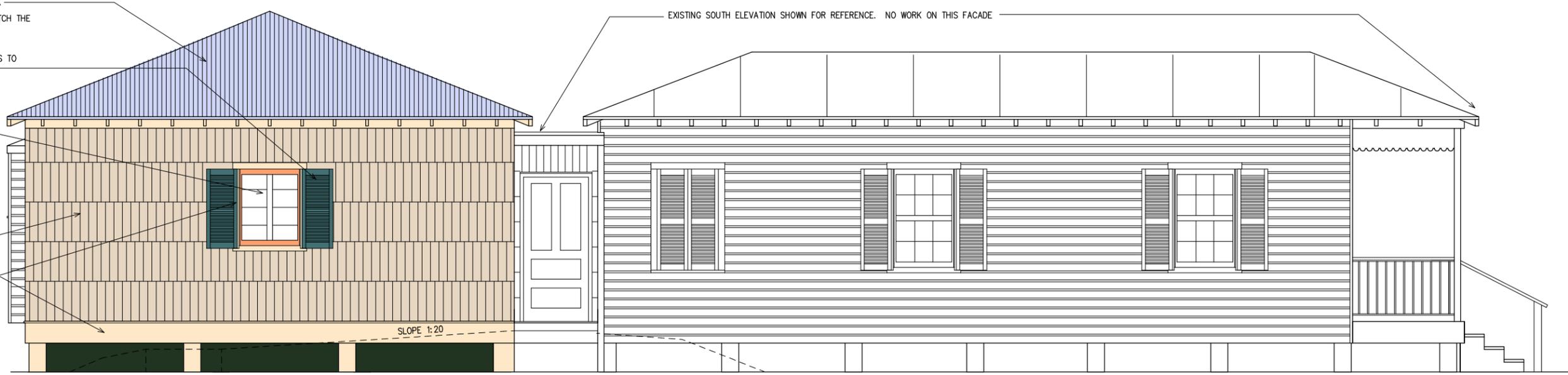
METAL ROOF TO MATCH THE  
 EXISTING ROOF

NEW WOOD SHUTTERS TO  
 MATCH EXISTING  
 SHERWIN WILLIAMS  
 GREEN

NEW WOOD  
 TRUE DIVIDED  
 LT WINDOW  
 W/ IMPACT  
 GLASS

PTD. CEDAR SHINGLES  
 SHERWIN WILLIAMS  
 SEDONA CLAY  
 NUMBER: SW 2313

PTD. WOOD TRIM  
 SHERWIN WILLIAMS  
 COLOR: COLONY BUFF  
 NUMBER: SW 2207



EXISTING SOUTH ELEVATION SHOWN FOR REFERENCE. NO WORK ON THIS FACADE

SLOPE 1:20

2 SOUTH ELEVATION  
 A1 3/8" = 1'-0"



1  
A2  
**WEST ELEVATION**  
 3/8" = 1'-0"



2  
A2  
**EAST ELEVATION**  
 3/8" = 1'-0"

1 2-17-03 GENERAL



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00472

Architectural Review Board

6/15/2023

---

**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/9/2023

**SUBJECT:**

101 E. Romana Street  
Palafox Historic Business District / Zone C-2 & C-2A / City Council District 6  
Change of Paint at a Non-Contributing Structure

**BACKGROUND:**

David Hunt is requesting approval to change the exterior paint colors at 101 E. Romana Street. The scope includes using Sherwin Williams products to paint the upper body of the structure in Whitetail, the lower body in Keystone Grey, the wall cap and corbels in Enduring Bronze, and the railings in Tricorn Black. An abbreviated review application for this project was referred to the full board in June 2023.

Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS**

Sec. 12-3-27(e)(3) PHBD, Procedure for review and submission of development plan, Review and approval by the architectural review board.

Sec. 12-3-27(f)(1) PHBD, Architectural review of proposed exterior development, General considerations.

101 E. Romana Street



**Architectural Review Board Application  
 Abbreviated Review**

Application Date: 5/30/23

Project Address: 101 E Romana St. Pensacola, FL 32502  
 Applicant: David Hunt as agent for the Owner  
 Applicant's Address: 101 E Romana St. Pensacola, FL 32502  
 Email: david.hunt@LiveBH.com Phone: 678.859.5501  
 Property Owner: Pensacola Southtowne Owner LLC 67% Int Beaumont Pensacola Southtowne Owner LLC 30% Int

District: PHD  (if different from Applicant)  
 NHPD  OEHPD  PHBD  GCD

There is a \$25 Application Fee for the following project types:

- Change of Paint Color(s) Body: Upper: Whitetail/Lower: Keystone Grey  
 Trim: Doors: Enduring Bronze/Metal: Tricorn Black  
 Accent: Keystone Grey
- New/Replacement Sign(s) Sign Type: All Sherwin Williams  
 Dimensions: Doors and railings will be Tricorn Black to match existing
- Minor Deviation to an Approved Project / Change of Roofing Material / Fence Solar Panels Colors: \_\_\_\_\_  
 Description: \_\_\_\_\_

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

*Christina J. Walker* 5/31/2023  
 ARB Secretary Signature Date

This request was reviewed and approved by the following members of the Architectural Review Board:

*Jed Y* 6/7/23 Comments: New colors are approved  
 Architect Signature / Date

*Ron [Signature]* 6-7-23 Comments: ★ send to Full-Board  
 UWFHT Representative Signature / Date need more information for all elevations. Scale of project should have full Board Review



- 1: Wall cap-Enduring Bronze
- 2: Upper Body-Whitetail
- 3: Corbels-Enduring Bronze
- 4: Lower Body-Keystone



# SW 7103 Whitetail



SW 7103

SW 6385

SW 7012

SW 9180

SW 7568

SW 7531

SW

SW 7103

## Whitetail

FULL DETAILS 

This bright white with its yellow undertone pairs nicely with a cool brown like Cocoa Whip. Create an inviting oasis in your kitchen or other communal space.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



# 604 Keystone Gray

SW 7029

SW 7030

SW 7031

SW 7504

SW 7032

SW 7033

SW 7034

SW 7504

## Keystone Gray

FULL DETAILS

This warm stone gray welcomes you into its snug embrace. Consider this warm neutral as a solid, inviting choice for living rooms and bathrooms.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



# SW 7055 Enduring Bronze

SW 7050

SW 7051

SW 7052

SW 9172

SW 7053

SW 7054

**SW 7055**

SW 7055

# Enduring Bronze

FULL DETAILS 

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint





> SW 6258 Tricorn Black



SW 6258

SW 6990

SW 6991

SW 6992

SW 6993

SW 6994

SW 7069

Expert Pick

SW 6258

# Tricorn Black

FULL DETAILS

Smarten up your space with this trendy, never-boring black. Pair it with white for a classic contrast. Since it's a true black, it works with any undertone.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint

Southtowne Pensacola - ORIGINAL IMAGE



**Madison Woods**

(850) 530-7307 • [Madison.M.Woods@sherwin.com](mailto:Madison.M.Woods@sherwin.com)

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.  
Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. © 2022 The Sherwin-Williams Company. CMD 23-03-0106 (01/2023)



**SW 7103**  
**White Tail**

Upper Body 1

**SW 7504**  
**Keystone Grray**

Lower Body 2

**SW 7055**  
**Enduring Bronze**

Doors, Top Trim

**SW 6258**  
**Tricorn Black**

Metal Railing, Fence

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**Southtowne Pensacola - ORIGINAL IMAGE**



**Madison Woods**

(850) 530-7307 • [Madison.M.Woods@sherwin.com](mailto:Madison.M.Woods@sherwin.com)

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**SW 7103**  
**White Tail**

Upper Body 1, Stucco

**SW 7504**  
**Keystone Grray**

Lower Body 2

**SW 7055**  
**Enduring Bronze**

Doors, Top Trim

**SW 6258**  
**Tricorn Black**

Metal Railing, Fence, Corbel

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.  
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**Southtowne Pensacola - ORIGINAL IMAGE**



**Madison Woods**

(850) 530-7307 • [Madison.M.Woods@sherwin.com](mailto:Madison.M.Woods@sherwin.com)

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**SW 7103**  
**White Tail**

Upper Body 1

**SW 7504**  
**Keystone Grray**

Lower Body 2

**SW 7055**  
**Enduring Bronze**

Doors, Top Trim

**SW 6258**  
**Tricorn Black**

Metal Railing, Fence

**Southtowne Pensacola - ORIGINAL IMAGE**



**Madison Woods**

(850) 530-7307 • [Madison.M.Woods@sherwin.com](mailto:Madison.M.Woods@sherwin.com)

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.  
Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. © 2022 The Sherwin-Williams Company. CMD 23-03-0106 (01/2023)



**SW 7103**  
**White Tail**

Upper Body 1, Stucco

**SW 7504**  
**Keystone Grray**

Lower Body 2

**SW 7055**  
**Enduring Bronze**

Doors, Top Trim

**SW 6258**  
**Tricorn Black**

Metal Railing, Fence, Corbel



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 23-00464

Architectural Review Board

6/15/2023

---

**TO:** Architectural Review Board Members

**FROM:** Adrienne Walker, Cultural Resources Coordinator

**DATE:** 6/8/2023

**SUBJECT:**

811 E. Belmont Street  
Old East Hill Preservation District / Zone OEHC-2 / City Council District 6  
Exterior Renovation on a Contributing Structure

**BACKGROUND:**

Jordan Yee is seeking approval to renovate a vacant duplex that is a contributing structure in Old East Hill. The project includes painting the exterior, removing and replacing an addition on the rear, replacing the existing asbestos tile siding with wood lap siding, addition of four new window openings, a new front door opening, a smooth 5v-crimp metal roof, and all new windows and doors. The proposed front windows are aluminum clad single hung, the side windows are vinyl single hung, the proposed front door is wood, and the rear doors are vinyl.

Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS**

Sec. 12-3-10(3)e.3. OEHPD; Procedure for review of plans; Decisions.

Sec. 12-3-10(3)g. OEHPD; Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.

Page 1  
X original  
update

**HISTORICAL STRUCTURE FORM**  
**FLORIDA MASTER SITE FILE**  
Version 1.1: 3/89

Site 8 ES **02160**  
Recorder # \_\_\_\_\_

SITE NAME Alexander Roulhac, House  
HISTORIC CONTEXTS Spanish American War  
NAT. REGISTER CATEGORY district  
OTHER NAMES OR MSF NOS none  
COUNTY Escambia OWNERSHIP TYPE private-individual  
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**  
LOCATION (Attach copy of USGS map, sketch-map of immediate area)  
ADDRESS 811 East Belmont St. CITY Pensacola  
VICINITY OF / ROUTE TO West-East Hill neighborhood; S. side of E. Belmont St. between N. 8th Ave. and N. 9th Ave.  
SUBDIVISION New City Tract BLOCK NO 60 LOT NO 4  
PLAT OR OTHER MAP county appraisers atlas sheet #68  
TOWNSHIP 2S RANGE 30W SECTION 22 1/4 1/4-1/4  
IRREGULAR SEC? x y n LAND GRANT \_\_\_\_\_  
USGS 7.5' MAP \_\_\_\_\_  
UTM: ZONE \_\_\_\_\_ EASTING \_\_\_\_\_ NORTHING \_\_\_\_\_  
COORDINATES: LATITUDE \_\_\_\_\_ D \_\_\_\_\_ M \_\_\_\_\_ S LONGITUDE \_\_\_\_\_ D \_\_\_\_\_ M \_\_\_\_\_ S

**HISTORY**

ARCHITECT: F \_\_\_\_\_ M \_\_\_\_\_ L unknown  
BUILDER: F \_\_\_\_\_ M \_\_\_\_\_ L unknown  
CONST DATE 1903 CIRCA C RESTORATION DATE(S): \_\_\_\_\_  
MODIFICATION DATE(S): \_\_\_\_\_  
MOVE: DATE \_\_\_\_\_ ORIG LOCATION \_\_\_\_\_  
ORIGINAL USE(S) private-residence  
PRESENT USES(S) private-residence

**DESCRIPTION**

STYLE frame vernacular  
PLAN: EXTERIOR rectangular  
INTERIOR \_\_\_\_\_  
NO.: STORIES 1 OUTBLDGS 0 PORCHES 2 DORMERS 0  
STRUCTURAL SYSTEM(S) ballon wood framing  
EXTERIOR FABRIC(S) asbestos shingles  
FOUNDATION: TYPE pier MATLS brick  
INFILL none  
PORCHES n/porch/3 s"x4" columns-3/4- 1/4 6"x4" rectangular wood/2/N  
ROOF: TYPE gable SURFACING composition shingles  
SECONDARY STRUCS. shed, gable, porch  
CHIMNEY: NO 2 MTLs brick,brick/plaster LOCNS N:center, ridge; S:center, ridge  
WINDOWS dhs, 1/1 wood  
EXTERIOR ORNAMENT wood jigsaw cut trim in columns on porch & in porch column corner  
CONDITION fair SURROUNDINGS residential [decorative cornice  
NARRATIVE (general, interior, landscape, context; 3 lines only)  
typical house in size & scale w/surroundings; oaks, pecans

**ARCHAEOLOGICAL REMAINS AT THE SITE**

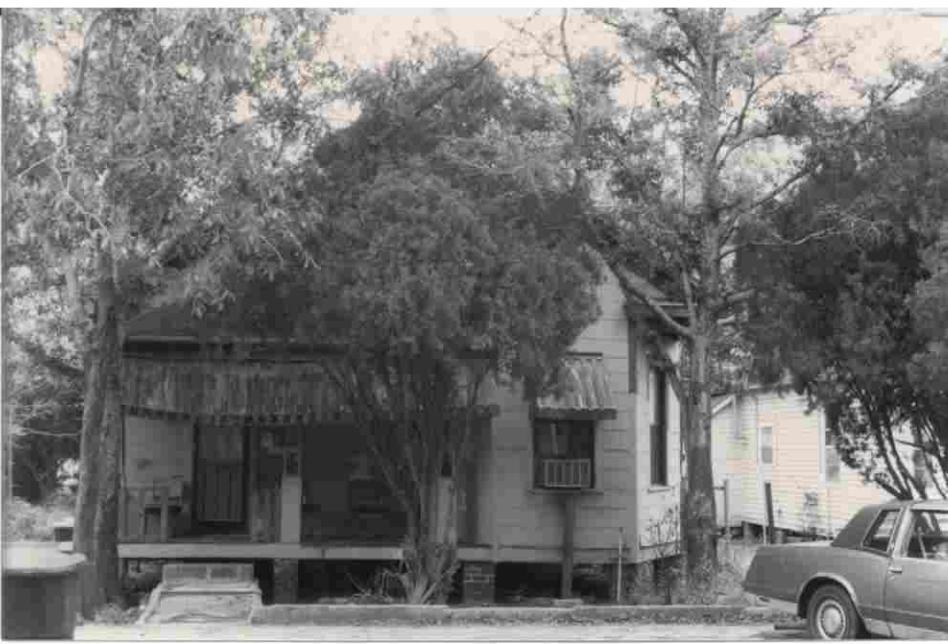
FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)  
ARTIFACTS OR OTHER REMAINS \_\_\_\_\_



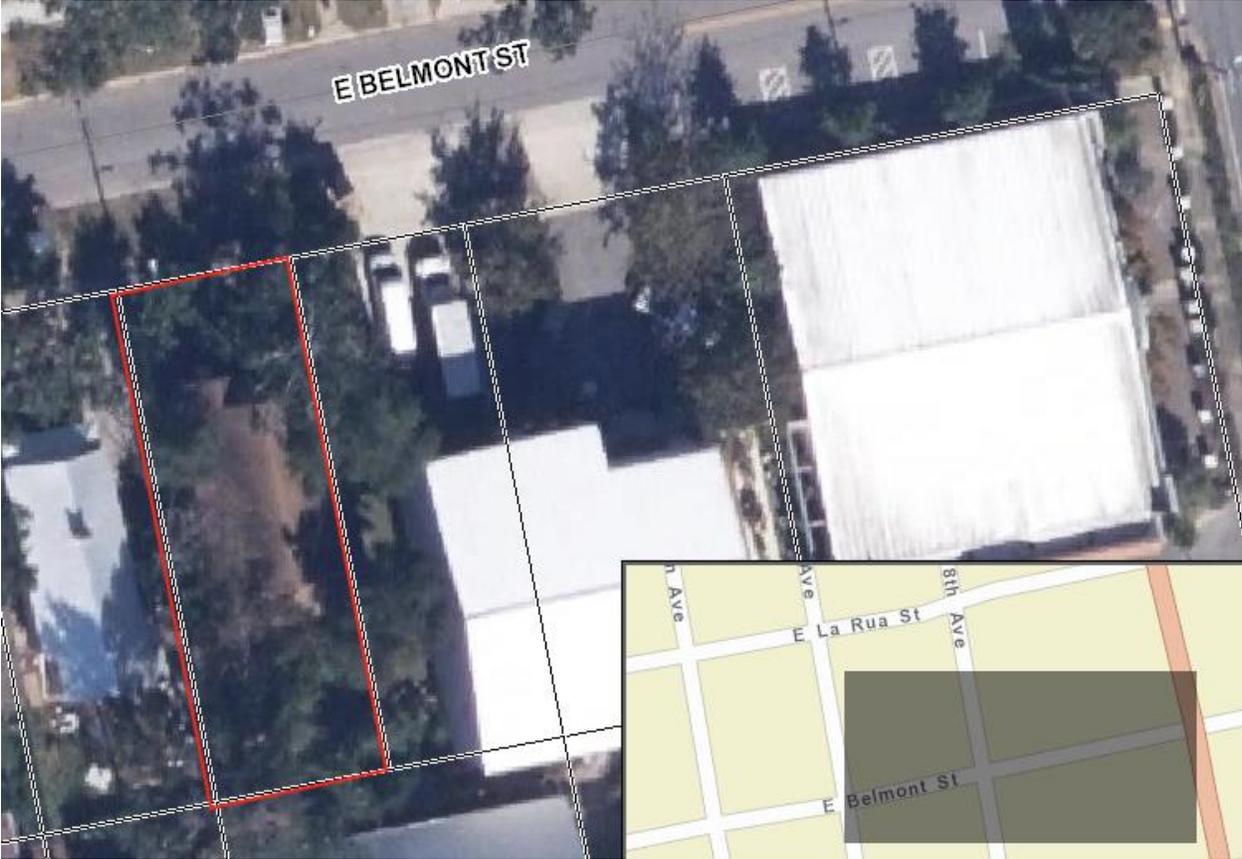
ES 2160



Sanders Beach



811 E. Belmont Street





**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Property Owner: \_\_\_\_\_  
*(If different from Applicant)*

**District:**                      **PHD**                      **NHPD**                      **OEHPD**                      **PHBD**                      **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

\_\_\_\_\_

Applicant Signature

\_\_\_\_\_

Date

# RENOVATION TO 811 E BELMONT

INDEX OF DRAWINGS	
SHEET #	DESCRIPTION
A-1	COVER SHEET
A-2	FLOOR PLANS
A-3	EXTERIOR ELEVATIONS
D-1	DEMOLITION SCOPE
D-2	EXISTING PHOTOS



PLACES FOR PEOPLE  
DESIGN, LLC  
1904 E. LEONARD ST.  
PENSACOLA, FL 32503  
(850) 380-8020 | AR#96913

No.	Description	Date
1	UPDATE PER SURVEY	6/7/2023

NOT FOR CONSTRUCTION

PROJECT NUMBER	DATE	DRAWN BY	CHECKED BY	SCALE
22003	24 MAY 2023	HEC	JMY	As Indicated

ARB SUBMITTAL (24 MAY 2023)

811 E BELMONT RENOVATION

COVER SHEET

A-1

8/7/2023 11:39:23 AM



**PROPERTY INFORMATION**

**ADDRESS**  
811 E. BELMONT STREET  
PENSACOLA, FLORIDA 32501  
CITY OF PENSACOLA

**SCOPE OF WORK**  
INTERIOR RENOVATION

**ZONING**  
PARCEL ID 00-05-00-9025-004-060  
ZONING OLD EAST HILL PRESERVATION RETAIL COMMERCIAL  
OEHC-2  
TIFCD URBAN CORE CRA  
SETBACK N/A

**GENERAL NOTES**

THE PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATIONS OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

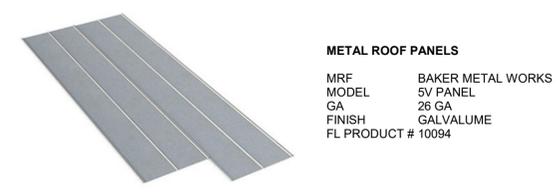
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



**EXTERIOR PAINT COLORS**

- PT-1**  
EXTERIOR WALLS  
PRATT & LAMBERT "RUBIDOUX"
- PT-2**  
EXTERIOR TRIM  
SHERWIN WILLIAMS "PURE WHITE"
- PT-3**  
EXTERIOR DOORS  
PPG "LITTLE RED RED"

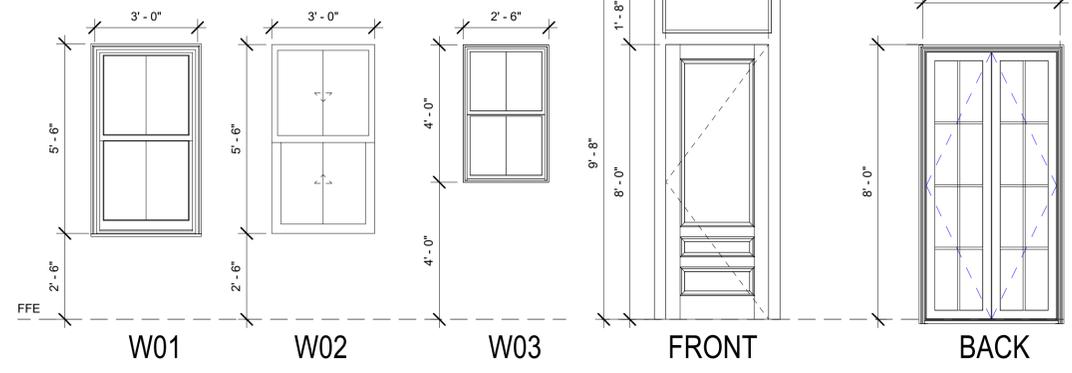
**ROOFING**



**EXTERIOR LIGHTING**



**WINDOW AND DOOR ELEVATIONS**



8TH AVENUE 80' R/W  
(PUBLIC)

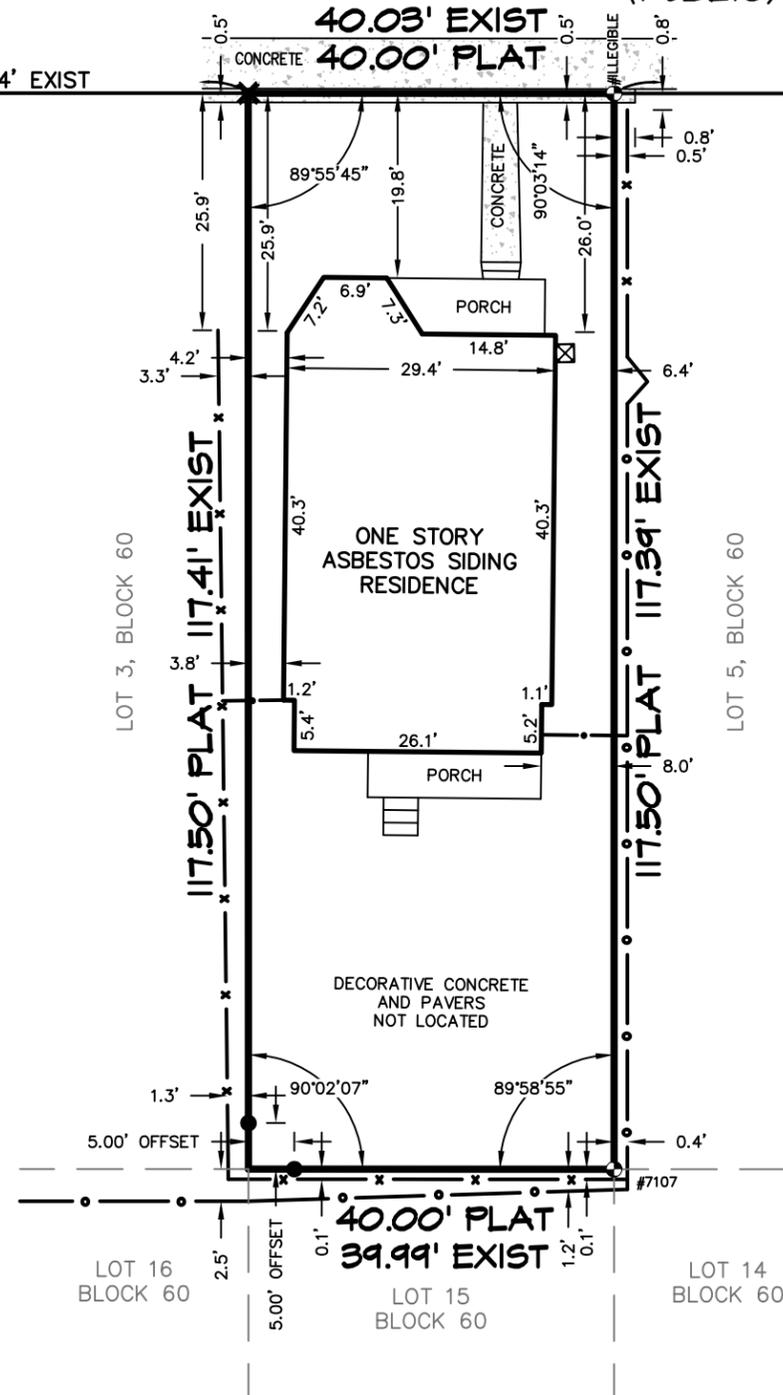
108.67' PLAT 108.74' EXIST

BELMONT STREET 70' R/W  
(PUBLIC)

40.03' EXIST  
40.00' PLAT

200.00' PLAT 200.13' EXIST

9TH AVENUE 70' R/W  
(PUBLIC)



LEGEND:

- R/W Right of way
- 1/2" Capped iron rod set #7073
- ⊙ 1/2" Capped iron rod found #noted
- x "X" cut in concrete
- o — Wood fence
- x — Chain link fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
3. This survey does not reflect or determine ownership.
4. This property may be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
5. Sub-surface improvements, if any, not located.

STREET ADDRESS: 811 East Belmont Street

LEGAL DESCRIPTION:

Lot 4, Block 60, New City Tract, City of Pensacola, Escambia County, Florida according to map of said City copyrighted by Thomas C. Watson in 1906.

A BOUNDARY SURVEY AND  
LOCATION OF IMPROVEMENTS

CITY ATLAS #678; PUBLIC RECORDS; MAP OF PENSACOLA BY T.C. WATSON (1906); SURVEYS BY THIS FIRM

Measurements made in accordance with United States Standards.

Bearing Reference: N.A.

**PITTMAN, WILAZE AND GAZASSOCIATES, INC.**  
LAND SURVEYORS  
5700 N. DAVIS HIGHWAY, SUITE 3  
PENSACOLA, FL 32503  
Phone: (850) 434-6666  
Fax: (850) 434-6661  
Email: pgasurvey@bellsouth.net

NOT VALID  
WITHOUT  
SEAL AND  
SIGNATURE

SHEET <b>1</b>	OF <b>1</b>
File No. <u>B-13,355</u>	
Job No. <u>38827-20</u>	
Scale <u>1" = 20'</u>	
Date of Survey <u>8-20-2020</u>	
Date of Plat <u>8-20-2020</u>	
Date of Revision _____	
FB <u>1718</u> PG <u>39-41</u>	
FB _____ PG _____	
Encroachments _____	
Drawn By <u>FMJ</u>	
Checked By <u>DDG</u>	

Ordered By MR. MARK CHASTAIN Elevation Reference \_\_\_\_\_  
I hereby certify that this survey was made under my responsible charge and meets the Standards of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes. **LB No. 7073**

■ **David D. Glaze, PSM #5605** □ **Walter J. Glaze, PSM #6190**  
This survey is valid only if it contains the original seal and original signature of the signing surveyor.



No.	Description	Date

NOT FOR  
CONSTRUCTION

PROJECT NUMBER	22003
DATE	24 MAY 2023
DRAWN BY	HEC
CHECKED BY	JMY
SCALE	As indicated

ARB SUBMITTAL (24 MAY 2023)

811 E BELMONT RENOVATION

EXTERIOR ELEVATIONS

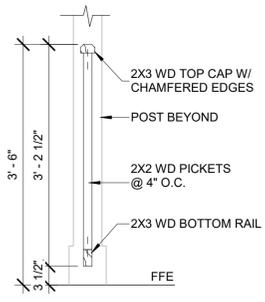
**ELEVATION NOTES**

**EXTERIOR FINISH NOTES**

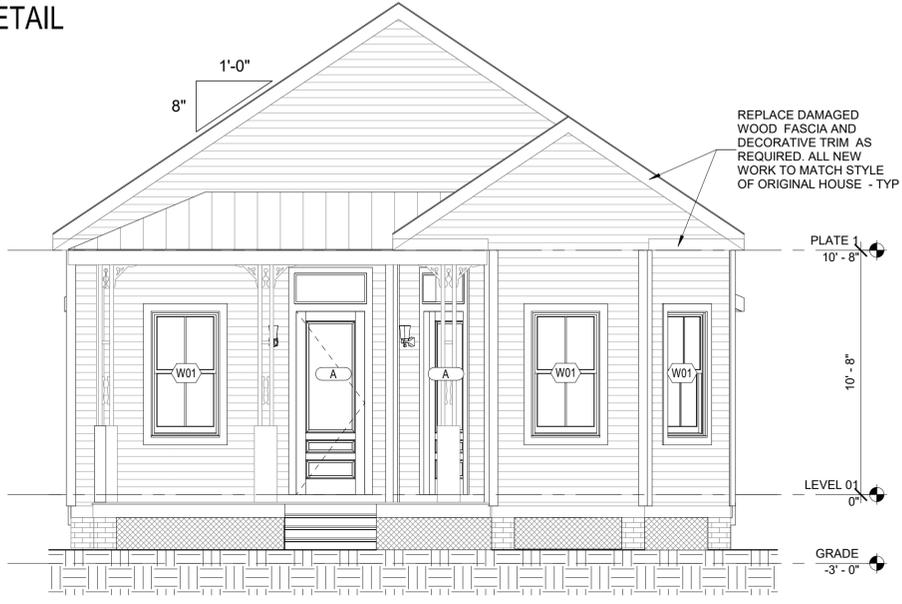
1. REPLACE EXISTING SIDING WITH NEW HORIZONTAL LAP SIDING ON 5/8" CDX PLYWOOD/OSB.
2. SEE COVER SHEET FOR WINDOW AND WINDOW TRIM COLORS.
3. ROOFING TO BE NEW GALVALUME 5V CRIMP METAL PANELS (26 GA) OVER HIGH TEMP SELF-ADHERING WATERPROOFING MEMBRANE ON ROOF FRAMING.
4. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

**GRADING NOTES**

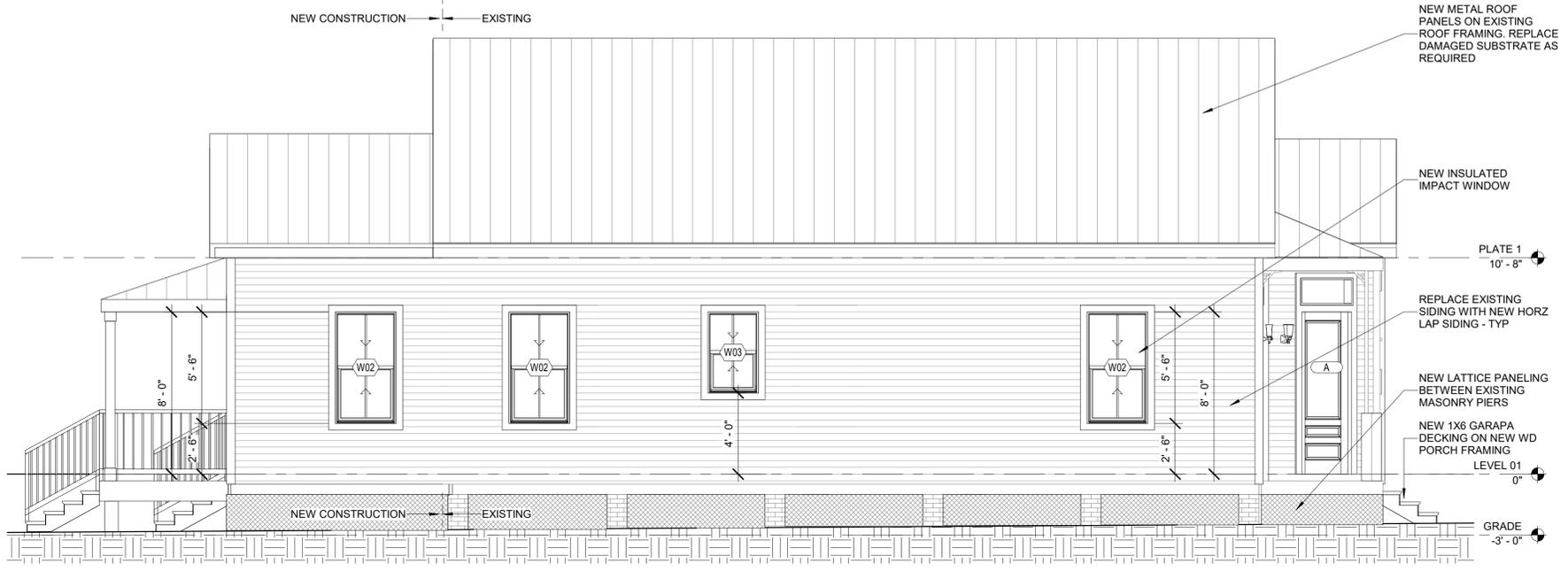
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.



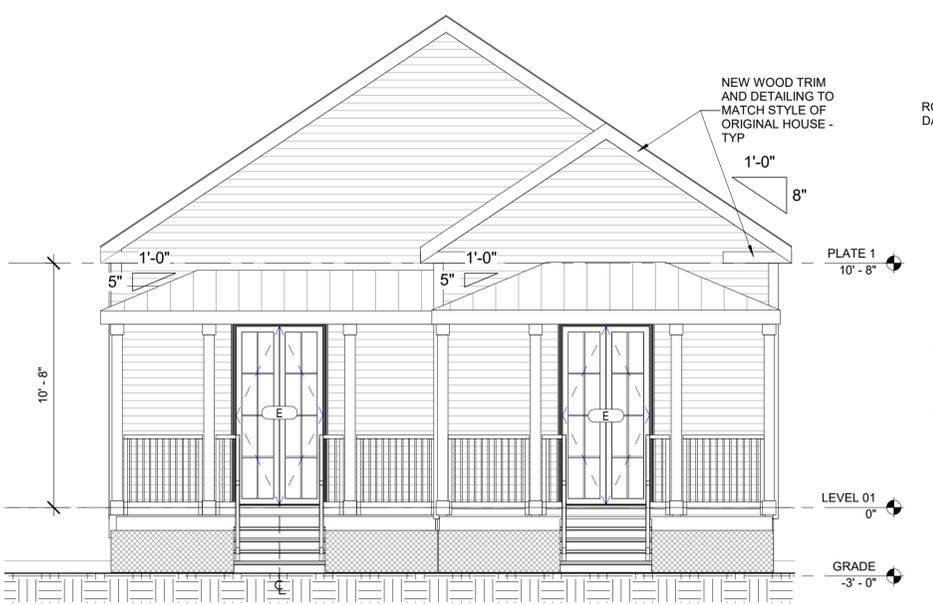
**TYP GUARDRAIL  
DETAIL**



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



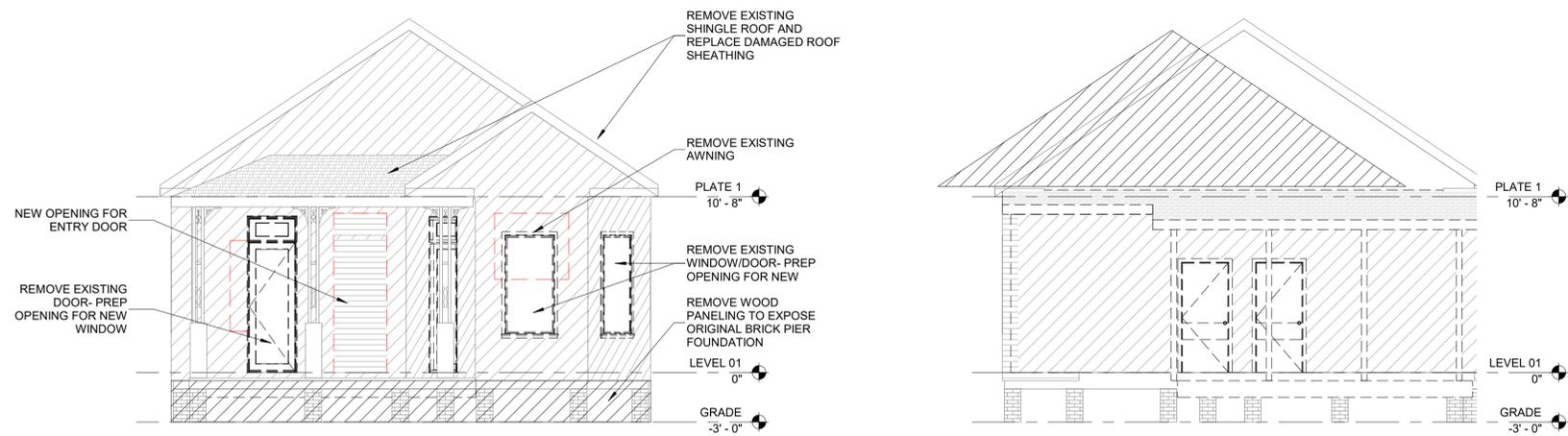
**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

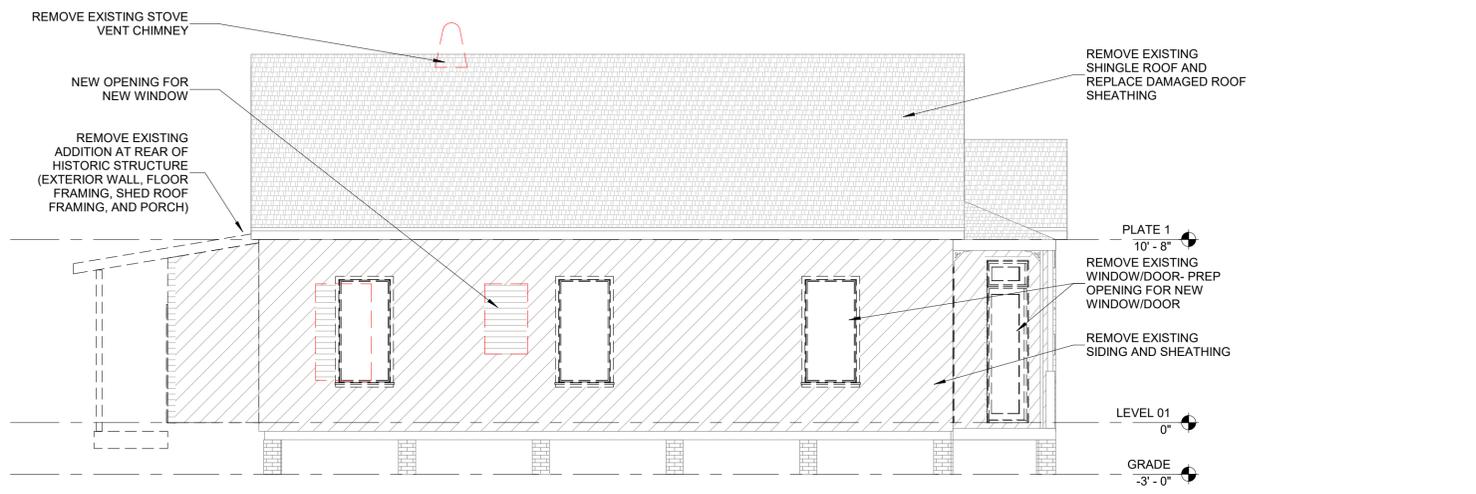
**DEMOLITION NOTES**

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO PERFORMING ANY DEMOLITION OR NEW CONSTRUCTION.
2. PROTECT ANY AND ALL ITEMS WHICH ARE TO REMAIN OR TO BE ALTERED. THE DEMOLITION DRAWINGS ARE NOT ALL INCLUSIVE OF ALL ITEMS THAT MAY BE REMOVED IN THE COURSE OF THE PROJECT. THE A/E RESERVES THE RIGHT TO INCLUDE ADDITIONAL DEMOLITION NOTES DISCOVERED DURING CONSTRUCTION.
3. CONTRACTORS' REASONABILITY TO DISPOSE OF ALL HAZARDOUS CONTAINING MATERIALS IN COMPLIANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.

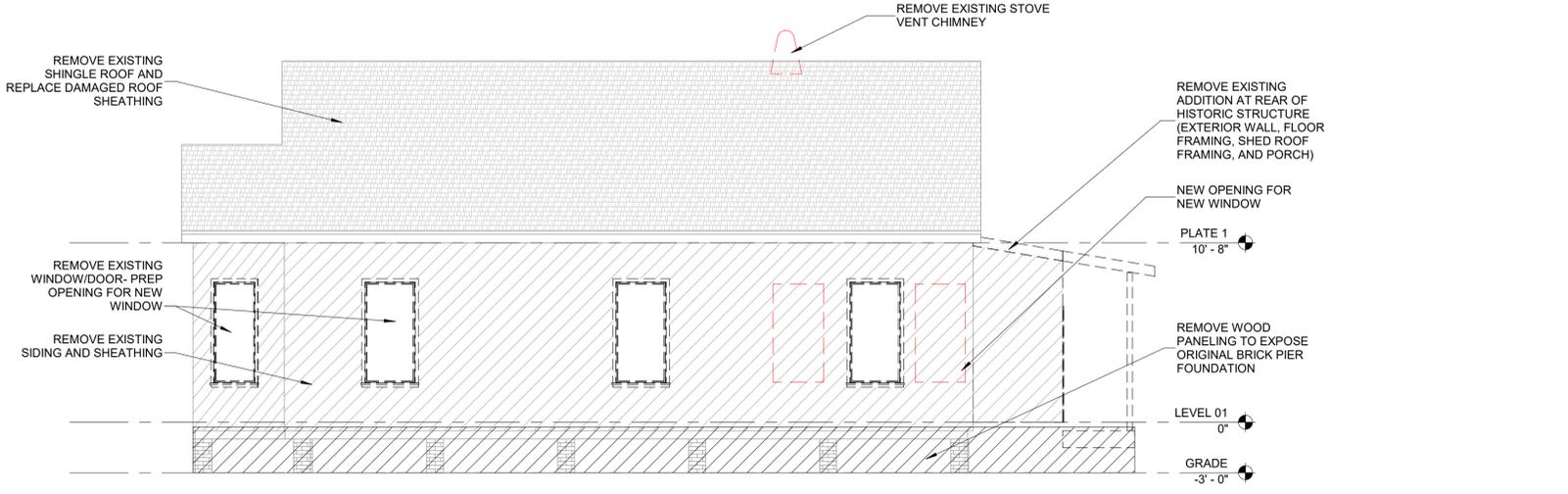


**2 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

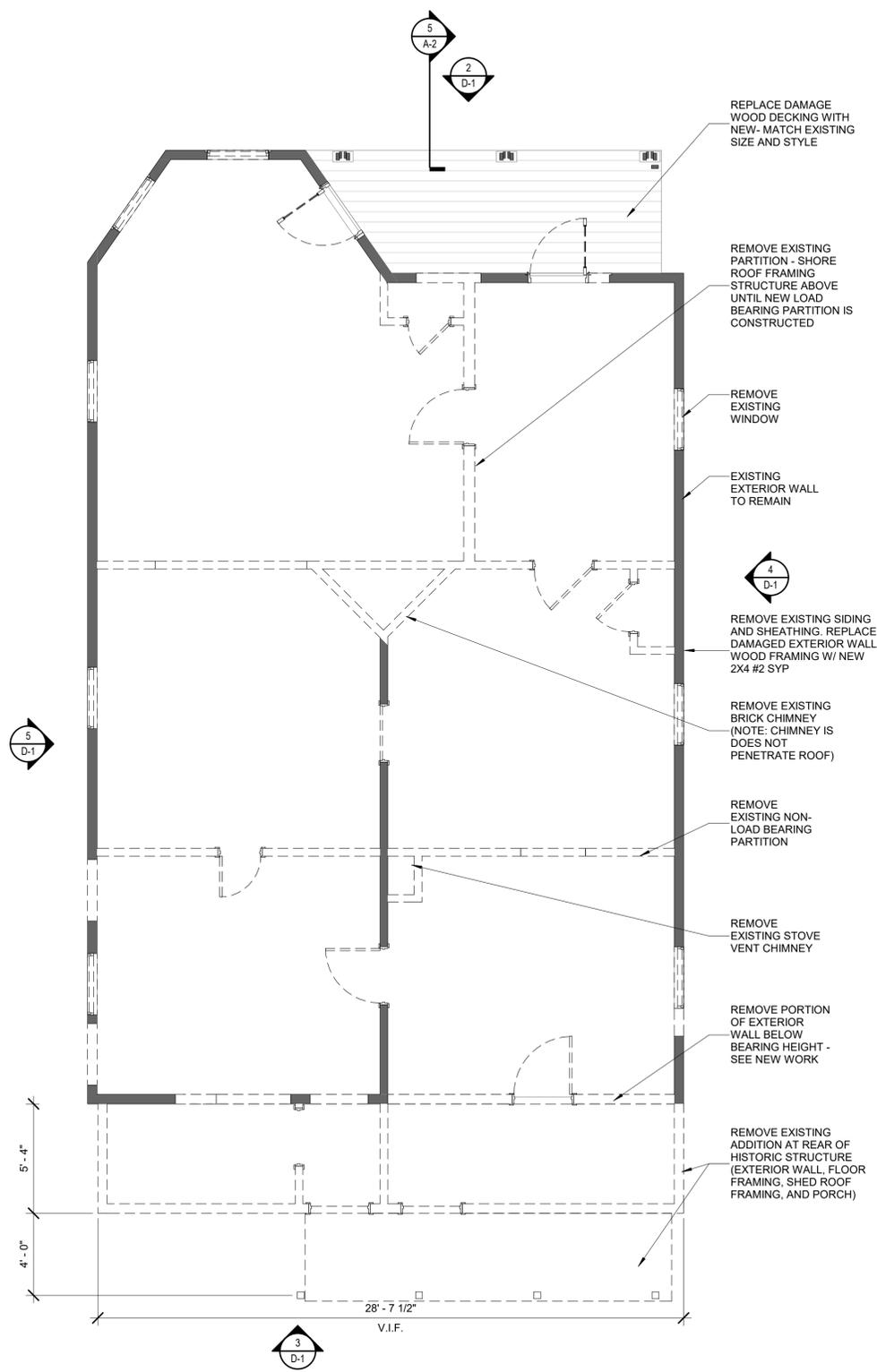
**3 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**5 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 FIRST FLOOR PLAN - DEMO**  
SCALE: 1/4" = 1'-0"

No.	Description	Date

NOT FOR CONSTRUCTION

ARB SUBMITTAL (24 MAY 2023)

PROJECT NUMBER: 22003  
DATE: 24 MAY 2023  
DRAWN BY: HEC  
CHECKED BY: JMY

SCALE: As indicated

811 E BELMONT RENOVATION  
**DEMOLITION SCOPE**

D-1

No.	Description	Date

NOT FOR  
CONSTRUCTION

ARB SUBMITTAL (24 MAY 2023)

PROJECT NUMBER 22003  
DATE 24 MAY 2023  
DRAWN BY HEC  
CHECKED BY JMY

SCALE

811 E BELMONT RENOVATION

EXISTING PHOTOS



SOUTH ELEVATION

REMOVE EXISTING  
ADDITION/PORCH AT  
REAR



NORTH ELEVATION

REMOVE EXISTING SIDING  
AND SHEATHING. REPLACE  
DAMAGED EXTERIOR WALL  
WOOD FRAMING W/ NEW  
2X4 #2 SYP

REMOVE EXIST AWNING

REMOVE WD SILL  
AND FREESTANDING  
SUPPORT

RELOCATE IN WALL-  
INSTALL FREEZE  
RESISTANT HOSE BIB

REMOVE WOOD  
PANELING TO EXPOSE  
ORIGINAL BRICK PIER  
FOUNDATION

REMOVE EXISTING  
RAILING



EAST ELEVATION

REMOVE EXISTING  
ADDITION/PORCH AT  
REAR

REMOVE EXISTING SIDING  
AND SHEATHING. REPLACE  
DAMAGED EXTERIOR WALL  
WOOD FRAMING W/ NEW  
2X4 #2 SYP



EAST ELEVATION



WEST ELEVATION

REMOVE EXISTING STOVE  
VENT CHIMNEY

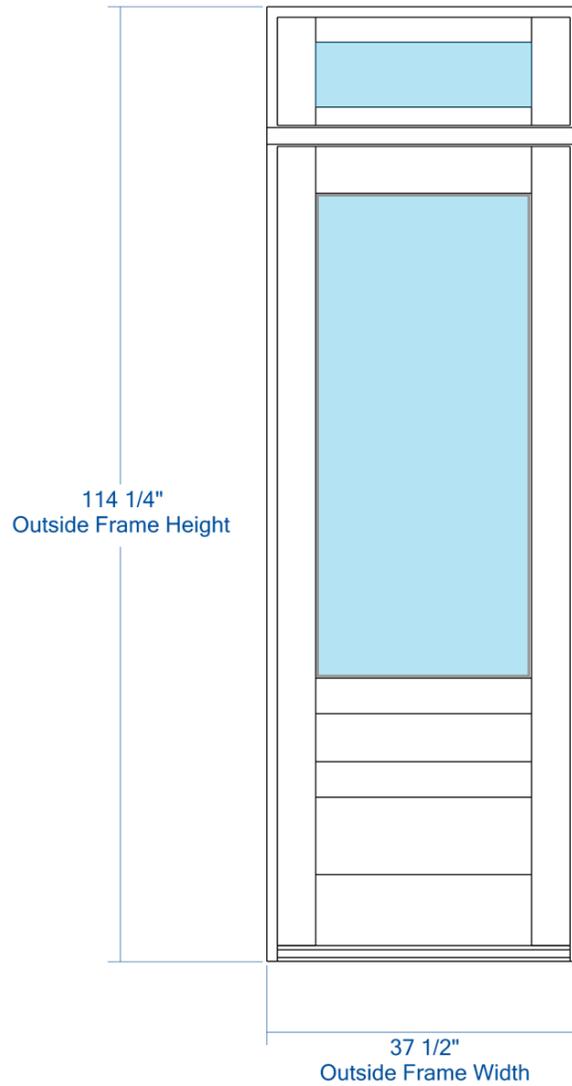
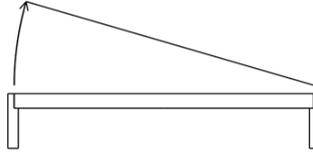
REMOVE EXISTING SIDING  
AND SHEATHING. REPLACE  
DAMAGED EXTERIOR WALL  
WOOD FRAMING W/ NEW  
2X4 #2 SYP

REMOVE EXISTING  
WINDOW

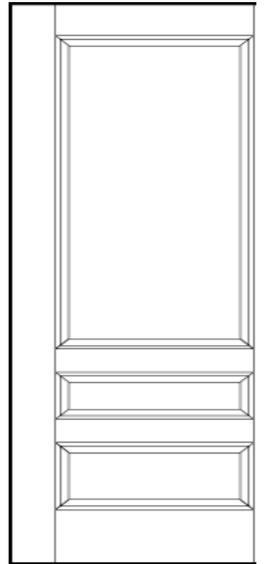
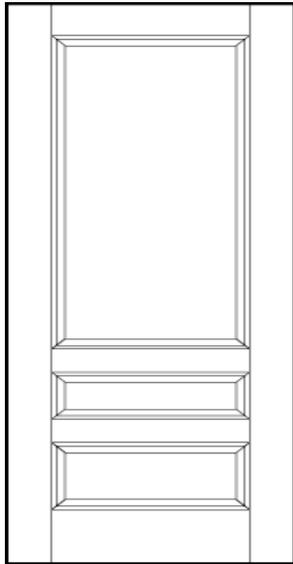
REMOVE EXISTING  
ADDITION/PORCH AT  
REAR

REMOVE WOOD  
PANELING TO  
EXPOSE ORIGINAL  
BRICK PIER  
FOUNDATION

## Entry Door Details



Door Style	Sticking	Panel	Material	Glass / Insert	Product Type
TS3130	SS	C	Resilient Engineered Wood		Entry System



# TS3130

Coastal French Country Craftsman Cape Cod Traditional Modern Farmhouse Mediterranean

**Application:**

Exterior

**Available Type:**

RESERVE

RESILIENT

**Series:**

TruStile (TS) Series

**Thickness:**

1-3/4" , 2-1/4"

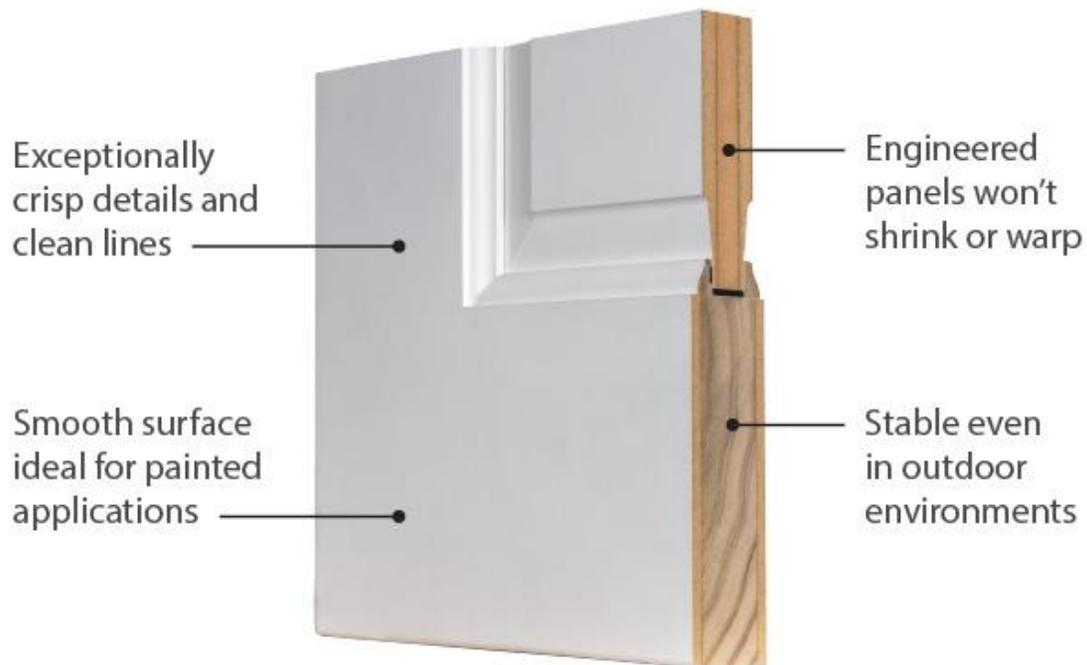
Design Your Door

View Interior Door

Where to Buy

Chat

# TruStile Resilient™ Exterior Wood Door Construction



The Resilient Wood Entry System sets the tone of quality for the whole home using the most durable painted construction without sacrificing any design options.

- Engineered with resilient Accoya®, an acetylated wood product, which brings unprecedented reliability and durability to wood.
- Tricoya® top layers provide exceptional stability, durability and paintability, for outdoor applications.
- Most configurations delivered pre-hung with a pre finish, ready to paint to match your design.

[Chat](#)

**BILL TO:**
**SHIP TO:**
**Phone**  
**Email**
**Phone**  
**Fax**

QUOTE #	PO #	QUOTE NAME	PROJECT	JOB NAME	CUSTOMER PO #
1690205		Mark Chastain	811 E Belmont		

LINE #	LINE TYPE	DESCRIPTION	QTY	U/M	NET PRICE	EXTENDED
100-1	WindowAndDoor	PK- 356				

MARCH 2ND, 2023 PRICEBOOK

H3 FeelSafe Double Hung Windows Double Hung Operating 35.5 x 65.5

Custom: Frame Width = 35.5, Frame Height = 65.5, Sash Split = 50/50, Screen Width = 33.1875, Screen Height = 63.4375

Complete Unit, CoreGuard Plus

Frame = White 001, Clad Finish = AAMA 2604, Primed Interior, White, Pine Interior, Frame

Jamb Flush, Visible Interior Vinyl Profile:Beige

Sash = White 001, Sash-Panel Clad Finish = AAMA 2604, Primed Interior, White

FeelSafe Insulated Low-E, Type LL, Argon Gas, Black Cardinal IG Spacer

Full Screen Applied, Standard Screen, White 001, AAMA 2604, Fiberglass Mesh

Applied Hdwe, Standard Lock, Hdwe = White, Concealed Jambliner, 2-Locks

SDL, Equal, Putty, 7/8", Exterior = White 001, Primed Interior, White, Pine Interior, w/ Shadow

Bar, Shadow Bar Color = Dark Bronze Anodized, 2W1H, Grille Type Custom

Jamb = 4-9/16"

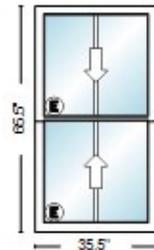
Integral Rigid Vinyl Nailing Fin, Aluminum Drip Cap No/Leg Shipped Separately

U-Factor = 0.29, SHGC = 0.32, CR = 54, VT = 0.47, AI = &lt;0.30/&lt;1.5, CPD =

SIE-N-135-05081-00004, Energy Star Region = NC, GapFill1 = ARG, Can ER = 21, W m 2k = 1.65

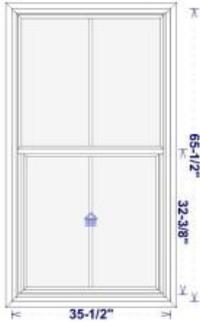
PG50, Wind Zone = WZ-3, FBC = FL21907, TDI = WIN-2300

Unit 1: Glass Width = 30.375, Glass Height = 29.8125, Sash Width = 32.125, Sash Height = 31.8125


**W01**

**Rough Opening:** 36" X 66"  
**Overall Unit Size:** 35.5" X 65.5"  
**Room Location:** Living Room





W02

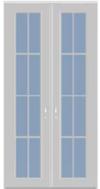
Certification Type: FPA  
 Vent Configuration: EQUAL  
 Size Selection: NOMINAL  
 Size Ref: ACTUAL  
 Rough Masonry: 37 1/4 X 66 1/2  
 Egress Opening: 31 1/4 X 28 1/8 (6.097 SQFT)  
 Balance Type: CONSTANT  
 Interlayer Type: PVB090  
 Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN  
 Glass Color: CL - CLEAR  
 Argon Gas: NONE  
 Grid Type: SDLT0875 - 7/8" Traditional SDL  
 Grid Location: UNIT  
 Summary Bottom: 2A1D LITES (1V0H BARS)  
 Screen Type: 1816K - 1816 Charcoal  
 Vent Latch: N  
 Lock Type: SWEEP - Sweep Latch  
 Comfort Lift: Y  
 Lock Quantity: 2.0000  
 Acc Glass Breakage: N  
 Vent Ht: 32.3930  
 CAR#: EVAL REPORT  
 NegativeDesignPressure: 50.0000  
 EnergyStar: NONE  
 UF: 0.3300  
 VT: 0.4800

Frame Type: 1.375FIN  
 Window Style: STD  
 Size Code: 3056.0000  
 Actual Size: 35 1/2 X 65 1/2  
 Wood Frame Opening: 35 3/4 X 65 3/4  
 Frame Color: W - White  
 Glass Family: LI - Laminated Insulating  
 Glass Makeup: LIA207AA5  
 Does unit need to meet Turtle Code: NO  
 Low E: ENERGY SHIELD  
 Privacy Glass: NONE - NONE  
 Grid Style: U.COL.LITES  
 Summary Top: 2A1D LITES (1V0H BARS)  
 Reinf. Upgrade: NONE - None  
 Screen Frame Type: ROLLFORM  
 WOCD: N  
 Upgrade Hardware Finish: N  
 Lift Rail: N  
 Boxing Options: BS - Box Screen  
 Decralite: N  
 Prep for Mull: N  
 PositiveDesignPressure: 50.0000  
 PANumber: FL1435  
 CondensationResistance: 55.0000  
 SolarHeatGainCoeff: 0.2800  
 VTCOG: 0.7100

Location: Bedrooms

Notes: W2

0003 (3.00)	FD5555 FRENCH DOOR SERIES 5555	Ordered: 2.00	Sell Price	Ext Price
<b>Configuration:</b> 47.75X95.75,4080,W,CL,L6,1-3/16 TLIG,NONE,7/8" TDL,1V3H/1V3H,OUTSWING,1.375EXTERIOR,XX,ACT R PANEL/IINACT L,DUMMY,N,KD FRM,LIT211AA5				



E

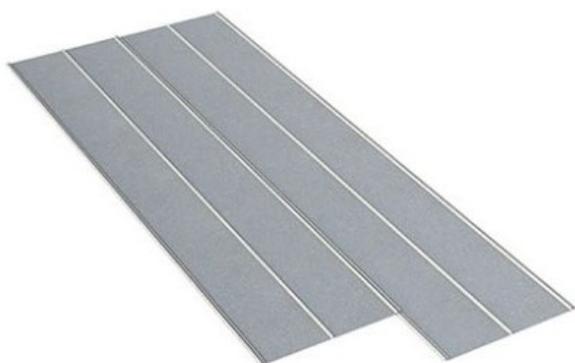
Certification Type: FPA  
 Size Selection: NOMINAL  
 Actual Size: 47 3/4 X 95 3/4  
 Opening Size: 48 X 96  
 Door Swing: OUTSWING  
 Primary Panel: RIGHT  
 Door Glass: 1 3/16" IG (1/8TMP-11/16 AIR-5/16  
 Glass Color: CL - CLEAR  
 Low E: ENERGY SHIELD  
 Privacy Glass: NONE - NONE  
 Grid Style: U.COL.LITES  
 Inactive Hardware Prep: DUMMY  
 Send Inactive Lock: Y  
 Hardware Style: 800LVR  
 Hinge Color: BSS - Brushed Stainless Steel  
 5/8 Add-on Flange: N  
 Acc Glass Breakage: N  
 Decralite: N  
 PositiveDesignPressure: 50.0000  
 PANumber: FL-331  
 CondensationResistance: 60.0000  
 SolarHeatGainCoeff: 0.2100  
 VTCOG: 0.7100

Assembly Type: XX  
 Size Code: 4080.0000  
 Assembly Sz: 47 3/4 x 95 3/4  
 Frame Color: W - White  
 Threshold Type: 1.375EXTERIOR  
 Glass Family: LI - Laminated Insulating  
 Does unit need to meet Turtle Code: NO  
 Door Glass Color: CLEAR  
 Argon Gas: NONE  
 Grid Type: SDLT0875 - 7/8" Traditional SDL  
 Grid Summary Door: 2A4D LITES (1V3H BARS)  
 Send Primary Lock: Y  
 Hardware Color: SNKPVD - Satin Nickel PVD  
 Keyed Hardware Alike: N  
 Anchor Group: A.FD5555  
 Boxing Options: N - None  
 KD: Y  
 CAR#: EVAL REPORT  
 NegativeDesignPressure: 50.0000  
 EnergyStar: NONE  
 UF: 0.3300  
 VT: 0.3500

Location: Doors E

Notes:

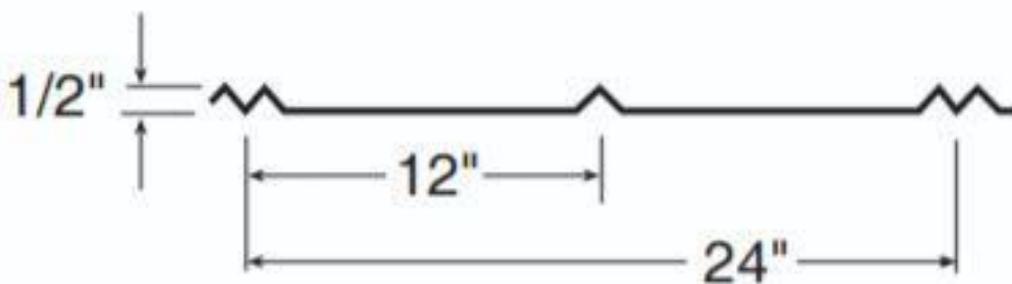
## ROOFING



5-V

### METAL ROOF PANELS

MRF	BAKER METAL WORKS
MODEL	5V PANEL
GA	26 GA
FINISH	GALVALUME
FL PRODUCT #	10094



## 5-V PANEL

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The 5-V Panel has a beautiful and simple design. It's no wonder it's been a popular panel choice for many generations. The aesthetic value of this panel design has given rise to its popularity, especially in coastal homes. Many customers have

used it as accent panels in non-structural designs as well. This panel provides 2' of coverage per panel width & can be



custom cut to any length. 5-V panels are only available in 26 gauge Galvalume.

## INSTALLATION SPECIFICATIONS

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[Click here to download installation specifications.](#)

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## Visual Comfort Studio 8414201EN3-12 Perrywood Black LED Exterior Extra Small Lamp Sconce

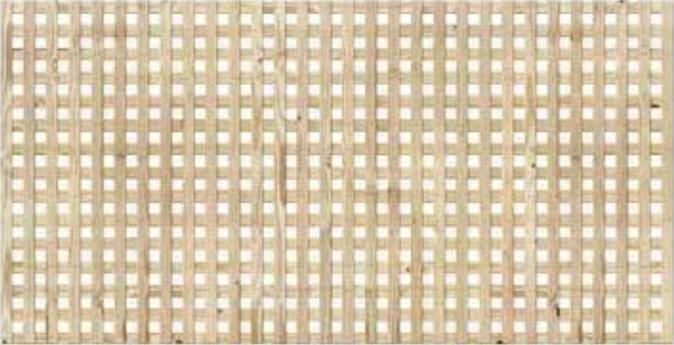
by **Visual Comfort Studio** Item# VCS-8414201EN3-12

### Product Specification

- Black Finish
- Water Shade
- Measures 6.5 inches wide, 12 inches tall, 7.875 inches deep
- Wet rated
- Uses 1 9.5w Replaceable LED bulb(s) (included)
- 800 Lumens
- Color Temperature: 3000K
- CRI: 90
- Title 24 Compliant
- ENERGY STAR Certified
- A product of Generation Lighting
- A Sea Gull Lighting product



LATTICE PANELING  
SQUARE WOOD PRIVACY LATTICE



811 E BELMONT RENOVATION

07 JUN 2023

PRODUCT DATA

WOOD SIDING  
1X6 WOOD LAP SIDING W/ 4" EXPOSURE



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PRODUCT DATA

PARKING PAVER

BELGARD CATALINE GRANA, SLATE COLOR



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PRODUCT DATA

PORCH DECKING  
1X6 GARAPA



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07 JUN 2023  
PRODUCT DATA