



City of
Pensacola
*America's First Settlement
And Most Historic City*

***Planning Board Application
Request for Aesthetic Review***

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

***Redevelopment
District:***

Waterfront

Gateway

***South Palafox
Business***

***North 9th
Avenue***

** An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

Applicant Signature

Date

***Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521***



Proposed Frerich Residence

Looking West



Aerial



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

Looking South



Looking North



PROJECT – LOCATION :

Frerich
Residence
Aragon

524 East Romana
Lot 3 Block J

Type II
Cottage
HR-2

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

Site Photos
City Planning Board

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

SITE PHOTOS

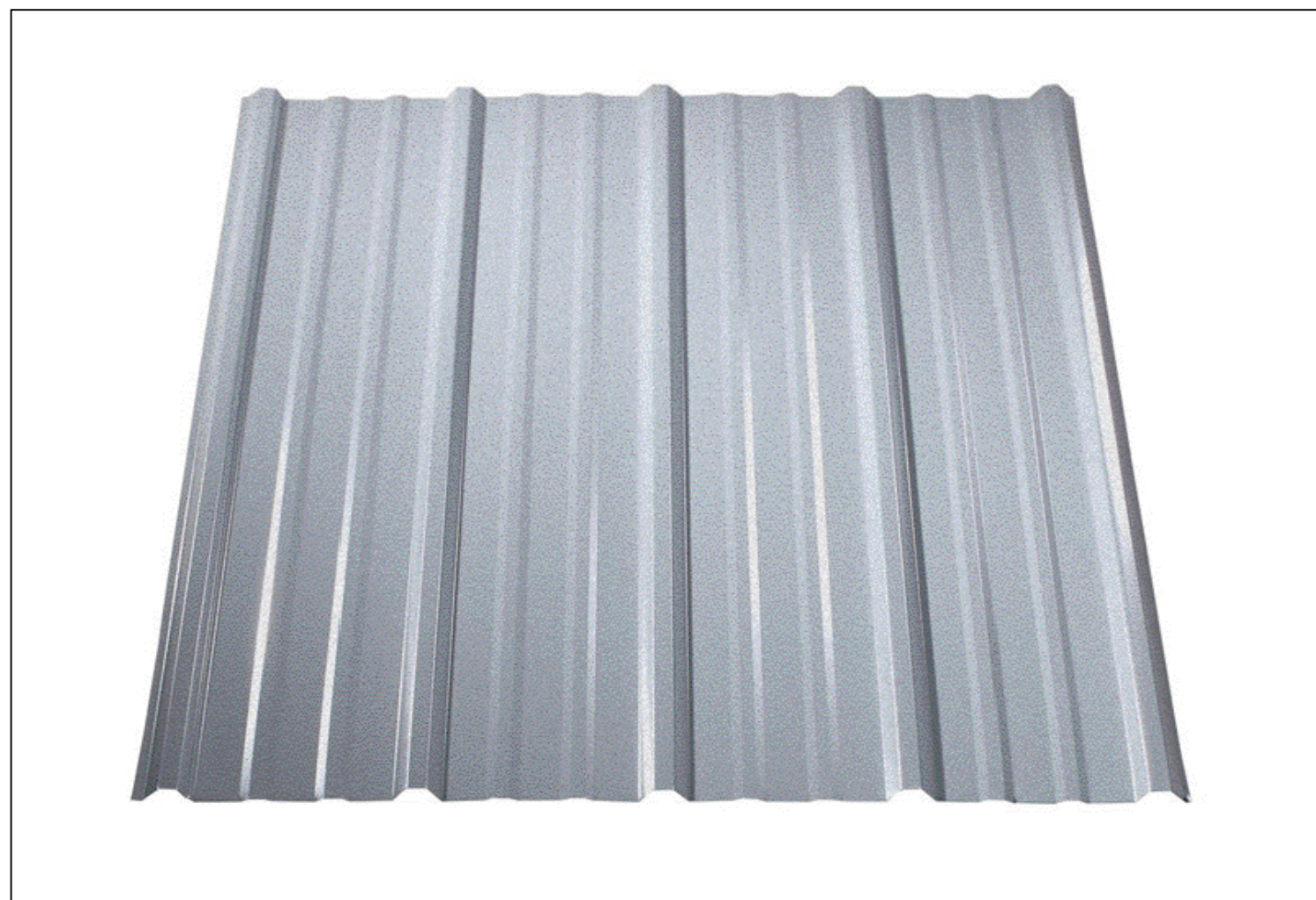
House to the East



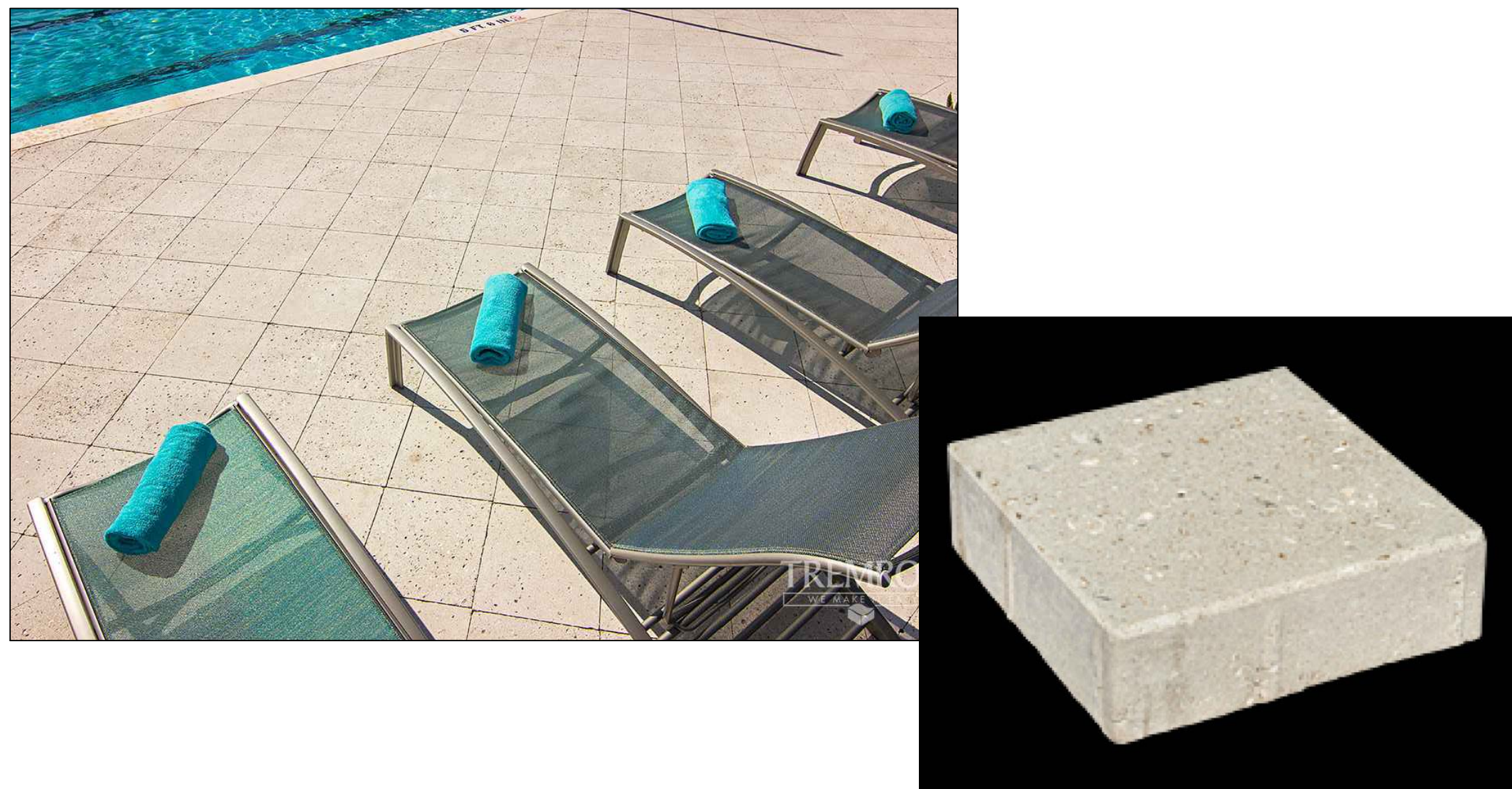
Looking East



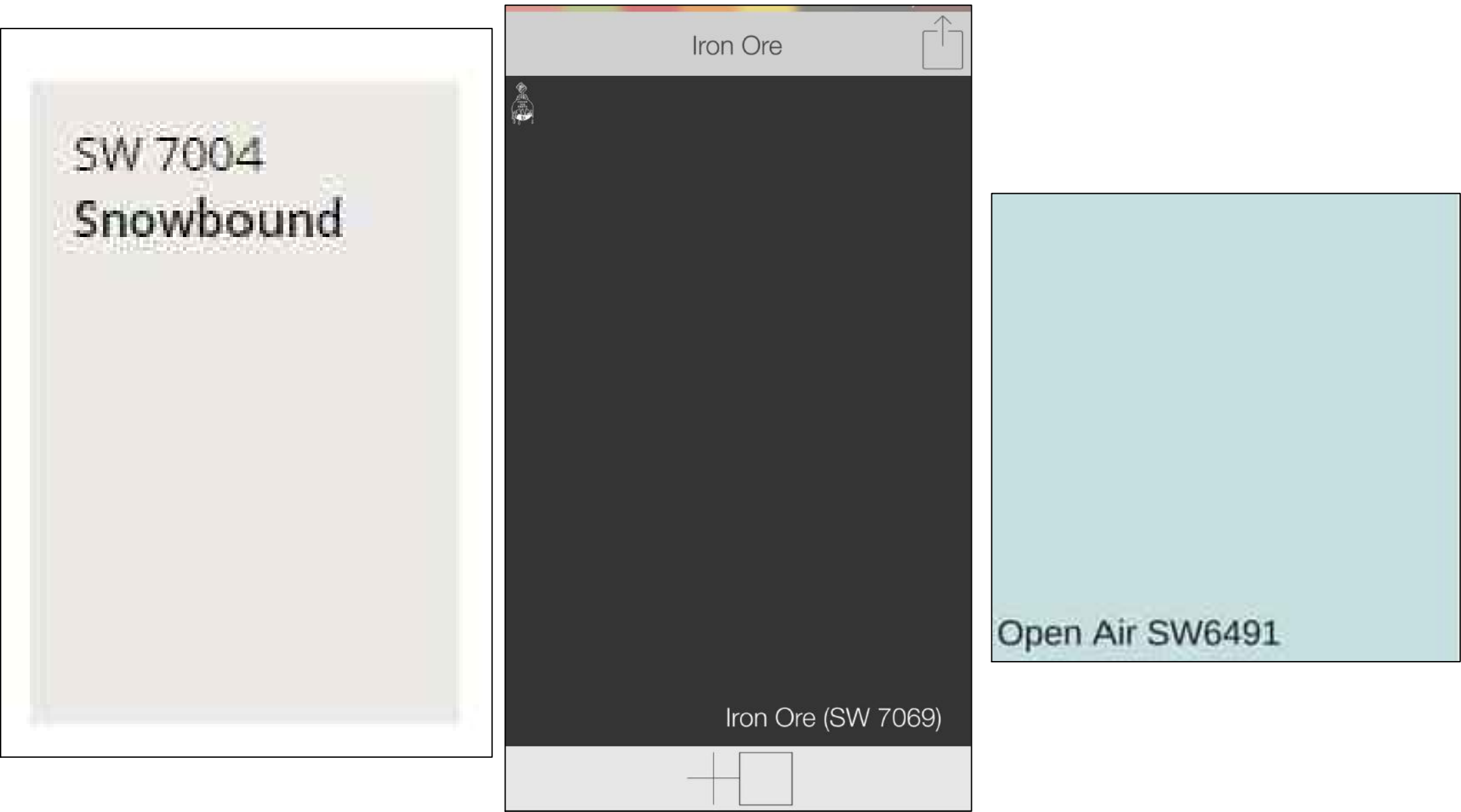
Roof
Galvalume Prefinsihed-Natural



Pool Deck Pavers
Tremron Shellstone White



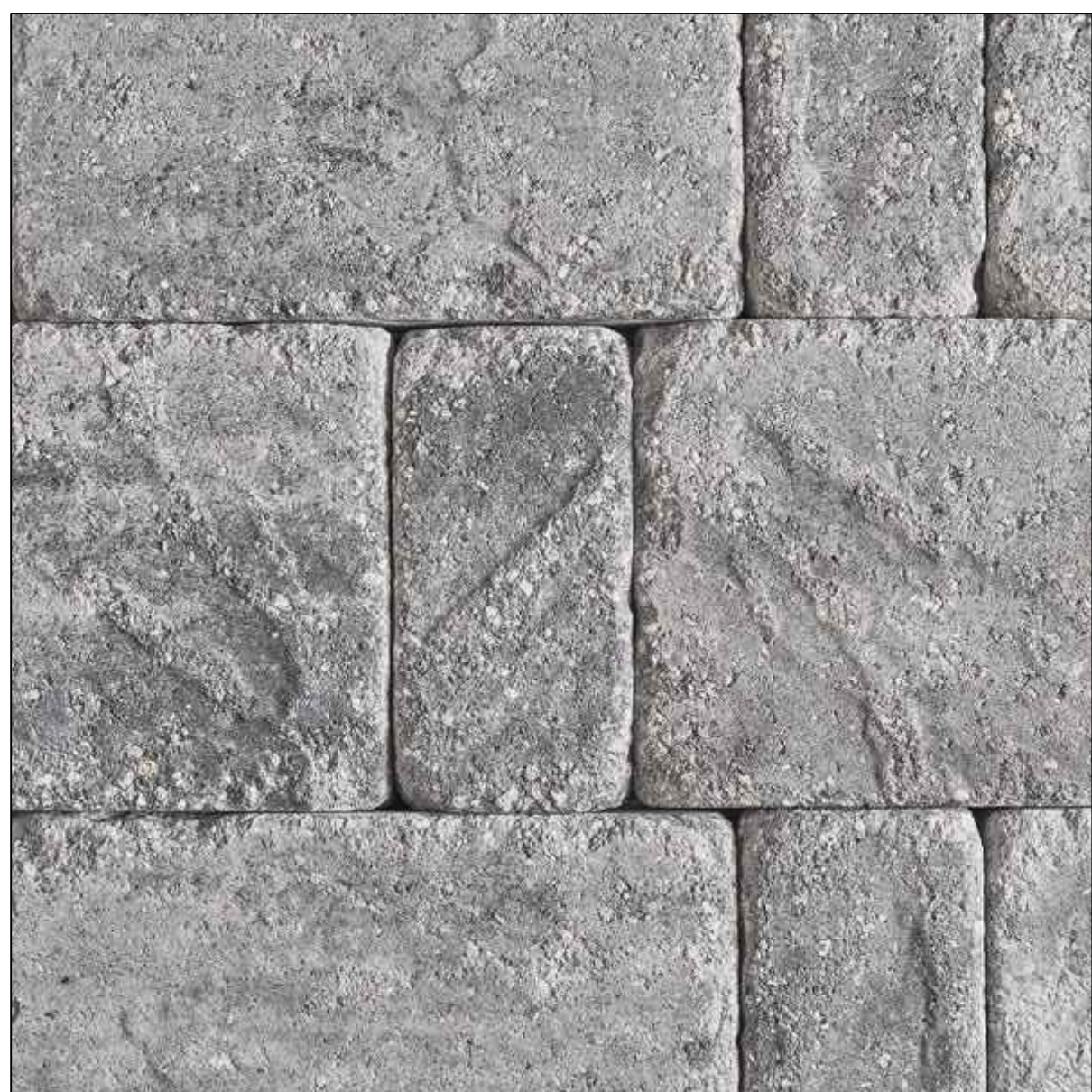
Paint Colors
Shervwin Williams Snowbound
Iron Ore and Open Air



French Doors & 3/4 Doors
Glasscraft Fiberglass w/impact glass
Color Black Glass will be clear



Drive & Sidewalk Pavers
Tremron Roma Glacier



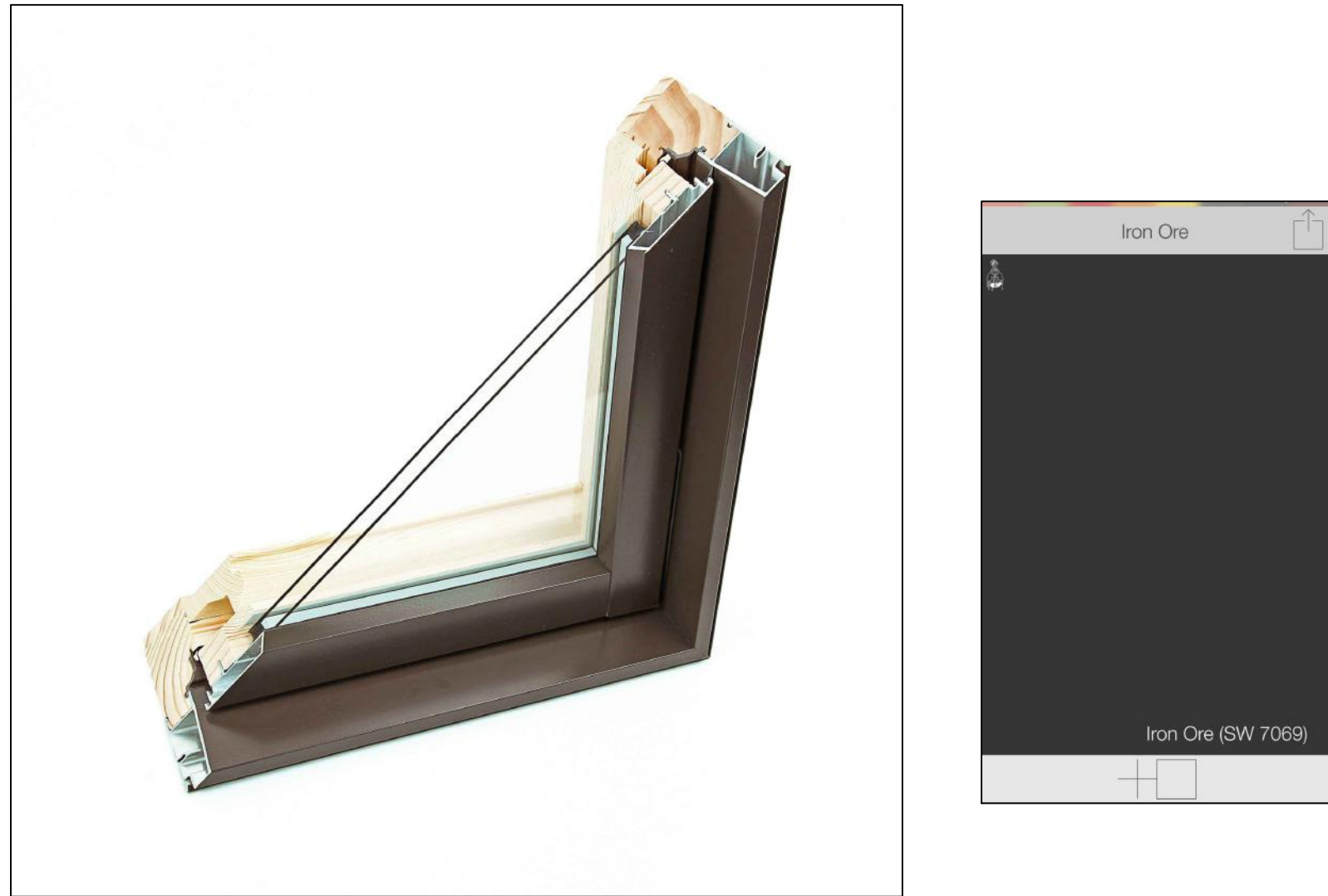
Siding
Hardi Cedarmill texture
SW Snowbound



Door/Window Header
Fypon Classic 9" Crosshead




Windows
Windsor Pinnacle Impact Metal Clad
Color Black



Decking
Timbertech Legacy Color: Ashwood





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REVISIONS :

Product Pages
City Planning Board

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PRODUCTS 1

Soffit
Beadboard: SW Open air



WOOD BEAD BOARD OR TONGUE AND GROOVE P.T. WOOD
HARDI NO LONGER MAKES BEADBOARD

Shutters
SW Open air



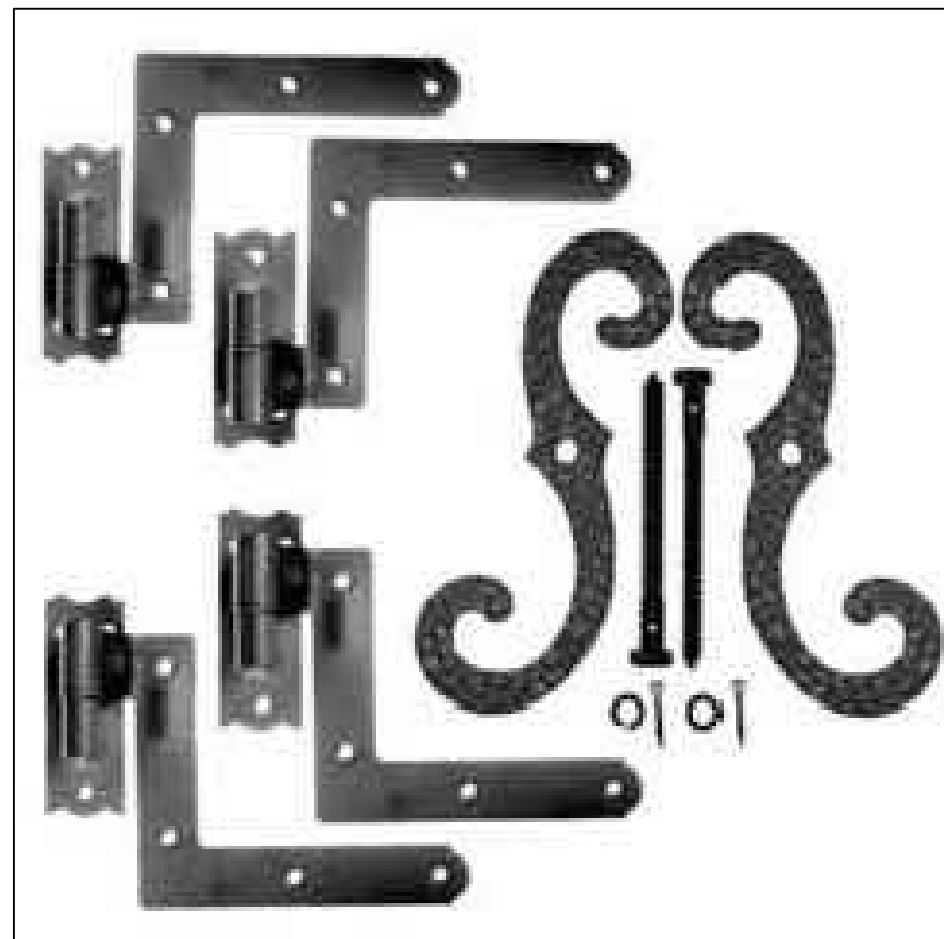
Garage Door
Haas American Traditon in Black



Floodvent/Crawlspace
White Freedom Vent



Shutter Dogs
Color Black



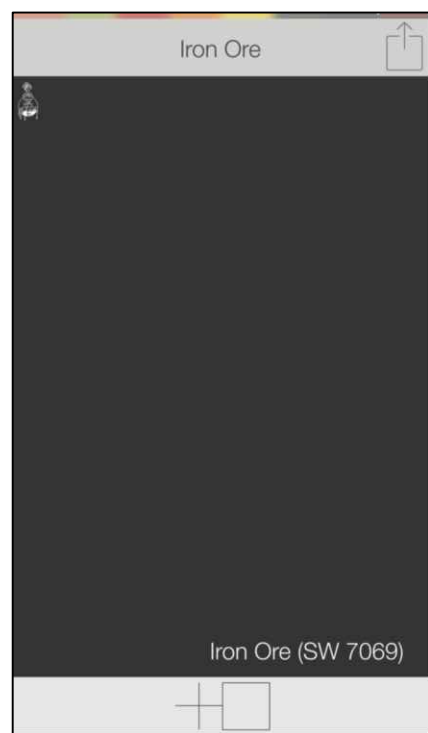
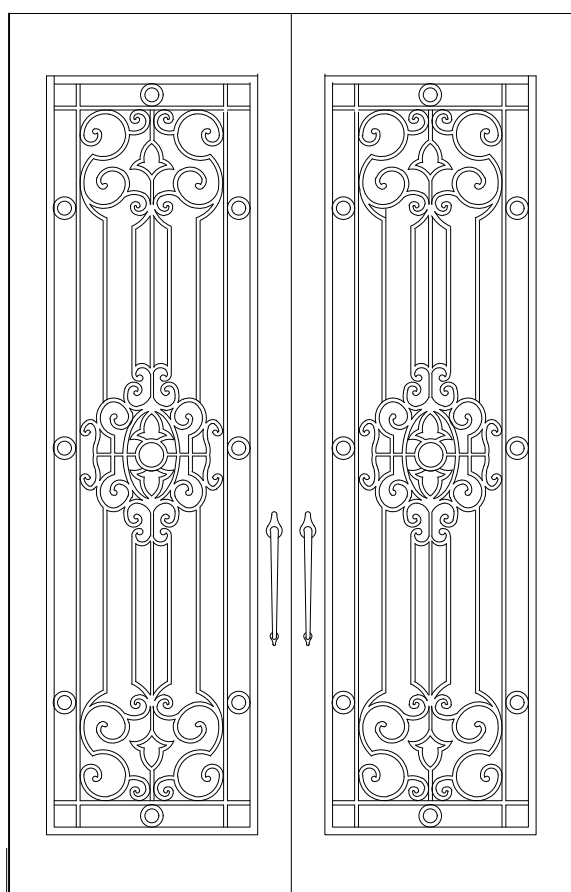
Lighting
St. James Trinity Matte Black



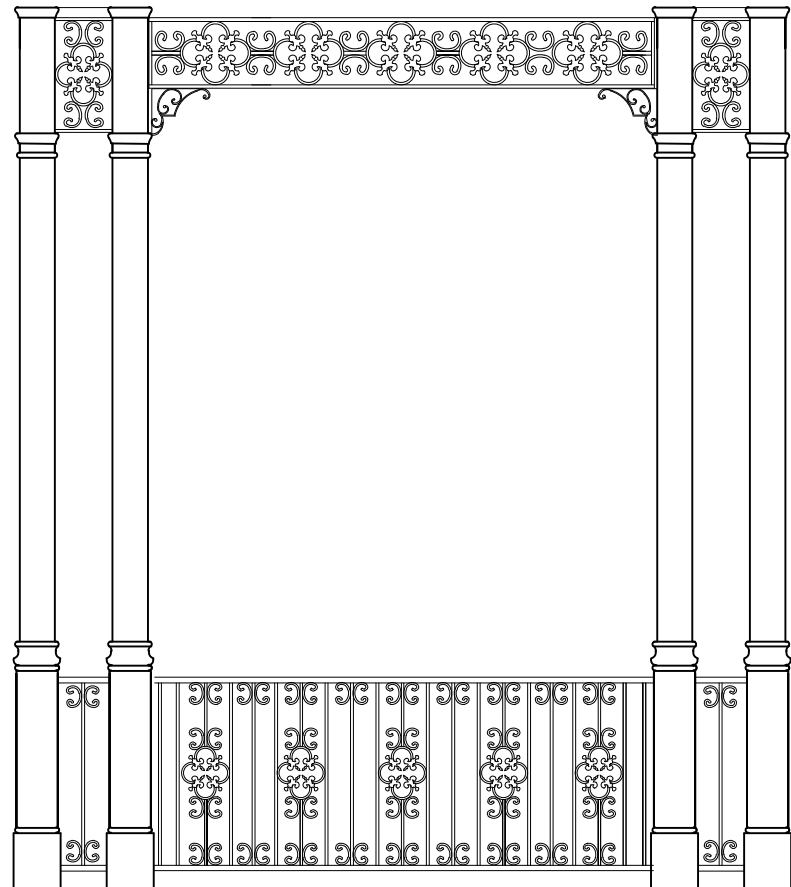
Gutter and Downspouts
Ogee in white



Gate
Custom in Black



Iron Work Railing-Example
Custom in Black



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Patio Doors

Pinnacle Swinging Patio Door

Features and Benefits

- Stainless steel multi-point locking hardware option for added security
- Integral structural air/gas seals for doors up to 12 feet wide to be placed in a single frame, which decreases the potential for air and water infiltration
- "Easy Adjust" hinge system for effortless operation and correction after installation
- Wept all system to eliminate water infiltration
- Dual-seal weatherstripping at panel base and edge improves air and thermal performance
- Teller tilt provides excellent water performance and design pressure ratings
- Foam-banded glazing bed prevents paint and stain from bleeding
- Active sashes constructed of an UVL com material for added strength and stability
- Panel exterior matches finish
- Product line with consistent depth from glass to face of the panel for a clean, complementary appearance
- Panels available in traditional French or contemporary narrow stile
- Low clearance (ADA-approved) all options in-swing and out-swing options available
- 1/2" and 3/4" stile available with flat or split panel option
- Step-top available

Sizes

- Five standard heights: 6'0", 6'10", 8'0", 9'0" and 10'0" (6'0" and 10'0" doors available in French panels only)
- Custom sizes available

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass, Cardinal® Lc® 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone sealant
- Custom and special glass types available

Exterior Trim

- Cast doors available with WM 180 brickmould, Williamsburg or 1-1/2" flat casing; primed doors available with WM 180 brickmould, WM 180 traditional with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing
- All prime doors are either PVC/UP

Grilles

- *Windsor Grided Lc® is simulated divided lite*
- 7/8" and 1-1/4" Perimeter Grille
- 3-4" and 1" Profiled Inner Grille
- 13/16" flat inner Grille
- 7/8" and 1-1/4" Copse WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty Contemporary WDL
- 3-20" Simulated Half Rail
- Standard and custom grille patterns available

Weatherstripping

- Rigid, weatherable PVC or urethane foam encased in polyethylene film
- In-swing and out-swing doors feature bottom heavy-duty, self-adjusting sweeps

Finishes

- Interior - Available in Clear Select Pine, Douglas Fir or Natural Alder
- Exterior - White or black
- Painted: white, black or gray
- Stained: 8 color options
- Premium - Clear doors available in heavy-duty extruded aluminum cladding; primed doors offer an assortment of traditional colonial PVC trim options

Cast Colors

- All cast colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments
- 23 Standard Cast Colors available in 2604 and 2605 finish
- 20 Feature Cast Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Cast Colors available in the 2604 finish only

Hardware

- Classic or contemporary handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass, antique brass, faux bronze, oil rubbed bronze and black; Euro handle available in satin nickel and black

Performance Ratings

- For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar

www.windsorwindows.com

9/2022

Casement Window

WINDSOR
WINDOWS & DOORS

Pinnacle Select Impact Casement & Awning

Features and Benefits

- Clear Select Pine, Douglas Fir or Natural Alder interior
- Constructed with 2-5/8" wide stile and rail that add structural stability and provide a more massive architectural appearance
- Reduce 2-3/8" thick sash adds dimension and strength
- Double mortise and tenon sash joints fastened with screws for strength and stability
- Select casement and awning available in two styles
 - Operating standard crank
 - Push-out lever handle
- Retractable screens available on operating and push-out products; pull bar, carriage case and frame of screen produced from same wood species as window

- Push-outs equipped with adjustable friction ripples and lock rollers in both casement and awning
- Friction devices provide larger push-out awning maintains sash opening
- Operating casement units adjustable hinges
- Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- Meets and exceeds building codes for extreme coastal environment conditions
- Laminated glass dampens sounds from traffic, neighbors and the outdoors
- Preservative protective film standard

Sizes

Available in hundreds of standard and custom sizes

Glazing

- Glazed with tape and structural glazing sealant
- Central Seal-Storm™ LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glasses utilize annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units with optional SGP inner layer; layer, load units feature SGP inner layer

• Full-width extension jambs standard

• Push-out hardware consists of a easy-to-operate lever with cam rollers and bearings. This mechanism provides a multi-point locking system that is standard

Exterior Trim

- Cast windows available with WM 180 brickmold, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" subill available

Grilles

Window Divider (W/D) - simulated divider tile

- 7/8" and 1-1/4" Thermador Grille (NOT available on arctic casements)
- 7/8" and 1-1/4" Black Grille
- 3/4" and 1" Profiled Inner Grills
- 13/16" Flat Inner Grills
- 7/8" and 1-1/4" Edge W/D.
- 5/8", 7/8", 1-1/4" and 2" Tall and Short Pushy W/D.

- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary W/D.
- 2" Simulated Check Rail
- Standard and custom grille patterns available

Finishes

Interior - Available in Clear Select Pine, Douglas Fir or Natural Alder

- Painted: White or black
- Stained: White, black or gray
- Stained: 3 color options
- Exterior - Clear windows feature heavy-duty extruded aluminum cladding on sash and frame

Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 26 Standard Clad Colors available in 2604 and 2605 finish
- 26 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

• Escrowe locking meeting crank and cover by Tuff-Tite available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel or light bronze. Push-out available in white, black, faux bronze, satin nickel or oil rubbed bronze

- Units come standard with Seacoast upgraded hinges and locking hardware

Performance Ratings

For current performance ratings, visit our website at www.windsorwindows.com and click on "Professional Information" in the menu bar

www.windsorwindows.com

12/2022

Light

**Trinity Medium
STEEL WALL MOUNT**

32½"

10"

Front View

14½"

Side View

6"

12"

¾"

1/4" Male Flare Fitting

Backplate

Lights are hand crafted
Dimensions may vary by 1/4"

Trinity Medium Steel Wall Mount	
St. James LIGHTING	
SCALE: N.E.S.	DRAWN: B. Vogel
FILE: TRM	APP'D: J. Roggen
JOB: X	DATE: 9/9/17



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Frerich
Residence
Aragon

524 East Romana
Lot 3 Block J

Type II
Cottage
HR-2

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REVISIONS :

Cut Sheets City Planning Board

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

CUT SHEETS

Window Trim

Window Mullions

The screenshot displays the Pinnacle Windows website's product selection interface. The browser window shows the URL: https://www.pinnaclewindows.com/finis/default.htm/events/finis/product-36/Pinnacle_Showroom_Brochure_01-2023_0.pdf. The page title is "Pinnacle Windows - Brochure 01-2023_0.pdf".

The main content area is titled "PINNACLE WINDOWS | Pinnacle Select Windows" and features a grid of grille profiles categorized by style and location:

- Interior Grilles – Ogee:** Shows three profiles with dimensions 20", 1-1/4", and 2".
- Interior Grilles – Putty:** Shows three profiles with dimensions 5/8", 3/8", and 1-1/4".
- Interior Grilles – Contemporary:** Shows three profiles with dimensions 5/8", 7/8", and 1-1/4".
- Exterior Grilles – Ogee:** Shows three profiles with dimensions 7/8", 1-1/4", and 2".
- Exterior Grilles – Putty:** Shows three profiles with dimensions 5/8" (flange), 3/8" (flange), and 1-1/4" (flange).
- Exterior Grilles – Contemporary:** Shows three profiles with dimensions 5/8" (flange), 7/8" (flange), and 1-1/4" (flange).

The profiles are illustrated with cross-sectional diagrams and corresponding dimensions. The website also includes a navigation bar with links like "Home", "About Us", "Products", "Services", "Contact Us", and a search icon.

Garage Doors

American Tradition™ series

American Tradition™ series has been expanded to include 9200 models with 2" thick base door options.

9200 Models

- 2 3/8" Thick with Overlay
- 17.66 Calculated R-Value
- Full Thermal Break
- Air Infiltration Joint Seal
- Environmentally Compliant Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Polyurethane Overlay Boards
- Available with Wind Load & Impact Options
- Uses available in top two sections
- Max Width = 20'2"
- Max Height = 10'0"

9600 Models

- 2" Thick with Overlay
- 13.45 Calculated R-Value
- Full Thermal Break
- Environmentally Compliant Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Polyurethane Overlay Boards
- Available with Wind Load & Impact Options
- Uses available in top two sections
- Max Width = 18'2"
- Max Height = 16'0"

Single Door Designs

9220 Plain	9221 Plain	9222 Plain	9240 Plain	9241 Plain	9242 Plain	9230 Arch	9231 Arch	9232 Arch	9250 Arch	9251 Arch	9252 Arch
16'0" Plain (9'2" Arch)	16'2" Plain	16'2" Plain	16'4" Plain	16'4" Plain	16'4" Plain	16'0" Arch	16'3" Arch	16'3" Arch	16'5" Arch	16'5" Arch	16'5" Arch

Double Door Designs

9220 Plain (9230 Arch)	9221 Plain (9231 Arch)	9222 Plain (9232 Arch)	9240 Plain (9250 Arch)	9241 Plain (9251 Arch)	9242 Plain (9252 Arch)
16'0" Plain (9'2" Arch)	16'2" Plain (9'2" Arch)	16'2" Plain (9'2" Arch)	16'4" Plain (9'2" Arch)	16'4" Plain (9'2" Arch)	16'4" Plain (9'2" Arch)

Colors

Polar White	Almond	Sandstone	Bronze	Brown	Gray	Charcoal	Carbon Black™
-------------	--------	-----------	--------	-------	------	----------	---------------

American Walnut	Mahogany	Ash	English Oak	Graywood
-----------------	----------	-----	-------------	----------

For an accurate color match, contact your Haas Door dealer.
 **Carbon Black includes a cool chemistry paint finish but is not recommended for growth with sensitive exposures to heat and sunlight.



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REVISIONS :

Aragon Final Submittal

July 24 , 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Siteplan
& Area Siteplan

SHEET NO. :

AS1-1

CENTRAL ALLEY

ROMANA STREET

(47' PUBLIC R/W)

Existing House

Proposed Residence

Area Siteplan & Siteplan

Scale: 1/4"=1'-0"

Vacant Lot

INDICATES THE FLOW OF WATER
TO A COLLECTION SOURCE AND
NOT ON NEIGHBORS

FEMA Note

NOTE: 12' WILL BE THE NEW FEMA REQUIREMENT
ON THE NEW FLOODMAPS TO BE ADOPTED IN
2023 OR IN THE NEAR FUTURE. THE PRELIMINARY
FLOODMAP IS AE9' WITH 3' FREEBOARD FOR 12'.

Electrical Meter & Equipment Note

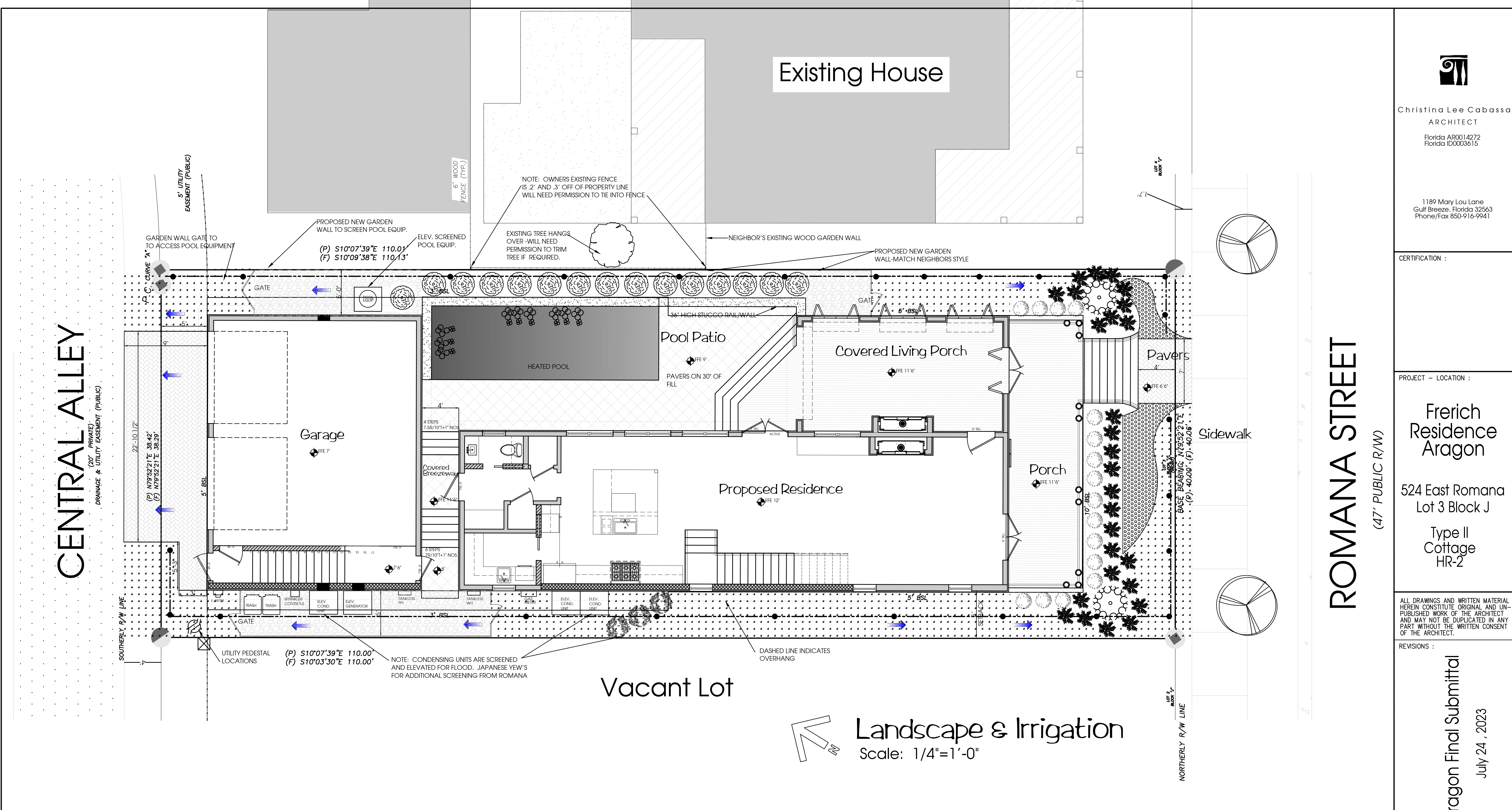
12' FOR FLOOD BOTTOM OF ALL EQUIPMENT
ELECTRICAL METER, CONDENSING UNITS, GENERATOR
SPRINKLER CONTROLS AND GAS TANKLESS WATER HEATERS
*POOL EQUIPMENT IS SHOWN AT 12' AS WELL

Lot Coverage Calculations

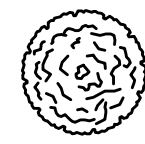
LOT SIZE 4396 SF
1227 PVIOUS
3169 SF IMPVIOUS
61.2% IMPVIOUS
38.8% PVIOUS


House Calculations

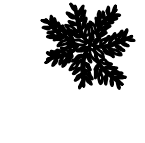
GROUND FLOOR	1038 SF
SECOND FLOOR	1328 SF
GROUND FRONT BALCONY PORCH	232 SF
SECOND FRONT BALCONY PORCH	232 SF
GARAGE/STAIRS GROUND	741 SF
GARAGE 2ND GUEST	620 SF
GARAGE 2ND STAIRS	121 SF
GARAGE GUEST BALCONY	72 SF
DECK AROUND POOL	381 SF

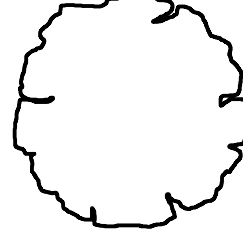



LEGEND

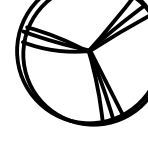
 ITALIAN CYPRESS

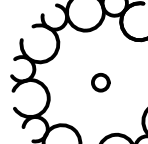
 MINIATURE AZALEAS/GARDENIAS

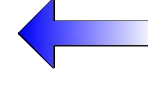
 VARIEGATED LILYS

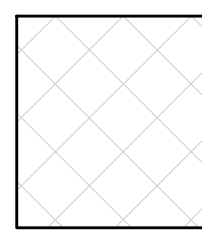
 NEIGHBORS EXISTING TREE TO BE TRIMMED.


 JAPANESE YEW HEDGE


 EXISTING STREET TREE TO REMAIN


 BOTTLE BRUSH TREE


 INDICATES THE FLOW OF WATER TO A COLLECTION SOURCE AND NOT ON NEIGHBORS


 INDICATES CONCRETE PAVERS TREMRON SHELLSTONE WHITE


 INDICATES DECKING TIMBERTECH LEGACY, ASHWOOD


 SPRINKLER LINE


 SPRINKLER HEAD

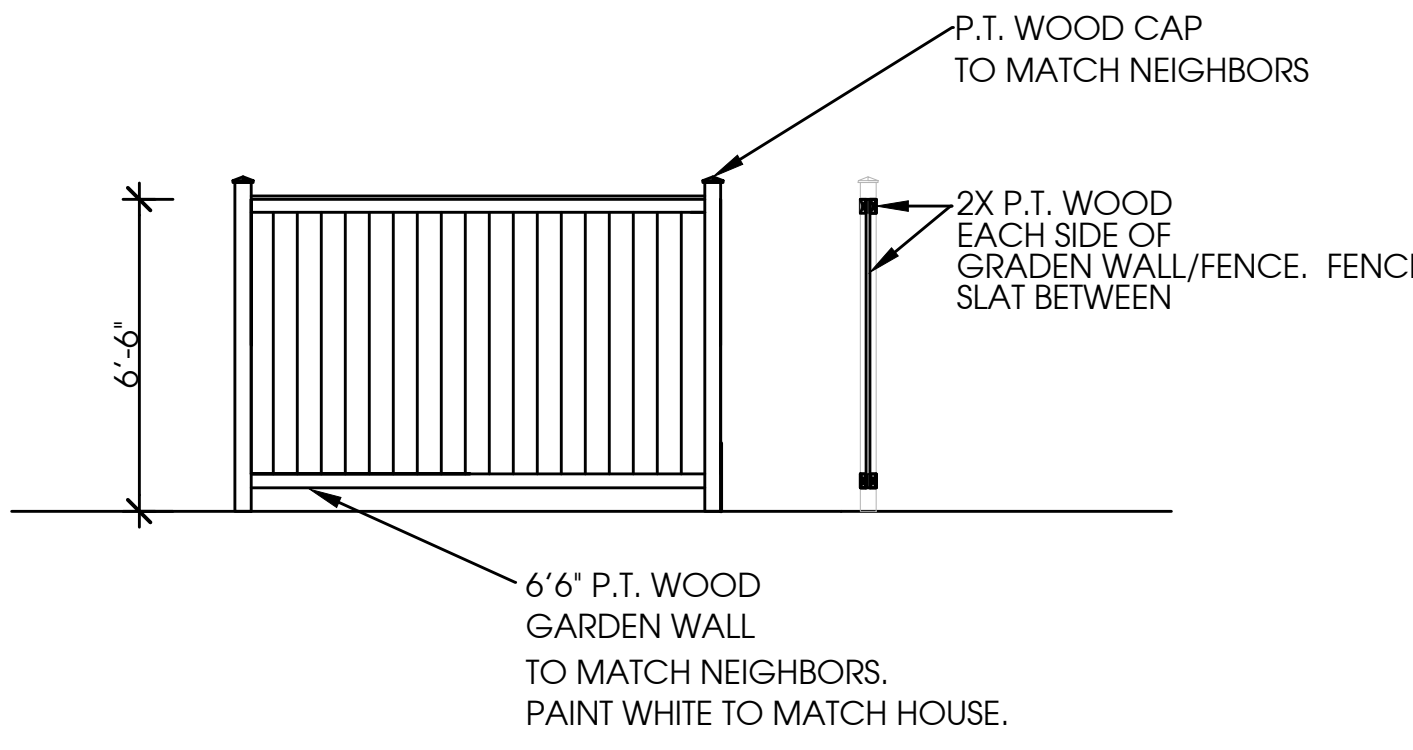
 HOSE BIBS

 INDICATES CONCRETE PAVERS VEHICULAR GRADE TREMRON ROMA GLACIER


 GRASSED AREA ST. AUGUSTINE OR ZOYSIA

 PERVIOUS PEA GRAVEL

 ANNUAL FLOWERS



GARDEN WALL/FENCE DETAILS



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REVISIONS :

Aragon Final Submittal
July 24 , 2023

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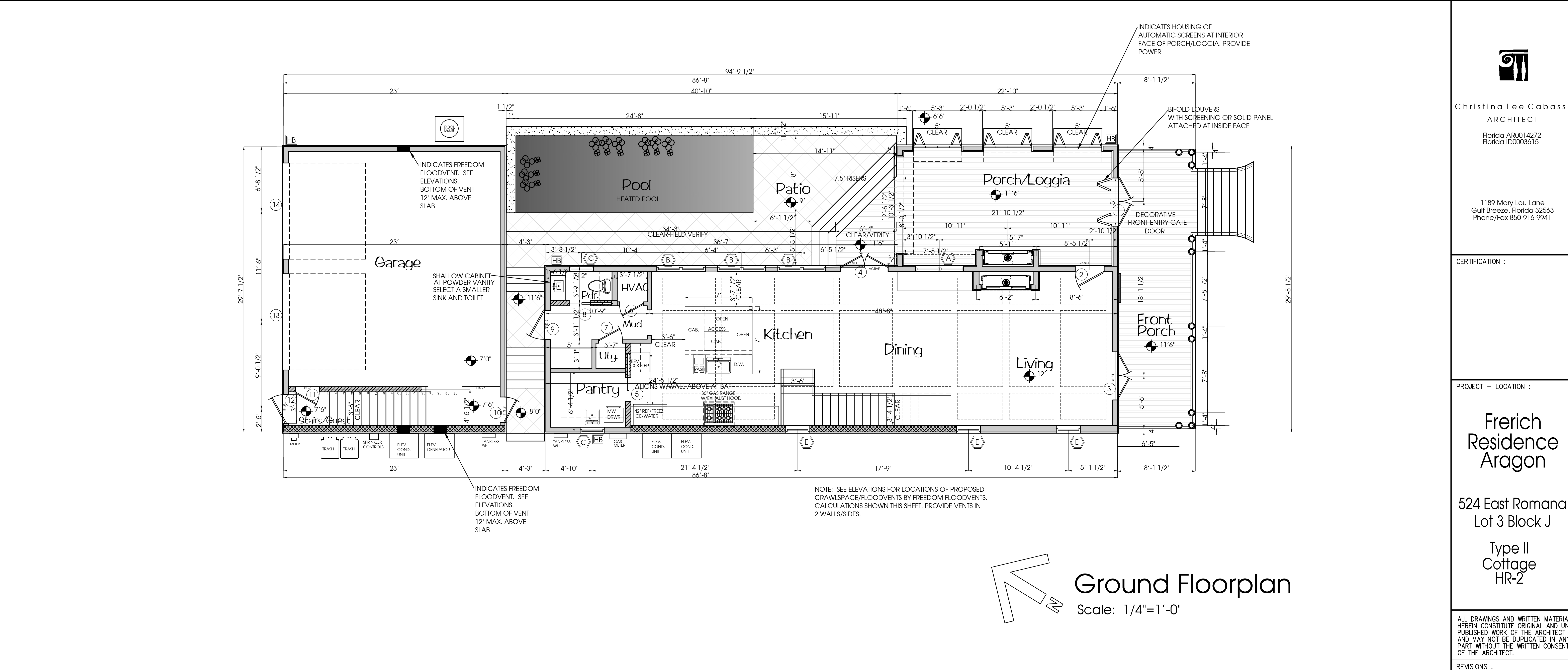
DATE :






SHEET TITLE :


Landscape
&Irrigation

SHEET NO. :

AS1-2



FLOOR PLAN NOTES		HOUSE CALCULATIONS	WALL LEGEND	<div>Aragon Final Submittal</div> <div>July 24 , 2023</div>																																												
<div>1. DOOR CASING DIMENSIONS DOORS HAVE BEEN LOCATED TO ALLOW FOR CASING AND PAINTED SHEETROCK. LOCATE SWITCHES AND OUTLETS SO THEY CLEAR CASING.</div> <div>2. ACCESSORIES PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF TOILET PAPER HOLDERS, TOWEL HOLDERS AND HOOKS.</div> <div>3. SHELVING AND RODS PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF WOOD SHELVING AND METAL RODS IN CLOSETS.</div> <div>4. POCKET DOOR FRAMING VERIFY POCKET DOOR LOCATIONS AND REQUIRED FRAMING. IF CONFLICTS, CONSULT OWNER\ ARCHITECT. 6" WALLS ARE SHOWN FOR POCKET DOORS. Provide quality doors and hardware.</div> <div>5. CONFLICTS IN THE FIELD WHEN THERE IS A CONFLICT IN THE FIELD WITH THE DRAWINGS, CONTRACTOR AND/OR SUB SHALL IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR RESOLUTION.</div> <div>6. BLOCKING PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, SHELVING, TV MOUNTS, BARN DOOR SLIDING DOORS, ETC.</div> <div>7. SHOWER DRAINS VERIFY WITH OWNER IF ROUND STANDARD DRAIN OR LINEAR DRAINS ARE REQUIRED AT SHOWERS</div> <div>8. GARAGE SEPARATION REQUIREMENTS: Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal. Wall between house and garage shall also be 1 hour rated Type X floodproof material-5/8" Certainteed GlassRoc or Equal.</div>	<div>9. DOOR FROM GARAGE RATINGS Door from garage to guesthouse stairs shall be shall be 20 minute rated fiberglass. Door from guesthouse to stairs shall be shall be 20 minute rated fiberglass.</div> <div>10. FLOODVENTS Floodvents are required 1 square inch of vent per 1 square foot of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com Engineered FEMA Compliant Flood Vent or Equal. Prior to construction verify size and quantity and manufacturer to make sure block openings are sufficient and that quantity and size will comply with required 1 square inch per 1 square foot of Gross Area (to include walls). Bottom of vent shall be no greater than 12" above the finish floor elevation. Vents are shown on elevations . Coordinate with strucural plans. House and Porches are 1640 sf - 1640 si required for floodvents/crawlspace for house. Enclosed garage space is 695 sf which includes the outer walls. 695 si required for floodvents.</div> <div>11. CRAWLSPACE VENTS At elevated foundation provide Crawl space vents to comply with Florida Residential code. 1 sf of opening per 150sf of enclosed. House and Porches 1640 sf /150 sf =11 sf required x 144si/sf = 1584 si An access door to all spaces enclosed is shown on west elevations. Vents shall be provided continuously at foundation walls to allow the flow of air. In addition in these areas there shall be 1 square inch per 1 square foot of floodvents to meet the Flood requirement. Open crawl space vents may count towards the Floodvent calculation. Engineered Floodvents cannot count towards crawl space as they are not open for the flow of air. *FEMA requirements for flood are greater than the crawlspace. Therefore use 1640 for venting is required.</div> <div>12. FLOODPROOFING BELOW AE12 All material in garage and below 12' is required to be floodproof to comply with FEMA AE requirements..</div>	<table><tr><td>GROUND FLOOR</td><td>1038 SF</td></tr><tr><td>SECOND FLOOR</td><td>1328 SF</td></tr><tr><td>GROUND FRONT BALCONY PORCH</td><td>232 SF</td></tr><tr><td>SECOND FRONT BALCONY PORCH</td><td>232 SF</td></tr><tr><td>GARAGE/STAIRS GROUND</td><td>695 SF</td></tr><tr><td>GARAGE 2ND GUEST</td><td>582 SF</td></tr><tr><td>GARAGE 2ND STAIRS</td><td>113 SF</td></tr><tr><td>GARAGE GUEST BALCONY</td><td>72 SF</td></tr><tr><td>DECK AROUND POOL</td><td>355 SF</td></tr><tr><td>POOL</td><td>231 SF</td></tr></table>	GROUND FLOOR		1038 SF	SECOND FLOOR	1328 SF	GROUND FRONT BALCONY PORCH	232 SF	SECOND FRONT BALCONY PORCH	232 SF	GARAGE/STAIRS GROUND	695 SF	GARAGE 2ND GUEST	582 SF	GARAGE 2ND STAIRS	113 SF	GARAGE GUEST BALCONY	72 SF	DECK AROUND POOL	355 SF	POOL	231 SF	<div>VERIFY WITH STRUCTURAL WALLS REQUIRED TO BE SHEAR WALLS WITH PLYWOOD.</div> <div><div> 1 1/2" SHOWN FOR BEING AND SHEATHING</div><div>EXTERIOR WALL-6" STUDS 2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING. 2 COATS WRB. WITH R19 BLOWN IN BATTS OR MINERAL WOOL AND HARDI SIDING- SELECT CEDARMILL.</div><div> 1 1/2" SHOWN FOR BEING AND SHEATHING</div><div>EXTERIOR WALL-6" STUDS 2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH SIDE ANDHARDI SIDING-SELECT CEDARMILL.</div><div> 1 1/2" SHOWN FOR BEING AND SHEATHING</div><div>EXTERIOR WALL-8" STUDS 2X8 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISONYNE INSULATION AND HARDI SIDING- SELECT CEDARMILL.</div><div> 4" INTERIOR STUD 2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.</div><div> 6" INTERIOR STUD (for pocket door and/or structure) 2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.</div></div>	DRAWN BY : CLC				CHECKED BY : CLC				PROJECT NO.				DATE :				SHEET TITLE : <div>Ground Floorplans</div>				SHEET NO. : <div>A1-1</div>			
GROUND FLOOR	1038 SF																																															
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CERTIFICATION :

PROJECT – LOCATION :

Frerich
Residence
Aragon

524 East Romana
Lot 3 Block J

Type II
Cottage
HR-2

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REVISIONS :

Aragon Final Submittal
July 24, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Ground
Floorplans

SHEET NO. :

A1-1



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City Submittal

July 19 , 2023

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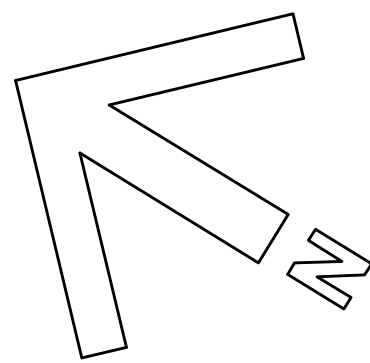
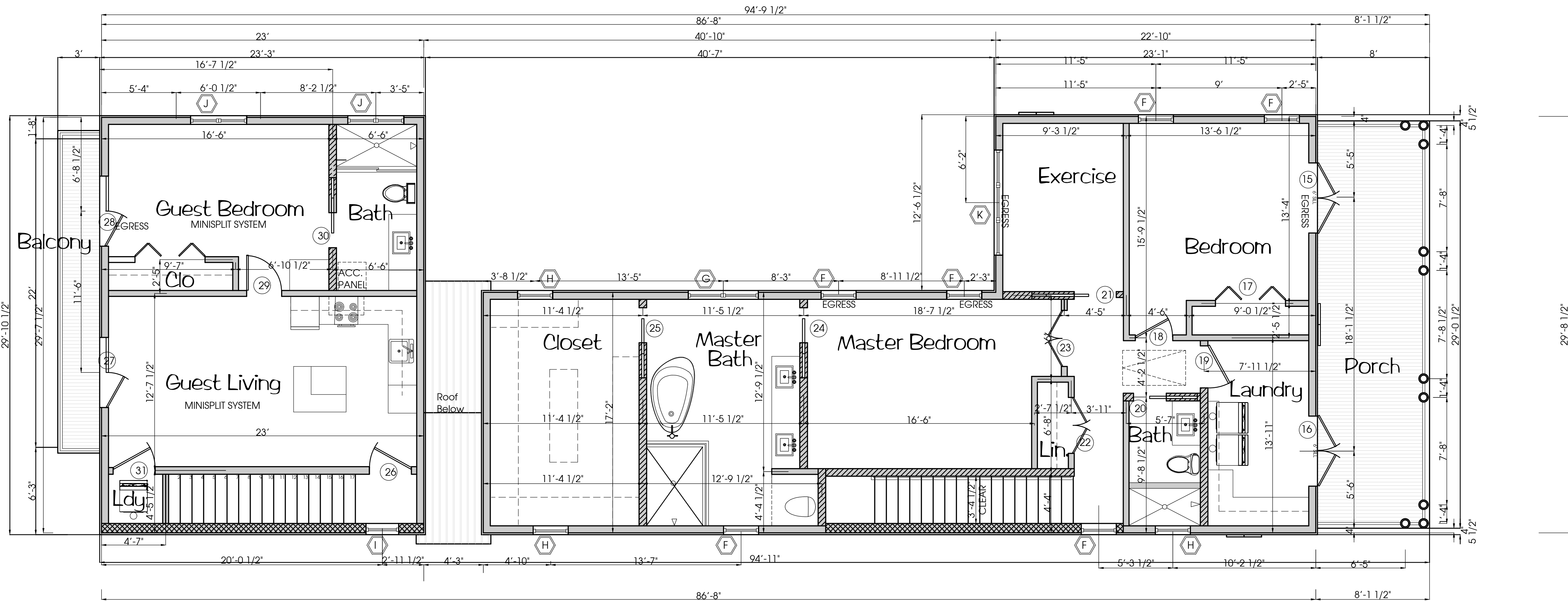
DATE :

SHEET TITLE :

Second
Floorplan

SHEET NO. :

A1-2



Second Floorplan

Scale: 1/4"=1'-0"

FLOOR PLAN NOTES

- DOOR CASING DIMENSIONS
DOORS HAVE BEEN LOCATED TO ALLOW FOR CASING AND PAINTED SHEETROCK.
LOCATE SWITCHES AND OUTLETS SO THEY CLEAR CASING.
- ACCESSORIES
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF TOILET PAPER HOLDERS,
TOWEL HOLDERS AND HOOKS.
- SHELVING AND RODS
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF WOOD SHELVING AND METAL
RODS IN CLOSETS.
- POCKET DOOR FRAMING
VERIFY POCKET DOOR LOCATIONS AND REQUIRED FRAMING. IF CONFLICTS, CONSULT OWNER/
ARCHITECT. 6" WALLS ARE SHOWN FOR POCKET DOORS.
Provide quality doors and hardware.
- CONFLICTS IN THE FIELD
WHEN THERE IS A CONFLICT IN THE FIELD WITH THE DRAWINGS, CONTRACTOR AND/OR SUB
SHALL IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR RESOLUTION.
- BLOCKING
PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, SHELVING, TV MOUNTS,
BARN DOOR SLIDING DOORS, ETC.
- SHOWER DRAINS
VERIFY WITH OWNER IF ROUND STANDARD DRAIN OR LINEAR DRAINS ARE REQUIRED AT SHOWERS
- GARAGE SEPARATION REQUIREMENTS:
Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal.
Wall between house and garage shall also be 1 hour rated Type X floodproof material-5/8"
Certainteed GlassRoc or Equal.

- DOOR FROM GARAGE RATINGS
Door from garage to guesthouse stairs shall be shall be 20 minute rated fiberglass.
Door from guesthouse to stairs shall be shall be 20 minute rated fiberglass.
- FLOODVENTS
Floodvents are required 1 square inch of vent per 1 square foot
of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com
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and manufacturer to make sure block openings are sufficient and that quantity and size will
comply with required 1 square inch per 1 square foot of Gross Area (to include walls).
Bottom of vent shall be no greater than 12" above the finish floor elevation.
Vents are shown on elevations . Coordinate with strucural plans.

House and Porches are 1640 sf - 1640 si required for floodvents/crawl/space for house.
Enclosed garage space is 695 sf which includes the outer walls. 695 si required for floodvents.
- CRAWLSPACE VENTS
At elevated foundation provide Crawl space vents to comply with Florida Residential code.
1 sf of opening per 150sf of enclosed.
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An access door to all spaces enclosed is shown on west elevations. Vents shall be provided continuously at
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*FEMA requirements for flood are greater than the crawlspace. Therefore use 1640 for venting is required.

- FLOODPROOFING BELOW AE12
All material in garage and below 12' is required to be floodproof to comply with FEMA AE requirements..

HOUSE CALCULATIONS

GROUND FLOOR	1038 SF
SECOND FLOOR	1328 SF
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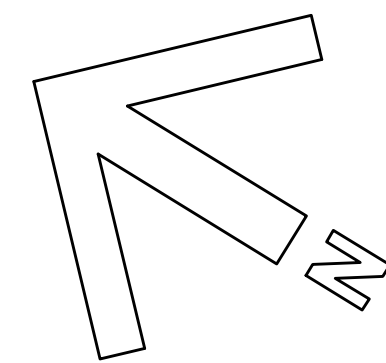
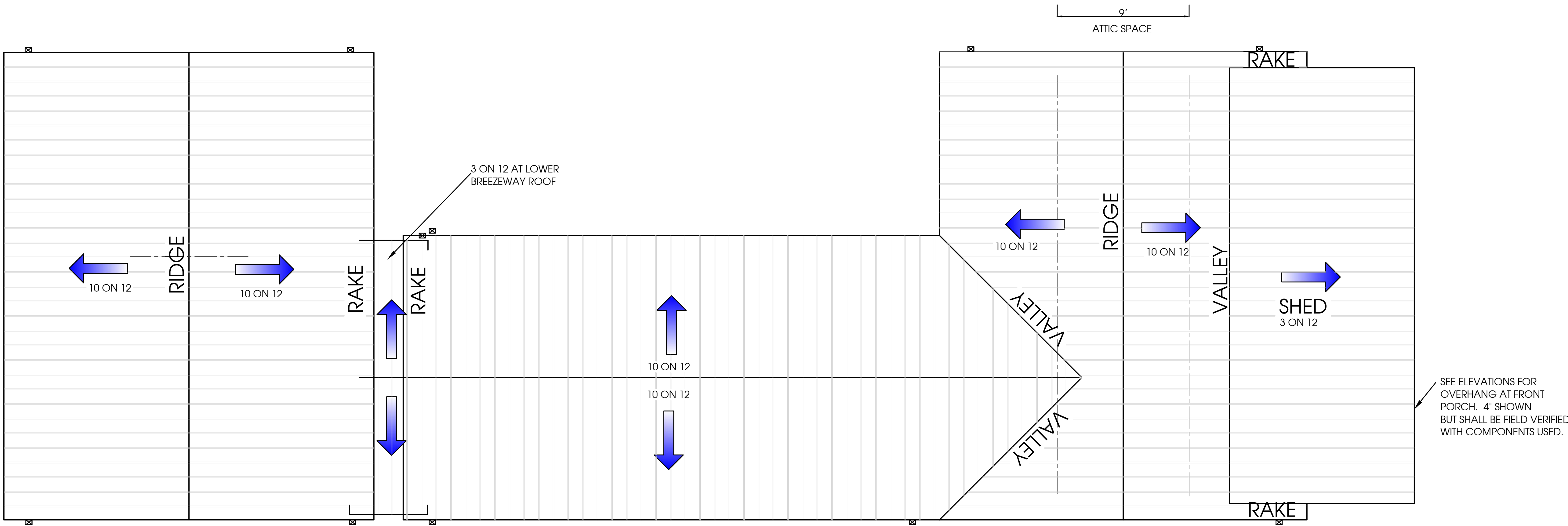
LEGEND

- (X) DOOR IDENTIFICATION
- (X) WINDOW IDENTIFICATION
- (HB) HOSEBIB LOCATION

WALL LEGEND

VERIFY WITH STRUCTURAL WALLS REQUIRED
TO BE SHEAR WALLS WITH PLYWOOD.

- EXTERIOR WALL-6" STUDS
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB, WITH
R19 BLOWN IN BATTIS OR MINERAL WOOL AND HARDI SIDING SELECT CEDARMILL.
- EXTERIOR WALL-6" STUDS
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH
SIDE ANDHARDI SIDING SELECT CEDARMILL.
- EXTERIOR WALL-8" STUDS
2X8 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH
R19 OR BETTER ISONYNE INSULATION AND HARDI SIDING SELECT CEDARMILL.
- 4" INTERIOR STUD
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD
EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD
EACH SIDE.



Roof Plan

Scale: 1/4"=1'-0"

NOTE: ALL OVERHANGS AT GABLES AND WALLS SHALL BE 12" EXCEPT AT FRONT SHED

ROOF NOTES

1. ROOFING SHALL BE PREFINISHED ALUMINUM GALVALUME ROOF/CONCEALED FASTENERS OVER ICE AND WATERSHIELD UNDERLAYMENT. COLOR AND STYLE SHALL BE SELECTED BY OWNER.
2. PROVIDE PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH FASCIA TRIM. PROVIDE SPLASHGUARDS AS REQUIRED. FIELD VERIFY DURING RAIN EVENTS. TIE DOWNSPOUTS TO UNDERDRAIN SYSTEM AND POP OFF TOWARDS A COLLECTION SOURCE.
3. PROVIDE ATTIC ACCESS AS SHOWN TO ACCESS ATTIC SPACE PER CODE.
4. PROVIDE SMOKE BARRIERS IF REQUIRED BY CODE TO SEPARATE ATTIC SPACE.
5. PROVIDE PREFINISHED ALUM. DRIP EDGE TO MATCH FASCIA AND GUTTERS.
6. SEE DIMENSIONS ON ELEVATIONS FOR OVERHANGS
7. ALL SOFFITS SHALL BE HARDIBOARD . PROVIDE T&G SOFFITS AT PORCHES
NOTE: HARDI NO LONGER MAKES BEADBOARD SOFFITS.
8. PROVIDE FLASHING AT ALL VALLEYS AND RAKEWALL CONDITIONS AND CAULK AND SEAL TO MAKE WATER TIGHT. PROVIDE EXPANSION JOINTS AT PORCH/HOUSE AND PORCH/GARAGE SO PORCH ROOF CAN EXPAND AND CONTRACT.
9. FLASH, CAULK AND SEAL ALL ROOF PENETRATIONS TO MAKE WATER TIGHT. LOCATE ALL VENTS IN SOFFIT WHEN POSSIBLE. ALL OTHER VENTS SHALL BE PAINTED TO MATCH ROOF COLOR. NO VENTS SHALL PENETRATE THE ROOF AT THE FRONT ELEVATION.
10. AT ALL RAKEWALLS PROVIDE ICE AND WATERSHIELD 12" UP WALL AS WELL AS FLASHING 12" MINIMUM UP RAKE WALL
CARE SHALL BE GIVEN TO ALL RAKEWALL CONDITIONS TO PREVENT WATER INTRUSION. A LIQUID APPLIED WRB SHALL BE APPLIED 2 COATS MINIMUM FOR THE HOUSE AND ADDITIONAL 2 COATS AT THESE CONDITIONS IN ADDITION TO THE ICE AND WATER SHIELD MEMBRANE.
11. TRUSS COMPANY: SEE PLANS FOR LOCATION OF FLOORED ATTIC SPACES WITHIN THE ROOF AND LOCATIONS OF ATTIC ACCESS STAIRS.
12. OPEN CELL ISONYNE AT ROOF DECK , SOFFIT VENTS NOT REQUIRED.



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CERTIFICATION :

PROJECT - LOCATION :

Frerich
Residence
Aragon

524 East Romana
Lot 3 Block J

Type II
Cottage
HR-2

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REVISIONS :

City Submittal

July 19 , 2023

DRAWN BY : CLC

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PROJECT NO.

DATE :

SHEET TITLE :

Roof Plan

SHEET NO. :

A1-3



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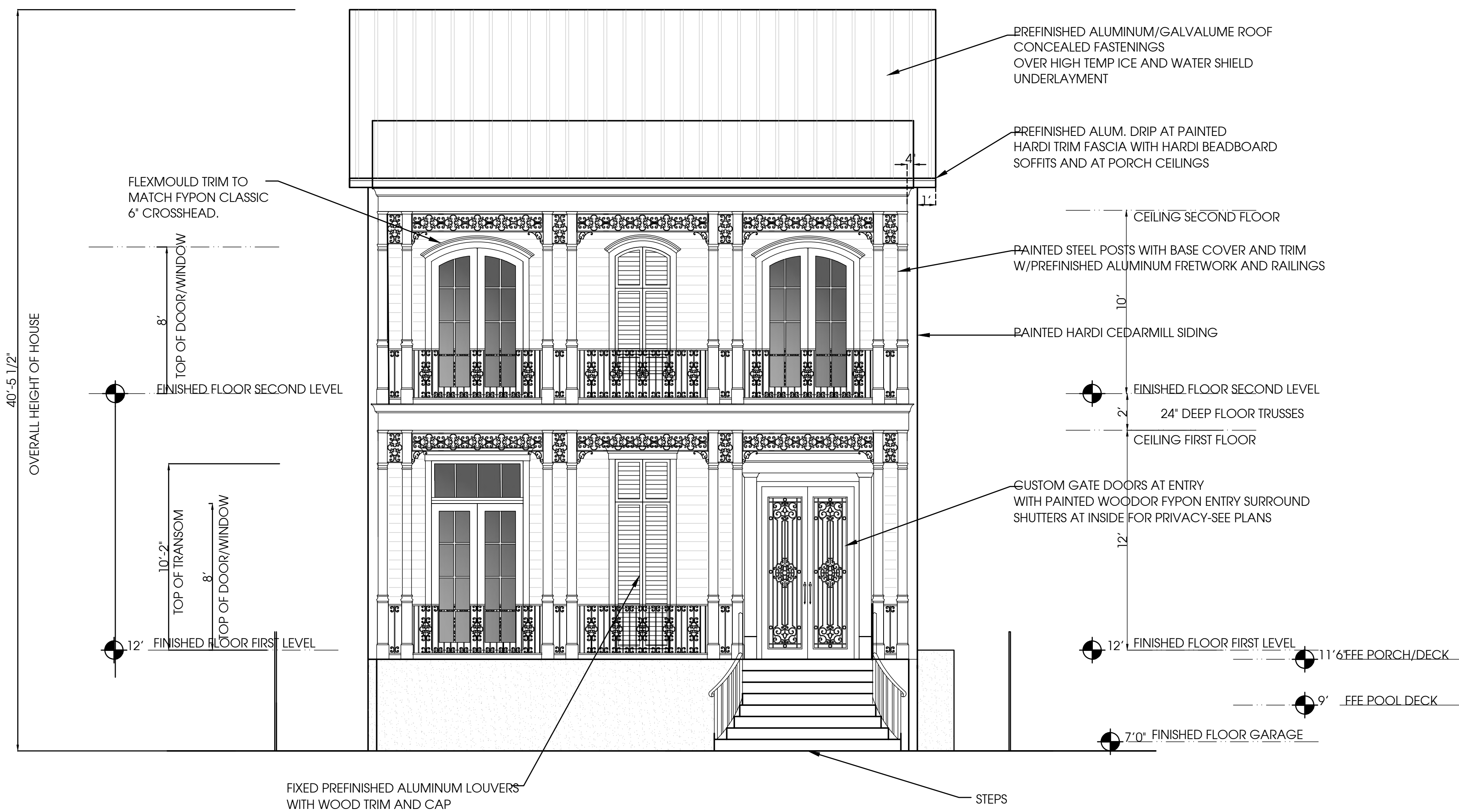
Elevations

SHEET NO. :

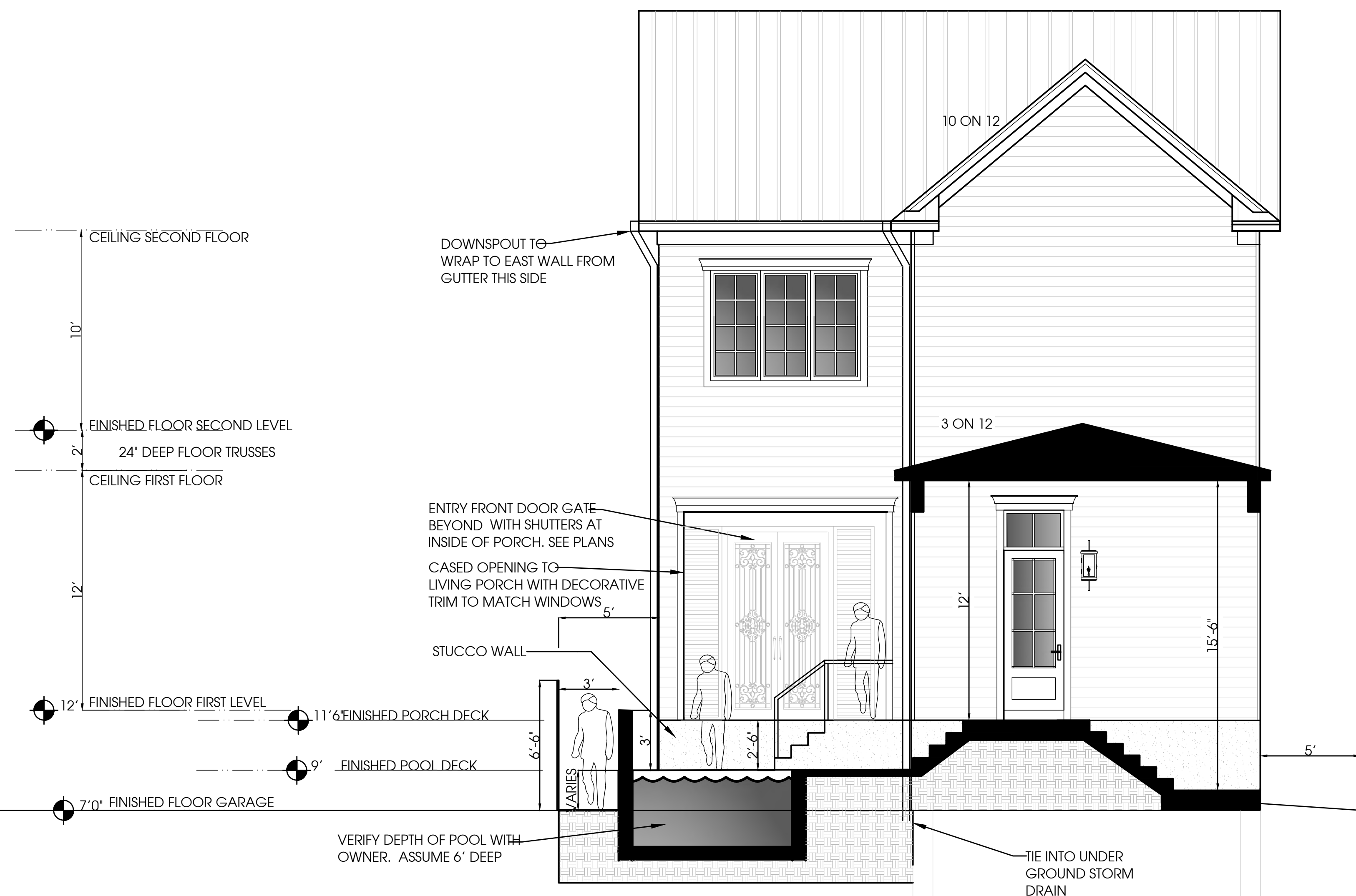
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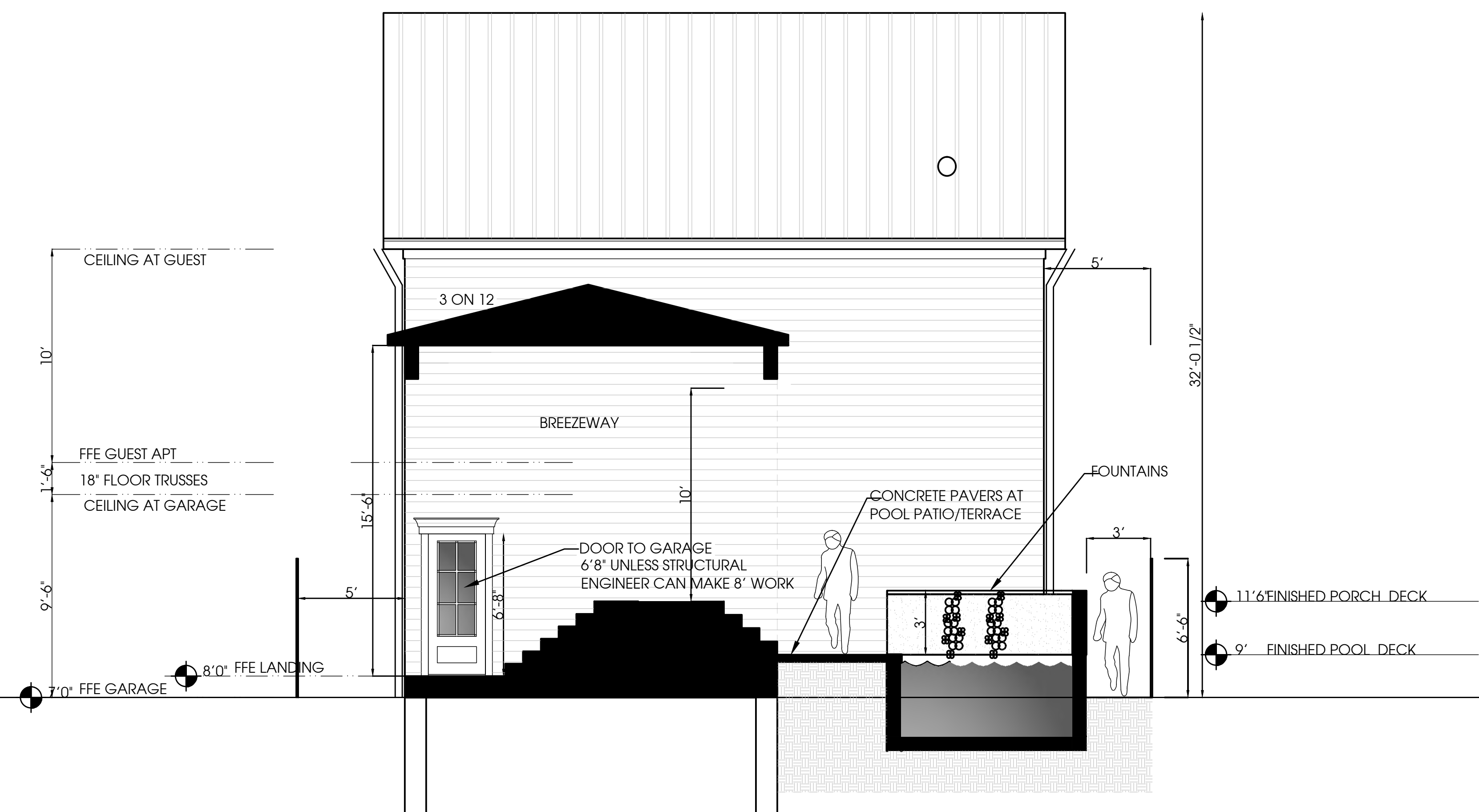
Elevation -North at garage
Scale: 1/4"=1'-0"



Elevation -Front/South
Scale: 1/4"=1'-0"



Elevation -North at courtyard
Scale: 1/4"=1'-0"



Elevation South /Breezeway & rear of garage
Scale: 1/4"=1'-0"

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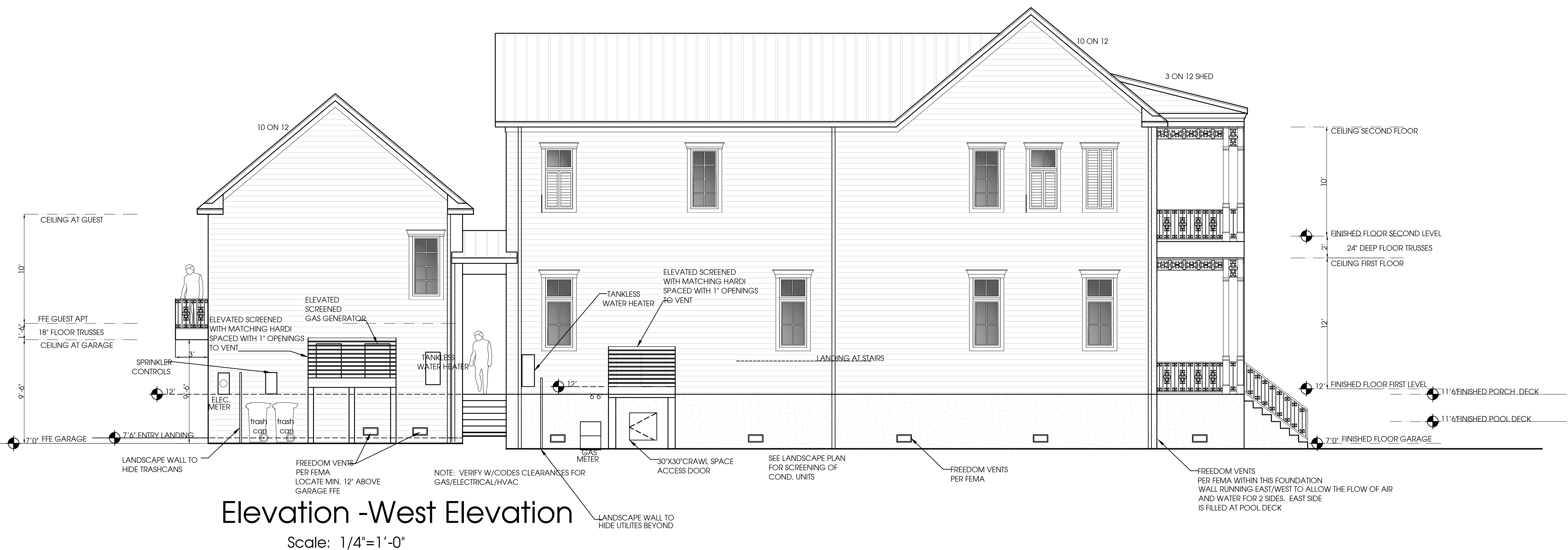
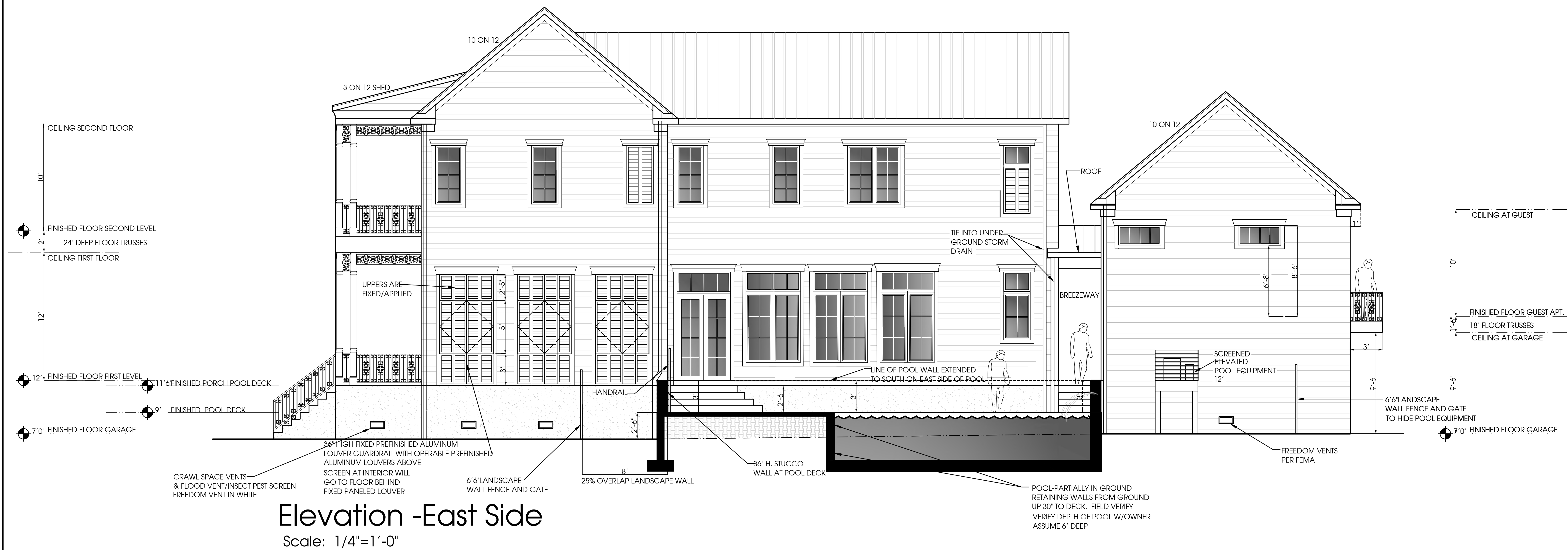
DATE : _____

SHEET TITLE :

Elevations

SHEET NO. :

A2-2





Section Elevation -East Side @Porch/Loggia
Scale: 1/4"=1'-0"

GENERAL NOTES FOR ELEVATIONS

- 1. PROVIDE EXPANSION JOINTS AT ALL FLOOR CHANGES, DISSIMILAR MATERIALS, MOVEMENT JOINTS, SUBSTRATE CHANGES.
- 2. PROVIDE SEALANT AT ALL WINDOWS, DOORS, LIGHTS, ELECTRICAL OUTLETS, HOSEBIBS, DRYER VENTS, ETC. ALL PENETRATIONS.
- 3. BACKER ROD AND SEALANT AND FLASHING REQUIRED AT ALL DOOR AND WINDOW OPENINGS.
- 4. INSTALL STUCCO SYSTEM AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS AND AS PER INDUSTRY STANDARDS.
- 5. PROVIDE EXPANSION JOINT BETWEEN REAR PORCH/HOUSE AND REAR PORCH GARAGE GUEST HOUSE, AT ALL RETAINING AND POOL WALLS NEAR THE HOUSE, DECKS, TO PROVIDE FLEX FOR MOVEMENT BETWEEN DIFFERENT STRUCTURES.
- 6. INSTALL HARDI MATERIAL AS PER JAMES HARDI INSTALLATION INSTRUCTIONS AND STANDARDS.

EXTERIOR PROPOSED MATERIALS

EXTERIOR BODY: HARDI CEDAR SAWN LAP SIDING COLOR: SW SNOWBOUND 7004	GUTTER AND DOWNSPOUTS: PREFINISHED ALUMINUM OGEE STYLE COLOR: WHITE
EXTERIOR HEADER TRIM: FYPON COLOR: SW SNOWBOUND 7004	PORCH SHUTTERS: PREFINISHED ALUMINUM OR PAINTED PVC COLOR: SW WILLIAMS OPEN AIR
WINDOWS: WINDSOR PINNACLE METAL WOOD CLAD W/ SIMULATED TRUE DIVIDED LITE COLOR: BLACK/IMPACT GLASS	PORCH CEILINGS: T&G PT (HARDI NO LONGER MAKES BEAD BOARD) COLOR: SW OPEN AIR (HAINT BLUE)
FRONT GATE DOOR: CUSTOM METAL DOOR W/FRETWORK COLOR: SW IRON ORE. SHUTTERS BEHIND COLOR SW SNOWBOUND 7004	EXTERIOR DRIVE AND SIDEWALK: PAVERS MANUFACTURER/STYLE TREMRON ROMA COLOR: GLACIER
GARAGE DOORS: MFTR: HAAS INSULATED STEEL AMERICAN TRADITION 9000 SERIES STYLE: AS SHOWN ON DREAWINGS COLOR: SW IRON ORE	POOL DECK AND BREEZEWAY MANUFACTURER/STYLE: TREMERON SHELLSTONE COLOR: WHITE
CRAWL SPACE VENTS: STEEL SUPPLY CAST IRON 708 -VERIFY WITH OWNER COLOR: SW SNOWBOUND	FRONT PORCH/UPSTAIRS PORCH/PORCH LOGGIA/GUEST PORCH MANUFACTURER/STYLE: TIBERTECH LEGACY COLOR: ASHWOOD
RAILING: CAST IRON FRETWORK COLOR: SW IRON ORE	FENCE AND LANDSCAPE WALL: HARDIBOARD OR P.T. 2X PAINTED COLOR: SW SNOWBOUND
ROOF: GALVALUME LOW PROFILE , CONCEALED FASTENERS	EXTERIOR LIGHTING: ST. JAMES TRINITY MEDIUM COLOR: MATTE BLACK
SOFFITS: HARDI SMOOTH BOARDS FOR 12"SOFFIT COLOR: SW SNOWBOUND 7004	
FASCIA/FLASHING/DRIP: PREFINISHED ALUMINUM COLOR: WHITE	



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REVISIONS :

City Submittal
July 19 , 2023

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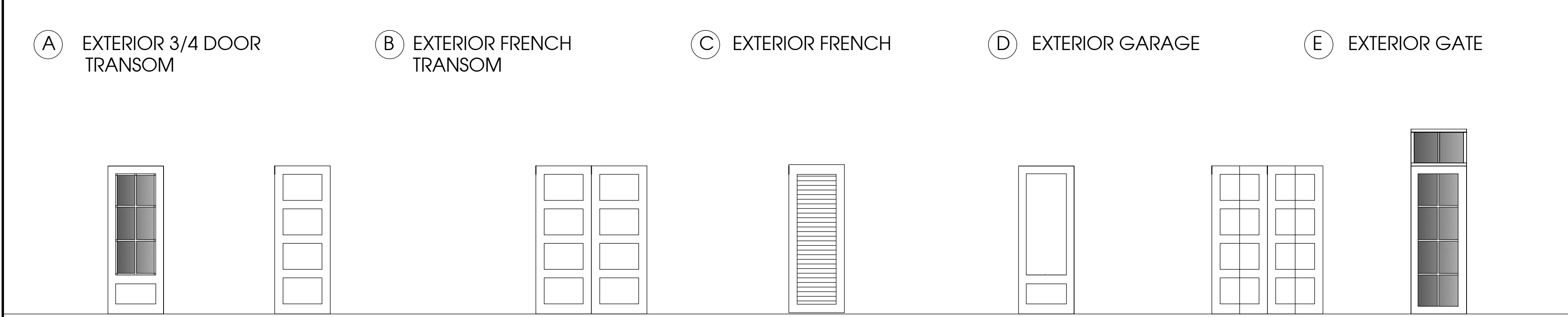
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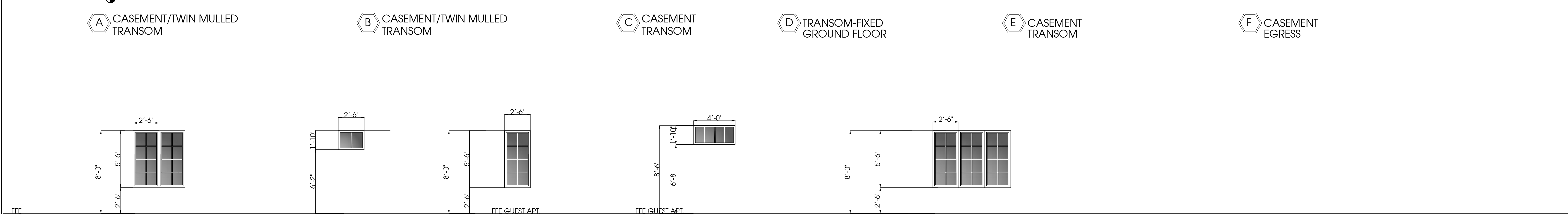
A2-3

DOOR TYPES	
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F	EXTERIOR	G	INTERIOR *OWNER TO SELECT PANEL CONFIGURATION	H	INTERIOR DOUBLE *OWNER TO SELECT PANEL CONFIGURATION	I	INTERIOR LOUVERED	J	EXTERIOR	K	INTERIOR BIFOLD	L	FRENCH TRANSOM
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WINDOW TYPES	
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 CASEMENT/TWIN MULLED	 TRANSOM/FIXED	 CASMENT	 TRANSOM FIXED OR AWNING/VERIFY 1 UNIT	 CASEMENT TRIPLE MULLED
--	---	---	---	--

DOOR SCHEDULE									
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CERTIFICATION :

Type II
Cottage
HR-2

REVISIONS :

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July 19 , 2023

A3-1

1. PROVIDE SUPPORT MULLION AND TRIM STRIP FOR MULLED WINDOWS.	ARE MADE THAT REQUIRE STRUCTURAL REVISIONS, BOTH OWNER AND ARCHITECT SHALL BE ADVISED.
2. GLASS SHALL BE IMPACT RESISTANT WITH LOW E COATING ON THE 3RD FACE	
3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS-VERIFY W/OWNER.	10. WINDOW SILL HEIGHTS ARE SHOWN. VERIFY WITH OWNER/ARCHITECT DURING FRAMING IF DISCREPANCIES
4. WINDOWS SHALL BE SELECTED BY OWNER FOR EACH LOCATION.	
5. WINDOWS SHALL COMPLY W/312.2 WINDOW FALL PROTECTION.	11. PROVIDE PAREX WEATHERSEAL AT ALL WINDOWS ROUGH OPENINGS WITH DOW 795 SEALANTS.
6. PROVIDE FLASHING AT ALL WINDOWS AND PROVIDE BACKERROD & SEALANT TO PREVENT WATER INTRUSION. SEE NOTES 11/72 FOR FLASHING	
7. SIZES ARE SHOWN TO HELP W/PRICING. PRICE STANDARD SIZES AS CLOSE TO SIZES SHOWN AS POSSIBLE. OWNER TO APPROVE ALL WINDOW TYPES AND MANUFACTURER.	12. CONTRACTOR, OWNER AND WINDOW SUPPLIER SHALL MEET AND REVIEW ALL WINDOWS, WINDOW TYPES, HARDWARE FINISH, OPERATOR TYPE FOR OPENING, SIDE FOR CRANK AND HINGE PRIOR TO ORDERING AND TO VERIFY COLOR
8. WINDOWS- WINDSOR PINNACLE METAL CLAD WINDOWS W/ APPLIED DIVIDED LITE. PGT VINYL WINGUARD IMPACT AS AN ALTERNATE	

9. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS W/OWNER PRIOR TO ORDERING AND COORDINATE REQUIRED OPENINGS WITH W/FRAMER. IF ANY ADJUSTMENTS ARE MADE THAT REQUIRE STRUCTURAL REVISIONS, BOTH OWNER AND ARCHITECT SHALL BE ADVISED.
10. WINDOW SILL HEIGHTS ARE SHOWN, VERIFY WITH OWNER/ARCHITECT DURING FRAMING IF DISCREPANCIES
11. PROVIDE PAREX WEATHERSEAL AT ALL WINDOWS ROUGH OPENINGS WITH DOW 795 SEALANTS.
12. CONTRACTOR, OWNER AND WINDOW SUPPLIER SHALL MEET AND REVIEW ALL WINDOWS, WINDOW TYPES, HARDWARE FINISH, OPERATOR TYPE FOR OPENING, SIDE FOR CRANK AND HINGE PRIOR TO ORDERING AND TO VERIFY COLOR