



## MEMORANDUM

**TO:** Planning Board Members

**FROM:** Cynthia R. Cannon, AICP, Assistant Planning Director

**DATE:** February 4, 2020

**SUBJECT:** Request for License to Use Right-of-Way – 2800 North 12<sup>th</sup> Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12<sup>th</sup> Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk.

This request has been routed through the various City departments and utility providers and those comments are attached for your review.

Department:

Comments:

| FIRE     | We do not oppose to the relocation of the sidewalk.  |  |
|----------|--|--|
| PW/E     | PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.  |  |
| InspSvcs | No objections.   |  |
| ESP      | No objections.   |  |
| ECUA     | ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined). If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities. |  |
| GPW      | No comments.   |  |
| ATT      | AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.   |  |

## Cynthia Cannon

---

**From:** ST PIERRE, ROB A <RS634Y@att.com>  
**Sent:** Wednesday, January 22, 2020 1:51 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] FW: License to Use - Parking - 2800 N 12th Ave  
**Attachments:** 2800 N 12th Ave\_LTU Application.pdf

Cynthia,

AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.

Thanks,

**Rob St. Pierre**  
Manager - OSP Plng & Eng  
Technology Operations

**AT&T**  
605 W Garden St. Pensacola, FL 32502  
o 850.436.1701 | [rs634y@att.com](mailto:rs634y@att.com)  
MOBILIZING **YOUR** WORLD

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**From:** FENNER, KARL L  
**Sent:** Wednesday, January 22, 2020 12:16 PM  
**To:** ST PIERRE, ROB A <RS634Y@att.com>  
**Cc:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: License to Use - Parking - 2800 N 12th Ave

Karl Fenner  
Area Manager – OSP Plng and Eng  
Technology Operations

**AT&T**  
605 W Garden St, Pensacola, FL 32502  
o 850.436.1485 | [kf5345@att.com](mailto:kf5345@att.com)

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**From:** Andre Calaminus <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>  
**Sent:** Tuesday, January 28, 2020 8:37 AM  
**To:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Cc:** Mike Hamlin <[mike.hamlin@ecua.fl.gov](mailto:mike.hamlin@ecua.fl.gov)>  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Good morning Cynthia,

ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined).

If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.

Thanks,

**Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |**

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |

Phone: (850) 969-5822, | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Wednesday, January 22, 2020 9:01 AM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrick Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power)

## Cynthia Cannon

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**From:** Diane Moore  
**Sent:** Monday, January 27, 2020 10:48 AM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Cynthia,  
Pensacola Energy has no comments or objections to the license to use request.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

\*\*\*Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit [Pensacola311.com](http://Pensacola311.com)

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**Sent:** Wednesday, January 22, 2020 9:01 AM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly(GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>

**Subject:** License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12<sup>th</sup> Avenue.

## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Wednesday, January 22, 2020 12:50 PM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Good Afternoon,

I do not oppose to the relocation of the sidewalk.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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**Subject:** License to Use - Parking - 2800 N 12th Ave

## Cynthia Cannon

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**From:** Jonathan Bilby  
**Sent:** Wednesday, January 22, 2020 10:25 AM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

I have no issues with this license to use.

Jonathan Bilby, MCP, CFM  
*Inspection Services Administrator*  
Visit us at <http://cityofpensacola.com>  
222 W Main St.  
Pensacola, FL 32502  
Office: 850.435.1748  
Fax: 850.595.1464  
[jbilby@cityofpensacola.com](mailto:jbilby@cityofpensacola.com)

# PENSACOLA

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**Subject:** License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12<sup>th</sup> Avenue.

Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

**Cynthia Cannon, AICP**

## Cynthia Cannon

---

**From:** Derrik Owens  
**Sent:** Wednesday, January 22, 2020 2:50 PM  
**To:** Cynthia Cannon  
**Cc:** Brad Hinote; Ryan J. Novota  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.

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Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

### **Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)





City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

**License To Use City Right-Of-Way**

Residential License To Use

Application Fee: \$500.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: N/A  
Insurance Coverage: \$300,000.00

Commercial License To Use

Application Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Insurance Coverage: \$1,000,000.00

Pensacola Neighborhood Challenge Grant

Application Fee: N/A

Applicant: David Sharuff  
Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550  
Email: d\_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

\*\* If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information \*\*

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379  
Location Address: 2800 N. 12th Ave., Pensacola, Fl.  
Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: \_\_\_\_\_  
Additional parking area for proposed development of restaurant  
\_\_\_\_\_

Please attach a map indicating the actual dimensions of the requested license.

| For Office Use Only             |                       |                                     |
|---------------------------------|-----------------------|-------------------------------------|
| District: _____                 | Zoning: _____         |                                     |
| Date Received: <u>1/21/2020</u> | Case Number: _____    | Annual Fee: _____                   |
| Planning Board date: _____      | Recommendation: _____ | Amount of Insurance Coverage: _____ |
| City Council date: _____        | Council Action: _____ |                                     |

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521

***License To Use City Right-Of-Way***

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
  - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
  - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
  - (3) No application shall be considered complete until all of the following has been submitted:
    - (a) The application shall be submitted on a form provided by the Board Secretary.
    - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
      - 1. Accurate site plan drawn to scale;
      - 2. Reason for license to use request.
  - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
  - (5) Any party may appear in person, by agent, or by attorney.
  - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
  - (1) Public Notice for license to use right-of-way.
    - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
  - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
  - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:

Full legal name of the Corporation: \_\_\_\_\_

Official Corporate Address: \_\_\_\_\_

President or Vice-President:

Name & Title – \_\_\_\_\_

Corporate Secretary: Name – \_\_\_\_\_

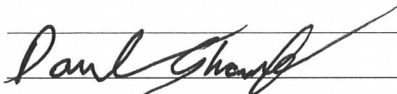
Limited Liability Company (LLC):

Full legal name of company: \_\_\_\_\_

Official Address: \_\_\_\_\_

Managing Member or member:

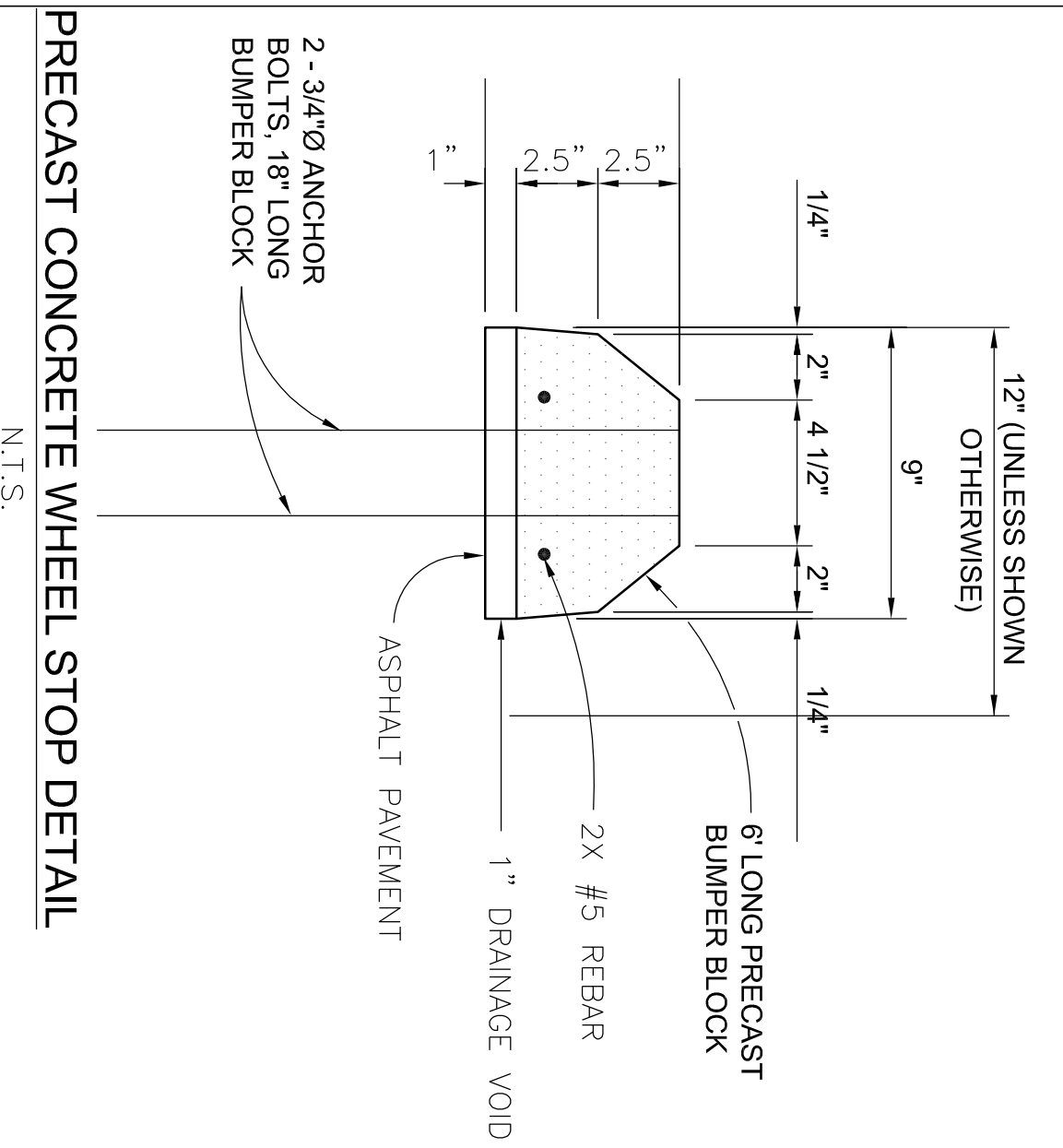
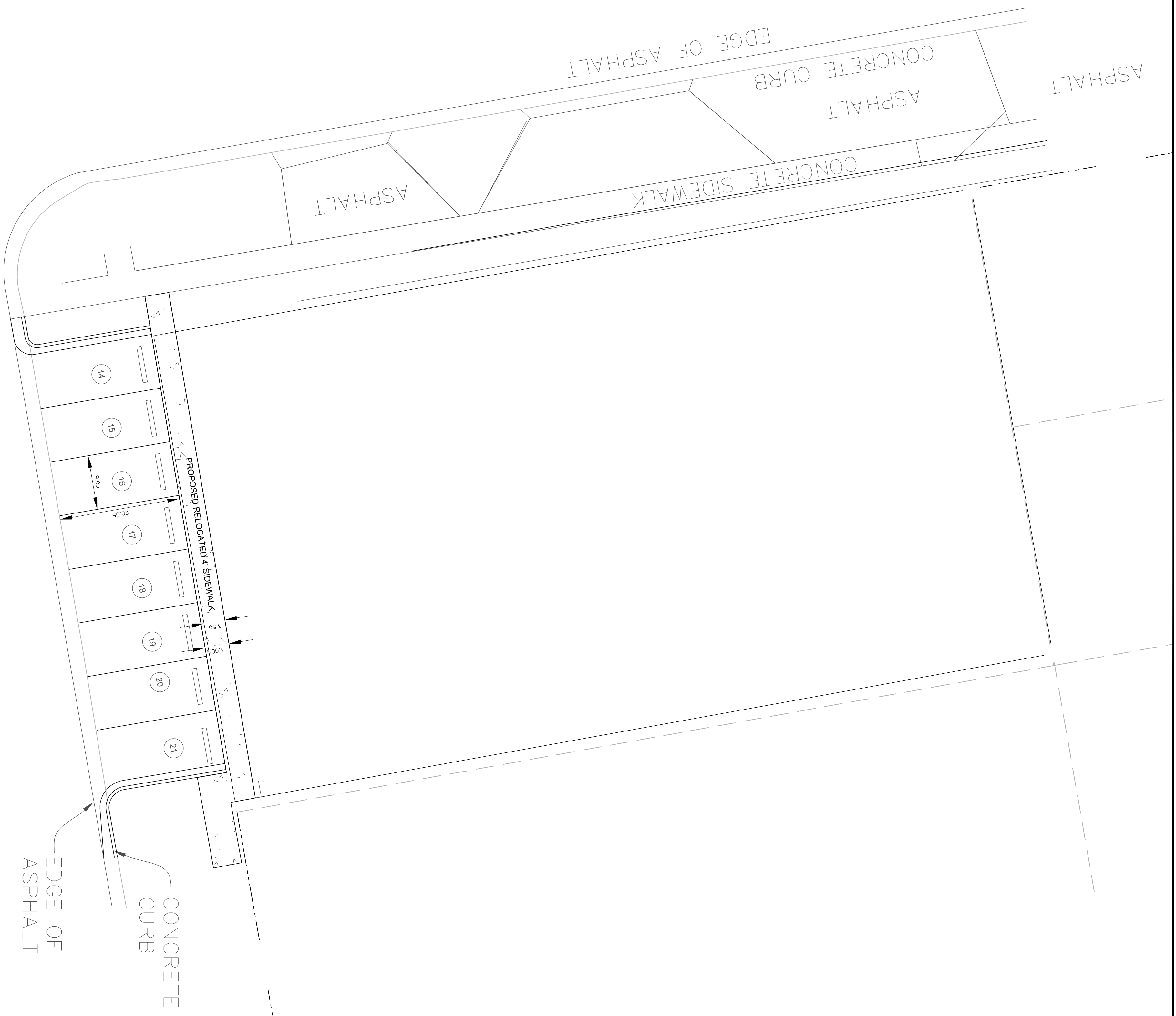
Name & Title – \_\_\_\_\_



Sharuff, LLC

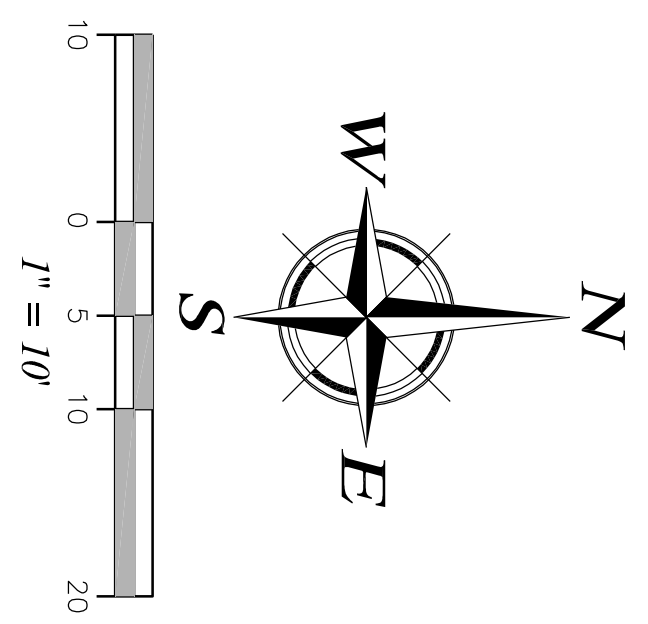
638 Shore Drive, Miramar Beach, Fl. 32550

David Sharuff, MGR



PRECAST CONCRETE WHEEL STOP DETAIL  
N.T.S.

LEGAL DESCRIPTION OF PARKING  
TO BE PROVIDED BY SURVEYOR



### SITE DATA SUMMARY

**LEGAL DESCRIPTION:**

PARCEL ID NUMBERS:  
00-05-00-0025-019-380  
LEGAL DESCRIPTION:  
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM W FISHER...

**SITE DATA:**

|                                    |                                     |
|------------------------------------|-------------------------------------|
| CURRENT LAND USE: COMMERCIAL (C-1) | FUTURE USE: RETAIL COMMERCIAL (C-1) |
| FUTURE LAND USE: COMMERCIAL (C-1)  | RETAIL COMMERCIAL (C-1)             |
| ZONING: COMMERCIAL (C-1)           | RETAIL COMMERCIAL (C-1)             |
| CURRENT USE: NORTH: COMMERCIAL     | RETAIL COMMERCIAL (C-1)             |
| SOUTH: MIXED USE                   | RETAIL COMMERCIAL (C-1)             |
| EAST: VACANT                       | RETAIL COMMERCIAL (C-1)             |
| WEST: SINGLE FAMILY RESIDENCE      | RETAIL COMMERCIAL (C-1)             |

**SETBACK SUMMARY:**

|                    |                             |
|--------------------|-----------------------------|
| FRONT: 0' REQUIRED | 7' PROVIDED                 |
| SIDE: 0' REQUIRED  | 2.3' PROVIDED ON NORTH SIDE |
| REAR: 0' REQUIRED  | 14' PROVIDED ON SOUTH SIDE  |
|                    | 18.5' PROVIDED              |

**SITE SUMMARY:**

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

PROPOSED BUILDING HEIGHT:  
TOTAL BUILDING AREA = 2,074 S.F.  
COVERED PORCH AREA = 712 S.F.

**TABULATION OF REQUIRED PARKING SPACES:**

|   |                    |
|---|--------------------|
| PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =   | 21 SPACES REQUIRED |
| SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =    | 5 SPACES           |
| TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT = | 26 SPACES REQUIRED |
| TOTAL ADA SPACES PROVIDED = 1 SPACE                 | 21 SPACES PROVIDED |

Sec. 12-2-1 A.6.  
The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

**FLOOD ZONE INFORMATION:**

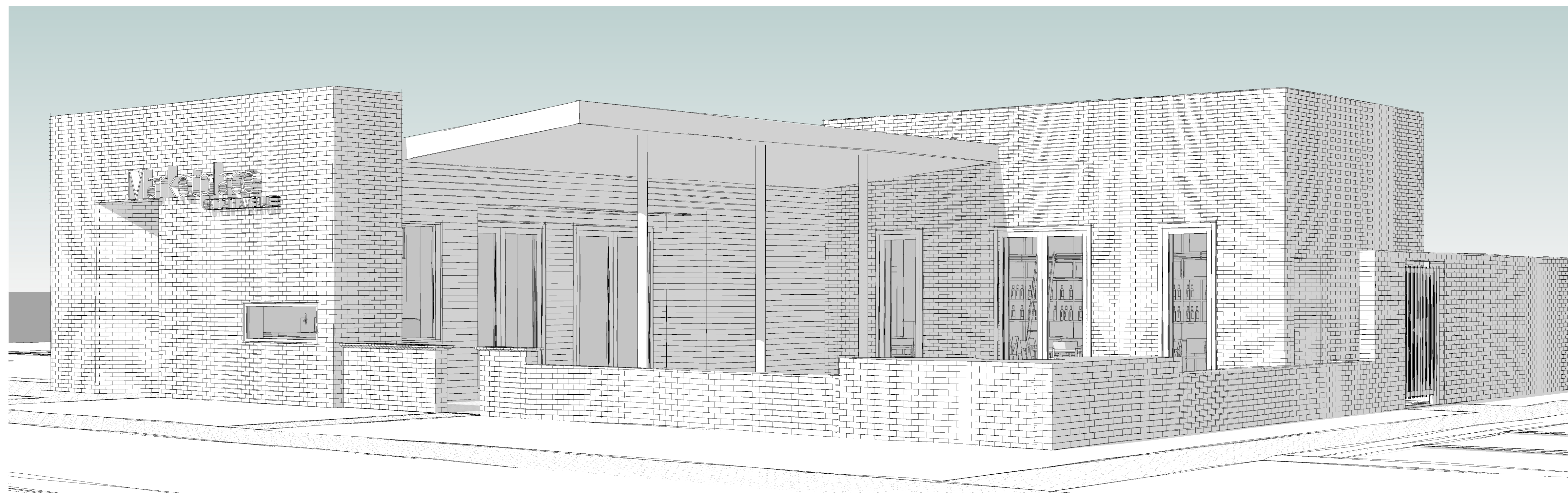
BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

**PRELIMINARY**

NOT RELEASED FOR CONSTRUCTION. ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



# 12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

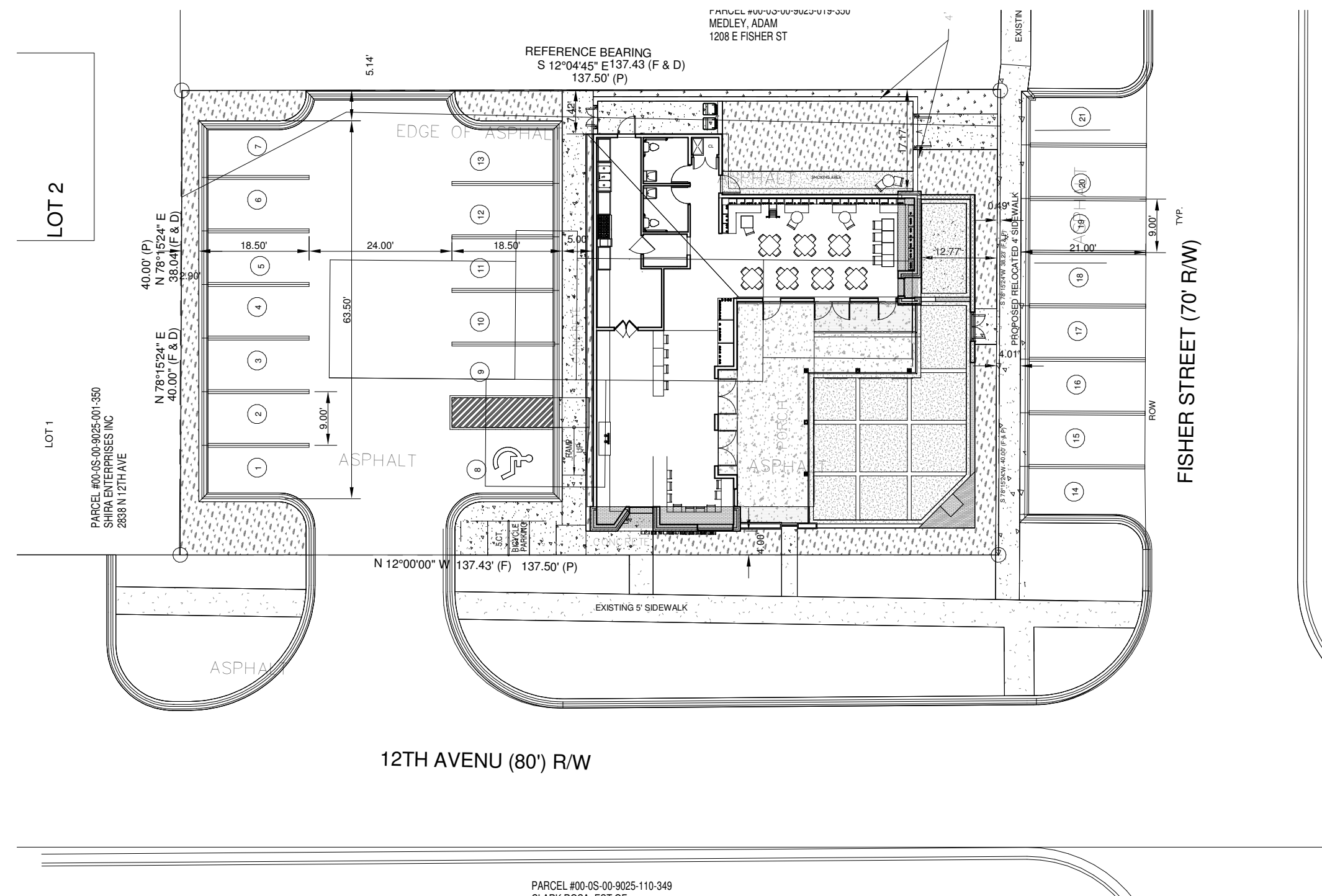
SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: AJJV  
 CHECKED BY: Checker  
 SCALE:

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

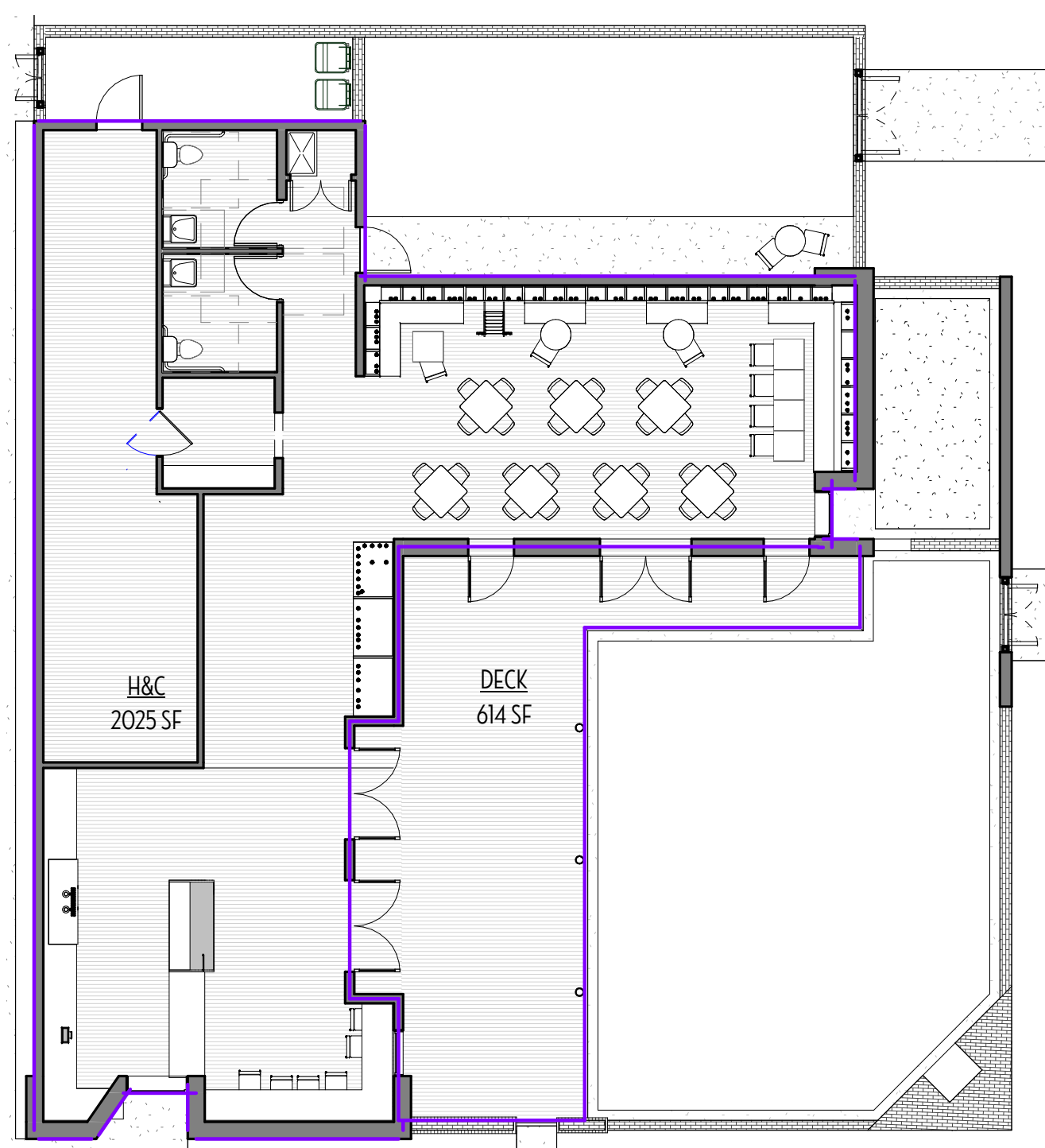
Revision Schedule

COVER

OO



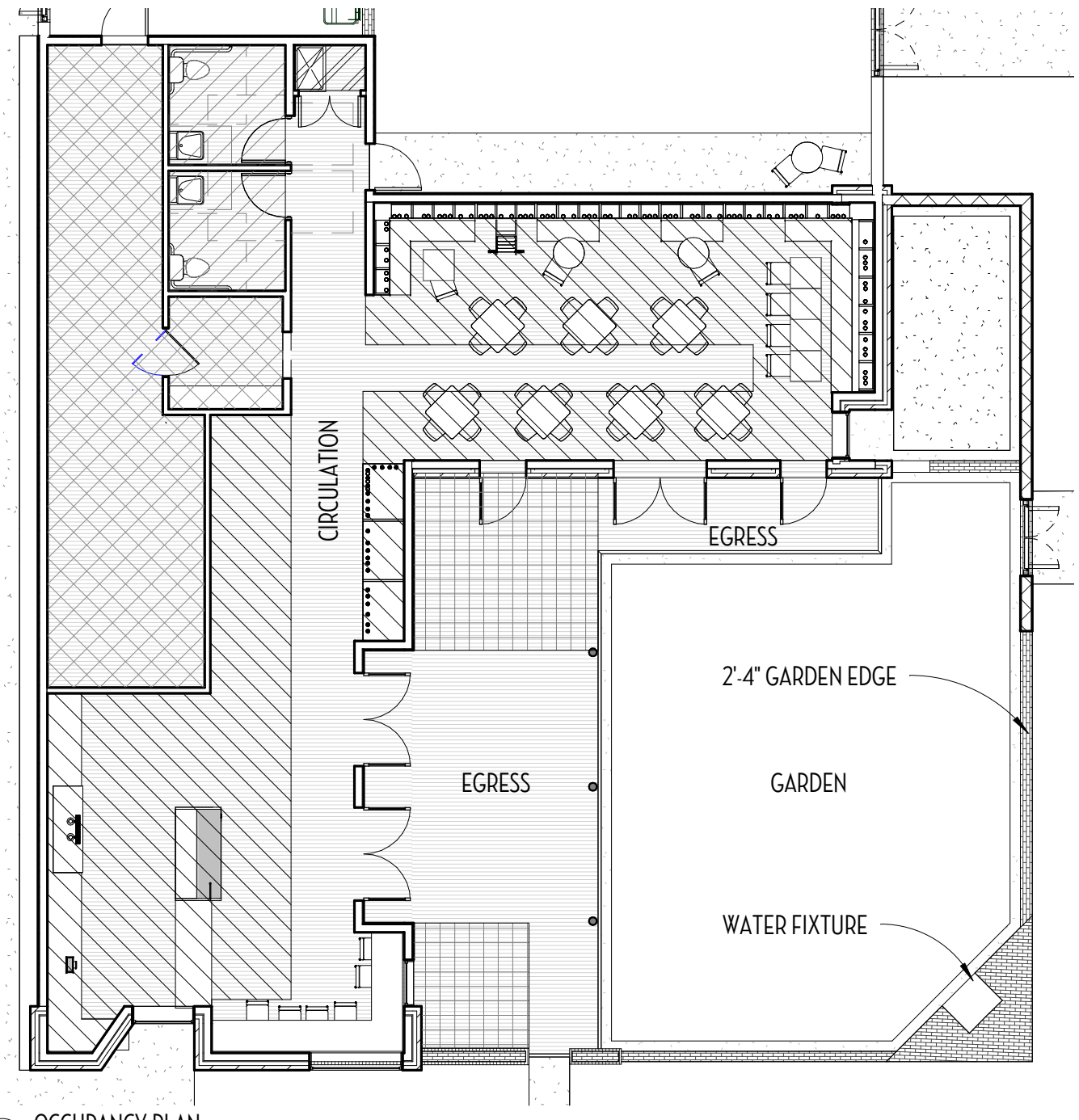
5 SITE PLAN DIAGRAM  
1" = 20'-0"



1 1ST FLR.  
1" = 10'-0"

| AREA |         |
|------|---------|
| NAME | AREA    |
| DECK | 614 SF  |
| H&C  | 2025 SF |
|      | 2639 SF |

| DRAWING SCHEDULE |                     |                  |                  |                       |
|------------------|---------------------|------------------|------------------|-----------------------|
| SHEET            | NAME                | Sheet Issue Date | Current Revision | Current Revision Date |
| 00               | COVER               | 01/12/20         |                  |                       |
| A0.1             | GENERAL INFORMATION | 01/12/20         |                  |                       |
| A0.2             | SITE PLAN           | 01/12/20         |                  |                       |
| A0.3             | LANDSCAPING & AREA  | 01/12/20         |                  |                       |
| A0.4             | LIFE SAFETY PLAN    | 01/12/20         |                  |                       |
| A1.1             | FLOOR PLAN          | 01/12/20         |                  |                       |
| A1.2             | ROOF PLAN           | 01/12/20         |                  |                       |
| A2.0             | ELEVATIONS          | 01/12/20         |                  |                       |
| A2.2             | 3D VIEWS            | 01/12/20         |                  |                       |
| A3.0             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A3.1             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A4.0             | DOOR SCHEDULE       | 01/12/20         |                  |                       |
| A4.1             | WINDOW SCHEDULE     | 01/12/20         |                  |                       |



3 OCCUPANCY PLAN  
1" = 10'-0"

**OCCUPANCY TYPE LEGEND**

|          |                                    |                |
|----------|------------------------------------|----------------|
| [Symbol] | DINNING ( CONCENTRATED ASSEMBLY)   |                |
| [Symbol] | DINNING ( UNCONCENTRATED ASSEMBLY) | 854.20 SQ. FT. |
| [Symbol] | KITCHEN                            | 409.91 SQ. FT. |
| [Symbol] | DECK ( OPEN AIR PATIO)             | 194.57 SQ. FT. |
| [Symbol] | BATH                               | 116.42 SQ. FT. |
| [Symbol] | STORAGE                            | 13.49 SQ. FT.  |

**OCCUPANCY LOAD CALCULATION**

| OCCUPANCY TYPE PER FBC                              | SQUARE FOOTAGE | OCCUPANCY LOAD FACTOR | ALLOWABLE OCCUPANCY | PROPOSED OCCUPANCY |
|---|----------------|-----------------------|---------------------|--------------------|
| DINING (UNCONCENTRATED ASSEMBLY)                    | 854.20 SQ. FT. | 15                    | 56.95               | 57                 |
| DINING (CONCENTRATED ASSEMBLY)                      | 35 FT.         | 1 PER 24"             | 17.5                | 18                 |
| BATH  | 116.42 SQ. FT. | -                     | -                   | -                  |
| KITCHEN   | 409.91 SQ. FT. | 200                   | 2.05                | 3                  |
| STORAGE   | 13.49 SQ. FT.  | 300                   | 0.04                | 1                  |
| <b>INTERIOR TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b> |                |                       | <b>76.54</b>        | <b>79</b>          |
| OPEN DECK (UNCONCENTRATED ASSEMBLY)                 | 194.57 SQ. FT. | 15                    | 12.97               | 13                 |
| <b>TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b>          |                |                       | <b>89.51</b>        | <b>92</b>          |

**ABBREVIATIONS**

|       |                           |        |                              |
|-------|---------------------------|--------|------------------------------|
| A/C   | AIR CONDITIONING          | HORIZ  | HORIZONTAL                   |
| AFF   | ABOVE FINISHED FLOOR      | ISA    | INTL SYMBOL OF ACCESSIBILITY |
| ACT   | ACOUSTICAL CEILING TILE   | LAV    | LAVATORY                     |
| ALUM  | ALUMINUM                  | MAX    | MAXIMUM                      |
| B/W   | BETWEEN                   | MTL    | METAL                        |
| CLG   | CEILING                   | MIN    | MINIMUM                      |
| CMT   | CENTER LINE               | MTD    | MOUNTED                      |
| CT    | CERAMIC MOSAIC TILE       | NO     | NUMBER                       |
| CL    | CERAMIC TILE              | ND     | NOMINAL                      |
| CONC  | CONCRETE                  | NOM    | NOMINAL                      |
| CMU   | CONCRETE MASONRY UNIT     | NTS    | NOT TO SCALE                 |
| CONT  | CONTINUOUS                | NIC    | NOT IN CONTRACT              |
| CJ    | CONTROL JOINT             | OC     | ON CENTER                    |
| DR    | DOOR                      | OH     | OVERHEAD                     |
| ELEV  | ELEVATION                 | PL     | PLATE                        |
| EW    | EACH WAY                  | PREFIN | PREFINISHED                  |
| EW    | ELECTRIC WATER COOLER     | PT     | PRESSURE TREATED             |
| EQ    | EQUAL                     | RL     | RAIN LEADER                  |
| EXIST | EXISTING                  | REIN   | REINFORCED                   |
| EXT   | EXTERIOR                  | SS     | STAINLESS STEEL              |
| FIN   | FINISH                    | THK    | THICK                        |
| FF    | FINISHED FLOOR            | THR    | THRESHOLD                    |
| FACP  | FIRE ALARM CONTROL PANEL  | T&B    | TOP AND BOTTOM               |
| FEX   | FIRE EXTINGUISHER         | TYP    | TYPICAL                      |
| FEC   | FIRE EXTINGUISHER CABINET | VERT   | VERTICAL                     |
| FD    | FLOOR DRAIN               | WC     | WATER CLOSET                 |
| FRP   | FIRE RETARDANT PAINT      | WD     | WOOD                         |
| GALV  | GALVANIZED                | WWF    | WELDED WIRE FABRIC           |
| GC    | GENERAL CONTRACTOR        | W/     | WITH                         |
| GWB   | GYP SUM WALLBOARD         | XTR    | EXISTING TO REMAIN           |
| HC    | HANDICAPPED               |        |                              |
| HM    | HOLLOW METAL              |        |                              |

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS. THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXTERIOR WALLS ARE TO BE 8" CMU TYPICAL. INTERIOR WALL FRAMING IS TO BE 2X4 SYP. TYPICAL.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 3' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE HOUSE PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 4' OR UP TO THE P.L. WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.

**LEGAL DESCRIPTION**

**SCOPE OF PROJECT**

CONSTRUCTION OF A NEW ONE STORY RESTAURANT

**KITCHEN NOTES**

- ALL WALLS WITHIN THE KITCHEN, PREP & CLEAN-UP AREAS ARE TO BE FINISHED WITH FIRE RETARDANT PAINT.
- PROVIDE STAINLESS STEEL PANELS ON WALLS ADJACENT TO THE KITCHEN EXHAUST HOOD. PANELS ARE TO EXTEND TO THE BOTTOM OF THE HOOD.
- KITCHEN EQUIPMENT BY OWNER.
- PROVIDE SANITARY COVE JUNCTURES BETWEEN FLOORS & WALLS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.

**BUILDING CODE DATA**

**APPLICABLE CODES AND REGULATIONS:**

FLORIDA BUILDING CODE, 2017 6th EDITION

**BUILDING DATA:**

The enclosed provides for the construction of a new 2 story restaurant with covered exterior dining.

Section 303.1 Occupancy Group A2 (Restaurant)  
Section 602.3 Construction Type V-A, sprinklered  
Table 601 Fire resistance rating for building

Elements, Type V-A  
Exterior bearing walls: 1 hour  
Exterior non-bearing walls: 1 hour  
Interior bearing walls: 1 hour  
Interior non-bearing walls: 0 hour  
Roof: 1 hour  
Floors: 1 hour

Table 602.4 Beams/Joists/Courms: 1 hour, 6" min. nominal dimension for HT  
Table 503 Allowable height and building areas:  
2 stories, 50' height, 11,500 sq. ft. no area increases taken

Section 602.3 Interior building elements: any material permitted by code  
Table 1004.1.1 See Occupant Load Calculation Table  
Table 1021.1 Minimum number of exits required: 2  
Table 1015.1 Spaces with one means of egress allowed: -50 persons  
Both areas, Storage, top and bottom areas comply. Kitchen complies.

Life Safety Code NFPA 101: Assembly Occupancy, Construction Type II (O00)

| PLUMBING FIXTURES    | MALE/FEMALE REQS            | MALE Provided | FEMALE Provided |
|----------------------|-----------------------------|---------------|-----------------|
| Occupancy Load/2     | 92/2-46 EA                  |               |                 |
| WATER Closets (1/75) | 46/75-61 (1 REQUIRED EA)    | 1             | 1               |
| URINALS              |                             | 1             |                 |
| LAVATORIES (1/200)   | 46/200-0.23 (1 REQUIRED EA) | 1             | 1               |

ADDITIONAL RESTROOMS  
EMPLOYEES RESTROOMS

| TOTAL NUMBER OF FIXTURES | WC | URINALS | LAVATORIES |
|--------------------------|----|---------|------------|
|                          | 2  | 1       | 2          |

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architect of record :

**McWhorter  
Vallee Design**

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
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seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name  
**MARKETPLACE**

project address:

parcel:  
26-25-21-42000-001-0052

**SHEET ISSUED:** 01/12/20  
**PROJECT NO:** 1924  
**DRAWN BY:** AJJV  
**CHECKED BY:** Checker  
**SCALE:** As indicated

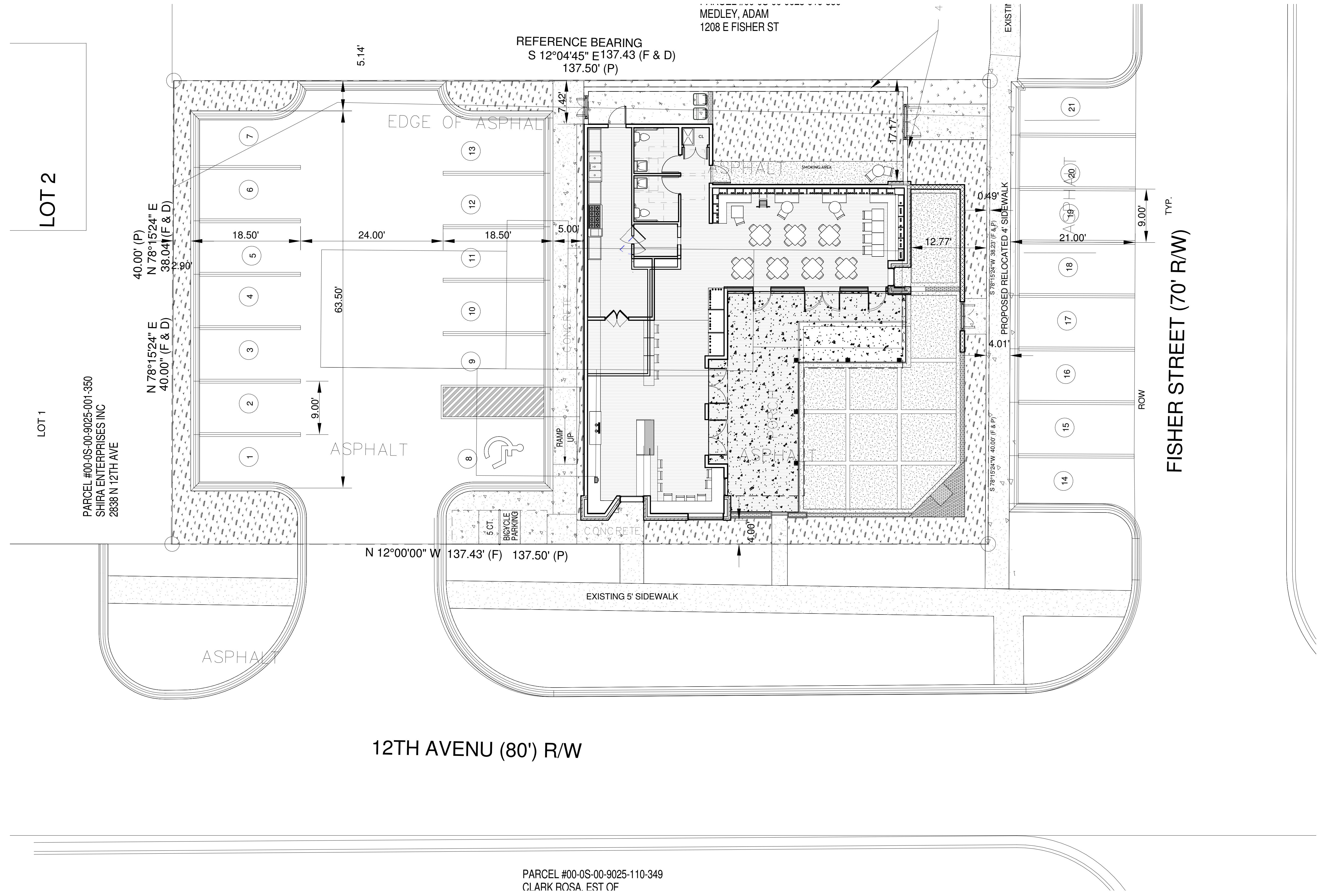
**Issued for:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Revision Schedule**

**GENERAL  
INFORMATION  
AO.1**

seal:

Anthony J. Vallee, Architect  
 seal: AR95108



project name  
**MARKETPLACE**

project address:

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SCALE: 1/8" = 1'-0"

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

| NO. | REVISION | DATE |
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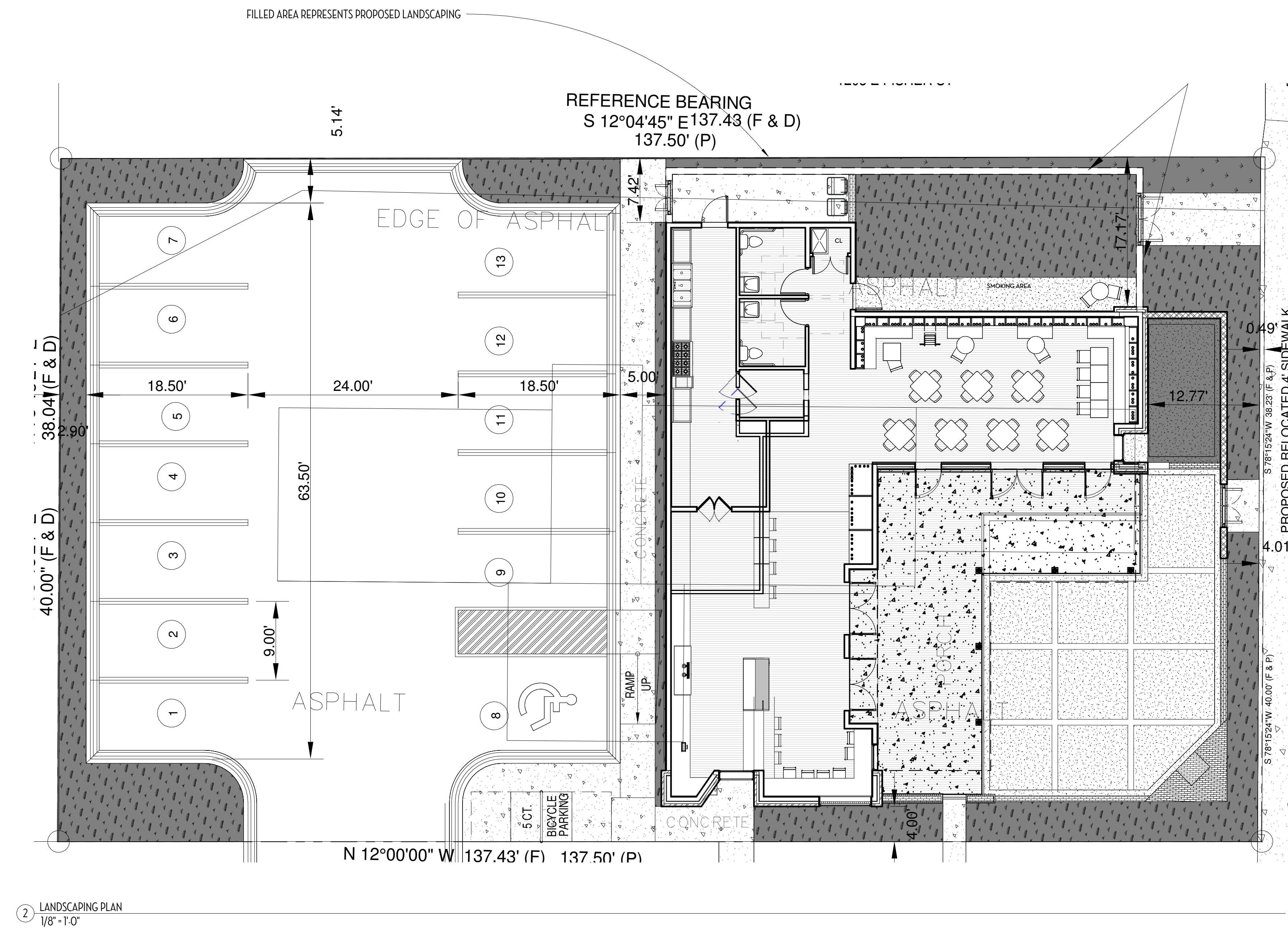
SITE PLAN

AO.2

PARCEL #00-0S-00-9025-110-349  
 CLARK ROSA, EST OF

seal:

Anthony J. Vallee, Architect  
 seal: AR95108



**LANDSCAPE CALCULATION**

|                         |              |
|-------------------------|--------------|
| TOTAL LOT AREA:         | 10,478.64 SF |
| TOTAL BUILDING AREA:    | 2,031 SF     |
| TOTAL LANDSCAPING AREA: | 1,814.74 SF  |
| PERCENT LANDSCAPING:    | 21%          |

2 LANDSCAPING PLAN  
 1/8" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
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Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

LANDSCAPING &  
 AREA  
**AO.3**

seal:

**Anthony J. Vallee, Architect**  
seal: AR95108

**APPLICABLE CODES:**

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

**FIRE MARSHAL NOTES:**

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OF EGRESS, TYP.

**LEGEND**

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXT'R PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

**FIRE SAFETY NOTES:**

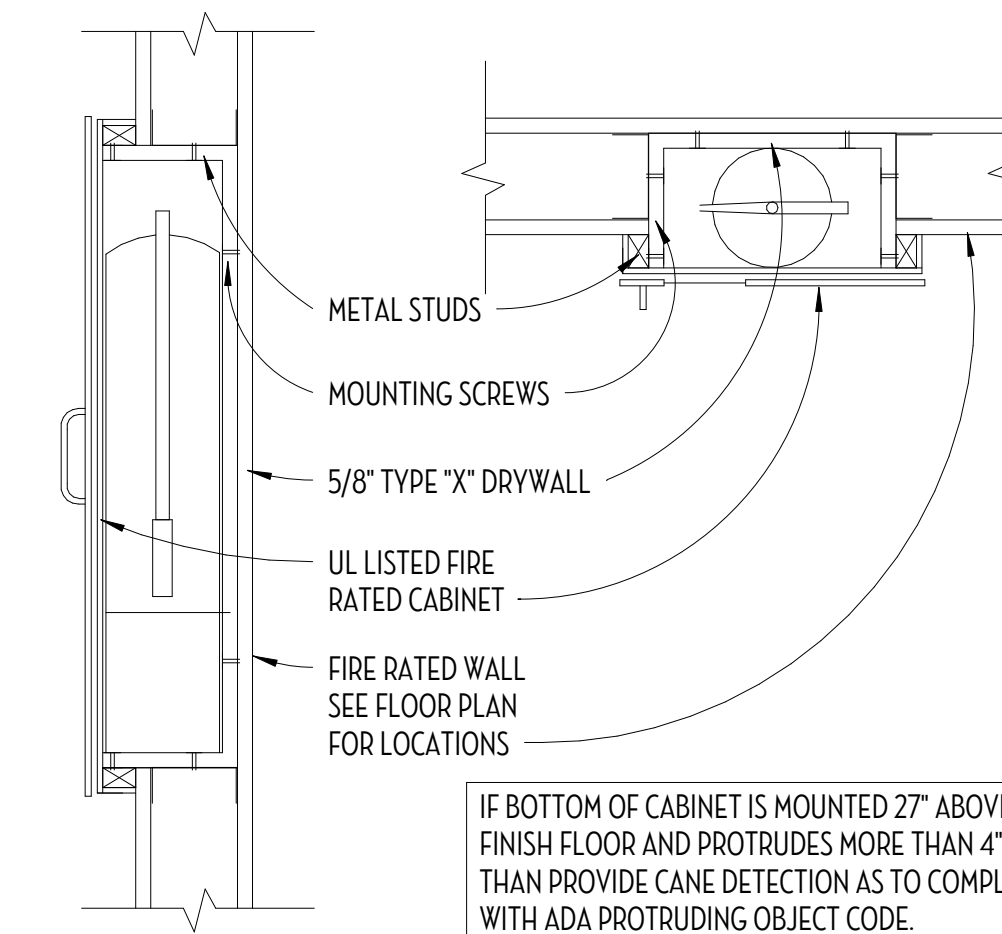
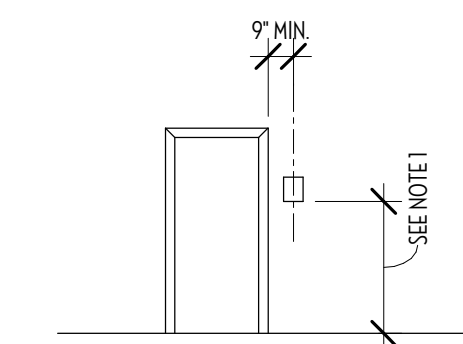
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

**FIRE EXTINGUISHERS:**

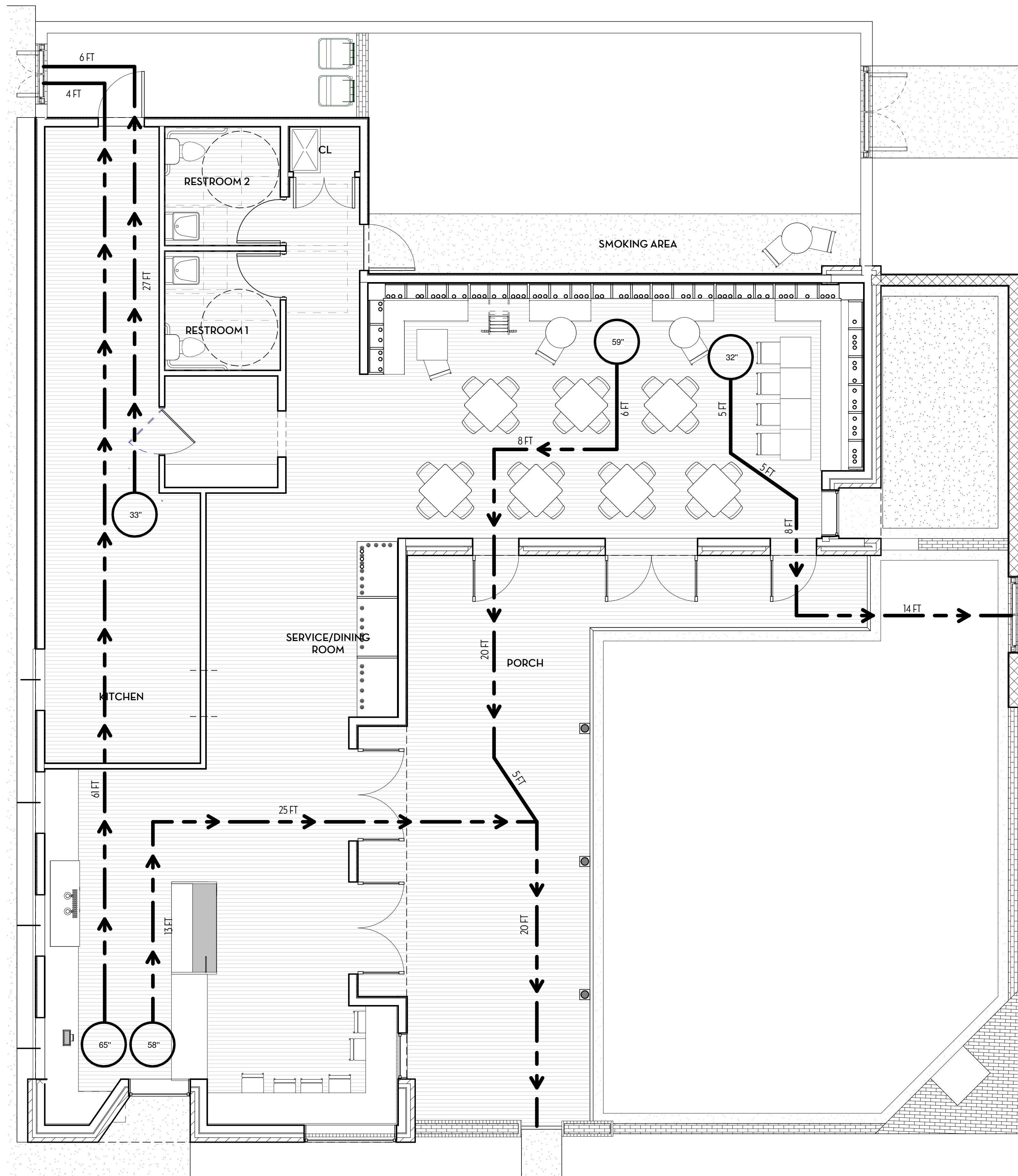
- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

**SIGNAGE NOTES:**

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



IF BOTTOM OF CABINET IS MOUNTED 27" ABOVE FINISH FLOOR AND PROTRUDES MORE THAN 4" THAN PROVIDE CANE DETECTION AS TO COMPLY WITH ADA PROTRUDING OBJECT CODE.



4 LIFE SAFETY PLAN  
1/4" = 1'-0"

1/21/2020 2:54:08 PM

project name  
**MARKETPLACE**

project address:  
-  
parcel:  
26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: Author  
CHECKED BY: Checker  
SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

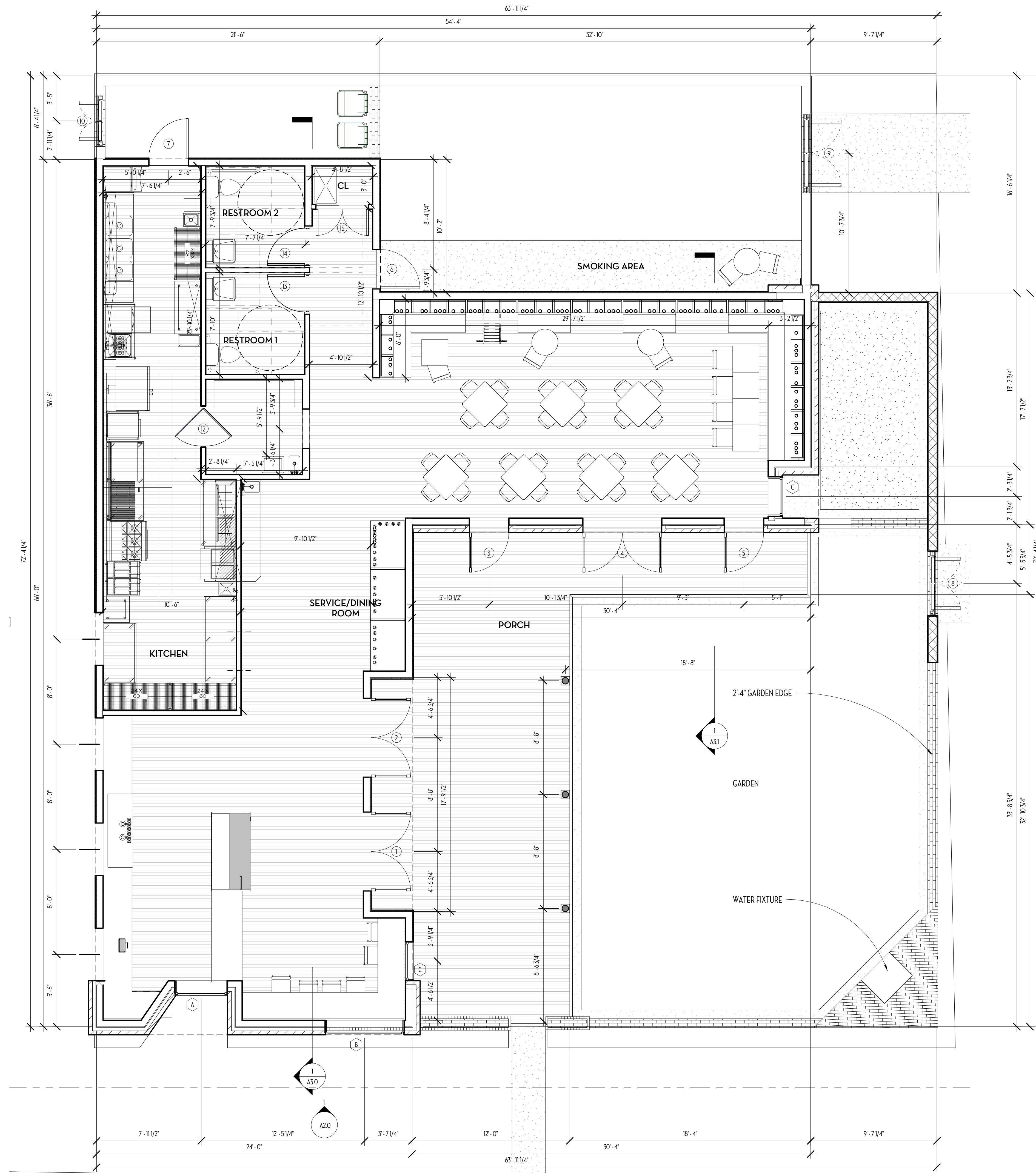
**Revision Schedule**

| NO. | DATE | DESCRIPTION |
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**LIFE SAFETY PLAN**



1/21/2020 2:54:10 PM



1 FLOOR PLAN  
1/4" = 1'-0"

architect of record :

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Defuniak Springs, FL 32435  
Phone: 850.660.6675

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seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name

## MARKETPLACE

project address:

parcel:

26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: AJJV  
CHECKED BY: Checker  
SCALE: 1/4" = 1'-0"

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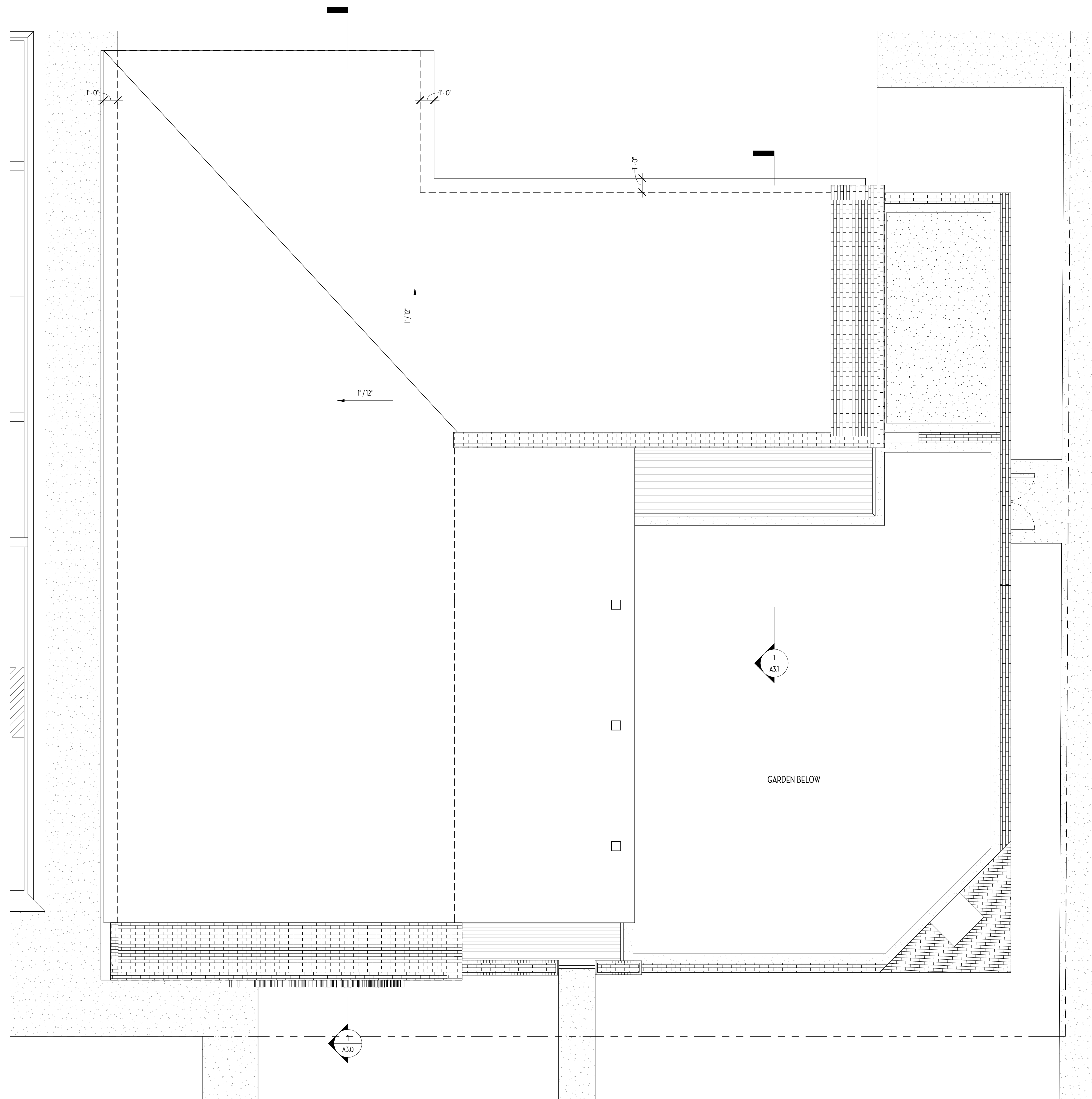
Revision Schedule

## FLOOR PLAN

# A1.1

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



1 ROOF PLAN  
 1/4" = 1'-0"

project name  
**MARKETPLACE**

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 -

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
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 DRAWN BY: Author  
 CHECKED BY: Checker  
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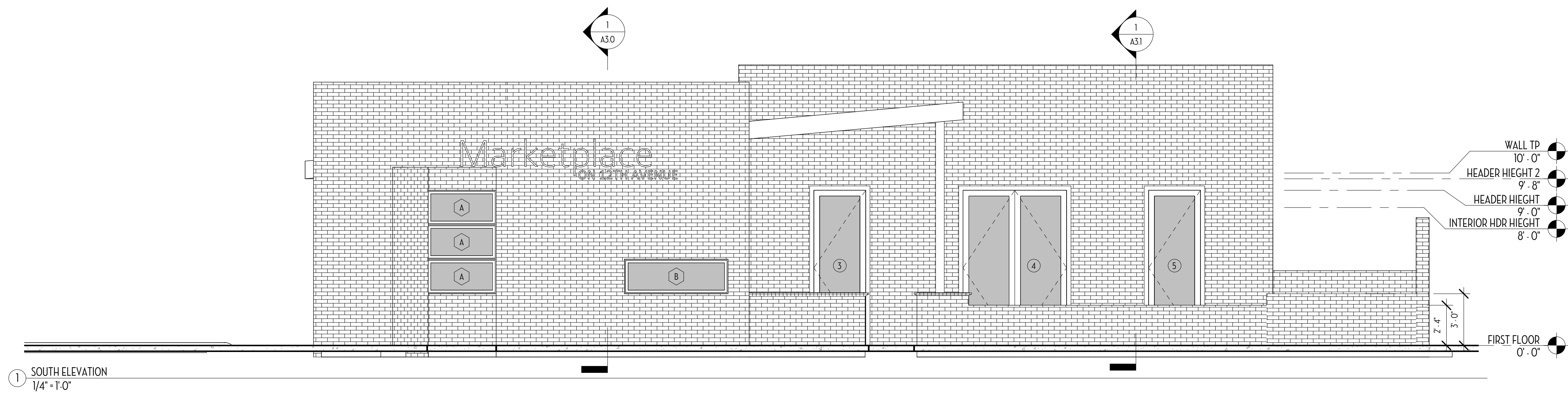
Revision Schedule

ROOF PLAN

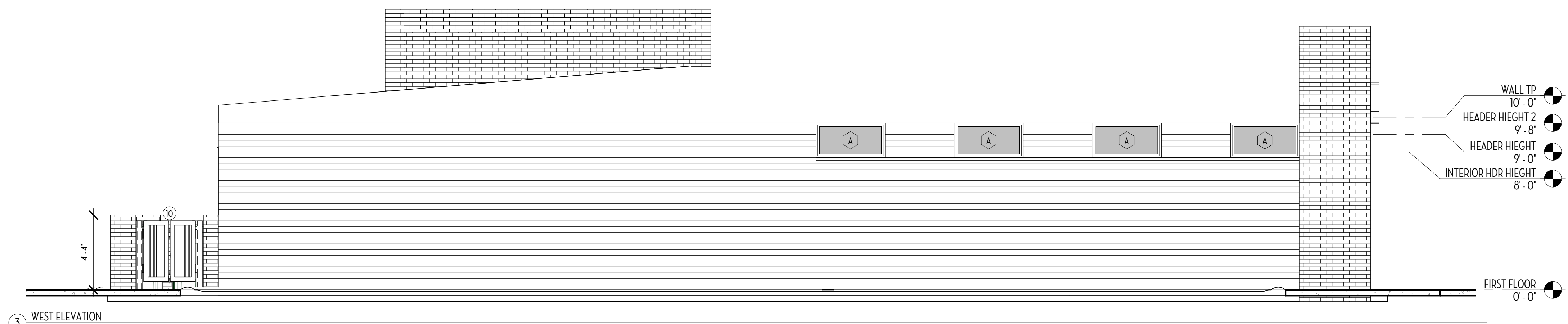
A1.2

seal:

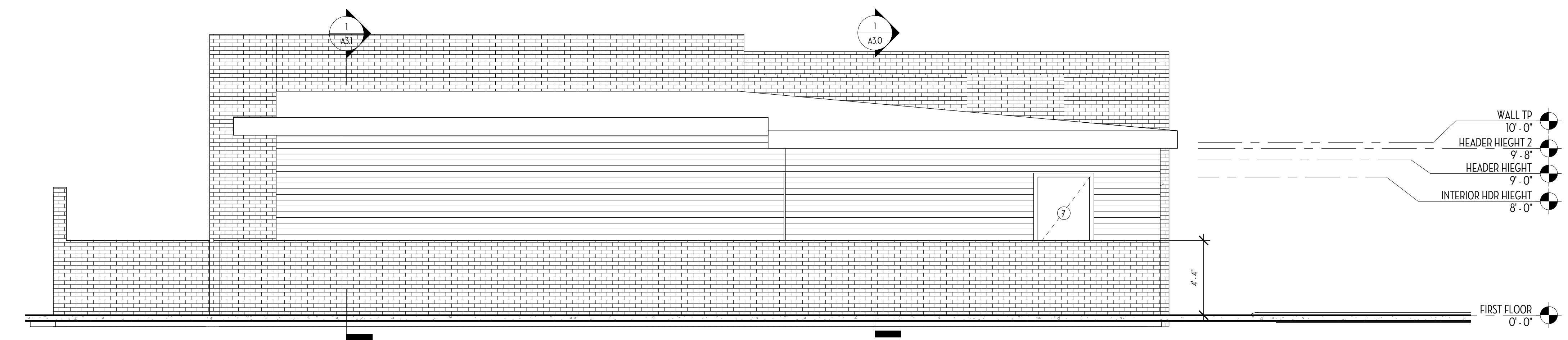
**Anthony J. Vallee, Architect**  
 seal: AR95108



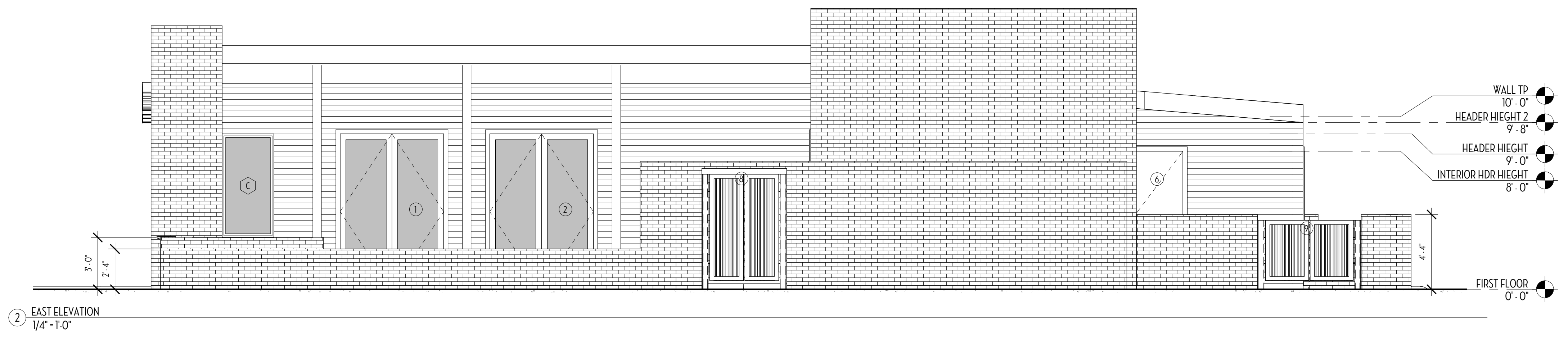
1 SOUTH ELEVATION  
 1/4" = 1'-0"



3 WEST ELEVATION  
 1/4" = 1'-0"



4 NORTH ELEVATION  
 1/4" = 1'-0"



2 EAST ELEVATION  
 1/4" = 1'-0"

project name  
**MARKETPLACE**

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Revision Schedule

ELEVATIONS

A2.0

architect of record :

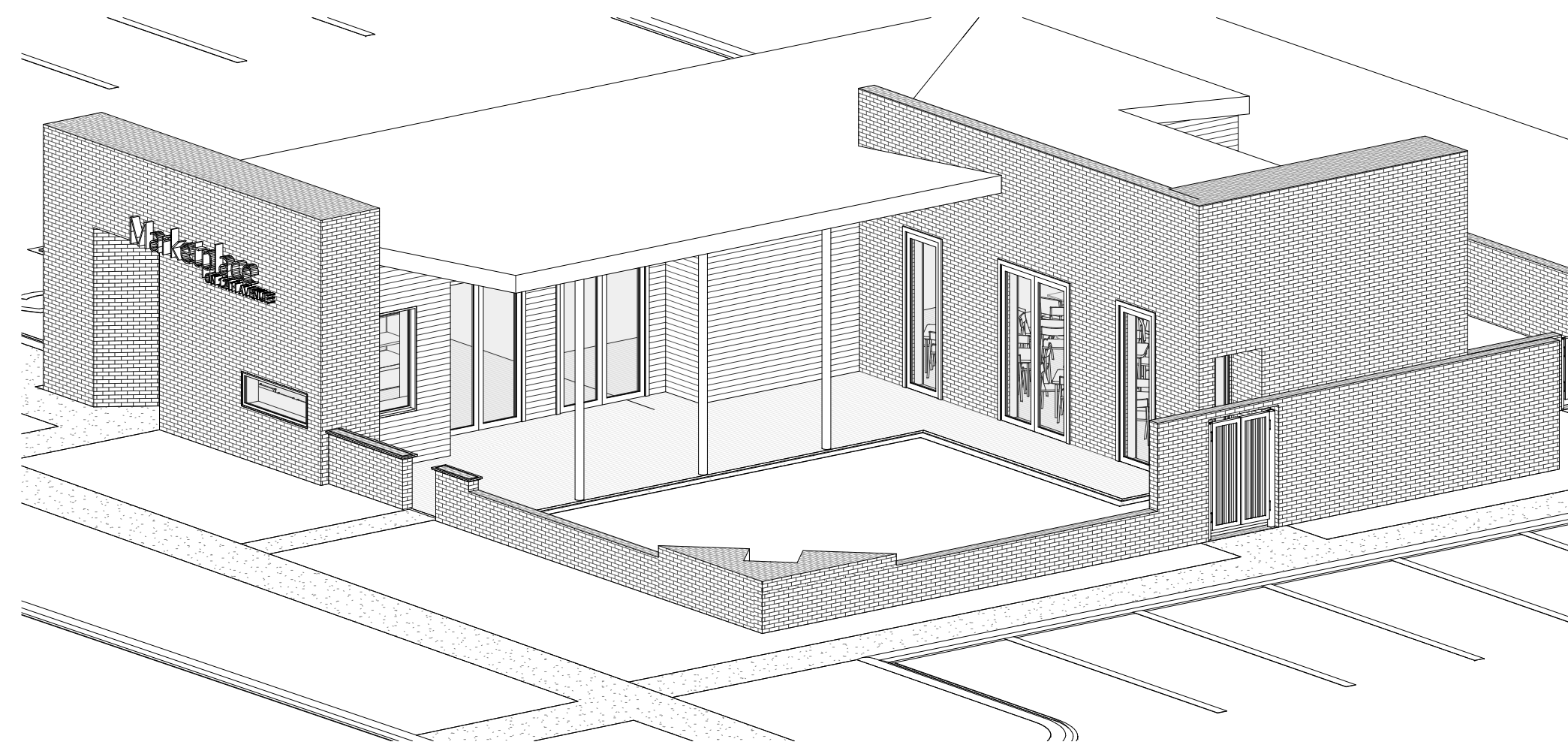
# McWhorter Vallee Design

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

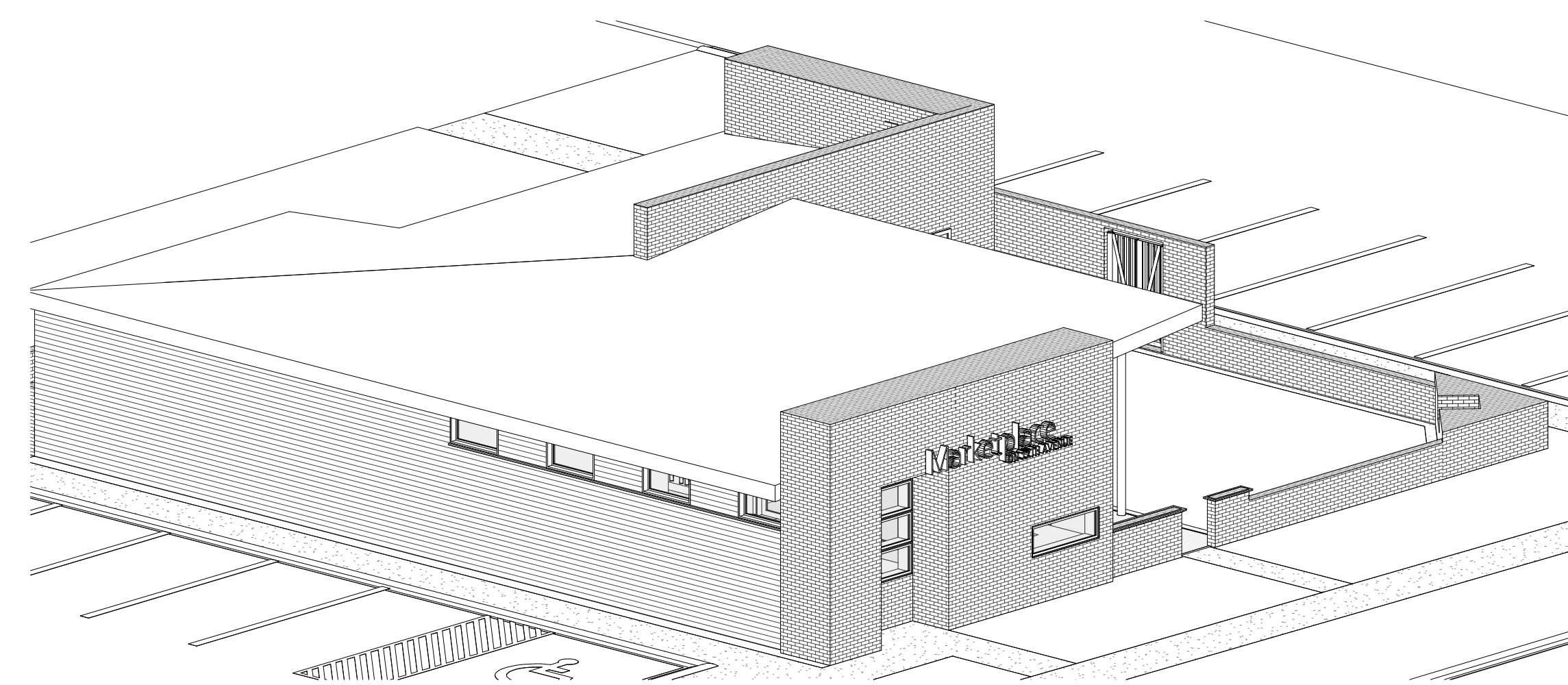
www.mvr.design

seal:

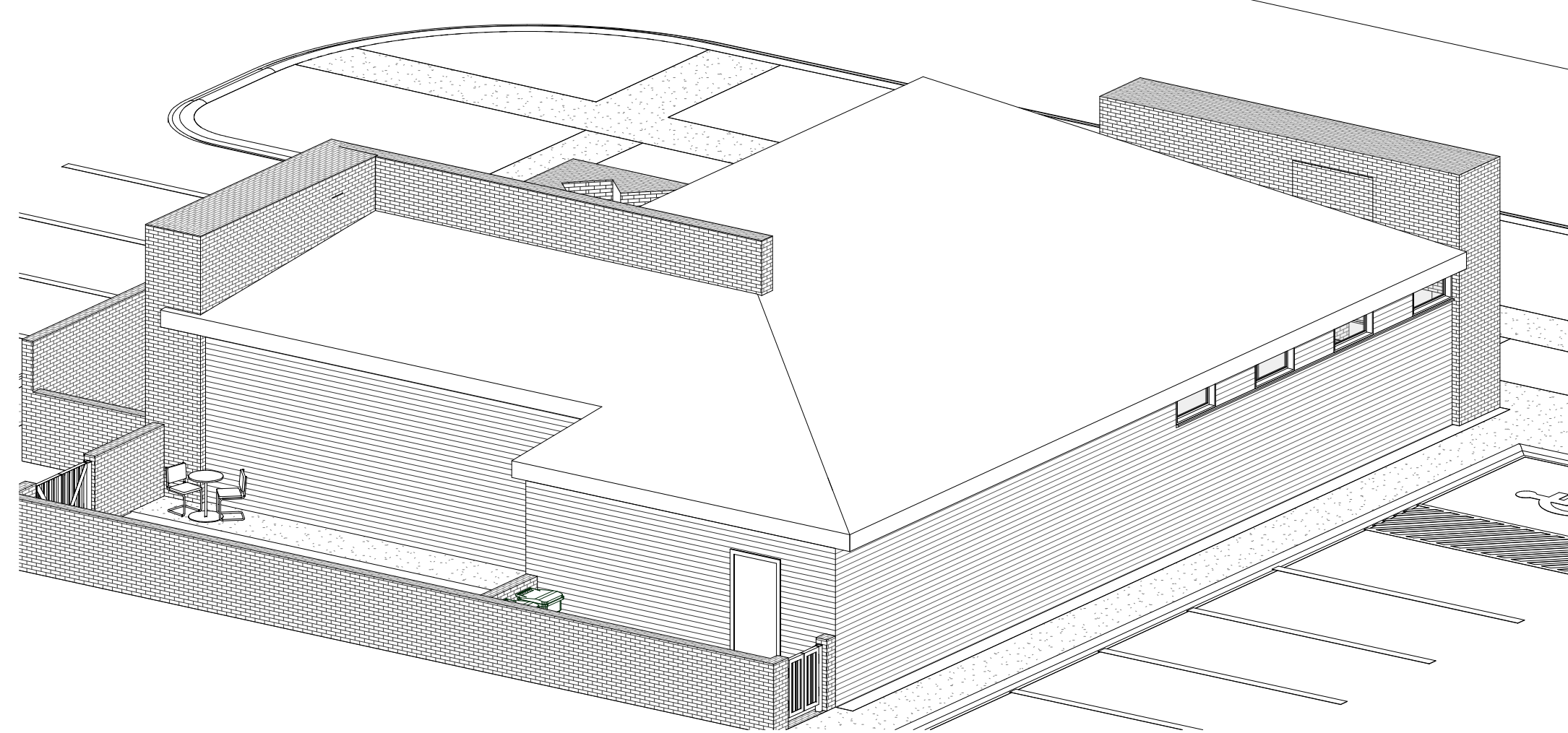
Anthony J. Vallee, Architect  
seal: AR95108



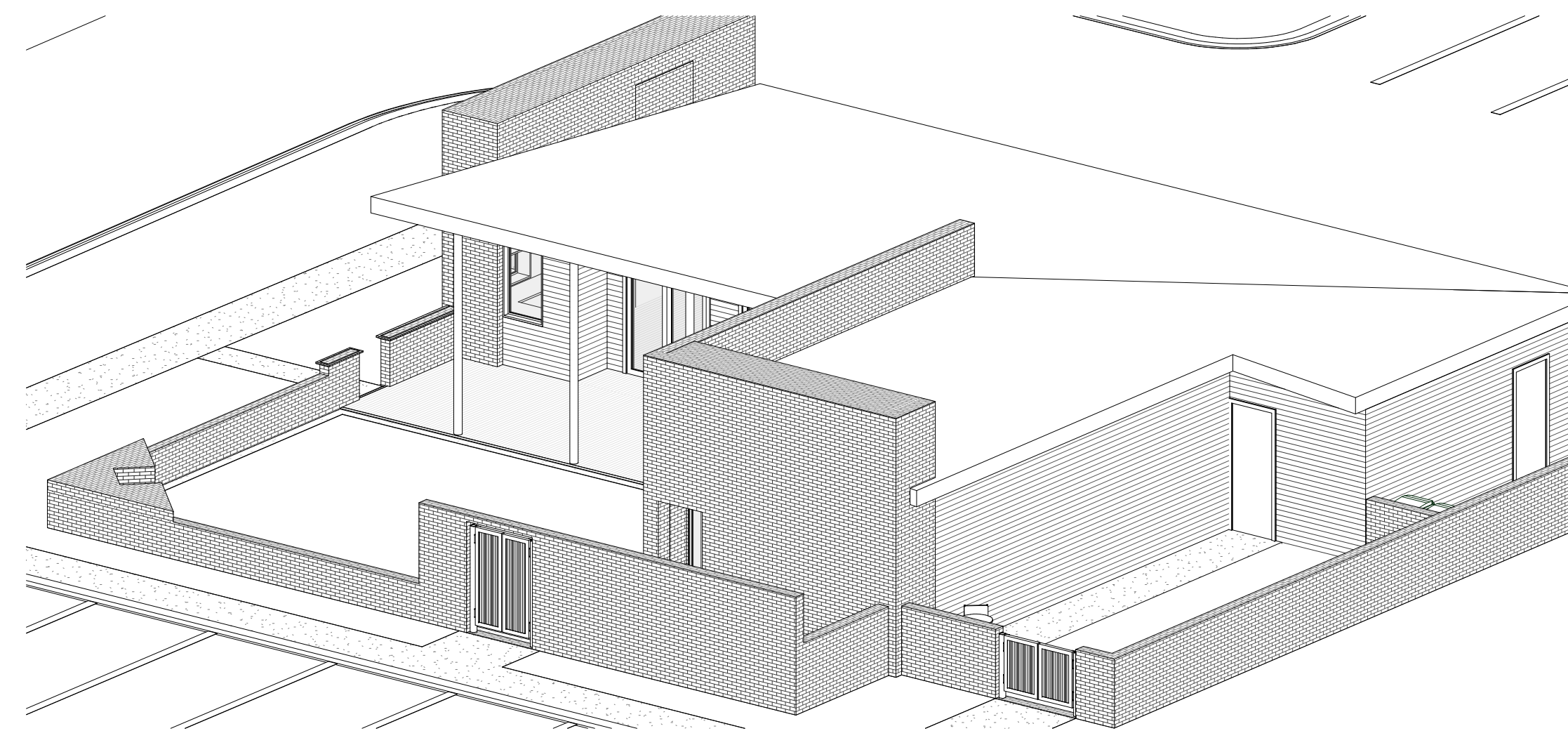
① Isometric 1



② Isometric 2



③ Isometric 3



④ Isometric 4

project name

## MARKETPLACE

project address:

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parcel:

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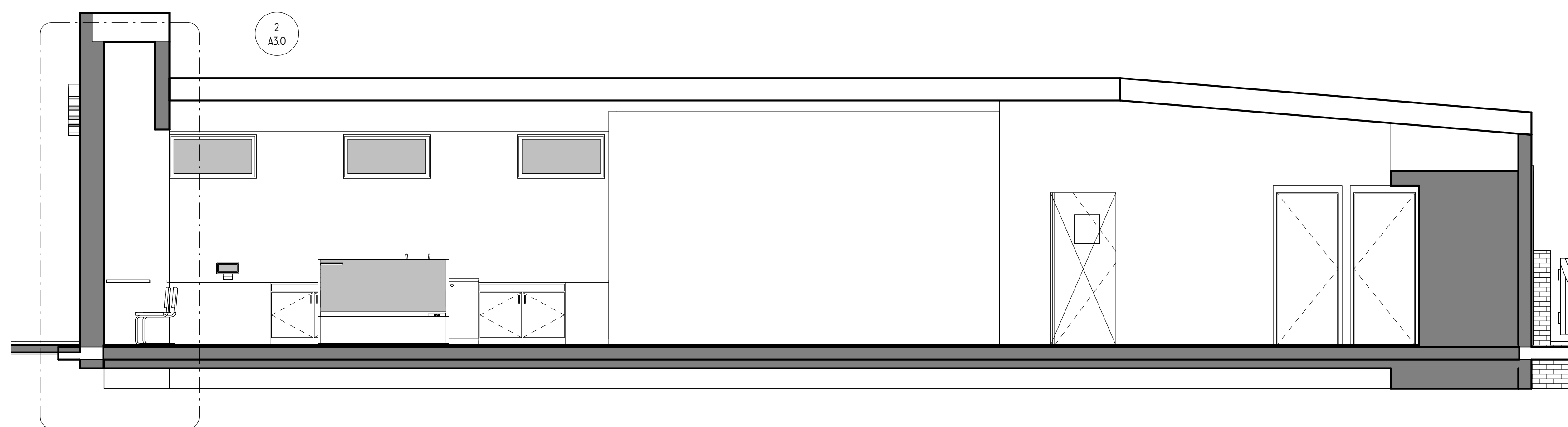
Revision Schedule

3D VIEWS

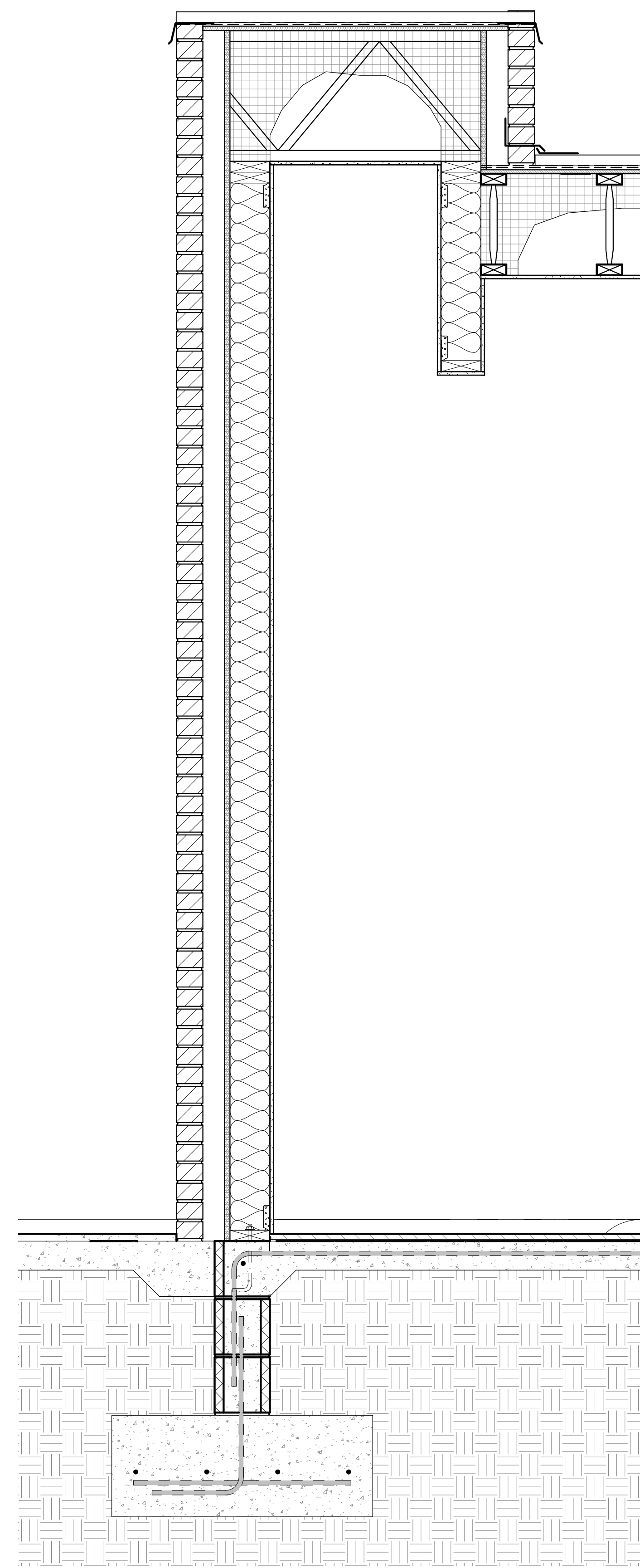
# A2.2

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



1 BUILDING SECTION 1  
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION  
 1" = 1'-0"

project name  
**MARKETPLACE**

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parcel:  
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Revision Schedule

BUILDING  
 SECTION  
**A3.0**

architect of record :

# McWhorter Vallee Design

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37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

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seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name

## MARKETPLACE

project address:

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parcel:

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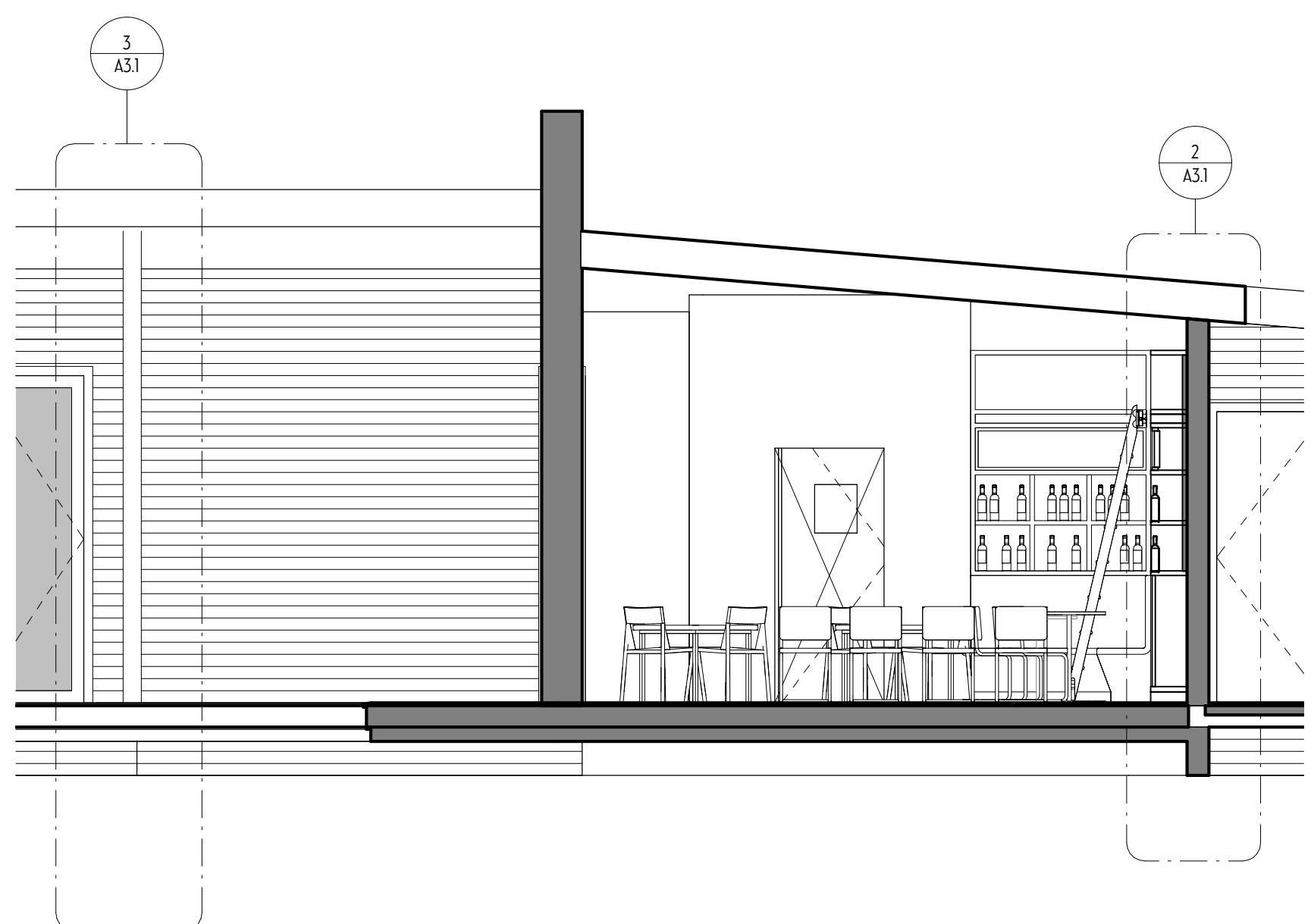
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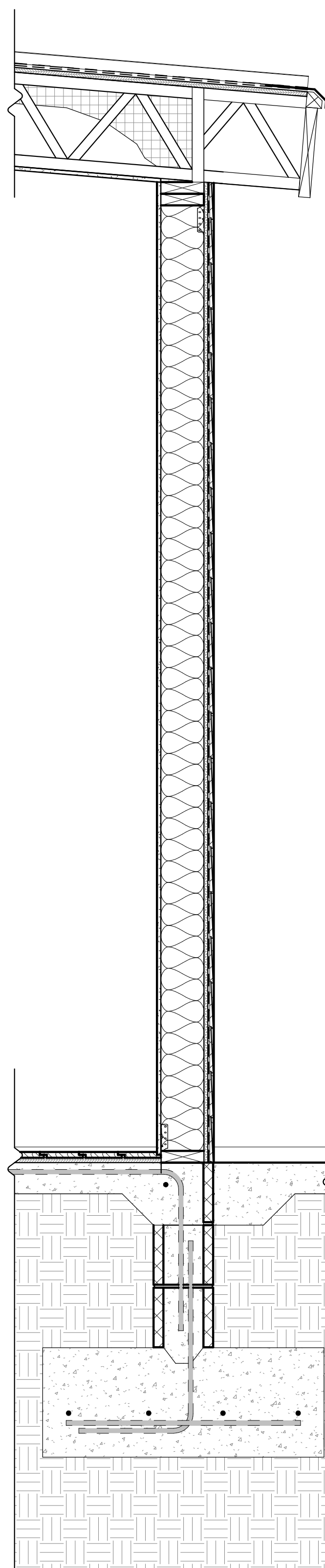
Revision Schedule

BUILDING  
SECTION

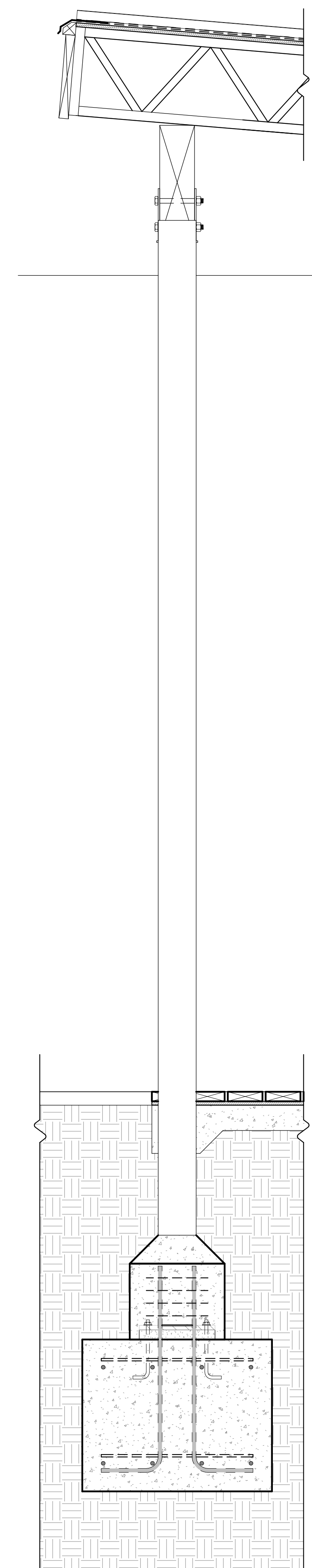
# A3.1



1 BUILDING SECTION 2  
1/4" = 1'-0"



2 TYPICAL WALL SECTION  
1" = 1'-0"



3 BUILDING SECTION 2 - Callout 1  
1" = 1'-0"

seal:

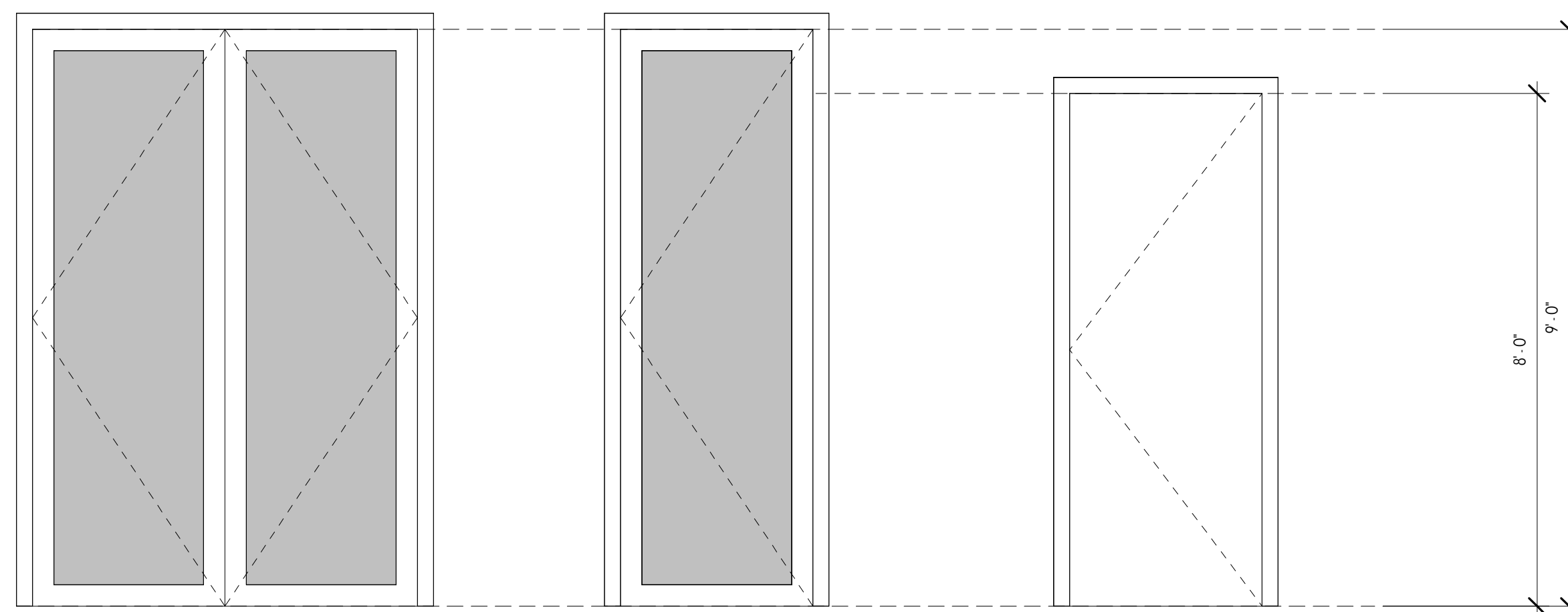
**Anthony J. Vallee, Architect**

seal: AR95108

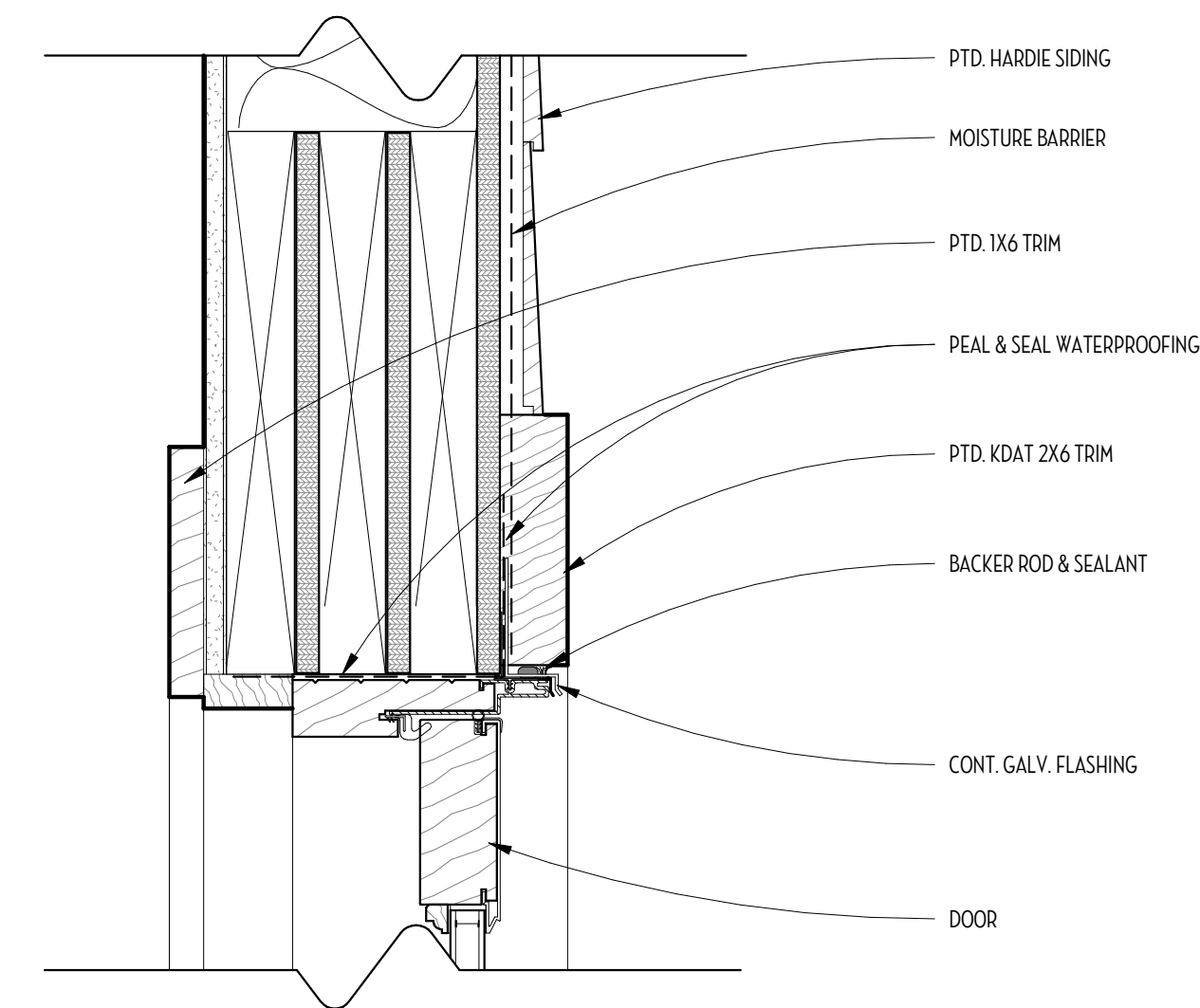
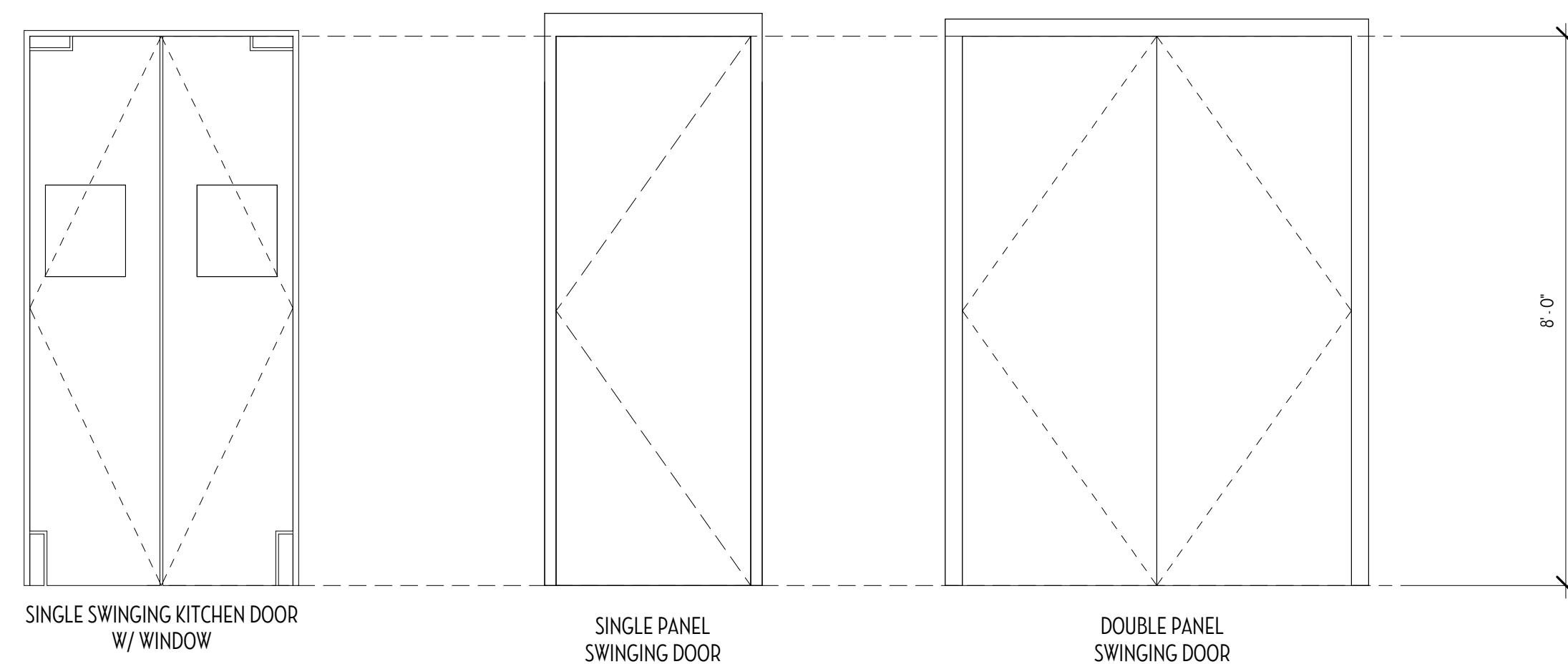
| DOOR SCHEDULE |        |       |                                     |        |          |
|---------------|--------|-------|-------------------------------------|--------|----------|
| UNIT          | HEIGHT | WIDTH | DESCRIPTION                         | FINISH | COMMENTS |
| 1             | 9'-0"  | 6'-0" |                                     |        |          |
| 2             | 9'-0"  | 6'-0" |                                     |        |          |
| 3             | 9'-0"  | 3'-0" |                                     |        |          |
| 4             | 9'-0"  | 6'-0" |                                     |        |          |
| 5             | 9'-0"  | 3'-0" |                                     |        |          |
| 6             | 8'-0"  | 3'-0" |                                     |        |          |
| 7             | 8'-0"  | 3'-0" |                                     |        |          |
| 8             | 6'-8"  | 4'-0" |                                     |        |          |
| 9             | 4'-0"  | 5'-1" |                                     |        |          |
| 10            | 4'-0"  | 3'-0" |                                     |        |          |
| 12            | 8'-0"  | 3'-0" | DUAL SWING KITCHEN DOOR WITH WINDOW |        |          |
| 13            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 14            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 15            | 8'-0"  | 4'-0" |                                     |        |          |
| X34           | 0'-0"  | 0'-0" |                                     |        |          |

| GENERAL NOTES:  | GENERAL DOOR HARDWARE PERFORMANCE NOTES:   |
|---|--|
| <ol style="list-style-type: none"> <li>DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.</li> <li>ALL GLASS TO BE INSULATED LOW-E.</li> <li>UNITS TO BE IMPACT RATED.</li> <li>SEE DOOR STYLES FOR MUNTIN PATTERNS.</li> <li>INSTALL DOOR PER MFR. INSTRUCTIONS.</li> <li>EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION).</li> <li>INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS.</li> <li>DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS &amp; SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS.</li> </ol> | <ul style="list-style-type: none"> <li>PRIVACY HARDWARE SET: ALL BEDROOMS &amp; BATHS TO HAVE TURN PIECE &amp; EMERGENCY RELEASE.</li> <li>KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT.</li> <li>NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE.</li> <li>HALF DUMMY HARDWARE SET: ALL CLOSET DOORS.</li> <li>PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS.</li> <li>ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF.</li> <li>ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS.</li> <li>GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC.</li> <li>THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.</li> </ul> |

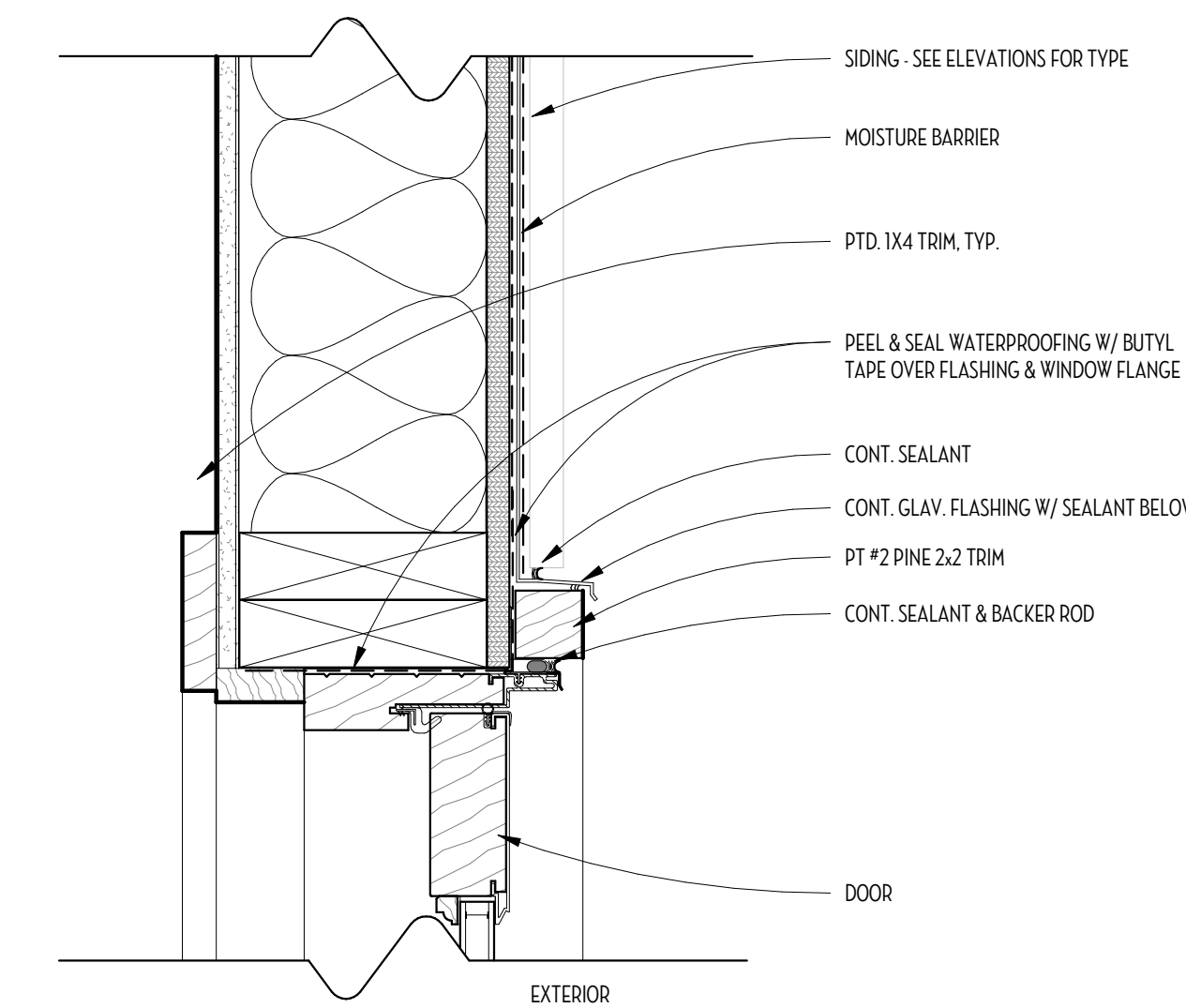
**EXTERIOR DOOR TYPES**



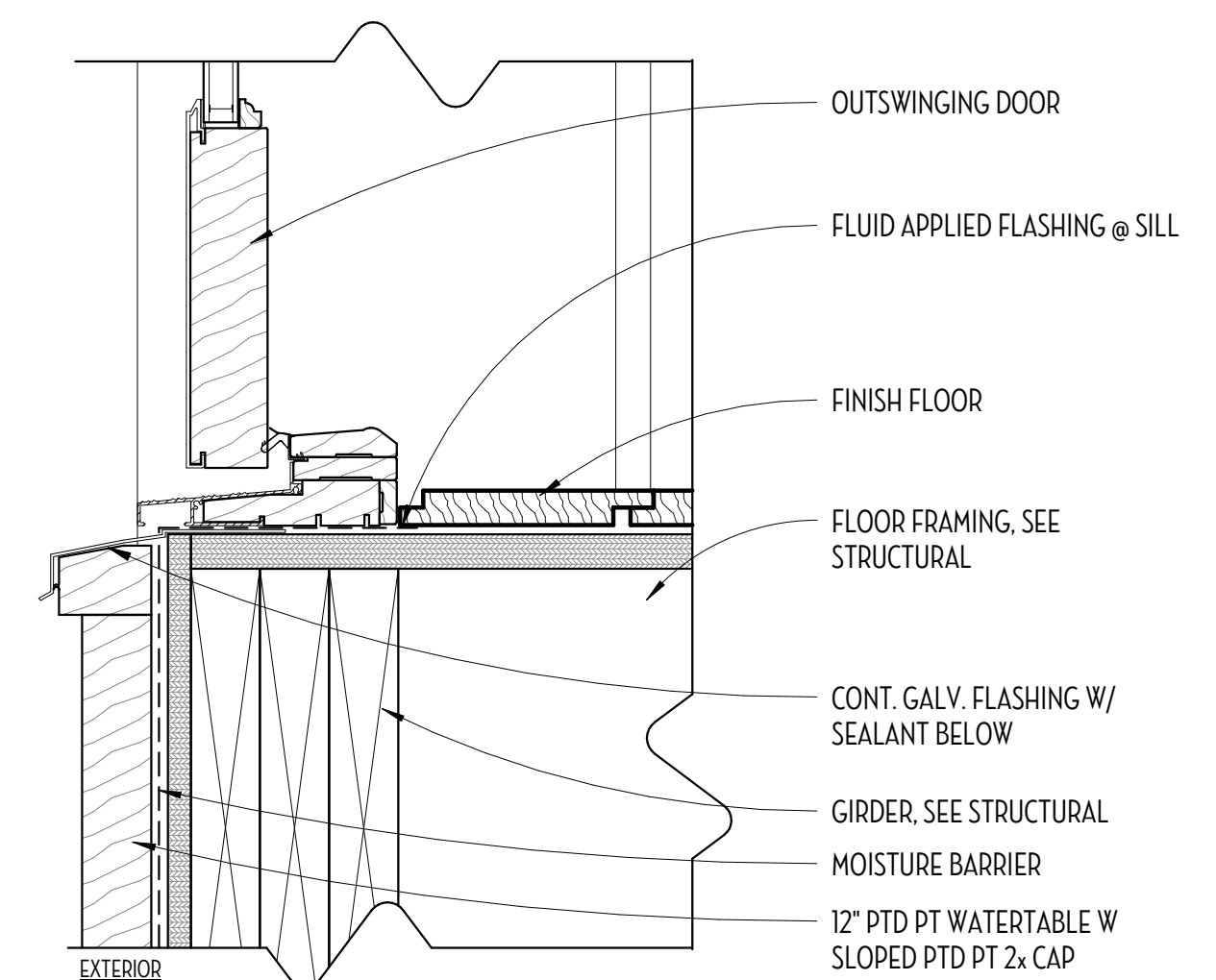
**INTERIOR DOOR TYPES**



1 TYP. DR. HDR. WOOD  
3'-1.0"



2 TYP. DR. JAMB. WOOD  
3'-1.0"



3 TYP. DR. SILL. WOOD  
3'-1.0"

project name

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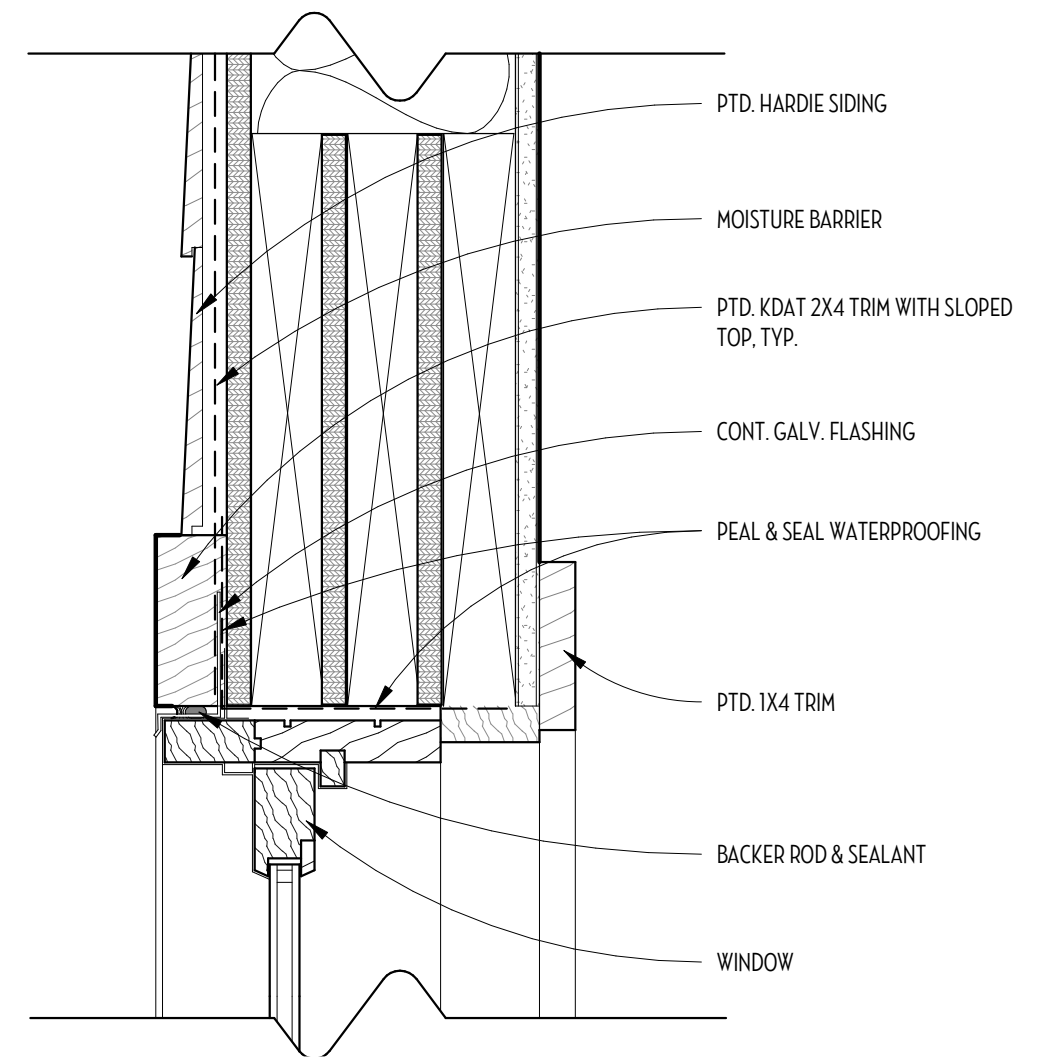
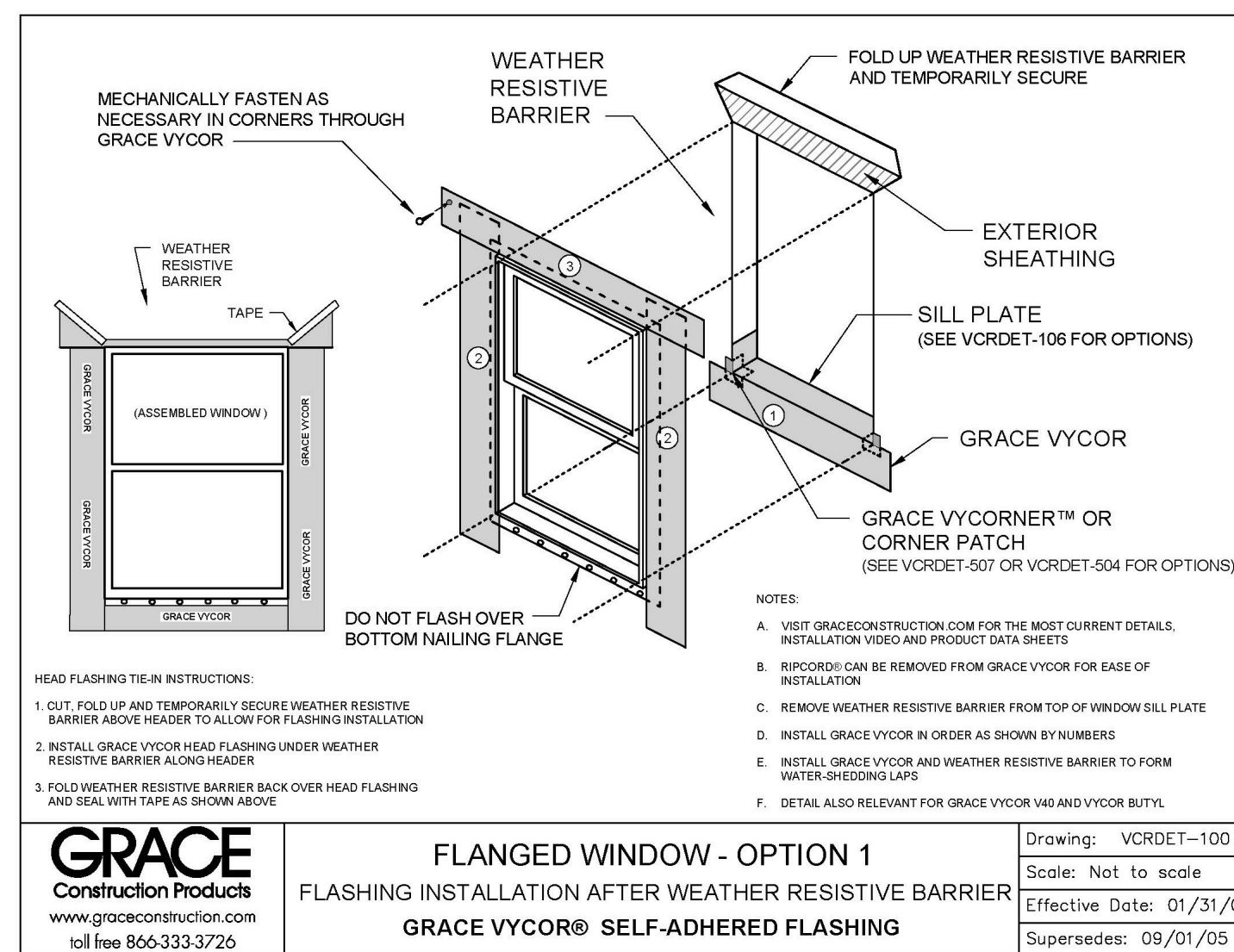
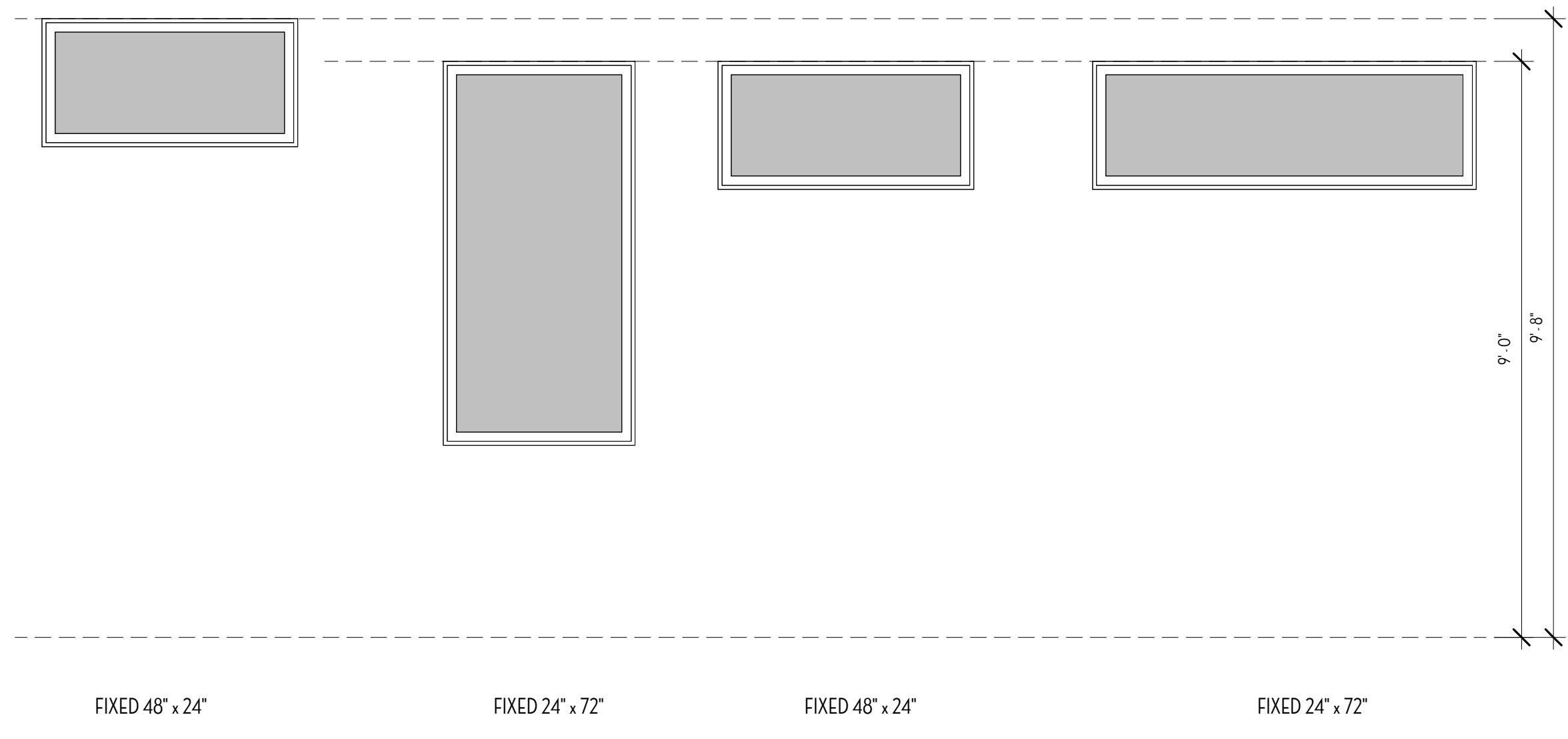
**Revision Schedule**

**DOOR SCHEDULE**

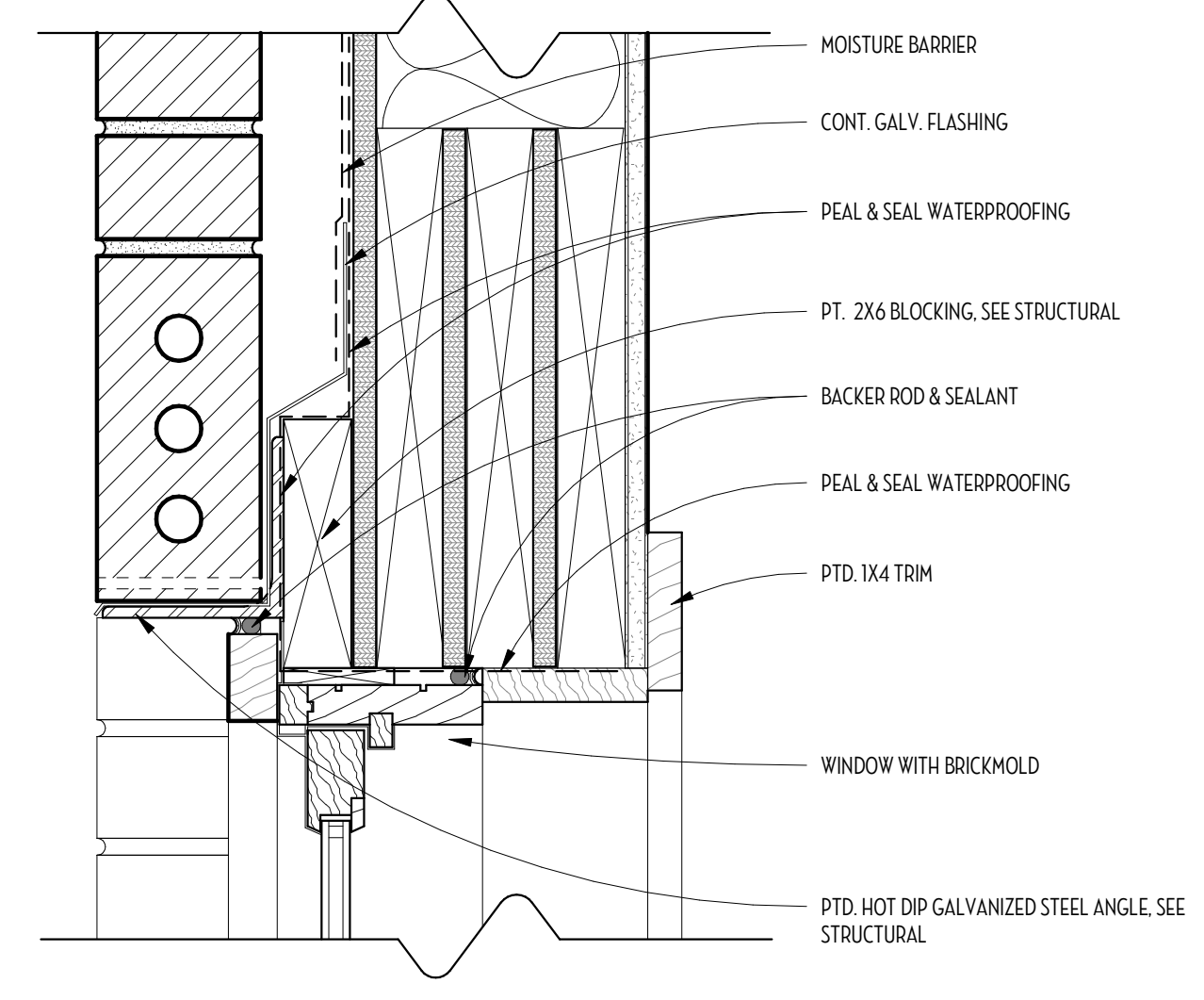
| WINDOW SCHEDULE |       |        |                          |       |
|-----------------|-------|--------|--------------------------|-------|
| UNIT            | WIDTH | HEIGHT | DESCRIPTION              | NOTES |
| A               | 4'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| B               | 6'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| C               | 3'-0" | 6'-0"  | SINGLE CLAD FIXED WINDOW |       |

**GENERAL NOTES:**

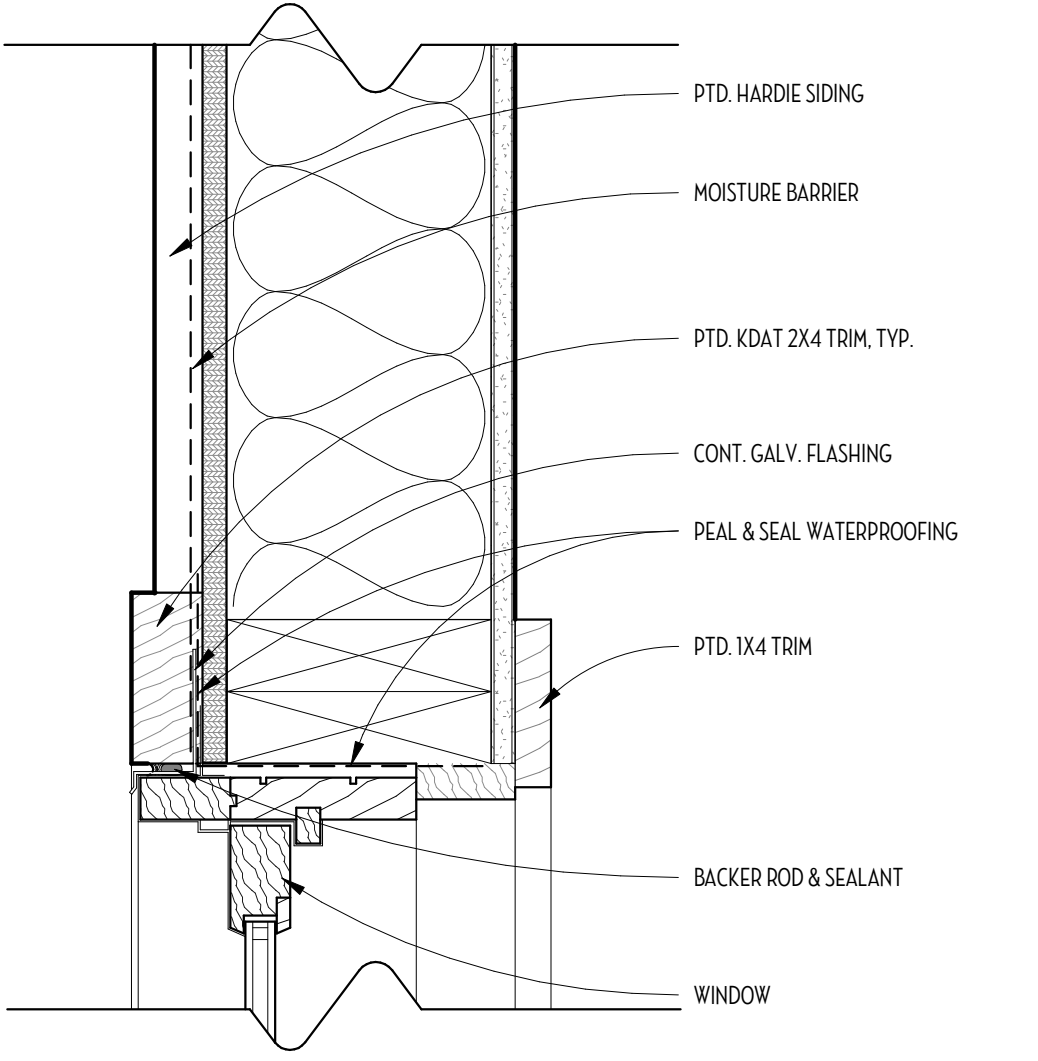
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



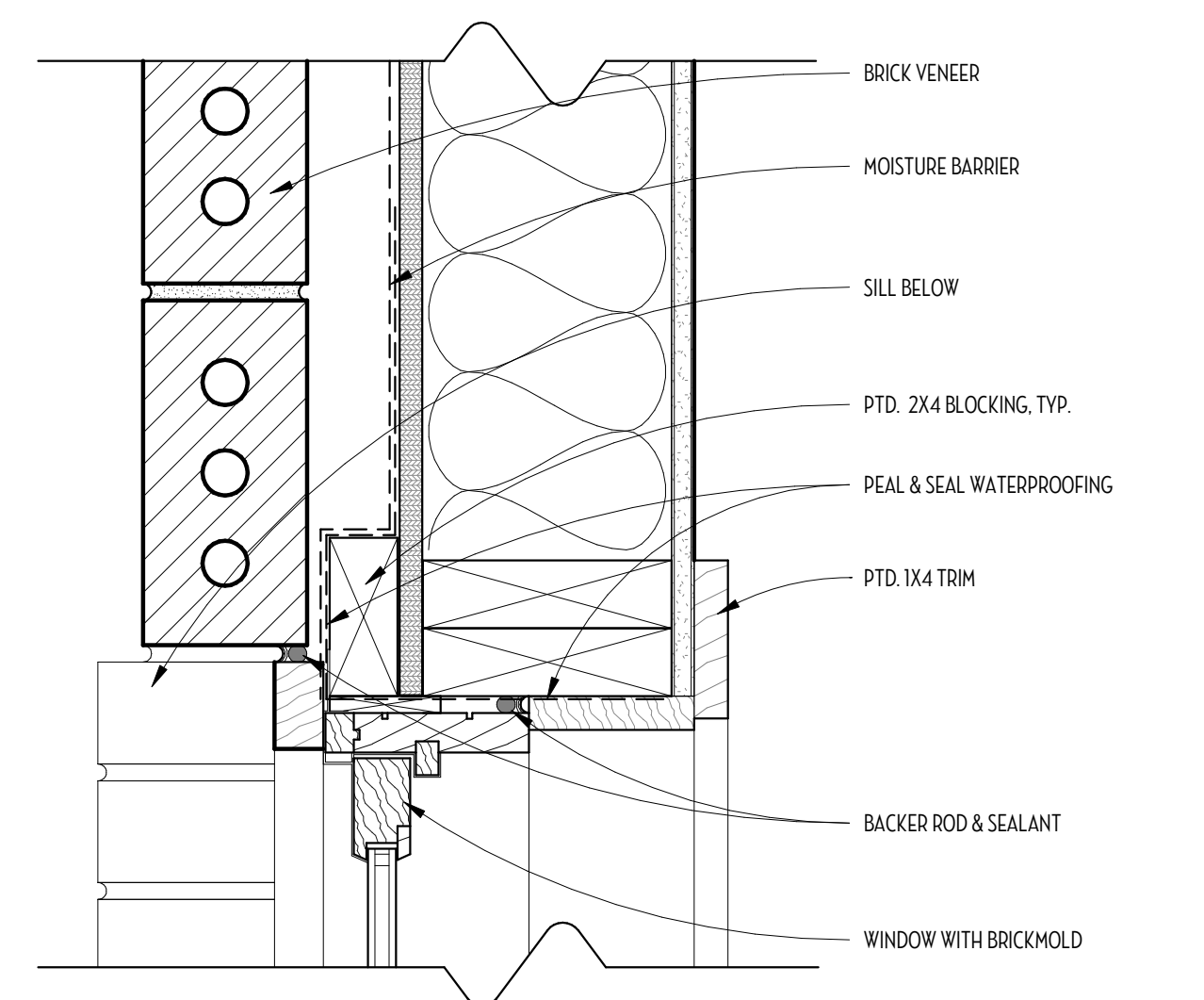
1 TYP. WIN. HDR. WOOD 3'-1-0"



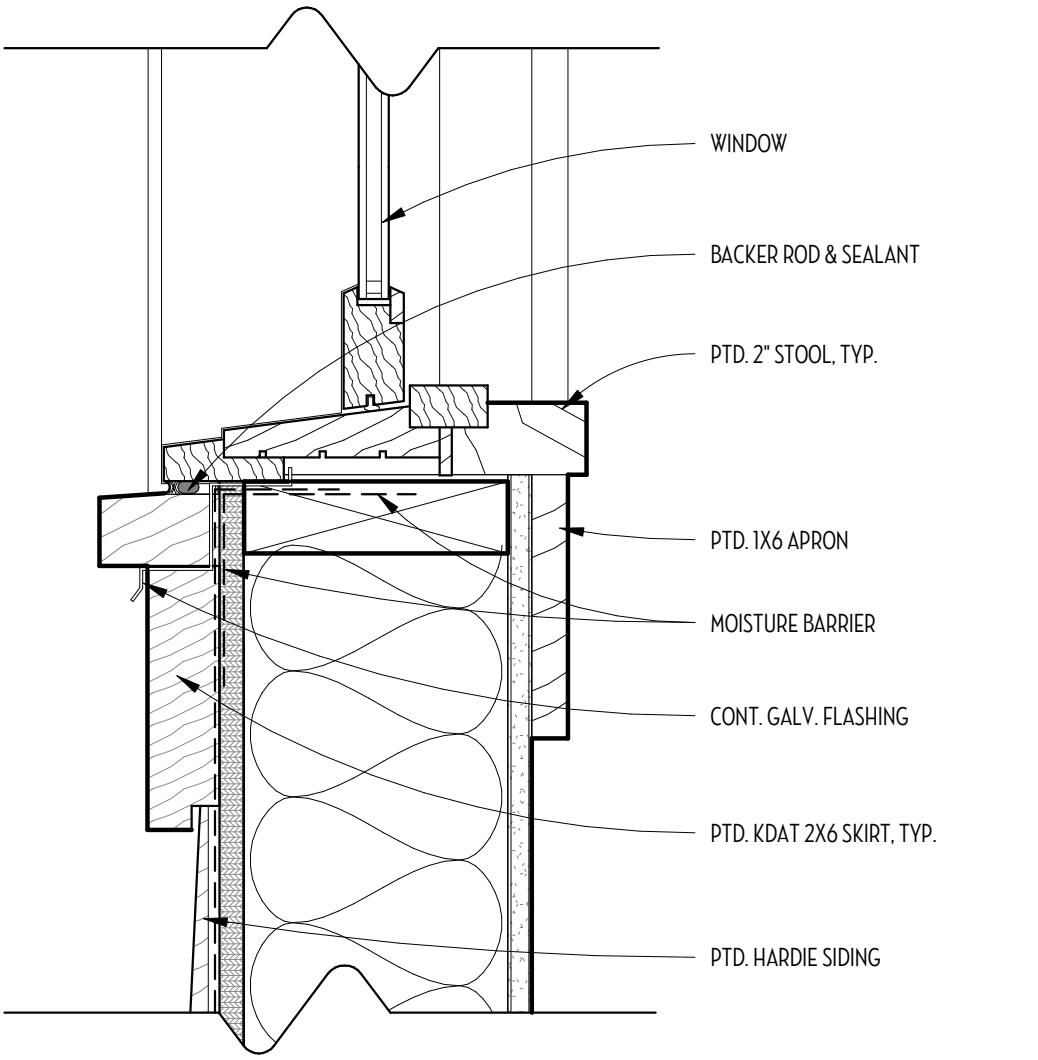
2 TYP. WIN. HDR. BRICK 3'-1-0"



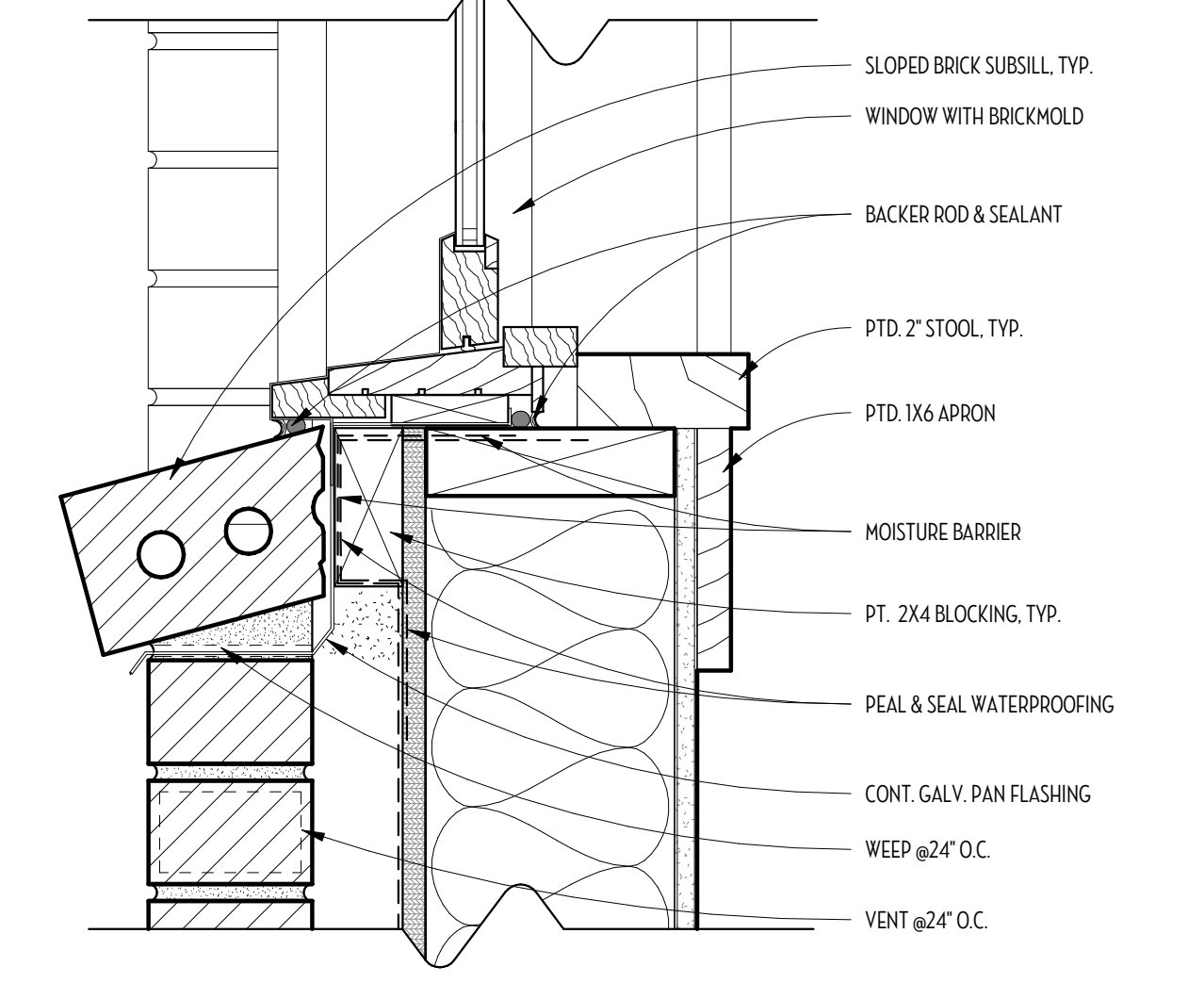
3 TYP. WIN. JAMB. WOOD 3'-1-0"



4 TYP. WIN. JAMB. BRICK 3'-1-0"



5 TYP. WIN. SILL. WOOD 3'-1-0"



6 TYP. WIN. SILL. BRICK 3'-1-0"

architect of record :

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Revision Schedule

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

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