



CRA Overlay District Urban Design Standards & Guidelines City of Pensacola

**1st Hearing to City Council
May 16, 2019**

DPZ
CODESIGN

CRA Redevelopment Goals

- Preserve neighborhood character
- Revitalize inner city neighborhoods
- Enhance property value
- Eliminate blight
- Create walkable streets
- Recognize place-making as central to the health of communities



What this Project IS about

- Proposing overlay design standards to:
 - better align zoning to community goals;
 - create more predictable results; and
 - improve the character of your neighborhoods and discourage incompatible infill.
- Making your streets walkable & bikeable where possible
- Streamlining the approval process and make staff review as easy as possible with use of objective criteria and check list.

Outreach & Input Opportunities

2018

February 9

Pre-Charrette Lunch & Learn (In Person & Webinar)

February 12-15

4-Day Charrette: Open Studio, Focus Sessions & Presentations

Day #1

- Open Studio: 11:30 a.m. – 8:00 p.m.
- Focus Session: Community Stakeholders
- Focus Session: Zoning, Urban & Architectural Design

Day #2

- Open Studio: 10:00 a.m. – 1:30 p.m.
- Focus Session: Transportation and Public Works
- Opening Presentation

Day #3

- Open Studio: 10:00 a.m. – 12:30 p.m., 1:30 p.m. – 8:00 p.m.
- Focus Session: Community Redevelopment Agency & Planning Board Debriefing

Day #4

- Open Studio: 10:00 a.m. – 1:30 p.m.

Outreach & Input Opportunities

2018

March 9 – Apr 13

Draft Urban Design Standards Overlay
Comment Period

March 15

Draft Urban Design Standards Overlay
Lunch & Learn (In Person & Webinar)

March 19

Draft Urban Design Standards Workshops

- Planning Board and CRA Combined Workshop – 2:00 p.m.
- City Council Workshop – 5:30 p.m.

April 3 & 7

Additional Public Input Sessions (In
Person & Webinar)

- Input Session – 5:30 p.m.

June 12

Planning Board Public Hearing

July 11

Eastside Redevelopment Board
Meeting

July 24

Westside Redevelopment Board
Meeting

September 18

Planning Board Second Hearing

October 8

Community Redevelopment Agency
Mtg #1

Outreach & Input Opportunities

2019

January 15

Community Redevelopment Agency
Mtg #2

May 16

City Council Public Hearing - 1st
Reading

May 30 (or tbd)

City Council Public Hearing - 2nd
Reading

Other Outreach:

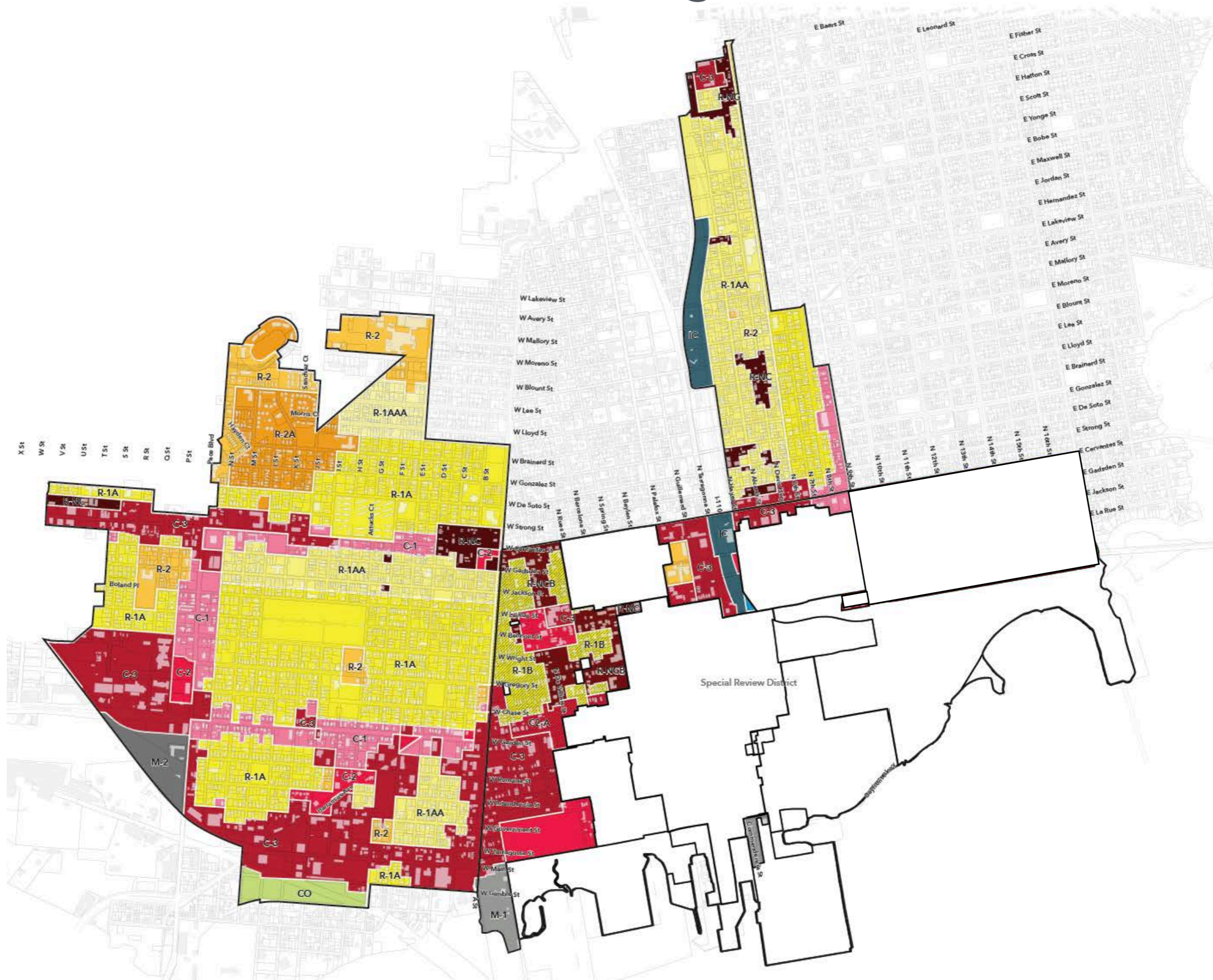
- Mailers (3) – Charrette, Public Input, Final
- Project Webpage
- Facebook Posts
- YouTube Video- CRA Charrette Updates: Week of February 13, 2018
- Flyer Distributed – Beginning 2/13/2018
- City Webpage Banner and Announcements
- Meetings posted to City Board Meeting and Event Calendars
- Outreach to Neighborhood Association Mtgs (5)

Total Public Meetings: 20

Existing Conditions Assessment

Boundaries & Zoning Districts

- C-1
- C-2
- C-2A
- C-3
- C-O
- GRD
- GRD-1
- HC-1
- HC-2
- HR-1
- HR-2
- IC
- M-1
- M-2
- OEHC-1
- OEHC-2
- OEHC-3
- OEHR-2
- PC-1
- PR-2
- R-1AAA
- R-1AA
- R-1A
- R-1B
- R-2
- R-2A
- R-NCB
- R-NC
- SPBD
- SSD
- WRD



Dimensional Analysis of Zoning Categories

Zoning Category	Principal Building							Density (max.)
	Height (max.)	Lot Width (min.)	Lot Area (min.)	Lot Coverage % (max.)	Setbacks			
					Front Yard (min.)	Side Yard (min.)	Rear Yard (min.)	
CRA: Urban Core								
R-1AA: Medium Density Residential (MDR)								
SF Detached	35 ft.	40	5000	none	30	6	30	8.7
Duplex		60	7500					11.6
SF Attached		30	3750					11.6
R-1B MDR								
SF Detached	45 ft.	30	3500	50*	10	5	10	8.7
Duplex		50	5000					11.6
SF Attached		25	2500					17.4
R-2A: High Density (HDR) - Multiple-family zoning district								
< 100 of SF Zone or Zero-Lot-Line-Zone	35 ft.	100	20000	75*	20	5	25	350 sq.ft.
> 100 of SF Zone or Zero-Lot-Line-Zone					15	5	20	
R-2: Office (O) - Residential/office zoning district								
< 100 of Residential Zone	45ft	-	-	50*	15	5	15	-
> 100 of Residential Zone					10	5	10	
R-NC: Residential/neighborhood commercial zoning district								
< 100 of Residential Zone	35ft/varies	-	-	50*	15	5	15	4000 sq.ft.
> 100 of Residential Zone	45ft/varies				10	5	10	
R-NCB: Residential/neighborhood commercial business zoning								
< 100 of Residential Zone	35ft/varies	-	-	50*	15	5	15	4000 sq.ft.
> 100 of Residential Zone	45ft/varies				10	5	10	
C-1: Retail Commercial								
Commercial	45 ft.	-	-	75*	none, unless adjacent to residential zone which requires a 20ft separation			0.35?
C-2A: Downtown Retail Commercial								
Commercial	100 ft.	-	-	100*	10 max.	none, unless adjacent to residential zone which requires a 20ft separation		135
C-2: Commercial								
Commercial	100 ft.	-	-	100 / 75*	none, unless adjacent to residential zone which requires a 20ft separation			BD: 135 / 35
C-3: Commercial zoning district								
Wholesale & Light Industry	100 ft.	-	-	100 / 75*	none, unless adjacent to residential zone which requires a 20ft separation			BD: 135 / 35
M-1: Industrial zoning district - (Light)								
Light industrial zoning district.	45 ft. / 100 ft.*	-	-	75	none, 20 ft buffer for non-residential / 40 ft buffer for industrial			-

Documenting your DNA

ZONING SURVEY

EXISTING CONDITIONS

R-1AA: MEDIUM DENSITY RESIDENTIAL

ZONING SURVEY

EXISTING CONDITIONS

R-1A: MEDIUM DENSITY RESIDENTIAL

Quadrat



Block Perimeter	1450'
Avg. Units/Acre	5.9

Disect | Address: 1614 E La Rua St



PUBLIC FRONTAGE	
Public Frontage	Street
Right-Of-Way Width	80'
Travel Lanes	2
Parking	Parallel - 2-sides (UM)
Pavement Width	26'
Sidewalk Width	6'
Planter Type	Strip
Planting Pattern	Random
Street Lighting	Post
Curb Type	Header

PRIVATE FRONTAGE	
Private Frontage	Common Lawn
Principal Building Ht	2 Stories
Outbuilding Height	N/A
Building Type	Single Family
Garage Access	Alley Loaded
Lot Width	48'
Frontage Buildout	28'
Front Setback	30'
Side Setback	0' - 20'
GRND Level Use	Residential
Upper Level Use	Residential

Quadrat



Block Perimeter	1440'
Avg. Units/Acre	3.1

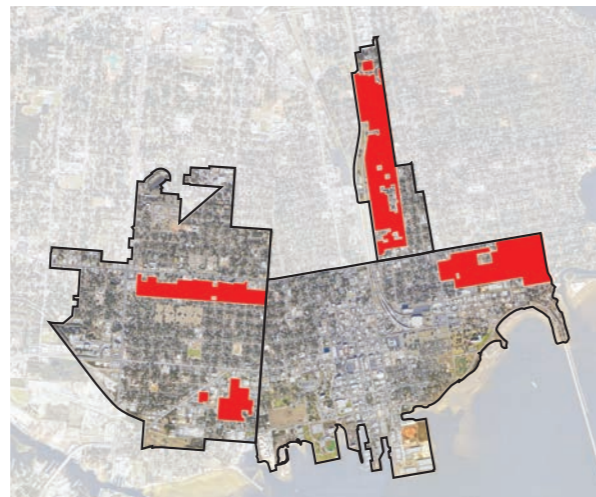
Disect | Address: 920 W Gregory St



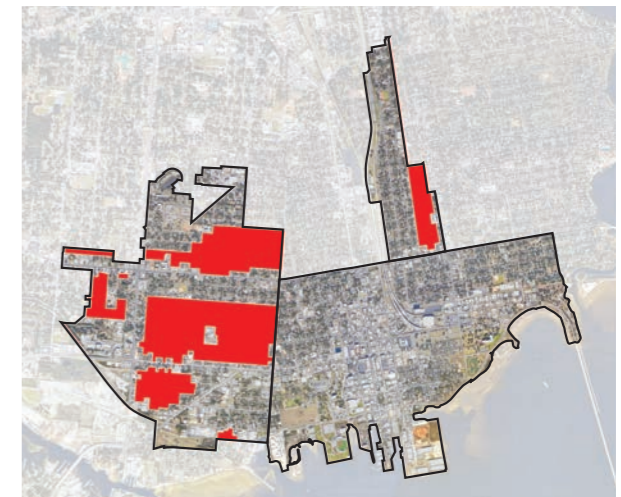
PUBLIC FRONTAGE	
Public Frontage	Street
Right-Of-Way Width	72'
Travel Lanes	2
Parking	Parallel - 2-sides (UM)
Pavement Width	24'
Sidewalk Width	6'
Planter Type	Strip
Planting Pattern	Random
Street Lighting	Cobra Head
Curb Type	Rolling

PRIVATE FRONTAGE	
Private Frontage	Porch & Fence
Principal Building Ht	1 Story
Outbuilding Height	1 Story
Building Type	Single Family
Garage Access	Front-Loaded in Rear
Lot Width	60'
Frontage Buildout	40'
Front Setback	22'
Side Setback	10'
GRND Level Use	Residential
Upper Level Use	-

- In general the built form as represented by R-1AA is consistent in that there is a mix of 1 and 2-story buildings which make up this zoning category.
- There is a clear distinction between the character of R-1AAA and R-1AA, mostly due to allowed height and potential density, with narrower lots.
- R-1AA also has a mix of alley and drives accessing rear sited garages, whereas R-1AAA is primarily alley free. Roughly the majority of R-1AA don't have alleys.
- R1AA has examples of newer construction.



- R-1A is not dissimilar to R-1AA in setbacks, scale and character. In fact it is hard to distinguish between the two regarding their physical form as built within these CRA's.
- Both permit the same uses and from what has been seen land within the CRA does not take advantage of the attached single-family model permitted under R-1A, which is the largest difference in the dimensional standards.
- Consider combining R-1A and R1AA into one zone, as they are virtually the same.
- Even though duplexes and townhouses are permitted, very few, if any, are built.



Zoning: the bad

- Unpredictable form
 - No / minimal standards for parking placement;
 - Little recognition of context;
 - Buildings not required to meet street where it matters;
 - Inverse relationship of lot coverage to height;
 - Permission for taller building for non-residential;
- Unintended consequences
 - Disincentivizes townhouses or mixed-use where needed.
 - Design Standards good, but not mandatory
 - Not pedestrian-friendly
- Inconsistencies
 - Parking requirements;
 - Zoning density discrepancy with MDR

Zoning: the good

- Alignment of your Zoning & FLU.
- Recognition that some areas deserve a greater degree of scrutiny (SRDs).
 - Some SRD have ambiguous standards, subject to interpretation by Special Review Board
 - CRA recognition but with no current protection
- Design Standards & Guidelines

Design Standards: non-enforceable & open to interpretation!

- **Techniques encouraged** to minimize driveway and parking lot impacts:
 1. Visually minimize on-site surface parking and locate behind a building when possible.
 2. Minimize the number and width of driveways and curb cuts.
 3. Share driveways with abutting zoning lots.
 4. Locate driveways so they are visually less dominant.
 5. Permeable paving materials is encouraged for use in parking lots.
- Building entrances **should be clearly visible from the street.**
- Buildings **should be sited and designed to encourage human activity on the street.**
- Buildings **should be compatible with or complement the architectural character of its context.**
- Buildings **should incorporate architectural features**, elements and details that achieve a desirable human scale through the use of human-proportioned architectural features and site design elements clearly oriented to human activity.
- Buildings **should avoid large blank walls facing the street, especially near sidewalks.**
- Parking garages **should not dominate street frontages.**

"R" Districts



"R" Comparison Chart

Zoning District	Existing	Proposed	Impact Summary
R-1B (Medium Density Residential)	N/A – Multi-family, mixed use and commercial uses not permitted.	N/A – Multi-family, mixed use and commercial uses not permitted.	No impact.
R-2A (High Density Residential)	<p>Multi-family – 35 ft (measurement includes roof pitch).</p> <p><i>If > 100 ft. from a single-family zoning district, may add 3 ft. for every foot that building is setback, up to 150 ft.</i></p> <p><u>Lot coverage restricted to</u> 30% (1-4 stories), 25% (5-7 stories), 20% (8-9 stories), 7% (1-13 stories), and 5% (>13 stories).</p> <p>Mixed Use/Commercial – N/A (Use not permitted).</p>	<p>Multi-family – 4 Stories/ 58 ft (measurement excludes roof pitch).</p> <p><u>Lot coverage increased to 75%.</u></p> <p>Mixed Use/Commercial – N/A (Use not permitted).</p>	<p>Multi-family buildings (1- 4 stories) Buildable space and potential density is increased due to increased maximum lot coverage and building height allowances.</p> <p>Multi-family buildings (5-13 stories) – Existing Provisions Increased heights are not consistent with the district’s form - with most surrounding buildings being single family residential structures. These buildings are unlikely to occur under the existing requirements due to substantial lot coverage and setback restrictions which reduce buildable space and potential density, and result in a suburban design in an urban context.</p> <p>Mixed Use/Commercial – No impact.</p>

- Exist. R-2A: 35 du/ac at <30% lot coverage + only multi-family permitted
- New R-2A: 35 du/ac at 75% lot coverage, + MF, MU & commercial permitted.

"R-NC" Districts

Standards	Within 100 Feet of a Residential Zoning District	More Than 100 Feet From a Residential Zoning District
Minimum Yard Requirements (Minimum Building Setbacks) *Front Yard Side Yard Rear Yard	15 feet (Also 5 feet 15 feet (Also see Note 1))	10 feet (Also 5 feet 10 feet (Also see Note 1))
Maximum Building Height (At Building Setback Line)	35 feet	45 feet (Also see Note 2)
Lot Coverage Requirements For All Single-Family, Duplex, Townhouse or Zero-Lot-Line Residential Units	Maximum 50% (See Note 4)	
Lot Coverage Requirements For All Development Other Than Single-Family, Duplex, Townhouse or Zero-Lot-Line Residential Units: The maximum combined area occupied by all principal and accessory buildings	Building Height 1—4 stories 5—7 stories 8—9 stories (See note 4)	Building Coverage 30% 25% 20%
Maximum Floor Area for All Uses Listed Under section 12-2-7(B)(d)	4,000 Square Feet (See Note 3)	

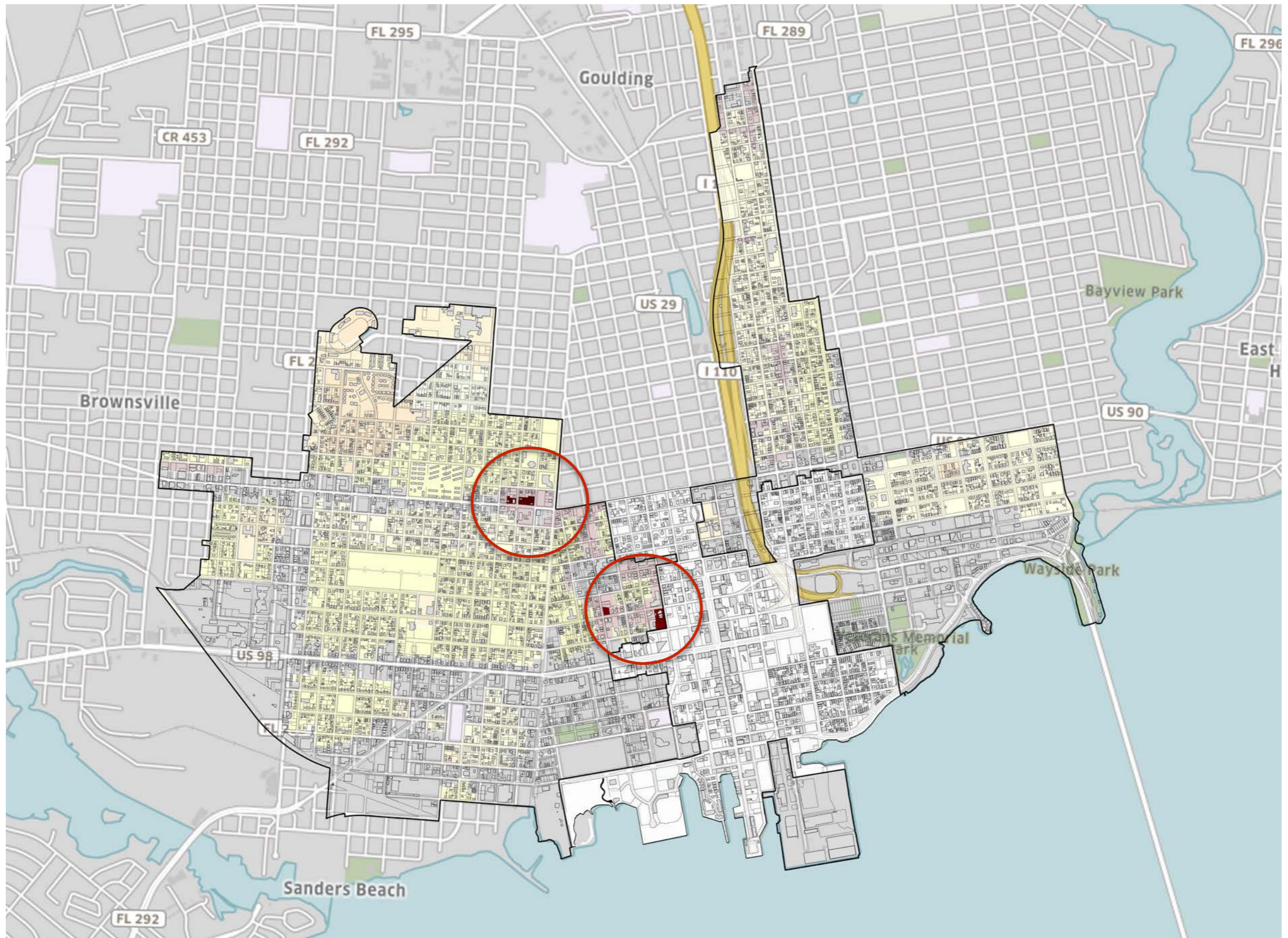
Great addition, recognizing need for neighborhood-scaled commercial and mixed-use buildings.

Inadvertently, precluding mixed-use by discouraging residential uses.

Form standards identical

Uses permitted are same, except for a few.

R-NCB & R-NC: > 100 ft from single-family zones



R-NCB or R-NC

Non-Residential up to 9 Stories



ZONING ALLOWANCES

Maximum Lot Capacity

Folio Number	000S009010022073	Lot Area	15002 sqft	Gridics LLC
Address	701 N De Villiers St	Zoning Code	City of Pensacola (January 2018)	169 E Flagler Street
City	Pensacola	Parcel Zoning	R-NCB	Miami, FL

BUILDING INTENSITY

Dwelling Units per Acre	35 du/acre
Dwelling Units Allowed	12 units
Maximum Commercial Area	27,007 ft ²
Maximum Office Area	27,007 ft ²
Maximum Commercial Establishment Area	N/A
FLR	N/A
Maximum Built Area	27,007 ft ²
Maximum Building Footprint	3,000 ft ²
Lot Coverage	20 %
Minimum Open Space	N/A

HEIGHT LIMITATIONS (LEVELS)

Total Building Height	9 Levels
Principal Building Max. Height (Podium)	9 Levels
Principal Building Min. Height (Podium)	N/A
Principal Tower Allowed Height	N/A
Bonus Allowed Height	N/A
Maximum Office Height	N/A
Maximum Commercial Height	N/A

SETBACKS

Primary Frontage Minimum Setback	10 ft
Secondary Frontage Minimum Setback	10 ft
Side Minimum Setback	5 ft
Rear Minimum Setback	10 ft
Second Layer Dimension	N/A



Up to 9 Stories
20% Lot Coverage
27,007 ft² Potential

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CAPACITY ANALYSIS

Maximum Capacity

Folio Number	000S009010022073	Lot Area	15002 sqft	Gridics LLC
Address	701 N De Villiers St	Zoning Code	City of Pensacola (January 2018)	169 E Flagler Street
City	Pensacola	Parcel Zoning	R-NCB	Miami, FL

TOTAL BUILDING AREA	14,400 ft²
Total Building Height	5 Levels
Maximum Building Footprint	3,000 ft ²
Maximum Liner Footprint	0 ft ²
Maximum Tower Footprint	N/A
Maximum Commercial Tower Footprint	N/A
Common Space Area	2,400 ft ²
Lot Coverage	20 %
FLR	N/A

OFFICE AREA NET	12,000 ft²
Office Height (Levels)	5 Levels

PARKING AREA	
Total Parking Required	40 Spaces
Total Shared Parking Required	40 Spaces
Parking Structure Height	N/A
Total Provided Parking Capacity	40 Spaces
On-Street Parking Capacity	N/A
Off-Site Parking Capacity	N/A
Parking Structure Capacity	N/A
Parking Structure Area	N/A
Underground Parking	N/A
Underground Parking Area	N/A
Surface Parking Capacity	40 Spaces



Resulting 5 Stories
Surface Parking
14,400 ft² Actual - 50%

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R-NCB & R-NC

Proposed Urban Form



ZONING ALLOWANCES

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Address	701 N De Villiers St	Zoning Code	City of Pensacola (January 2018)	169 E Flagler Street
City	Pensacola	Parcel Zoning	R-NCB	Miami, FL

BUILDING INTENSITY

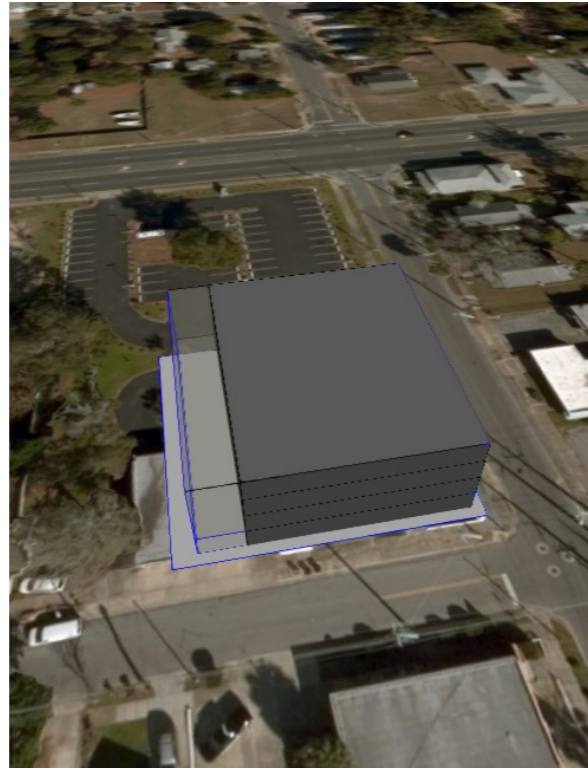
Dwelling Units per Acre	35 du/acre
Dwelling Units Allowed	12 units
Maximum Commercial Area	42,005 ft ²
Maximum Office Area	42,005 ft ²
Maximum Commercial Establishment Area	N/A
FLR	N/A
Maximum Built Area	42,005 ft ²
Maximum Building Footprint	10,501 ft ²
Lot Coverage	70 %
Minimum Open Space	N/A

HEIGHT LIMITATIONS (LEVELS)

Total Building Height	4 Levels
Principal Building Max. Height (Podium)	4 Levels
Principal Building Min. Height (Podium)	N/A
Principal Tower Allowed Height	N/A
Bonus Allowed Height	N/A
Maximum Office Height	N/A
Maximum Commercial Height	N/A

SETBACKS

Primary Frontage Minimum Setback	5 ft
Secondary Frontage Minimum Setback	5 ft
Side Minimum Setback	5 ft
Rear Minimum Setback	10 ft
Second Layer Dimension	25 ft



■ Main Building ■ Building Setback limit
■ Lot

Up to 4 Stories
70% Lot Coverage
42,005 ft² Potential

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CAPACITY ANALYSIS

Maximum Capacity

Folio Number	000S009010022073	Lot Area	15002 sqft	Gridics LLC
Address	701 N De Villiers St	Zoning Code	City of Pensacola (January 2018)	169 E Flagler Street
City	Pensacola	Parcel Zoning	R-NCB	Miami, FL

TOTAL BUILDING AREA	39,302 ft²
Total Building Height	4 Levels
Maximum Building Footprint	10,501 ft ²
Maximum Liner Footprint	5,289 ft ²
Maximum Tower Footprint	N/A
Maximum Commercial Tower Footprint	N/A
Common Space Area	5,682 ft ²
Lot Coverage	70 %
FLR	N/A

RESIDENTIAL AREA NET	12,000 ft²
Residential Units	10 DU
Residential Units Average Size	1,200 ft ²
Residential Height (Levels)	2 Levels

OFFICE AREA NET	12,000 ft²
Office Height (Levels)	2 Levels

COMMERCIAL AREA NET	4,409 ft²
Commercial Height (Levels)	1 Levels

PARKING AREA	5,211 ft²
Total Parking Required	31 Spaces
Total Shared Parking Required	31 Spaces
Parking Structure Height	1 Levels
Total Provided Parking Capacity	31 Spaces
On-Street Parking Capacity	N/A
Off-Site Parking Capacity	N/A
Parking Structure Capacity	15 Spaces
Parking Structure Area	5,211 ft ²
Underground Parking	N/A
Underground Parking Area	N/A
Surface Parking Capacity	16 Spaces

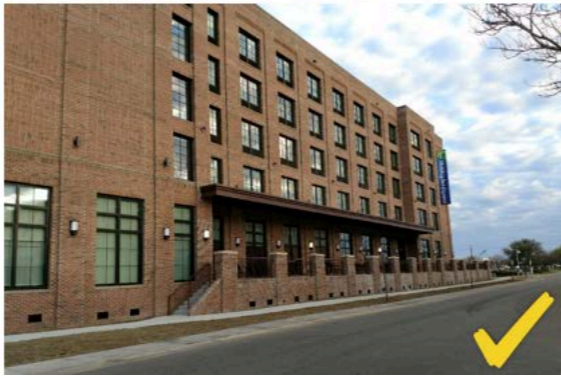
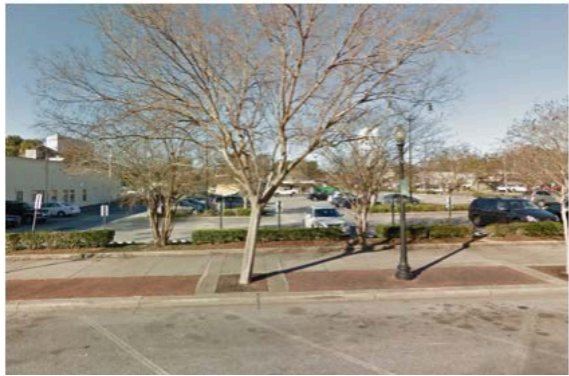
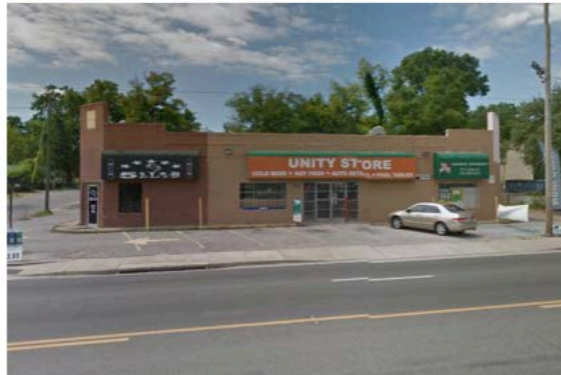
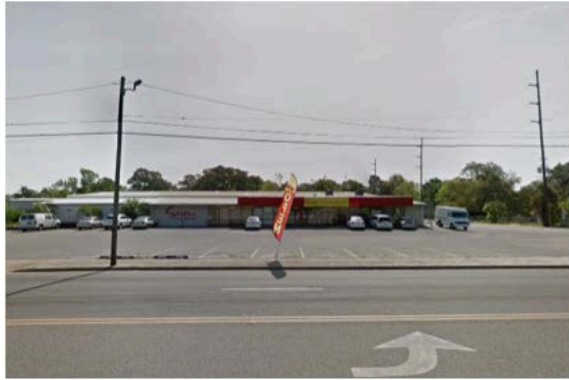


■ Commercial ■ Office ■ Parking
■ Lot ■ Residential

Resulting 4 Stories
Surface Parking (Covered)
39,302 ft² Actual - 93%

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"C" Districts



Unpredictable in form

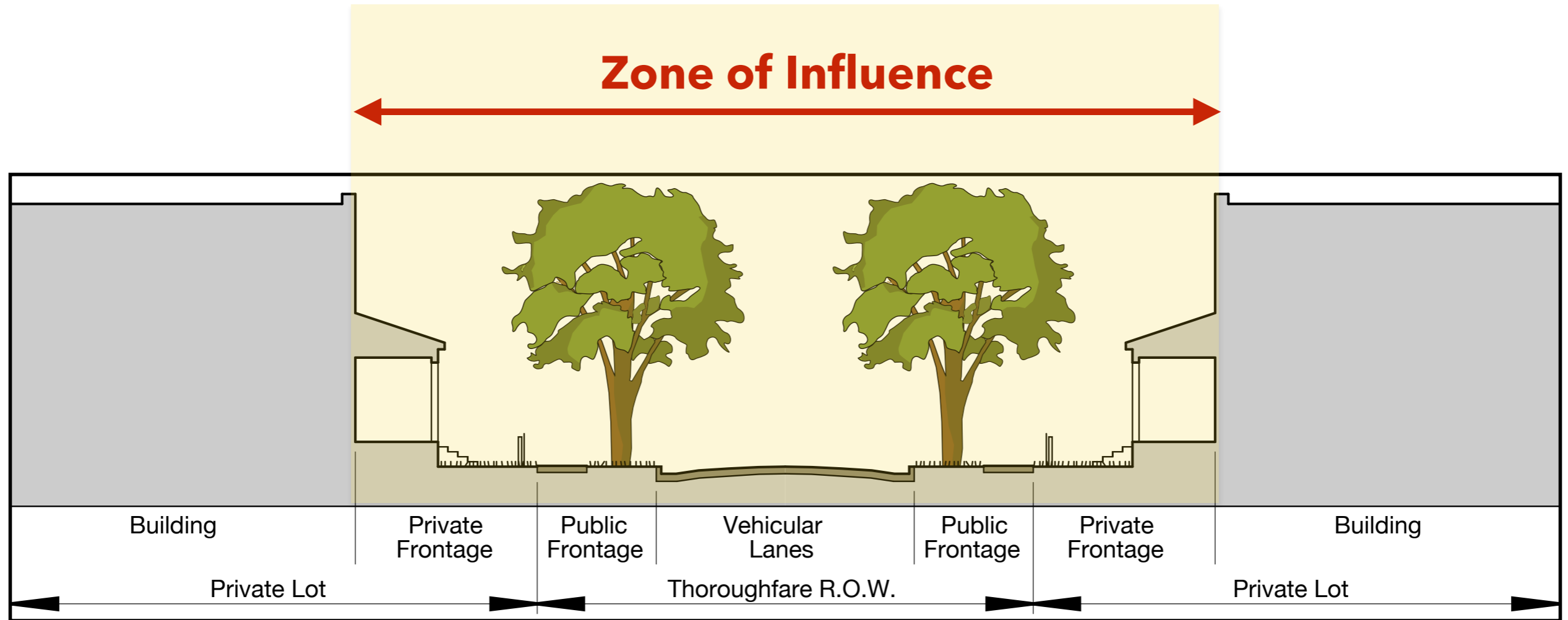
C-2 permits +2 x capacity of C-1 but yields same form

C-1 and C-2 similar uses

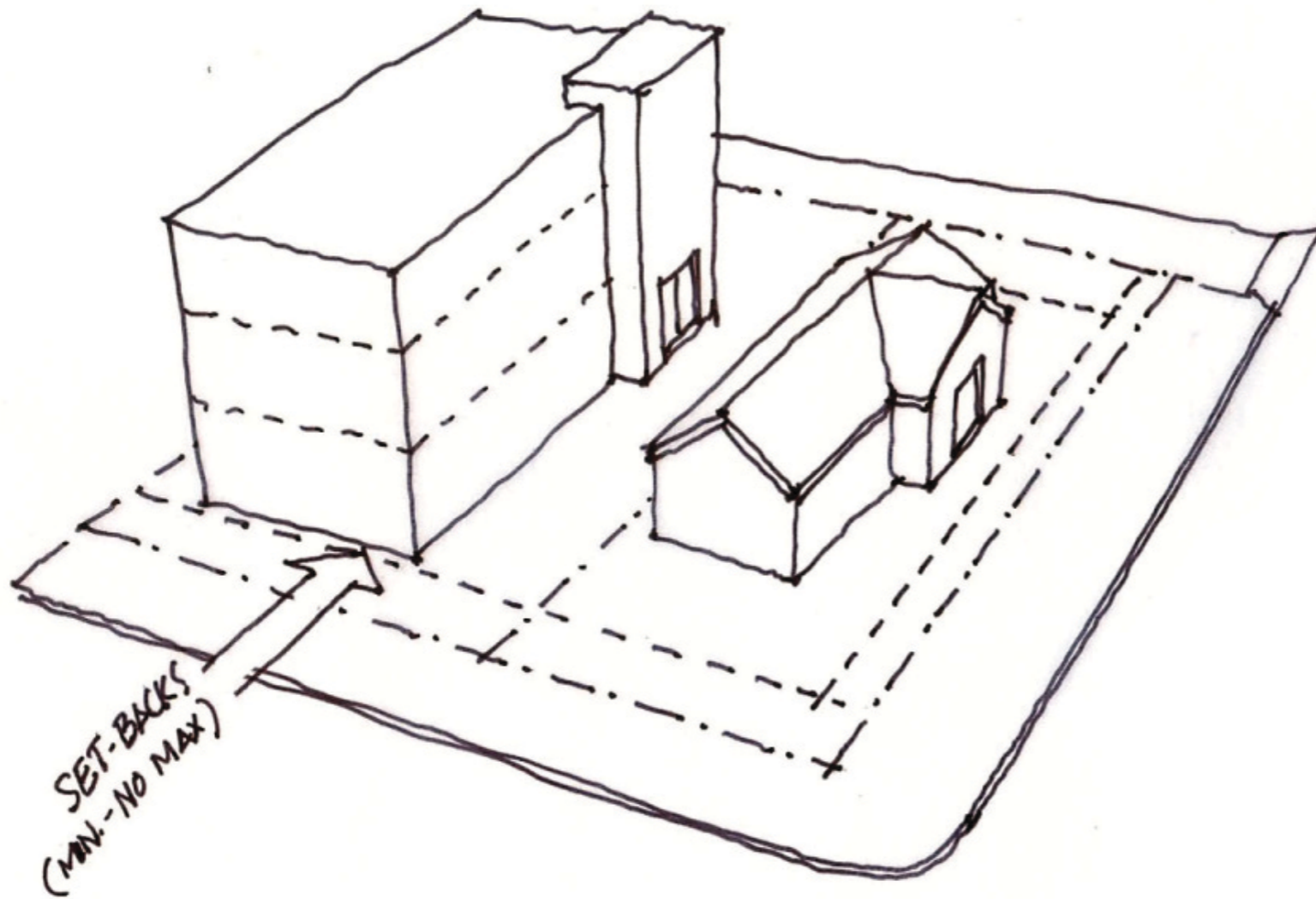
Too permissive at street frontages

C-3 light industrial & confused, & creates incompatibilities adjacent to residential uses

Public & Private Frontages



Current Zoning



- Minimum setbacks
- Building height
- Landscape buffers
- No form standards

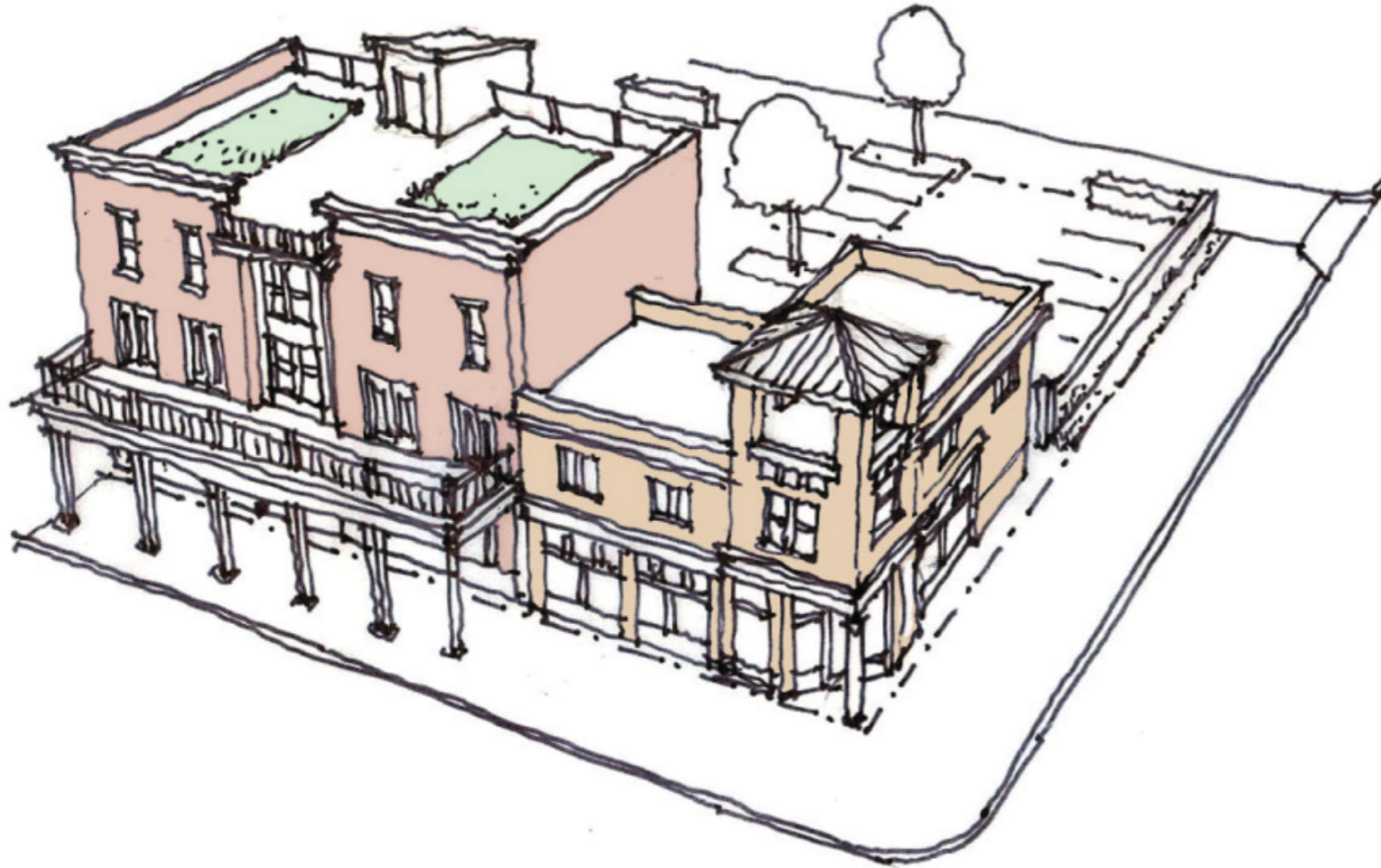
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**UNPREDICTABLE
OUTCOME**

Possible under Existing Code



Special Review District Zoning

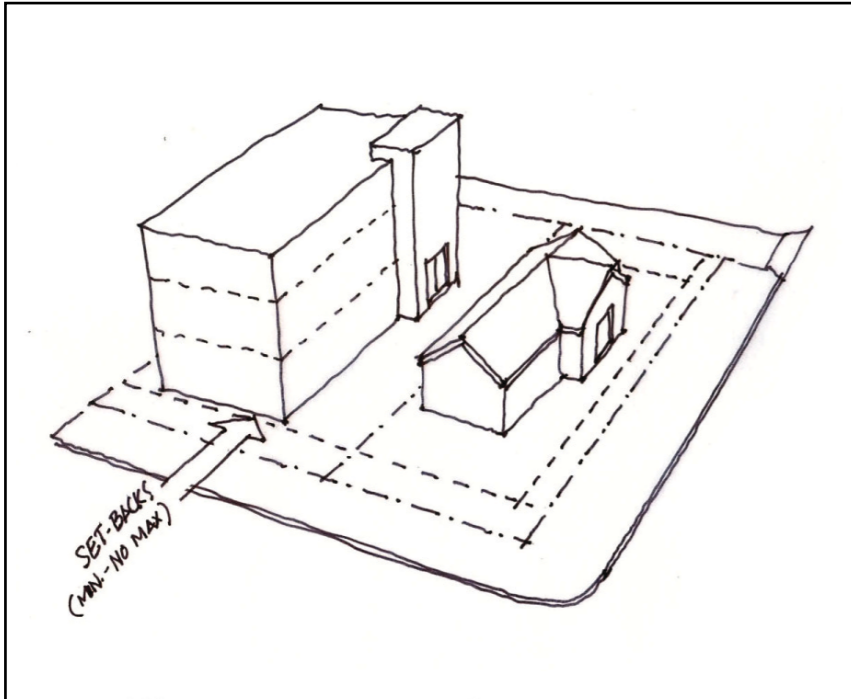


- Parking placement
- Parking screening
- Site and fences
- Paint colors
- Building form regulations
- Materials
- Lighting
- Special character defining elements (doors, windows, shutters,, chimneys, roofs, trim, etc)

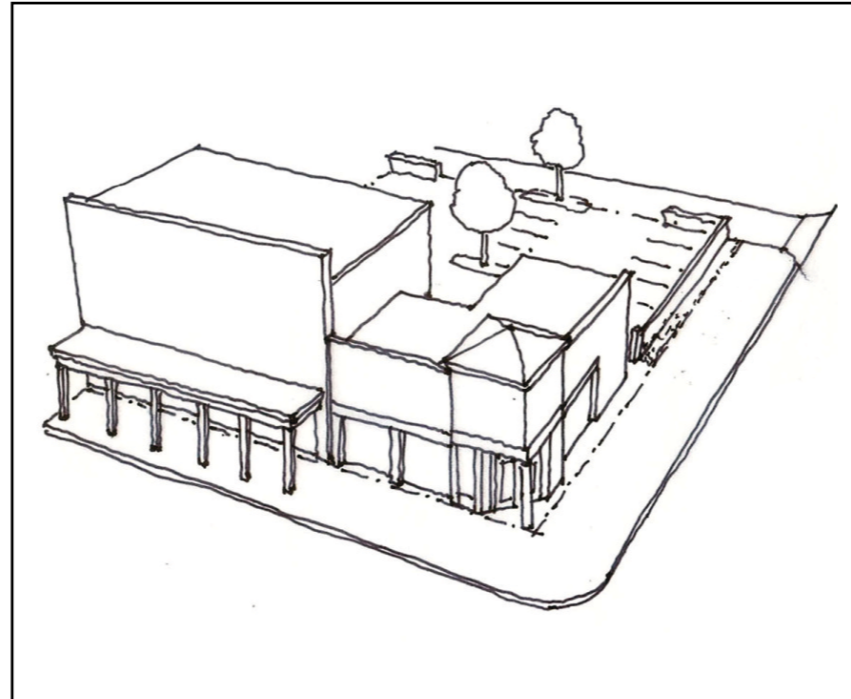
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**PREDICTABLE
OUTCOME**

CRA Overlay District



Zoning: Level 1

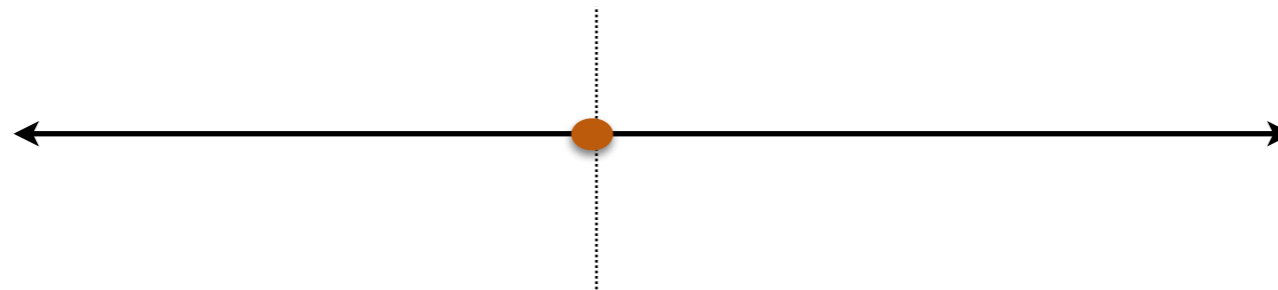


CRA Overlay S & Gs



SRDs: Level 10

Least prescriptive



Most prescriptive

**Proposed Overlay
Urban Design
Standards & Guidelines**

Intent

(A) **Intent.** The requirements set forth in this Section are intended to:

- (a) Preserve and maintain the urban pattern and architectural character of Pensacola's community redevelopment areas, while encouraging new construction that is compatible with that heritage, but also reflective of its time.
- (b) Improve the physical appearance of the community redevelopment areas with urban design standards that provide more predictable results in terms of the form and character of buildings.
- (c) Support the removal of blight within the community redevelopment areas by encouraging quality redevelopment.
- (d) Support the future growth of Pensacola, to ensure compatible and cohesive development, to remain resilient long-term, and to support the goals, objectives and policies of the City's Comprehensive Plan and community redevelopment area master plans.
- (e) Coordinate the placement, orientation, and design of buildings to ensure a coherent and walkable streetscape and traditional urban character by creating well-defined street edges with continuous building walls, articulated facades, and architectural features that create visual interest and an attractive pedestrian environment.
- (f) Capitalize on opportunities to attract and grow a variety of residential building types, retail, service, and cultural establishments to serve local needs, create regional attractions and a robust economic base.
- (g) Enable and encourage mixed-use development within the community redevelopment areas in support of viable and diverse locally-oriented business and cultural institutions.
- (h) Achieve context-based development and complete streets.

CRA Urban Design Overlay District

Section 12-2-25. - CRA Urban Design Overlay District

The regulations in this Section shall be applicable to the CRA Urban Design Overlay District (CRAUDOD).

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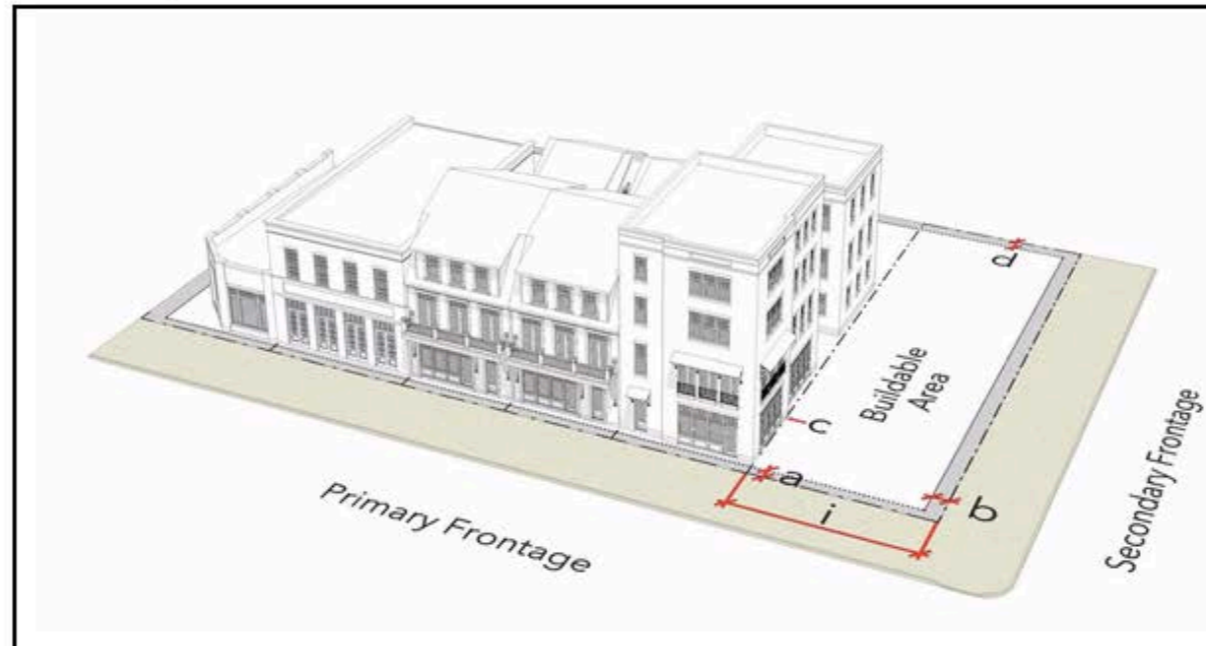
Intent	Sec. 12-2-25 (A)
Boundaries of the District.	Sec. 12-2-25 (B)
Applicability	Sec. 12-2-25 (C)
Existing Conditions	Sec. 12-2-25 (D)
Procedure for Review	Sec. 12-2-25 (E)
Appeals and Variances	Sec. 12-2-25 (F)
Urban Design Standards and Guidelines	Sec. 12-2-25 (G)
Building Height	Sec. 12-2-25 (G) (1)
Building Orientation	Sec. 12-2-25 (G) (2)
Building Massing and Materials	Sec. 12-2-25 (G) (3)
Form Standards	Sec. 12-2-25 (G) (4)
Frontage Types	Sec. 12-2-25 (G) (5)
Building Elements	Sec. 12-2-25 (G) (6)
Building Encroachments	Sec. 12-2-25 (G) (7)
Parking Access, Design and Reductions	Sec. 12-2-25 (G) (8)
Fences and Walls	Sec. 12-2-25 (G) (9)
Windows & Glazing	Sec. 12-2-25 (G) (10)
Lighting on Private Property	Sec. 12-2-25 (G) (11)
Landscape Standards and Guidelines	Sec. 12-2-25 (H)
Intent	Sec. 12-2-25 (H) (1)
Landscape on Private Property	Sec. 12-2-25 (H) (2)
Buffer Yards	Sec. 12-2-25 (H) (3)
Landscape in the Public Right-of-Way	Sec. 12-2-25 (H) (4)
Thoroughfare Standards and Guidelines	Sec. 12-2-25 (I)
Context Classification	Sec. 12-2-25 (I) (1)
Street Design	Sec. 12-2-25 (I) (2)
Definitions	Sec. 12-2-25 (J)

Applicability

- **Standards**, defined by "*shall*" are regulatory and mandatory. Expectation that new development will be required to comply with these Standards.
 - Proposed overlay intended to supersede some zoning standards.
 - Any deviation from the standards shall be determined through City's existing processes for code deviations.
- **Guidelines**, defined by "*should*" are advisory and new development is encouraged to incorporate them as appropriate.
 - Minimized, and where not exclusive to zoning.

Form Standards

Table 12-2-25.6 – Multi-Family, Mixed Use, Neighborhood Commercial and Commercial Building Types – R-2A through C-1



Setbacks - Principal Building (feet)

a	Front (Com./Res.) (1)	5 max. / 15 max.
b	Front, Secondary (Com./Res.)	5 max. / 15 max.
c	Side (Interior) (3)	0 or 5 min.
d	Rear	none

Frontage (min.)

Primary	80%
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Lot Occupation (4)

i	Lot Width	16 ft. min.
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Lot Coverage	75% max.
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Building Height (max.)

Principal Building (2)	4 stories
Accessory Building	N/A

Off-street Parking (min.)

Residential	1/unit
Commercial	Per Sec. 12-2-25(G)(h)

Setbacks - Accessory Building (feet)

Front	N/A
Front, Secondary	N/A
Side (Interior)	N/A
Rear	N/A

Frontage Yard Types

Standard	Not Permitted
Shallow	Permitted
Urban	Permitted
Pedestrian Forecourt	Permitted
Vehicular Forecourt	Permitted

Facade Types

Porch	Not Permitted
Stoop	Permitted
Common Entry	Permitted
Gallery	Permitted
Storefront	Permitted

Notes:

- (1) Lots within the Dense Business Area shall be permitted the lesser front setback.
- (2) Measured according to Section 12-2-25(G)(1)(c) JW12]
- (3) Zero foot min (attached/zero lot line buildings)/ 5-foot min (detached buildings).

Building Elements

Intent: Buildings should be designed in proportion to reflect human-scaled pedestrian movement, to prevent flood damage and to encourage interest at the street level.



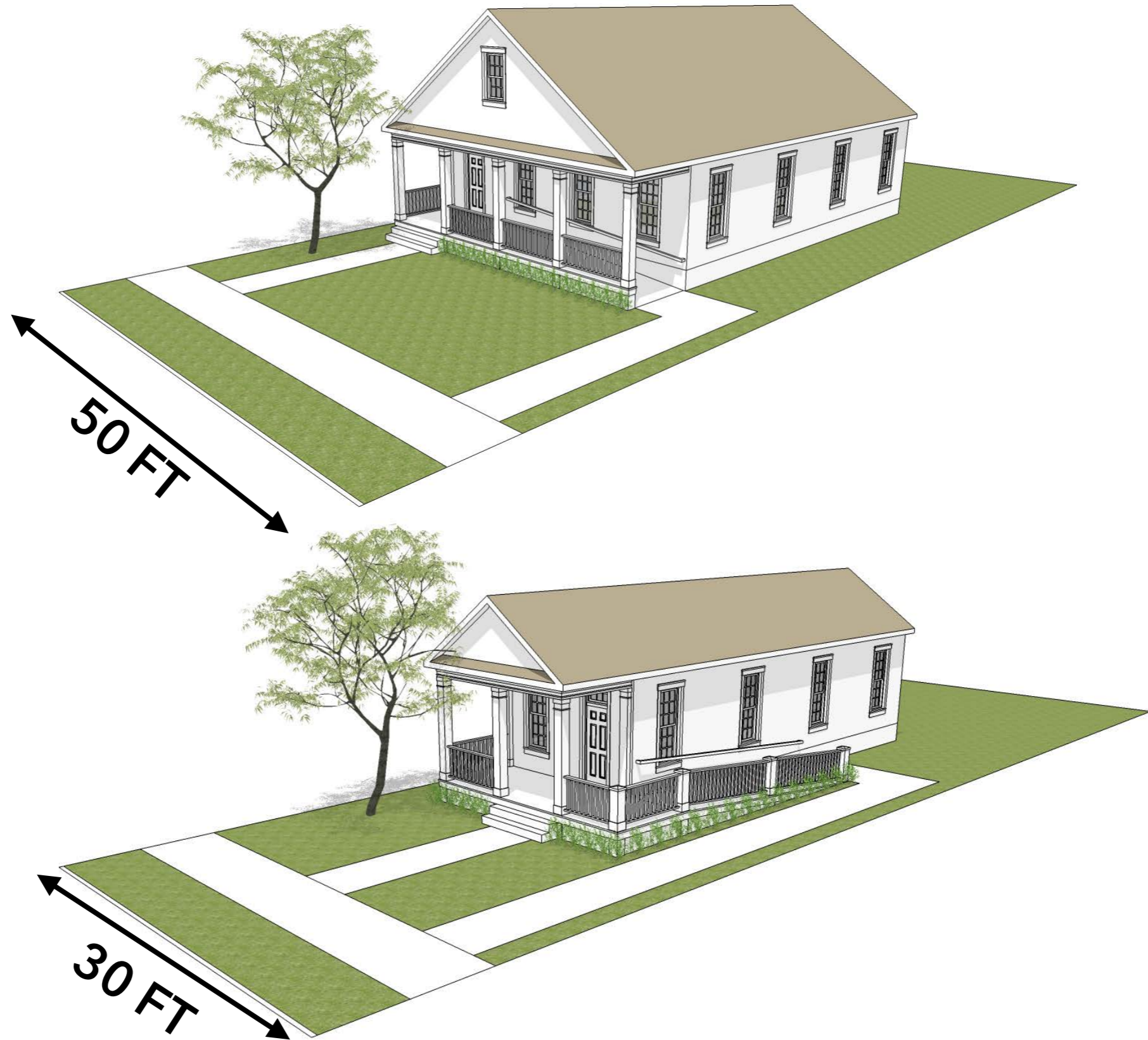
Assisted Infill Housing Standards

Design Guidelines for Infill Housing Development Using City Appropriated Funds

These design guidelines pertain to all residential infill development that utilizes City appropriated funds. The objective of these design guidelines is to ensure that building designs are compatible with the characteristics of the neighborhood.

- (a) *Setbacks.* The front and side yard setbacks of new buildings shall be compatible with existing buildings on facing blocks.
- (b) *Orientation.* The front of the building and main entry shall be oriented toward the street.
- (c) *Building height and width.* The height and width of new buildings shall be compatible with existing buildings on facing blocks.
- (d) *Finished floor elevation.* A finished floor elevation that is a minimum of 18 inches above finished grade measured at the front of the building is required. Slabs on grade may be permitted where such slabs exist on the majority of lots on facing blocks.
- (e) *Roof pitch.* The roof pitch of new buildings shall be compatible with existing buildings on facing blocks and shall be appropriate to the style of architecture of the building proposed. Roof pitches that are a minimum of 6 inches in 12 inches (6 inch vertical rise for each 12 inches of horizontal run) are preferred. Roof pitches below 5 inches in 12 inches (5 inch vertical rise for each 12 inches of horizontal run) will not be acceptable unless such roof pitches exist on the majority of lots on facing blocks or are a specific architectural style which dictates a lower slope (i.e. Craftsman).
- (f) *Roof overhang.* Roof overhang shall be a minimum of 16 inches. A 12 inch roof overhang may be constructed on the front and rear of a gable roof. Roof overhang shall not be required where the specific architectural style dictates no overhang.
- (g) *Front porches.* Front porches shall be provided and shall be a minimum width of 50% of the building width and a minimum depth of four (4) feet. Side porches that extend to the front wall of the building may be constructed provided they are a minimum width of 50% of the building width and a minimum depth of four (4) feet. Front porches located under a separate roofline on at least one side are preferred.

ADA Accessibility



Height Measurements

Table 12-2-25.2 - Mixed Use/Non-Residential Story Height Requirements


Zoning Category	Ground Floor Story Height		Above Ground Story Height
	Max.	Min.	Max.
R-1AAA through R-2A	16 ft.	12 ft.	14 ft.
R-NC, R-NCB and R-2	20 ft.	14 ft.	14 ft.
C-1, C-2, C-2A and C-3	24 ft.	14 ft.	14 ft.

c. Stories are measured from finished floor to finished floor with the exception of one (1) story buildings which shall be measured floor to ceiling.

Porches

Table 12-2-25.10 – Façade Types

A: Porch	
Entry Grade	Minimum 18 inches above average finished grade
Requirements	<ul style="list-style-type: none">• Required at the primary building entrance.• Porches shall be a minimum 6 feet in depth.• Porches and related structures may project into front setbacks a maximum 10 feet.• Porch openings shall be vertical in proportion.• Porches shall be a maximum 10 feet in height. Columns shall have a minimum diameter of six (6) inches, and should have a capital and a base.

An architectural rendering of a single-story house with a prominent front porch. The porch features a gabled roof supported by square columns and has a decorative railing. The house has a gabled roof and a central entrance door. The rendering is in a light, sketch-like style with some color shading.

Q & A