

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143/www.cityofpensacola.com

First Judicial Circuit of Florida within thirty (30) days after rendition of the decision by the board. Review in the circuit court shall be by petition for writ of certiorari or such other procedure as may be authorized by law.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based.

If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Official that they have ten (10) days to remove or correct the violation.

ACCESSIBILITY: The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs, and activities. Please call 436-5655 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Sincerely,



Leslie Statler
Planner
Secretary to the Board



PLANNING SERVICES

Zoning Board of Adjustment

MINUTES OF THE ZONING BOARD OF ADJUSTMENT

May 15, 2019

MEMBERS PRESENT: Clayton Taylor, Jonathon Wiggins, David Del Gallo, Chris Lonergan, Steven Shelley

MEMBERS ABSENT: Troy Stepherson, Steven Sebold, Boyce White, Robby Williams

STAFF PRESENT: Leslie Statler, Planner, Amy Hargett, Planning Technician

OTHERS PRESENT: Matthew Banks

1) CALL TO ORDER/QUORUM PRESENT

The Zoning Board of Adjustment (ZBA) was called to order at 3:05 p.m. by Chairman Taylor with a quorum present. He then read the ZBA rules and instructions to the audience.

2) APPROVAL OF MINUTES

Chairman Taylor made a motion to approve the minutes from the April 17, 2019, meeting without objection, and it carried unanimously.

3) ZBA 2019-02

1720 E. Blount Street

R-1AA

Matthew Banks, Banks Construction, is requesting a Variance of 6 feet to reduce the rear yard setback from 30 feet to 24.0 feet to accommodate a screened porch addition.

Mr. Banks presented to the Board and stated the applicant basically wanted to add a porch to enjoy the outdoor space. They discovered a previous addition had been constructed on the structure which eliminated the option for the back porch. He pointed out every other home surrounding the property had a back porch except for 1730 E. Blount Street, and this home could have had the same if that addition had not been added. They were asking for a 6' variance to install a screened porch for the back area. He indicated the neighbor next door was in favor of the addition, and staff had not received any notification for or against the request.

There were no audience speakers.

Mr. Lonergan made a motion to approve the variance, seconded by Mr. Del Gallo. The request was straight forward and from a visual standpoint, would improve the look of the property. **The motion then carried unanimously.**

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

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DISCUSSION – None

ADJOURNMENT

There being no further business, the meeting adjourned at 3:10 p.m.

Respectfully Submitted,



Leslie Statler
Planner
Secretary to the Board

PLANNING SERVICES

Zoning Board of Adjustment

MEMORANDUM

TO: Members, Zoning Board of Adjustment

FROM: Leslie Statler, Planner *LS*

DATE: June 11, 2019

SUBJECT: ZBA 2019-003
4117 Futura Drive
R-1AAA

BACKGROUND

Roger Bontrager is requesting a Variance of 6.3 feet to reduce the rear yard setback from 30 feet to 23.7 feet to accommodate an addition. The property owners would like to replace their existing screened porch with a larger Florida room and master bedroom expansion along the rear of the house. The existing encroachment is an aluminum shed-roof screened enclosure at the eave; the proposed addition will have a new roof line extending from the main body of the house.

Attached you will find all materials as submitted attached for your review and consideration.

4117 Futura Drive



- ☒ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details: *
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of \$500.00.

* The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) SEC 12-2-3/ Table 12-2.1 Zoning R-1AAA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 4117 Futura Drive Pensacola, FL 32504

Current use of property: Residential

1. Describe the requested variance(s): Adjust the 30 foot set back to allow homeowner to build addition on back of home.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

This property is located at the end of a cul-de-sac. The

Front Setback is 30' and the rear set back is 30' This does not leave much room for the house or porches.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The fact that the house sits on a lot at the end of the cul-de-sac creates a hardship on this owner that is not imposed on the other properties in the neighborhood.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

There is an existing screened in porch at the back of the home. This addition would not change the basic foot print of what is existing and would only improve the aesthetics of the property.

5. Explain what other condition(s) may justify the proposed variance(s):

The requested variance would be for just a small portion of the North end of the addition. Most of the addition falls within the required set backs.

Application Date: May 9, 2019

Applicant: Roger A. Bontrager, Pres. Bontrager Builders Group

Applicant's Address: 223 W. Gregory St. Pensacola, FL 32502

Email: roger@bontragerbuildersgroup.com Phone: 850-444-9797

Applicant's Signature: 

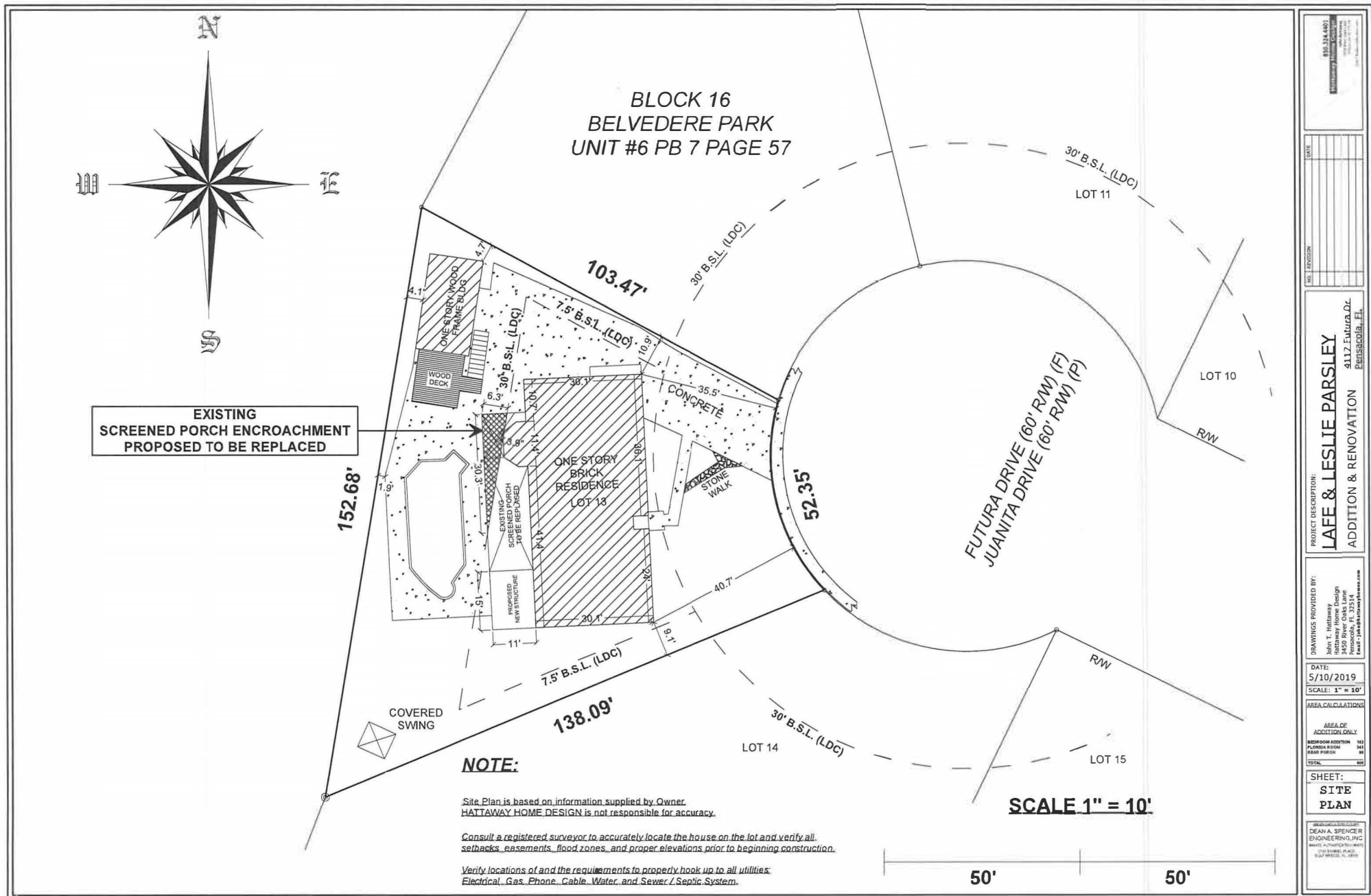
Property Owner: Leslie Cobb Parsley

Property Owner's Address: 4117 Futura Drive Pensacola, FL 32504

Email: ratker16tnf@gmail.com Phone: 850-554-0652

Property Owner's Signature: 

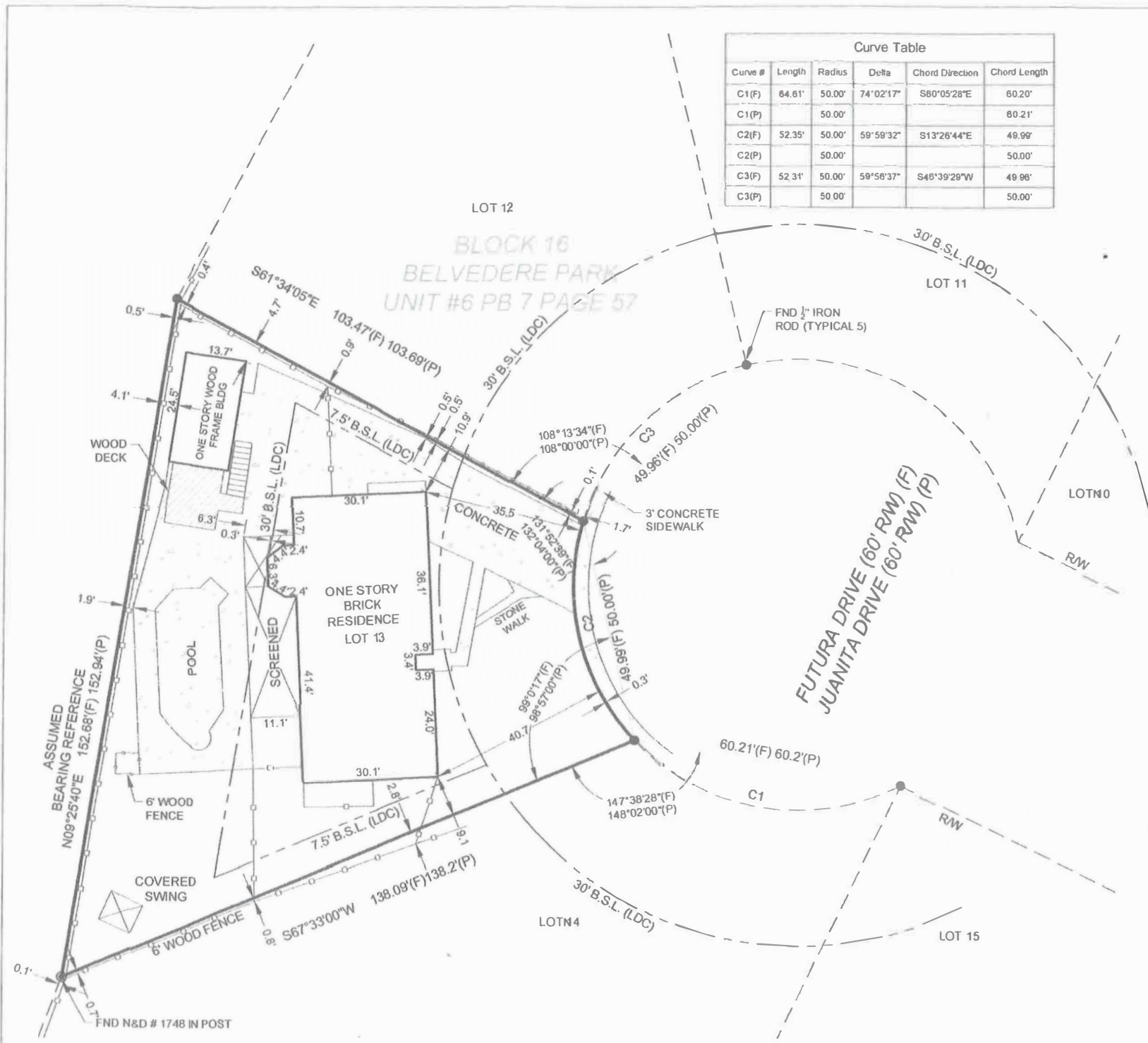
The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



PROJECT DESCRIPTION: LAFE & LESLIE PARSLEY ADDITION & RENOVATION 4112 Futura Dr. Pensacola, FL											
DRAWINGS PROVIDED BY: John T. Hattaway Hattaway Home Design 3450 River Oaks Lane Pensacola, FL 32514 Phone: 904.438.1111 Email: jh@hattawayhomedesign.com	DATE: 5/10/2019 SCALE: 1" = 10' AREA CALCULATION: <table border="1"> <tr> <th colspan="2">AREA OF ADDITION ONLY</th> </tr> <tr> <td>BEDROOM ADDITION</td> <td>101</td> </tr> <tr> <td>PORCH ADDITION</td> <td>241</td> </tr> <tr> <td>REAR PORCH</td> <td>81</td> </tr> <tr> <td>TOTAL</td> <td>423</td> </tr> </table>	AREA OF ADDITION ONLY		BEDROOM ADDITION	101	PORCH ADDITION	241	REAR PORCH	81	TOTAL	423
AREA OF ADDITION ONLY											
BEDROOM ADDITION	101										
PORCH ADDITION	241										
REAR PORCH	81										
TOTAL	423										
SHEET: SITE PLAN											
DEAN A. SPENCER ENGINEERING, INC. 10101 N. 10th Ave., Suite 100 Fort Myers, FL 33907											







Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1(F)	64.61'	50.00'	74°02'17"	S80°05'28"E	60.20'
C1(P)		50.00'			60.21'
C2(F)	52.35'	50.00'	59°58'32"	S13°26'44"E	49.98'
C2(P)		50.00'			50.00'
C3(F)	52.31'	50.00'	59°58'37"	S46°39'29"W	49.96'
C3(P)		50.00'			50.00'

LEGAL DESCRIPTION: (O.R. BOOK 4325, PAGE 0195)

LOT 13, BLOCK 16, BELVEDERE PARK UNIT #6, A SUBDIVISION IN A PORTION OF SECTION 9 AND 11, TOWNSHIP 1 SOUTH, RANGE 29 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 7 AT PAGE 57 OF THE PUBLIC RECORDS OF SAID COUNTY

NOTES:

1. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 3-19-2019.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
3. ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. STATE AND FEDERAL COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED EITHER IN WHOLE OR IN PART, OR TO BE USED FOR ANY OTHER FINANCIAL TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER.
5. BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF SURVEYED PROPERTY ASSUMED BEARING NORTH 09° 25' 40"
6. FENCE LINES ARE EXAGGERATED FOR CLARITY
7. ENCROACHMENTS ARE AS SHOWN.

LEGEND:

- (F) FIELD MEASUREMENT
- (P) PLAT MEASUREMENT
- R/W RIGHT-OF-WAY
- B.S.L. BUILDING SETBACK LINE
- PB PLAT BOOK
- FND FOUND BOUNDARY CORNER
- LDC CITY OF PENSACOLA LAND DEVELOPMENT CODE

CERTIFICATIONS:

LAFE S. PARSLEY AND LESLIE C. PARSLEY
HARVESTERS FEDERAL CREDIT UNION
WILSON, HARRELL, FARRINGTON, FORD, ET AL., P.A
WESTCOR LAND TITLE INSURANCE COMPANY

SURVEYORS CERTIFICATE

The survey shown hereon is true and correct and in compliance with the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter "5J-17", Florida Administrative Code pursuant to Section 472.027, Florida Statutes.

Robert L. Working
ROB L. WORKING P.L.S. FLORIDA REGISTRATION NO. 5878



360 SURVEYING SERVICES
1801 CREIGHTON RD.
PENSACOLA, FL 32504
850.857.4400

NOT VALID
WITHOUT A
RAISED
SEAL

5/9/19

BOUNDARY SURVEY
WITH IMPROVEMENTS

REVISION 5-9-2019:
ADDED BUILDING SETBACK LINES PER
CITY OF PENSACOLA LAND
DEVELOPMENT CODE.

ADDRESS:
4117 FUTURA DRIVE N
PENSACOLA, FLORIDA 32504
PROJECT NUMBER: 1903058
DATE: 3-19-2019
FIELD BOOK: 115 **PAGE:** 9
DRAWN BY: PJK
APPROVED BY: ROB L. WORKING



SCALE 1"=30'

SHEET 1 OF 1

LAYOUT PAGE TABLE	
SHEET	DESCRIPTION
A-1	EXISTING ELEVATIONS
A-2	EXISTING FLOOR PLAN
A-3	ELEVATIONS WITH ADDITION
A-4	FLOOR PLAN WITH ADDITION
A-5	FOUNDATION WITH ADDITION
A-6	ROOF LAYOUT FOR ADDITION
E-1	ELECTRICAL FOR ADDITION
SITE PLAN	SITE PLAN

Confirm existing
roof slope

Confirm existing
roof slope

PLATE HEIGHT 8" - 1 1/8"

ELEVATION 0' - 0"

EXISTING LEFT ELEVATION

SCALE 1/4" = 1'

1 2 3 4 5

EXISTING FRONT ELEVATION

SCALE 1/4" = 1'

1 2 3 4 5

EXISTING FRONT OVERVIEW

SCALE 1/4" = 1'

1 2 3 4 5

Confirm existing
roof slope

Confirm existing
roof slope

EXISTING REAR ELEVATION

SCALE 1/4" = 1'

1 2 3 4 5

EXISTING RIGHT ELEVATION

SCALE 1/4" = 1'

1 2 3 4 5

DATE

NO. REVISION

PROJECT DESCRIPTION:
LAFE & LESLIE PARSLEY
ADDITION & RENOVATION
4117 Futura Dr.
Pensacola, FL

DRAWINGS PROVIDED BY:
John T. Hattaway
Hattaway Home Design
3450 River Oaks Lane
Pensacola, FL 32514
Email: jth@hattawayhomes.com

DATE:
4/12/2019

SCALE:

AREA CALCULATIONS

AREA OF ADDITION ONLY	
BEDROOM ADDITION	162
FLORIDA ROOM	345
REAR PORCH	99
TOTAL	606

SHEET:
A-1

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472, AUTHORIZATION #9070
2735 SANBELL PLACE
GULF BREEZE, FL 32563

SCALE 3/16" = 1'



SCALE 1/4" = 1'

NO. REVISION

LAFE & LESLIE PARSLEY

ADDITION & RENOVATION

John T. Hattaway
Hattaway Home Design
3450 River Oaks Lane
Pensacola, FL 32514
Email - John@hattawayhomes.com

SCALE:

AREA OF ADDITION ONLY	
BEDROOM ADDITION	162
FLORIDA ROOM	345
REAR PORCH	99
<hr/>	
TOTAL	606

A-2

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472; AUTHORIZATION #9070
2735 SANIBEL PLACE
GULF BREEZE, FL. 32563

212

LEFT ELEVATION WITH ADDITION
SCALE 1/4" = 1'

Confirm existing
roof slope

RIDGE ELEVATION 15'- 11"
(APPROXIMATE)

PLATE HEIGHT 8'- 1 1/8"
EXISTING & ADDITION

ELEVATION 0' - 0"

REAR OVERVIEW WITH ADDITION
SCALE 1/4" = 1'

Confirm existing
roof slope

122

RIGHT ELEVATION WITH ADDITION
SCALE 1/4" = 1'

Confirm existing
roof slope

REAR ELEVATION WITH ADDITION
SCALE 1/4" = 1'

DATE

NO. REVISION

PROJECT DESCRIPTION:
LAFE & LESLIE PARSLEY
ADDITION & RENOVATION 4117 Futura Dr.
Pensacola, FL

DRAWINGS PROVIDED BY:
John T. Hattaway
Hattaway Home Design
3450 River Oaks Lane
Pensacola, FL 32514
Email: jth@hattawayhomes.com

DATE:
4/12/2019

SCALE:

AREA CALCULATIONS

AREA OF ADDITION ONLY	
BEDROOM ADDITION	162
FLORIDA ROOM	345
REAR PORCH	99
TOTAL	606

SHEET:
A-3

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472, AUTHORIZATION #9070
2735 SANIBEL PLACE
GULF BREEZE, FL 32563

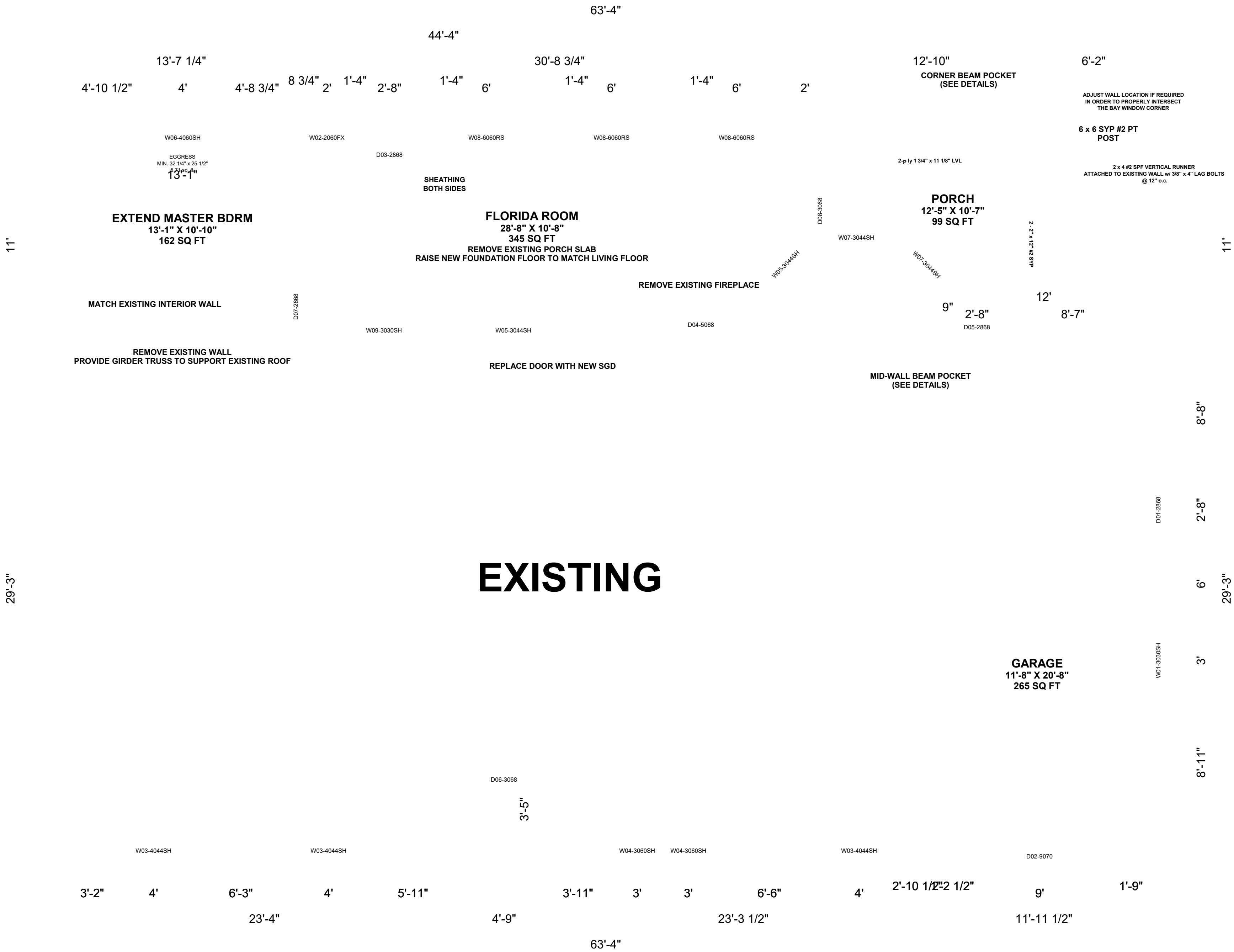
ROOF OVERVIEW WITH ADDITION

SCALE 3/16" = 1'

AREA CALCULATIONS

AREA OF
ADDITION ONLY

BEDROOM ADDITION	162
FLORIDA ROOM	345
REAR PORCH	99
<hr/>	
TOTAL	606



FLOOR PLAN WITH ADDITION

SCALE 1/4" = 1'

DATE

NO. REVISION

PROJECT DESCRIPTION:
LAFE & LESLIE PARSLEY
ADDITION & RENOVATION
4117 Futura Dr.
Pensacola, FL

DRAWINGS PROVIDED BY:
John T. Hattaway
Hattaway Home Design
3450 River Oaks Lane
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Email: jh@hattawayhomes.com

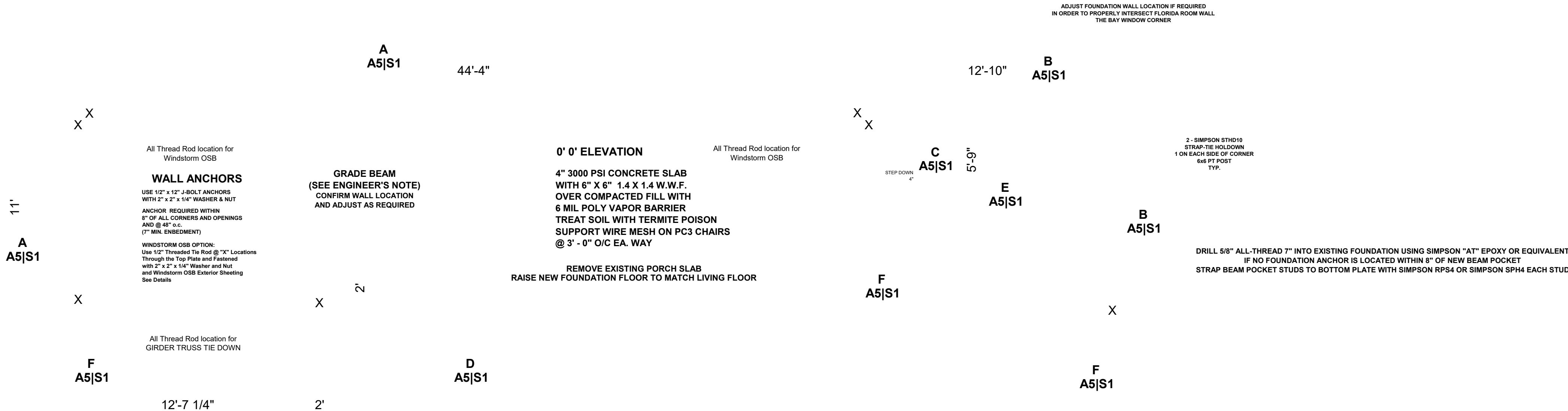
DATE:
4/12/2019
SCALE:
AREA CALCULATIONS

AREA OF ADDITION ONLY	
BEDROOM ADDITION	162
FLORIDA ROOM	345
REAR PORCH	99
TOTAL	606

SHEET:
A-4

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472, AUTHORIZATION #9070
2735 SANBELL PLACE
GULF BREEZE, FL 32563

NEC ART 250.52 (A)(3) - CONCRETE ENCASED ELECTRODE
INSPECTION REQUIRED FOR GROUNDING OF FOUNDATION REBAR STEEL
PRIOR TO POURING THE FOUNDATION OR FOOTINGS



0' 0" ELEVATION

EXISTING

FOUNDATION WITH ADDITION

SCALE 1/4" = 1'

DATE

NO. REVISION

PROJECT DESCRIPTION:
LAFE & LESLIE PARSLEY
ADDITION & RENOVATION
4117 Futura Dr.
Pensacola, FL

DRAWINGS PROVIDED BY:
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Pensacola, FL 32514
Email: jh@hattawayhomes.com

DATE:
4/12/2019

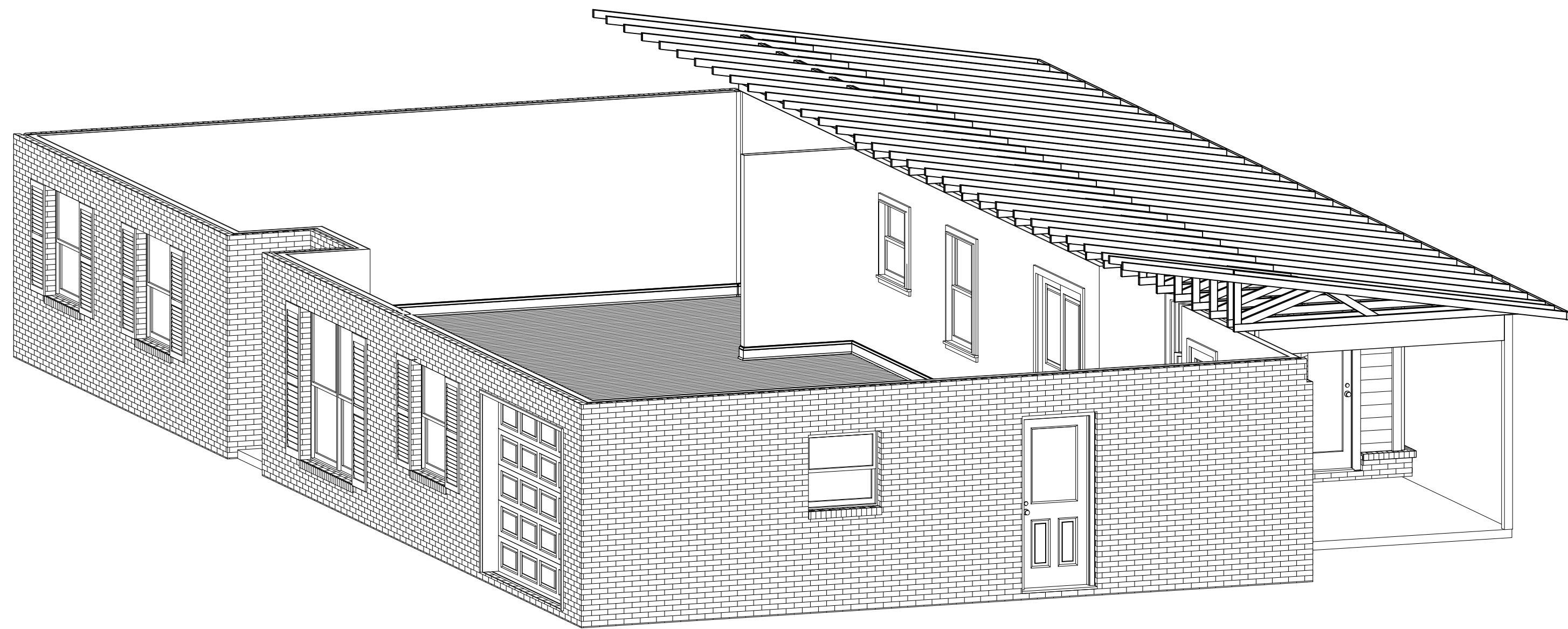
SCALE:

AREA CALCULATIONS

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BEDROOM ADDITION	162	
FLORIDA ROOM	345	
REAR PORCH	99	
TOTAL	606	

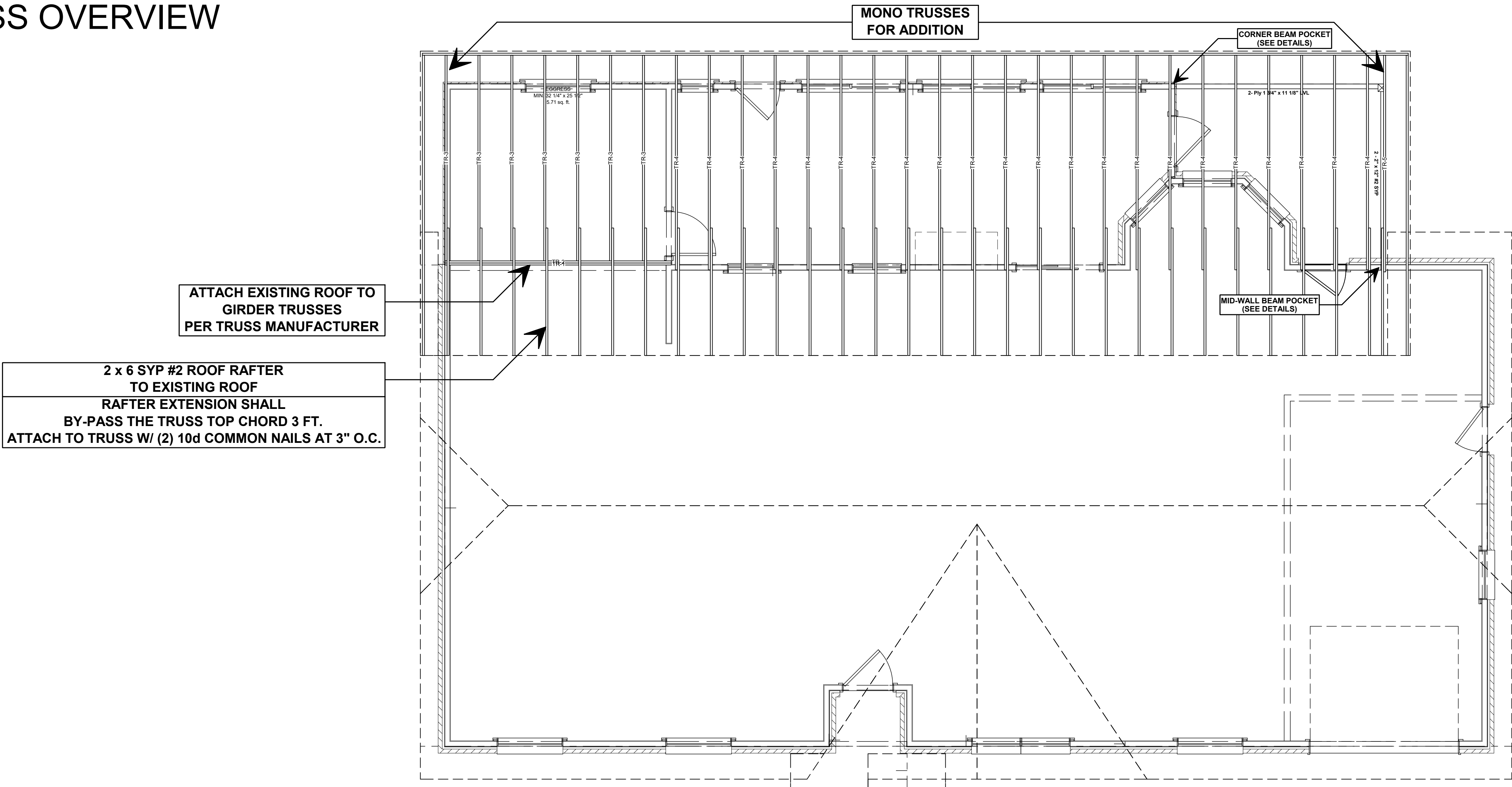
SHEET:
A-5

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472, AUTHORIZATION #9070
2735 SANBELL PLACE
GULF BREEZE, FL 32563



ROOF ADDITION TRUSS OVERVIEW

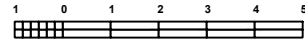
SCALE 1/4" = 1'



PRELIMINARY TRUSS PLAN
TRUSS MANUFACTURER MUST PROVIDE SEALED SHOP DRAWINGS

TRUSS & ROOF FRAMING LAYOUT FOR ADDITION

SCALE 1/4" = 1'



850.324.4401
Hattaway Home Design
3450 River Oaks Lane
Pensacola, FL 32514
john@hattawayhomes.com

NO.	REVISION	DATE

PROJECT DESCRIPTION:
LAFE & LESLIE PARSLEY
4117 Futura Dr.
Pensacola, FL
ADDITION & RENOVATION

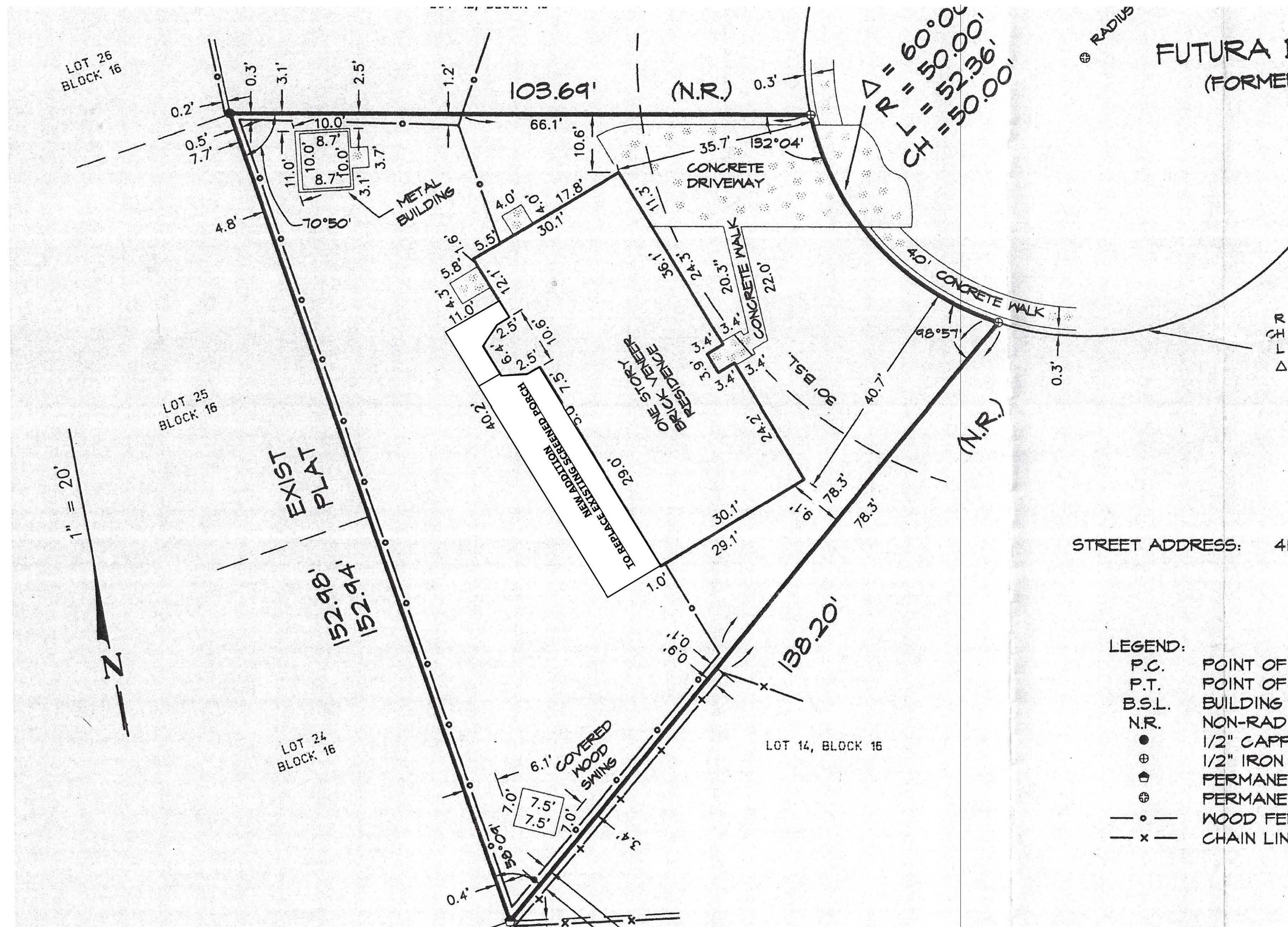
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Pensacola, FL 32514
Email - john@hattawayhomes.com

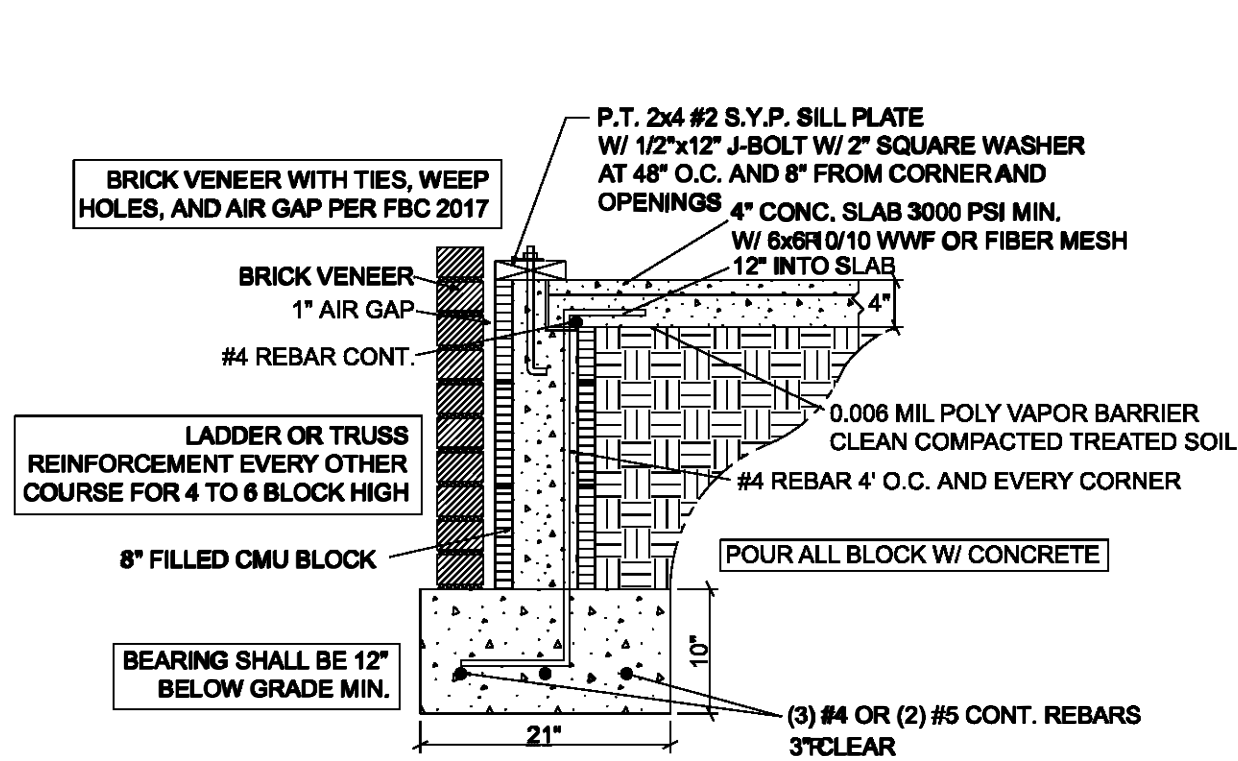
DATE:
4/12/2019
SCALE:

AREA CALCULATIONS	
AREA OF ADDITION ONLY	
BEDROOM ADDITION	162
FLORIDA ROOM	345
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TOTAL	606

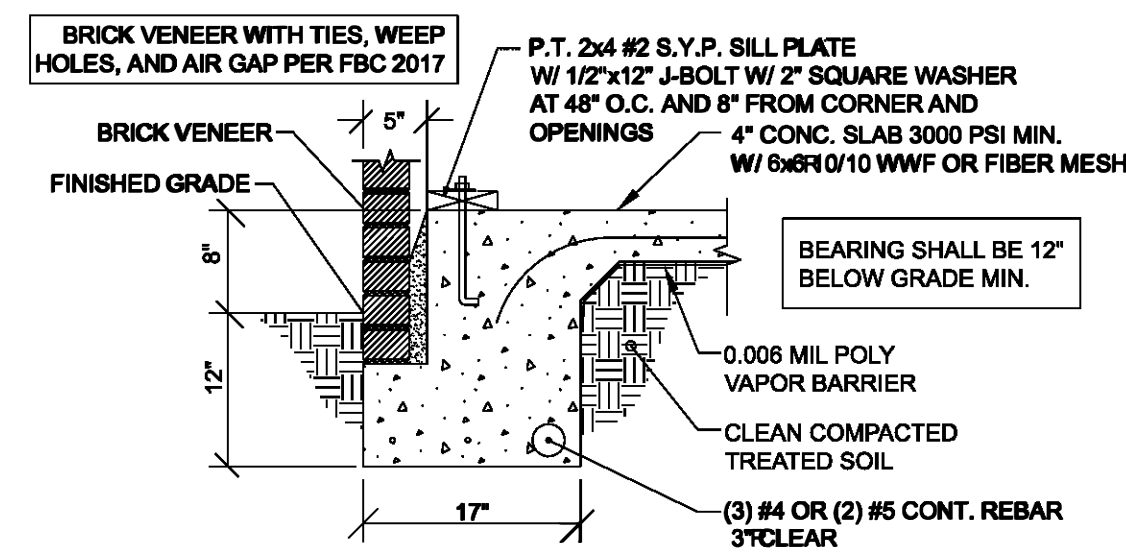
SHEET:
A-6

WINDLOAD & STRUCTURE
DEAN A. SPENCER
ENGINEERING, INC
#44472; AUTHORIZATION #9070
2735 SANBELL PLACE
GULF BREEZE, FL 32563

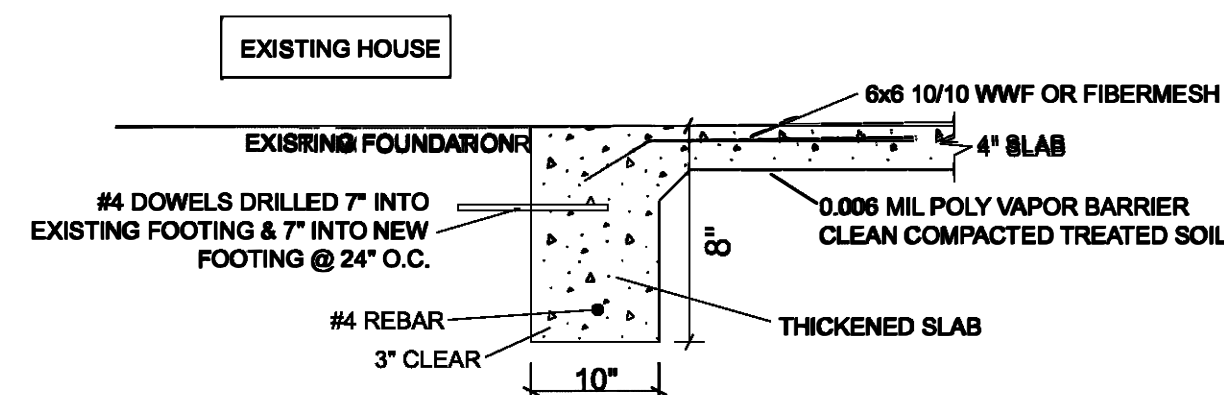




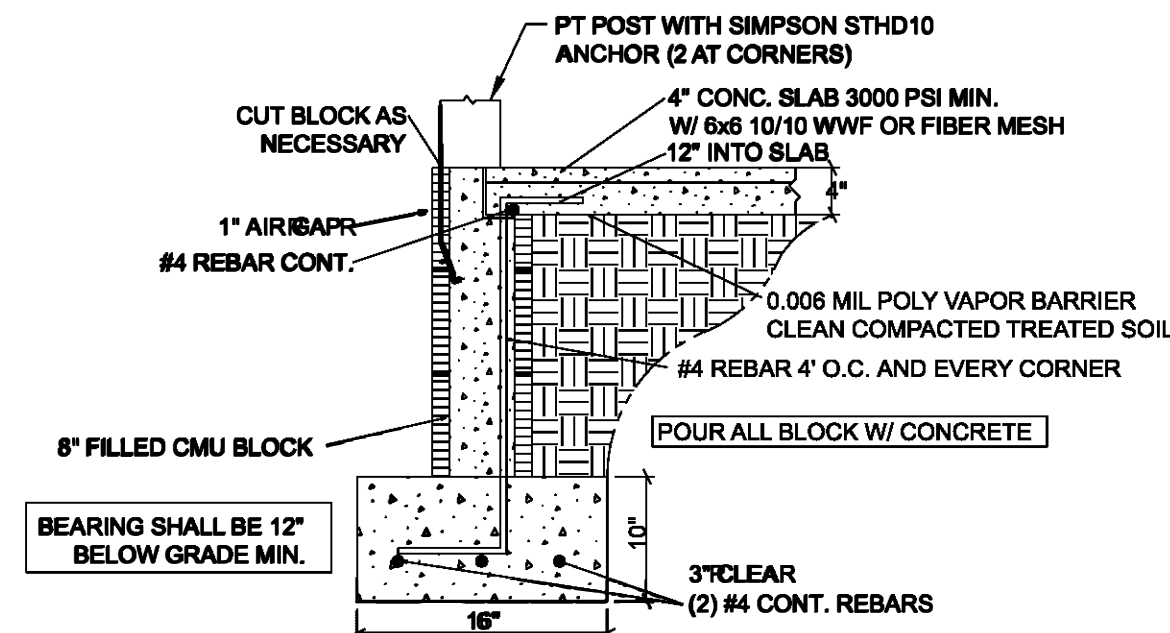
EXTERIOR FOOTING DETAIL WITH BRICK (1-6 BLOCK HIGH)
NOT TO SCALE



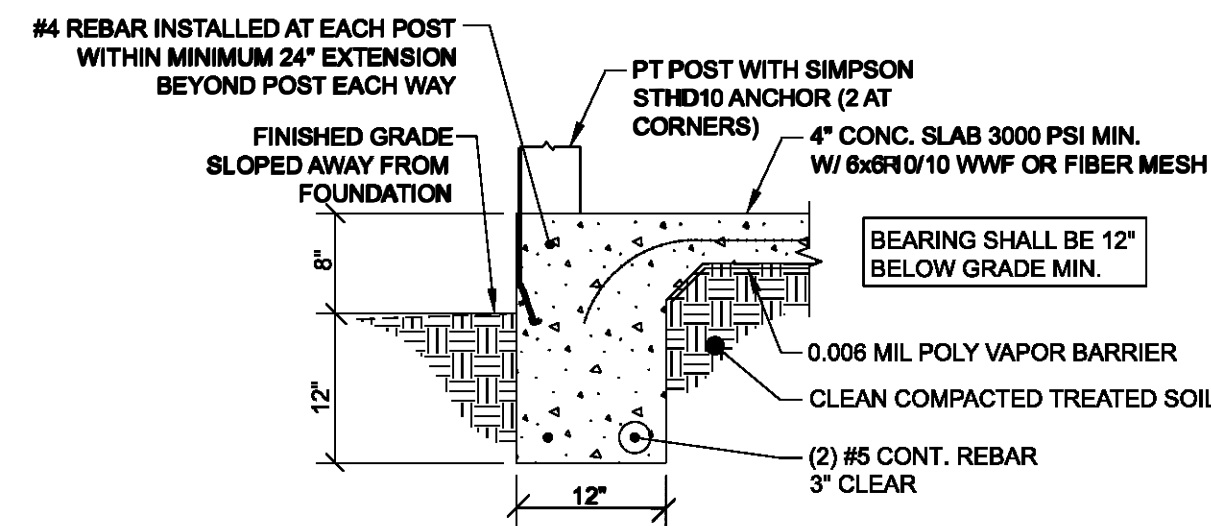
MONOLITHIC FOOTING DETAIL WITH BRICK
NOT TO SCALE



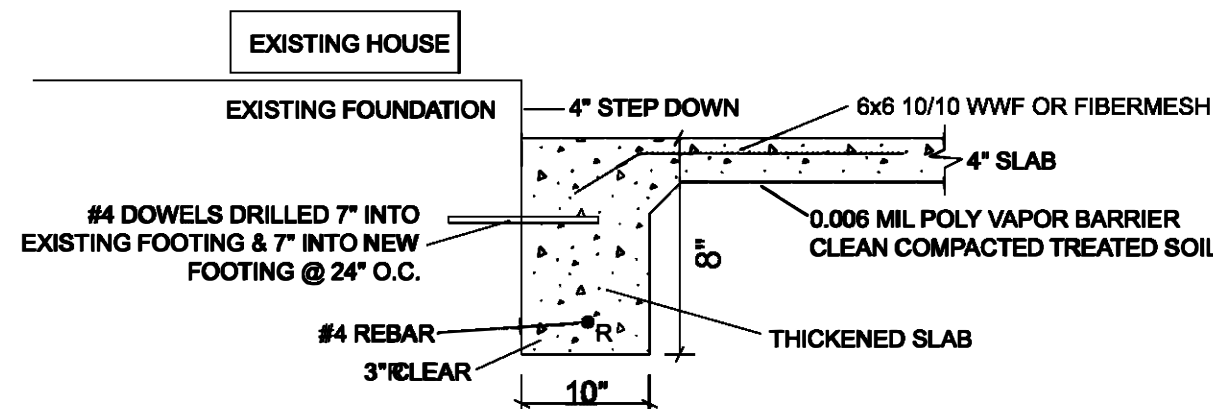
THICKENED SLAB TO EXISTING FOUNDATION DETAIL
NOT TO SCALE



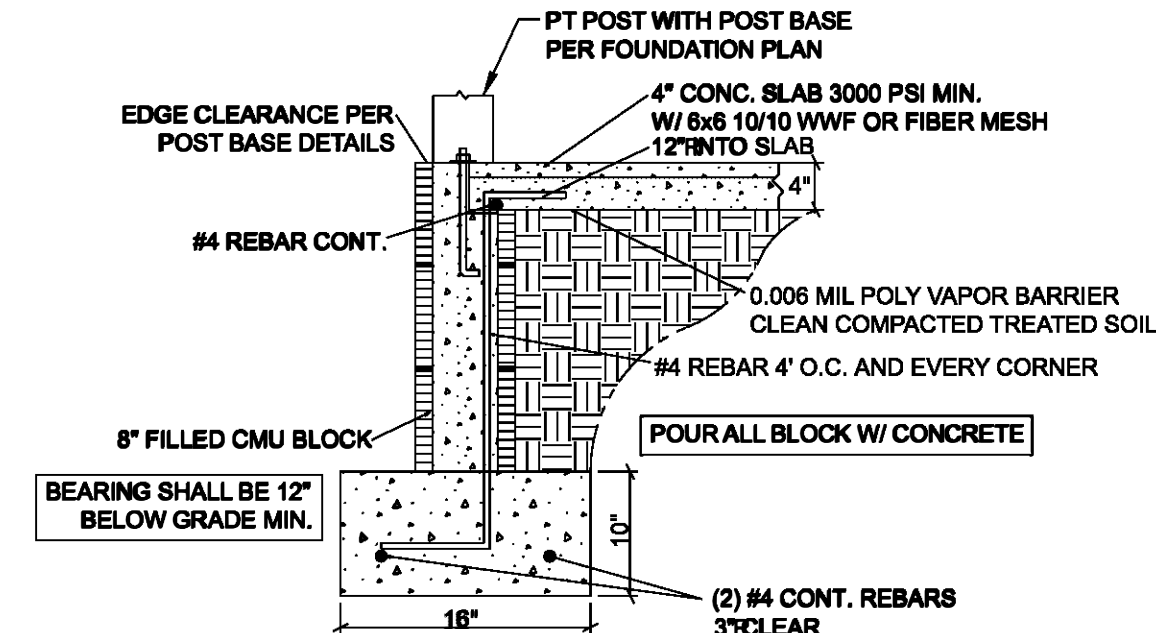
PORCH FOOTING DETAIL WITH BRICK DETAIL (1-4 BLOCK HIGH)
SIMPSON STD10 ANCHOR
NOT TO SCALE



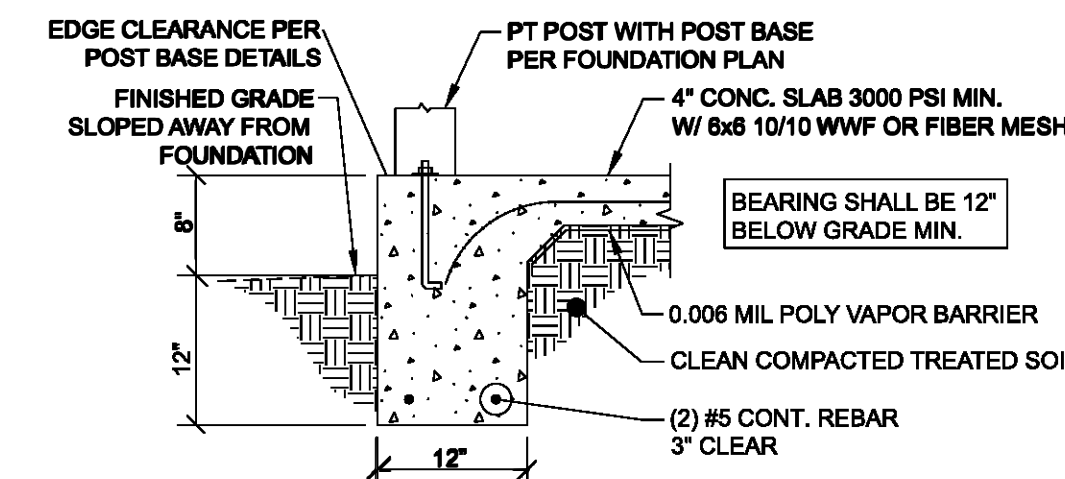
MONOLITHIC PORCH FOOTING DETAIL
SIMPSON STD10 ANCHOR
NOT TO SCALE



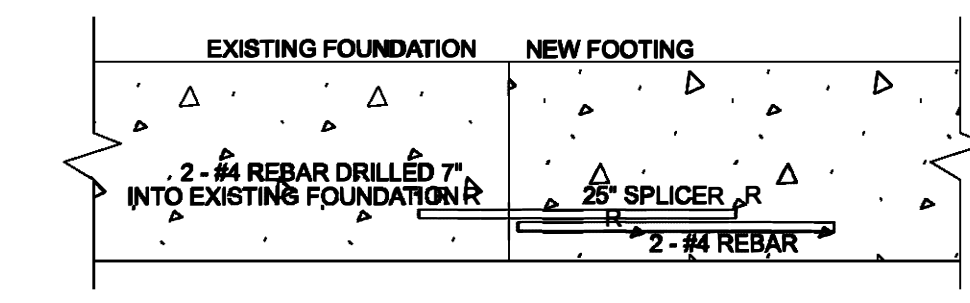
THICKENED SLAB TO EXISTING FOUNDATION DETAIL
NOT TO SCALE



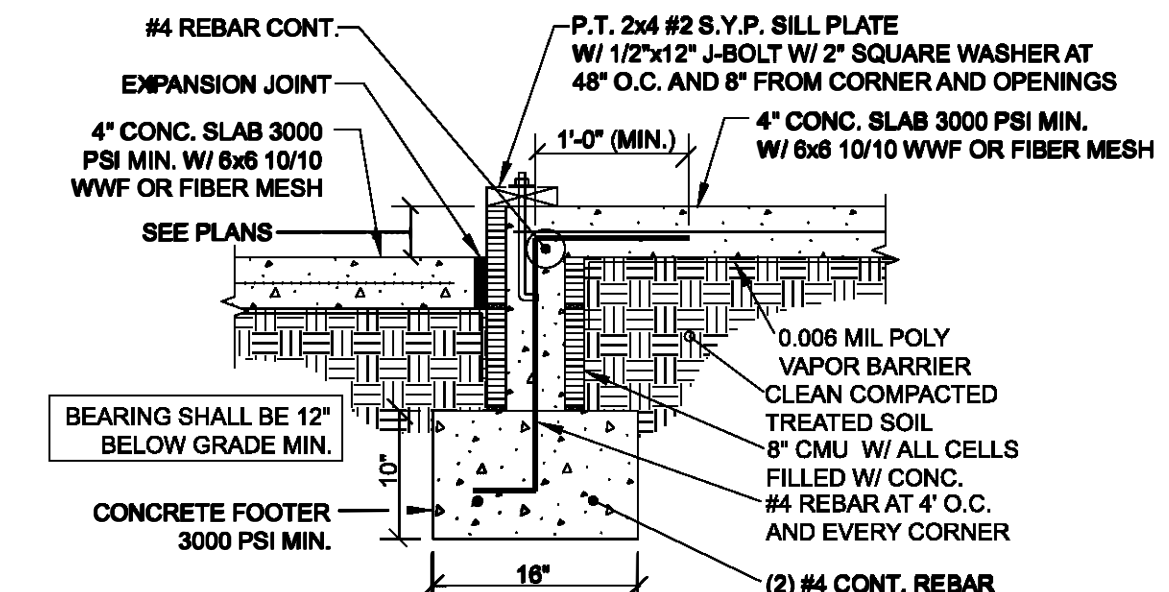
PORCH FOOTING DETAIL (1-4 BLOCK HIGH)
NOT TO SCALE



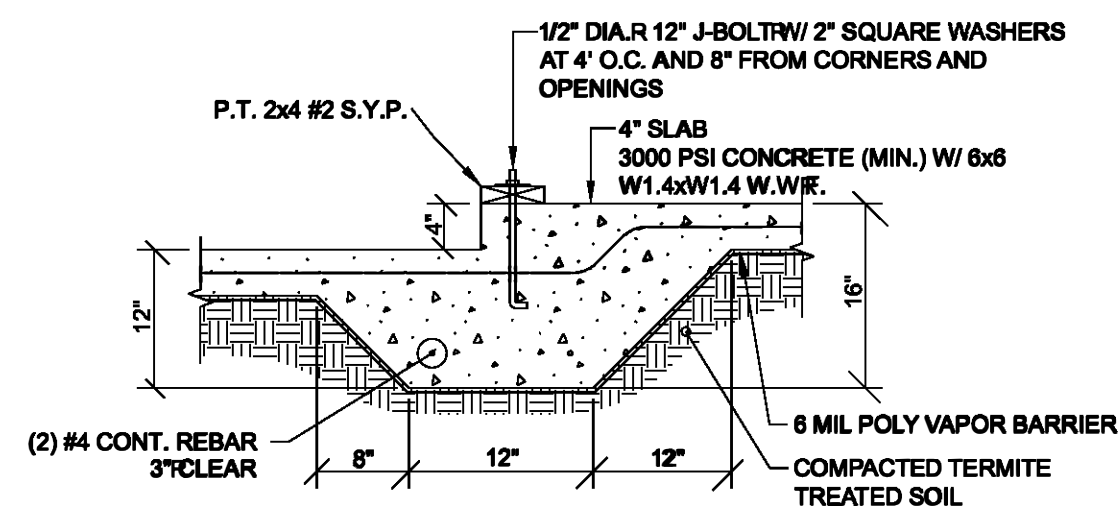
MONOLITHIC PORCH FOOTING DETAIL
NOT TO SCALE



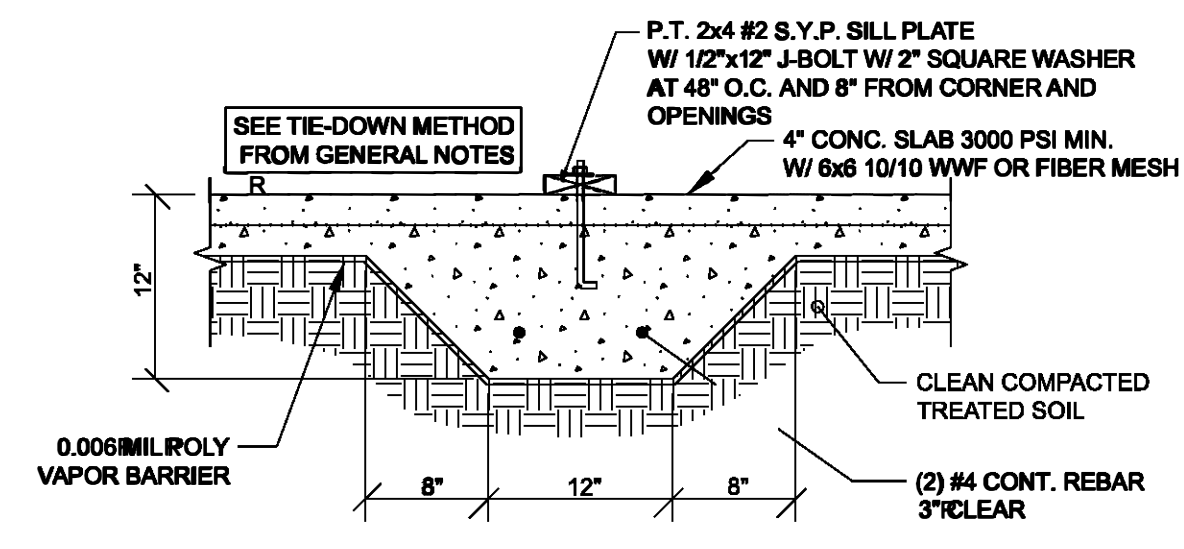
NEW/EXISTING FOOTING DETAIL
NOT TO SCALE



BLOCK STEP DOWN FOOTING DETAIL (1-4 BLOCK HIGH)
NOT TO SCALE



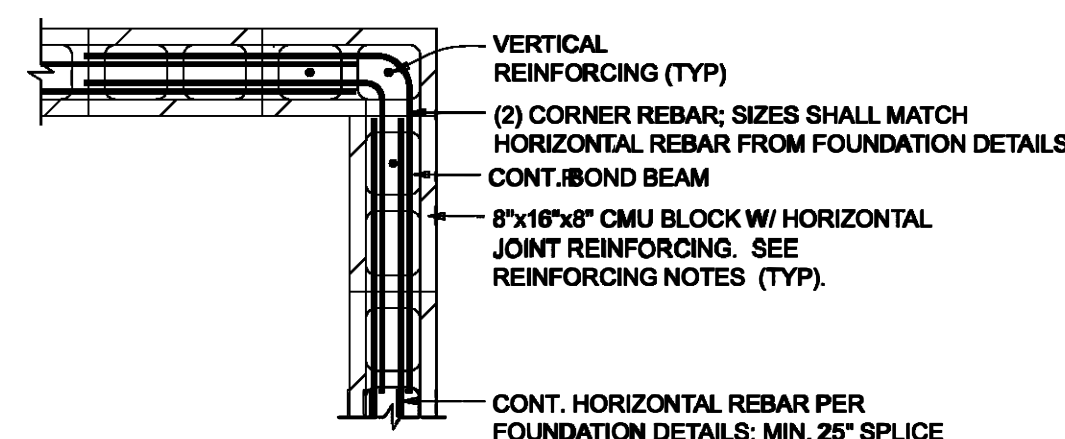
MONOLITHIC STEP DOWN FOOTING DETAIL
NOT TO SCALE



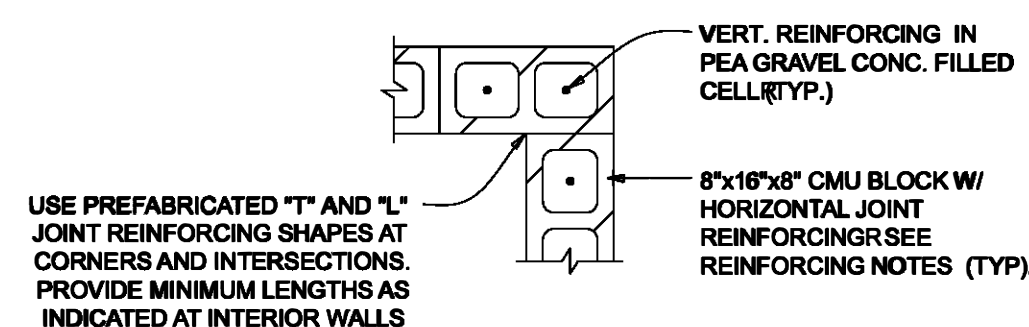
GRADE BEAM DETAIL
NOT TO SCALE
USE THIS DETAIL FOR ALL INTERIOR LOAD BEARING WALLS REQUIRED BY TRUSS MANUFACTURER

CMU FOUNDATION WALL NOTES:

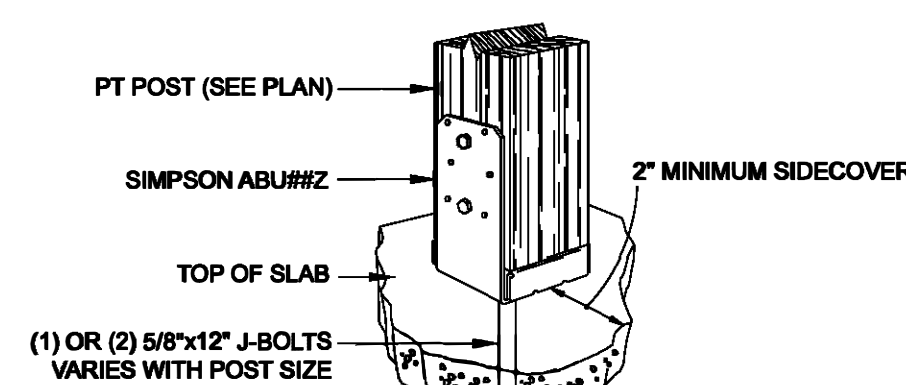
1. DOWEL ALL CMU REINFORCING IN FOOTINGS AND EXTEND INTO UPPERMOST BOND BEAM WITH 90 DEG. HOOKS WITH A MINIMUM 8" LEG.
2. PROVIDE FOUR (4) FILLED CELLS OF TYPICAL REINFORCING AT INTERSECTIONS.
3. PROVIDE THREE (3) FILLED CELLS OF TYPICAL REINFORCING AT CORNERS.
4. ALL CONCRETE MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
5. TYPICAL WALL REINFORCING AS SHOWN IN FOUNDATION DETAILS:
 - A) ADDITIONAL REINFORCING AS NOTED IN NOTES 3 AND 4.
 - B) HORIZONTAL REINFORCING IN ALL BLOCK WALLS SHALL BE HEAVY DUTY (3/16 SIDE RODS WITH 9 GAUGE CROSS RODS) LADDER TYPE WALL REINFORCING AT 16".
 - C) GROUT STOP IS A FIBERGLASS MESH CONFORMING TO ASTM STANDARD D1668-73, TYPE 207.
 - D) SPLICE ALL BARS 48 BAR DIAMETERS.
6. $f_m = 1500$ PSI.
7. MORTAR:
 - A) EXTERIOR, ABOVE GRADE: TYPE N.
 - B) EXTERIOR, AT OR BELOW GRADE: TYPE S.



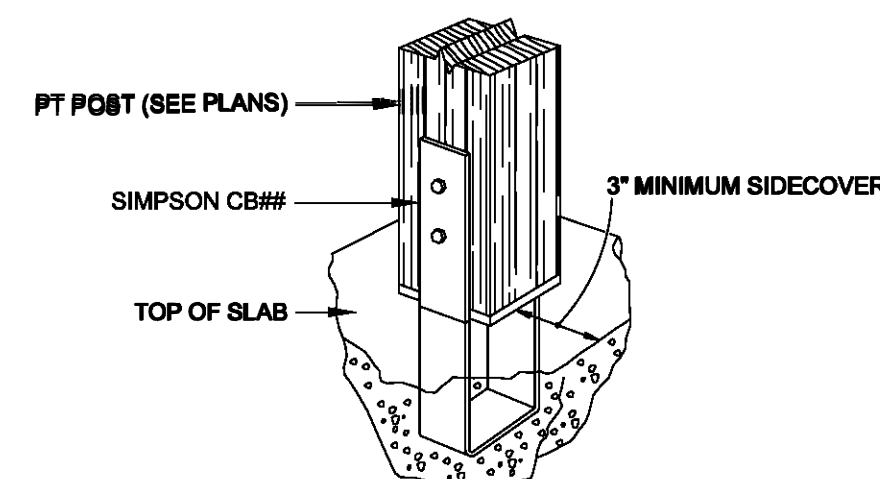
CMU FOUNDATION WALL CORNER HORIZONTAL REBAR DETAIL
NOT TO SCALE



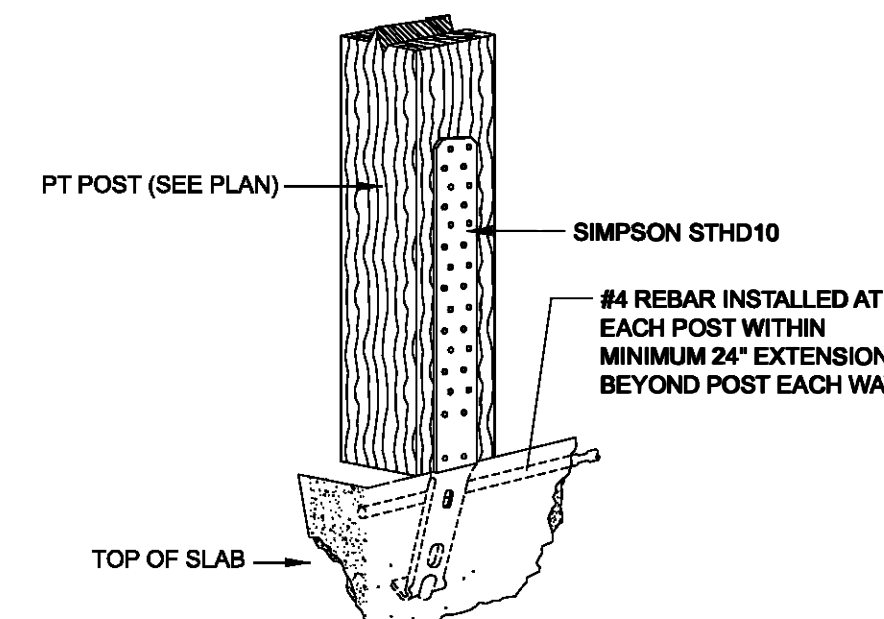
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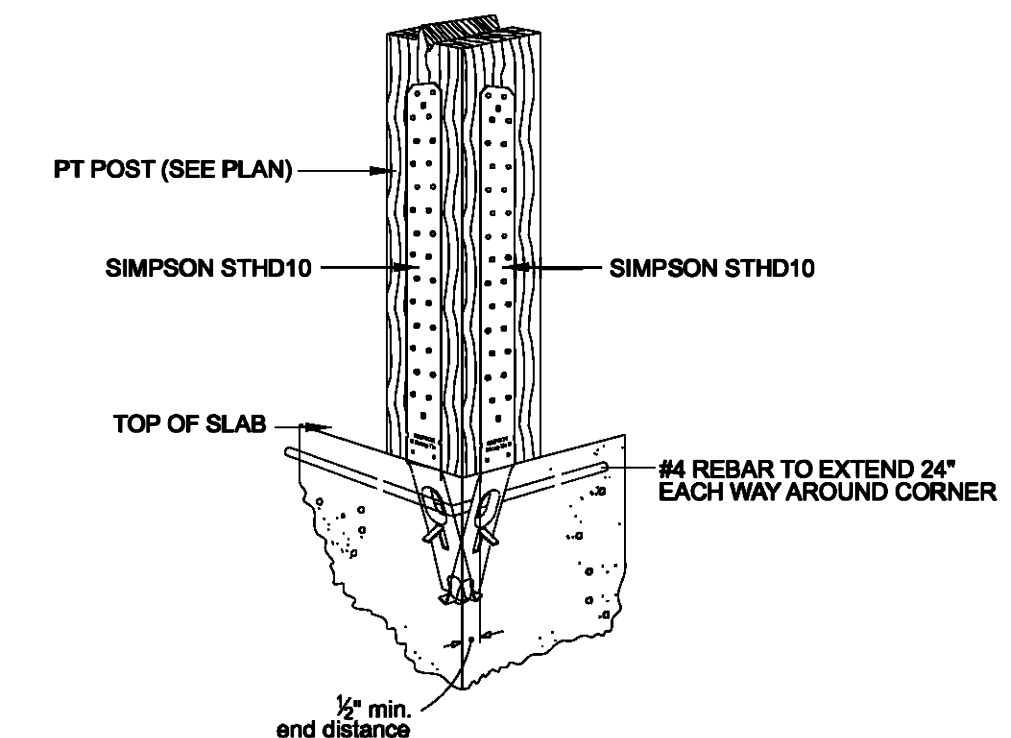
SIMPSON ABU##Z POST BASE DETAIL
NOT TO SCALE



SIMPSON CB## POST BASE DETAIL
NOT TO SCALE



SIMPSON STD10 POST BASE DETAIL
NOT TO SCALE



SIMPSON STD10 CORNER POST BASE DETAIL
NOT TO SCALE

REVISIONS

DATE

PROJECT TITLE:
Parsley Addition
4117 Futura Drive
Pensacola, Florida
Escambia County

STRUCTURAL NOTES/DETAILS

DATE:
11/20/2018

SHEET NUMBER:

S1

1. THIS ADDITION IS DESIGNED TO WITHSTAND ULTIMATE WINDSPEED OF 160 MPH (3 SEC GUST) AND NOMINAL WINDSPEED OF 124 MPH WINDSPEED PER FLORIDA BUILDING CODE 2017, SECTION 1609 AND WIND FORCES BY ASCE 7-10.
2. RISK CATEGORY II.
3. WIND EXPOSURE CATEGORY B.
4. INTERNAL PRESSURE COEFFICIENT: +/- 0.18, STRUCTURE IS FULLY ENCLOSED.
5. ENGINEER OF RECORD: DEAN A. SPENCER, PE, SEC8 FL#44472.
6. COMPONENT AND CLADDING SHALL HAVE FLORIDA APPROVAL NUMBERS.
7. ALL CONCRETE SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
8. ALL REBAR SHALL BE ASTM A615 GRADE 40.
9. SEE DRAWINGS FOR ANCHORAGE DETAILS.
10. ALL REBAR SHALL HAVE A 3" MINIMUM COVER WHEN CONCRETE IS CAST AGAINST THE EARTH.
11. FOUNDATION ANCHORS SHALL HAVE 7" MINIMUM EMBEDMENT.
12. WALL CONSTRUCTED AS FOLLOWS:

- THIS STRUCTURE IS IN A WINDBORNE DEBRIS AREA:
ALL NEW EXTERIOR GLAZING SHALL BE PROTECTED AS STATED IN THE FBC 2017,
SECTION 1609.1.2, PROTECTION OF OPENINGS.**

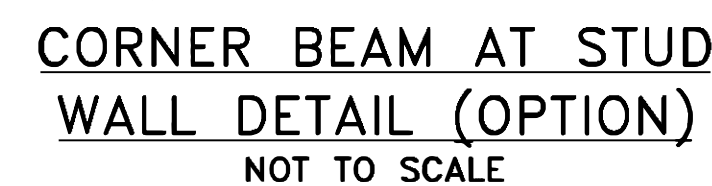
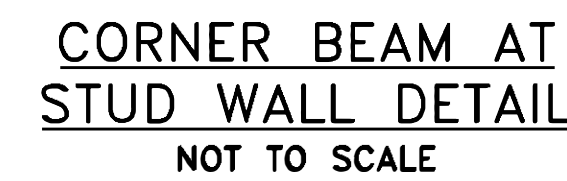
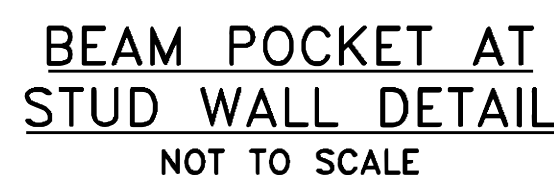


EFFECTIVE WIND AREA (SQ. FT)		BASIC WIND SPEED 160 MPH	
ZONE			
ROOF ANGLE > 7.27 DEG.			
1	10.0	26.5	-42.1
2	10.0	26.5	-73.4
3	10.0	26.5	-106.5
WALL			
4	10.0	46.1	-50.0
5	10.0	46.1	-61.7

MEAN ROOF HEIGHT: LESS THAN 30 FT
ROOF SLOPE IS 2/12.

$$k_d = 0.85$$

ROOF OVERHANG COMPONENT & CLADDING DESIGN WIND PRESSURES FOR A BUILDING WITH A MEAN HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (PSF)		
ZONE	EFFECTIVE WIND AREA (SQ. FT)	BASIC WIND SPEED 100 MPH
ROOF ANGLE >7-27 DEG.		
2	10.0	-85.9
3	10.0	-144.4



1405.4 FLASHING: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW OPENINGS, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

1405.4.1 EXTERIOR WALL POCKETS. IN EXTERIOR WALLS OF BUILDINGS OR STRUCTURES, WALL POCKETS OR CREVICES IN WHICH MOISTURE CAN ACCUMULATE SHALL BE AVOIDED OR PROTECTED WITH CAPS OR DRIPS, OR OTHER APPROVED MEANS SHALL BE PROVIDED TO PREVENT WATER DAMAGE.

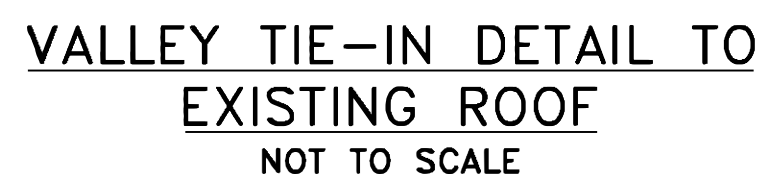
1405.4.2 MASONRY. FLASHING AND WEEP HOLES IN ANCHORED VENEER SHALL BE LOCATED IN THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB, AND OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, SHELF ANGLES AND LINTELS WHERE VENEER IS APPLIED. VENEERS ARE DESIGNED IN ACCORDANCE WITH SECTION 1405.6.

HOUSEWRAP
TOP FLASHING
ERIAL

APPROVED FLASHING
IDES & TOP OVER
OW/DOOR FLANGES


SHING SHALL BE INSTALLED PER
/AAMA 100, FMA/AAMA 200,
/WDMA 250, OR
/AAMA/WDMA 300.

ION: INSTALL PER
ESTRATION MANUFACTURER'S
STALLATION & FLASHING
STRUCTIONS



TRUSS MANUFACTURER MAY SUBSTITUTE EQUIVALENT UPLIFT CONNECTORS	
UP TO UPLIFT LOAD OF 520 LBS	SIMPSON H2.5A
BETWEEN 520 LBS AND 1040 LBS	(2) SIMPSON H2.5A
BETWEEN 1040 LBS AND 3000 LBS	SIMPSON MGT
BETWEEN 3000 LBS AND 6485 LBS	SIMPSON HGT-2

SIMPSON CONNECTION FOR TRUSSES UPLIFT LOADS



Dean A. Spencer Engineering, Inc.
14472
Engineering, Inc.
1990

DEAN A. SPENCER ENGINEERING, INC.
2735 SANIBEL PLACE
GULF BREEZE, FL 32563
850.932.5730 (Voice)
850.934.9044 (Fax)

DEAN A. SPENCER, PE, SECB
FL #44472, CA #9070
AL #29262, CA #3467

REVISIONS	
DATE	DESCRIPTION

TITLE:
Parsley Addition
4117 Futura Drive
Pensacola, Florida
Escambia County

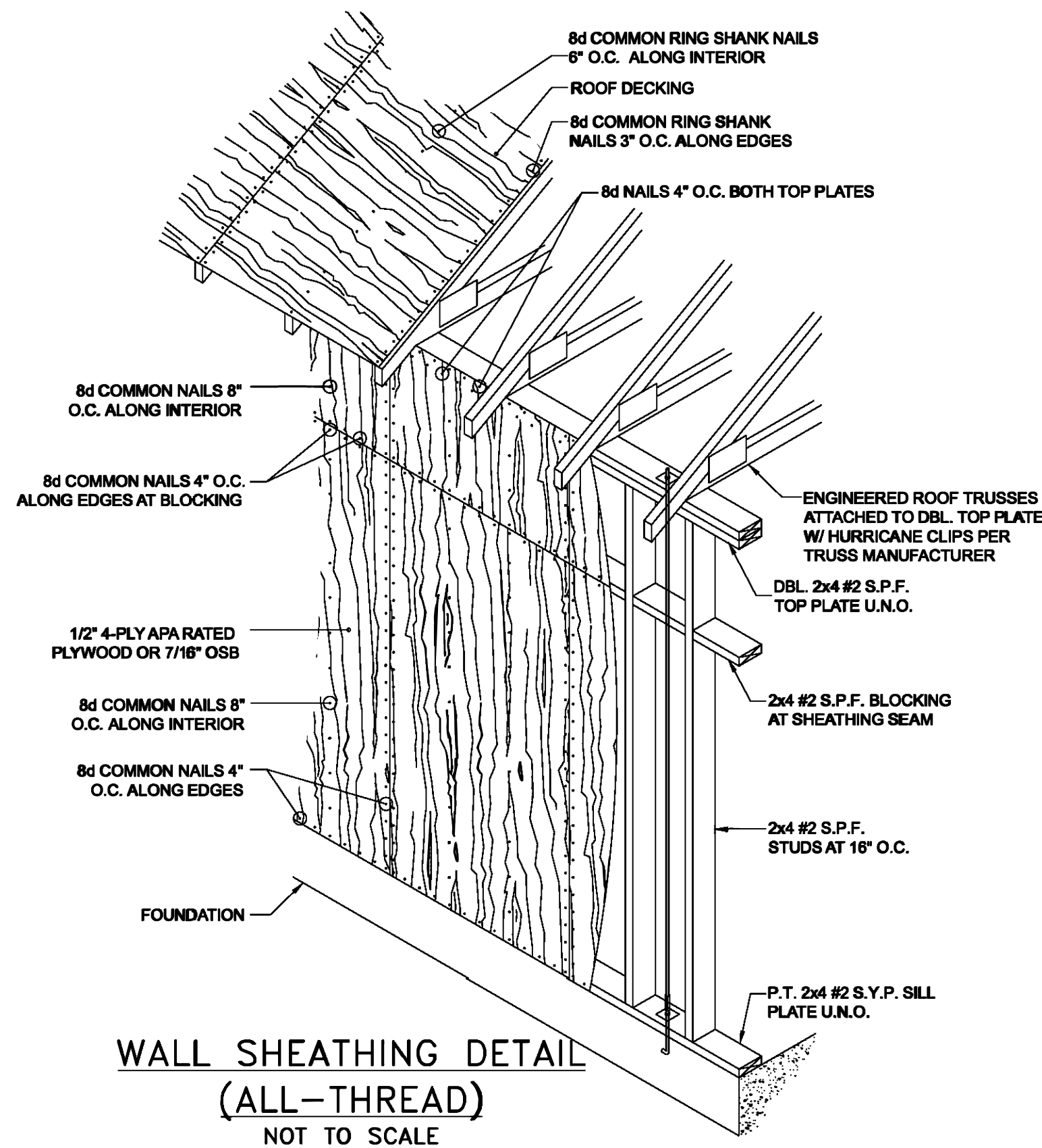
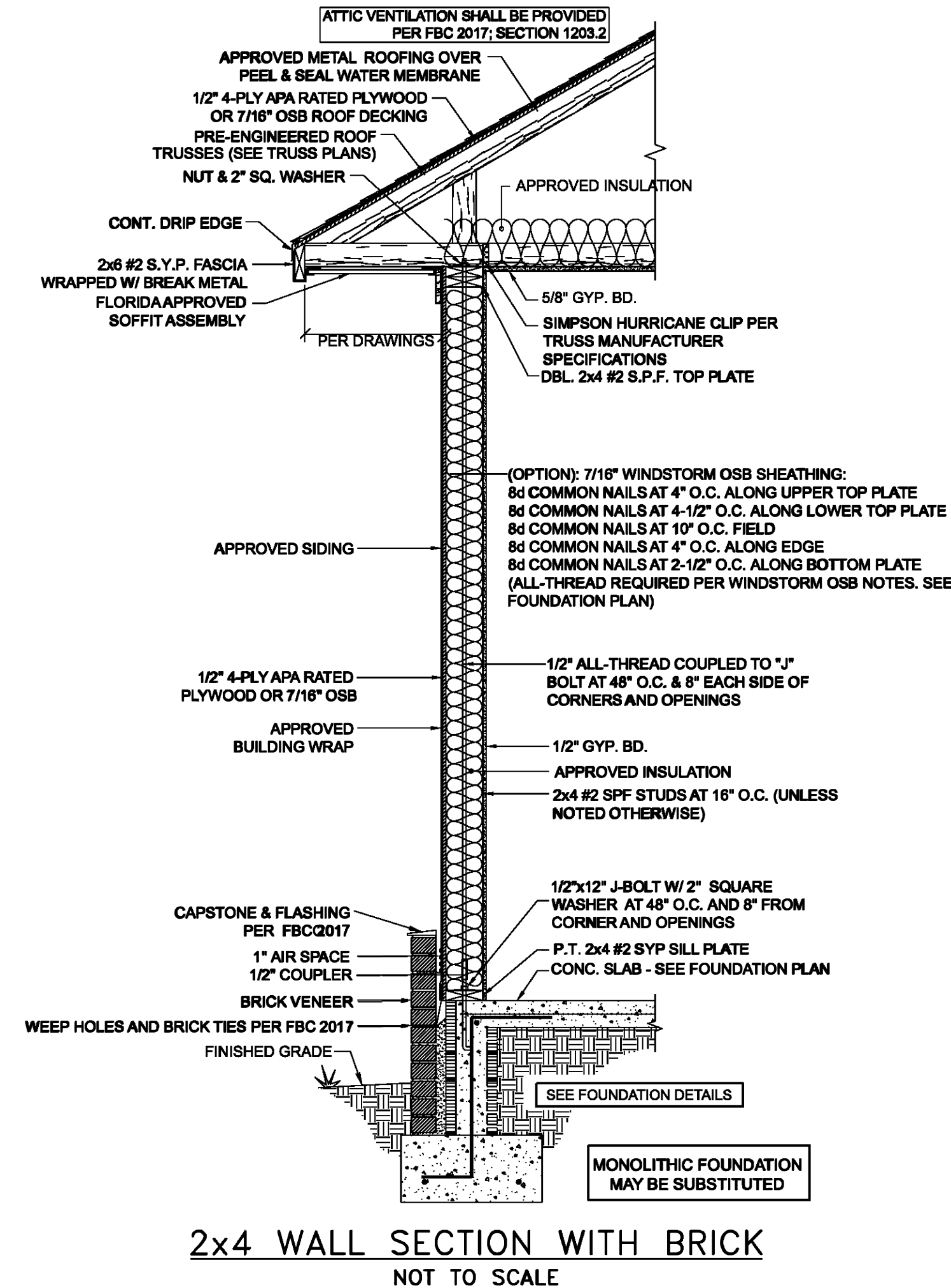
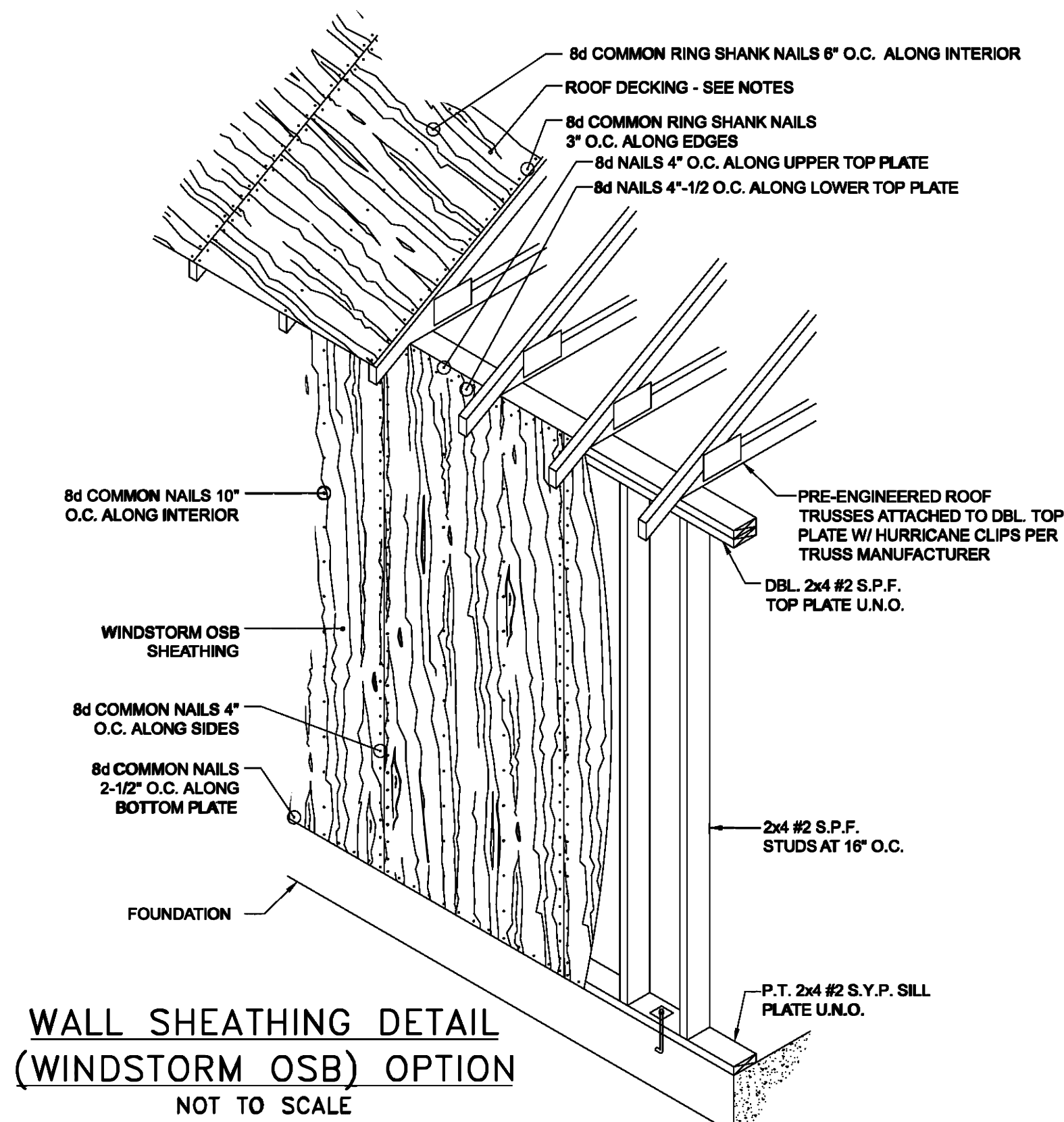
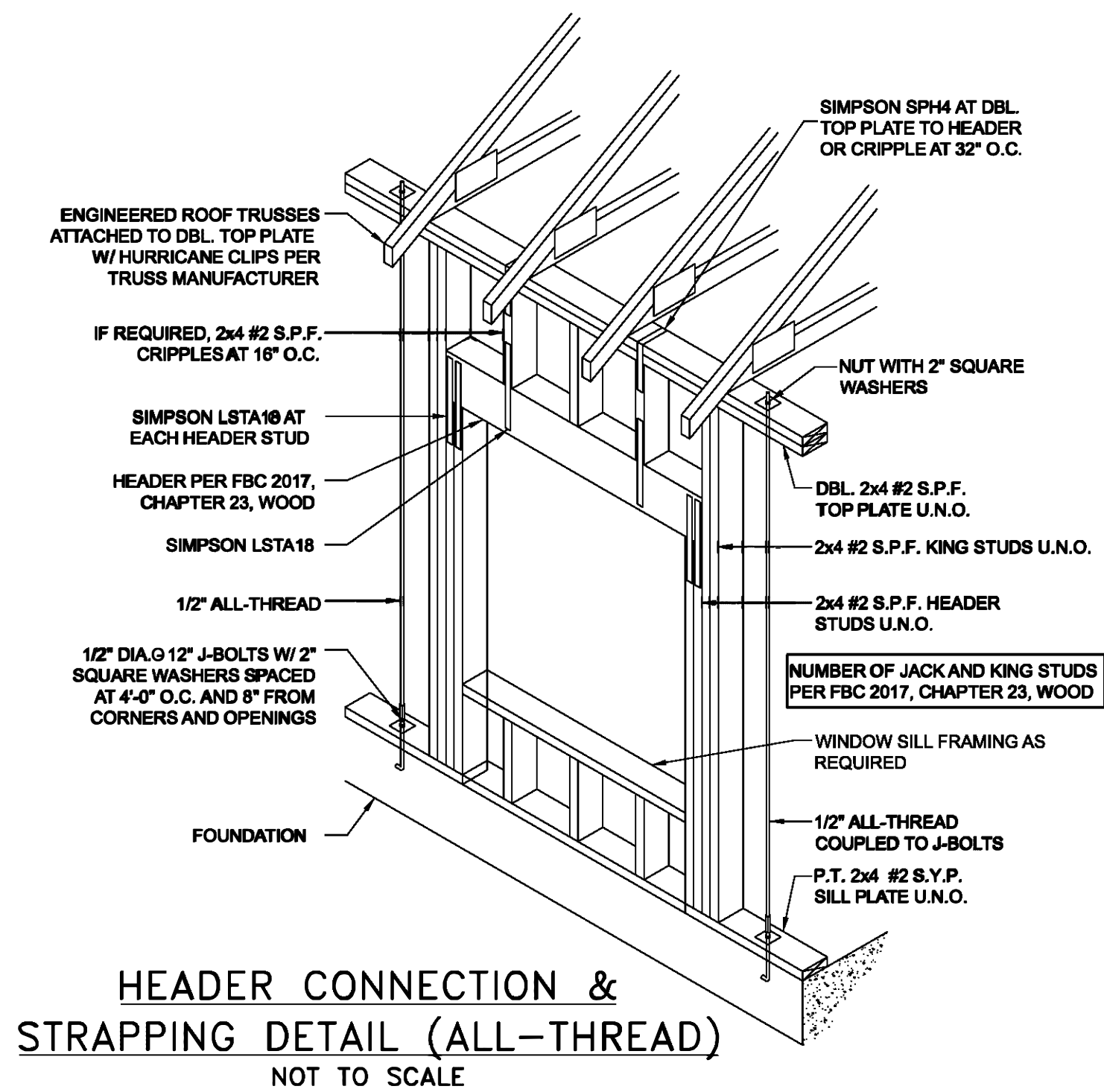
STRUCTURAL
NOTES/DETAILS

DATE: 11/20/2018

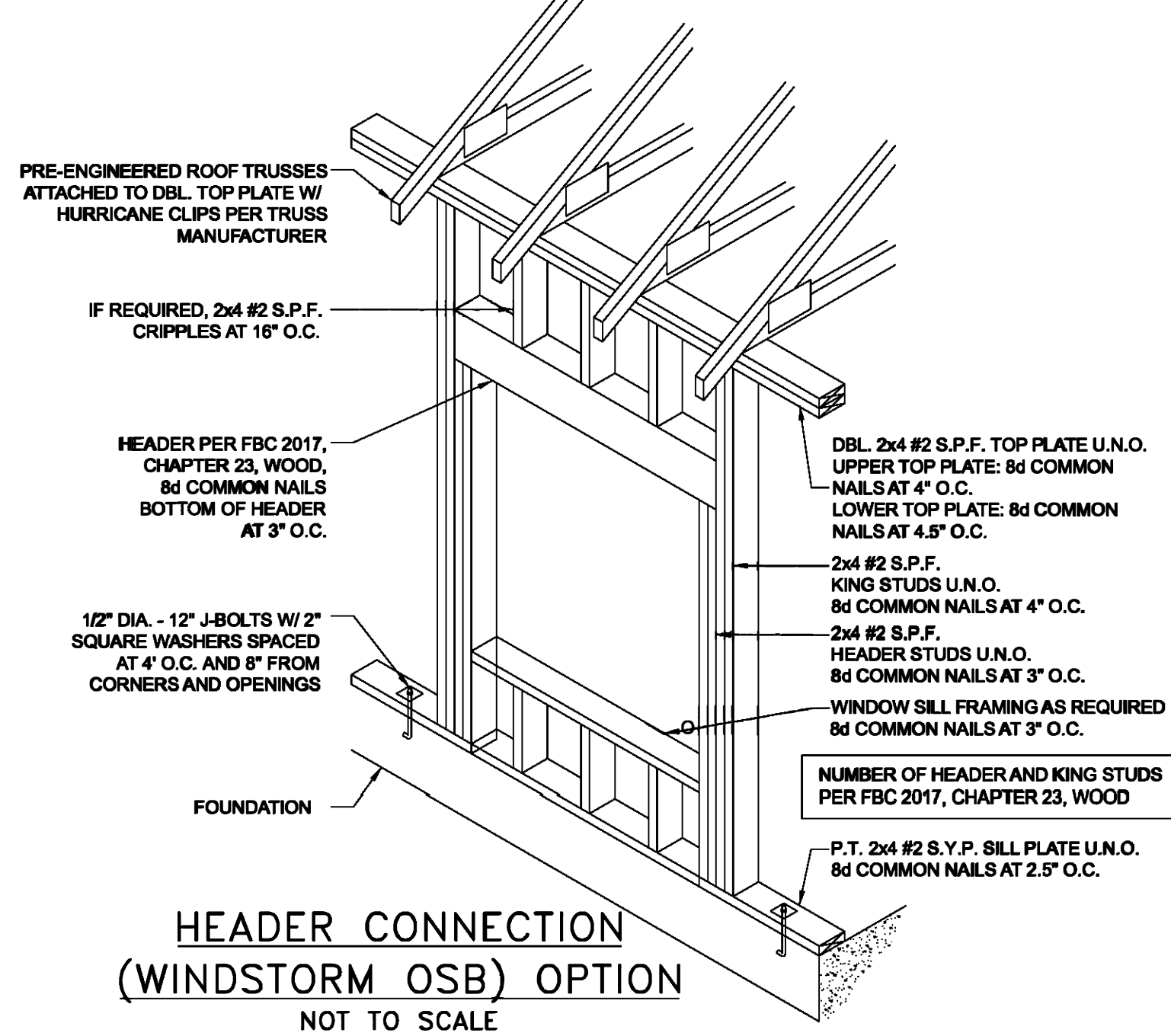
SHEET NUMBER:

S2

SEAL



- WINDSTORM OPTION:**
- 1/2" ALL-THREAD SHALL BE LOCATED 8" EACH SIDE OF EACH ZONE 5 CORNER (SEE FOUNDATION PLAN).
 - 1/2" ALL-THREAD SHALL BE LOCATED AT ALL GIRDER TRUSSES.
 - 1/2" ALL-THREAD SHALL BE LOCATED AT ALL INTERIOR BEARING WALLS (SEE OPTIONS IN GENERAL NOTES).
 - 1/2" ALL-THREAD SHALL BE LOCATED WITH 8" FROM EACH BEAM POCKET FOR ALL PORCH BEAMS.
 - 1/2" ALL-THREAD SHALL BE LOCATED PER GARAGE DOOR DETAILS AS REQUIRED.
 - 1/2" ALL-THREAD SHALL BE LOCATED EACH SIDE OF ALL OPENINGS LARGER THAN 72" WIDE.



JACK (HEADER) AND KING STUD REQUIREMENTS: FBC 2017- CHAPTER 23 WOOD - TABLE 2308.4.1.1		
QUICK GUIDE (UNLESS NOTED OTHERWISE):		
OPENING SIZE	# JACK STUDS	# KING STUDS
LESS THAN OR EQUAL TO 4'-0"	1	2
4'-1" TO 6'-0"	2	2
6'-1" TO 10'-0"	3	2
10'-1" TO 14'-0"	3	3
14'-1" TO 18'-0"	4	4

ALL HEADERS SHALL BE 2x12 #2 SYP UNLESS NOTED OTHERWISE ON PLANS.
HEADER WIDTH SHALL MATCH WALL THICKNESS!
2x4 WALLS REQUIRE (2) 2x12 #2 SYP HEADER
2x6 WALLS REQUIRE (3) 2x12 #2 SYP HEADER
HEADERS MAY BE REDUCED IN SIZE PER FBC 2017- CHAPTER 23 WOOD - TABLE 2308.4.1.1

REVISIONS	DESCRIPTION
DATE	

PROJECT TITLE:
Parsley Addition
4117 Futura Drive
Pensacola, Florida
Escambia County

SHEET TITLE:
STRUCTURAL NOTES/DETAILS

DATE:
11/20/2018

SHEET NUMBER:
S3

PLANNING SERVICES

Zoning Board of Adjustment

MEMORANDUM

TO: Members, Zoning Board of Adjustment

FROM: Leslie Statler, Planner *lone*

DATE: June 11, 2019

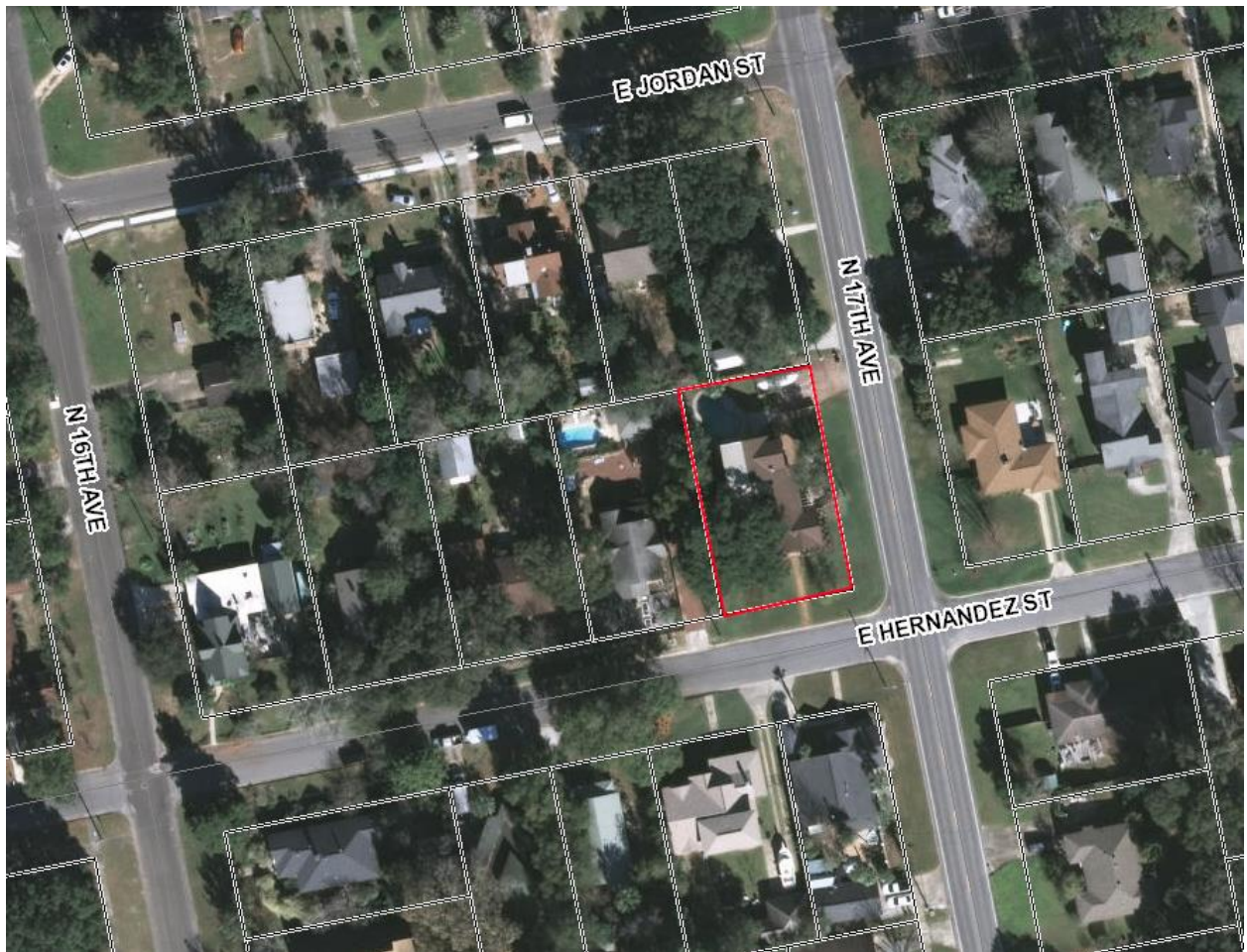
SUBJECT: ZBA 2019-004
1620 E. Hernandez Street
R-1AA

BACKGROUND

Cleve Bellar is requesting a Variance to increase the maximum rear yard coverage from 600 sf to 740 sf to accommodate a detached garage with upstairs living quarters. The proposed new detached complies with the building setbacks for a detached garage with living quarters. However, it exceeds the maximum rear yard coverage by 140 sf. The applicant also intends to remove an existing, non-conforming shed from the property; the proposed new garage will be utilized for the storage currently within the shed.

Attached you will find all materials as submitted attached for your review and consideration.

1620 E. Hernandez Street



1620 E. Hernandez Street



- ☒ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details: *
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s). *
- D. A non-refundable application fee of \$500.00.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and
distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Sec. 12-2-31(D)(b) Zoning R-1AA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 1620 E Hernandez St, Pensacola, FL 32503

Current use of property: Single-Family

1. Describe the requested variance(s): To reduce the maximum rear yard coverage from 600 sf to 740 sf to accommodate a detached garage with living quarters above. The proposed garage will allow us to remove the existing 144 sf shed and create a design which works better for our yard and our property.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

We are doing minimally necessary given the restraints of the previously developed property.

We are taking advantage of a garage and accessory dwelling unit to incorporate an existing storage shed into a meaningful building. We are also reincorporating green space and regrading to ensure proper runoff

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The existing storage unit, like many in East Hill, sits in an area that would not be allowed today and is not able to be moved into a conforming location that makes sense. Removal addresses

code issues and allows us to reincorporate it into a more modern, usable design.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The changes are not detrimental to neighboring lots. This variance is all interior to our lot.

The neighbor to the North has a garage along their lot line in a similar space.

5. Explain what other condition(s) may justify the proposed variance(s):

Looking at the existing pool and existing structure (built in 1928), previous addition was not well

thought out giving a modern family living situation. We are a growing family of 5 that would like to create a design that improves not only our living condition but also the value of our neighborhood.

Application Date: 05/29/19

Applicant: Cleve A Bellar

Applicant's Address: 1620 E Hernandez St, Pensacola, FL 32503

Email: cleve.bellar@gmail.com Phone: 678.234.5186

Applicant's Signature: 

Property Owner: Cleve A Bellar

Property Owner's Address: 1620 E Hernandez St, Pensacola, FL 32503

Email: cleve.bellar@gmail.com Phone: 678.234.5186

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Bellar

1620 E Hernandez St
Pensacola, FL 32503

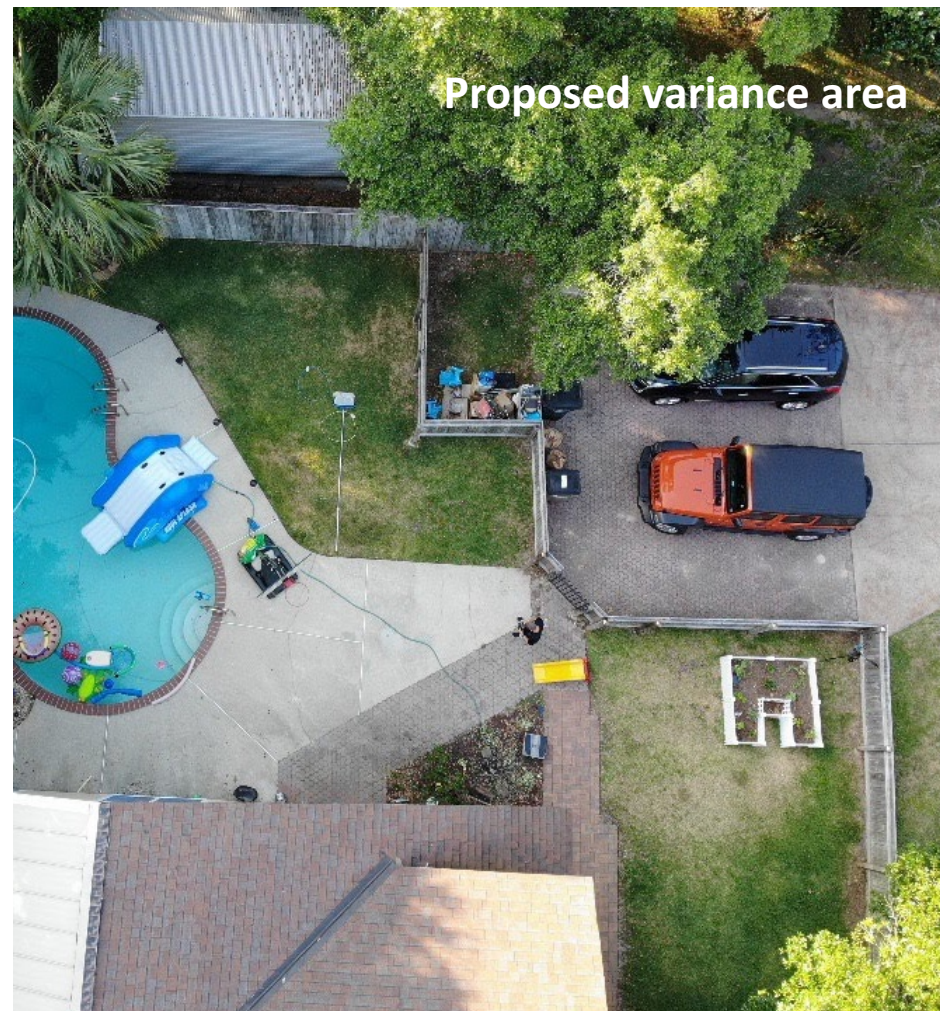
Photo support for
rear yard variance
request



View from NW corner



Existing storage shed



Proposed variance area



Proposed variance area

GENERAL NOTES & SPECIFICATIONS

DESIGN CRITERIA

FLORIDA BUILDING CODE 2017 RESIDENTIAL
2012 / 2014 NFPA 101
2011 NATIONAL ELECTRICAL CODE
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRET E, ACI 318
BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY S TRUCTURES, ACI 531
AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDIT ION

DESIGN LIVE LOADS

ROOF 20 PSF
FLOORS 40 PSF
LATERAL WIND FORCES 150 MPH ASCE 7-10 EXPOSURE B

1ST STORY DESIGN WIND PRESSURE 43 PSF -47 PSF
2ND STORY DESIGN WIND PRESSURE 52 PSF -60PSF

WINDOWS WITH IN 6'-0" OF CORNERS, DESIGN WIND PRESSUR:E -44PSF

GARAGE DESIGN WIND PRESSURE +30.00 PSF, 33.50 PSI^F

DESIGNED FOR ENCLOSED BUILDING

STRUCTURAL CATEGORY: II

IMPORTANCE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT +0.18 to -0.18

COMPONENTS & CLADDING SHALL BE DESIGNED AND INSTALLED (BY OTHERS) TO COMPLY WITH THE FLORIDA BLDG CODE 2017 RESIDENTIAL
APPROVED SHUTTERS OR IMPACT RESISTANT GLAZING REQUIRED
IMPACT RESISTANT GLAZING REQUIRED ABOVE 2 STORIES

CONCRETE NOTES

- ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- CONCRETE OPERATIONS SHALL COMPLY WITH A.C.I. STANDARDS.
- CONCRETE COMPRESSIVE STRENGTH 3000 PSI MINIMUM AT 28 DAYS.
- REINFORCING BARS. ASTM A615 GRADE 60 FOR TWO AND THREE STORY. GRADE 40 FOR ONE STORY.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM185.
- REINFORCING BARS PLACING ACCESSORIES IN ACCORDANCE WITH CRSI SPECIFICATIONS
- CONCRETE COVERAGE FOR REINFORCEMENT SHALL BE AS FOLLOWS, (PER SECTION 7.7 ACI 318, LATEST EDITION)
ALL CONCRETE FORMED AGAINST GROUND 3"
SIDES AND BOTTOMS OF GRADE BEAMS 3"
WALLS AND SIDES OF BEAMS ABV GRADE 1.5"
- EARTH SUPPORTED SLAB. 4" THICK REINFORCED WITH 6 x 6 x W1 4 x W1 4 W.W.F. THE SLAB SHALL BE PLACE OVER POLYETHYLENE VAPOR BARRIER OF NOT LESS THAN 006 INCH NOMINAL THICKNESS. IN LIEU OF WELDED WIRE FABRIC CONCRETE SLAB CAN BE TREATED WITH SYNTHETIC REINFORCING FIBERS AS MANUFACTURED BY FIBERMESH CO. AND IN ACCORDANCE w/ ASTM STANDARD SPECS FOR FIBER REINFORCED CONCRETE AND SHOTCRETE C1116. THE DOSAGE RATE SHALL BE ONE AND ONE HALF (1 1/2) LBS OF FIBERS PER CUBIC YARD OF CONCRETE.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A36 AND SHALL BE 3/8" DIAM w/ MIN 7" EMBEDMENT DEPTH IN CONCRETE AND CMU BLOCKS AND SHALL BE AT A MAXIMUM SPACING OF 32" O.C.
- DETAIL REINFORCING IN ACCORDANCE TO A.C.I. 315. REINFORCING SHALL NOT BE WELDED EXCEPT AS SHOWN WHERE ASTM A708 BARS ARE USED.

MASONRY NOTES

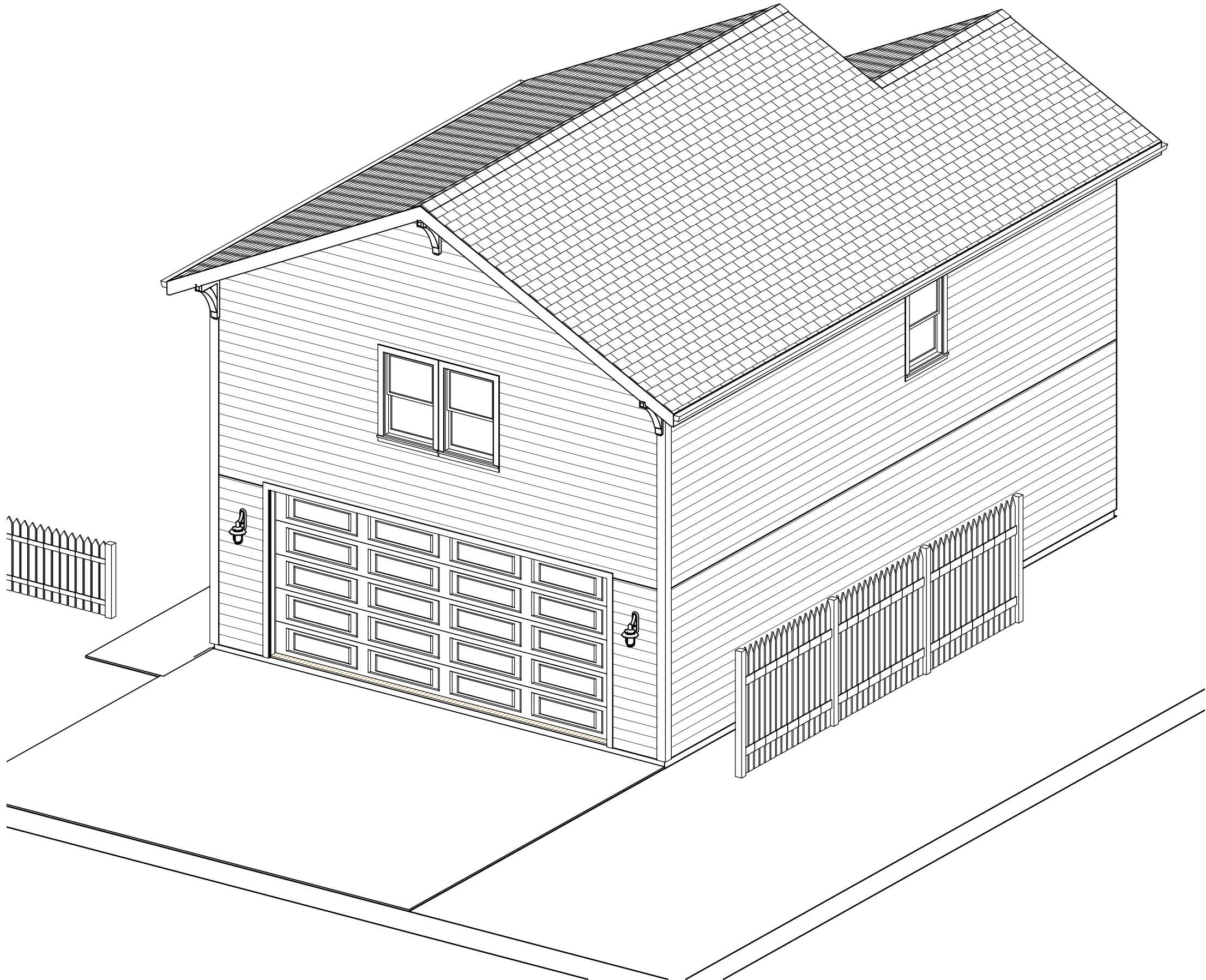
- HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON THE NET AREA AND 1 000 PSI ON THE GROSS AREA. (F'M = 1500 PSI)
- ALL MORTAR FOR MASONRY SHALL CONFORM TO ASTM C270. TYPE "M" OR "S". ALL GROUT FOR USE IN MASONRY SHALL CONFORM TO ASTM C476 MINIMUM 2500 PSI AT 28 DAYS.
- ALL VERTICAL REINFORCEMENT IN MASONRY SHALL HAVE LSS C TENSION LAPS.
- REINFORCING IN MASONRY WALL FOOTINGS SHALL BE CONTINUOUS.

GENERAL CONSTRUCTION

- DO NOT SCALE DRAWINGS.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF CONCRETE BLOCK OR WOOD STUDS (U.N.O)
- PROVIDE TEMPORARY SETTLING BASINS, HAYBALES AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF EACH DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- LANDSCAPING TO BE PROVIDED BY OTHERS.
- CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, ETC. w/ PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPETS, PANELING, FLOOR TINES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE, AND PAINT, THEIR COLORS, PATTERNS AND TEXTURES ARE TO BE SELECTED BY OTHERS (U.N.O.)
- PVC SCHEDULE 40 IS PERMITTED FOR USE IN SOIL WASTE, VENTING, AND WATER SUPPLY FOR PIPE SIZES UP TO 4" DIAM. FITTINGS SHALL BE THE SAME SCHEDULE AS THE LINES.
- DOMESTIC WATER LINES SHALL BE "L" COPPER WITH SOLDER JOINTS INSTALLED WITHIN IMPERVIOUS SLEEVE WHEN PLACED IN SOIL.
- ALL WATER LINES IN UNHEATED OPEN AREAS SHALL BE INSULATED.
- ALL WATER PIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY SECURED IN OR ON WALL OF PIPE CHASE BEHIND FIXTURES.
- OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY OBSTRUCTIONS. ALL ROOF PENETRATIONS WHERE PRACTICAL TO BE ON BACKSIDE OF RIDGE AWAY FROM THE FRONT.
- PROVIDE 110 V UL APPROVED SMOKE DETECTORS IN ACCORDANCE WITH APPLICABLE CODES.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE AND OR CABLE TV.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN TO BE PROVIDED BY OTHERS AND SHALL MEET OR EXCEED ALL APPLICABLE BUILDING CODES.
- WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT SHALL NOT EXCEED A MAX OF 44" ABV FINISHED FLOOR.

TIMBER NOTES

- STRUCTURAL TIMBER SHALL BE #2 SOUTHERN YELLOW PINE (M.C. -19%) LODGE POLE OR APPROVED (BY STRUCTURAL ENGINEER) EQUAL UNLESS OTHERWISE NOTED ON DRAWINGS WITH ALLOWABLE STRESSES AS FOLLOWS
BENDING STRESS 1,200 PSI 1,050 PSI \
SHEAR STRESS 90 PSI 70 PSI \
COMPRESSION STRESS PARALLEL TO GRAIN 1,000 PSI 700 PSI \
MODULUS OF ELASTICITY 1,600,000 PSI 1,200,000 PSI /
LODGE POLE
- STRUCTURAL GLUE LAMINATED TIMBER SHALL BE VISUALLY GRADED SOUTHERN PINE WITH THE FOLLOWING MIN ALLOWABLE STRESSES.
BENDING STRESS 2,400 PSI
SHEAR STRESS 200 PSI
MODULUS OF ELASTICITY 1,800,000 PSI
- STRUCTURAL PARALLAM BEAMS ALL SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES
BENDING STRESS 2,900 PSI
SHEAR STRESS 290 PSI
MODULUS OF ELASTICITY 2,00,000 PSI
- PLYWOOD SHEATHING
A. EACH CONSTRUCTION AND INDUSTRIAL PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE AMERICAN PLYWOOD ASSOC. AND SHALL MEET THE REQ'MENTS OF THE LARGEST EDITION OF U.S. PRODUCT STANDARDS PS 1 OR AFA PRP-180 PERFORMANCE STAND'RDS. ALL PANELS WHICH HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.
B. PANEL ROOF WALL AND FLOOR SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING EXP 2 (UNLESS OTHERWISE NOTED ON PLANS). SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSIFIED EXTERIOR.
C. NAIL WALL SHEATHING WITH 8d COMMON NAILS AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND AT 4" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED ON PLAN.
- ALL BEARING STUD WALLS SHALL HAVE SOLID BLOCKING AT MID-HEIGHT OR AS OTHERWISE NOTED ON BUILDING SECTIONS.
- PREFABRICATED WOOD STRUCTURAL MEMBERS INCLUDING TRUSSES SHALL BE DESIGNED SPECIALLY FOR THIS PROJECT FOR A 150 MPH LATERAL LOAD IAW ASCE 7-10 LATERAL LOAD AND SEALED BY A FLORIDA REGISTERED ENGINEER.
- REVIEW ALL DRAWINGS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, ETC TO ASCERTAIN LOADS FROM EQUIPMENT OPENINGS FOR DUCTS ETC AND PROVIDE MODIFICATION TO TRUSSES IF REQUIRED TO SUPPORT SAME.
- TRUSS LAYOUT AS SHOWN ON PLANS IS SCHEMATIC AND MAY BE MODIFIED WITH APPROVAL OF ENGINEER.
- ALTHOUGH WEB LAYOUT MAY BE SHOWN ON PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS DESIGNER TO ACCEPT, APPROVE OR MODIFY AS REQUIRED FOR THE DESIGN PURPOSE.
- WOOD TO WOOD FRAMED CONNECTIONS ARE TO BE MADE WITH BOLTS AND/OR JOIST HANGERS AS SHOWN. TOE-NAILING IS NOT PERMITTED.
- MAX SPANS OF DIMENSIONAL LUMBER USED FOR JACK RAFTERS AT HIPPED ROOF SECTIONS SHALL BE IN ACCORDANCE WITH SPAN TABLES FOR JOINTS AND RAFTERS AS PUBLISHED BY THE NATIONAL WOOD PRODUCTS ASSOC.
- HIP RAFTERS SHALL BE 2 INCHES DEEPER THAN JACK RAFTERS.
- ALL TRUSSES AND RAFTERS SHALL BE STRAPPED OR HURRICANE CLIPPED TO SUPPORTING MEMBERS AT ALL BEARING POINTS.
- SECURE EACH ROOF TRUSS / RAFTER TO TOP PLATE WITH SIMPSON HURRICANE CLIPS (OR EQUAL) AS INDICATED ON PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF TRUSSES TO ENGINEER TO VERIFY / MODIFY UP-LIFT CONNECTORS.
- ALL EXTERIOR WALL FRAMING SHALL BE 2x4 OR 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. 7/16" OSB SHEATHING OR 1/2" CDX PLYWOOD PANELS SHOULD EXTEND TO THE TOP PLATE AND TO THE BOTTOM OF EXTERIOR GIRDERS OR SILL PLATE. NAIL PLYWOOD AT 3" O.C. AT ALL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS OR AS INDICATED PER PLAN.
- USE SIMPSON ST18 (OR EQUAL) RIDGE / RIDGE CONNECTORS OR SIMPSON RR STRAPS AT ALL RAFTER / RIDGE BEAMS OR AS INDICATED PER PLANS.
- USE SIMPSON SP1 AND SP2 (OR EQUAL) TO SECURE STUDS TO BOTTOM AND TOP PLATES OR AS INDICATED PER PLAN.
- USE TWO (2) SIMPSON LSTA21 (OR EQUAL) TO SECURE EACH BEAM HEADER BEARING END TO EACH SUPPORT OR AS INDICATED PER PLAN.
- USE SIMPSON LSTA21 STRAP TIES (OR EQUAL) OR SIMPSON SP4 (OR EQUAL) AT TOP OF EACH EXPWEIOR WINDOW AND DOOR FRAME OPENING, OR AS INDICATED PER PLANS.
- CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, ETC SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017 RESIDENTIAL.
- RIDGE BOARDS WHERE INDICATED ON FRAMING PLANS SHALL NOT BE LESS THAN 1" IN THICKNESS, AND NOT LESS IN DEPTH THAN CUT END OF RAFTERS. RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AND NAILED TO RIDGE BOARD.
- ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATES ETC, TO BE CONNECTED AS PER FLORIDA BUILDING CODE 2017 RESIDENTIAL.
- AT OPENING IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS NOTED ON CHARTS ON STRUCTURAL S-2.
- WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MINIMUM DBL OR TRIPLE STUDS DEPENDING ON BEAM WIDTH AND LOADS UNDER FOUNDATION.
- AT AREAS WHERE TRUSSES REQUIRE HEADERS TO ADJACENT TRUSSES, PROVIDE HEADERS AS DETERMINED BY ACCEPTABLE ENGINEERING DESIGNS.



FREE STANDING
GARAGE
w/ STUDIO APT.

LIST OF DRAWINGS

- G1 COVER SHEET
- G2 FOUNDATION
FLOOR PLAN
FRAMING
- G3 ELEVATIONS
- G4 BLDG SECTIONS
- S1 DETAIL SHEET
- S2 DETAIL SHEET

Keystone Design LLC

5804 Gulf Rd Milton, FL 32583
404-488-3564 tmark2000@gmail.com
FL Arch # 98510, Arch Auth # 26003637

5/28/2019

SCALE: 1/4"
unless noted

TML

G1

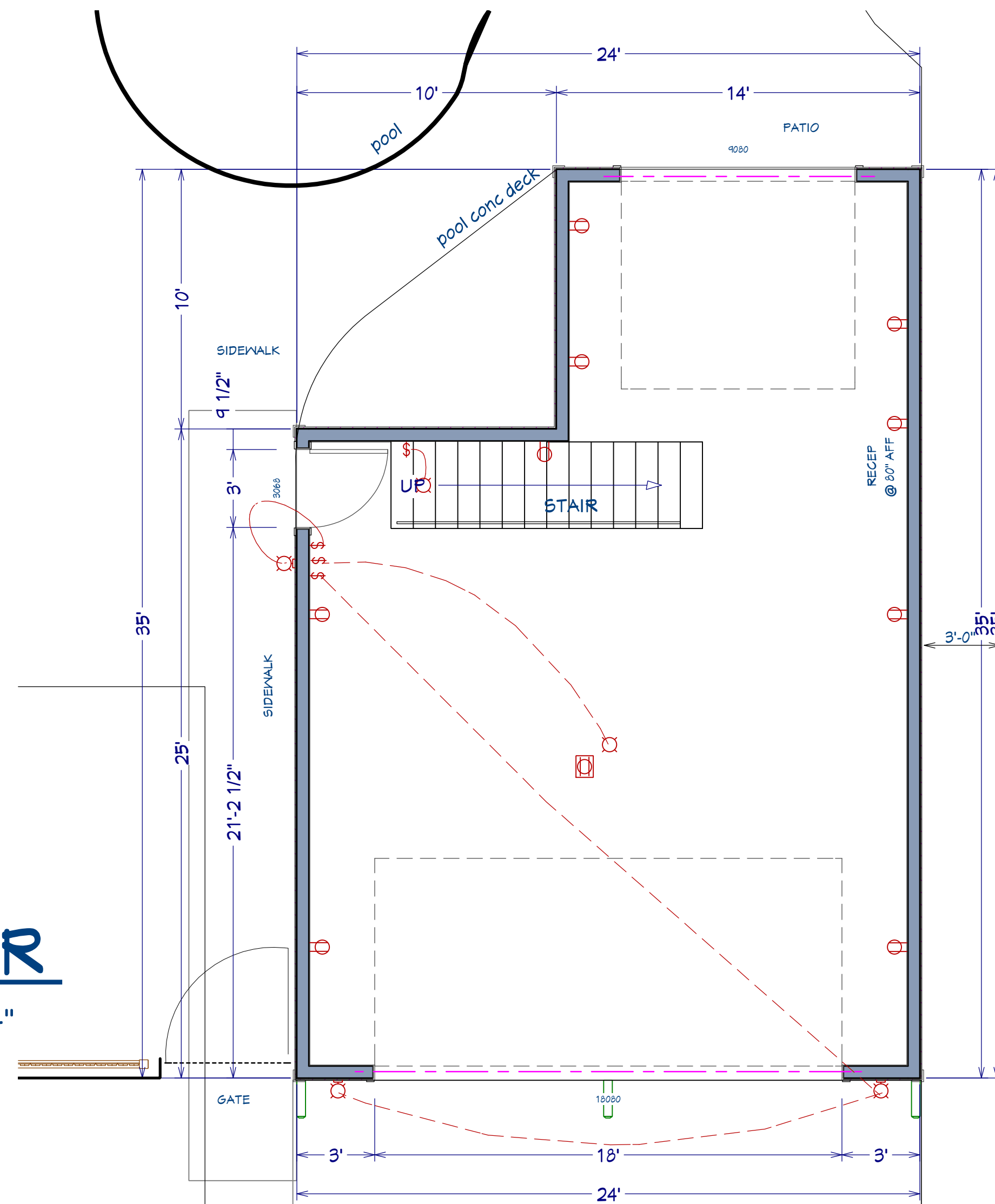
Bellar Garage

1620 E. Hernandez St, Pensacola, FL 32503
clevelandbellar@gmail.com 678-234-5186

REVISION TABLE		NUMBER	DATE	REVISED BY	DESCRIPTION

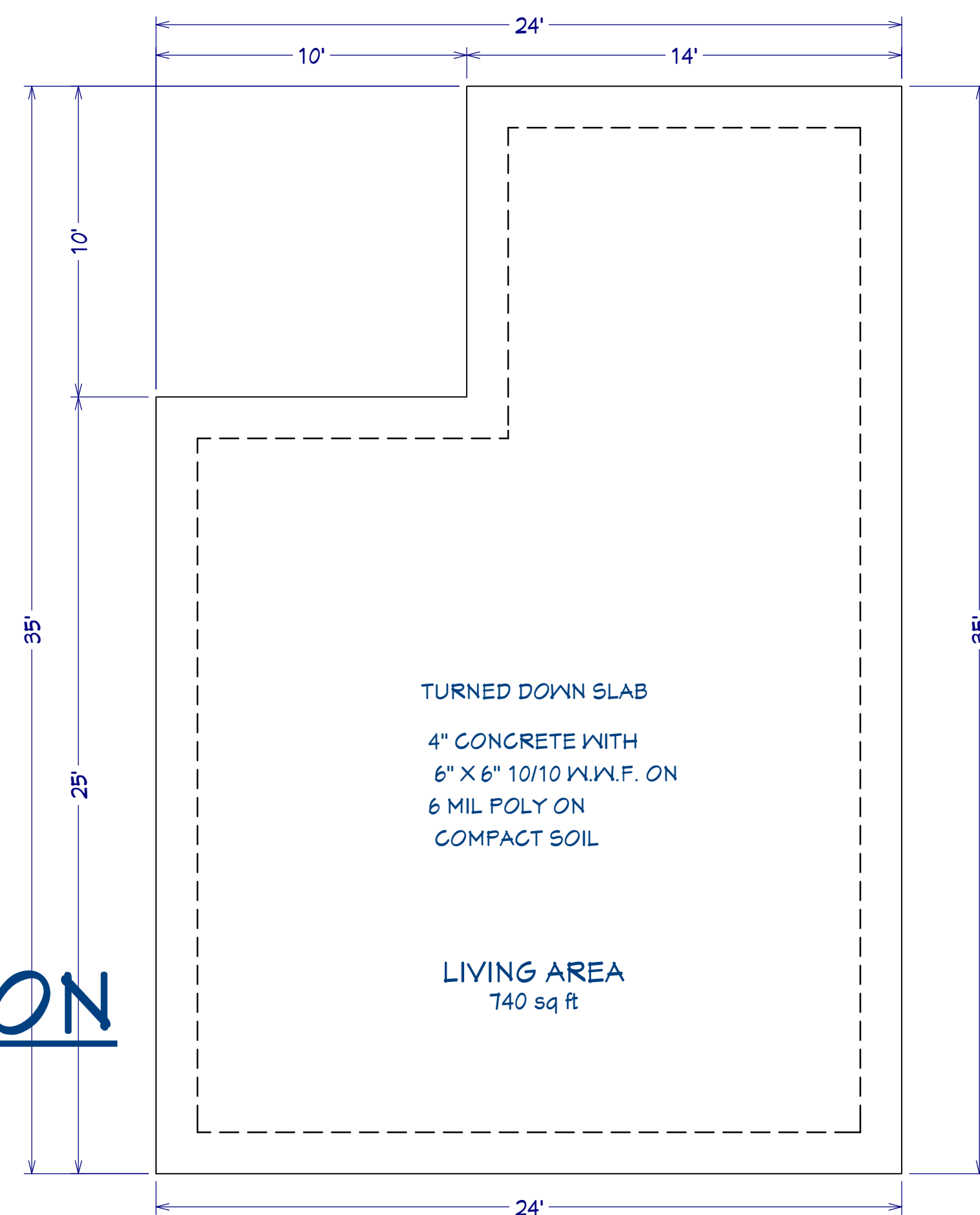
1st FLOOR

SCALE: 1'-0" = 1/4"



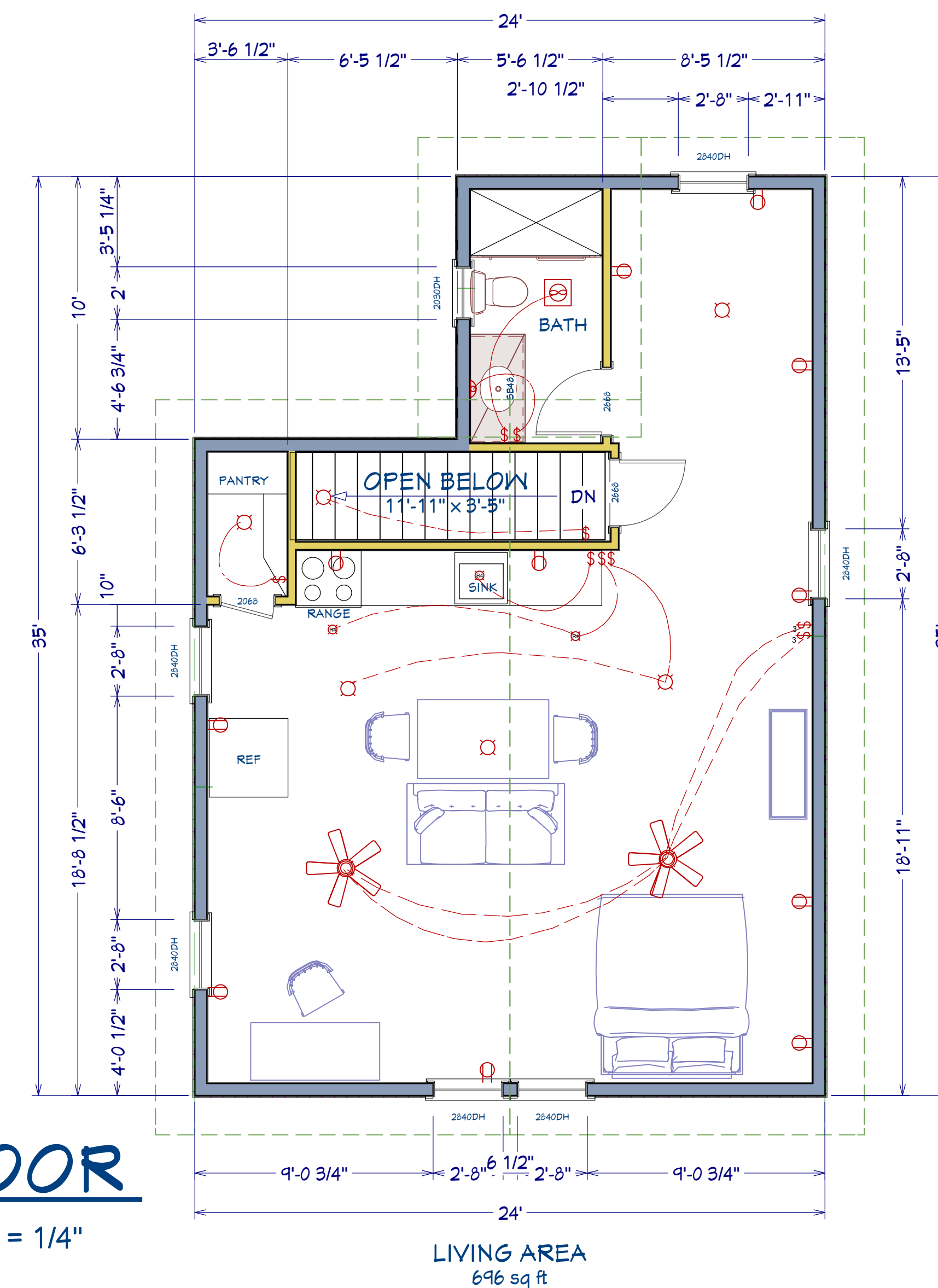
FOUNDATION

SCALE: 1'-0" = 1/4"



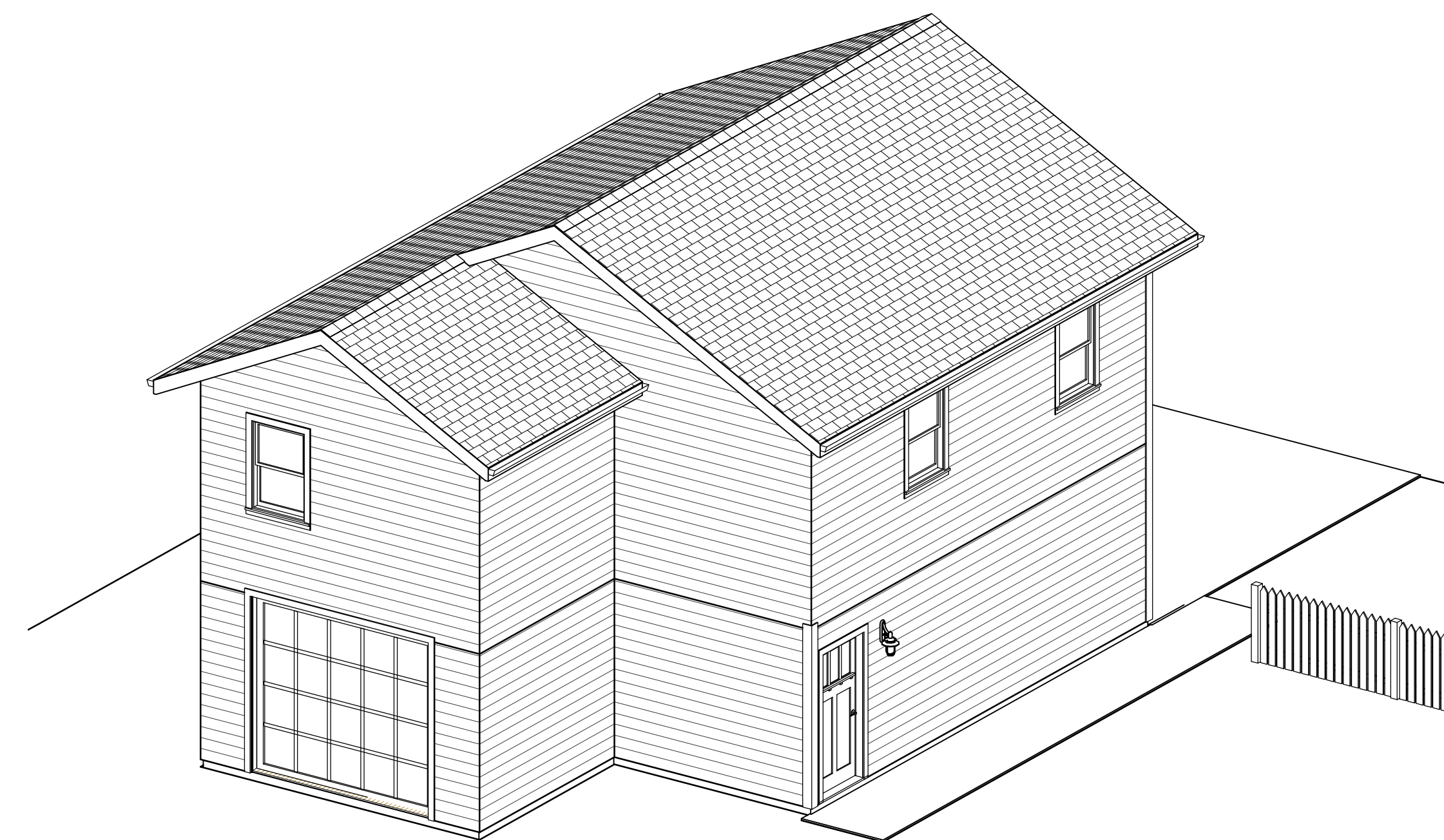
2nd FLOOR

SCALE: 1'-0" = 1/4"



VIEW OF REAR

NOT TO SCALE

[illegible]

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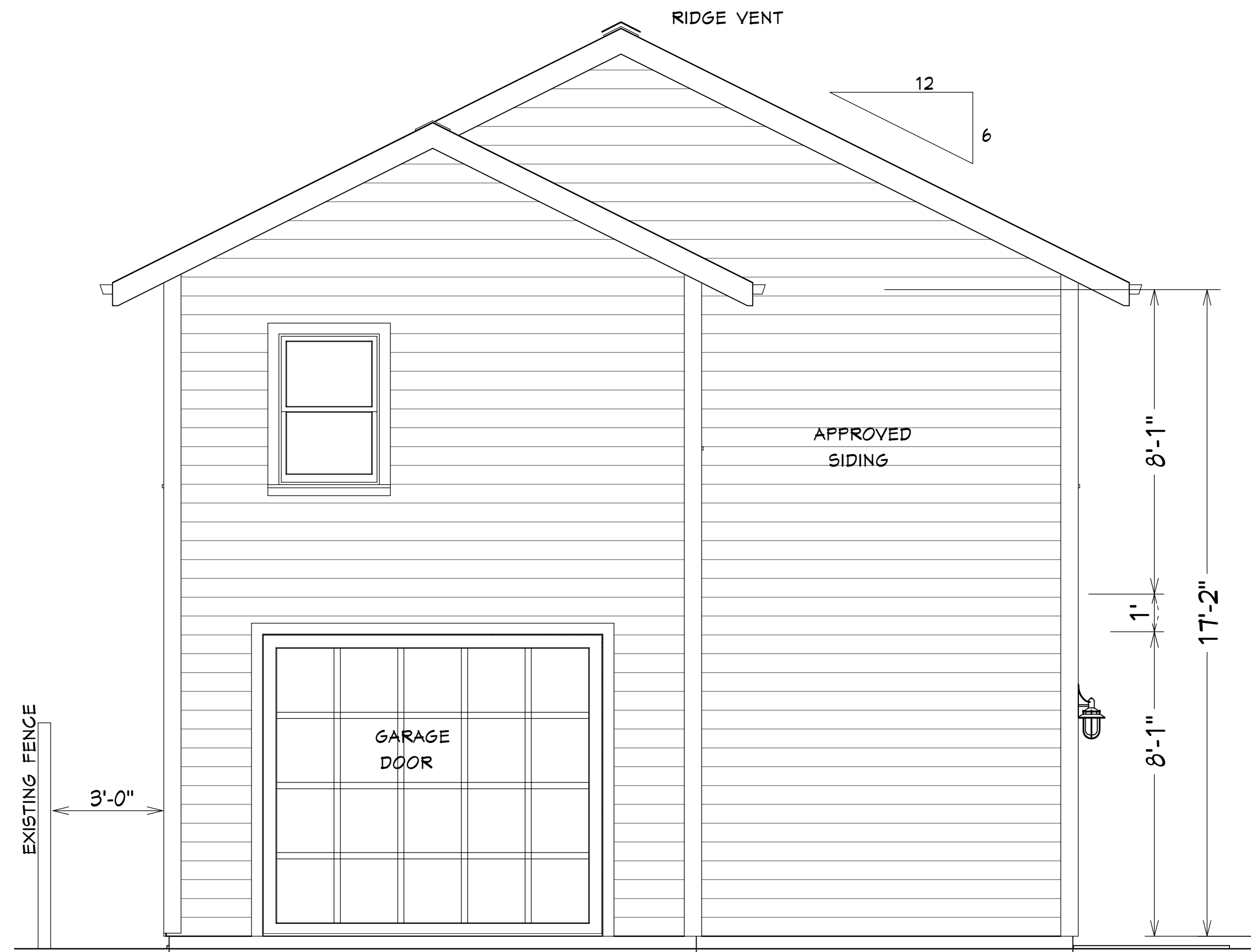
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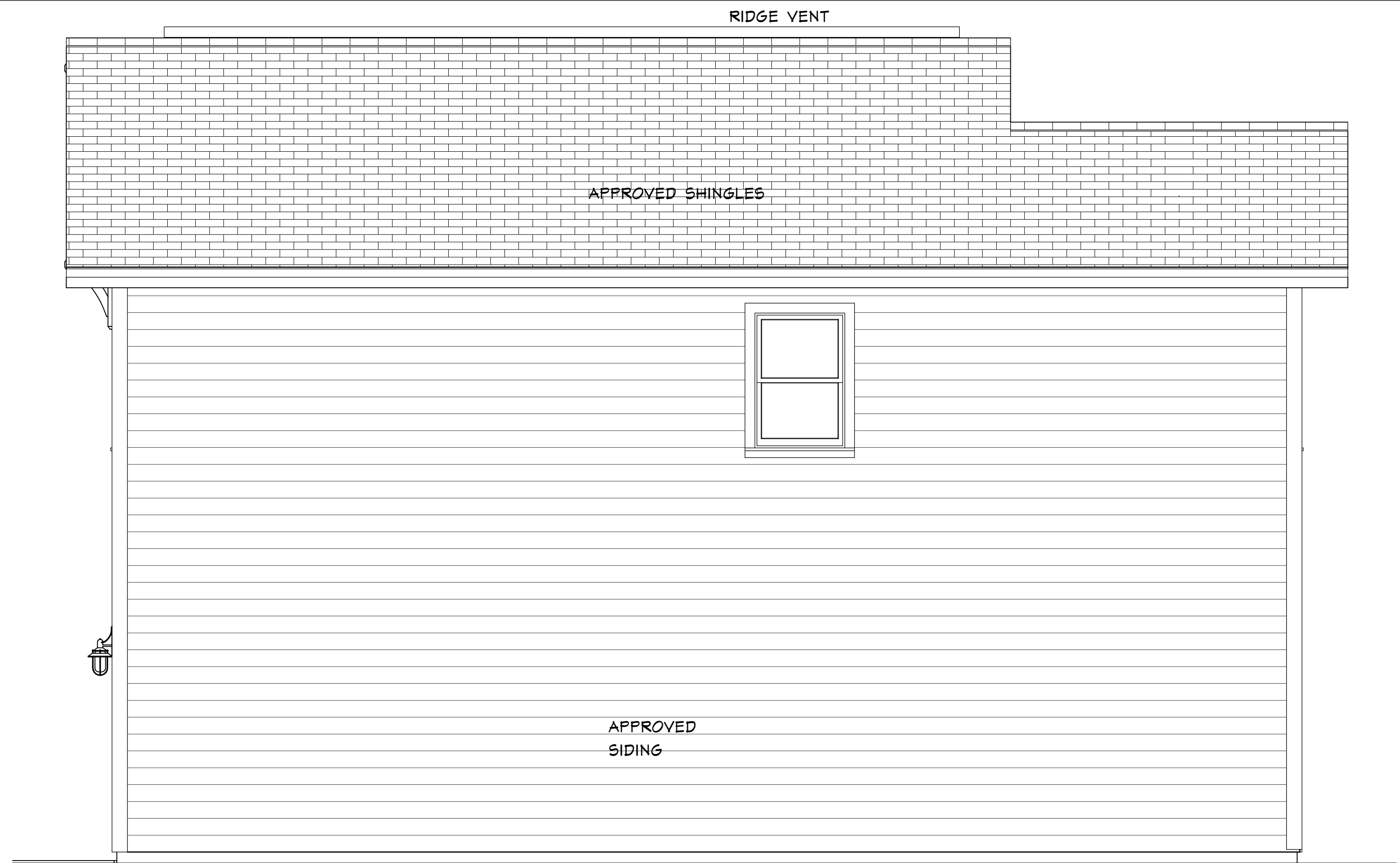
SCALE: 1/4"
unless noted

ML

G2



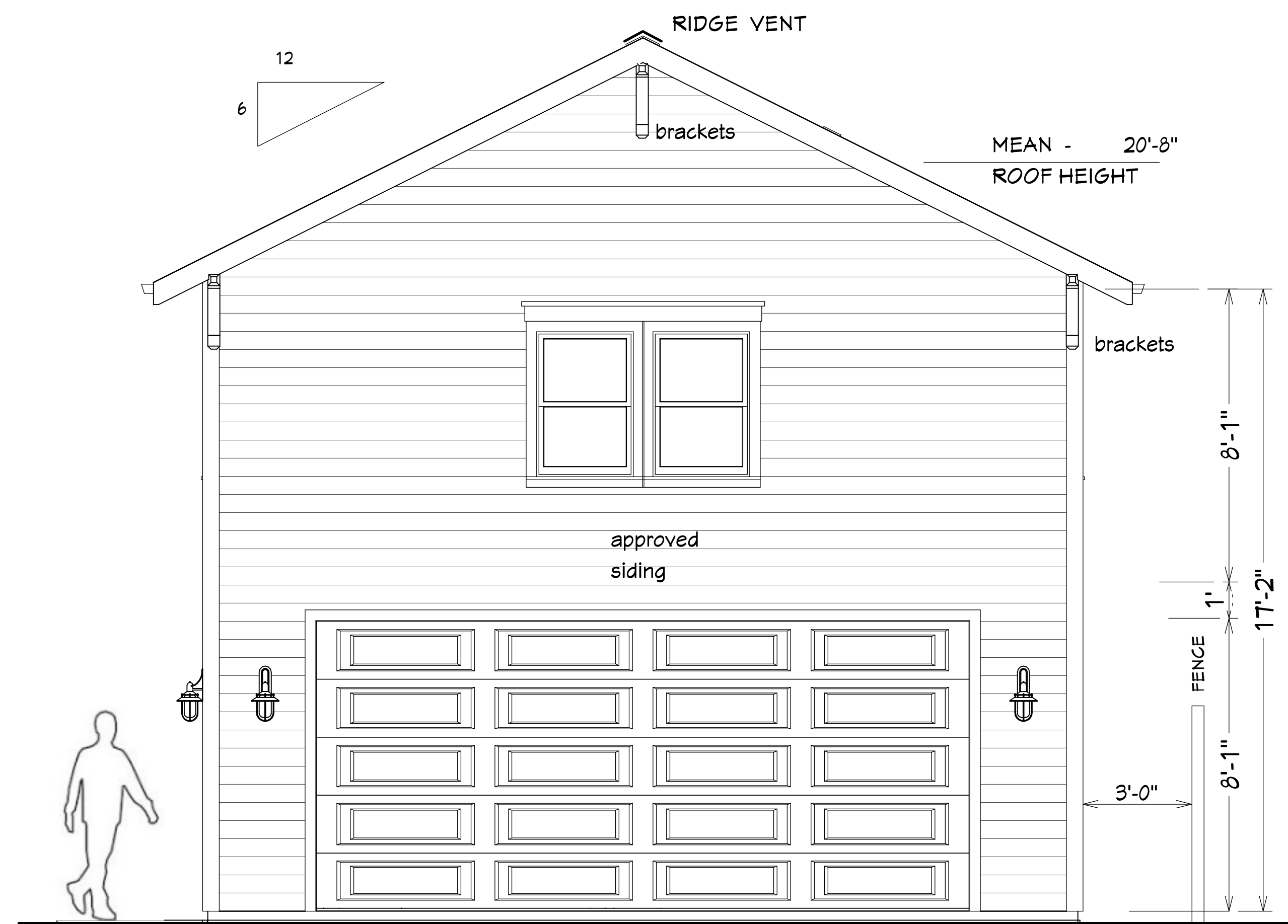
REAR
SCALE: 1'-0" = 3/8"



RIGHT
SCALE: 1'-0" = 3/8"



LEFT
SCALE: 1'-0" = 1/4"



FRONT ELEV
SCALE: 1'-0" = 3/8"

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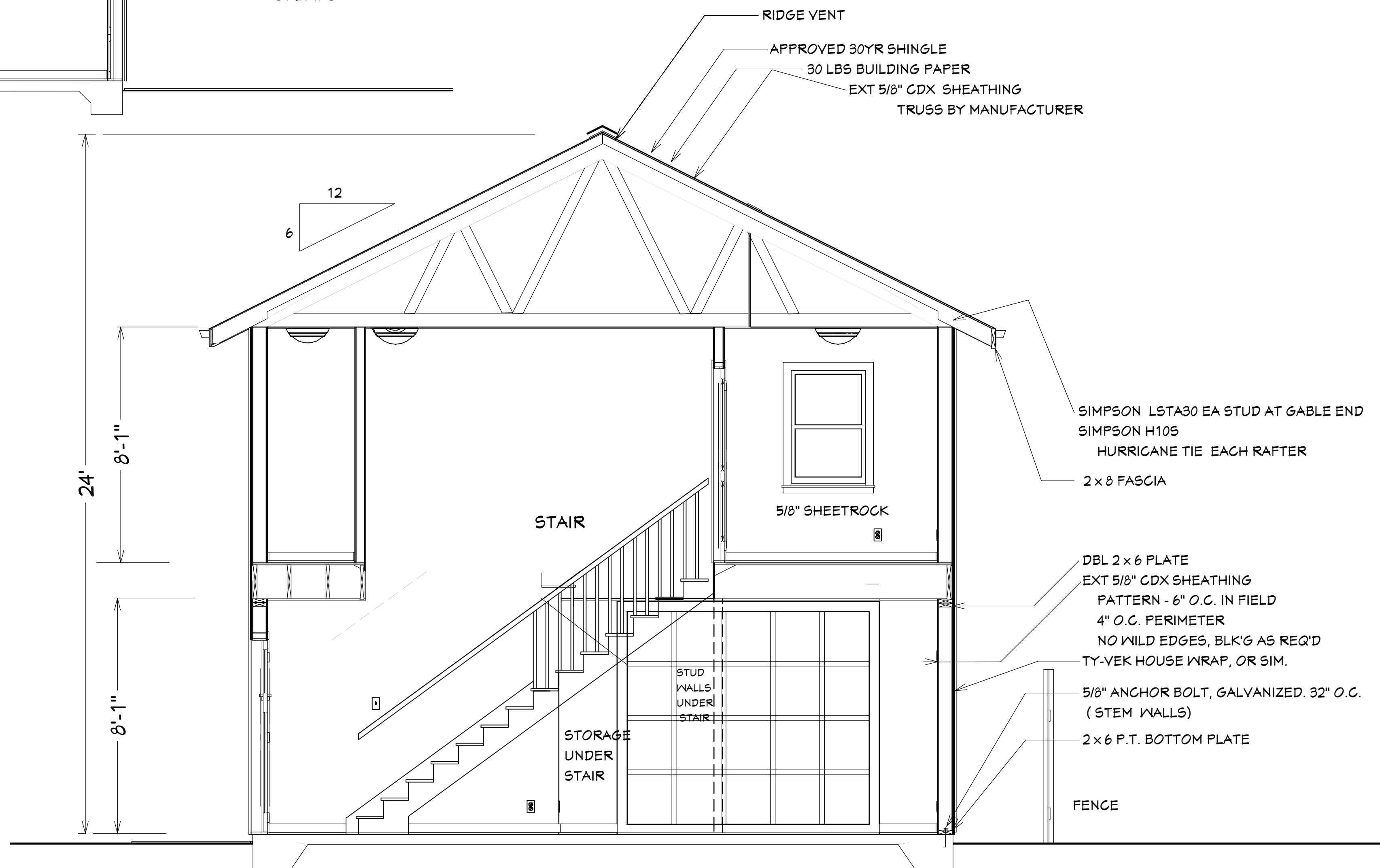
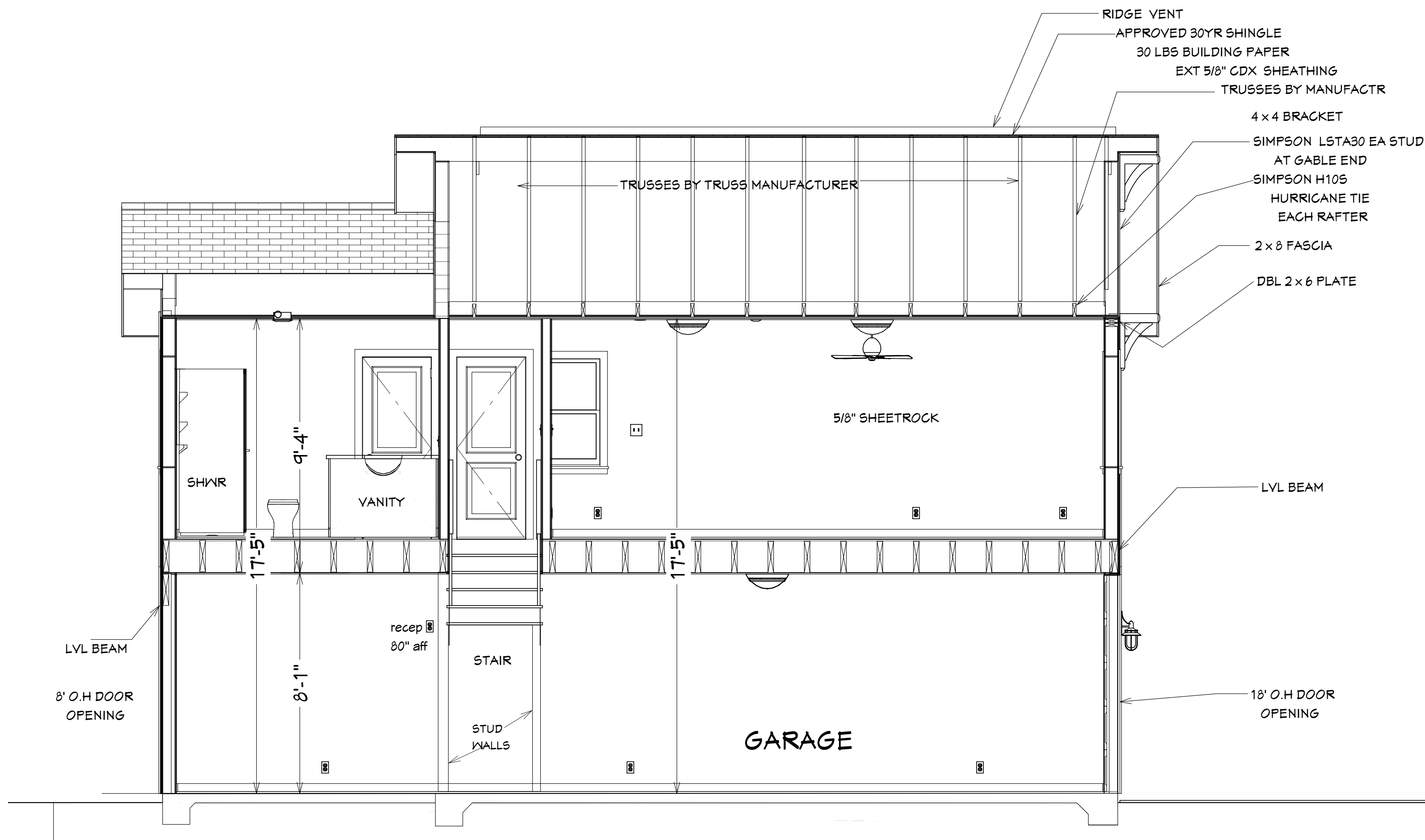
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SCALE: 1/4"
unless noted

TML

G3



SEE DETAIL SHEET
FOR HANGERS &
CONNECTORS

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

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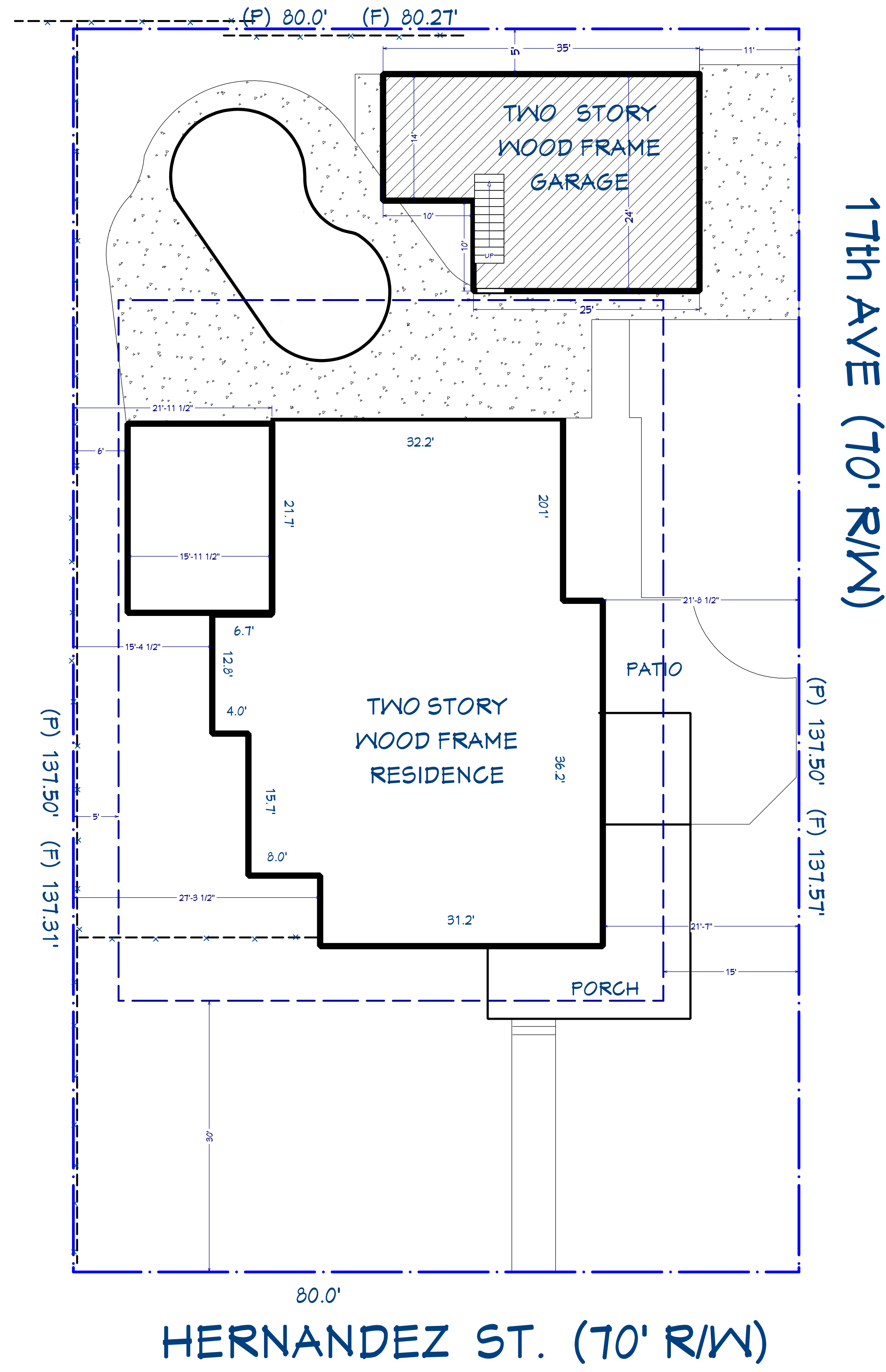
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5/28/2019

SCALE: 1/4"
unless noted

TML

G4



HERNANDEZ ST. (70' R/W)

SITE PLAN

SCALE: 1"= 1/8"

5/28/2019

SCALE: 1/4"
unless noted

TML

SITE

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REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION