



PLANNING SERVICES

Architectural Review Board

TO MEMBERS OF THE ARCHITECTURAL REVIEW BOARD AND APPLICANTS:

The Architectural Review Board will conduct a public hearing at **2:00 p.m. on Thursday, August 15, 2019**, in the Mason Conference Room, Mezzanine Level, Pensacola City Hall, 222 West Main Street, Pensacola, Florida to consider applications for renovations, alterations, demolitions, new construction and/or variances, in one or more of the following districts: Pensacola Historic District, North Hill Preservation District, Old East Hill Preservation District, Palafox Historic Business District, and Governmental Center District. **The applicant(s), or authorized agent, must be present for the public hearing in order for the Board to act upon their request.**

.AGENDA

QUORUM / CALL TO ORDER

APPROVAL OF MINUTES

The Architectural Review Board shall approve, or approve with changes, the minutes from the meeting held on **July 18, 2019**.

OPEN FORUM

NEW BUSINESS

Item 1	SW Corner of E. Romana Street & S. Ninth Avenue	PHD HC-1 / Brick Structures
---------------	--	--

New Construction

Jerry Sparkman, Sweet Sparkman Architects, is requesting *FINAL* approval for the construction of a three-story residence with a detached garage.

Item 2	1122 N. Baylen Street	NHPD PR-1AAA
---------------	------------------------------	-------------------------

Contributing Structure

Margaret and Lucy Lloyd are requesting approval for exterior modifications to a contributing structure to accommodate handicap access.

Item 3	316 N. Spring Street	PHBD R-NC
---------------	-----------------------------	----------------------

New Construction

Joseph Dhaiti is requesting *FINAL* approval for a two-story single family residence.

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143/www.cityofpensacola.com

Item 4 **309 N. 6th Avenue** **OEHPD**
Contributing Structure **OEHR-2**
Jonathan Harrington is requesting approval for exterior modifications to a contributing structure.

Item 5 **820 E. LaRua Street** **OEHPD**
Contributing Structure **OEHR-1**
Alicia and Daniel Ahern are seeking a Variance to increase the minimum required west side yard setback from 5 feet to 3.8 feet to accommodate a rear addition.

Item 6 **118 S. Palafox Street** **PHBD**
Contributing Structure **C-2A**
The Saenger Theater is seeking approval to install hardware to attach hurricane panels, as needed, during inclement weather.

ADJOURNMENT

GENERAL INFORMATION: All persons having an interest in the above are invited to attend. Applicants are hereby notified to be present or have an authorized agent attend the meeting. Any discussions and/or presentations made by an authorized agent shall be binding.

ADA STATEMENT: The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs, and activities. Please call 435-1675 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

APPEAL STATEMENT: If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any such evidence upon which the appeal is to be based.

REVIEW OF BOARD DECISIONS: Any person aggrieved by a decision of the Board may, within fifteen (15) days thereafter, apply to the City Council for review of the Board's decision. A written notice shall be filed with the City Clerk requesting City Council to review said decision. If the applicant obtains a building permit within the fifteen-day time period specified for review of a board decision, said permit may be subject to revocation and any work undertaken in accordance with said permit may be required to be removed.

VARIANCE APPEAL: If denied a variance by the Board, the petitioner has thirty (30) days from the date of the meeting to appeal the decision in accordance with Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally, aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Planning Services Division and Attorney of the City of Pensacola must be notified in writing of an appeal within five (5) days of the application being made to the Circuit Court. If the Planning Services Division and City Attorney have not received a copy of the notice of appeal within thirty-five (35) days of the date of the meeting at which the variance was denied, the petitioner shall be notified by the Building Official that they have ten (10) days to remove or correct the violation.

Sincerely,



Gregg Harding, RPA
Historic Preservation Planner
Secretary to the Board

PLANNING SERVICES

Architectural Review Board

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

July 18, 2019

MEMBERS PRESENT: Chairman Carter Quina, Susan Campbell-Hatler, Derek Salter, George Mead

MEMBERS ABSENT: Michael Crawford, Nina Campbell, Anna Fogarty

STAFF PRESENT: Gregg Harding, Historic Preservation Planner, Leslie Statler, Planner, Heather Lindsay, Assistant City Attorney, Ross Pristera, Advisor

OTHERS PRESENT: Dan Ahern, Nicole Endacott, Michael Boles, C. Ray Jones, Lou M. Courtney, Connie L. Formby, Phil Christensen, David Alsop, John Marshall, Bruce Block, Antonio Rhodes, Ron Helms, J Veal

CALL TO ORDER / QUORUM PRESENT

Chairman Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present and introduced Heather Lindsay, Assistant City Attorney.

APPROVAL OF MINUTES

Mr. Salter made a motion to approve the June 20, 2019 minutes, seconded by Chairman Quina, and it carried unanimously.

OPEN FORUM – Chairman Quina explained the Board procedures to the audience and asked for speakers, and there were none.

NEW BUSINESS

Item 1 **820 E. LaRua Street** **OEHPD**
Variance **OEHR-1**

Action taken: Application withdrawn.

Alicia and Daniel Ahern are seeking a Variance to increase the minimum required west side yard setback from 5 feet to 2 feet to accommodate a rear addition.

Ms. Ahern presented to the Board and stated the variance was in order to keep the original foundation and roofline intact in order to add an addition. Chairman Quina advised the Board was to evaluate the variance according to the 7 variance criteria points, and Ms. Ahern felt they had met all of them. She pointed out they were trying to make the property appropriate for aging in place; if they did not get the variance, they couldn't make the bathroom large enough to accommodate them. They were seeking to remove the back porch and part of the kitchen, coming off the original footprint.

Mr. Mead stated OEHPD referenced the adjacent property with respect to being unique but did not think that applied. He noted their house was built to a 2' setback which was not uncommon in that

time. However, he was concerned about the detriment to others by extending the building further back and wanted to know about the uses of the adjacent property. Ms. Ahern stated the property had been uninhabited since 2004 and owned by an out-of-town military couple who used it as an itinerant place for military personnel, and it had been for sale around 14 years. She also advised there was a large building adjacent to the fence. Mr. Harding confirmed the use of the property as residential, and proper notification was given including newspaper, postcard and signage notifications. Mr. Mead asked what would happen if they did not use the existing foundation; Ms. Ahern stated it would change the width of the hallway and make the shower smaller. She also pointed out the variance was actually more like 18". Mr. Mead pointed out a 10" variation in the wall line. Mr. Harding advised the drawings depicted the house at 2.4' away from the property line, but staff's interpretation of the plans was that the house was not exactly parallel to the property line and thought the variance should be opened up to 2' in case the back portion of the addition encroached further on the setbacks. Chairman Quina noted they were placing a one-car garage on the rear property line; Mr. Harding confirmed there was no setback on the front or rear yards. Mr. Mead was mindful that the house was not parallel to the property line but was not certain they had met all the variance factors and was concerned there was no information on the impact of the adjacent property; a depiction of the relationship would be helpful. Ms. Ahern advised the adjacent property was a derelict property and suspected the shed was not permitted. Mr. Salter stated in looking at the plans, he found it hard to justify that the addition could not work unless the variance was granted; he felt an addition could work with some minor modifications and did not see the variance as necessary for an addition to the house. He pointed out many historical structures had jogs in the rear, and there were several ways to do them; he did not see the necessity of building the addition in line with the existing structure. Chairman Quina pointed out sometimes a distinction between structures was a good thing. The Board then viewed the adjacent property via Cityview. **Mr. Mead then made a motion that on the packet submitted, he did not find that they had met the requirements of Item 4 of the application regarding the detriment to the general welfare of others or to the property rights of others in the vicinity particularly in regard to the adjoining property; secondly, it did not meet the requirement in Item 2 that the present setback requirements would not allow the use contemplated under the Code; he did not think the requirement to meet the setbacks with this type of addition was going to be inherently detrimental to that use. He moved to deny the application without prejudice in order for the applicant to resubmit an application covering those points. The motion was seconded by Mr. Salter.** Ms. Lindsay pointed out to the Board that if they denied this request, the applicant would not be able to return for one year, and suggested possibly tabling the item. Mr. Mead advised the Board's experience in these circumstances where there were requirements under the Code, the Board allowed liberal withdrawal so the applicant could reapply without the penalty, but it had to be done in writing. Ms. Lindsay clarified if they withdrew the application, they could resubmit a more complete application based on the feedback they received from the Board; Mr. Harding advised there was no timeframe on this procedure. Ms. Courtney then addressed the Board in Mr. Wagley's absence. She stated they would welcome the Ahern's back into the neighborhood and valued their contribution but was concerned they did not meet all the variance requirements. She preferred seeing a survey depicting how the house sits on the property and really appreciated when these houses take a jog which tells the story of the structure. Ms. Ahern pointed out this was a new addition and nothing historical about it. **The applicant requested a 3-minute conversation before returning to the Board.** Chairman Quina advised the Board could still table this request but needed to know within 30 days; if a decision had not been made, the decision was automatically approved. **Staff asked for a short recess to confer. At this time, the applicant withdrew the application.**

Item 2 **820 E. LaRua Street** **OEHPD**
Contributing Structure **OEHR-1**

Action taken: Withdrawn (Board moved to Item 3 – application withdrawn).

Alicia and Daniel Ahern are requesting *FINAL* approval for exterior modifications to a contributing structure including a rear addition, a detached garage, and replacement fencing.

Item 3 **300 W. Gonzalez Street** **NHPD**
Contributing Structure **PR-1AAA**

Action taken: Approved.

Nicole Endacott is requesting approval for exterior modifications to a contributing structure. Ms. Endacott presented to the Board. Mr. Mead noted there was no plan view of the pavers, and Ms. Endacott pointed out the plan on the screen. Chairman Quina stated the North Hill comments were favorable. Mr. Salter asked about approval of the fiberglass doors, and Chairman Quina stated the fiberglass doors had more detail, and it was hard to obtain wood; fiberglass had been allowed on new construction in North Hill, and the existing door was steel and not original. **Ms. Campbell-Hatler made a motion to approve, seconded by Mr. Mead. With no speakers, the motion carried unanimously.**

Item 4 **219 E. Intendencia Street** **PHD**
Contributing Structure **HC-1 / Brick Structures**

Action taken: Approved.

Michael Boles is requesting approval for exterior modifications at a contributing structure. The applicant is seeking approval to replace an existing broken asphalt driveway with pavers. The new driveway will extend along the east property line for approximately 91 feet and will be approximately 13 feet at its widest. The pavers will be laid in a geometric pattern and bound by Acme Brick Courtyard Harvest. In addition, three planters will be inset along the west side of the new driveway.

Mr. Boles presented to the Board. **Mr. Mead made a motion to approve as presented, seconded by Ms. Campbell-Hatler, and it carried unanimously.** It was clarified that Engineering would review this proposal since it involved a driveway.

Item 5 **714 E. LaRua Street** **OEHPD**
Contributing Structure **OEHR-2**

Action taken: Approved with comments.

Frank Daughtry is requesting *FINAL* approval for a two-story duplex and a detached garage at a contributing structure. Mr. Daughtry presented to the Board and stated it took two years to place this home on the National Register of Historic Places. He addressed the concerns of the OEHPD and felt the Queen Anne asymmetric arrangement for this structure was completely correct. He emphasized the windows were 2 over 2, and the siding would match the existing structure. Regarding the finished floor elevation at 18" he stated he was building next to a contributing structure with accommodations for an elderly person. He went on to thank Ms. Statler, Mr. Harding and Mr. Bilby for taking time to review the project to ensure it met Code. In order to meet the requirements, they defined the building as a two-story duplex, which meant on each floor there would be a small kitchenette, and each floor would be classified as a single unit. The accessory building in the rear also met all the requirements. He provided illustrations of the Jeld Wen windows and fiberglass doors along with the Wayne Dalton fiberglass garage doors with carriage door hardware. The Timberline shingles would also match the existing.

Chairman Quina advised the mullions needed to be seen on the surface of the glass but did not have to be true divided light. Mr. Salter wanted to clarify that Mr. Daughtry was proposing what he would

classify as 2 sash over 2 sash instead of the 4 over 4 as shown; Mr. Daughtry advised it would be 2 over 2. He assured the siding on the entire structure would be novelty. Mr. Mead addressed the dormers, and the end gables on the house and suggested something to give the gable more presence and less window, and Mr. Daughtry agreed. Chairman Quina noted the east elevation showed two doors, and Mr. Daughtry stated the purpose was to have curtains for privacy, and the extra door was good access and added to the asymmetry.

Ms. Courtney addressed the Board and explained that Old East Hill appreciated the fact the home was placed on the National Register and the fact the architect considered some of their suggestions. She pointed out there were last minute changes last month as well as this month which led to some confusion. She stated the only asymmetrical portion was the doors, and the windows were drawn 4 over 4 instead of 2 over 2 as suggested to complement the original house. She also suggested the 16-light windows be reduced to 12-light in the dormer.

Mr. Pristera advised the dormer in the garage did not add much and suggested it be eliminated. Also, the Queen Anne's did have irregularities, but he did not see the reason for the second floor door since people could exit through the curtain. Chairman Quina suggested French doors, and Mr. Daughtry agreed. Mr. Harding advised any changes could be approved in an abbreviated review but a motion to include those aspects could be formulated. Mr. Daughtry confirmed the siding was novelty wood siding. Ms. Campbell-Hatler explained the Board had discussed reduction of windows, French doors and removal of a dormer. At this time, Mr. Daughtry commented on his exchange with Ms. Courtney that architectural training was a hard thing to do, and it takes a long time to get good at it. Mr. Salter explained that you don't have to be a good architect to appreciate good well-balanced design. **Ms. Campbell-Hatler made a motion to approve with the change in reducing the size of the windows in the dormer for more space, changing the double doorway to a double French door, and removing the dormer from the garage. Mr. Salter amended to clarify the new windows would be 2 over 2, and it was accepted. The motion was seconded by Mr. Mead, and it carried unanimously.**

Item 6

220 W. Gadsden Street

NHPD

New Construction

PR-2

Action taken: Approved with comments.

Jim Veal is requesting *FINAL* approval for a new single-family residence. Mr. Veal addressed the Board and stated they had made revisions to the plans in response to the Board and North Hill. He advised the package should meet requirements for final approval. They added double columns over the pebble-dash stucco base; they propose to use a fiberglass stucco on the stem wall. The stairs are wide and roofline revisions were made according to comments from the Board and North Hill. They presented a detailed product selection. The only negative comment addressed the aluminum rails, and they were willing to use a composite material. He advised the plate height was 10' and there were no exposed rafter tails. The windows would be Jeld Wen Singleline which is a bonafide wood; their intent was to use a 3 over 1 product.

Mr. Pristera stated the Sanborn maps show the lot with a large two-story Victorian. Chairman Quina encouraged the applicant to go higher on the ceiling since there were very tall adjacent homes on the block. Mr. Veal explained the height from grade was 35". Mr. Pristera suggested a lot of the houses had the gable pushed forward and asked if they had considered moving the gable out to give it height. Mr. Veal stated his client's hope was to qualify for the hipped roof benefit in insurance, but they would be open to moving it out as far as possible. Regarding changing the railing, they planned to use a square baluster. Mr. Mead asked about a possible denial of aluminum railings in the North Hill comments, and Mr. Harding explained there had been a project approved where there was a comment to change the aluminum railing; in an abbreviated review, a composite was used.

C. Ray Jones addressed the Board and supported the partition of the property and the demolition of the former structure. He explained this area was the original North Hill, and the previous home was likely Victorian. He bought his property in 1975 and was the first to raise the flag to keep architectural integrity in the area. He referenced major projects on Spring Street and 9th Avenue, and while it took several ARB meetings, a much more appropriate design was obtained for both and also fit the neighborhoods much better. He asked about the driveway materials, and Mr. Veal explained the presumption at this time would be concrete, but they were open to other considerations. The proposed property division has yielded a positive impact with respect to the shared driveway, so the homes have rear entry garages and do not affect the streetscape. Chairman Quina asked if they had considered making this structure Victorian, and Mr. Veal stated his client preferred a simple house that blended into the neighborhood. Chairman Quina was surprised that North Hill didn't comment on the importance of the corner. Mr. Veal explained his client liked this look and they had endeavored to bring it to the level needed. He advised his client would consider raising the heel height and the roof height. Mr. Mead suggested a gable-skirted façade on the porch which might help with the insurance benefit. Mr. Veal did not remember seeing something quite like that in the neighborhood, and a shed roof was probably more appropriate. They could add one foot to the heel but emphasized they still needed the demolition permit, and this was their plan going forward. **Mr. Mead explained he was fine with the structure as is and then made a motion to approve with the applicant's willingness to substitute the indicated wood for the aluminum railing and to consider but not require raising the heel height. The motion was seconded by Mr. Salter, and it carried unanimously.**

Item 7 **125 S. Palafox Place** **PHBD**
Contributing Structure **C-2A**
Action taken: Approved.

Endry Properties LTD is requesting approval for exterior modifications to a contributing structure. Mr. Harding stated the attached signage would be evaluated in an abbreviated review. Mr. Endry presented to the Board and stated the building was built in 1881, and they added 4800 square feet to the rear of the building including an elevator, and totally remodeled the upstairs into office space. Meadows Jewelry had been located in this space for years, but it was now leased to a retail store. They want to remove the recessed door and make it flush with the building to eliminate the problems with outdoor occupants using it as a hideaway. The door would move forward three feet and some inches but still be slightly recessed from the building. Ms. Campbell-Hatler felt it was a good improvement and liked that it was slightly recessed and included additional windows. **Mr. Mead made a motion to approve, seconded by Ms. Campbell-Hatler who stated she liked that the door was not the same as other businesses. With no speakers, the motion carried unanimously.**

Item 8 **43 S. Palafox Place** **PHBD**
Contributing Structure **C-2A**
Action taken: Approved with window modifications.

Sam Marshall Architects is seeking approval for exterior modifications to a contributing structure. Mr. Marshall presented to the Board and stated the main reason for the work was because the south and west walls were in a state of eminent collapse. He indicated they would replace the walls with new footings and structural steel columns to brace the walls. An 8" wall would be faced with sheathing, waterproofed and faced with new painted brick. He explained they were emulating what was happening further up Palafox where storefronts had been remodeled. They were also creating the same entry pattern as on Palafox and adding more glass. Mr. Salter confirmed they were basically removing the south and west walls and asked about the Palafox location on the east side and any

proposed modifications to the exterior of that wall. Mr. Marshall pointed out there was an existing cast iron aluminum column which would be exposed with a wall built behind it for a logical transition at that corner from the new painted brick and stucco front on the Palafox elevation. This would be a very similar detail to the end of the block. He explained the stucco would wrap around the exposed column, with the new brick beginning on the south face running to the west. Mr. Salter asked if they would consider breaking up the horizontal window on the west elevation and southern corner into smaller square windows, and Mr. Marshall had no objection. **Mr. Mead made a motion to approve with the window modifications, seconded by Ms. Campbell-Hatler. With no speakers, the motion carried unanimously.**

Item 9

2 N. Palafox Street

PHBD

Contributing Structure

C-2A

Action taken: Approved with comments.

The UWF Historic Trust is requesting *FINAL* approval to install a large building wallscape on the east side of a contributing structure. Mr. Harding explained according to the LDC, this wallscape was considered signage. Mr. Pristera presented to the Board and advised he had informed the client that the logo and East Garden District lettering would have to be removed. He advised they were trying to tilt the map, and Ms. Campbell-Hatler thought the map itself was interesting but thought some type of orientation to show it was a map was preferable. Mr. Mead suggested taking the actual text of the historical map and say "Plan - Town of Pensacola - 1767" which simply identifies the map and could be lettered in the same typography as illustrated in the three panels. Ms. Campbell-Hatler thought having the wayfinding direction at the bottom right-hand corner would punctuate what it actually is. Mr. Harding then read the LDC definition of signage. Mr. Mead explained he could make the argument that it is not a sign because it is not attracting anyone to the thing that it is, because that thing that it is, is the place where you are; it is basically a "you are here" but 1767. Mr. Harding also explained it was an off-premise sign (off of the property) which was not allowed in this zone. Ms. Statler pointed out even though they were looking at it as a historic map and citing what might have been on it, there was also a development by that same name. Mr. Pristera advised they could remove the logo and lettering and enlarge the name of the map and the date. **Mr. Mead made a motion to approve, removing the East Garden District lettering, removing the logo and using the original text identifying the map "A Plan of the Town of Pensacola 1767" in an appropriate reconfigured way in the three-panel presentation with the same orientation of the map. Ms. Campbell-Hatler asked that the wayfinding arrow be scaled up at the bottom right. Mr. Mead agreed to that amendment. It was seconded by Ms. Campbell-Hatler, and with no speakers, it carried unanimously.**

Item 10

201 Zaragoza Street

PHD / PHBD

Contributing Structure

HC-1 / Brick Structures

Action taken: Approved.

The UWF Historic Trust is requesting approval for the installation of a new storefront door. Chairman Quina recused himself. Mr. Pristera stated this was part of a project where the UWF Engineering Department was coming into the Museum of Commerce with two very large milling machines which needed access to the building. They found two rooms being used for storage, and the doors were originally freight doors. They had always wanted to open these doors to make the building look active. They also wanted to use the frameless system since the doors needed security and water protection for storefront uses. He explained this would be the first step in activating that side of the building. He clarified the doors would be used as loading doors to get the machines into the building and then closed afterwards. Chairman Quina explained that eventually they wanted all glass doors, and the shutters

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: GH Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 1**
SW Corner of E. Romana Street & S. 9th Ave
PHD / HC-1 / Brick Structures
New Construction

BACKGROUND

Jerry Sparkman, Sweet Sparkman Architects, is requesting *FINAL* approval for the construction of a three-story residence with a detached garage.

The residence will be a contemporary aesthetic oriented towards bay and city views and will include green building systems and sustainability concepts. The proposed exterior incorporates architectural elements of regional Classic Revival, Frame Vernacular, and Shotgun House styles. The ground floor of the main structure will primarily consist of white, concrete columns. The second story will be covered by white stucco with impact resistant aluminum windows. The third story will also consist of impact resistant aluminum windows and balconies gated with aluminum guardrails and faced with composite Hardieplank® shiplap siding. The main house and garage will be painted "Simply White" and will be roofed by FiberTite® roofing systems. The garage will also have a standard steel door on the east elevation and a white C.H.I. flush panel garage door. Additional exterior materials include column uplighting and soffit recessed LED lighting. This item received conceptual approval in May 2019 with comments regarding the handling of the garage and a study of the eave height.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(A)(8) *PHD, New construction in the Historic District*
Sec. 12-2-10(A)(8)(c) *PHD, Lots within Privateer's Alley*
Sec. 12-2-12(B)(5)(j) *GRD-1, Architectural Review Standards with exception to Sec. 12-2-12(B)(5)(j)(5) Doors*

Aerial of SW Corner E. Romana Street & S. 9th Avenue.

SW Corner E. Romana Street & S. 9th Avenue (facing southwest)

**Architectural Review Board Application
 Full Board Review**

Application Date: 7/25/19

Project Address: SW Corner of E. Romana St. & S 9th Ave

Applicant: Jerry Sparkman

Applicant's Address: 2168 Main St. Sarasota Fl. 34237

Email: jsparkman@sweetsparkman.com **Phone:** 941-952-0084

Property Owner: Holly Benson

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The project consists of a new 3-story home located in the Pensacola Historic District. The new home will be a contemporary aesthetic design with an orientation towards the bay and city views and will incorporate green building systems and sustainability concepts into the design.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


 Applicant Signature

7/25/19
 Date

S 9TH AVE RESIDENCE



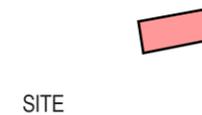
TABLE OF CONTENTS

COVER

- 1 SITE CONCEPT & CONCEPT DIAGRAM
- 2 SITE PHOTOGRAPHS
- 3 ARCHITECTURAL STYLES DIAGRAM
- 4 ARCHITECTURAL SITE PLAN
- 5 GROUND FLOOR PLAN
- 6 SECOND FLOOR PLAN
- 7 THIRD FLOOR PLAN
- 8 BUILDING ELEVATIONS
- 9 EAST ELEVATION AND SECTION
- 10 NORTH ELEVATION AND SECTION
- 11 SITE ELEVATIONS
- 12 ARB PAINT
- 13 ARB MATERIAL
- 14 ARB DOORS
- 15 ARB WINDOWS
- 16 ARB LIGHTING
- 17 ARB ROOF
- 18 ARB GARAGE DOORS
- 19 ARB LANDSCAPE PLAN
- 20 EXTERIOR RENDERINGS
- 21 EXTERIOR RENDERINGS

SITE LOCATION MAP

S 9TH AVE & E ROMANA ST
PENSACOLA, FL 32502



ARCHITECT

SWEET SPARKMAN ARCHITECTS
2168 MAIN STREET
SARASOTA, FLORIDA 34237

CONTACT: JERRY SPARKMAN - PRINCIPAL

941.952.0084 PHONE
941.952.0201 FAX

STRUCTURAL

RAC ENGINEERING INC.
129 HIGHPOINT DRIVE POINT BREEZE
FLORIDA, 32561

CONTACT: ROGER A. CRAFT, PE

850-712-8290 PHONE

MEP ENGINEER

H.M. YONGE & ASSOCIATES INC.
51 EAST GREGORY STREET
PENSACOLA, FLORIDA, 32502

CONTACT: HOWARD E. YONGE, PE

850-434-2661 PHONE
850-469-0102 FAX

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED
DUE TO REPRODUCTION

HISTORIC DISTRICT

S 9th AVE

SCALE: N.T.S
REF. SHEET:
DRAWN BY: A.R.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: SITE CONTEXT & CONCEPT DIAGRAM

EAST VIEWS

WEST VIEWS

ADMIRAL MASON
PARK

SCALE: N.T.S
REF. SHEET:
DRAWN BY: A.R.
DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE
PROJECT No: 19539
SUBJECT: SITE PHOTOGRAPHS

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

CLASSICAL REVIVAL

- BALANCED, SYMMETRICAL FACADE
- CENTRAL DOORWAY
- FULL HEIGHT PORCH

FRAME VERNACULAR

- SIMPLE RECTANGULAR PLAN
- FULL-HEIGHT WINDOWS
- DOUBLE PORCH

SHOTGUN HOUSE (VERNACULAR)

- SINGLE-ROOM WIDTH
- FULL WIDTH FRONT PORCH

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARCHITECTURAL STYLES DIAGRAM

SCALE: N.T.S

REF. SHEET:

DRAWN BY: A.R.

DATE: 07/25/19

SUPPLEMENTAL INSTRUCTION

SKETCH No.

3

(C) COPYRIGHT 2013 SWEET SPARKMAN ARCHITECTS, INC.

E ROMANA ST

B

C

D

E

F

141' - 0"

16' - 0"

16' - 0"

16' - 0"

16' - 0"

16' - 0"

LAMP POST

A

4.5' WIDE CONCRETE SIDEWALK WITH BRICK BORDERS

OAK TREE

EXISTING LANDSCAPE

LAMP POST

OAK TREE

OAK TREE

3' SETBACK
PEBBLE WALKWAY

1

DETACHED GARAGE
103

2' - 8"

5'X10'

3'X6'-8"

PAVED WALKWAY

3'X6'-8"

FOYER
100 UP

33' - 6"

5' SETBACK

CONCRET DRIVEWAY

PWDR ROOM
102

ELEV.
101

CAST IN PLACE CONCRETE

CREPE MYRTLE TREE

CAST CONCRETE COLUMN

2

3' SETBACK

PROPERTY LINE

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: GROUND FLOOR PLAN

SEE LANDSCAPE SHEET 19 FOR DETAILS

DRIVEWAY

FUTURE GARAGE

FUTURE RESIDENCE

CREPE MYRTLE TREE

SCALE: 3/32" = 1'-0"

6.5' WIDE CONCRETE SIDEWALK WITH BRICK BORDERS

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

FL AA26000657

SWEET SPARKMAN ARCHITECTS

2168 MAIN STREET SARASOTA, FL 34237 T 941.952.0084 F 941.952.0201

SKETCH No.

© COPYRIGHT 2013 SWEET SPARKMAN ARCHITECTS, INC.

1 SECOND FLOOR PLAN
3/32" = 1'-0"

PROPERTY LINE

5' SETBACK

PROPERTY LINE

61' - 0"

3' SETBACK

3' SETBACK

FUTURE GARAGE

A

BEDROOM 2
207

BEDROOM 3
210

B

BATHRM
211

CLOSET
209

141' - 0"
16' - 0"

LAUNDRY
206
D W

BATH RM
208

C

E ROMANA ST

ELEV.
201

D

DN

LIBRARY
200

FUTURE
RESIDENCE

E

UP

64' - 0"

CLOSET
204

CLOSET
205

F

OWNERS
BEDROOM
202

OWNERS
BATHRM
203

33' - 6"
41' - 1"

3' - 9"

3' - 10"

1

2

SKETCH No.

SCALE: 3/32" = 1'-0"

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: SECOND FLOOR PLAN

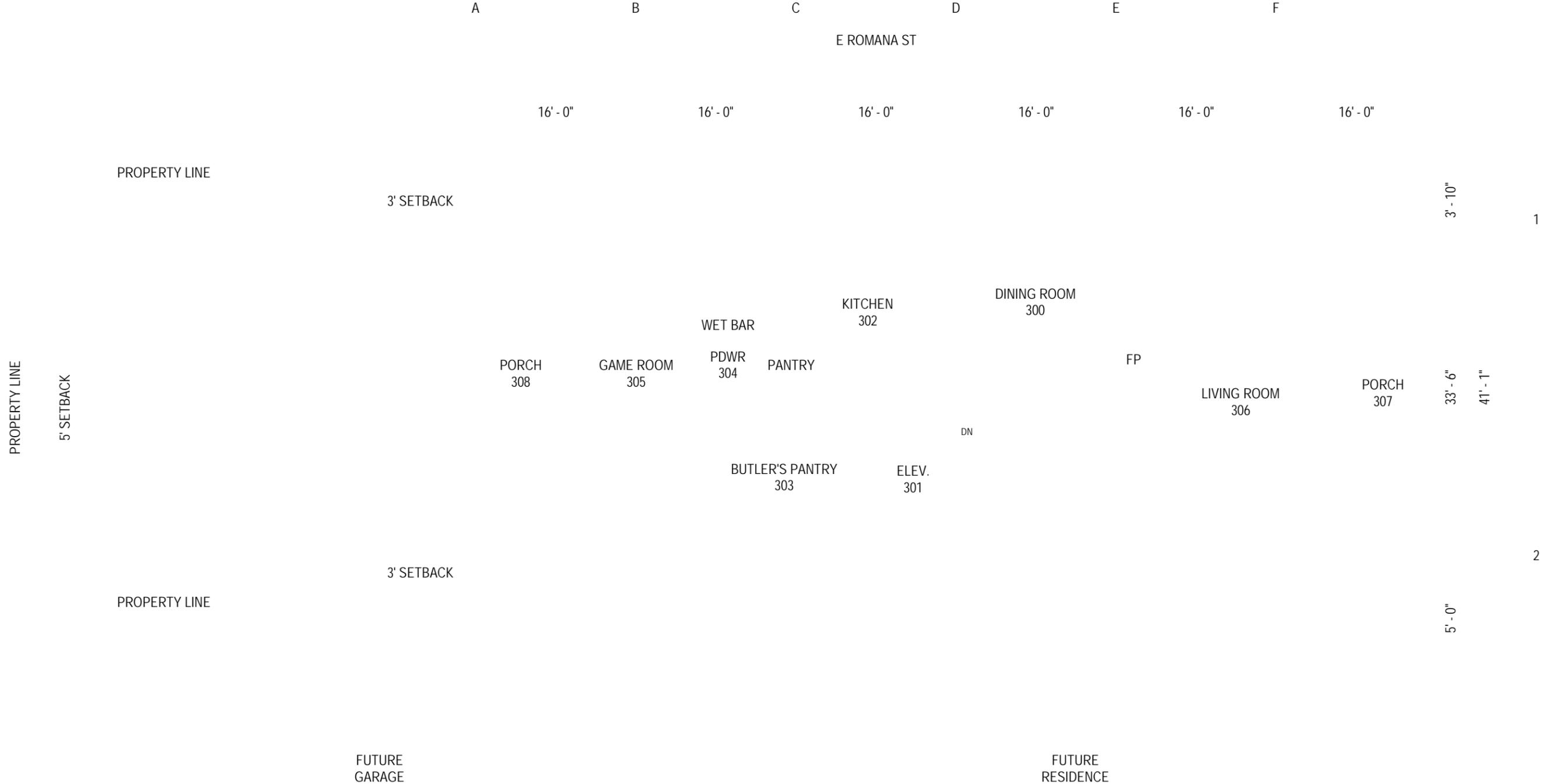
FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

© COPYRIGHT 2013 SWEET SPARKMAN ARCHITECTS, INC.

1 THIRD FLOOR PLAN
3/32" = 1'-0"



FL AA26000657
SWEET SPARKMAN ARCHITECTS
2168 MAIN STREET SARASOTA, FL 34237 T 941.952.0084 F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE
PROJECT No: 19539
SUBJECT: THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"
REF. SHEET:
DRAWN BY: B.B.
DATE: 07/25/19

PROPERTY LINE
2

PROPERTY LINE
1

PROPERTY LINE

F E D C B A

PROPERTY LINE

TOP OF ROOF
44' - 0"

PROPOSED IMPACT RESISTANT
ALUMINUM WINDOW
PROPOSED IMPACT RESISTANT
ALUMINUM DOOR
PROPOSED METAL GUARDRAIL

PROPOSED IMPACT RESISTANT
ALUMINUM EGRESS WINDOW

WHITE STO STUCCO SYSTEM

SECOND FLOOR F.F.E.
17' - 0"

WHITE CAST
CONCRETE COLUMN

GROUND FLOOR F.F.E.
0' - 6"

CAST IN
PLACE
CONCRETE

TOP OF ROOF
44' - 0"

PROPOSED IMPACT RESISTANT
ALUMINUM WINDOW
PROPOSED SIDING AS SELECTED
PROPOSED METAL GUARDRAIL

THIRD FLOOR F.F.E.
30' - 0"

PROPOSED IMPACT RESISTANT
ALUMINUM WINDOW
WHITE CAST CONCRETE COLUMN

SECOND FLOOR F.F.E.
17' - 0"

WHITE STO
STUCCO SYSTEM

CONCRETE

GROUND FLOOR F.F.E.
0' - 6"

2 EAST BUILDING ELEVATION
1/16" = 1'-0"

3 NORTH BUILDING ELEVATION
1/16" = 1'-0"

PROPERTY LINE
1

PROPERTY LINE
2

A B C D E F

PROPERTY LINE

TOP OF ROOF
44' - 0"

PROPOSED IMPACT RESISTANT
ALUMINUM WINDOW
PROPOSED IMPACT RESISTANT
ALUMINUM DOOR
PROPOSED METAL GUARDRAIL

THIRD FLOOR F.F.E.
30' - 0"

PROPOSED IMPACT RESISTANT
ALUMINUM EGRESS WINDOW

WHITE STO STUCCO SYSTEM

SECOND FLOOR F.F.E.
17' - 0"

WHITE CAST
CONCRETE COLUMN

CAST IN PLACE
CONCRETE

GROUND FLOOR F.F.E.
0' - 6"

PROPOSED
SIDING AS
SELECTED

PROPOSED
METAL
GUARDRAIL

WHITE CAST
CONCRETE
COLUMN

WHITE STO
STUCCO SYSTEM

WHITE
STUCCO

CAST IN PLACE
CONCRETE

PROPOSED
IMPACT
RESISTANT
GARAGE DOOR

TOP OF ROOF
44' - 0"

1 WEST BUILDING ELEVATION
1/16" = 1'-0"

4 SOUTH BUILDING ELEVATION
1/16" = 1'-0"

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"

REF. SHEET:

DRAWN BY: B.B

DATE: 07/25/19

SUPPLEMENTAL INSTRUCTION

SKETCH No.

8

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

1 EAST ELEVATION
1/16" = 1'-0"

2 EAST SECTION
1/16" = 1'-0"

2

1

TOP OF ROOF
44' - 0"

TOP OF PARAPET
45' - 0"

THIRD FLOOR F.F.E.
30' - 0"

SECOND FLOOR F.F.E.
17' - 0"

EXISTING
ARCH WAY

GROUND FLOOR F.F.E.
0' - 6"

E ROMANA ST

BENTON RESIDENCE

2

1

2' - 4"

TOP OF ROOF
44' - 0"

TOP OF PARAPET
45' - 0"

2' - 0"

THIRD FLOOR F.F.E.
30' - 0"

11' - 8"

2' - 0"

SECOND FLOOR F.F.E.
17' - 0"

11' - 0"

2' - 0"

GROUND FLOOR F.F.E.
0' - 6"

16' - 6"

DINING ROOM
300

LIBRARY
200

FOYER
100

E ROMANA ST

BENTON RESIDENCE

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: EAST ELEVATION & SECTION

SCALE: 1/16" = 1'-0"

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

SKETCH No:

© COPYRIGHT 2013 SWEET SPARKMAN ARCHITECTS, INC.

ADMIRAL MASON PARK

1 NORTH ELEVATION
1/16" = 1'-0"

S 9th AVE

F E D C B A

TOP OF ROOF
44' - 0"

THIRD FLOOR F.F.E.
30' - 0"

SECOND FLOOR F.F.E.
17' - 0"

GROUND FLOOR F.F.E.
0' - 6"

ADMIRAL MASON PARK

2 NORTH SECTION
1/16" = 1'-0"

S 9th AVE

F E D C B A

PORCH
307

LIVING
ROOM
306

DINING
ROOM
300

KITCHEN
302

PWDR
ROOM
304

GAME
ROOM
305

PORCH
308

MASTER
BEDROOM
202

MASTER
CLOSET
205

LIBRARY
200

BEDROOM 2
BATHROOM
206

BEDROOM 2
207

FOYER
100

ELEV.
101

DETACHED
GARAGE
103

TOP OF ROOF
44' - 0"

THIRD FLOOR F.F.E.
30' - 0"

SECOND FLOOR F.F.E.
17' - 0"

GROUND FLOOR F.F.E.
0' - 6"

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: NORTH ELEVATION & SECTION

SCALE: 1/16" = 1'-0"

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

SUPPLEMENTAL INSTRUCTION

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

1 EAST SITE ELEVATION
1/32" = 1'-0"

MONTGOMERY RESIDENCE

BONNELL RESIDENCE

BOOTHE RESIDENCE

47' - 0"

44' - 0"

37' - 6"
43' - 4"

E ROMANA ST

BENTON RESIDENCE

2 SOUTH SITE ELEVATION
1/32" = 1'-0"

S 9th AVE

60' - 7"

44' - 0"

FUTURE HAWKSHAW DEVELOPMENT

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: SITE ELEVATIONS

SCALE: 1/32" = 1'-0"

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

SKETCH No:

© COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PRODUCT LITERATURE: MAIN HOUSE AND GARAGE,
EXTERIOR PAINT SCHEDULE ; BENJAMIN MOORE SIMPLY WHITE

PRODUCT LITERATURE: MAIN HOUSE, CUSTOM ALUMINUM RAILINGS
PAINT SELECTION BENJAMIN MOORE, GRAPHITE

SCALE:

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB PAINT AND RAILINGS

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PRODUCT LITERATURE SHEET: EXTERIOR MATERIAL SELECTION FOR MAIN HOUSE AND GARAGE,
STO STUCCO

PRODUCT LITERATURE: EXTERIOR MATERIAL SELECTION
FOR MAIN HOUSE COMPOSITE HARDIEPLANK SHIPLAP
SIDING, WIDTH 8 1/4", 7" EXPOSURE

PRODUCT LITERATURE: EXTERIOR MATERIAL SELECTION FOR
MAIN HOUSE CAST IN PLACE CONCRETE

SCALE:

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB MATERIAL

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PRODUCT LITERATURE: MAIN HOUSE, NORTH ELEVATION CUSTOM ENTRY DOOR
FORMS AND SURFACES, BONDED METAL DOOR

PRODUCT LITERATURE: MAIN HOUSE, WEST ELEVATION GROUND FLOOR ENTRY DOOR,
SECOND AND THIRD FLOOR PORCH ENTRY DOORS. EFCO SERIES D200

SCALE: PROJECT: S 9TH AVE RESIDENCE
REF. SHEET: PROJECT No: 19539
DRAWN BY: B.B. SUBJECT: ARB DOORS
DATE: 07/25/19

FL AA26000657
SWEET SPARKMAN
ARCHITECTS
2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

PRODUCT LITERATURE: MAIN HOUSE AND GARAGE, WINDOW SELECTION
ES 8000 T

PRODUCT LITERATURE: MAIN HOUSE AND GARAGE,
WINDOW MULLION PAINT SCHEDULE; BENJAMIN MOORE, GRAPHITE

SCALE:

REF. SHEET:

DRAWN BY: B. B.

DATE: 07/25/19

SUPPLEMENTAL INSTRUCTION

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB WINDOWS

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

PRODUCT LITERATURE: MAIN HOUSE EXTERIOR COLUMN UPLIGHTING
ALLIANCE GL100-LED6W

PRODUCT LITERATURE: MAIN HOUSE, EXTERIOR SOFFIT RECESSED LIGHTING,
NICOR 4 WATT 2" LED

PRODUCT LITERATURE: GARAGE, EXTERIOR SCONCE LIGHTING,
SONNEMAN L'ARC. TEXTURED WHITE

SCALE:

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB LIGHTING

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PRODUCT LITERATURE: MAIN HOUSE AND GARAGE ROOF MATERIAL SELECTION, FIBERTITE ROOF SYSTEM

SCALE:

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB ROOF

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

PRODUCT LITERATURE: GARAGE, EAST ELEVATION ENTRY DOOR
JELD-WEN 36"X80"

PRODUCT LITERATURE: FLOOD VENTS

PRODUCT LITERATURE: GARAGE DOOR
C.H.I. FLUSH PANEL 9' X 7' WHITE

SCALE:

REF. SHEET:

DRAWN BY: B.B.

DATE: 07/25/19

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB GARAGE DOORS, FLOOD VENTS

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET T 941.952.0084
SARASOTA, FL 34237 F 941.952.0201

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.

CONCRETE
WALKWAY

"RIPPLED LANDSCAPE"
TURF W/8-12" UNDULATIONS

EXISTING TREES

CONCRETE WALKWAY WITH
MEXICAN PEBBLE BANDING

EXISTING SIDEWALK

MEXICAN PEBBLE PERIMETER
WALKWAY

CONCRETE COLUMNS

PROPERTY LINE

PERIMETER WALKWAY, MATERIAL
SELECTION, BLACK MEXICAN PEBBLE

ENTRY FOYER

PWDR
ROOM

ELEV.

PROPERTY LINE

PRECEDENT 1

SOFFIT ABOVE

WELL UP LIGHTING ON EAST AND WEST
SIDES OF COLUMNS

PROPERTY LINE

CONCRETE ARCHES
ABOVE

OUTDOOR SCULPTURE
ON CONCRETE PLINTH

PRECEDENT 2

LANDSCAPE PLAN
SCALE: 3/32" = 1'-0)

FL AA26000657

SWEET SPARKMAN
ARCHITECTS

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201

PROJECT: S 9TH AVE RESIDENCE

PROJECT No: 19539

SUBJECT: ARB LANDSCAPE PLAN

SCALE:

REF. SHEET:

DRAWN BY: Author

DATE: 07/19/19

SUPPLEMENTAL INSTRUCTION

SKETCH No.

(C) COPYRIGHT 2013 SWEET
SPARKMAN ARCHITECTS, INC.



E FACADE VIEW



NE PEDESTRIAN VIEW



NE PERSPECTIVE VIEW



N FACADE VIEW

2168 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201
FL AA26000857

N

NOT FOR CONSTRUCTION
PROJECT TITLE: S 9TH AVE RESIDENCE
PROJECT ADDRESS: PROJECT ADDRESS
ISSUED FOR: ARCHITECTURAL REVIEW BOARD SUBMISSION
07.25.19

REV	DESCRIPTION	DATE
GRAPHIC SCALE:	0"	1"
SCALE:		1" = 30'-0"
PROJECT MANAGER:	C.F.	
DRAWN BY:	B.B.	
A/E OF RECORD:	J.S.	
PROJECT NO.:	19539	
SHEET TITLE:		

EXTERIOR
RENERINS



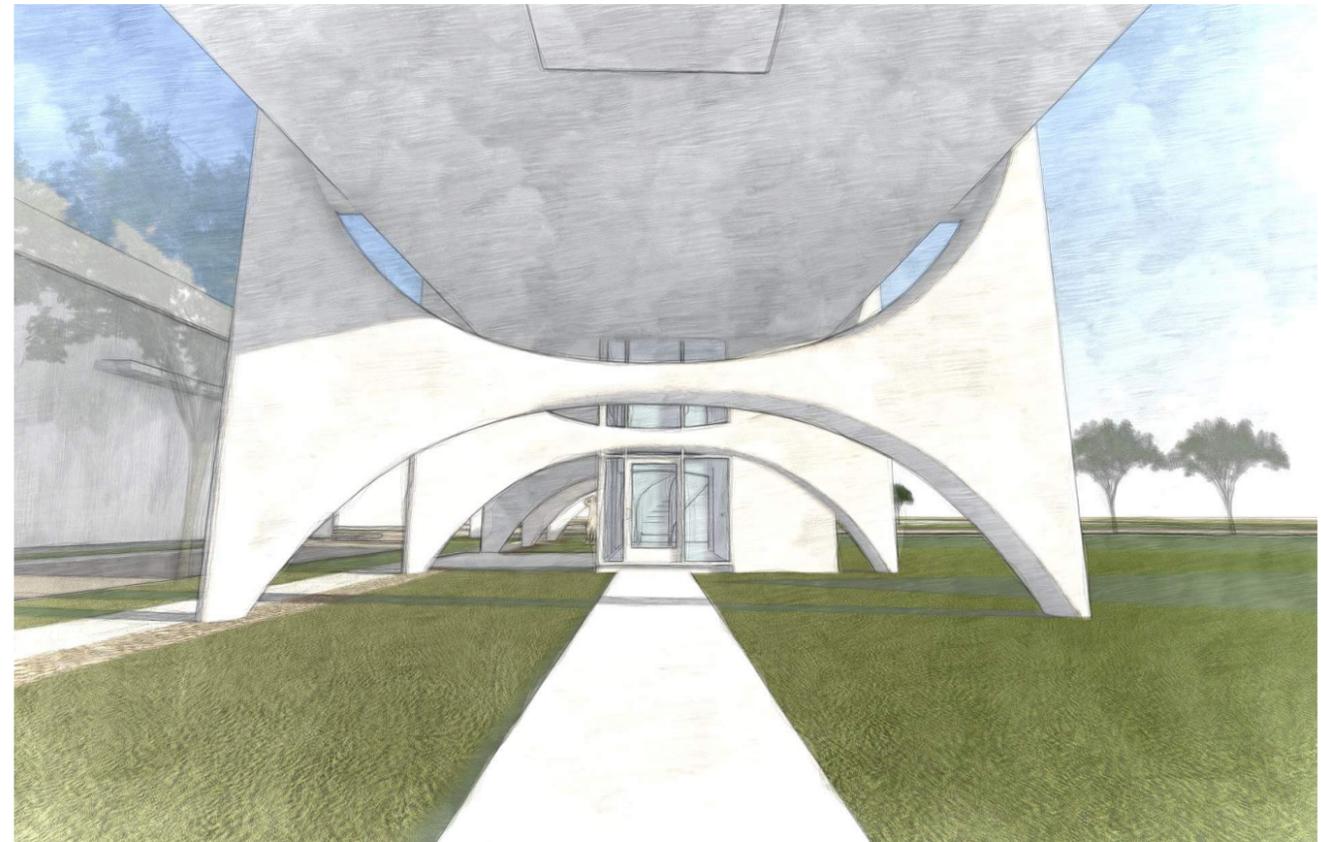
NW AERIAL VIEW



NW PEDESTRIAN VIEW



NW PERSPECTIVE VIEW



W PERSPECTIVE VIEW

2188 MAIN STREET
SARASOTA, FL 34237
T 941.952.0084
F 941.952.0201
FL AA26000857

N

NOT FOR CONSTRUCTION
PROJECT TITLE: S 9TH AVE RESIDENCE
PROJECT ADDRESS: PROJECT ADDRESS
ISSUED FOR: ARCHITECTURAL REVIEW BOARD SUBMISSION
07.25.19

REV	DESCRIPTION	DATE
GRAPHIC SCALE:	0"	1"
SCALE:		1" = 30'-0"
PROJECT MANAGER:	C.F.	
DRAWN BY:	B.B.	
A/E OF RECORD:	J.S.	
PROJECT NO:	19539	
SHEET TITLE:		

EXTERIOR RENDERINGSNW AERIAL



PLANNING SERVICES

THE UPSIDE *of* FLORIDA

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: *GH* Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 2
1122 N. Baylen Street
NHPD / PR-1AAA
Contributing Structure**

BACKGROUND

Margaret and Lucy Lloyd are requesting approval for exterior modifications to a contributing structure to accommodate handicap access.

The applicant is proposing to add a new driveway and parking pad at the rear of the property. A lift as well as new rear steps and rails will be added to the rear deck for direct access from the proposed parking pad to the house. To accommodate the lift and ADA access, the entire wooden deck will be raised four inches. All additions to the deck, including the new rails and replacement lattice, will be wood. The existing walkway from the sidewalk to the deck will also be reconfigured and a walkway between the sidewalk and paved street will be added. Brick from the previous patio will be re-used in this location. Please note that the current plans and proposed driveway reflect changes required from City Engineering and Public Works.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(B)(6) *NHPD, Additions to contributing structures in the North Hill preservation district*

Sec. 12-2-10(B)(5) *NHPD, Regulations and guidelines for any development*

EVERYTHING THAT'S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / **T:** 850.435.1670 / **F:** 850.595.1143/www.cityofpensacola.com

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
 1009a = =

Site No. ES 706
 Site Name Crosby, L.G. House 830 = a = Survey Date 8005 820 = =
 Address of Site: 1122 N. Baylen St. Pensacola, Fl. 32501 905 = =
 Instruction for locating SE corner N. Baylen St. and W Brainard St. 813 = =
 Location: Belmont Tract 58 port 9a10 868a = =
subdivision name block no. lot no.
 County: Escambia 808 = =
 Owner of Site: Name: Lloyd, Robert B. and Elspeth A.
 Address: 1122 N. Baylen St.
Pensacola, Fl. 32501 902 = =
 Type of Ownership Private 848 = = Recording Date 8005 832 = =
 Recorder:
 Name & Title: Gantzhorn, Alan; Guedez, Susan a
 Address: HPPB a a

Condition of Site: Integrity of Site: Original Use Residence 818 = =
 838 = =
 Check One Check One or More
 Excellent 863 = = Altered 858 = = Present Use Residence 850 = =
 Good 863 = = Unaltered 858 = = Dates: Beginning + 1913 844 = =
 Fair 863 = = Original Site a 858 = = Culture/Phase Americana a 840 = =
 Deteriorated 863 = = Restored () (Date:) () 858 = = Period 20th Century 845 = =
 Moved () (Date:) () 858 = =

NR Classification Category: District a 916 = =

Threats to Site:

Check One or More
 Zoning () 878 = = Transportation () 878 = =
 Development () 878 = = Fill () 878 = =
 Deterioration () a) () 878 = = Dredge () a) 878 = =
 Borrowing a () a) 878 = a
 Other (See Remarks Below) 878 = =

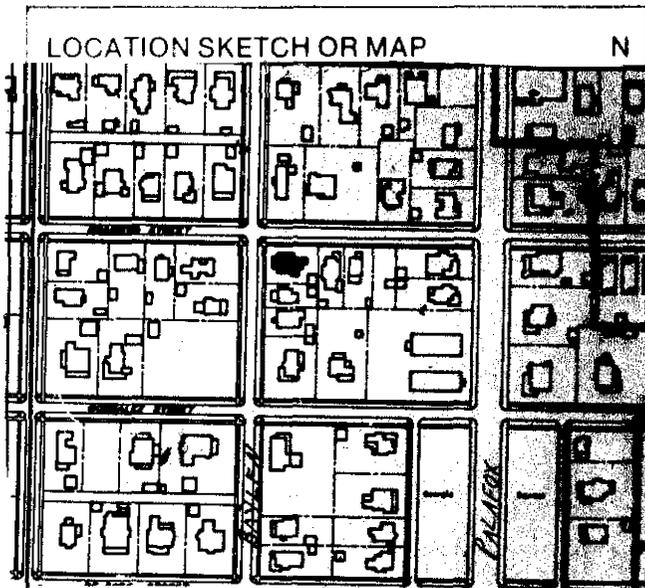
Areas of Significance: Architecture, History a a 910 = =

Significance:

1122 N. Baylen was built in 1913 and housed a variety of families. In 1919 J.E. Davis Yonge aquired the house, but Dr. Clinton W. D'Alemberte and his family resided there according to the 1922 Pensacola City Directory. Yonge had moved in by 1928. He had a law firm, Carter and Yonge in the Blount Bldg.

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame vernacular 964 ==
 PLAN TYPE T 966 ==
 EXTERIOR FABRIC(S) Wood: clapboard and butt shingles 854 ==
 STRUCTURAL SYSTEM(S) Wood frame 856 ==
 PORCHES W/ 1 story jerkinhead, 2 bay, access from W
 942 ==
 FOUNDATION: Piers: brick continuous stuccoed 942 ==
 ROOF TYPE: Intersecting jerkinhead gables 942 ==
 SECONDARY ROOF STRUCTURE(S): cross gable 942 ==
 CHIMNEY LOCATION: center ridge 942 ==
 WINDOW TYPE: DHS, 3/1, wood 942 ==
 CHIMNEY: brick, stucco 882 ==
 ROOF SURFACING: Composition shingle: butt 882 ==
 ORNAMENT EXTERIOR: exposed rafters 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 1½ 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude:
 " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==
UTM Coordinates:			
Zone	Easting	Northing	890 ==

Photographic Records Numbers HPPB P80.22 Fr. 26 860 ==
NH4-5A, 6A, 7A

Contact Print



1122 N. Baylen Street



**Architectural Review Board Application
Full Board Review**

Application Date: 7-23-2019

Project Address: 1122 N. Baylen Street
Applicant: Margaret Lloyd & Lucy Lloyd
Applicant's Address: 5780 North Placita Angelica, Tucson, AZ 85718
Email: margaretL7@comcast.net **Phone:** 520-990-5578
Property Owner: Elsbeth A. Lloyd

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

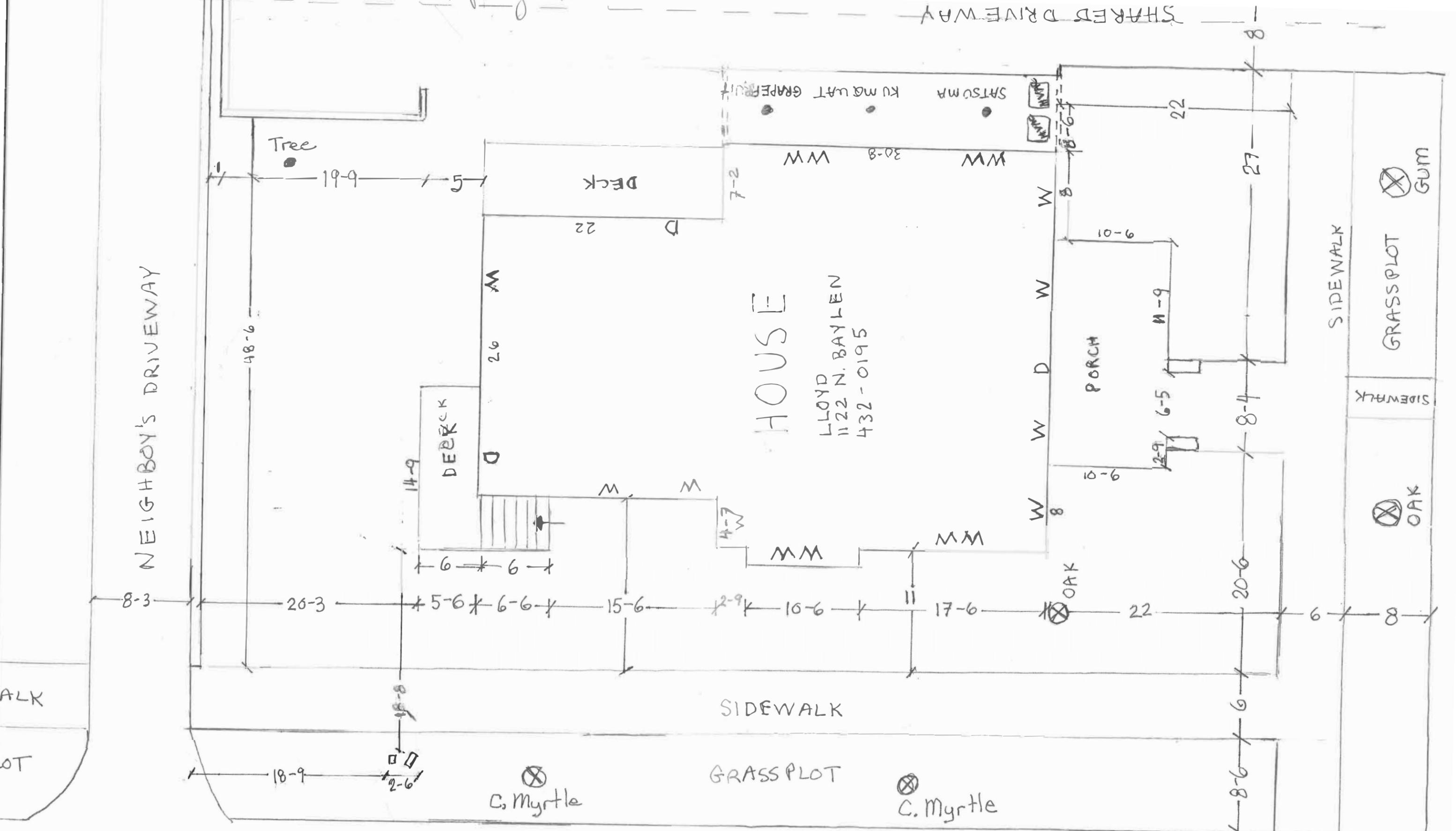
Project specifics/description:

Exterior Modifications to the deck/porch to provide handicap access. The scope of the project includes a new driveway at the rear of the property, a new parking pad, adding a lift to the deck for direct access to the parking pad, adding rear steps to access the deck directly from the new parking pad, and raising the entire deck/porch 4 inches to accommodate ADA access into the house. The existing walkway from the sidewalk to the deck will be reconfigured and a walkway between the sidewalk and paved street will be added. Brick from the previous patio will be re-used in this location.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Margaret Lloyd
Applicant Signature

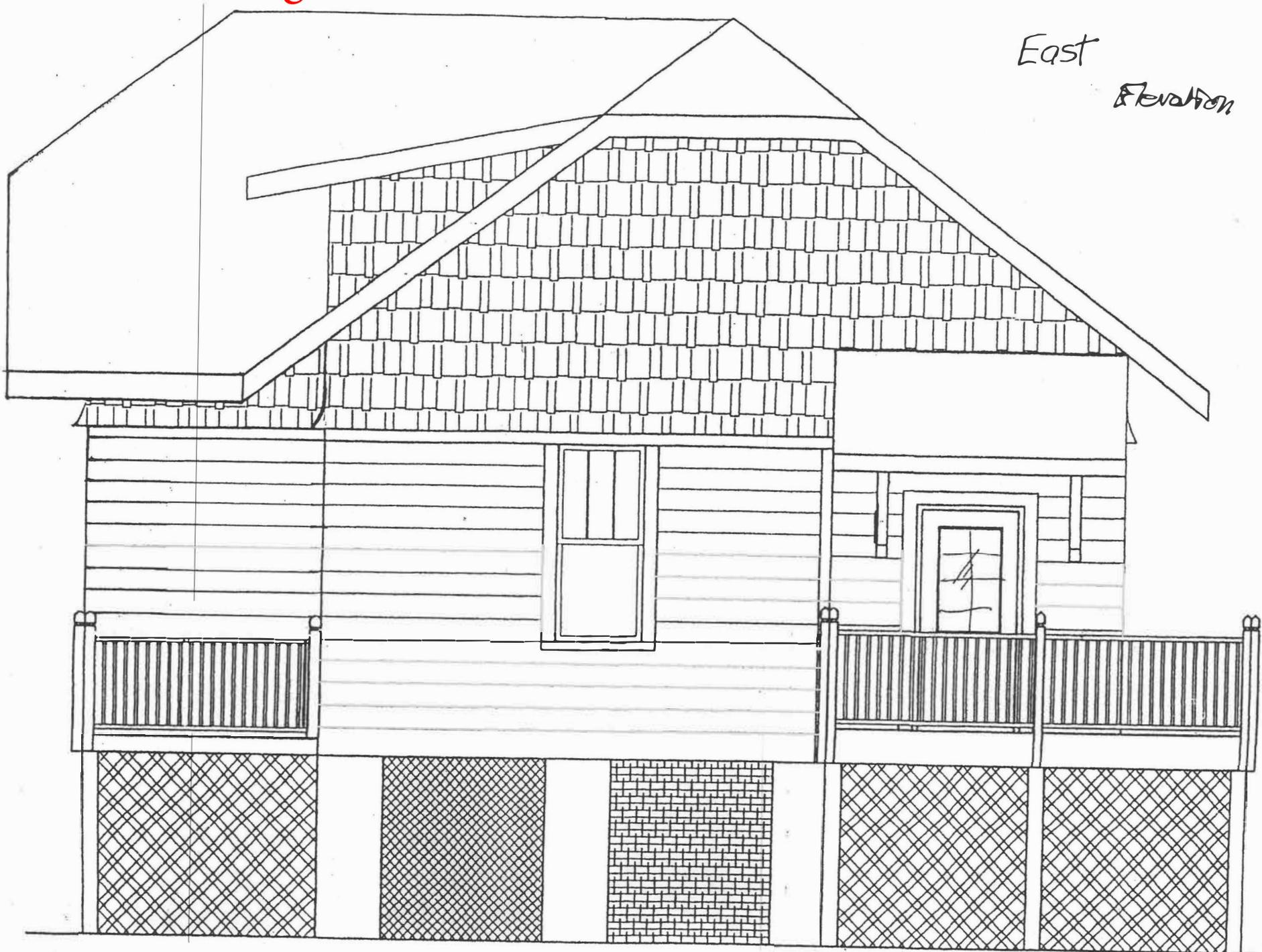
23 July 19
Date



Existing Conditions

Existing Conditions

East
Elevation



LLOYD HOUSE 1122 N. BAYLEN

Scale $\frac{3/8" = 1'$



EAST
ELEVATION

LOYD HOUSE
1122 N. BAYLEN ST.

PROPOSED

Scale $\frac{3}{8} = 1''$



3-6

Scale $\frac{1}{4} = 1'$

Lloyd
112.2 N. Baylen St

North
Elevation

Proposed Plans



Safe, Smooth and Economical Access

Compact footprint improves access to raised entries, porches or short decks. Highlander RPLs feature a top-mounted motor and electrical box to simplify servicing and protect from standing water.

Features & Benefits

- *Small footprint fits renovations more easily*
- *Non-skid 36" x 48" platform*
- *Automatic folding ramp*
- *Solid 36" high guard panels*
- *Constant-pressure rocker switch; emergency stop button*
- *Safety sensors stop lift at obstructions*
- *Optional electromechanical interlock gate releases only at upper landing*

Lifting Height:	RPL400	53" (134.6 cm)
	RPL600	77" (195.6 cm)
Rated Load:		600 lbs. (272 kg)
Drive:		Belt driven Acme screw/90 VDC 1/3 hp motor. Optional 24 VDC battery powered unit
Power:		120 VAC-15A grounded circuit
Control Circuit:		24 VAC (Low Voltage Controls)
Standard Platform:		36" x 48" w/ 36" high guard panels and automatic folding ramp
Footprint:		50" x 70" (127 cm x 177.8 cm)
Speed:		10 fpm (.05 m/s)
Controls:		Rocker switch w/ emergency stop (key switch optional)
Manual Lowering:		Standard
Safety Design:		ASME A18.1, Section 5 - Private Residence Vertical Platform Lifts
Standards:		CSA B44.1/ASME A17.5 - Elevator & Escalator Equipment. ETL Listed 3148125
Safety Features:		Safety pan, final limit, Acme safety nut with monitor, and non-skid surface
Warranty:		1-year parts

Engineering Support

For more information, see www.harmar.com for specifications, visit www.arcat.com.

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: ^{GH} Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 3**
316 N. Spring Street
PHBD / R-NC
New Construction

BACKGROUND

Joseph Dhaiti is requesting *FINAL* approval for a single family residence. The proposed dwelling will be a narrow two-story residence with a balcony on the front elevation. The gable roof is proposed to be fiberglass shingles. The exterior will be fiberboard horizontal lap siding on the both the lower and second floors divided by a 12 inch band. The porch will have a brick base with the remainder of the base being CMU block with a parge coat finish. The house siding will be painted "Agate Green" with white trim. The three exterior doors are proposed to be standard fiberglass doors and all windows will be vinyl single hung. Additionally, the back and side yards will be fenced with 6-foot high privacy fencing which will be capped.

This project received approval for the demolition of the existing structure and conceptual approval for the new construction in January 2019. At that meeting, the motion included comments regarding a change in siding profiles for consistency, modifications for narrower porch columns, and a change in roof profile from hip to gable.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) *PHBD, Architectural review of proposed exterior development*
Sec. 12-2-7 *Residential/neighborhood commercial land use district*

316 N. Spring Street



Architectural Review Board Application
Full Board Review

Application Date: 7/30/2019

Project Address: 316 North Spring St, Pensacola FL 32501

Applicant: Joseph Dhaiti

Applicant's Address: 10420 SW 142nd Ave, Miami FL 33186

Email: Dhaitij@aol.com **Phone:** 305-302-4002

Property Owner: Joseph Dhaiti

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Single family two story dwelling.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Joseph Dhaiti 7/30/19
Applicant Signature Date

PLANNING SERVICES

CONCEPTUAL Approval
January 2019

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: 
Brandi Deese, Assistant Planning Services Administrator

DATE: January 8, 2019

SUBJECT: **New Business - Item 9**
316 N. Spring Street
PHBD / R-NC
New Construction

BACKGROUND

Joseph Dhaiti is requesting *CONCEPTUAL* approval for a new single family residence. The proposed dwelling will be a narrow two-story residence with a balcony on the front elevation. The hip roof is proposed to be fiberglass shingles. The exterior will be fiberboard horizontal lap siding on the lower level and board and batten on the second floor. The porch will have a brick base with the remainder of the base having a stucco finish.

Please find attached all relevant documentation for your review.

CONCEPTUAL Approval
January 2019
Architectural Review Board Application
Full Board Review



Application Date: 12/27/2018

Project Address: 316 N. Spring Street
Applicant: Joseph Dhaiti
Applicant's Address: 10420 SW 142nd Avenue, Miami, FL 33186
Email: dhaitij@aol.com **Phone:** 305-302-4002
Property Owner: Joseph Dhaiti

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

CONCEPTUAL APPROVAL

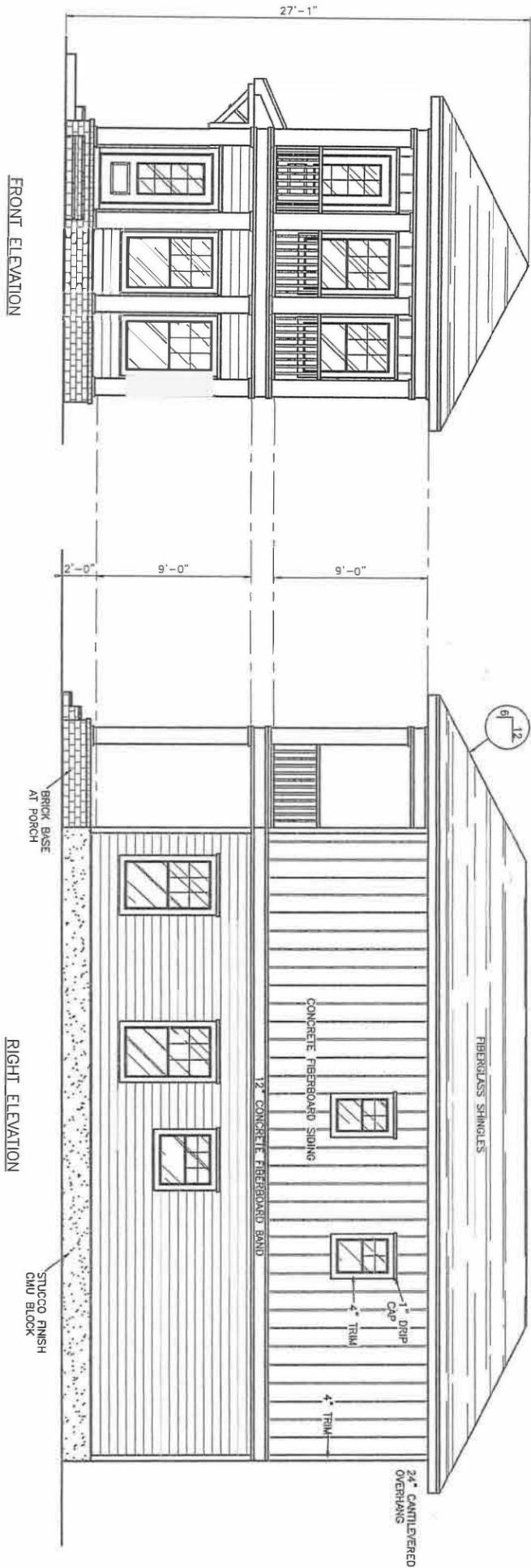
New SFD with composite siding and vinyl windows

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



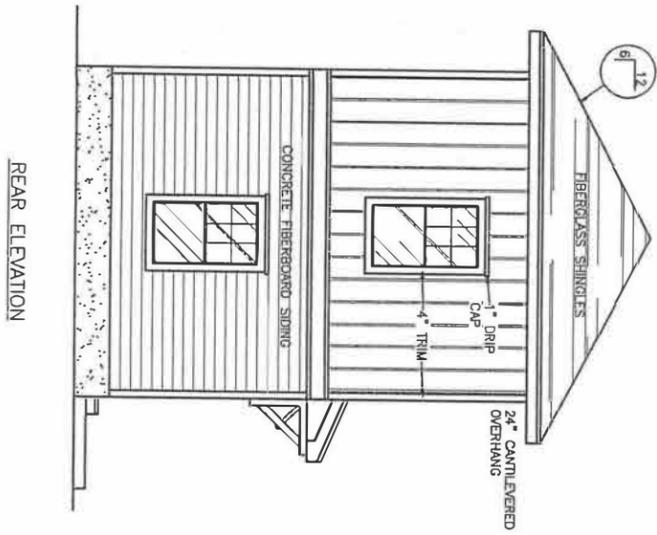
Applicant Signature

12-27-2018
Date



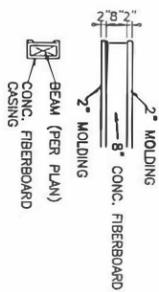
FRONT ELEVATION

RIGHT ELEVATION

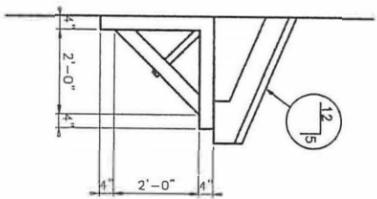


REAR ELEVATION

LEFT ELEVATION



CASED BEAM DETAIL
3/8"=1'-0"



BRACKET DETAIL
SCALE: 1/2"=1'-0"

CONCEPTUAL APPROVAL
January 2019

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN
101 S. ALCANIZ ST., PENSACOLA, FL 32502
(850)-432-3510 FAX: 434-2375

DRAWING NO.:
B-0317

DRAWN BY: J. GRAY

DATE: JAN. 2017

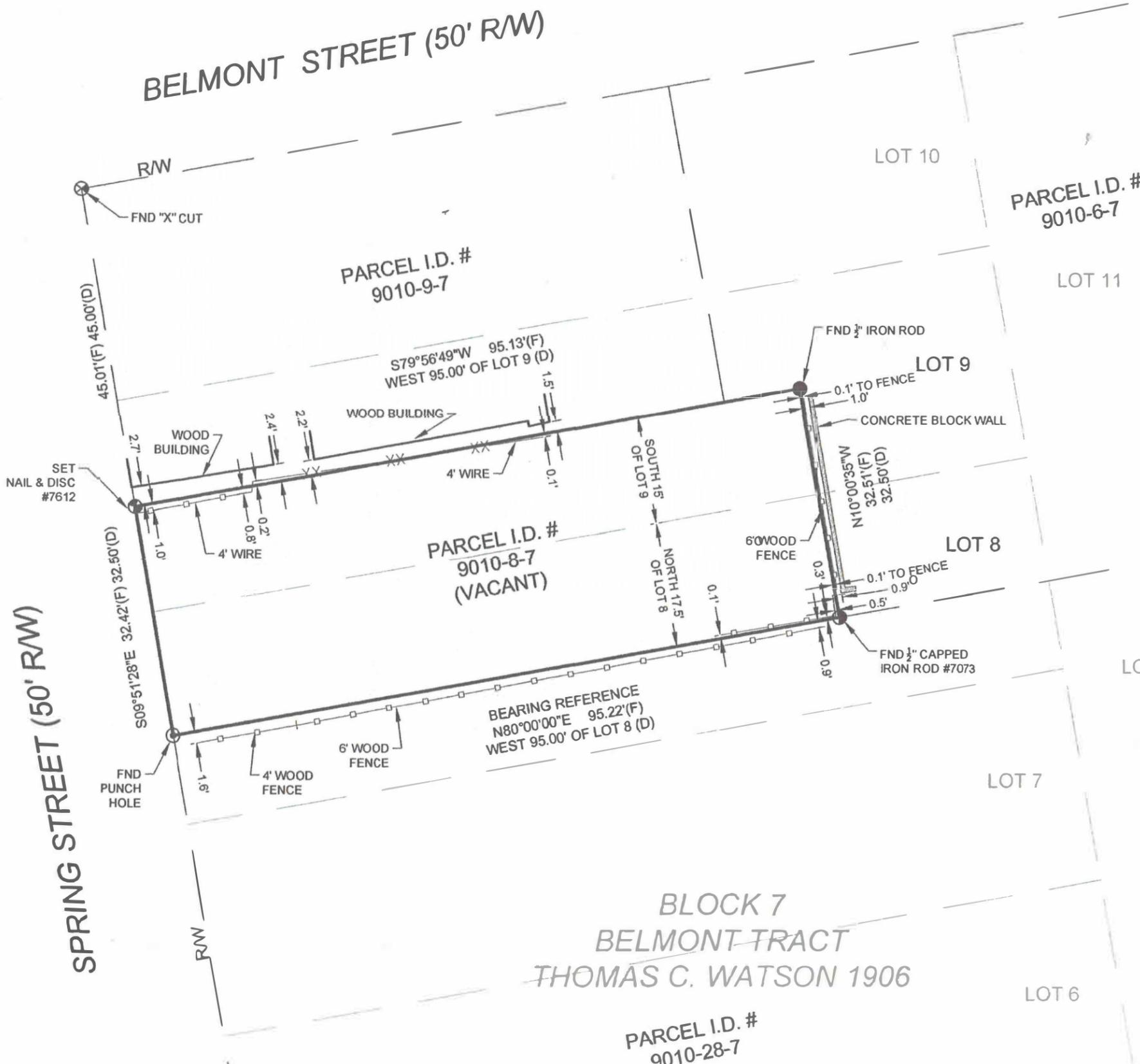
SCALE: 1/4"=1'-0"

SHEET NUMBER:
2 OF 5

DESCRIPTION: ELEVATIONS

© COPYRIGHT 2017, RIGHTS RESERVED. DO NOT REPRODUCE WITHOUT WRITTEN PERMISSION OF JAMES C. BOZEMAN, OR TODAY'S HOMES OF NORTHWEST FLORIDA, INC. VERIFY DIMENSIONS BEFORE CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO ORIGINAL DESIGNS.

TODAYS **49th** HOMES
1968 JIM BOZEMAN 2017



LEGAL DESCRIPTION: (O.R. BOOK 7724, PAGE 627)

SOUTH 15 FEET OF THE WEST 95 FEET OF LOT 9 AND THE NORTH 17.5 FEET OF THE WEST 95 FEET OF LOT 8 IN BLOCK 7 OF THE BELMONT TRACT, IN THE CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

NOTES:

1. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 4-17-2019.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
3. ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. STATE AND FEDERAL COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED EITHER IN WHOLE OR IN PART, OR TO BE USED FOR ANY OTHER FINANCIAL TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER.
5. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF SURVEYED PROPERTY NORTH 80°00'00" EAST.
6. FENCE LINES ARE EXAGGERATED FOR CLARITY.
7. ENCROACHMENTS ARE AS SHOWN.

LEGEND:

(F)	FIELD MEASUREMENT
(D)	DEED MEASUREMENT
R/W	RIGHT-OF-WAY
BSL	BUILDING SETBACK LINE
FND	FOUND BOUNDARY CORNER

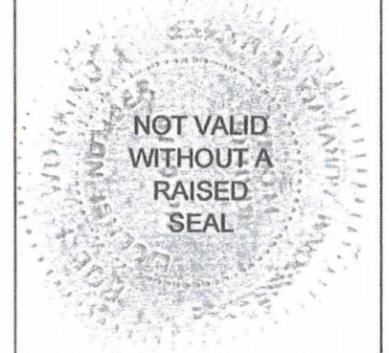
SURVEYORS CERTIFICATE

The survey shown hereon is true and correct and in compliance with the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes.

ROB L. WORKING P.L.S. FLORIDA REGISTRATION NO. 5878



360 SURVEYING SERVICES
 1801 CREIGHTON RD.
 PENSACOLA, FL 32504
 850.857.4400



BOUNDARY SURVEY WITH IMPROVEMENTS

ADDRESS:
 316 NORTH SPRING STREET
 PENSACOLA, FLORIDA 32501
PROJECT NUMBER: 1904034
DATE: 5-17-2019
FIELD BOOK: 116 **PAGE:** 41
DRAWN BY: JMD
APPROVED BY: ROB L. WORKING



SCALE: 1"=20'

SHEET 1 OF 1



Architectural Review Board Application
Full Board Review

Application Date: 7/30/2019

Project Address: 316 North Spring St, Pensacola FL 32501

Applicant: Joseph Dhaiti

Applicant's Address: 10420 SW 142nd Ave, Miami FL 33186

Email: Dhaitij@aol.com **Phone:** 305-302-4002

Property Owner: Joseph Dhaiti

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Single family two story dwelling.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Joseph Dhaiti

7/30/19

Applicant Signature

Date

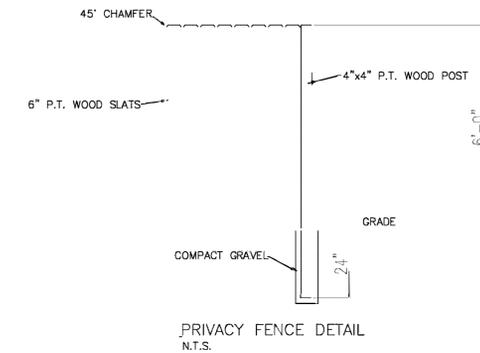
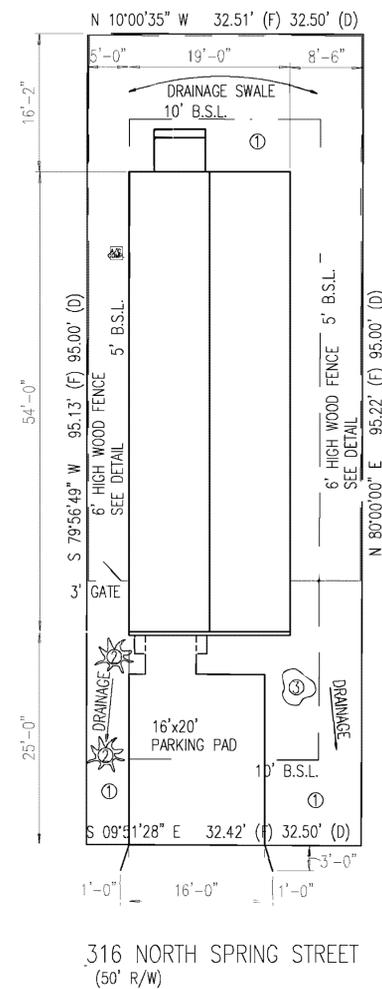
LEGAL DESCRIPTION:

SOUTH 15 FEET OF THE WEST 95 FEET OF LOT 9 AND THE NORTH 17.5 FEET OF THE WEST 95 FEET OF LOT 8 IN BLOCK 7 OF THE BELMONT TRACT, IN THE CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA. ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

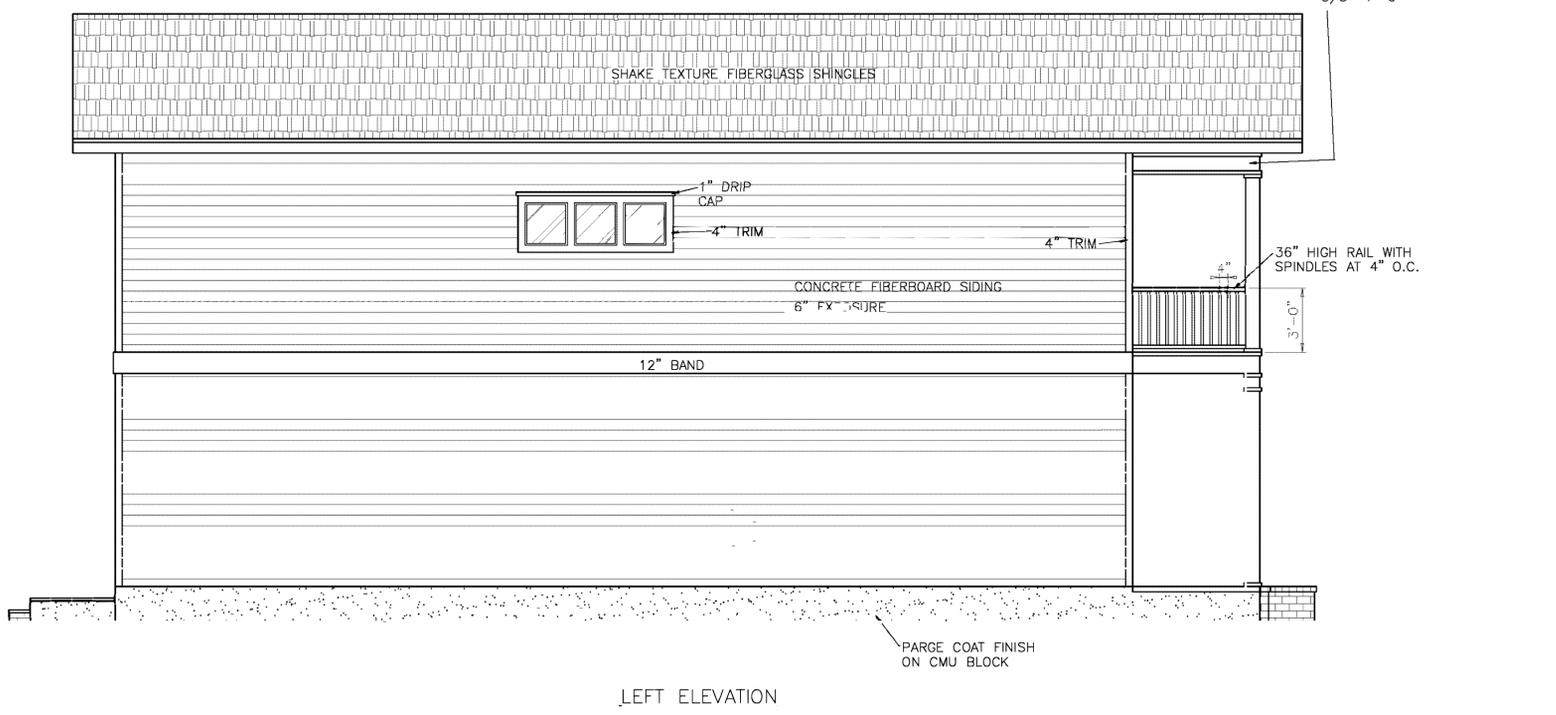
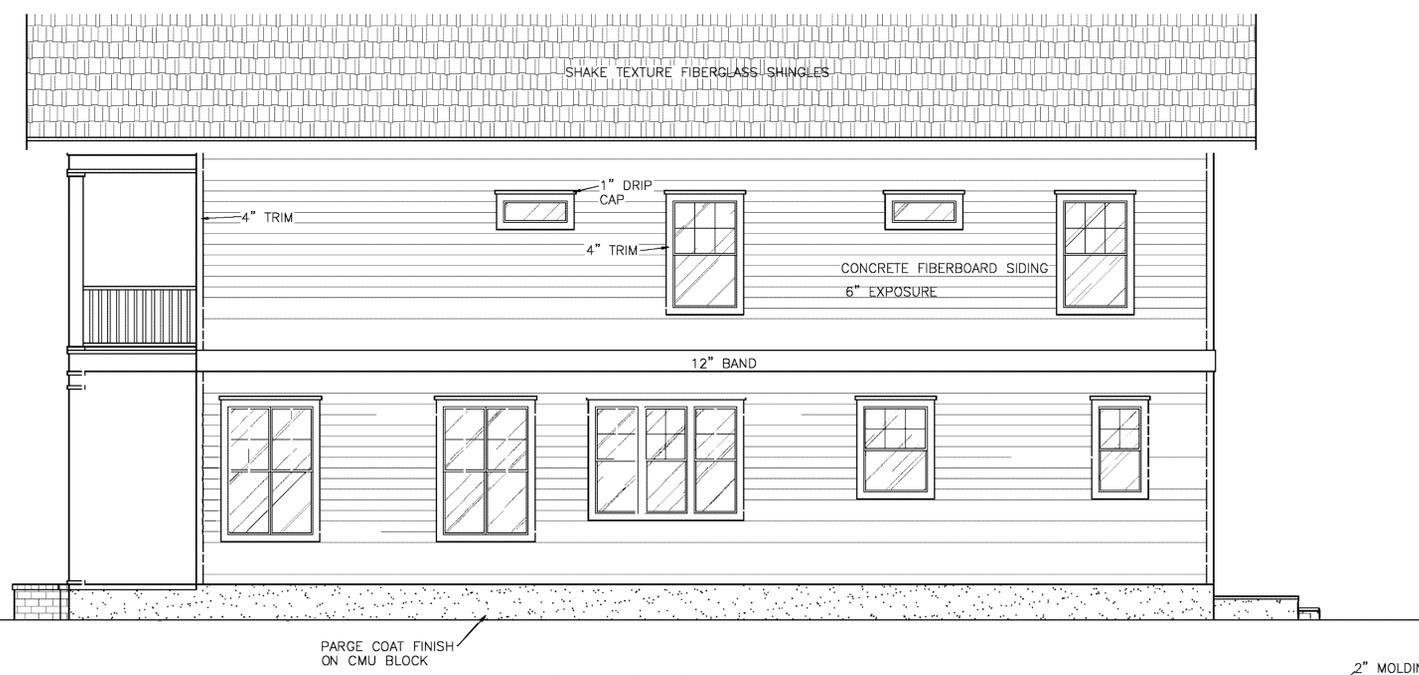
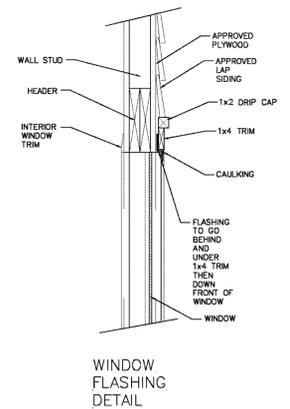
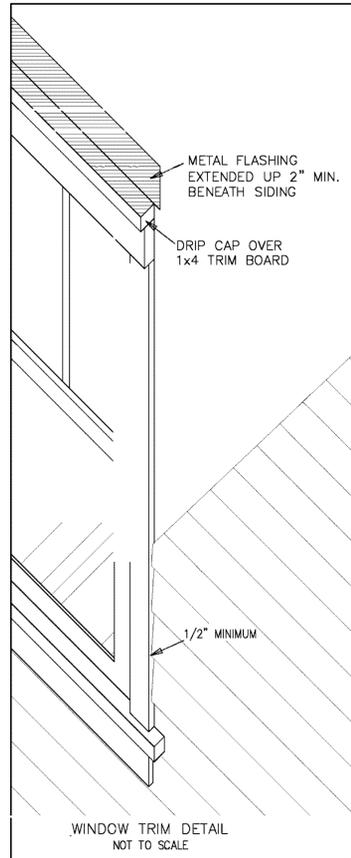


CRA GUIDELINE NOTES AND CALCULATIONS

- ZONE: R-NC
- STANDARD YARD PER TABLE 12-2-25.9
- PORCH FACADE PER TABLE 12.2.25.10
- SCREEN WILL BE PROVIDED FOR HVAC CONDENSER
- LOT AREA:
 $32.51' \times 95.22' = 3095 \text{ SF}$
 $50\% \text{ MAX COVERAGE} = 1547.5 \text{ SF}$
 $\text{FOOTPRINT AREA} = 1390 \text{ SF}$
- WINDOWS/GLAZING:
 $19' \times 20.33' = 386.27 \text{ SF FRONT WALL}$
 $20\% \text{ MIN COVERAGE} = 77 \text{ SF}$
 $\text{TOTAL COVERAGE (DOORS+WINDOWS)} = 96 \text{ SF}$
- PERVIOUS AREA:
 3078 SF LOT AREA
 $50\% \text{ MAX IMPERVIOUS AREA} = 1539 \text{ SF}$
 $1047 + 382 \text{ SF IMPERVIOUS} = 1429 \text{ SF (HOUSE + DRIVE/WALKWAYS)}$
 $1539 - 1429 = 110 \text{ SF PERVIOUS}$

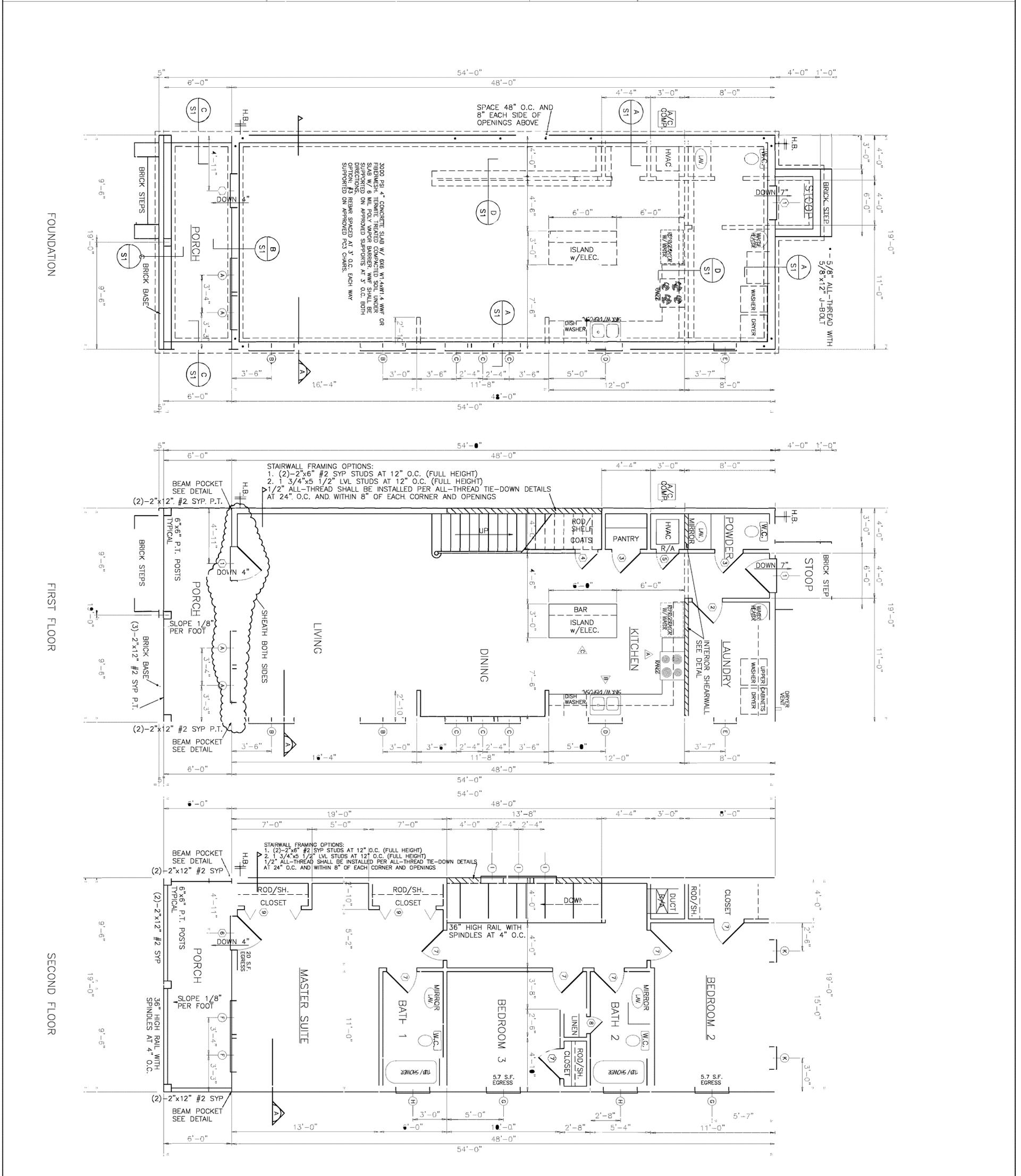


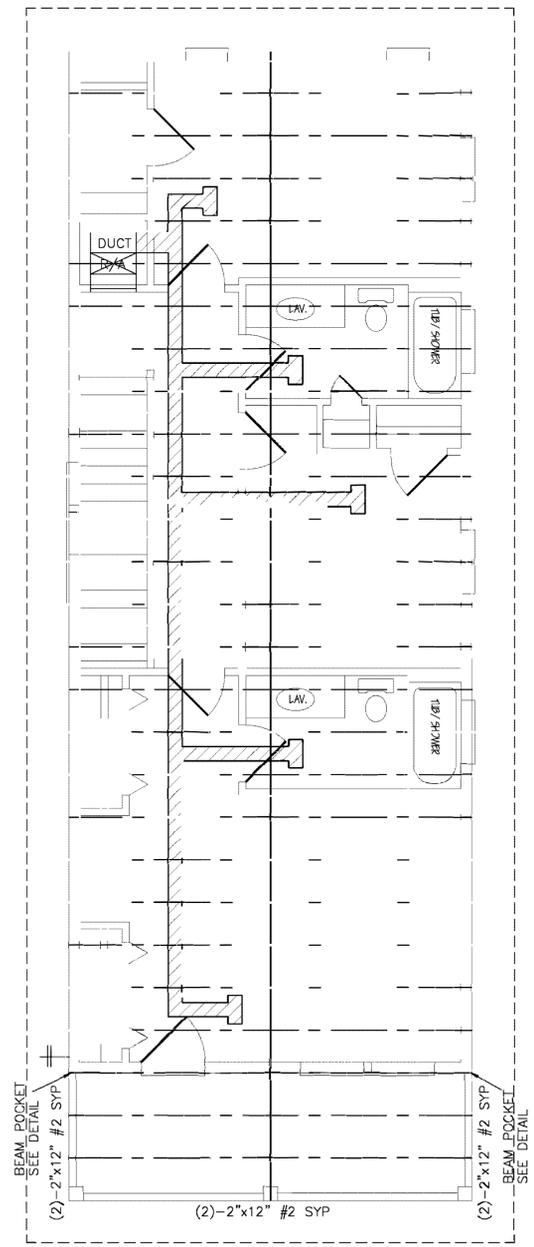
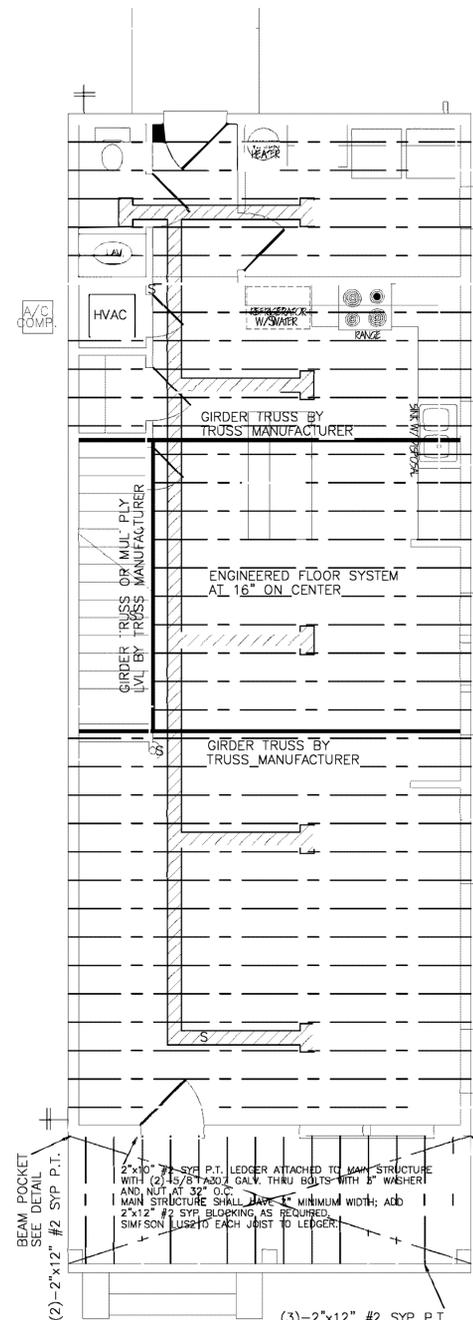
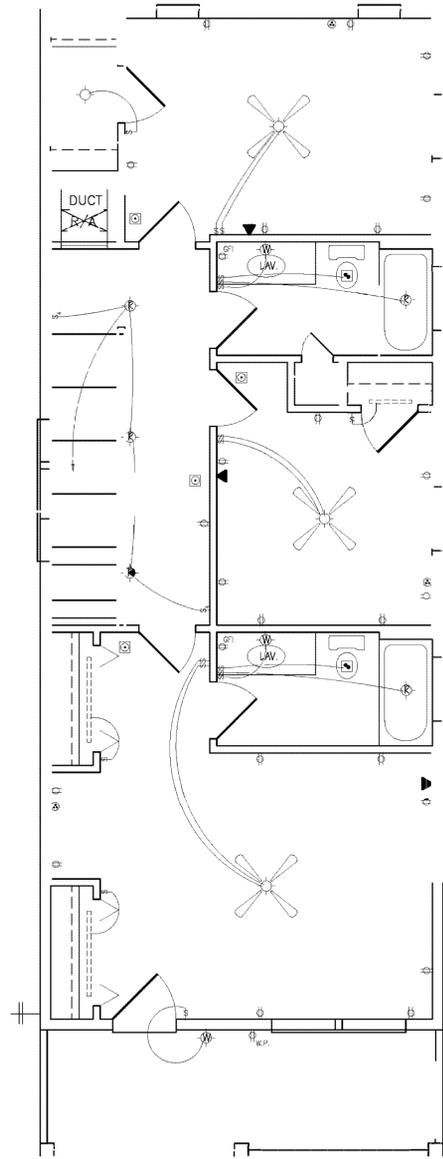
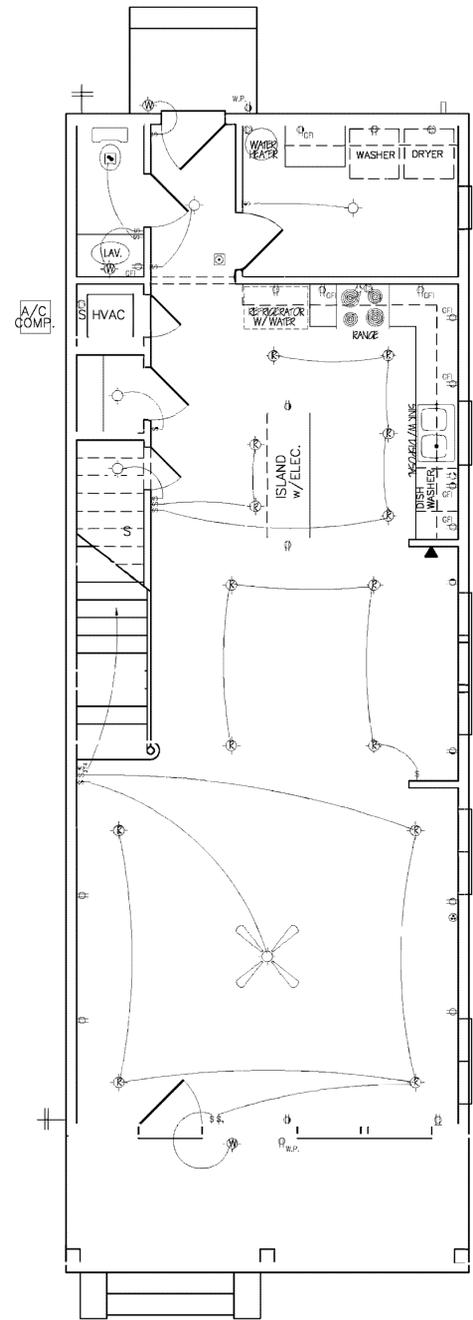
- LANDSCAPE INDEX**
- 1 BERMUDA SOD
 - 2 4' TALL CRAPE MYRTLE
 - 3 6\"/>



FINISH ROOM SCHEDULE					DOOR SCHEDULE			WINDOW SCHEDULE				
ROOM	FLOOR	WALLS	CEILING	REMARKS	NO.	SIZE	DESCRIPTION	REMARKS	LTR.	SIZE	DESCRIPTION	REMARKS
LIVING		ORANG PEEL PAINT	ORANG PEEL TEXT		1	3'-0"x8'-0"x1 3/4"	DECORATIVE	INSULATE	A	3070 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED
DINING					2	2'-8"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	B	(2)-2060 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED
KITCHEN					3	2'-6"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	C	2060 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED
MASTER SUITE					4	2'-0"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	D	3040 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED
BEDROOM 2					5	2'-0"x5'-0"x1 3/8"	HVAC DOOR		E	2040 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED
BEDROOM 3					6	3'-0"x6'-8"x1 3/4"	DECORATIVE	INSULATED	F	3060 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED
BATH 1					7	2'-8"x8'-8"x1 3/8"	6-PANEL	MASONITE PAINT	G	3050 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED
BATH 2					8	1'-6"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT	H	3010 SET AT 6'-8"	PLATE GLASS	INSULATED
POWDER					9	5'-0"x6'-8"x1 3/8" B-FOLD	6-PANEL	MASONITE PAINT	I	2020 SET AT 6'-8"	PLATE GLASS	INSULATED
LAUNDRY									J	2" DIA. PER OWNER	PLATE GLASS	SEE ELEVATION
									K	2050 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED

SQUARE FOOTAGE INDEX	
FIRST FLOOR	912 S.F.
SECOND FLOOR	864 S.F.
TOTAL LIVING AREA	1776 S.F.
PORCHES	114 S.F.
EACH STOOP	24 S.F.





NOTE: X-INDICATES
2"x8" #2 SYP (P.T.)
FLOOR JOISTS AT 16" O.C.

GENERAL NOTES:

- ENGINEERED TRUSSES AT 24" ON CENTER TRUSS MANUFACTURER TO VERIFY TRUSS LAYOUT & FURNISH TRUSS DESIGN WITH ENGINEER'S SEAL.
- SEE ELEVATIONS FOR ROOF PITCH & OVERHANG.
- MECHANICAL CONTRACTOR TO VERIFY DUCT LAYOUT & GRILL SIZE TO UNIT SPECIFICATIONS.
- CONTRACTOR TO VERIFY UNIT SIZE.
- RETURN-AIR VENT ABOVE BEDROOM DOORS

NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

E3802.11 BEDROOM OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

E3803.4 STORAGE OR EQUIPMENT SPACES. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

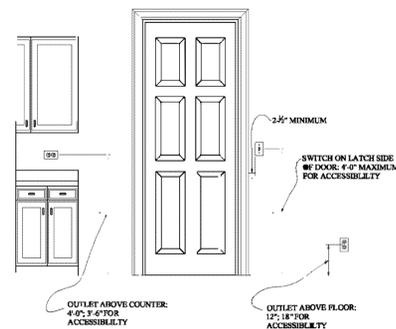
******* NOTICE *******

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

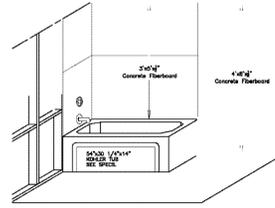
FAILURE TO CALL FOR INSPECTION MAY RESULT IN FOOTING BEING REPLACED.

ELECTRICAL LEGEND:

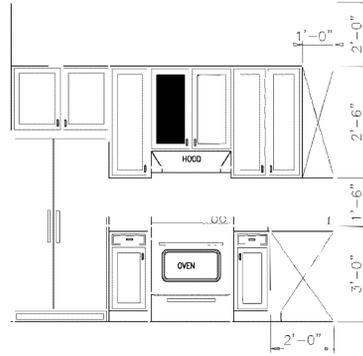
- | | | | |
|--|----------------------------|--------------------------|--|
| ⊕ GAS LINE | ⊙ 220V OUTLET | ⚡ 2-WAY WALL SWITCH | ⊗ CEILING FAN
(PLAN SHOWS LIGHT KITS ADDED) |
| ⊕ CABLE T.V. OUTLET | ⊙ DOOR BELL | ⚡ 3-WAY WALL SWITCH | ⊖ FLUORESCENT LIGHT FIXTURE
4" FLOOR BULBS |
| ⊕ 110V ELECTRICAL OUTLET | ⊙ PHONE OUTLET | ⚡ 4-WAY WALL SWITCH | ⊖ FLUORESCENT STRIP LIGHT |
| ⊕ WEATHER-PROOF EXTERIOR
110V ELECTRICAL OUTLET | ⊙ DOOR BELL CHIMES | ⊙ CEILING MOUNTED LIGHT | ⊖ WALL-MOUNTED SCONCE LIGHT |
| ⊕ GROUND-FAULT-INTERFACE
110V ELECTRICAL OUTLET | ⊙ EXHAUST FAN | ⊙ WALL-MOUNTED LIGHT | |
| ⊕ 110V ELECTRICAL OUTLET
UNDER COUNTER FOR
BUILT-IN APPLIANCES | ⊙ SMOKE ALARM | ⊙ RECESSED LIGHT | |
| | ⊙ CARBON MONOXIDE DETECTOR | ⊙ HANGING "DROP" LIGHT | |
| | | ⊙ CHANDELIER (SEE OWNER) | |



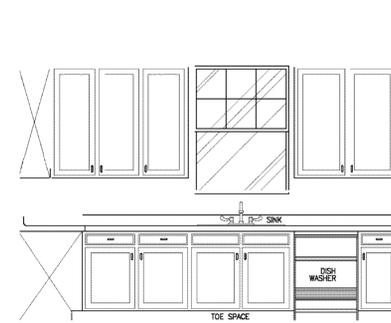
HEIGHTS OF SWITCHES AND OUTLETS



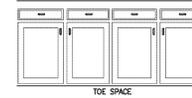
BATHROOM WET AREA WALL SHEATHING



KITCHEN A



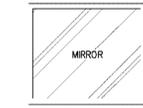
KITCHEN B



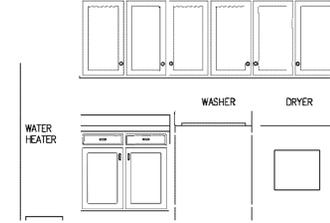
KITCHEN C



POWDER



BATHS
2-VANITIES
SIMILAR



LAUNDRY

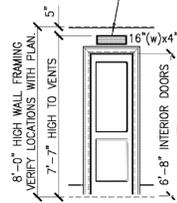
CABINET DETAILS
SCALE: 3/8"=1'-0"

CABINET NOTE:
CONTRACTOR SHALL VERIFY ALL CABINET DETAILS SUCH AS MATERIAL, FINISH, AND SIZES. THE CABINET DETAILS SHOWN ARE BASIC CABINET AND APPLIANCE SIZES WITH THE LAYOUT INTERPRETED BY THE DESIGNER.

BEDROOMS, etc.:
FOR ALL CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, CLOSETS) OPTIONED WITHOUT DEDICATED AIR RETURNS: FRAME TRANSFER AIR (T/A) GRILLS ABOVE SOME INTERIOR DOORS PER MECHANICAL HVAC NOTES. SEE PLAN TO VERIFY ROOM LOCATIONS. VERIFY GRILL SIZES WITH MECHANICAL SYSTEMS DESIGNER. EACH GRILL OPERABLE W/ CUT-OFF.

PAINT EXPOSED FRAMING BLACK INSIDE THE T/A ROUGH OPENINGS PRIOR TO DRYWALL SO THAT RAW STUDS ARE NOT VISIBLE THROUGH FINISHED GRILLS, OR MOUNT GRILLES UPSIDE DOWN.

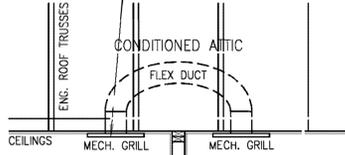
INDICATES TRANSFER AIR (T/A) GRILL LOCATIONS ON FRAMING AND HVAC PLANS



OPTION # 1
TRANSFER AIR GRILLS

Scale: 1/4"=1'-0"

BEDROOMS, etc.:
FOR ALL CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, CLOSETS) OPTIONED WITHOUT DEDICATED AIR RETURNS: PROVIDE JUMP DUCTS AS SHOWN TO PROVIDE RETURN-AIR PATH PER MECHANICAL HVAC NOTES. VERIFY GRILL SIZES WITH MECHANICAL SYSTEMS DESIGNER. EACH GRILL OPERABLE W/ CUT-OFF.

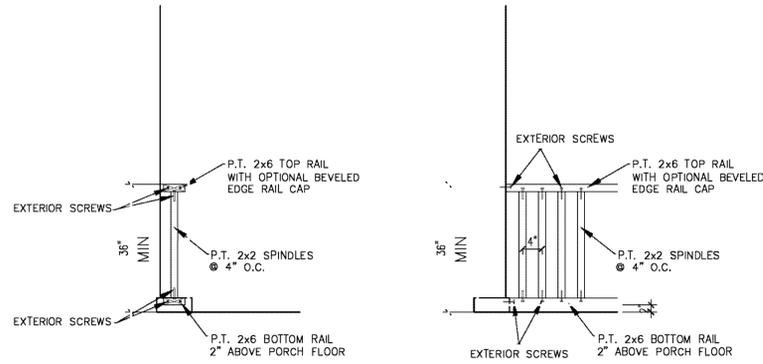


OPTION # 2
JUMP DUCTS

Scale: 1/2"=1'-0"

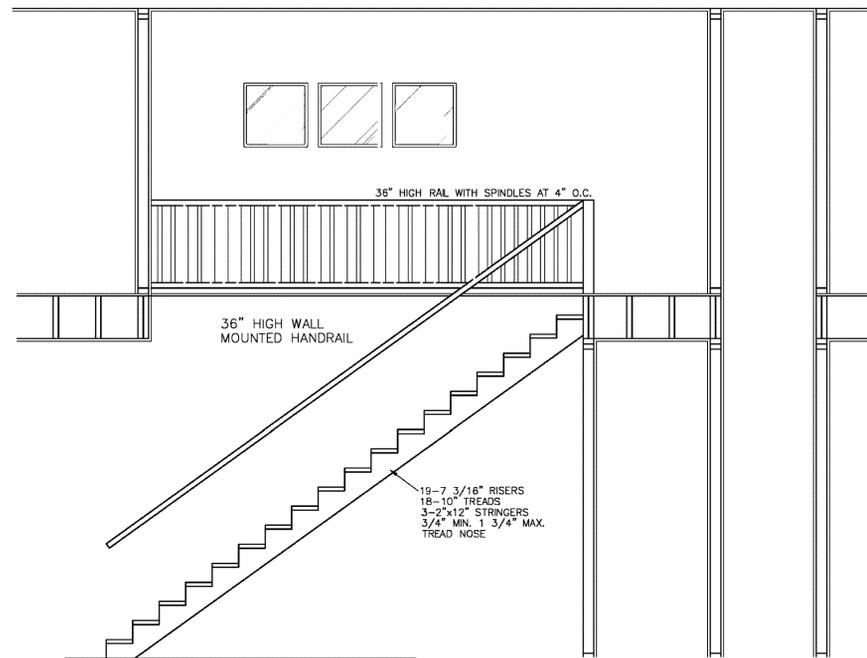
BEDROOMS, etc.
CLOSED AND CONDITIONED MAIN ROOMS (EXCEPT BATHS, LAUNDRY, AND CLOSETS)

HALL
OPEN PATH TO NEARBY HVAC CLOSET(S) AND MAIN RETURN-AIR GRILL(S) FOR HOUSE

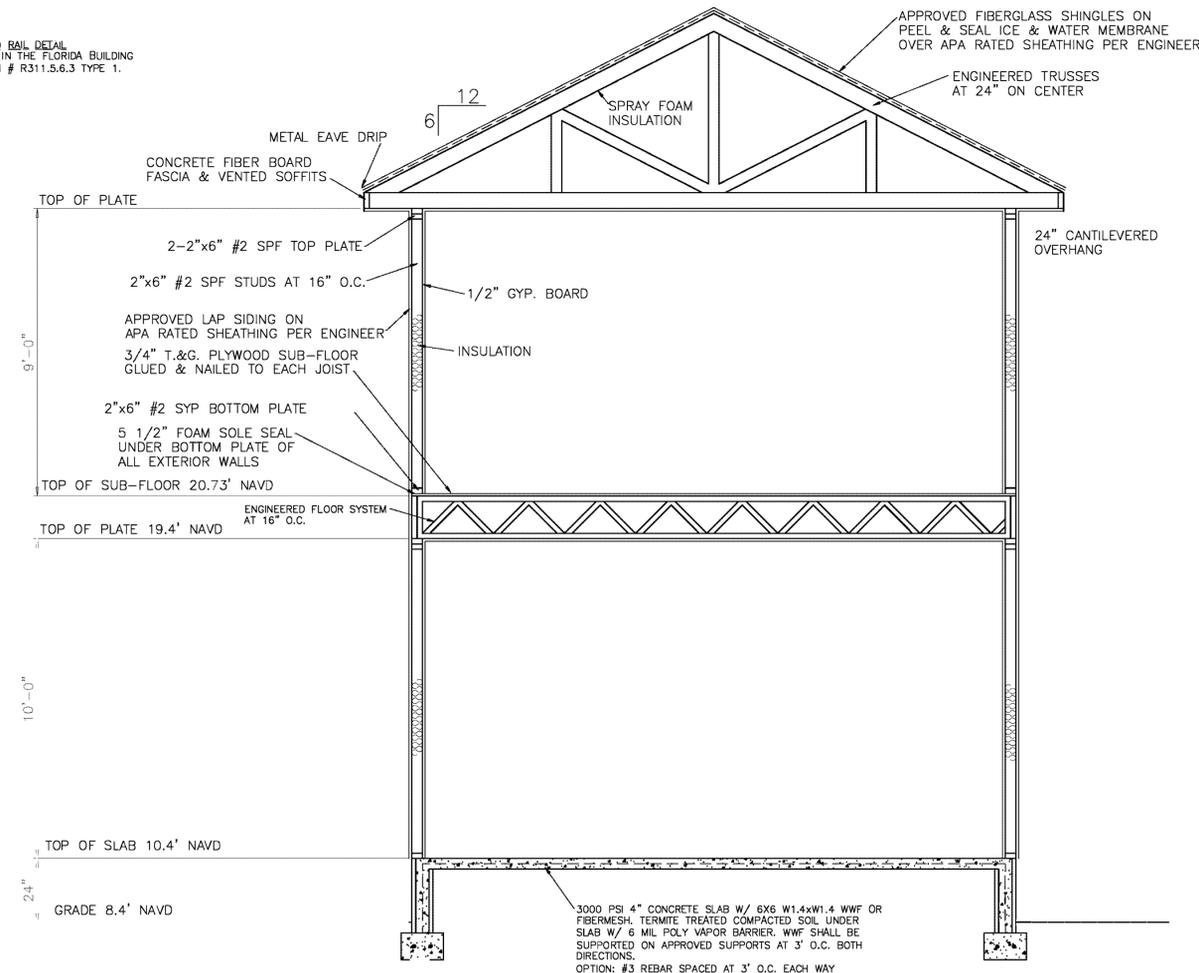


RAIL DETAIL
N.T.S.

HAND RAIL DETAIL
AS REQUIRED IN THE FLORIDA BUILDING CODE SECTION # R311.5.6.3 TYPE 1.

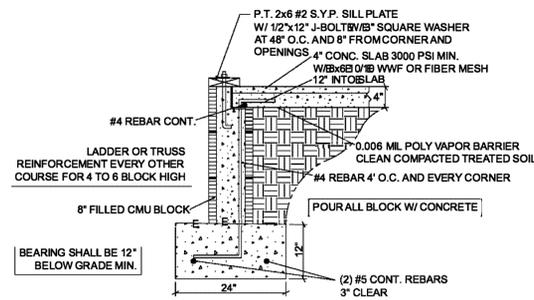


STAIR DETAIL
SCALE: 3/8"=1'-0"

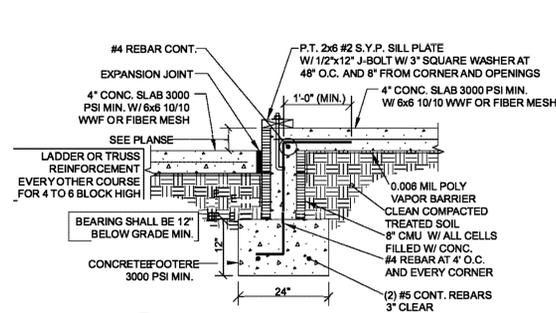


NOTE: SEE ENGINEERING FOR FOUNDATION REINFORCEMENT

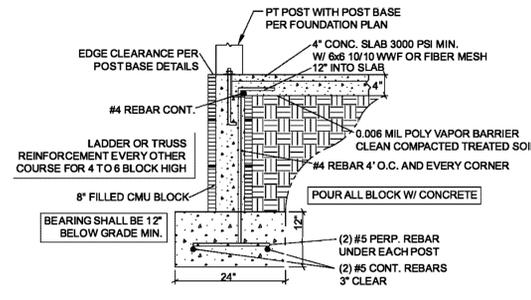
SECTION A
SCALE: 3/8"=1'-0"



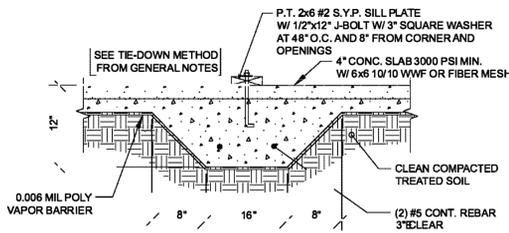
A EXTERIOR FOOTING DETAIL
(1-6 BLOCK HIGH)
NOT TO SCALE



B BLOCK STEP DOWN
FOOTING DETAIL
(1-6 BLOCK HIGH)
NOT TO SCALE

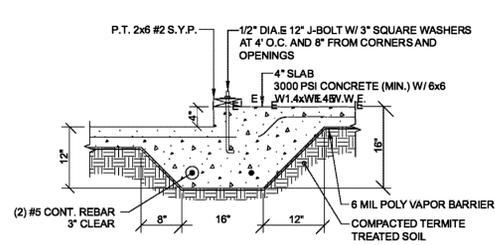


C PORCH FOOTING DETAIL
(1-6 BLOCK HIGH)
NOT TO SCALE

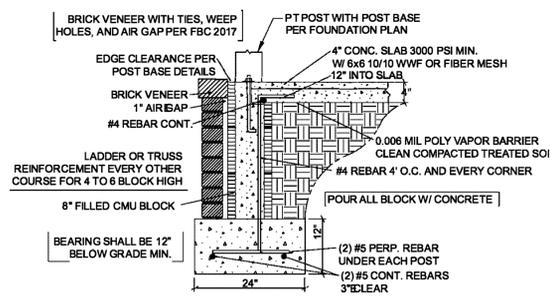


D GRADE BEAM DETAIL
NOT TO SCALE

USE THIS DETAIL FOR ALL INTERIOR LOAD BEARING WALLS REQUIRED BY TRUSS MANUFACTURER



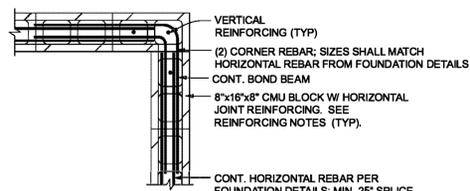
B MONOLITHIC STEP DOWN
FOOTING DETAIL
NOT TO SCALE



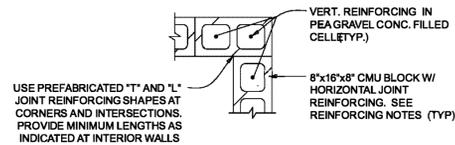
C PORCH FOOTING WITH
BRICK DETAIL
(1-6 BLOCK HIGH)
NOT TO SCALE

CMU FOUNDATION WALL NOTES:

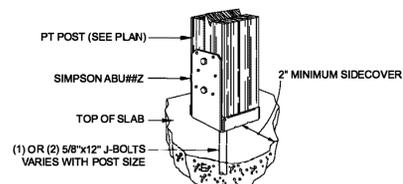
- DOWEL ALL CMU REINFORCING IN FOOTINGS AND EXTEND INTO UPPERMOST BOND BEAM WITH 90 DEG. HOOKS WITH A MINIMUM 8" LEG.
- PROVIDE FOUR (4) FILLED CELLS OF TYPICAL REINFORCING AT INTERSECTIONS.
- PROVIDE THREE (3) FILLED CELLS OF TYPICAL REINFORCING AT CORNERS.
- ALL CONCRETE MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
- TYPICAL WALL REINFORCING AS SHOWN IN FOUNDATION DETAILS:
 - ADDITIONAL REINFORCING AS NOTED IN NOTES 3 AND 4.
 - HORIZONTAL REINFORCING IN ALL BLOCK WALLS SHALL BE HEAVY DUTY (3/16 SIDE RODS WITH 9 GAUGE CROSS RODS) LADDER TYPE WALL REINFORCING AT 16".
 - GROUT STOP IS A FIBERGLASS MESH CONFORMING TO ASTM STANDARD D1668-73, TYPE 207.
 - SPLICE ALL BARS 48 BAR DIAMETERS.
- $f_m = 1500$ PSI.
- MORTAR:
 - EXTERIOR, ABOVE GRADE: TYPE N.
 - EXTERIOR, AT OR BELOW GRADE: TYPE S.



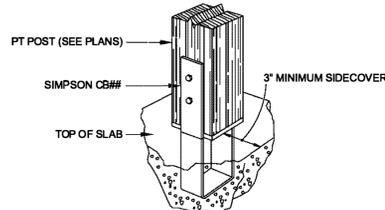
CMU FOUNDATION WALL CORNER
HORIZONTAL REBAR DETAIL
NOT TO SCALE



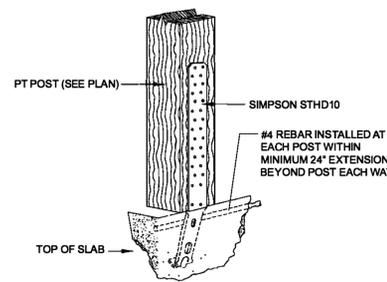
CMU FOUNDATION WALL CORNER
VERTICAL REBAR DETAIL
NOT TO SCALE



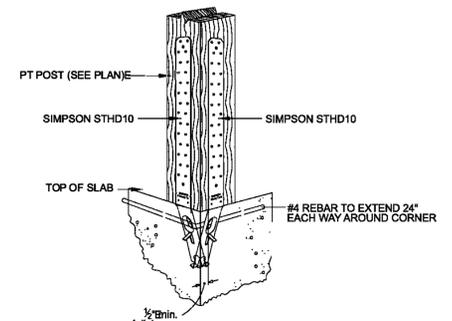
SIMPSON ABU##Z
POST BASE DETAIL
NOT TO SCALE



SIMPSON CB##
POST BASE DETAIL
NOT TO SCALE



SIMPSON STD10
POST BASE DETAIL
NOT TO SCALE



SIMPSON STD10 CORNER
POST BASE DETAIL
NOT TO SCALE

DEAN A. SPENCER ENGINEERING, INC.
2735 SANIBEL PLACE
GULF BREEZE, FL 32563
850.932.8730 (local)
850.934.9944 (fax)
DEAN A. SPENCER, PE, SECB
FL #44472, CA #9070
AL #29262, CA #3487

REVISIONS	DESCRIPTION
DATE	

PROJECT TITLE:
Dhaiti Residence
316 N Spring Street
Pensacola, Florida
Escambia County

SHEET TITLE:
**STRUCTURAL
NOTES/DETAILS**

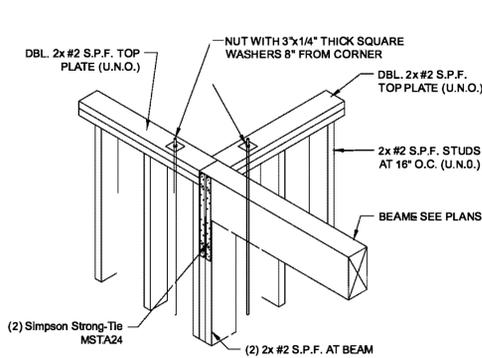
DATE:
6/14/2019

SHEET NUMBER:
S1

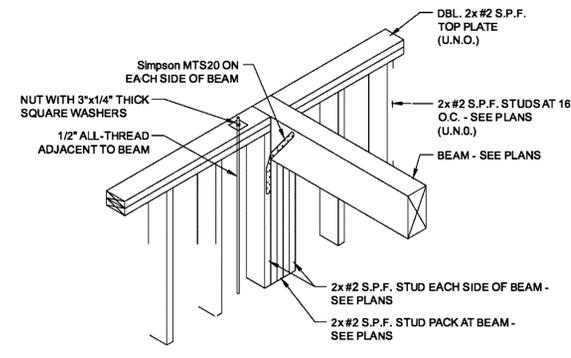
GENERAL NOTES:

- THIS STRUCTURE IS DESIGNED TO WITHSTAND ULTIMATE WINDSPEED OF 160 MPH (3 SEC GUST) AND NOMINAL WINDSPEED OF 124 MPH WINDSPEED PER FLORIDA BUILDING CODE 2017, SECTION 1609 AND WIND FORCES BY ASCE 7-10.
- RISK CATEGORY II.
- WIND EXPOSURE CATEGORY B.
- INTERNAL PRESSURE COEFFICIENT: +/- 0.18, STRUCTURE IS FULLY ENCLOSED.
- ENGINEER OF RECORD: DEAN A. SPENCER, PE, SECB FL#44472.
- COMPONENT AND CLADDING SHALL HAVE FLORIDA APPROVAL NUMBERS.
- ALL CONCRETE SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL REBAR SHALL BE ASTM A615 GRADE 40.
- SEE DRAWINGS FOR ANCHORAGE DETAILS.
- ALL REBAR SHALL HAVE A 3" MINIMUM COVER WHEN CONCRETE IS CAST AGAINST THE EARTH.
- FOUNDATION ANCHORS SHALL HAVE 7" MINIMUM EMBEDMENT.
- WALL CONSTRUCTED AS FOLLOWS:
 - EXTERIOR STUDS: 2"x6" #2 SPF; SPACING 16" O.C. (UNLESS NOTED OTHERWISE).
 - INTERIOR STUDS: 2"x4" #2 SPF; SPACING 16" O.C.
 - INTERIOR BEARING STUDS: 2"x6" #2 SPF; SPACING 16" O.C.
 - SHEATHING: 7/16" OSB OR 1/2" (4-PLY) APA RATED PLYWOOD.
 - INTERIOR BEARING WALLS SUPPORTING ROOF SHALL BE TIED DOWN WITH ONE OF THE FOLLOWING OPTIONS:
 - 1/2" ALL-THREAD AT 48" O.C. AND 8" CORNERS AND OPENINGS.
 - SIMPSON SPH6 AT 32" O.C. BOTTOM AND TOP.
 - WINDSTORM OSB WITH NAILS PER WINDSTORM OSB DETAILS.
 - ALL SQUARE WASHERS IN WALL FRAMING SYSTEM SHALL HAVE 1/4" THICKNESS MINIMUM. SEE PLANS FOR NAIL PATTERN AND CONNECTORS.
- ABOVE STORIES CONSTRUCTED AS FOLLOWS:
 - ENGINEERED FLOOR TRUSSES; SEE TRUSS ENGINEERING.
 - 3/4" T&G DECKING, GLUED AND SCREWED.
- ROOF CONSTRUCTED AS FOLLOWS:
 - ENGINEERED TRUSSES, #2 SYP, SPACING 24" O.C. (SEE PLANS)
 - DECKING: 7/16" OSB OR 1/2" (4-PLY) APA RATED PLYWOOD. SEE PLANS FOR NAIL PATTERN AND CONNECTORS.
 - SEE PLANS FOR CONNECTORS.
- ALL BRACING OF THE ROOF SHALL BE #2 SYP.
- ALL NAILS SHALL BE COMMON.
- ALL LVL BEAMS SHALL BE PROTECTED FROM WEATHERING AND WATER.
- ALL PLY-BUILT BEAMS SHALL BE JOINED PER MANUFACTURERS REQUIREMENTS.
 - CONTACT ENGINEER OF RECORD FOR SPECIFIC LOADING INFORMATION AS NEEDED.
 - SEE THE FOLLOWING WEBSITE FOR JOINING OPTION:
 - www.strongtie.com/products/fastening-systems/technical-notes/joining-composite-lumber-with-sds-wood-screws
- ONLY ONE MEMBER OF PLY-BUILT BEAMS MAY BE SPLICED PER SPAN. SPLICES SHALL OCCUR AT 1/4 SPANS.
- ALL COVERED PORCHES SHALL BE DECKED UNDERNEATH W/ 7/16" OSB OR 1/2" (4-PLY) APA RATED PLYWOOD. USE #d COMMON RING SHANK NAILS AT 4" O.C. EDGE AND 8" O.C. INTERMEDIATE OR PER MANUFACTURER'S SPECIFICATIONS.
- ASSUMED ALLOWABLE BEARING PRESSURE IS 1500 PSF. REPORT ANY UNUSUAL FIELD CONDITIONS TO ENGINEER OF RECORD.
- DESIGN LOADS PER FBC 2017, SECTION 1609 AND ASCE 7-10.
 - ROOF DEAD LOADS (DL): 20 PSF.
 - ROOF LIVE LOADS (Lr): 20 PSF.
 - FLOOR DEAD LOADS (DL): 15 PSF.
 - FLOOR LIVE LOADS (LL): 40 PSF.

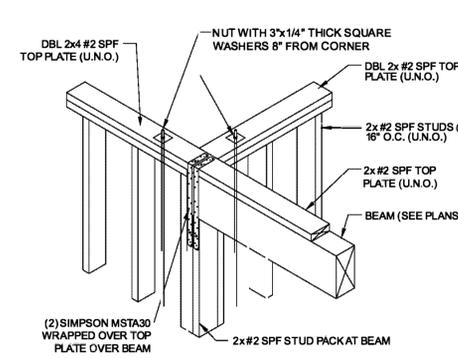
THIS STRUCTURE IS IN A WINDBORNE DEBRIS AREA:
ALL EXTERIOR GLAZING SHALL BE PROTECTED AS STATED IN THE FBC 2017, SECTION 1609.1.2, PROTECTION OF OPENINGS.



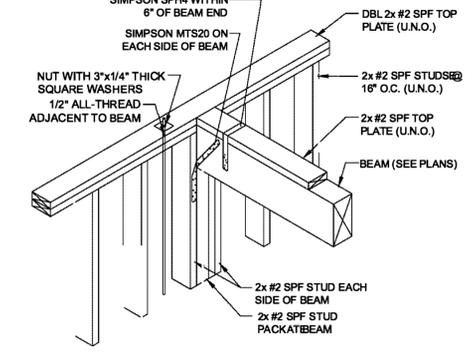
CORNER BEAM AT STUD WALL DETAIL
NOT TO SCALE



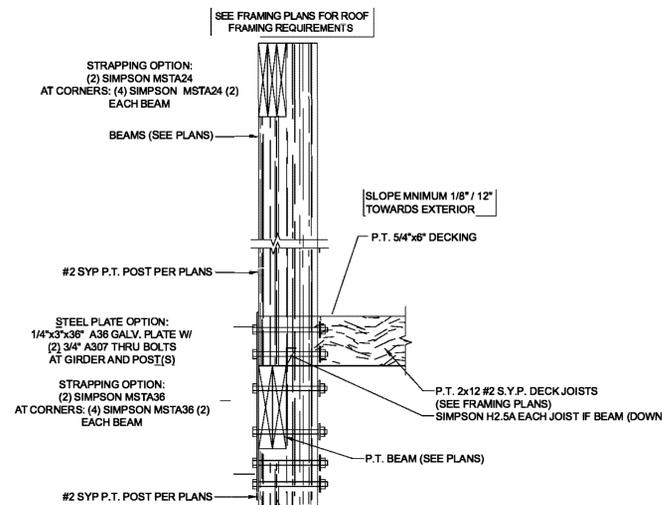
BEAM POCKET AT STUD WALL DETAIL
NOT TO SCALE



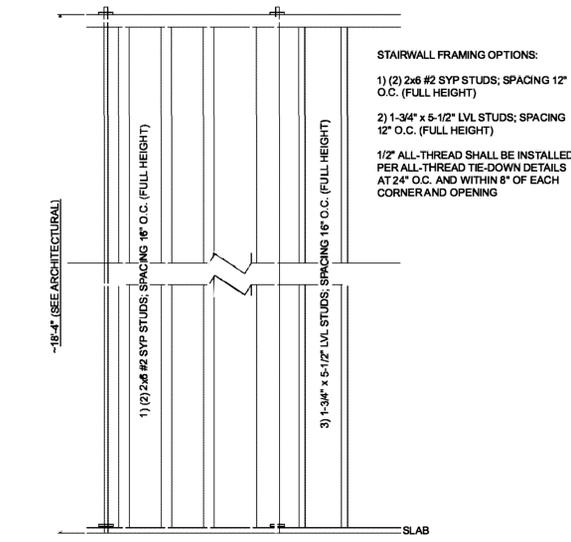
CORNER BEAM AT STUD WALL DETAIL (OPTION)
NOT TO SCALE



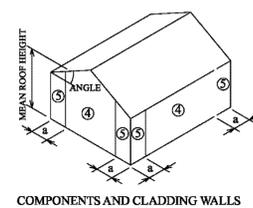
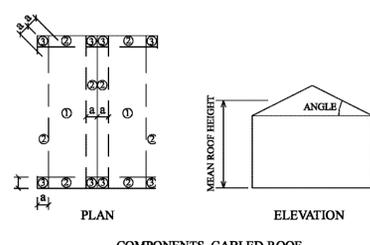
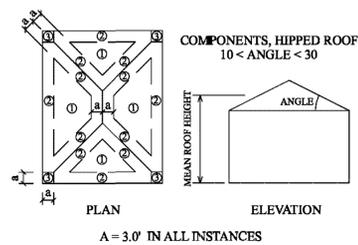
BEAM POCKET AT STUD WALL DETAIL (OPTION)
NOT TO SCALE



POST TO POST CONNECTION DETAIL
NOT TO SCALE



STAIRWELL BALLOON FRAME DETAIL
NOT TO SCALE



COMPONENTS & CLADDING WIND LOADS FOR A BUILDING WITH A MEAN HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (PSF)

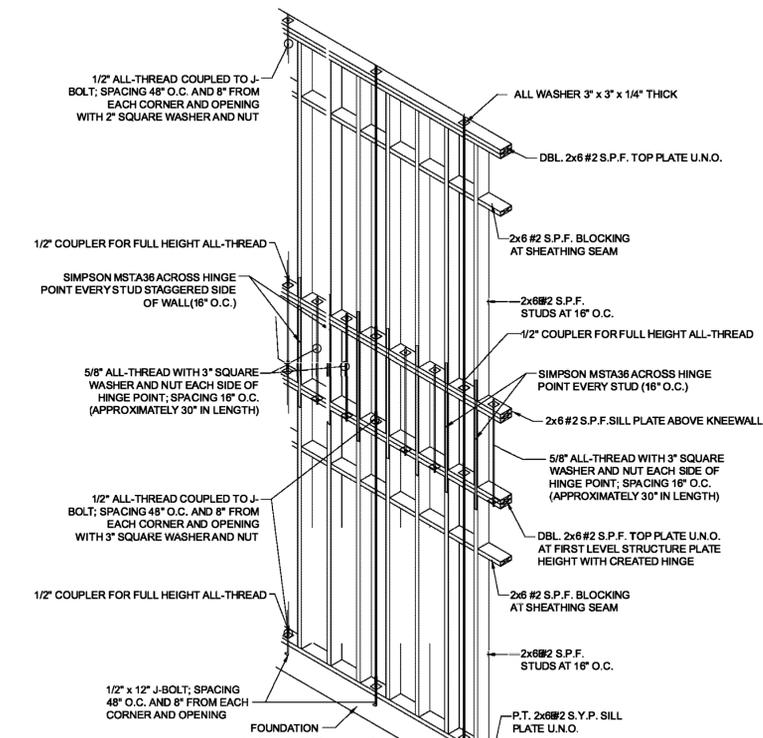
ZONE	EFFECTIVE WIND AREA (SQ. FT)	BASIC WIND SPEED 160 MPH	
ROOF ANGLE >7-27 DEG.			
1	10.0	26.5	-42.1
2	10.0	26.5	-73.4
3	10.0	26.5	-108.5
WALL			
4	10.0	46.1	-50.0
5	10.0	46.1	-61.7

ROOF OVERHANG COMPONENT & CLADDING DESIGN WIND PRESSURES FOR A BUILDING WITH A MEAN HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (PSF)

ZONE	EFFECTIVE WIND AREA (SQ. FT)	BASIC WIND SPEED 160 MPH	
ROOF ANGLE >7-27 DEG.			
2	10.0	-	-85.9
3	10.0	-	-144.4

ALL EXTERIOR DOOR & OPENING PRESSURES: LESS THAN (+/-) 50 PSF. (ALLOWABLE STRESS DESIGN PRESSURES)

VALUES IN TABLE SHALL BE MULTIPLIED BY 0.6 TO ACHIEVE ALLOWABLE STRESS DESIGN (ASD) PRESSURES.
MEAN ROOF HEIGHT: LESS THAN 30 FT
ROOF SLOPE IS 6/12. kd = 0.85



HINGED WALL CONNECTION DETAIL
NOT TO SCALE

THIS DETAIL SHALL BE USED IF THE 2-STORY WALLS ARE NOT BALLOON FRAMED

DEAN A. SPENCER ENGINEERING, INC.
2735 SANIBEL PLACE
GULF BREEZE, FL 32563
850.932.8730 (PHONE)
850.934.9944 (FAX)
DEAN A. SPENCER, PE, SECB
FL #44472, CA #9070
AL #29262, CA #3467

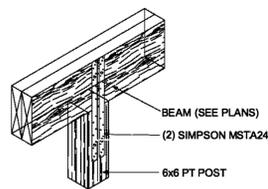
REVISIONS	DESCRIPTION	DATE

PROJECT TITLE:
Dhaiti Residence
316 N Spring Street
Pensacola, Florida
Escambia County

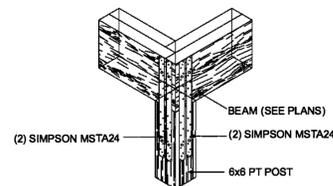
SHEET TITLE:
STRUCTURAL NOTES/DETAILS

DATE:
6/14/2019

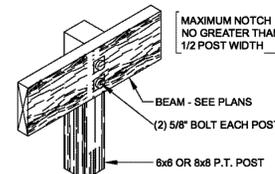
SHEET NUMBER:
S2



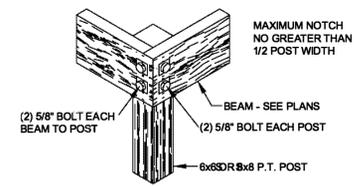
PORCH POST TO BEAM DETAIL
NOT TO SCALE



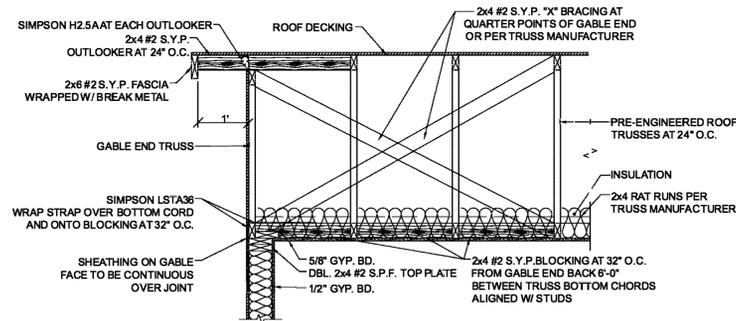
CORNER POST TO BEAM DETAIL
NOT TO SCALE



POST TO BEAM DETAIL
NOT TO SCALE



CORNER POST TO BEAM DETAIL
NOT TO SCALE

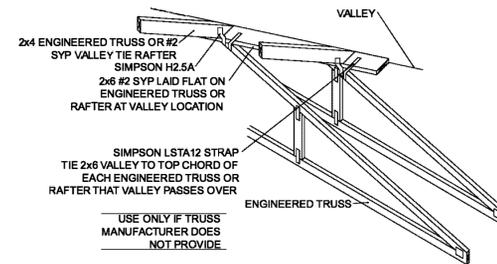


GABLE END CEILING DIAPHRAGM
NOT TO SCALE

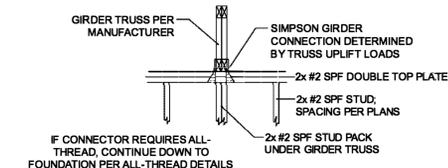
TRUSS MANUFACTURER MAY SUBSTITUTE EQUIVALENT UPLIFT CONNECTORS

UP TO UPLIFT LOAD OF 520 LBS	SIMPSON H2.5A
BETWEEN 520 LBS AND 1040 LBS	(2) SIMPSON H2.5A
BETWEEN 1040 LBS AND 3000 LBS	SIMPSON MGT
BETWEEN 3000 LBS AND 6485 LBS	SIMPSON HGT-2

SIMPSON CONNECTION FOR TRUSSES UPLIFT LOADS

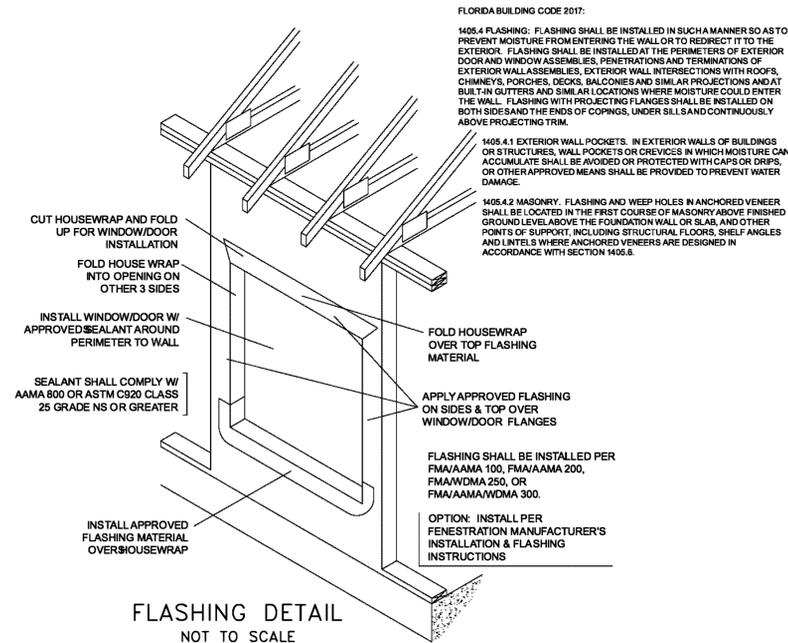


VALLEY TIE-IN DETAIL
NOT TO SCALE



GIRDER TRUSS DETAIL
NOT TO SCALE

STRAP STUD PACK AT BOTTOM PLATE AND DOUBLE TOP PLATE WITH SIMPSON SPH# EACH STUD OR PLACE ALL-THREAD WITHIN 8" OF STUD PACK. FOUNDATION ANCHOR SHALL BE LOCATED WITHIN 8" OF STUD PACK.



FLASHING DETAIL
NOT TO SCALE

FLORIDA BUILDING CODE 2017:

1405.4 FLASHING: FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.

1405.4.1 EXTERIOR WALL POCKETS. IN EXTERIOR WALLS OF BUILDINGS OR STRUCTURES, WALL POCKETS OR CREVICES IN WHICH MOISTURE CAN ACCUMULATE SHALL BE AVOIDED OR PROTECTED WITH CAPS OR DRIPS, OR OTHER APPROVED MEANS SHALL BE PROVIDED TO PREVENT WATER DAMAGE.

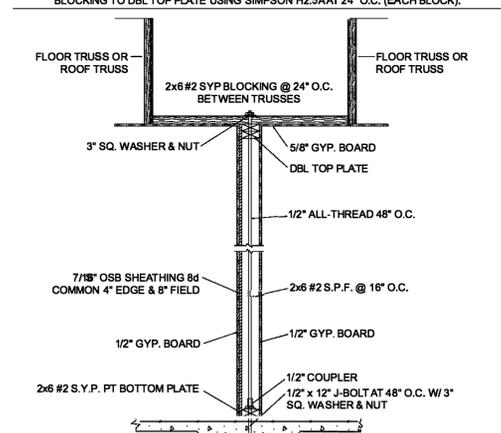
1405.4.2 MASONRY. FLASHING AND WEEP HOLES IN ANCHORED VENEER SHALL BE LOCATED IN THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB, AND OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, SHELF ANGLES AND LINTELS WHERE ANCHORED VENEERS ARE DESIGNED IN ACCORDANCE WITH SECTION 1405.6.

FLASHING SHALL BE INSTALLED PER FMA/AAMA 100, FMA/AAMA 200, FMA/WDMA 250, OR FMA/AAMA/WDMA 300.

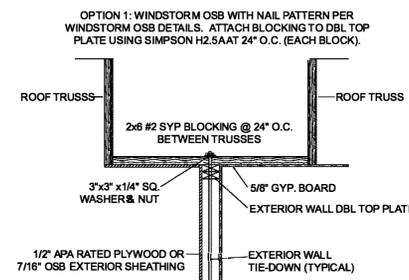
OPTION: INSTALL PER FENESTRATION MANUFACTURER'S INSTALLATION & FLASHING INSTRUCTIONS

OPTION 1: SIMPSON SPH# AT BOTTOM AND DBL TOP PLATE AT 32" O.C. IN LIEU OF ALL-THREAD. ATTACH BLOCKING TO DBL TOP PLATE USING SIMPSON H2.5A AT 24" O.C. (EACH BLOCK).

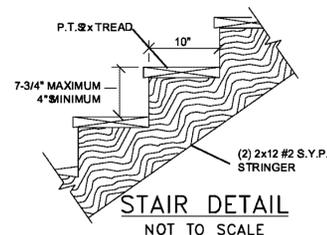
OPTION 2: WINDSTORM OSB WITH NAIL PATTERN PER WINDSTORM OSB DETAILS. ATTACH BLOCKING TO DBL TOP PLATE USING SIMPSON H2.5A AT 24" O.C. (EACH BLOCK).



SLAB-ON-GRADE INTERIOR SHEAR WALL DETAIL
NOT TO SCALE



EXTERIOR SHEARWALL WITH PARALLEL ROOF TRUSS DETAIL
NOT TO SCALE



STAIR DETAIL
NOT TO SCALE

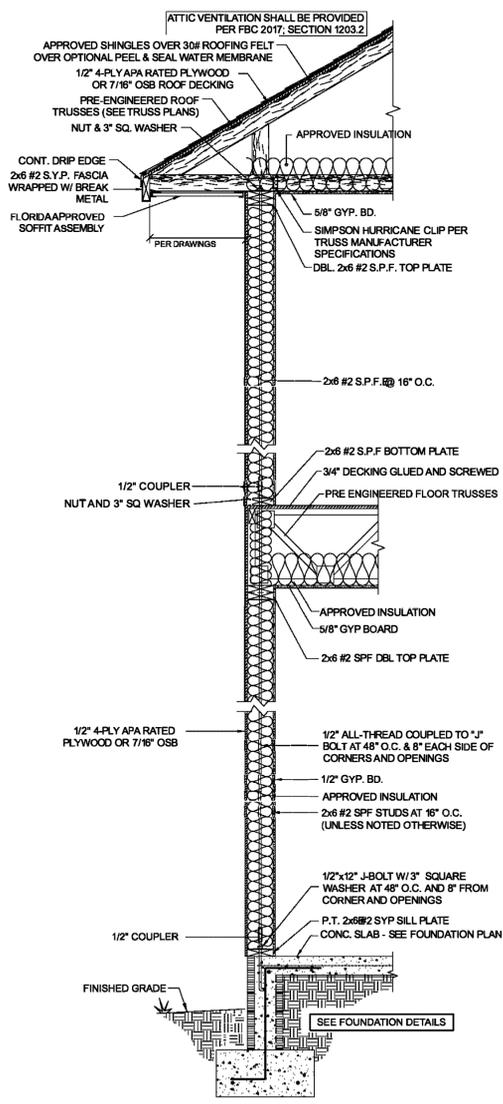
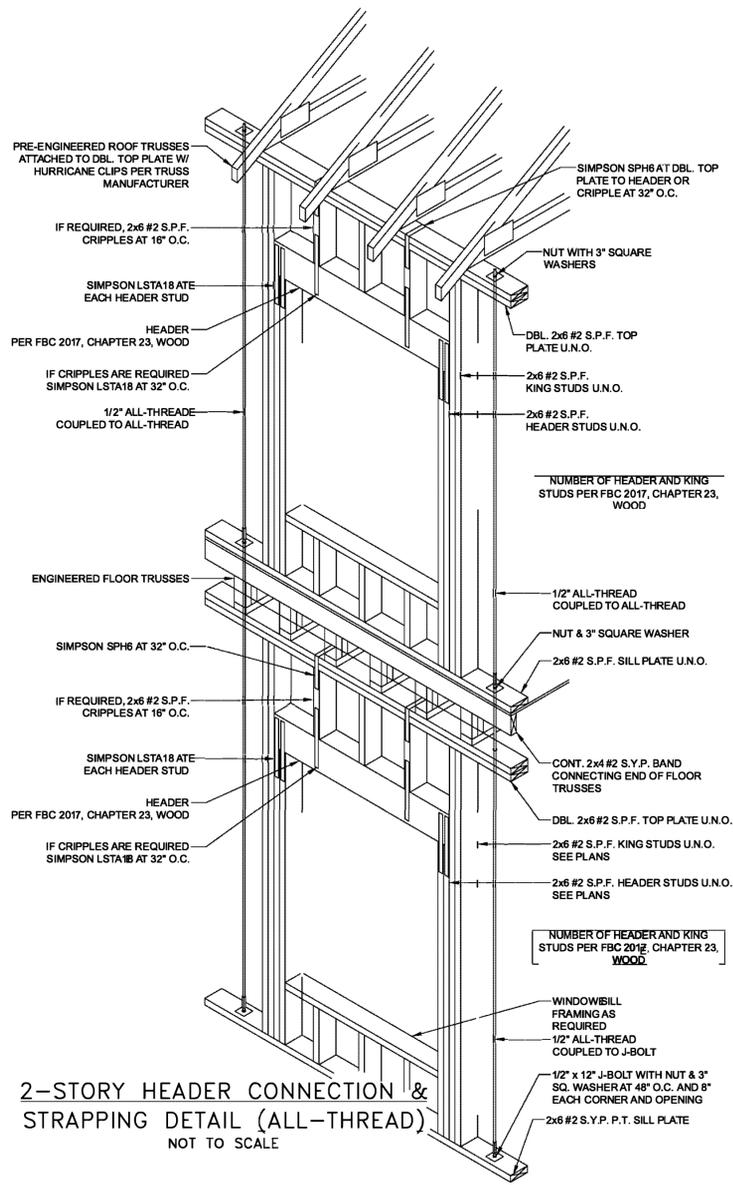
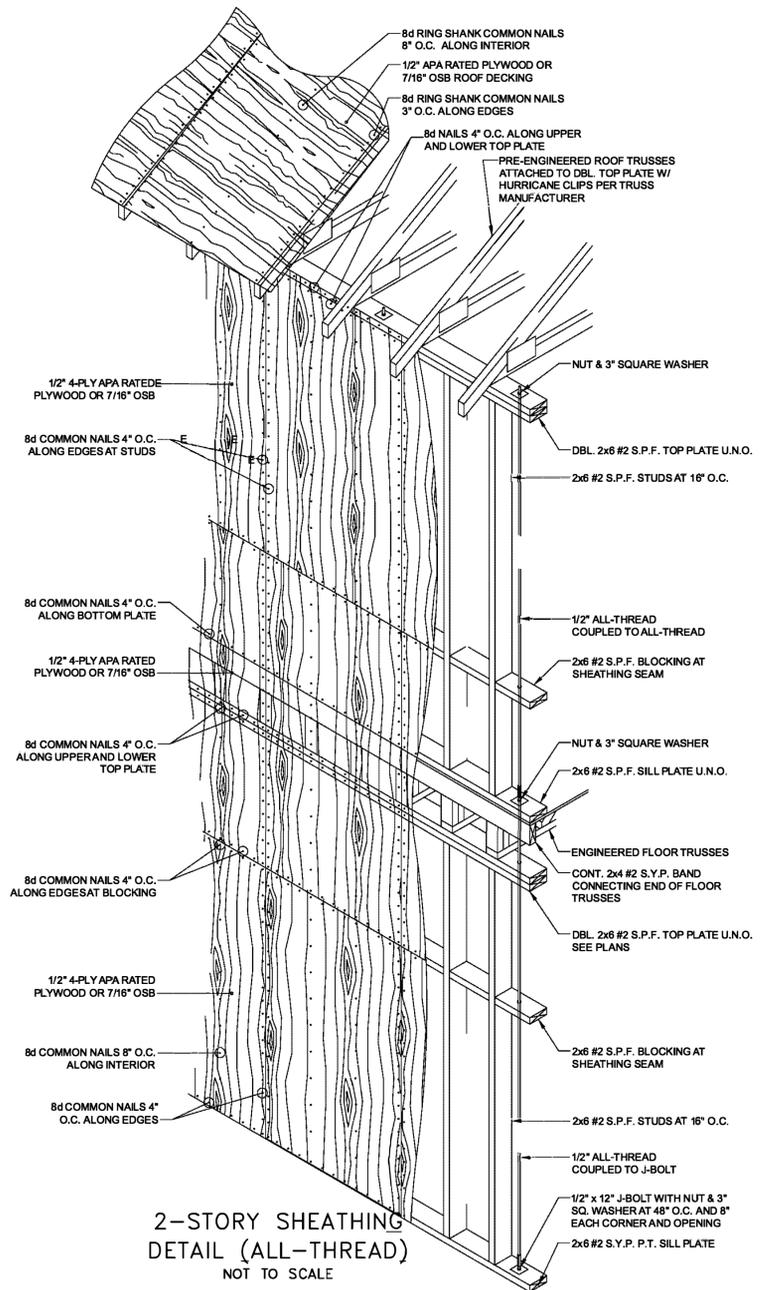
REVISIONS	DESCRIPTION	DATE

PROJECT TITLE:
Dhaiti Residence
316 N Spring Street
Pensacola, Florida
Escambia County

SHEET TITLE:
STRUCTURAL NOTES/DETAILS

DATE:
6/14/2019

SHEET NUMBER:
S3



JACK (HEADER) AND KING STUD REQUIREMENTS:
FBC 2017- CHAPTER 23 WOOD - TABLE 2308.4.1.1

OPENING SIZE	# JACK STUDS	# KING STUDS
LESS THAN OR EQUAL TO 4'-0"	1	2
4'-1" TO 6'-0"	2	2
6'-1" TO 10'-0"	3	2
10'-1" TO 14'-0"	3	3
14'-1" TO 18'-0"	4	4

ALL HEADERS SHALL BE 2x12 #2 SYP UNLESS NOTED OTHERWISE ON PLANS.
HEADER WIDTH SHALL MATCH WALL THICKNESS!
2x4 WALLS REQUIRE (2) 2x12 #2 SYP HEADER
2x6 WALLS REQUIRE (3) 2x12 #2 SYP HEADER
HEADERS MAY BE REDUCED IN SIZE PER FBC 2017- CHAPTER 23 WOOD - TABLE 2308.4.1.1

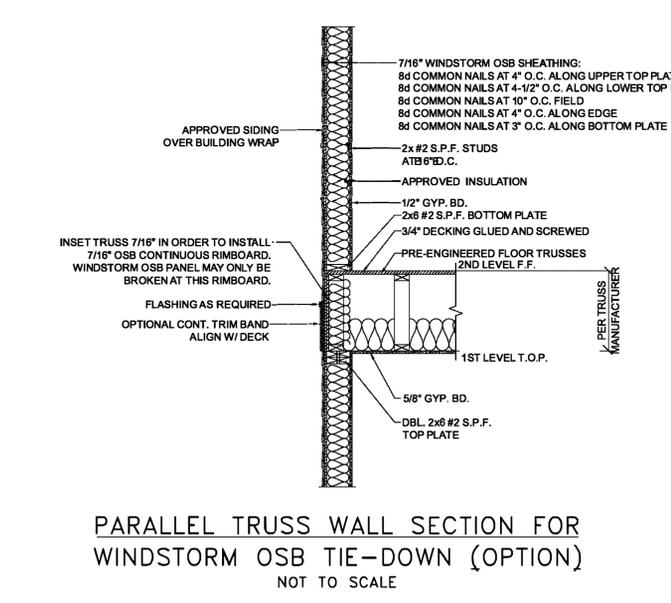
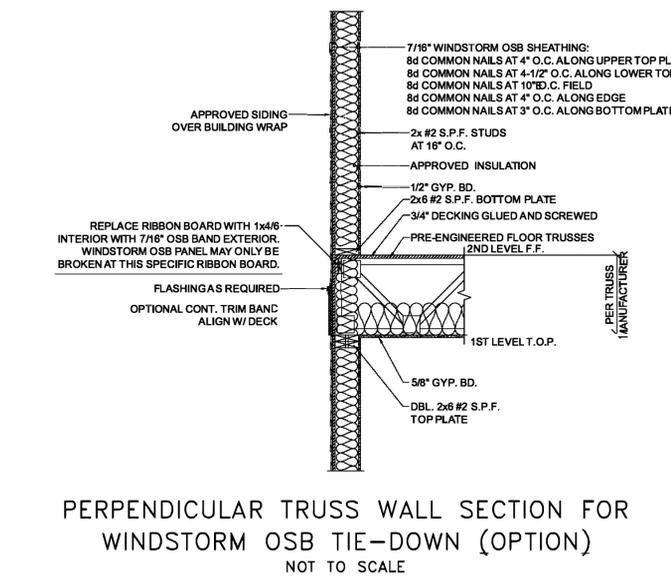
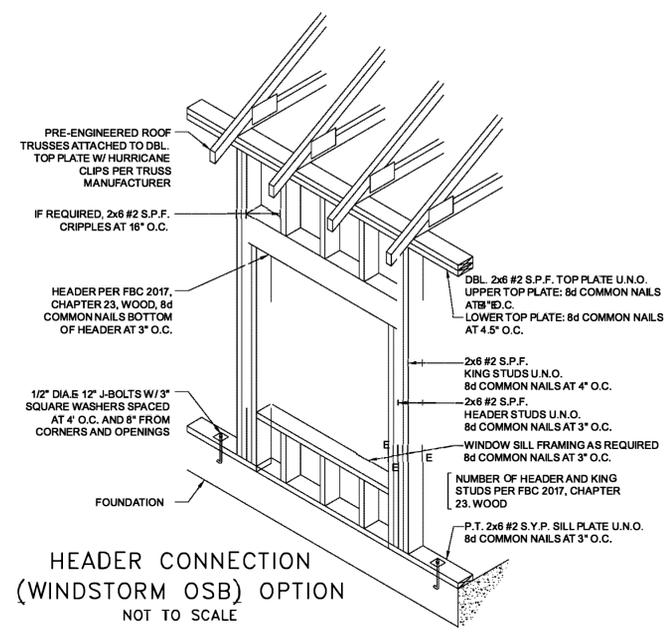
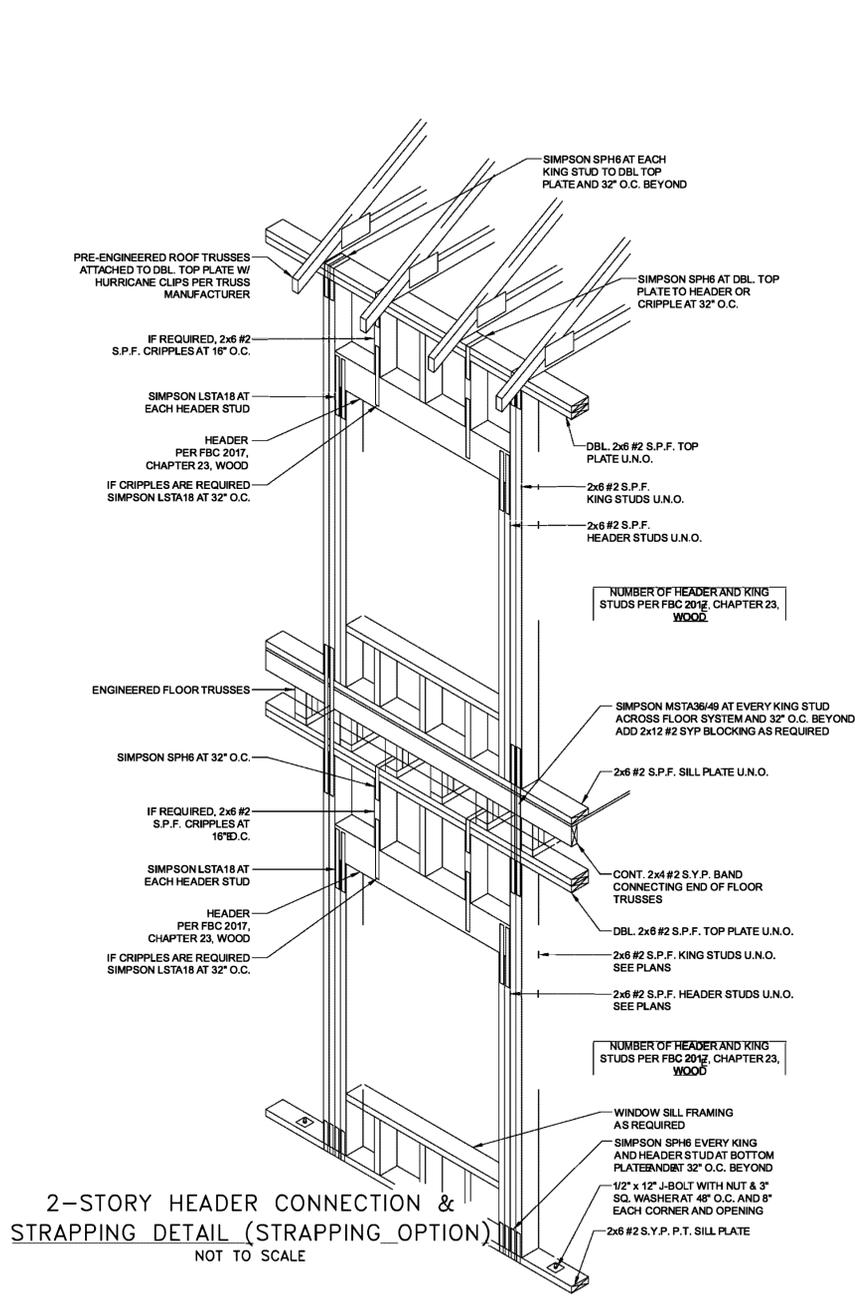
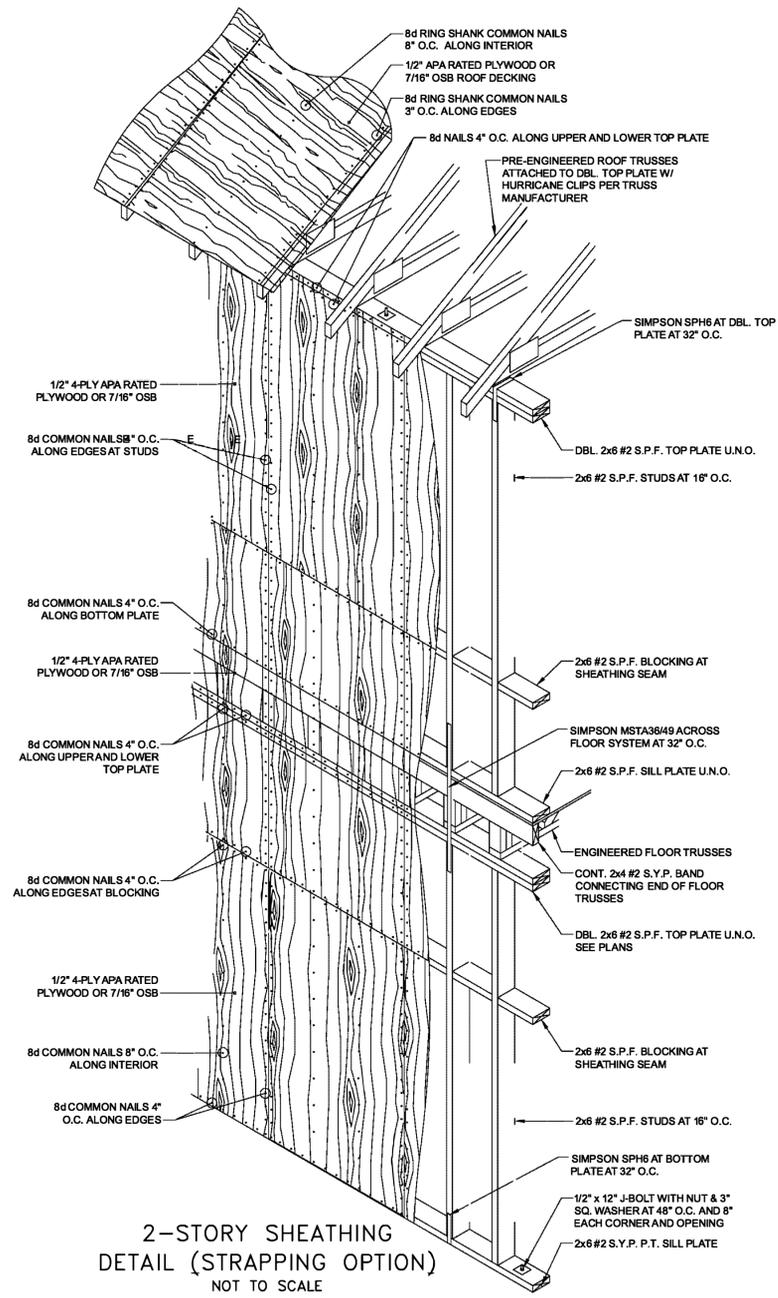
REVISIONS	DESCRIPTION
DATE	

PROJECT TITLE:
Dhaiti Residence
316 N Spring Street
Pensacola, Florida
Escambia County

SHEET TITLE:
STRUCTURAL NOTES/DETAILS

DATE:
6/14/2019

SHEET NUMBER:
S4



- STRAPPING OPTION ADDITIONAL REQUIREMENTS:**
- 1/2" ALL-THREAD SHALL BE LOCATED AT ALL GIRDER TRUSSES AS REQUIRED BY TRUSS MANUFACTURER.
 - 1/2" ALL-THREAD SHALL BE LOCATED AT ALL INTERIOR BEARING WALLS (SEE OPTIONS IN GENERAL NOTES).
 - 3/8" ALL-THREAD SHALL BE LOCATED WITH 8" FROM EACH BEAM POCKET FOR ALL PORCH BEAMS.
 - 1/2" ALL-THREAD SHALL BE LOCATED PER GARAGE DOOR DETAILS AS REQUIRED.
 - 1/2" ALL-THREAD SHALL BE LOCATED WITH 8" OF EACH CORNER.
 - CORNERS SHALL BE TIED DOWN WITH (3) MINIMUM SIMPSON SPH6 STRAPS FROM STUD TO BOTTOM PLATE EACH SIDE.
 - CORNERS SHALL BE TIED DOWN WITH (3) MINIMUM SIMPSON MSTA3849 STRAPS ACROSS THE FLOOR SYSTEM EACH SIDE.
 - CORNERS SHALL BE TIED DOWN WITH (3) MINIMUM SIMPSON SPH6 STRAPS FROM STUD TO DOUBLE TOP PLATE EACH SIDE.
 - 1/2" ALL-THREAD SHALL BE LOCATED EACH SIDE OF ALL OPENINGS LARGER THAN 72" WIDE.
- STRAPPING ALTERNATIVE:**
- SIMPSON SPH6 MAY BE SUBSTITUTED WITH SIMPSON SDWC15800 (1 EACH STUD) INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 - SIMPSON MSTA3849 FLAT STRAP ACROSS FLOOR SYSTEM MAY BE SUBSTITUTED WITH SIMPSON SDWF2427-TUW; A) SPACING 36" O.C. AND WITHIN 8" OF EACH CORNER AND OPENING.

SEE PAGE S6 FOR REMAINING WINDSTORM OSB OPTION DETAILS. WINDSTORM OSB TIE-DOWN SYSTEM MAY ONLY BE USED WHERE EXACT CONDITIONS EXIST.

DEAN A. SPENCER ENGINEERING, INC.
 2735 SANIBEL PLACE
 GULF BREEZE, FL 32563
 850.932.8730 (Voice)
 850.934.9944 (Fax)
 DEAN A. SPENCER, PE, SEOR
 FL #44472, CA #0070
 AL #29262, CA #3487

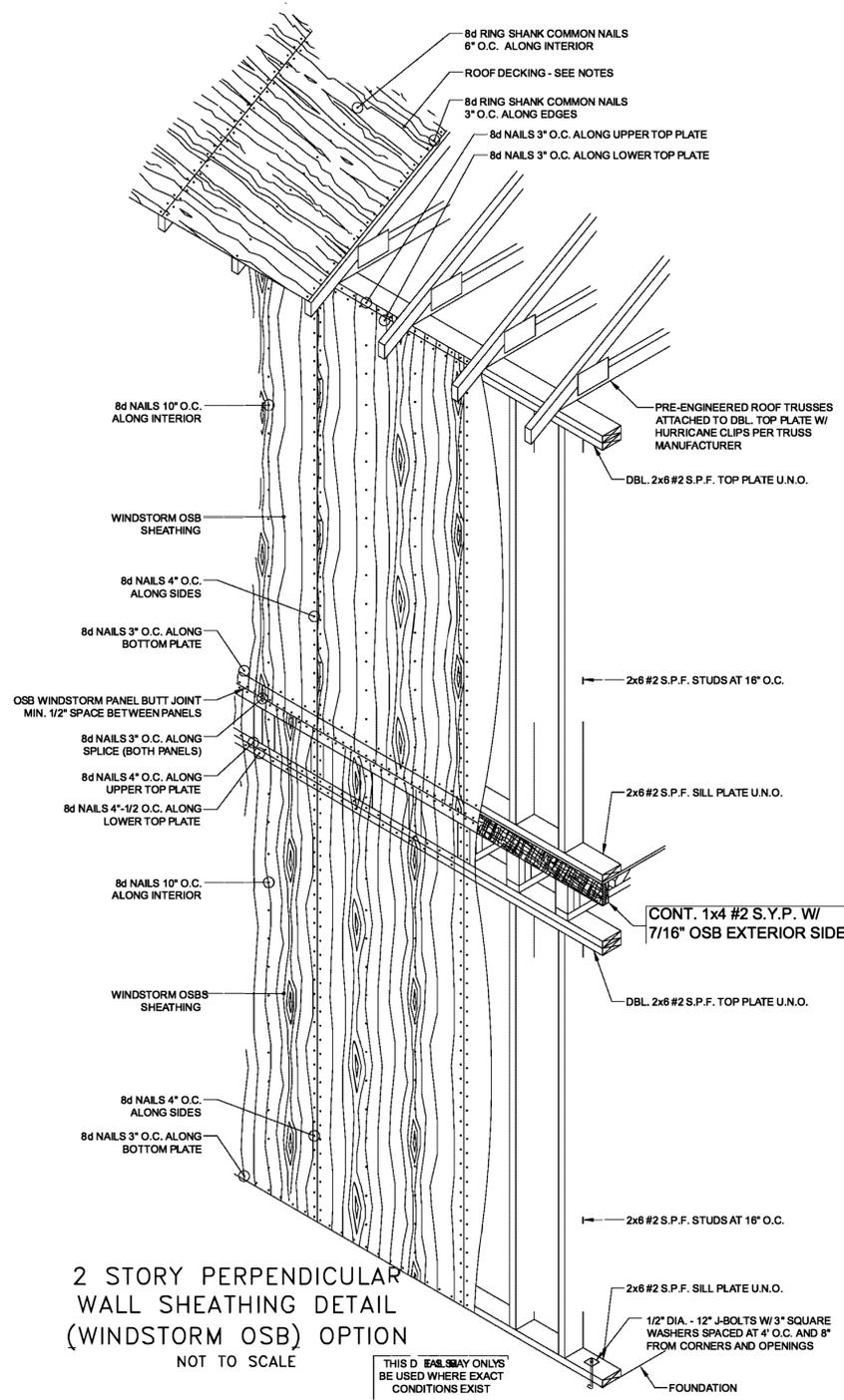
REVISIONS	DESCRIPTION	DATE

PROJECT TITLE:
Dhaiti Residence
 316 N Spring Street
 Pensacola, Florida
 Escambia County

SHEET TITLE:
STRUCTURAL NOTES/DETAILS

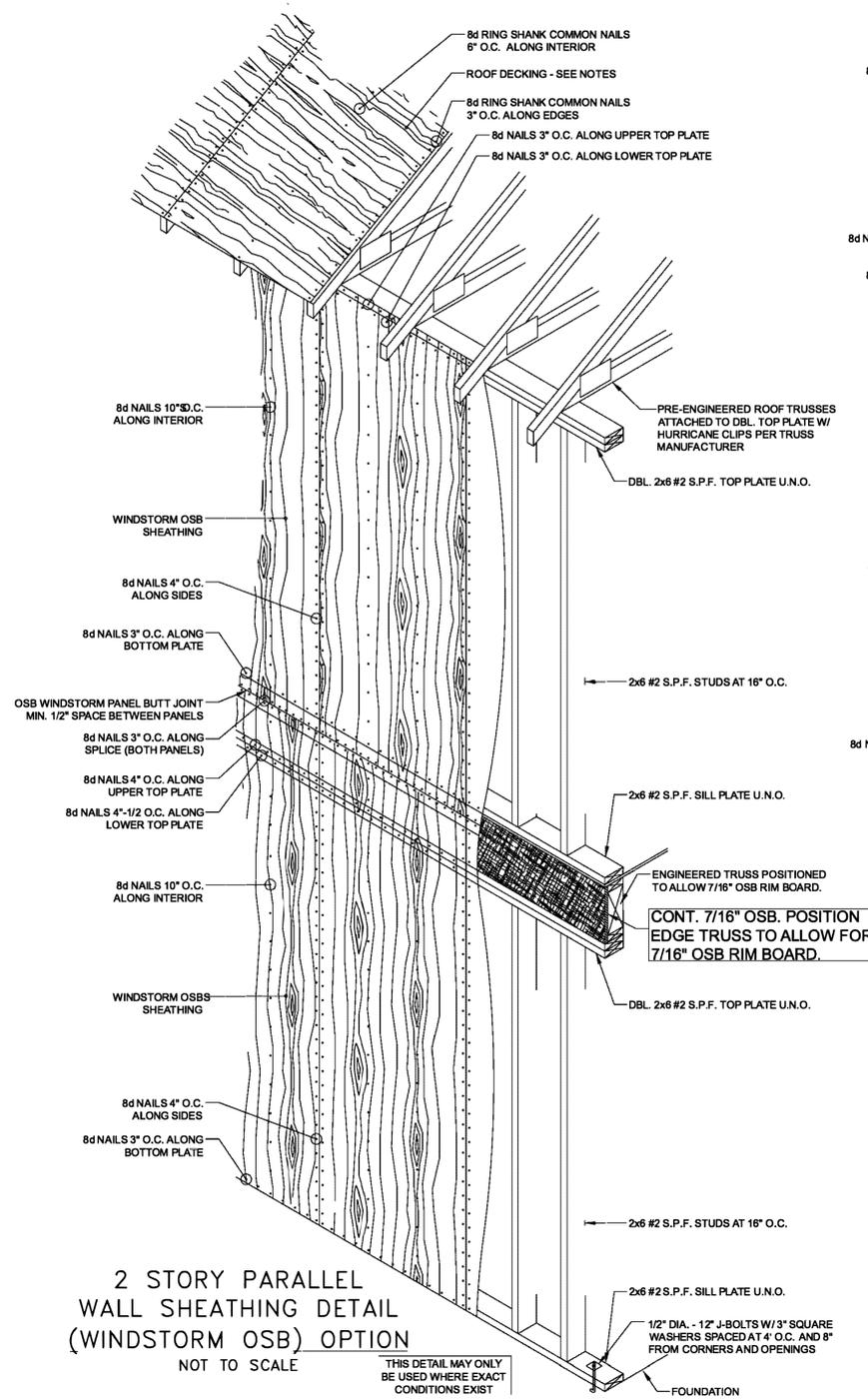
DATE:
 6/14/2019

SHEET NUMBER:
S5



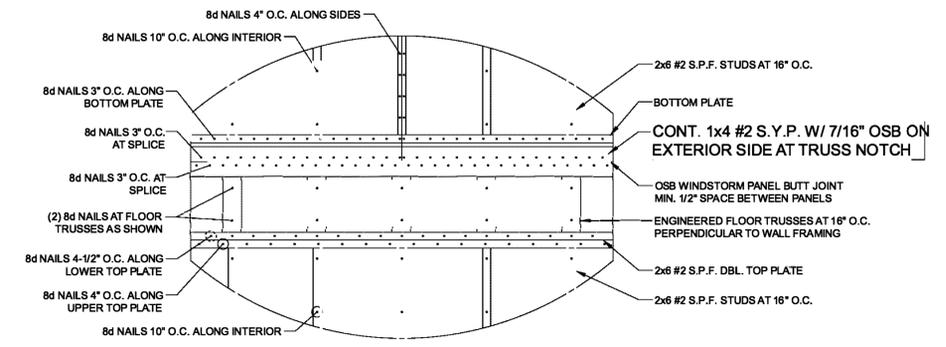
2 STORY PERPENDICULAR WALL SHEATHING DETAIL (WINDSTORM OSB) OPTION
NOT TO SCALE

THIS DETAIL MAY ONLY BE USED WHERE EXACT CONDITIONS EXIST

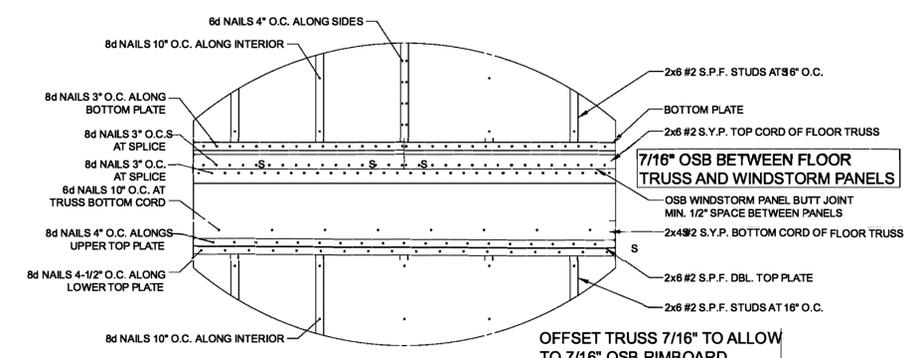


2 STORY PARALLEL WALL SHEATHING DETAIL (WINDSTORM OSB) OPTION
NOT TO SCALE

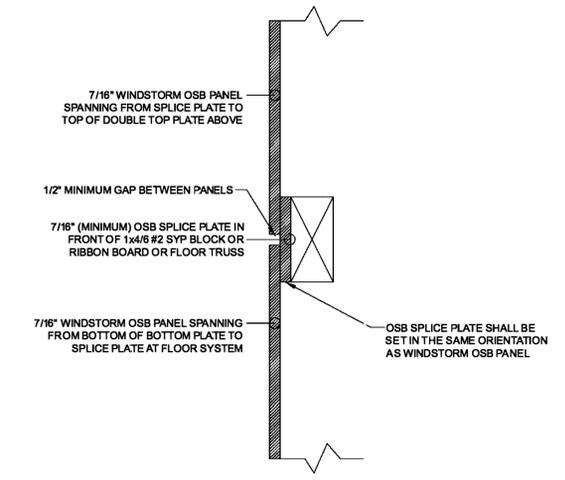
THIS DETAIL MAY ONLY BE USED WHERE EXACT CONDITIONS EXIST



2-STORY JOINT FLOOR TRUSS PERPENDICULAR (WINDSTORM OSB)
NOT TO SCALE



2-STORY JOINT (FLOOR TRUSS PARALLEL) (WINDSTORM OSB)
NOT TO SCALE



WINDSTORM OSB SPLICE SECTION
NOT TO SCALE

WINDSTORM OSB PANELS MAY ONLY BE BROKEN AT EXTERIOR 7/16\"/>

IF WINDSTORM OSB PANELS ARE BROKEN AT ANY LOCATION OTHER THAN NOTED, ALL-THREAD TIE-DOWN SYSTEM SHALL BE REQUIRED FOR UPLIFT.

WINDSTORM OPTION:

1. 1/2\"/>
- 2. 1/2\"/>
- 3. 1/2\"/>
- 4. 1/2\"/>
- 5. 1/2\"/>
- 6. 1/2\"/>

DEAN A. SPENCER ENGINEERING, INC.
2735 SANIBEL PLACE
GULF BREEZE, FL 32563
850.932.8730 (0669)
850.934.9944 (Fax)

DEAN A. SPENCER, PE, SECR
FL #44472, CA #9070
AL #29262, CA #3487

REVISIONS	DESCRIPTION	DATE

PROJECT TITLE:
Dhaiti Residence
316 N Spring Street
Pensacola, Florida
Escambia County

SHEET TITLE:
STRUCTURAL NOTES/DETAILS

DATE:
6/14/2019

SHEET NUMBER:
S6

Item # 489068 Model # HRS6T15EL

Severe Weather (Assembled: 6-ft x 2.69-ft) Pressure Treated Pine Deck Railing Kit with Balusters

61 Ratings



4.0 Average

92%

Recommend this product



Community Q&A
[View Now](#)



Wood railing painted white



Item # 0601180 Store SKU #775276



GAF >

Timberline Natural Shadow Charcoal Lifetime Architectural Shingles (33.3 sq. ft. per Bundle)

★★★★★ (214) [Write a Review](#) [Questions & Answers \(86\)](#)

- Architectural asphalt shingles covered by Lifetime Ltd. Warranty
- Classic Natural Shadow® effect provides look of even-toned wood
- [Shop the Lifetime Roofing System](#)

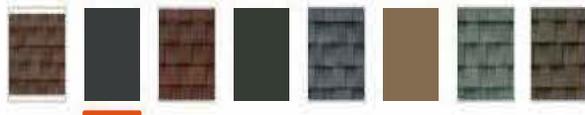


\$31⁰⁰ /bundle
Buy 36 or more **\$24.80** /bundle



Save up to **\$100** on your qualifying purchase.
[Apply for a Home Depot Consumer Card](#)

Color/Finish: Charcoal



[Building Supplies](#) > [Fencing & Gates](#) > [Fence Panels](#)

Item # 99305 Model # WF8264

Severe Weather (Actual: 6-ft x 8-ft) Cypress Fence Panel

41 Ratings
★★★★★
4.0 Average

77%
Recommend this product

Community Q&A
[View Now](#)



dog ear removed



A series Double hung Window

single hung

First floor front window
3x7 feet White Vinyl
Approval code
FL13082

Second Floor front Window
3x6 feet Vinyl White
Approval code
FI 201000

Window schedule A

Window schedule F

single hung

Single hung double window

Rear and side windows
White Vinyl Approval Code
fl 201000

Side window
2x6 feet Double window
Vinyl white
Approval Code 161000

Window schedule C,D,E,G,K

Window schedule B

36"x12"
Double Pane
Low E Glass
Vinyl White
Approval Code

24.5" Clear glass
Circular Picture Vinyl
Window With Platinum
Cross Design, White
Approval Code 16104

Window Schedule H

Window schedule J

Exterior Door fiberglass
36"x80" stain chestnut
Mahogany With
Decorative glass

picture window
24"x 24" vinyl white
Approval Code 16104

Window schedule I

Front door for first and
second floor and rear
door
product Approval
FL28831

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: *GH* Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 4
309 N. 6th Avenue
OEHPD / OEHR-2
Contributing Structure**

BACKGROUND

Jonathan Harrington is requesting approval for exterior modifications to a contributing structure.

The applicant is proposing to install non-load bearing CMU piers along the south side of the residence for nonstructural support to the floor. The new piers will be added between the existing piers and will be faced with matching brick veneer to blend with the existing materials. Although not included with this application, the property owner intends to cover the crawl space and piers with wood lattice in the future.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-10(C)(7) *OEHPD, Restoration, rehabilitation, alterations or additions to contributing structures*

HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Version 1.1: 3/89

Site 8 ES01988

Recorder # _____

SITE NAME J. P. MacNeil, House
HISTORIC CONTEXTS Spanish-American War
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE Private - Individual
PROJECT NAME West-East Hill Survey S&R _____ DHR NO 3226
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 309 North 6th Ave. CITY Pensacola
VICINITY OF a/ ROUTE TO West-East Hill Neighborhood, W side of N 6th Ave.
between E. Belmont St. and E. Wright St.
SUBDIVISION East King Tract BLOCK NO 3 LOT NO 62
PLAT OR OTHER MAP County Appraisers Atlas Sheet #68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? y n LAND GRANT _____
USGS 7.5b MAP Pensacola 1970 PR 1987
UTM: ZONE a EASTING _____ NORTHING _____
COORDINATES a LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT a F _____ M _____ L Unknown
BUILDER: F _____ M _____ L Unknown
CONST DATE 1913 CIRCA C RESTORATION DATE(S) a _____
MODIFICATION DATE(S) a _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) Residence - private
PRESENT USE(S) Residence - private

DESCRIPTION

STYLE Frame vernacular
PLAN: EXTERIOR Rectangular
INTERIOR _____
NO. of STORIES 2 OUTBLDGS 0 PORCHES 2 DORMERS 4
STRUCTURAL SYSTEM(S) Ballon, wood framing
EXTERIOR FABRIC(S) Prop siding, clapboard
FOUNDATION TYPE pier MATLS brick
INFILL none
PORCHES E/porch/round & square columns/5/E. E/balcony/square columns/partially enclosed/
ROOF: TYPE Gable SURFACING composition shingle 3/w
SECONDARY STRUCS a shed
CHIMNEY NO 0 MTLs N/A LOCNS N/A
WINDOWS SHS, 6/6, SHS, 6/2, Awning, 2
EXTERIOR ORNAMENT wood - exposed rafter beams
CONDITION Good SURROUNDINGS Residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
Porch on back enclosed to be another room. House takes up most of lot

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE Local Community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

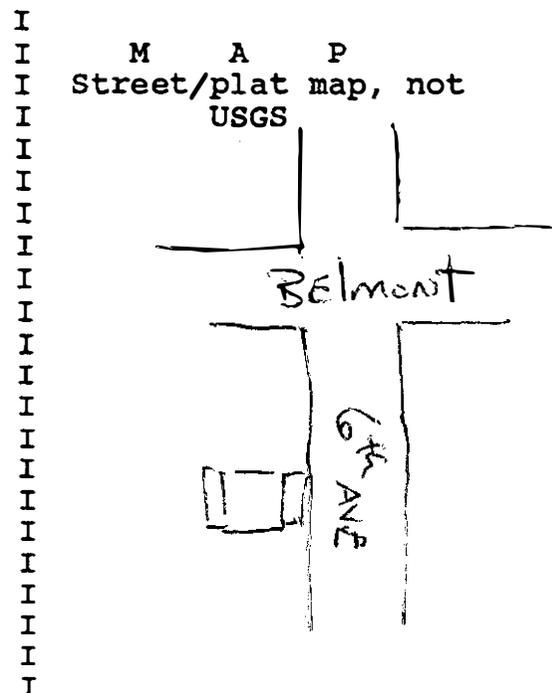
* * *DHR USE ONLY* * * * * DHR USE ONLY * *
*
* DATE LISTED ON NR _____ *
* KEEPER DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
* SHPO EVALUATION OF ELIGIBILITY (DATE): -YES _____ -NO _____ *
* LOCAL DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
* OFFICE _____ *
*
*a*a*DHR USE ONLY* * * * * DHR USE ONLY *a*

RECORDER INFORMATION: NAME F Richard M T. L Brosnahan
DATE: MOY YR 92 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Historic Pensacola Preservation Board
NEGATIVE NUMBERS 91N1Q7WEH (Frames 33-34)

PHOTOGRAPH

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



309 N. 6th Avenue

South side of residence

**Architectural Review Board Application
 Full Board Review**

Application Date: 8/5/2019

Project Address: 309 N. 6th Avenue

Applicant: Jonathan Harrington

Applicant's Address: 5839 Elaine Ave Milton FL 32523

Email: jonathan.c.harringtonjr@gmail.com **Phone:** 850-530-9983

Property Owner: Lauren Anzaldo

(If different from Applicant)

District: PHD NHPD OEHPD PHBD GCD

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Installing new support piers along south side of residence. Three (3) of those will be seen from the south (side) elevation. Piers will be cement with brick veneer to match the existing piers and will be located between existing piers.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


 Applicant Signature

Aug 5, 2019
 Date

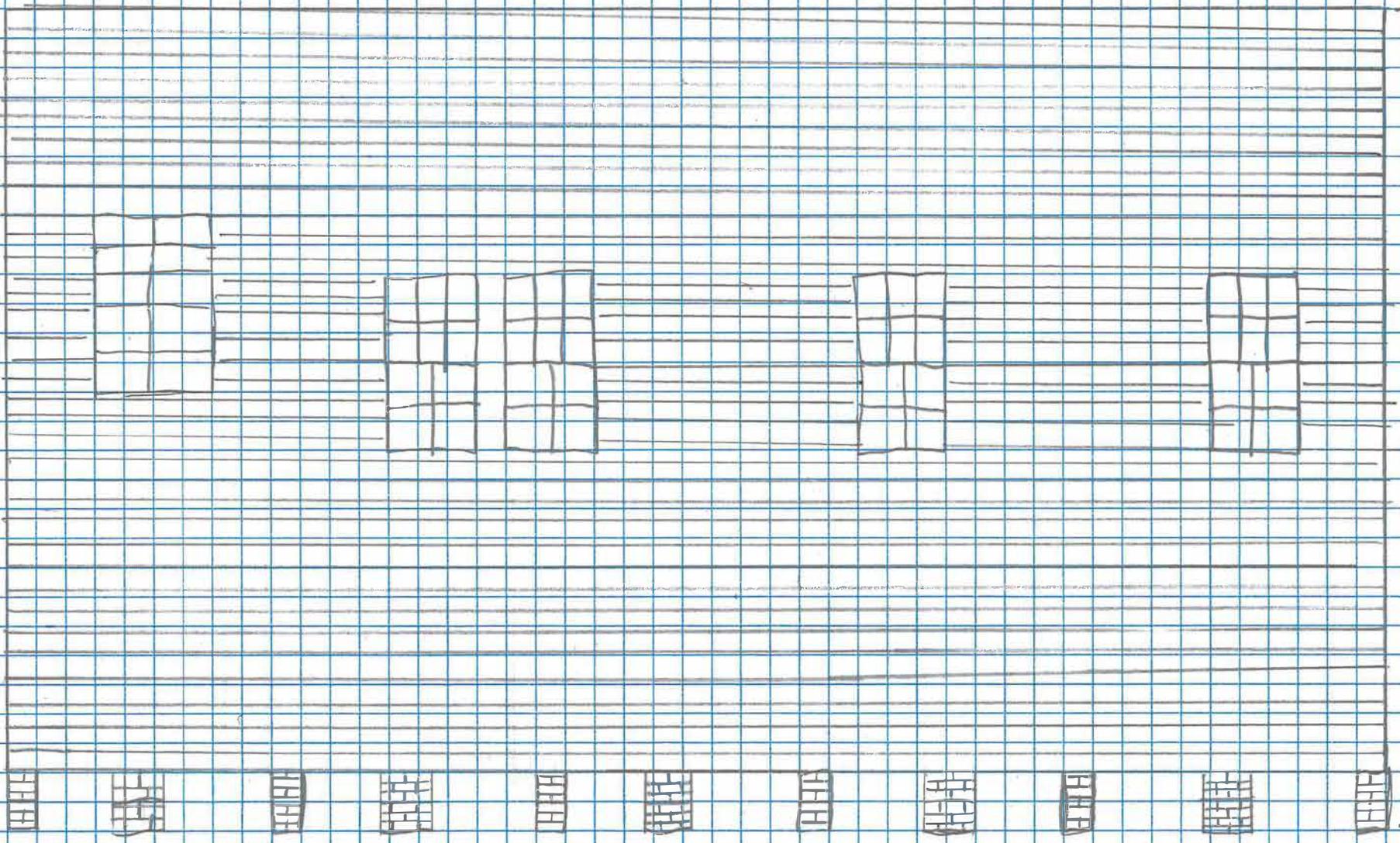
SOUTH ELEVATION

1" = 5'

5'

REAR

FRONT PORCH



↑
Add
Cinder block
with brick RAP

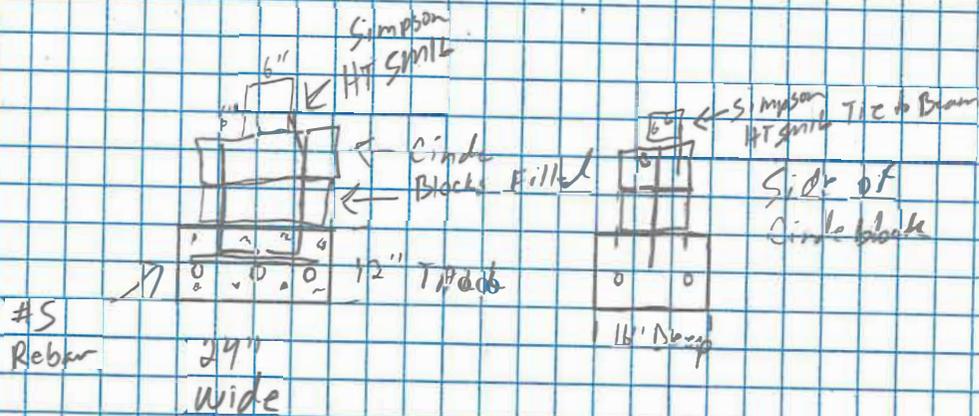
↑
add
Cinder block
w/ brick wrap

↑
add
" "

↑
add
" "

↑
Add
" "

CMU Pier Detail



Pier shall be 12" below grade

Cinder block reveal to be brick Roppel

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: ^{GH} Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 5**
820 E. LaRua Street
OEHPD / OEHC-1
Variance

BACKGROUND

Alicia and Daniel Ahern are seeking a Variance to increase the minimum required west side yard setback from 5 feet to 3.8 feet (1.4 feet in total) to accommodate a rear addition. This request would allow the applicant to build off of the complete existing footprint and will not affect proposed hardscape modifications on the east side yard. While the addition will extend the nonconforming setback, it will not increase the setback beyond the point that the existing historic structure already occupies.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(C)(7) *Restoration, rehabilitation, alterations or additions to existing contributing structures*

Table 12-2.10 *Regulations for Old East Hill preservation zoning districts*

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

SITE NAME James H. Sullivan House
HISTORIC CONTEXTS Depression-Now Deal
NATD REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE Private-individual
PROJECT NAME West-East Hill Survey S&R DHR NO 3226
LOCATION (Attach copy of USGS map & sketch-map of immediate area)
ADDRESS 820 East LaRue Street CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood N. side of E. LaRue St. between N. 8th Ave. and N. 9th Ave
SUBDIVISION New City Tract BLOCK NO 83 LOT NO 110
PLAT OR OTHER MAP county appraiser's atlas 68
TOWNSHIP 2S RANGE 30 SECTION 22 1/4 1/4-1/4
IRREGULAR SEC? x y n LAND GRANT
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONED EASTING NORTHING
COORDINATES D LATITUDE D M S LONGITUDE D M S

HISTORY

ARCHITECT F M L unknown
BUILDER: F M L unknown D
CONST DATE 1929 CIRCA C RESTORATION DATE(S) D
MODIFICATION DATE(S):
MOVED DATE ORIG LOCATION
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
PLAN EXTERIOR irregular
INTERIOR
NO.: STORIES 1 OUTBLDGS 1 PORCHES 1 DORMERS 0
STRUCTURAL SYSTEM(S) ballon wood framing
EXTERIOR FABRIC(S) drop siding
FOUNDATION TYPE pier MATLS brick
INFILL brick & wood
PORCHES s/porch turned wood columns/4/N
ROOF TYPE cross-gable SURFACING composition shingles
SECONDARY STRUCSD shed porch
CHIMNEY NO 2 MTLs Brick LOCNS SW: offset, lateral-NE: offset, lat
WINDOWS DHS, 4/1 wood DHS, 6/6 wood DHS, 2/2 wood; fixed I; transom, I
EXTERIOR ORNAMENT wood jigsaw cut corner pieces on porch columns jigsaw cut decora
CONDITION fair SURROUNDINGS residential tive pickets, decora-
NARRATIVE (general, interior, landscape, context; 3 lines only) tive cornice

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y X n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE local community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

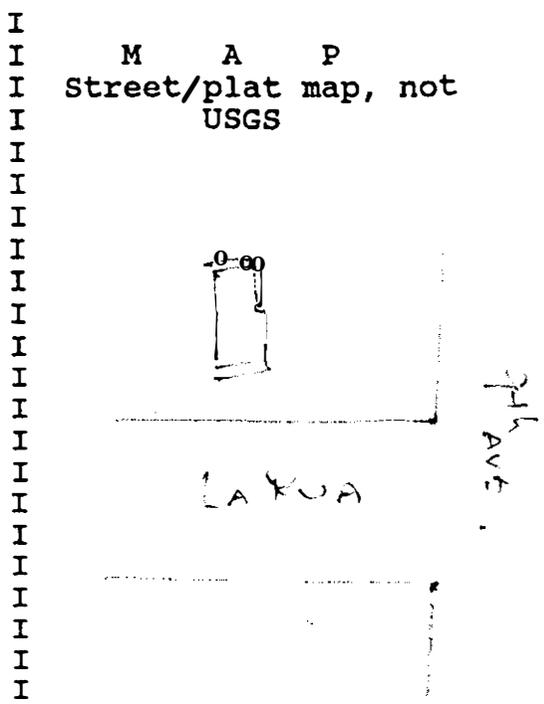
* * *DHR USE ONLY*a* * a * * * * * a*a* * * * * * * DHR USE ONLYa* *
*
* DATE LISTED ON NR *
* KEEPER DETERMINATION OF ELIG.(DATE)a -YES _____ -NO _____ *
* SHPO EVALUATION OF ELIGIBILITY (DATE)a -YES _____ -NO _____ *
* LOCAL DETERMINATION OF ELIG.(DATE)a -YES _____ -NO _____ *
* OFFICE _____ *
* * *DHR USE ONLY*a* * a * * * * * a*a* * * * * * a DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T L Brosnaham
DATE: MO 5 YR 92 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Historic Pensacola Preservation Board
NEGATIVE NUMBERS 91N119WEH (Frames 15-16)

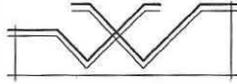
P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

820 E. LaRua Street



J. Veal, Architect

August 06, 2019

Members of the Architectural Review Board
City of Pensacola

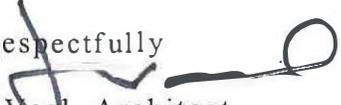
Re: Ahern Variance Request – 820 East La Rua Street

Members of the Board

Attached is the revised Variance Application for 820 East La Rua Street submitted by Danny and Alicia Ahern, including the following

01. Revised Application
02. Revised Site Drawing (D-1); The Survey submitted with the original application was performed by Swinney & Associated and was hand drawn and contains some elements that are not drawn to scale. Specifically the alignment of the existing home in relationship to the west property line is not accurate. The revised drawing more clearly shows the relationship of the west wall of the existing house to the west property line.
03. Survey originally submitted, by Swinney & Associates, dated 06-04-04.
04. Architectural Site Plan (D-2); showing the accurate location and alignment of the existing house and proposed improvements, including the proposed addition with a diminishing encroachment from 11.75" at the SW corner of the proposed addition to 4.5" @ the NW corner and a 12'x22' detached garage.
05. Letter of non-objection from Matthew Ahern (no relation) who is the Owner of 822 East La Rua Street, directly to the east of Danny and Alicia's property.
06. Photos of the existing structure
 - a. Front
 - b. Front
 - c. West Side, showing fence and structure located to the West
 - d. West Side, close up
 - e. Rear, showing rear porch proposed to be demolished
 - f. Rear of existing house as seen from the property to the West
 - g. Side View of rear porch, as seen for property to the West
 - h. Rear Yard, Showing NW corner of rear yard and existing oak tree
 - i. Rear Yard, showing NE Corner of rear yard
07. Sketches of elevations of proposed addition
 - a. Rear Elevation
 - b. East Side Elevation
 - c. West side Elevation
08. Previous Application, including; cover letter, application & memo from staff

Respectfully


J. Veal, Architect

- Zoning Board of Adjustment*
- Architectural Review Board*
- Planning Board*
- Gateway Review Board*

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**. Checks or money orders should be made payable to the **City of Pensacola**.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/Tables(s) Table 12-2.10 Sec 12-2-10(c)(7) Zoning OEHC-1

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 820 E. LaRuz Street

Current use of property: Residential

1. Describe the requested variance(s): Encroach into west side yard setback 11.75" @ SW corner + 4.5" @ NW corner of Proposed Addition. See New site drawing.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

See Attached

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

See Attached

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

See Attached

5. Explain what other condition(s) may justify the proposed variance(s):

See Attached

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

"The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event to allow the City time to provide the requested services."

APPLICANT INFORMATION

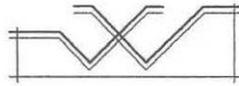
Name: Daniel Ahern
Address: 320 E. LA RUE ST
PENSACOLA, FL 32501
Telephone Number: 896 982 8503

[Signature]
Applicant's Signature

PROPERTY OWNER INFORMATION

Name: Daniel Ahern
Address: 320 FORT PICKENS RD.
PENSACOLA FL 32561
Telephone Number:

[Signature]
Property Owner's Signature



J. Veal, Architect

August 06, 2019

Ahern House, 820 E. La Rua Street – Variance Criteria

00. **Describe the requested Variance:** See the Application.
01. **Describe the Special Conditions existing on this property which creates the need for the variance, but are not applicable to other properties in the same district and which are not the result of the applicants actions:** The existing house was constructed in the early 1900's and is a very good example of period architecture, lap siding, porches, high ceilings, etc. The home was placed on the lot at a slight angle that is reflected in that the extreme SW corner of the enclosed area of the structure is 2.4' from the west property line. As you move north along the property line, the setback of the structure from the property line increases to 3.8' at the existing NW corner of the enclosed area of the home. The NW corner of the existing north porch currently encroaches 11.75" and continues to get smaller until the extreme NW corner of the proposed addition only encroaches 4.5" into the required side yard setback.
02. **That the special conditions and circumstances do not result from actions of the applicant:** The current Owner, Danny and Alicia Ahern, did not build the home located at 820 East La Rua, they bought the home in 2003. They grew up in a on the very eastern tip of long island in a home that was built in 1925 and have a great appreciation for vernacular architecture. Danny and Alicia bought this house because it reminded them of a restaurant located in the Seville Historic District. Currently that plan to make a small addition to the house. The Placement of the current structure is in no way a result of any actions taken by the applicant
03. **That granting the variance requested does not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district:** The requested variance is relative minor. The integrity of the existing house will be maintained and enhanced by maintain the lines of the structure. The applicant's goal is to be able to make a minor addition 390 vs 1750 to the rear of the existing structure and result in a finished structure that the addition will be virtually indistinguishable as an addition. The variance will result is an addition that is historically conforming to the neighborhood and not draw attention to the new elements.
04. **That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardships on the applicant:** The literal interpretation of the ordinance will result is a noticeable jog in the west wall and roof of the structure that will have a detrimental effect on the integrity of the historical character of the early 1900's of the home. Granting the minor encroachments into the side yard setback to properly align with the existing structure will allow an addition to be true to line with the existing exiting structure as if it was built in the early 1900's. Additionally the required shift of the addition to the east will result in a greater constraint on the vehicular circulation that occurs on the east side of the structure
05. **The variance granted is the minimum variance that will make possible the reasonable use of the land, or building:** The variance granted is the absolute minimum. The requested variance is only to match up with line and plane of the existing structure which as noted is angling away from the side property line as it moves north. The existing NW corner of the existing porch encroaches 11.75" and at the NW corner of the proposed addition will encroach only 4.5". Granting the variance will be in absolute harmony with the existing historic home and fabric of the neighborhood.

- 06. That granting the variance will be in harmony with the general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare:** Granting the variance will be in no way injurious or detrimental to the neighbors, general area or to the public welfare. The variance will be virtually undetectable or noticeable from the adjacent property and certainly unnoticeable from the street. Granting the requested variance will allow the addition to be constructed in line and plane with the existing structure and will result is a more harmonious district. Not granting the variance could arguably have a detrimental effect on the structure and the adjacent properties.
- 07. That the variance will not constitute any change in the district shown on the zoning map, will not impair an adequate supply of light and air to the adjacent property, will not increase the congestion on public streets, or increase the danger of fire, will not diminish or impair established property values in the surrounding area or will not otherwise impair the public health safety and general welfare of the city:** Granting the variance will not result is any measurable impairment of the supply of light and/or air. The applicant will comply will all applicable building code provisions pertaining to the construction of the proposed addition and any building code provisions that may apply to the existing structure as a result of permitting the proposed addition. Granting the variance and permitting the applicant to construct the proposed addition in harmony with the existing structure will absolutely enhance the property values of the surrounding areas and not otherwise impair public health, safety, or the general welfare of the city.
- (a) That the variance granted will not detract from the architectural integrity and/or historical accuracy of the development and it surroundings; and.....** As stated above.... Granting the variance is required to maintain the architectural integrity and historical character of the existing home. Also, it should be noted that the existing tacked on shed on the rear of the existing home will be demolished in order to construct the proposed addition. The walls and roof are intended to align with the existing structure. The roof slope and material will match the existing roof and materials. The materials and details proposed for the addition will match the existing historic structure.
- (b) That the grant of the variance will be in harmony with the general intent and purpose of this title and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.t.....** Again.... Granting the variance will allow the architectural integrity and historical character of the existing home to continue. The walls and roof are intended to align with the existing structure. The roof slope and material will match the existing roof and materials. The materials and details proposed for the addition will match the existing historic structure. The proposed addition with the variance granted will be in harmony with the district and not detrimental in any way to the public welfare.

DESCRIPTION: (PER OFFICIAL RECORD BOOK 5118 PAGE 1051)
 LOT 11, BLOCK 03, NEW CITY TRAIL, CITY OF PENSACOLA,
 ESCAMBIA COUNTY, FLORIDA, ACCORDING TO MAP OF SAID CITY
 COPYRIGHTED BY THOMAS C. WATSON IN 1906.

CERTIFY TO:
DANIEL F. AHERN
ALICIA K. AHERN
REGIONS MORTGAGE, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYORS NOTES:

THIS SURVEY WAS PERFORMED FOR THE CLIENT SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.

ALL MEASUREMENTS WERE MADE ACCORDING TO UNITED STATES FOOT.

NO TITLE RESEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WERE WE FURNISHED WITH SUCH.

NO INSTRUMENT OF RECORD REFLECTING EASEMENTS, RIGHT OF WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.

NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.

ALL BEARINGS AND DISTANCES ARE RECORD UNLESS OTHERWISE NOTED.

ERROR OF CLOSURE MEETS MINIMUM TECHNICAL STANDARDS.

THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS PLAT.

BASIS OF BEARING: NORTH PER CITY ATLAS

REFERENCE SOURCE: FIELD WORK AND EXISTING FIELD MONUMENTATION:
COPY OF O.Z. BOOK 5118, PAGE 1051; COPY OF CITY ATLAS
FIG 2

ENCROACHMENTS ARE AS SHOWN.

WEST RIGHT-OF-WAY LINE
9TH AVENUE
 TO RIGHT-OF-WAY

LICENSE BUSINESS NO. 7092

ADDRESS: <u>820 E. LA RUA STREET</u>			
REQUESTED BY: <u>WALTER FERRE</u>			
TYPE: <u>BOUNDARY WITH IMPROVEMENTS</u>			
SECTION: <u>22</u>	TOWNSHIP: <u>2 SOUTH</u>	RANGE: <u>30 WEST</u>	COUNTY: <u>ESCAMBIA</u>
SCALE: <u>1" = 20'</u>	DRAWN BY: <u>M.S.I.</u>	FIELD DATE: <u>06-01-04</u>	CREW: <u>D.C.I.</u>
DATE: <u>06-04-04</u>		FIELD BOOK: <u>106</u>	PAGE: <u>14</u>
REVISION DATE:			

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATION CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

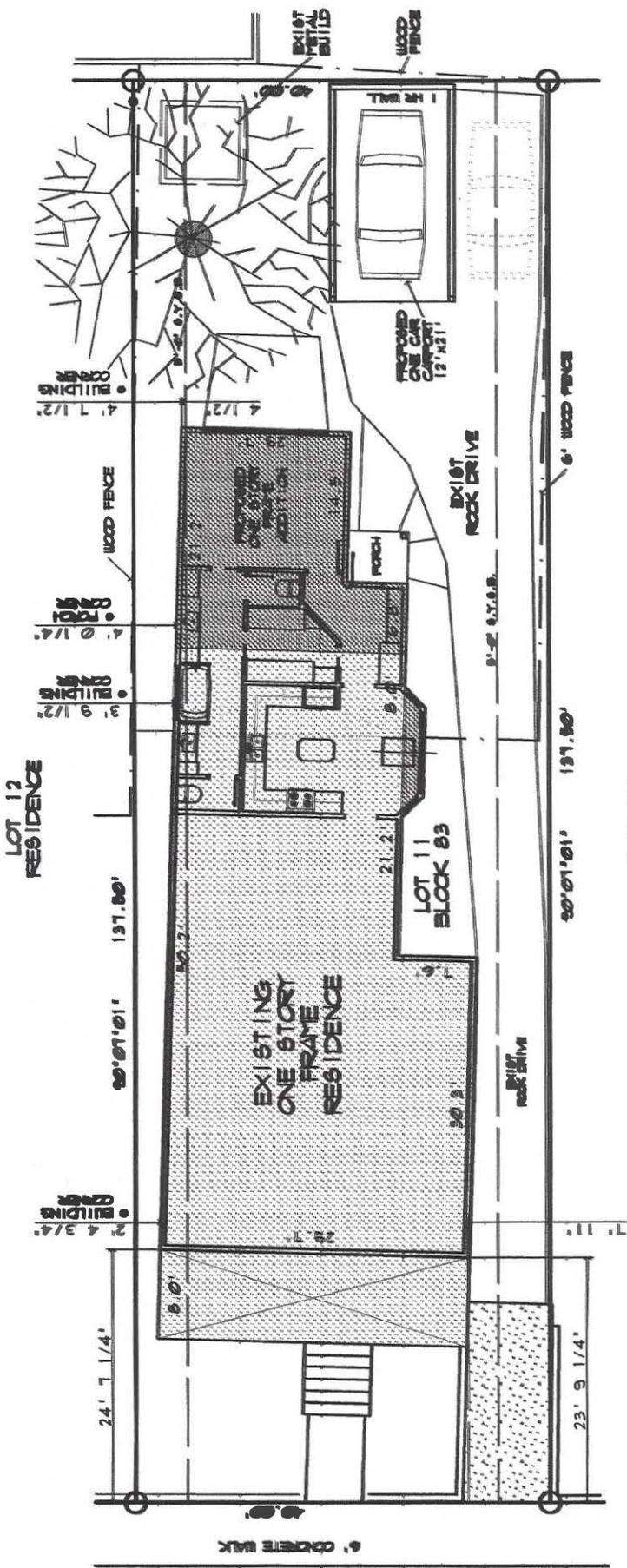
NOT VALID WITHOUT
 THE ORIGINAL
 SIGNATURE AND THE
 ORIGINAL RAISED SEAL
 OF A FLORIDA
 LICENSED SURVEYOR
 AND MAPPER


 DAVID MARK SWINNEY
 PROFESSIONAL SURVEYOR AND MAPPER NO. 5241
 STATE OF FLORIDA

DRAWING NUMBER:
04 10205

SWINNEY & ASSOCIATES, INC.
 DAVID MARK SWINNEY
 PROFESSIONAL LAND SURVEYOR AND MAPPER
 218 HENRY STREET
 PENSACOLA, FLORIDA 32507
 (850) 453-4261; FAX: (850) 458-2630
 D.SWINNEY@WORLDNET.ATT.NET





AREA TABULATION

SITE AREA	5,501 s.f.
50%	2,750
EXISTING PRINCIPLE STRUCTURE	1,766
PROPOSED ADDITION	438
PROPOSED GARAGE	252
TOTAL	2,456



ARCHITECTURAL SITE PLAN
 1/16" = 1' - 0"

August 3, 2019

To: Architectural Review Board Pensacola, FL

From: Matthew Ahearn owner 822 East La Rua Street

I own the property at 822 East La Rua Street, Pensacola , FL 32501 on the East side of the Ahern property at 820 East La Rua Street. I am aware they are seeking to put an addition onto the rear of the existing structure and will adding a garage on the East side of the property. I have no objection to the proposed project.



Matthew Ahearn















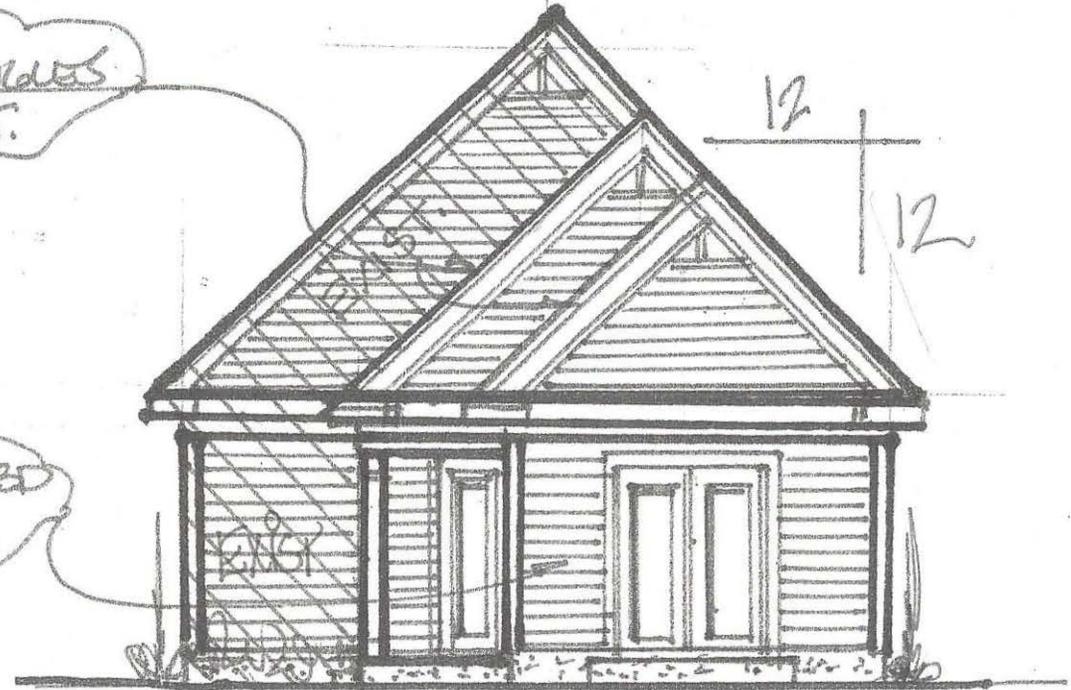




APPL. FIBERGLASS SHINGLES TO MATCH EXIST.

T.O.P.
12'0"
V.T.O.S.

APPL. HARDIBED
F.B. SIDING



← Exist. * Proposed Addition →

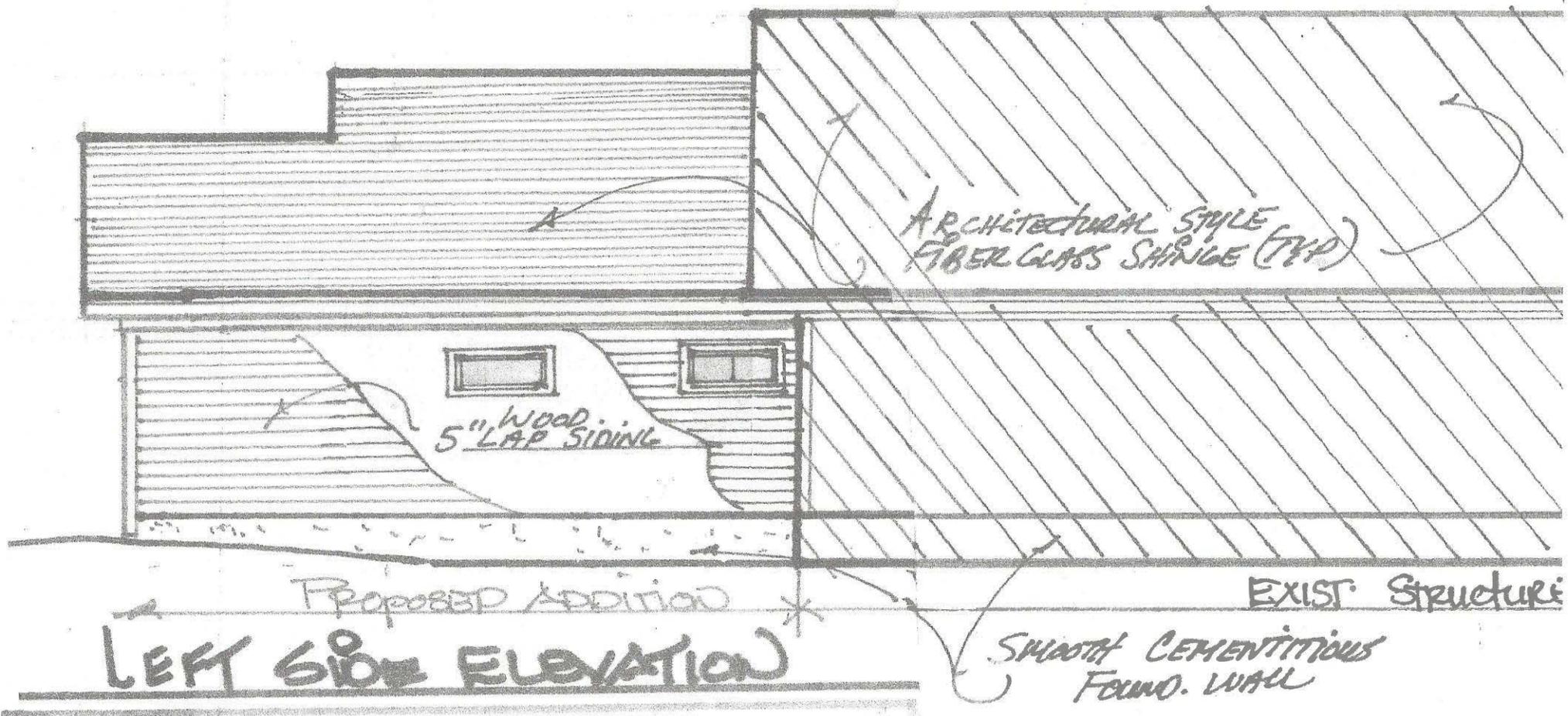
REAR ELEVATION



EXISTING

PROPOSED ADDITION

RIGHT SIDE ELEVATION



ARCHITECTURAL STYLE
FIBER GLASS SHINGE (TYP)

5" WOOD
LAP SIDING

PROPOSED ADDITION

EXIST. STRUCTURE

LEFT SIDE ELEVATION

SMOOTH CEMENTITIOUS
FOUND. WALL

July 3, 2019

To: Architectural Review Board

We are requesting a variance on a home at 820 East La Rua St, Pensacola, FL 32501 that we have owned since 2004. The property was our home after Hurricane Ivan and subsequently housed a business owned by Alicia Ahern. Currently it is a rental property.

The variance details are in our application, but we also would also like to point out that the variance is being requested not only to conform to the existing structure, but to also provide a large hallway and shower that can ultimately be accessed by a wheelchair.

Our goal is to age in place at the La Rua property and to have the new addition accessible to provide for future mobility issues. Daniel Ahern has limited ability to walk and stand at this point and it is likely he will be in need of a wheelchair in the future to accommodate his mobility issues. He is officially considered Disabled.

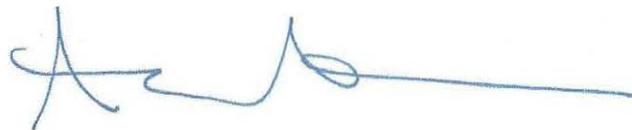
If we do not receive the variance, it will reduce both the hallway and shower which are on the West side of the property and which will be used by Mr. Ahern. This may not allow us to move forward with our plan. We request that you take this into consideration when evaluating our request for variance.

Thank you for your consideration.

Daniel F. Ahern



Alicia K. Ahern





- Zoning Board of Adjustment
- Architectural Review Board
- Planning Board
- Gateway Review Board

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of \$500.00.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Table 12-2.10, Sec. 12-2-10(C)(7) Zoning OEHC-1

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 820 E. LaRua Street

Current use of property: Residential

1. Describe the requested variance(s): Reduce west setback from 5.0 feet to 2.0 feet to accommodate a rear addition.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The present setback requirements would NOT allow us to use the complete, existing foundation

and roof line to build an addition. The existing structure is NOT centered on the lot and is much closer to the west property line. If the addition is designed to satisfy the current 5 foot setback, the architectural rhythm of the existing 1912 house will be compromised.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The Variance would allow an addition that is both aesthetically and historically conforming to the neighborhood and to the original footprint of the structure. Aligning the addition with the existing side wall of our house will allow the new addition to match the existing structure in a way that does not draw attention to the newly constructed elements. As shown on our survey, our home is located 2.4 feet from the side property line. For us to be able to continue to utilize and access our yard rear yard, the addition needs to line up with the house.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The requested Variance is not detrimental to the general welfare of others. This Variance allows the addition to retain the property's historic and aesthetic nature. While the addition will extend the nonconforming setback, it will NOT INCREASE the setback beyond the point that the existing historic structure already occupies. The new addition will also be required to meet current fire code requirements.

5. Explain what other condition(s) may justify the proposed variance(s):

Refer to the above comments regarding the existing conditions as well as the attached documents.

Application Date: 7/3/19

Applicant: Daniel and Alicia Ahern

Applicant's Address: 370 Fort Pickens Rd Pensacola Beach FL 32561

Email: alicia.l.ahern@ampf.com Phone: 850 982 8153

Applicant's Signature:  

Property Owner: Same as above

Property Owner's Address: _____

Email: _____ Phone: _____

Property Owner's Signature: _____

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: *GH* Gregg Harding, Historic Preservation Planner

DATE: July 9, 2019

SUBJECT: New Business - Item 1
820 E. LaRua Street
OEHPD / OEHC-1
Variance

BACKGROUND

Alicia and Daniel Ahern are seeking a Variance to increase the minimum required west side yard setback from 5 feet to 2 feet to accommodate a rear addition. This request would allow the applicant to build off of the complete existing footprint. While the addition will extend the nonconforming setback, it will not increase the setback beyond the point that the existing historic structure already occupies.

This item is under consideration with Item 2.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-12-2(A)(2) *Variances*

Sec. 12-13-3(E)(1) *ARB, Conditions for granting a zoning variance*

Sec. 12-2-10(C)(7) *Restoration, rehabilitation, alterations or additions to existing contributing structures*

Table 12-2.10 *Regulations for Old East Hill preservation zoning districts*

PLANNING SERVICES

Architectural Review Board

MEMORANDUM

TO: Architectural Review Board Members

FROM: *GH* Gregg Harding, Historic Preservation Planner

DATE: August 7, 2019

SUBJECT: **New Business - Item 6
118 S. Palafox Street
PHBD / C-2A
Contributing Structure**

BACKGROUND

The Saenger Theater is seeking approval to install hardware to attach hurricane panels, as needed, during inclement weather over the west entry doors, the window above the west entry doors, the south entry doors and the box office window located outside of the south entrance. The hardware will consist of small stainless steel sidewalk bolts with drop in anchors which will be spaced approximately 16 inches apart.

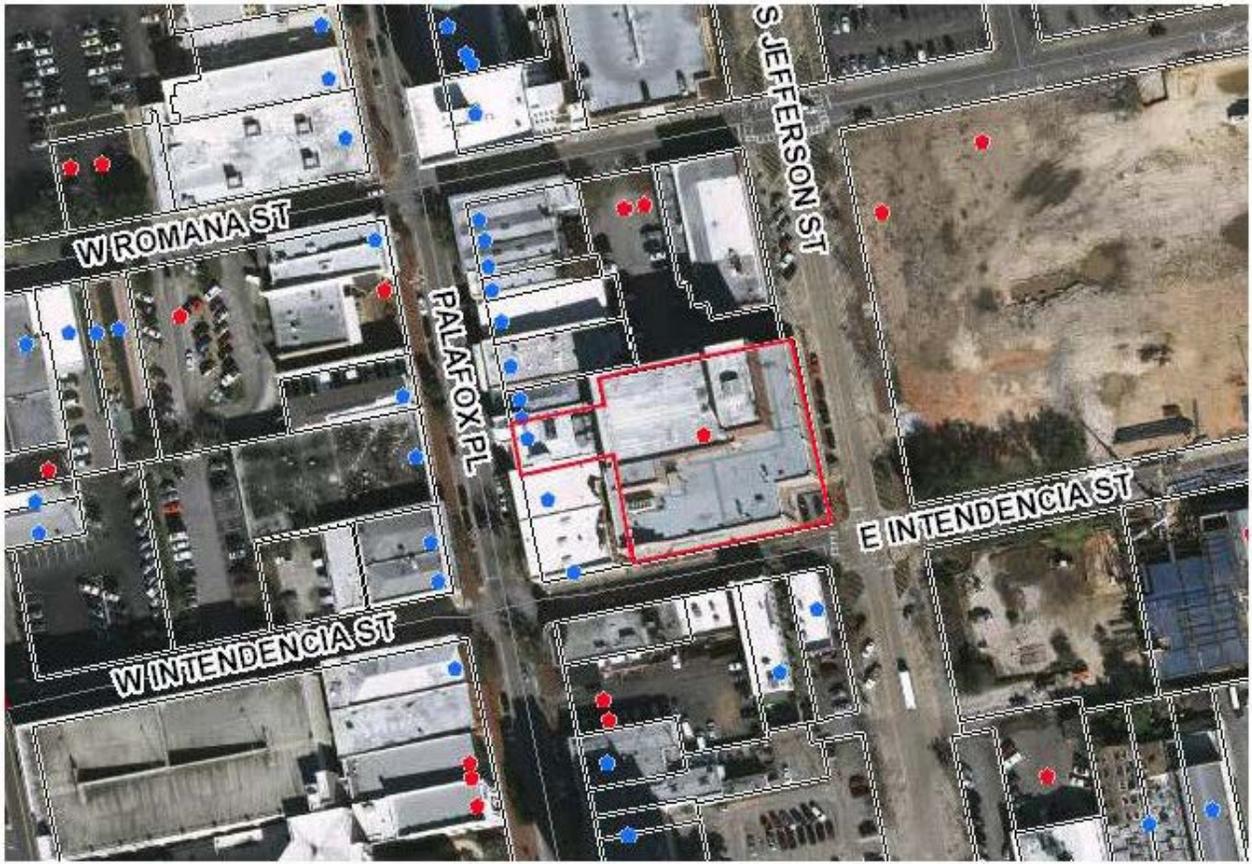
The existing storefront was installed at the front of the building's entrance alcove and without ARB's approval in July 2018. Although a stop work order was issued initially, previous staff allowed the work to be completed since the walls were exposed to the elements with the understanding the ARB could deny the request and the improvements would have to be removed and the building façade returned to its original state. In September and November 2018, the request was denied by the ARB. In December 2018, previous staff approved a Board for Board application to remove the exterior storefront doors which were used to replace the 1980's storefront located inside the alcove. A timeline of this project and the approved Board for Board application is included in this packet.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-21(F) PHBD, *Architectural review of proposed exterior development*

118 S. Palafox Street



Saenger Theater Storefront Doors

August 2014 – Carter Quina on behalf of Saenger Theatre requested new gate on Palafox Street. ARB tabled the request.

October 26, 2017 – Job Proposal received by Saenger Theater from Merritt glass.

July 24 2018 – Planning Services receives complaint from Nathan Monk. Building Inspections sends a Building Inspector out and issues a Stop-Work-Order to CTC Development Inc. (Greg Uzdevenes) with violation for work without a permit.

July 25, 2018 – Permit Issued by Previous Staff Member and Saenger Theatre was made aware of need to apply to ARB.

August 7, 2018 – Saenger Theatre submitted ARB application. They missed the August deadline so they were placed on September's agenda.

September 20, 2018 – ARB denies Saenger Theater's request for approval on Store Front Doors.

November 6, 2018 – ARB denies Saenger Theater's request for approval on the installation of storefront doors to enclose the entrance alcove on Palafox Street.

December 3, 2018 – Previous staff approves Board for Board application to remove the new storefront installed without ARB approval and replace the existing 1980's storefront doors inside the alcove.



**Architectural Review Board Application
Board for Board Repair**

Application Date: 12.3.2018

Project Address: 118 S. Palafox Street

Applicant: Saenger Theatre

Applicant's Address: 118 S. Palafox Street

Email: Dlee@cityofpensacola.com **Phone:** 850.435.1255

Property Owner: City of Pensacola

(If different from Applicant)

District: PHD2 NHPD OEHPD PHBD GCD

Project specifics/description:

Request to remove the new storefront doors installed without permits/ARB approval and replace the existing 1980's storefront doors inside the alcove. Both sets of storefront doors are aluminum and white in color as well as like design.

(Office Use)

This request was reviewed and the Scope of Work described above was determined to be a Board for Board Repair. It is approved as follows:

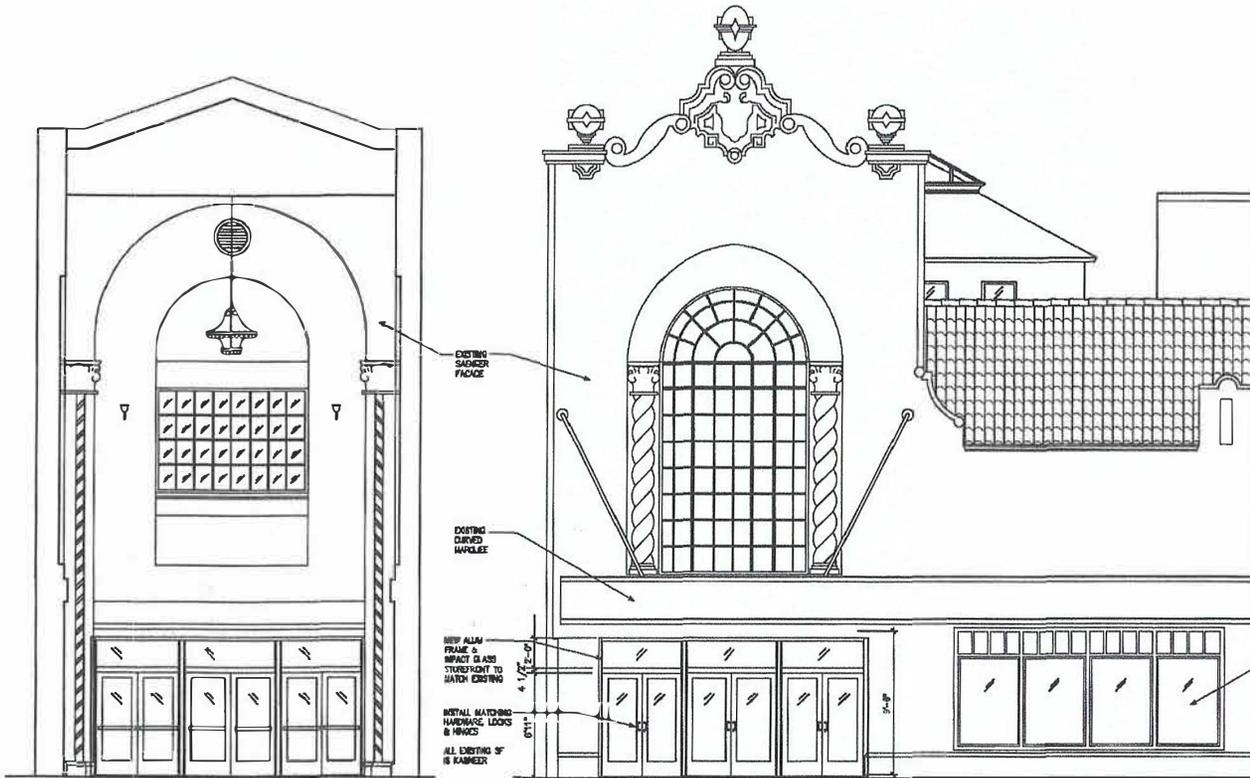
As submitted.

APPROVED: 
Planning Services Staff

12.3.2018
Date

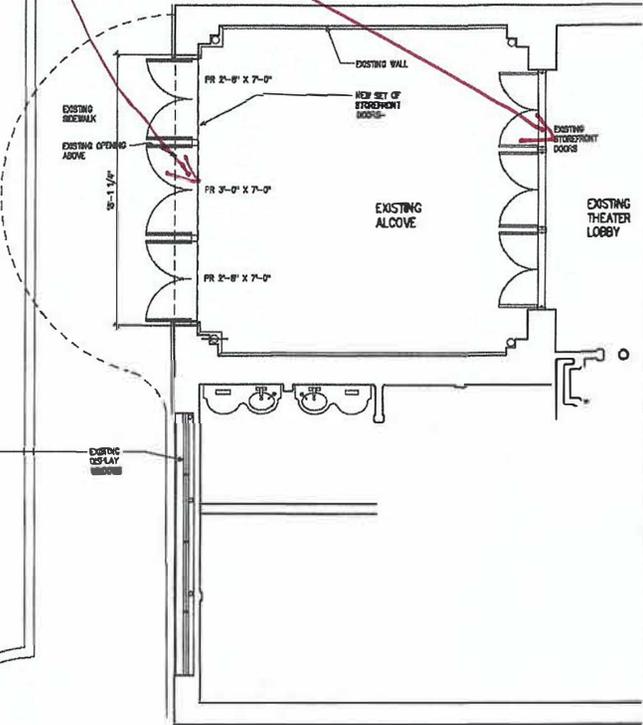
- Any variation from the Scope of Work approved above will require additional approval from the above signatory or the Architectural Review Board.
- The above signatory of City staff have the right to reject colors or signs which may be deemed to be controversial and will refer those requests to the ARB for review at a regularly scheduled meeting.
- You should be aware that this approval is for appropriateness of design only, and compliance with other City codes and ordinances may be required. The City Inspection Services can answer any questions that you may have in this regard. They may be reached at (850) 436-5600.

Remove new doors
Relocate new doors
to



2 SECTION LOOKING WEST
1/8"=1'-0"

1 PALAFOX ST ELEVATION
1/8"=1'-0"



PALAFOX STREET ENTRY PLAN
1/8"=1'-0"

Project

Saenger Theater
Alcove Gate
Pensacola, Florida

Date:
06-24-14
Project No.
1214

Sheet No.

A2

ARCHITECTURAL REVIEW BOARD APPLICATION

DATE: 7-22-2019

PROJECT ADDRESS: 118 South Palafox Place

Application Type:

- Residential – Homestead
- Residential- Non-homestead
- Commercial

Application Fee:

\$50
\$250
\$250

Project Description: (Use additional pages if necessary) The Saenger Theatre is seeking

approval to install hurricane panels, as needed, during inclement weather over the Palafox entry

doors, the window above the Palafox entry-doors, the Intendencia entry doors, and the box office

window located outside the Intendencia entrance.

Please attach supporting documentation as required.

The Applicant, or designated agent, will need to be present before the Architectural Review Board to present the project and to respond to questions from the Board.

NAME & ADDRESS OF APPLICANT: (Please print)

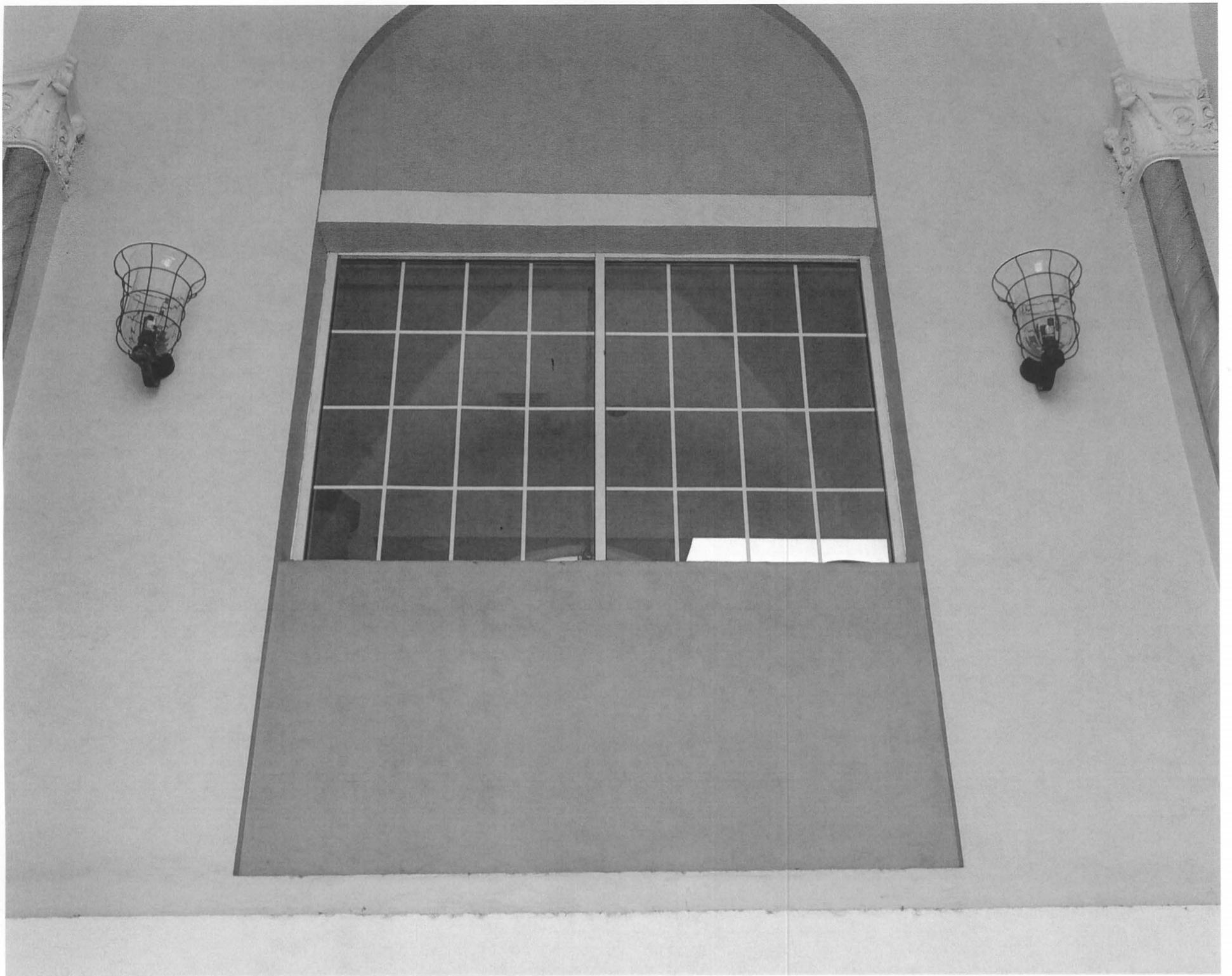
Saenger Theatre 850-595-3882
NAME **TELEPHONE#**

P.O. Box 13666
ADDRESS

Pensacola FL 32591-3666
CITY **STATE** **ZIP CODE**

 7-25-19
SIGNATURE **DATE**







BROADWAY
IN FENSA COAST THE AMERICAN THEATRE
2019 - 20 SEASON

IT'S THE WONDERFUL WORLD OF WONDERPUP The Broadway Musical	Beautiful The Carole King Musical	WAITRESS The Broadway Musical	CATS The Broadway Musical	THE COLOR PURPLE The Broadway Musical
--	---	---	-------------------------------------	---

SUBSCRIBE TODAY!
FENSA.COASTTHEATRE.COM | 800.975.882



Box Office Hours:
Monday - Friday 10:00 am - 4:30 pm
65-55-800
www.fensa-theatre.com

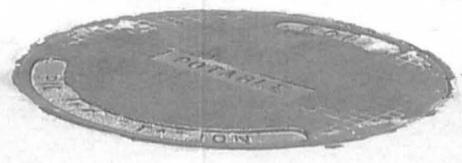




Custom
Furniture

Lifestyle
+ Gifts

Home
Decor



2/8







**1/2 inch - 3/8 inch - 1/4 inch
Stainless Steel SideWalk Bolts
with Drop in Anchors**





7

8

9

10

11



19

20

21

22

23

24