



# City of Pensacola

## Agenda Conference

### Agenda

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Monday, March 9, 2020, 3:30 PM

Hagler-Mason Conference Room,  
2nd Floor

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Immediately following Community Redevelopment Agency Board Meeting

#### ROLL CALL

#### PRESENTATION ITEMS

1. [20-00134](#) PRESENTATION FROM RAND HICKS REGARDING CICLOVIA  
*Recommendation:* That City Council receive a presentation from Rand Hicks regarding Ciclovía 2020.  
*Sponsors:* Ann Hill
2. [20-00136](#) PRESENTATION FROM DR. JUDY BENSE REGARDING THE 200TH ANNIVERSARY OF FLORIDA BECOMING A STATE  
*Recommendation:* That City Council receive a presentation from Dr. Judy Bense regarding the 200th Anniversary of Florida becoming a State.  
*Sponsors:* Jewel Cannada-Wynn
3. [20-00138](#) PRESENTATION FROM DR. CEDRIC ALEXANDER UPDATING COUNCIL ON HIS ACTIVITIES ON BEHALF OF THE CITY  
*Recommendation:* That City Council receive a presentation from Dr. Cedric Alexander, updating Council on his activities on behalf of the City.  
*Sponsors:* Jewel Cannada-Wynn

#### REVIEW OF CONSENT AGENDA ITEMS

4. [20-00101](#) REQUEST FOR LICENSE TO USE RIGHT OF WAY - EAST FISHER STREET AT NORTH 12TH AVENUE
- Recommendation:* That City Council approve the request for a License to Use Right of Way for eight (8) additional parking spaces within the right-of-way of East Fisher Street at North 12th Avenue, and relocation of a city sidewalk.
- Sponsors:* Grover C. Robinson, IV
- Attachments:* [Sharuff, LLC, License to Use Application](#)  
[Planning Board Minutes February 11 2020 - DRAFT](#)  
[Planning Board Memo February 11, 2020](#)  
[Aerial Map](#)

**REVIEW OF REGULAR AGENDA ITEMS (Sponsor)**

5. [20-00102](#) PUBLIC HEARING: REQUEST TO VACATE RIGHT OF WAY - 400 BLOCK CEVALLOS STREET
- Recommendation:* That City Council conduct a public hearing on March 12, 2020, to consider the request to vacate a portion of the Cevallos Street right of way adjacent to property located in the 400 Block of Cevallos Street.
- Sponsors:* Grover C. Robinson, IV
- Attachments:* [Proposed Ordinance No. 16-20](#)  
[Vacation of Right Away Application](#)  
[Planning Board Minutes February 11, 2020 DRAFT](#)
6. [16-20](#) PROPOSED ORDINANCE NO. 16-20 - VACATION OF RIGHT OF WAY - 400 BLOCK CEVALLOS STREET
- Recommendation:* That City Council approve Proposed Ordinance No. 16-20 on first reading.
- AN ORDINANCE CLOSING, ABANDONING AND VACATING A PORTION OF THE 400 BLOCK OF CEVALLOS STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.
- Sponsors:* Grover C. Robinson, IV
- Attachments:* [Proposed Ordinance No. 16-20](#)  
[Vacation of Right of Way Application](#)  
[Planning Board Minutes February 11, 2020 Draft](#)

7. [20-00140](#) YOUTH ENVIRONMENTAL EMPOWERMENT PROGRAM (YEEP)

**Recommendation:** That City Council approve the Youth Environmental Empowerment Program (YEEP) and authorize the council executive to begin the process of submitting the project for RESTORE Funds and/or other funding opportunities.

**Sponsors:** Jewel Cannada-Wynn

**Attachments:** [YEEP Proposed Budget](#)

8. [2020-08](#) SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-08 - BLUE WAHOOS BASEBALL STADIUM PROTECTIVE NETTING

**Recommendation:** That City Council adopt Supplemental Budget Resolution No. 2020-08.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

**Sponsors:** Grover C. Robinson, IV

**Attachments:** [Supplemental Budget Resolution No. 2020-08](#)

[Supplemental Budget Explanation No. 2020-08](#)

9. [2020-09](#) SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-09 - INDIGENT HEALTH CARE SPECIAL ASSESSMENT

**Recommendation:** That City Council adopt Supplemental Budget Resolution No. 2020-09.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

**Sponsors:** Grover C. Robinson, IV

**Attachments:** [Supplemental Budget Resolution No. 2020-09](#)

[Supplemental Budget Explanation No. 2020-09](#)

**FOR DISCUSSION**

10. [20-00139](#) INSTALLATION OF TRAFFIC CALMING DEVICES PETITION PROCESS

**Sponsors:** Sherri Myers

**Attachments:** [Traffic Calming Petition](#)

[Traffic Calming Signature Sheet](#)

**CONSIDERATION OF ANY ADD-ON ITEMS**

**READING OF ITEMS FOR COUNCIL AGENDA**

**COMMUNICATIONS**

**City Administrator's Communication**

**City Attorney's Communication**

**City Council Communication**

**ADJOURNMENT**

*If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.*



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 20-00134

City Council

3/12/2020

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### **PRESENTATION ITEM**

**FROM:** City Council Member Ann Hill

**SUBJECT:**

PRESENTATION FROM RAND HICKS REGARDING CICLOVIA

**REQUEST:**

That City Council receive a presentation from Rand Hicks regarding Ciclovía 2020.

**SUMMARY:**

Ciclovía originated in Bogotá, Colombia in the 1970's and took off around the world in the 1990's. Pensacola joined the movement in 2017 with the City's very first Ciclovía. This event closes major streets in downtown Pensacola to motorized traffic and opens them up for people to ride bikes, walk, run, play or whatever moves them.

Ciclovía Pensacola is a grassroots movement made up of volunteers and a diverse range of public, private and nonprofit stakeholders.

**PRIOR ACTION:**

None

**STAFF CONTACT:**

Don Kraher, Council Executive

**ATTACHMENTS:**

None

**PRESENTATION:** Yes



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00136

City Council

3/12/2020

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### **PRESENTATION ITEM**

FROM: City Council President Jewel Cannada-Wynn

SUBJECT:

PRESENTATION FROM DR. JUDY BENSE REGARDING THE 200<sup>TH</sup> ANNIVERSARY OF FLORIDA BECOMING A STATE

REQUEST:

That City Council receive a presentation from Dr. Judy Bense regarding the 200<sup>th</sup> Anniversary of Florida becoming a State.

SUMMARY:

In 2020 Florida will be celebrating the 200<sup>th</sup> Anniversary of becoming a State. There will be a number of activities taking place and Dr. Bense would like to give Council an update on what will be taking place.

PRIOR ACTION:

Florida became a State 200 years ago

STAFF CONTACT:

Don Kraher, Council Executive

ATTACHMENTS:

None

PRESENTATION: Yes



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00138

City Council

3/12/2020

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### **PRESENTATION ITEM**

FROM: City Council President Jewel Cannada-Wynn

SUBJECT:

PRESENTATION FROM DR. CEDRIC ALEXANDER UPDATING COUNCIL ON HIS ACTIVITIES ON BEHALF OF THE CITY

REQUEST:

That City Council receive a presentation from Dr. Cedric Alexander, updating Council on his activities on behalf of the City.

SUMMARY:

Dr. Cedric Alexander is a public servant and mental health practitioner with over 40 years of experience serving local, state and federal government positions throughout the U.S.

Dr. Alexander was hired by the City in the aftermath of the Tymar Crawford shooting in 2019. Dr. Alexander will be providing diversity training to the Pensacola Police Department as well as advising the City on other matters.

This presentation will give Council the opportunity to receive an update from Dr. Alexander.

PRIOR ACTION:

None

STAFF CONTACT:

Don Kraher, Council Executive

ATTACHMENTS:

None

PRESENTATION: Yes



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00101

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

REQUEST FOR LICENSE TO USE RIGHT OF WAY - EAST FISHER STREET AT NORTH 12<sup>TH</sup> AVENUE

RECOMMENDATION:

That City Council approve the request for a License to Use Right of Way for eight (8) additional parking spaces within the right-of-way of East Fisher Street at North 12<sup>th</sup> Avenue, and relocation of a city sidewalk.

HEARING REQUIRED: No Hearing Required

SUMMARY:

Sharuff, LLC, is requesting approval for a License to Use for eight (8) additional parking spaces within the Right of Way on East Fisher Street at North 12<sup>th</sup> Avenue. The additional parking being requested is in conjunction with a proposed new restaurant to be located at 2800 North 12<sup>th</sup> Avenue and includes the relocation of a city sidewalk.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes



2/20/2020

STAFF CONTACT:

Keith Wilkins, City Administrator  
Kerrith Fiddler, Deputy City Administrator, Community Development  
Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Sharuff, LLC License to Use Application
- 2) Planning Board Minutes February 11, 2020 - DRAFT
- 3) Planning Board Memo February 11, 2020
- 4) Aerial Map

PRESENTATION: No



**License To Use City Right-Of-Way**

**Residential License To Use**

Application Fee: \$500.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: N/A  
Insurance Coverage: \$300,000.00

**Commercial License To Use**

Application Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Insurance Coverage: \$1,000,000.00

**Pensacola Neighborhood  
Challenge Grant**

Application Fee: N/A

Applicant: David Sharuff

Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550

Email: d\_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

\*\* If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information \*\*

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379

Location Address: 2800 N. 12th Ave., Pensacola, Fl.

Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: \_\_\_\_\_  
Additional parking area for proposed development of restaurant

Please attach a map indicating the actual dimensions of the requested license.

| For Office Use Only             |                       |                                     |
|---------------------------------|-----------------------|-------------------------------------|
| District: _____                 | Zoning: _____         |                                     |
| Date Received: <u>1/21/2020</u> | Case Number: _____    | Annual Fee: _____                   |
| Planning Board date: _____      | Recommendation: _____ | Amount of Insurance Coverage: _____ |
| City Council date: _____        | Council Action: _____ |                                     |

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**

**License To Use City Right-Of-Way**

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
  - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
  - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
  - (3) No application shall be considered complete until all of the following has been submitted:
    - (a) The application shall be submitted on a form provided by the Board Secretary.
    - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
      - 1. Accurate site plan drawn to scale;
      - 2. Reason for license to use request.
  - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
  - (5) Any party may appear in person, by agent, or by attorney.
  - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
  - (1) Public Notice for license to use right-of-way.
    - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
  - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
  - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:

Full legal name of the Corporation: \_\_\_\_\_

Official Corporate Address: \_\_\_\_\_

President or Vice-President:

Name & Title – \_\_\_\_\_

Corporate Secretary: Name – \_\_\_\_\_

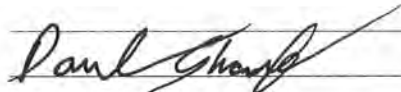
Limited Liability Company (LLC):

Full legal name of company: \_\_\_\_\_

Official Address: \_\_\_\_\_

Managing Member or member:

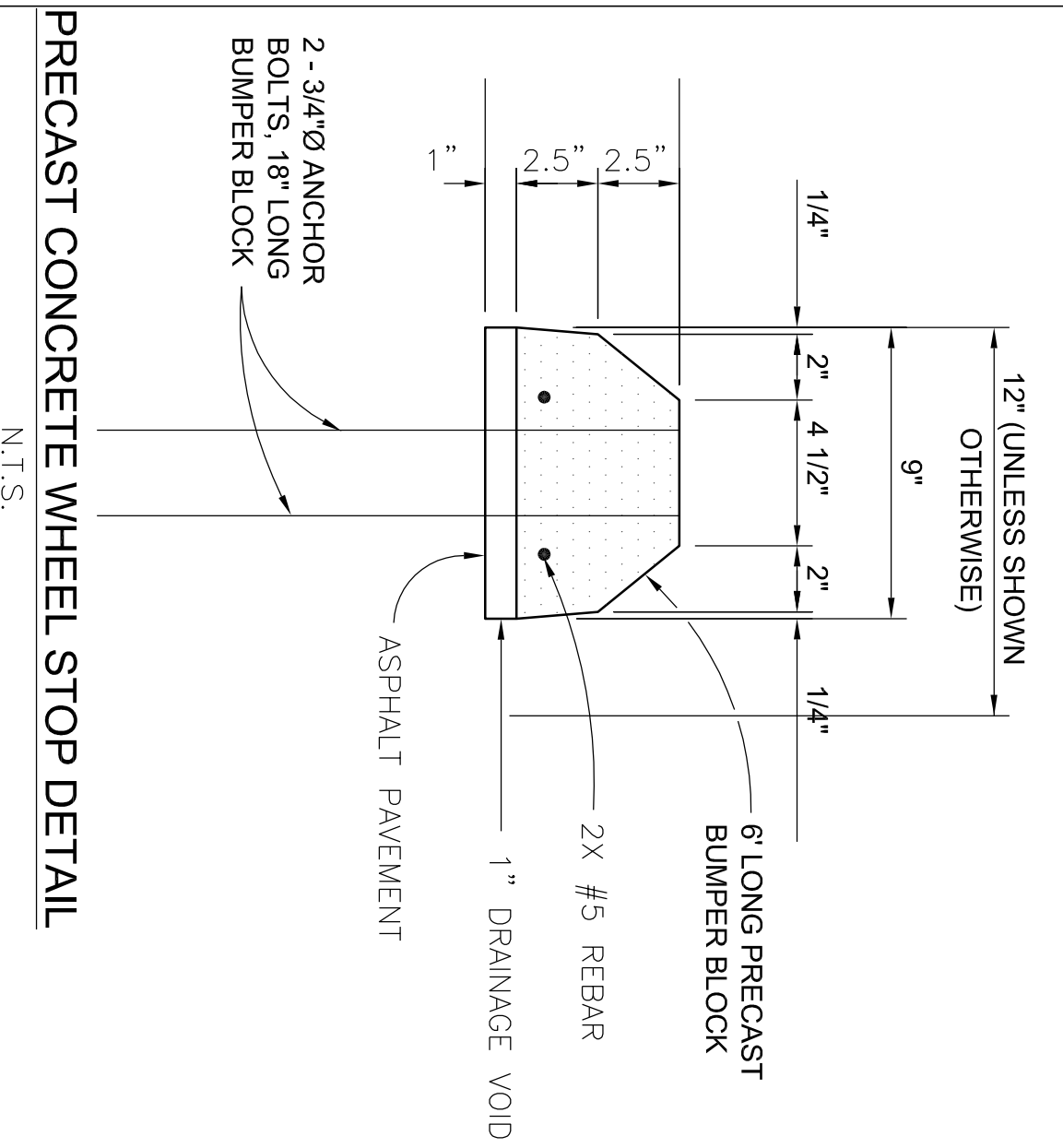
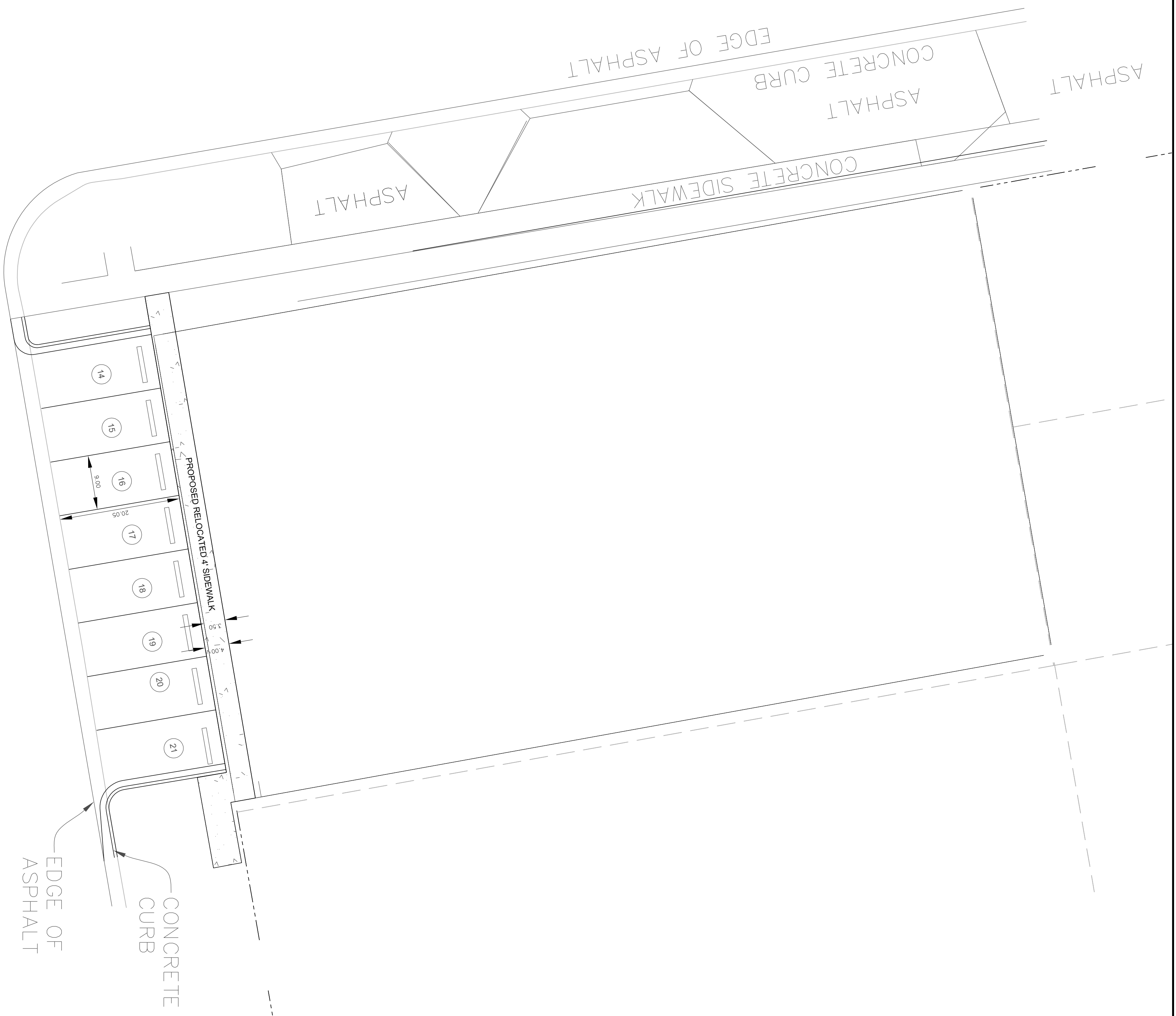
Name & Title – \_\_\_\_\_



Sharuff, LLC

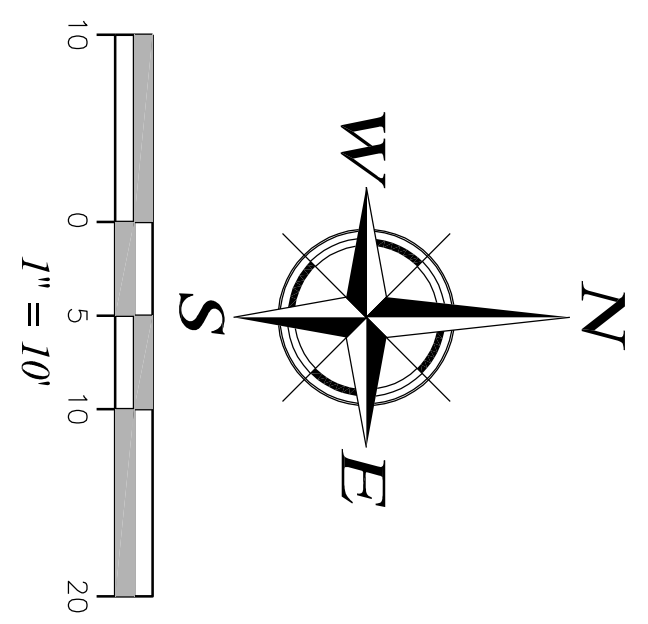
638 Shore Drive, Miramar Beach, Fl. 32550

David Sharuff, MGR



PRECAST CONCRETE WHEEL STOP DETAIL  
N.T.S.

LEGAL DESCRIPTION OF PARKING  
TO BE PROVIDED BY SURVEYOR



### SITE DATA SUMMARY

**LEGAL DESCRIPTION:**

PARCEL ID NUMBERS:  
00-00-00-0025-019-380  
LEGAL DESCRIPTION:  
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM W FISHER...

**SITE DATA:**

|                                    |                                     |
|------------------------------------|-------------------------------------|
| CURRENT LAND USE: COMMERCIAL (C-1) | FUTURE USE: RETAIL COMMERCIAL (C-1) |
| FUTURE LAND USE: COMMERCIAL (C-1)  | RETAIL COMMERCIAL (C-1)             |
| ZONING: COMMERCIAL (C-1)           | RETAIL COMMERCIAL (C-1)             |
| CURRENT USE: COMMERCIAL (C-1)      | RETAIL COMMERCIAL (C-1)             |
| NORTH: COMMERCIAL                  | RETAIL COMMERCIAL (C-1)             |
| SOUTH: MIXED USE                   | RETAIL COMMERCIAL (C-1)             |
| EAST: VACANT                       | RETAIL COMMERCIAL (C-1)             |
| WEST: SINGLE FAMILY RESIDENCE      | RETAIL COMMERCIAL (C-1)             |

**SETBACK SUMMARY:**

|                    |                             |
|--------------------|-----------------------------|
| FRONT: 0' REQUIRED | 7' PROVIDED                 |
| SIDE: 0' REQUIRED  | 2.3' PROVIDED ON NORTH SIDE |
| REAR: 0' REQUIRED  | 14' PROVIDED ON SOUTH SIDE  |
|                    | 18.5' PROVIDED              |

**SITE SUMMARY:**

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

PROPOSED BUILDING HEIGHT:  
TOTAL BUILDING AREA = 2,074 S.F.  
COVERED PORCH AREA = 712 S.F.

**TABULATION OF REQUIRED PARKING SPACES:**

|   |                    |
|---|--------------------|
| PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =   | 21 SPACES REQUIRED |
| SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =    | 5 SPACES           |
| TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT = | 26 SPACES REQUIRED |
| TOTAL ADA SPACES PROVIDED = 1 SPACE                 | 21 SPACES PROVIDED |

Sec. 12-2-1 A.6.  
The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

**FLOOD ZONE INFORMATION:**

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

**PRELIMINARY**

NOT RELEASED FOR CONSTRUCTION, ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

|  |  |  |  |  |  |  |  |  |  |  |  |   |  |  |  |  |  |
|--|--|--|--|--|--|--|--|--|--|--|--|---|--|--|--|--|--|
| <p><b>ECM</b> a complete engineering &amp; construction management company</p> <p>4639 GULF STARR DRIVE<br/>DUSTIN, FLORIDA 32541<br/>E-MAIL: jehamad@gmail.com<br/>John H. Elamad, P.E.</p> <p>TELEPHONE: (850) 837-7454 (ENGR.)<br/>TELEPHONE: (850) 837-4548 (INSR.)<br/>FAX: (850) 654-2000<br/>Florida Registration: #68840, CA #8419</p> | <p>REVISIONS</p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table> |  |  |  |  |  |  |  |  |  |  | <p>DATE</p> <table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table> |  |  |  |  |  |
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| <p><b>PENSACOLA TAPAS</b><br/>2800 N 12TH AVENUE<br/>CITY OF PENSACOLA<br/>ESCAMBIA COUNTY, FL</p>   | <p><b>PARKING PLAN</b></p>   | <p>DRAWN BY: JWP<br/>CHECKED BY: DJB<br/>JOB NO: 19-<br/>DATE: .</p> |  |  |  |  |  |  |  |  |  |   |  |  |  |  |  |

C-1

architect of record :

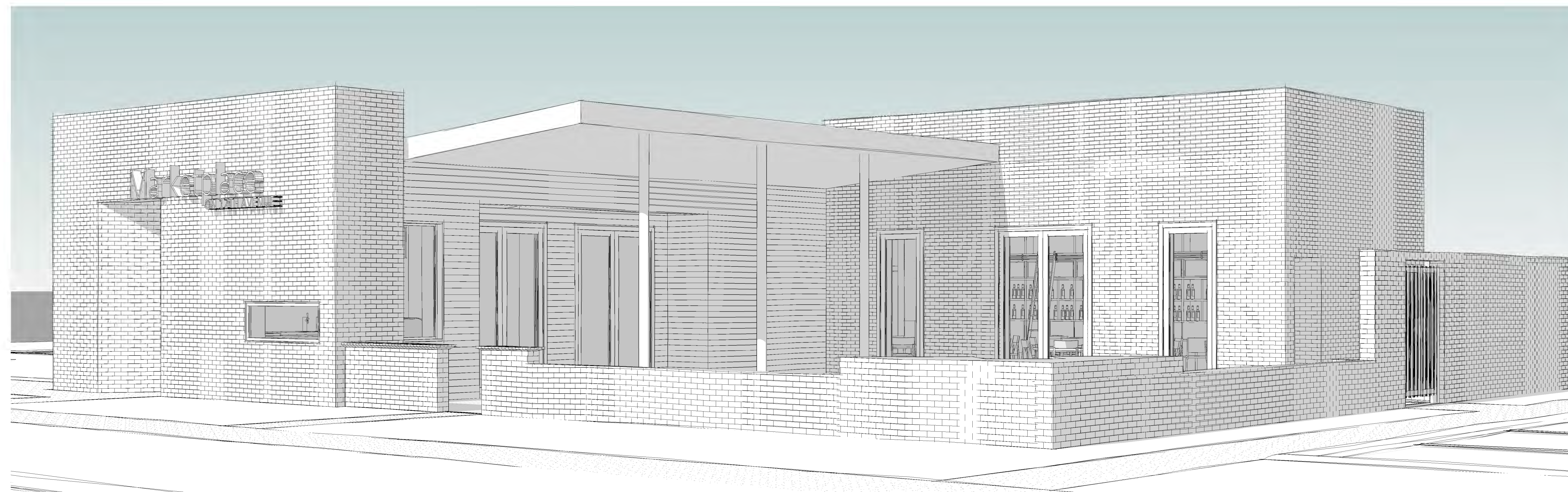
**McWhorter  
Vallee Design**

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

www.mvr.design

seal:

**Anthony J. Vallee, Architect**  
seal: AR95108



# 12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name

**MARKETPLACE**

project address:

-

parcel:

26-25-21-42000-001-0052

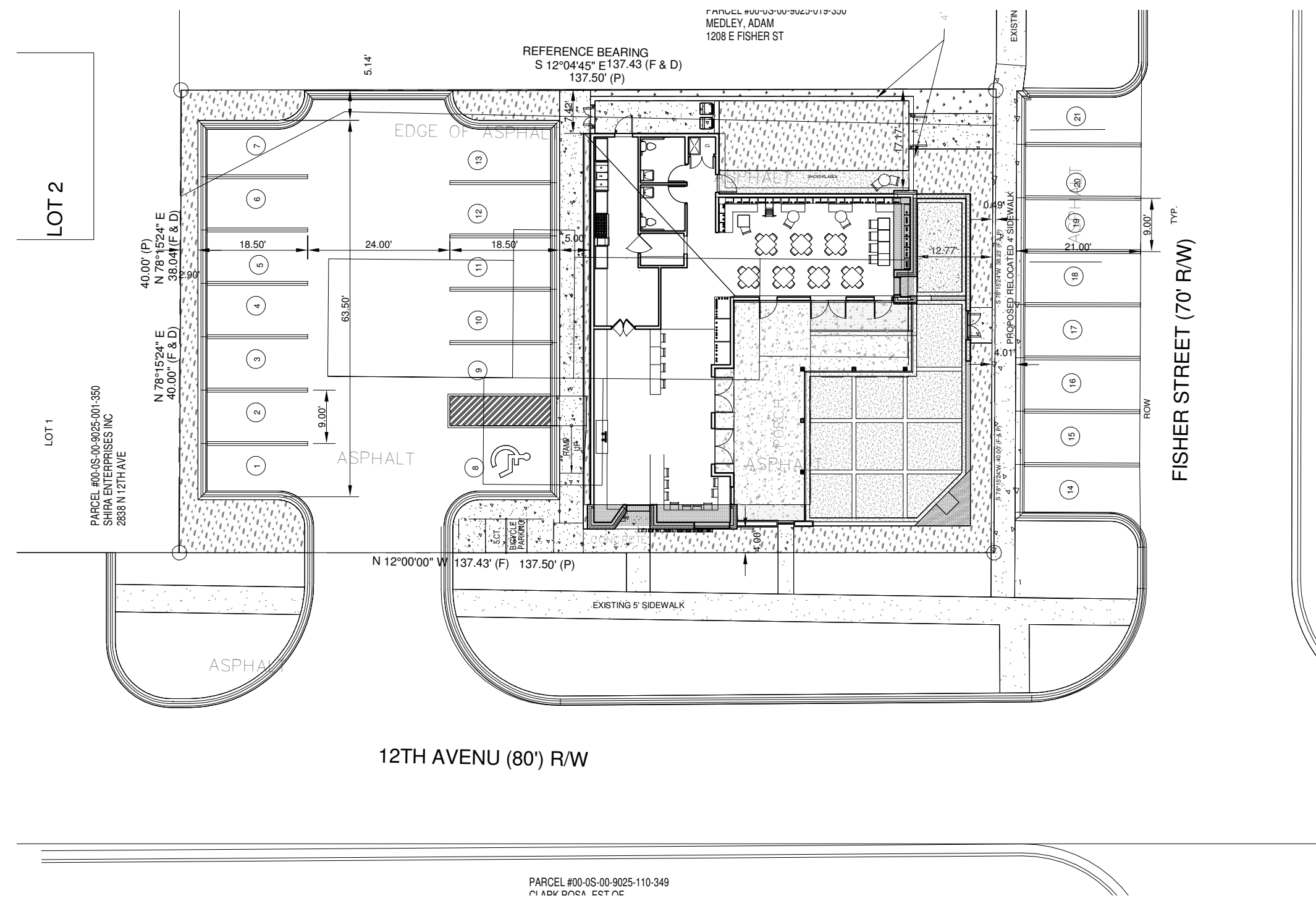
SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: AJJV  
CHECKED BY: Checker  
SCALE:

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

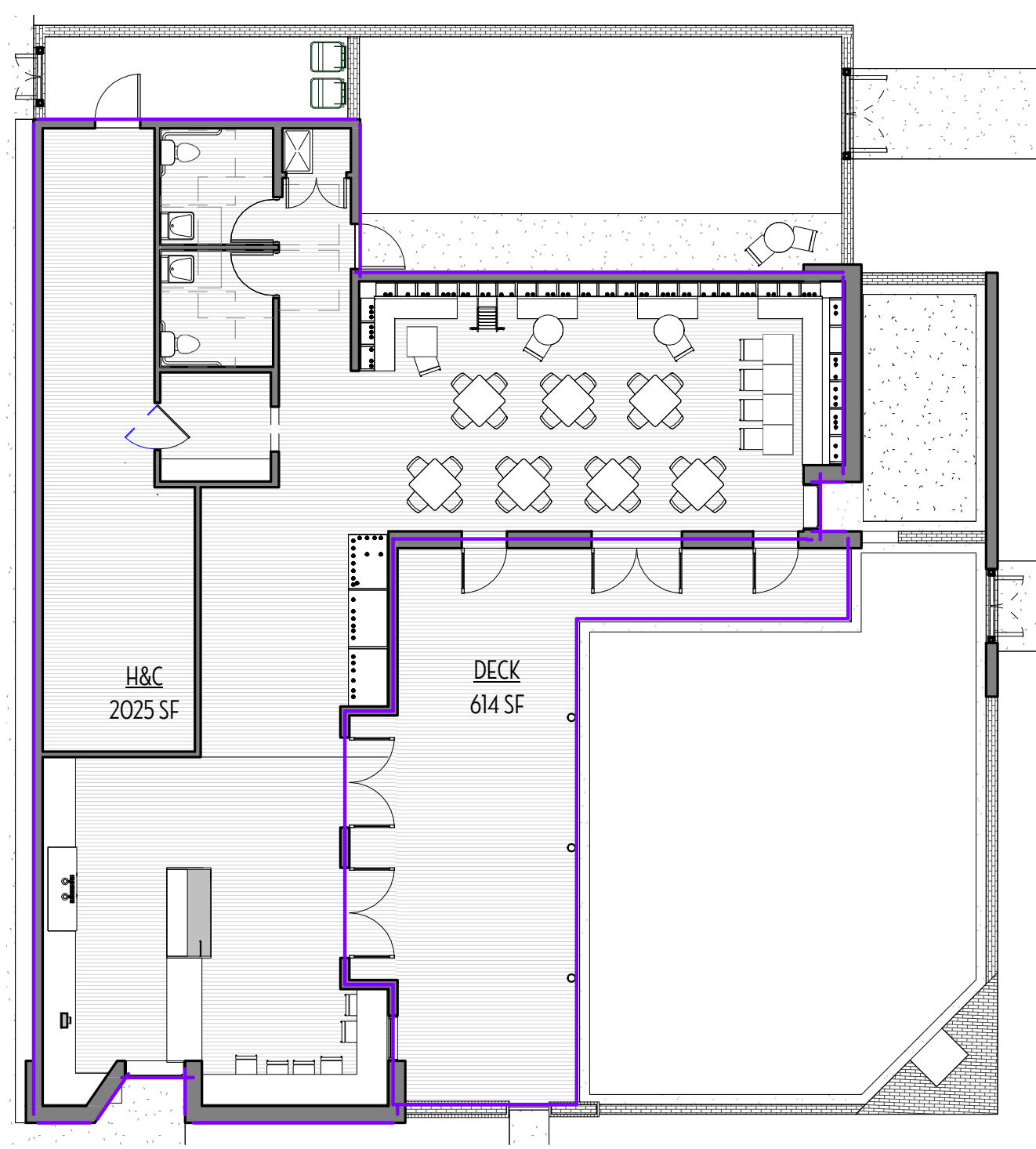
Revision Schedule

COVER

OO



5 SITE PLAN DIAGRAM  
1" = 20'-0"



1 1ST FLR.  
1" = 10'-0"

| AREA |         |
|------|---------|
| NAME | AREA    |
| DECK | 614 SF  |
| H&C  | 2025 SF |
|      | 2639 SF |

| DRAWING SCHEDULE |                     |                  |                  |                       |
|------------------|---------------------|------------------|------------------|-----------------------|
| SHEET            | NAME                | Sheet Issue Date | Current Revision | Current Revision Date |
| 00               | COVER               | 01/12/20         |                  |                       |
| A0.1             | GENERAL INFORMATION | 01/12/20         |                  |                       |
| A0.2             | SITE PLAN           | 01/12/20         |                  |                       |
| A0.3             | LANDSCAPING & AREA  | 01/12/20         |                  |                       |
| A0.4             | LIFE SAFETY PLAN    | 01/12/20         |                  |                       |
| A1.1             | FLOOR PLAN          | 01/12/20         |                  |                       |
| A1.2             | ROOF PLAN           | 01/12/20         |                  |                       |
| A2.0             | ELEVATIONS          | 01/12/20         |                  |                       |
| A2.2             | 3D VIEWS            | 01/12/20         |                  |                       |
| A3.0             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A3.1             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A4.0             | DOOR SCHEDULE       | 01/12/20         |                  |                       |
| A4.1             | WINDOW SCHEDULE     | 01/12/20         |                  |                       |

### LEGAL DESCRIPTION

### SCOPE OF PROJECT

CONSTRUCTION OF A NEW ONE STORY RESTAURANT

### KITCHEN NOTES

- ALL WALLS WITHIN THE KITCHEN, PREP & CLEAN-UP AREAS ARE TO BE FINISHED WITH FIRE RETARDANT PAINT.
- PROVIDE STAINLESS STEEL PANELS ON WALLS ADJACENT TO THE KITCHEN EXHAUST HOOD. PANELS ARE TO EXTEND TO THE BOTTOM OF THE HOOD.
- KITCHEN EQUIPMENT BY OWNER.
- PROVIDE SANITARY COVE JUNCTURES BETWEEN FLOORS & WALLS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.

### BUILDING CODE DATA

#### APPLICABLE CODES AND REGULATIONS:

FLORIDA BUILDING CODE, 2017 6th EDITION

#### BUILDING DATA:

The enclosed provides for the construction of a new 2 story restaurant with covered exterior dining.

Section 303.1 Occupancy Group A2 (Restaurant)  
Section 602.3 Construction Type V-A, sprinklered  
Table 601 Fire resistance rating for building  
Elements, Type V-A

Exterior bearing walls: 1 hour  
Exterior non-bearing walls: 1 hour  
Interior bearing walls: 1 hour  
Interior non-bearing walls: 0 hour  
Roof: 1 hour  
Floors: 1 hour  
Table 602.4 Beams/Joists/Courms: 1 hour, 6" min. nominal dimension for HT  
Table 503 Allowable height and building areas:  
2 stories, 50' height, 11,500 sq. ft., no area increases taken

Section 602.3 Interior building elements: any material permitted by code  
Table 1004.1.1 See Occupant Load Calculation Table  
Table 102.1 Minimum number of exits required: 2  
Table 1015.1 Spaces with one means of egress allowed: -50 persons  
Both areas, Storage, top and bottom areas comply. Kitchen complies.

Life Safety Code NFPA 101: Assembly Occupancy, Construction Type II (O00)

| PLUMBING FIXTURES    | MALE/FEMALE REQS            | MALE Provided | FEMALE Provided |
|----------------------|-----------------------------|---------------|-----------------|
| Occupancy Load/2     | 92/2-46 EA                  |               |                 |
| WATER Closets (1/75) | 46/75-61 (1 REQUIRED EA)    | 1             | 1               |
| URINALS              |                             | 1             |                 |
| LAVATORIES (1/200)   | 46/200-0.23 (1 REQUIRED EA) | 1             | 1               |

| ADDITIONAL RESTROOMS     | WC | URINALS | LAVATORIES |
|--------------------------|----|---------|------------|
| EMPLOYEES RESTROOMS      |    |         |            |
| TOTAL NUMBER OF FIXTURES | 2  | 1       | 2          |

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### OCCUPANCY TYPE LEGEND

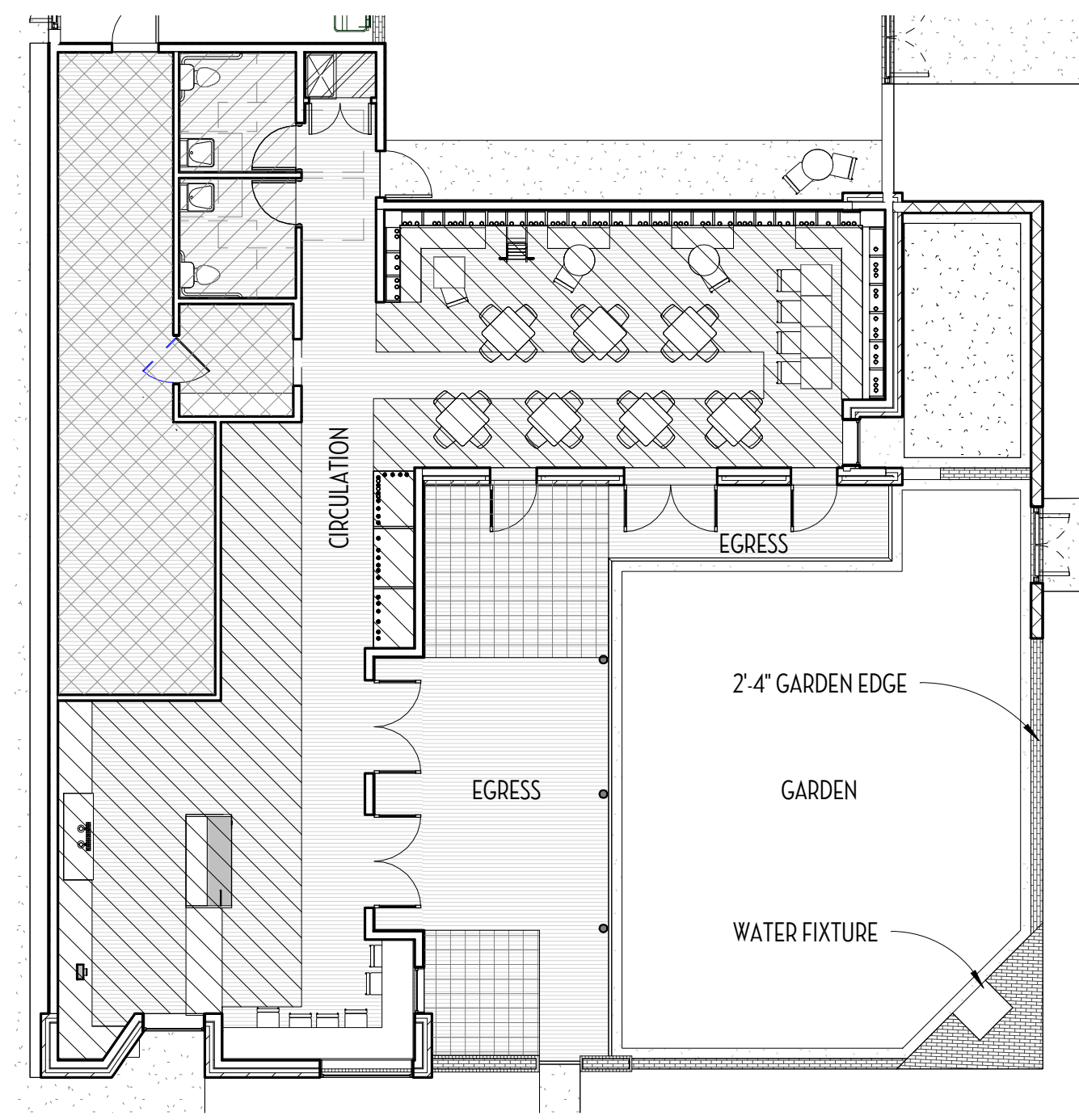
|          |                                    |                |
|----------|------------------------------------|----------------|
| [Symbol] | DINNING ( CONCENTRATED ASSEMBLY)   |                |
| [Symbol] | DINNING ( UNCONCENTRATED ASSEMBLY) | 854.20 SQ. FT. |
| [Symbol] | KITCHEN                            | 409.91 SQ. FT. |
| [Symbol] | DECK ( OPEN AIR PATIO)             | 194.57 SQ. FT. |
| [Symbol] | BATH                               | 116.42 SQ. FT. |
| [Symbol] | STORAGE                            | 13.49 SQ. FT.  |

### OCCUPANCY LOAD CALCULATION

| OCCUPANCY TYPE PER FBC                              | SQUARE FOOTAGE | OCCUPANCY LOAD FACTOR | ALLOWABLE OCCUPANCY | PROPOSED OCCUPANCY |
|---|----------------|-----------------------|---------------------|--------------------|
| DINING (UNCONCENTRATED ASSEMBLY)                    | 854.20 SQ. FT. | 15                    | 56.95               | 57                 |
| DINING (CONCENTRATED ASSEMBLY)                      | 35 FT.         | 1 PER 24"             | 17.5                | 18                 |
| BATH  | 116.42 SQ. FT. | -                     | -                   | -                  |
| KITCHEN   | 409.91 SQ. FT. | 200                   | 2.05                | 3                  |
| STORAGE   | 13.49 SQ. FT.  | 300                   | 0.04                | 1                  |
| <b>INTERIOR TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b> |                |                       | <b>76.54</b>        | <b>79</b>          |
| OPEN DECK (UNCONCENTRATED ASSEMBLY)                 | 194.57 SQ. FT. | 15                    | 12.97               | 13                 |
| <b>TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b>          |                |                       | <b>89.51</b>        | <b>92</b>          |

### GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS. THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXTERIOR WALLS ARE TO BE 8" CMU TYPICAL. INTERIOR WALL FRAMING IS TO BE 2X4 SYP. TYPICAL.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 3' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE HOUSE PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L., WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.



3 OCCUPANCY PLAN  
1" = 10'-0"

### ABBREVIATIONS

|       |                           |              |                               |
|-------|---------------------------|--------------|-------------------------------|
| A/C   | AIR CONDITIONING          | HORIZ        | HORIZONTAL                    |
| AFF   | ABOVE FINISHED FLOOR      | ISA          | INTL. SYMBOL OF ACCESSIBILITY |
| ACT   | ACOUSTICAL CEILING TILE   | LAV          | LAVATORY                      |
| ALUM  | ALUMINUM                  | MAX          | MAXIMUM                       |
| B/W   | BETWEEN                   | MTL          | METAL                         |
| CLG   | CEILING                   | MIN          | MINIMUM                       |
| CMT   | CENTER LINE               | MTD          | MOUNTED                       |
| CT    | CERAMIC MOSAIC TILE       | NO           | NUMBER                        |
| CL    | CERAMIC TILE              | NOM          | NOMINAL                       |
| CONC  | CONCRETE                  | NOT TO SCALE | NOT TO SCALE                  |
| CMU   | CONCRETE MASONRY UNIT     | NIC          | NOT IN CONTRACT               |
| CONT  | CONTINUOUS                | OC           | ON CENTER                     |
| CJ    | CONTROL JOINT             | OH           | OVERHEAD                      |
| DR    | DOOR                      | PL           | PLATE                         |
| ELEV  | ELEVATION                 | PREFIN       | PREFINISHED                   |
| EW    | EACH WAY                  | PT           | PRESSURE TREATED              |
| EW/C  | ELECTRIC WATER COOLER     | RL           | RAIN LEADER                   |
| EQ    | EQUAL                     | REIN         | REINFORCED                    |
| EXIST | EXISTING                  | SS           | STAINLESS STEEL               |
| EXT   | EXTERIOR                  | THK          | THICK                         |
| FIN   | FINISH                    | THR          | THRESHOLD                     |
| FF    | FINISHED FLOOR            | T&B          | TOP AND BOTTOM                |
| FACD  | FIRE ALARM CONTROL PANEL  | TYP          | TYPICAL                       |
| FEX   | FIRE EXTINGUISHER         | VERT         | VERTICAL                      |
| FEC   | FIRE EXTINGUISHER CABINET | WC           | WATER CLOSET                  |
| FD    | FLOOR DRAIN               | WD           | WOOD                          |
| FRP   | FIRE RETARDANT PAINT      | WWF          | WELDED WIRE FABRIC            |
| GALV  | GALVANIZED                | W/           | WITH                          |
| GC    | GENERAL CONTRACTOR        | XTR          | EXISTING TO REMAIN            |
| GWB   | GYPSON WALLBOARD          |              |                               |
| HC    | HANDICAPPED               |              |                               |
| HM    | HOLLOW METAL              |              |                               |

architect of record :

## McWhorter Vallee Design

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Phone: 850.660.6675

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seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name

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26-25-21-42000-001-0052

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### Revision Schedule

GENERAL  
INFORMATION  
AO.1

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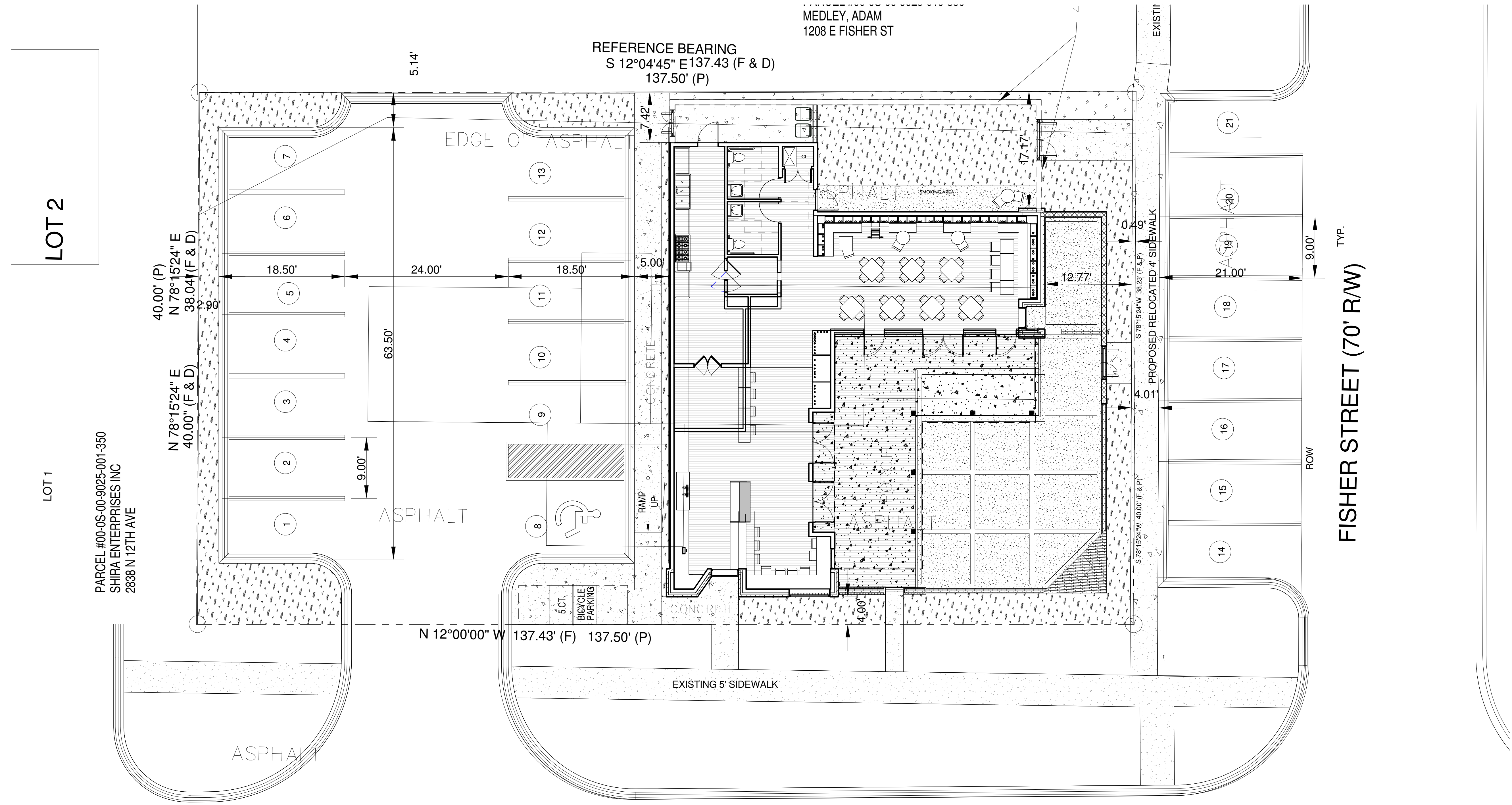
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Revision Schedule

SITE PLAN

**AO.2**



**12TH AVENUE (80') R/W**

**FISHER STREET (70' RW)**  
 TYP.

PARCEL #00-0S-00-9025-110-349  
 CLARK ROSA. EST OF

PARCEL #00-0S-00-9025-001-350  
 SHIRA ENTERPRISES INC  
 2838 N 12TH AVE

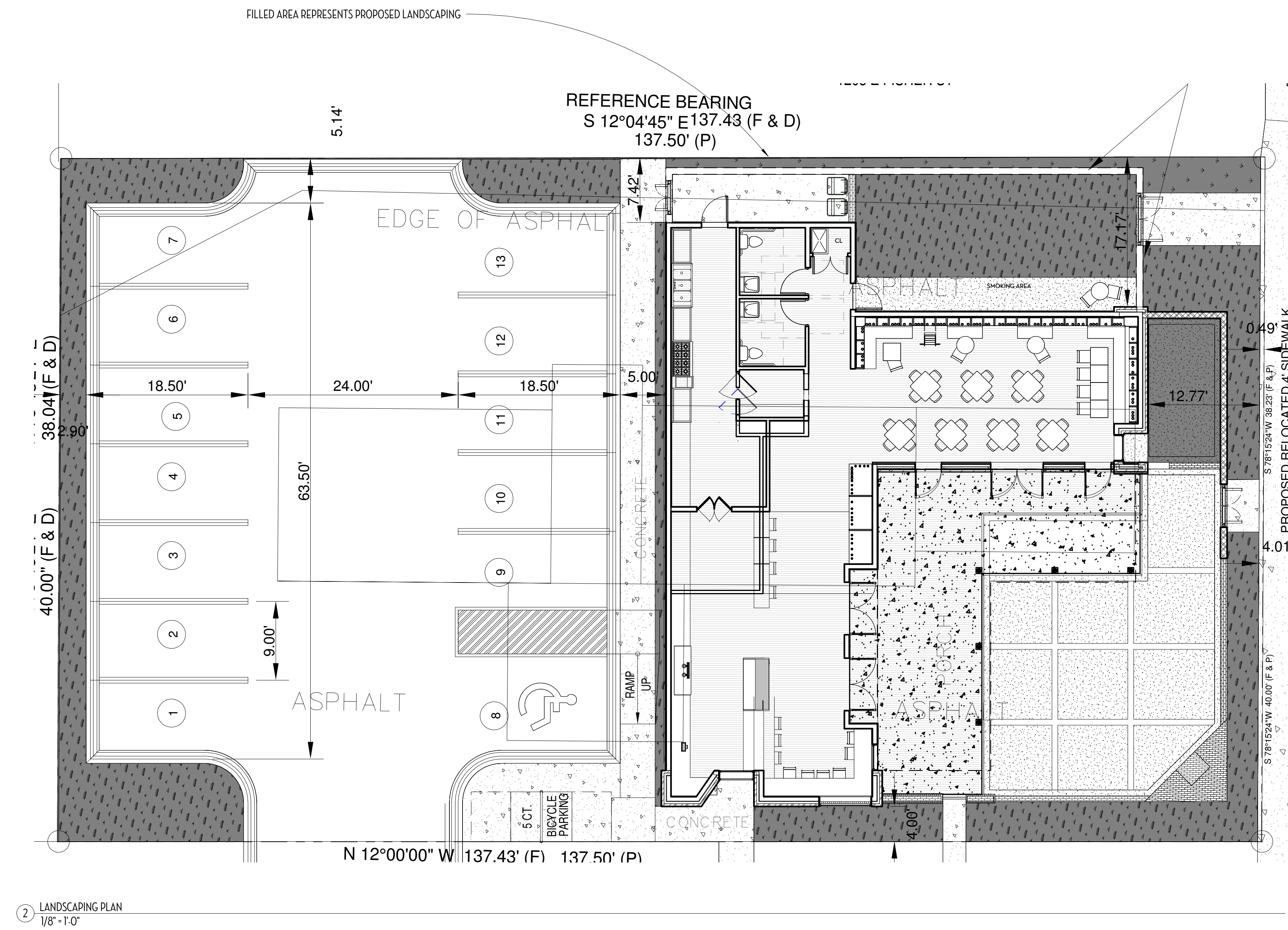
**LOT 2**

**LOT 1**

1 SITE PLAN  
 1/8" = 1'-0"

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**Anthony J. Vallee, Architect**  
 seal: AR95108



**LANDSCAPE CALCULATION**

|                         |              |
|-------------------------|--------------|
| TOTAL LOT AREA:         | 10,478.64 SF |
| TOTAL BUILDING AREA:    | 2,031 SF     |
| TOTAL LANDSCAPING AREA: | 1,814.74 SF  |
| PERCENT LANDSCAPING:    | 21 %         |

2 LANDSCAPING PLAN  
 1/8" = 1'-0"

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**LANDSCAPING &  
 AREA**  
**AO.3**



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**APPLICABLE CODES:**

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

**FIRE MARSHAL NOTES:**

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OF EGRESS, TYP.

**LEGEND**

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXTR PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

**FIRE SAFETY NOTES:**

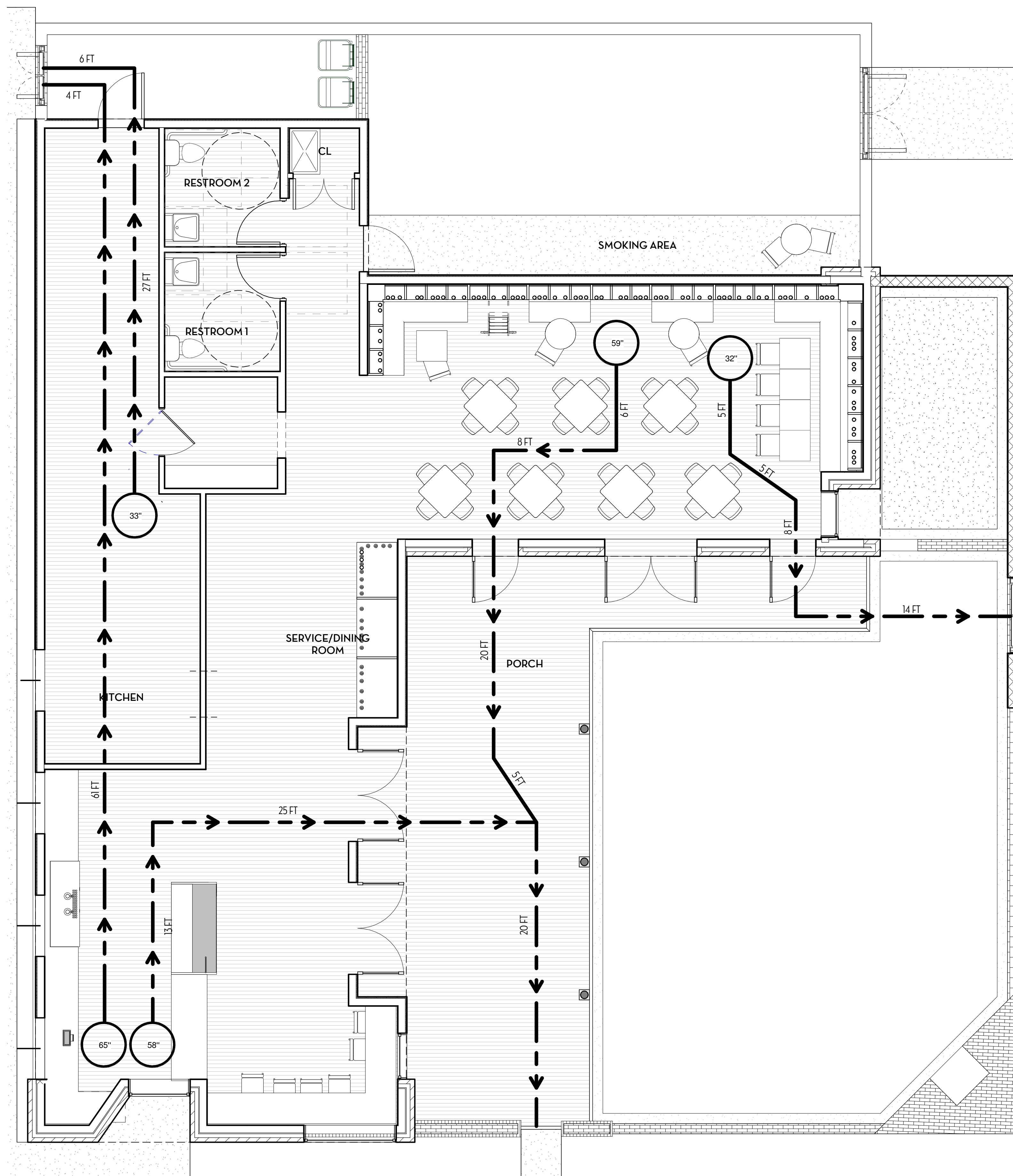
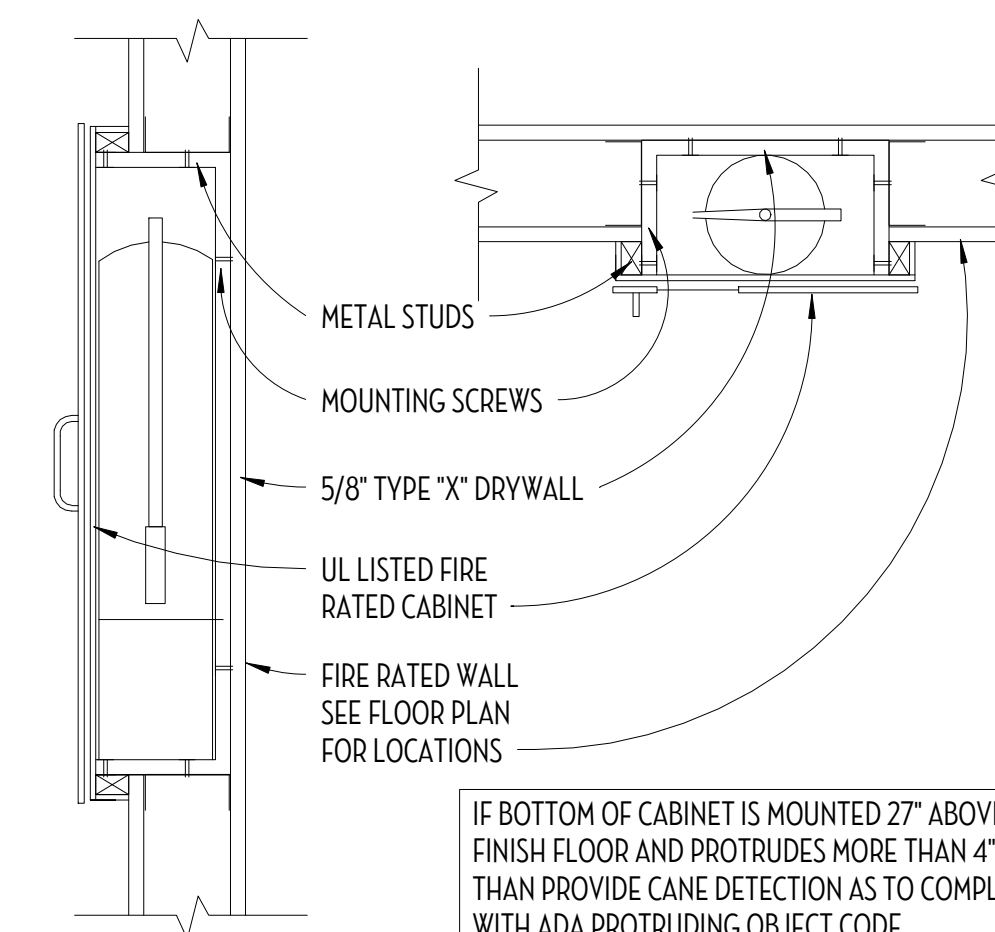
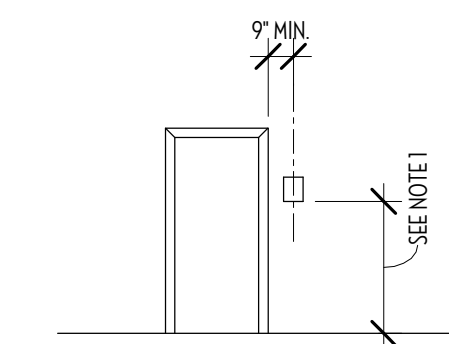
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

**FIRE EXTINGUISHERS:**

- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

**SIGNAGE NOTES:**

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



4 LIFE SAFETY PLAN  
1/4" = 1'-0"

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| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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**LIFE SAFETY PLAN**

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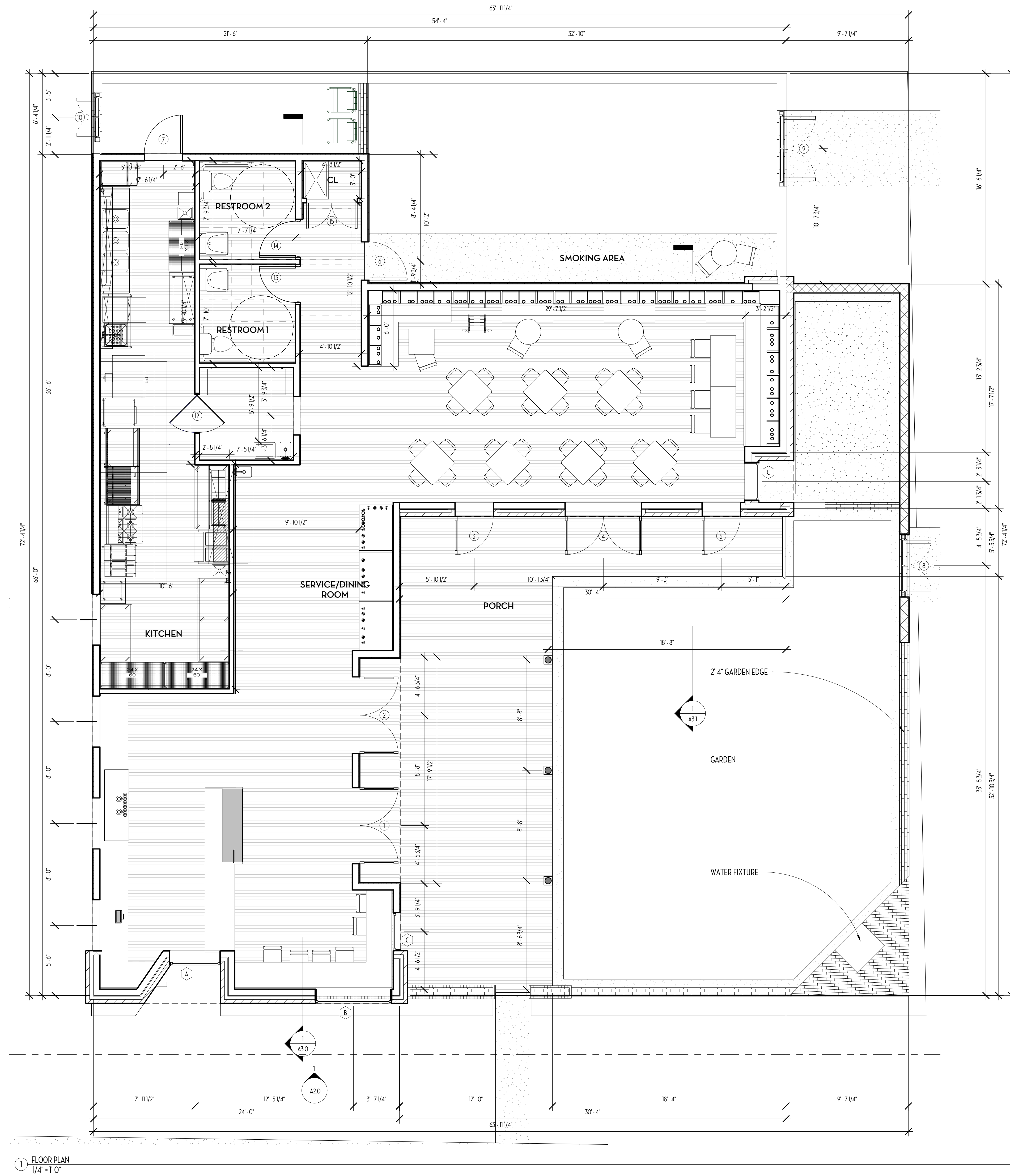
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FLOOR PLAN

A1.1



1 FLOOR PLAN  
 1/4" = 1'-0"

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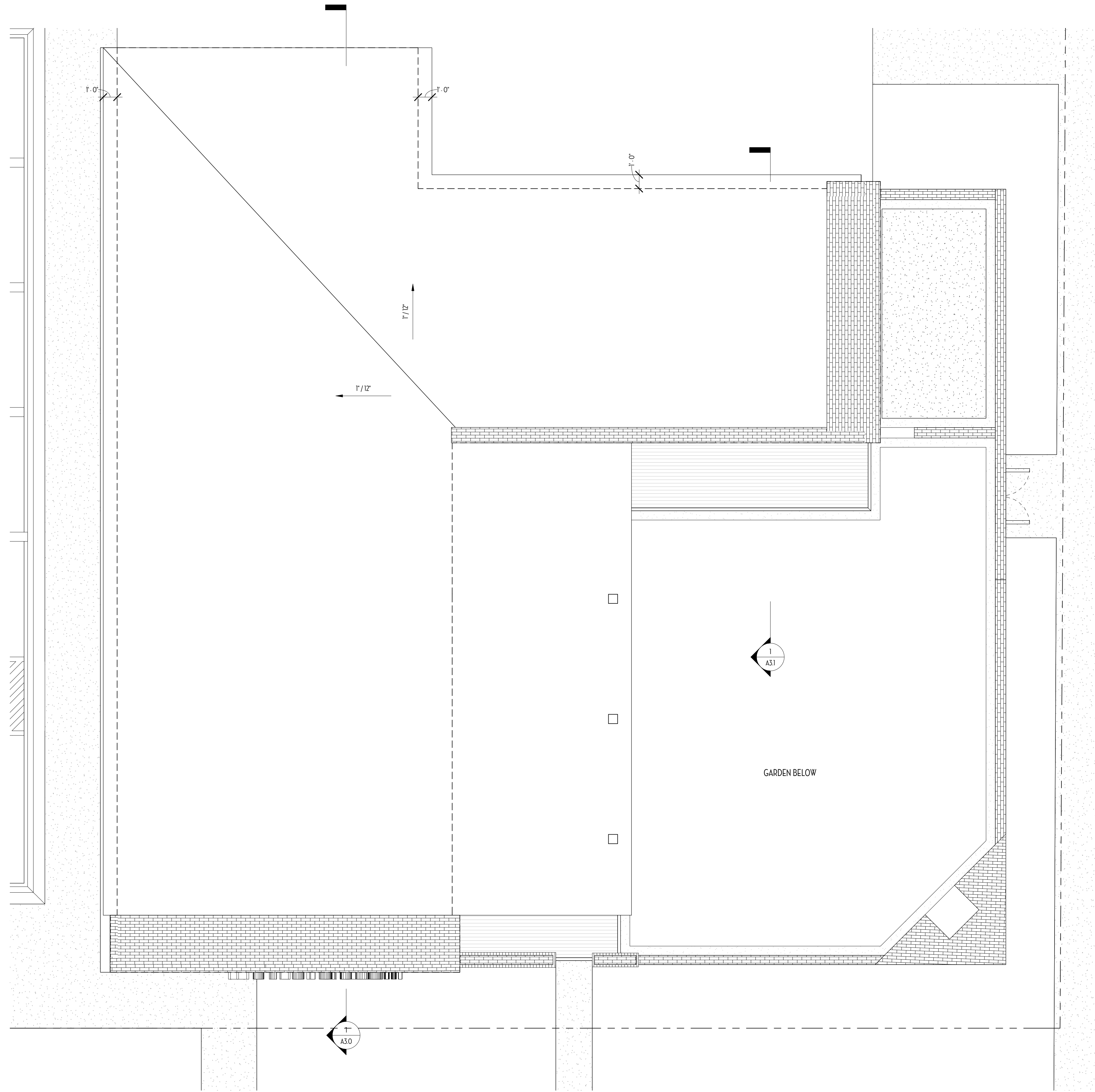
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Anthony J. Vallee, Architect  
seal: AR95108



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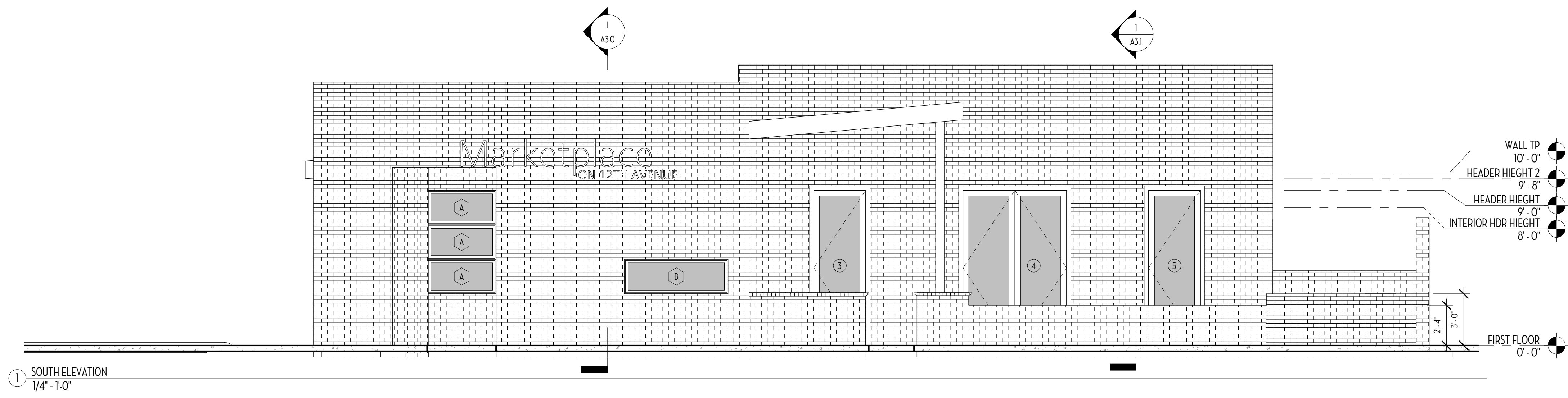
ROOF PLAN

# A1.2

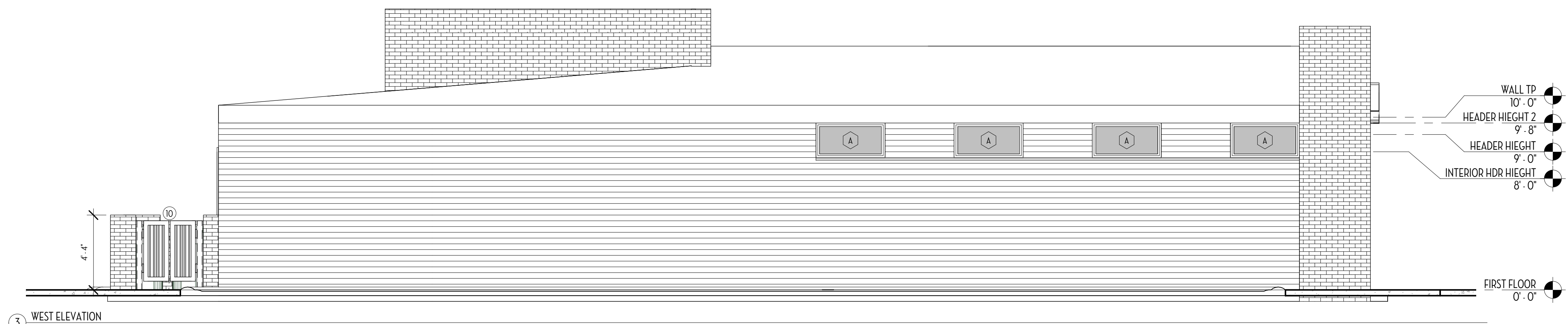
1 ROOF PLAN  
1/4" = 1'-0"

seal:

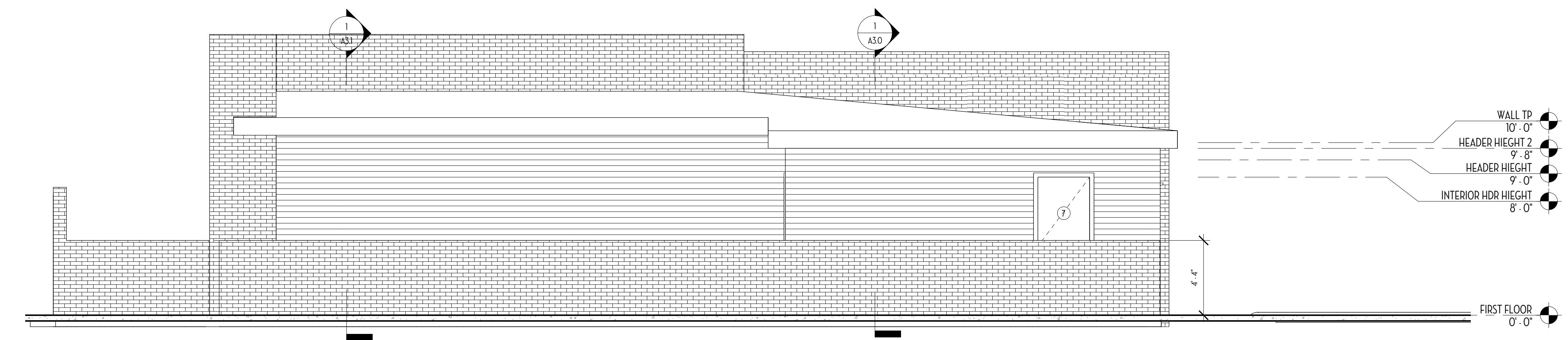
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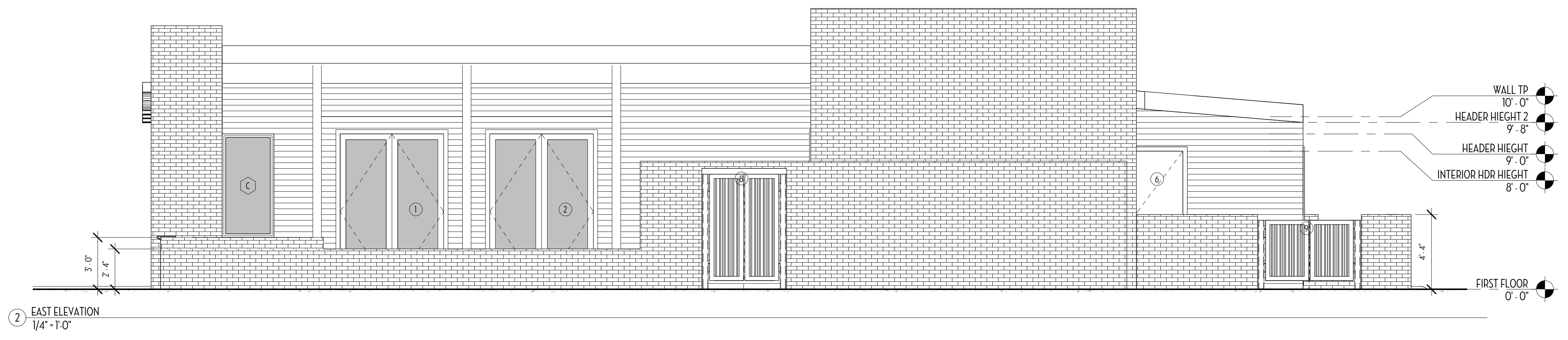
1 SOUTH ELEVATION  
 1/4" = 1'-0"



3 WEST ELEVATION  
 1/4" = 1'-0"



4 NORTH ELEVATION  
 1/4" = 1'-0"



2 EAST ELEVATION  
 1/4" = 1'-0"

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Revision Schedule

ELEVATIONS

A2.0

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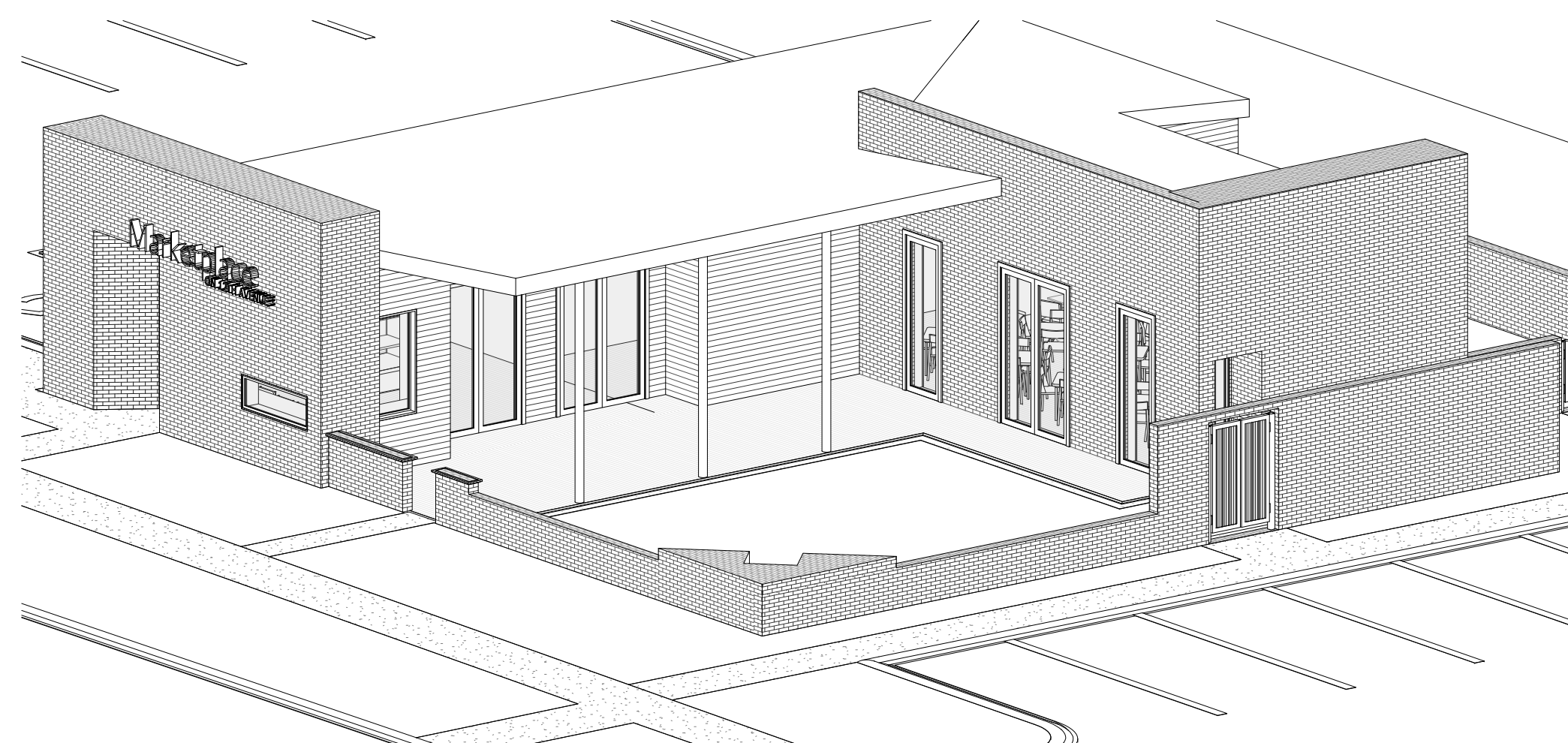
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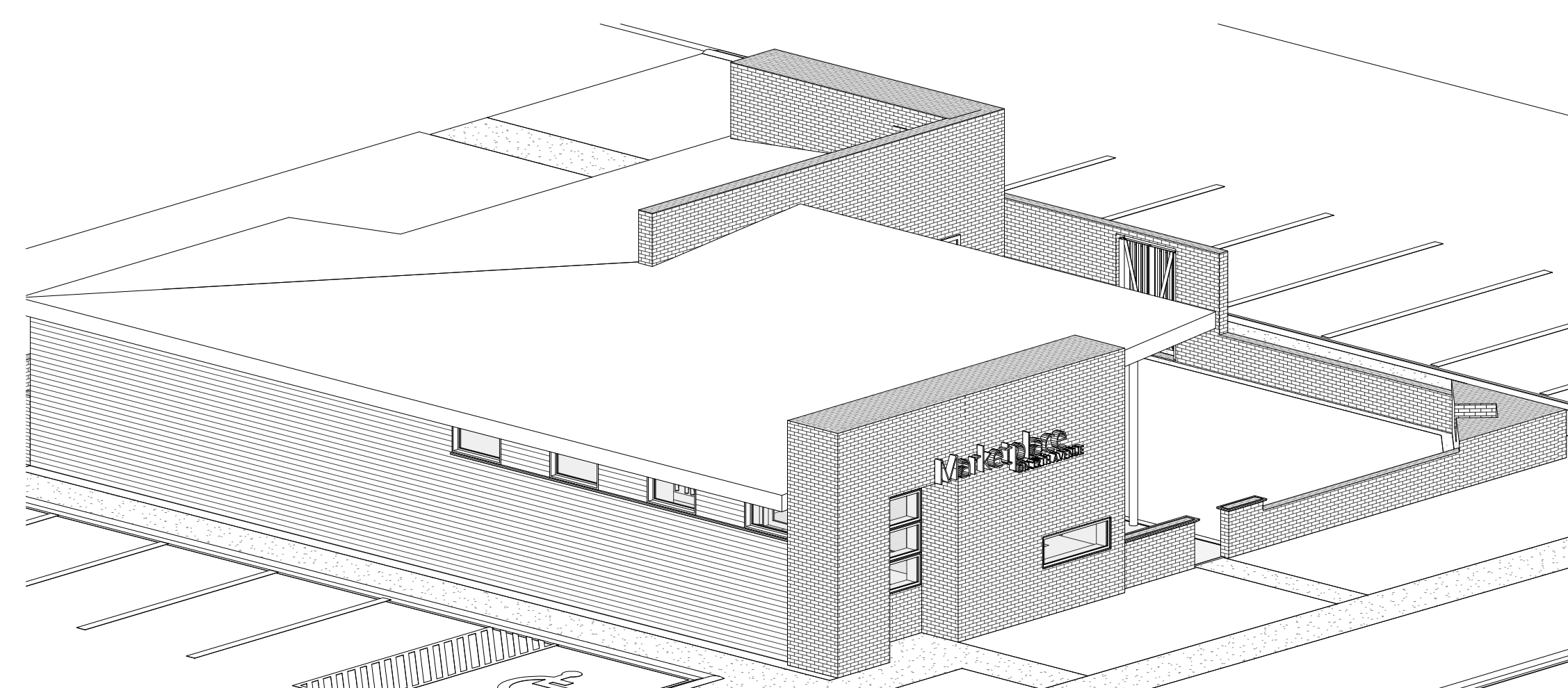
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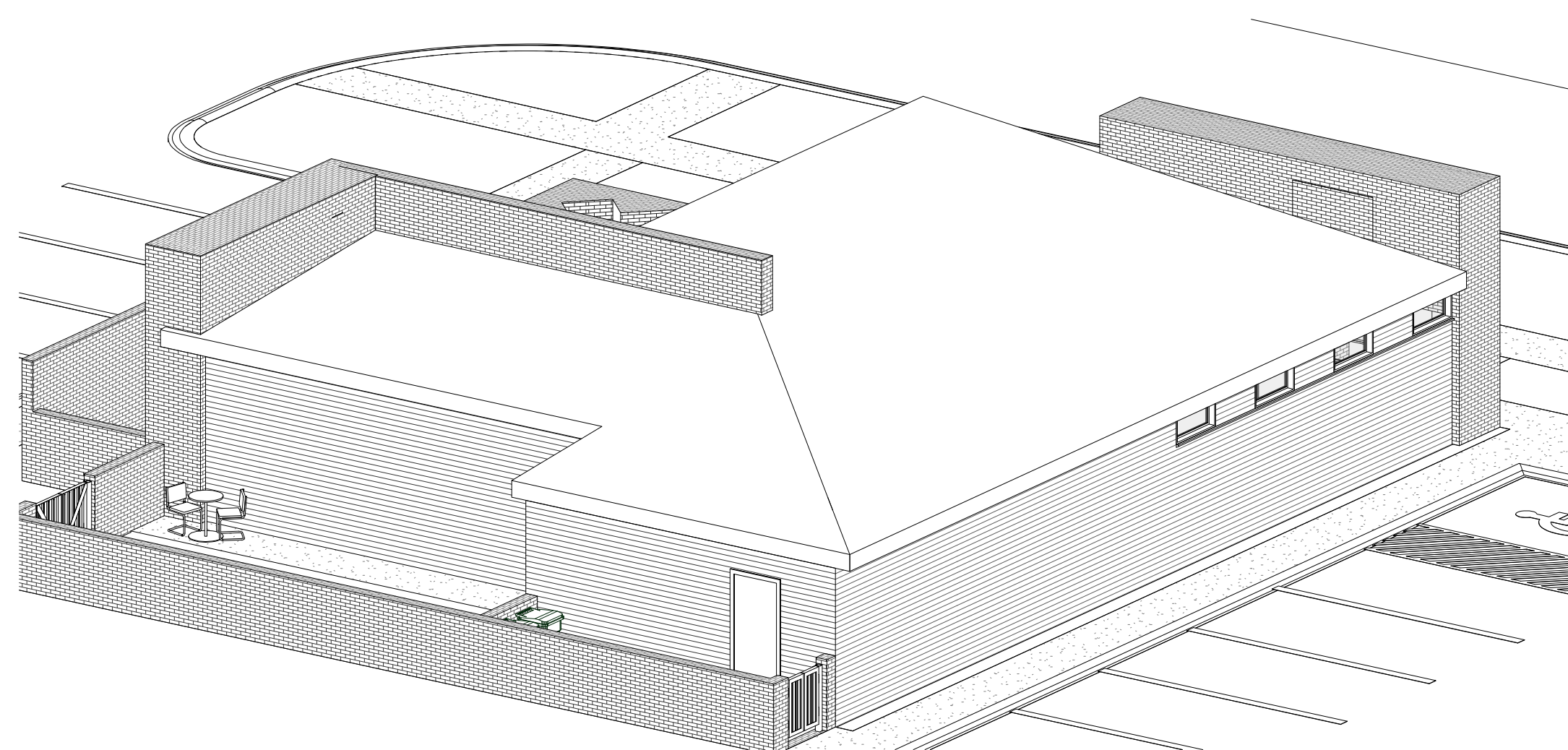
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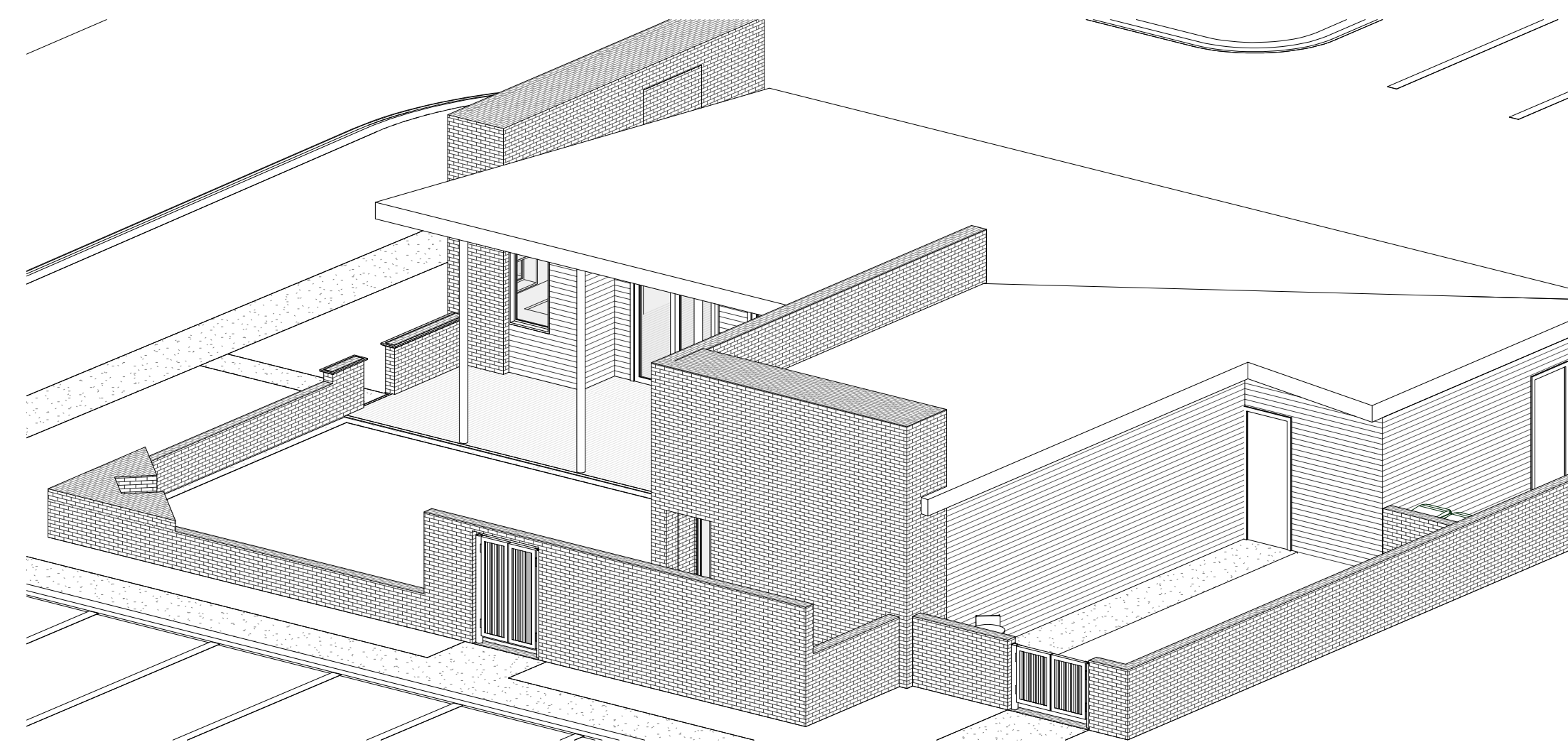
① Isometric 1



② Isometric 2



③ Isometric 3



④ Isometric 4

project name

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parcel:

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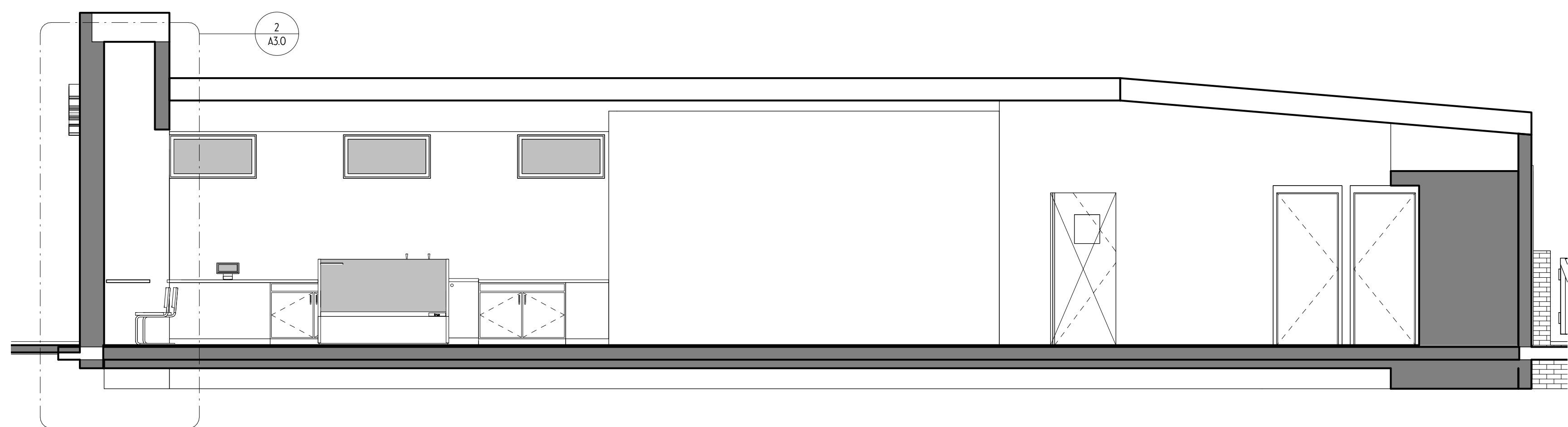
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3D VIEWS

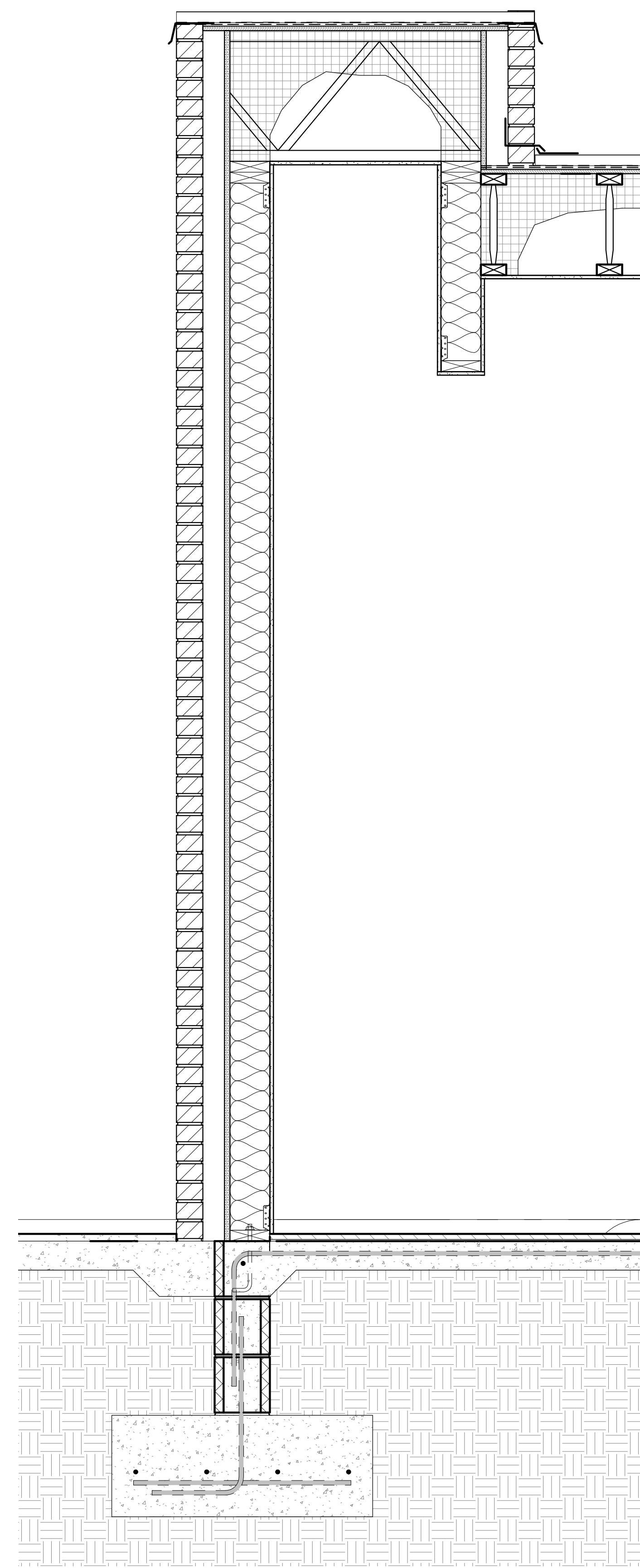
# A2.2

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 seal: AR95108



1 BUILDING SECTION 1  
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION  
 1" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

BUILDING  
 SECTION  
**A3.0**

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

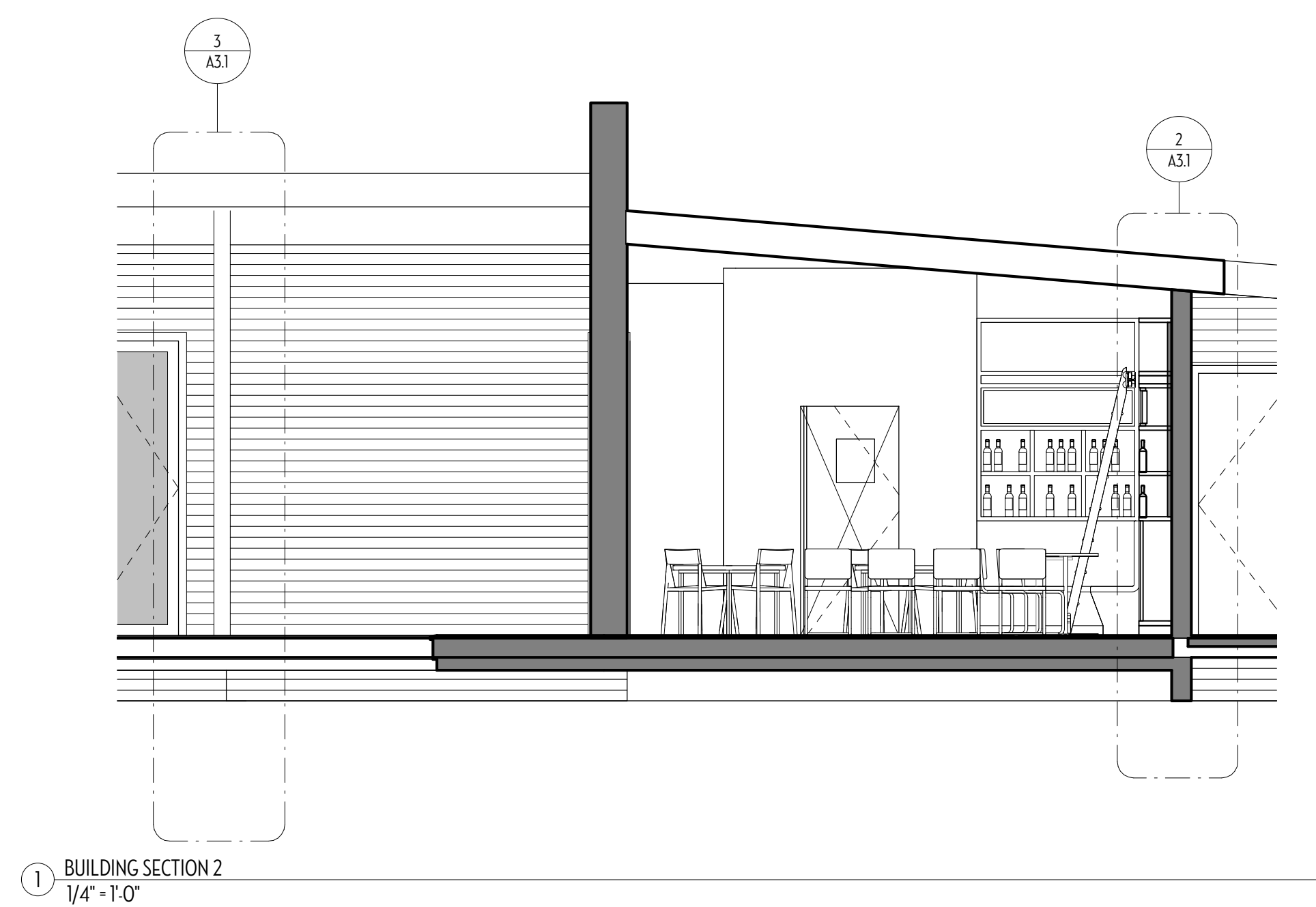
SHEET ISSUED: 01/12/20  
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Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

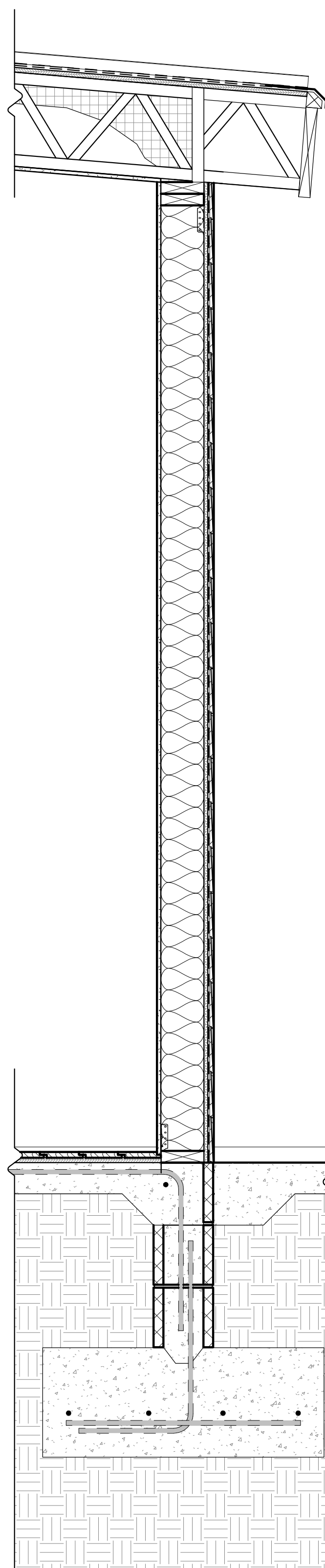
Revision Schedule

BUILDING  
 SECTION

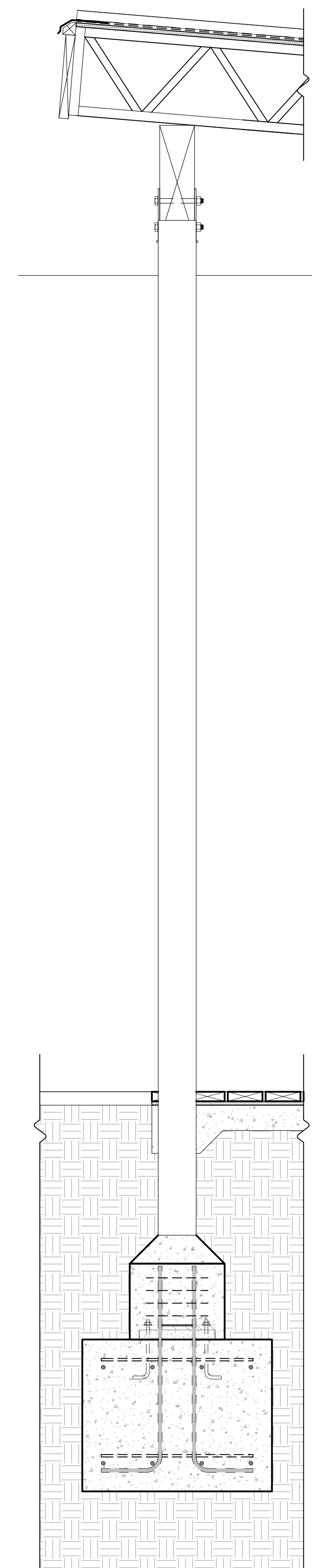
**A3.1**



① BUILDING SECTION 2  
 1/4" = 1'-0"



② TYPICAL WALL SECTION  
 1" = 1'-0"

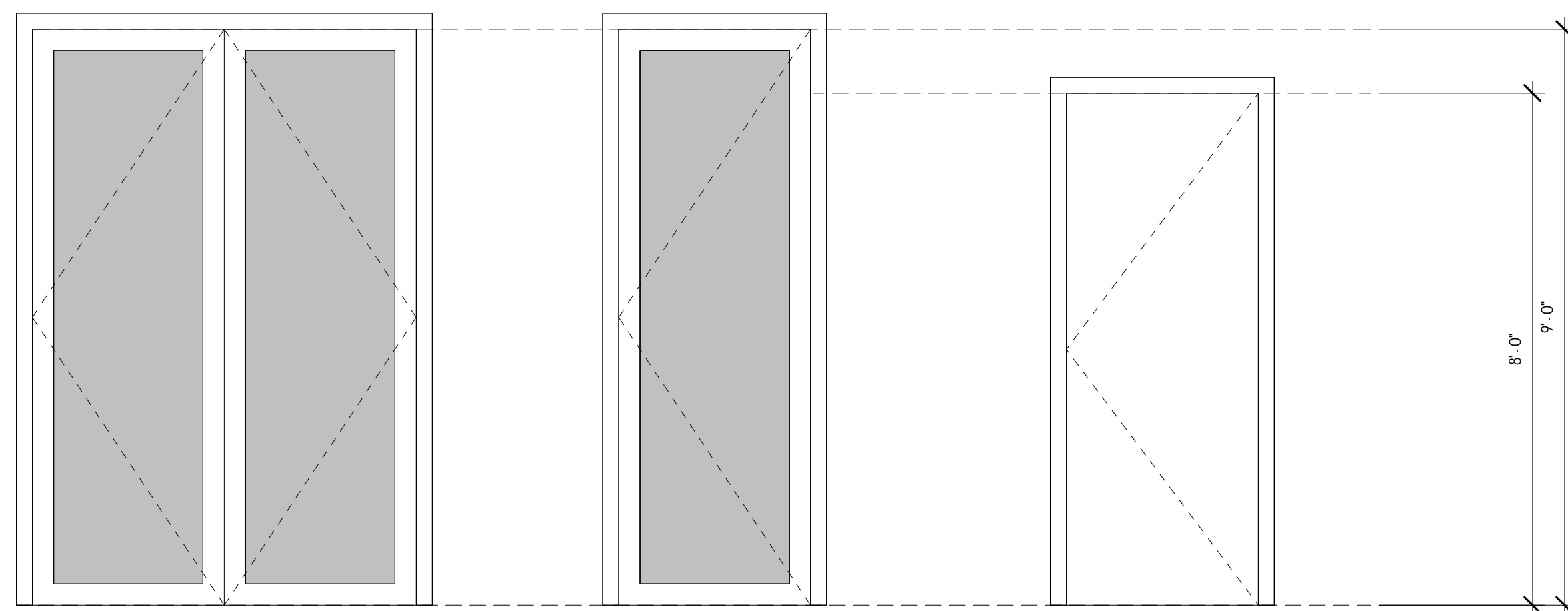


③ BUILDING SECTION 2 - Callout 1  
 1" = 1'-0"

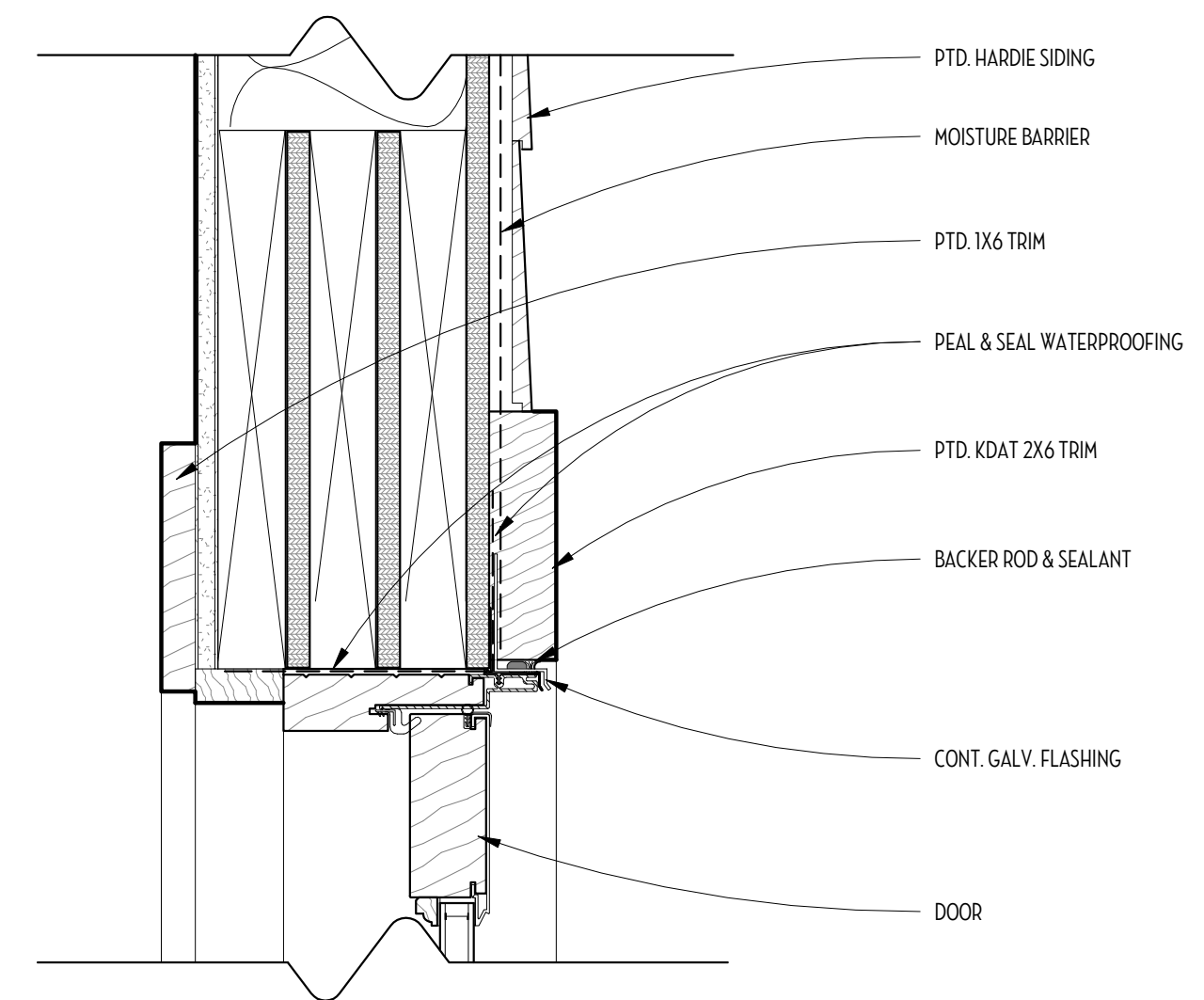
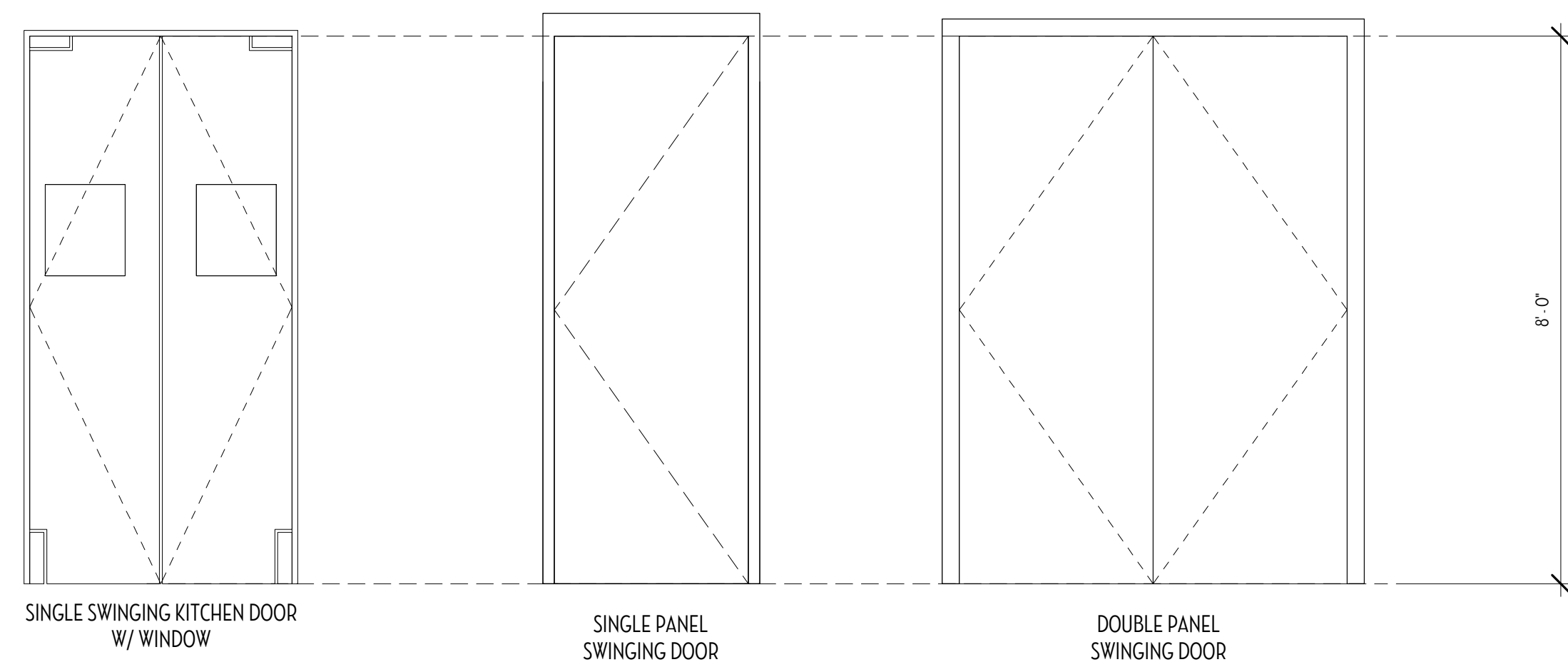
| DOOR SCHEDULE |        |       |                                     |        |          |
|---------------|--------|-------|-------------------------------------|--------|----------|
| UNIT          | HEIGHT | WIDTH | DESCRIPTION                         | FINISH | COMMENTS |
| 1             | 9'-0"  | 6'-0" |                                     |        |          |
| 2             | 9'-0"  | 6'-0" |                                     |        |          |
| 3             | 9'-0"  | 3'-0" |                                     |        |          |
| 4             | 9'-0"  | 6'-0" |                                     |        |          |
| 5             | 9'-0"  | 3'-0" |                                     |        |          |
| 6             | 8'-0"  | 3'-0" |                                     |        |          |
| 7             | 8'-0"  | 3'-0" |                                     |        |          |
| 8             | 6'-8"  | 4'-0" |                                     |        |          |
| 9             | 4'-0"  | 5'-1" |                                     |        |          |
| 10            | 4'-0"  | 3'-0" |                                     |        |          |
| 12            | 8'-0"  | 3'-0" | DUAL SWING KITCHEN DOOR WITH WINDOW |        |          |
| 13            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 14            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 15            | 8'-0"  | 4'-0" |                                     |        |          |
| X34           | 0'-0"  | 0'-0" |                                     |        |          |

| GENERAL NOTES:  | GENERAL DOOR HARDWARE PERFORMANCE NOTES:   |
|---|--|
| <ol style="list-style-type: none"> <li>DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.</li> <li>ALL GLASS TO BE INSULATED LOW-E.</li> <li>UNITS TO BE IMPACT RATED.</li> <li>SEE DOOR STYLES FOR MUNTIN PATTERNS.</li> <li>INSTALL DOOR PER MFR. INSTRUCTIONS.</li> <li>EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION).</li> <li>INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS.</li> <li>DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS &amp; SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS.</li> </ol> | <ul style="list-style-type: none"> <li>PRIVACY HARDWARE SET: ALL BEDROOMS &amp; BATHS TO HAVE TURN PIECE &amp; EMERGENCY RELEASE.</li> <li>KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT.</li> <li>NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE.</li> <li>HALF DUMMY HARDWARE SET: ALL CLOSET DOORS.</li> <li>PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS.</li> <li>ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF.</li> <li>ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS.</li> <li>GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC.</li> <li>THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.</li> </ul> |

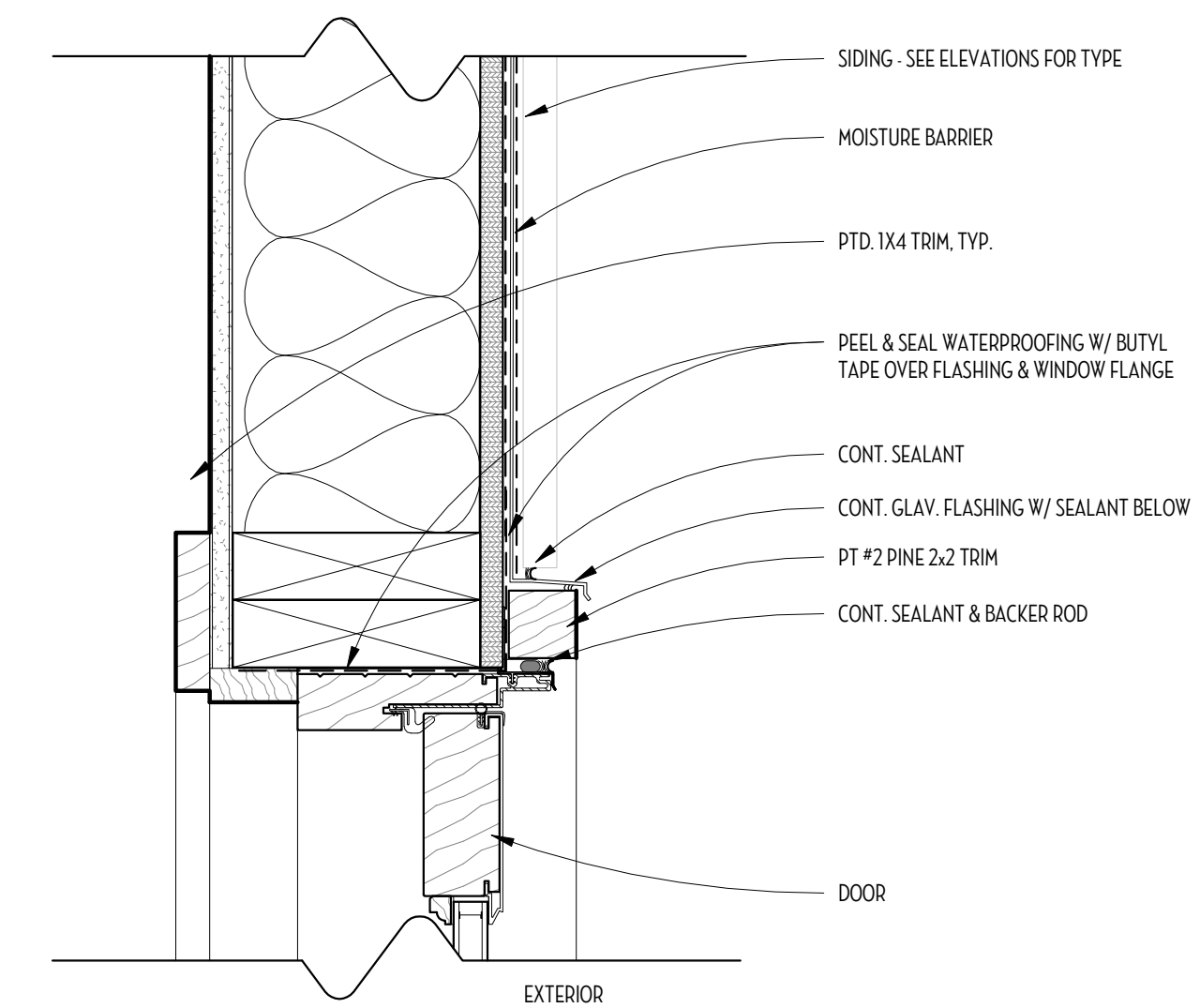
EXTERIOR DOOR TYPES



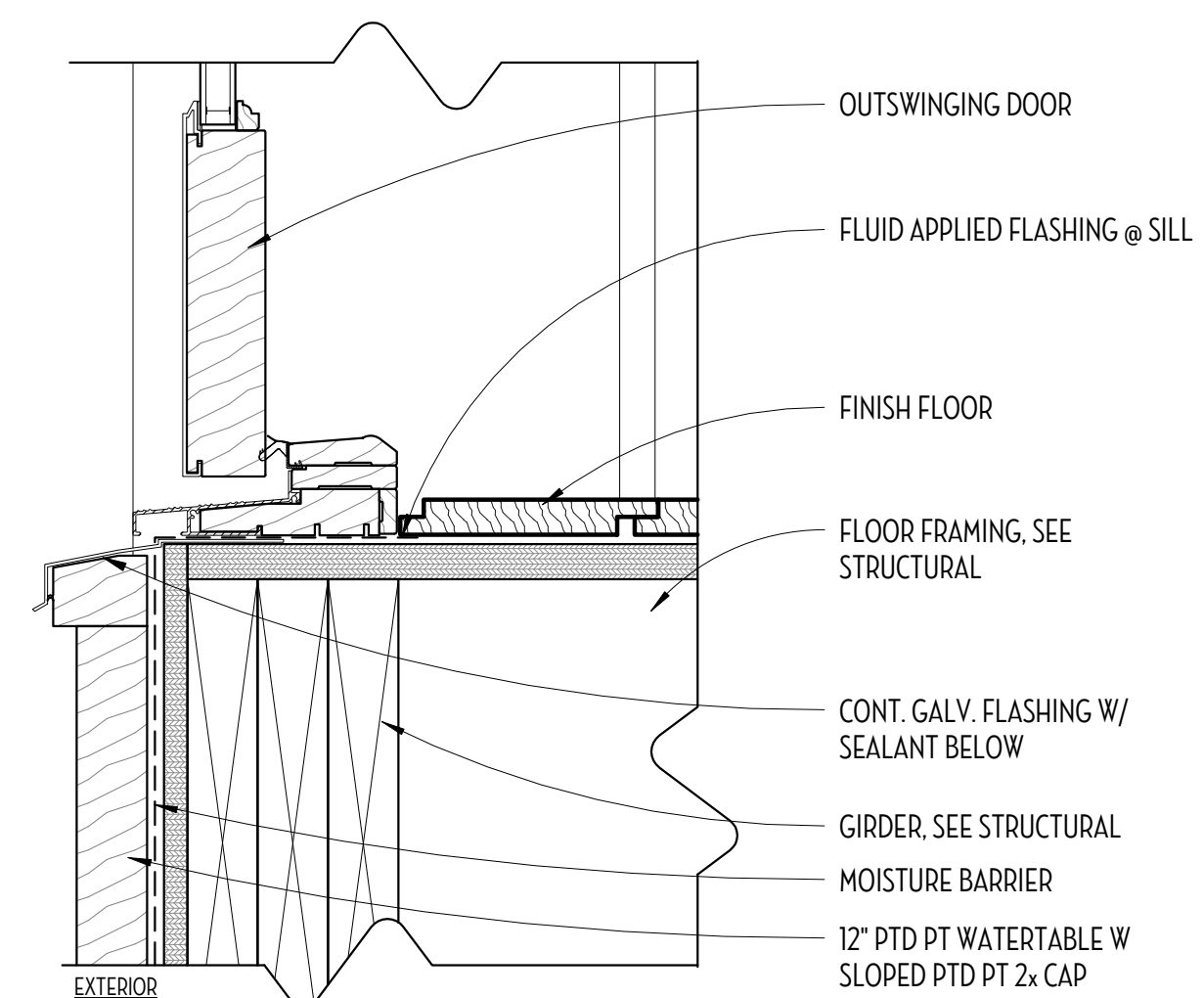
INTERIOR DOOR TYPES



1 TYP. DR. HDR. WOOD  
3'-1.0"



2 TYP. DR. JAMB. WOOD  
3'-1.0"



3 TYP. DR. SILL. WOOD  
3'-1.0"

architect of record :

McWhorter  
Vallee Design

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect  
seal: AR95108

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Revision Schedule

DOOR SCHEDULE

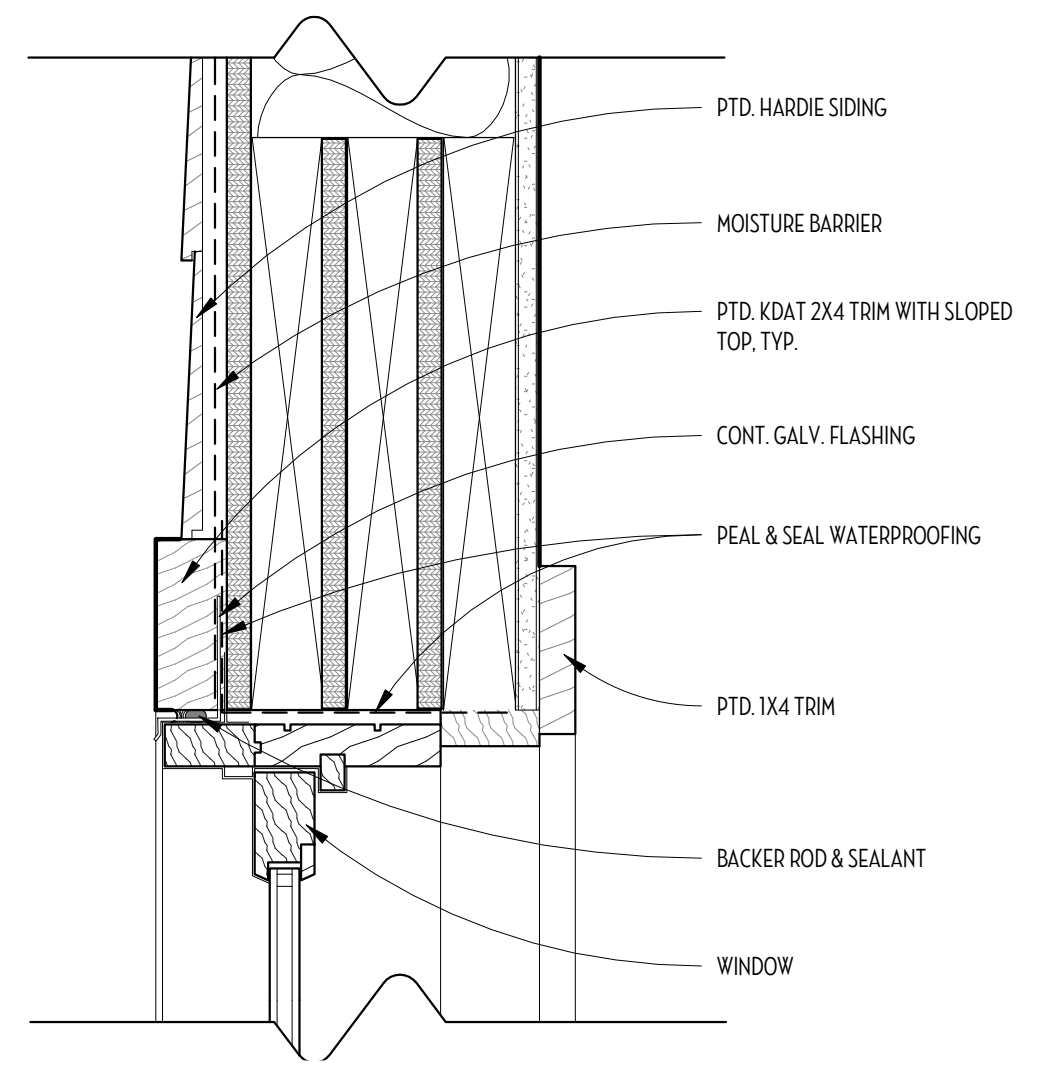
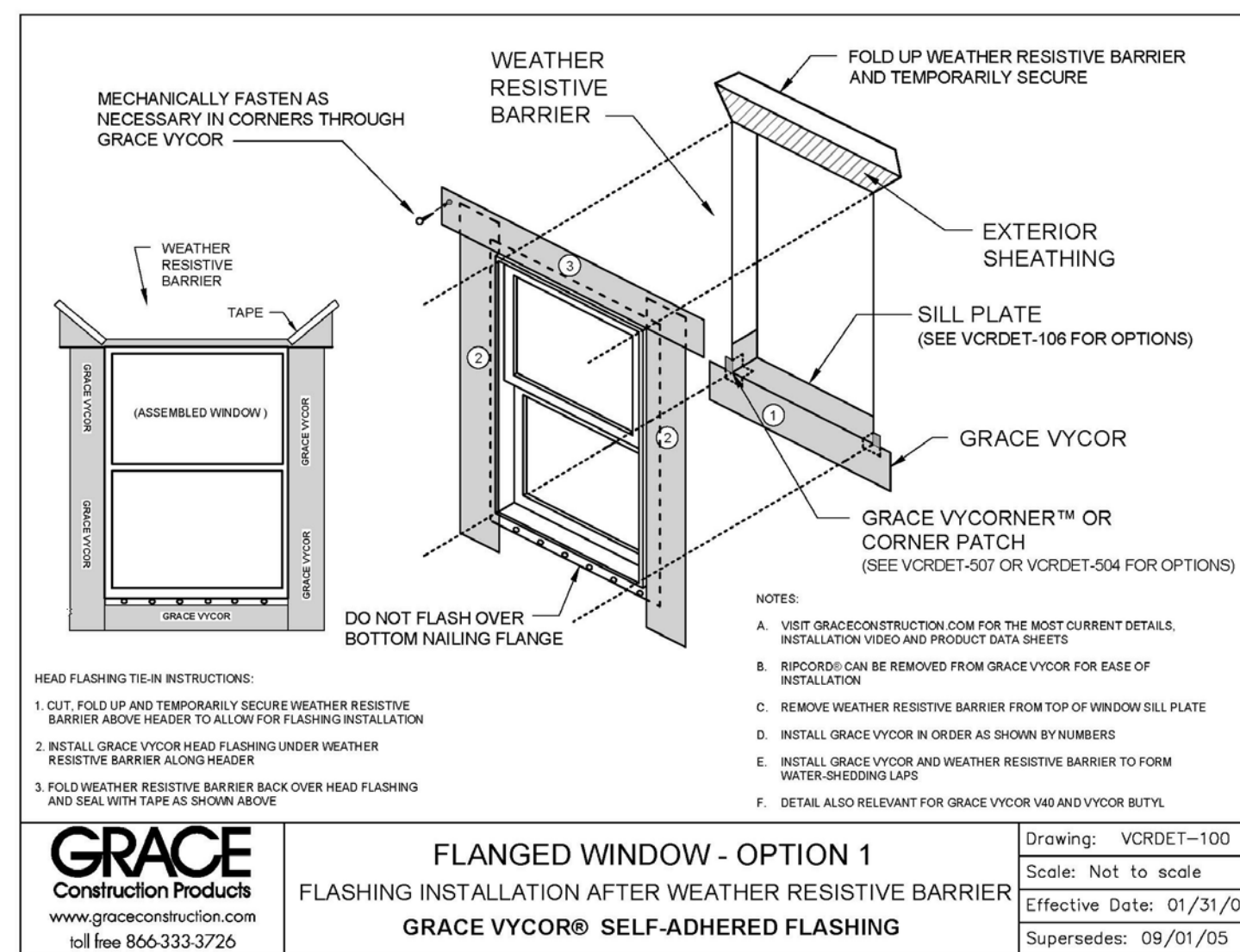
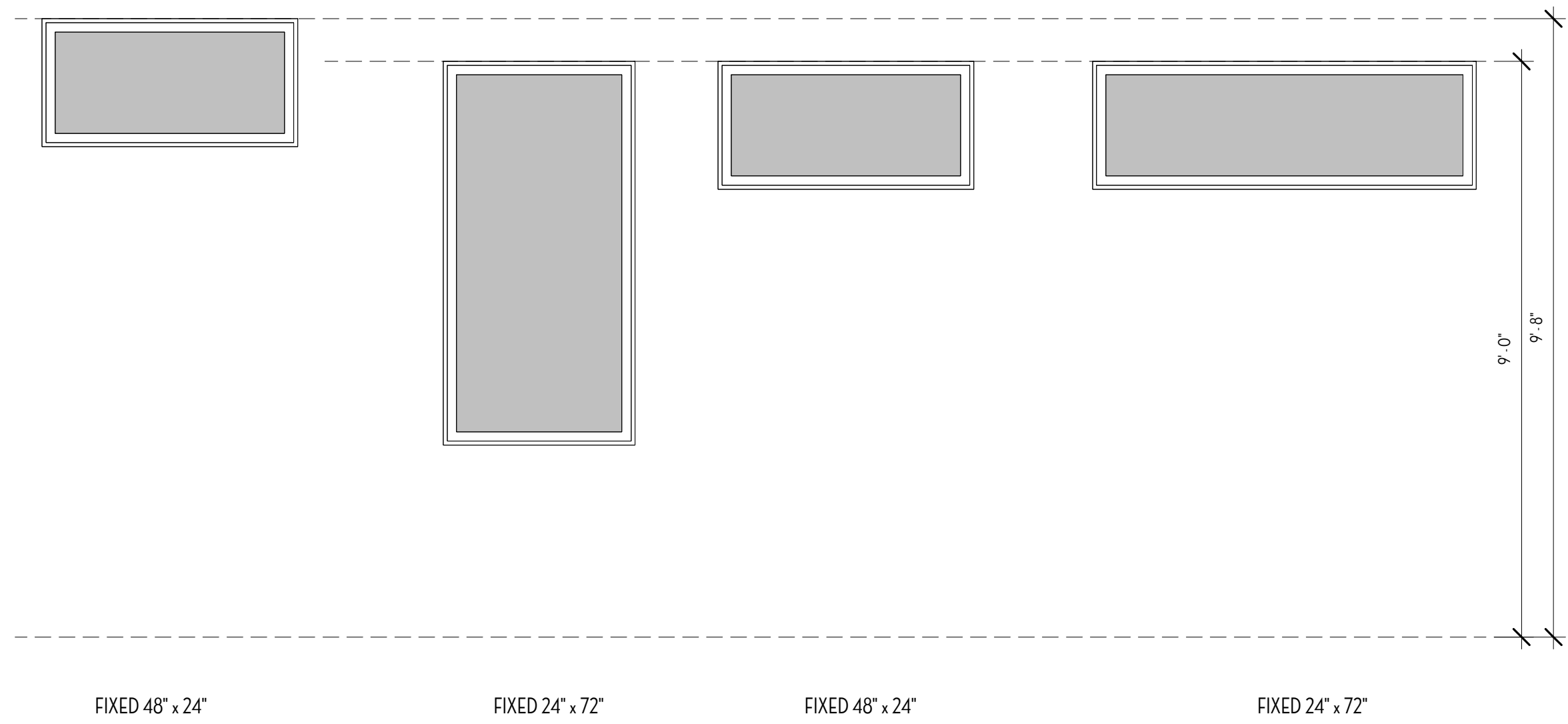
A4.0



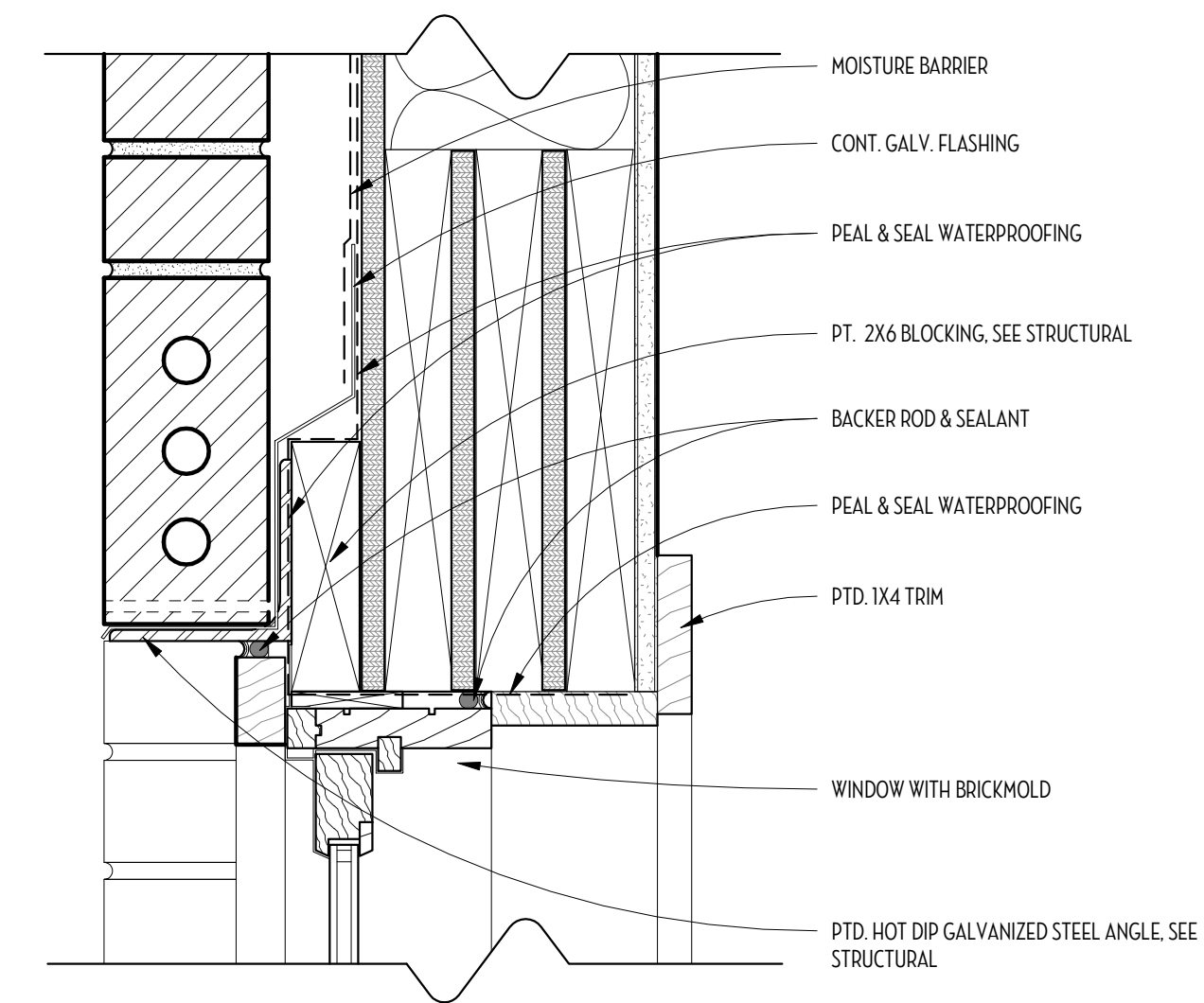
| WINDOW SCHEDULE |       |        |                          |       |
|-----------------|-------|--------|--------------------------|-------|
| UNIT            | WIDTH | HEIGHT | DESCRIPTION              | NOTES |
| A               | 4'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| B               | 6'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| C               | 3'-0" | 6'-0"  | SINGLE CLAD FIXED WINDOW |       |

**GENERAL NOTES:**

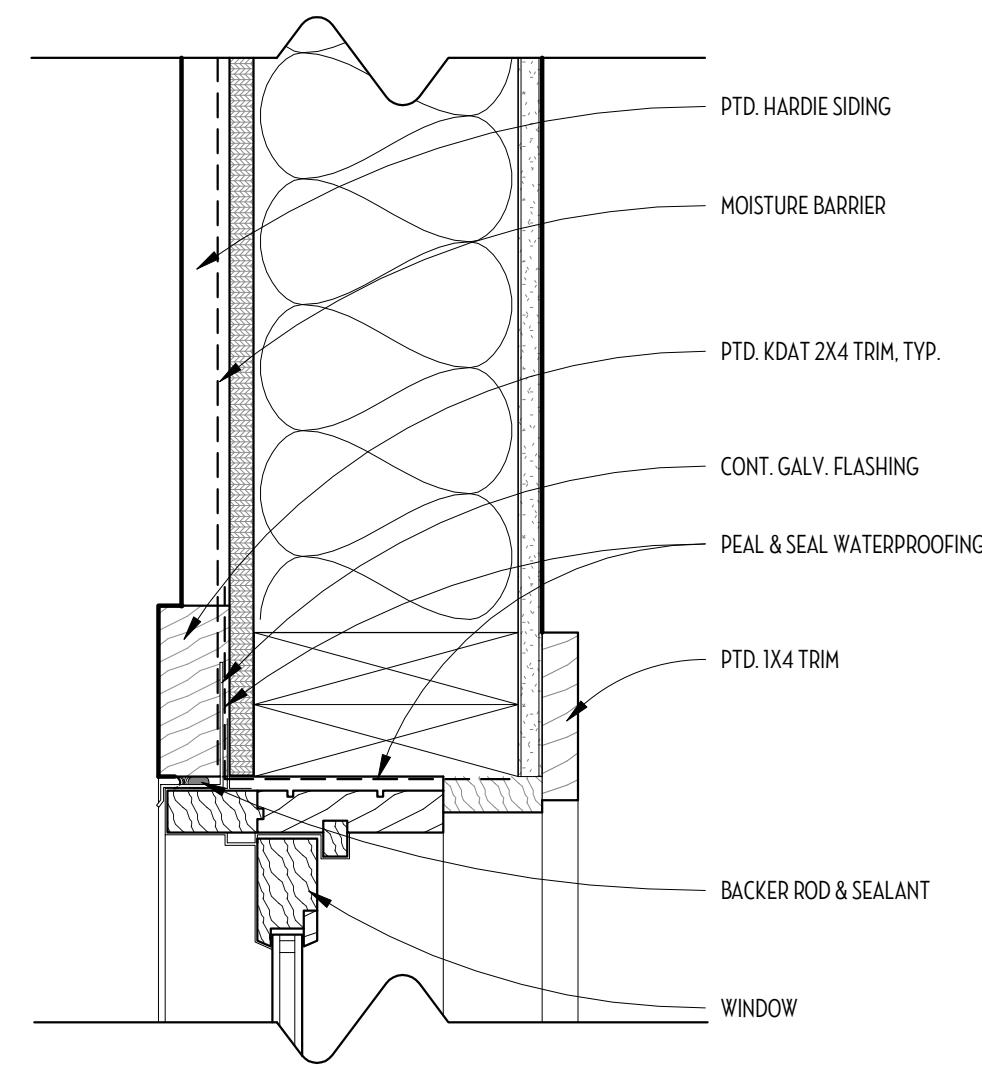
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



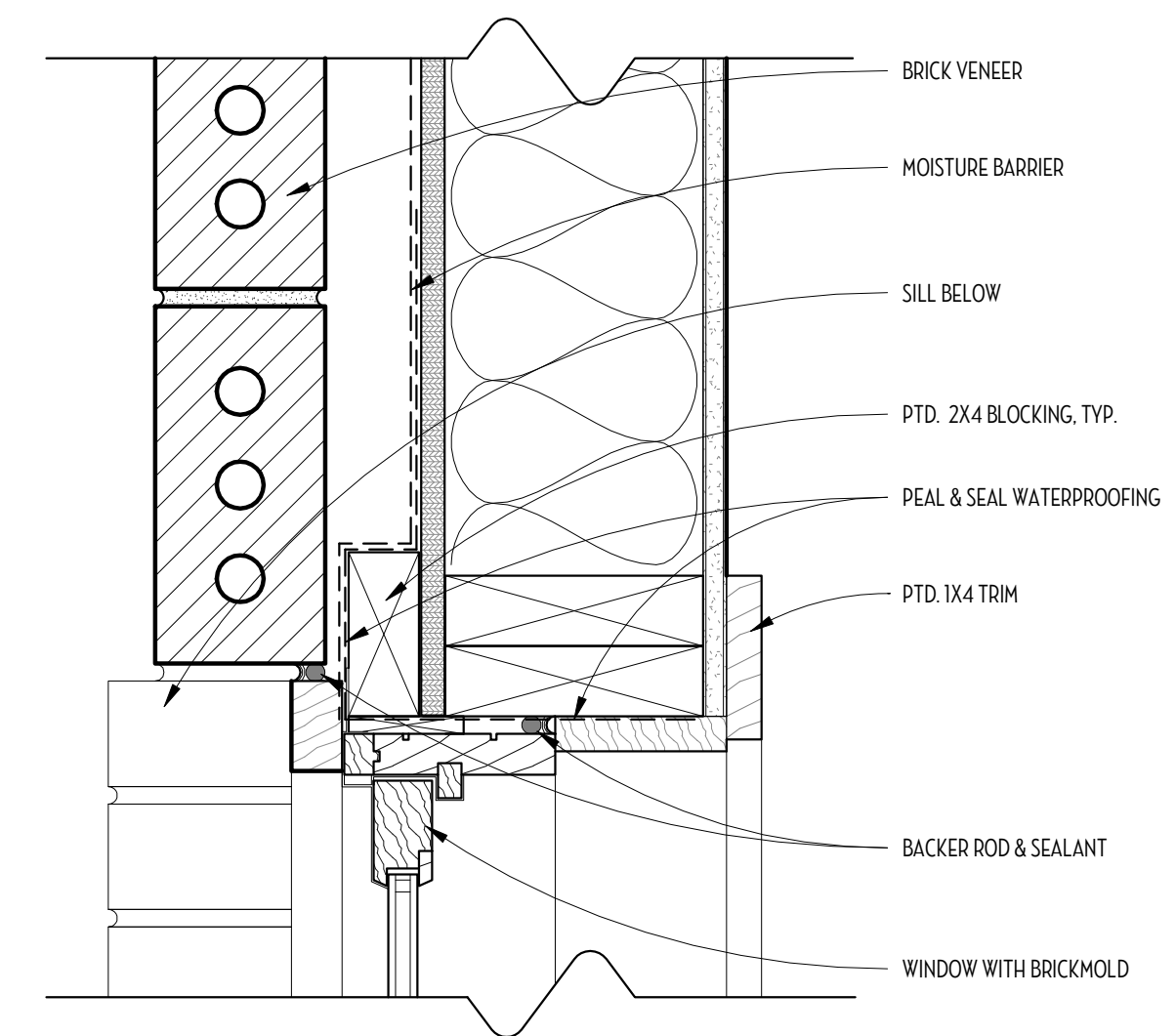
3 TYP. WIN. HDR. WOOD  
3'-1-0"



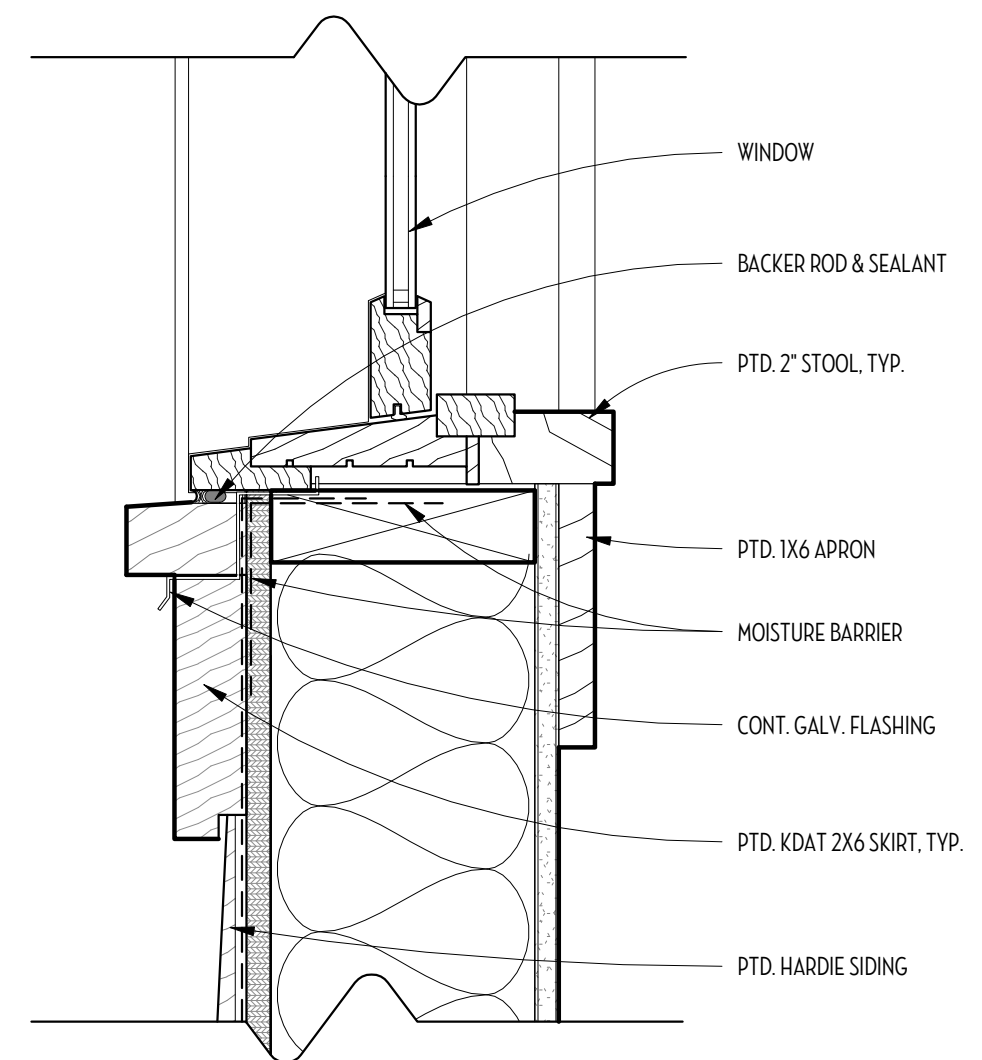
2 TYP. WIN. HDR. BRICK  
3'-1-0"



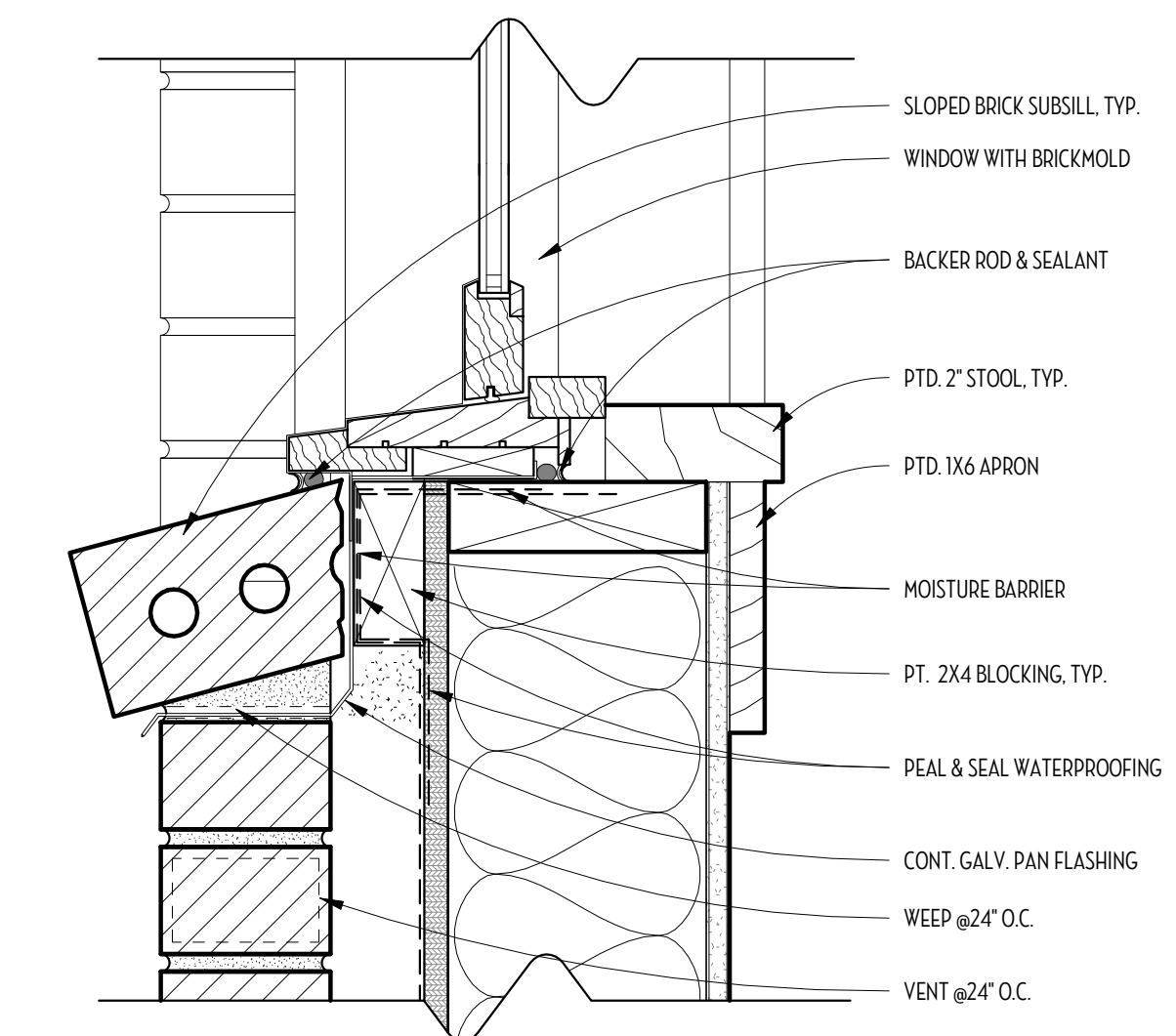
5 TYP. WIN. JAMB. WOOD  
3'-1-0"



4 TYP. WIN. JAMB. BRICK  
3'-1-0"



7 TYP. WIN. SILL. WOOD  
3'-1-0"



6 TYP. WIN. SILL. BRICK  
3'-1-0"

architect of record :

**McWhorter  
Vallee Design**

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

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seal:

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Revision Schedule

WINDOW  
SCHEDULE

**A4.1**



**MINUTES OF THE PLANNING BOARD**  
**February 11, 2020**

**MEMBERS PRESENT:** Chairperson Paul Ritz, Vice Chairperson Kurt Larson, Board Member Grundhoefer, Board Member Sampson

**MEMBERS ABSENT:** Board Member Murphy, Board Member Powell, Board Member Wiggins

**STAFF PRESENT:** Assistant Planning Director Cannon, Senior Planner Statler, Transportation Planner-Complete Streets Ziarnek, Network Engineer Johnston, Digital Media Coordinator Rose, Intern Mendillo

**OTHERS PRESENT:** Brian Spencer, Darrell J. Barnhill, Thomas McCarty, Stephen Fluegge, Kacee Bidnick, Anthony Vallee

**AGENDA:**

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
  1. **Vacation of Right-of-Way Request - Cevallos Street**
  2. **Preliminary Plat Review - Corta de La Rua**
  3. **License To Use Request - 2800 North 12th Avenue**
  4. **Demolition Request – 1101 E. Gregory Street**
  5. **Discussion on the Proposed Amendment to the Tree Ordinance**

**Call to Order / Quorum Present**

Chairperson Ritz called the meeting to order at 2:09 pm with a quorum present and explained the procedures of the Board meeting.

**Approval of Meeting Minutes**

Board Member Larson made a motion to approve the January 14, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.

## **New Business**

### **Vacation of Right-of-Way Request - Cevallos Street**

Assistant Planning Director Cannon stated a request had been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. She explained the request had been routed through internal and external agencies. Mr. Spencer addressed the Board and stated this would restore the continuity of a property line on Cevallos. Chairperson Ritz explained this was a correction for a scrivener's error. He indicated that the right-of-way belongs to the citizens of the city, and Mr. Spencer was required to submit a request for vacation, and the Board would determine a valid reason for the request. Mr. Spencer advised when he served on Council, he learned the vacation of right-of-way, if approved, would proceed to Council to convey the property through the Board's recommendation. He had no problems with utility easements and had no intention of building in that area. Chairperson Ritz advised that the proper notification had been provided. **With no speakers, Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.**

### **Preliminary Plat Review - Corta de La Rua**

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St. The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel. Assistant Planning Director Cannon explained this constituted a major subdivision.

Mr. Geci presented to the Board and stated the lot history consisted of three (3) lots. They had met the CRA requirements for fronting on LaRua with rear access to the lots; they had also provided stormwater information and were connecting to an existing stormwater sewer. Chairperson Ritz explained this was a preliminary plat and appreciated the residences being pulled back with garages in the rear. Mr. Geci advised they needed to adjust the lot widths on lots 1 and 4 to attain the 80% lot frontage which was the only comment received that required revisions. Chairperson Ritz stated the request had been routed through the appropriate departments, and the applicants would contact ECUA for future utility requirements.

**Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.** Chairperson Ritz clarified that the Board would see the project again.

### **License To Use Request - 2800 North 12th Avenue**

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12<sup>th</sup> Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk. Chairperson Ritz explained unlike a right-of-way vacation, the License to Use (LTU) means the property remains in the City's ownership but allows the applicant to use the site as approved; it also comes with an annual fee paid to the City.

Mr. Barnhill presented to the Board and stated they were requesting the same opportunity as other businesses on 12<sup>th</sup> Avenue. Assistant Planning Director Cannon noted they were requesting eight (8) additional parking spaces to meet the LDC minimum requirements of the square footage for the proposed restaurant development. Mr. Barnhill stated they

would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12<sup>th</sup> Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12<sup>th</sup> Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

**Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.**

### **Demolition Request – 1101 E. Gregory Street**

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

**Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.**

### **Discussion on the Proposed Amendment to the Tree Ordinance**

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30<sup>th</sup>, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

**Open Forum** – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could

attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

**Adjournment** – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon  
Secretary to the Board



## MEMORANDUM

**TO:** Planning Board Members

**FROM:** Cynthia R. Cannon, AICP, Assistant Planning Director

**DATE:** February 4, 2020

**SUBJECT:** Request for License to Use Right-of-Way – 2800 North 12<sup>th</sup> Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12<sup>th</sup> Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk.

This request has been routed through the various City departments and utility providers and those comments are attached for your review.

Department:

Comments:

| Department: | Comments:  |  |
|-------------|--|--|
| FIRE        | We do not oppose to the relocation of the sidewalk.  |  |
| PW/E        | PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.  |  |
| InspSvcs    | No objections.   |  |
| ESP         | No objections.   |  |
| ECUA        | ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined). If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities. |  |
| GPW         | No comments.   |  |
| ATT         | AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.   |  |

## Cynthia Cannon

---

**From:** ST PIERRE, ROB A <RS634Y@att.com>  
**Sent:** Wednesday, January 22, 2020 1:51 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] FW: License to Use - Parking - 2800 N 12th Ave  
**Attachments:** 2800 N 12th Ave\_LTU Application.pdf

Cynthia,

AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.

Thanks,

**Rob St. Pierre**  
Manager - OSP Plng & Eng  
Technology Operations

AT&T  
605 W Garden St. Pensacola, FL 32502  
o 850.436.1701 | [rs634y@att.com](mailto:rs634y@att.com)  
MOBILIZING YOUR WORLD

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**From:** FENNER, KARL L  
**Sent:** Wednesday, January 22, 2020 12:16 PM  
**To:** ST PIERRE, ROB A <RS634Y@att.com>  
**Cc:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: License to Use - Parking - 2800 N 12th Ave

Karl Fenner  
Area Manager – OSP Plng and Eng  
Technology Operations

AT&T  
605 W Garden St, Pensacola, FL 32502  
o 850.436.1485 | [kf5345@att.com](mailto:kf5345@att.com)

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**From:** Andre Calaminus <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>  
**Sent:** Tuesday, January 28, 2020 8:37 AM  
**To:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Cc:** Mike Hamlin <[mike.hamlin@ecua.fl.gov](mailto:mike.hamlin@ecua.fl.gov)>  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Good morning Cynthia,

ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined).

If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.

Thanks,

**Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |**

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Wednesday, January 22, 2020 9:01 AM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrick Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power)

## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Monday, January 27, 2020 10:48 AM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Cynthia,  
Pensacola Energy has no comments or objections to the license to use request.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, Fl 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

\*\*\*Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit [Pensacola311.com](http://Pensacola311.com)

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

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**Subject:** License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12<sup>th</sup> Avenue.

## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Wednesday, January 22, 2020 12:50 PM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

Good Afternoon,

I do not oppose to the relocation of the sidewalk.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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**From:** Cynthia Cannon

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**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrick Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly(GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>

**Subject:** License to Use - Parking - 2800 N 12th Ave

## Cynthia Cannon

---

**From:** Jonathan Bilby  
**Sent:** Wednesday, January 22, 2020 10:25 AM  
**To:** Cynthia Cannon  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

I have no issues with this license to use.

Jonathan Bilby, MCP, CFM  
*Inspection Services Administrator*  
Visit us at <http://cityofpensacola.com>  
222 W Main St.  
Pensacola, FL 32502  
Office: 850.435.1748  
Fax: 850.595.1464  
[jbilby@cityofpensacola.com](mailto:jbilby@cityofpensacola.com)

**PENSACOLA**

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Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12<sup>th</sup> Avenue.

Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon, AICP

## Cynthia Cannon

---

**From:** Derrick Owens  
**Sent:** Wednesday, January 22, 2020 2:50 PM  
**To:** Cynthia Cannon  
**Cc:** Brad Hinote; Ryan J. Novota  
**Subject:** RE: License to Use - Parking - 2800 N 12th Ave

PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.

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**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
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Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

**Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)



**License To Use City Right-Of-Way**

**Residential License To Use**

Application Fee: \$500.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: N/A  
Insurance Coverage: \$300,000.00

**Commercial License To Use**

Application Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Rehearing/Rescheduling Fee: \$100.00  
Annual Fee: (Minor) \$500.00  
(Major) \$1,000.00  
Insurance Coverage: \$1,000,000.00

**Pensacola Neighborhood  
Challenge Grant**

Application Fee: N/A

Applicant: David Sharuff

Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550

Email: d\_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

**\*\* If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information \*\***

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379

Location Address: 2800 N. 12th Ave., Pensacola, Fl.

Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: \_\_\_\_\_  
Additional parking area for proposed development of restaurant

Please attach a map indicating the actual dimensions of the requested license.

| For Office Use Only             |                       |                                     |
|---------------------------------|-----------------------|-------------------------------------|
| District: _____                 | Zoning: _____         |                                     |
| Date Received: <u>1/21/2020</u> | Case Number: _____    | Annual Fee: _____                   |
| Planning Board date: _____      | Recommendation: _____ | Amount of Insurance Coverage: _____ |
| City Council date: _____        | Council Action: _____ |                                     |

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**

**License To Use City Right-Of-Way**

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
  - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
  - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
  - (3) No application shall be considered complete until all of the following has been submitted:
    - (a) The application shall be submitted on a form provided by the Board Secretary.
    - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
      - 1. Accurate site plan drawn to scale;
      - 2. Reason for license to use request.
  - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
  - (5) Any party may appear in person, by agent, or by attorney.
  - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
  - (1) Public Notice for license to use right-of-way.
    - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
  - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
  - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:  
Full legal name of the Corporation: \_\_\_\_\_

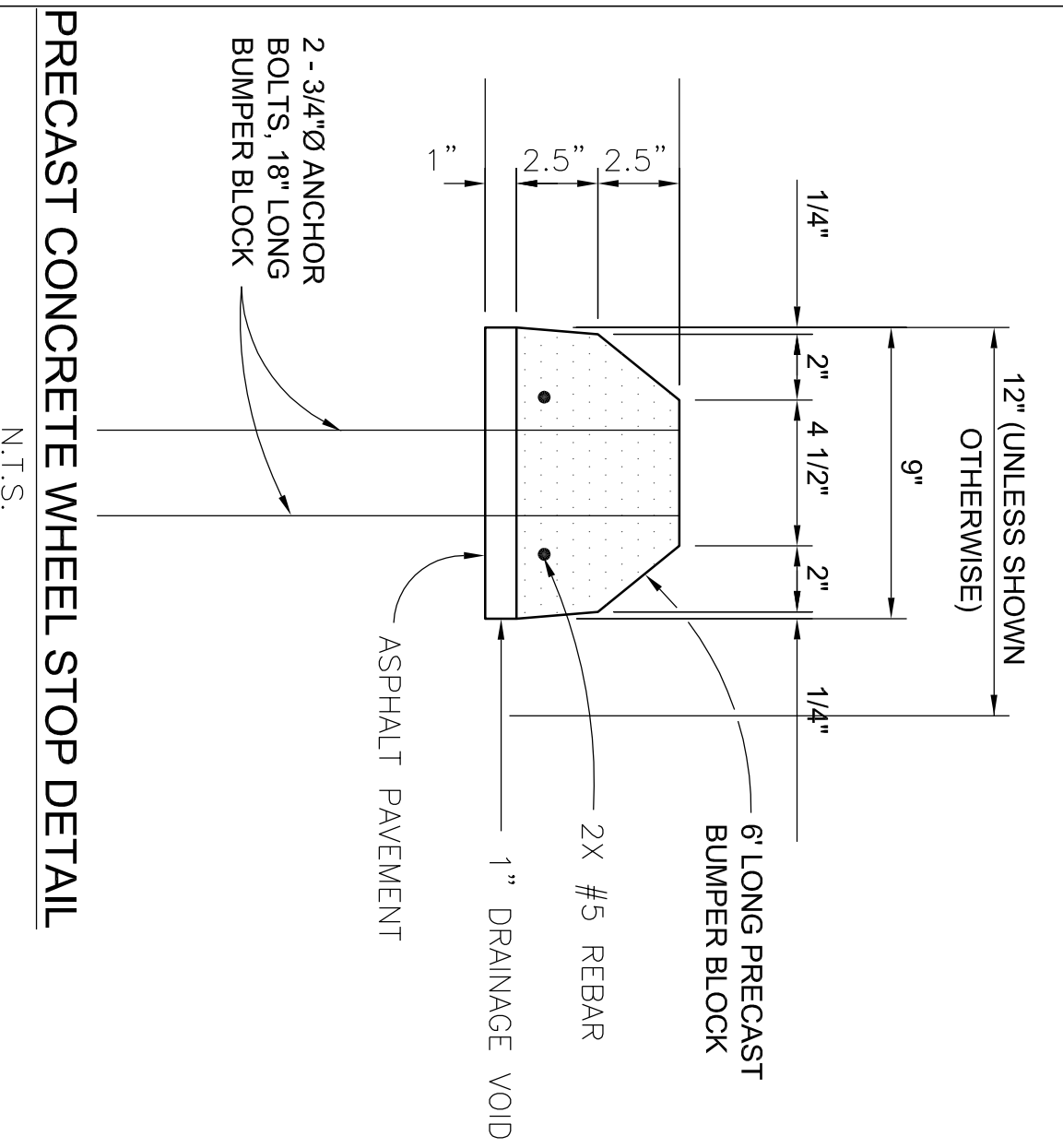
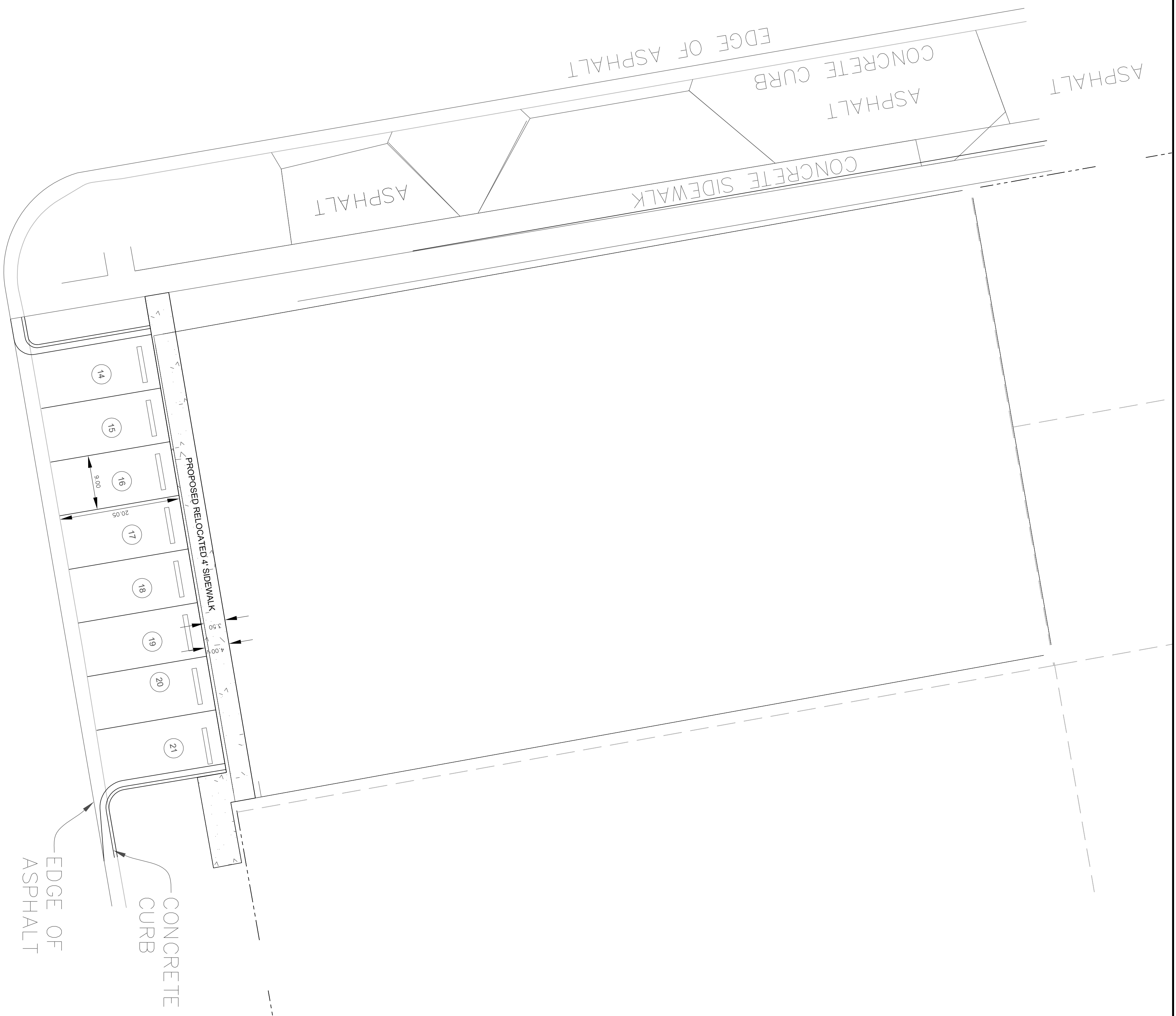
Official Corporate Address: \_\_\_\_\_  
President or Vice-President:  
Name & Title – \_\_\_\_\_

Corporate Secretary: Name – *Paul Sharuff*  
Limited Liability Company (LLC):  
Full legal name of company: Sharuff, LLC

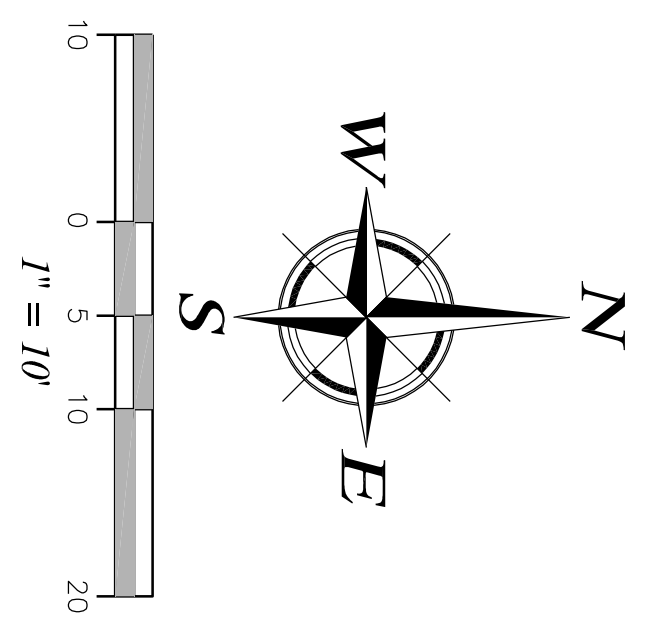
Official Address: 638 Shore Drive, Miramar Beach, Fl. 32550

Managing Member or member:  
Name & Title – David Sharuff, MGR

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**



LEGAL DESCRIPTION OF PARKING TO BE PROVIDED BY SURVEYOR



### SITE DATA SUMMARY

**LEGAL DESCRIPTION:**

PARCEL ID NUMBERS:  
00-00-00-0025-019-380  
LEGAL DESCRIPTION:  
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM W FISHER...

**SITE DATA:**

|                                    |                                     |
|------------------------------------|-------------------------------------|
| CURRENT LAND USE: COMMERCIAL (C-1) | FUTURE LAND USE: COMMERCIAL (C-1)   |
| ZONING: COMMERCIAL (C-1)           | ZONING: COMMERCIAL (C-1)            |
| CURRENT USE: NORTH: COMMERCIAL     | FUTURE USE: RETAIL COMMERCIAL (C-1) |
| SOUTH: MIXED USE                   | RETAIL COMMERCIAL (C-1)             |
| EAST: VACANT                       | RETAIL COMMERCIAL (C-1)             |
| WEST: SINGLE FAMILY RESIDENCE      | RETAIL COMMERCIAL (C-1)             |

**SETBACK SUMMARY:**

|                    |                             |
|--------------------|-----------------------------|
| FRONT: 0' REQUIRED | 7' PROVIDED                 |
| SIDE: 0' REQUIRED  | 2.3' PROVIDED ON NORTH SIDE |
| REAR: 0' REQUIRED  | 14' PROVIDED ON SOUTH SIDE  |
|                    | 18.5' PROVIDED              |

**SITE SUMMARY:**

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

**PROPOSED BUILDING HEIGHT:**  
TOTAL BUILDING AREA = 2,074 S.F.  
COVERED PORCH AREA = 712 S.F.

**TABULATION OF REQUIRED PARKING SPACES:**

|   |                    |
|---|--------------------|
| PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =   | 21 SPACES REQUIRED |
| SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =    | 5 SPACES           |
| TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT = | 26 SPACES REQUIRED |
| TOTAL ADA SPACES PROVIDED = 1 SPACE                 | 21 SPACES PROVIDED |

Sec. 12-2-1 A.6. The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

**FLOOD ZONE INFORMATION:**

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

PRELIMINARY

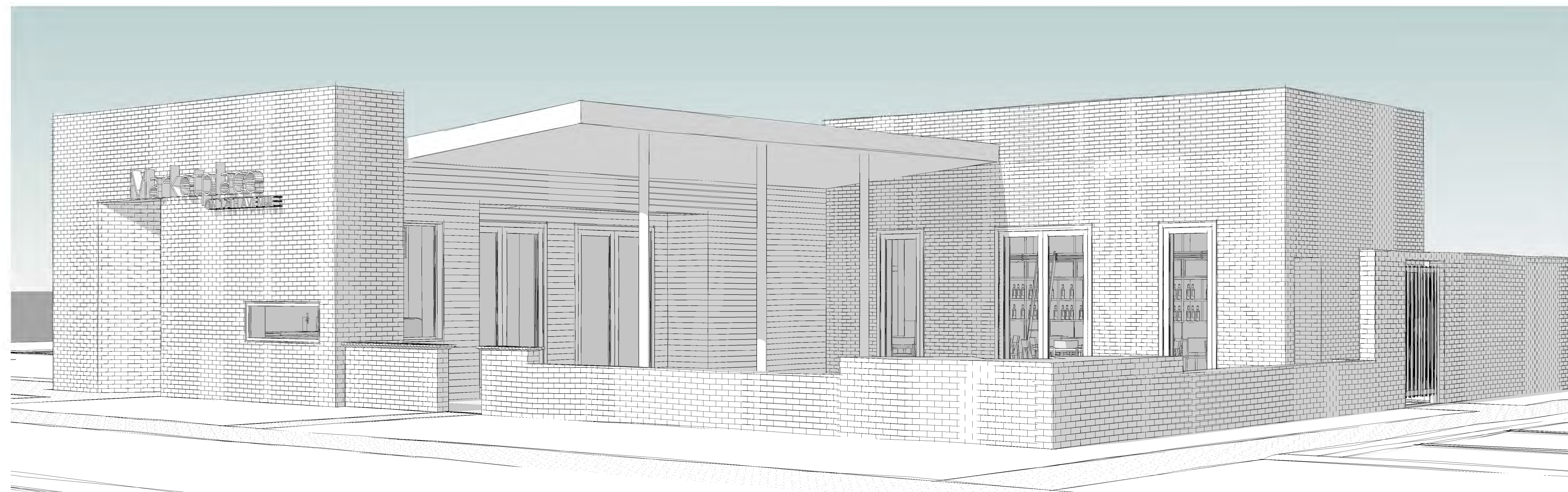
NOT RELEASED FOR CONSTRUCTION. ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

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|--|--|--|---------------------------|--|--|--|--|--|--|--|--|---|--|--|--|--|--|--|
| <b>PENSACOLA TAPAS</b><br>2800 N 12TH AVENUE<br>CITY OF PENSACOLA<br>ESCAMBIA COUNTY, FL | REVISIONS<br><table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table> |  |                           |  |  |  |  |  |  |  |  | DATE<br><table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table> |  |  |  |  |  | <p>4639 GULF STARR DRIVE<br/>DUSTIN, FLORIDA 32541<br/>E-MAIL: jelanmad@gmail.com<br/>John H. Elamad, P.E.</p> <p>TELEPHONE: (850) 837-7454 (ENGR.)<br/>TELEPHONE: (850) 837-4548 (INSR.)<br/>FAX: (850) 654-2000<br/>Florida Registration: #68840, CA #8419</p> |
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| <b>PARKING PLAN</b>  |  | DRAWN BY: JWP<br>CHECKED BY: DJB<br>JOB NO: 19-<br>DATE: | <b>C-1</b><br>DRAWING NO. |  |  |  |  |  |  |  |  |   |  |  |  |  |  |  |



seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



# 12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name  
**MARKETPLACE**

project address:  
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parcel:  
 26-25-21-42000-001-0052

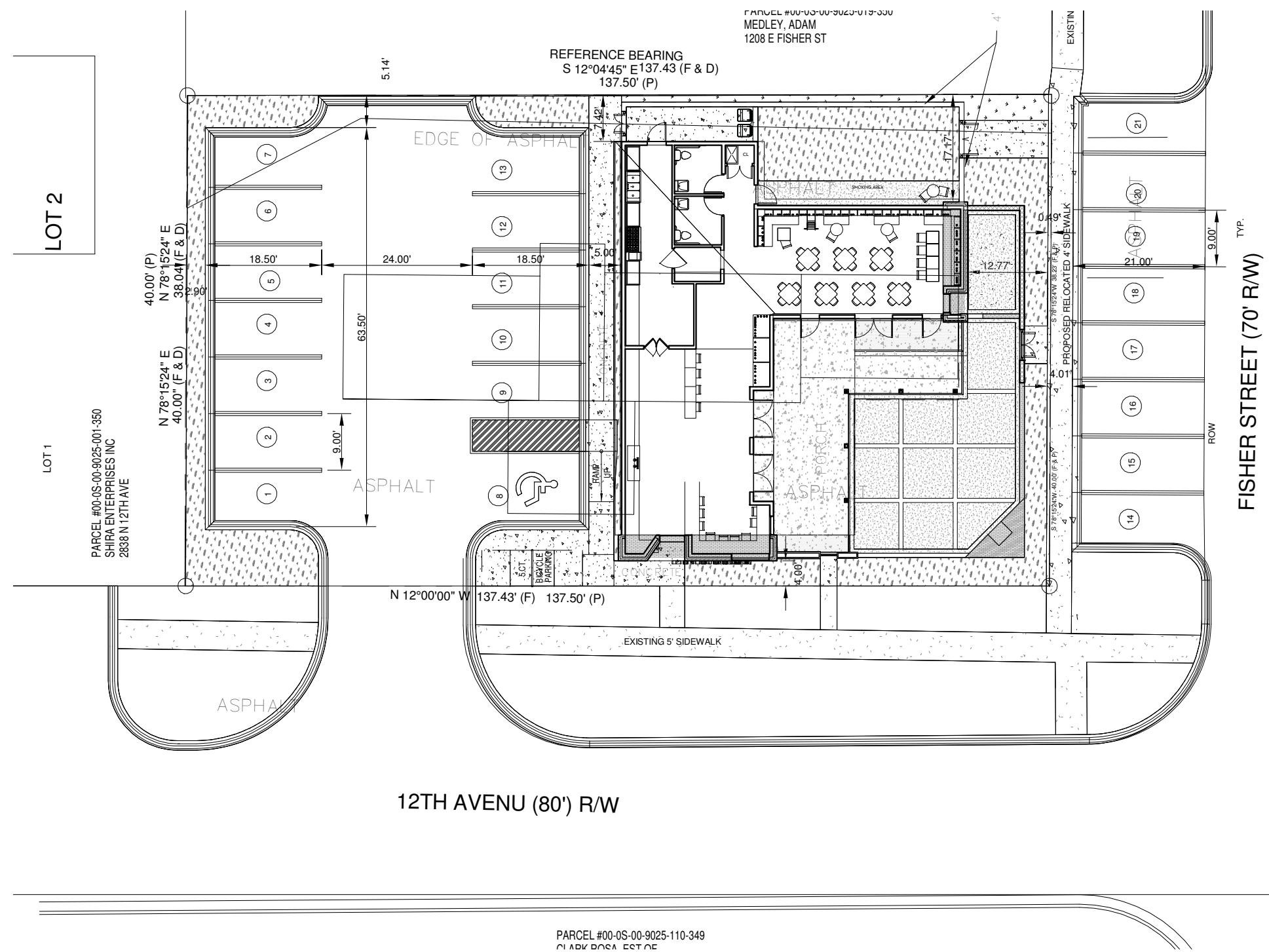
SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: AJJV  
 CHECKED BY: Checker  
 SCALE:

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

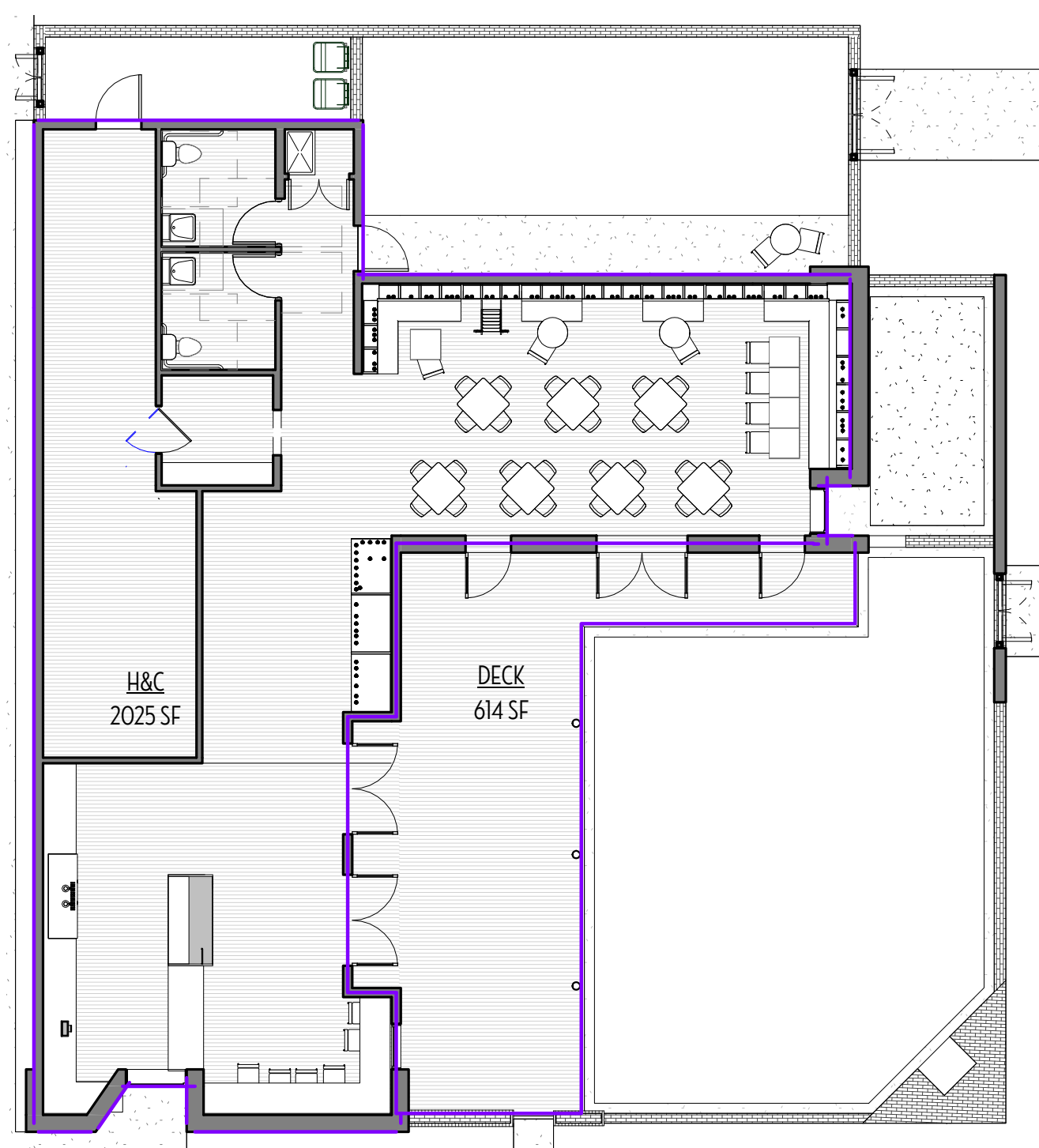
Revision Schedule

COVER





5 SITE PLAN DIAGRAM  
1" = 20'-0"



1 1ST FLR.  
1" = 10'-0"

| AREA |         |
|------|---------|
| NAME | AREA    |
| DECK | 614 SF  |
| H&C  | 2025 SF |
|      | 2639 SF |

| DRAWING SCHEDULE |                     |                  |                  |                       |
|------------------|---------------------|------------------|------------------|-----------------------|
| SHEET            | NAME                | Sheet Issue Date | Current Revision | Current Revision Date |
| 00               | COVER               | 01/12/20         |                  |                       |
| A0.1             | GENERAL INFORMATION | 01/12/20         |                  |                       |
| A0.2             | SITE PLAN           | 01/12/20         |                  |                       |
| A0.3             | LANDSCAPING & AREA  | 01/12/20         |                  |                       |
| A0.4             | LIFE SAFETY PLAN    | 01/12/20         |                  |                       |
| A1.1             | FLOOR PLAN          | 01/12/20         |                  |                       |
| A1.2             | ROOF PLAN           | 01/12/20         |                  |                       |
| A2.0             | ELEVATIONS          | 01/12/20         |                  |                       |
| A2.2             | 3D VIEWS            | 01/12/20         |                  |                       |
| A3.0             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A3.1             | BUILDING SECTION    | 01/12/20         |                  |                       |
| A4.0             | DOOR SCHEDULE       | 01/12/20         |                  |                       |
| A4.1             | WINDOW SCHEDULE     | 01/12/20         |                  |                       |

LEGAL DESCRIPTION

SCOPE OF PROJECT

CONSTRUCTION OF A NEW ONE STORY RESTAURANT

KITCHEN NOTES

- ALL WALLS WITHIN THE KITCHEN, PREP & CLEAN-UP AREAS ARE TO BE FINISHED WITH FIRE RETARDANT PAINT.
- PROVIDE STAINLESS STEEL PANELS ON WALLS ADJACENT TO THE KITCHEN EXHAUST HOOD. PANELS ARE TO EXTEND TO THE BOTTOM OF THE HOOD.
- KITCHEN EQUIPMENT BY OWNER.
- PROVIDE SANITARY COVE JUNCTURES BETWEEN FLOORS & WALLS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILINGS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.

BUILDING CODE DATA

APPLICABLE CODES AND REGULATIONS:  
FLORIDA BUILDING CODE, 2017 6th EDITION

BUILDING DATA:  
The enclosed provides for the construction of a new 2 story restaurant with covered exterior dining.

|               |   |
|---------------|---|
| Section 303.1 | Occupancy Group A2 (Restaurant)                                     |
| Section 602.3 | Construction Type V-A, sprinklered                                  |
| Table 601     | Fire resistance rating for building Elements, Type V-A              |
|               | Exterior bearing walls: 1 hour                                      |
|               | Exterior non-bearing walls: 1 hour                                  |
|               | Interior bearing walls: 1 hour                                      |
|               | Interior non-bearing walls: 0 hour                                  |
|               | Roof: 1 hour  |
|               | Floors: 1 hour  |
| Table 602.4   | Beams/Joists/Courms: 1 hour, 6" min. nominal dimension for HT       |
| Table 503     | Allowable height and building areas:                                |
|               | 2 stories, 50' height, 11,500 sf, no area increases taken           |
| Section 602.3 | Interior building elements: any material permitted by code          |
| Table 1004.11 | See Occupant Load Calculation Table                                 |
| Table 1021.1  | Minimum number of exits required: 2                                 |
| Table 1015.1  | Spaces with one means of egress allowed: -50 persons                |
|               | Both areas, Storage, top and bottom areas comply. Kitchen complies. |

Life Safety Code NFPA 101: Assembly Occupancy, Construction Type II (000)

| PLUMBING FIXTURES    | MALE/FEMALE REQ'S           | MALE Provided | FEMALE Provided |
|----------------------|-----------------------------|---------------|-----------------|
| Occupancy Load/2     | 92/2-46 EA                  |               |                 |
| WATER Closets (1/75) | 46/75-61 (1 REQUIRED EA)    | 1             | 1               |
| URINALS              |                             | 1             |                 |
| LAVATORIES (1/200)   | 46/200-0.23 (1 REQUIRED EA) | 1             | 1               |

| TOTAL NUMBER OF FIXTURES | WC | URINALS | LAVATORIES |
|--------------------------|----|---------|------------|
|                          | 2  | 1       | 2          |

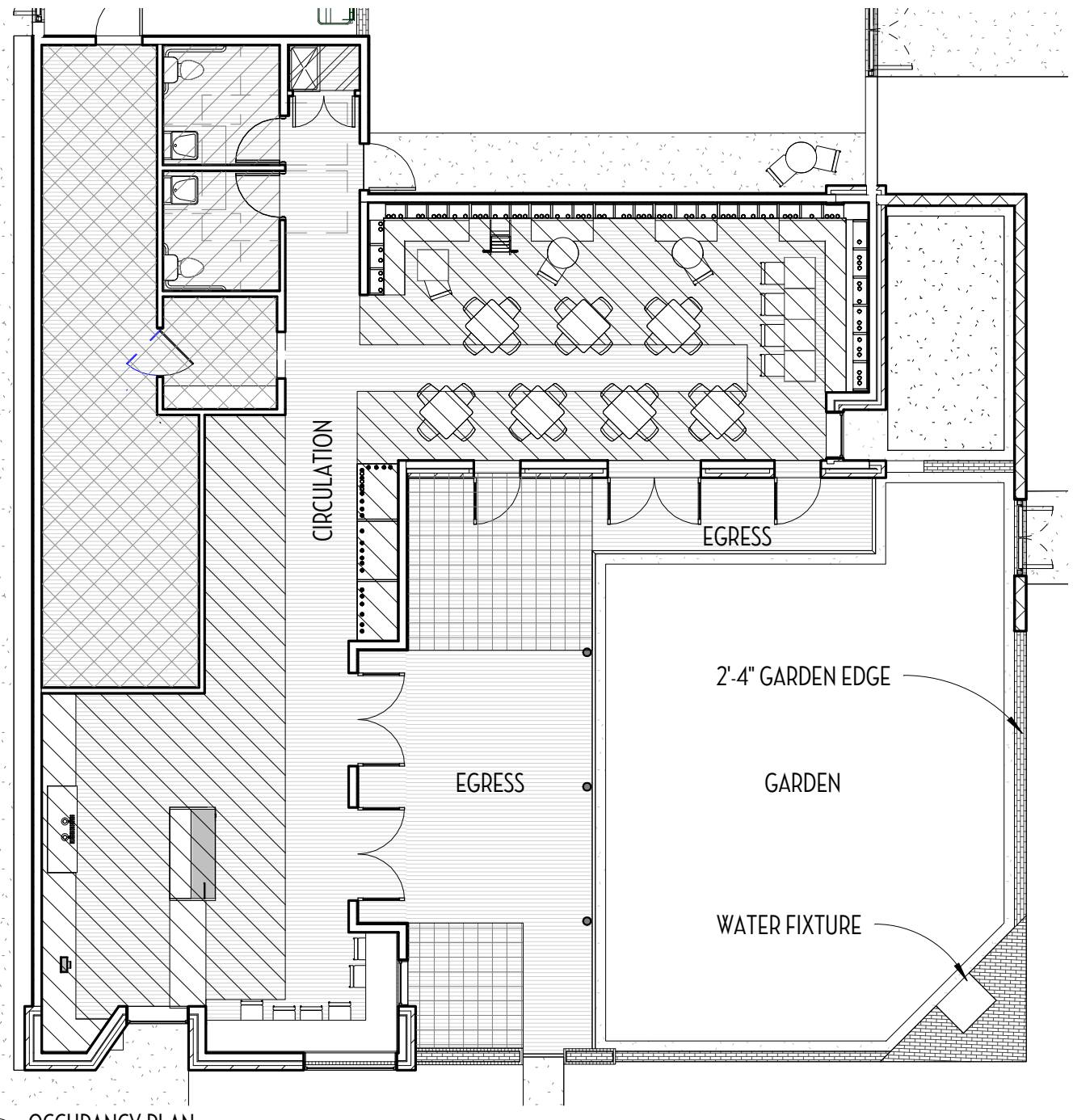
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OCCUPANCY TYPE LEGEND

|          |                                   |                |
|----------|-----------------------------------|----------------|
| [Symbol] | DINNING (CONCENTRATED ASSEMBLY)   |                |
| [Symbol] | DINNING (UNCONCENTRATED ASSEMBLY) | 854.20 SQ. FT. |
| [Symbol] | KITCHEN                           | 409.91 SQ. FT. |
| [Symbol] | DECK (OPEN AIR PATIO)             | 194.57 SQ. FT. |
| [Symbol] | BATH                              | 116.42 SQ. FT. |
| [Symbol] | STORAGE                           | 13.49 SQ. FT.  |

OCCUPANCY LOAD CALCULATION

| OCCUPANCY TYPE PER FBC                              | SQUARE FOOTAGE | OCCUPANCY LOAD FACTOR | ALLOWABLE OCCUPANCY | PROPOSED OCCUPANCY |
|---|----------------|-----------------------|---------------------|--------------------|
| DINING (UNCONCENTRATED ASSEMBLY)                    | 854.20 SQ. FT. | 15                    | 56.95               | 57                 |
| DINING (CONCENTRATED ASSEMBLY)                      | 35 FT.         | 1 PER 24"             | 17.5                | 18                 |
| BATH  | 116.42 SQ. FT. | -                     | -                   | -                  |
| KITCHEN   | 409.91 SQ. FT. | 200                   | 2.05                | 3                  |
| STORAGE   | 13.49 SQ. FT.  | 300                   | 0.04                | 1                  |
| <b>INTERIOR TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b> |                |                       | <b>76.54</b>        | <b>79</b>          |
| OPEN DECK (UNCONCENTRATED ASSEMBLY)                 | 194.57 SQ. FT. | 15                    | 12.97               | 13                 |
| <b>TOTAL ALLOWED /ACTUAL OCCUPANT LOAD</b>          |                |                       | <b>89.51</b>        | <b>92</b>          |



3 OCCUPANCY PLAN  
1" = 10'-0"

ABBREVIATIONS

|       |                           |        |                              |
|-------|---------------------------|--------|------------------------------|
| A/C   | AIR CONDITIONING          | HORIZ  | HORIZONTAL                   |
| AFF   | ABOVE FINISHED FLOOR      | ISA    | INTL SYMBOL OF ACCESSIBILITY |
| ACT   | ACOUSTICAL CEILING TILE   | LAV    | LAVATORY                     |
| ALUM  | ALUMINUM                  | MAX    | MAXIMUM                      |
| B/W   | BETWEEN                   | MTL    | METAL                        |
| CLG   | CEILING                   | MIN    | MINIMUM                      |
| CMT   | CENTER LINE               | MTD    | MOUNTED                      |
| CT    | CERAMIC MOSAIC TILE       | NO     | NUMBER                       |
| CL    | CERAMIC TILE              | NOM    | NOMINAL                      |
| CONC  | CONCRETE                  | NTS    | NOT TO SCALE                 |
| CMU   | CONCRETE MASONRY UNIT     | NIC    | NOT IN CONTRACT              |
| CONT  | CONTINUOUS                | OC     | ON CENTER                    |
| CJ    | CONTROL JOINT             | OH     | OVERHEAD                     |
| DR    | DOOR                      | PL     | PLATE                        |
| ELEV  | ELEVATION                 | PREFIN | PREFINISHED                  |
| EW    | EACH WAY                  | PT     | PRESSURE TREATED             |
| EWG   | ELECTRIC WATER COOLER     | RL     | RAIN LEADER                  |
| EQ    | EQUAL                     | REIN   | REINFORCED                   |
| EXIST | EXISTING                  | SS     | STAINLESS STEEL              |
| EXT   | EXTERIOR                  | THK    | THICK                        |
| FIN   | FINISH                    | THR    | THRESHOLD                    |
| FF    | FINISHED FLOOR            | T&B    | TOP AND BOTTOM               |
| FACD  | FIRE ALARM CONTROL PANEL  | TYP    | TYPICAL                      |
| FEX   | FIRE EXTINGUISHER         | VERT   | VERTICAL                     |
| FEC   | FIRE EXTINGUISHER CABINET | WC     | WATER CLOSET                 |
| FD    | FLOOR DRAIN               | WD     | WOOD                         |
| FRP   | FIRE RETARDANT PAINT      | WWF    | WELDED WIRE FABRIC           |
| GALV  | GALVANIZED                | W/     | WITH                         |
| GC    | GENERAL CONTRACTOR        | XTR    | EXISTING TO REMAIN           |
| GWB   | GYP SUM WALLBOARD         |        |                              |
| HC    | HANDICAPPED               |        |                              |
| HM    | HOLLOW METAL              |        |                              |

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS. THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXTERIOR WALLS ARE TO BE 8" CMU TYPICAL. INTERIOR WALL FRAMING IS TO BE 2X4 SYP. TYPICAL.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 3' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE HOUSE PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L. WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.

architect of record :

# McWhorter Vallee Design

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37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675  
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seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name  
**MARKETPLACE**

project address:

parcel:  
26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: AJJV  
CHECKED BY: Checker  
SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

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GENERAL INFORMATION  
**AO.1**

seal:

Anthony J. Vallee, Architect  
 seal: AR95108

project name  
**MARKETPLACE**

project address:  
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parcel:  
 26-25-21-42000-001-0052

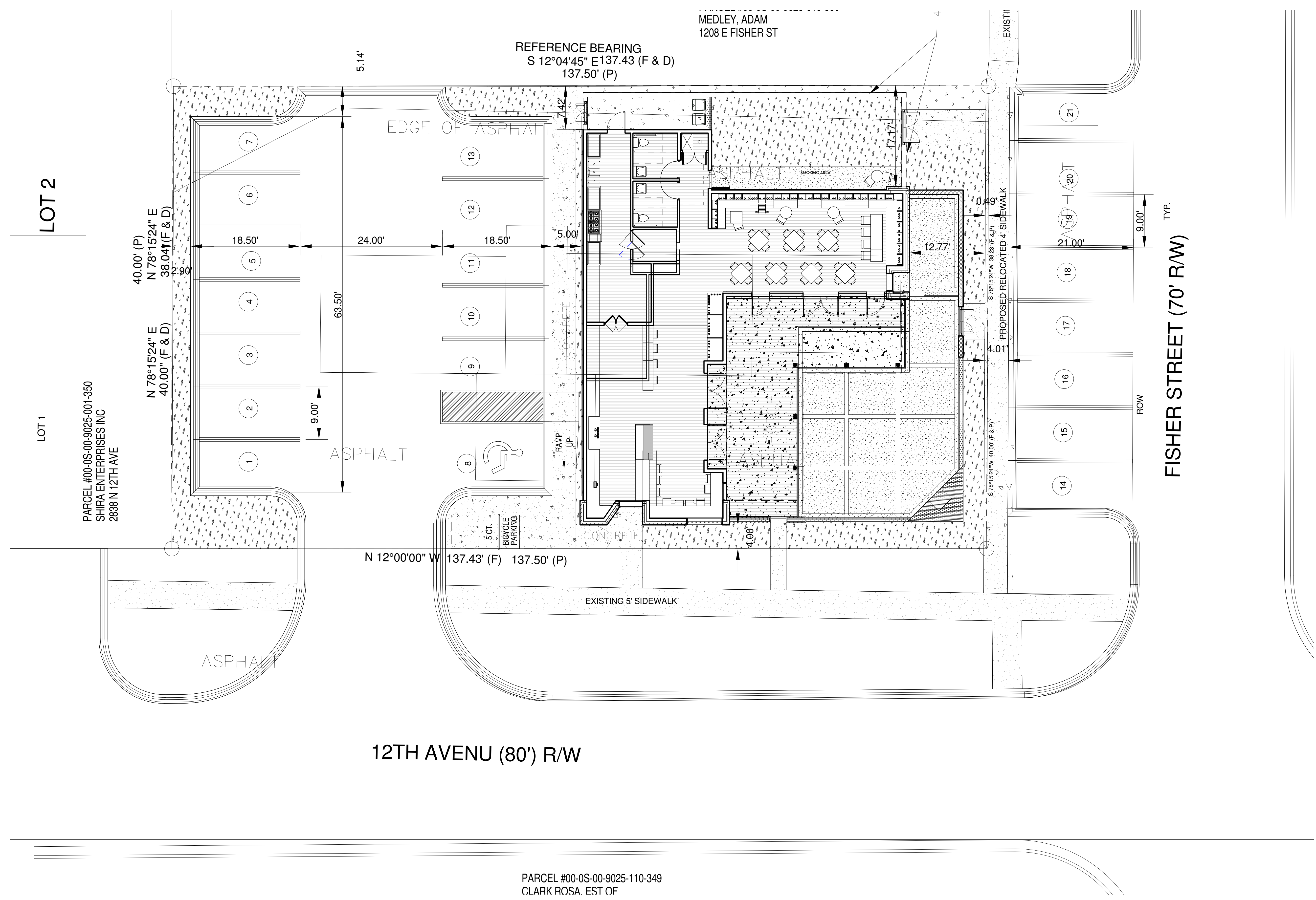
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 PROJECT NO: 1924  
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 CHECKED BY: Checker  
 SCALE: 1/8" = 1'-0"

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Revision Schedule

SITE PLAN

**AO.2**



**12TH AVENUE (80') R/W**

**FISHER STREET (70' RW)**  
 TYP.

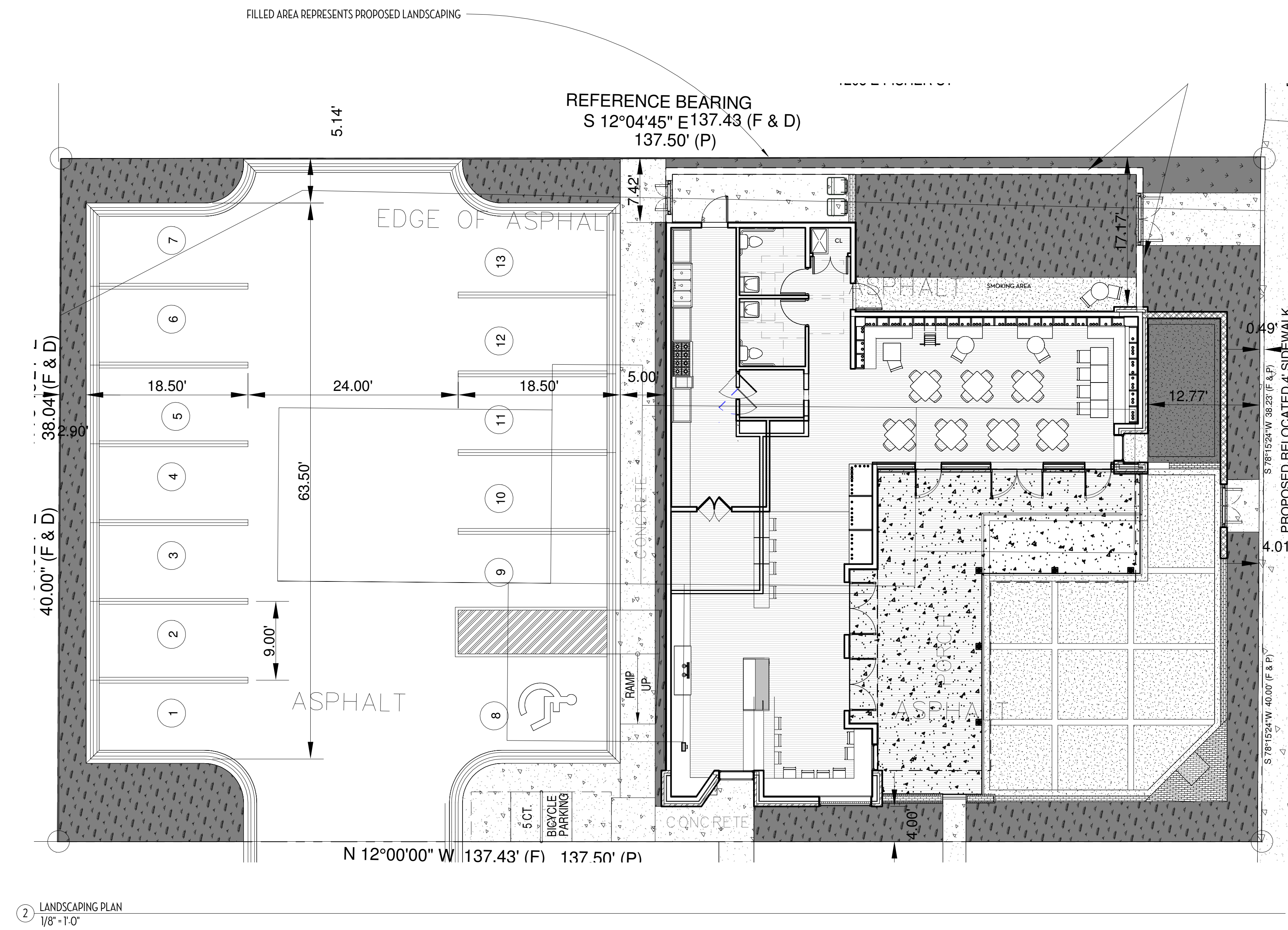
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1 SITE PLAN  
 1/8" = 1'-0"

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seal:

Anthony J. Vallee, Architect  
 seal: AR95108



**LANDSCAPE CALCULATION**

|                         |              |
|-------------------------|--------------|
| TOTAL LOT AREA:         | 10,478.64 SF |
| TOTAL BUILDING AREA:    | 2,031 SF     |
| TOTAL LANDSCAPING AREA: | 1,814.74 SF  |
| PERCENT LANDSCAPING:    | 21%          |

2 LANDSCAPING PLAN  
 1/8" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

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Revision Schedule

LANDSCAPING &  
 AREA  
**AO.3**

seal:

**Anthony J. Vallee, Architect**  
seal: AR95108

**APPLICABLE CODES:**

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

**FIRE MARSHAL NOTES:**

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OR EGRESS, TYP.

**LEGEND**

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXTR PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

**FIRE SAFETY NOTES:**

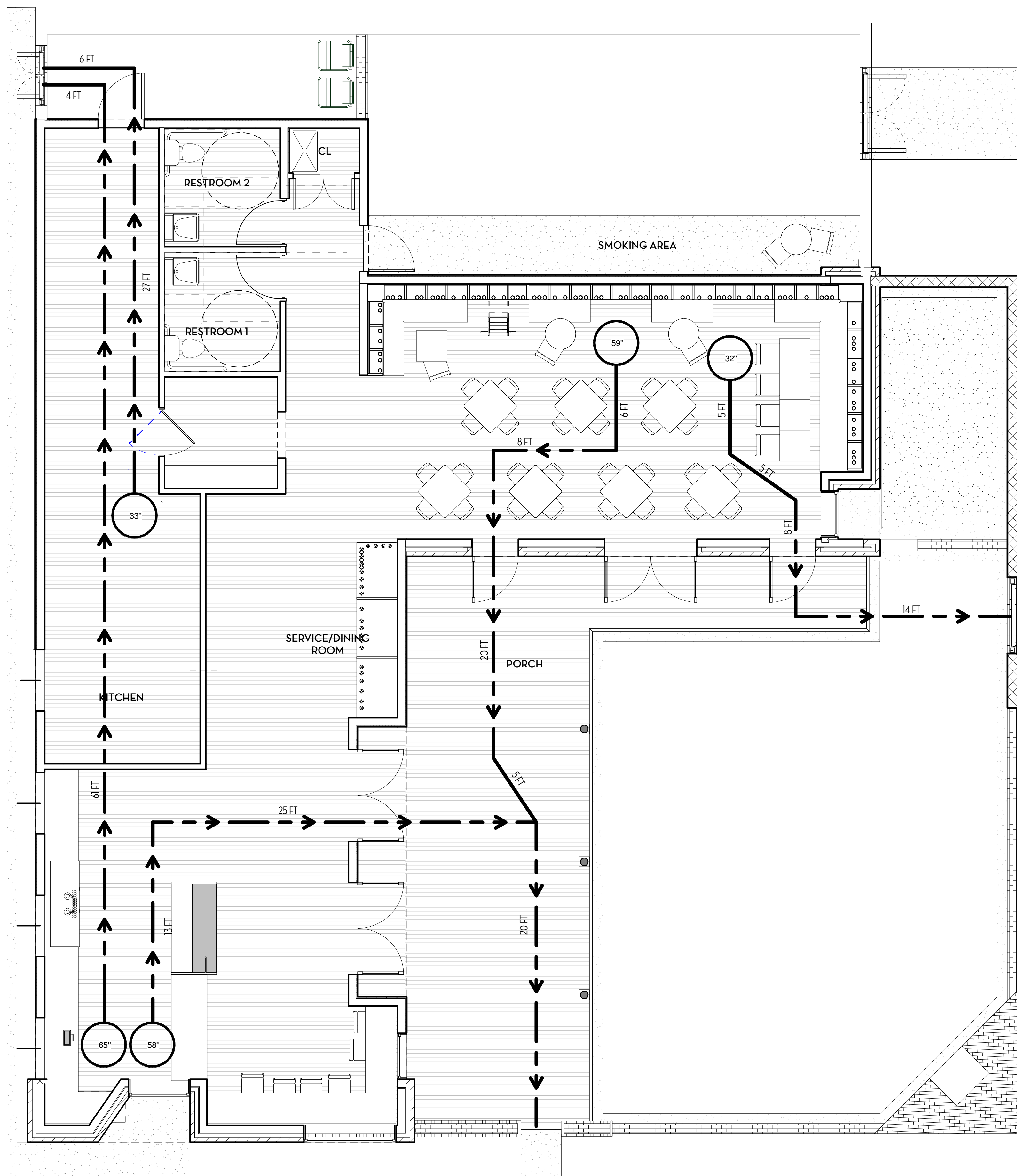
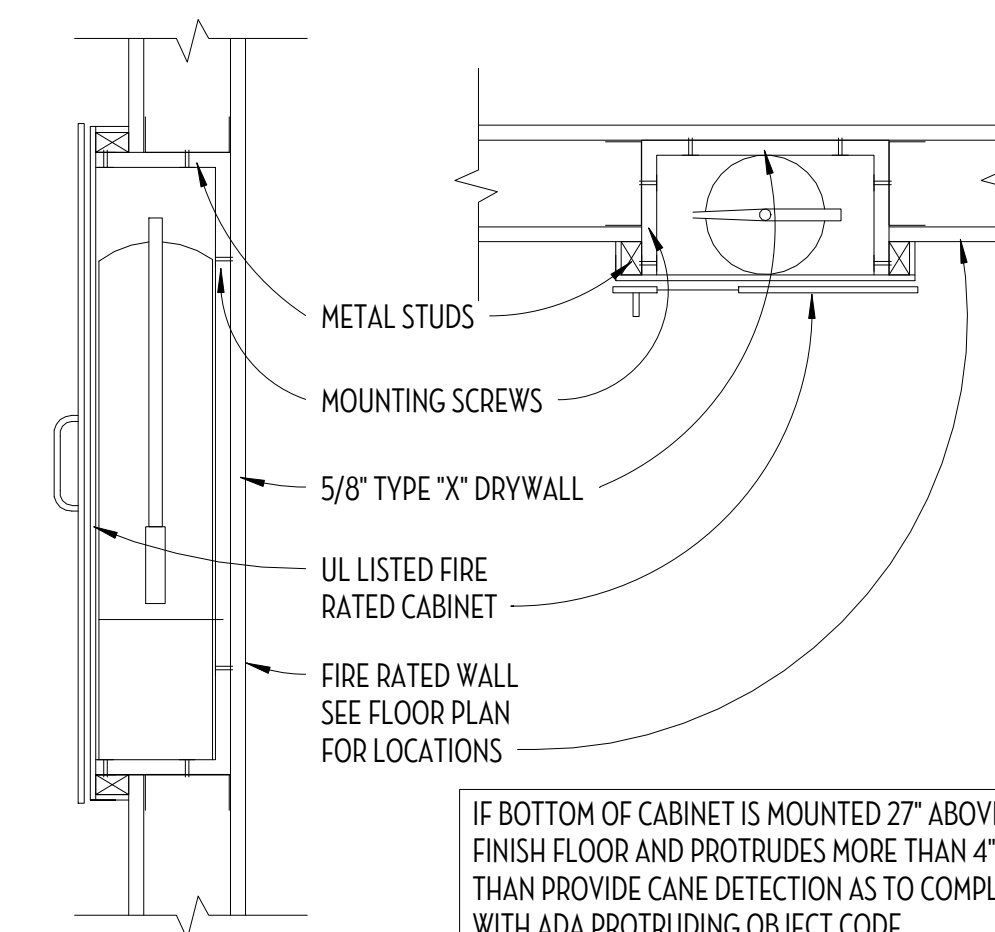
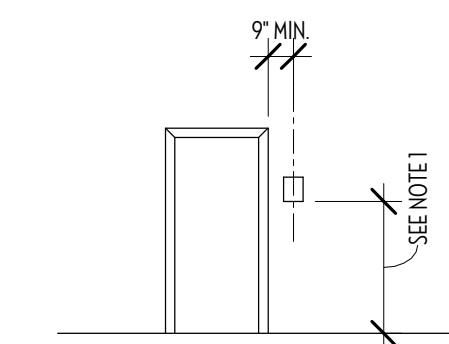
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

**FIRE EXTINGUISHERS:**

- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

**SIGNAGE NOTES:**

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



4 LIFE SAFETY PLAN  
1/4" = 1'-0"

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PROJECT NO: 1924  
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CHECKED BY: Checker  
SCALE: As indicated

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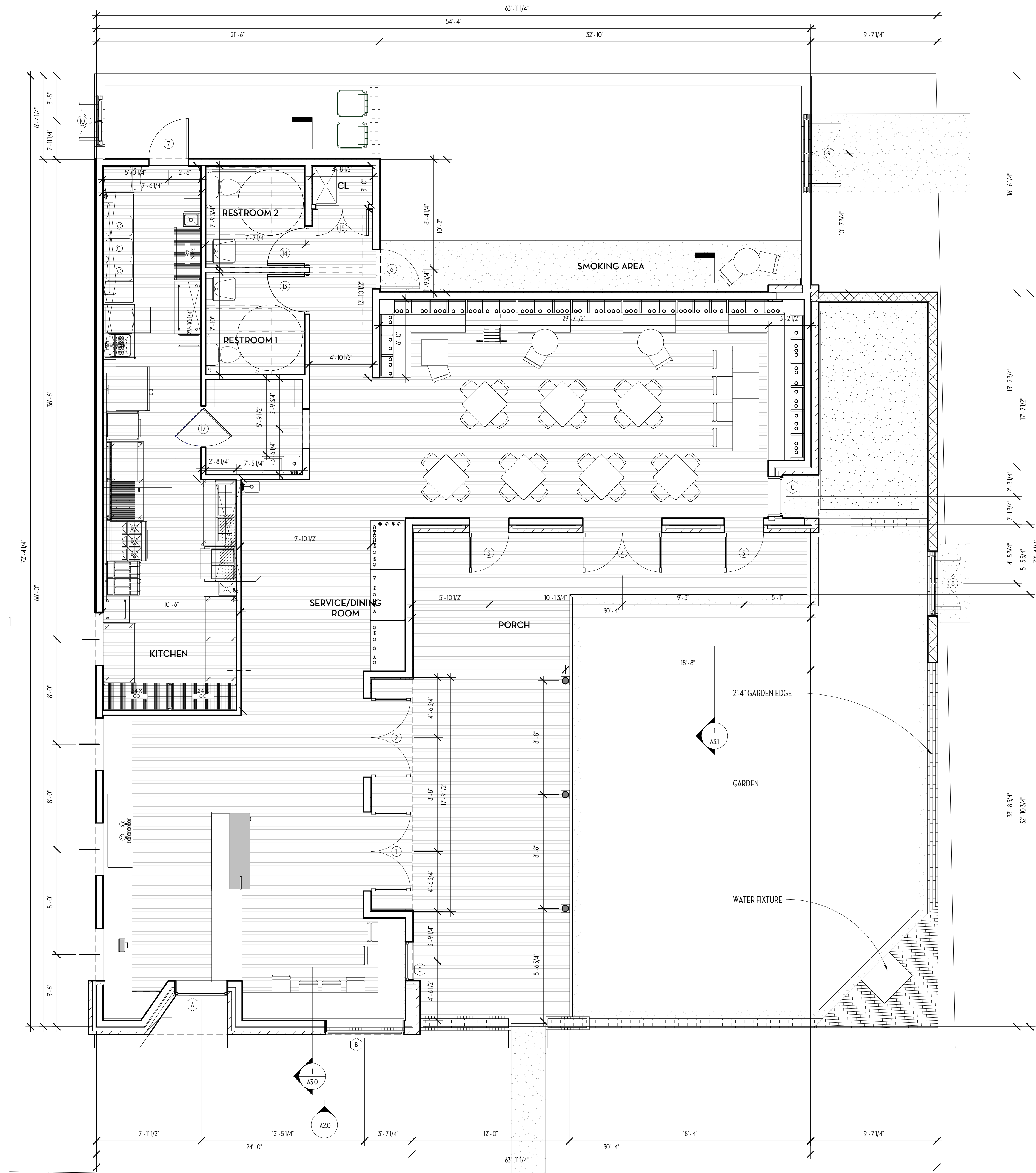
**Revision Schedule**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

**LIFE SAFETY PLAN**

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



1 FLOOR PLAN  
 1/4" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

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 PROJECT NO: 1924  
 DRAWN BY: AJJV  
 CHECKED BY: Checker  
 SCALE: 1/4" = 1'-0"

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

FLOOR PLAN

A1.1

architect of record :

# McWhorter Vallee Design

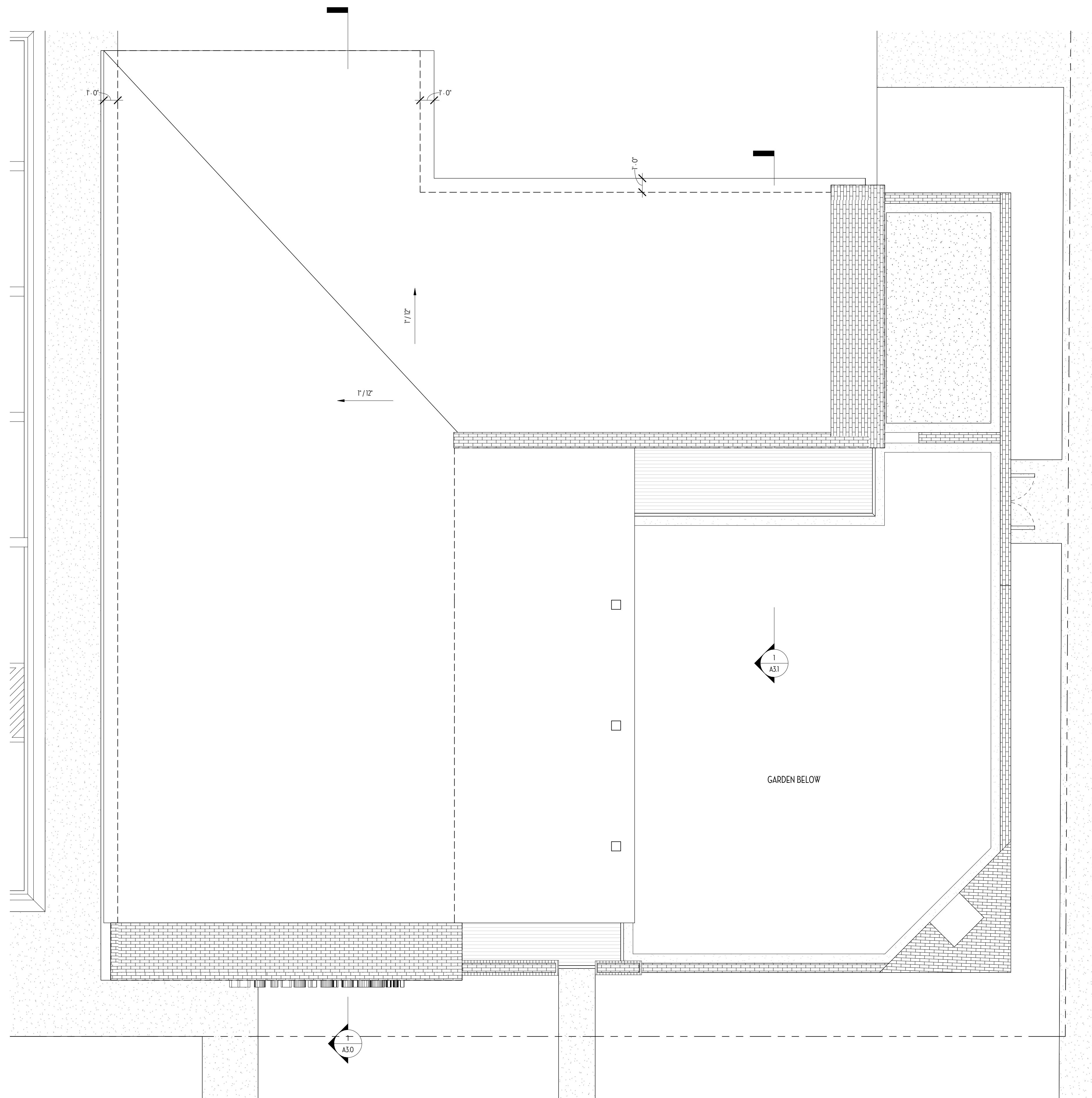
FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

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seal:

Anthony J. Vallee, Architect

seal: AR95108



project name

## MARKETPLACE

project address:

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parcel:

26-25-21-42000-001-0052

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|---------------|--------------|
| SHEET ISSUED: | 01/12/20     |
| PROJECT NO:   | 1924         |
| DRAWN BY:     | Author       |
| CHECKED BY:   | Checker      |
| SCALE:        | 1/4" = 1'-0" |

|             |       |
|-------------|-------|
| Issued for: | Date  |
| _____       | _____ |

### Revision Schedule

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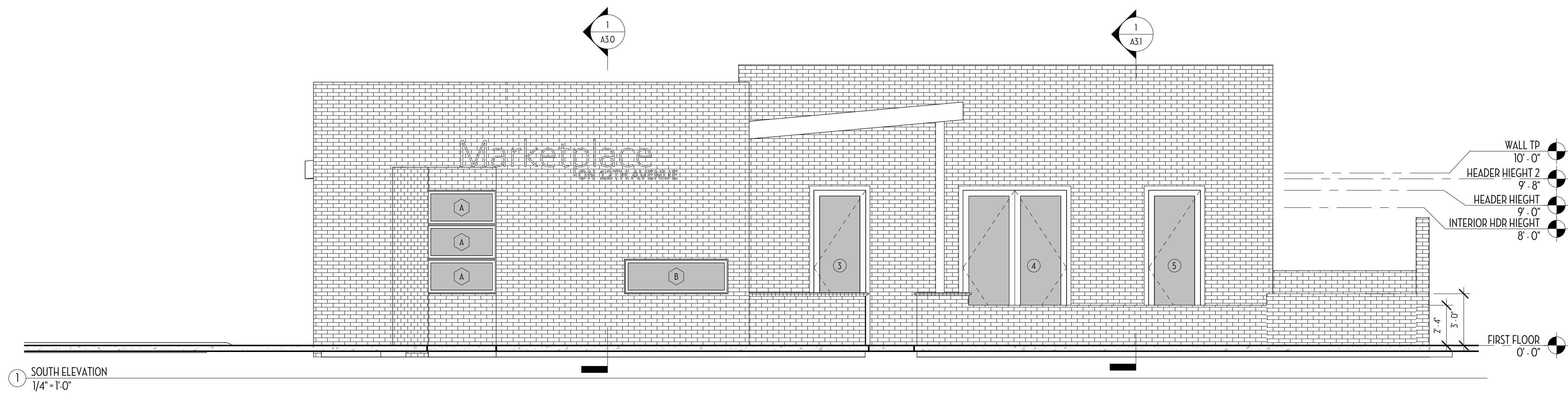
## ROOF PLAN

# A1.2

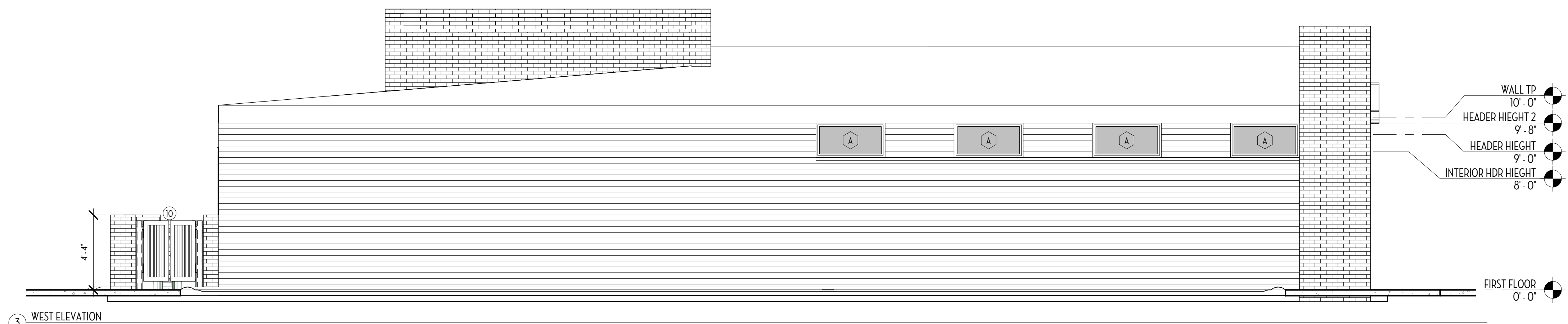
1 ROOF PLAN  
1/4" = 1'-0"

seal:

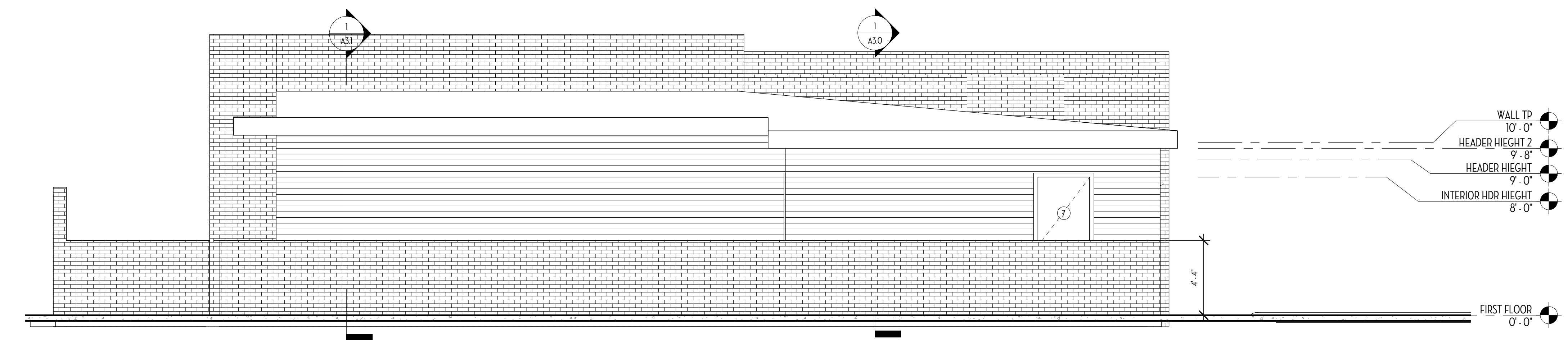
**Anthony J. Vallee, Architect**  
 seal: AR95108



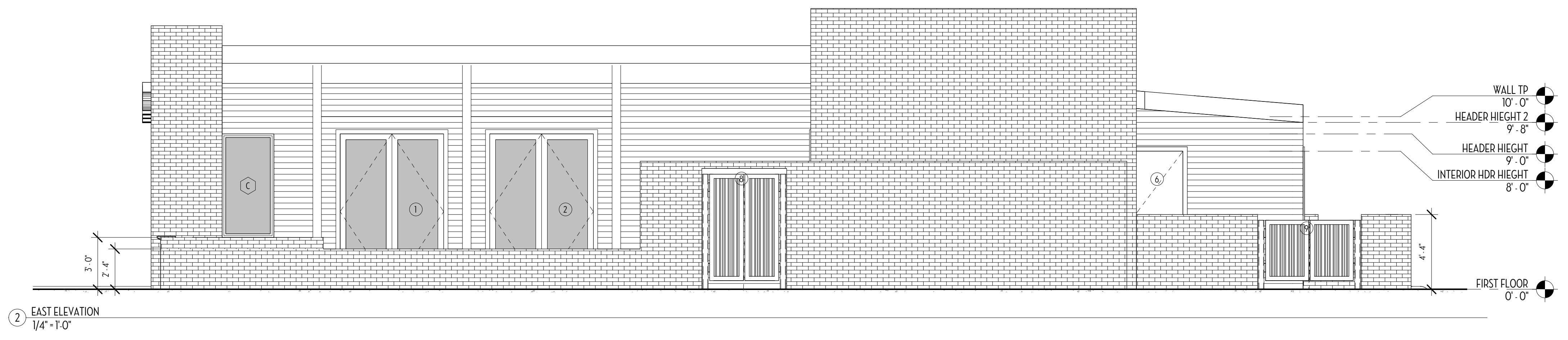
① SOUTH ELEVATION  
 1/4" = 1'-0"



③ WEST ELEVATION  
 1/4" = 1'-0"



④ NORTH ELEVATION  
 1/4" = 1'-0"



② EAST ELEVATION  
 1/4" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: Author  
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 SCALE: 1/4" = 1'-0"

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

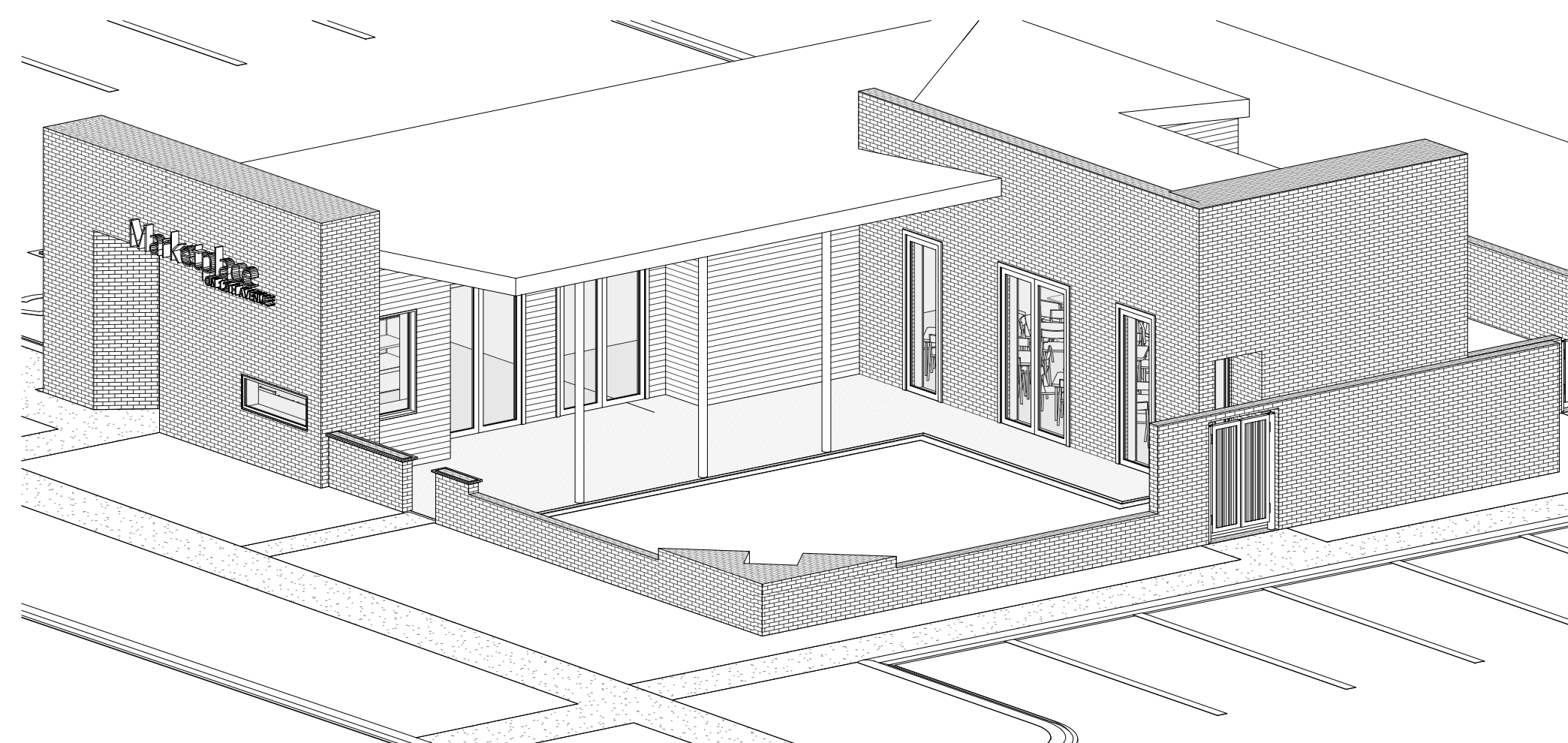
ELEVATIONS

**A2.0**

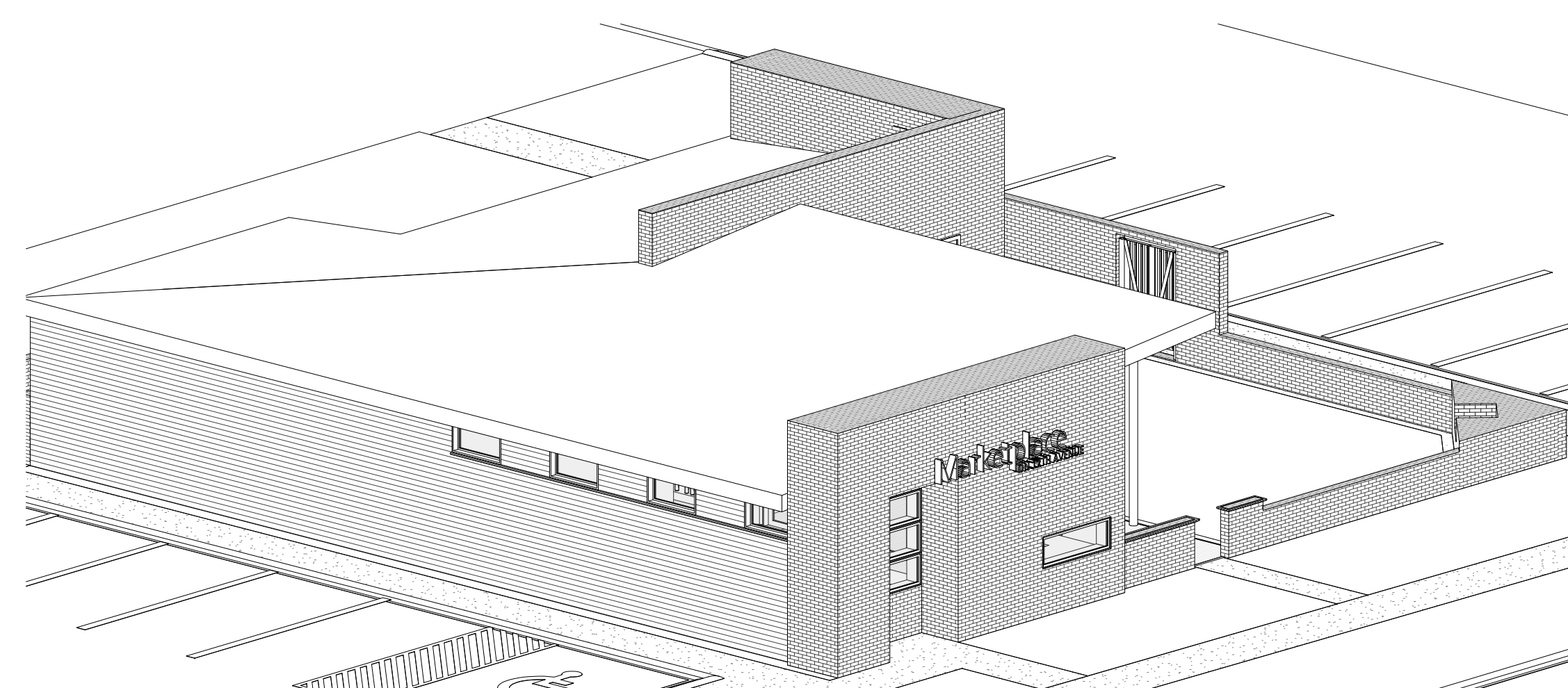


seal:

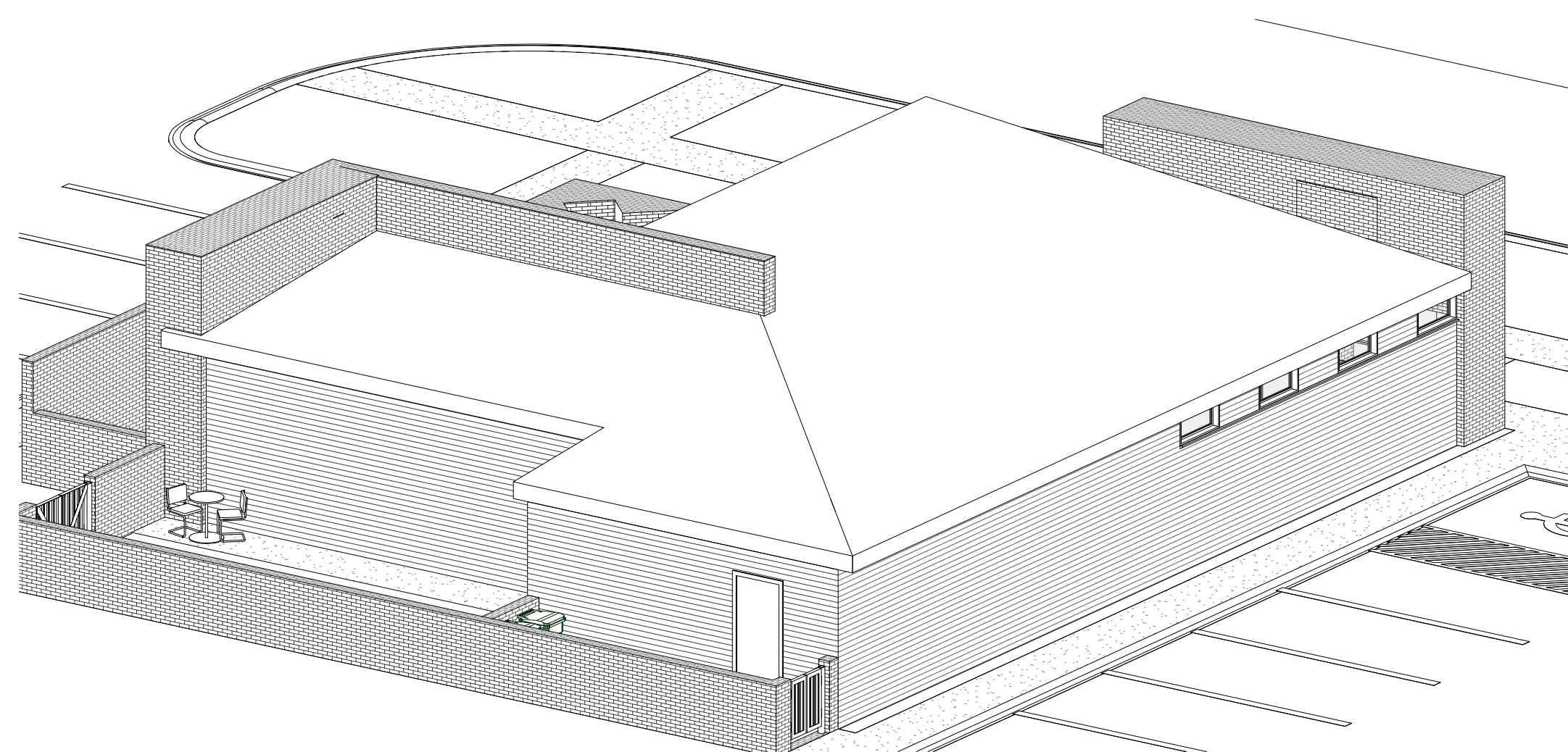
**Anthony J. Vallee, Architect**  
 seal: AR95108



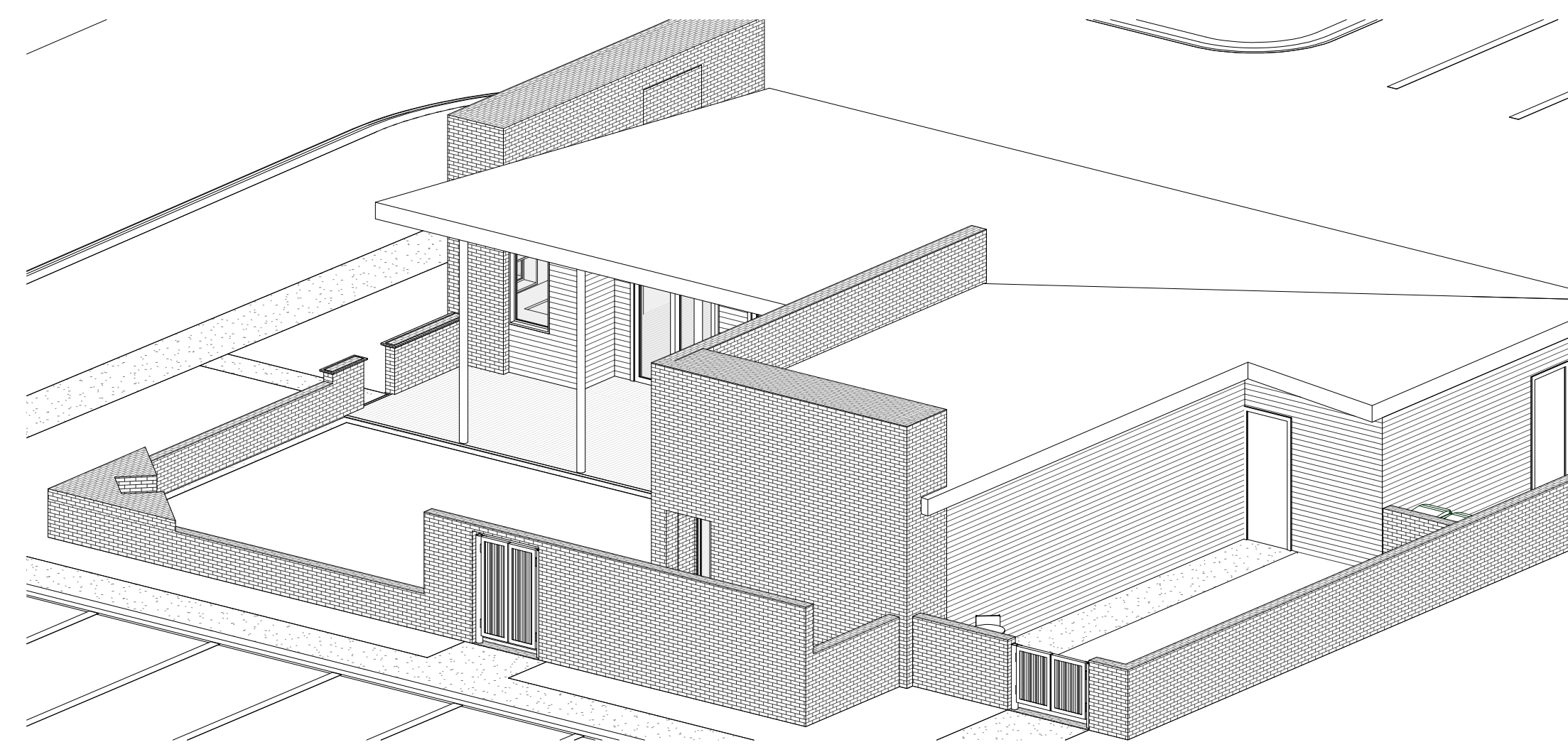
① Isometric 1



② Isometric 2



③ Isometric 3



④ Isometric 4

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

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 SCALE:

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

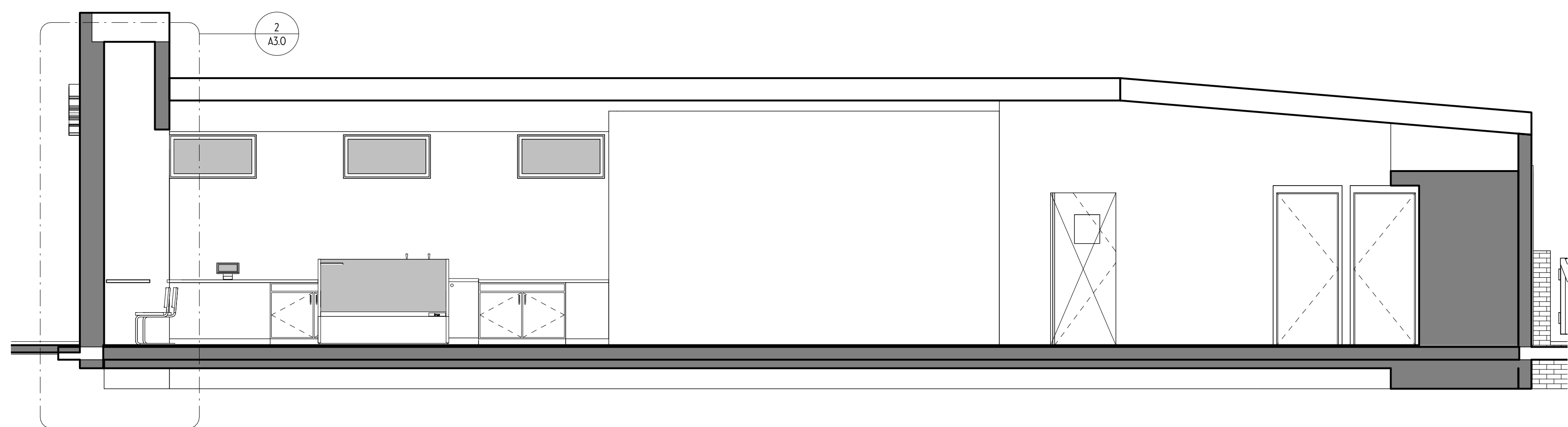
Revision Schedule

3D VIEWS

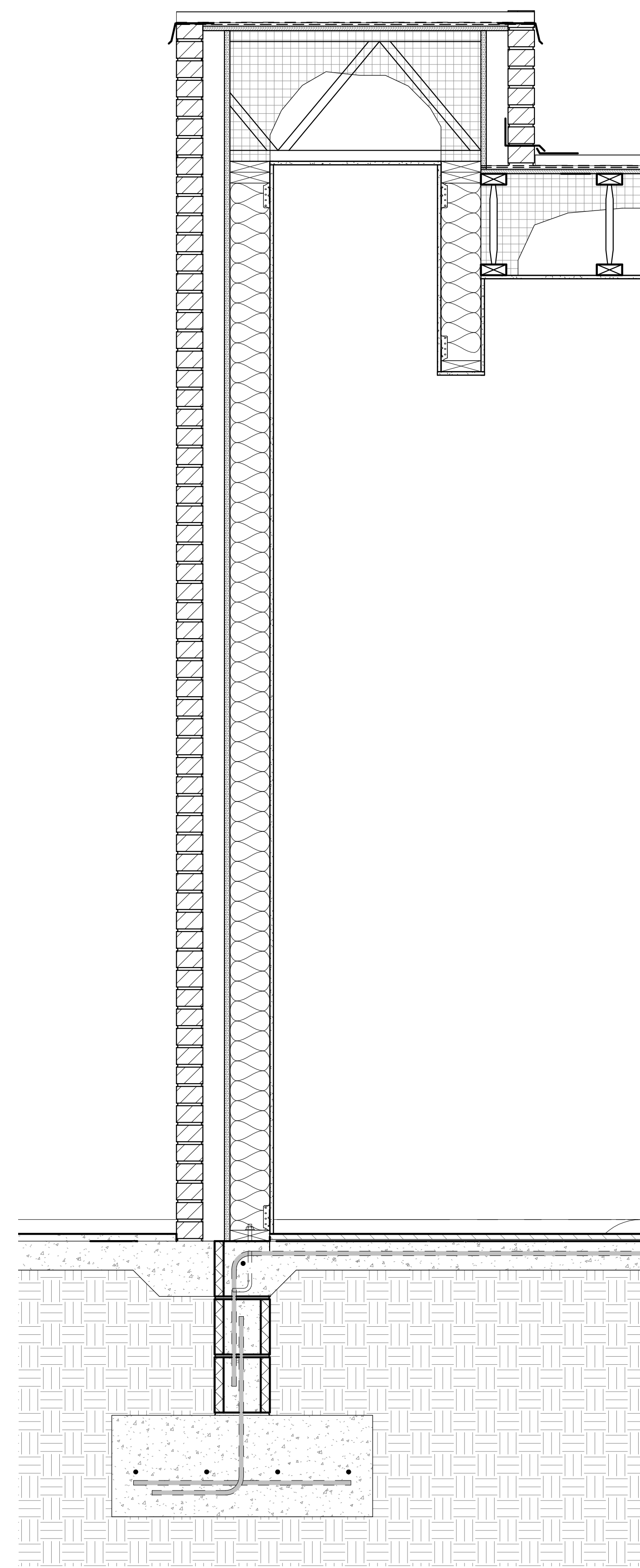
**A2.2**

seal:

**Anthony J. Vallee, Architect**  
 seal: AR95108



1 BUILDING SECTION 1  
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION  
 1" = 1'-0"

project name  
**MARKETPLACE**

project address:  
 -

parcel:  
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
 PROJECT NO: 1924  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

BUILDING  
 SECTION  
**A3.0**

architect of record :

# McWhorter Vallee Design

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect  
seal: AR95108

project name

## MARKETPLACE

project address:

-

parcel:

26-25-21-42000-001-0052

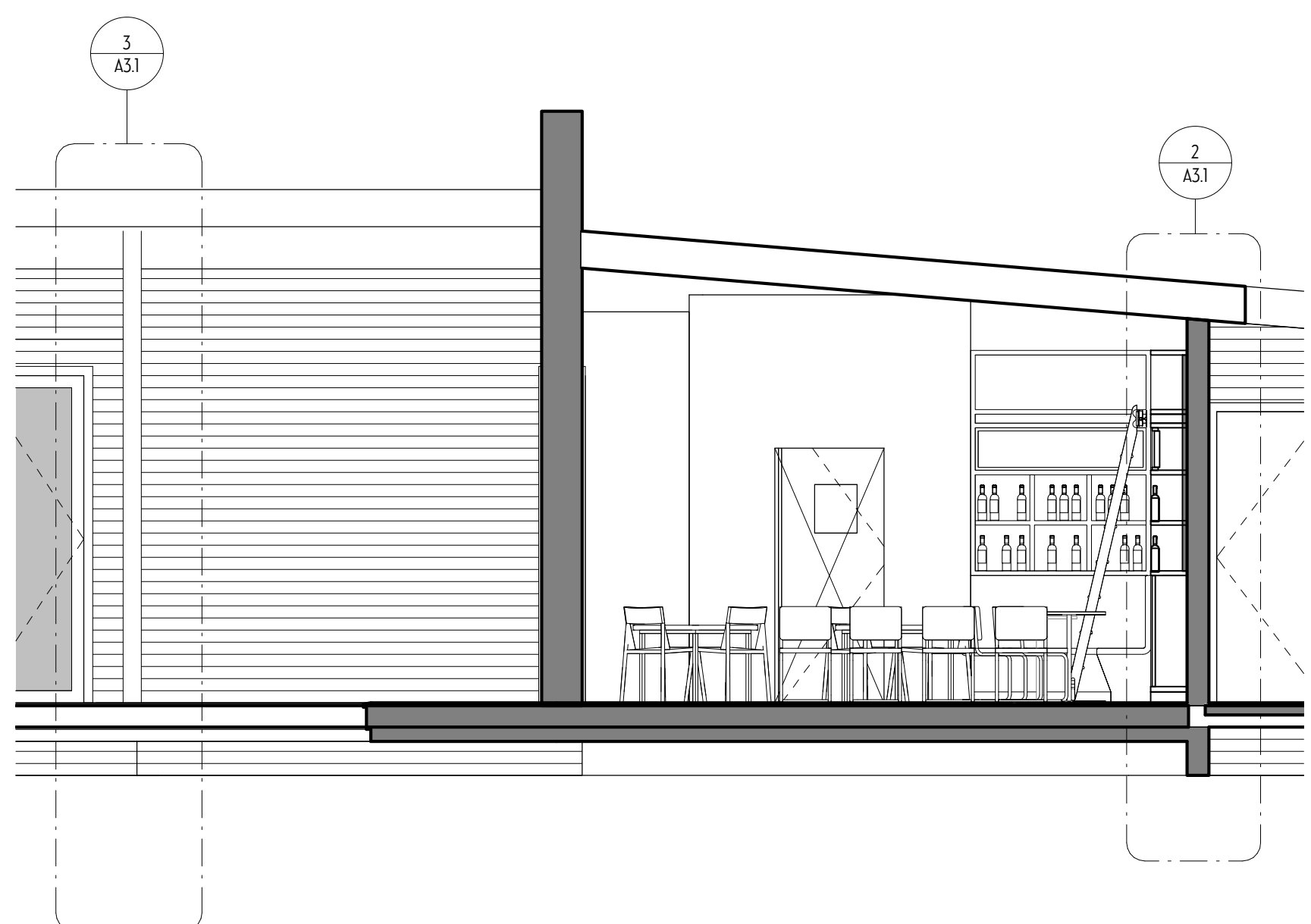
SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: Author  
CHECKED BY: Checker  
SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

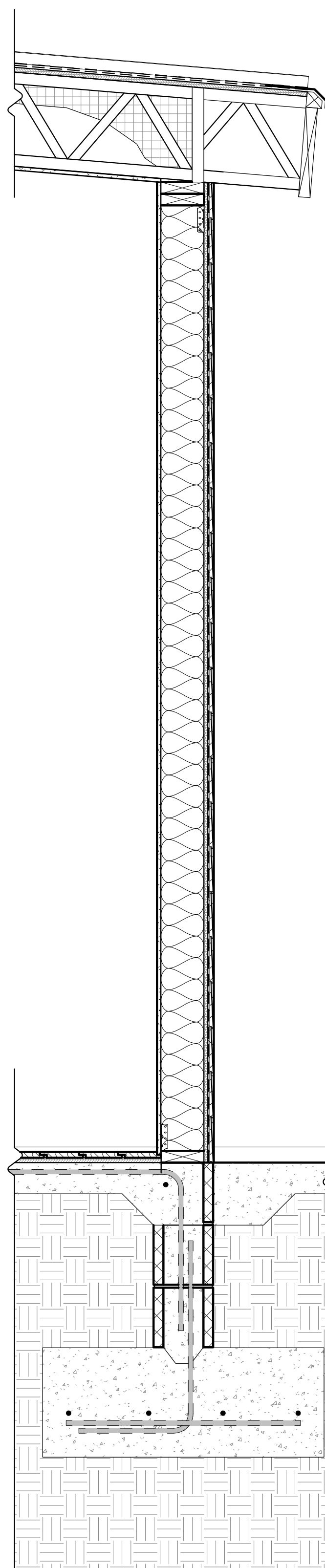
Revision Schedule

BUILDING  
SECTION

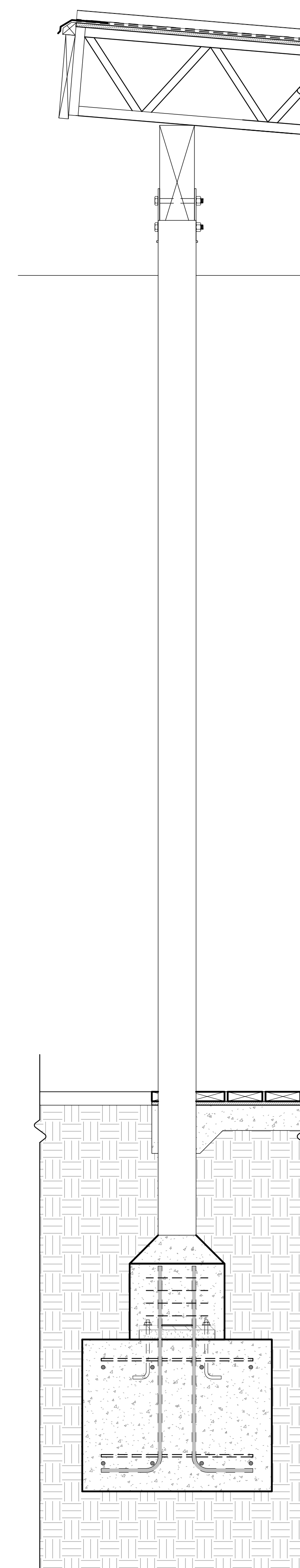
# A3.1



1 BUILDING SECTION 2  
1/4" = 1'-0"



2 TYPICAL WALL SECTION  
1" = 1'-0"



3 BUILDING SECTION 2 - Callout 1  
1" = 1'-0"

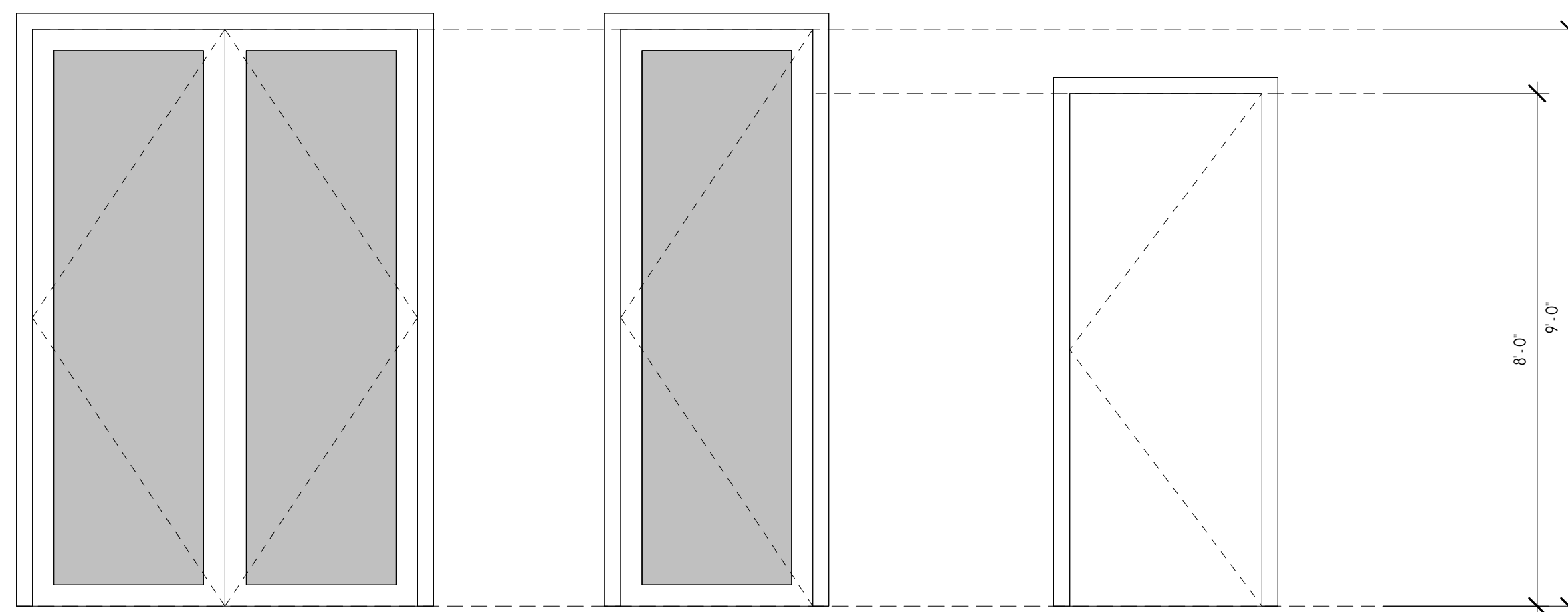
seal:

**Anthony J. Vallee, Architect**  
seal: AR95108

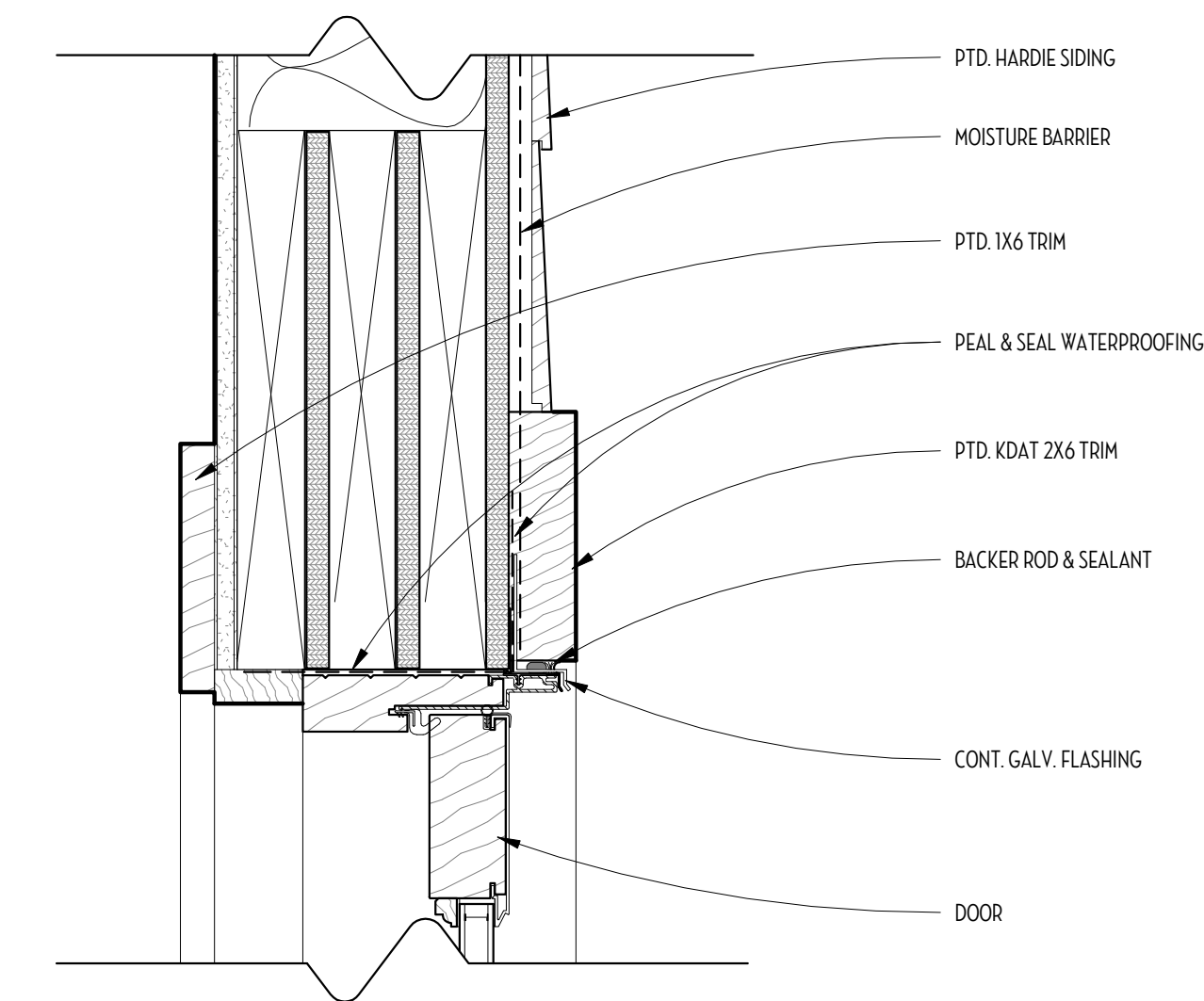
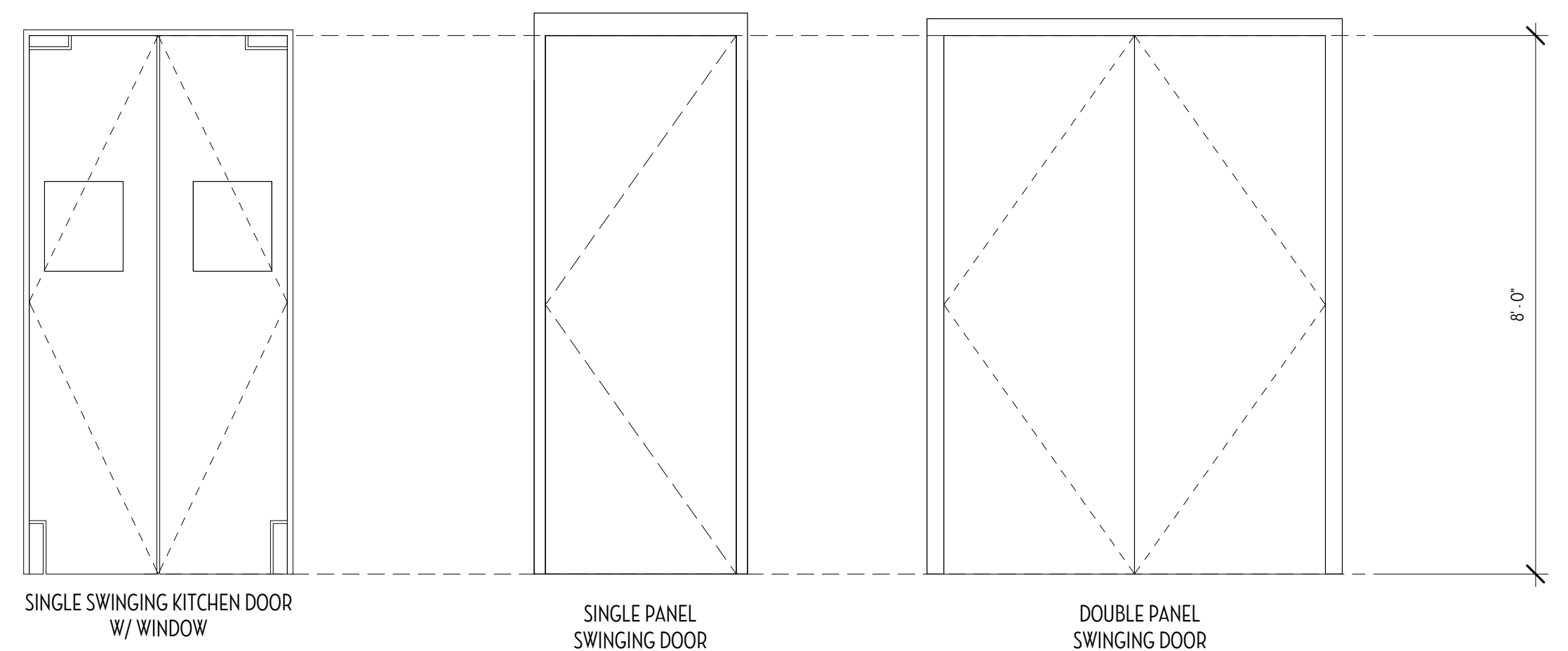
| DOOR SCHEDULE |        |       |                                     |        |          |
|---------------|--------|-------|-------------------------------------|--------|----------|
| UNIT          | HEIGHT | WIDTH | DESCRIPTION                         | FINISH | COMMENTS |
| 1             | 9'-0"  | 6'-0" |                                     |        |          |
| 2             | 9'-0"  | 6'-0" |                                     |        |          |
| 3             | 9'-0"  | 3'-0" |                                     |        |          |
| 4             | 9'-0"  | 6'-0" |                                     |        |          |
| 5             | 9'-0"  | 3'-0" |                                     |        |          |
| 6             | 8'-0"  | 3'-0" |                                     |        |          |
| 7             | 8'-0"  | 3'-0" |                                     |        |          |
| 8             | 6'-8"  | 4'-0" |                                     |        |          |
| 9             | 4'-0"  | 5'-1" |                                     |        |          |
| 10            | 4'-0"  | 3'-0" |                                     |        |          |
| 12            | 8'-0"  | 3'-0" | DUAL SWING KITCHEN DOOR WITH WINDOW |        |          |
| 13            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 14            | 8'-0"  | 3'-0" | FLUSH OUTSWING INTERIOR DR.         |        |          |
| 15            | 8'-0"  | 4'-0" |                                     |        |          |
| X34           | 0'-0"  | 0'-0" |                                     |        |          |

| GENERAL NOTES:  | GENERAL DOOR HARDWARE PERFORMANCE NOTES:   |
|---|--|
| <ol style="list-style-type: none"> <li>DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.</li> <li>ALL GLASS TO BE INSULATED LOW-E.</li> <li>UNITS TO BE IMPACT RATED.</li> <li>SEE DOOR STYLES FOR MUNTIN PATTERNS.</li> <li>INSTALL DOOR PER MFR. INSTRUCTIONS.</li> <li>EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION).</li> <li>INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS.</li> <li>DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS &amp; SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS.</li> </ol> | <ul style="list-style-type: none"> <li>PRIVACY HARDWARE SET: ALL BEDROOMS &amp; BATHS TO HAVE TURN PIECE &amp; EMERGENCY RELEASE.</li> <li>KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT.</li> <li>NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE.</li> <li>HALF DUMMY HARDWARE SET: ALL CLOSET DOORS.</li> <li>PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS.</li> <li>ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF.</li> <li>ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS.</li> <li>GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC.</li> <li>THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.</li> </ul> |

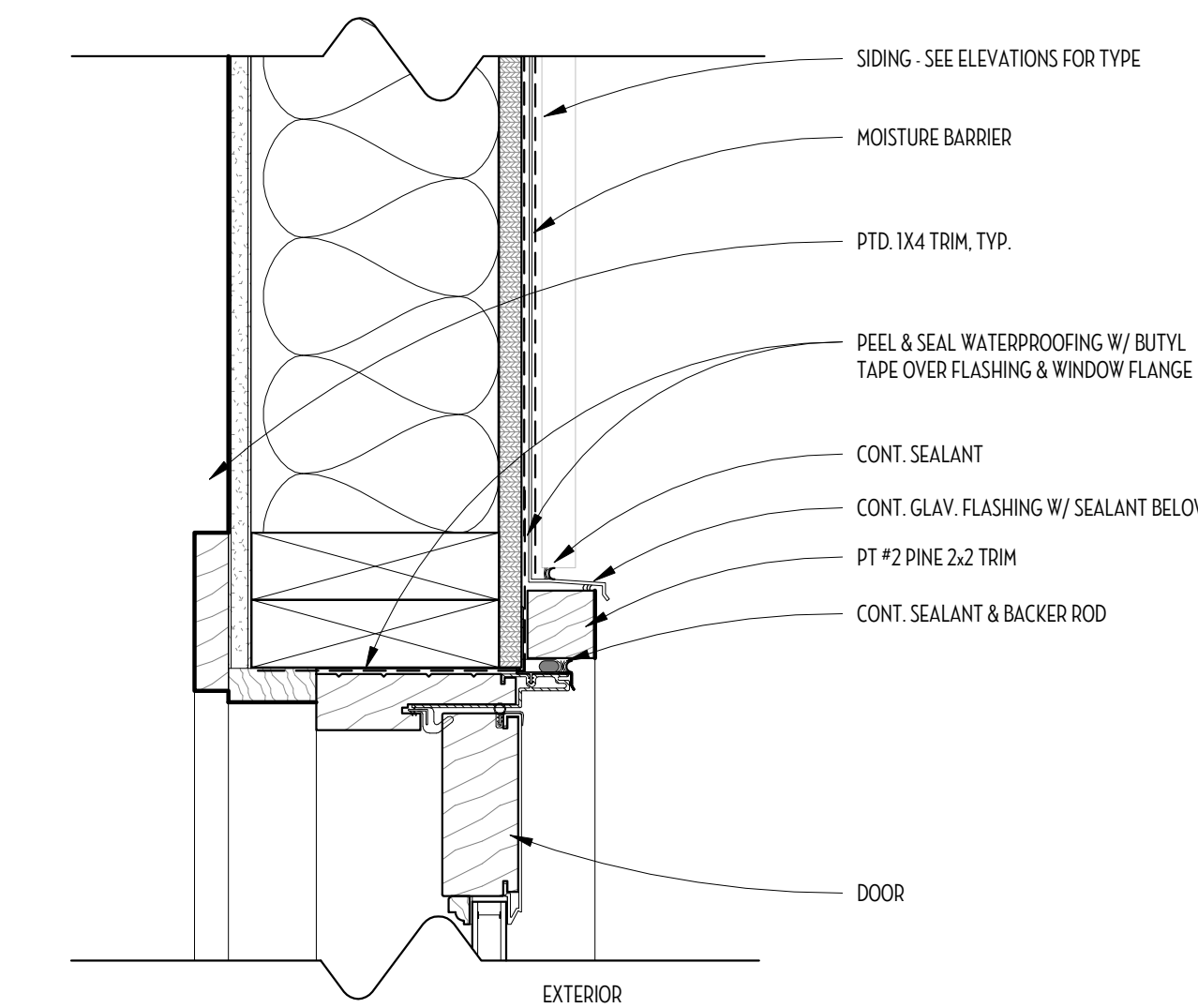
**EXTERIOR DOOR TYPES**



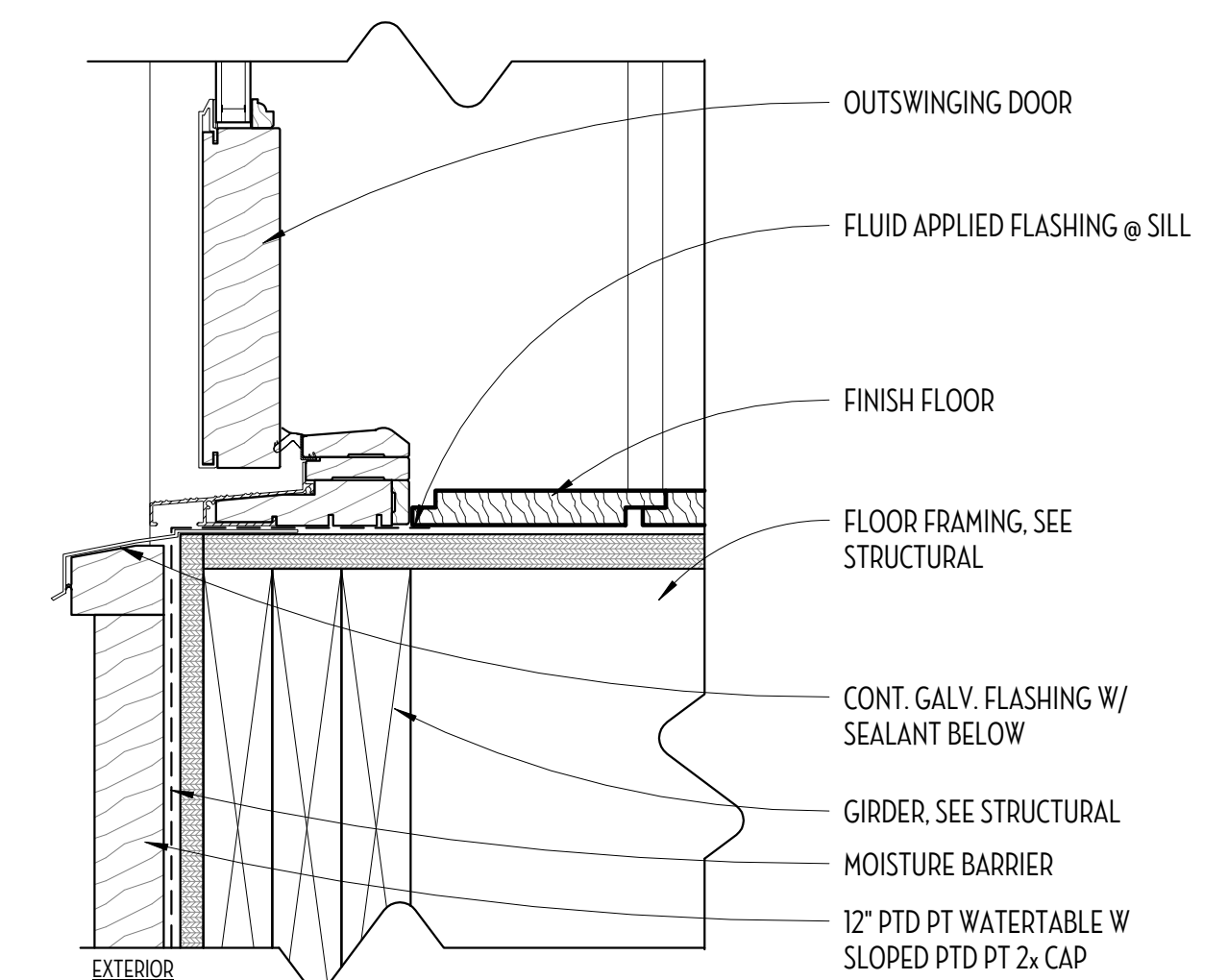
**INTERIOR DOOR TYPES**



1 TYP. DR. HDR. WOOD  
3'-1.0"



2 TYP. DR. JAMB. WOOD  
3'-1.0"



3 TYP. DR. SILL. WOOD  
3'-1.0"

project name

**MARKETPLACE**

project address:

parcel:

26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20  
PROJECT NO: 1924  
DRAWN BY: Author  
CHECKED BY: Checker  
SCALE: As indicated

Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

**Revision Schedule**

| NO. | DESCRIPTION | DATE |
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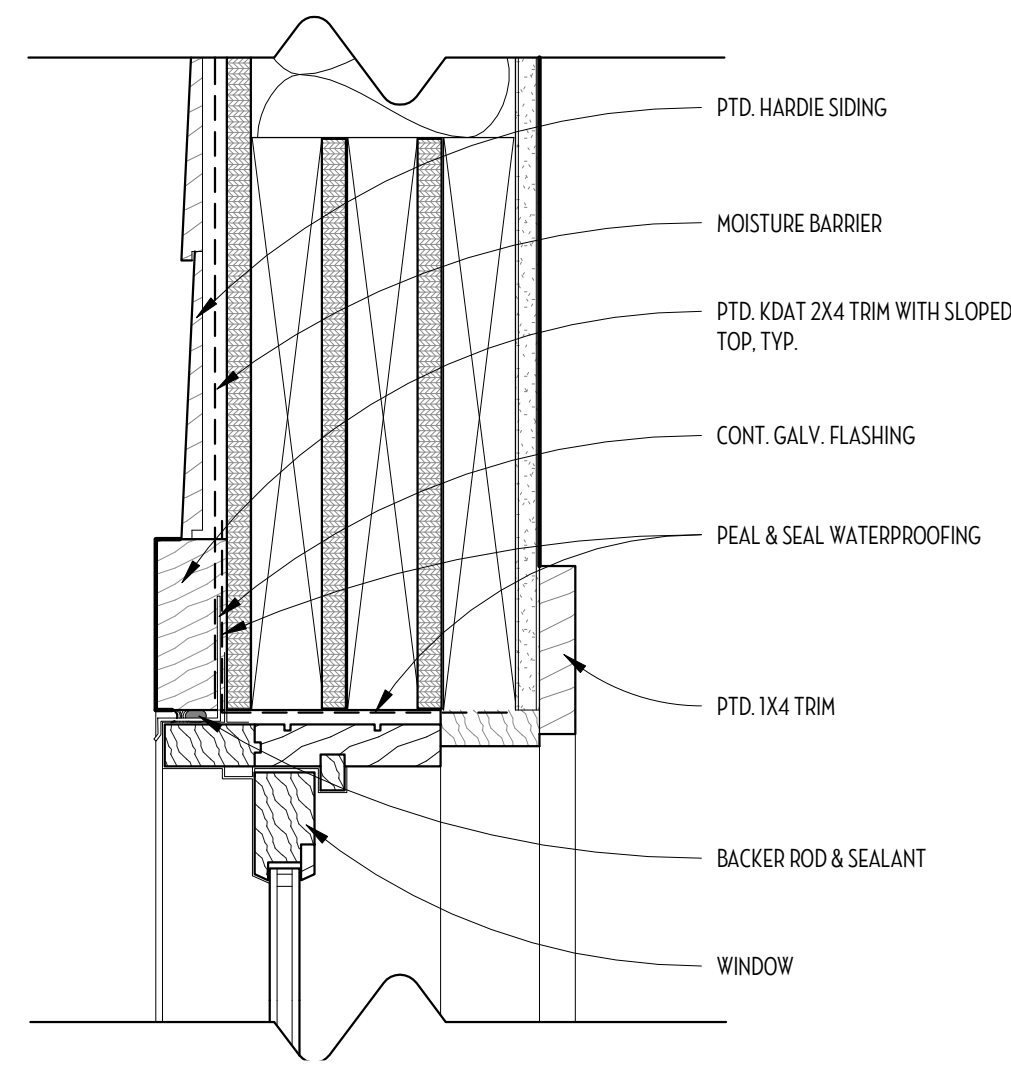
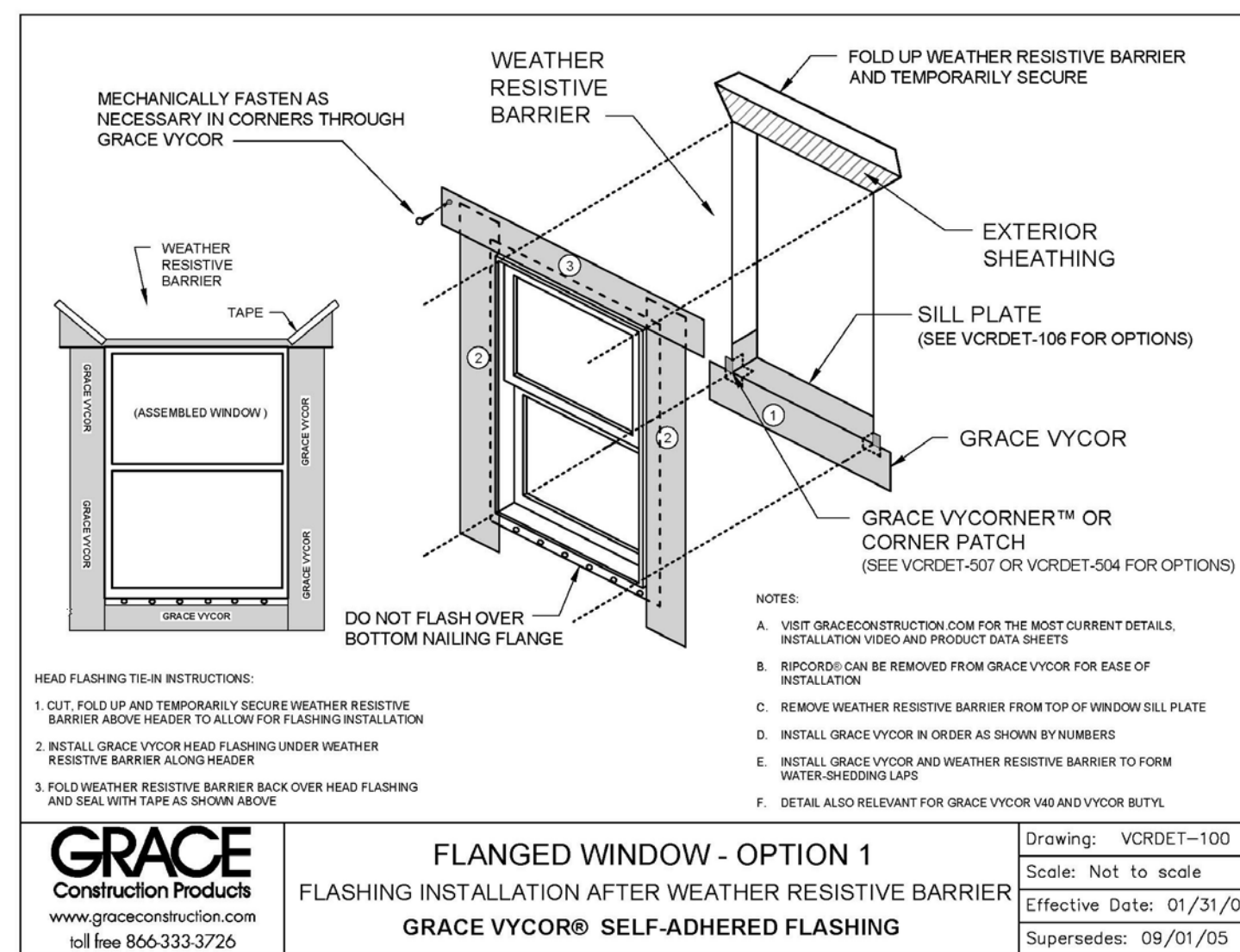
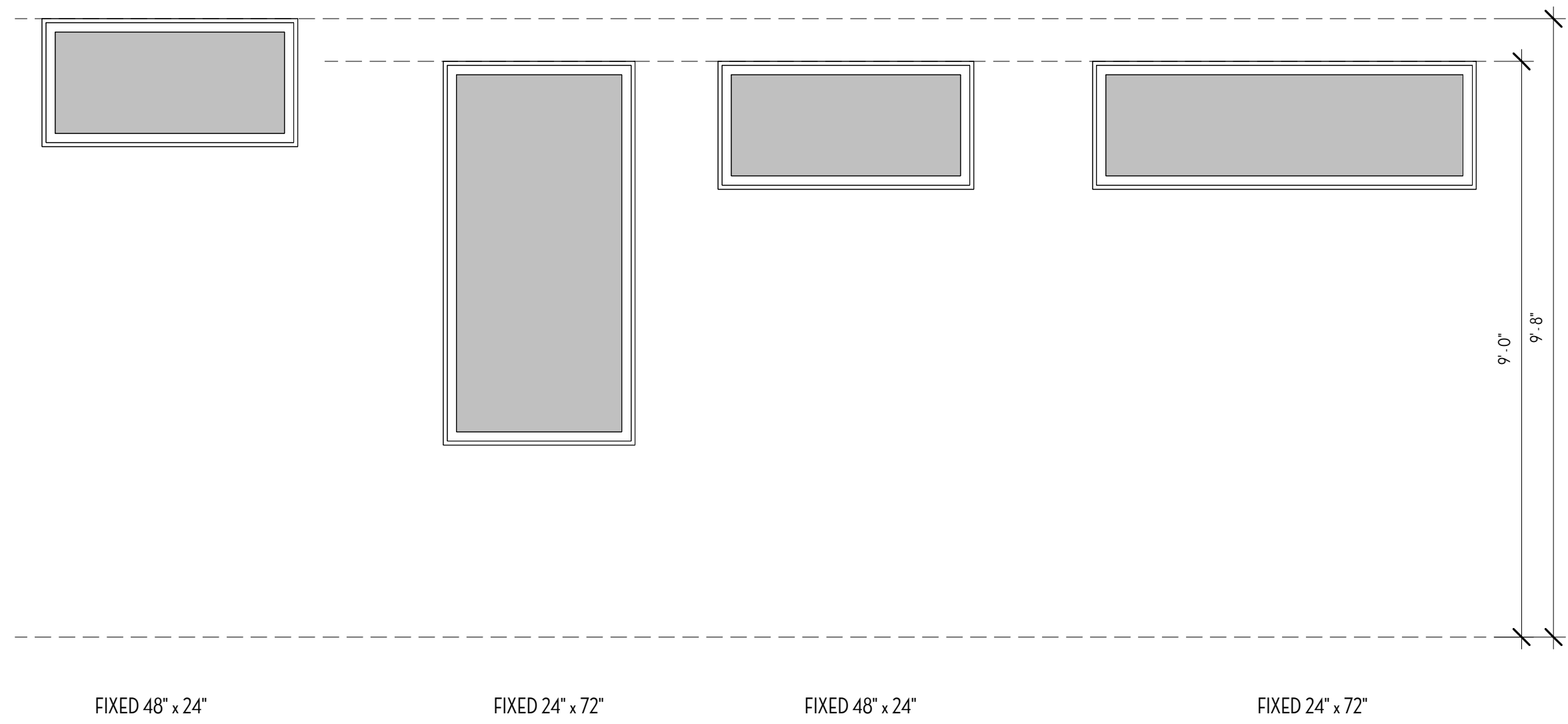
**DOOR SCHEDULE**

**A4.0**

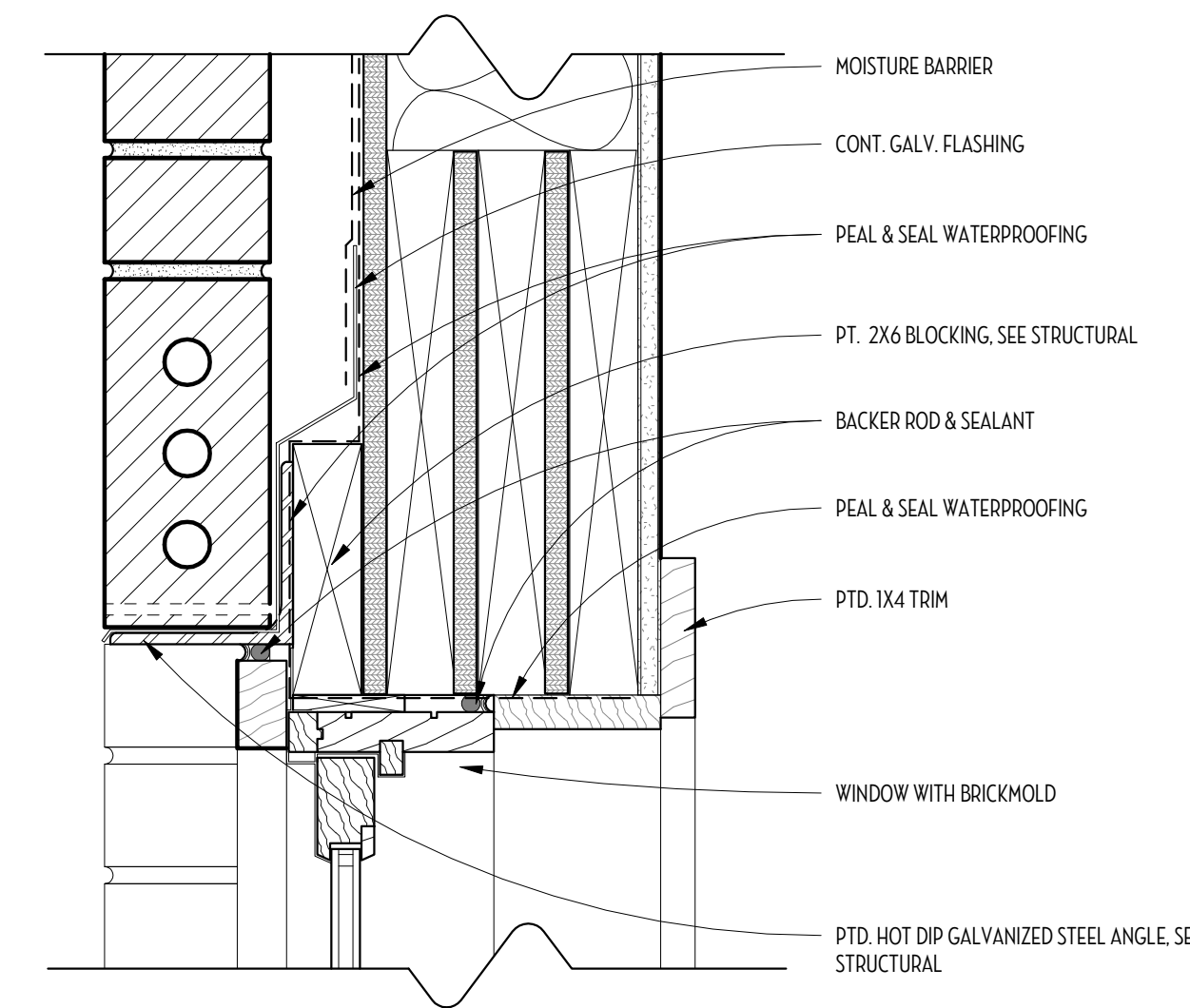
| WINDOW SCHEDULE |       |        |                          |       |
|-----------------|-------|--------|--------------------------|-------|
| UNIT            | WIDTH | HEIGHT | DESCRIPTION              | NOTES |
| A               | 4'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| B               | 6'-0" | 2'-0"  | SINGLE CLAD FIXED WINDOW |       |
| C               | 3'-0" | 6'-0"  | SINGLE CLAD FIXED WINDOW |       |

**GENERAL NOTES:**

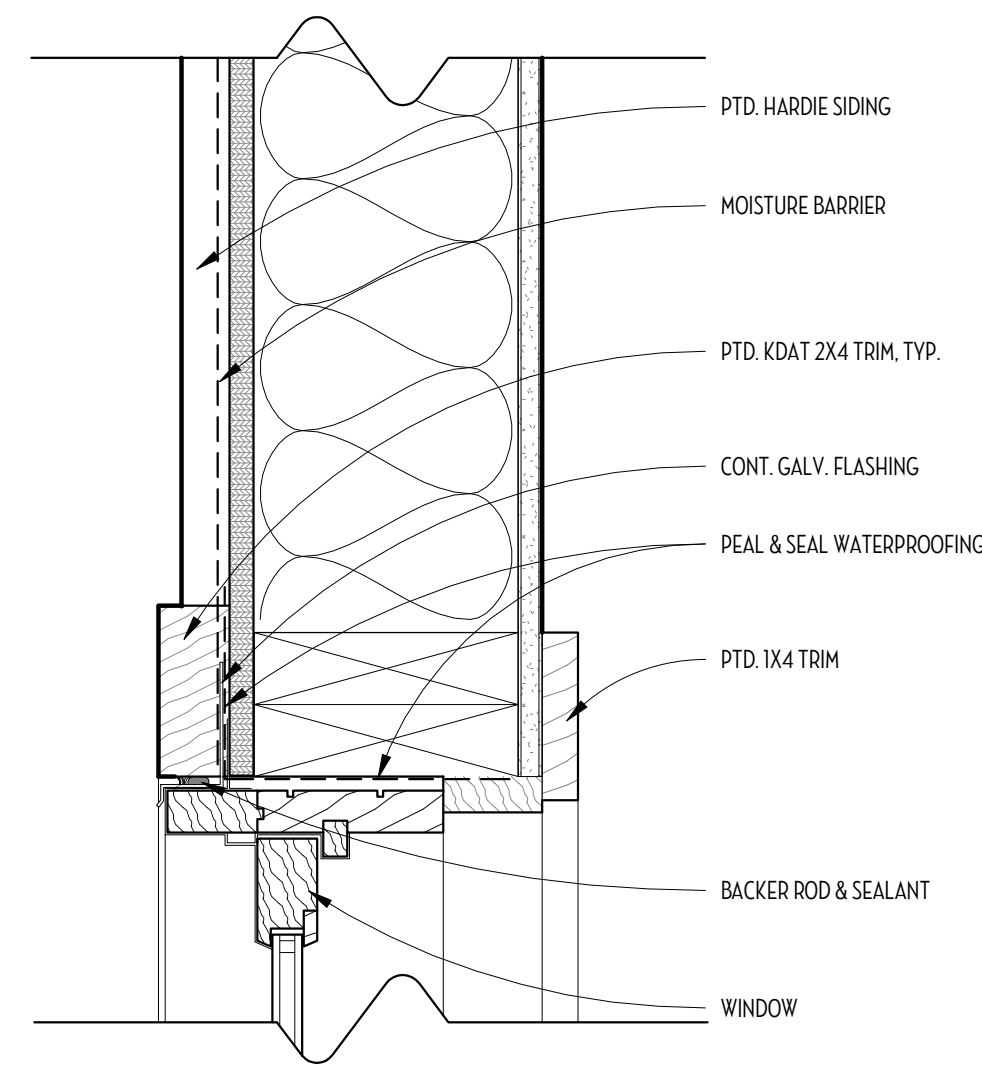
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



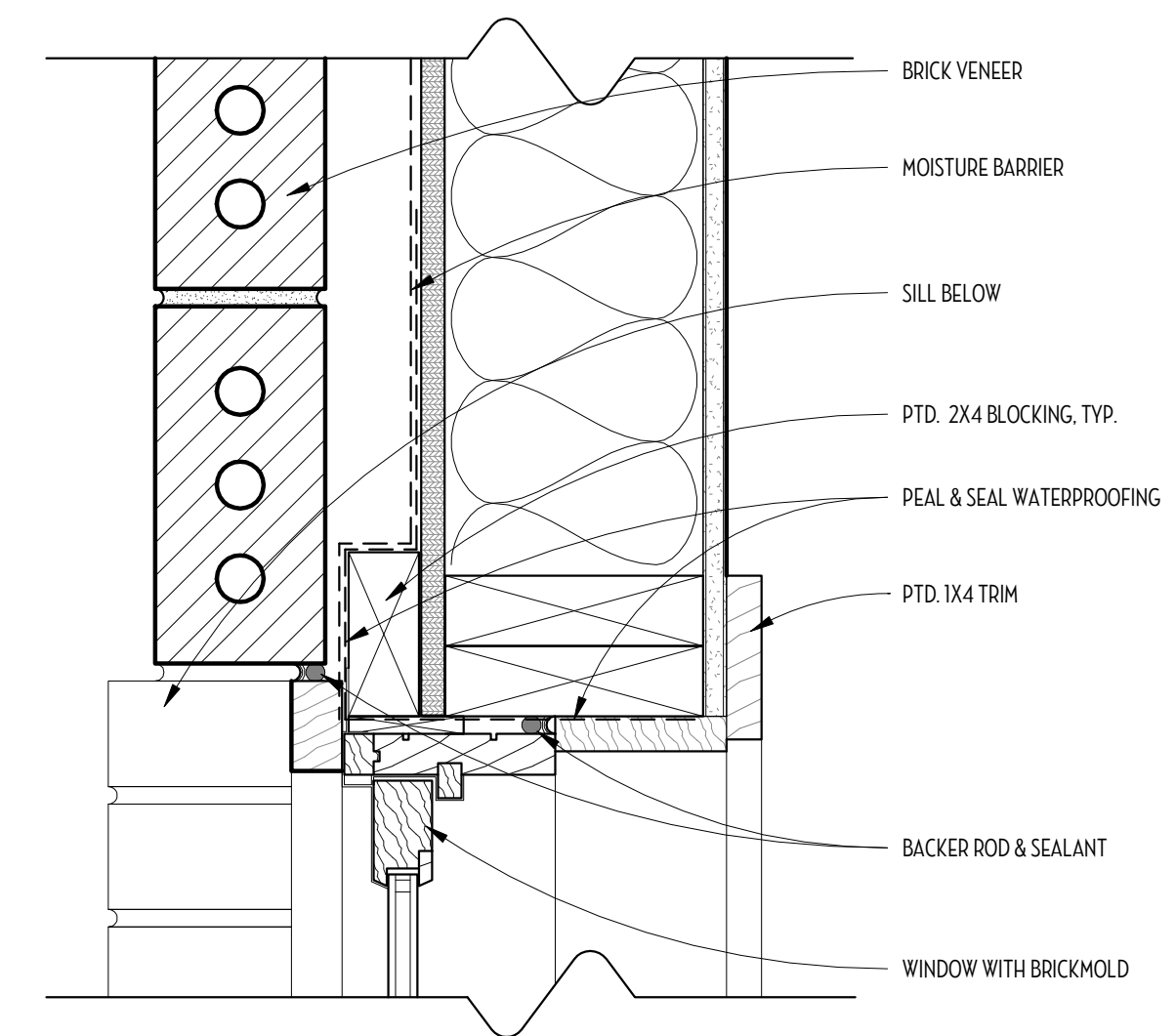
3 TYP. WIN. HDR. WOOD  
3'-1-0"



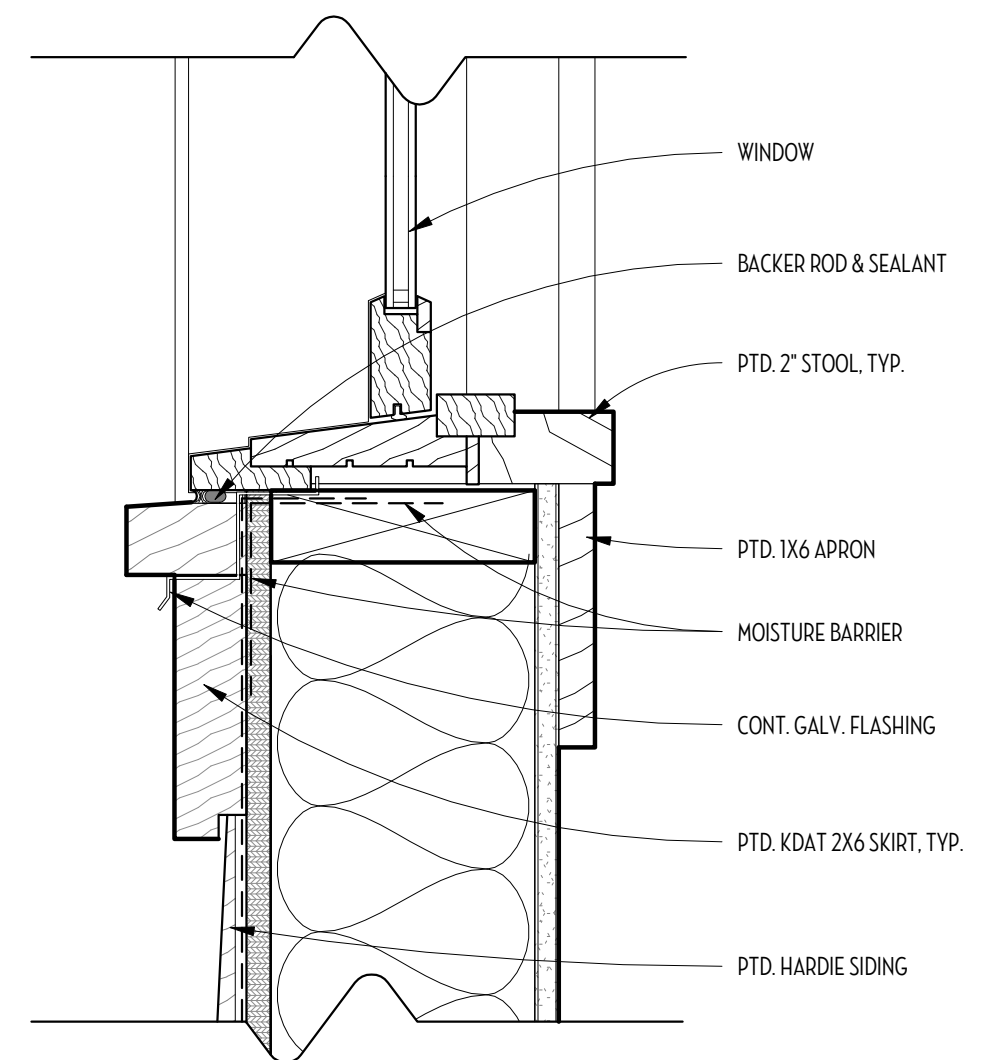
2 TYP. WIN. HDR. BRICK  
3'-1-0"



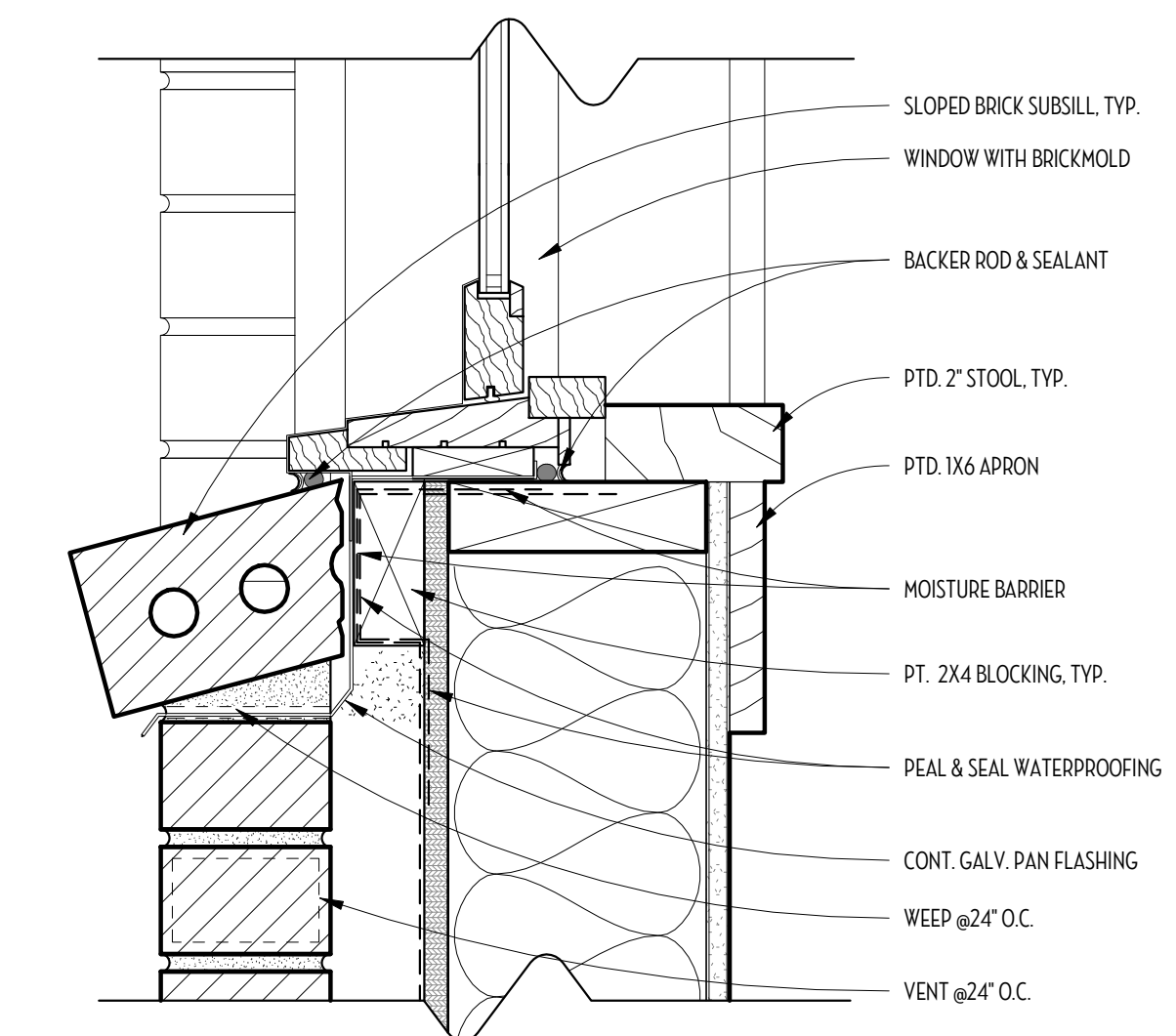
5 TYP. WIN. JAMB. WOOD  
3'-1-0"



4 TYP. WIN. JAMB. BRICK  
3'-1-0"



7 TYP. WIN. SILL. WOOD  
3'-1-0"



6 TYP. WIN. SILL. BRICK  
3'-1-0"

architect of record :

**McWhorter  
Vallee Design**

FL - AA26003107  
37 S N 10th Street  
Defuniak Springs, FL 32435  
Phone: 850.660.6675

www.mvr.design

seal:

**Anthony J. Vallee, Architect**  
seal: AR95108

project name

**MARKETPLACE**

project address:

parcel:

26-25-21-42000-001-0052

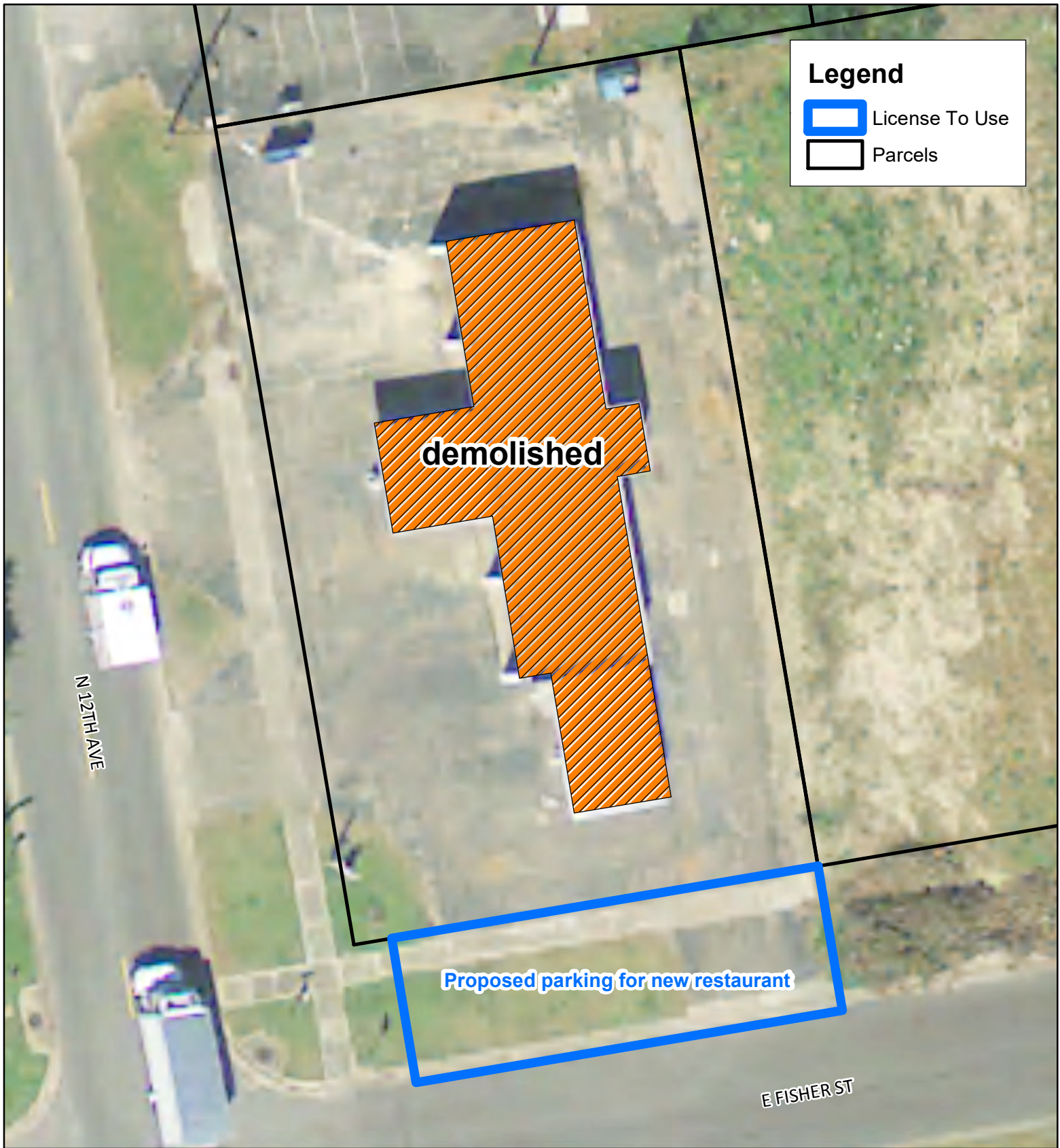
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Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Schedule

WINDOW  
SCHEDULE

**A4.1**



## Proposed LTU for New Restaurant 2800 N 12TH AVE

Date: 2/25/2020



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00102

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

PUBLIC HEARING: REQUEST TO VACATE RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

RECOMMENDATION:

That City Council conduct a public hearing on March 12, 2020, to consider the request to vacate a portion of the Cevallos Street right of way adjacent to property located in the 400 Block of Cevallos Street.

HEARING REQUIRED: Public

SUMMARY:

The City of Pensacola received a request from Brian Spencer, SMP Architecture, for approval of a vacation of right-of-way adjacent to property located in the 400 Block of Cevallos Street. The purpose of the vacation is to restore the alignment of the property boundary with the existing sidewalk along Cevallos Street.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes

2/21/2020

55

STAFF CONTACT:

Keith Wilkins, City Administrator  
Kerrith Fiddler, Deputy City Administrator - Community Development  
Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Proposed Ordinance No. 16-20
- 2) Vacation of Right of Way Application
- 3) Planning Board Minutes February 11, 2020 DRAFT

PRESENTATION: No



PROPOSED  
ORDINANCE NO. 16-20

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE  
TO BE ENTITLED:

AN ORDINANCE CLOSING, ABANDONING AND VACATING  
A PORTION OF THE 400 BLOCK OF CEVALLOS  
STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE  
OF FLORIDA; PROVIDING FOR SEVERABILITY;  
REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE  
DATE.

WHEREAS, a public hearing was held on March 12, 2020,  
as to the vacation of a portion of the 400 Block of Cevallos  
Street right-of-way; Pensacola, Escambia County, Florida; and

WHEREAS, the vacation of said right-of-way,  
hereinafter described, will contribute to the general welfare of  
the City of Pensacola in that said right-of-way is no longer  
needed as a public thoroughfare; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY OF PENSACOLA, FLORIDA:

SECTION 1. That the following described right-of-way  
in Pensacola, Escambia County, Florida is hereby closed,  
discontinued, vacated and forever abandoned by the City of  
Pensacola as a public thoroughfare:

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY,  
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON  
THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56'  
PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID  
WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF  
BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47"  
EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET  
TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE  
TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED  
SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC  
DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING =  
SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF  
INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE  
NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON  
THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT

OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

SECTION 2. That the owners of the abutting property be, and they are hereby, authorized to acquire possession of the right-of-way more particularly described in Section 1 of this ordinance, and the City of Pensacola does hereby abandon all claim of right, if any it has, in said property, and it shall remain and be the property of the abutting property owners.

SECTION 3. That, notwithstanding the foregoing sections, the City of Pensacola reserves for itself and existing utility providers, their successors and assigns, a full width easement in the entire portion the right-of-way vacated hereby for the purpose of locating and maintaining public utilities and improvements.

SECTION 4. If any word, phrase, clause, paragraph, section or provision of this ordinance or the application thereof to any person or circumstance is held invalid or unconstitutional, such finding shall not affect the other provision or applications of the ordinance which can be given effect without the invalid or unconstitutional provisions or application, and to this end the provisions of this ordinance are declared severable.

SECTION 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6. This ordinance shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Passed: \_\_\_\_\_

Approved: \_\_\_\_\_  
President of City Council

Attest:

\_\_\_\_\_  
City Clerk

VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00

Rehearing/Rescheduling Planning Board: \$250.00

Rehearing/Rescheduling City Council: \$500.00

Applicant Information:

Name: BRIAN SPENCER / SHIP ARCHITECTURE

Address: 40 S. PALAFOX

Phone: 850-712-2617 Fax: N/A

Email: brian@ship-arch.com

Property Information:

Owner Name: ERIC & PEG NICKELSEN

Location/Address: 400 BLOCK / CEVALLOS ST.

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of vacation of city right of way/comments:

CREATE CONSISTENT RELATIONSHIP/CONDITION W/ ABUTTING PROPERTY (NORTHERN NEIGHBORING PROPERTY) AND TO RESTORE ALIGNMENT W/ EXISTING CURVE SIDEWALK ~~BE~~ ALONG RADIUS/CURVE STREET CONDITION.

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this vacation request and that no refund of these fees will be made. I have reviewed a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant (Owner of Property or Official Representative of Owner)

Date

1/21/20

FOR OFFICE USE ONLY

District: \_\_\_\_\_

Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_

Date Postcards mailed: \_\_\_\_\_

Planning Board Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

Council Date: \_\_\_\_\_

Council Action: \_\_\_\_\_



# REBOL-BATTLE & ASSOCIATES

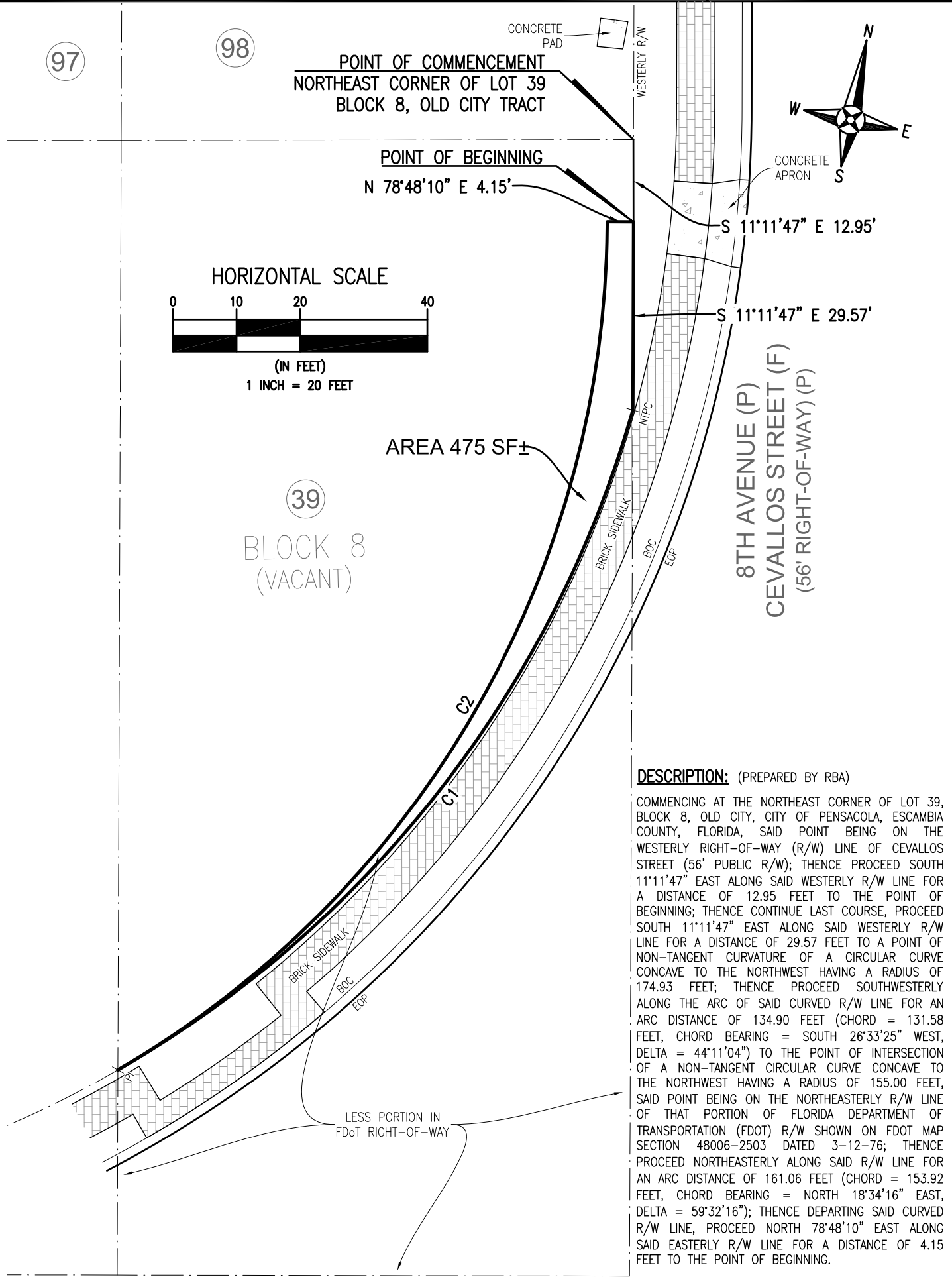
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.438.0400 Fax 850.438.0448  
EB 00009657 LB 7916

## DESCRIPTION AND SKETCH

PREPARED FOR: SMP ARCHITECTURE

REQUESTED BY: SMP ARCHITECTURE

|                    |          |
|--------------------|----------|
| PROJECT:           | 2017.196 |
| FIELD SURVEY DATE: | N/A      |
| SECTION:           | 46       |
| TOWNSHIP:          | 2 SOUTH  |
| RANGE:             | 30 WEST  |
| COUNTY:            | ESCAMBIA |



### DESCRIPTION: (PREPARED BY RBA)

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56' PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING = SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

ZARRAGOSSA STREET  
(36.5' RIGHT-OF-WAY) (CA)

| CURVE TABLE |         |         |             |         |               |
|-------------|---------|---------|-------------|---------|---------------|
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|             |          |
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| SCALE:      | 1" = 20' |
| F.B. N/A    | PG N/A   |
| DRAWN BY:   | BTH      |
| SHEET:      | 1 OF 1   |



**MINUTES OF THE PLANNING BOARD**  
**February 11, 2020**

**MEMBERS PRESENT:** Chairperson Paul Ritz, Vice Chairperson Kurt Larson, Board Member Grundhoefer, Board Member Sampson

**MEMBERS ABSENT:** Board Member Murphy, Board Member Powell, Board Member Wiggins

**STAFF PRESENT:** Assistant Planning Director Cannon, Senior Planner Statler, Transportation Planner-Complete Streets Ziarnek, Network Engineer Johnston, Digital Media Coordinator Rose, Intern Mendillo

**OTHERS PRESENT:** Brian Spencer, Darrell J. Barnhill, Thomas McCarty, Stephen Fluegge, Kacee Bidnick, Anthony Vallee

**AGENDA:**

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
  1. **Vacation of Right-of-Way Request - Cevallos Street**
  2. **Preliminary Plat Review - Corta de La Rua**
  3. **License To Use Request - 2800 North 12th Avenue**
  4. **Demolition Request – 1101 E. Gregory Street**
  5. **Discussion on the Proposed Amendment to the Tree Ordinance**

**Call to Order / Quorum Present**

Chairperson Ritz called the meeting to order at 2:09 pm with a quorum present and explained the procedures of the Board meeting.

**Approval of Meeting Minutes**

Board Member Larson made a motion to approve the January 14, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.

## **New Business**

### **Vacation of Right-of-Way Request - Cevallos Street**

Assistant Planning Director Cannon stated a request had been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. She explained the request had been routed through internal and external agencies. Mr. Spencer addressed the Board and stated this would restore the continuity of a property line on Cevallos. Chairperson Ritz explained this was a correction for a scrivener's error. He indicated that the right-of-way belongs to the citizens of the city, and Mr. Spencer was required to submit a request for vacation, and the Board would determine a valid reason for the request. Mr. Spencer advised when he served on Council, he learned the vacation of right-of-way, if approved, would proceed to Council to convey the property through the Board's recommendation. He had no problems with utility easements and had no intention of building in that area. Chairperson Ritz advised that the proper notification had been provided. **With no speakers, Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.**

### **Preliminary Plat Review - Corta de La Rua**

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St. The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel. Assistant Planning Director Cannon explained this constituted a major subdivision.

Mr. Geci presented to the Board and stated the lot history consisted of three (3) lots. They had met the CRA requirements for fronting on LaRua with rear access to the lots; they had also provided stormwater information and were connecting to an existing stormwater sewer. Chairperson Ritz explained this was a preliminary plat and appreciated the residences being pulled back with garages in the rear. Mr. Geci advised they needed to adjust the lot widths on lots 1 and 4 to attain the 80% lot frontage which was the only comment received that required revisions. Chairperson Ritz stated the request had been routed through the appropriate departments, and the applicants would contact ECUA for future utility requirements.

**Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.** Chairperson Ritz clarified that the Board would see the project again.

### **License To Use Request - 2800 North 12th Avenue**

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12<sup>th</sup> Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk. Chairperson Ritz explained unlike a right-of-way vacation, the License to Use (LTU) means the property remains in the City's ownership but allows the applicant to use the site as approved; it also comes with an annual fee paid to the City.

Mr. Barnhill presented to the Board and stated they were requesting the same opportunity as other businesses on 12<sup>th</sup> Avenue. Assistant Planning Director Cannon noted they were requesting eight (8) additional parking spaces to meet the LDC minimum requirements of the square footage for the proposed restaurant development. Mr. Barnhill stated they

would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12<sup>th</sup> Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12<sup>th</sup> Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

**Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.**

### **Demolition Request – 1101 E. Gregory Street**

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

**Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.**

### **Discussion on the Proposed Amendment to the Tree Ordinance**

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30<sup>th</sup>, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

**Open Forum** – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could



attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

**Adjournment** – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 16-20

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

PROPOSED ORDINANCE NO. 16-20 - VACATION OF RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

RECOMMENDATION:

That City Council approve Proposed Ordinance No. 16-20 on first reading.

AN ORDINANCE CLOSING, ABANDONING AND VACATING A PORTION OF THE 400 BLOCK OF CEVALLOS STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

HEARING REQUIRED: Public

SUMMARY:

The City of Pensacola received a request from Brian Spencer, SMP Architecture, for approval of a vacation of right-of-way adjacent to property located in the 400 Block of Cevallos Street. The purpose of the vacation is to restore the alignment of the property boundary with the existing sidewalk along Cevallos Street.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes

2/21/2020

STAFF CONTACT:

Keith Wilkins, City Administrator  
Kerrith Fiddler, Deputy City Administrator - Community Development  
Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Proposed Ordinance No. 16-20
- 2) Vacation of Right of Way Application
- 3) Planning Board Minutes February 11, 2020 Draft

PRESENTATION: No

PROPOSED  
ORDINANCE NO. 16-20

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE  
TO BE ENTITLED:

AN ORDINANCE CLOSING, ABANDONING AND VACATING  
A PORTION OF THE 400 BLOCK OF CEVALLOS  
STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE  
OF FLORIDA; PROVIDING FOR SEVERABILITY;  
REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE  
DATE.

WHEREAS, a public hearing was held on March 12, 2020,  
as to the vacation of a portion of the 400 Block of Cevallos  
Street right-of-way; Pensacola, Escambia County, Florida; and

WHEREAS, the vacation of said right-of-way,  
hereinafter described, will contribute to the general welfare of  
the City of Pensacola in that said right-of-way is no longer  
needed as a public thoroughfare; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY OF PENSACOLA, FLORIDA:

SECTION 1. That the following described right-of-way  
in Pensacola, Escambia County, Florida is hereby closed,  
discontinued, vacated and forever abandoned by the City of  
Pensacola as a public thoroughfare:

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY,  
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON  
THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56'  
PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID  
WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF  
BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47"  
EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET  
TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE  
TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED  
SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC  
DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING =  
SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF  
INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE  
NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON  
THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT

OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

SECTION 2. That the owners of the abutting property be, and they are hereby, authorized to acquire possession of the right-of-way more particularly described in Section 1 of this ordinance, and the City of Pensacola does hereby abandon all claim of right, if any it has, in said property, and it shall remain and be the property of the abutting property owners.

SECTION 3. That, notwithstanding the foregoing sections, the City of Pensacola reserves for itself and existing utility providers, their successors and assigns, a full width easement in the entire portion the right-of-way vacated hereby for the purpose of locating and maintaining public utilities and improvements.

SECTION 4. If any word, phrase, clause, paragraph, section or provision of this ordinance or the application thereof to any person or circumstance is held invalid or unconstitutional, such finding shall not affect the other provision or applications of the ordinance which can be given effect without the invalid or unconstitutional provisions or application, and to this end the provisions of this ordinance are declared severable.

SECTION 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6. This ordinance shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Passed: \_\_\_\_\_

Approved: \_\_\_\_\_  
President of City Council

Attest:

\_\_\_\_\_  
City Clerk

VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00

Rehearing/Rescheduling Planning Board: \$250.00

Rehearing/Rescheduling City Council: \$500.00

Applicant Information:

Name: BRIAN SPENCER / SHIP ARCHITECTURE

Address: 40 S. PALAFOX

Phone: 850-712-2617 Fax: N/A

Email: brian@ship-arch.com

Property Information:

Owner Name: ERIC & PEG NICKELSEN

Location/Address: 400 BLOCK / CEVALLOS ST.

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of vacation of city right of way/comments:

CREATE CONSISTENT RELATIONSHIP/CONDITION W/ ABUTTING PROPERTY (NORTHERN NEIGHBORING PROPERTY) AND TO RESTORE ALIGNMENT W/ EXISTING CURVE SIDEWALK ~~BE~~ ALONG RADIUS/CURVE STREET CONDITION.

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this vacation request and that no refund of these fees will be made. I have reviewed a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant: [Handwritten Signature]  
(Owner of Property or Official Representative of Owner)

Date: 1/21/20

FOR OFFICE USE ONLY

District: \_\_\_\_\_

Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_

Date Postcards mailed: \_\_\_\_\_

Planning Board Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

Council Date: \_\_\_\_\_

Council Action: \_\_\_\_\_



# REBOL-BATTLE & ASSOCIATES

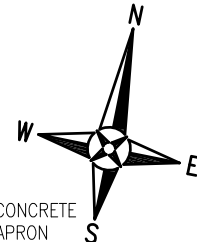
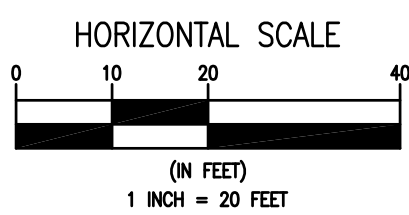
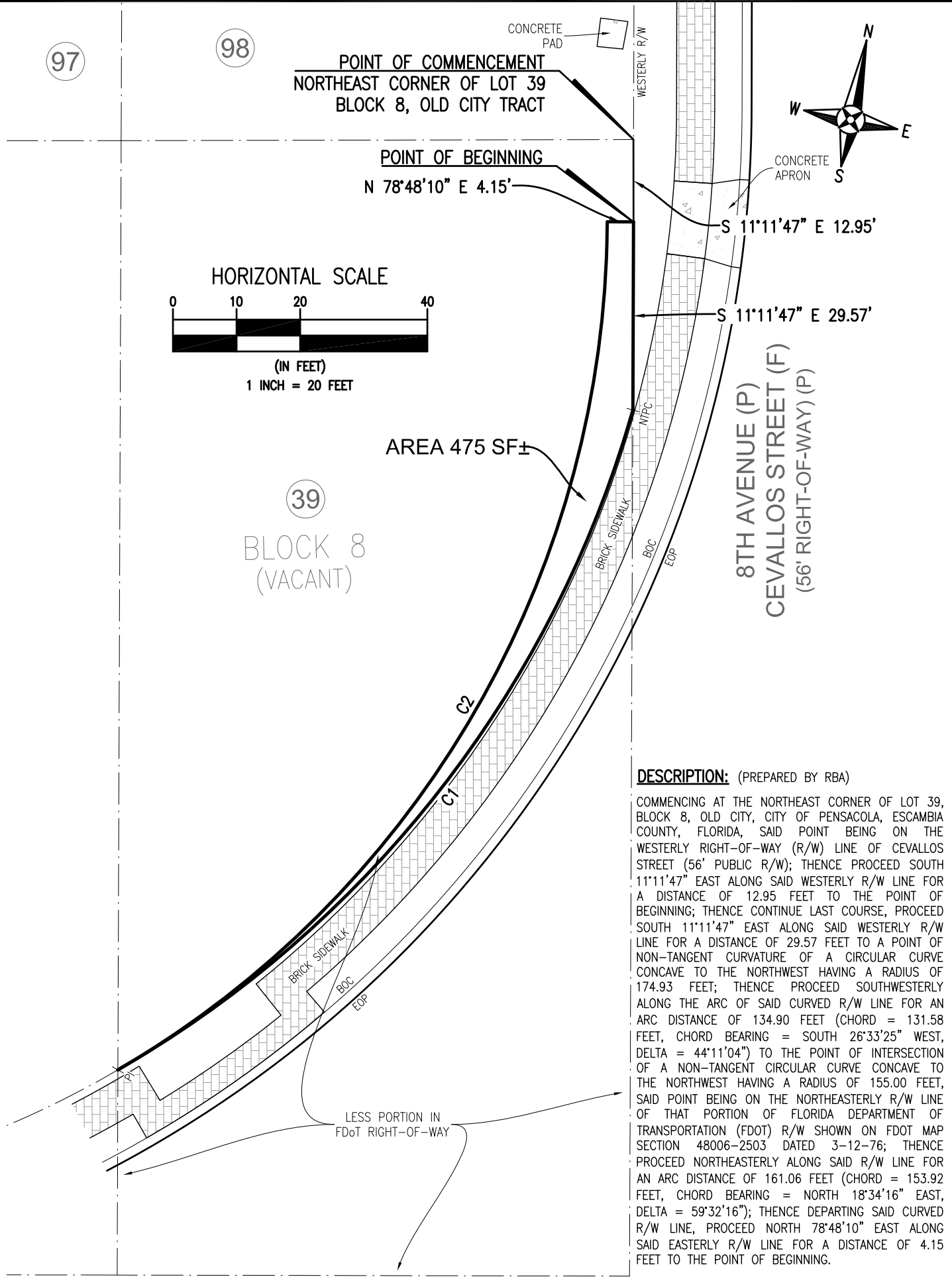
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would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12<sup>th</sup> Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12<sup>th</sup> Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

**Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.**

### **Demolition Request – 1101 E. Gregory Street**

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

**Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.**

### **Discussion on the Proposed Amendment to the Tree Ordinance**

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30<sup>th</sup>, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

**Open Forum** – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could

attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

**Adjournment** – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00140

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: City Council President Jewel Cannada-Wynn

SUBJECT:

YOUTH ENVIRONMENTAL EMPOWERMENT PROGRAM (YEEP)

RECOMMENDATION:

That City Council approve the Youth Environmental Empowerment Program (YEEP) and authorize the council executive to begin the process of submitting the project for RESTORE Funds and/or other funding opportunities.

HEARING REQUIRED: No Hearing Required

SUMMARY:

The BP oil spill impacted the entire community. Young adults (14-19) were especially affected because many high school age students were not able to get jobs after the spill. Juniors and seniors depended on after school jobs and summer jobs for expenses relating to graduation, college registration and transportation.

This program cannot replace the financial opportunities lost by those students; however, it can teach future generations the importance of the environment and how one act can change the course of our society. The budget request for this project is \$156,320 a year, for five years, for a total of \$781,600. A tentative budget is attached.

The purpose of the program is focused on educating our youth to become environmentally literate today making them environmental stewards in the future. They will be better able to vote and make decisions for our community in reference to our environment. The program is envisioned to be a summer event; however, flexibility will be given to agencies in order that they may effectively administer the programs. Students will be provided transportation and meals, which is included in the budget. The recommendations listed below allow flexibility for agencies developing the curriculum for the program.

The educational focus of the program relies on the City of Pensacola and Escambia County having an excellent training environment for this program. The environmental health of our community is a serious concern. Teaching our young people will help the community deal with the many challenges

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of our environment, as well as the enormous beauty of our landscape.

Course work will include a basic review of the four themes commonly discussed in Environmental Science. They are Ecology, Resource Management, Pollution, and Society. An additional training category will include TEEN CERT Training.

Ecology ~ plant and animal life, different ecosystems abiotic vs. biotic relationships, soil, and temperature. Field trips will include, Wildlife Sanctuary, National Park System, State Park System, Roy Hyatt Environmental Center, beach, UWF Nature Trail, paddleboard adventure, canoe adventure and Dolphin Cruise.

Resource Management ~ Resource management includes the resources necessary for survival. Resources that focus on water, growth/land management, and energy are discussed under this section. The resources are food, farming, crops, fishing, and seafood. Water management is another essential area for discussion. Is our water safe and will our water supply sustain our growing population? What are the problems facing these industries and how can these resources be protected? How can we better plan for growth in reference to roads, homes and businesses. What are the concerns in reference to growth in the city (urban) core and the county (rural areas)? What are the alternative sources of energy to run cars, homes and industries? Finally, a review of our forestry, which includes land, wildlife and water management districts. Field trips include farms, seafood food industry, speakers, wastewater treatment plant, Gulf Power, community gardens, Manna Food Bank gardens, etc.

Pollution ~ The focus is on soil, water and air. Students will learn what is in the soil in a particular ecosystem and why? What is in the water and where does our water come from? What is in the air? Field trips/speakers could include International Paper, Westinghouse, DEP restoration projects, landfills, EPA Lab.

Society ~ What are the challenges facing our society in reference to an open discussion about environmental issues. Who are the stakeholders in determining future environmental plans? What role does the government play and how are laws passed? Who is responsible for educating the public on environmental issues and hazards. The economics of protecting the environment is a great concern. Should the county and city focus on ecotourism and at what cost. How are businesses and government becoming eco-friendlier. Are laws so strict that it stifles innovation and creativity that would find solutions to environmental needs?

Field trips/speakers include specialist in environmental law and businesses that are building to green standards.

**PRIOR ACTION:**

None

**FUNDING:**

Budget:       \$0

Actual:       \$781,600

**FINANCIAL IMPACT:**

There will be no initial financial impact to the City as this will be a request for RESTORE Funds and/or other potential funding opportunities.

**STAFF CONTACT:**

Don Kraher, Council Executive

**ATTACHMENTS:**

- 1) YEEP Proposed Budget

**PRESENTATION:**   No

| Item                   | Length           | Amount  | total Cost                 | Final    |
|------------------------|------------------|---------|----------------------------|----------|
| Location               | 4 Weeks          | \$2,500 | \$10,000                   | \$10,000 |
| <hr/>                  |                  |         |                            |          |
| Staff                  |                  |         |                            |          |
| Administrator          | 4 weeks (30hrs.) | \$25.00 | \$750.00 per week          | \$3,000  |
| Assist. Admin          | 4 weeks (30hrs.) | \$20.00 | \$600.00 per week          | \$2,400  |
| Data/Sec               | 4 weeks (30hrs.) | \$15.00 | \$450.00 per week          | \$1,800  |
| Counselor/Dean         | 4 weeks (30hrs.) | \$20.00 | \$600.00 per week          | \$2,400  |
| Custodial Staff        | 4 weeks (30hrs.) | \$12.00 | \$360.00 per week          | \$1,440  |
| Health Care Tech       | 4 weeks (30hrs.) | \$20.00 | \$600.00 per week          | \$2,400  |
| <hr/>                  |                  |         |                            |          |
| Instructional Staff    |                  |         |                            |          |
| Teachers (15)          | 4 weeks (30hrs.) | \$20.00 | \$2,400 X 15 = \$36,000    | \$36,000 |
| Assistants (4)         | 4 weeks (30hrs.) | \$15.00 | \$1,800 x 4 = \$7,200      | \$ 7,200 |
| <hr/>                  |                  |         |                            |          |
| Transportation         |                  |         |                            |          |
| Bus leases/rentals (6) |                  |         |                            | \$4,000  |
| Gas/Fuel               |                  |         |                            | \$3,000  |
| Drivers' (5)           | 4 weeks (20 hrs) | \$15.00 | \$300.00 X 4 = \$1,200 x 5 | \$6,000  |
| Drivers Field Trips    |                  |         |                            | \$3,000  |



Meals/Snack

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|                    |                      |         |                   |          |
|--------------------|----------------------|---------|-------------------|----------|
| Food and Nutrition | 350 (students/Staff) |         | \$5,000 x 4 weeks | \$20,000 |
| Staff Supervisor   | 4 weeks (30hrs.)     | \$15.00 | \$450.00 per week | \$1,800  |
| Assistant          | 4 weeks (30hrs.)     | \$12.00 | \$360 per week    | \$1,440  |
| Assistant          | 4 weeks (30hrs.)     | \$12.00 | \$360.00 per week | \$1,440  |

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|                       |  |  |                     |           |
|-----------------------|--|--|---------------------|-----------|
| Graduation Ceremony   |  |  |                     | \$3,000   |
| Supplies/Office/class |  |  |                     | \$25,000  |
| Taxes                 |  |  |                     | \$6,000   |
| Contingency           |  |  |                     | \$15,000  |
| <br>                  |  |  |                     |           |
| Total                 |  |  | \$156,320 X 5 years | \$781,600 |

Notes:

The Budget is based on training 300 students per year for five years.



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 2020-08

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-08 - BLUE WAHOOS BASEBALL STADIUM PROTECTIVE NETTING

RECOMMENDATION:

That City Council adopt Supplemental Budget Resolution No. 2020-08.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

HEARING REQUIRED: No Hearing Required

SUMMARY:

To ensure the safety of the fans and players, all thirty Major League Baseball teams are extending the protective netting at their respective baseball stadiums. The Baseball League has asked the Minor League teams to do the same. The Blue Wahoos will join eighteen Minor League teams to extend their protective netting prior to Opening Day 2020.

The new netting will run the entire length of both baselines at the stadium, which will prevent foul balls from going into the stands and dugouts. The new protective netting is anticipated to be installed by opening day for the 2020 season, which is April 9, 2020. New poles will be installed to hold the nets and must meet current wind codes. The protective netting is approximately 30 ft. x 84 ft. and will be extended from the current position at the end of both dugouts to the foul pole, a distance of approximately 250 feet. The installed netting will still allow fans opportunities for player autographs. A portion of the netting will be retractable to allow players to sign autographs prior to the game at certain areas along the baseline.

The Blue Wahoos are executing the contract for the installation of the netting with an anticipated cost not to exceed \$250,000. The City will reimburse the Blue Wahoos the costs associated with the installation of the netting.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

Adoption of the Supplemental Budget Resolution will provide funding up to \$250,000 for the installation of the netting.

CITY ATTORNEY REVIEW: Yes

*2/27/2020*

STAFF CONTACT:

Keith Wilkins, City Administrator  
Kerrith Fiddler, Deputy City Administrator - Community Development  
Brian Cooper, Parks & Recreation Director  
Derrick Owens, Public Works & Facilities Management Director

ATTACHMENTS:

- 1) Supplemental Budget Resolution No. 2020-08
- 2) Supplemental Budget Explanation No. 2020-08

PRESENTATION: No

**RESOLUTION  
NO. 2020-08**

A RESOLUTION  
TO BE ENTITLED:

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PENSACOLA, FLORIDA

SECTION 1. The following appropriations from funds on hand in the fund accounts stated below, not heretofore appropriated, and transfer from funds on hand in the various accounts and funds stated below, heretofore appropriated, be, and the same are hereby made, directed and approved to-wit:

**A. COMMUNITY MARITIME PARK MANAGEMENT SERVICES FUND**

|     |                |         |
|-----|----------------|---------|
| To: | Fund Balance   | 250,000 |
| To: | Capital Outlay | 250,000 |

SECTION 2. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 3. This resolution shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Adopted: \_\_\_\_\_

Approved: \_\_\_\_\_  
President of City Council

Attest:

\_\_\_\_\_  
City Clerk

**THE CITY OF PENSACOLA**

**MARCH 2020 - SUPPLEMENTAL BUDGET RESOLUTION - BLUE WAHOOS NETTING - RES NO. 2020-08**

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| FUND   | AMOUNT         | DESCRIPTION                            |
|--|----------------|--|
| <b>COMMUNITY MARITIME PARK MGT SVCS FUND</b> |                |  |
| Fund Balance                                 | <u>250,000</u> | Increase appropriated fund balance     |
| Appropriations                               |                |  |
| Capital Outlay                               | <u>250,000</u> | Appropriate funding for Capital Outlay |
| Total Appropriations                         | <u>250,000</u> |  |



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 2020-09

City Council

3/12/2020

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### **LEGISLATIVE ACTION ITEM**

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-09 - INDIGENT HEALTH CARE SPECIAL ASSESSMENT

RECOMMENDATION:

That City Council adopt Supplemental Budget Resolution No. 2020-09.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

HEARING REQUIRED: No Hearing Required

SUMMARY:

On September 26, 2019, representatives from Baptist Hospital, Sacred Heart Hospital, and Select Specialty Hospital requested that the City consider the imposition of a special assessment on their real property located in the City to increase funding available to reimburse the hospitals for uncompensated charitable health care. The hospitals requested that the special assessment be based on inpatient revenues, which will affect properties owned by Baptist Hospital, Sacred Heart Hospital, and Select Specialty Hospital. In order to levy the requested special assessment for FY2020, City Council adopted Ordinance No. 29-19 and Resolution No. 2019-52.

At the same meeting, City council adopted Supplemental Budget Resolution No. 2019-53 appropriating funding for FY 2020 indigent health care special assessment which was posted in September 2019 (FY 2019). However, funding was not carried forward into FY 2020. Appropriations now will provide funding for the approved FY 2020 indigent health care special assessment.

PRIOR ACTION:

April 25, 2019 - City Council adopted Ordinance No. 10-19 and Resolution No. 2019-24, which imposed a special assessment on outpatient revenue on properties owned by Baptist Health Care and Sacred Heart Hospital.

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September 26, 2019 - City Council adopted Ordinance No. 29-19, which repealed and replaced Ordinance No. 10-19, adopted Resolution No. 2019-52 and adopted Supplemental Budget Resolution No. 2019-53 imposing a special assessment on inpatient revenue on properties owned by Baptist Health Care, Sacred Heart Hospital and Select Specialty Hospital and appropriating funding thereof.

FUNDING:

N/A

FINANCIAL IMPACT:

There is no direct financial impact to the City. Combined assessments will total approximately \$10.6 million. Adoption of the supplemental budget resolution will appropriate the assessment funds.

CITY ATTORNEY REVIEW: Yes

2/27/2020

STAFF CONTACT:

Keith Wilkins, City Administrator  
Richard Barker, Jr., Deputy City Administrator - Administration & Enterprise  
Amy Lovoy, Finance Director

ATTACHMENTS:

- 1) Supplemental Budget Resolution No. 2020-09
- 2) Supplemental Budget Explanation No. 2020-09

PRESENTATION: No

**RESOLUTION  
NO. 2020-09**

A RESOLUTION  
TO BE ENTITLED:

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE  
FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PENSACOLA, FLORIDA

SECTION 1. The following appropriations from funds on hand in the fund accounts stated below, not heretofore appropriated, and transfer from funds on hand in the various accounts and funds stated below, heretofore appropriated, be, and the same are hereby made, directed and approved to-wit:

**A. HOSPITAL SPECIAL ASSESSMENT FUND**

|     |  |            |
|-----|--|------------|
| To: | Special Assessment - Baptist Hospital          | 2,672,497  |
| To: | Special Assessment - Sacred Heart Hospital     | 7,584,397  |
| To: | Special Assessment - Select Specialty Hospital | 306,334    |
| To: | Grants & Aids                                  | 10,563,228 |

SECTION 2. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 3. This resolution shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Adopted: \_\_\_\_\_

Approved: \_\_\_\_\_  
President of City Council

Attest:

\_\_\_\_\_  
City Clerk



**THE CITY OF PENSACOLA**

**MARCH 2020 - SUPPLEMENTAL BUDGET RESOLUTION - INDIGENT HEALTH CARE SPECIAL ASSESSMENT - RES NO. 2020-09**

| FUND   | AMOUNT            | DESCRIPTION   |
|--|-------------------|---|
| <b>HOSPITAL SPECIAL ASSESSMENT FUND</b>        |                   |   |
| Estimated Revenues                             |                   |   |
| Special Assessment - Baptist Hospital          | 2,672,497         | Appropriate estimated revenue from Special Assessment - Baptist Hospital          |
| Special Assessment - Sacred Heart Hospital     | 7,584,397         | Appropriate estimated revenue from Special Assessment - Sacred Heart Hospital     |
| Special Assessment - Select Specialty Hospital | 306,334           | Appropriate estimated revenue from Special Assessment - Select Specialty Hospital |
| Total Revenues                                 | <u>10,563,228</u> |   |
| Appropriations                                 |                   |   |
| Grants & Aids                                  | <u>10,563,228</u> | Appropriate funding for Grants & Aids   |
| Total Appropriations                           | <u>10,563,228</u> |   |



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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File #: 20-00139

City Council

3/12/2020

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### **DISCUSSION ITEM**

FROM: City Council Member Sherri Myers

SUBJECT:

INSTALLATION OF TRAFFIC CALMING DEVICES PETITION PROCESS

SUMMARY:

For a citizen to request / obtain the installation of traffic calming devices, there is a petition process that must be completed.

This item allows Council to discuss the process in general, looking at the cumbersome nature of the process and addressing the \$150 processing fee that must accompany the application.

PRIOR ACTION:

None

STAFF CONTACT:

Don Kraher, Council Executive

ATTACHMENTS:

- 1) Traffic Calming Petition
- 2) Traffic Calming Signature Sheet

PRESENTATION: No

To Whom It May Concern:

In response to your recent request for information concerning the City of Pensacola's policy on installation of traffic calming devices, enclosed is a copy of the current policy and an official petition form.

As the neighborhood contact person, you are advised to carefully read the policy, requirements, and instructions before moving forward with this petition. Please keep this information packet intact while offering the petition to residents, as each signature indicates that the property owner or lessee has read all instructions and information relating to this petition.

The completed petition should be sent to City of Pensacola, Public Works and Facilities, 2757 North Palafox Street, Pensacola Florida 32501.

If you have any questions concerning the procedures for installation of traffic calming devices please contact Public Works Department at 435-1755.

# **PETITION FOR INSTALLATION OF TRAFFIC CALMING DEVICES**

**Purpose:** To petition the City of Pensacola with regard to the installation of traffic calming devices for the purpose of alleviating speeding on City road.

**ALL PERSONS ARE ENCOURAGED TO CAREFULLY READ THE POLICY AND INFORMATION/INSTRUCTIONS PRIOR TO SIGNING THE PETITION.**

It is a policy of the City of Pensacola that requests for installation of traffic calming devices will be processed by the Public Works and Facilities Department subject to the following conditions:

## **1. Petition Process:**

- a) Receipt of a petition signed by 75% or more of the owners of property, which abut the roadway on which traffic calming devices are requested (application processing fee - **\$150.00**). Lessees of property, which abut the affected roadway, may sign the petition in lieu of the property owner, if the property owner resides outside of Escambia County. A contact person shall be noted on the petition to act as neighborhood coordinator. For intersections where traffic circles are desired, the petition must include signatures from at least 75% of affected property owners along the intersecting side streets. Staff will determine the geographic limits of where property owners may be reasonably impacted.
- b) Limits of the petition area will be determined by one of the following:
  - a. 1000' or greater in each direction of proposed placement
  - b. Other limits – as defined by city staff
- c) The roadway on which traffic calming devices are requested is a paved roadway. Traffic calming devices may be constructed concurrently with a programmed paving project.
- d) The roadway on which traffic calming devices are requested is not functionally classified as a minor arterial, principal arterial, or a collector road. City staff will also determine whether or not “Rural/Local” roads are eligible for traffic calming devices.
- e) The 85<sup>th</sup> percentile speed on the roadway which traffic calming devices are requested must be 6 mph or greater than the speed limit set in accordance with §316.189, Florida Statutes.
- f) Streets with Average Daily Traffic volumes exceeding 5000 vehicles per day may require a special evaluation and justification for approval, giving consideration to other alternative measures, where appropriate.
- g) If City staff determines the area is more suitable for and qualifies for a Community Traffic Management Plan an approach based on the subdivision or area layout, a meeting will be held with the stakeholders (HOA, Neighborhood Watch, etc.) to identify the process and cost. These groups will be asked to contribute to the purchase and implementation of the traffic calming devices.

The City of Pensacola shall respond to all petitions for installation of traffic calming devices within 30 days or their receipt. If the petition does not meet the conditions listed above, the City of Pensacola, or designee, shall so notify the contact person in writing.

If the petition meets the conditions listed above, the City of Pensacola, or designee, shall notify the contact person that the petition is valid and that an investigation will be conducted to determine appropriate traffic calming devices for the roadway on which these devices have been requested. This investigation may include field checks, neighborhood input and/or traffic engineering studies. Upon completion of the investigation, the City of Pensacola, or designee, shall set a meeting with affected property owners to discuss traffic calming and to seek consensus on maintenance of a speed hump, speed table or construction of alternative devices (e.g. median islands, traffic circles, lane narrowing, road blocks, directional diverters, multi-way stops signs).

## **2. Design Criteria:**

Traffic calming devices to be constructed on roadways, which are functionally classified as a “local” road and in a residence district, as defined in §316.003, Florida Statutes, shall be designed for speeds of 15, 20, 25 mph. Engineering staff will determine the appropriate design speed based on the conditions for each roadway that is petitioned.

## **3. Right of Way Acquisition:**

Staff is authorized to acquire right of way, which is required to construct traffic calming devices. The amount of right of way required will be based on the minimum needed to accommodate the specific design for each location as prepared by staff. Traffic calming design and associated right of way needs will be discussed during a meeting with affected property owners. Staff will ask property owners to donate real property for right of way in order to expedite the project. IF property owner(s) refuse to donate property, staff will offer the City of Pensacola approved purchase price for the right of way and advise residents that construction will be delayed at least six to eight month. IF affected property owner(s) refuse the purchase offer, staff is authorized to proceed with condemnation by eminent domain to obtain right of way if approved by the City of Pensacola.

## **Instructions for Completing the Petition:**

1. Only one signature per property is counted.
2. Each signatory must be the registered property owner (**based off the Property Tax Appraiser's information**) or a lessee of the address for which he/she is signing if owner is not in Escambia County.
3. Signatures must be legible and supplemented by the printed name of the signatory and date.
4. If a signatory is not the person currently listed as owner on the tax roll (With the exception of a lessee), an explanation as to the signatory's relationship to the property owner is needed. For example, if said property was inherited, but the tax roll does not reflect this change, an explanation of this would be necessary.
5. A contact person to act as a neighborhood coordinator should be noted on the petition. Please include an address, email, and daytime phone number for this individual.

The official petition form enclosed is the only acceptable form for use as a petition.

If something other than a speed hump or speed tables is desired, use the space below your signature to express in writing what device you prefer (Example: traffic circle, median island, road block)

### **Petitions and Processing Fee to be submitted to:**

City of Pensacola  
Public Works and Facilities Department  
2757 North Palafox Street  
Pensacola, Florida 32501

Further inquiries should be made to the Public Works and Facilities at (850) 435-1755

# Traffic Calming Petition -- City of Pensacola

Location \_\_\_\_\_

|                                   |              |
|-----------------------------------|--------------|
| Contact/ Neighborhood Coordinator | Phone Number |
|-----------------------------------|--------------|

Address \_\_\_\_\_  
\_\_\_\_\_

| Signature | Name Print | Address |
|-----------|------------|---------|
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