



City of Pensacola

City Council

Agenda - Final

Thursday, March 12, 2020, 5:30 PM

Council Chambers, 1st Floor

ROLL CALL

INVOCATION

PLEDGE OF ALLEGIANCE

Council Member Ann Hill

FIRST LEROY BOYD FORUM

AWARDS

APPROVAL OF MINUTES

1. [20-00158](#) APPROVAL OF MINUTES: REGULAR MEETING DATED FEBRUARY 27, 2020

Attachments: [Draft Minutes: Regular Meeting Dated 2/27/20](#)

APPROVAL OF AGENDA

CONSENT AGENDA

2. [20-00101](#) REQUEST FOR LICENSE TO USE RIGHT OF WAY - EAST FISHER STREET AT NORTH 12TH AVENUE

Recommendation: That City Council approve the request for a License to Use Right of Way for eight (8) additional parking spaces within the right-of-way of East Fisher Street at North 12th Avenue, and relocation of a city sidewalk.

Sponsors: Grover C. Robinson, IV

Attachments: [Sharuff, LLC, License to Use Application](#)
[Planning Board Minutes February 11 2020 - DRAFT](#)
[Planning Board Memo February 11, 2020](#)
[Aerial Map](#)

REGULAR AGENDA

3. [20-00102](#) PUBLIC HEARING: REQUEST TO VACATE RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

Recommendation: That City Council conduct a public hearing on March 12, 2020, to consider the request to vacate a portion of the Cevallos Street right of way adjacent to property located in the 400 Block of Cevallos Street.

Sponsors: Grover C. Robinson, IV

Attachments: [Proposed Ordinance No. 16-20](#)
[Vacation of Right Away Application](#)
[Planning Board Minutes February 11, 2020 DRAFT](#)

4. [16-20](#) PROPOSED ORDINANCE NO. 16-20 - VACATION OF RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

Recommendation: That City Council approve Proposed Ordinance No. 16-20 on first reading.

AN ORDINANCE CLOSING, ABANDONING AND VACATING A PORTION OF THE 400 BLOCK OF CEVALLOS STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

Sponsors: Grover C. Robinson, IV

Attachments: [Proposed Ordinance No. 16-20](#)
[Vacation of Right of Way Application](#)
[Planning Board Minutes February 11, 2020 Draft](#)

5. [20-00140](#) YOUTH ENVIRONMENTAL EMPOWERMENT PROGRAM (YEPP)

Recommendation: That City Council approve the Youth Environmental Empowerment Program (YEPP) and authorize the council executive to begin the process of submitting the project for RESTORE Funds and/or other funding opportunities.

Sponsors: Jewel Cannada-Wynn

Attachments: [YEPP Proposed Budget](#)

- 6. [2020-08](#) SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-08 - BLUE WAHOOS BASEBALL STADIUM PROTECTIVE NETTING

Recommendation: That City Council adopt Supplemental Budget Resolution No. 2020-08.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

Sponsors: Grover C. Robinson, IV

Attachments: [Supplemental Budget Resolution No. 2020-08](#)
[Supplemental Budget Explanation No. 2020-08](#)

- 7. [2020-09](#) SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-09 - INDIGENT HEALTH CARE SPECIAL ASSESSMENT

Recommendation: That City Council adopt Supplemental Budget Resolution No. 2020-09.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

Sponsors: Grover C. Robinson, IV

Attachments: [Supplemental Budget Resolution No. 2020-09](#)
[Supplemental Budget Explanation No. 2020-09](#)

COUNCIL EXECUTIVE’S REPORT

MAYOR’S COMMUNICATION

COUNCIL COMMUNICATIONS

CIVIC ANNOUNCEMENTS

SECOND LEROY BOYD FORUM

ADJOURNMENT

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00158

City Council

3/12/2020

SUBJECT:

APPROVAL OF MINUTES: REGULAR MEETING DATED FEBRUARY 27, 2020



City of Pensacola

CITY COUNCIL

Regular Meeting Minutes

February 27, 2020

5:30 P.M.

Council Chambers

Council President Cannada-Wynn called the meeting to order at 5:30 P.M.

ROLL CALL

Council Members Present: Jewel Cannada-Wynn, Jared Moore, Ann Hill, John Jerrals, Sherri Myers, Andy Terhaar, P.C. Wu

Council Members Absent: None

Also Present: Mayor Grover C. Robinson, IV

INVOCATION

Rev. Lonnie D. Wesley, III, Pastor - Greater Little Rock Baptist Church

PLEDGE OF ALLEGIANCE

Council Member Sherri Myers

FIRST LEROY BOYD FORUM

Gloria Horning: Addressed Council regarding her concerns related to water and air quality in the vicinity of the Government Street stormwater pond; advised she has resigned from the City's Environmental Advisory Board; and indicated continued building on the bayfront is overwhelming the infrastructure.

The following individuals expressed concerns regarding installation of 5G cell towers:

Donald Knapp

John Herron (provided hand-out to Council Members - - on file)

Mayor Robinson and several Council Members made follow-up remarks.

AWARDS

None

APPROVAL OF MINUTES

1. [20-00115 APPROVAL OF MINUTES: REGULAR MEETING DATED FEBRUARY 13, 2020](#)

A motion to approve was made by Council Member Terhaar and seconded by Council Member Hill.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

APPROVAL OF AGENDA

A motion to approve the agenda as presented was made by Council Member Terhaar and seconded by Council Moore.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

CONSENT AGENDA

2. [20-00030 AWARD OF BID #20-008 DAVIS HIGHWAY AT CARPENTER'S CREEK \(NORTHSIDE\) STORMWATER TREATMENT ENHANCEMENT PROJECT](#)

Recommendation: That City Council award Bid #20-008 Davis Highway at Carpenter's Creek (Northside) Stormwater Treatment Enhancement Project to Site and Utility, LLC of Pensacola Florida, the lowest and most responsible bidder with a base bid of \$445,111.00 plus a 10% contingency in the amount of \$44,511.10 for a total amount of \$489,622.10. Further, that City Council authorize the Mayor to execute the contract and take all actions necessary to complete the project.

CONSENT AGENDA (CONT'D.)

3. [20-00070](#) AWARD OF RFP NO. 19-033, PENSACOLA INTERNATIONAL AIRPORT PERIMETER INTRUSION DETECTION SYSTEM

Recommendation: That City Council award RFP No. 19-033, Perimeter Intrusion Detection System, to Security Engineering of Pensacola, Inc., the only responsible proponent, with a base proposal of \$242,181.67, plus a 10% contingency in the amount of \$24,218 for a total amount of \$266,399.67. Further, that City Council authorize the Mayor to execute the contract and take all actions necessary to complete the project.

4. [20-00094](#) FEDERAL COURTHOUSE PARKING LEASE - NORTH PALAFOX LOT

Recommendation: That the City Council approve a lease with the United States Government for Federal Courthouse parking at the North Palafox Parking Lot. Further that City Council authorize the Mayor, if necessary, to execute all necessary documents.

5. [20-00095](#) APPOINTMENTS - ENVIRONMENTAL ADVISORY BOARD

Recommendation: That City Council reappoint Calvin Avant, William "Blase" Butts, Katie Fox, Michael Lynch, and Neil Richards, who are employed or retired environmental professionals, or members of local environmental organizations, or a business with an interest in City environmental issues; and reappoint Kyle Kopytchak and appoint Alexander Kozmon, who are residents or property owners of the City as at large members for a term of two (2) years, expiring March 1, 2022.

6. [20-00108](#) MEMORANDUM OF UNDERSTANDING BETWEEN THE ESCAMBIA COUNTY PROPERTY APPRAISER, ESCAMBIA COUNTY TAX COLLECTOR, AND THE CITY OF PENSACOLA FOR COLLECTION OF FRAUDULENTLY CLAIMED HOMESTEAD EXEMPTIONS LEADING TO UNPAID TAXES

Recommendation: That City Council approve the Memorandum of Understanding between the Escambia County Property Appraiser, Escambia County Tax Collector, and the City of Pensacola. Further, that City Council authorize the Mayor to execute all documents related to the Memorandum of Understanding.

A motion to approve consent agenda Items 2, 3, 4, 5, and 6, by Council Member Terhaar and seconded by Council Member Moore.

The motion carried by the following vote:

Yes: 7	Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0	None

REGULAR AGENDA**7. [20-00079](#) AWARD OF CONTRACT FOR ITB 20-024 - STREET LIGHT FOUNDATION AND CONDUIT REPLACEMENT**

Recommendation: That City Council award a contract for ITB 20-024 Street Light Foundations and Conduit Replacement to Ingram Signalization Inc., the lowest and most responsible bidder with a base bid amount of \$448,560, plus a 5% contingency of \$22,428, plus \$24,700 for miscellaneous construction items for a total amount of \$495,688.

A motion to approve was made by Council Member Moore and seconded by Council Member Terhaar.

Council Member Myers made comments indicating she will not support this project due to the funding coming from Local Option Sales Tax (LOST).

Mayor Robinson responded to Council Member Myers' comments.

Public input was heard from John Herron.

The motion carried by the following vote:

Yes: 5 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, P.C. Wu
No: 2 John Jerrals, Sherri Myers

8. [20-00080](#) AWARD OF CONTRACT FOR ITB 20-021- FY 2020 STREET REHABILITATION

Recommendation: That City Council award a contract for ITB 20-021 Fiscal Year 2020 Street Rehabilitation Bid. 20-021 Project to Midsouth Paving Inc. the lowest and most responsible bidder with a base bid amount of \$1,071,649.00 and Alternate 1 bid amount of \$133,814.50 for a total bid amount of \$1,205,463.50 plus a 5% contingency of \$60,273.18 plus \$6,000.00 for miscellaneous construction items for a total amount of \$1,271,736.68.

A motion to approve was made by Council Member Hill and seconded by Council Member Terhaar.

Council Member Myers made comments indicating she will not support this project.

The motion carried by the following vote:

Yes: 5 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, P.C. Wu
No: 2 John Jerrals, Sherri Myers

REGULAR AGENDA (CONT'D.)9. [20-00046](#) FY 2019 COMPREHENSIVE ANNUAL FINANCIAL REPORT (CAFR)

Recommendation: That City Council accept the City of Pensacola Comprehensive Annual Financial Report for the year ended September 30, 2019 as prepared by the Financial Services Department and the Independent Auditors Report issued thereupon.

Kristen McAllister, CPA and Senior Manager of the Audit Division for Warren Averett CPA & Advisors briefly addressed Council.

A motion to approve was made by Council Member Terhaar and seconded by Council Member Moore.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

10. [20-00099](#) WORKSHOP FOR CITY COUNCIL TO DISCUSS THEIR PRIORITIES WITHIN THE STRATEGIC PLAN, THE COUNCIL'S BUDGET AND COUNCIL'S PRIORITIES FOR THE FY21 BUDGET

Recommendation: That City Council conduct a workshop to discuss their priorities within the City's Strategic Plan, discuss the City Council's Budget and Priorities for the FY21 Budget. Further, that Council authorize the Council President to schedule the workshop to be held within the month of March.

A motion to approve was made by Council Member Moore and seconded by Council Member Terhaar.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

REGULAR AGENDA (CONT'D.)

11. [02-20 PROPOSED ORDINANCE NO. 02-20 - REQUEST FOR ZONING MAP AMENDMENT - COMMUNITY MARTITIME PARK PARCELS](#)

Recommendation: That City Council adopt Proposed Ordinance No. 02-20 on second reading:

AN ORDINANCE AMENDING THE ZONING CLASSIFICATION OF CERTAIN PROPERTY PURSUANT TO AND CONSISTENT WITH THE COMPREHENSIVE PLAN OF THE CITY OF PENSACOLA; AMENDING THE ZONING MAP OF THE CITY OF PENSACOLA; REPEALING CLAUSE AND EFFECTIVE DATE. ([Ordinance No. 06-20](#))

A motion to adopt was made by Council Member Moore and seconded by Council Member Hill.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

12. [05-20 REVISED: PROPOSED ORDINANCE NO. 05-20 - VACATION OF RIGHT OF WAY - BAPTIST ANNEXATION AREA](#)

Recommendation: That City Council adopt Proposed Ordinance No. 05-20 on second reading.

AN ORDINANCE CLOSING, ABANDONING AND VACATING RAWSON LANE FROM BRENT LANE TO CORDAY STREET, CORDAY STREET FROM DIXIE DRIVE TO I-110, AND JOE ELLIOTT WAY IN ITS ENTIRETY; IN PENSACOLA, ESCAMBIA COUNTY, STATE OF FLORIDA; REPEALING CLAUSE, AND PROVIDING AN EFFECTIVE DATE. ([Ordinance No. 07-20](#))

A motion to adopt was made by Council Member Hill and seconded by Council Member Moore.

The motion carried by the following vote:

Yes: 6 Jewel Cannada-Wynn, Jared Moore, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None
Abstain: Andy Terhaar

REGULAR AGENDA (CONT'D.)**13. [13-20 PROPOSED ORDINANCE NO. 13-20 - ESTABLISHING THE URBAN CORE REDEVELOPMENT BOARD](#)**

Recommendation: That City Council adopt Proposed Ordinance No. 13-20 on second reading:

AN ORDINANCE ESTABLISHING AN URBAN CORE REDEVELOPMENT BOARD; REPEALING CLAUSE; SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE. ([Ordinance No. 08-20](#))

A motion to adopt was made by Council Member Hill and seconded by Council Member Terhaar.

The motion carried by the following vote:

Yes: 7 Jewel Cannada-Wynn, Jared Moore, Andy Terhaar, Ann Hill, John Jerrals, P.C. Wu, Sherri Myers
No: 0 None

COUNCIL EXECUTIVE'S REPORT

Council Executive Kraher addressed Council regarding the following:

- Working on scheduling workshops and town hall meetings for March.
- Coordinating with the Mayor's office regarding the Unity Project Committee.

MAYOR'S COMMUNICATION

Mayor Robinson advised he will be in Tallahassee next week addressing legislators and then to Washington D.C. (missing the 3/9 Agenda Conference). He made comments commending the Florida League of Cities (FLC) work assisting local government throughout the State. He indicated he is looking forward to upcoming town hall meetings.

COUNCIL COMMUNICATIONS

Council Member Wu made follow-up remarks on comments expressed during LeRoy Boyd Forum.

Council Member Myers commented she appreciates bi-weekly meeting with Mayor Robinson. She also clarified statements she made at the last Council meeting (on 2/13/20) concerning about a call she received from a constituent related to animal control issues and did not intend to stereotype any breed of animal.

CIVIC ANNOUNCEMENTS

None

SECOND LEROY BOYD FORUM

None

ADJOURNMENT

WHEREUPON the meeting was adjourned at 6:28 P.M.

Adopted: _____

Approved: _____
Jewel Cannada-Wynn, President of City Council

Attest:

Ericka L. Burnett, City Clerk

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME TERHAAR RICHARD ANDREW	NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE PENSACOLA CITY COUNCIL
MAILING ADDRESS 3142 OXFORD CIR	THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY
CITY PENSACOLA FL	COUNTY ESCAMBIA
DATE ON WHICH VOTE OCCURRED 2/27/2020	NAME OF POLITICAL SUBDIVISION: DISTRICT 3
	MY POSITION IS: <input checked="" type="checkbox"/> ELECTIVE <input type="checkbox"/> APPOINTIVE

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, RICHARD TERHAAR, hereby disclose that on 2/27/2020, 20 :

(a) A measure came or will come before my agency which (check one or more)

- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, _____ ;
- inured to the special gain or loss of my relative, _____ ;
- inured to the special gain or loss of _____, by whom I am retained; or
- inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

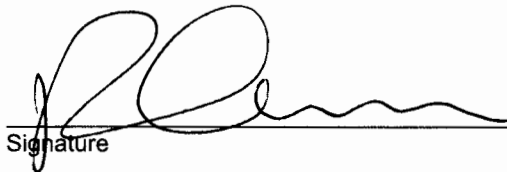
(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

AN AGREEMENT WAS SIGNED BETWEEN A COMPANY I HAVE OWNERSHIP IN (CTPROPERTIES) AND BAPTIST HOSPITAL. THE AGREEMENT WAS MADE SO THAT BAYS COULD BE VACATED TO BAPTIST.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

2/27/2020

Date Filed


Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00101

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

REQUEST FOR LICENSE TO USE RIGHT OF WAY - EAST FISHER STREET AT NORTH 12TH AVENUE

RECOMMENDATION:

That City Council approve the request for a License to Use Right of Way for eight (8) additional parking spaces within the right-of-way of East Fisher Street at North 12th Avenue, and relocation of a city sidewalk.

HEARING REQUIRED: No Hearing Required

SUMMARY:

Sharuff, LLC, is requesting approval for a License to Use for eight (8) additional parking spaces within the Right of Way on East Fisher Street at North 12th Avenue. The additional parking being requested is in conjunction with a proposed new restaurant to be located at 2800 North 12th Avenue and includes the relocation of a city sidewalk.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes

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2/20/2020

STAFF CONTACT:

Keith Wilkins, City Administrator
Kerrith Fiddler, Deputy City Administrator, Community Development
Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Sharuff, LLC License to Use Application
- 2) Planning Board Minutes February 11, 2020 - DRAFT
- 3) Planning Board Memo February 11, 2020
- 4) Aerial Map

PRESENTATION: No



License To Use City Right-Of-Way

Residential License To Use

Application Fee: \$500.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: N/A
Insurance Coverage: \$300,000.00

Commercial License To Use

Application Fee: (Minor) \$500.00
(Major) \$1,000.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: (Minor) \$500.00
(Major) \$1,000.00
Insurance Coverage: \$1,000,000.00

**Pensacola Neighborhood
Challenge Grant**

Application Fee: N/A

Applicant: David Sharuff

Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550

Email: d_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

** If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information **

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379

Location Address: 2800 N. 12th Ave., Pensacola, Fl.

Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: _____
Additional parking area for proposed development of restaurant

Please attach a map indicating the actual dimensions of the requested license.

For Office Use Only		
District: _____	Zoning: _____	
Date Received: <u>1/21/2020</u>	Case Number: _____	Annual Fee: _____
Planning Board date: _____	Recommendation: _____	Amount of Insurance Coverage: _____
City Council date: _____	Council Action: _____	

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

License To Use City Right-Of-Way

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
 - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
 - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
 - (3) No application shall be considered complete until all of the following has been submitted:
 - (a) The application shall be submitted on a form provided by the Board Secretary.
 - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
 - 1. Accurate site plan drawn to scale;
 - 2. Reason for license to use request.
 - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
 - (5) Any party may appear in person, by agent, or by attorney.
 - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
 - (1) Public Notice for license to use right-of-way.
 - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
 - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
 - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:
Full legal name of the Corporation: _____

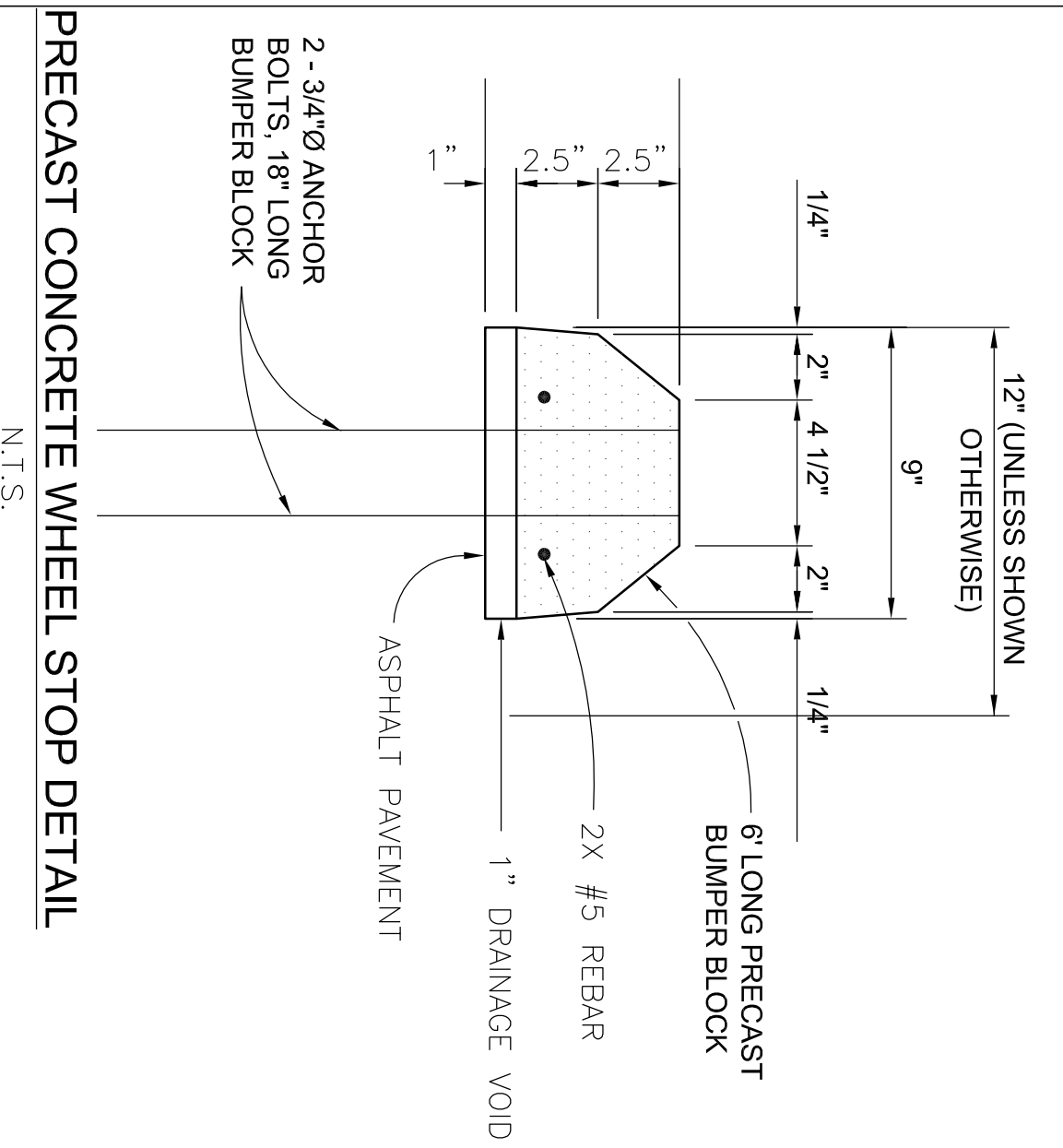
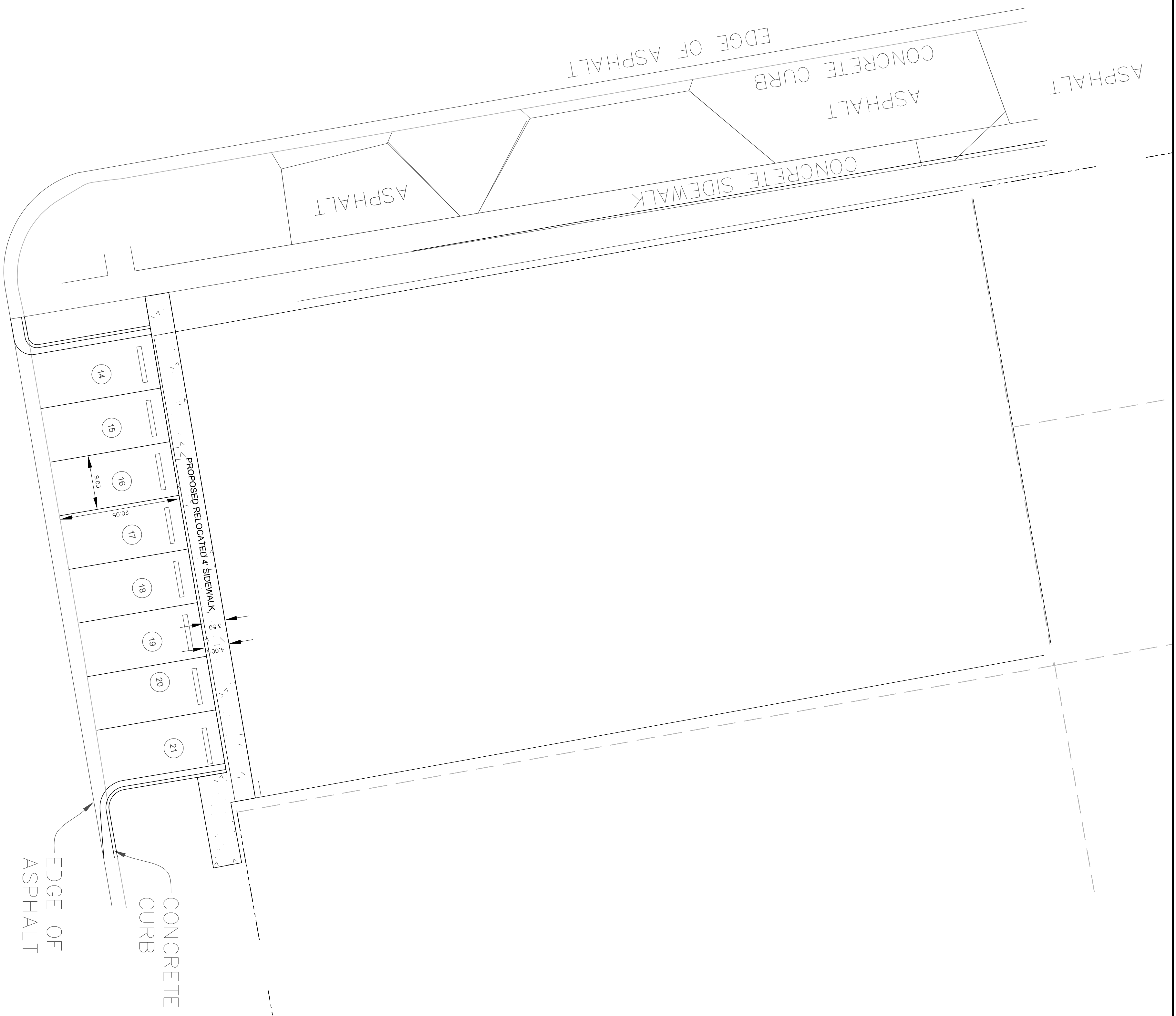
Official Corporate Address: _____
President or Vice-President:
Name & Title – _____

Corporate Secretary: Name – *Paul Sharuff*
Limited Liability Company (LLC):
Full legal name of company: Sharuff, LLC

Official Address: 638 Shore Drive, Miramar Beach, Fl. 32550

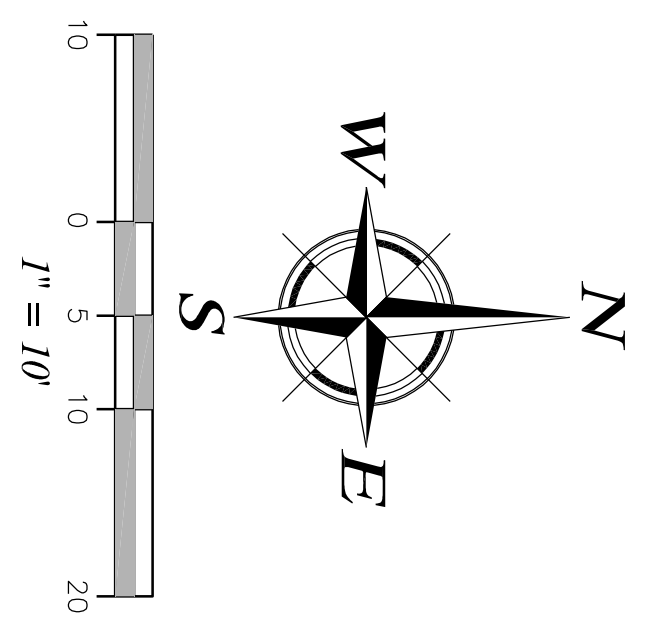
Managing Member or member:
Name & Title – David Sharuff, MGR

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.

LEGAL DESCRIPTION OF PARKING
TO BE PROVIDED BY SURVEYOR



SITE DATA SUMMARY

LEGAL DESCRIPTION:

PARCEL ID NUMBERS:
00-05-00-0025-019-380
LEGAL DESCRIPTION:
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM W FISHER...

SITE DATA:

CURRENT LAND USE: COMMERCIAL (C-1)	FUTURE USE: RETAIL COMMERCIAL (C-1)
FUTURE LAND USE: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
ZONING: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
CURRENT USE: NORTH: COMMERCIAL	RETAIL COMMERCIAL (C-1)
SOUTH: MIXED USE	RETAIL COMMERCIAL (C-1)
EAST: VACANT	RETAIL COMMERCIAL (C-1)
WEST: SINGLE FAMILY RESIDENCE	RETAIL COMMERCIAL (C-1)

SETBACK SUMMARY:

FRONT: 0' REQUIRED	7' PROVIDED
SIDE: 0' REQUIRED	2.3' PROVIDED ON NORTH SIDE
REAR: 0' REQUIRED	14' PROVIDED ON SOUTH SIDE
	18.5' PROVIDED

SITE SUMMARY:

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

PROPOSED BUILDING HEIGHT:
TOTAL BUILDING AREA = 2,074 S.F.
COVERED PORCH AREA = 712 S.F.

TABULATION OF REQUIRED PARKING SPACES:

PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =	21 SPACES REQUIRED
SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =	5 SPACES
TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT =	26 SPACES REQUIRED
TOTAL ADA SPACES PROVIDED = 1 SPACE	21 SPACES PROVIDED

Sec. 12-2-1 A.6.
The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

FLOOD ZONE INFORMATION:

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

PRELIMINARY

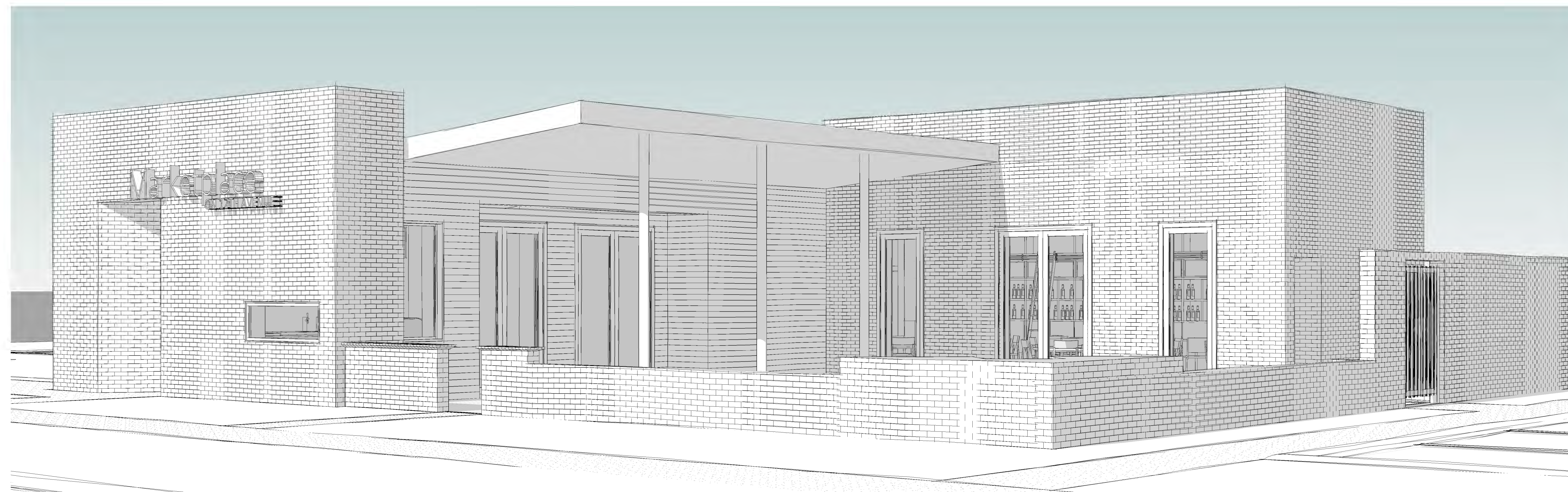
NOT RELEASED FOR CONSTRUCTION, ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

<p>PENSACOLA TAPAS 2800 N 12TH AVENUE CITY OF PENSACOLA ESCAMBIA COUNTY, FL</p>	<p>REVISIONS</p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>											<p>DATE</p> <table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>						<p>ECM a complete engineering & construction management company</p> <p>4639 GULF STARR DRIVE DUSTIN, FLORIDA 32541 E-MAIL: jehamad@gmail.com John H. Elamad, P.E.</p> <p>TELEPHONE: (850) 837-7454 (ENGR.) TELEPHONE: (850) 837-4548 (INSR.) FAX: (850) 654-2000 Florida Registration: #68840, CA #8419</p>
<p>PARKING PLAN</p>	<p>DRAWN BY: JWP CHECKED BY: DJB JOB NO: 19- DATE: ..</p>		<p>C-1</p>															

THESE PLANS AND THE IDEAS AND CONCEPTS CONTAINED HEREIN, INCLUDING DIGITAL INFORMATION, ARE THE PROPERTY OF ECM AND ARE NOT TO BE REPRODUCED, COPIED, MODIFIED, OR CHANGED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF ECM.

seal:

Anthony J. Vallee, Architect
 seal: AR95108



12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: AJJV
 CHECKED BY: Checker
 SCALE:

Issued for: _____ Date: _____

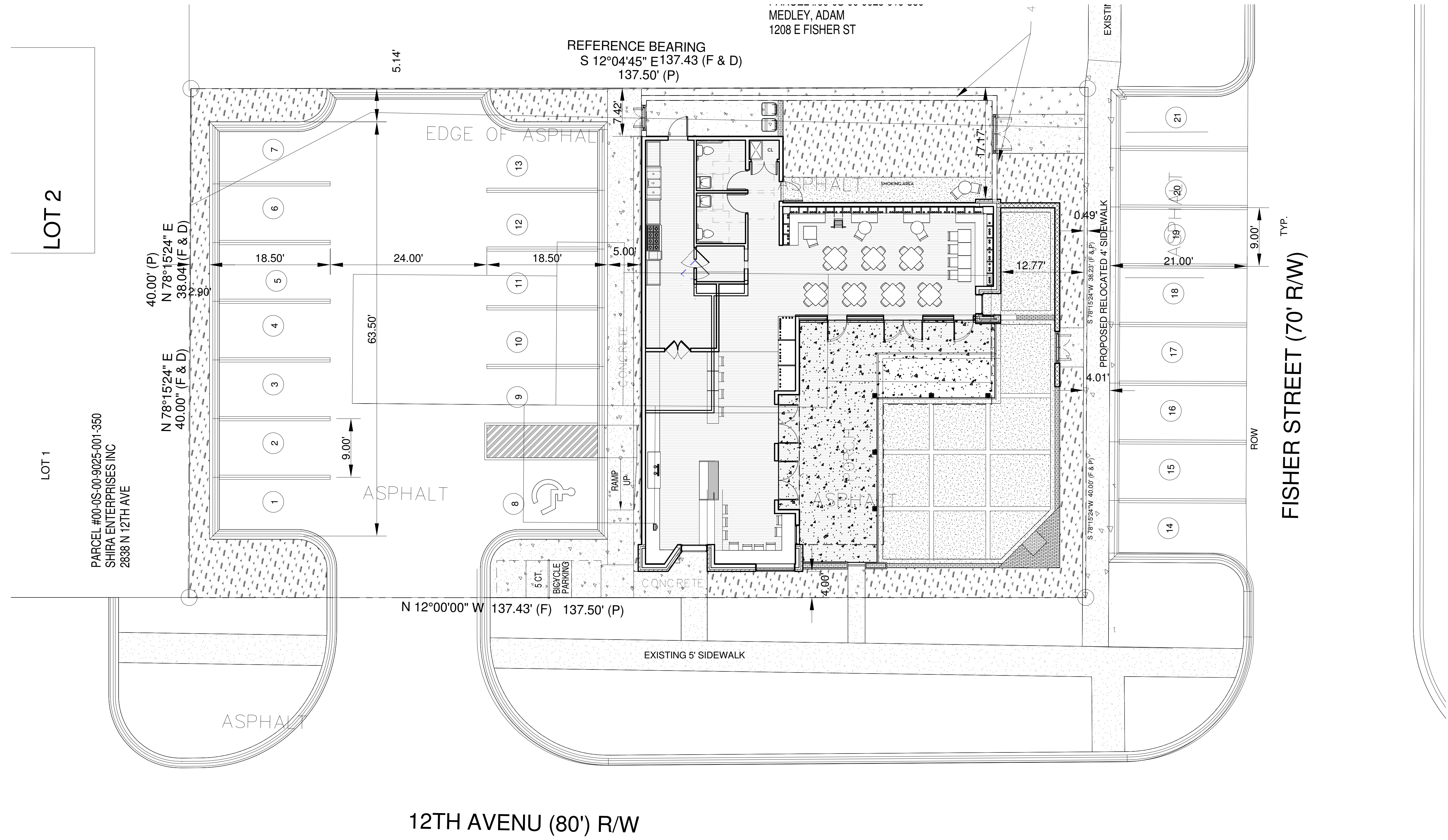
Revision Schedule

COVER



seal:

Anthony J. Vallee, Architect
 seal: AR95108



12TH AVENU (80') R/W

FISHER STREET (70' RW)
 TYP.
 ROW

PARCEL #00-0S-00-9025-110-349
 CLARK ROSA, EST OF

project name
MARKETPLACE

project address:

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"

Issued for: _____ Date: _____

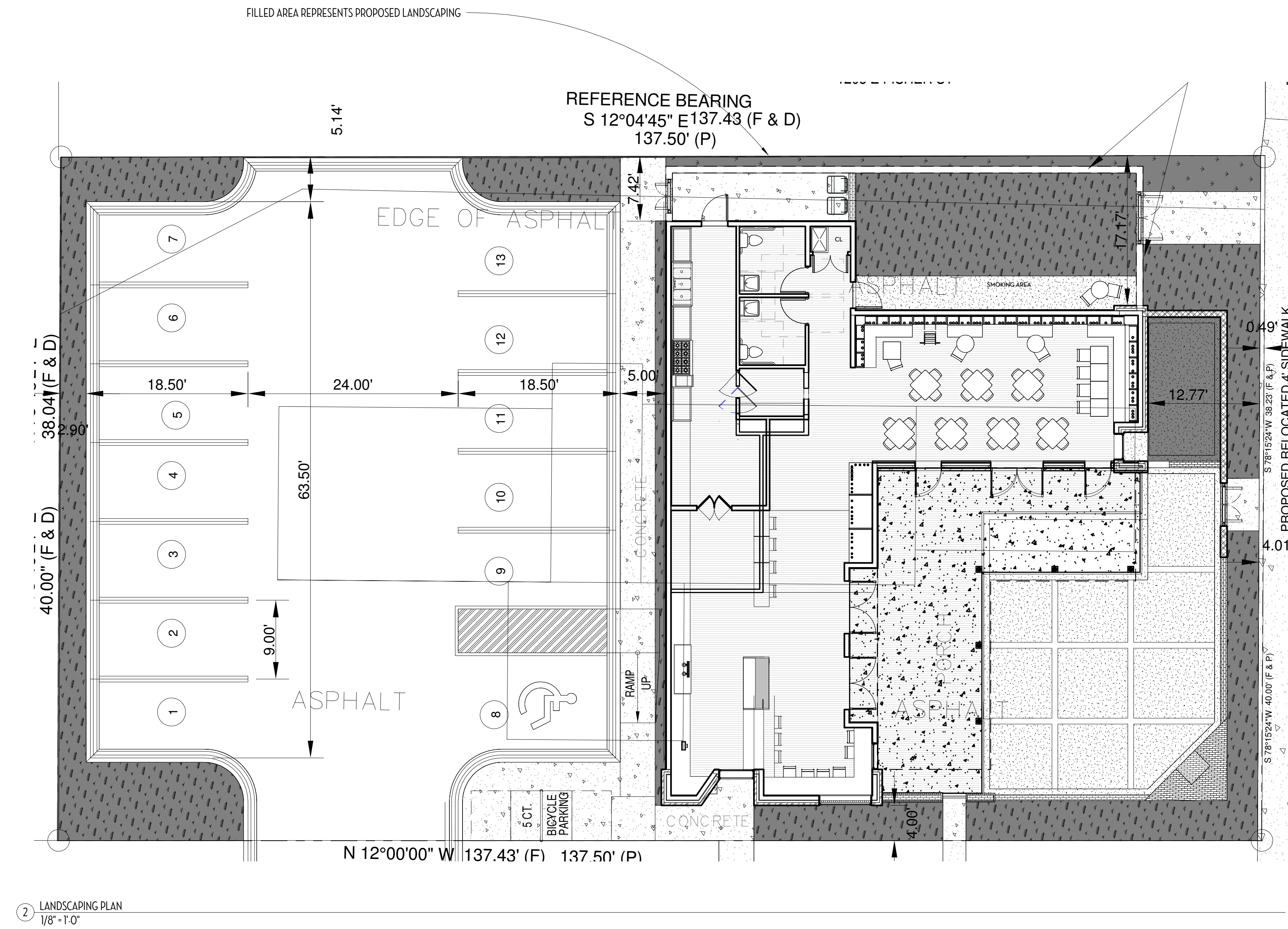
Revision Schedule

SITE PLAN

AO.2

seal:

Anthony J. Vallee, Architect
 seal: AR95108



LANDSCAPE CALCULATION

TOTAL LOT AREA:	10,478.64 SF
TOTAL BUILDING AREA:	2,031 SF
TOTAL LANDSCAPING AREA:	1,814.74 SF
PERCENT LANDSCAPING:	21%

2 LANDSCAPING PLAN
 1/8" = 1'-0"

project name
MARKETPLACE

project address:
 -
 parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"

Issued for: _____ Date: _____

Revision Schedule

LANDSCAPING &
 AREA
AO.3

seal:

Anthony J. Vallee, Architect
 seal: AR95108

APPLICABLE CODES:

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

FIRE MARSHAL NOTES:

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OR EGRESS, TYP.

LEGEND

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXT'R PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

FIRE SAFETY NOTES:

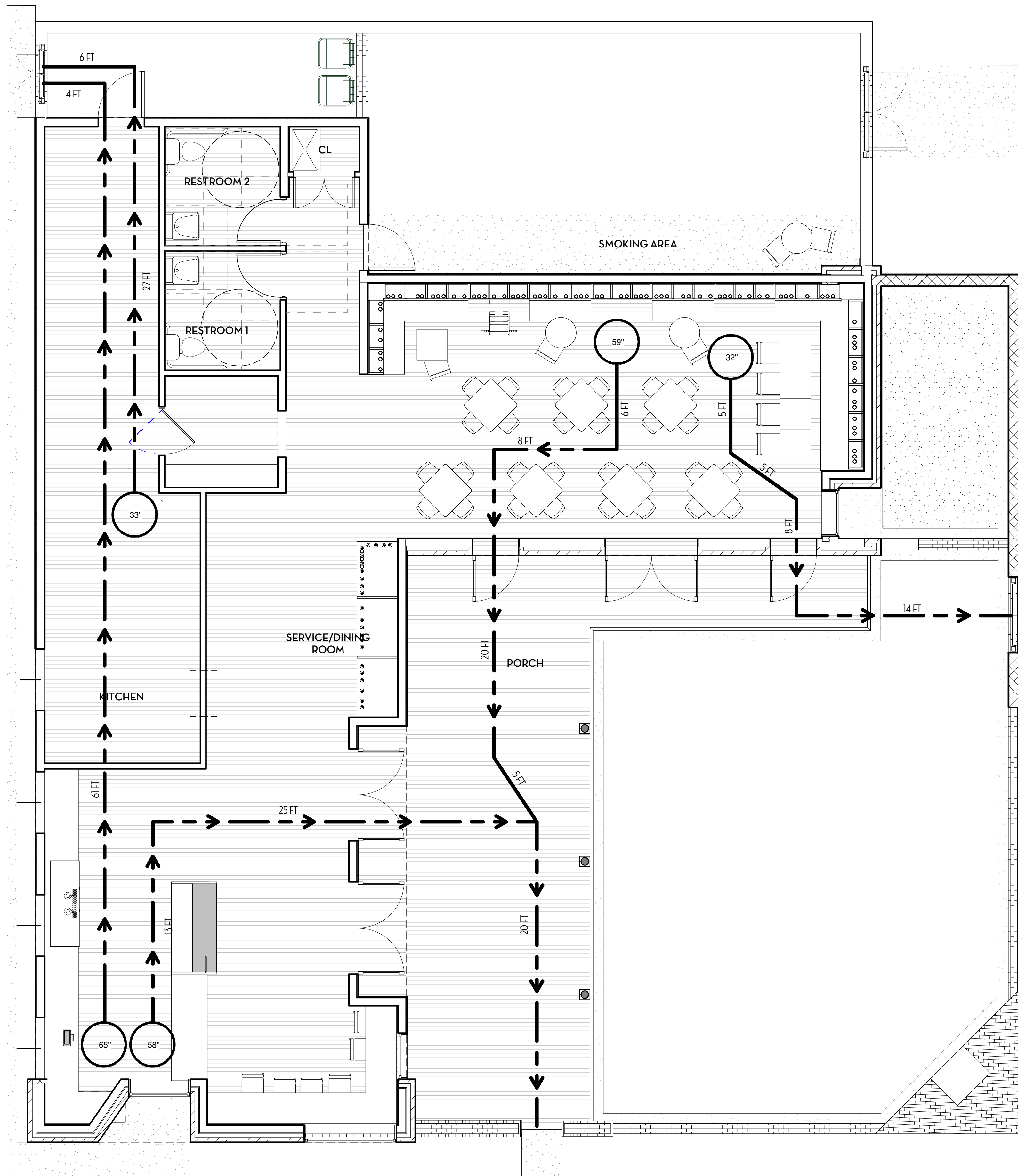
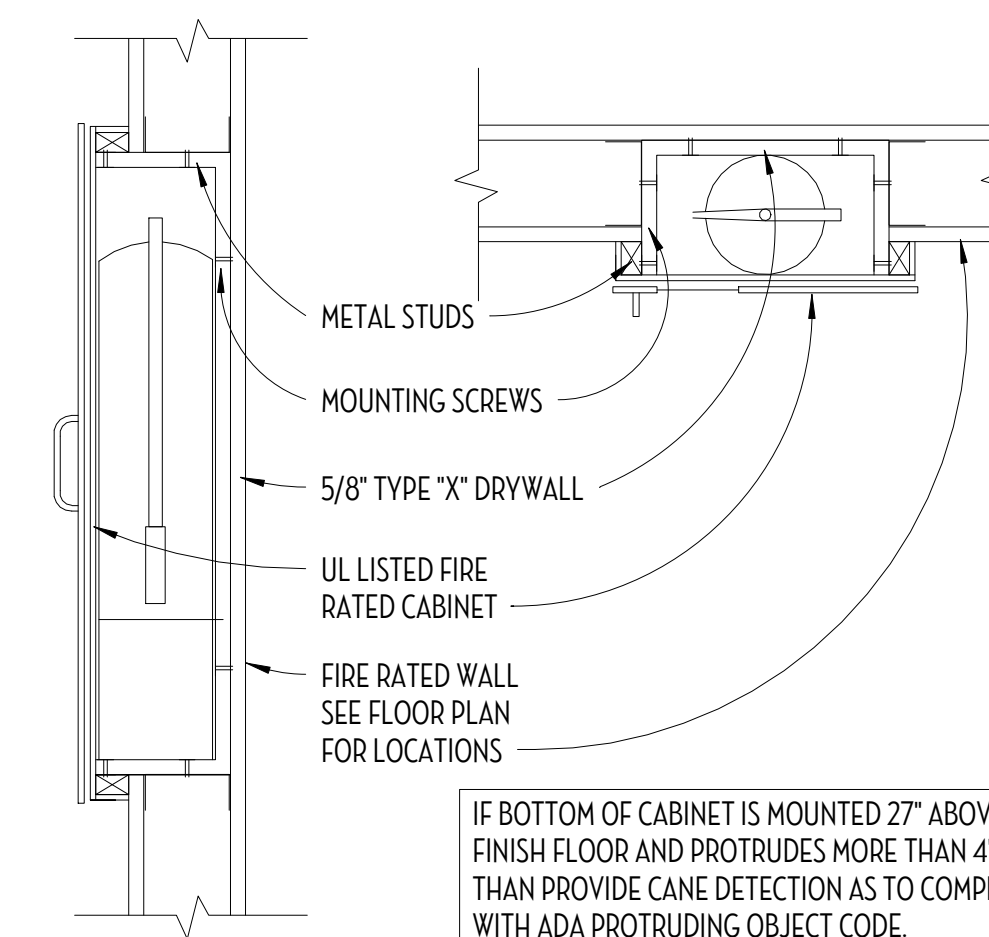
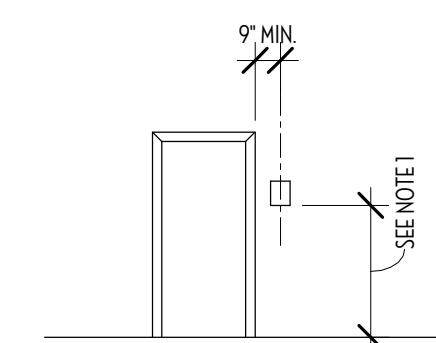
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

FIRE EXTINGUISHERS:

- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

SIGNAGE NOTES:

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



4 LIFE SAFETY PLAN
 1/4" = 1'-0"

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

Issued for: _____ Date: _____

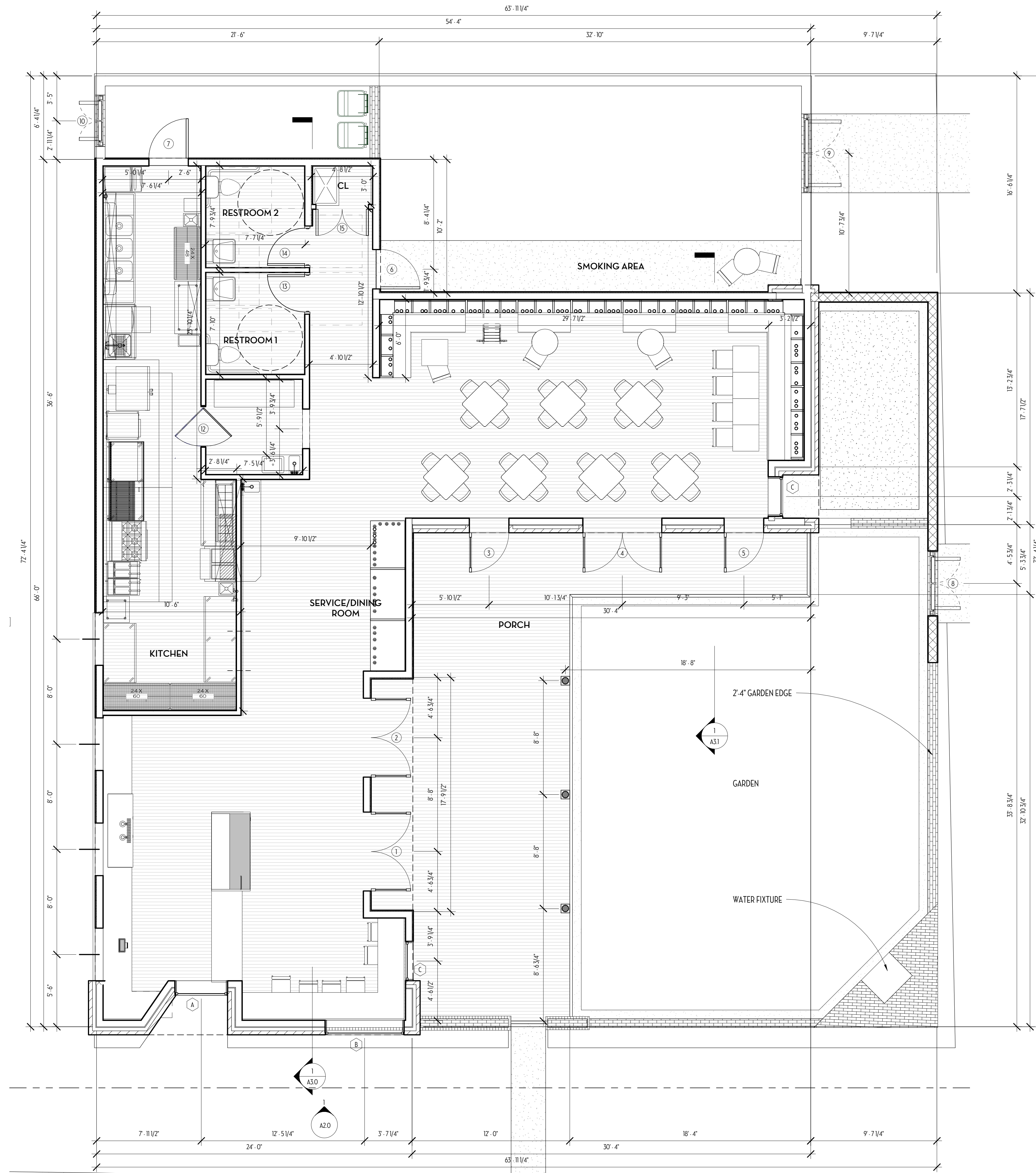
Revision Schedule

NO.	DESCRIPTION	DATE

LIFE SAFETY PLAN

seal:

Anthony J. Vallee, Architect
 seal: AR95108



1 FLOOR PLAN
 1/4" = 1'-0"

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: AJJV
 CHECKED BY: Checker
 SCALE: 1/4" = 1'-0"

Issued for: _____ Date: _____

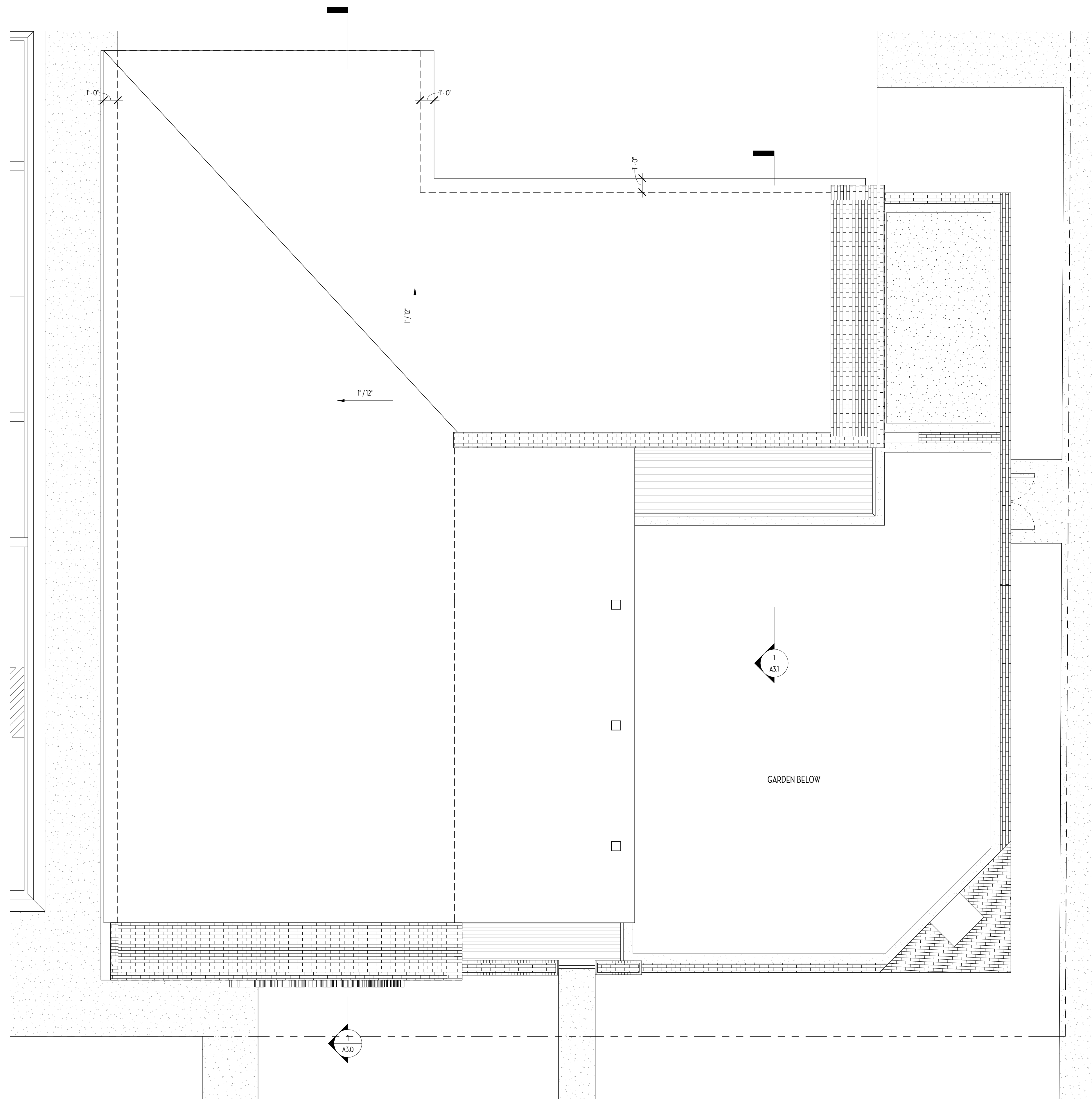
Revision Schedule

FLOOR PLAN

A1.1

seal:

Anthony J. Vallee, Architect
 seal: AR95108



1 ROOF PLAN
 1/4" = 1'-0"

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/4" = 1'-0"

Issued for: _____ Date: _____

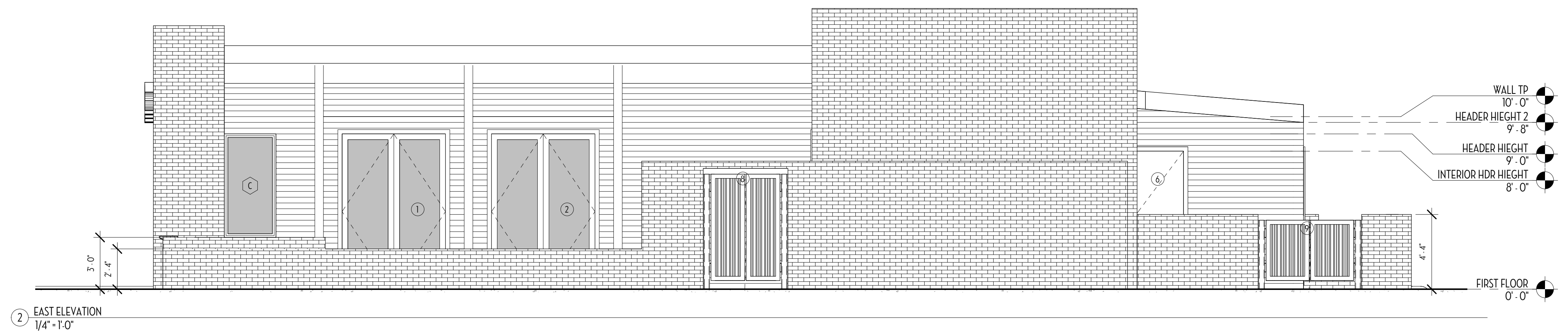
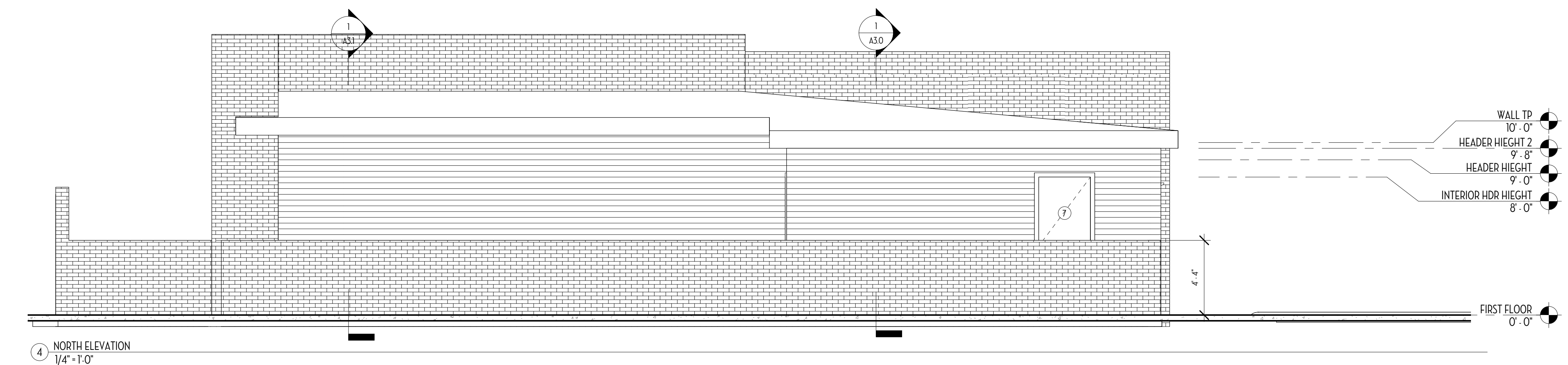
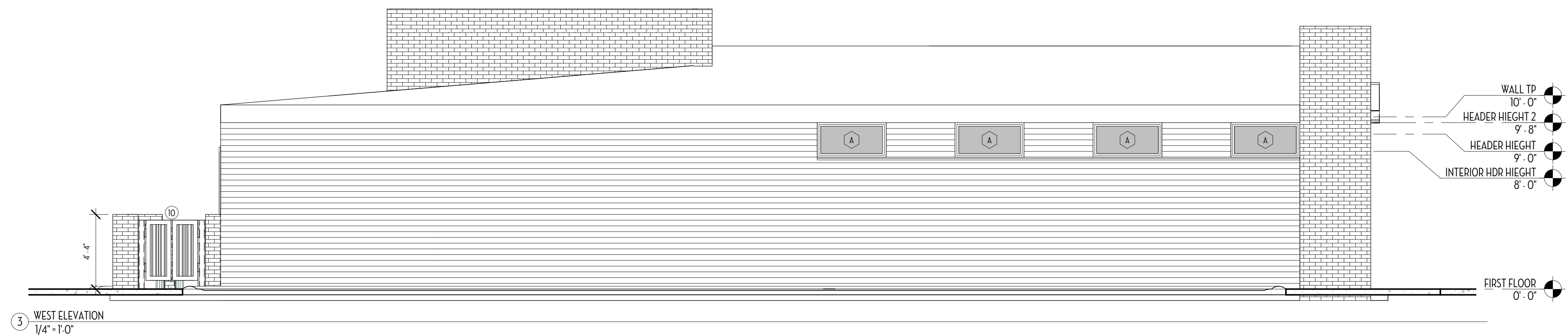
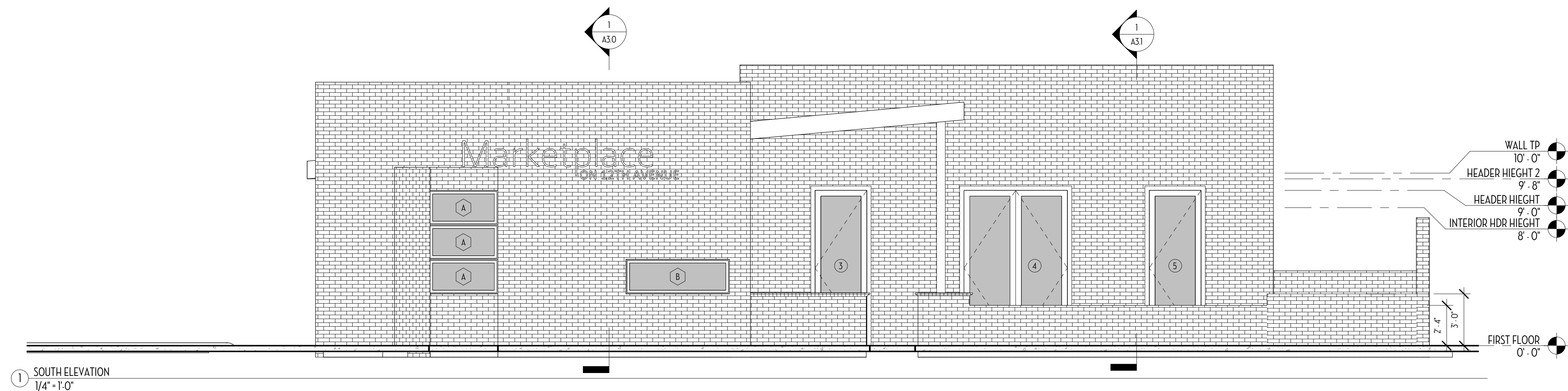
Revision Schedule

ROOF PLAN

A1.2

seal:

Anthony J. Vallee, Architect
seal: AR95108



project name
MARKETPLACE

project address:

-

parcel:

26-25-21-42000-001-0052

SHEET ISSUED:	01/12/20
PROJECT NO:	1924
DRAWN BY:	Author
CHECKED BY:	Checker
SCALE:	1/4" = 1'-0"

Issued for: _____ Date: _____

Revision Schedule

ELEVATIONS

A2.0

architect of record :

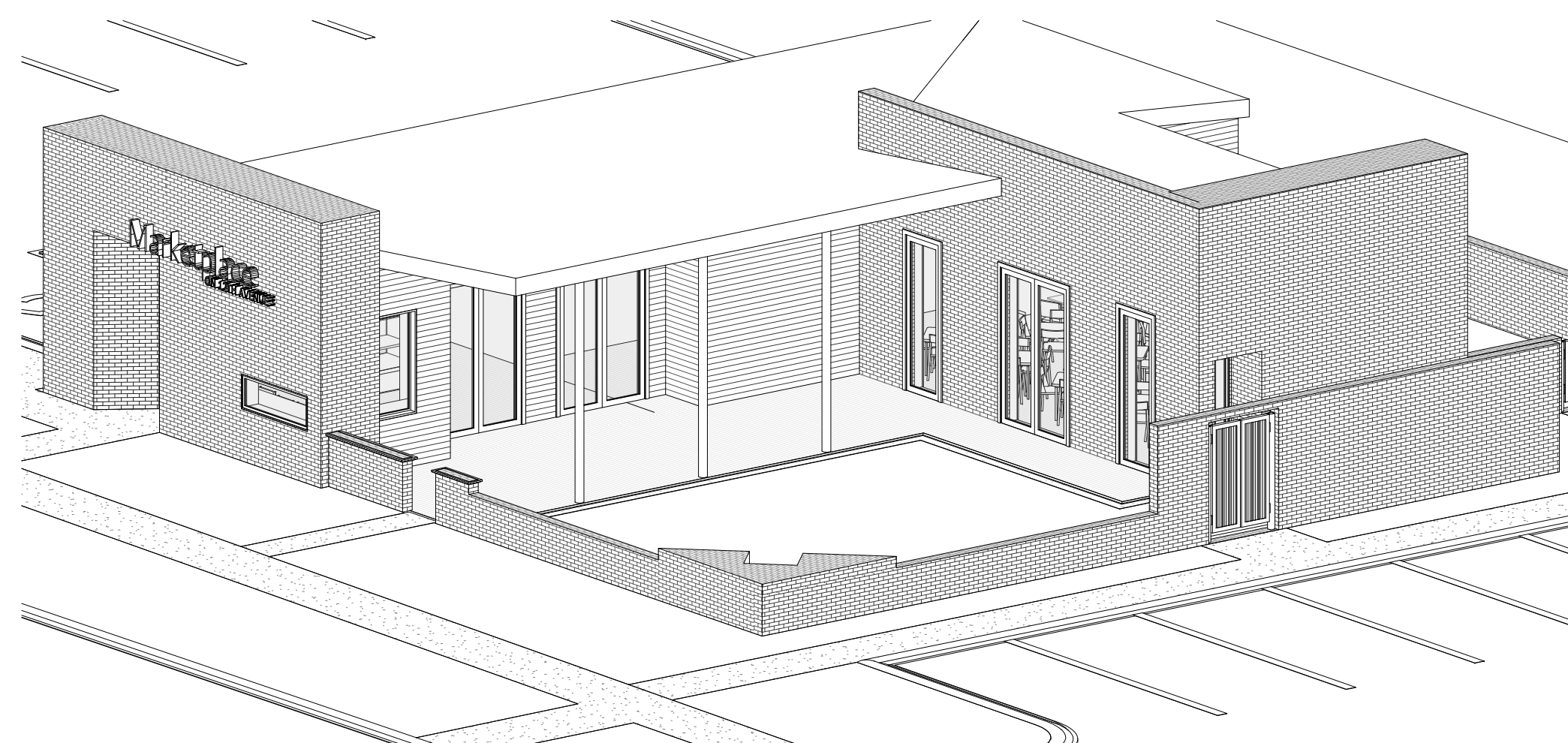
McWhorter Vallee Design

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

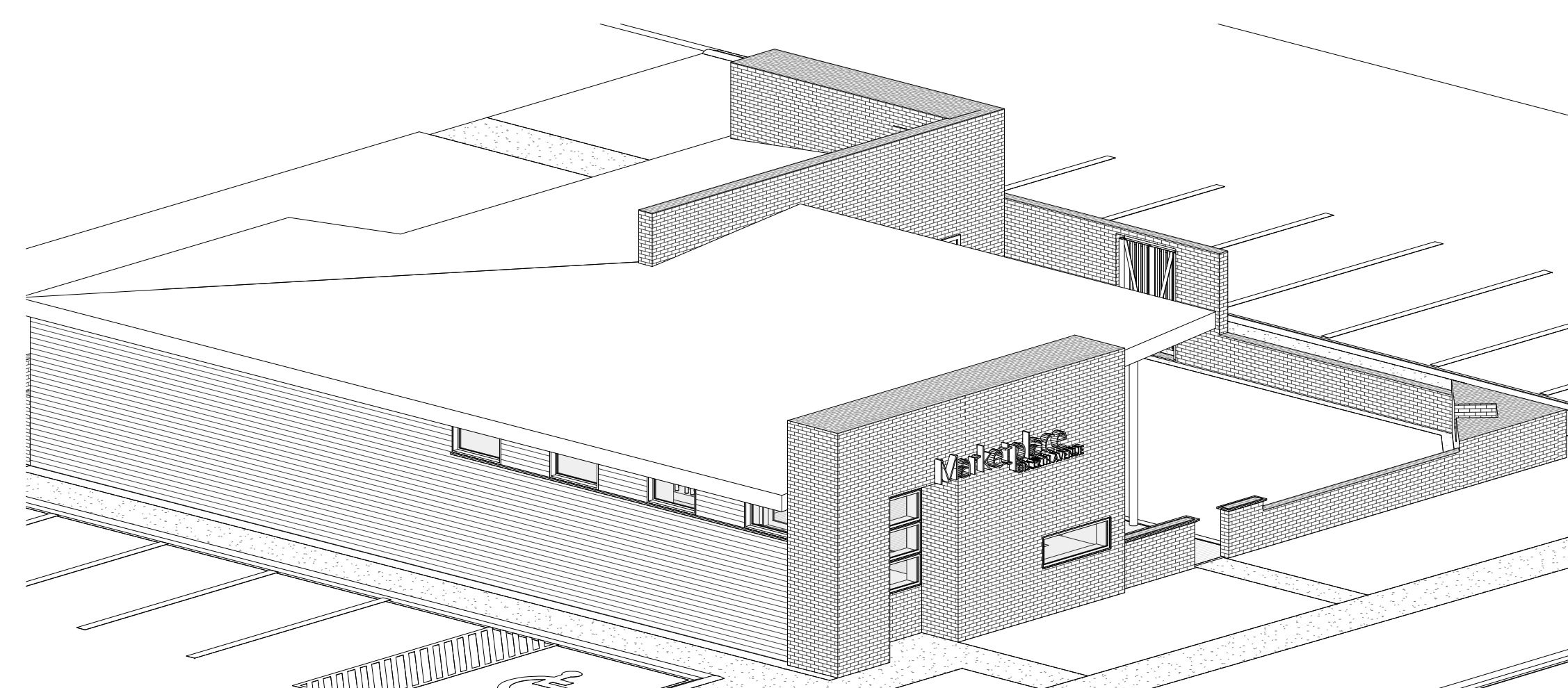
www.mvr.design

seal:

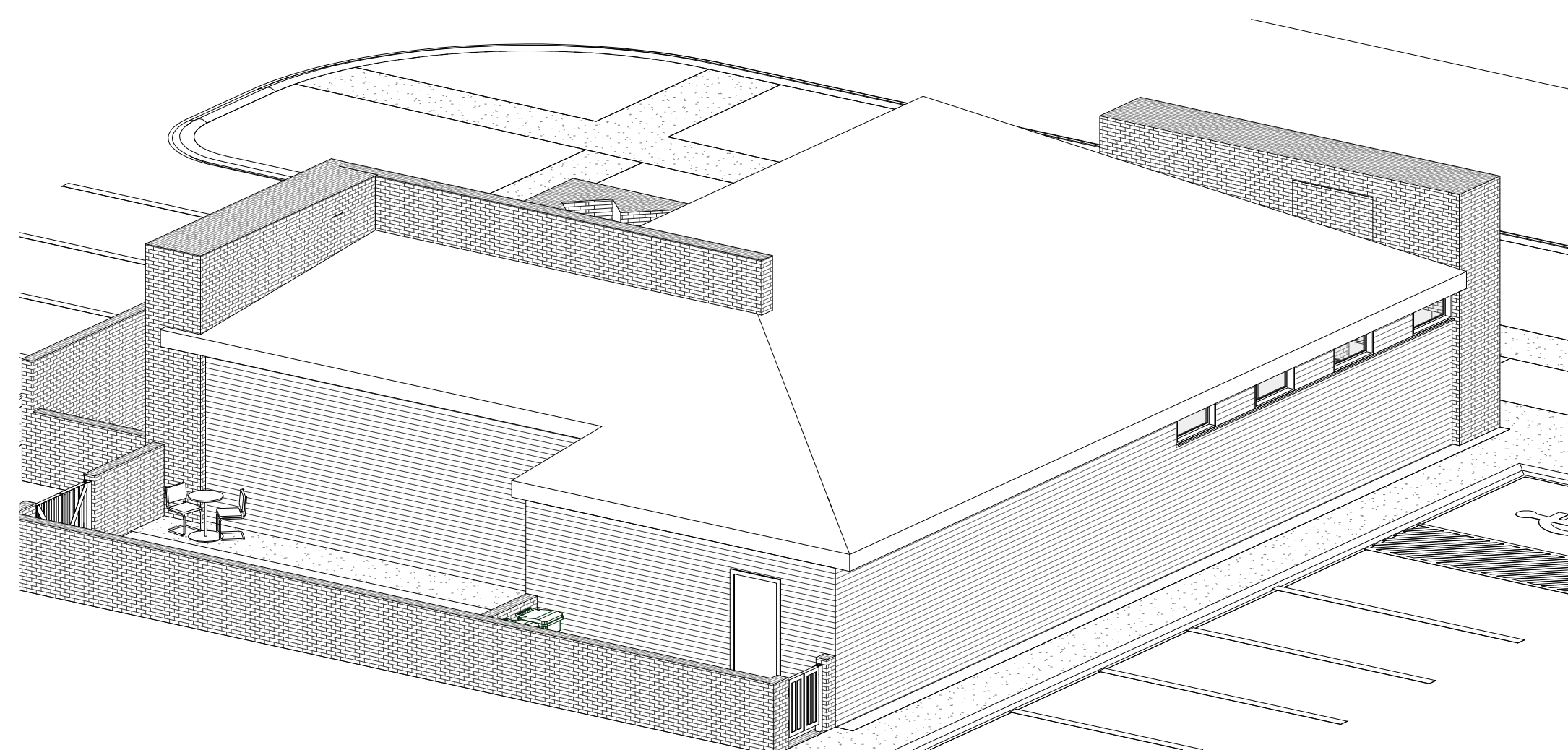
Anthony J. Vallee, Architect
seal: AR95108



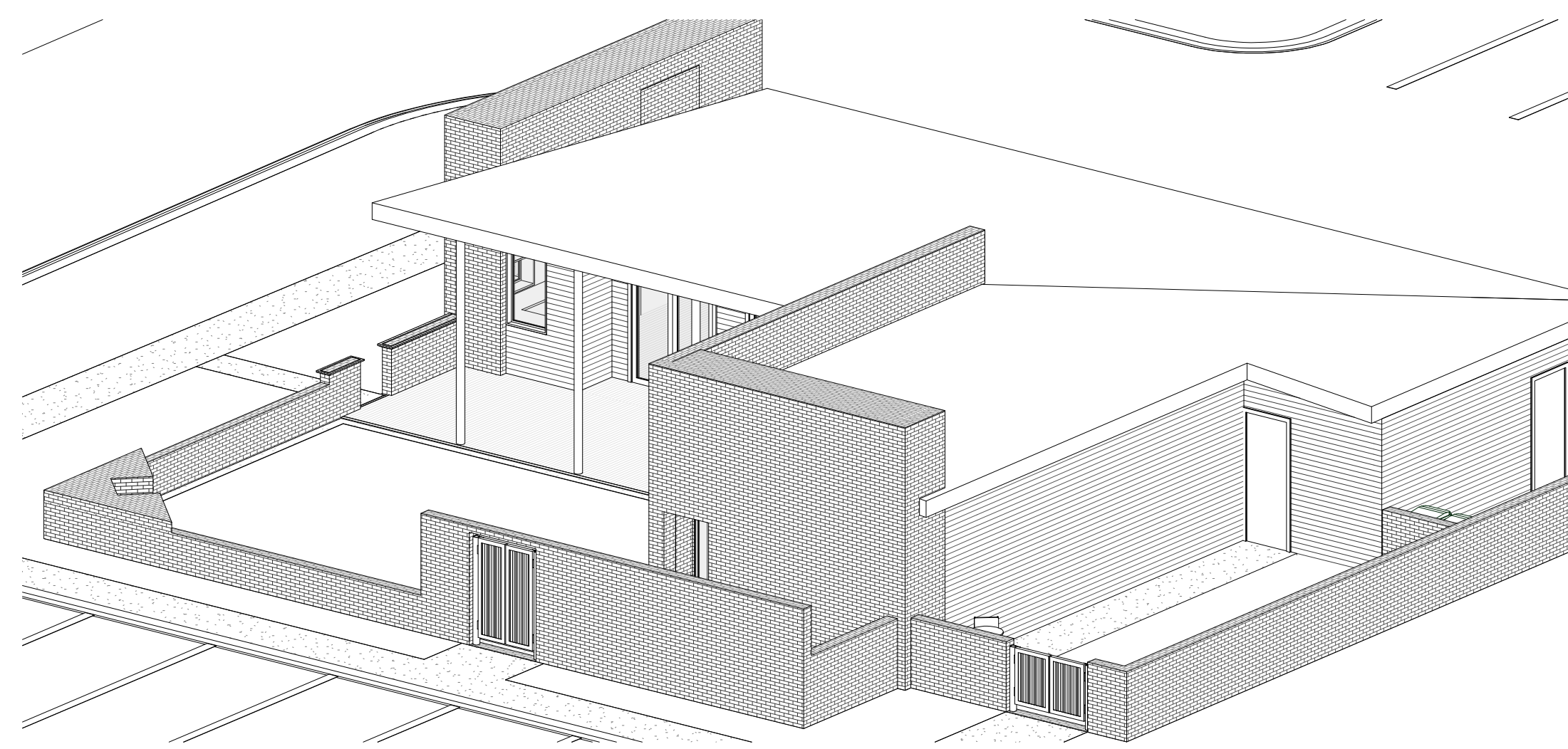
1 Isometric 1



2 Isometric 2



3 Isometric 3



4 Isometric 4

project name

MARKETPLACE

project address:

-

parcel:

26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
PROJECT NO: 1924
DRAWN BY: Author
CHECKED BY: Checker
SCALE:

Issued for: _____ Date: _____

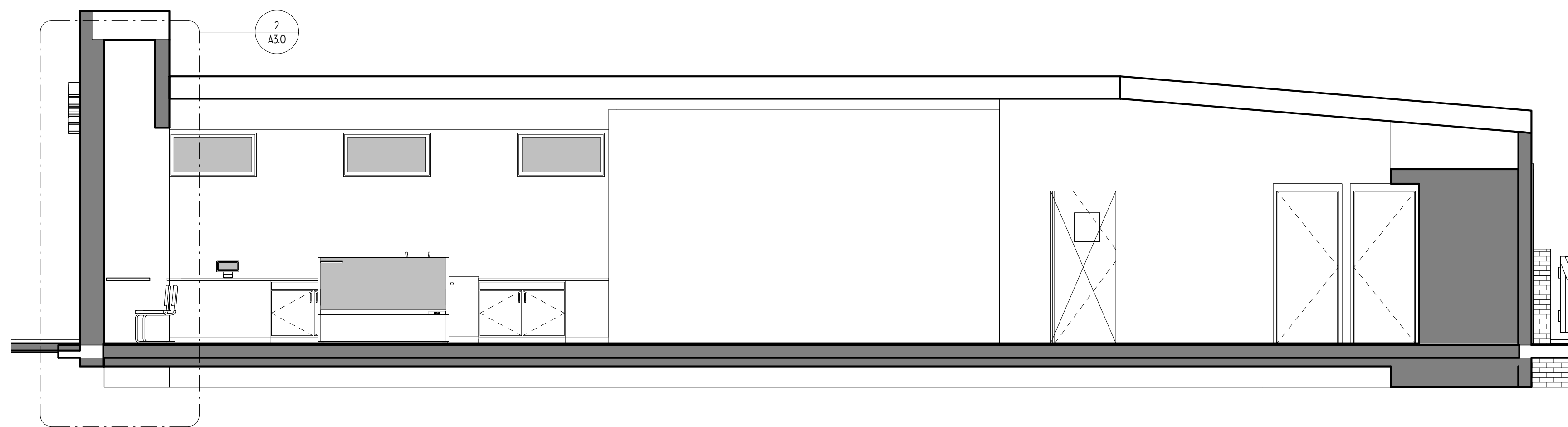
Revision Schedule

3D VIEWS

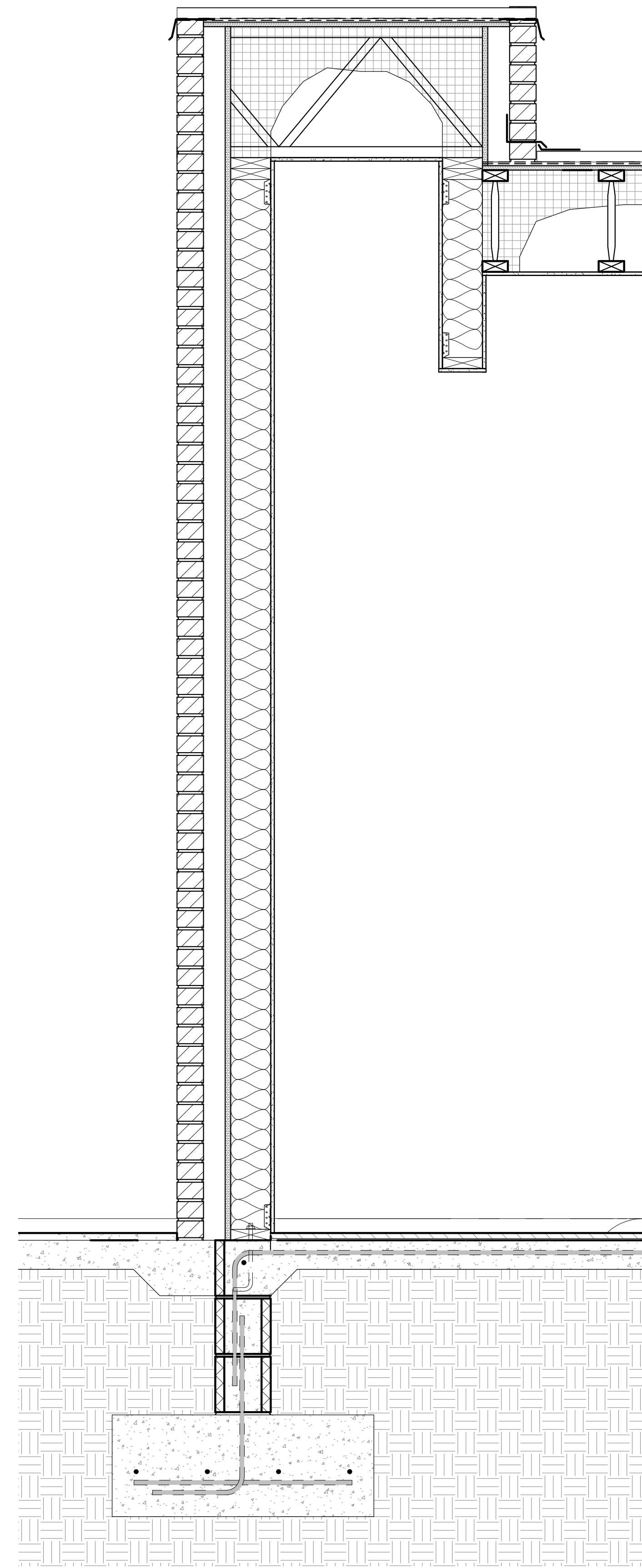
A2.2

seal:

Anthony J. Vallee, Architect
 seal: AR95108



1 BUILDING SECTION 1
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION
 1" = 1'-0"

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
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Revision Schedule

BUILDING
 SECTION
A3.0

architect of record :

McWhorter Vallee Design

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect
seal: AR95108

project name

MARKETPLACE

project address:

-

parcel:

26-25-21-42000-001-0052

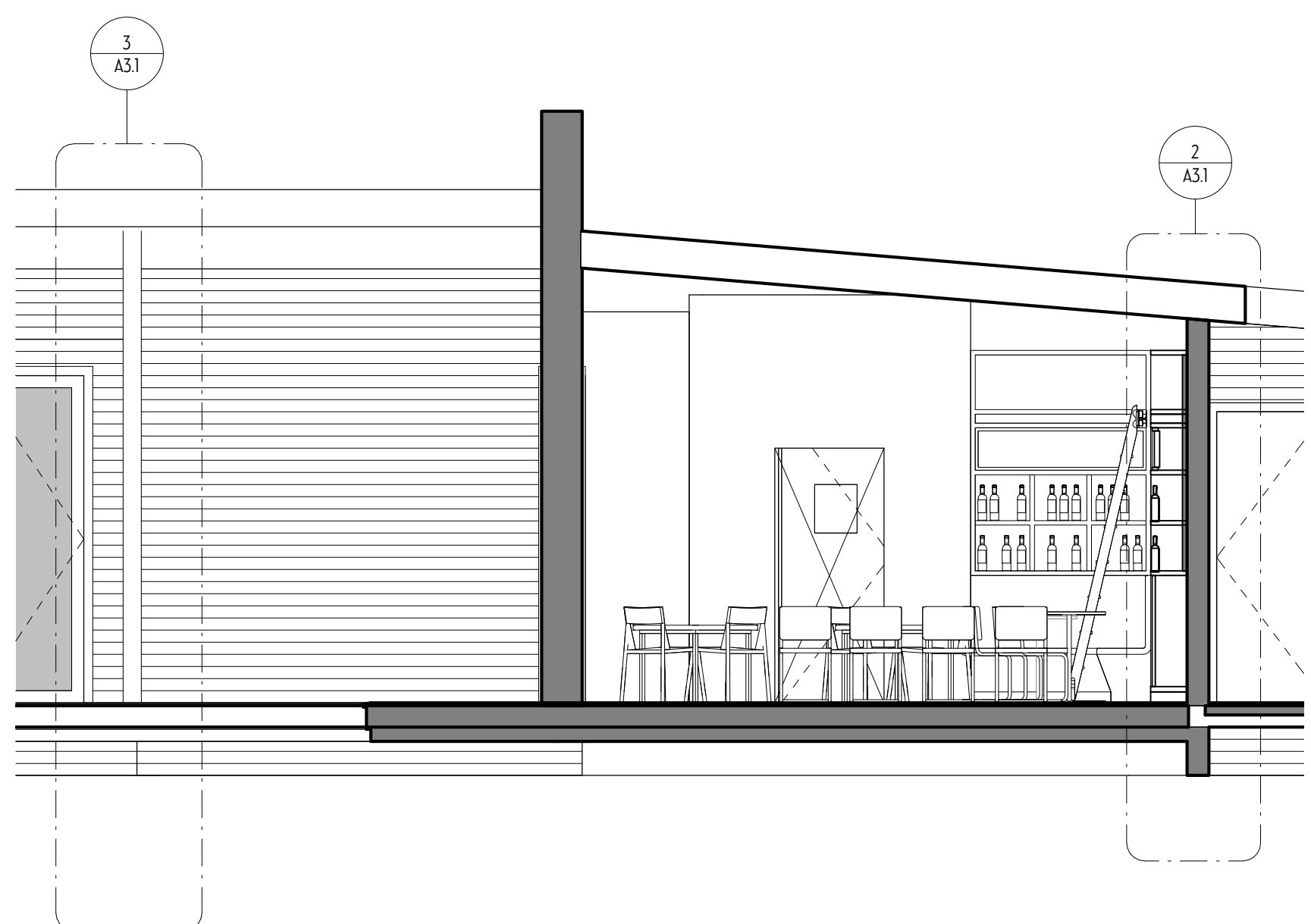
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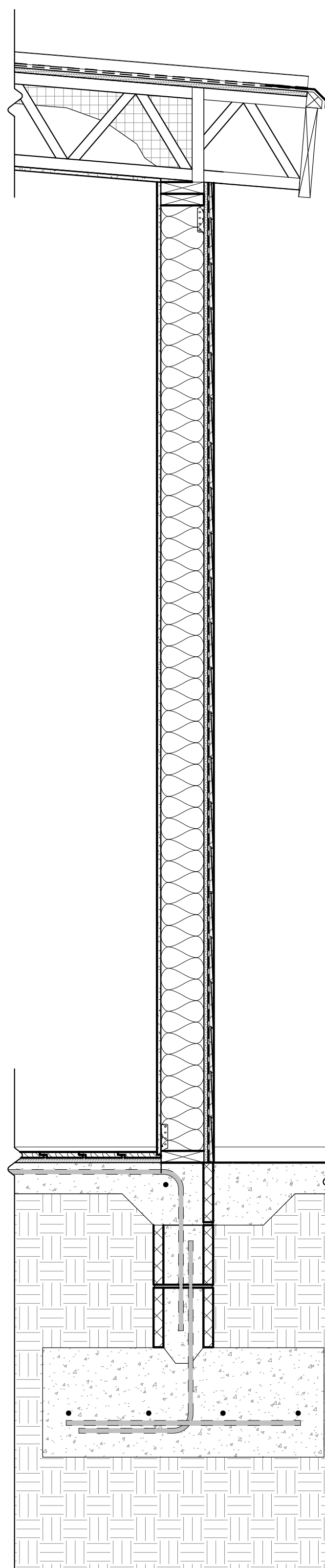
Revision Schedule

BUILDING
SECTION

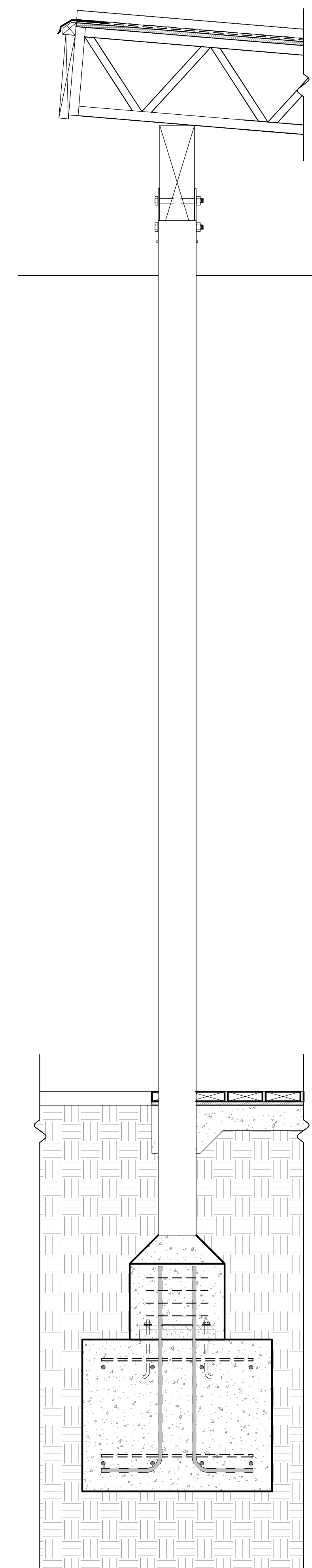
A3.1



1 BUILDING SECTION 2
1/4" = 1'-0"



2 TYPICAL WALL SECTION
1" = 1'-0"



3 BUILDING SECTION 2 - Callout 1
1" = 1'-0"

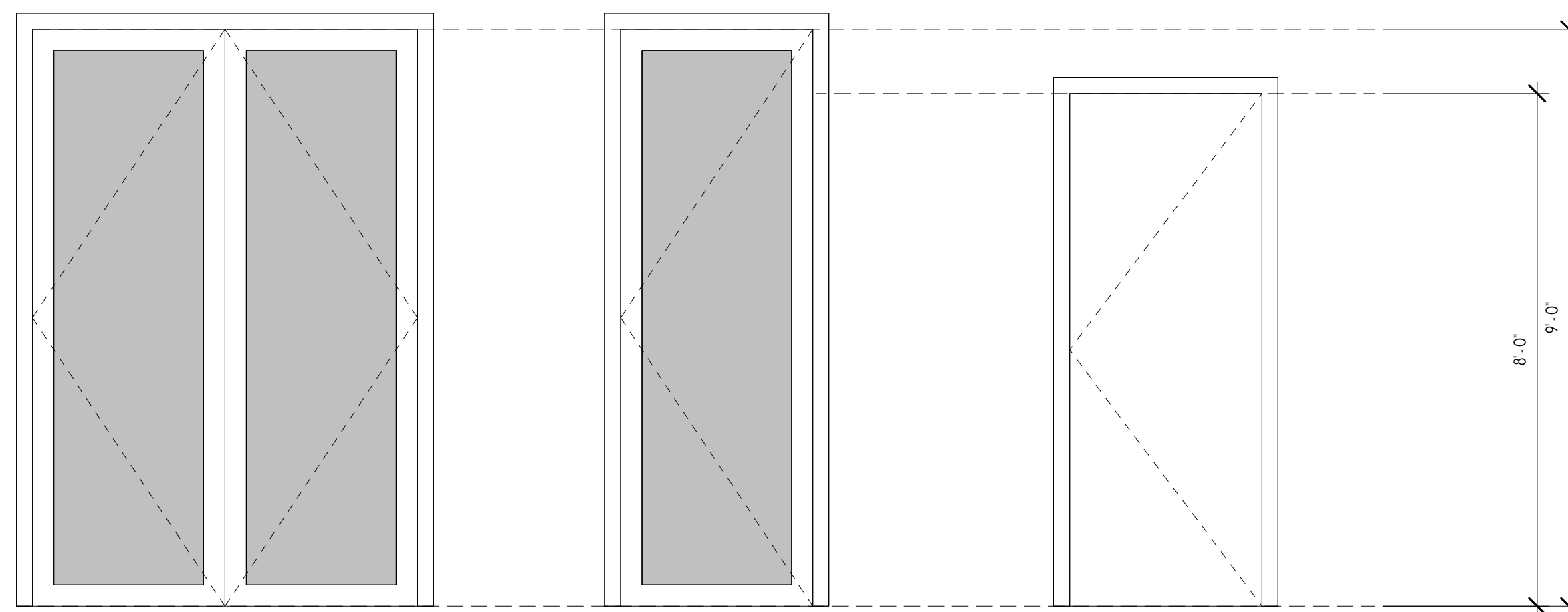
seal:

Anthony J. Vallee, Architect
seal: AR95108

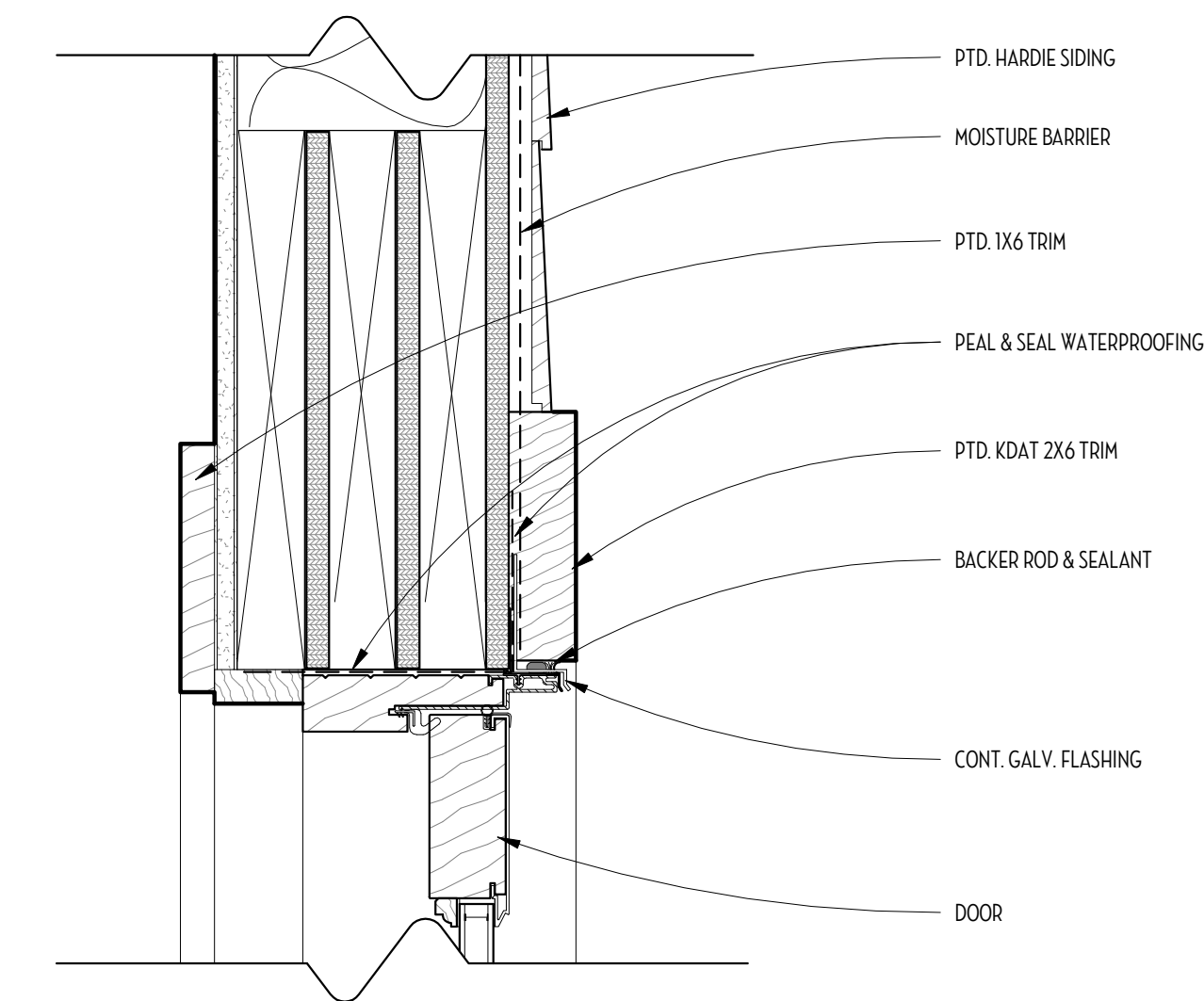
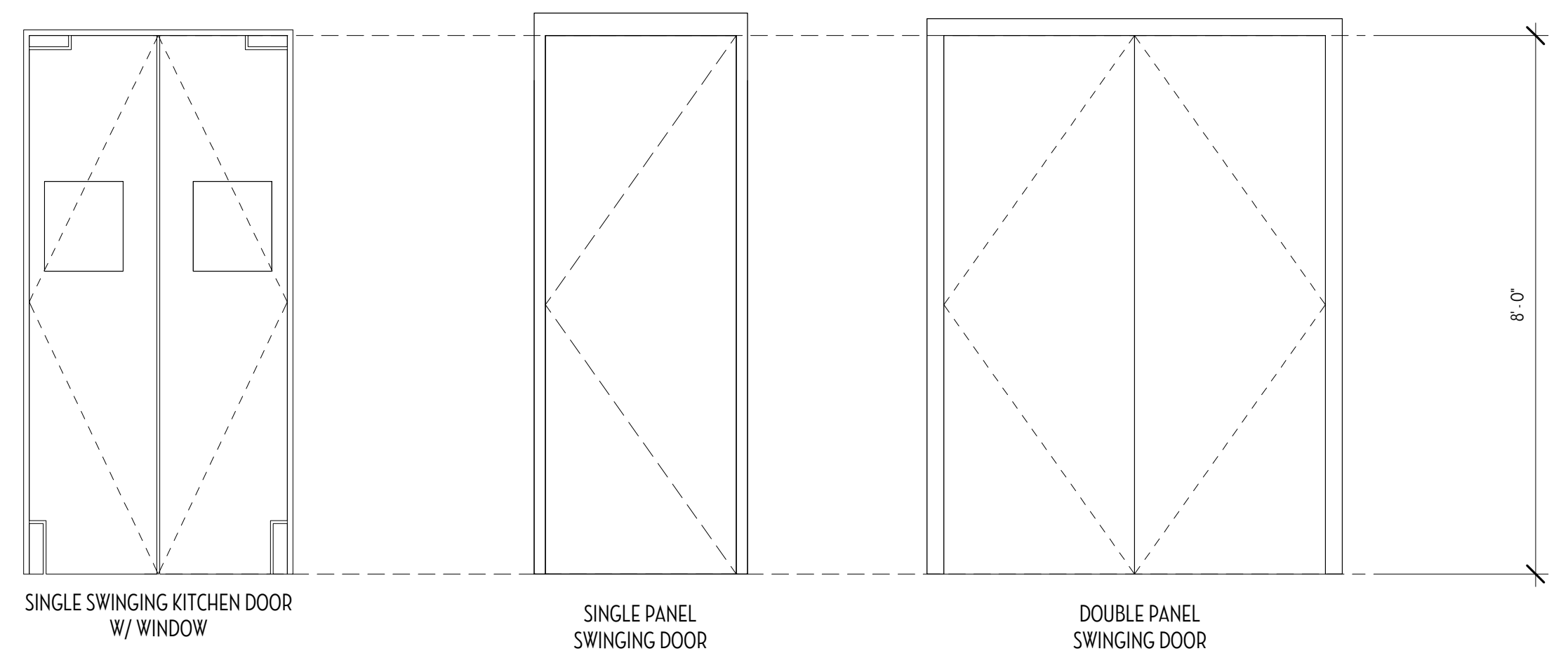
DOOR SCHEDULE					
UNIT	HEIGHT	WIDTH	DESCRIPTION	FINISH	COMMENTS
1	9'-0"	6'-0"			
2	9'-0"	6'-0"			
3	9'-0"	3'-0"			
4	9'-0"	6'-0"			
5	9'-0"	3'-0"			
6	8'-0"	3'-0"			
7	8'-0"	3'-0"			
8	6'-8"	4'-0"			
9	4'-0"	5'-1"			
10	4'-0"	3'-0"			
12	8'-0"	3'-0"	DUAL SWING KITCHEN DOOR WITH WINDOW		
13	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
14	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
15	8'-0"	4'-0"			
X34	0'-0"	0'-0"			

GENERAL NOTES:	GENERAL DOOR HARDWARE PERFORMANCE NOTES:
<ol style="list-style-type: none"> DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL. ALL GLASS TO BE INSULATED LOW-E. UNITS TO BE IMPACT RATED. SEE DOOR STYLES FOR MUNTIN PATTERNS. INSTALL DOOR PER MFR. INSTRUCTIONS. EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION). INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS. DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS & SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS. 	<ul style="list-style-type: none"> PRIVACY HARDWARE SET: ALL BEDROOMS & BATHS TO HAVE TURN PIECE & EMERGENCY RELEASE. KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT. NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE. HALF DUMMY HARDWARE SET: ALL CLOSET DOORS. PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS. ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF. ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS. GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC. THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.

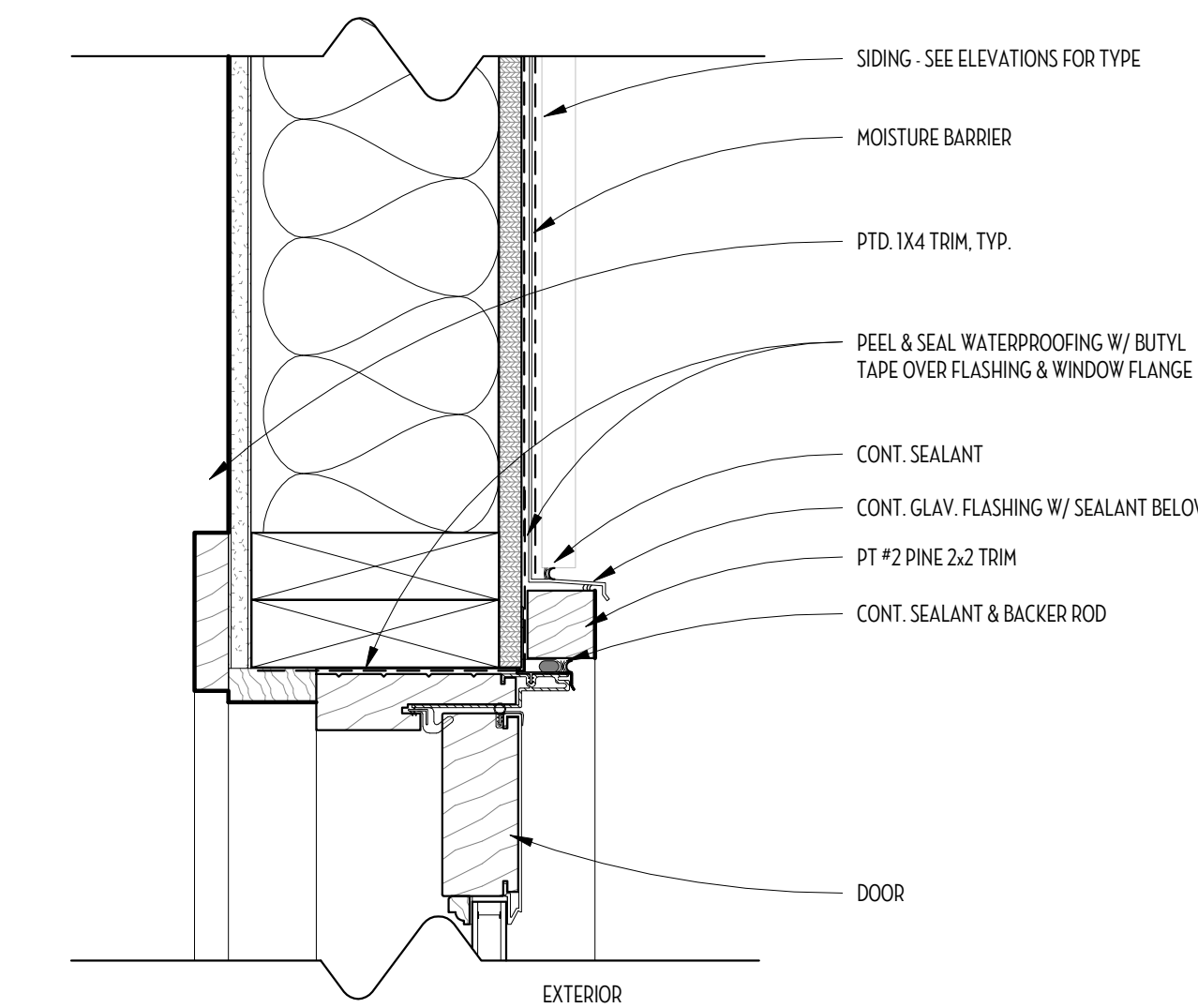
EXTERIOR DOOR TYPES



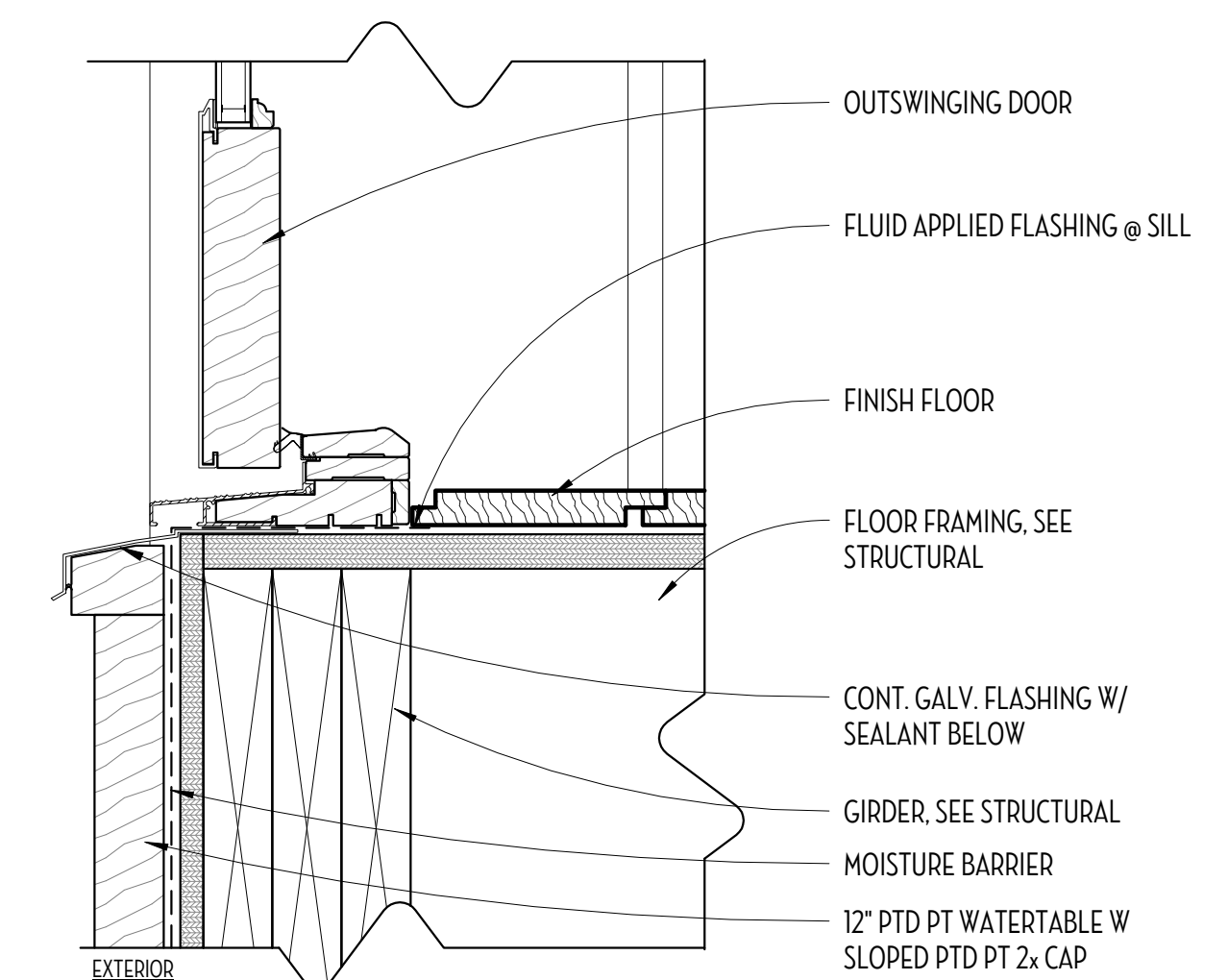
INTERIOR DOOR TYPES



1 TYP. DR. HDR. WOOD
3'-1'-0"



2 TYP. DR. JAMB. WOOD
3'-1'-0"



3 TYP. DR. SILL. WOOD
3'-1'-0"

project name

MARKETPLACE

project address:

parcel:

26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
PROJECT NO: 1924
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

Issued for: _____ Date: _____

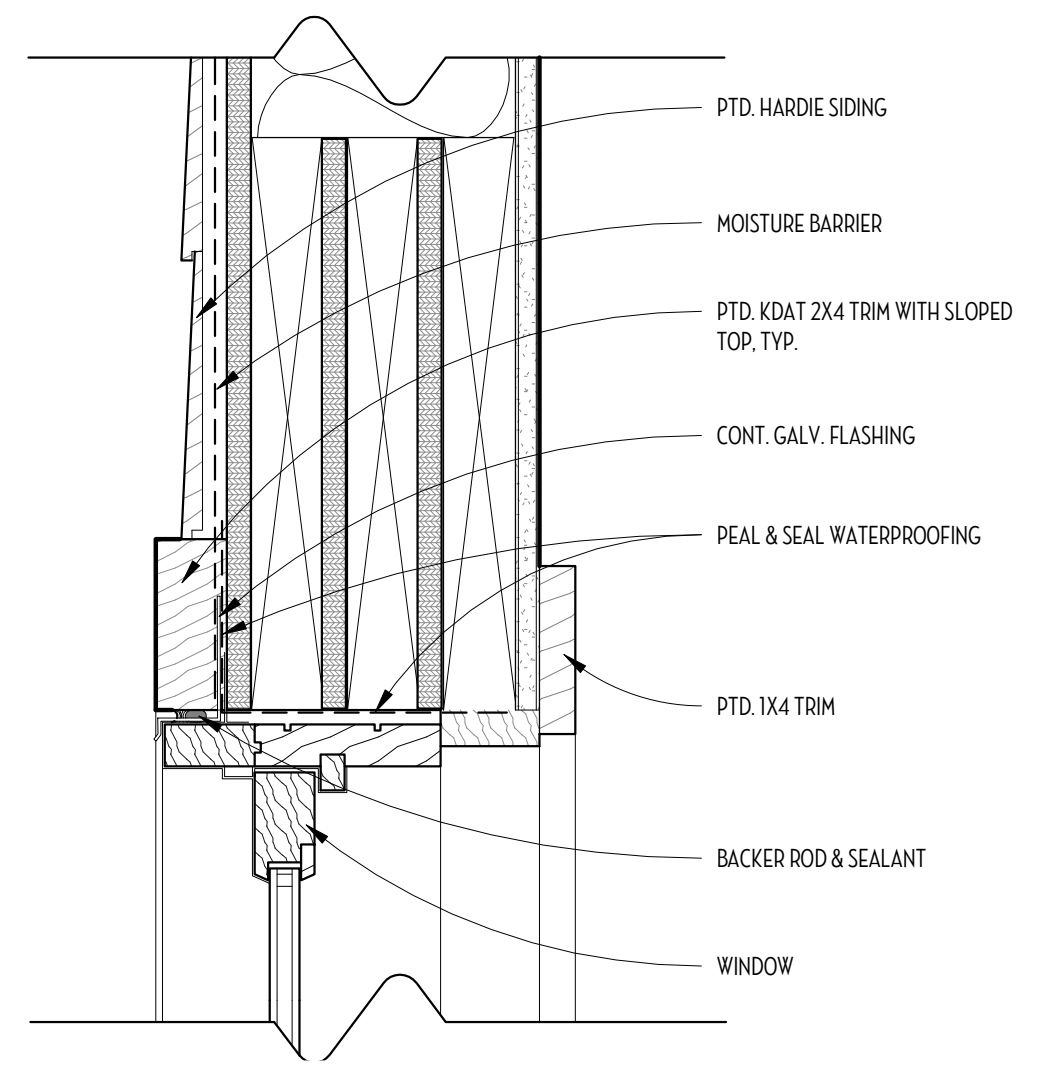
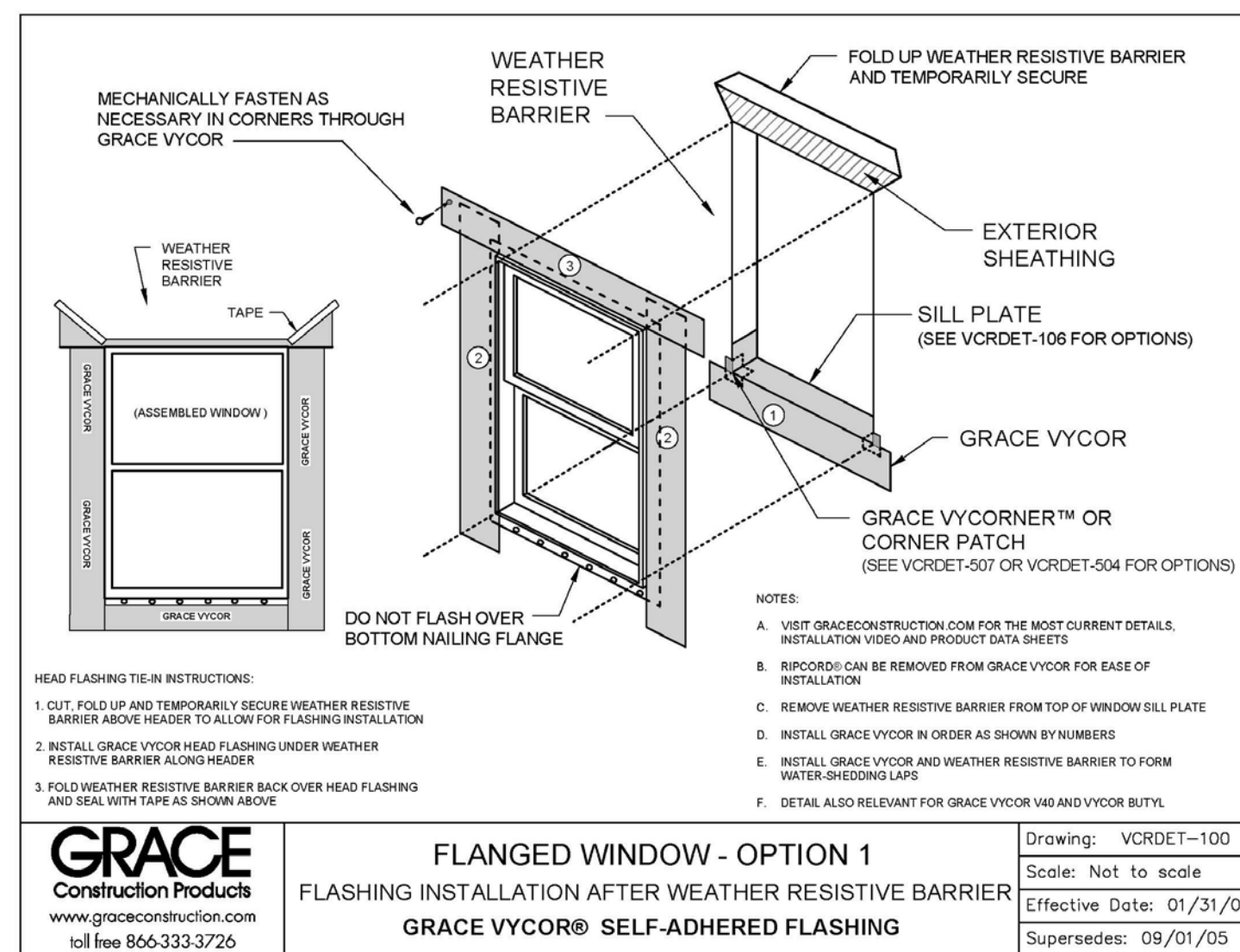
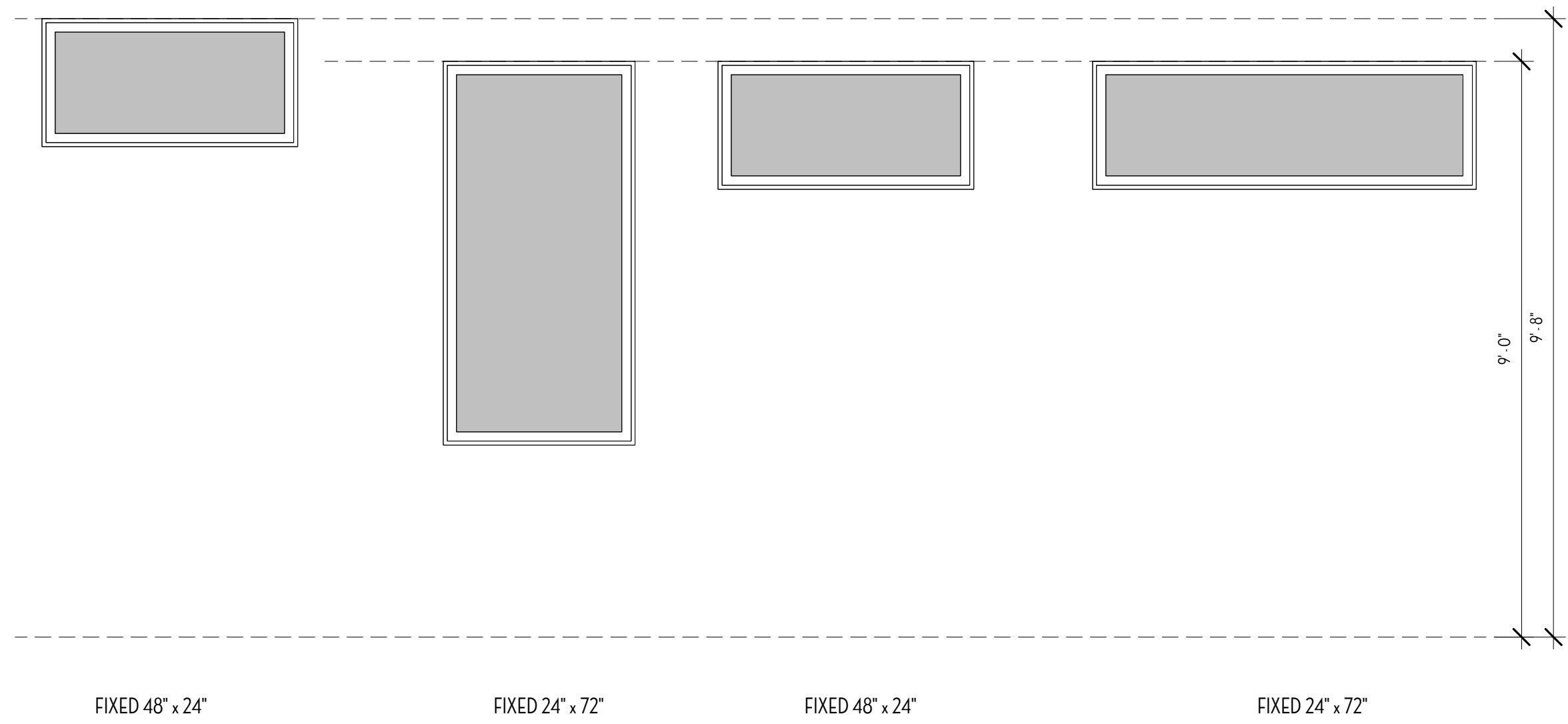
Revision Schedule

DOOR SCHEDULE

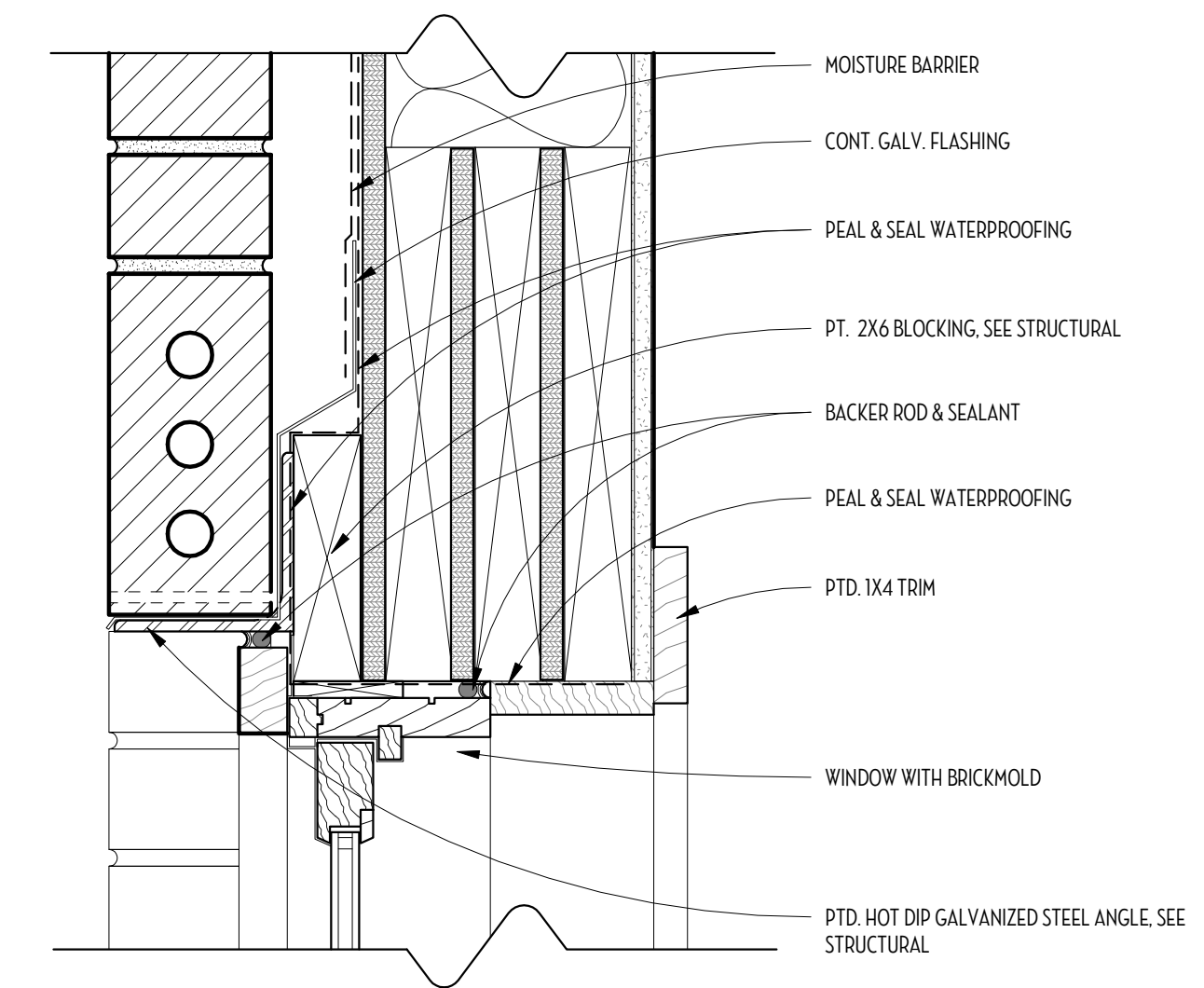
WINDOW SCHEDULE				
UNIT	WIDTH	HEIGHT	DESCRIPTION	NOTES
A	4'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
B	6'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
C	3'-0"	6'-0"	SINGLE CLAD FIXED WINDOW	

GENERAL NOTES:

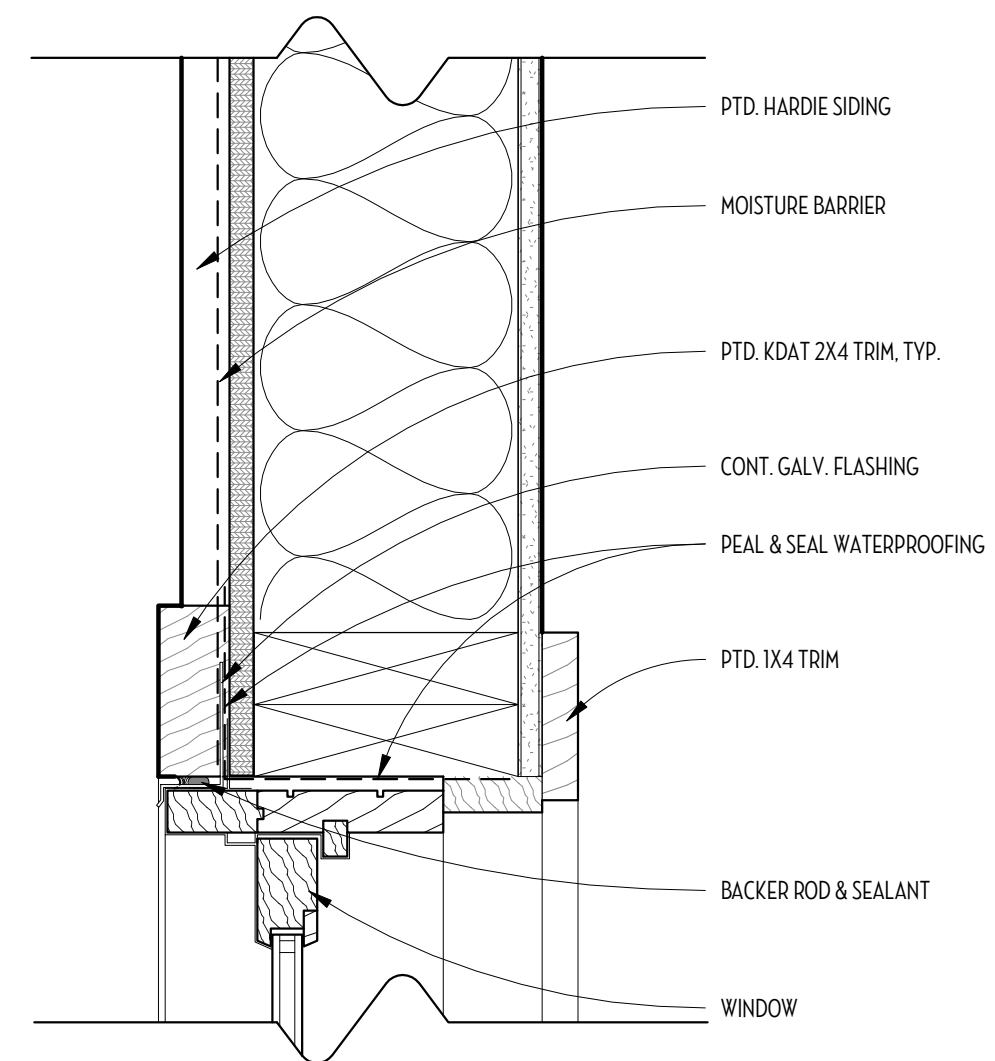
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



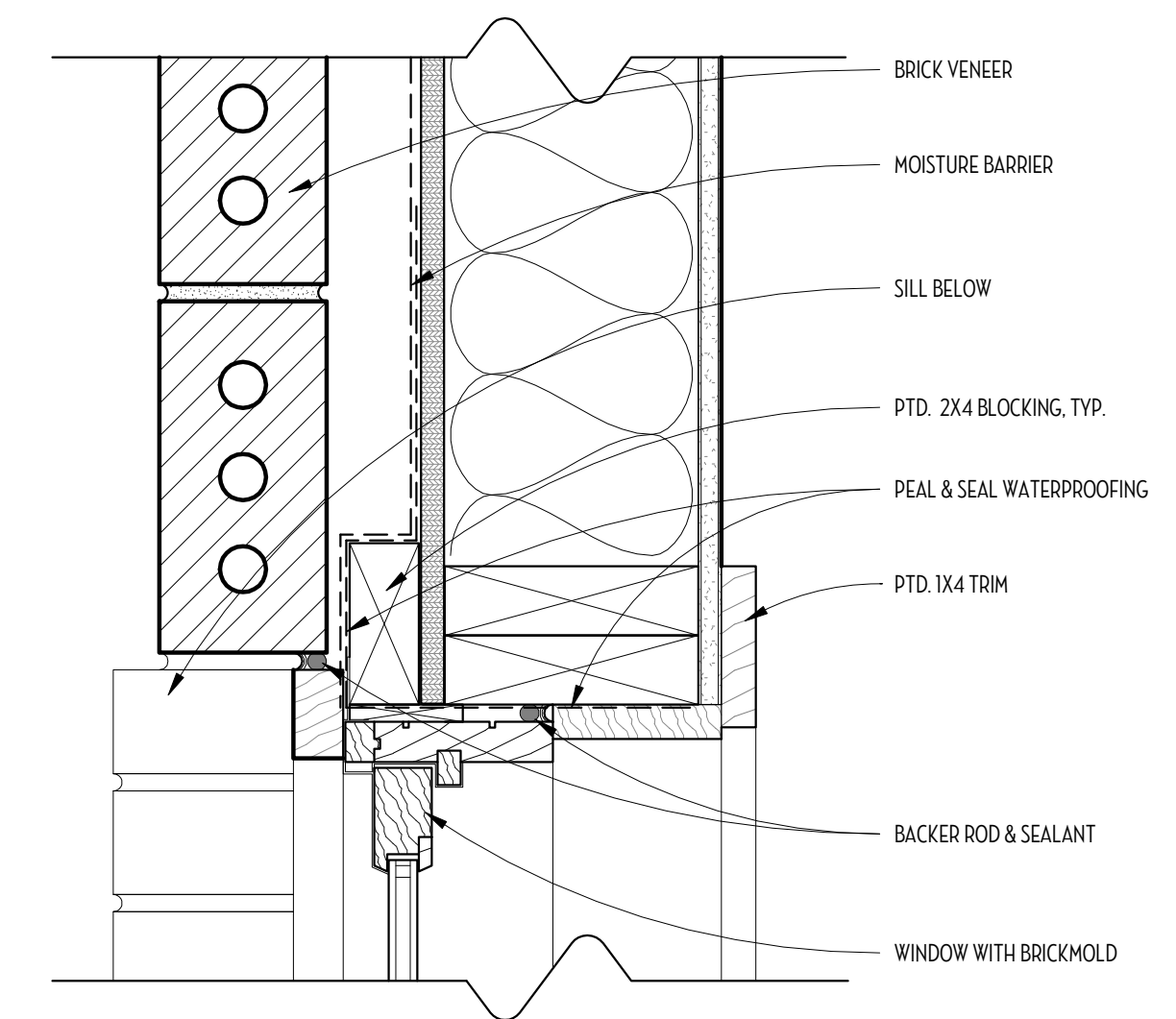
③ TYP. WIN. HDR. WOOD
3'-1-0"



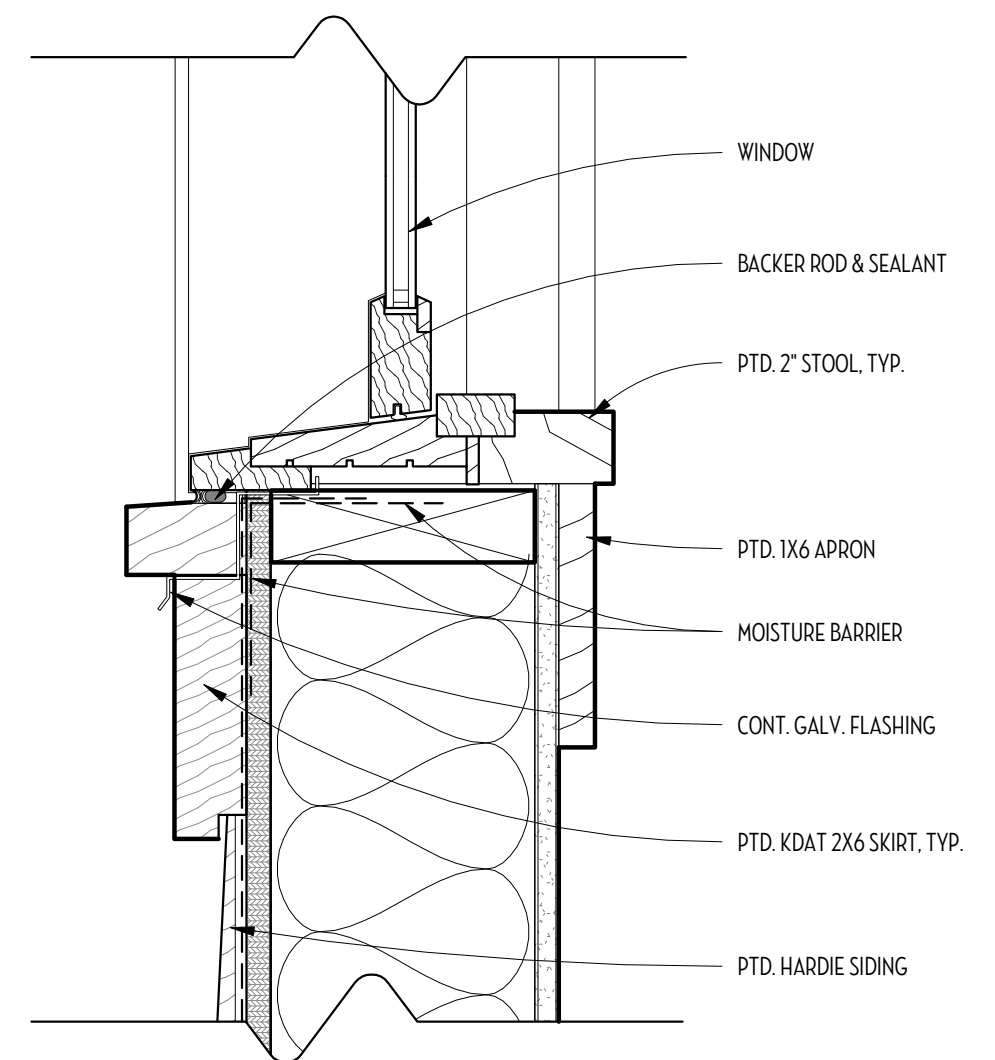
② TYP. WIN. HDR. BRICK
3'-1-0"



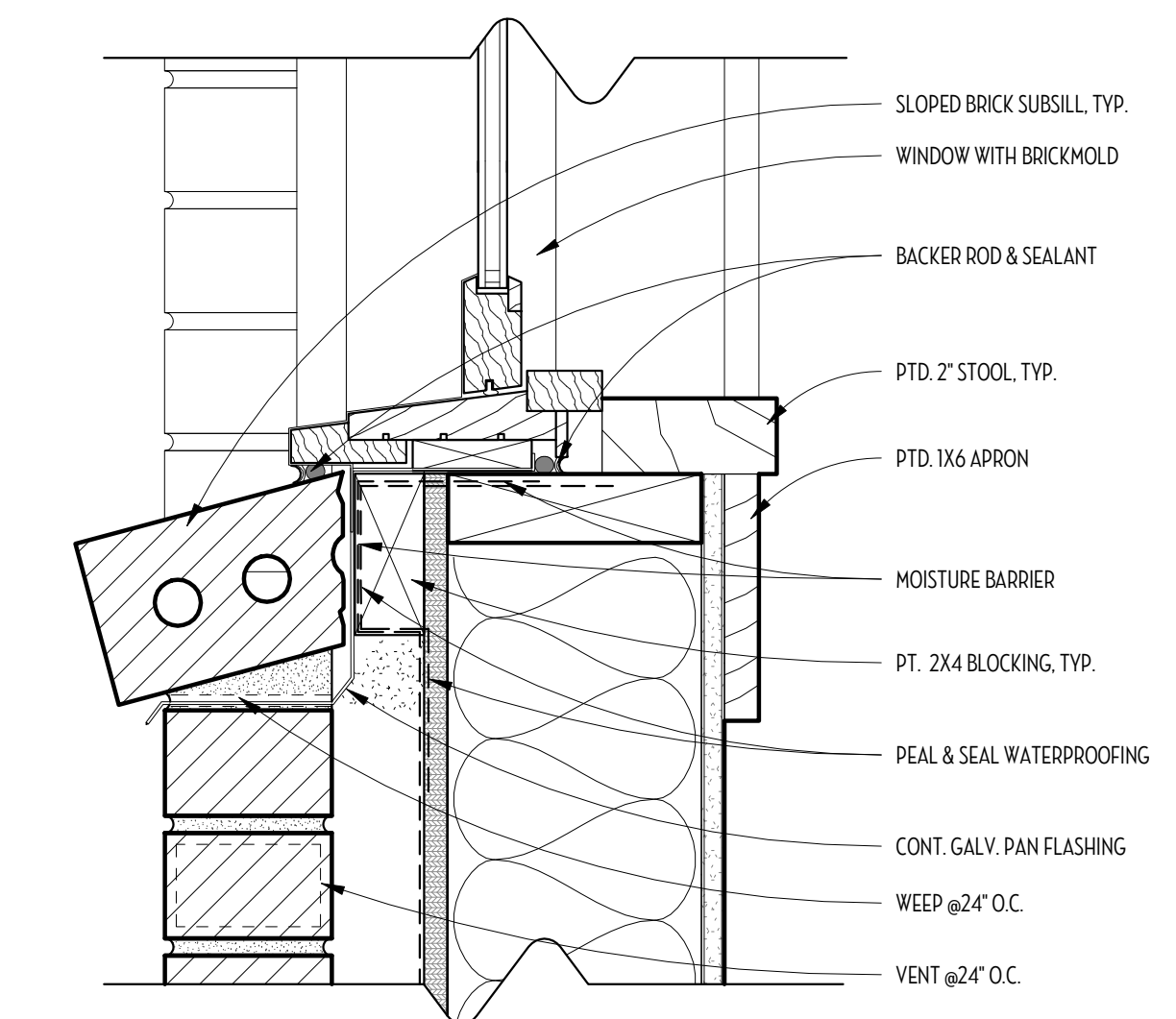
⑤ TYP. WIN. JAMB. WOOD
3'-1-0"



④ TYP. WIN. JAMB. BRICK
3'-1-0"



⑦ TYP. WIN. SILL. WOOD
3'-1-0"



⑥ TYP. WIN. SILL. BRICK
3'-1-0"

architect of record :

**McWhorter
Vallee Design**

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect
seal: AR95108

project name

MARKETPLACE

project address:

parcel:
26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
PROJECT NO: 1924
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

Issued for: _____ Date: _____

Revision Schedule

**WINDOW
SCHEDULE**

A4.1



MINUTES OF THE PLANNING BOARD
February 11, 2020

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Kurt Larson, Board Member Grundhoefer, Board Member Sampson

MEMBERS ABSENT: Board Member Murphy, Board Member Powell, Board Member Wiggins

STAFF PRESENT: Assistant Planning Director Cannon, Senior Planner Statler, Transportation Planner-Complete Streets Ziarnek, Network Engineer Johnston, Digital Media Coordinator Rose, Intern Mendillo

OTHERS PRESENT: Brian Spencer, Darrell J. Barnhill, Thomas McCarty, Stephen Fluegge, Kacee Bidnick, Anthony Vallee

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
 1. **Vacation of Right-of-Way Request - Cevallos Street**
 2. **Preliminary Plat Review - Corta de La Rua**
 3. **License To Use Request - 2800 North 12th Avenue**
 4. **Demolition Request – 1101 E. Gregory Street**
 5. **Discussion on the Proposed Amendment to the Tree Ordinance**

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:09 pm with a quorum present and explained the procedures of the Board meeting.

Approval of Meeting Minutes

Board Member Larson made a motion to approve the January 14, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.

New Business

Vacation of Right-of-Way Request - Cevallos Street

Assistant Planning Director Cannon stated a request had been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. She explained the request had been routed through internal and external agencies. Mr. Spencer addressed the Board and stated this would restore the continuity of a property line on Cevallos. Chairperson Ritz explained this was a correction for a scrivener's error. He indicated that the right-of-way belongs to the citizens of the city, and Mr. Spencer was required to submit a request for vacation, and the Board would determine a valid reason for the request. Mr. Spencer advised when he served on Council, he learned the vacation of right-of-way, if approved, would proceed to Council to convey the property through the Board's recommendation. He had no problems with utility easements and had no intention of building in that area. Chairperson Ritz advised that the proper notification had been provided. **With no speakers, Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.**

Preliminary Plat Review - Corta de La Rua

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St. The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel. Assistant Planning Director Cannon explained this constituted a major subdivision.

Mr. Geci presented to the Board and stated the lot history consisted of three (3) lots. They had met the CRA requirements for fronting on LaRua with rear access to the lots; they had also provided stormwater information and were connecting to an existing stormwater sewer. Chairperson Ritz explained this was a preliminary plat and appreciated the residences being pulled back with garages in the rear. Mr. Geci advised they needed to adjust the lot widths on lots 1 and 4 to attain the 80% lot frontage which was the only comment received that required revisions. Chairperson Ritz stated the request had been routed through the appropriate departments, and the applicants would contact ECUA for future utility requirements.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously. Chairperson Ritz clarified that the Board would see the project again.

License To Use Request - 2800 North 12th Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12th Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk. Chairperson Ritz explained unlike a right-of-way vacation, the License to Use (LTU) means the property remains in the City's ownership but allows the applicant to use the site as approved; it also comes with an annual fee paid to the City.

Mr. Barnhill presented to the Board and stated they were requesting the same opportunity as other businesses on 12th Avenue. Assistant Planning Director Cannon noted they were requesting eight (8) additional parking spaces to meet the LDC minimum requirements of the square footage for the proposed restaurant development. Mr. Barnhill stated they

would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12th Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12th Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.

Demolition Request – 1101 E. Gregory Street

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.

Discussion on the Proposed Amendment to the Tree Ordinance

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30th, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

Open Forum – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could

attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

Adjournment – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon
Secretary to the Board

MEMORANDUM

TO: Planning Board Members
FROM: Cynthia R. Cannon, AICP, Assistant Planning Director
DATE: February 4, 2020
SUBJECT: Request for License to Use Right-of-Way – 2800 North 12th Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12th Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk.

This request has been routed through the various City departments and utility providers and those comments are attached for your review.

Department:

Comments:

Department:	Comments:	
FIRE	We do not oppose to the relocation of the sidewalk.	
PW/E	PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.	
InspSvcs	No objections.	
ESP	No objections.	
ECUA	ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined). If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.	
GPW	No comments.	
ATT	AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.	

Cynthia Cannon

From: ST PIERRE, ROB A <RS634Y@att.com>
Sent: Wednesday, January 22, 2020 1:51 PM
To: Cynthia Cannon
Subject: [EXTERNAL] FW: License to Use - Parking - 2800 N 12th Ave
Attachments: 2800 N 12th Ave_LTU Application.pdf

Cynthia,

AT&T has no objection to this License to Use ROW, however the applicant needs to be aware we have underground facilities in the ROW in the area.

Thanks,

Rob St. Pierre
Manager - OSP Plng & Eng
Technology Operations

AT&T
605 W Garden St. Pensacola, FL 32502
o 850.436.1701 | rs634y@att.com
MOBILIZING YOUR WORLD

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From: FENNER, KARL L
Sent: Wednesday, January 22, 2020 12:16 PM
To: ST PIERRE, ROB A <RS634Y@att.com>
Cc: SAUERS, BRAD <bs5403@att.com>
Subject: FW: License to Use - Parking - 2800 N 12th Ave

Karl Fenner
Area Manager – OSP Plng and Eng
Technology Operations

AT&T
605 W Garden St, Pensacola, FL 32502
o 850.436.1485 | kf5345@att.com

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From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, January 28, 2020 8:37 AM
To: Cynthia Cannon <CCannon@cityofpensacola.com>
Cc: Mike Hamlin <mike.hamlin@ecua.fl.gov>
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Good morning Cynthia,

ECUA has active facilities within the right-of-way where the proposed parking lot will be. Therefore, if the developer will construct the parking lot, the existing water main should be replaced by a ductile iron water main where it will be underneath pavement. Additionally, if the sewer service lateral is vitrified clay pipe material, it must be replaced with PVC or lined (only if the sewer main is also lined).

If the developer continues with the proposed parking in the right-of-way, please have them contact ECUA to coordinate these activities.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Wednesday, January 22, 2020 9:01 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power)

Cynthia Cannon

From: Diane Moore
Sent: Monday, January 27, 2020 10:48 AM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Cynthia,
Pensacola Energy has no comments or objections to the license to use request.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, Fl 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

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Sent: Wednesday, January 22, 2020 9:01 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12th Avenue.

Cynthia Cannon

From: Annie Bloxson
Sent: Wednesday, January 22, 2020 12:50 PM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

Good Afternoon,

I do not oppose to the relocation of the sidewalk.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



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From: Cynthia Cannon

Sent: Wednesday, January 22, 2020 9:01 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

Subject: License to Use - Parking - 2800 N 12th Ave

Cynthia Cannon

From: Jonathan Bilby
Sent: Wednesday, January 22, 2020 10:25 AM
To: Cynthia Cannon
Subject: RE: License to Use - Parking - 2800 N 12th Ave

I have no issues with this license to use.

Jonathan Bilby, MCP, CFM
Inspection Services Administrator
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435.1748
Fax: 850.595.1464
jbilby@cityofpensacola.com

PENSACOLA

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Sent: Wednesday, January 22, 2020 9:01 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: License to Use - Parking - 2800 N 12th Ave

Good Morning All,

Please review and comment on the attached request before the Planning Board for a License to Use application. The applicant is requesting to relocate a sidewalk and add eight (8) additional parking spaces for a proposed restaurant at 2800 N. 12th Avenue.

Please provide comments by close of business on Tuesday January 28, 2020.

Thank you!

Cynthia Cannon, AICP

Cynthia Cannon

From: Derrick Owens
Sent: Wednesday, January 22, 2020 2:50 PM
To: Cynthia Cannon
Cc: Brad Hinote; Ryan J. Novota
Subject: RE: License to Use - Parking - 2800 N 12th Ave

PW&F has no issue with the subject request, provided all City LDC standards/requirements/specifications can be met (w/o variance) for the proposed sidewalk and parking spaces. This includes the entire 4' sidewalk being located within public r/w and wheel stops for the parking spaces to prevent vehicles overhanging and obstructing the sidewalk.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Wednesday, January 22, 2020 9:01 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrick Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: License to Use - Parking - 2800 N 12th Ave

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Thank you!

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

ccannon@cityofpensacola.com



License To Use City Right-Of-Way

Residential License To Use

Application Fee: \$500.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: N/A
Insurance Coverage: \$300,000.00

Commercial License To Use

Application Fee: (Minor) \$500.00
(Major) \$1,000.00
Rehearing/Rescheduling Fee: \$100.00
Annual Fee: (Minor) \$500.00
(Major) \$1,000.00
Insurance Coverage: \$1,000,000.00

Pensacola Neighborhood
Challenge Grant

Application Fee: N/A

Applicant: David Sharuff

Applicant's Address: 638 Shore Dr., Miramar Beach, Fl. 32550

Email: d_sharruf@hotmail.com Phone: (504)-400-9379

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this License to use. I have received a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meetings. In the case of the Pensacola Neighborhood Challenge Grant applications, I understand that this application will be considered during the execution of the contract and does not require further review from the Planning Board or City Council. If applicable, I understand a City Right-of-Way permit must be acquired from the City Engineering Department prior to any work commencing within the right-of-way.

Applicant's Signature: *David Sharuff* Date: 1-13-20

** If License Agreement is for business use or a Pensacola Neighborhood Challenge Grant application, please see the reverse side for additional information **

Property Information

Property Owner: Sharuff, LLC Phone: (504)-400-9379

Location Address: 2800 N. 12th Ave., Pensacola, Fl.

Parcel ID # 0 0 0 S 0 0 9 0 2 5 0 1 9 3 5 0

Purpose of Use of City Right-Of-Way: _____
Additional parking area for proposed development of restaurant

Please attach a map indicating the actual dimensions of the requested license.

For Office Use Only		
District: _____	Zoning: _____	
Date Received: <u>1/21/2020</u>	Case Number: _____	Annual Fee: _____
Planning Board date: _____	Recommendation: _____	Amount of Insurance Coverage: _____
City Council date: _____	Council Action: _____	

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

License To Use City Right-Of-Way

Sec. 12-12-7. License to use right-of-way.

- (A) Application.
 - (1) An application for license to use right-of-way must be submitted to the Planning Department at least twenty-one (21) days prior to the regularly scheduled meeting of the Planning Board.
 - (2) The application shall be scheduled for hearing only upon determination that the application complies with all applicable submission requirements.
 - (3) No application shall be considered complete until all of the following has been submitted:
 - (a) The application shall be submitted on a form provided by the Board Secretary.
 - (b) Each application shall be accompanied by the following information and such other information as may be reasonably requested to support the application:
 - 1. Accurate site plan drawn to scale;
 - 2. Reason for license to use request.
 - (4) The applicant shall be required to pay an application fee according to the current schedule of fees established by the City Council for the particular category of application. This fee shall be nonrefundable irrespective of the final disposition.
 - (5) Any party may appear in person, by agent, or by attorney.
 - (6) Any application may be withdrawn prior to action of the Planning Board or City Council at the discretion of the applicant initiating the request upon written notice to the Board secretary.
- (B) Planning Board review and recommendation. The community development department will distribute copies of the request for a license to use right-of-way to the appropriate city departments and public agencies for review and comment. Said departments shall submit written recommendations of approval, disapproval or suggested revisions, and reasons therefore, to the community development department. The Planning Board shall review the license to use right-of-way request and make a recommendation to the City Council.
 - (1) Public Notice for license to use right-of-way.
 - (a) The community development department shall notify addresses within a three hundred-foot radius, as identified by the current Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Board meeting. The public notice shall state the date, time, and place of the Board meeting.
- (C) City Council review and action. The Planning Board recommendation shall be forwarded to the City Council for review and action.
 - (1) Notice and hearing. The community development department shall notify addresses within a three hundred-foot radius, as identified on the Escambia County tax roll maps, of the right-of-way proposed to be licensed with a public notice by post card at least five (5) days prior to the Council meeting. The public notice shall state the date, time, and place of the Council meeting.
 - (2) Action. The City Council shall approve, approve with modifications, or deny the license to use right-of-way request. If the request is approved by City Council, a license to use agreement will be drawn, at which time the license becomes effective upon execution by the applicant and the City and payment by the applicant of any required fee.

Additional Information Required for Corporations and LLCs: If approved, this information will be used as part of the legal agreement. Must be licensed to do business within the State of Florida.

Corporation:

Full legal name of the Corporation: _____

Official Corporate Address: _____

President or Vice-President:

Name & Title – _____

Corporate Secretary: Name – _____

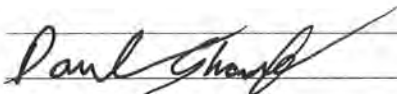
Limited Liability Company (LLC):

Full legal name of company: _____

Official Address: _____

Managing Member or member:

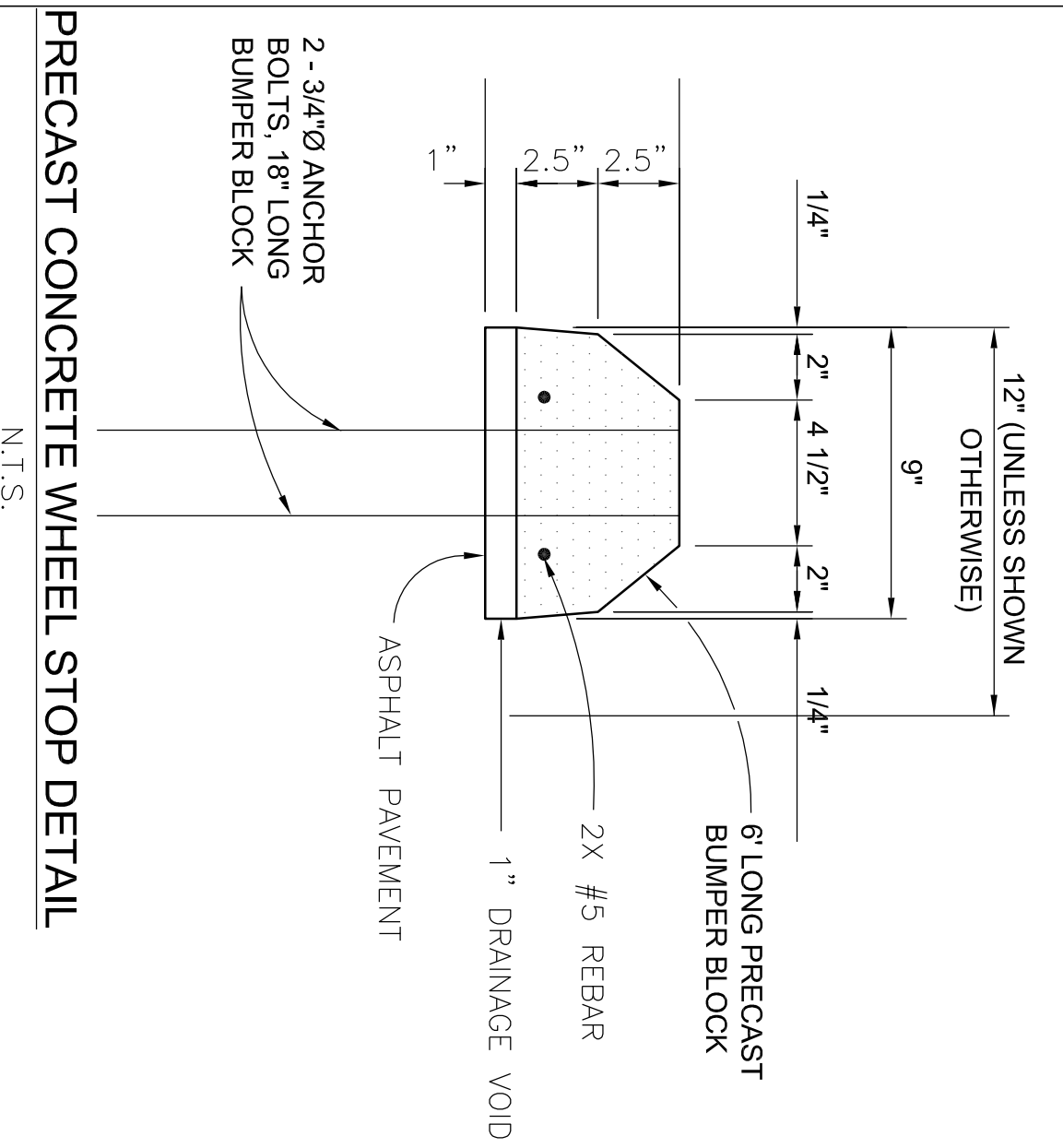
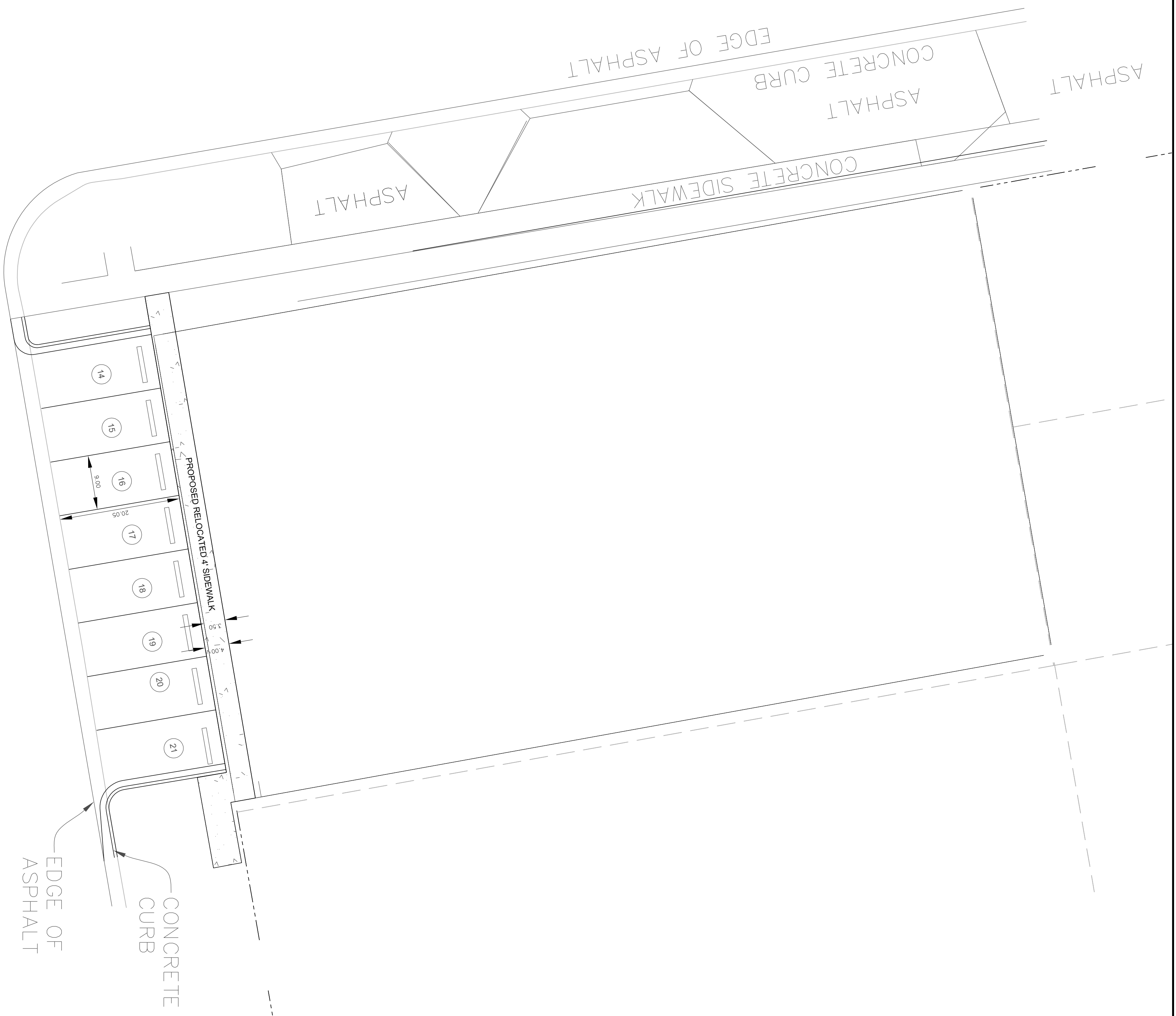
Name & Title – _____



Sharuff, LLC

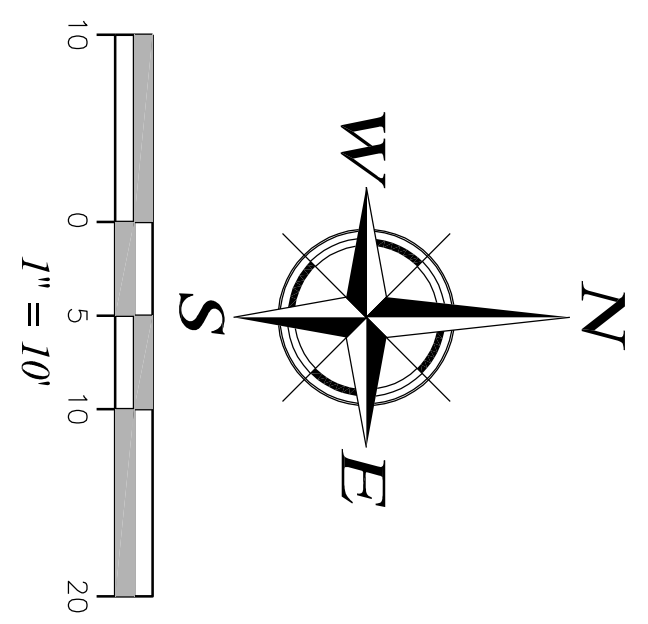
638 Shore Drive, Miramar Beach, Fl. 32550

David Sharuff, MGR



PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.

LEGAL DESCRIPTION OF PARKING
TO BE PROVIDED BY SURVEYOR



SITE DATA SUMMARY

LEGAL DESCRIPTION:

PARCEL ID NUMBERS:
00-00-00-0025-019-380
LEGAL DESCRIPTION:
LT 20 BK 350 NEW CITY TRACT AND BEG AT SW COR LT 19 BK 350 NEW CITY TRACT BEING SE COR LT 20 ON N RM W FISHER...

SITE DATA:

CURRENT LAND USE: COMMERCIAL (C-1)	FUTURE USE: RETAIL COMMERCIAL (C-1)
FUTURE LAND USE: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
ZONING: COMMERCIAL (C-1)	RETAIL COMMERCIAL (C-1)
CURRENT USE: NORTH: COMMERCIAL	RETAIL COMMERCIAL (C-1)
SOUTH: MIXED USE	RETAIL COMMERCIAL (C-1)
EAST: VACANT	RETAIL COMMERCIAL (C-1)
WEST: SINGLE FAMILY RESIDENCE	RETAIL COMMERCIAL (C-1)

SETBACK SUMMARY:

FRONT:	0' REQUIRED	7' PROVIDED
SIDE:	0' REQUIRED	2.3' PROVIDED ON NORTH SIDE
REAR:	0' REQUIRED	14' PROVIDED ON SOUTH SIDE
		18.5' PROVIDED

SITE SUMMARY:

TOTAL DEVELOPMENT AREA: 10,739.31 SF / 0.25 AC

PROPOSED BUILDING HEIGHT:
TOTAL BUILDING AREA = 2,074 S.F.
COVERED PORCH AREA = 712 S.F.

TABULATION OF REQUIRED PARKING SPACES:

PROPOSED RESTAURANT - 2,074 SF @ 1 SPACE/100 SF =	21 SPACES REQUIRED
SECURE BICYCLE PARKING RACK (5 BIKES) PROVIDED =	5 SPACES
TOTAL PARKING SPACES REQUIRED FOR NEW DEVELOPMENT =	26 SPACES REQUIRED
TOTAL ADA SPACES PROVIDED = 1 SPACE	21 SPACES PROVIDED

Sec. 12-2-1 A.6.
The number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five (5) bicycles.

FLOOD ZONE INFORMATION:

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM "FIRM" MAP COMMUNITY - PANEL NUMBER 12033C0380G, DATED SEPTEMBER 29, 2006, THE ABOVE DESCRIBED PROPERTY IS DELINEATED IN ZONE: X

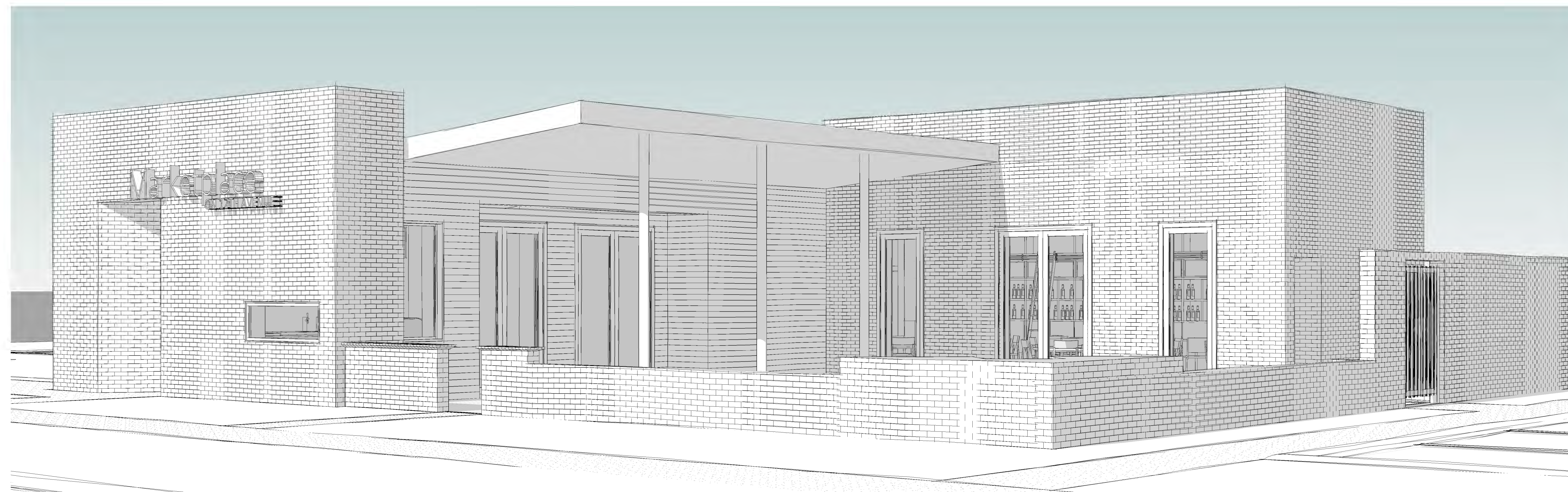
PRELIMINARY

NOT RELEASED FOR CONSTRUCTION. ANY REPRODUCTION MUST BE APPROVED BY ENGINEER. CONTACT ENGINEER FOR THE MOST RECENT SET OF PLANS

<p>PENSACOLA TAPAS 2800 N 12TH AVENUE CITY OF PENSACOLA ESCAMBIA COUNTY, FL</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">REVISIONS</th> <th style="text-align: left;">DATE</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISIONS	DATE							<p>PARKING PLAN</p>	<p>4639 GULF STARR DRIVE DUSTIN, FLORIDA 32541 E-MAIL: jehamad@gmail.com John H. Elamad, P.E.</p> <p>TELEPHONE: (850) 837-7454 (ENGR.) TELEPHONE: (850) 837-4548 (INSR.) FAX: (850) 654-2000 Florida Registration: #68840, CA #8419</p>
REVISIONS	DATE										
<p>C-1</p>	<p>DRAWN BY: JWP CHECKED BY: DJB JOB NO: 19- DATE: .</p>	<p>DRAWING NO.</p>									

seal:

Anthony J. Vallee, Architect
 seal: AR95108



12TH AVENUE RESTERAUNT

MIRIMAR BEACH, FL 32550

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

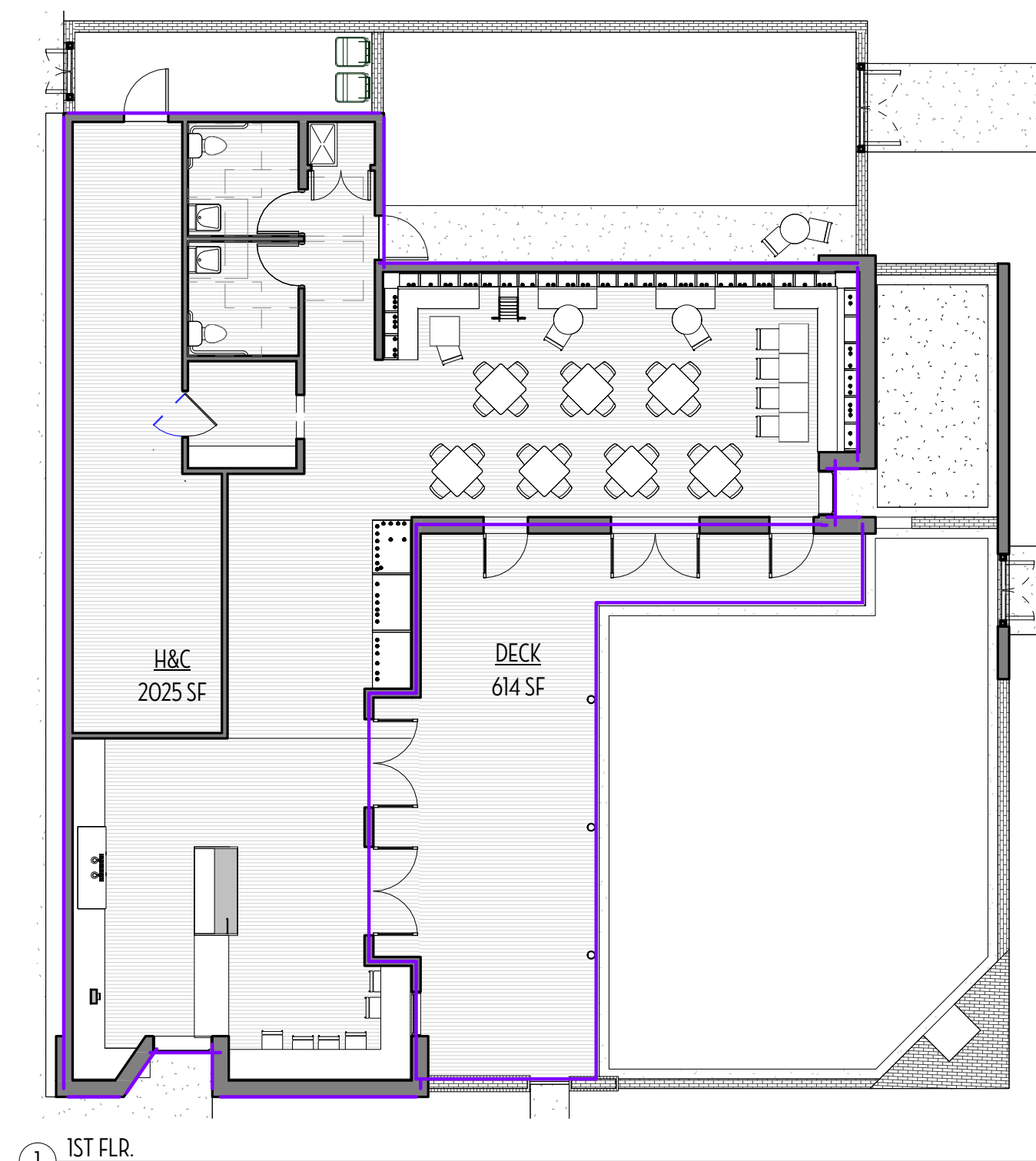
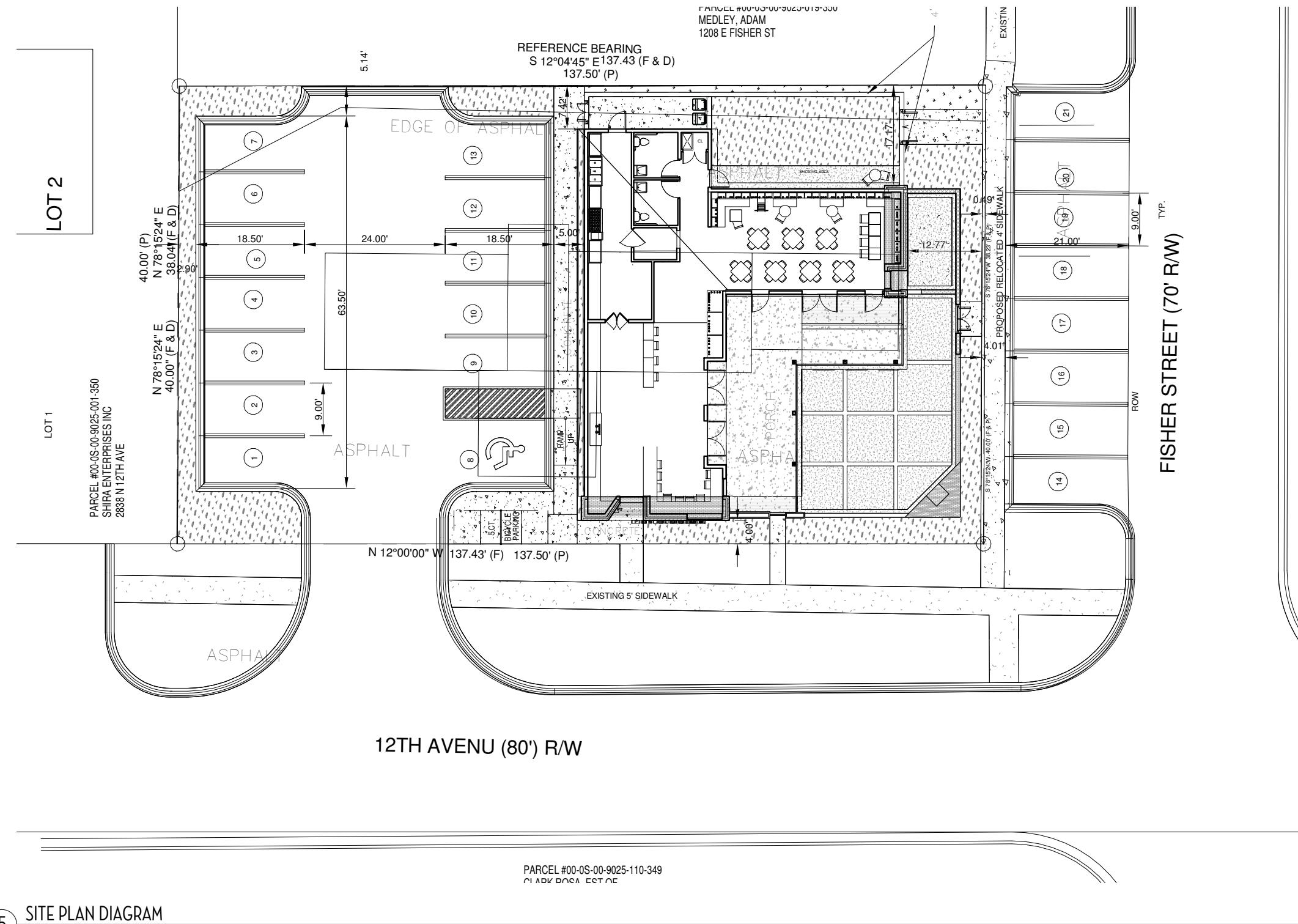
SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: AJJV
 CHECKED BY: Checker
 SCALE:

Issued for: _____ Date: _____

Revision Schedule

COVER

OO



AREA	
NAME	AREA
DECK	614 SF
H&C	2025 SF
	2639 SF

DRAWING SCHEDULE				
SHEET	NAME	Sheet Issue Date	Current Revision	Current Revision Date
00	COVER	01/12/20		
A0.1	GENERAL INFORMATION	01/12/20		
A0.2	SITE PLAN	01/12/20		
A0.3	LANDSCAPING & AREA	01/12/20		
A0.4	LIFE SAFETY PLAN	01/12/20		
A1.1	FLOOR PLAN	01/12/20		
A1.2	ROOF PLAN	01/12/20		
A2.0	ELEVATIONS	01/12/20		
A2.2	3D VIEWS	01/12/20		
A3.0	BUILDING SECTION	01/12/20		
A3.1	BUILDING SECTION	01/12/20		
A4.0	DOOR SCHEDULE	01/12/20		
A4.1	WINDOW SCHEDULE	01/12/20		

architect of record :

**McWhorter
Vallee Design**

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675
www.mvr.design

seal:

Anthony J. Vallee, Architect
seal: AR95108

LEGAL DESCRIPTION

SCOPE OF PROJECT

CONSTRUCTION OF A NEW ONE STORY RESTAURANT

KITCHEN NOTES

- ALL WALLS WITHIN THE KITCHEN, PREP & CLEAN-UP AREAS ARE TO BE FINISHED WITH FIRE RETARDANT PAINT.
- PROVIDE STAINLESS STEEL PANELS ON WALLS ADJACENT TO THE KITCHEN EXHAUST HOOD. PANELS ARE TO EXTEND TO THE BOTTOM OF THE HOOD.
- KITCHEN EQUIPMENT BY OWNER.
- PROVIDE SANITARY COVE JUNCTURES BETWEEN FLOORS & WALLS AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILING AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.
- PROVIDE SMOOTH, NON-ABSORBENT & WASHABLE WALL COVERINGS/FINISHES AT WALLS & CEILING AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO: KITCHEN, FOOD PREP, FOOD STORAGE, CLEAN-UP & TOILET ROOMS.

BUILDING CODE DATA

APPLICABLE CODES AND REGULATIONS:

FLORIDA BUILDING CODE, 2017 6th EDITION

BUILDING DATA:

The enclosed provides for the construction of a new 2 story restaurant with covered exterior dining.

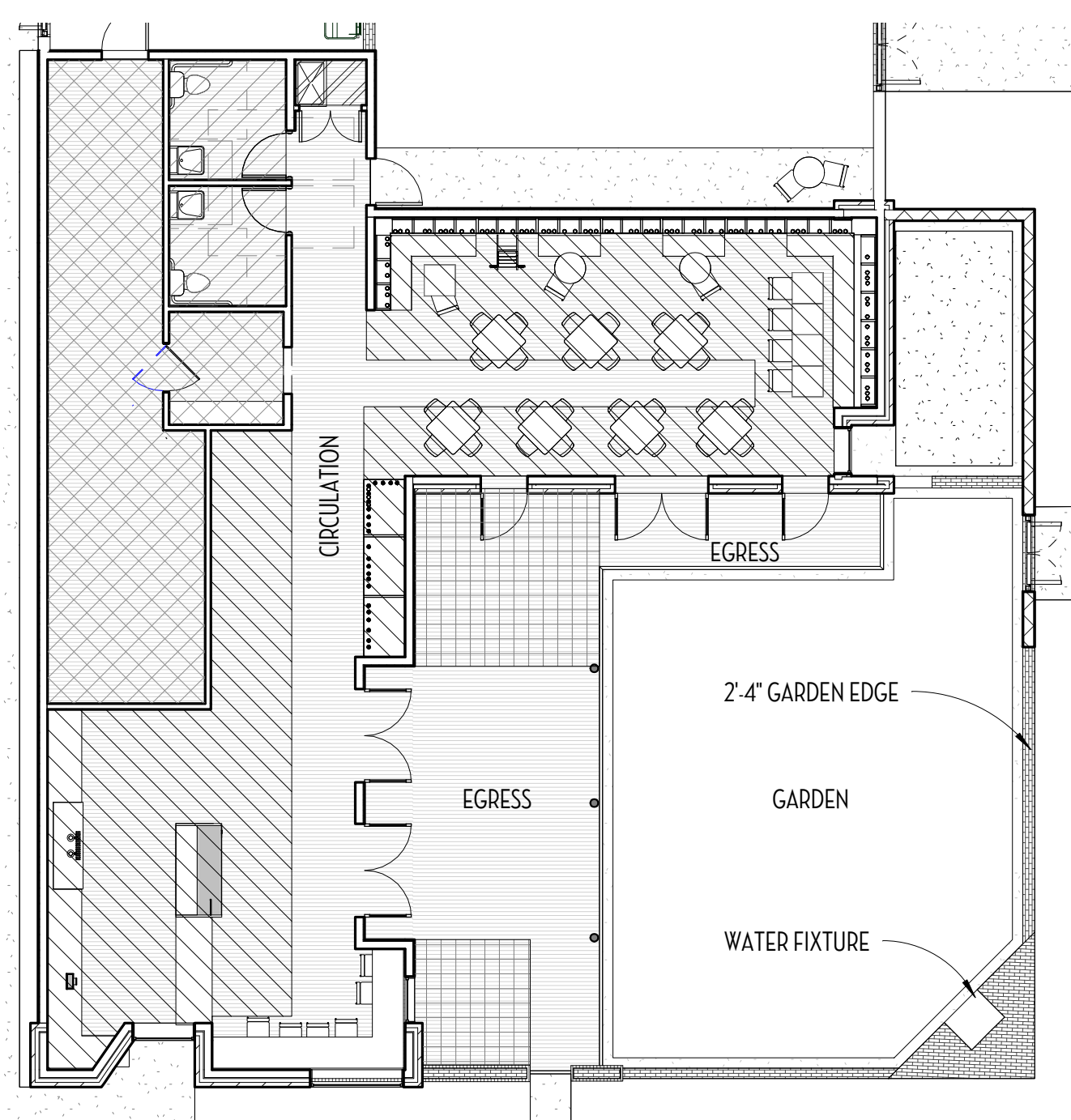
Section 303.1	Occupancy Group A2 (Restaurant)
Section 602.3	Construction Type V-A, sprinklered
Table 601	Fire resistance rating for building Elements, Type V-A Exterior bearing walls: 1 hour Exterior non-bearing walls: 1 hour Interior bearing walls: 1 hour Interior non-bearing walls: 0 hour Roof: 1 hour Floors: 1 hour
Table 602.4	Beams/Joists/Courms: 1 hour, 6" min. nominal dimension for HT
Table 503	Allowable height and building areas: 2 stories, 50' height, 11,500 sf, no area increases taken
Section 602.3	Interior building elements: any material permitted by code
Table 1004.11	See Occupant Load Calculation Table
Table 1021.1	Minimum number of exits required: 2
Table 1015.1	Spaces with one means of egress allowed: <50 persons Both areas, Storage, top and bottom areas comply. Kitchen complies.

Life Safety Code NFPA 101: Assembly Occupancy, Construction Type II (000)

PLUMBING FIXTURES	MALE/FEMALE REQS	MALE Provided	FEMALE Provided
Occupancy Load/2	92/2-46 EA		
WATER Closets (1/75)	46/75-61 (1 REQUIRED EA)	1	1
URINALS		1	
LAVATORIES (1/200)	46/200-0.23 (1 REQUIRED EA)	1	1

ADDITIONAL RESTROOMS	EMPLOYEES RESTROOMS		
TOTAL NUMBER OF FIXTURES	WC	URINALS	LAVATORIES
	2	1	2

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OCCUPANCY TYPE LEGEND

	DINNING (CONCENTRATED ASSEMBLY)	
	DINNING (UNCONCENTRATED ASSEMBLY)	854.20 SQ. FT.
	KITCHEN	409.91 SQ. FT.
	DECK (OPEN AIR PATIO)	194.57 SQ. FT.
	BATH	116.42 SQ. FT.
	STORAGE	13.49 SQ. FT.

OCCUPANCY LOAD CALCULATION

OCCUPANCY TYPE PER FBC	SQUARE FOOTAGE	OCCUPANCY LOAD FACTOR	ALLOWABLE OCCUPANCY	PROPOSED OCCUPANCY
DINING (UNCONCENTRATED ASSEMBLY)	854.20 SQ. FT.	15	56.95	57
DINING (CONCENTRATED ASSEMBLY)	35 FT.	1 PER 24"	17.5	18
BATH	116.42 SQ. FT.			
KITCHEN	409.91 SQ. FT.	200	2.05	3
STORAGE	13.49 SQ. FT.	300	0.04	1
INTERIOR TOTAL ALLOWED /ACTUAL OCCUPANT LOAD			76.54	79
OPEN DECK (UNCONCENTRATED ASSEMBLY)	194.57 SQ. FT.	15	12.97	13
TOTAL ALLOWED /ACTUAL OCCUPANT LOAD			89.51	92

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS. THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXTERIOR WALLS ARE TO BE 8" CMU TYPICAL. INTERIOR WALL FRAMING IS TO BE 2X4 SYP. TYPICAL.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 3' BEYOND THE PLANNED BUILDING FOOTPRINT. KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE HOUSE PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L. WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.

ABBREVIATIONS

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
AFF	ABOVE FINISHED FLOOR	ISA	INTL. SYMBOL OF ACCESSIBILITY
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
B/W	BETWEEN	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CMT	CENTER LINE	MTD	MOUNTED
CT	CERAMIC MOSAIC TILE	NO	NUMBER
CL	CERAMIC TILE	NOM	NOMINAL
CONC	CONCRETE	NOT TO SCALE	
CMU	CONCRETE MASONRY UNIT	NTS	NOT IN CONTRACT
CONT	CONTINUOUS	NIC	ON CENTER
CJ	CONTROL JOINT	OC	OVERHEAD
DR	DOOR	OH	OVERHEAD
ELEV	ELEVATION	PL	PLATE
EW	EACH WAY	PREFIN	PREFINISHED
EWC	ELECTRIC WATER COOLER	PT	PRESSURE TREATED
EQ	EQUAL	RL	RAIN LEADER
EXIST	EXISTING	REIN	REINFORCED
EXT	EXTERIOR	SS	STAINLESS STEEL
FIN	FINISH	THK	THICK
FF	FINISHED FLOOR	THR	THRESHOLD
FACP	FIRE ALARM CONTROL PANEL	T&B	TOP AND BOTTOM
FEX	FIRE EXTINGUISHER	TYP	TYPICAL
FEC	FIRE EXTINGUISHER CABINET	VERT	VERTICAL
FD	FLOOR DRAIN	WC	WATER CLOSET
FRP	FIRE RETARDANT PAINT	WD	WOOD
GALV	GALVANIZED	WWF	WELDED WIRE FABRIC
GC	GENERAL CONTRACTOR	W/	WITH
GWB	GYPSON WALLBOARD	XTR	EXISTING TO REMAIN
HC	HANDICAPPED		
HM	HOLLOW METAL		

project name

MARKETPLACE

project address:

parcel:

26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
PROJECT NO: 1924
DRAWN BY: AJJV
CHECKED BY: Checker
SCALE: As indicated

Issued for: _____ Date: _____

Revision Schedule

NO.	DATE	DESCRIPTION

GENERAL INFORMATION
AO.1

seal:

Anthony J. Vallee, Architect
 seal: AR95108

project name
MARKETPLACE

project address:
 .

parcel:
 26-25-21-42000-001-0052

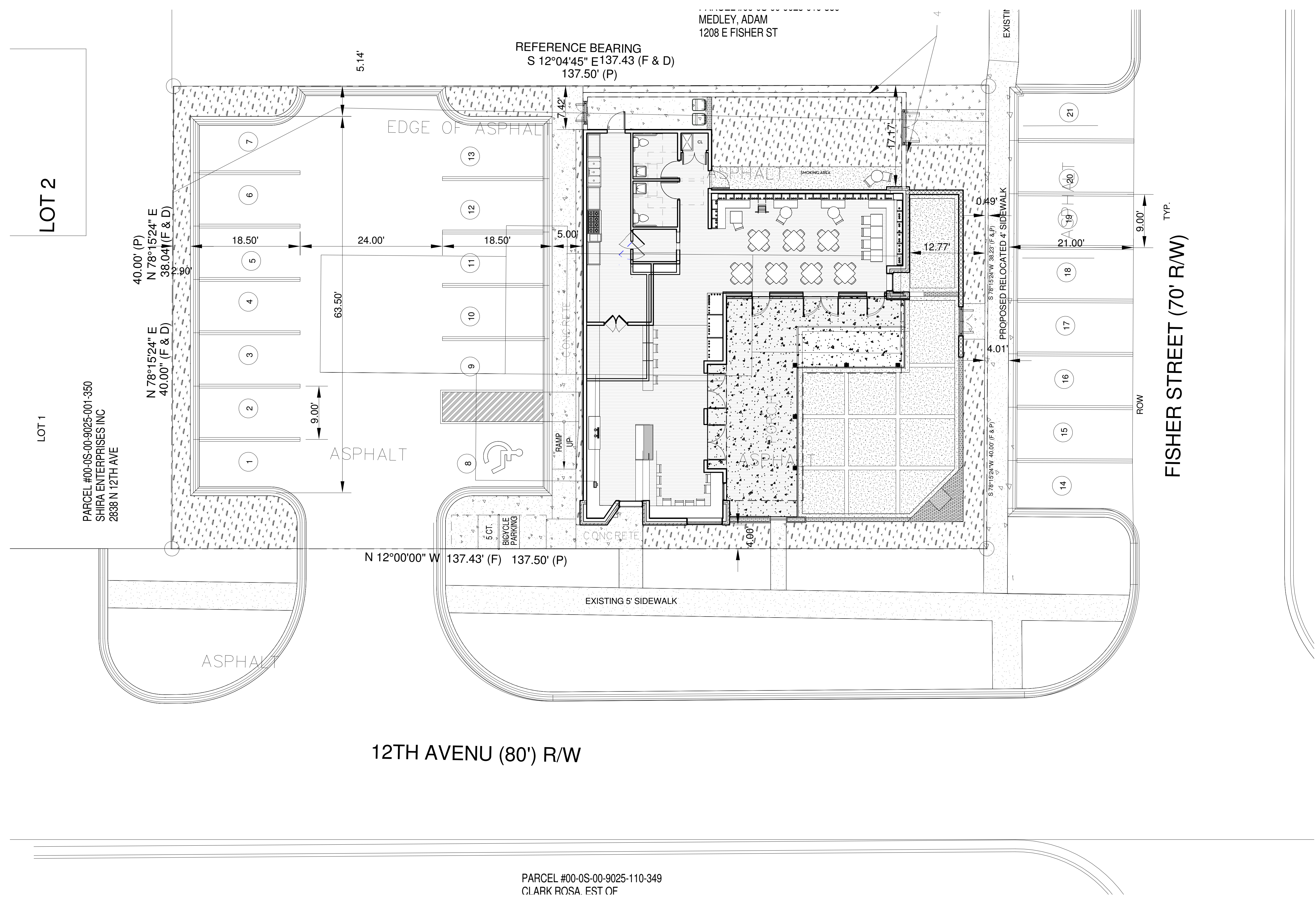
SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"

Issued for: _____ Date: _____

Revision Schedule

SITE PLAN

AO.2



12TH AVENUE (80') R/W

FISHER STREET (70' RW)
 TYP.

PARCEL #00-0S-00-9025-110-349
 CLARK ROSA, EST OF

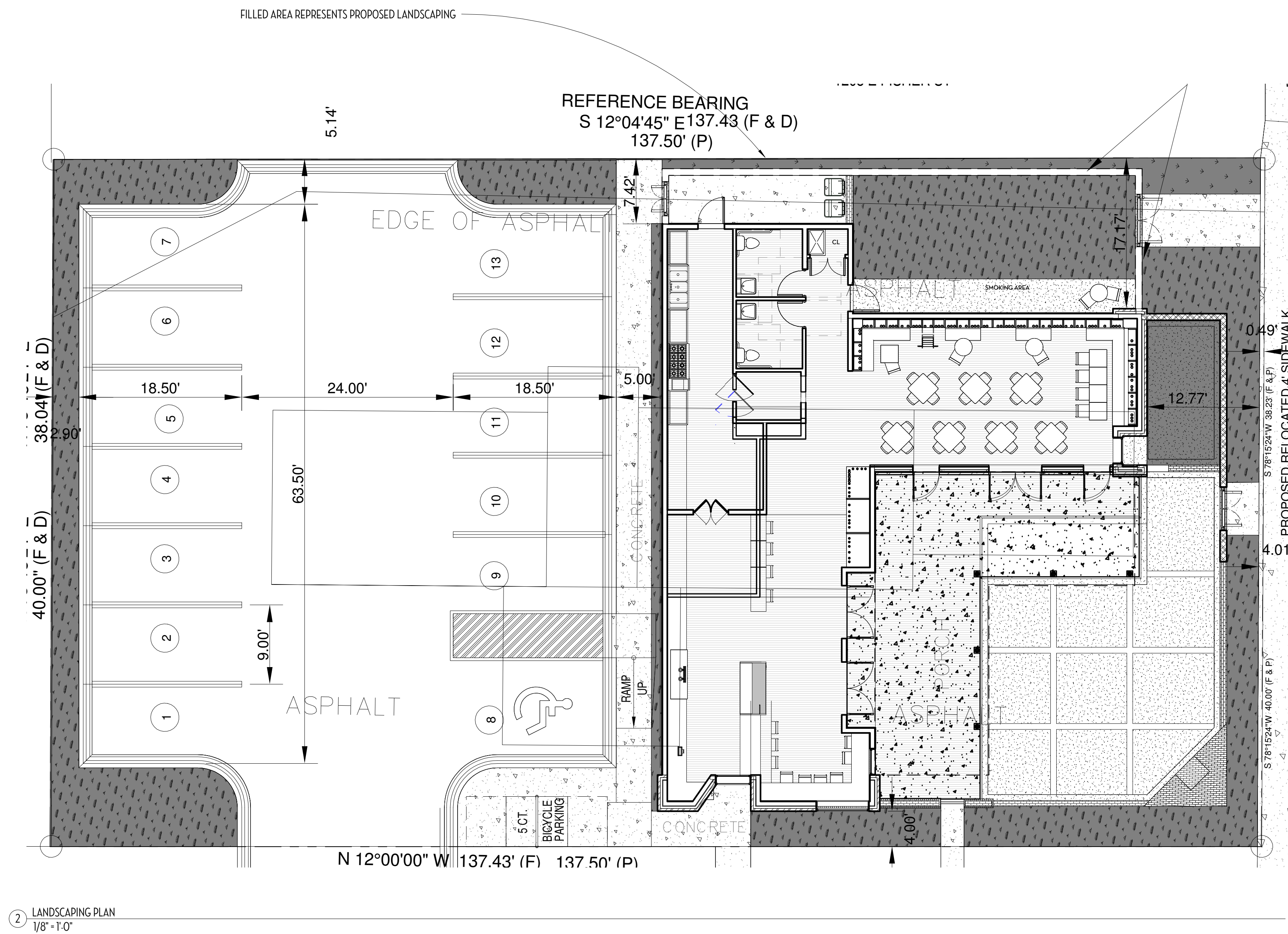
PARCEL #00-0S-00-9025-001-350
 SHIRA ENTERPRISES INC
 2838 N 12TH AVE

MEDLEY, ADAM
 1208 E FISHER ST

REFERENCE BEARING
 S 12°04'45" E 137.43 (F & D)
 137.50' (P)

seal:

Anthony J. Vallee, Architect
 seal: AR95108



LANDSCAPE CALCULATION

TOTAL LOT AREA:	10,478.64 SF
TOTAL BUILDING AREA:	2,031 SF
TOTAL LANDSCAPING AREA:	1,814.74 SF
PERCENT LANDSCAPING:	21%

project name
MARKETPLACE

project address:

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"

Issued for: _____ Date: _____

Revision Schedule

LANDSCAPING &
 AREA

AO.3

seal:

Anthony J. Vallee, Architect
seal: AR95108

APPLICABLE CODES:

- NFPA 1 UNIFORM FIRE CODE
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 14 INSTALLATION OF STANDPIPE AND HOSE SYSTEMS
- NFPA 25 WATER BASED FIRE PROTECTION SYSTEMS
- NFPA 70 NATIONAL ELECTRICAL CODE
- NFPA 72 NATIONAL FIRE ALARM CODE
- NFPA 101 LIFE SAFETY CODE
- NFPA 1963 SCREW THREADS AND CASSETS FOR FIRE HOSE CONNECTIONS
- FBC FLORIDA BUILDING CODE, 2017 6TH EDITION
- FAC 69A-3 FLORIDA ADMINISTRATIVE CODE - THE STATE FIRE PREVENTION CODE
- FFPC FLORIDA FIRE PREVENTION CODE

SEE FP-001 FOR ADDITIONAL INFORMATION

FIRE MARSHAL NOTES:

- COMBUSTIBLE INTERIOR FINISH PRODUCTS SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION. PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS.
- EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE. NFPA 101 LIFE SAFETY CODE CHAPTER 7, SEC 7.21.51, CURRENT EDITION
- IDENTIFICATION OF FIRE BARRIERS SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ABOVE ANY DECORATIVE CEILING AND OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12 FEET. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS". PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 8.2.2.2, CURRENT EDITION.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA-10 & AS REQUIRED BY LOCAL JURISDICTION. EXTINGUISHERS ARE TO BE LOCATED IN THE DIRECTION OR EGRESS, TYP.

LEGEND

- EMERGENCY EXIT LIGHTING, EDGE-LIT EXIT SIGN WITH BATTERY BACK-UP - RECESSED MOUNT, CLEAR BACK WITH GREEN LETTERING
- BATTERY OPERATED EMERGENCY LIGHTING "LIGHT FIXTURE INDUSTRIES" COMBOJ2 (COMPACT LED EXIT/EMERGENCY COMBINATION LIGHT); LITHONIA LIGHTING QUANTUM ELM2 LED EMERGENCY LIGHT
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- INTERIOR PANIC BAR/EXT'R PULL BAR (HANDLE)
- AUTOMATIC CLOSER
- KEYED THUMB BOLT
- SIGNAGE FOR ROOM NAMES SHALL COMPLY WITH ADA DESIGN AND MOUNTING CRITERIA
- KEYED PASSAGE SET, LEVEL HANDLE

FIRE SAFETY NOTES:

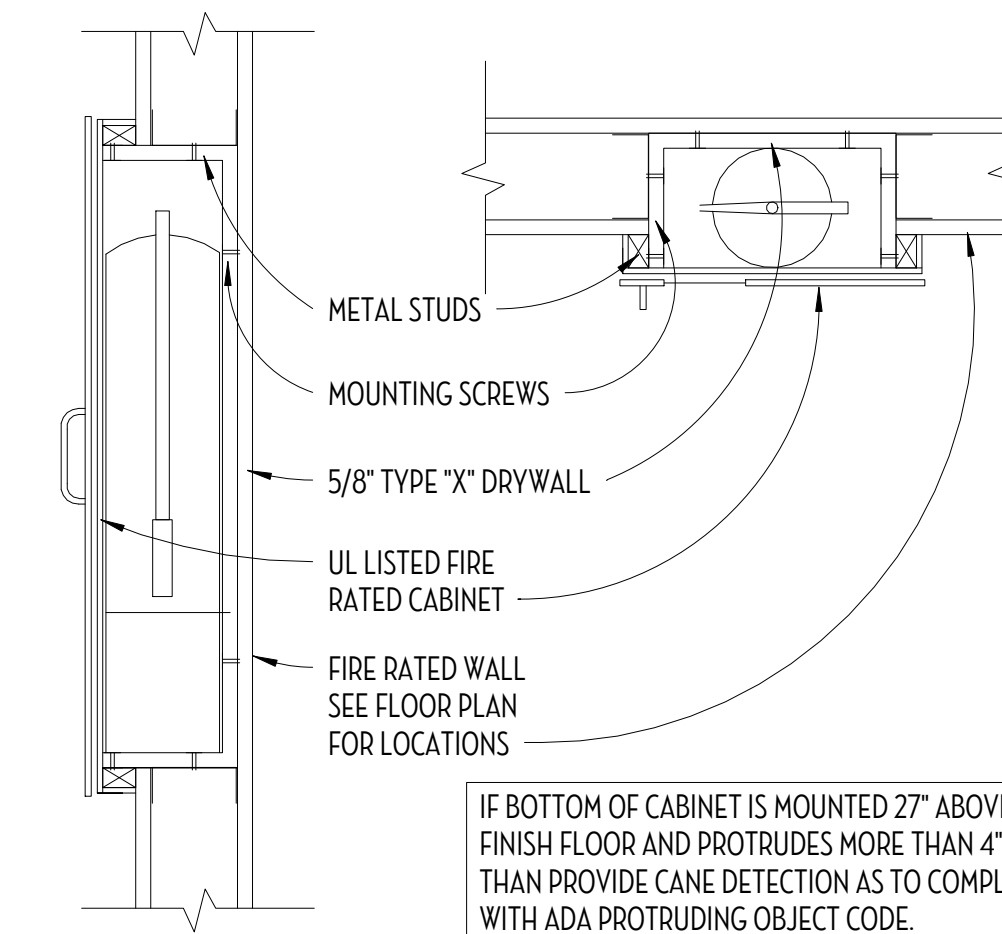
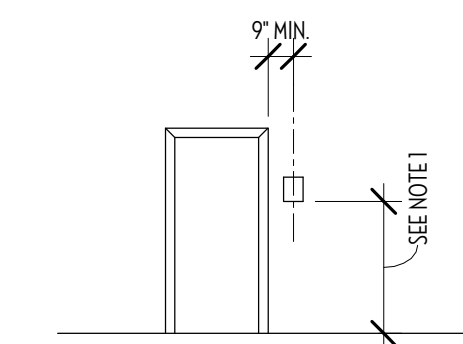
- SHOP DRAWINGS WITH CUT SHEET AND CALCULATIONS TO BE SUBMITTED TO THIS OFFICE ON FIRE ALARM SYSTEMS FOR APPROVAL PRIOR TO INSTALLATION. SPRINKLER CONTRACTOR IS TO BE LICENSED AND APPROVED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE (IF SPRINKLED).
- DESIGN OF FIRE ALARM SYSTEM IS TO BE NICET III OR COMPARABLE AND LICENSED BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- FIRE ALARM INSTALLATION PERSONNEL SHALL BE QUALIFIED OR SHALL BE SUPERVISED BY PERSONS WHO ARE QUALIFIED IN THE INSTALLATION, INSPECTION, AND TESTING OF COMMERCIAL FIRE ALARM SYSTEMS (NICET II OR COMPARABLE). INSTALLING COMPANY IS TO BE LICENSED AND APPROVED FOR SUCH WORK BY THE STATE OF FLORIDA FIRE MARSHALL'S OFFICE.
- DUCT DETECTORS ARE TO HAVE AN INDICATOR OF ACTIVATION THAT IS VISIBLE WHILE STANDING AT FLOOR LEVEL.
- ADDRESSES TO BE DISPLAYED ON THE BUILDING IN A COLOR THAT CONTRASTS WITH ITS BACKGROUND. THEY ARE TO BE A MINIMUM OF FOUR INCHES TALL AND/OR VISIBLE FROM THE ROADWAY. CONTACT FIRE DEPARTMENT FOR SIZE AND PLACEMENT APPROVAL.
- A KNOX BOX IS REQUIRED FOR THIS STRUCTURE. CONTACT FIRE DEPARTMENT FOR AN AUTHORIZED ORDER FORM AND PLACE LOCATION ON THE STRUCTURE.
- EMERGENCY LIGHTING/EXIT SIGNS ARE TO BE ON A DEDICATED CIRCUIT WITH A LOCK-ON CLIP INSTALLED ON THE BREAKER.
- FIRE EXTINGUISHERS ARE INDICATED ON PLANS. PLACEMENT OF EXTINGUISHERS IS TO BE APPROVED PRIOR TO INSTALLATION. DEPENDING ON THE MOUNTING METHOD, THIS CAN BE PERFORMED ANYTIME DURING CONSTRUCTION.
- FIRE LINE FLUSH PRIOR TO CONNECTING TO SPRINKLER RISER IS TO BE WITNESSED BY THE FIRE MARSHALL (IF SPRINKLED).

FIRE EXTINGUISHERS:

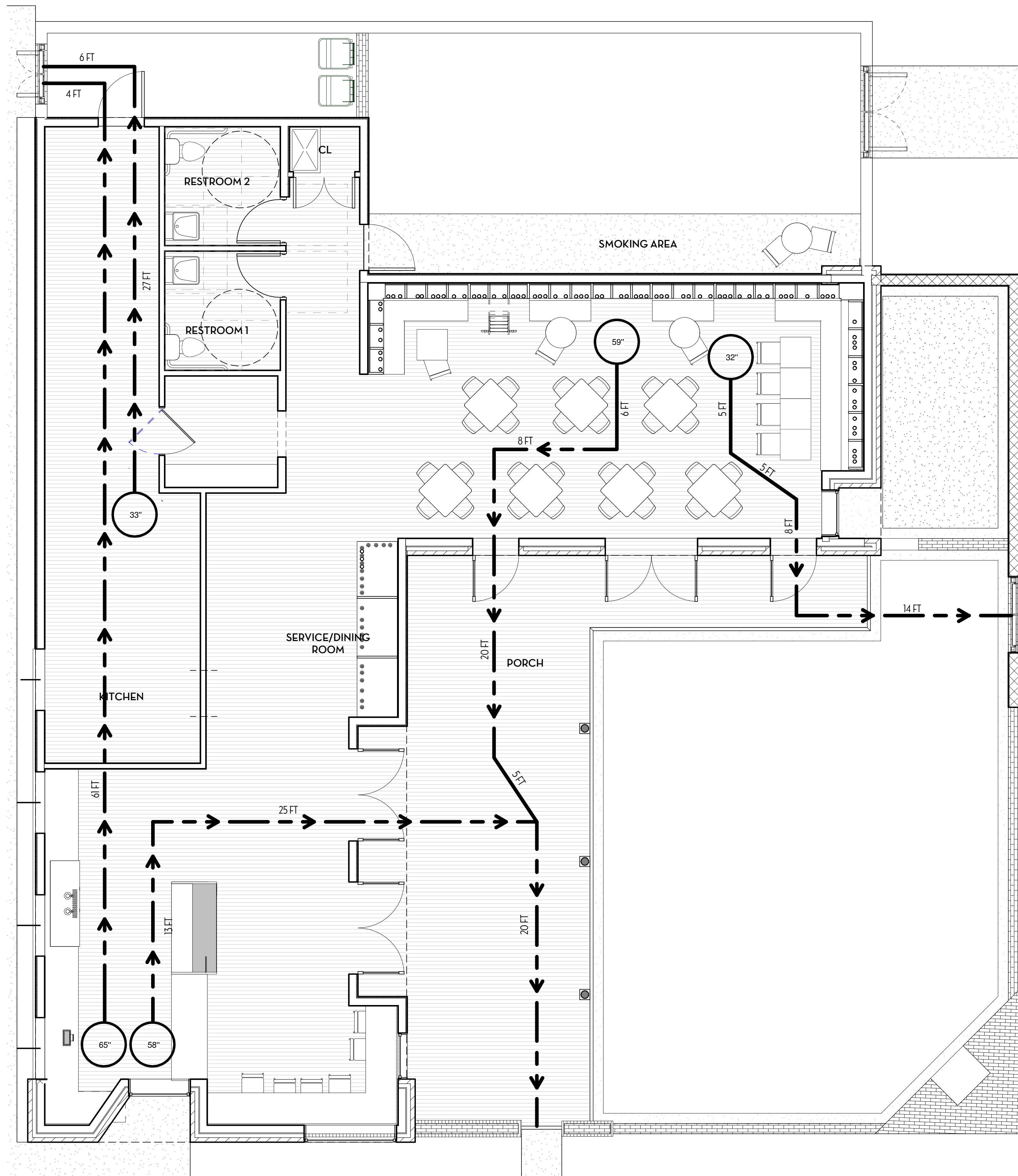
- NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."
- FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING. REMOVE AND REPLACE DAMAGED DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS.
- INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MOUNTING BRACKETS: AT REQUIRED DIMENSION ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, FASTEN MOUNTING BRACKETS TO SURFACES. SQUARE AND PLUMB, AT LOCATIONS INDICATED.

SIGNAGE NOTES:

- MAXIMUM HEIGHT OF TACTILE CHARACTERS IS 60" ABOVE FLOOR TO BASELINE OF CHARACTERS. MINIMUM HEIGHT OF TACTILE CHARACTERS IS 48" ABOVE FLOOR TO BASELINE OF CHARACTERS.
- SIGNS THAT IDENTIFY A ROOM, SPACE OR AREA SHALL HAVE RAISED CHARACTERS AND BRAILLE.
- SIGNS SHALL HAVE A NON-GLARE FINISH WITH CONTRASTING COLORS.
- PICTOGRAMS SHALL BE IN THEIR OWN 6" HIGH FIELD. ADD THE ISA SYMBOL IF ACCESSIBLE.
- CHARACTERS SHALL BE SANS SERIF AND ALL UPPERCASE.
- CHARACTERS MUST BE BETWEEN 5/8" AND 2" WITH A MINIMUM OF 1/8" SPACING.
- FONT SHALL BE ADA COMPLIANT.
- 3/8" MINIMUM MARGIN IS REQUIRED AROUND ALL RAISED ELEMENTS INCLUDING BRAILLE.
- 1" HIGH SPACE IS REQUIRED FOR ONE LINE OF BRAILLE.
- BRAILLE SHALL BE ALL TOGETHER AND 3/8" TO 1/2" BELOW LAST LINE OF TEXT.



IF BOTTOM OF CABINET IS MOUNTED 27" ABOVE FINISH FLOOR AND PROTRUDES MORE THAN 4" THAN PROVIDE CANE DETECTION AS TO COMPLY WITH ADA PROTRUDING OBJECT CODE.



4 LIFE SAFETY PLAN
1/4" = 1'-0"

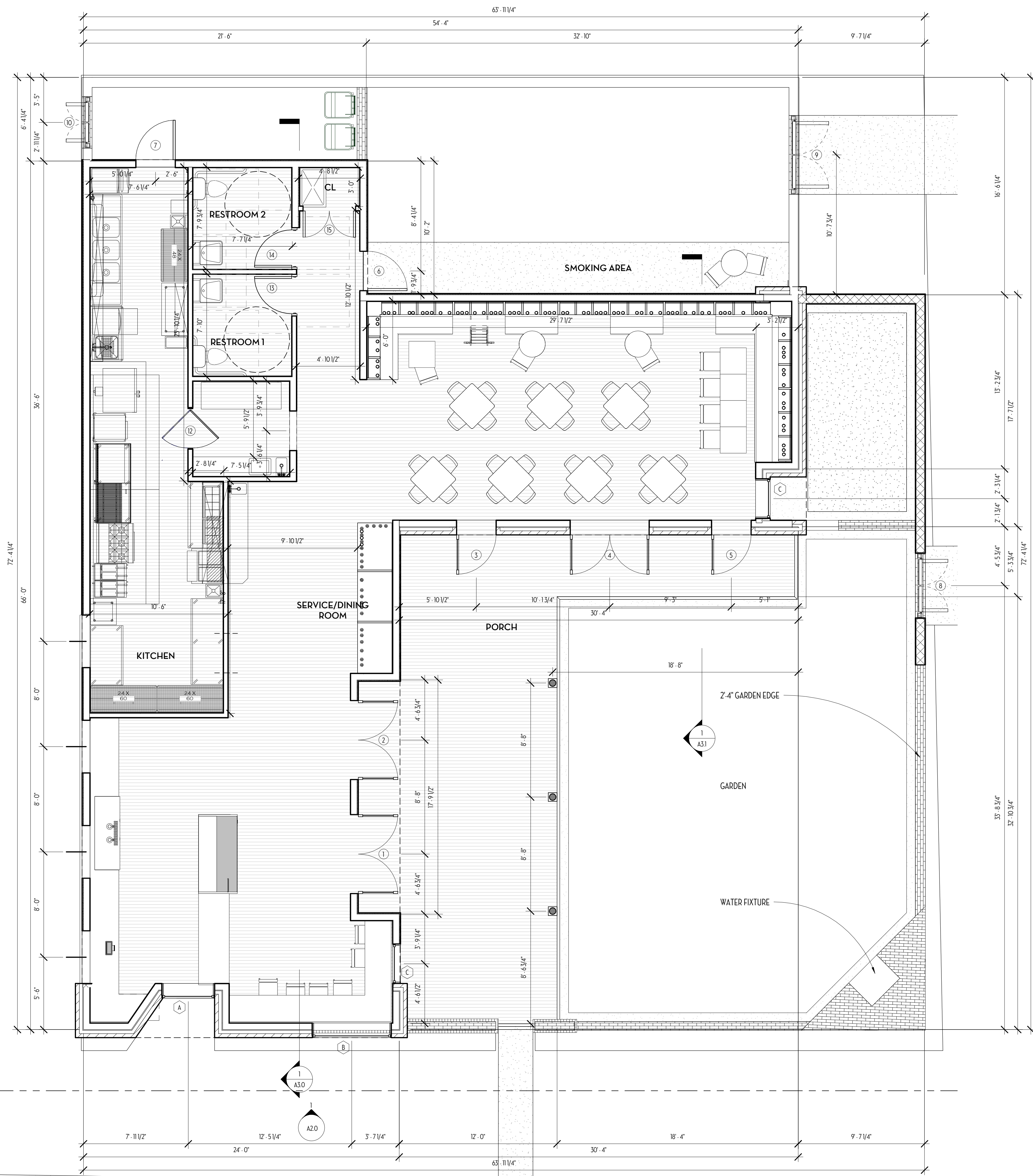
SHEET ISSUED: 01/12/20
PROJECT NO: 1924
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

Issued for: _____ Date: _____

Revision Schedule

NO.	DATE	DESCRIPTION

LIFE SAFETY PLAN



1 FLOOR PLAN
1/4" = 1'-0"

architect of record :
**McWhorter
 Vallee Design**
 FL - AA26003107
 37 S N 10th Street
 Defuniak Springs, FL 32435
 Phone: 850.660.6675
 www.mvr.design

seal:

Anthony J. Vallee, Architect
 seal: AR95108

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

SHEET ISSUED: 01/12/20
 PROJECT NO: 1924
 DRAWN BY: AJJV
 CHECKED BY: Checker
 SCALE: 1/4" = 1'-0"

Issued for: _____ Date: _____

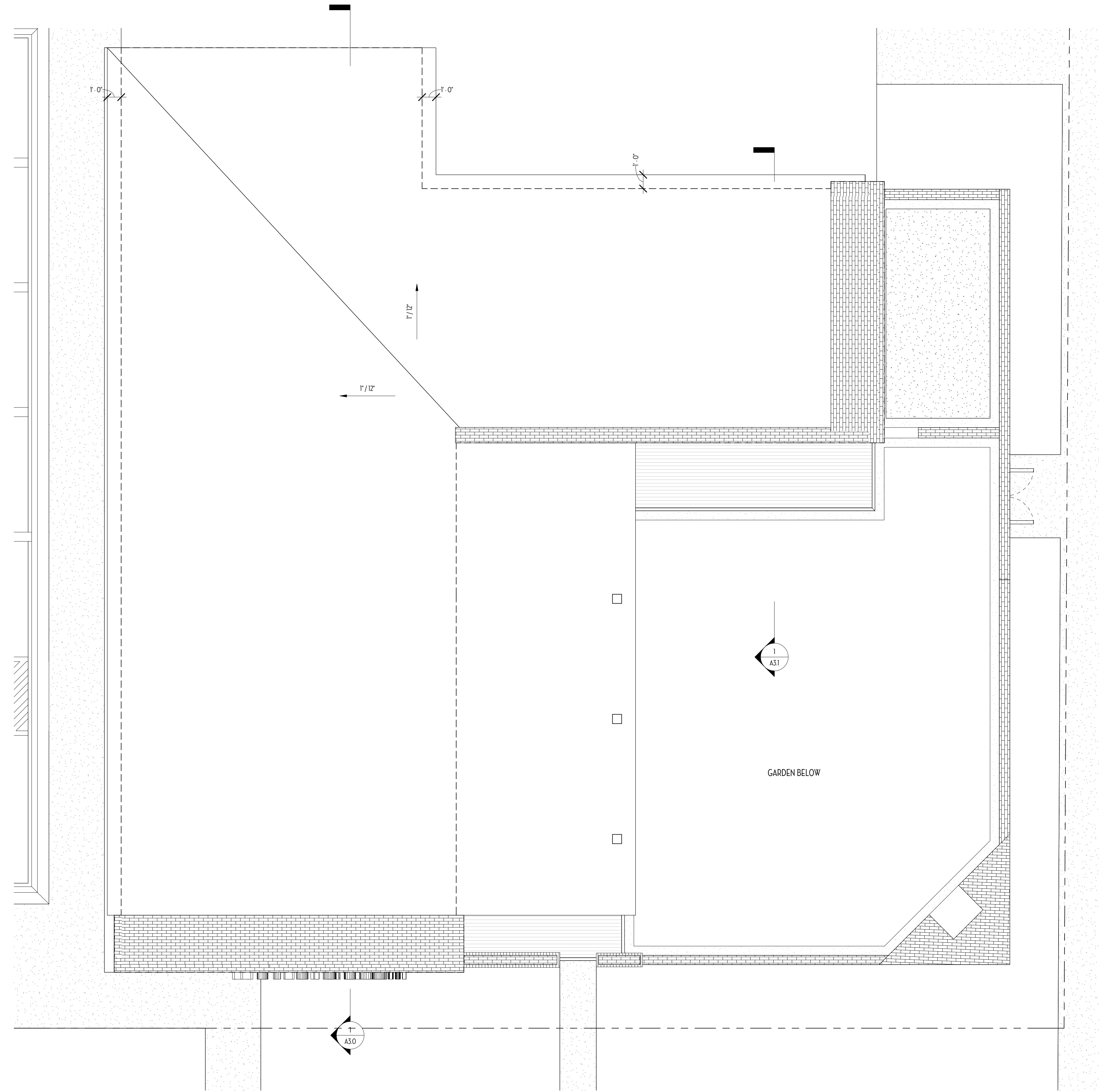
Revision Schedule

FLOOR PLAN

A1.1

seal:

Anthony J. Vallee, Architect
 seal: AR95108



1 ROOF PLAN
 1/4" = 1'-0"

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

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 SCALE: 1/4" = 1'-0"

Issued for: _____ Date: _____

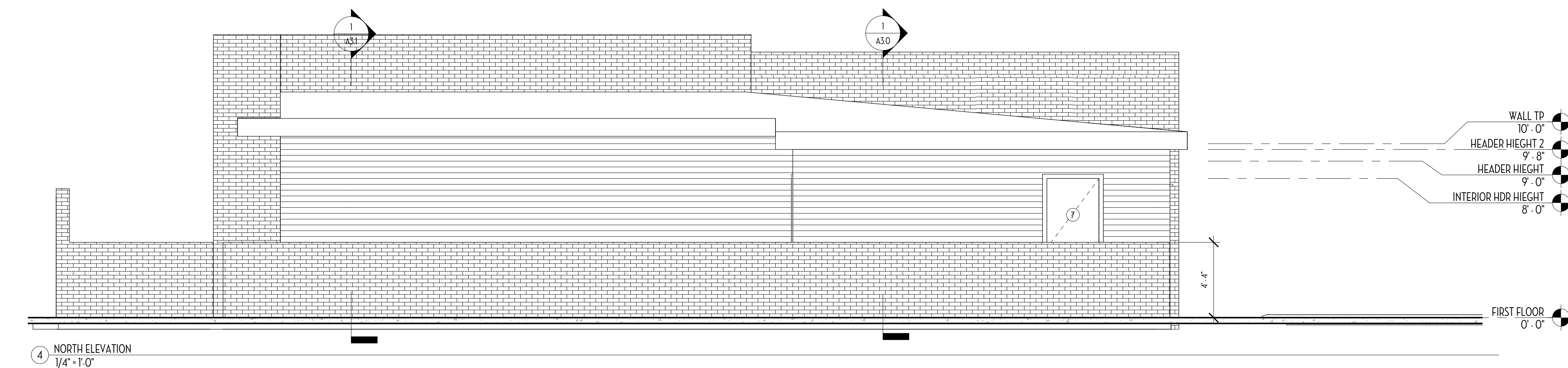
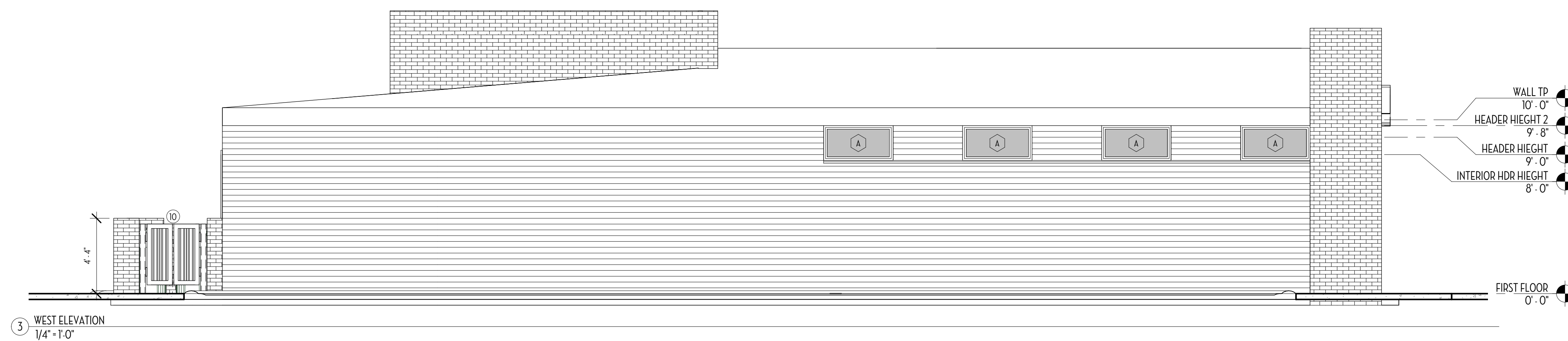
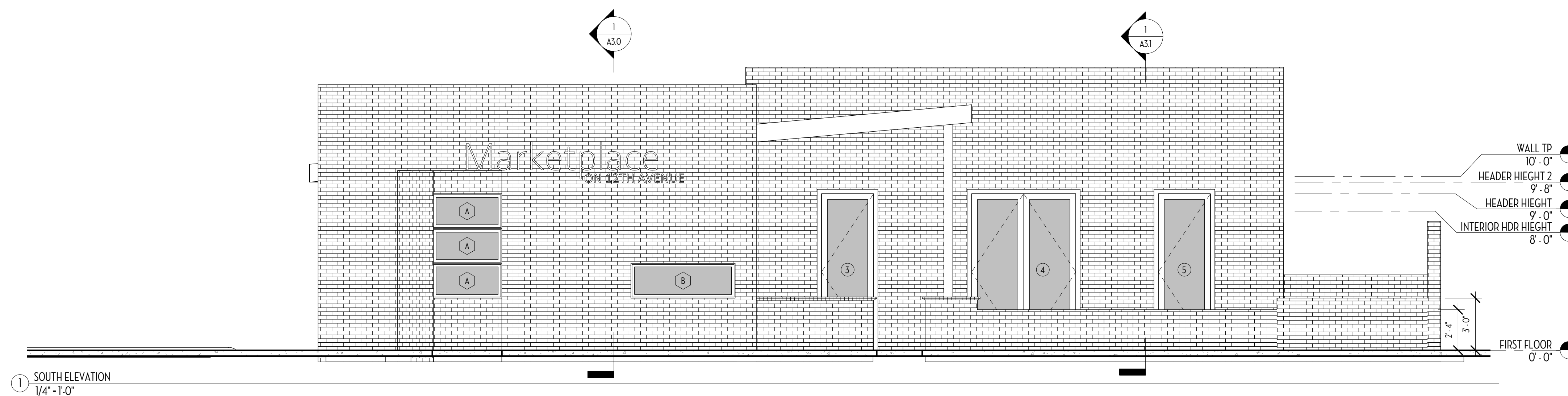
Revision Schedule

ROOF PLAN

A1.2

seal:

Anthony J. Vallee, Architect
seal: AR95108



project name

MARKETPLACE

project address:

parcel:

26-25-21-42000-001-0052

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 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/4" = 1'-0"

Issued for: _____ Date: _____

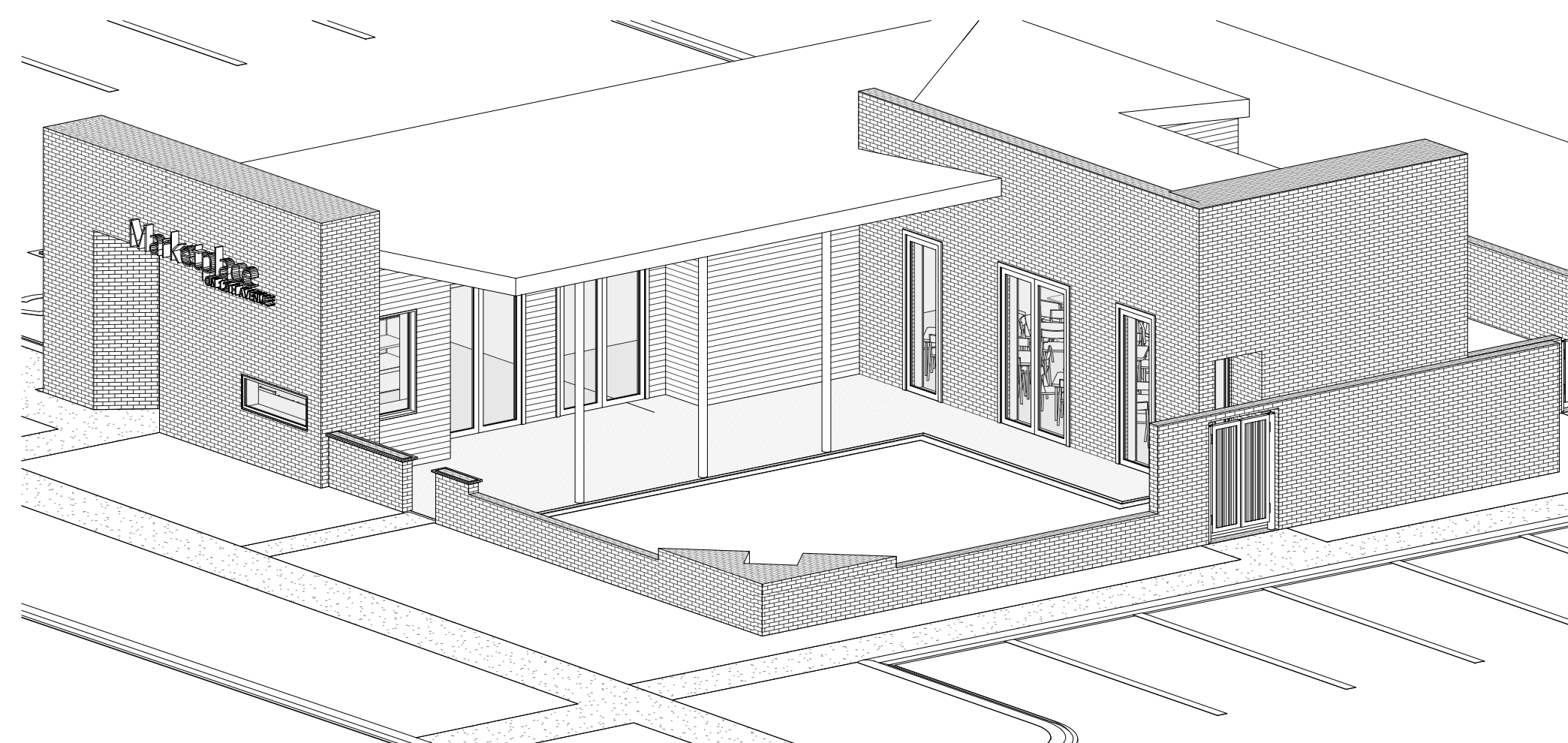
Revision Schedule

ELEVATIONS

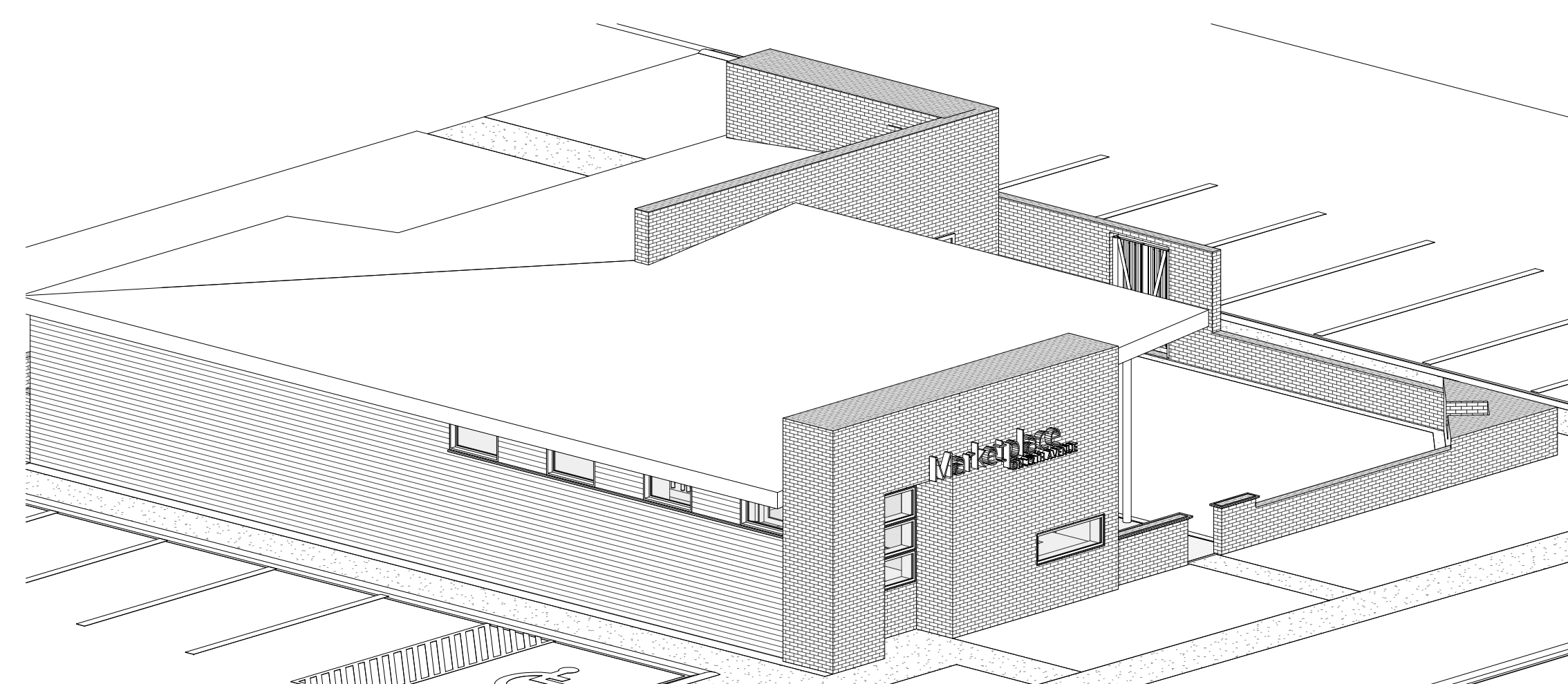
A2.0

seal:

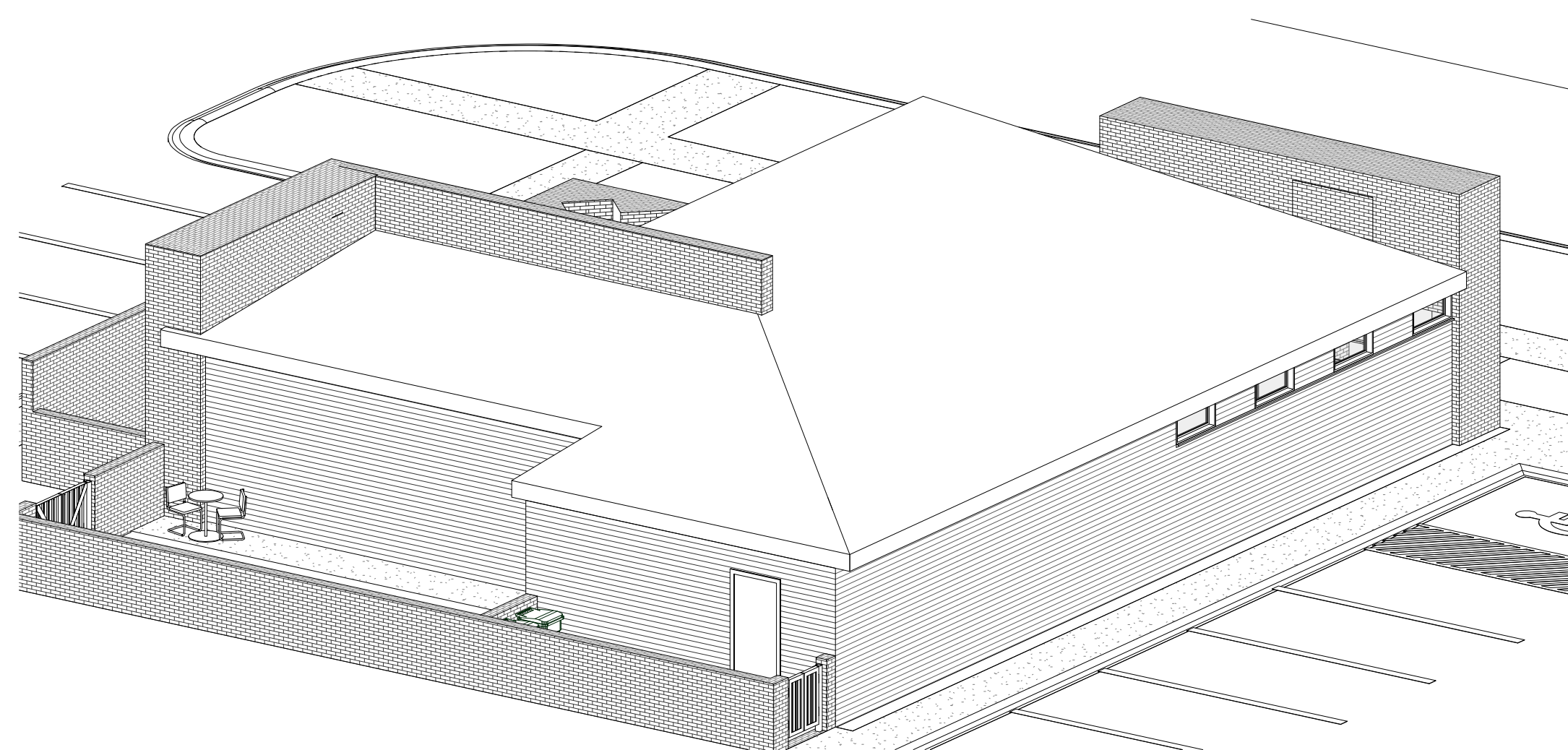
Anthony J. Vallee, Architect
 seal: AR95108



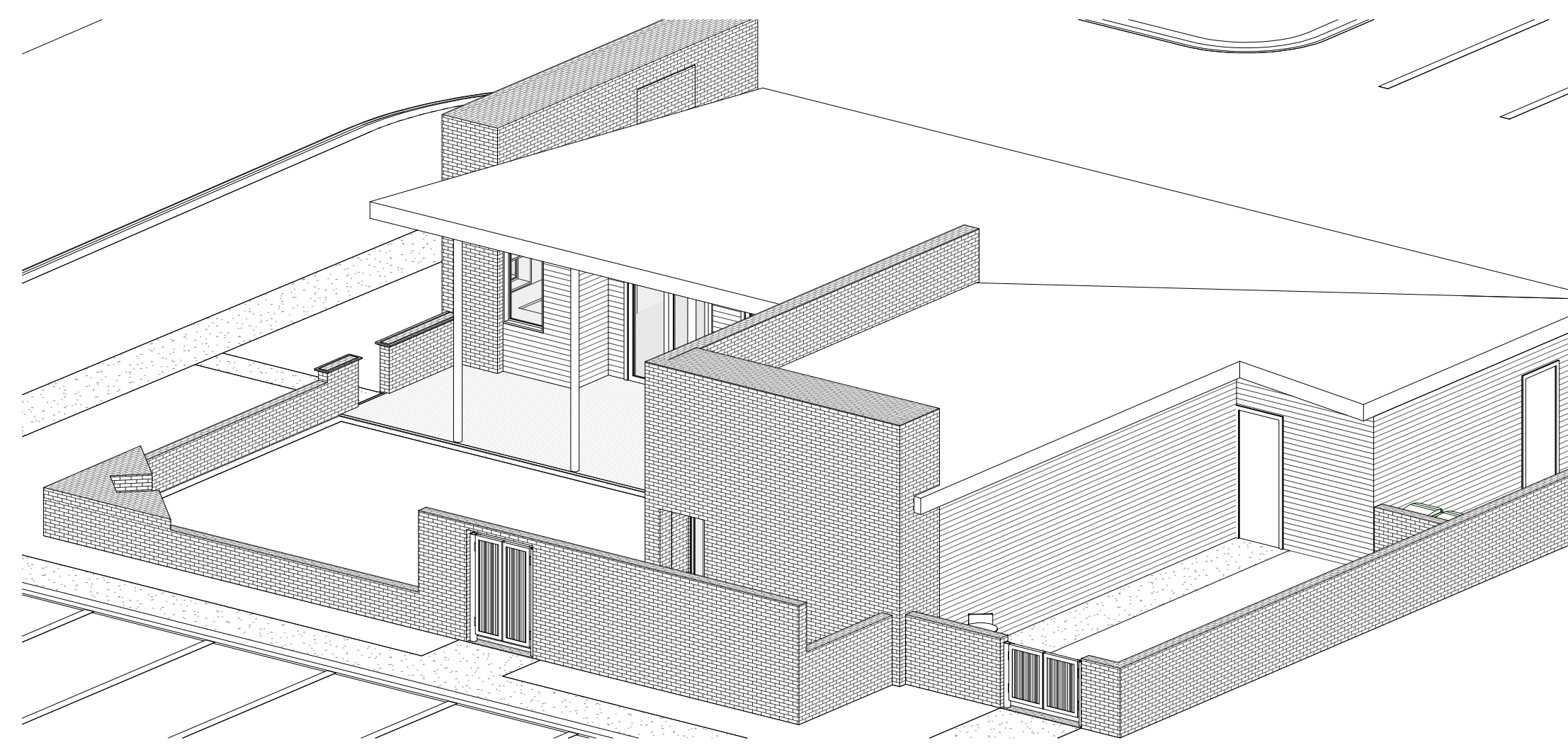
① Isometric 1



② Isometric 2



③ Isometric 3



④ Isometric 4

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

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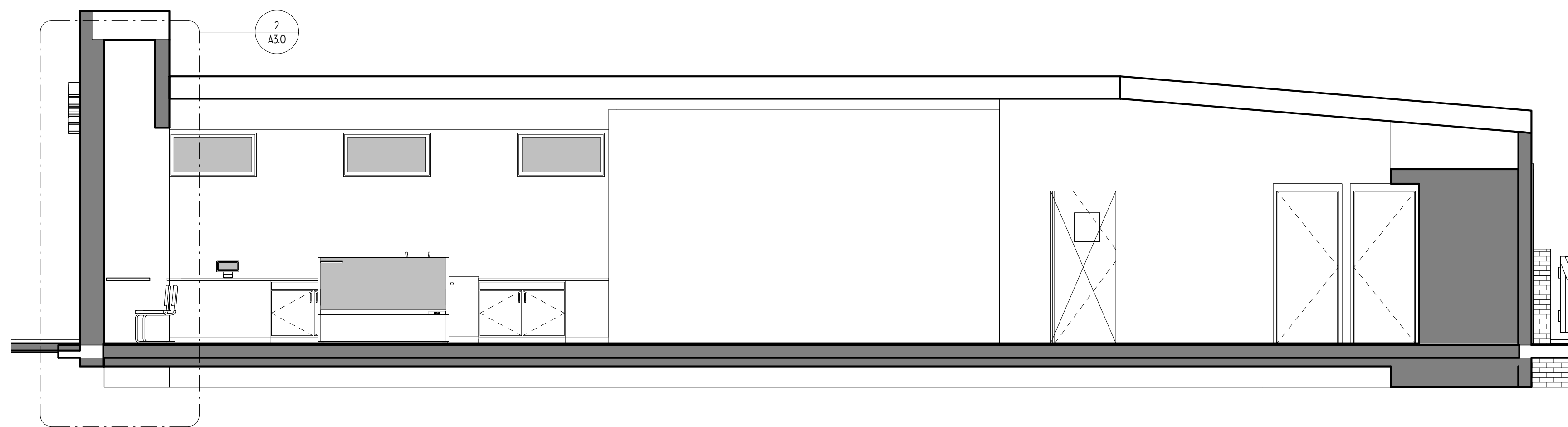
Revision Schedule

3D VIEWS

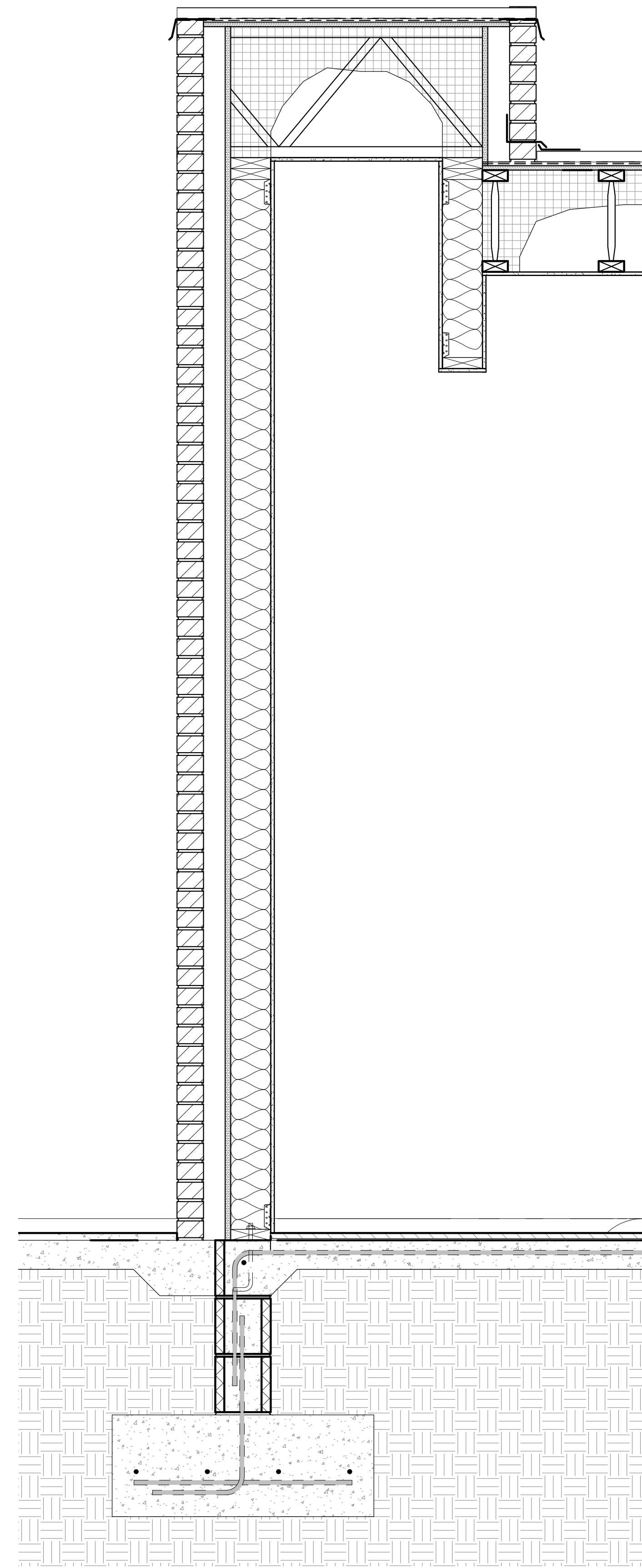
A2.2

seal:

Anthony J. Vallee, Architect
 seal: AR95108



1 BUILDING SECTION 1
 1/4" = 1'-0"



2 BRICK DETAILED WALL SECTION
 1" = 1'-0"

project name
MARKETPLACE

project address:
 -

parcel:
 26-25-21-42000-001-0052

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 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

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Revision Schedule

BUILDING
 SECTION
A3.0

architect of record :

McWhorter Vallee Design

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

www.mvr.design

seal:

Anthony J. Vallee, Architect
seal: AR95108

project name

MARKETPLACE

project address:

-

parcel:

26-25-21-42000-001-0052

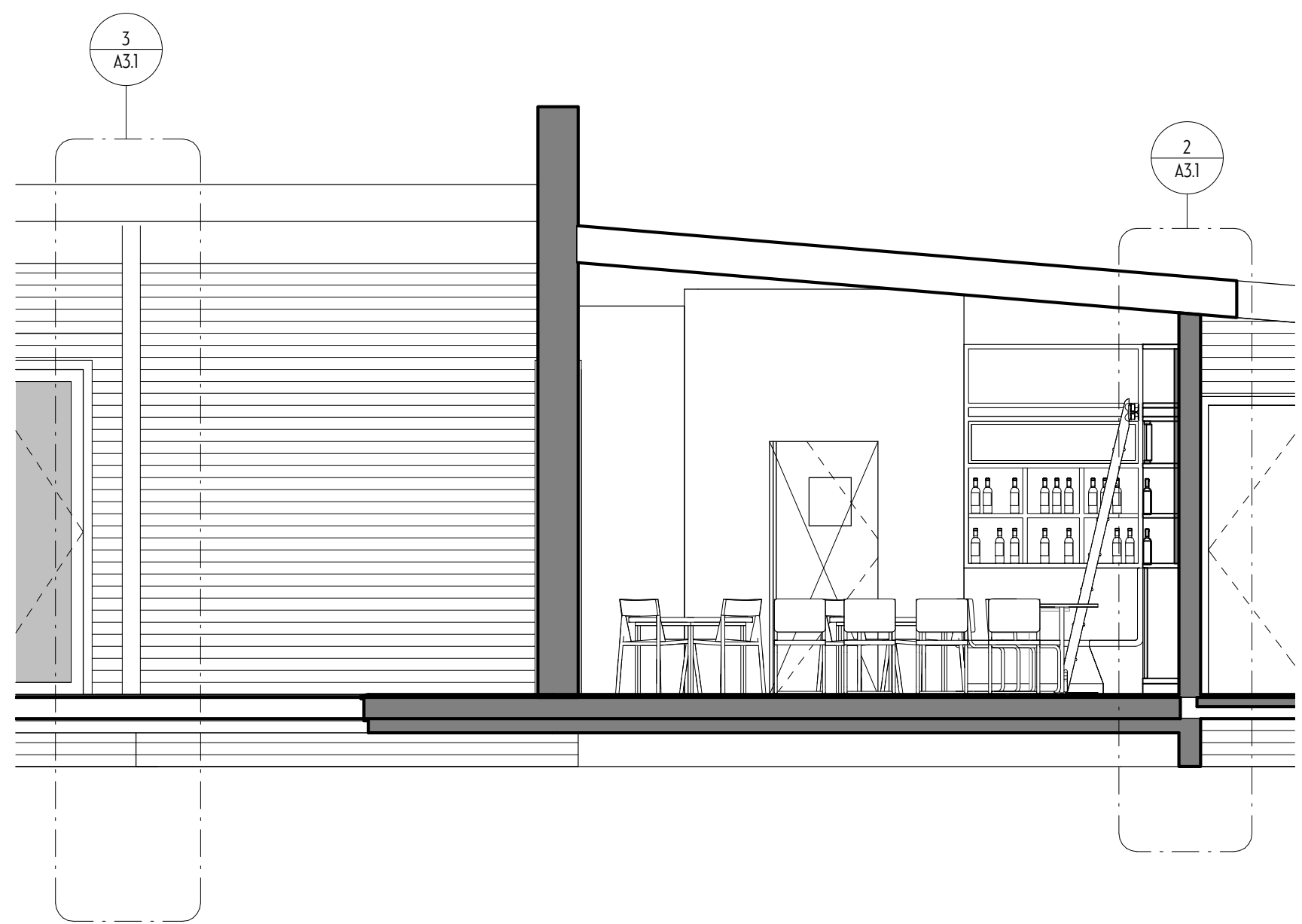
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_____	_____

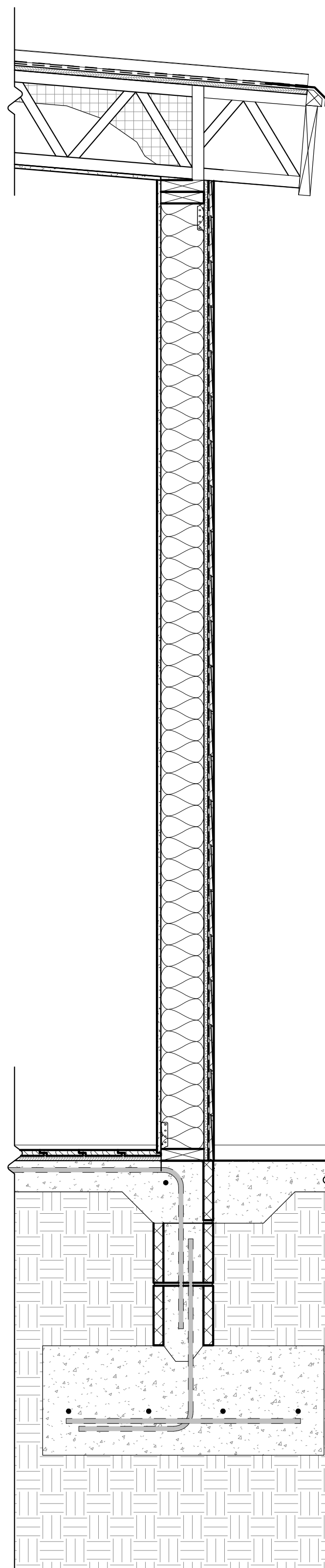
Revision Schedule

BUILDING SECTION

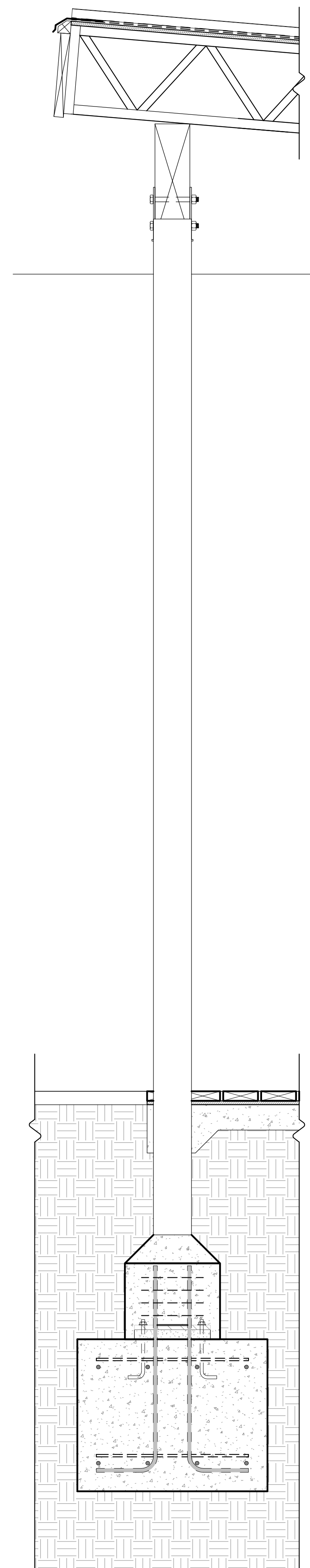
A3.1



1 BUILDING SECTION 2
1/4" = 1'-0"



2 TYPICAL WALL SECTION
1" = 1'-0"



3 BUILDING SECTION 2 - Callout 1
1" = 1'-0"

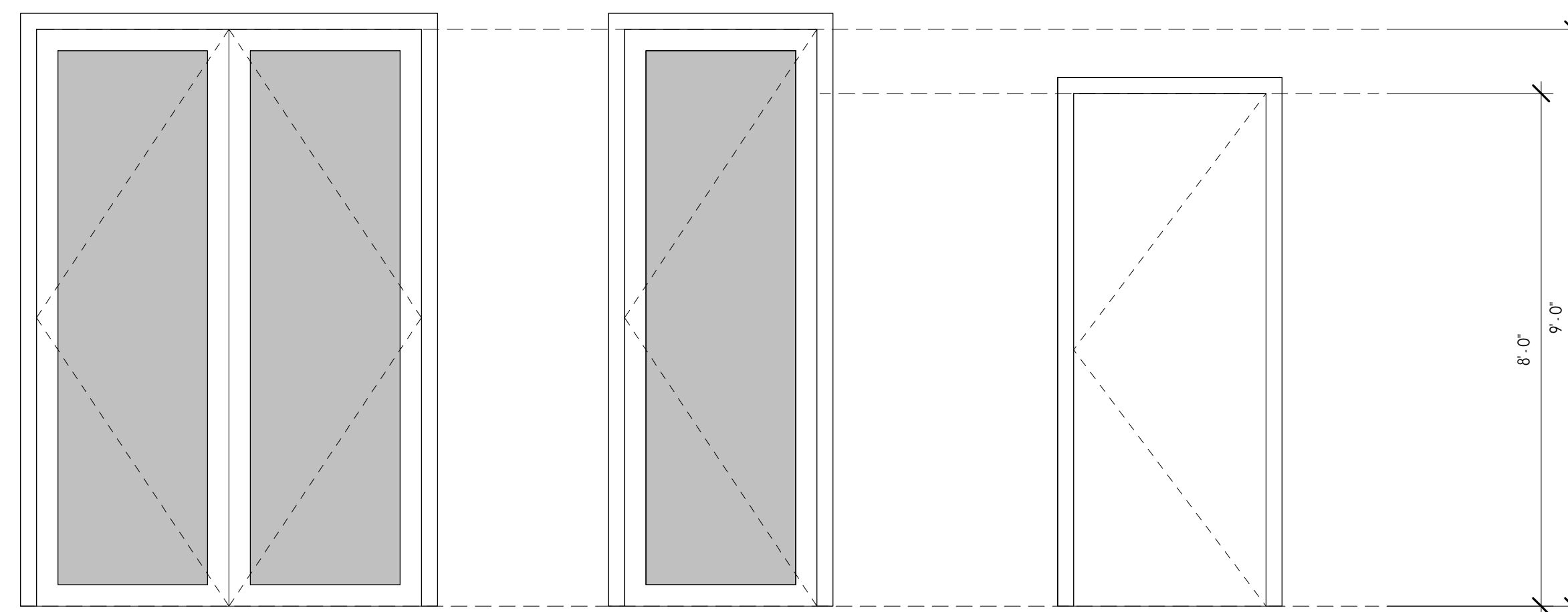
seal:

Anthony J. Vallee, Architect
seal: AR95108

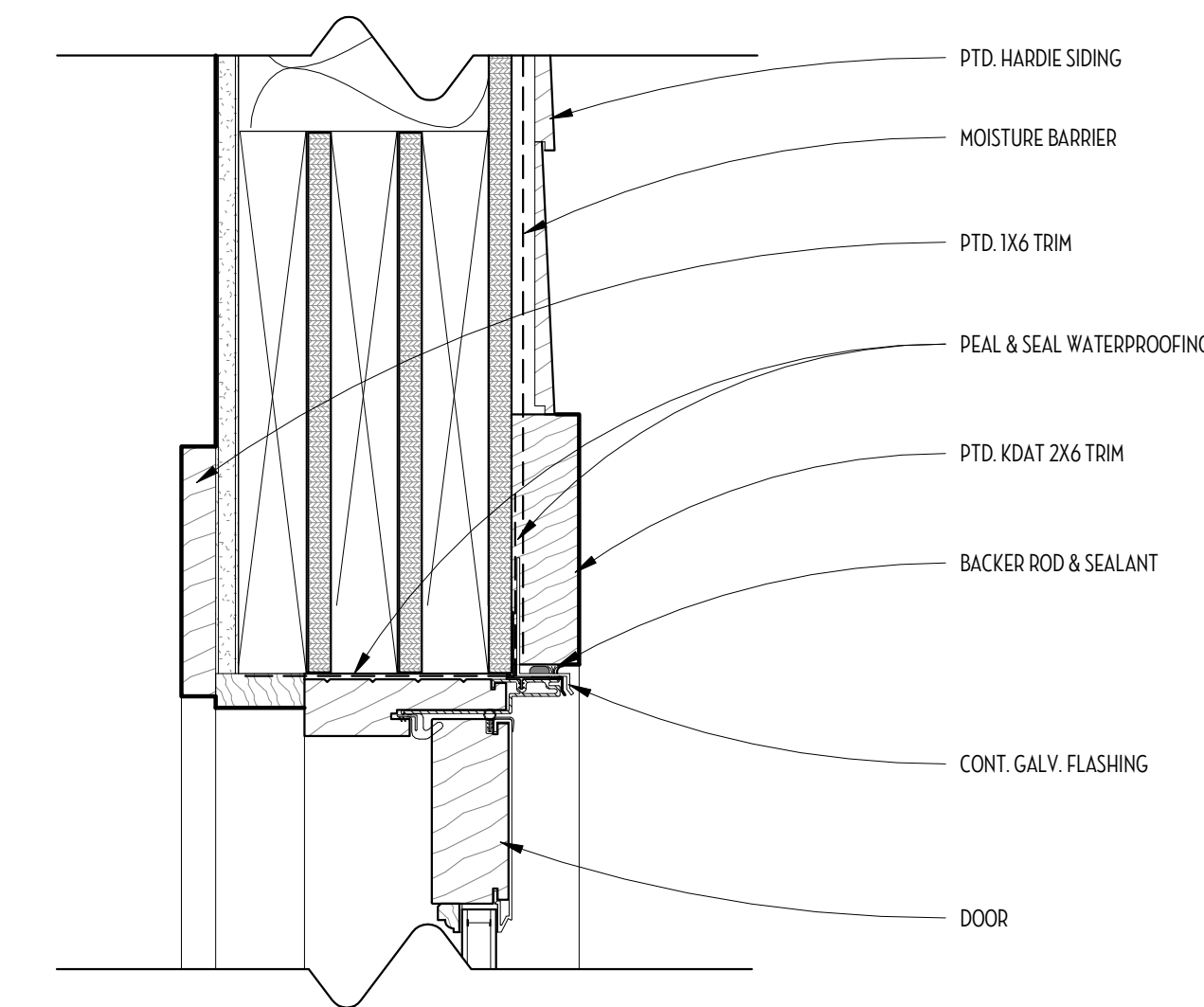
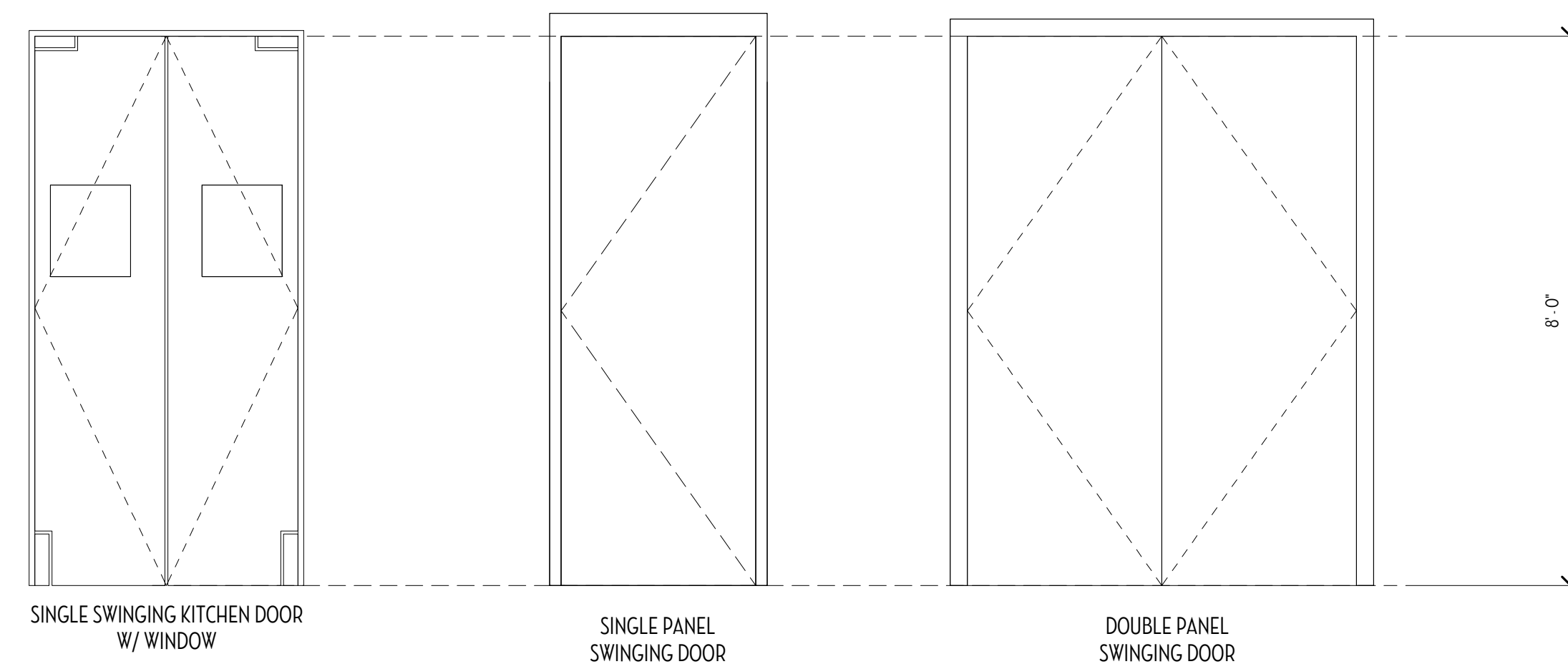
DOOR SCHEDULE					
UNIT	HEIGHT	WIDTH	DESCRIPTION	FINISH	COMMENTS
1	9'-0"	6'-0"			
2	9'-0"	6'-0"			
3	9'-0"	3'-0"			
4	9'-0"	6'-0"			
5	9'-0"	3'-0"			
6	8'-0"	3'-0"			
7	8'-0"	3'-0"			
8	6'-8"	4'-0"			
9	4'-0"	5'-1"			
10	4'-0"	3'-0"			
12	8'-0"	3'-0"	DUAL SWING KITCHEN DOOR WITH WINDOW		
13	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
14	8'-0"	3'-0"	FLUSH OUTSWING INTERIOR DR.		
15	8'-0"	4'-0"			
X34	0'-0"	0'-0"			

GENERAL NOTES:	GENERAL DOOR HARDWARE PERFORMANCE NOTES:
<ol style="list-style-type: none"> DOORS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL. ALL GLASS TO BE INSULATED LOW-E. UNITS TO BE IMPACT RATED. SEE DOOR STYLES FOR MUNTIN PATTERNS. INSTALL DOOR PER MFR. INSTRUCTIONS. EXTERIOR DOOR OPENING TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP (SEE DOOR DETAILS FOR MORE INFORMATION). INTERIOR DOOR HEAD HEIGHT TO ALIGN WITH THOSE OF EXTERIOR DOORS. DOOR THRESHOLDS IN GENERAL SHOULD EXTEND PAST THE EDGE OF THE SKIRT BY @ LEAST 1/4". THRESHOLD EXTENSIONS TO BE ORDERED FOR FACTORY MFR. DOORS & SHOP BUILT MAHOGANY THRESHOLDS SHOULD ALSO HAVE EXTENSIONS, AS REQUIRED, BOTH TO SATISFY DOOR DETAILS. 	<ul style="list-style-type: none"> PRIVACY HARDWARE SET: ALL BEDROOMS & BATHS TO HAVE TURN PIECE & EMERGENCY RELEASE. KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS LABELED "K" TO HAVE SINGLE CYLINDER DEADBOLT. NON-KEYED EXTERIOR HARDWARE SET: ALL EXTERIOR DOORS NOT LABELED "K" TO HAVE TURN PIECE ON INTERIOR SIDE. HALF DUMMY HARDWARE SET: ALL CLOSET DOORS. PASSAGE HARDWARE SET: TYPICAL ALL REMAINING DOORS. ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF. ALL EXTERIOR HINGES TO HAVE INTEGRAL STOPS. GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS W/ OWNER / ARCHITECT FOR ITEMS SUCH AS: SPECIAL REQUIREMENTS FOR RENTAL PROPERTIES, INDIVIDUALLY LOCKED STORAGE CLOSETS, ETC. THIS LIST IS NOT INTENDED IN ANY WAY TO BE COMPREHENSIVE. G.C. RESPONSIBLE TO COORDINATE AS NECESSARY W/ DOOR HARDWARE SUPPLIER TO PROVIDE HARDWARE SETS THAT MEET THE INTENT OF THE DRAWINGS. G.C. TO COORD. FINAL SELECTIONS W/ OWNER / ARCHITECT.

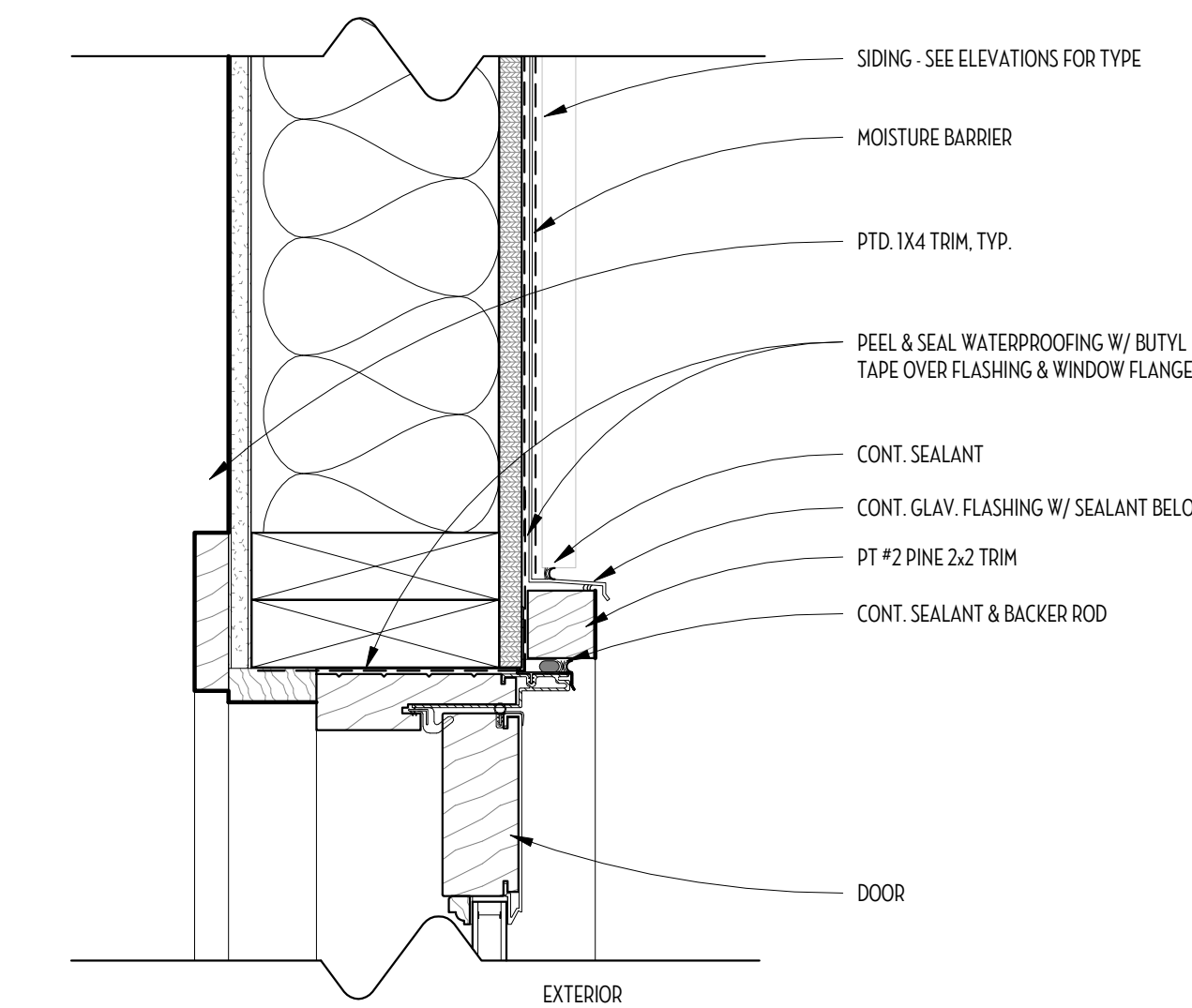
EXTERIOR DOOR TYPES



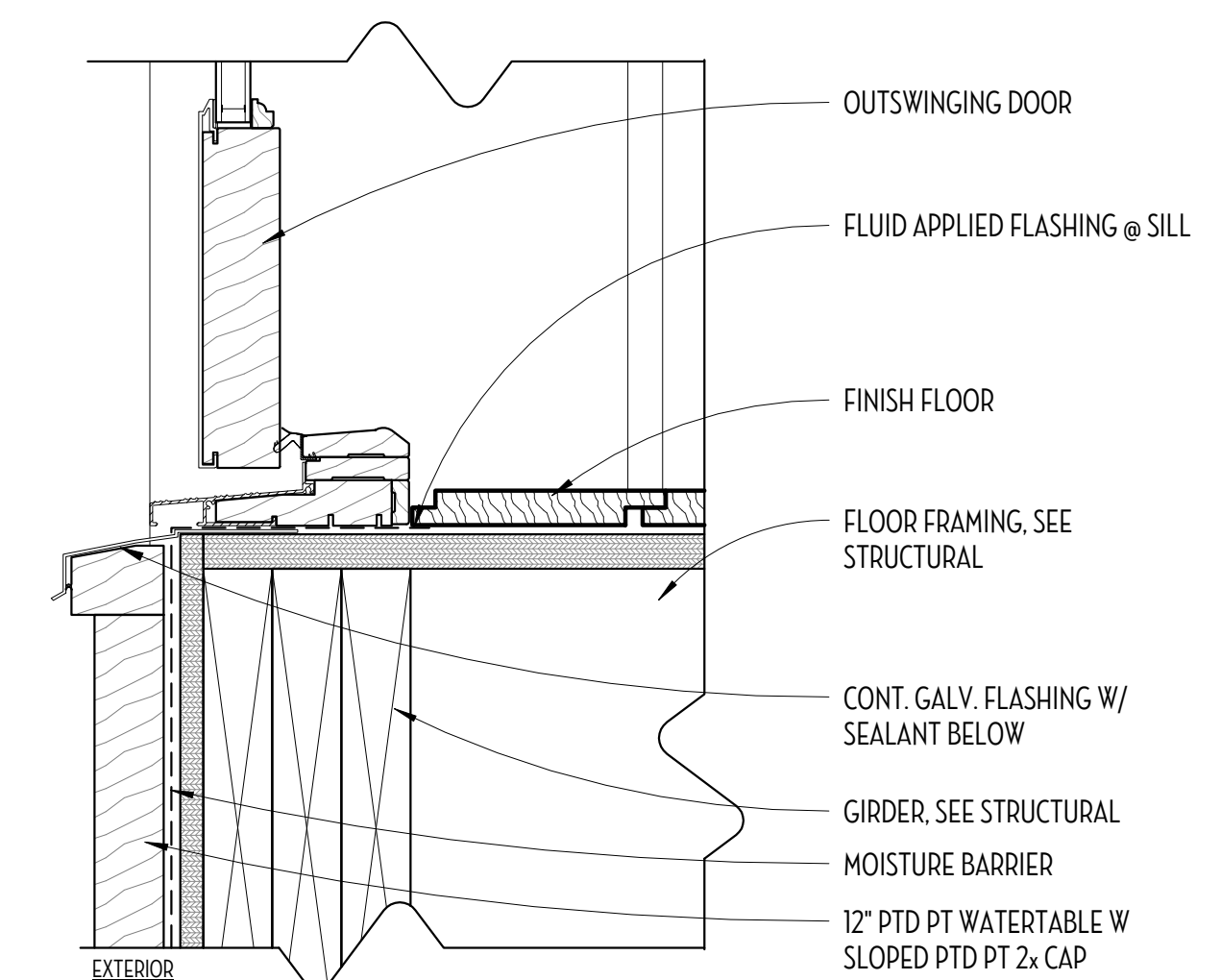
INTERIOR DOOR TYPES



1 TYP. DR. HDR. WOOD
3'-1.0"



2 TYP. DR. JAMB. WOOD
3'-1.0"



3 TYP. DR. SILL. WOOD
3'-1.0"

project name

MARKETPLACE

project address:

parcel:

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Revision Schedule

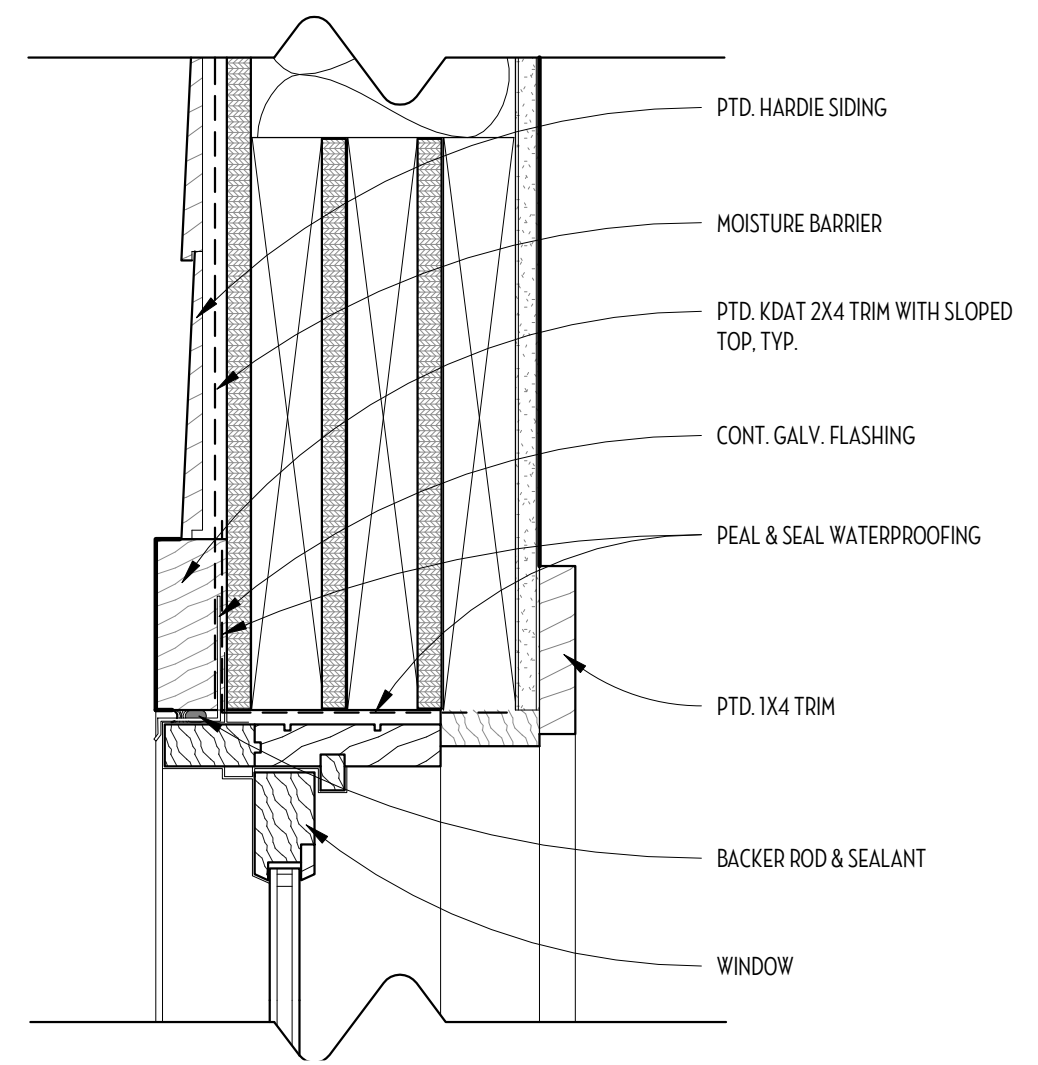
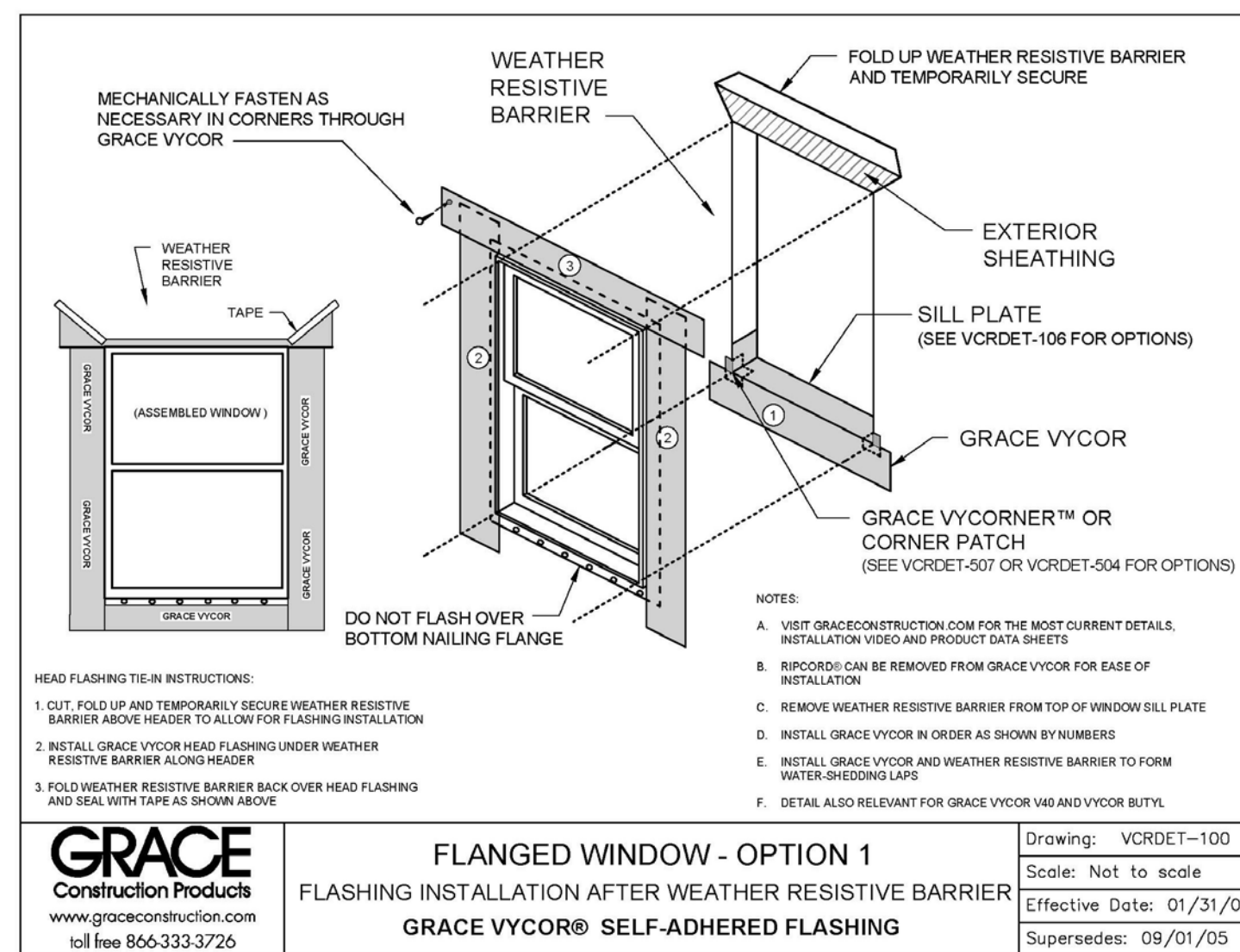
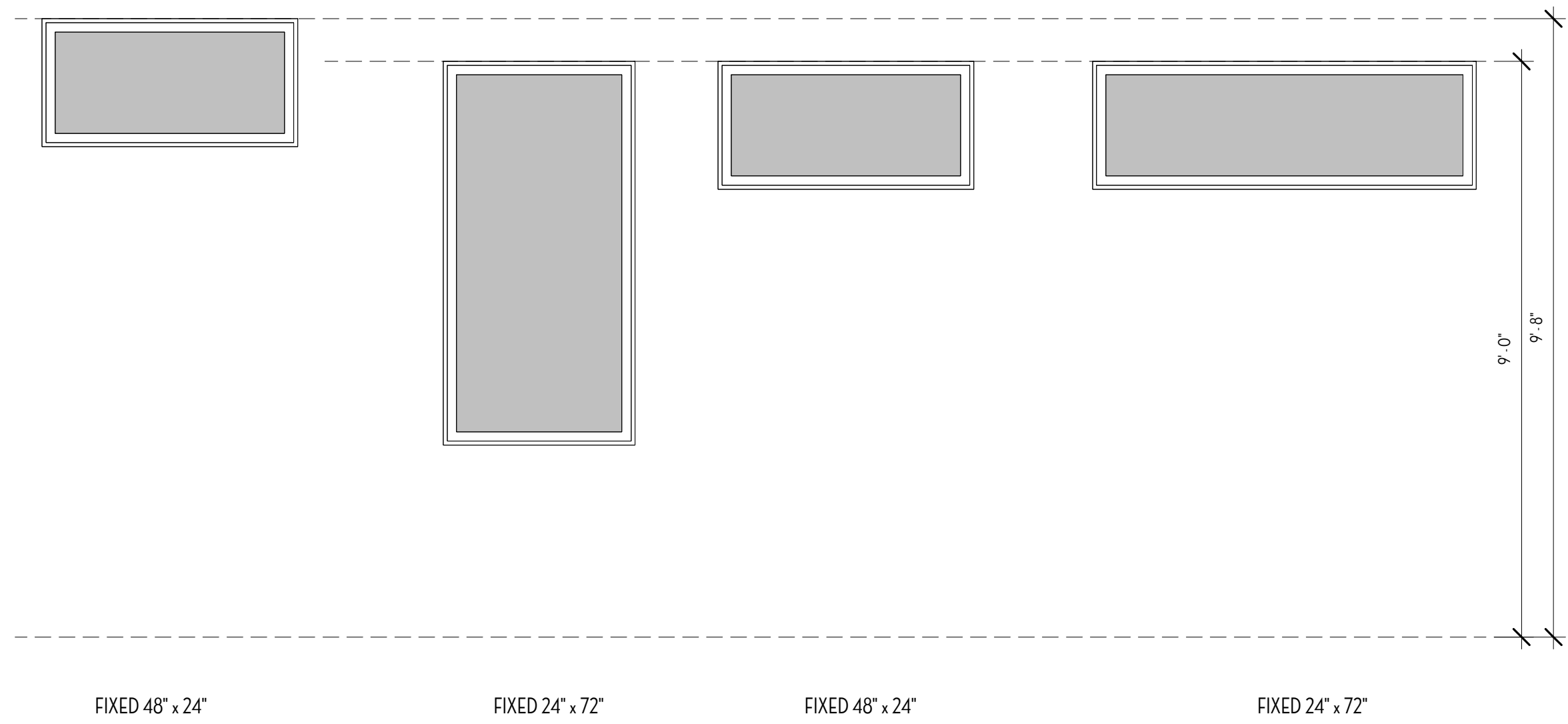
NO.	DESCRIPTION	DATE

DOOR SCHEDULE

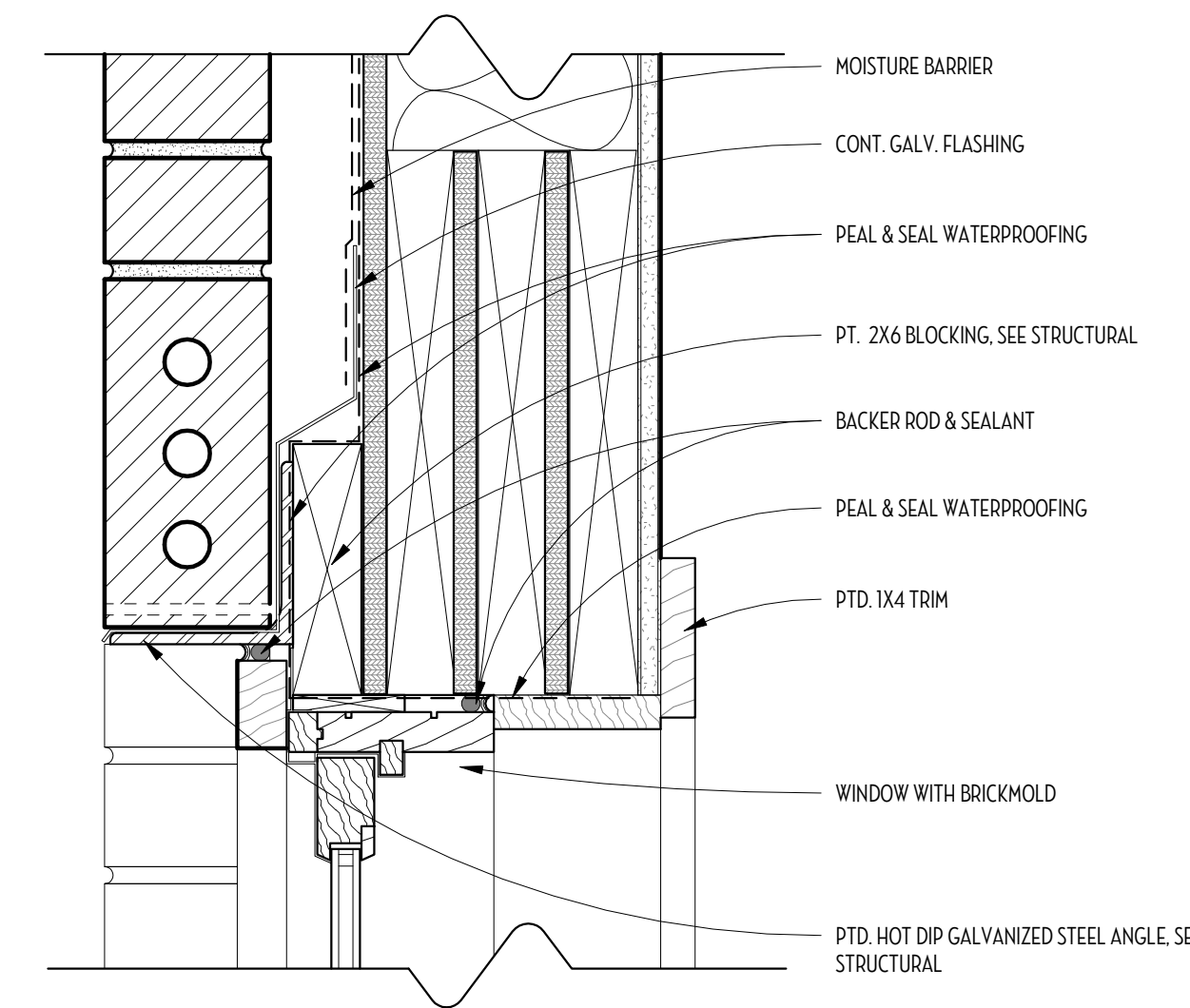
WINDOW SCHEDULE				
UNIT	WIDTH	HEIGHT	DESCRIPTION	NOTES
A	4'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
B	6'-0"	2'-0"	SINGLE CLAD FIXED WINDOW	
C	3'-0"	6'-0"	SINGLE CLAD FIXED WINDOW	

GENERAL NOTES:

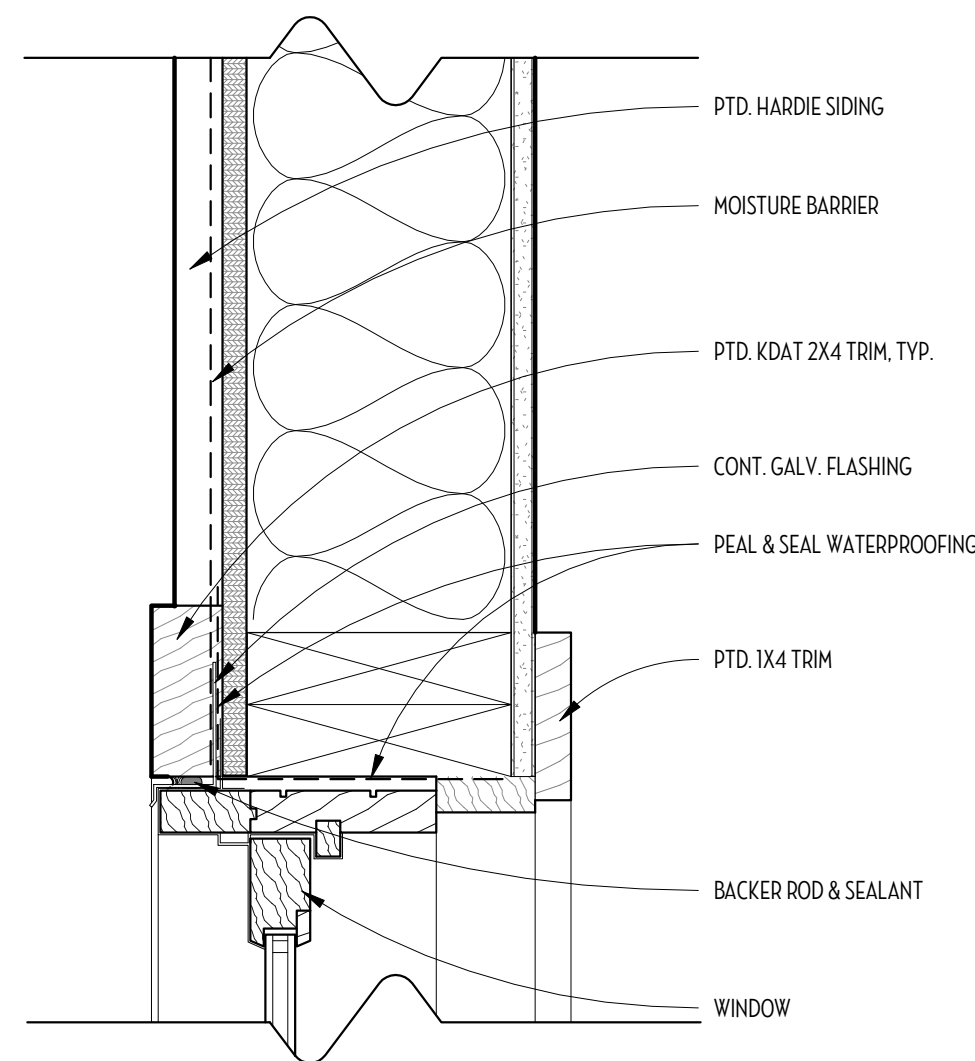
- WINDOWS TO BE SIERRA PACIFIC CLAD OR APPROVED EQUAL.
- ALL GLASS TO BE INSULATED LOW E.
- UNITS TO BE IMPACT RATED.
- SEE WINDOW STYLES FOR MUNTIN PATTERNS.
- WINDOW HEAD HEIGHTS TO ALIGN WITH DOOR HEAD HEIGHTS (UNLESS NOTED OTHERWISE).
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEPEED SEALANT JOINTS, AND WINDOW WRAP. (SEE WINDOW DETAILS FOR MORE INFORMATION)
- WINDOW WRAP TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WINDOW FLASHING & SEALANTS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS OR PER FMA/AAMA 100.12, FMA/AAMA 200.12, FMA/WDMA 250.12, FMA/AAMA/WDMA 300.12, FMA/AAMA/WDMA 400.13.
- DOOR & WINDOW SEALANT SHALL COMPLY WITH AAMA 800 OR ASTM C 920 CLASS 25 GRADE NS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C 1281, AAMA 812.
- GENERAL CONTRACTOR TO NOTIFY ARCH IF ANY CONFLICTS OR INCONSISTENCIES EXIST.
- WINDOW ATTACHMENT TO ROUGH BLOCKING PER WINDOW MANUFACTURERS FLORIDA NOA.



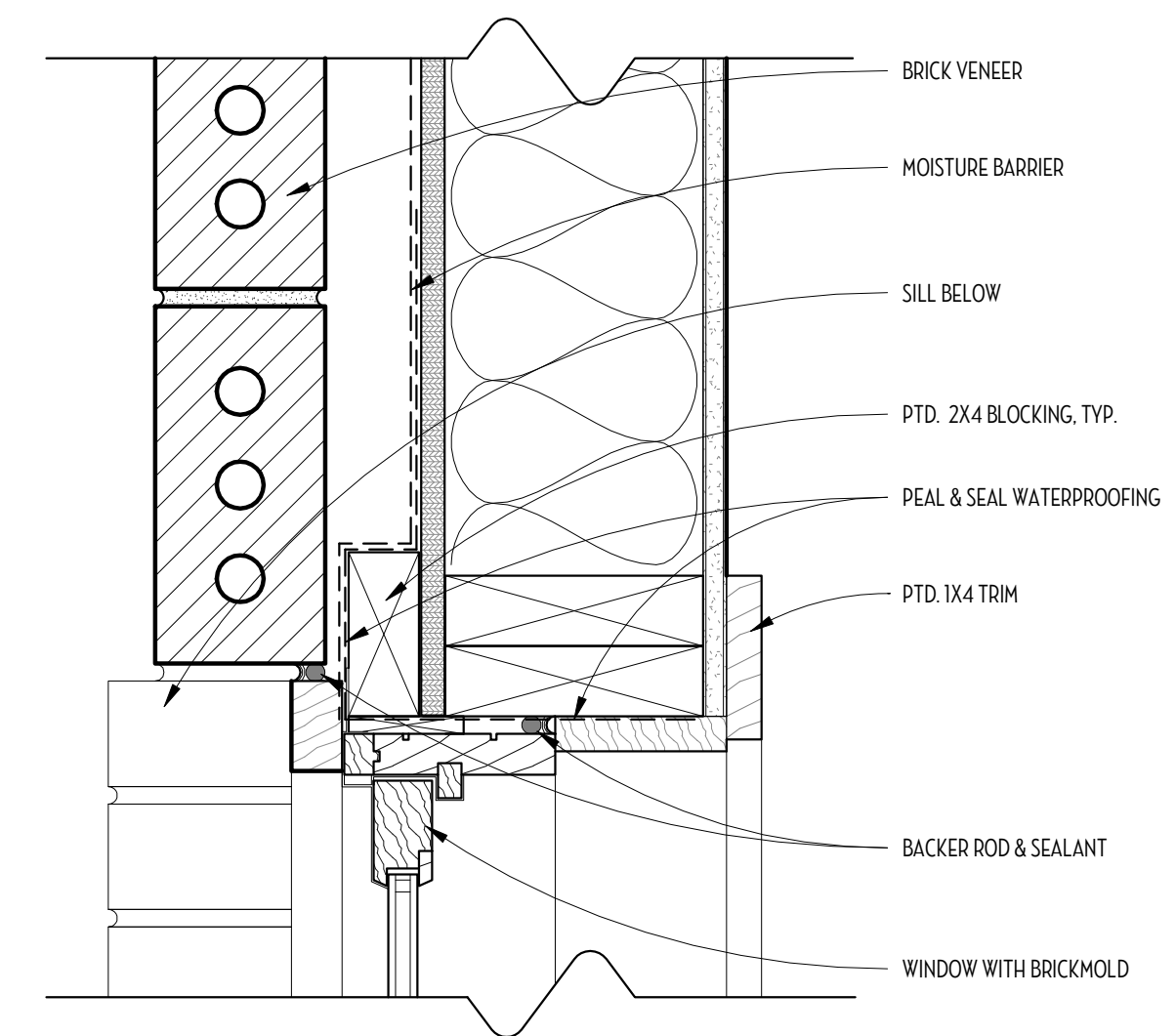
3 TYP. WIN. HDR. WOOD
3'-1-0"



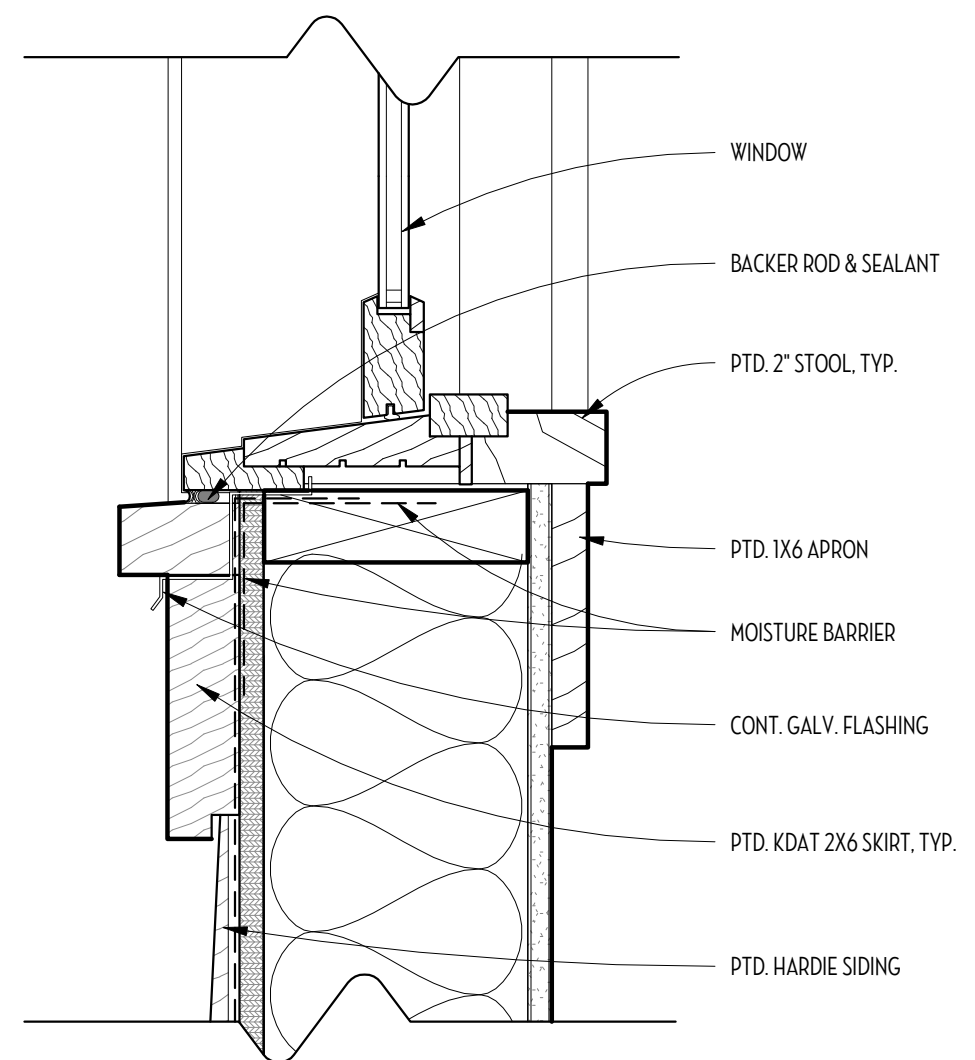
2 TYP. WIN. HDR. BRICK
3'-1-0"



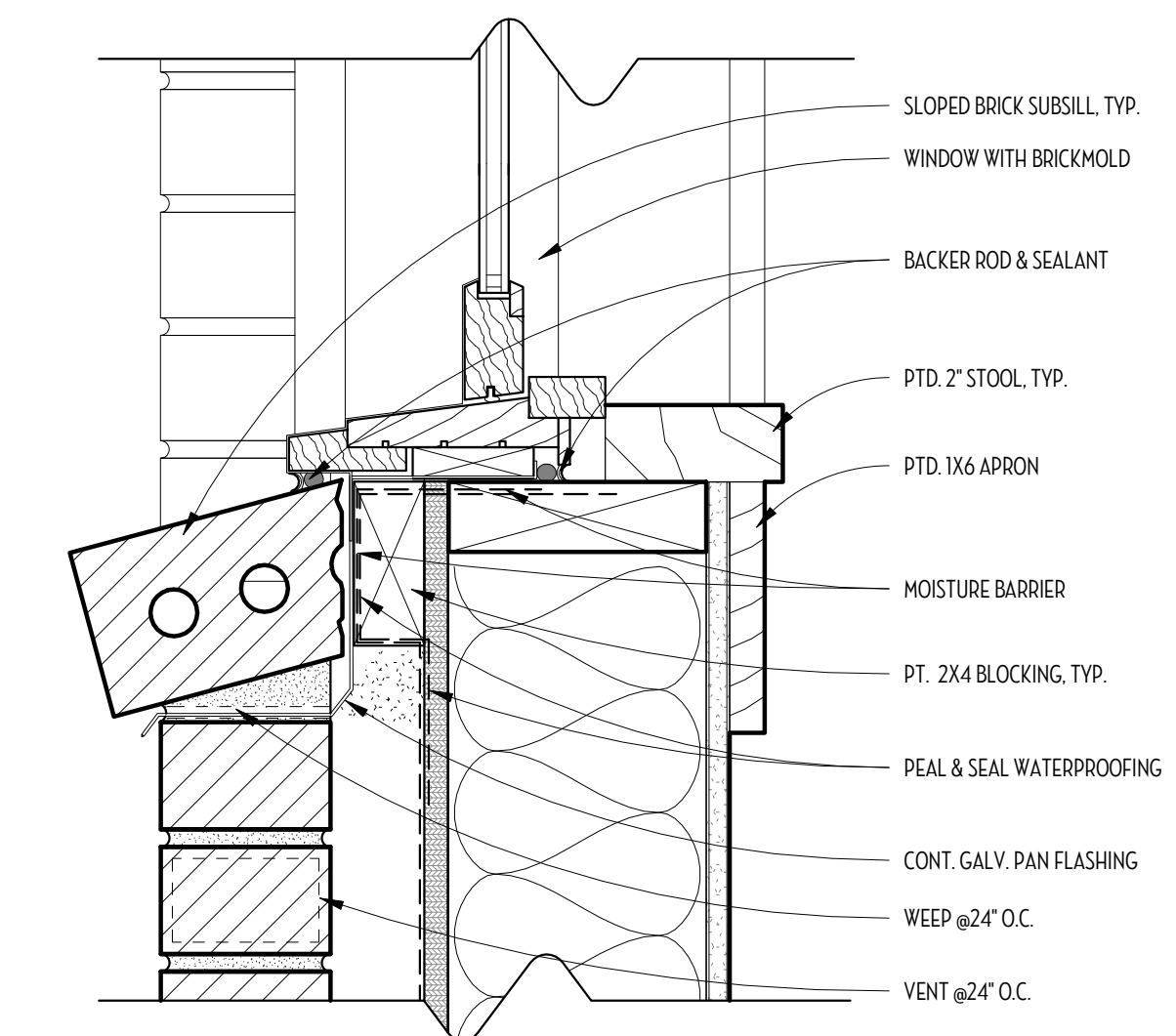
5 TYP. WIN. JAMB. WOOD
3'-1-0"



4 TYP. WIN. JAMB. BRICK
3'-1-0"



7 TYP. WIN. SILL. WOOD
3'-1-0"



6 TYP. WIN. SILL. BRICK
3'-1-0"

architect of record :

**McWhorter
Vallee Design**

FL - AA26003107
37 S N 10th Street
Defuniak Springs, FL 32435
Phone: 850.660.6675

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seal:

Anthony J. Vallee, Architect
seal: AR95108

project name

MARKETPLACE

project address:

parcel:

26-25-21-42000-001-0052

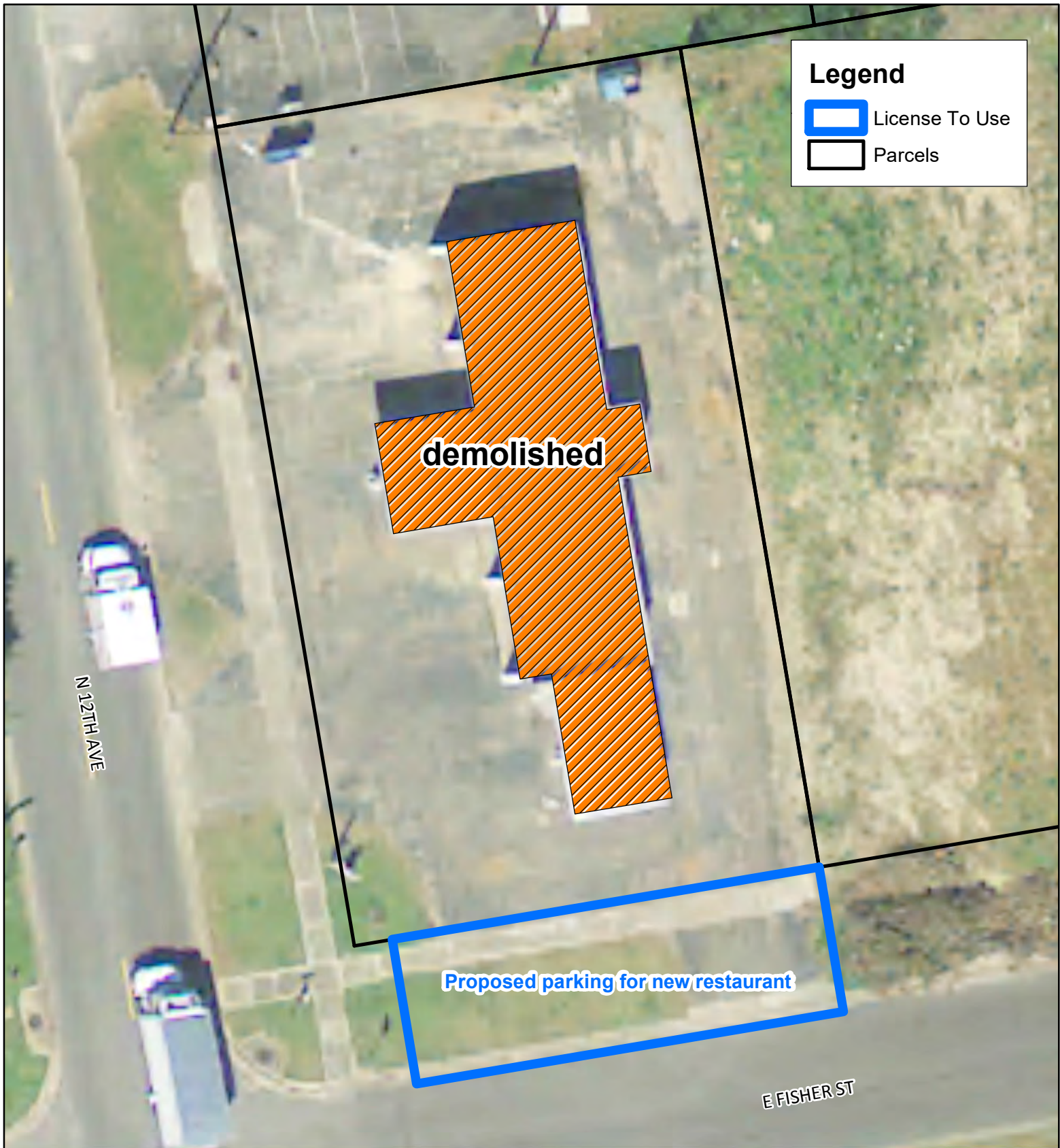
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Revision Schedule

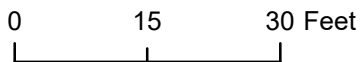
WINDOW
SCHEDULE

A4.1



Proposed LTU for New Restaurant 2800 N 12TH AVE

Date: 2/25/2020



This map was prepared by the GIS section of the City of Pensacola and is provided for information purposes only and is not to be used for development of construction plans or any type of engineering services based on information depicted herein. It is maintained for the function of this office only. It is not intended for conveyance nor is it a survey. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00102

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

PUBLIC HEARING: REQUEST TO VACATE RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

RECOMMENDATION:

That City Council conduct a public hearing on March 12, 2020, to consider the request to vacate a portion of the Cevallos Street right of way adjacent to property located in the 400 Block of Cevallos Street.

HEARING REQUIRED: Public

SUMMARY:

The City of Pensacola received a request from Brian Spencer, SMP Architecture, for approval of a vacation of right-of-way adjacent to property located in the 400 Block of Cevallos Street. The purpose of the vacation is to restore the alignment of the property boundary with the existing sidewalk along Cevallos Street.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes

2/21/2020

63

STAFF CONTACT:

Keith Wilkins, City Administrator
Kerrith Fiddler, Deputy City Administrator - Community Development
Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Proposed Ordinance No. 16-20
- 2) Vacation of Right of Way Application
- 3) Planning Board Minutes February 11, 2020 DRAFT

PRESENTATION: No

PROPOSED
ORDINANCE NO. 16-20

ORDINANCE NO. _____

AN ORDINANCE
TO BE ENTITLED:

AN ORDINANCE CLOSING, ABANDONING AND VACATING
A PORTION OF THE 400 BLOCK OF CEVALLOS
STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE
OF FLORIDA; PROVIDING FOR SEVERABILITY;
REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE
DATE.

WHEREAS, a public hearing was held on March 12, 2020,
as to the vacation of a portion of the 400 Block of Cevallos
Street right-of-way; Pensacola, Escambia County, Florida; and

WHEREAS, the vacation of said right-of-way,
hereinafter described, will contribute to the general welfare of
the City of Pensacola in that said right-of-way is no longer
needed as a public thoroughfare; NOW, THEREFORE,

BE IT ORDAINED BY THE CITY OF PENSACOLA, FLORIDA:

SECTION 1. That the following described right-of-way
in Pensacola, Escambia County, Florida is hereby closed,
discontinued, vacated and forever abandoned by the City of
Pensacola as a public thoroughfare:

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY,
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON
THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56'
PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID
WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF
BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47"
EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET
TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE
TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED
SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC
DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING =
SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF
INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE
NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON
THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT

OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

SECTION 2. That the owners of the abutting property be, and they are hereby, authorized to acquire possession of the right-of-way more particularly described in Section 1 of this ordinance, and the City of Pensacola does hereby abandon all claim of right, if any it has, in said property, and it shall remain and be the property of the abutting property owners.

SECTION 3. That, notwithstanding the foregoing sections, the City of Pensacola reserves for itself and existing utility providers, their successors and assigns, a full width easement in the entire portion the right-of-way vacated hereby for the purpose of locating and maintaining public utilities and improvements.

SECTION 4. If any word, phrase, clause, paragraph, section or provision of this ordinance or the application thereof to any person or circumstance is held invalid or unconstitutional, such finding shall not affect the other provision or applications of the ordinance which can be given effect without the invalid or unconstitutional provisions or application, and to this end the provisions of this ordinance are declared severable.

SECTION 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6. This ordinance shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Passed: _____

Approved: _____
President of City Council

Attest:

City Clerk

VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00
Rehearing/Rescheduling Planning Board: \$250.00
Rehearing/Rescheduling City Council: \$500.00

Applicant Information:

Name: BRIAN SPENCER / SHIP ARCHITECTURE

Address: 40 S. PALAFOX

Phone: 850-712-2617 Fax: N/A

Email: brian@ship-arch.com

Property Information:

Owner Name: ERIC & PEG NICKELSEN

Location/Address: 400 BLOCK / CEVALLOS ST.

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of vacation of city right of way/comments:

CREATE CONSISTENT RELATIONSHIP/CONDITION W/ ABUTTING PROPERTY (NORTHERN NEIGHBORING PROPERTY) AND TO RESTORE ALIGNMENT W/ EXISTING CURVE SIDEWALK ~~BE~~ ALONG RADIUS/CURVE STREET CONDITION.

I, the undersigned applicant, understand that submittal of this application does not entitle me to approval of this vacation request and that no refund of these fees will be made. I have reviewed a copy of the applicable regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

Signature of Applicant
(Owner of Property or Official Representative of Owner)

Date

1/21/20

FOR OFFICE USE ONLY

District: _____

Date Received: _____

Case Number: _____

Date Postcards mailed: _____

Planning Board Date: _____

Recommendation: _____

Council Date: _____

Council Action: _____



REBOL-BATTLE & ASSOCIATES

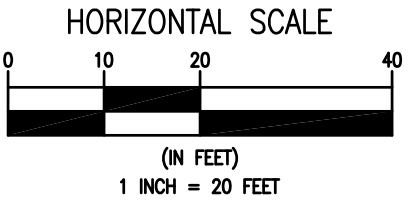
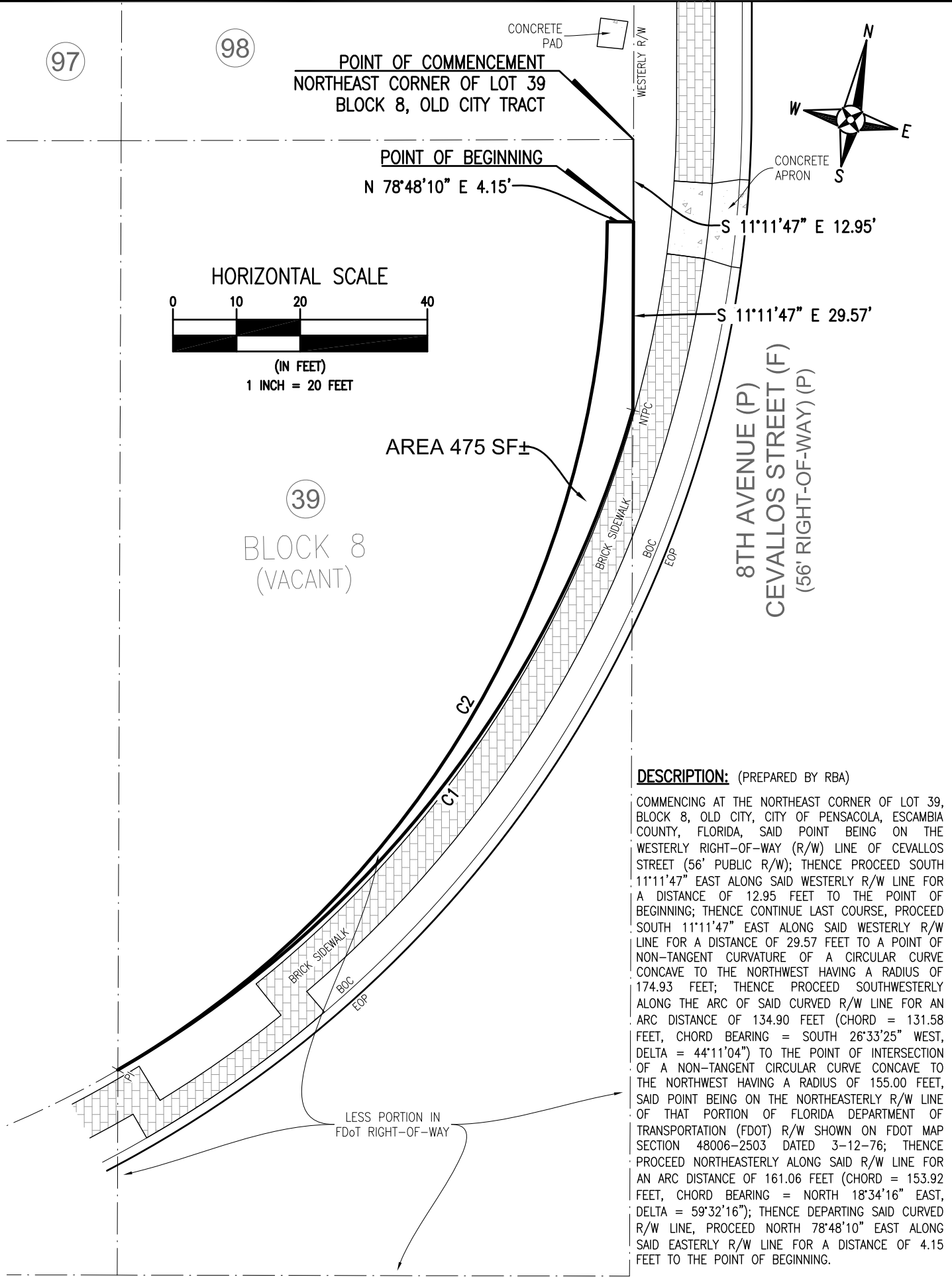
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB 7916

DESCRIPTION AND SKETCH

PREPARED FOR: SMP ARCHITECTURE

REQUESTED BY: SMP ARCHITECTURE

PROJECT:	2017.196
FIELD SURVEY DATE:	N/A
SECTION:	46
TOWNSHIP:	2 SOUTH
RANGE:	30 WEST
COUNTY:	ESCAMBIA



DESCRIPTION: (PREPARED BY RBA)

COMMENCING AT THE NORTHEAST CORNER OF LOT 39, BLOCK 8, OLD CITY, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY (R/W) LINE OF CEVALLOS STREET (56' PUBLIC R/W); THENCE PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 12.95 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 11°11'47" EAST ALONG SAID WESTERLY R/W LINE FOR A DISTANCE OF 29.57 FEET TO A POINT OF NON-TANGENT CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 174.93 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 134.90 FEET (CHORD = 131.58 FEET, CHORD BEARING = SOUTH 26°33'25" WEST, DELTA = 44°11'04") TO THE POINT OF INTERSECTION OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 155.00 FEET, SAID POINT BEING ON THE NORTHEASTERLY R/W LINE OF THAT PORTION OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) R/W SHOWN ON FDOT MAP SECTION 48006-2503 DATED 3-12-76; THENCE PROCEED NORTHEASTERLY ALONG SAID R/W LINE FOR AN ARC DISTANCE OF 161.06 FEET (CHORD = 153.92 FEET, CHORD BEARING = NORTH 18°34'16" EAST, DELTA = 59°32'16"); THENCE DEPARTING SAID CURVED R/W LINE, PROCEED NORTH 78°48'10" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 4.15 FEET TO THE POINT OF BEGINNING.

ZARRAGOSSA STREET
(36.5' RIGHT-OF-WAY) (CA)

LYING IN AND BEING A PORTION OF SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 475 SQUARE FEET MORE OR LESS.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA ANGLE	CHORD	CHORD BEARING
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C2	161.06'	155.00'	59°32'16"	153.92'	N 18°34'16" E

CHECKED BY:	DFS
SCALE:	1" = 20'
F.B. N/A	PG N/A
DRAWN BY:	BTH
SHEET:	1 OF 1



MINUTES OF THE PLANNING BOARD
February 11, 2020

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Kurt Larson, Board Member Grundhoefer, Board Member Sampson

MEMBERS ABSENT: Board Member Murphy, Board Member Powell, Board Member Wiggins

STAFF PRESENT: Assistant Planning Director Cannon, Senior Planner Statler, Transportation Planner-Complete Streets Ziarnek, Network Engineer Johnston, Digital Media Coordinator Rose, Intern Mendillo

OTHERS PRESENT: Brian Spencer, Darrell J. Barnhill, Thomas McCarty, Stephen Fluegge, Kacee Bidnick, Anthony Vallee

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
 1. **Vacation of Right-of-Way Request - Cevallos Street**
 2. **Preliminary Plat Review - Corta de La Rua**
 3. **License To Use Request - 2800 North 12th Avenue**
 4. **Demolition Request – 1101 E. Gregory Street**
 5. **Discussion on the Proposed Amendment to the Tree Ordinance**

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:09 pm with a quorum present and explained the procedures of the Board meeting.

Approval of Meeting Minutes

Board Member Larson made a motion to approve the January 14, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.

New Business

Vacation of Right-of-Way Request - Cevallos Street

Assistant Planning Director Cannon stated a request had been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. She explained the request had been routed through internal and external agencies. Mr. Spencer addressed the Board and stated this would restore the continuity of a property line on Cevallos. Chairperson Ritz explained this was a correction for a scrivener's error. He indicated that the right-of-way belongs to the citizens of the city, and Mr. Spencer was required to submit a request for vacation, and the Board would determine a valid reason for the request. Mr. Spencer advised when he served on Council, he learned the vacation of right-of-way, if approved, would proceed to Council to convey the property through the Board's recommendation. He had no problems with utility easements and had no intention of building in that area. Chairperson Ritz advised that the proper notification had been provided. **With no speakers, Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.**

Preliminary Plat Review - Corta de La Rua

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St. The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel. Assistant Planning Director Cannon explained this constituted a major subdivision.

Mr. Geci presented to the Board and stated the lot history consisted of three (3) lots. They had met the CRA requirements for fronting on LaRua with rear access to the lots; they had also provided stormwater information and were connecting to an existing stormwater sewer. Chairperson Ritz explained this was a preliminary plat and appreciated the residences being pulled back with garages in the rear. Mr. Geci advised they needed to adjust the lot widths on lots 1 and 4 to attain the 80% lot frontage which was the only comment received that required revisions. Chairperson Ritz stated the request had been routed through the appropriate departments, and the applicants would contact ECUA for future utility requirements.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously. Chairperson Ritz clarified that the Board would see the project again.

License To Use Request - 2800 North 12th Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12th Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk. Chairperson Ritz explained unlike a right-of-way vacation, the License to Use (LTU) means the property remains in the City's ownership but allows the applicant to use the site as approved; it also comes with an annual fee paid to the City.

Mr. Barnhill presented to the Board and stated they were requesting the same opportunity as other businesses on 12th Avenue. Assistant Planning Director Cannon noted they were requesting eight (8) additional parking spaces to meet the LDC minimum requirements of the square footage for the proposed restaurant development. Mr. Barnhill stated they

would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12th Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12th Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.

Demolition Request – 1101 E. Gregory Street

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.

Discussion on the Proposed Amendment to the Tree Ordinance

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30th, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

Open Forum – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could

attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

Adjournment – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 16-20

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

PROPOSED ORDINANCE NO. 16-20 - VACATION OF RIGHT OF WAY - 400 BLOCK CEVALLOS STREET

RECOMMENDATION:

That City Council approve Proposed Ordinance No. 16-20 on first reading.

AN ORDINANCE CLOSING, ABANDONING AND VACATING A PORTION OF THE 400 BLOCK OF CEVALLOS STREET; IN PENSACOLA, ESCAMBIA COUNTY, STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; REPEALING CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

HEARING REQUIRED: Public

SUMMARY:

The City of Pensacola received a request from Brian Spencer, SMP Architecture, for approval of a vacation of right-of-way adjacent to property located in the 400 Block of Cevallos Street. The purpose of the vacation is to restore the alignment of the property boundary with the existing sidewalk along Cevallos Street.

On February 11, 2020, the Planning Board unanimously recommended approval of the request.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

None

CITY ATTORNEY REVIEW: Yes

2/21/2020

STAFF CONTACT:

Keith Wilkins, City Administrator

Kerrith Fiddler, Deputy City Administrator - Community Development

Sherry Morris, AICP, Planning Services Director

ATTACHMENTS:

- 1) Proposed Ordinance No. 16-20
- 2) Vacation of Right of Way Application
- 3) Planning Board Minutes February 11, 2020 Draft

PRESENTATION: No

PROPOSED
ORDINANCE NO. 16-20

ORDINANCE NO. _____

AN ORDINANCE
TO BE ENTITLED:

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A PORTION OF THE 400 BLOCK OF CEVALLOS
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Passed: _____

Approved: _____
President of City Council

Attest:

City Clerk

VACATION OF ALLEY OR STREET RIGHT OF WAY



Fee: \$2,000.00
Rehearing/Rescheduling Planning Board: \$250.00
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Applicant Information:

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Phone: 850-712-2617 Fax: N/A

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Signature of Applicant
(Owner of Property or Official Representative of Owner)

Date

1/21/20

FOR OFFICE USE ONLY

District: _____

Date Received: _____

Case Number: _____

Date Postcards mailed: _____

Planning Board Date: _____

Recommendation: _____

Council Date: _____

Council Action: _____



REBOL-BATTLE & ASSOCIATES

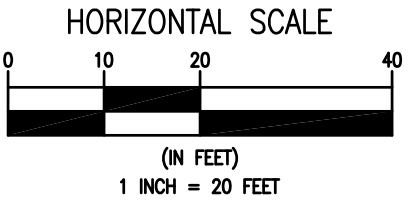
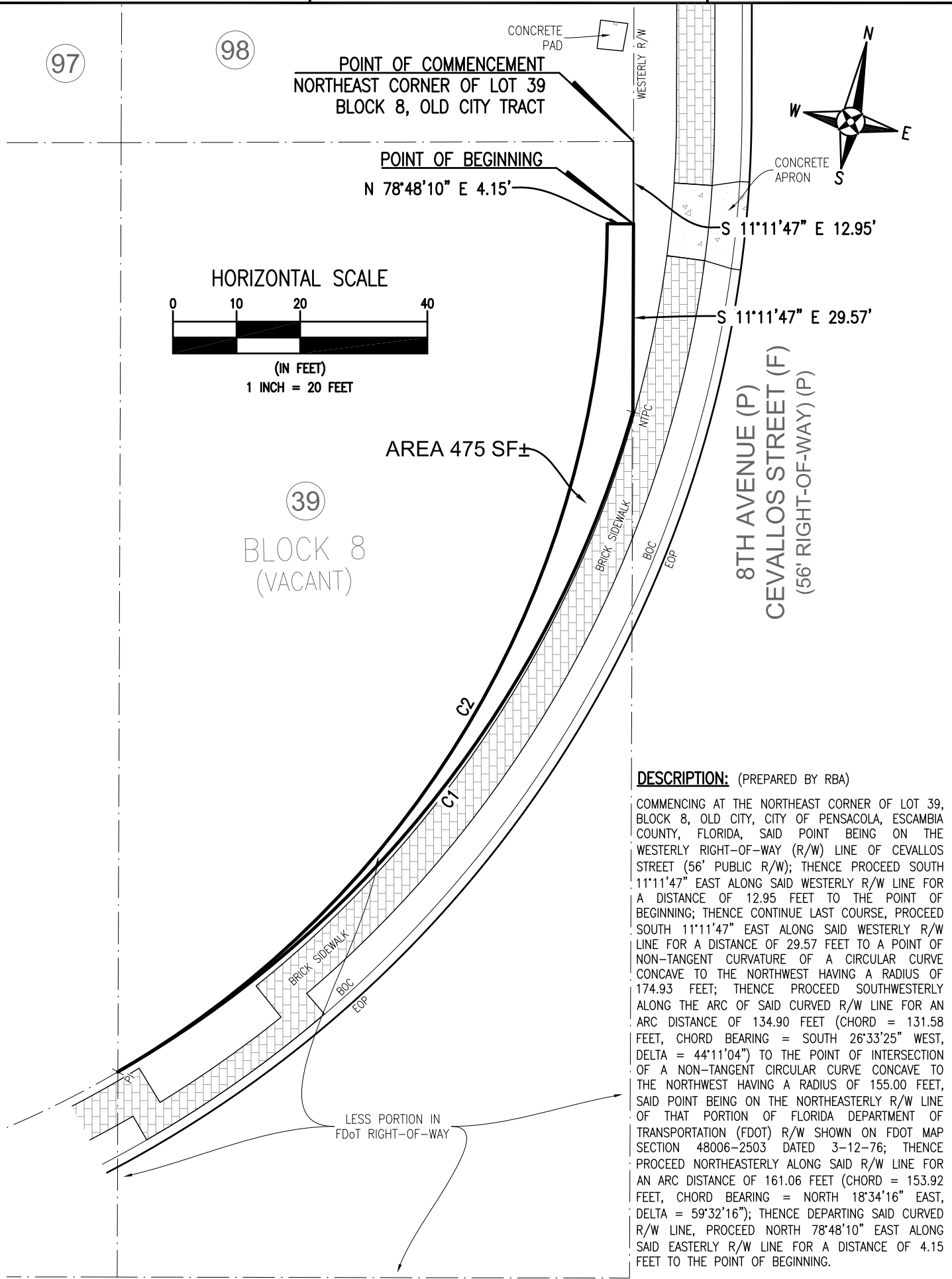
Civil Engineers and Surveyors
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EB 00009657 LB 7916

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PREPARED FOR: SMP ARCHITECTURE

REQUESTED BY: SMP ARCHITECTURE

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AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from January 14, 2020.
- **New Business:**
 1. **Vacation of Right-of-Way Request - Cevallos Street**
 2. **Preliminary Plat Review - Corta de La Rua**
 3. **License To Use Request - 2800 North 12th Avenue**
 4. **Demolition Request – 1101 E. Gregory Street**
 5. **Discussion on the Proposed Amendment to the Tree Ordinance**

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:09 pm with a quorum present and explained the procedures of the Board meeting.

Approval of Meeting Minutes

Board Member Larson made a motion to approve the January 14, 2020 minutes, seconded by Board Member Sampson, and it carried unanimously.

New Business

Vacation of Right-of-Way Request - Cevallos Street

Assistant Planning Director Cannon stated a request had been received from Brian Spencer, SMP Architecture, for a vacation of Right-of-Way at the 400 Block of Cevallos Street. She explained the request had been routed through internal and external agencies. Mr. Spencer addressed the Board and stated this would restore the continuity of a property line on Cevallos. Chairperson Ritz explained this was a correction for a scrivener's error. He indicated that the right-of-way belongs to the citizens of the city, and Mr. Spencer was required to submit a request for vacation, and the Board would determine a valid reason for the request. Mr. Spencer advised when he served on Council, he learned the vacation of right-of-way, if approved, would proceed to Council to convey the property through the Board's recommendation. He had no problems with utility easements and had no intention of building in that area. Chairperson Ritz advised that the proper notification had been provided. **With no speakers, Board Member Grundhoefer made a motion to approve, seconded by Board Member Larson, and it carried unanimously.**

Preliminary Plat Review - Corta de La Rua

Clint Geci, Geci & Associates Engineering Inc., is requesting a preliminary site plan approval for Cort de La Rua Subdivision located at 117 E. La Rua Street between N. Guillemard St. and N. Tarragona St. The proposed preliminary site plan consists of five (5) lots all with 60' widths that meet the requirements of the C-3 zoning district and the CRA Urban Overlay District. The proposed development will include 4 townhome lots and one common parcel. Assistant Planning Director Cannon explained this constituted a major subdivision.

Mr. Geci presented to the Board and stated the lot history consisted of three (3) lots. They had met the CRA requirements for fronting on LaRua with rear access to the lots; they had also provided stormwater information and were connecting to an existing stormwater sewer. Chairperson Ritz explained this was a preliminary plat and appreciated the residences being pulled back with garages in the rear. Mr. Geci advised they needed to adjust the lot widths on lots 1 and 4 to attain the 80% lot frontage which was the only comment received that required revisions. Chairperson Ritz stated the request had been routed through the appropriate departments, and the applicants would contact ECUA for future utility requirements.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously. Chairperson Ritz clarified that the Board would see the project again.

License To Use Request - 2800 North 12th Avenue

Sharuff, LLC, is requesting approval for a License to Use for additional parking within the right-of-way of 2800 N. 12th Avenue. The additional parking is being requested in connection with a proposed new restaurant and includes the relocation of a city sidewalk. Chairperson Ritz explained unlike a right-of-way vacation, the License to Use (LTU) means the property remains in the City's ownership but allows the applicant to use the site as approved; it also comes with an annual fee paid to the City.

Mr. Barnhill presented to the Board and stated they were requesting the same opportunity as other businesses on 12th Avenue. Assistant Planning Director Cannon noted they were requesting eight (8) additional parking spaces to meet the LDC minimum requirements of the square footage for the proposed restaurant development. Mr. Barnhill stated they

would comply with the ECUA request to replace the pipe with some other material. He also explained they would not be backing onto 12th Avenue, and there were no concerns with using Fisher Street since it was considered a minor street. Mr. Vallee stated the design was custom for this site, and the intention was to engage the corner and maintain a street presence; they did not want a suburban model but a pedestrian friendly, bikeable destination. Chairperson Ritz offered that the citizens had not fully embraced walkability, and other restaurants along 12th Avenue have a large amount of automobiles. Board Member Sampson asked if parking became an issue, had they considered an agreement with the neighbors, but Mr. Vallee advised they had the needed spaces with this request. Board member Ritz stated that it was disingenuous of the applicant to say they were not going to use their open space as a seating area. He added that the majority of restaurants in that area utilize their open space with tables and chairs for their patrons.

Board Member Grundhoefer made a motion to approve, seconded by Board Member Sampson, and it carried unanimously.

Demolition Request – 1101 E. Gregory Street

A request has been received from Thomas McLarty, Cross Environmental Services, for the demolition of the improvements located at 1101 E. Gregory Street. The purpose is to allow the continued construction of the Pensacola Bay Bridge project.

This request is being presented for consideration in an abundance of caution with respect to internal procedure. Although this request has not been routed through the various City departments and utility providers, the Florida Department of Transportation has vetted the demolition through the appropriate agencies. The permit application and supporting documents were attached.

Assistant Planning Director Cannon advised this request was required to come before the Planning Board since it was in the Gateway Review District, however, it did not require notification. This building was always in the plan for demolition, and the LDC did not give the Planning Department the latitude for an abbreviated review. Chairperson Ritz clarified that all buildings on this site would be removed.

Mr. McCarty, the demolition contractor, stated everything manmade would come down.

Board Member Larson made a motion to approve, seconded by Board Member Grundhoefer, and it carried unanimously.

Discussion on the Proposed Amendment to the Tree Ordinance

Chairperson Ritz explained this was a discussion item with no vote, and Board Member Murphy was not in attendance; he had nothing to bring into discussion. Assistant Planning Director Cannon pointed out that an arborist was coming to CiviCon at the Rex Theater on Monday, March 30th, from 6 to 7:30 p.m. and City staff would be there in full force. Planning Board members could attend but could not speak to each other about Planning Board business so as not to violate the Sunshine law. She also indicated she would send an email to the Board members with a link for registration. She also advised she had not heard of any meetings on the Tree Ordinance. Chairperson Ritz clarified the City did have a tree ordinance in place which was working on a day-to-day basis.

Open Forum – Mr. Spencer suggested there was an advantage for the public to have a “real-time” understanding on what these applications actually are and suggested more than a mail notification be considered. He suggested a link for all boards to allow citizens to be more fully informed on all requests. He was concerned that not everyone could

attend the board meetings to get this information. Assistant Planning Director Cannon explained that staff did publish the links to the City website and took phone calls as well as walk-in customers to explain the applications on a one-on-one basis if they could not attend the meetings. Once they had been walked through the process, they felt no need to attend. Mr. Spencer asked if there could be a direct link on the mailers. Staff explained that letters were certified when the item proceeded to Council, but she would check into the possibility of providing a direct link.

Adjournment – With no further business, Chairperson Ritz adjourned the meeting at 2:46 pm.

Respectfully Submitted,

Assistant Planning Director Cynthia Cannon
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00140

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: City Council President Jewel Cannada-Wynn

SUBJECT:

YOUTH ENVIRONMENTAL EMPOWERMENT PROGRAM (YEEP)

RECOMMENDATION:

That City Council approve the Youth Environmental Empowerment Program (YEEP) and authorize the council executive to begin the process of submitting the project for RESTORE Funds and/or other funding opportunities.

HEARING REQUIRED: No Hearing Required

SUMMARY:

The BP oil spill impacted the entire community. Young adults (14-19) were especially affected because many high school age students were not able to get jobs after the spill. Juniors and seniors depended on after school jobs and summer jobs for expenses relating to graduation, college registration and transportation.

This program cannot replace the financial opportunities lost by those students; however, it can teach future generations the importance of the environment and how one act can change the course of our society. The budget request for this project is \$156,320 a year, for five years, for a total of \$781,600. A tentative budget is attached.

The purpose of the program is focused on educating our youth to become environmentally literate today making them environmental stewards in the future. They will be better able to vote and make decisions for our community in reference to our environment. The program is envisioned to be a summer event; however, flexibility will be given to agencies in order that they may effectively administer the programs. Students will be provided transportation and meals, which is included in the budget. The recommendations listed below allow flexibility for agencies developing the curriculum for the program.

The educational focus of the program relies on the City of Pensacola and Escambia County having an excellent training environment for this program. The environmental health of our community is a serious concern. Teaching our young people will help the community deal with the many challenges

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of our environment, as well as the enormous beauty of our landscape.

Course work will include a basic review of the four themes commonly discussed in Environmental Science. They are Ecology, Resource Management, Pollution, and Society. An additional training category will include TEEN CERT Training.

Ecology ~ plant and animal life, different ecosystems abiotic vs. biotic relationships, soil, and temperature. Field trips will include, Wildlife Sanctuary, National Park System, State Park System, Roy Hyatt Environmental Center, beach, UWF Nature Trail, paddleboard adventure, canoe adventure and Dolphin Cruise.

Resource Management ~ Resource management includes the resources necessary for survival. Resources that focus on water, growth/land management, and energy are discussed under this section. The resources are food, farming, crops, fishing, and seafood. Water management is another essential area for discussion. Is our water safe and will our water supply sustain our growing population? What are the problems facing these industries and how can these resources be protected? How can we better plan for growth in reference to roads, homes and businesses. What are the concerns in reference to growth in the city (urban) core and the county (rural areas)? What are the alternative sources of energy to run cars, homes and industries? Finally, a review of our forestry, which includes land, wildlife and water management districts. Field trips include farms, seafood food industry, speakers, wastewater treatment plant, Gulf Power, community gardens, Manna Food Bank gardens, etc.

Pollution ~ The focus is on soil, water and air. Students will learn what is in the soil in a particular ecosystem and why? What is in the water and where does our water come from? What is in the air? Field trips/speakers could include International Paper, Westinghouse, DEP restoration projects, landfills, EPA Lab.

Society ~ What are the challenges facing our society in reference to an open discussion about environmental issues. Who are the stakeholders in determining future environmental plans? What role does the government play and how are laws passed? Who is responsible for educating the public on environmental issues and hazards. The economics of protecting the environment is a great concern. Should the county and city focus on ecotourism and at what cost. How are businesses and government becoming eco-friendlier. Are laws so strict that it stifles innovation and creativity that would find solutions to environmental needs?

Field trips/speakers include specialist in environmental law and businesses that are building to green standards.

PRIOR ACTION:

None

FUNDING:

Budget: \$0

Actual: \$781,600

FINANCIAL IMPACT:

There will be no initial financial impact to the City as this will be a request for RESTORE Funds and/or other potential funding opportunities.

STAFF CONTACT:

Don Kraher, Council Executive

ATTACHMENTS:

- 1) YEEP Proposed Budget

PRESENTATION: No

Item	Length	Amount	total Cost	Final
Location	4 Weeks	\$2,500	\$10,000	\$10,000
<hr/>				
Staff				
Administrator	4 weeks (30hrs.)	\$25.00	\$750.00 per week	\$3,000
Assist. Admin	4 weeks (30hrs.)	\$20.00	\$600.00 per week	\$2,400
Data/Sec	4 weeks (30hrs.)	\$15.00	\$450.00 per week	\$1,800
Counselor/Dean	4 weeks (30hrs.)	\$20.00	\$600.00 per week	\$2,400
Custodial Staff	4 weeks (30hrs.)	\$12.00	\$360.00 per week	\$1,440
Health Care Tech	4 weeks (30hrs.)	\$20.00	\$600.00 per week	\$2,400
<hr/>				
Instructional Staff				
Teachers (15)	4 weeks (30hrs.)	\$20.00	\$2,400 X 15 = \$36,000	\$36,000
Assistants (4)	4 weeks (30hrs.)	\$15.00	\$1,800 x 4 = \$7,200	\$ 7,200
<hr/>				
Transportation				
Bus leases/rentals (6)				\$4,000
Gas/Fuel				\$3,000
Drivers' (5)	4 weeks (20 hrs)	\$15.00	\$300.00 X 4 = \$1,200 x 5	\$6,000
Drivers Field Trips				\$3,000

Meals/Snack

Food and Nutrition	350 (students/Staff)		\$5,000 x 4 weeks	\$20,000
Staff Supervisor	4 weeks (30hrs.)	\$15.00	\$450.00 per week	\$1,800
Assistant	4 weeks (30hrs.)	\$12.00	\$360 per week	\$1,440
Assistant	4 weeks (30hrs.)	\$12.00	\$360.00 per week	\$1,440

Graduation Ceremony				\$3,000
Supplies/Office/class				\$25,000
Taxes				\$6,000
Contingency				\$15,000

Total			\$156,320 X 5 years	\$781,600
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Notes:

The Budget is based on training 300 students per year for five years.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 2020-08

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-08 - BLUE WAHOOS BASEBALL STADIUM PROTECTIVE NETTING

RECOMMENDATION:

That City Council adopt Supplemental Budget Resolution No. 2020-08.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

HEARING REQUIRED: No Hearing Required

SUMMARY:

To ensure the safety of the fans and players, all thirty Major League Baseball teams are extending the protective netting at their respective baseball stadiums. The Baseball League has asked the Minor League teams to do the same. The Blue Wahoos will join eighteen Minor League teams to extend their protective netting prior to Opening Day 2020.

The new netting will run the entire length of both baselines at the stadium, which will prevent foul balls from going into the stands and dugouts. The new protective netting is anticipated to be installed by opening day for the 2020 season, which is April 9, 2020. New poles will be installed to hold the nets and must meet current wind codes. The protective netting is approximately 30 ft. x 84 ft. and will be extended from the current position at the end of both dugouts to the foul pole, a distance of approximately 250 feet. The installed netting will still allow fans opportunities for player autographs. A portion of the netting will be retractable to allow players to sign autographs prior to the game at certain areas along the baseline.

The Blue Wahoos are executing the contract for the installation of the netting with an anticipated cost not to exceed \$250,000. The City will reimburse the Blue Wahoos the costs associated with the installation of the netting.

PRIOR ACTION:

None

FUNDING:

N/A

FINANCIAL IMPACT:

Adoption of the Supplemental Budget Resolution will provide funding up to \$250,000 for the installation of the netting.

CITY ATTORNEY REVIEW: Yes

2/27/2020

STAFF CONTACT:

Keith Wilkins, City Administrator
Kerrith Fiddler, Deputy City Administrator - Community Development
Brian Cooper, Parks & Recreation Director
Derrick Owens, Public Works & Facilities Management Director

ATTACHMENTS:

- 1) Supplemental Budget Resolution No. 2020-08
- 2) Supplemental Budget Explanation No. 2020-08

PRESENTATION: No

**RESOLUTION
NO. 2020-08**

A RESOLUTION
TO BE ENTITLED:

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PENSACOLA, FLORIDA

SECTION 1. The following appropriations from funds on hand in the fund accounts stated below, not heretofore appropriated, and transfer from funds on hand in the various accounts and funds stated below, heretofore appropriated, be, and the same are hereby made, directed and approved to-wit:

A. COMMUNITY MARITIME PARK MANAGEMENT SERVICES FUND

To:	Fund Balance	250,000
To:	Capital Outlay	250,000

SECTION 2. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 3. This resolution shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Adopted: _____

Approved: _____
President of City Council

Attest:

City Clerk

THE CITY OF PENSACOLA

MARCH 2020 - SUPPLEMENTAL BUDGET RESOLUTION - BLUE WAHOOS NETTING - RES NO. 2020-08

FUND	AMOUNT	DESCRIPTION
COMMUNITY MARITIME PARK MGT SVCS FUND		
Fund Balance	<u>250,000</u>	Increase appropriated fund balance
Appropriations		
Capital Outlay	<u>250,000</u>	Appropriate funding for Capital Outlay
Total Appropriations	<u>250,000</u>	



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 2020-09

City Council

3/12/2020

LEGISLATIVE ACTION ITEM

SPONSOR: Grover C. Robinson, IV, Mayor

SUBJECT:

SUPPLEMENTAL BUDGET RESOLUTION NO. 2020-09 - INDIGENT HEALTH CARE SPECIAL ASSESSMENT

RECOMMENDATION:

That City Council adopt Supplemental Budget Resolution No. 2020-09.

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

HEARING REQUIRED: No Hearing Required

SUMMARY:

On September 26, 2019, representatives from Baptist Hospital, Sacred Heart Hospital, and Select Specialty Hospital requested that the City consider the imposition of a special assessment on their real property located in the City to increase funding available to reimburse the hospitals for uncompensated charitable health care. The hospitals requested that the special assessment be based on inpatient revenues, which will affect properties owned by Baptist Hospital, Sacred Heart Hospital, and Select Specialty Hospital. In order to levy the requested special assessment for FY2020, City Council adopted Ordinance No. 29-19 and Resolution No. 2019-52.

At the same meeting, City council adopted Supplemental Budget Resolution No. 2019-53 appropriating funding for FY 2020 indigent health care special assessment which was posted in September 2019 (FY 2019). However, funding was not carried forward into FY 2020. Appropriations now will provide funding for the approved FY 2020 indigent health care special assessment.

PRIOR ACTION:

April 25, 2019 - City Council adopted Ordinance No. 10-19 and Resolution No. 2019-24, which imposed a special assessment on outpatient revenue on properties owned by Baptist Health Care and Sacred Heart Hospital.

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September 26, 2019 - City Council adopted Ordinance No. 29-19, which repealed and replaced Ordinance No. 10-19, adopted Resolution No. 2019-52 and adopted Supplemental Budget Resolution No. 2019-53 imposing a special assessment on inpatient revenue on properties owned by Baptist Health Care, Sacred Heart Hospital and Select Specialty Hospital and appropriating funding thereof.

FUNDING:

N/A

FINANCIAL IMPACT:

There is no direct financial impact to the City. Combined assessments will total approximately \$10.6 million. Adoption of the supplemental budget resolution will appropriate the assessment funds.

CITY ATTORNEY REVIEW: Yes

2/27/2020

STAFF CONTACT:

Keith Wilkins, City Administrator
Richard Barker, Jr., Deputy City Administrator - Administration & Enterprise
Amy Lovoy, Finance Director

ATTACHMENTS:

- 1) Supplemental Budget Resolution No. 2020-09
- 2) Supplemental Budget Explanation No. 2020-09

PRESENTATION: No

**RESOLUTION
NO. 2020-09**

A RESOLUTION
TO BE ENTITLED:

A RESOLUTION AUTHORIZING AND MAKING REVISIONS AND APPROPRIATIONS FOR THE
FISCAL YEAR ENDING SEPTEMBER 30, 2020; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PENSACOLA, FLORIDA

SECTION 1. The following appropriations from funds on hand in the fund accounts stated below, not heretofore appropriated, and transfer from funds on hand in the various accounts and funds stated below, heretofore appropriated, be, and the same are hereby made, directed and approved to-wit:

A. HOSPITAL SPECIAL ASSESSMENT FUND

To:	Special Assessment - Baptist Hospital	2,672,497
To:	Special Assessment - Sacred Heart Hospital	7,584,397
To:	Special Assessment - Select Specialty Hospital	306,334
To:	Grants & Aids	10,563,228

SECTION 2. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 3. This resolution shall become effective on the fifth business day after adoption, unless otherwise provided pursuant to Section 4.03(d) of the City Charter of the City of Pensacola.

Adopted: _____

Approved: _____
President of City Council

Attest:

City Clerk

THE CITY OF PENSACOLA

MARCH 2020 - SUPPLEMENTAL BUDGET RESOLUTION - INDIGENT HEALTH CARE SPECIAL ASSESSMENT - RES NO. 2020-09

<u>FUND</u>	<u>AMOUNT</u>	<u>DESCRIPTION</u>
HOSPITAL SPECIAL ASSESSMENT FUND		
Estimated Revenues		
Special Assessment - Baptist Hospital	2,672,497	Appropriate estimated revenue from Special Assessment - Baptist Hospital
Special Assessment - Sacred Heart Hospital	7,584,397	Appropriate estimated revenue from Special Assessment - Sacred Heart Hospital
Special Assessment - Select Specialty Hospital	306,334	Appropriate estimated revenue from Special Assessment - Select Specialty Hospital
Total Revenues	<u>10,563,228</u>	
Appropriations		
Grants & Aids	<u>10,563,228</u>	Appropriate funding for Grants & Aids
Total Appropriations	<u>10,563,228</u>	