



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Agenda

Zoning Board of Adjustments

Wednesday, September 16, 2020

3:00 PM

Hagler/Mason Conference Room, 2nd Floor

Quorum/Call to Order

Meeting Minutes

1. [20-00568](#) August 19, 2020, Minutes of the Zoning Board of Adjustment

Attachments: [ZBA minutes 8-19-20.pdf](#)

Requests

2. [20-00563](#) ZBA 2020-006
923 E. La Rua Street
R-2 Zoning District

Attachments: [923 E La Rua_Application.pdf](#)
[Tiny House Proposal.pdf](#)
[923 E. LaRua St. Tiny House.pdf](#)
[Stormwater Management Plan City.pdf](#)

3. [20-00565](#) ZBA 2020-007
1800 N. 15th Avenue
R-AA Zoning District

Attachments: [1800 N 15th_Application.pdf](#)
[ADU PERMIT SET Sealed 8.25.2020.pdf](#)

4. [20-00566](#) ZBA 2020-008
4532 Menewa Path
R-1AAA Zoning District

Attachments: [4532 Menewa Path_Application.pdf](#)
[Site Plan Variance.pdf](#)
[Tyler Architecturals.pdf](#)
[Map of Neighbors Overages.pdf](#)

5. [20-00567](#) ZBA 2020-009
 1006 E. Texar Drive
 R-AAA Zoning District

Attachments: [Variance Application.pdf](#)
 [1006 E Texar Survey2.pdf](#)
 [Overhead View2.pdf](#)
 [IMG_0684.jpg](#)
 [IMG_0686.jpg](#)
 [IMG_0688.jpg](#)
 [IMG_0691.jpg](#)
 [NeighborConcurrence.pdf](#)

Adjournment

ADDITIONAL INFORMATION:

SUBSEQUENT APPLICATION(S): If denied a variance by the Board, that request for a variance cannot be heard again for a period of one (1) year.

JUDICIAL REVIEW OF DECISION OF BOARD OF ADJUSTMENT:

Per section 12-12-2 (D) of the City of Pensacola Land Development Code, any person or persons, jointly or severally, aggrieved by any decision of the board, or the city, upon approval by the city council, may apply to the circuit court of the First Judicial Circuit of Florida within thirty {30} days after rendition of the decision by the board. Review in the circuit court shall be by petition for writ of certiorari or such other procedure as may be authorized by law.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based.

If a Notice of Appeal has not been received within thirty-five {35} days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Official that they have ten {10} days to remove or correct the violation.

ADA Statement:

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00568

Zoning Board of Adjustments

9/16/2020

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: Click or tap to enter a date.

SUBJECT:

August 19, 2020, Minutes of the Zoning Board of Adjustment

BACKGROUND:

Click or tap here to enter text.

Zoning Board of Adjustment

MINUTES OF THE ZONING BOARD OF ADJUSTMENT

August 19, 2020

MEMBERS PRESENT: Chairperson White, Vice Chairperson Del Gallo

MEMBERS VIRTUAL: Board Member Lonergan, Board Member Sebold,
Board Member Stepherson, Board Member
Taylor

MEMBERS ABSENT: Board Member Shelley, Board Member Wiggins,
Board Member Williams

STAFF PRESENT: Senior Planner Statler, Planning Technician
Hargett, Assistant City Attorney Lindsay (virtual),
Historic Preservation Planner Harding, Assistant
City Clerk Tice, Network Engineer Johnston,
Digital Media Coordinator Rose

OTHERS PRESENT: George Williams (virtual), Steve Jernigan (virtual)

1) CALL TO ORDER/QUORUM PRESENT

The Zoning Board of Adjustment (ZBA) was called to order at 3:00 p.m. by Chairperson White with a quorum present. Chairperson White, Board Members Lonergan and Taylor were then sworn in by the Clerk's Office for their reappointments. Chairperson White then read the ZBA rules and instructions and explained the procedures of the virtual Board meeting.

2) APPROVAL OF MINUTES July 15, 2020

The ZBA July 15, 2020 minutes were unanimously approved by the Board.

3) ZBA 2020-004

5109 Bayou Blvd

C-1

George Williams, Goodwyn Mills Cawood, is requesting a Variance to reduce the required landscape area from 25% to 17.9% to accommodate the construction of a hotel. The existing use of the site is a retail facility with 0.0% greenspace/landscaping. The City requires sites which are being completely redeveloped to come into compliance with all of the applicable regulations, including landscaping.

Mr. Williams presented to the Board and referenced Section 12-6-3 (A) which indicates C-1 Zoning requires 25% landscape and noted C-2 Zoning also requires

25% landscape; he pointed out other properties in this area are zoned C-1 and C-2. This request was to grant a variance allowing the project to proceed with a landscape percentage of 17.9% in lieu of the required 25%. He explained this building was constructed in 1971, with a retaining wall of 6' to 12' in height along the south and west boundaries. He presented the location of the hotel which was moved forward to accommodate emergency vehicles. He explained they would maintain the rear property stormwater area which would be included in the total landscape area. He pointed out this property was unique in that it sits on an elevated plateau adjoining commercial developments. On grade access is available only on the north side abutting Bayou Boulevard. The east side borders a sloping grade to the rear of the Pottery/Publix Shopping Center. The south and west sides are the 6' and 12' retaining walls adjoining the Cinema/Starbucks development. He explained the emergency vehicles cannot access the property because of the retaining walls. He pointed to similar properties in this area with 10% landscape (Chili's) and 16% landscape (BJs Restaurant) which were below the standard set by the LDC. He advised their development with approximately 18% of the site landscaped would be an enhancement and not a detriment. The existing property is a 60,000 sq. ft. single-story building and associated parking which covers the entire parcel with impervious surface; there is currently zero landscaping on the site. Their development would create 18,643 sq. ft. of landscaped and irrigated area which would be maintained to create a visually appealing improvement to the existing harsh streetscape. The 12' – 15' wide strip of land at the upper level plateau at the rear of the building will be landscaped and maintained, but that 2,400 sq. ft. was not permitted in their calculations. They were also not permitted to include the 1,960 sq. ft. of landscaping along the Bayou Boulevard property frontage. He emphasized this property must be financially feasible in order to be developed. The result of their analysis was a 153 room key count in a four-story building. They agreed to reduce the parking count from 153 to 142, which resulted in 1,782 sq. ft. of additional landscaped area. The owner was continuing discussions with the City to achieve an Administrative Variance for the parking reduction when the construction site drawings were submitted.

Chairperson White asked if they incorporated the south property owned by the Cinema and the right-of-way on the north side of the property, would they meet the 25%, and Mr. Williams advised it would only total 24%.

Board Member Del Gallo made a motion to approve noting the complete presentation which would exceed the landscaping by anyone else in that Bayou area; the motion was seconded by Board Member Lonergan who noted they were going from 0% landscaping to more than any of the other properties mentioned; they had thoroughly explained the unique situation, and this would be an improvement to this location. The motion then carried unanimously.

4) ZBA 2020-005

1000 E. Jackson Street

R-1AA

Steve Jernigan is requesting multiple variances to accommodate the construction of a detached garage. The applicant is seeking to reduce the required secondary frontage yard from 15.0 feet to 0.0 feet and to increase the maximum rear yard coverage from 25% to 38.8%. The applicant is proposing to construct a detached garage to align with the existing residence on the west side of the property. The applicant desires to preserve a large tree as opposed to shifting the building to the south into the buildable area.

Mr. Jernigan presented to the Board and stated this was a unique residence,

formerly a corner store, converted to a two-bedroom home; the property is only 30' wide and 132' deep, with an exceptionally large right-of-way area. He pointed out the exceptionally large oak trees on the property, one in the right-of-way and another in the rear yard. They were asking to increase the rear yard coverage to 38.8%, since it was an unusual lot because of its width. Having the garage in line with the house would make it more consistent with the architecture of the home and the structures in East Hill and would not negatively affect other property owners. Chairperson White suggested treating the requests separately. Mr. Jernigan clarified the location of the garage would be 12' off the back property line and 0' off the side setback.

Board Member Sebold made a motion to approve the 15' side yard setback reduction to a 0' setback, seconded by Board Member Del Gallo. Board Member Del Gallo indicated this was peculiar because of the lot situation, and the garage size was probably a minimum for a two-car garage. The motion then carried unanimously.

Mr. Jernigan explained the garage was 20' x 20' and each garage door was 8' wide. **Board Member Del Gallo made a motion to approve the increase of the maximum rear yard coverage from 25% to 38.8%, seconded by Board Member Stepherson. Board Member Del Gallo stated a 20' x 20' garage was a small garage for two vehicles and a minimum request; Board Member Stepherson agreed. Chairperson White indicated this would be a great improvement. The motion then carried unanimously.**

DISCUSSION – None

ADJOURNMENT -

There being no further business, the meeting adjourned at 3:50 p.m.

Respectfully Submitted,

Senior Planner Statler
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00563

Zoning Board of Adjustments

9/16/2020

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/9/2020

SUBJECT:

ZBA 2020-006
923 E. La Rua Street
R-2 Zoning District

BACKGROUND:

Mr. Kevin Hogan, HH Building Group, is requesting a Variance to increase required lot coverage from 30% to 34% to accommodate a new dwelling unit.

The R-2 zoning district allows for multi-family development therefore adding the third dwelling unit to the existing duplex will make this a multi-family residential development.

The proposal of a new dwelling unit and not an Accessory Dwelling Units (ADU) is because ADU's are only allowed with single family detached structures per city ordinance (12-2-52 (A)).

Current setbacks, buffers, landscaping and parking requirements are being met and the project will also be reviewed for storm water management standards.

This proposal is a unique redevelopment that is working within the existing site constraints.



City of
Pensacola
*America's First Settlement
And Most Historic City*

- ☒ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) 12-2-6(D) / T-12-2.5 Zoning R-2

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 923 East LaRue, Pensacola, FL 32501

Current use of property: Residential (Duplex)

1. Describe the requested variance(s): Accessory dwelling for this home-site. We are requesting a
an increase from the County code from 30% to 34% coverage for the new dwelling.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The pressing need for affordable housing in the area. This request is 4% over the maximum lot coverage

Planning Services
 222 W. Main Street * Pensacola, Florida 32502
 (850) 435-1670
 Mail to: P.O. Box 12910 * Pensacola, Florida 32521

~~per the County code.~~ ^{City} This site's size easily accommodates the proposed dueling and allows for one more family dwelling unit.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

This area is in the fore-front of designing and building smaller "tiny" homes to accommodate the need, of families who require close proximity and access to the City for work while achieving home ownership.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

As mentioned above, this area is going through renewal and renovation. Many of the existing homes have been renovated or are in the process. New "tiny" homes are being built to accommodate the need for housing. These homes are of particular interest to our seniors and first time home owners in need of modest accommodations. Access to the City Center is a driving force.

5. Explain what other condition(s) may justify the proposed variance(s):

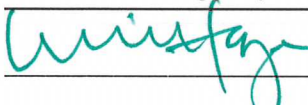
Per Realtors in the Pensacola area, prices of homes in Pensacola are on the rise, particularly near the City Center. It is vital for those of modest means the opportunity to live near the City. This "tiny" home will allow one more family the opportunity.

Application Date: 8-25-2020

Applicant: Kevin Hagen

Applicant's Address: 730 Bayfront Parkway, Suite 4B, Pensacola, FL 32502

Email: Kevin@hhbuildinggroup.com Phone: 850.530.4226

Applicant's Signature:  President AMP at Pensacola, Inc.

Property Owner: A.M.R. at Pensacola, Inc.

Property Owner's Address: 730 Bayfront Parkway, Suite 4B, Pensacola, FL 32502

Email: Kevin@hhbuildinggroup.com Phone: 850.530.4226

Property Owner's Signature:  President AMP at Pensacola, Inc.

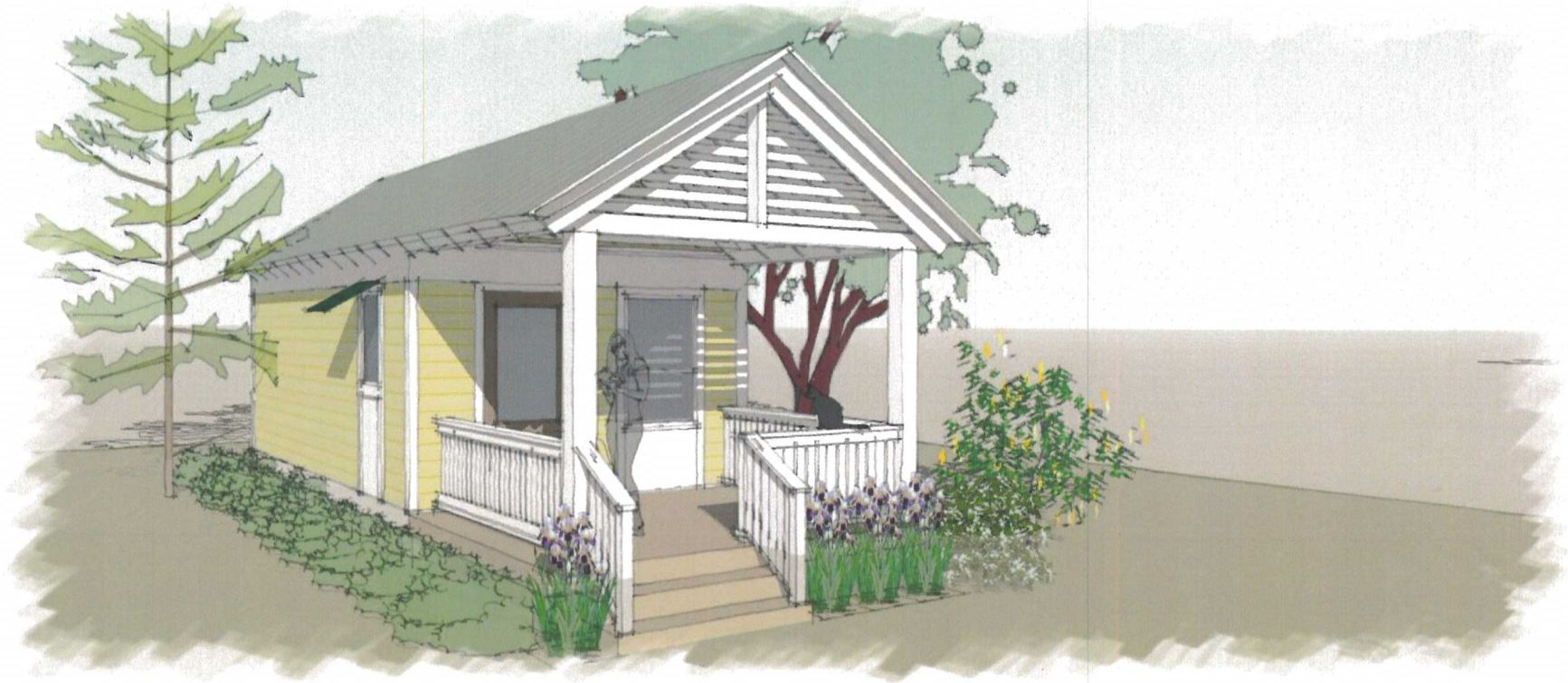
The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.



ESCAMBIA COUNTY TINY HOUSES

ARCHITECT: HUFFMAN ASSOCIATES / STUDIO FOR ARCHITECTURE LLC.

UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.

ESCAMBIA COUNTY, FLORIDA



Craig Huffman
 Digitally signed by Craig Huffman
 Date: 2020.07.10 19:19:35 -0400

100% CONSTRUCTION DOCUMENTS /
 PERMIT SET

07-10-2020



TINY HOUSE ACCESSORY BUILDING
LOCATION - PENSACOLA, FLORIDA, ESCAMBIA COUNTY

UNIT 2A - 1 FLOOR RESIDENCE (GABLE ROOF PORCH)

APPLICABLE CODES:
FLORIDA BUILDING CODE - RESIDENTIAL 2017, 6TH ED.

OCCUPANCY / GROUP CLASSIFICATION:
PER FBC, SECTION 311: RESIDENTIAL

TYPE OF BUILDING CONSTRUCTION:
PER CHAPTER 6, SECTION 601, TABLE 601: BUILDINGS ARE TYPE
VB: 0 HOUR RATED
NON-SPRINKLED
PER CHAPTER 6, SECTION 602, TABLE 602: FIRE-RESISTANCE
RATING REQUIREMENTS BASED ON FIRE SEPARATION
DISTANCE ≥ 30 FEET = 0 HOUR RATED

MATERIAL RATINGS AND FLAME SPREAD

MATERIAL RATINGS AND FLAME SPREAD:
ALL FINISHES TO BE PER FBC 803.3 - CLASS C IN ALL AREAS

WIND LOAD & STRUCTURAL DESIGN CRITERIA: 141 M.P.H. PER
FIG. 1609

REFER TO WIND ANALYSIS FOR ADDITIONAL STRUCTURAL DESIGN CRITERIA

2) ALL WORK IS TO COMPLY WITH ANY APPLICABLE COVENANTS, RESTRICTIONS, AND REQUIRED CONSTRUCTION PROCEDURES REQUIRED BY ZONING, PUD & ENVIRONMENTAL PERMIT REQUIREMENTS.

3) ALL DIMENSIONS, SITE CONDITIONS, AND INSTALLATION SHALL BE FIELD VERIFIED WHEN PREPARING BIDS AND PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCIES OR CONFLICTS BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.

4) ALL WORK IS TO BE CONSISTENT WITH THE CONTRACT DOCUMENTS. ANY PROPOSED CHANGES OR SUBSTITUTIONS TO THE LAYOUT, ASSEMBLY, OR MATERIALS MUST BE SUBMITTED IN WRITING TO THE ARCHITECT AND APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING.

5) THE ARCHITECTURAL & STRUCTURAL DRAWINGS ARE COORDINATED IN RELATION TO THIS PROJECT & ALL OF THE REQUIREMENTS IN THESE DRAWINGS APPLY TO THE WORK. IF THERE IS A CONFLICT - THE MORE STRINGENT REQUIREMENT IS REQUIRED. SUBMIT CONFLICTS & DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.

6) DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED. WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

7) THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.

1) THE GENERAL CONTRACTOR SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTIBLE.

2) ON FIRST SUBMITTAL, CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS. ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL, ONLY CLOUDED ITEMS WILL BE REVIEWED.

*CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL COMPONENTS REQUIRING PRODUCT APPROVAL PER FS.553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS.

923 E. LA RUA ST., PENSACOLA, FLORIDA



EXISTING SURVEY

LA RUA STREET (80' R/W)

LOT AVENUE (100' R/W)

LOT 10 (1.1000 AC)

LOT 11 (1.1000 AC)

THE RABBIT HOUSE

LOT 10

LOT 11

BLOCK 62

CITY OF LOS ANGELES

COUNTY OF LOS ANGELES

Craig
Huffman

Digitally signed
by Craig
Huffman
Date: 2020.07.10
19:20:08 -04'00'



DATA SHEET

A01

ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
100% CONSTRUCTION
DOCUMENTS /
PERMIT SET

drawn by: D
checked by: C

REVISIONS

SPECIFICATIONS

Gable Cottage Series: Unit 2A

These Specifications describe the proposed finishes, construction systems and products that are required for this project.

1.) General Requirements

1.1 Alternates: NA

The base bid includes wood frame stud construction. Refer to wood stud wall sections in standard detail sheet.

1.2 Submittals: Submit Shop Drawing Submittals for windows & doors, metal roof, cabinets, ceramic tile, LVT floor, HVAC system, plumbing fixture valves & fittings, light fixtures.

1.3 Standards & Definitions: refer to drawings

1.4 Construction Facilities: as required

1.5 Substitutions: *Cost reduction alternate assemblies & products may be submitted for Architect & Owner review & approval.*

1.6 Warranties: Standard contractor and manufacturer's warranties will apply.

2.) Site Work

2.1 Site Clearing: For general layout and location of proposed structures. Only remove trees that have been approved for removal (marked on the site.)

2.2 Excavation, Filing, & Compaction: Compaction to be 98% proctor. Refer to drawings for finish floor & grade elevation relationships. (2) Geotechnical site borings to a 10' depth are recommended for each house.

2.3 Termite Control: Provide standard termite treatment that meets all environmental laws & standards.

2.4 Landscape: Provide a \$500 Landscape allowance per house.

3.) Concrete

3.1 Concrete Materials

- Design mix to provide concrete with the following properties:
3000 psi at 28 compressive strength & W/C ratio of 0.46 maximum (air entrained)
- Slump Limits: slabs – not more than 4" reinforced concrete foundations: not less than 1" & not more than 3" refer to ASTM C 94 for mixing req. in various weather conditions

3.2 Reinforcing Materials

- Reinforcing bars: ASTM 615, Grade 60 deformed
- Steel wire: ASTM A 82 plain cold drawn steel

4.) Masonry

- Provide normal weight 1900 psi concrete masonry units in shapes, profiles & dimensions as shown on drawings.
- Reinforcing bars: billet steel per ASTM 615
- Joint reinforcement: ladder design with perpendicular cross rods spaced at 16" o.c. max.

5.) Metals

- Misc. plates and fasteners to be compatible with chemicals in pressure treated wood
- Provide Simpson fasteners, bolts & washers for connection & tie down systems as required by wind load requirements & as indicated on the Architectural & Structural drawings.

6.) Wood

- Dimensional lumber: Standard grade with 19% maximum moisture content (for untreated).
- Wall & Roof Sheathing: APA rated structural #1 exterior
- Provide pressure treated wood & plywood within 18" of grade and at all locations in contact with concrete or masonry and at all exterior locations unless noted otherwise.
- Provide kiln dried P.T. for exterior columns & trim that are not cement fiber.
- Provide SIPS panels in sizes & profiles shown as Alternate framing system. (if project has SIPS framing)
- Porch Columns: 6 x 6's or 8 x 8's KDAT pre manufactured hollow structural.
- Exterior trim: primed 1/2" & 5/4" hardboard trim by Hardie Board or equal.
- Exterior siding: cement fiber lap siding, smooth panels & panels with 1/2" x 1 1/2" or 3/4" 2 & 1/2" battens
- Soffits: 5/16" cementitious panels with 1x cem. fiber trim.
- Interior standing & running trim: paint grade w/ square edge profile.
- All exposed rafter tails and outlookers to be P.T. material.

7.) Thermal & Moisture Protection

- Insulation: R – 19 batt insulation in 1st floor joists, with plastic mesh support. Install batt insulation in bathroom & bedroom partitions (for sound attenuation)
- Install R-11 batt insulation in walls & open cell spray foam insulation "R-22 minimum in roof. If R-30 is required by energy code - provide 6" of rigid insul. in roof joist cavity.
- Perimeter wall and roof insulation is provided by SIPS panels – If alternate framing system is used.
- Provide Ice & Water & Shield roof membrane on roof sheathing or SIPS panels below metal roof.
- Roof: Provide corrugated galvalume 26 ga. metal roof over plywood deck with neoprene washers & exposed fasteners. Fasteners are 24" o.c. max. each way.
- Provide 24 ga. corrugated mtl. roof over porch with exposed framing & purlins.
- Provide galvanized sheet metal flashing
- Provide elastomeric joint sealers at all appropriate exterior locations.
- If gutters are used: 1/2 round 5" dia. galvalume gutters w/ 2 & 1/2" dia. downsouts (refer to drawings)
- Provide silicone sealant for exterior caulking & joint sealer
- Exterior siding: cement fiber panels & lap siding as shown on drawings
- Exterior paint: acrylic latex mildew resistant exterior grade paint
- Interior paint: latex (satin sheen) on gypsum board or OSB & semi gloss on wood trim

8.) Doors & Windows

Refer to drawings for door & window types and locations.

- Provide exterior fiberglass doors manu. by Jeld wen or Neuma OR approved equa.
- Entry door to have 1/4 lite design with integral blinds and tempered glass. Door to be painted per Architect's color selection. Provide shop drawings from door manufacturer.
- Door Hardware: Coppercreek Egg Knob E Series passage in Tuscany Bronze finish, Deadbolt Lock: Kwik-set 9-10 2 Wave in Venetian Bronze or approved equal. Provide electric lock & keypad @ front door.
- Provide Andersen 100 series windows OR approved equa. Andersen windows include single hung, casement & awning types.
- All windows are to have insulated low e glass. Window colors to be selected from 100 series standard colors. Provide shop drawings from window manufacturer.
- Interior doors: MDF w/ square "slat" style doors, painted. 6'-8" height – 2 panel .
- Door Hardware: Egg shape oil rubbed 10B bronze

9.) Finishes

- Bathroom floor: 6" x 24" ceramic floor tile by Montagna by Marrazi.
- Kitchen Backsplash: Ceramic tile backsplash in kitchen between counter and cabinets.
 - Mosaic art - optic 1" x 3" brick in color selected by Architect.
- Ceiling Cladding: 1/2" densglass, painted
- Floors in living, dining, kitchen, sleeping area: LVT "wood plank" appearance - Armstrong "better" or equal.
- Interior wall & ceiling finish: 1/2" densglass, painted.
- Alternate interior wall & ceiling finish: OSB (from SIPS panels) with paint finish & 1/4" x 1 1/2" batten trim at joints.
- Bathroom walls at interior partitions: 1/2" water resistant green board with epoxy paint.

10.) Specialties

- Bathroom accessories:
 - Mirror: Gatco Designer 2, 19.5" x 26.5" H oval tilting frameless mirror with chrome hardware & beveled edges
 - Towel bar & toilet paper dispenser: polished chrome \$50 allowance

11.) Equipment

- Appliances (shown in the plans):

2 burner cooktop: GE Electric Cooktop (Stainless Steel) (Common: 21-in; Actual 21.25-in) Model #: JP201CBSS
Refrigerator: Frigidaire 14.6 - cu ft Top Freezer Refrigerator (Stainless Steel) ENERGY STAR Model #: FFHT1514QS

12.) Furnishings / Millwork

- Pre manuf. standard cabinets in profiles & dimensions shown on the plans. --- Provide 1/4" birch veneer plywood kitchen cabinets - Finish to be selected by Architect.
- Provide plastic laminate countertops in kitchen & storage loft desk - Color to be selected by Architect.
- Cabinet hardware: - To be selected by Architect
- Provide cabinet shop drawings prior to fabrication.
- Painted wood (poplar, pine or fir paint grade) built in shelves & millwork

13.) Special Construction N/A

14.) Conveying Systems N/A

15.) Mechanical & Plumbing

Mitsubishi mini-split system

Cost reduction substitutions & products may be submitted for the Architect's & Owner's review & approval. Proposed plumbing fixture substitutions must be consistent with the locations, aesthetics and general performance characteristics of the fixtures that are specified below

- Plumbing fixtures:
Kitchen sink: Moen 2200 Series 22-in x 25-in Single-Basin Stainless Steel Drop-In 4-hole Residential Kitchen Sink Model #: G221984

Kit. Faucet: Peerless Chrome 2-Handle High-Arc Kitchen Faucet with Side Spray Model #: P299578LF

Bathroom toilet: American Standard Mainstream Waterwarden White 1.28 GPF, 12" rough in WaterSense elongated 2 piece toilet

Bathroom lavatory: AquaSource White Drop in Round sink – model # AL 2191-00
Valves: AquaSource Kirkmont Chrome 2 handle 4 in Centerset WaterSense faucet, Model # 67297 - 6101

Shower: DELTA White Acrylic One-Piece Shower with Integrated Seat (Common 36-in x 48-in; Actual: 76-in x 35.875-in x 47.875-in) Model #: 214836AC00

16.) Electrical & Lighting

- 100 amp panel with all work per Florida Residential Building Code
- Electrical contractor to verify to load prior to installing panel.

Cost reduction substitutions & products may be submitted for the Architect's & Owner's review & approval. Proposed light fixture substitutions must be consistent with the locations, aesthetics and general performance characteristics of the fixtures that are specified below

- Light fixtures: Refer to drawings for types & locations.
Surface mount ceiling fixtures: "Hammer" 9" dia. by Restoration Hardware (or approved substitution) in polished chrome finish in bathroom.

Kitchen sconce fixture: "Vintage Barn" 9" by Restoration Hardware (or approved substitution) in weathered zinc finish, Rough in 8" – 4" AFF at center line of sink.

Bathroom sconce fixture: "Cloche Sconce" 9" by Restoration Hardware (or approved substitution) in polished chrome finish.

Living room fan - light: 44" dia. Concept Drop Down by Restoration Hardware (or approved substitution) in bronze finish, Unit 2A bottom of fan: 9' - 0" AFF.

Wall Sconces: "Wit Adjustable Sconce" by Restoration Hardware (or approved substitution) in bronze finish.

Exterior porch light: "Starboard Sconce" by Restoration Hardware (or approved substitution) in weathered zinc finish, Rough in at 7' – 6" AFF.

Recessed can lights: Shallow 5"max, depth 4" diameter with white trim. Use warm spectrum 2700k LED lamps. Recessed lights are used with wood frame only. If SIPS panels are used – fixtures are surface mount only.

Craig Huffman

Digitally signed by
Craig Huffman
Date: 2020.07.10
19:20:20 -0400

ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
100% CONSTRUCTION
DOCUMENTS
PERMIT SET

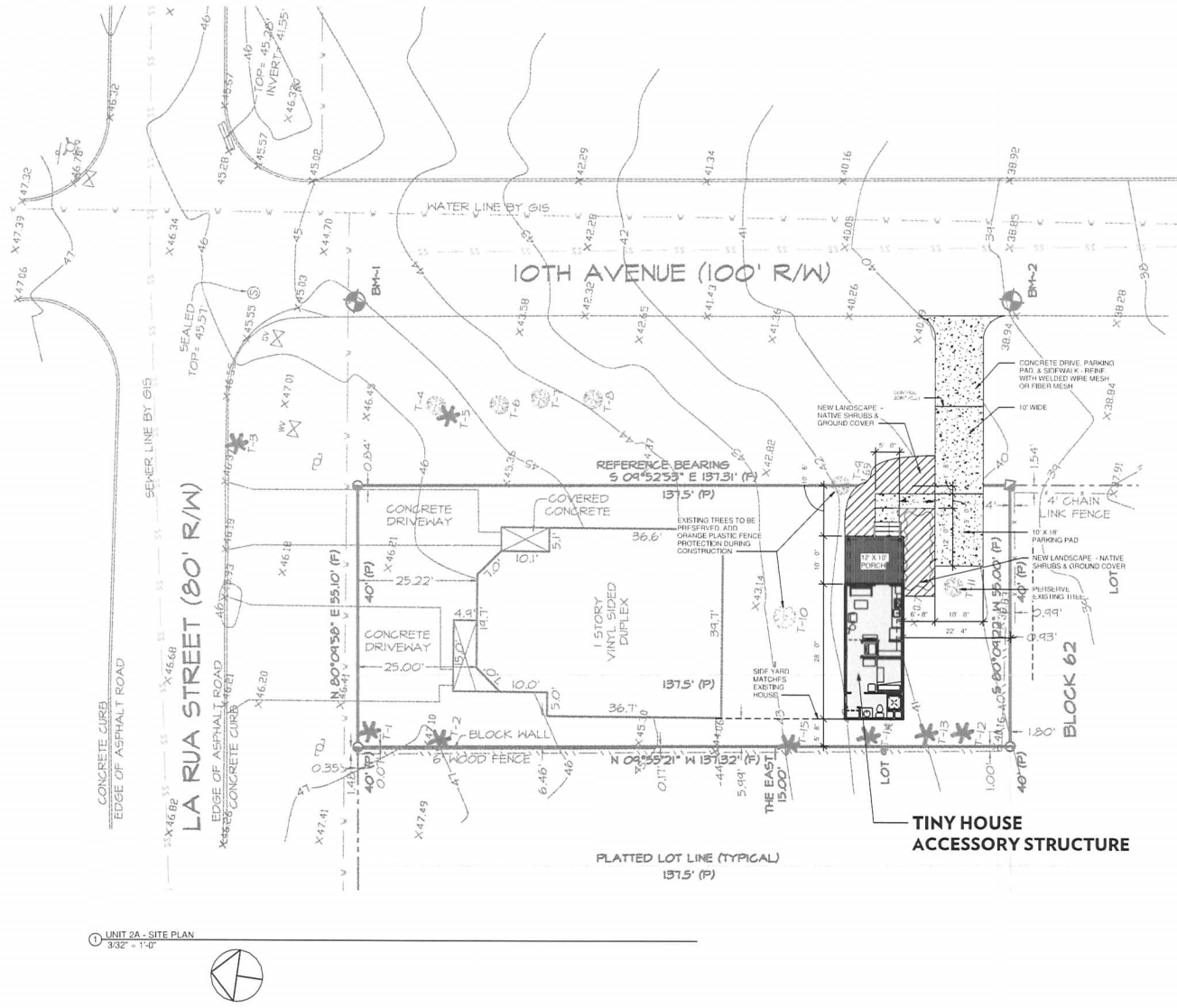
drawn by: DB
checked by: CH
REVISIONS



SPECIFICATIONS

A02





UNIT 2A - SITE PLAN
3/32" = 1'-0"



Craig Huffman
Digitally signed by Craig Huffman
Date: 2020.07.10 19:20:30 -04'00'

ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
100% CONSTRUCTION DOCUMENTS / PERMIT SET
Drawn by: DB
Checked by: CH
REVISIONS



UNIT 2A SITE PLAN

A03

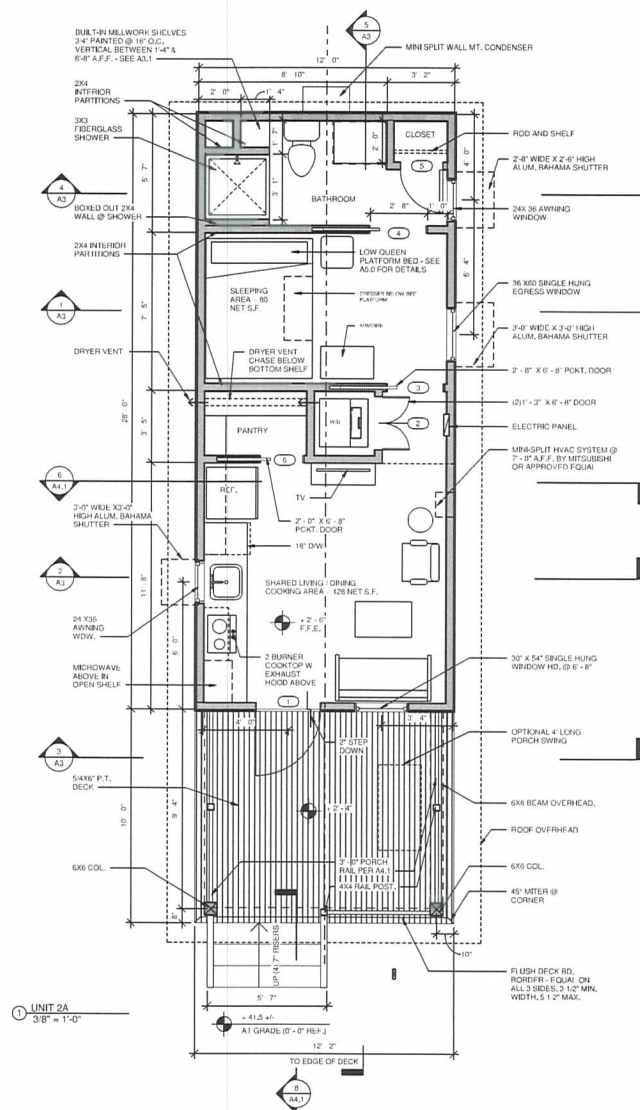
- **BASE BID:** 2X4 STUDS @ 16" O.C. W/ R11 BATT INSULATION AND 1/2" OSB SHEATHING AND 1/2" DENSGLASS
- **ALTERNATE:** 4 1/2" SIPS PANEL SYSTEM

- **ALTERNATE:** 6 1/2" SIPS ROOF PANEL SYSTEM

- **BASE BID (AS DRAWN):** FINISH FLOOR 2'-6" ABOVE GRADE, TOP OF PORCH DECK 2'-4" ABOVE GRADE, PORCH STEPS: (4) 7" RISERS
- **DEDUCTIVE ALTERNATE:** FINISH FLOOR 2'-0" ABOVE GRADE, TOP OF DECK 1'-10" ABOVE GRADE, PORCH STEPS: (3) 7 1/3" RISERS

- 1) 3'-0" X 6'-8" FIBERGLASS DOOR WITH 3/4 LITE & INTEGRAL BLINDS - EXTERIOR - PAINTED
- 2) (2) 1'-3" X 6'-8" SOLID CORE MDF SLIDING 2-PANEL STICK STYLE DOORS - INTERIOR - PAINTED
- 3) 2'-8" X 6'-8" SOLID CORE MDF 2-PANEL STICK STYLE POCKET DOOR - INTERIOR - PAINTED
- 4) 2'-0" X 6'-8" SOLID CORE MDF 2-PANEL STICK STYLE DOOR - PAINTED
- 5) 2'-0" X 6'-8" SOLID CORE MDF 2-PANEL STICK STYLE POCKET DOOR - INTERIOR - PAINTED

NOTE: SUBMIT PRODUCT MANUF. DATA COLOR/FINISH SAMPLES FOR ALL DOORS, WINDOWS, & DOOR HARDWARE. ALSO REFER TO SPECIFICATIONS FOR ADDITIONAL WINDOW AND DOOR INFORMATION.



TOTAL HTD/COOLED	336 G.S.F.
COVERED OUTDOOR DECK	120 G.S.F.

Craig Huffman

UNIT 2A PLANS

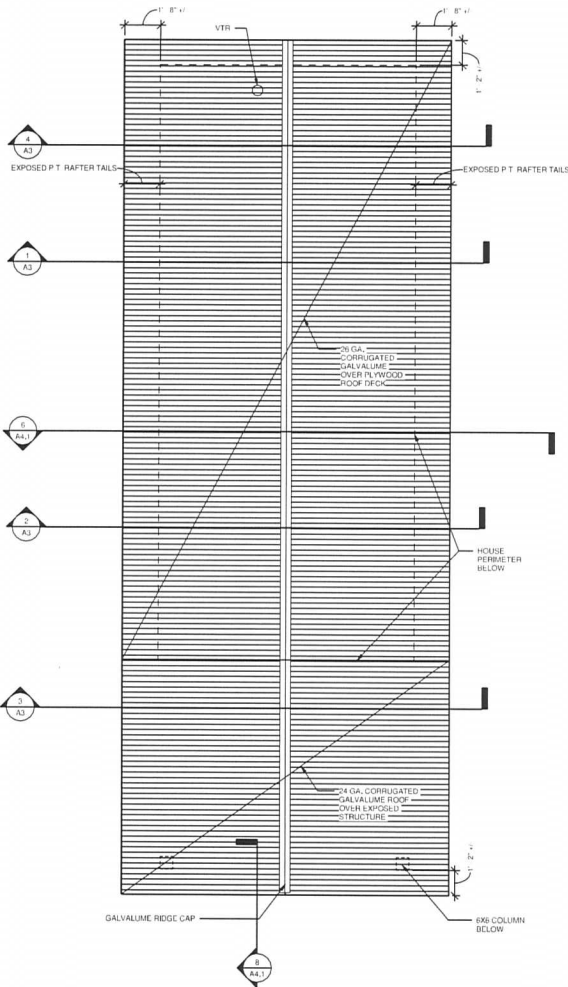
A1

ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

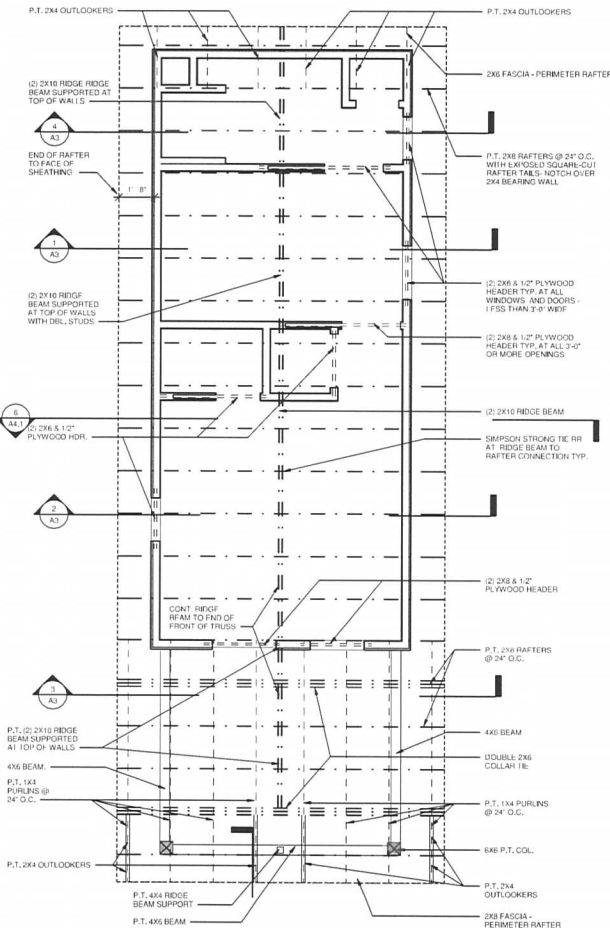
Date: 07-10-2020
100% CONSTRUCTION
DOCUMENTS /
PERMIT SET
drawn by: DTB
checked by: CDH
REVISIONS



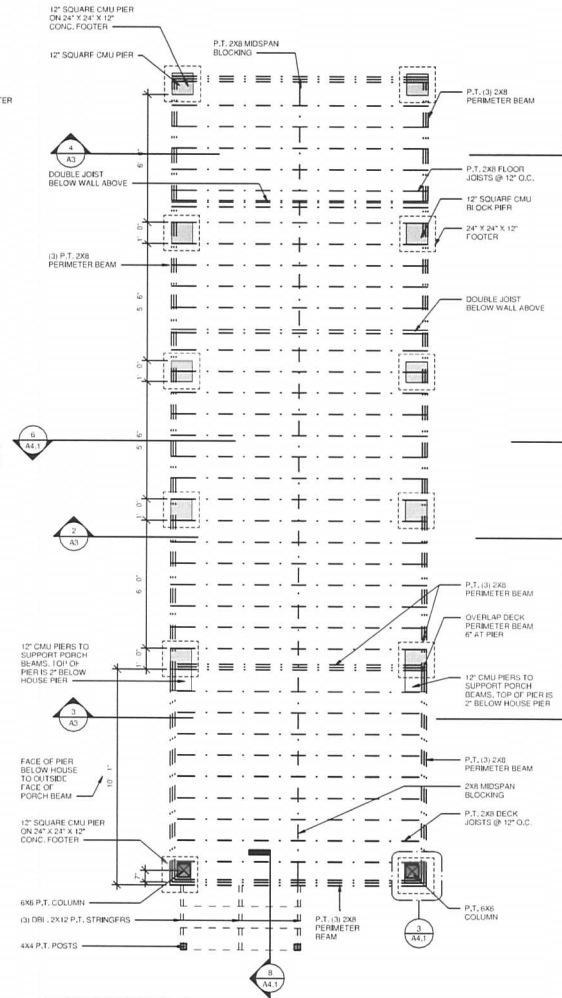
UNIT 2A PLANS



UNIT 2A - ROOF PLAN
3/8" = 1'-0"



UNIT 2A - ROOF FRAMING PLAN
3/8" = 1'-0"



UNIT 2A FOUNDATION & FLOOR
FRAMING PLAN
3/8" = 1'-0"

ALSO REFER TO STRUCTURAL DRAWINGS & SPECS.

GENERAL FOUNDATION NOTES:
THE FOOTINGS ARE PROPORTIONED FOR A BEARING CAPACITY OF 1500 PSF, AND SHOULD BE VERIFIED WITH THE SOIL TYPE AND RECOMMENDATIONS MADE BY A GEOTECHNICAL REPORT. USE 3000 PSI (MINIMUM) CONCRETE FOR ALL FOUNDATIONS AND SLABS.

NOTE:
FOR EXPANSIVE SOIL CONDITIONS SEE CONTIGUOUS FOOTING PLAN 5 ON A1.2

NOTE:
FOR FOUNDATION DETAILS & STAIR DECK DETAIL SEE A4 & A4.1

Craig
Huffman

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Huffman
Date: 2020.07.10
19:21:14 -0400

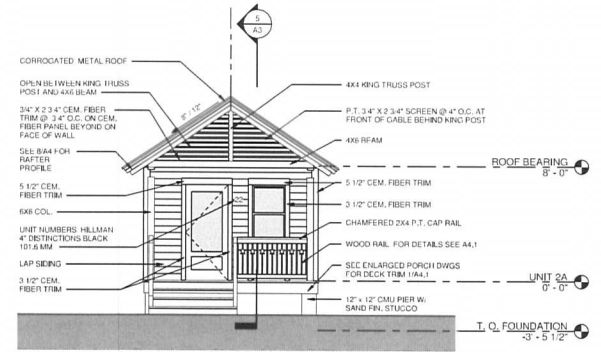
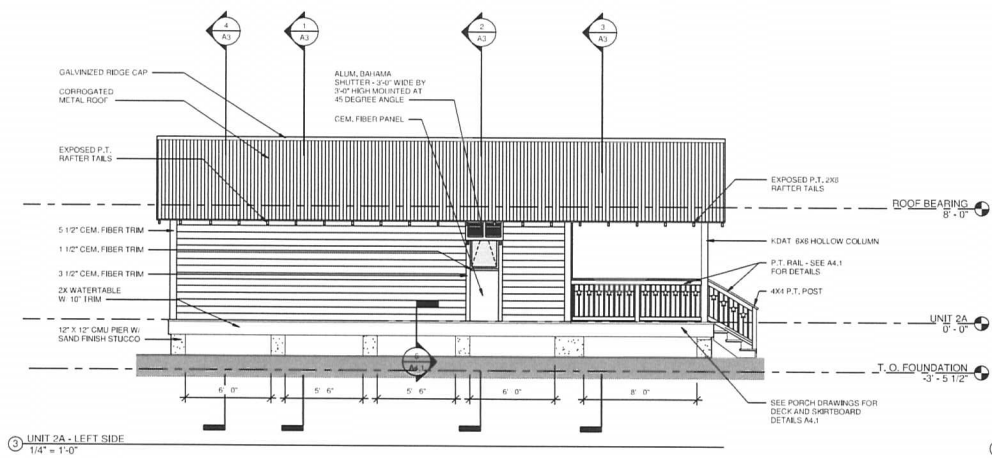
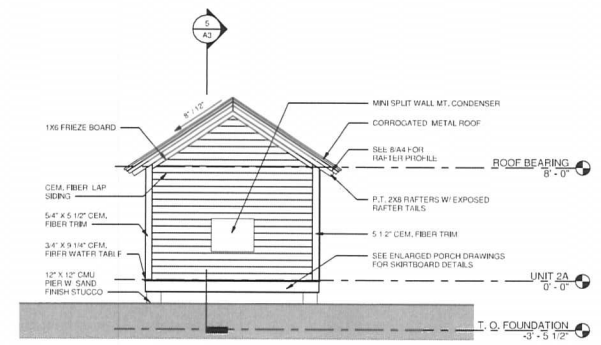
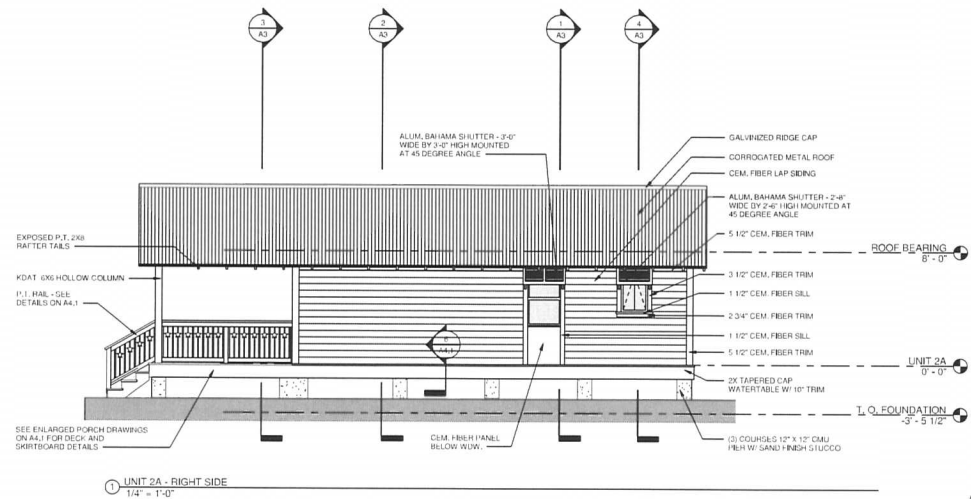
ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
100% CONSTRUCTION DOCUMENTS / PERMIT SET
Drawn by: DTE
Checked by: CDH
Revisions:



UNIT 2A ELEVATIONS

A2



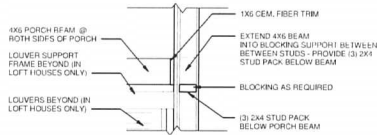
Craig Huffman
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Date: 2020.07.10 19:21:25 -0400



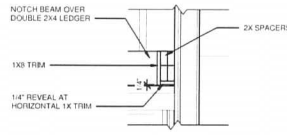
UNIT 2A BUILDING SECTIONS

Digitally signed by
Craig Huffman
Date: 2020.07.10
19:21:36 -04'00'

A3



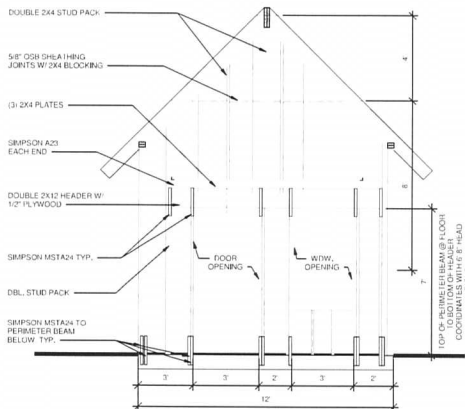
1 STUD CONST. BEAM TO WALL SECTION
1" = 1'-0"



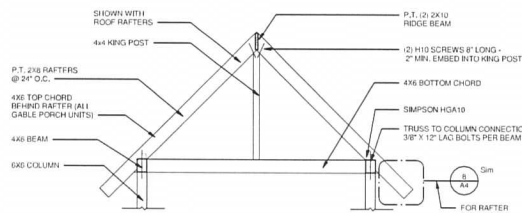
2 SIPS SYSTEM BEAM TO WALL SECTION -
ALTERNATE CONS. METHOD
1" = 1'-0"

NOTE: SHEATHING TO BE NAILED TO ALL STUDS @ 4" O.C.
W/ 8D NAILS. NAIL SHEATHING TO HEADER WITH 4 ROWS
OF NAILS @ 4" O.C.

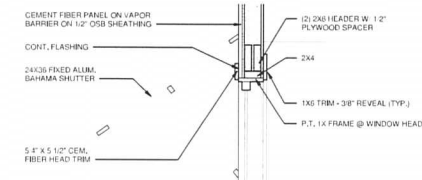
NOTE: DRAWING IS FOR LOFT UNITS - OTHERS ARE SIMILAR



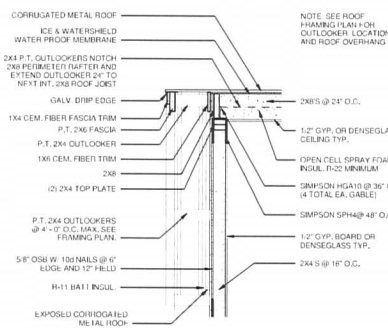
3 PORTAL FRAME @ FRONT WALL OF
LOFT UNIT - UNIT 2A FRAMING SIM.
3/8" = 1'-0"



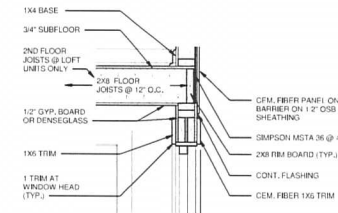
4 GABLE PORCH TRUSS CONNECTION -
SIMILAR WITH 8-12 PITCH
1" = 1'-0"



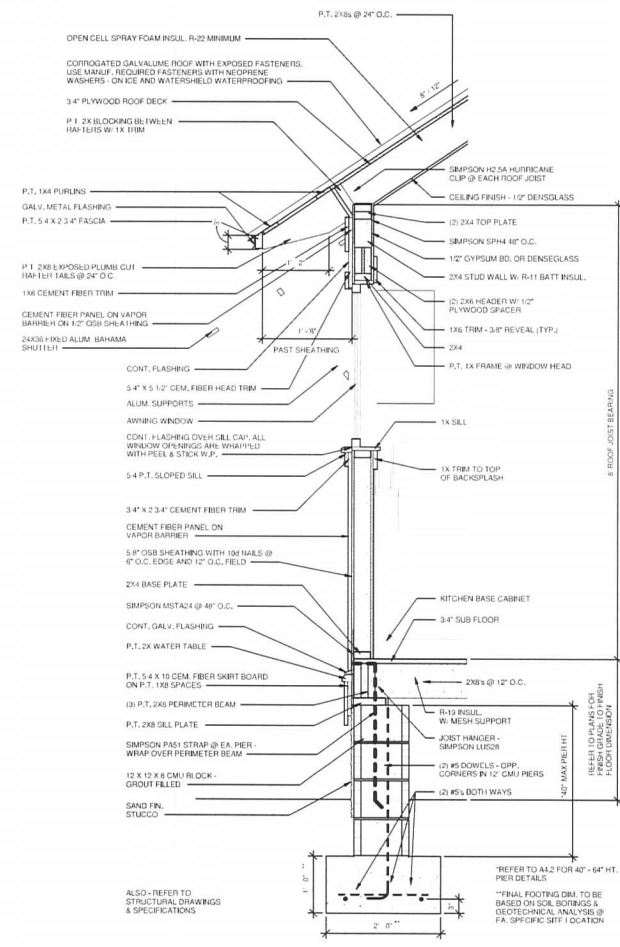
5 TYP. WINDOW HEAD TRIM W/ SHUTTER
1" = 1'-0"



6 ROOF O.H. & OUTLOOKER DETAIL
3/4" = 1'-0"



7 TYP. WINDOW HEAD TRIM
1" = 1'-0"



8 UNIT 2A WALL SECTION
1" = 1'-0"

ESCAMBIA COUNTY TINY HOUSES UNIT 2A - 923 EAST LA RUA ST., PENSACOLA, FL. ESCAMBIA COUNTY, FLORIDA

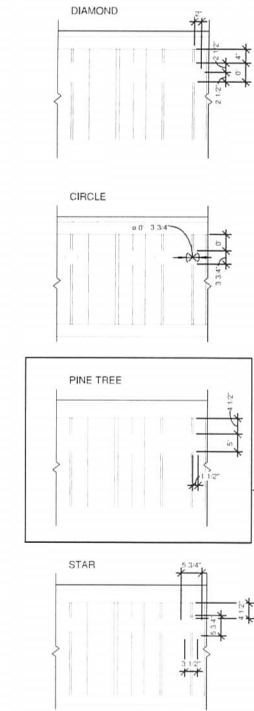
Date: 07-19-2020
100% CONSTRUCTION
DOCUMENTS (PL/INT) Set 1
Drawn by: LHM
Checked by: CDH
REVISIONS:



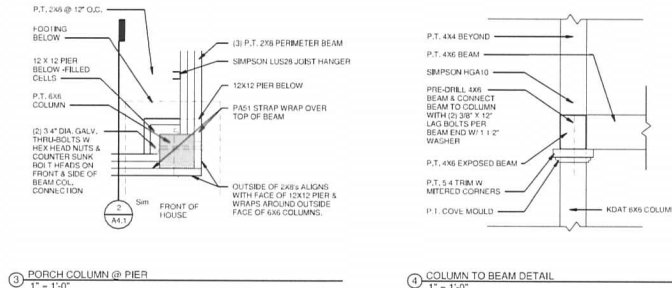
WALL SECTIONS

A4

Craig Huffman
Digitally signed by Craig Huffman
Date: 2020.07.10 19:21:48 -0400

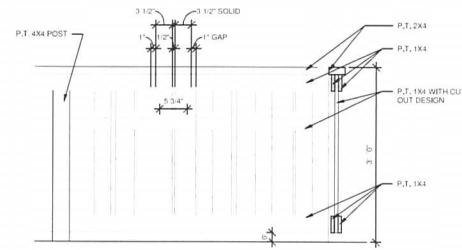


1 RAIL CUT OUTS
3/4" = 1'-0"

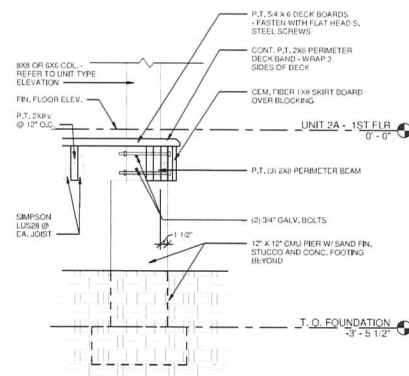


3 PORCH COLUMN @ PIER
1" = 1'-0"

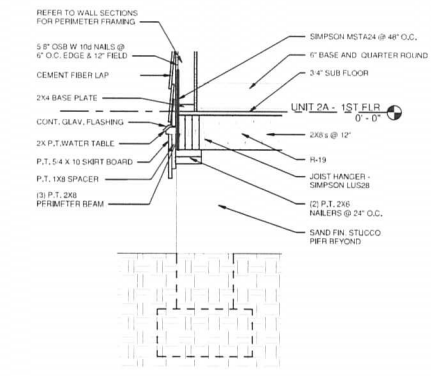
4 COLUMN TO BEAM DETAIL
1" = 1'-0"



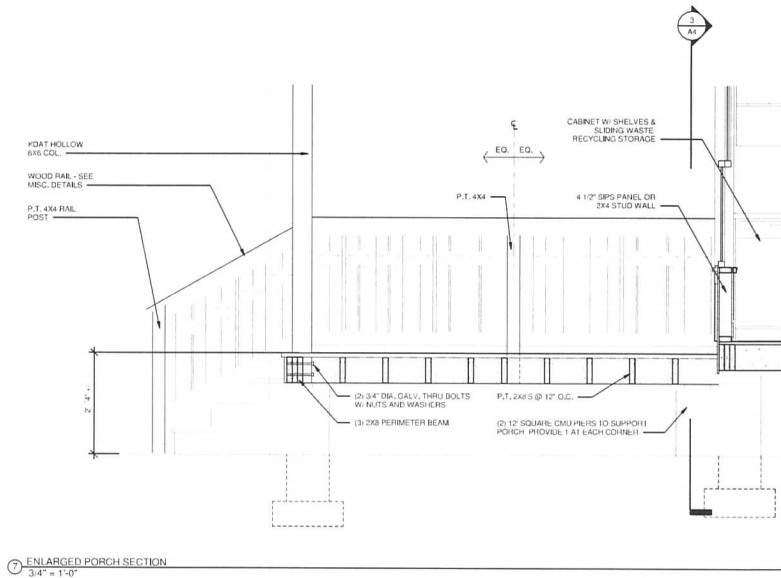
5 WOOD RAIL DETAIL
1" = 1'-0"



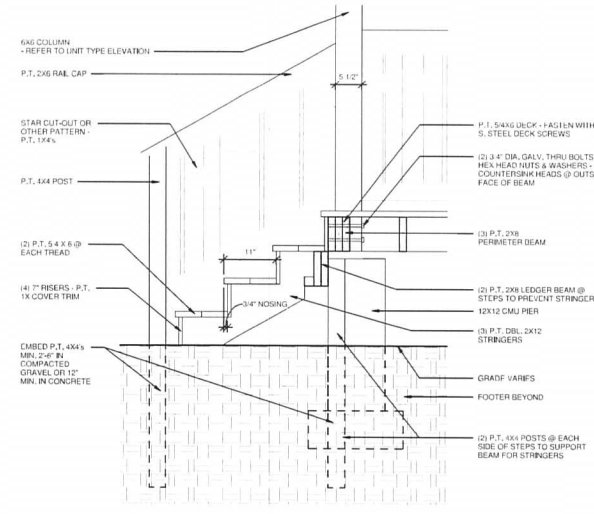
6 DECK DETAIL
1" = 1'-0"



7 SKIRTBOARD DETAIL
1" = 1'-0"



7 ENLARGED PORCH SECTION
3/4" = 1'-0"



8 PORCH STAIR DETAIL
1" = 1'-0"

ESCAMBIA COUNTY TINY HOUSES UNIT 2A - 923 EAST LA RUA ST., PENSACOLA, FL. ESCAMBIA COUNTY, FLORIDA

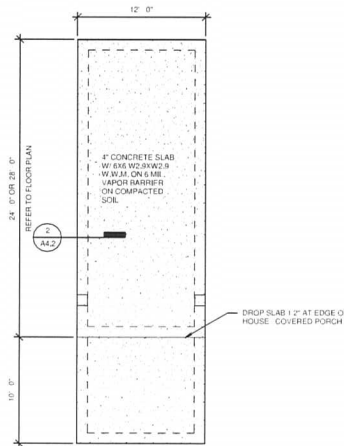
Date: 07-10-2020
100% CONSTRUCTION DOCUMENTS / PL/INTL SL1
Drawn by: DB
Checked by: CH
REVISIONS



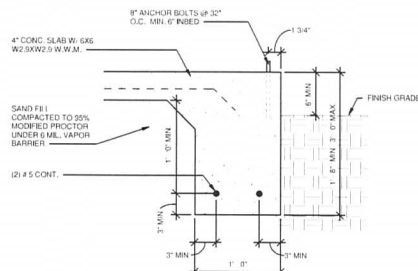
SECTIONS & DETAILS

Craig Huffman
Digitally signed by Craig Huffman
Date: 2020.07.10 19:22:00 -0400

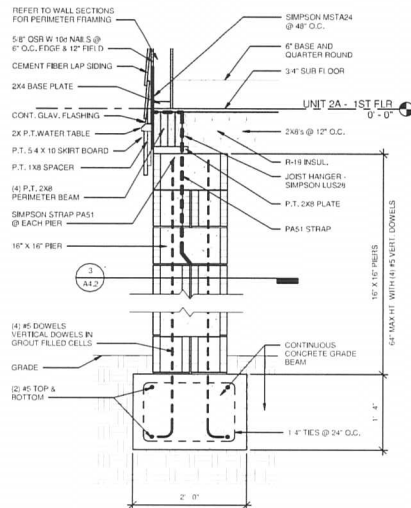
A4.1



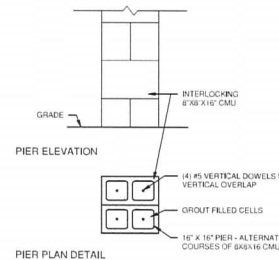
1. CONCRETE FOUNDATION FOR ACCESSIBLE UNIT 2A
1" = 1'-0"



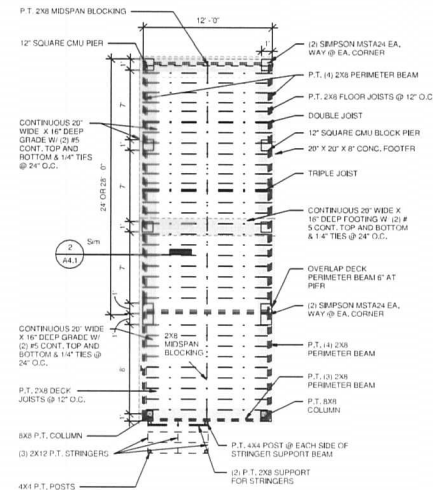
2. TYP. FOOTING DETAIL FOR SLAB ON GRADE ACCESSIBLE UNITS
1" = 1'-0"



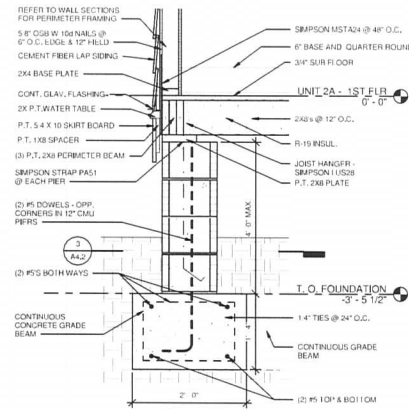
3. 40" TO 64" HT. PIER DETAIL FOR HIGHER PIERS @ SLOPED SITES
1" = 1'-0"



4. 40" TO 64" HT. PIER PLAN & ELEVATION
1" = 1'-0"



5. EXPANSIVE SOIL FOUNDATION PLAN
1" = 1'-0"



6. GRADE BEAM FOR EXPANSIVE SOIL
1" = 1'-0"

ESCAMBIA COUNTY TINY HOUSES UNIT 2A - 923 EAST LA RUA ST., PENSACOLA, FL. ESCAMBIA COUNTY, FLORIDA

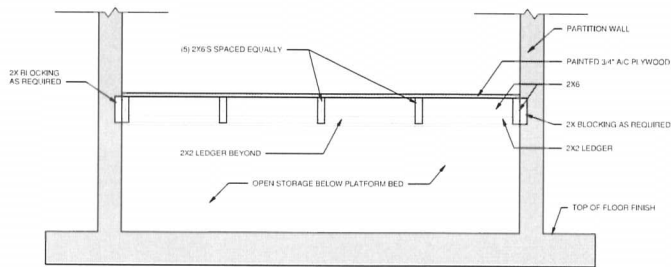
Date: 07-10-2020
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Drawn by: LMH
Checked by: CDH
REVISIONS:



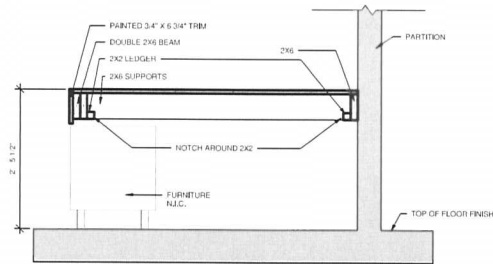
ALT. FOUNDATION & PIER DETAIL

A4.2

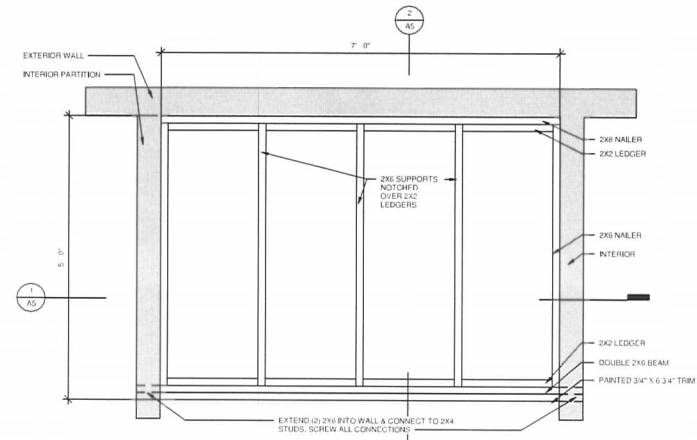
Craig Huffman
Digitally signed by Craig Huffman
Date: 2020.07.10 19:22:13 -0400



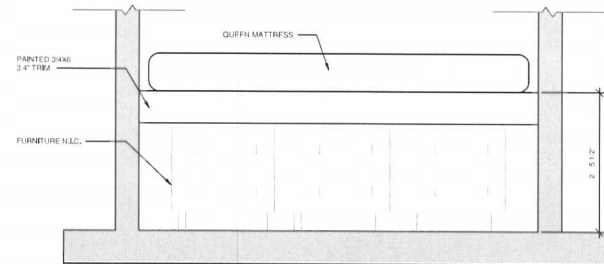
1 PLATFORM BED SECTION A
1" = 1'-0"



2 PLATFORM BED SECTION B
1" = 1'-0"



3 QUEEN PLATFORM BED PLAN
1" = 1'-0"



4 PLATFORM BED ELEVATION
1" = 1'-0"

ESCAMBIA COUNTY TINY HOUSES
UNIT 2A - 923 EAST LA RUA ST., PENSACOLA, FL.
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
100% CONSTRUCTION
DOCUMENTS / P/11/18/19/20
Drawn by: DB
Checked by: SJ
REVISIONS



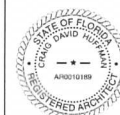
BED PLATFORM DETAILS

A5

Craig Huffman
Digitally signed by Craig Huffman
Date: 2020.07.10 19:22:24 -0400

ESCAMBIA COUNTY TINY HOUSES
 UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.
 ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020
 100% CONSTRUCTION DOCUMENTS / PERMIT SET
 Drawn by: DTH
 Checked by: CDH
 REVISIONS:



UNIT 2A MECH. ELEC. & PLUMBING

MEP1

NOTES:

- 1) WHERE WALL RECEPTACLES ARE LOCATED UNDER WINDOWS, CENTER BETWEEN BASE AND WINDOW TRIM VERTICALLY. NOT EXCEEDING STANDARD RECEPTACLE HEIGHT.
- 2) SIPs MANUFACTURER RESPONSIBLE FOR ADDING BLOCKING AS REQUIRED SO THAT RECEPTACLES ARE PLACED AS SHOWN ON P. AND, F.O., CENTERED UNDER WINDOWS OR BETWEEN WINDOWS ETC.
- 3) MECHANICAL CONTRACTOR TO VERIFY SIZE, EFFICIENCY AND PLACEMENT OF ALL MECHANICAL EQUIPMENT. ORIGINAL CONTRACTOR TO CONSULT W/ MECHANICAL CONTRACTOR AND/OR MECHANICAL ENGINEER AND NOTIFY ARCHITECT OF ANY DIFFICULTY W/ INSTALLATION, EFFICIENCY OR PERFORMANCE OF SYSTEMS.
- 4) MECH. CONTRACTOR TO PROVIDE ENERGY FORM ANALYSIS
- 5) INSULATE WATER PIPES WHERE EXPOSED.
- 6) PLUMBING CONTRACTOR TO PROVIDE PLUMBING RISER.
- 7) ELECTRICAL CONTRACTOR TO LOCATE ALL LIGHT FIXTURES AS SHOWN. IF FIXTURE LOCATION MUST BE RELOCATED, NOTIFY THE ARCHITECT TO OBTAIN APPROVAL PRIOR TO RELOCATION.
- 8) ELECTRICAL CONTRACTOR TO PROVIDE PANEL LOAD SCHEDULES & WIRING.
- 9) CONTRACTOR TO PROVIDE PLUMBING & LIGHTING FIXTURE SUBMITTALS FOR ARCHITECT'S APPROVAL PRIOR TO PURCHASE & INSTALLATIONS. - REFER TO SPECIFICATIONS ON A02

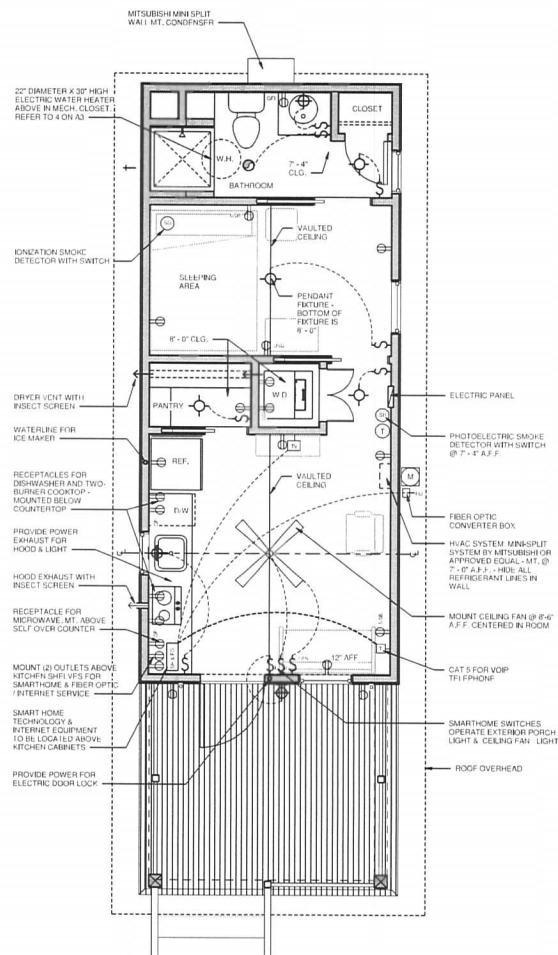
ELECTRICAL / PLUMBING SYMBOLS

	THERMOSTAT
	EXTERIOR FIBER OPTIC CONVERTER BOX
	ELECTRIC PANEL
	SMART HOME & FIBER OPTIC INTERNET EQUIP (LOCATE ABOVE KITCHEN CABINETS) 5 PORT POE CREAM SWITCH, SMART HOME SMART HUB, WIRELESS ROUTER
	DUPLEX OUTLET 15' A.F.F. (UNO) 3 WIRE GROUNDING
	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER MOUNT @ 4' A.F.F.
	DUPLEX OUTLET, OUTDOOR
	DUPLEX W/ USB OUTLET, 15' WITH USB PORT
	DUPLEX OUTLET, 220 VOLT MOUNT 3' A.F.F., 25 AMP BREAKER
	CAT 5 FOR VOIP TELEPHONE
	CAT 5 FOR TELEVISION - MOUNT 7'4" A.F.F.
	SMOKE DETECTOR
	WATER HEATER
	A.C. TOGGLE SWITCH, SINGLE POLE, 177-200 V.A.C., SURFACE MOUNTED @ 48" A.F.F.
	A.C. TOGGLE SWITCH, THREE WAY, 177-200 V.A.C., SURFACE MOUNTED @ 48" A.F.F.
	SMART A.C. TOGGLE SWITCH, 177-200 V.A.C., SURFACE MOUNTED @ 48" A.F.F.
	LED LIGHT FIXTURE, CEILING SURFACE MOUNT
	LED LIGHT FIXTURE, WALL SURFACE MOUNT
	EXTERIOR LED LIGHT FIXTURE, WALL SURFACE MOUNT
	EXHAUST FAN/LIGHT, CEILING MOUNTED
	FLUORESCENT LIGHT, SURFACE MOUNTED
	CEILING FAN, PENDANT MOUNT, 48" DIAMETER WITH LIGHT FIXTURE
	FREEZE PROOF WATER HYDRANT HOSE (B)
	METER
	ELECTRIC WIRING
	CAT 5 WIRING

- ALL LED LAMPS ARE 2700 KELVIN.
- ALL SWITCHES & RECEPTACLES ARE WHITE.
- EXTERIOR RECEPTACLES HAVE COVER PLATES & ARE GRAY OR BLACK

MEP LEGEND
 1/4" = 1'-0"

UNIT 2A MECH. ELEC. & PLUMBING
 3/8" = 1'-0"



Craig Huffman

Digitally signed by
 Craig Huffman
 Date: 2020.07.10
 19:22:35 -0400

S:\2020 Projects\2020-99-99 923 E. LaRua\DWGS\Civil\20-99-000X.dwg, Sep 03, 2020 - 5:56:41PM, andrew

Site Construction Plans

For

TINY HOUSE

923 E. LARUA STREET PENSACOLA, FL 32501

OWNER/DEVELOPER:

AMR AT PENSACOLA INC.
KEVIN HAGEN, PRESIDENT
730 BAYFRONT PKWY. SUITE 4B
PENSACOLA, FL 32502
PHONE: (850) 530-4226

ENGINEER:

KENNETH HORNE & ASSOCIATES, INC.
7201 N. 9th AVENUE, SUITE 6
PENSACOLA, FLORIDA 32504
PHONE: (850) 471-9005

SURVEYOR:

NORTHWEST FLORIDA LAND SURVEYING
7142 BELGIUM CIRCLE
PENSACOLA, FL 32526
PHONE: (850) 432-1052

STORMWATER NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO CITY OF PENSACOLA "AS BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY CITY OF PENSACOLA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE STABILIZED.
- TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPOGRAPHY OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE CITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE 811 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; PHONE 811
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE CITY.
- ALL NEW STORMWATER RUNOFF IS TO BE DIRECTED TO THE NEW STORMWATER COLLECTION SYSTEM.

UTILITY NOTES:

- CONTRACTOR SHALL LOCATE, SUPPORT & PROTECT EXISTING UTILITIES TO REMAIN, AS REQUIRED. ALL KNOWN UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL UTILIZE GROUND PENETRATING RADAR OR EQUIVALENT TO LOCATE ALL EXISTING UTILITIES WITHIN ALL AREAS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES TO BE RELOCATED AND/OR IN DIRECT CONFLICT WITH CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL CONTACT PLUMBING DEPT ECSO 850-469-5484 A MINIMUM OF 48 BUSINESS HOURS PRIOR TO COMMENCEMENT OF ALL UTILITY LOCATIONS TO COORDINATE THIS WORK.
- IF EXISTING UTILITY LINES ABOVE OR BELOW GROUND ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE RELOCATED AS PER UTILITY OWNER AND OWNER REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY THE OWNER FORTY-EIGHT HOURS PRIOR TO BEGINNING CONSTRUCTION.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTHS BEFORE BEGINNING CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PRESERVING AND PROTECTING SAID UTILITIES OR STRUCTURES.
- CONTRACTOR SHALL HAUL AWAY ALL EXCESS MATERIAL AND DEBRIS AND DISPOSE OF OFFSITE IN A LEGAL MANNER.
- FOR STAGING, EQUIPMENT STORAGE, EMPLOYEE PARKING, AND SITE ACCESS, COORDINATE WITH OWNER.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWER, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POST, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.

EROSION CONTROL NOTES:

- HAY BALES AND SILT FENCE SHALL BE PLACED AS REQUIRED. POSTS FOR SILT FENCE SHALL BE AT A DEPTH TO RESIST OVERTURNING, THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. SUPPLEMENT WITH HAY BALES AS REQUIRED TO PREVENT THE PASSAGE OF SOIL MATERIALS. HAY BALES ARE TO BE PROPERLY PLACED AND STAKED. (SEE TYPICAL DETAILS)
- ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE.
- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SOD UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES USED ARE MAINTAINED AND FULLY FUNCTIONAL DURING RAINFALL EVENTS.

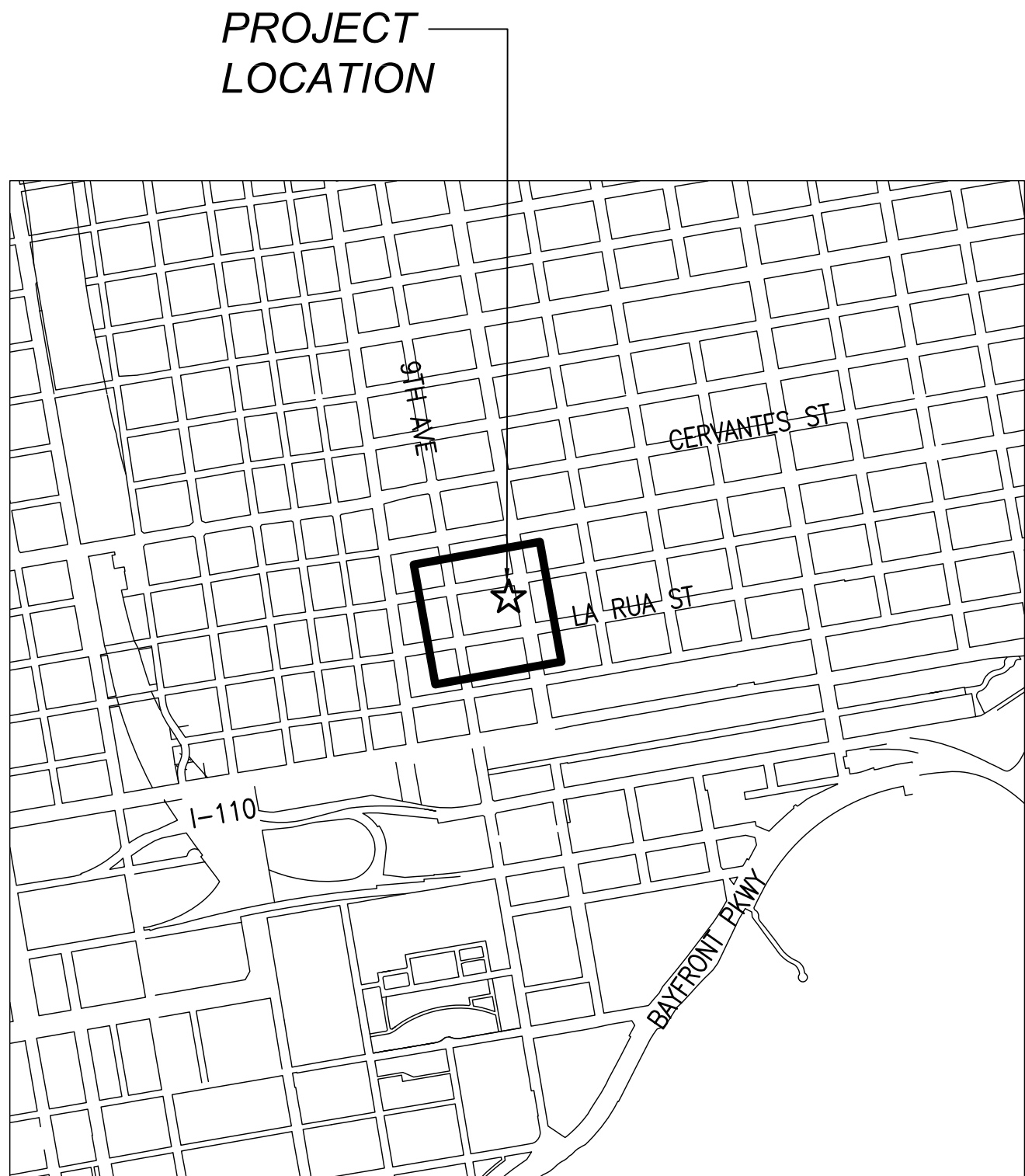
SITE DATA:

PROPERTY REFERENCE NO: 00-0S-00-9025-010-062
PROPERTY ADDRESS: 923 E. LARUA ST PENSACOLA, FL 32501
ZONING: R-2
FLU: OFFICE
PROPOSED USE: TINY HOUSE
PROJECT AREA DISTURBED: 1912 SF (0.044 AC)
PROPOSED IMPERVIOUS AREA IN PROJECT: 713 SF (0.016 AC)
PROPOSED PERVIOUS AREA IN PROJECT: 1199 SF (0.028 AC)

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET AND GENERAL NOTES
C101	EXISTING CONDITIONS AND EROSION CONTROL
C201	SITE STAKING PLAN
C401	GRADING AND DRAINAGE PLAN
C501	DETAILS

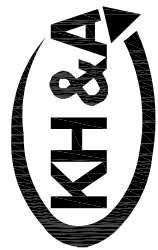
GENERAL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CITY OF PENSACOLA STANDARDS.
- ANY DEVIATIONS FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM BOTH THE ENGINEER OF RECORD AND THE CITY OF PENSACOLA
- THE CONTRACTOR IS ADVISED TO FAMILIARIZE THEMSELF WITH THE SITE PRIOR TO BIDDING. COORDINATE VISIT WITH OWNER.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WITH VARIOUS UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ALL LANDSCAPING SHALL COMPLY WITH CHAPTER 12 OF THE CITY OF PENSACOLA LAND DEVELOPMENT CODE.
- ALL WORK WITHIN THE RIGHT-OF-WAYS SHALL CONFORM TO CITY OF PENSACOLA STANDARDS, F.D.O.T. STANDARD DETAILS AND SPECIFICATIONS (LATEST EDITION).
- IF MORE THAN ONE ACRE WILL BE DISTURBED, CONTRACTOR SHALL FILE A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES." CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE GENERAL CONTRACTOR IS TO MAINTAIN (CUT AND WATER) THE VEGETATION ON SITE UNTIL FINAL ACCEPTANCE BY OWNER.
- ROLL GRADE BEFORE AND ROLL SOD AFTER PLACEMENT TO ENSURE SMOOTH FINAL GRADE. NO RUTTING WILL BE ACCEPTABLE AT PROJECT CLOSE-OUT.
- NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT CITY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES, AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
- ALL CURB AND GUTTER, SIDEWALKS, AND HANDICAP RAMPS SHALL BE A MINIMUM OF 3000 PSI CONCRETE AT 28 DAYS WITH 1.5 POUNDS OF FIBERMESH PER CUBIC YARD.



VICINITY MAP
1"=1000'

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS



PO BOX 10689, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 8268

923 E. LARUA STREET

COVER SHEET

FLORIDA

ESCAMBIA

DRAWN BY:	AHH
DESIGNED BY:	RCK
CHECKED BY:	RCK
DATE:	9/2/2020
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	
BY:	DATE:

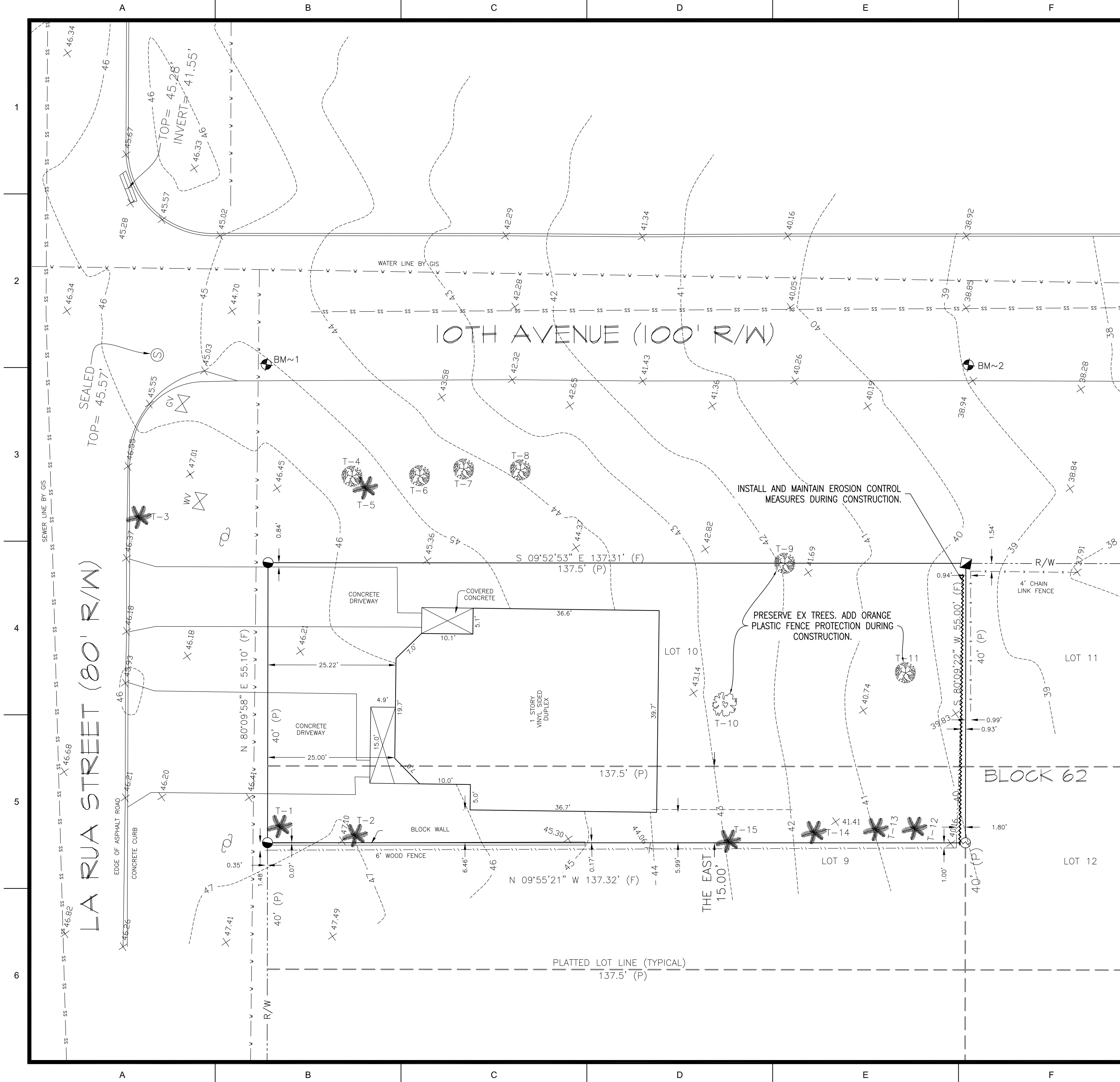
PROJECT NO: 2020-99
C001

SHEET: 1 OF 5

REVISIONS	
NO.	DATE

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ROBERT C. KRASNOSKY
FL. PE 49949



TREE TABLE			
TREE NO.:	DIAMETER	TYPE	CANOPY
T-1	28"	PALM	15'
T-2	18"	PALM	12'
T-3	14"	PALM	15'
T-4	24"	OAK	32'
T-5	9"	PALM	10'
T-6	14"	OAK	26'
T-7	12"	OAK	20'
T-8	15"	OAK	32'
T-9	34"	OAK	55'
T-10	19"	MAGNOLIA	28'
T-11	15"	OAK	22'
T-12	15"	PALM	12'
T-13	14"	PALM	15'
T-14	20"	PALM	16'
T-15	14"	PALM	15'

BENCHMARK DATA:










BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 44.26' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 38.59' (NAVD88)

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 6636, PAGE: 1732)

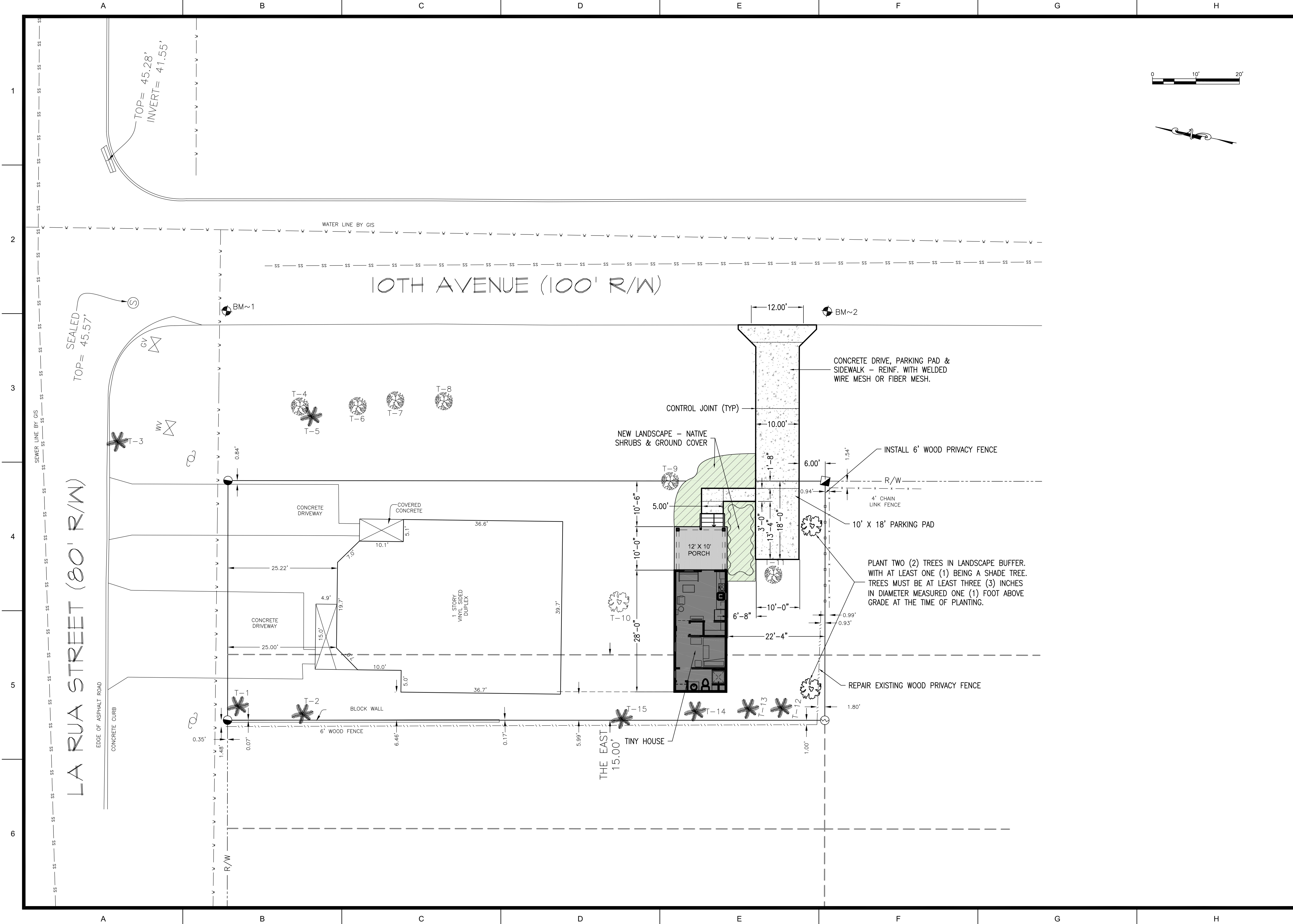
PARCEL NO. 2: LOT 10, AND THE EAST 25 FEET OF LOT 9, BLOCK 62, NEW CITY TRACT, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

LEGEND:

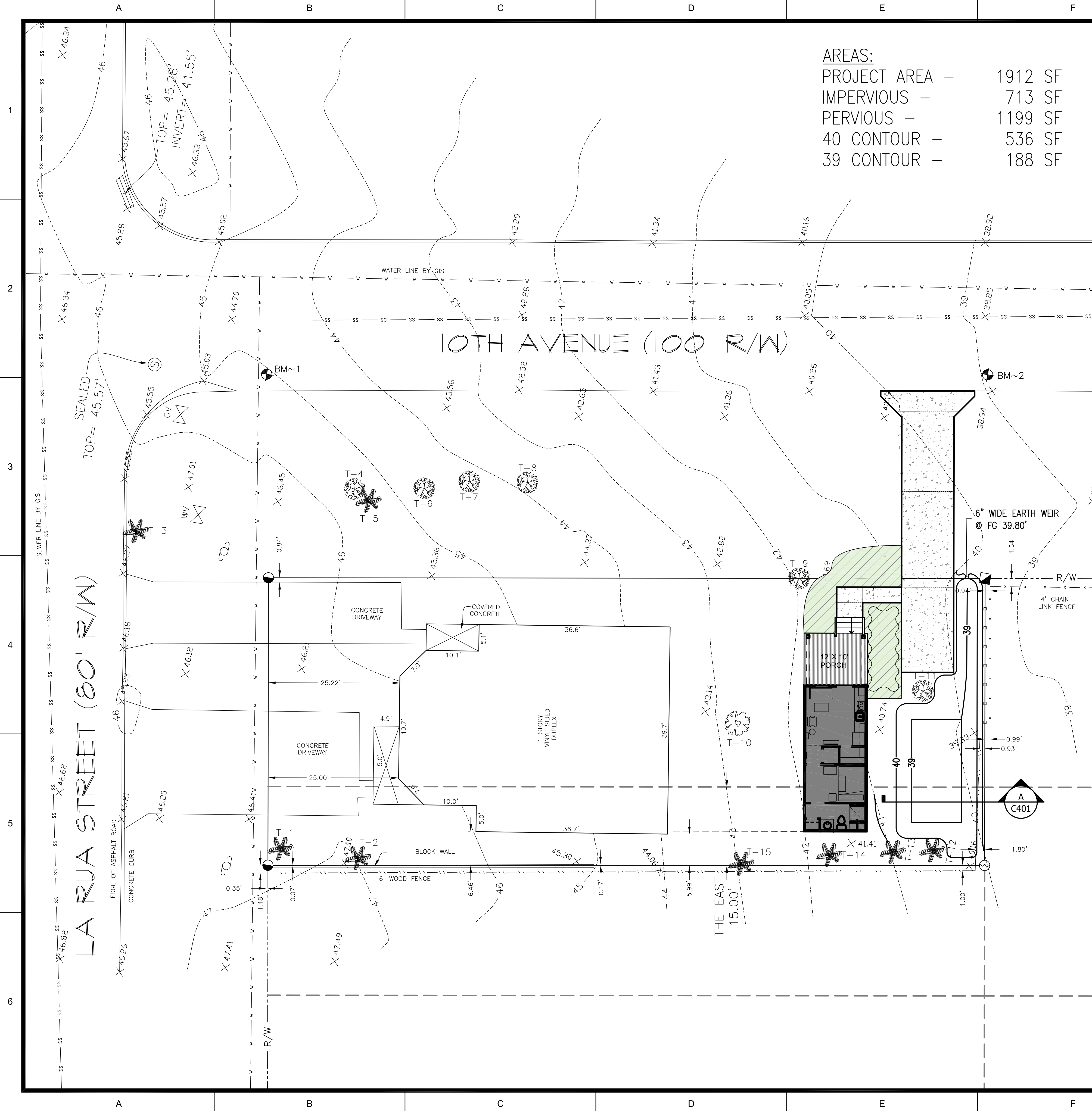
-  ~ 1/2" CAPPED IRON ROD, NUMBERED 7073 (FOUND)
 ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
 ~ 4" SQUARE CONCRETE MONUMENT, NUMBERED 4284 (FOUND)
(P) ~ PLATTED INFORMATION
(F) ~ FIELD INFORMATION
R/W ~ RIGHT OF WAY
SEC. ~ SECTION
TWP. ~ TOWNSHIP
RCE. ~ RANGE
O.R. ~ OFFICIAL RECORD
PG. ~ PAGE
 ~ BENCHMARK
 ~ FIRE HYDRANT
 ~ WATER VALVE
 ~ GAS VALVE
 ~ SIGN
 ~ UTILITY POLE

DRAWN BY: AHH		PROJECT NO: 2020-99	
DESIGNED BY: ROK		C101	
CHECKED BY: ROK		SHEET: 2 OF 5	
DATE: 9/2/2020		SCALE: 1" = 10'	
NOT FOR CONSTRUCTION		AND EROSON CONTROL	
BY: DATE:		EXISTING CONDITIONS	
FLORIDA		923 E. LARUA STREET	
ESCAMBIA		KH&A	
FLORIDA		Kenneth Horne & Associates, Inc.	
FLORIDA		CIVIL ENGINEERS	
FLORIDA		PO BOX 10669, PENSACOLA, FLORIDA 32524	
FLORIDA		7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504	
FLORIDA		(850) 471-9005 info@kh-a.com FAX (850) 471-0093	
FLORIDA		FL. CERTIFICATE OF AUTHORIZATION NO. 8288	
FLORIDA		ROBERT C. KRASNOSKY	
FLORIDA		FL. PE 49949	
FLORIDA		KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE	
FLORIDA		REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED	
FLORIDA		ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	
FLORIDA		THIS DRAWING IS THE PROPERTY OF	
FLORIDA		NO. DATE REVISIONS	

S:\2020 Projects\2020-99 923 E. LaRua\DWGS\CIVIL\20-99-C20X.dwg, Sep 03, 2020 -- 5:56:50PM, andrew

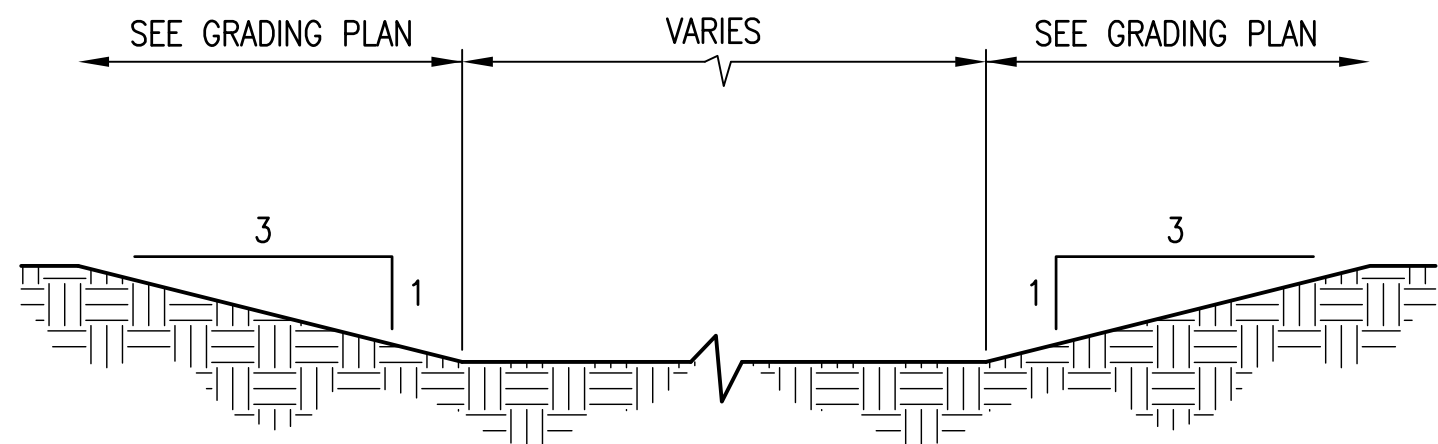
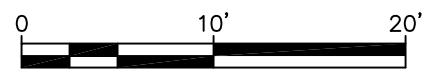


DRAWN BY: AHH		PROJECT NO: 2020-99	
DESIGNED BY: RCK		C201	
CHECKED BY: RCK		SHEET: 3 OF 5	
DATE: 9/2/2020		NOT FOR CONSTRUCTION	
SCALE: 1" = 10'		BY: DATE:	
923 E. LARUA STREET		FLORIDA	
SITE STAKING PLAN		ESCAMBIA	
Kenneth Horne & Associates, Inc.		CIVIL ENGINEERS	
PO BOX 10689, PENSACOLA, FLORIDA 32524		7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504	
(850) 471-9005 info@kh-a.com FAX (850) 471-0093		FL CERTIFICATE OF AUTHORIZATION NO. 8288	
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NO.	DATE	ROBERT C. KRASNOSKY FL PE 49949	



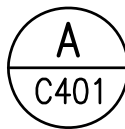
AREAS:

PROJECT AREA -	1912 SF
IMPERVIOUS -	713 SF
PERVIOUS -	1199 SF
40' CONTOUR -	536 SF
39' CONTOUR -	188 SF




RETENTION POND NOTES:

- POND SIDEWALLS TO RECEIVE SOLID SOD MATCH EXISTING SPECIES
- POND BOTTOM TO BE SEEDED
- CLEAN RETENTION POND OF ALL CONSTRUCTION DEBRIS AND SILT BEFORE SODING.



TYPICAL POND SECTION

NO SCALE

DRAWN BY: AHH		PROJECT NO: 2020-99	
DESIGNED BY: ROK		C401	
CHECKED BY: ROK		SHEET: 4 OF 5	
DATE: 9/2/2020			
SCALE: 1" = 10'			
NOT FOR CONSTRUCTION			
BY: DATE:			
923 E. LARUA STREET		FLORIDA	
GRADING AND DRAINAGE PLAN		ESCAMBIA	
			
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS			
PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093			
FL. CERTIFICATE OF AUTHORIZATION NO. <u>8288</u>			
ROBERT C. KRASNOSKY FL. PE 49949			
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NO.		DATE	
REVISIONS			

S:\2020 Projects\2020-99 923 E. LaRua\DWGS\Civil\20-99-C50X.dwg, Sep 03, 2020 -- 5:57:02PM, andrew

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REVISIONS	
NO.	DATE
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ROBERT C. KRASNOSKY
FL PE 49949

**Kenneth Horne & Associates, Inc.**
CIVIL ENGINEERS

PO BOX 10689, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8288

923 E. LARUA STREET

DETAILS

FLORIDA

ESCAMBIA

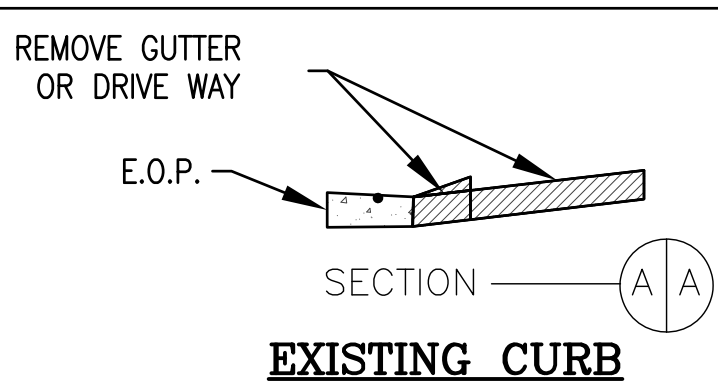
DRAWN BY:	AHH
DESIGNED BY:	RCK
CHECKED BY:	RCK
DATE:	9/2/2020
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	BY:
PROJECT NO:	2020-99
C501	
SHEET:	5 OF 5

TYPE "B" (LAYBACK) CURB DRIVEWAY DETAIL

DRIVEWAY SHALL BE INSTALLED IN SUCH A MANNER AS TO NEITHER CREATE A STANDING WATER ISSUE, CREATE AN EROSION ISSUE, NOR DIRECT STORMWATER ONTO PRIVATE PROPERTY. INSTALLATION OF DRIVEWAY SHALL ALLOW FOR STORMWATER TO FLOW ALONG SAME COURSE AS PRE-CONSTRUCTION CONDITIONS.

FOR FURTHER INFORMATION, CONTACT THE BUILDING INSPECTION DEPARTMENT **436-5600**

REMOVE GUTTER OR DRIVE WAY



SECTION A-A

EXISTING CURB

NOTES:

- 3000 PSI CONCRETE AT 28 DAYS WITH 1LB. FIBER REINFORCEMENT PER CU. YD.
- EDGE OF PAVEMENT SHALL BE SAWCUT AS NECESSARY TO PREVENT FAILURE/CRUMBLING AND TO PROVIDE SMOOTH EDGE/TRANSITION BETWEEN EXISTING AND CONCRETE.
- EXPANSION JOINTS AS REQUIRED.
- EDGED WITH $\frac{1}{2}$ " RADIUS AND BROOM FINISH.

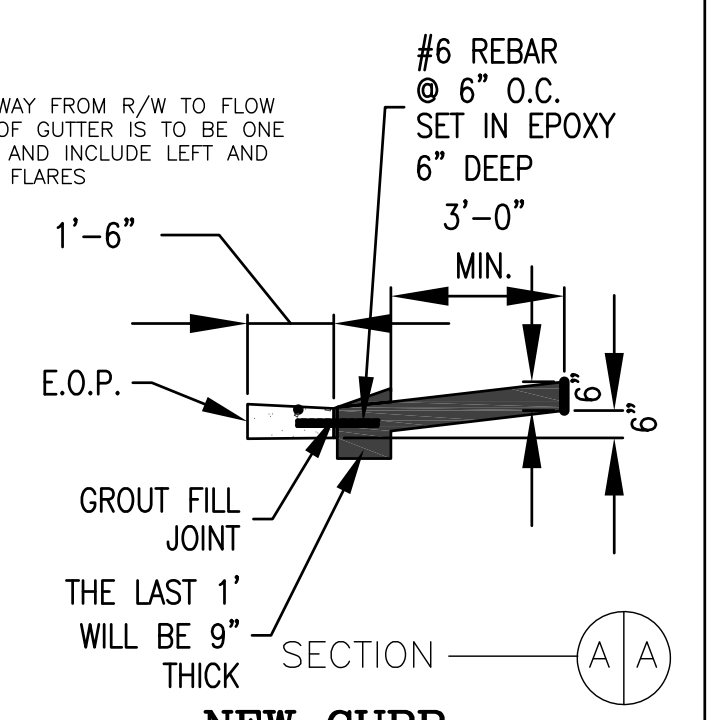
INSPECTION
DRIVEWAY/CURB & GUTTER/OTHER WORK

PRELIMINARY INSPECTION
COMPACTION AND FORM WORK IS INSPECTED BY THE ENGINEERING AND CONSTRUCTION SERVICES **(24 HOURS BEFORE POURING)**. IF MODIFYING EXISTING CURB CUT & DRIVEWAY SECTION DOES NOT MEET STANDARDS THEN DRIVEWAY SECTION MUST BE REMOVED AND REPLACED TO MEET CITY STANDARDS.

FINAL INSPECTION
FINAL INSPECTION IS CONDUCTED AFTER THE DRIVEWAY/CURB & GUTTER, OR OTHER WORK HAS BEEN COMPLETED (AFTER POURING). PLEASE CALL **436-5600** BETWEEN 7:30 A.M. - 4:30 P.M. TO SCHEDULE THE PRELIMINARY AND FINAL INSPECTIONS.

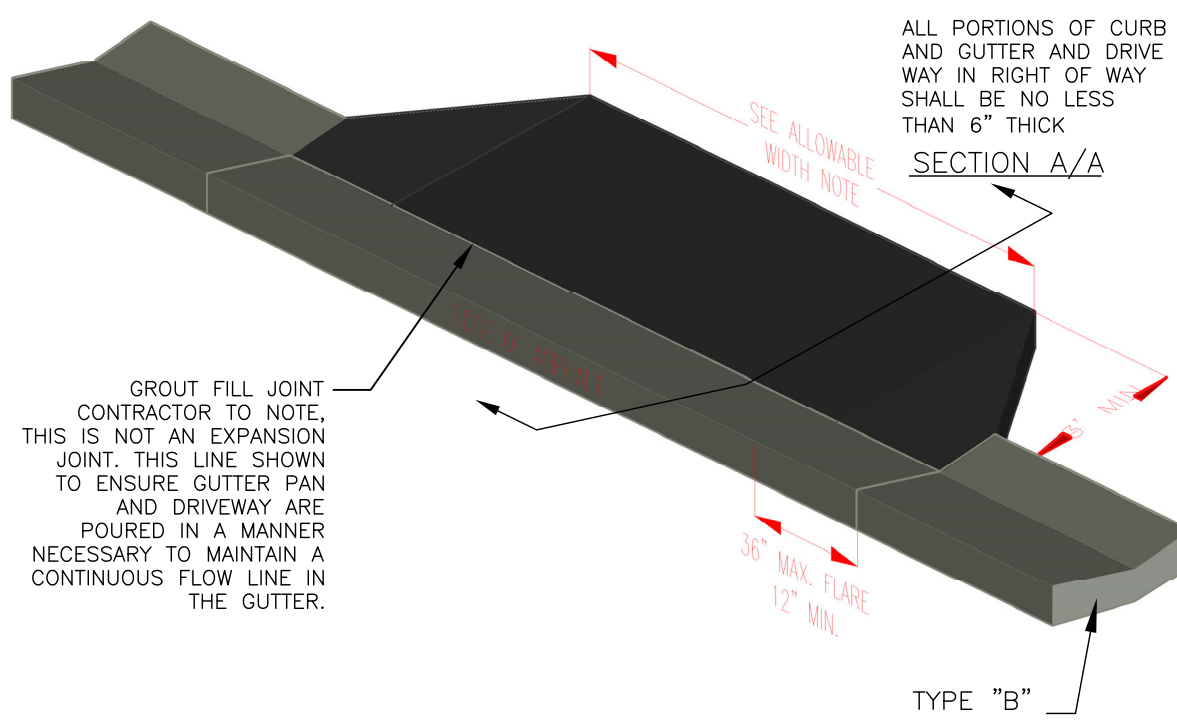
ALLOWABLE WIDTH "CRA AREA"	
MIN:	MAX:
[] RESIDENTIAL: 10'-0" (SINGLE DRIVEWAY)	20'-0"
[] RESIDENTIAL: 10'-0" (JOINT-USE DRIVEWAY)	22'-0"
[] RESIDENTIAL: 12'-0" (MULTI-FAMILY)	24'-0"
[] COMMERCIAL: 12'-0"	40'-0"

ALLOWABLE WIDTH	
MIN:	MAX:
[] RESIDENTIAL: 12'-0" (SINGLE DRIVEWAY)	24'-0"
[] RESIDENTIAL: 20'-0" (JOINT-USE DRIVEWAY)	24'-0"
[] RESIDENTIAL: 24'-0" (MULTI-FAMILY)	40'-0"
[] COMMERCIAL: 12'-0"	40'-0"



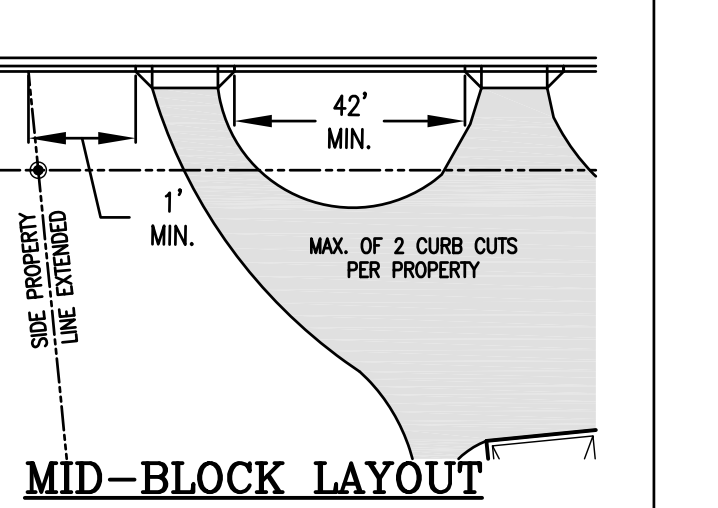
SECTION A-A

NEW CURB

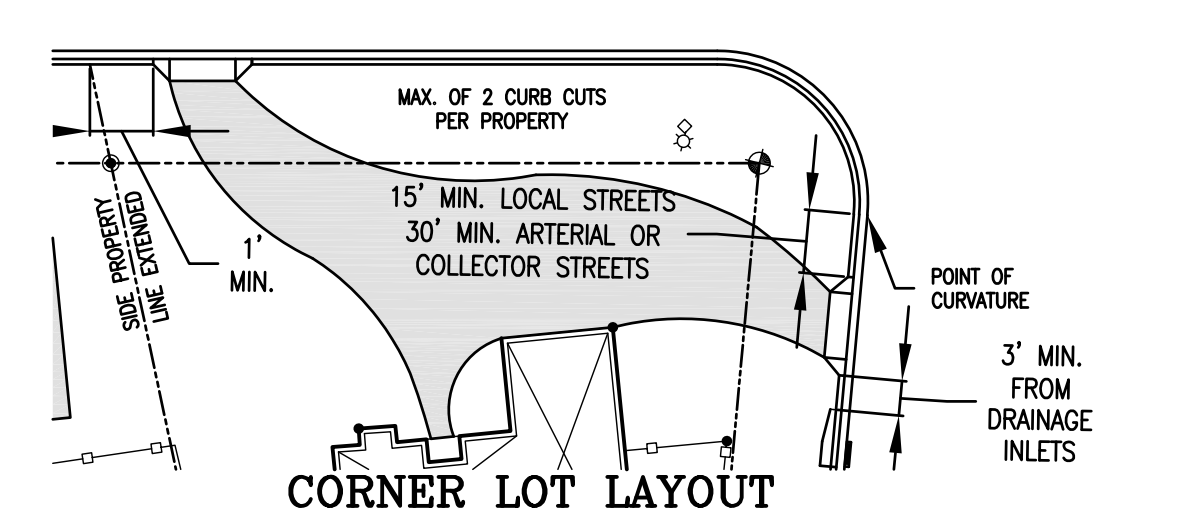


SECTION A-A

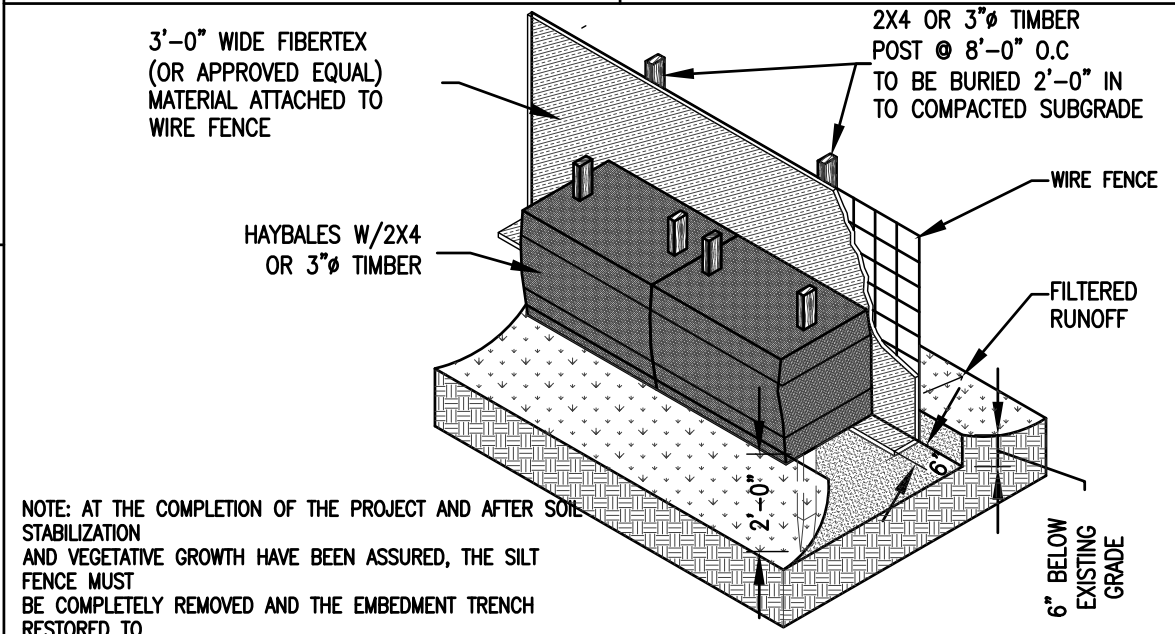
TYPE "B" CURB



MID-BLOCK LAYOUT



CORNER LOT LAYOUT



HAYBALES & SILT FENCE DETAIL
SCALE: N.T.S.

REV. 6/25/19 (CBI)

CITY OF PENSACOLA, FLORIDA
DEPARTMENT OF PUBLIC WORKS AND FACILITIES
ENGINEERING AND CONSTRUCTION SERVICES DIVISION

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**923 E. LARUA STREET
TINY HOUSE**

**STORMWATER MANAGEMENT SYSTEM
NARRATIVE, CALCULATIONS & EXHIBITS**

PREPARED FOR:
AMR at Pensacola, Inc.
730 Bayfront Pkwy
Suite 4B
Pensacola, FL 32502
850.530.4226

SUBMITTED TO:
City of Pensacola
222 West Main Street
Pensacola, Florida 32502

PREPARED BY:
Kenneth Horne & Associates, Inc.
7201 N. 9th Avenue, Suite 6
Pensacola, Florida 32504
Phone: (850) 471-9005

KH&A Project Number: 2020-99

Date: Sept 4, 2020

Calculations Performed By:
Robert C. Krasnosky, P.E.
FL Reg. No. 49949

**STORMWATER MANAGEMENT SYSTEM
NARRATIVE, CALCULATIONS & EXHIBITS
TABLE OF CONTENTS**

NARRATIVE

Introduction.....	3
Permitting Information	3
Existing Site.....	4
Proposed Site.....	4

CALCULATIONS

Project Information	5
Results	6

EXHIBITS

WinTR-55 Printout (curve number, time of concentration data).....	A
PONDS 3.2 Printout (stormwater runoff modeling).....	B
Pre and Post Development Drainage Areas.....	C
Soils Data.....	D

I. INTRODUCTION

The proposed project is located at 923 E. LaRue Street, Pensacola FL. The proposed project involves adding a tiny house with associated driveway, parking pad and sidewalk.

The City of Pensacola Land Development Code requires 1" of treatment volume and 100 year attenuation for the stormwater attributed by the project area. A new stormwater pond will be constructed to provide the treatment and attenuation required.

II. PERMITTING INFORMATION

Site Location: 923 E. LaRue St., Pensacola FL

Property Owner:	AMR at Pensacola, Inc. 730 Bayfront Pkwy, Suite 4B Pensacola, FL 32502	Ph: : 850.530.4226 Contact: Kevin Hagen
-----------------	--	--

Applicant: Same as Owner

Engineer:	Kenneth Horne & Associates, Inc. 7201 N. 9 th Avenue, Suite 6 Pensacola, FL 32504	Ph: 850-471-9005 Fx: 850-471-0093
-----------	--	--------------------------------------

Property:	7,559 SF (0.17 Ac.)	Drainage Area: 1,912 SF (0.044 Ac.)
-----------	---------------------	-------------------------------------

Existing Wetlands: There are no environmentally sensitive areas on or immediately adjacent to the project.

Proposed SWMS: Attenuation and Treatment; Design will conform to City of Pensacola Land Development Code.

Maintenance Entity: AMR at Pensacola, Inc.

III. EXISTING SITE

EXISTING TOPOGRAPHY: The site slopes from north to south for an upper elevation of 47 feet to a lower elevation of 40 feet.

SOILS: Soils data was obtained from the Web Soil Survey from the USDA Natural Resources Conservation Service. (See Exhibit D) The soils are Lakeland Sands which are well draining and belong to soil type A. The saturated hydraulic conductivity is 26 ft/day and confining layer and water table depth are greater than 6' deep. These soils are suitable for on-site disposal of stormwater runoff via a conventional shallow pond.

EXISTING DRAINAGE: The existing drainage patterns will be generally maintained with outfalls to the adjacent street right-of-ways.

IV. PROPOSED SITE

PROPOSED DRAINAGE: A new pond will be constructed south of the Tiny House for treatment and attenuation for the drainage basin shown in Exhibit C.

STORMWATER QUALITY: Runoff quality treatment is provided for the first one-inch of runoff from the drainage basin shown in Exhibit C. The pond has been designed such that the entire treatment volume is fully recovered within 72 hours.

STORMWATER QUANTITY: Attenuation is provided for the site discharge by an earthen weir in the pond. The post-development site maximum rate of discharge is attenuated to not exceed the pre-development maximum rate of runoff.

PONDS 3.2 ROUTING MODEL: The stormwater runoff from the project site has been modeled with Ponds 3.2 Routing Software for the 100 year storm of critical duration. Both pre-development and post development scenarios were modeled. Finally, a "slug load" scenario was modeled to simulate the filling of the pond under a short period of time as a method of determining if the required treatment volume is fully recovered within 72 hours. This slug load scenario was modeled for the entire treatment volume.

EROSION AND SEDIMENT CONTROLS: Best management practices will be utilized during construction to minimize the potential for erosion and sedimentation. Silt fences will be installed at the project limits. Hay bales will be installed as necessary to reinforce the silt fencing. These erosion control measures will be installed prior to the start of construction and shall be maintained until final certification of the project by the engineer.

PROJECT INFORMATION REQUIRED FOR STORMWATER ROUTING MODEL

WIN TR-55 Information (see attached Exhibit A)

Project Area: Project Area Basin = 1,912 ft² or 0.044 Ac. Pre
=1,912 ft² or 0.044 Ac. Post

Hydrologic Soil Group: A

Runoff Curve Number (CN): 68-pre, 77-post

Time of Concentration (T_c): .10 hr (6 min)-pre, .10 hr (6 min)-post

PONDS 3.2 Information (see attached Exhibit B):

Directly Connected Impervious Area (DCIA): 0% (pre) and 0% (post)

Treatment Volume Required: 1" of Runoff

$$V = 1,912 \text{ ft}^2 \times \frac{1 \text{ inch}}{12 \text{ inches/ft}} = 159 \text{ ft}^3$$

Required treatment volume is obtained at pond elevation 39.5'. Top of pond is elevation 40' thus providing the required 6" of freeboard.

Treatment Volume Provided: 290 ft³ (Volume at Control Overflow Elev. 39.8')
Base of Aquifer Elevation: 34.0
Water Table Elevation: 34.1
Horizontal Saturated Conductivity: 19.5 ft/day (includes Factor of Safety of 2)
Unsaturated Vertical Infiltration Rate: 8.67 ft/day (includes Factor of Safety of 2)
Max Area for Unsaturated Infiltration: 524 sf
Fillable Porosity: 30%
Post-Development Weir 6" wide at El. 39.8'

Proposed Pond Stage-Area Volume Data:

Elevation (ft)	Area (ft ²)	Area (ac)	Storage (ft ³)	Storage (ac-ft)
39	188	0.004	0	0.000
40	536	0.012	362	0.008

RESULTS

Following is a summary of the results produced by modeling the stormwater runoff with the PONDS 3.2 software:

	100 Yr -8 Hr
Peak Stage (Elev.)	39.937
Pre-development Runoff Rate (cfs)	0.1364
Post- development Runoff Rate (cfs)	0.0724

SCENARIO: The post-development maximum discharge and stage was determined for the 100 Yr. – 8 Hr. storm event. As required, the post-development runoff rate for this storm does not exceed the pre-development runoff rate.

POND RECOVERY ANALYSIS: Modeling of the “slug load” scenario (PONDS 3.2: Scenario #1) demonstrates that the required treatment volume of 159 cf is recovered in less than 2.4 hours which is within the required 72 hours (Factory of Safety of 30).

WinTR-55 Current Data Description

--- Identification Data ---

User: Charlie Date: 9/3/2020
 Project: 923 E. LaRura Units: English
 SubTitle: Areal Units: Acres
 State: Florida
 County: Escambia
 Filename: S:\2020 Projects\2020-99 923 E. LaRua\STORMWATER\923 E LaRua.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
Pre			0.04	68	0.1
Post			0.04	77	0.1

Total area: .08 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	1-Yr (in)
6.0	.0	.0	.0	.0	.0	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Florida Type II
 Dimensionless Unit Hydrograph: <standard>

WinTR-55 Current Data Description

--- Identification Data ---

User: Charlie Date: 9/3/2020
 Project: 923 E. LaRura Units: English
 SubTitle: Areal Units: Acres
 State: Florida
 County: Escambia
 Filename: S:\2020 Projects\2020-99 923 E. LaRua\STORMWATER\923 E LaRua.w55

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)	RCN	Tc
Pre			0.04	68	0.1
Post			0.04	77	0.1

Total area: .08 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	1-Yr (in)
6.0	.0	.0	.0	.0	.0	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Florida Type II
 Dimensionless Unit Hydrograph: <standard>

Charlie

923 E. LaRura

Escambia County, Florida

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
Pre	.04	0.100	68		
Post	.04	0.100	77		

Total Area:	.08 (ac)				

Charlie

923 E. LaRura

Escambia County, Florida

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)

Pre SHEET	100	0.0100	0.011				0.019
					Time of Concentration		0.1 =====
Post SHEET	100	0.0100	0.011				0.019
					Time of Concentration		0.1 =====

Charlie

923 E. LaRura

Escambia County, Florida

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
Pre	Open space; grass cover < 50%	(poor) A	.044	68
	Total Area / Weighted Curve Number		.04 ===	68 ==
Post	Open space; grass cover > 75%	(good) A	.016	39
	Paved parking lots, roofs, driveways	A	.028	98
	Total Area / Weighted Curve Number		.04 ===	77 ==

PONDS Version 3.2.0274
Retention Pond Recovery - Refined Method
Copyright 2012
Devo Seereeram, Ph.D., P.E.

Project Data

Project Name: 923 E. LaRua
Simulation Description: 1" of Runoff
100 yr. Attenuation
Project Number: 2020-99
Engineer : Robert Krasnosky
Supervising Engineer: Robert Krasnosky
Date: 09-02-2020

Aquifer Data

Base Of Aquifer Elevation, [B] (ft datum): 34.00
Water Table Elevation, [WT] (ft datum): 34.10
Horizontal Saturated Hydraulic Conductivity, [Kh] (ft/day): 19.50
Fillable Porosity, [n] (%): 30.00
Unsaturated Vertical Infiltration Rate, [Iv] (ft/day): 8.67
Maximum Area For Unsaturated Infiltration, [Av] (ft²): 524.0

Geometry Data

Equivalent Pond Length, [L] (ft): 23.0
Equivalent Pond Width, [W] (ft): 22.0
Ground water mound is expected to intersect the pond bottom

Stage vs Area Data

Stage (ft datum)	Area (ft ²)
39.00	188.0
40.00	536.0

EXHIBIT B

Discharge Structures

Discharge Structure #1 is active as weir

Structure Parameters

Description:

Weir elevation, (ft datum):	39.8
Weir coefficient:	2.861
Weir length, (ft):	.5
Weir exponent:	1.5

Tailwater - disabled, free discharge

Discharge Structure #2 is inactive

Discharge Structure #3 is inactive

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Scenario Input Data

Scenario 1 :: 159ft³ slug load

Hydrograph Type: Slug Load
Modflow Routing: Routed with infiltration

Treatment Volume (ft³) 159

Initial ground water level (ft datum) 34.10 (default)

Time After Storm Event (days)	Time After Storm Event (days)
0.100	2.000
0.250	2.500
0.500	3.000
1.000	3.500
1.500	4.000

Scenario 4 :: Pre 100yr/ 8 hr

Hydrograph Type: Inline SCS
• **Modflow Routing:** Not routed
Repetitions: 1

Basin Area (acres) 0.044
Time Of Concentration (minutes) 6.0
DCIA (%) 0.0
Curve Number 68
Design Rainfall Depth (inches) 9.5
Design Rainfall Duration (hours) 8.0
Shape Factor UHG 323
Rainfall Distribution FDOT 8 Hour

Initial ground water level (ft datum) 34.10 (default)

No times after storm specified.

Scenario 5 :: FDOT 1 Hour -1 hr - 100yr

Hydrograph Type: Inline SCS
Modflow Routing: Routed with infiltration
Repetitions: 1

Basin Area (acres) 0.044
Time Of Concentration (minutes) 6.0
DCIA (%) 0.0
Curve Number 77
Design Rainfall Depth (inches) 4.5
Design Rainfall Duration (hours) 1.0
Shape Factor UHG 323
Rainfall Distribution FDOT 1 Hour

Initial ground water level (ft datum) 34.10 (default)

No times after storm specified.

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Scenario Input Data (cont'd.)

Scenario 6 :: FDOT 2 Hour -2 hr - 100 yr

Hydrograph Type: Inline SCS
Modflow Routing: Routed with infiltration
Repetitions: 1

Basin Area (acres) 0.044
Time Of Concentration (minutes) 6.0
DCIA (%) 0.0
Curve Number 77
Design Rainfall Depth (inches) 6.0
Design Rainfall Duration (hours) 2.0
Shape Factor UHG 323
Rainfall Distribution FDOT 2 Hour

Initial ground water level (ft datum) 34.10 (default)

No times after storm specified.

Scenario 7 :: FDOT 4 Hour -4 hr - 100 yr

Hydrograph Type: Inline SCS
Modflow Routing: Routed with infiltration
Repetitions: 1

Basin Area (acres) 0.044
Time Of Concentration (minutes) 6.0
DCIA (%) 0.0
Curve Number 77
Design Rainfall Depth (inches) 7.4
Design Rainfall Duration (hours) 4.0
Shape Factor UHG 323
Rainfall Distribution FDOT 4 Hour

Initial ground water level (ft datum) 34.10 (default)

No times after storm specified.

Scenario 8 :: FDOT 8 Hour - 8 hr - 100 yr

Hydrograph Type: Inline SCS
Modflow Routing: Routed with infiltration
Repetitions: 1

Basin Area (acres) 0.044
Time Of Concentration (minutes) 6.0
DCIA (%) 0.0
Curve Number 77
Design Rainfall Depth (inches) 9.5
Design Rainfall Duration (hours) 8.0
Shape Factor UHG 323
Rainfall Distribution FDOT 8 Hour

Initial ground water level (ft datum) 34.10 (default)

No times after storm specified.

Scenario Input Data (cont'd.)

Scenario 9 :: FDOT 24 Hour - 24 hr - 100 yr

Hydrograph Type:	Inline SCS
Modflow Routing:	Routed with infiltration
Repetitions:	1
Basin Area (acres)	0.044
Time Of Concentration (minutes)	6.0
DCIA (%)	0.0
Curve Number	77
Design Rainfall Depth (inches)	13.5
Design Rainfall Duration (hours)	24.0
Shape Factor	UHG 323
Rainfall Distribution	FDOT 24 Hour
Initial ground water level (ft datum)	34.10 (default)

No times after storm specified.

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Sort-By-Category Report

Scenarios Considered: 1, 4 to 9

Stage - Maximum

Rank	Scenario Number	Maximum Stage (ft datum)	Time (hours)	Description
1	8	39.937	4.067	FDOT 8 Hour - 8 hr - 100 yr
2	7	39.892	2.667	FDOT 4 Hour -4 hr - 100 yr
3	6	39.857	1.267	FDOT 2 Hour -2 hr - 100 yr
4	5	39.789	0.960	FDOT 1 Hour -1 hr - 100yr
5	1	39.557	0.002	159ft³ slug load
6	9	39.539	13.040	FDOT 24 Hour - 24 hr - 100 yr
7	4	Not Available	Not Available	Pre 100yr/ 8 hr

Discharge - Rate - Maximum Positive

Rank	Scenario Number	Maximum Positive Discharge Rate (ft³/s)	Time (hours)	Description
1	4	0.1364	4.000	Pre 100yr/ 8 hr
2	8	0.0724	4.067	FDOT 8 Hour - 8 hr - 100 yr
3	7	0.0401	2.667	FDOT 4 Hour -4 hr - 100 yr
4	6	0.0195	1.267	FDOT 2 Hour -2 hr - 100 yr
5	1	None	N.A.	159ft³ slug load
6	5	None	N.A.	FDOT 1 Hour -1 hr - 100yr
7	9	None	N.A.	FDOT 24 Hour - 24 hr - 100 yr

PONDS Version 3.2.0274
Retention Pond Recovery - Refined Method
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Devo Seereeram, Ph.D., P.E.

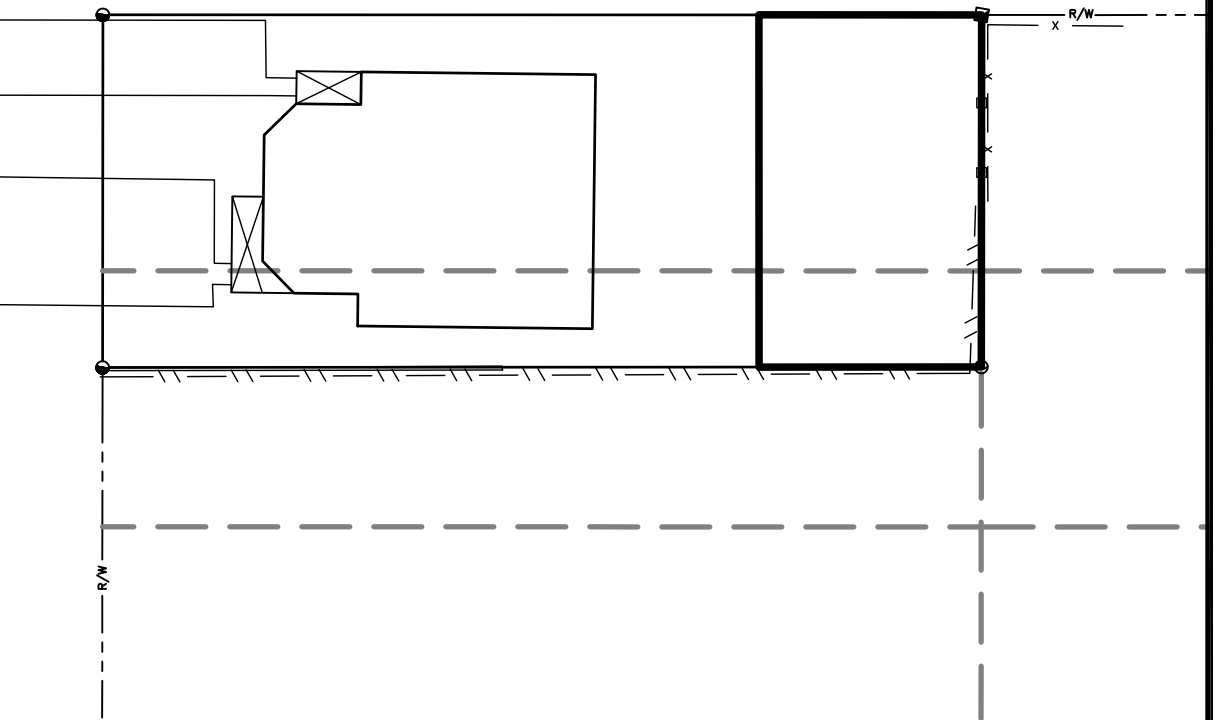
Detailed Results :: Scenario 1 :: 159ft³ slug load

Elapsed Time	Instantaneous Inflow Rate	Outside Recharge	Stage Elevation	Infiltration Rate	Combined Instantaneous Discharge	Cumulative Inflow	Cumulative Infiltration	Combined Cumulative	
0.000	26.5000	0.00000	34.10000	0.00000	0	0.000	0.00000	0	N.A.
0.002	26.5000	0.00000	39.55719	0.03832	0	159.000	0.23006	0	U/P
2.400	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
6.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
12.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
24.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
36.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
48.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
60.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
72.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
84.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry
96.000	0.0000	0.00000	----	----	----	159.000	159.00000	0	dry



10TH AVENUE (100' R/W)

LA RUA STREET (80' R/W)



PRE-DEVELOPMENT DRAINAGE AREA
1912 SF / 0.044 AC

EXHIBIT 'C'



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

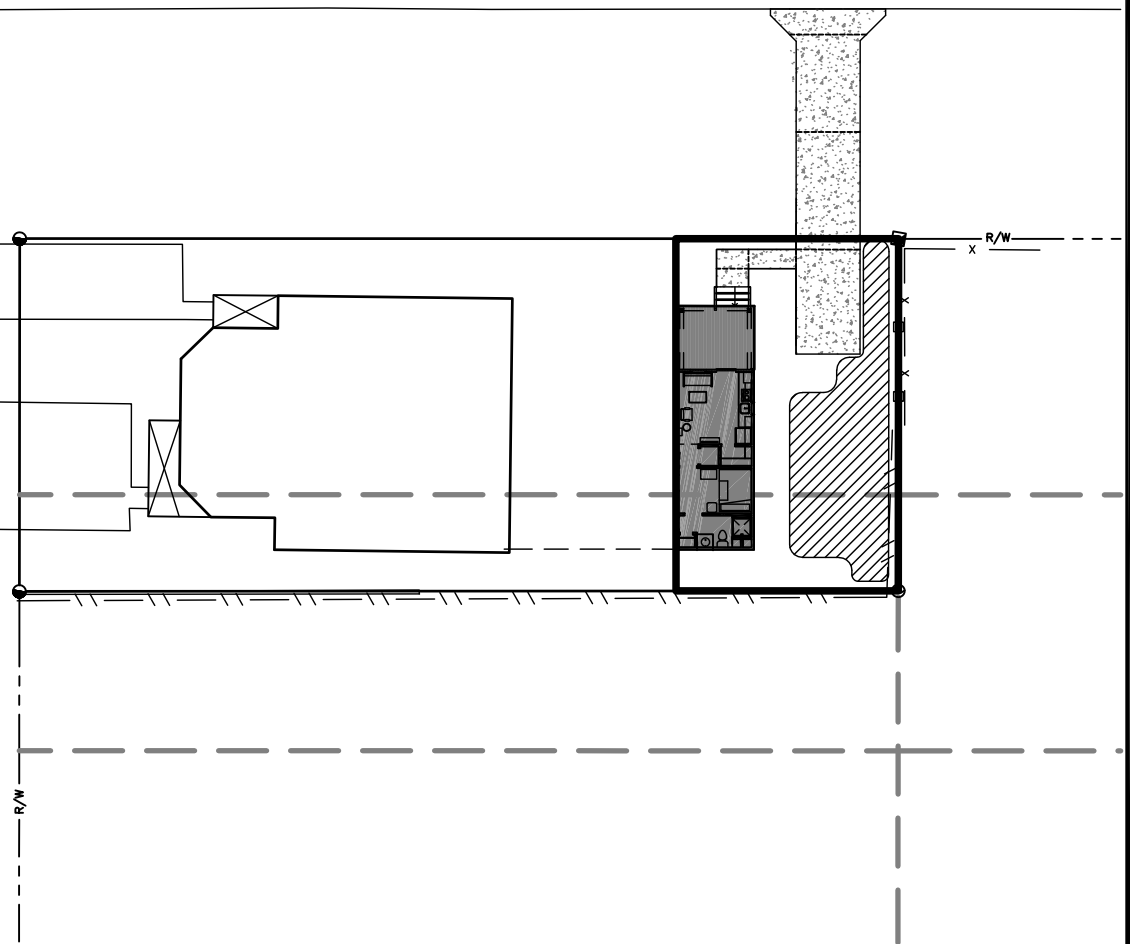
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 NORTH 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 INFO@KH-A.COM FAX (850) 471-0093

PROJECT NAME:	923 E. LARUA ST
	TINY HOUSE
PROJECT NO.:	2020-99
BY: CK/AH	DATE: 9-4-2020
SHEET:	1 OF 2



10TH AVENUE (100' R/W)

LA RUA STREET (80' R/W)



POST-DEVELOPMENT DRAINAGE AREA
1912 SF / 0.044 AC

EXHIBIT 'C'



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 NORTH 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 INFO@KH-A.COM FAX (850) 471-0093

PROJECT NAME:	923 E. LARUA ST
	TINY HOUSE
PROJECT NO.:	2020-99
BY: CK/AH	DATE: 9-4-2020
SHEET:	2 OF 2

Soil Map—Escambia County, Florida



EXHIBIT D



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey


MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Escambia County, Florida

Survey Area Data: Version 20, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Feb 3, 2020—Feb 28, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
19	Foxworth sand, 0 to 5 percent slopes	0.1	10.7%
20	Lakeland sand, 5 to 8 percent slopes	0.6	89.3%
Totals for Area of Interest		0.6	100.0%

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Escambia County, Florida (FL033)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
13	Lakeland sand, 0 to 5 percent slopes	A	5.1	100.0%
Totals for Area of Interest			5.1	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Saturated Hydraulic Conductivity (Ksat)

Saturated Hydraulic Conductivity (Ksat)— Summary by Map Unit — Escambia County, Florida (FL033)				
Map unit symbol	Map unit name	Rating (micrometers per second)	Acres in AOI	Percent of AOI
13	Lakeland sand, 0 to 5 percent slopes	92.0000	7.2	100.0%
Totals for Area of Interest			7.2	100.0%

Description

Saturated hydraulic conductivity (Ksat) refers to the ease with which pores in a saturated soil transmit water. The estimates are expressed in terms of micrometers per second. They are based on soil characteristics observed in the field, particularly structure, porosity, and texture. Saturated hydraulic conductivity is considered in the design of soil drainage systems and septic tank absorption fields.

For each soil layer, this attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

The numeric Ksat values have been grouped according to standard Ksat class limits.

Rating Options

Units of Measure: micrometers per second

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Fastest

Interpret Nulls as Zero: No

Layer Options (Horizon Aggregation Method): Depth Range (Weighted Average)

Top Depth: 6

Bottom Depth: 30

Units of Measure: Inches

Depth to Any Soil Restrictive Layer

Depth to Any Soil Restrictive Layer— Summary by Map Unit — Escambia County, Florida (FL033)				
Map unit symbol	Map unit name	Rating (centimeters)	Acres in AOI	Percent of AOI
13	Lakeland sand, 0 to 5 percent slopes	>200	6.0	100.0%
Totals for Area of Interest			6.0	100.0%

Description

A "restrictive layer" is a nearly continuous layer that has one or more physical, chemical, or thermal properties that significantly impede the movement of water and air through the soil or that restrict roots or otherwise provide an unfavorable root environment. Examples are bedrock, cemented layers, dense layers, and frozen layers.

This theme presents the depth to any type of restrictive layer that is described for each map unit. If more than one type of restrictive layer is described for an individual soil type, the depth to the shallowest one is presented. If no restrictive layer is described in a map unit, it is represented by the "> 200" depth class.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

Rating Options

Units of Measure: centimeters

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Lower

Interpret Nulls as Zero: No



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00565

Zoning Board of Adjustments

9/16/2020

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: Click or tap to enter a date.

SUBJECT:

ZBA 2020-007
1800 N. 15th Avenue
R-AA Zoning District

BACKGROUND:

Mr. Scott Sallis, Dalrymple Sallis Architecture, is requesting a Variance to reduce the required side yard setback from 15.0 FT to 6.0 FT to accommodate a new one story Accessory Dwelling Unit. The existing home constructed in approximately 1928 exceeds the front and side setbacks.

The lot is larger in area and width than the minimum required for the R-1AA zoning district.

It appears there is adequate room to accommodate the proposed Accessory Dwelling Unit.



City of
Pensacola
*America's First Settlement
And Most Historic City*

- ☒ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of \$500.00.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) 12-2-4(E)/T.12-2.2 Zoning R1AA
12-2-4(B)

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 1800 N 15th Ave; Pensacola, FL 32503

Current use of property: Residence

1. Describe the requested variance(s): DSA seeks a variance to abide in the typical side yard setback and not the increased side yard setback established by a corner lot. This distance would be a reduction from 15' side yard to a 6' setback.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The existing home is placed on the lot long before the LDC requirements and thus, the front and side

yard setbacks are exceeded by the existing home.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

By placing the new detached structure in close proximity to the existing home but within a 6' side yard setback, a much more defined street line is established. Setting the new structure at required side yard ~~would create an awkward street front and eliminate any private rear yard.~~

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The build line of the new detached structure will align with other side yards on the block, block no views, allow for proper on site parking, create no abnormal conditions and allow Owner to maintain existing live oak trees on site.

5. Explain what other condition(s) may justify the proposed variance(s):

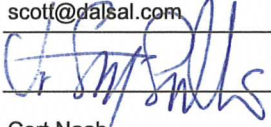
As City makers, we see it important to define the street edge and create pleasant rear yard spaces that compliment accessory dwelling units. This variance allows our design to accomplish both well, without setting a poor precedent

Application Date: 08-26-2020

Applicant: J. Scott Sallis, AIA

Applicant's Address: 503 E Government St


Email: scott@dalsal.com Phone: 850-470-6399

Applicant's Signature: 

Property Owner: Cort Naab

Property Owner's Address: 1800 N 15th Ave, Pensacola, FL 32503

Email: cort.naab@gmail.com Phone: (763) 498-2120

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Variance Application

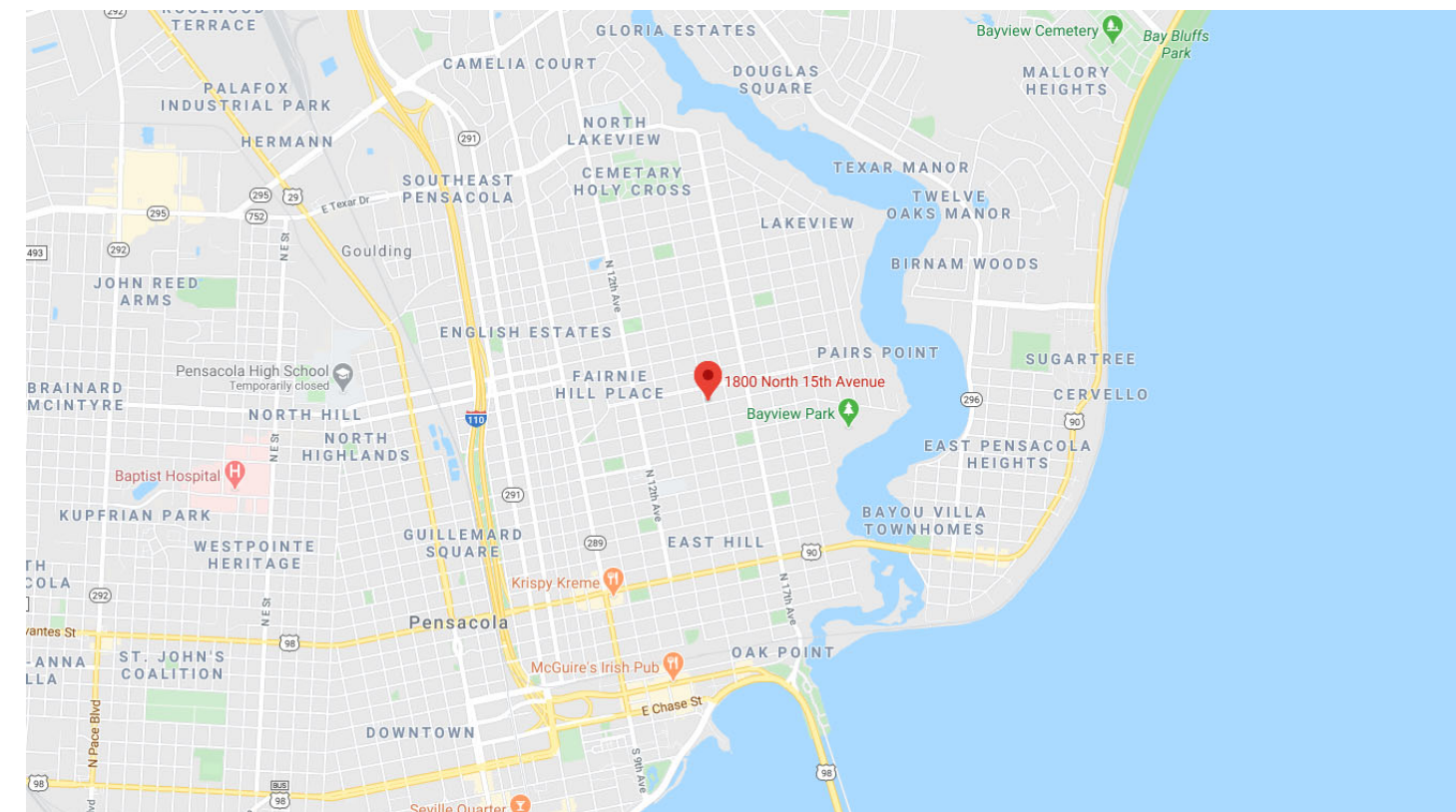
VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

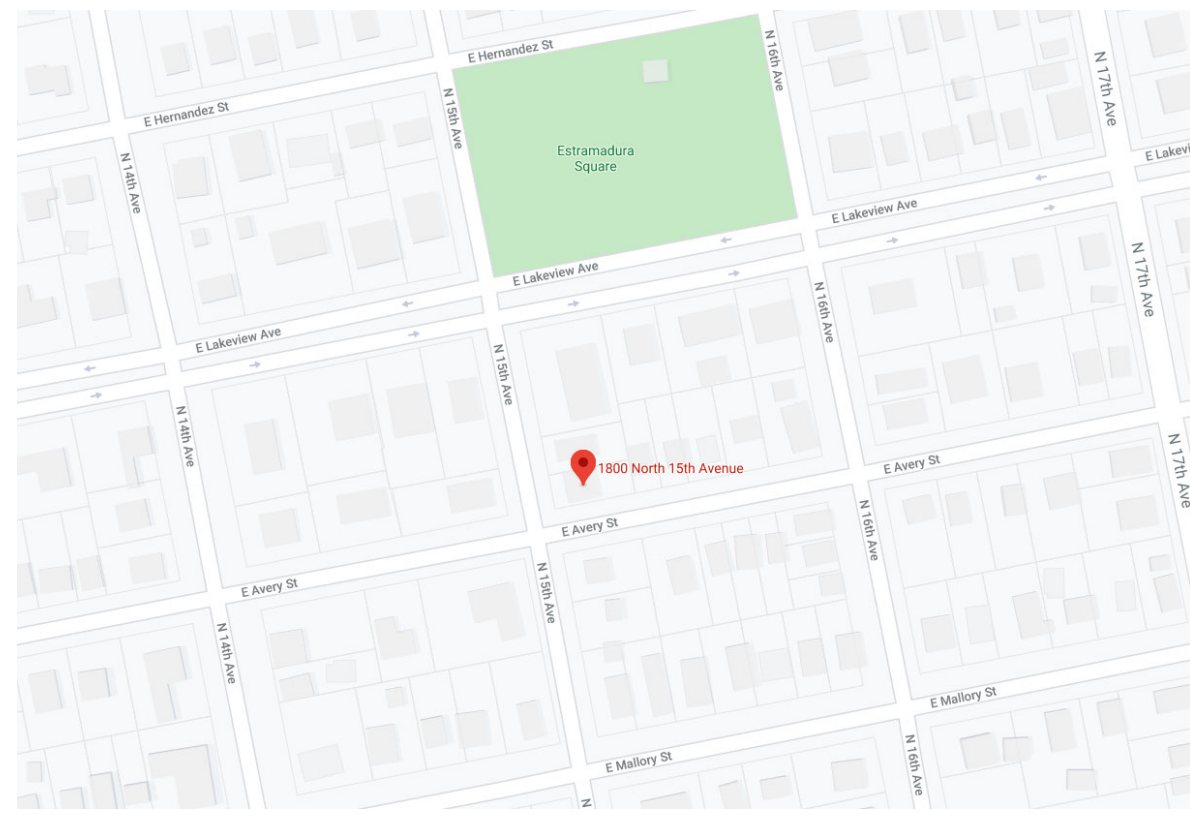
NAAB ADU

ACCESSORY DWELLING UNIT FOR AN EXISTING RESIDENCE IN EAST HILL.

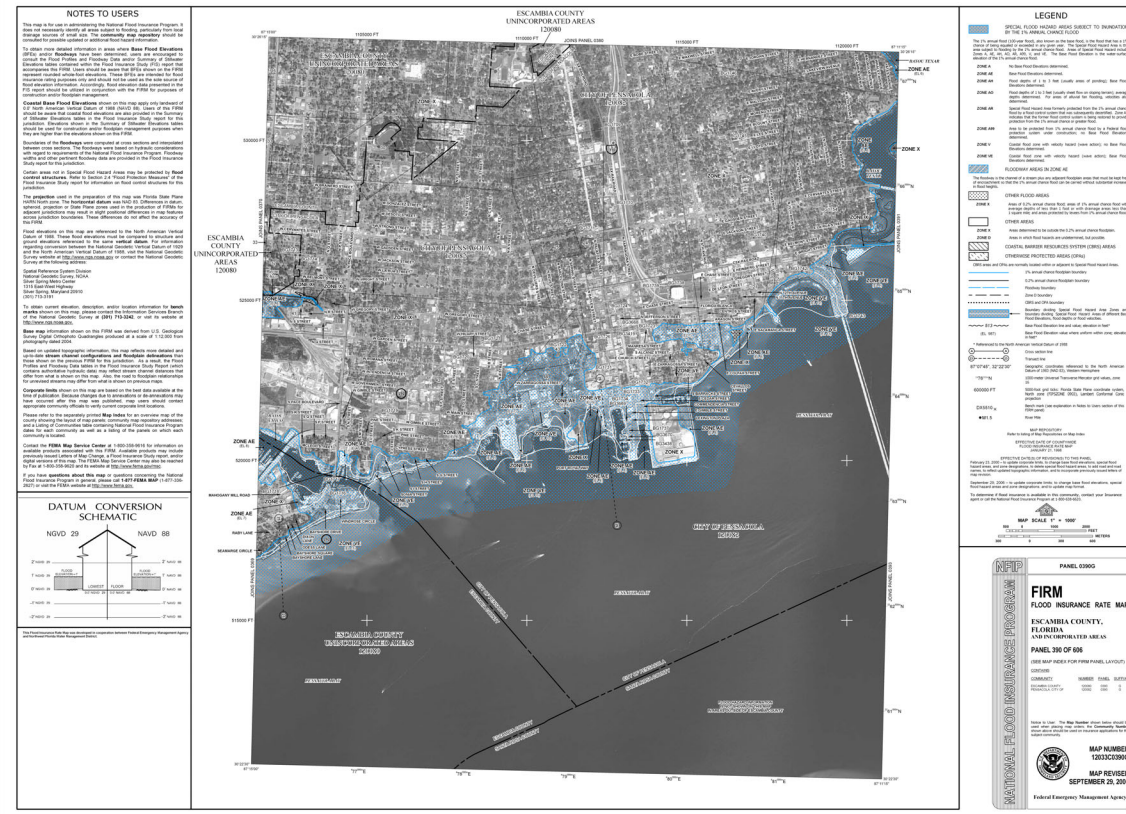
1800 N 15TH AVE
PENSACOLA, FL 32503



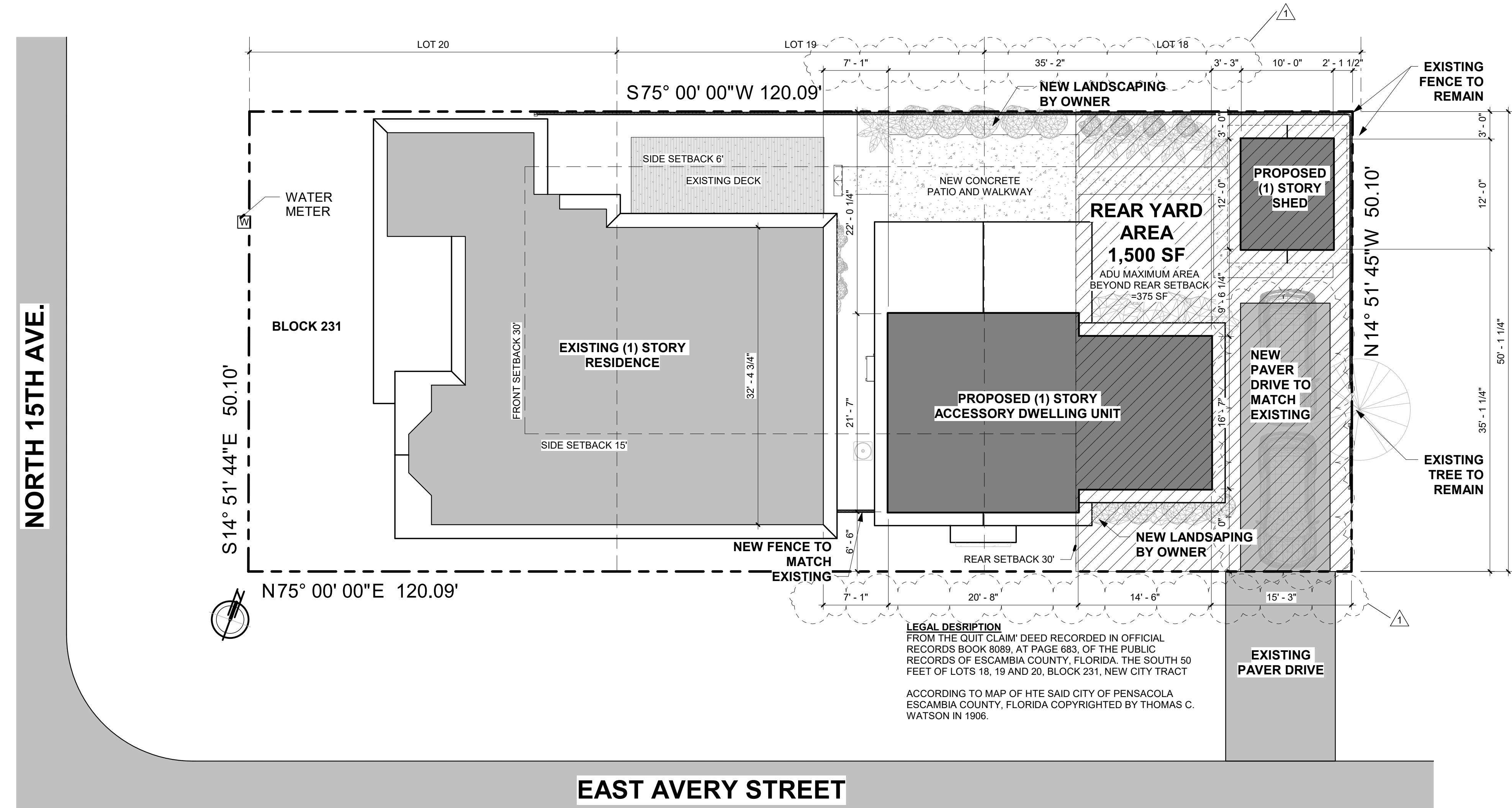
VICINITY MAP



SITE MAP



FEMA FLOOD MAP



1 ARCHITECTURAL SITE PLAN

BUILDING DATA

APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: R-1AA

FLOOD ZONE: X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 16' 10"
NO. OF STORIES: 1

NEW CONDITIONED (ADU): 638 SF
UNCONDITIONED: 105 SF

ACCESSORY STRUCTURE CALCS.

REAR YARD: (50' 1" x 30' 0") = 1,500 SF
ALLOWABLE ACCESSORY STRUCTURE FOOTPRINT: 1,500 SF x .25 = **375 SF**

NEW GUEST COTTAGE IN REAR YARD AREA: 250 SF
NEW STORAGE SHED: 124 SF
EXISTING REAR YARD COVERAGE: + 0 SF

TOTAL COVERAGE @ REAR YARD: **= 374 SF**

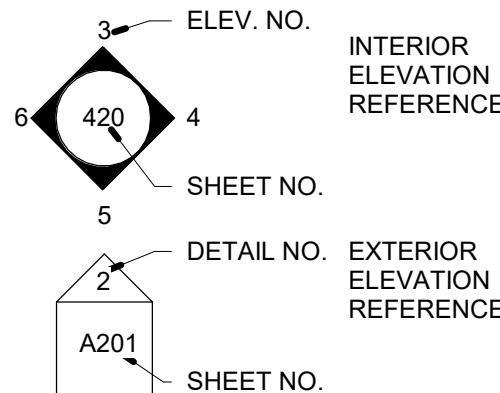
INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #	REVISION DATE	REVISION DESCRIPTION
General				
G001	TITLE SHEET	1	08/24/12	PERMIT REV .1
Structural				
S001	STRUCTURAL NOTES AND DIAGRAMS			
S101	FOUNDATION PLAN	1	08/24/12	PERMIT REV .1
S102	ROOF FRAMING PLAN	1	08/24/12	PERMIT REV .1
Architectural				
A010	DEMO PLAN			
A101	NEW FLOOR / ROOF PLANS, & SCHEDULES	1	08/24/12	PERMIT REV .1
A103	RCP/LIGHTING	1	08/24/12	PERMIT REV .1
A201	EXTERIOR ELEVATIONS	1	08/24/12	PERMIT REV .1
A301	BUILDING SECTIONS			
A302	WALL SECTIONS			
A401	INTERIOR ELEVATIONS			
A701	3D EXTERIOR PERSPECTIVE VIEWS			
A702	3D INTERIOR PERSPECTIVE VIEWS			

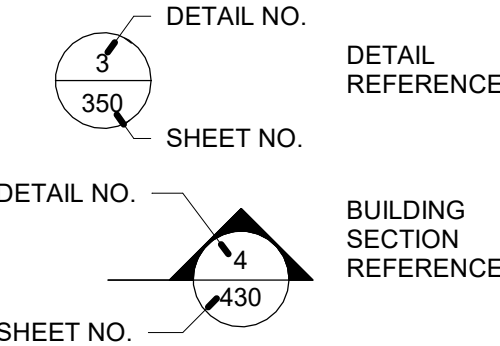
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE, ALLOW AT MINIMUM (15) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R 301.2.1.2 FOR RESIDENTIAL WORK. FOR R-3 OCCUPANCIES ONLY. OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

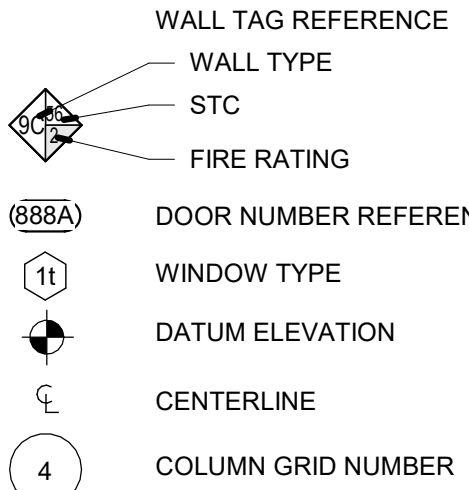
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



Room name ROOM TAG

(11'-8") CEILING HEIGHT - ABOVE FIN. FLOOR

REVISION NUMBER REFERENCE

1 REVISION NO.



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsol.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS



PERMIT SET

NAAB ADU
1800 N 15TH AVE
PENSACOLA, FL 32503

DRAWN BY: LBW
CHECKED BY: JSS

ISSUE DATE:
8/25/2020

REVISIONS:
No. Desc. Date
1 PERMIT REV 08/24/12 .1

SHEET TITLE:

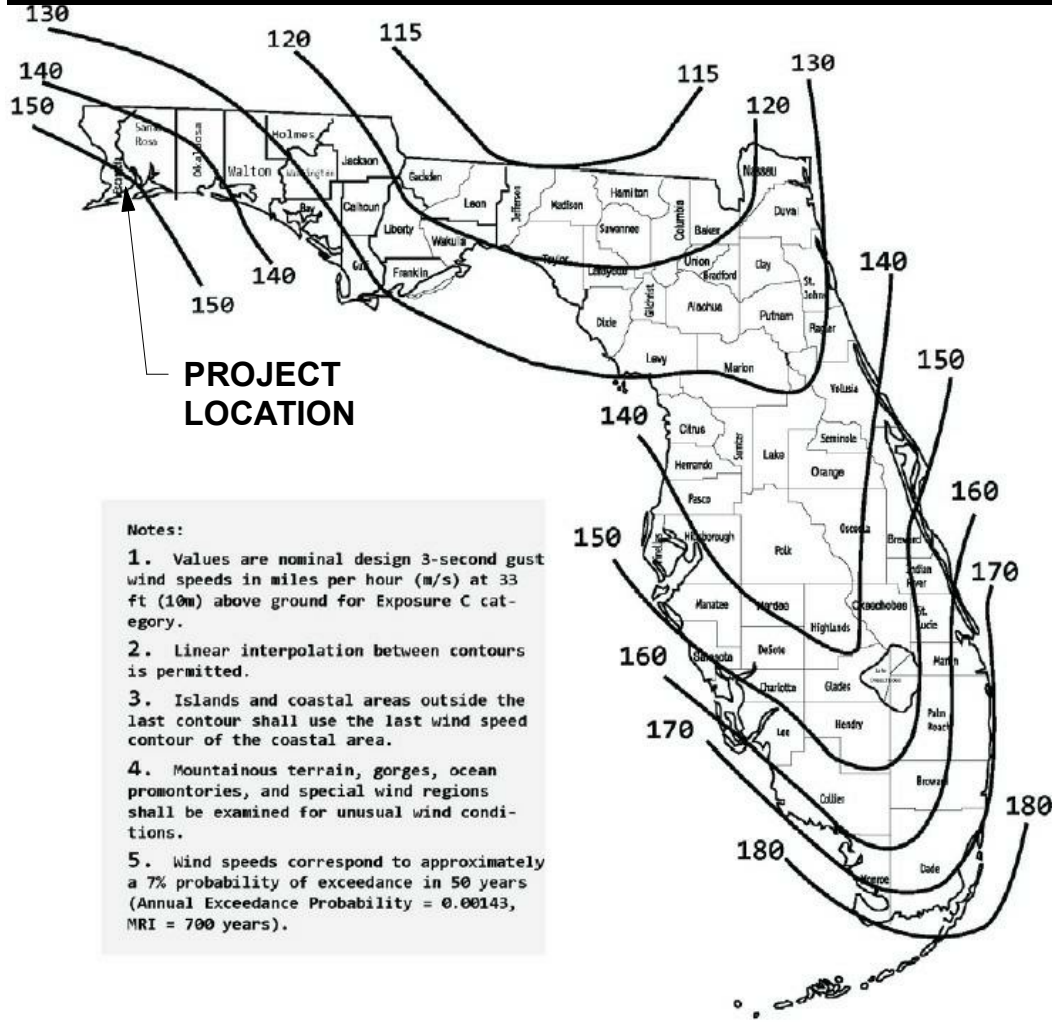
TITLE SHEET

SHEET NO:

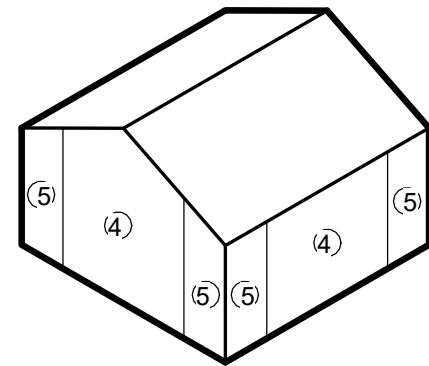
G001

PROJECT NO:
20020

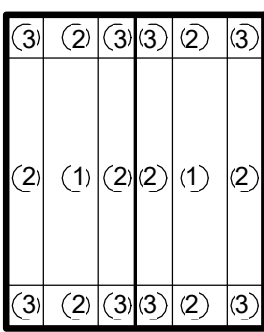
FLORIDA WIND SPEED MAP; RISK CATEGORY II



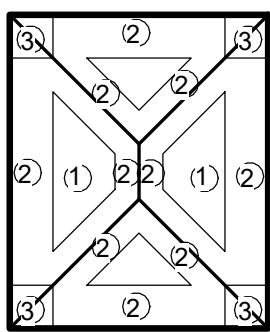
TYPICAL EDGE STRIP WIDTH EQUALS 3'-0"



WALL ZONES



ROOF ZONES - GABLE
THETA > 7°



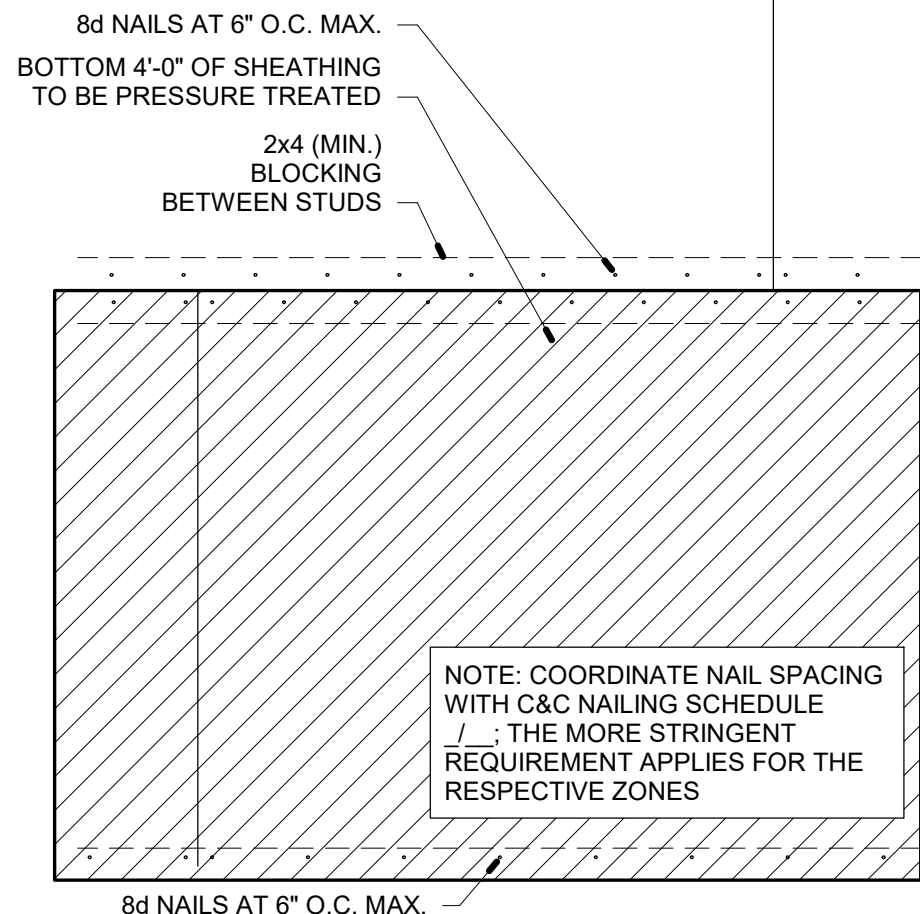
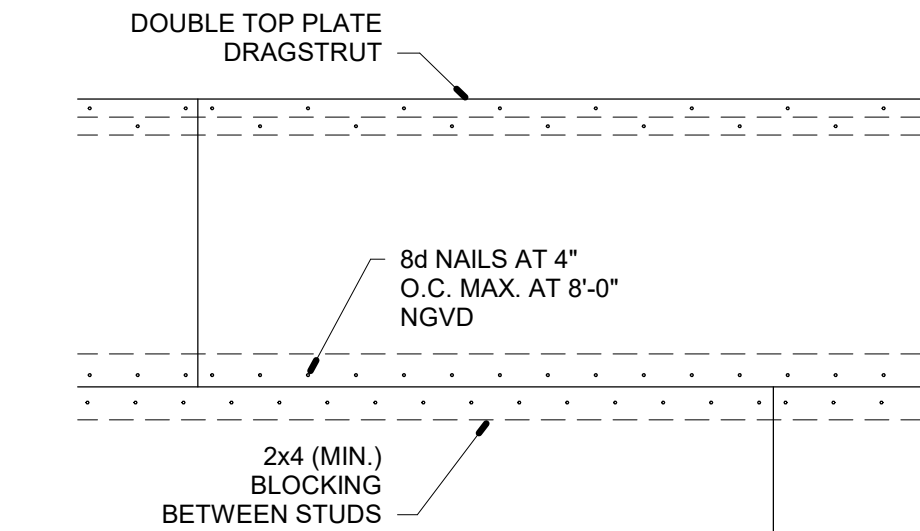
ROOF ZONES - HIP
THETA > 7°

Component and Cladding Ultimate Wind Pressures				
Roof	Area	Surface Pressure (psf)		
		10 sf	50 sf	100 sf
Negative Zone 1		-37.5	-35.1	-34.1
Negative Zone 2		-65.3	-53.2	-48.0
Negative Zone 3		-96.6	-82.0	-75.8
Positive All Zones		23.6	18.8	16.7
Overhang Zone 2		-76.5	-76.5	-76.5
Overhang Zone 3		-128.6	-99.4	-86.9
Wall	Area	Surface Pressure (psf)		
		10 sf	100 sf	500 sf
Negative Zone 4		-44.5	-38.4	-34.1
Negative Zone 5		-54.9	-42.6	-34.1
Positive Zone 4 & 5		41.0	34.9	30.6

ULTIMATE WIND PRESSURE TABLE NOTES:

LINEAR INTERPOLATION FOR INTERMEDIATE VALUES OF EFFECTIVE AREAS IS ACCEPTABLE. OTHERWISE, USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

ULTIMATE WIND LOAD PRESSURES ARE FOR USE IN LOAD COMBINATIONS LISTED IN FBC 2017 AND ASCE 7-16. THESE COMBINATIONS ARE LISTED IN FBC SECTION 1605 AND INCLUDE A WIND LOAD FACTOR OF 0.6 USING ALLOWABLE STRESS DESIGN. THEREFORE, ULTIMATE PRESSURES LISTED IN THE LOAD TABLE MAY BE REDUCED 40% WHEN USING ALLOWABLE STRESS DESIGN. REDUCED LOADS ARE THE "WORKING LOADS."



2 WALL SHEATHING DETAIL

3/4" = 1'-0"

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
- SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
- REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

DESIGN LOADS AND CRITERIA:	
A. FLOOR LIVE LOAD	40 PSF
FLOOR DEAD LOAD	10 PSF
PARTITION LOAD	15 PSF
ROOF LIVE LOAD	12 PSF
ROOF DEAD LOAD	20 PSF
B. WIND CRITERIA	FBC 2017 ASCE 7-16
RISK CATEGORY:	II
BASIC WIND SPEED	150 MPH ULTIMATE
EXPOSURE CATEGORY	B
STRUCTURE TYPE	ENCLOSED
INTERNAL PRESSURE COEFF.	+/- 0.18

WOOD FRAMING AND SHEATHING

- OSB IS NOT CONSIDERED AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD SHEATHING.
- ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR EXPOSED TO EXTERIOR ELEMENTS AND LEFT UNFINISHED SHALL BE PRESSURE TREATED.
- DO NOT PAINT PRESSURE TREATED WOOD WHEN MOISTURE CONTENT IS ABOVE 19%.
- ALL STRUCTURAL GRADE LUMBER SHALL BE SOUTHERN YELLOW PINE, No. 2 GRADE OR BETTER.
- NOTCHES ON THE END OF JOISTS SHOULD NOT EXCEED ONE FOURTH OF THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF THE JOIST SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
- JOISTS SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH SUPPORT BY STUD BLOCKING EXCEPT WHERE THE ENDS OF A JOIST ARE NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER MEANS. BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND THE FULL DEPTH OF THE JOIST.

PRE-ENGINEERED WOOD TRUSSES

- WOOD STUD TRUSSES AND REQUIRED BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA AND EXPERIENCED IN THE DESIGN OF PRE-ENGINEERED WOOD STRUCTURES. THE ENGINEER SHALL SEAL, SIGN, AND DATE THE SHOP DRAWINGS AND CALCULATIONS.
- DESIGN SHALL BE IN ACCORDANCE WITH ANSI/TPI 1-2002 "National Design Standard for Metal Plate Connected Wood Truss Construction".
- TOP AND BOTTOM CHORDS SHALL BE PROVIDED WITH THE SHAPES AND CONFIGURATIONS INDICATED ON THE DRAWINGS. ARRANGEMENT OF WEB MEMBERS TO BE AT THE DISCRETION OF THE SPECIALTY DESIGN ENGINEER. AT TRUSS JOINTS, CENTERLINES OF MEMBERS SHALL INTERSECT AT A COMMON POINT OR ECCENTRICITIES SHALL BE CONSIDERED IN THE DESIGN.
- THE WOOD JOIST & TRUSS FABRICATORS SHALL SUBMIT CERTIFIED LETTERS TO THE ARCHITECT STATING THAT HE HAS RECEIVED SPRINKLER DRAWINGS. THE WOOD JOIST & TRUSS FABRICATORS SHALL DESIGN THEIR PRODUCTS FOR LOADING IMPOSED BY SPRINKLER MAIN SUPPLY LINES AND BRANCHES. THE WOOD JOIST & TRUSS FABRICATORS SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF THE JOIST & TRUSS DESIGNS RESPECTFULLY. IF SPRINKLER DRAWINGS ARE NOT AVAILABLE, THE JOIST & TRUSS FABRICATORS SHALL USE A DESIGN LOAD OF 3 PSF APPLIED AS UNIFORM OR CONCENTRATED LOADS WHICH CAN BE SUPPORTED BY THEIR SYSTEMS.
- TRUSSES SHALL BE DESIGNED FOR THE DEAD WEIGHT OF THE TRUSSES AND BRACING PLUS THE LOADS GIVEN IN NOTE 4 OF THE GENERAL NOTES.
- TRUSS STORAGE, HANDLING, RESTRAINING AND BRACING SHALL BE PER BUILDING COMPONENT SAFETY INFORMATION GUIDELINES AS PRODUCED BY THE TRUSS PLATE INSTITUTE.

ENGINEERED WOOD PRODUCTS

- LVL BEAMS SHALL BE MANUFACTURED BY APA MEMBER MANUFACTURER TO APA SPECS.
- USE LVLS CONFORMING TO ASTM D 5456 AND ABLE TO WITHSTAND THE DESIGN LOADS INDICATED. REFER TO STRUCTURAL PLANS FOR SIZING. LENGTH AS REQUIRED FOR SPAN AND BEARING.
- DO NOT STORE ENGINEERED WOOD PRODUCTS IN DIRECT CONTACT WITH THE GROUND. STACK FLATWISE.
- MINIMUM BEARING LENGTH: 3", ENDS; 3", INTERMEDIATE.
- LVL BEAMS SHALL HAVE MINIMUM ALLOWABLE STRESSES AS FOLLOWS:

ALLOWABLE BENDING STRESS:	Fb=2600 PSI
COMPRESSION 4 TO GRAIN:	Fc=700 PSI
COMPRESSION 90 TO GRAIN:	Fc=2400 PSI
HORIZONTAL SHEAR:	Fv=285 PSI
MODULUS OF ELASTICITY:	E=1,800,000 PSI

SHALLOW FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF FOR FOOTINGS.
- SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
- COMPACTED FILL UNDER SLABS, CONCRETE APRONS, PATIO PAVERS, AND OTHER NON-PERVIOUS SURFACES TO RECEIVE AN APPROVED TERMITE TREATMENT PER FBC 2304.12.

SLABS ON GRADE

- FOR SLABS ON GRADE, REINFORCE WITH W1.4XW1.4 / 6x6 W/WF REINFORCEMENT, PLACE IN CENTER OF SLAB THICKNESS.
- INSTALL VAPOR BARRIER IN ACCORDANCE WITH ASTM E1643. CONTACT VAPOR BARRIER MANUFACTURER FOR WARRANTY INFORMATION AND INSTALLATION REVIEW PRIOR TO CONCRETE PLACEMENT.
- 0.01 MAX PERMEANCE RATING, CLASS A STRENGTH, 15-MIL. MINIMUM THICKNESS. BASIS OF DESIGN: STEGO WRAP BY STEGO INDUSTRIES, LLC WWW.STEGOINDUSTRIES.COM.
- PLACE CRACK CONTROL JOINTS AT 12 FT. MAX. SO AS TO LIMIT CONCRETE PLACEMENT AREAS TO 144 SQ. FT. MAX. IN ALL FLOATING SLABS ON GRADE. DO NOT EXCEED A 2 TO 1 WIDTH TO LENGTH RATIO. CONTRACTOR MAY ELECT TO SUBMIT A CONTROL JOINT LAYOUT FOR ARCHITECT'S REVIEW PRIOR TO CONCRETE PLACEMENT.
- SLAB FINISHES: EXTERIOR WALKING SURFACES - MEDIUM BROOM DRIVING SURFACES - MEDIUM BROOM INTERIOR SURFACES - STEEL TROWEL

REINFORCED CONCRETE

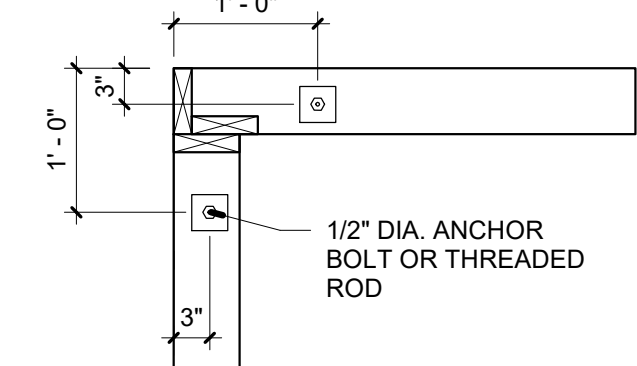
- USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI-318 AND 301 AND PROPORTION CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MIN. ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

FOOTING	3000 PSI
GRADE BEAMS	3000 PSI
POURED WALLS	5000 PSI ***
COLUMNS	5000 PSI ***
BEAMS & ELEVATED SLABS	5000 PSI ***
ALL OTHER CONCRETE	5000 PSI ***
*** UNLESS NOTED OTHERWISE	
- WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE, USE CONCRETE CONTAINING A SUPERPLASTICIZING (N.W.R.) ADMIXTURE, ASTM C494 TYPE F. SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7"+1". IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 2 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP. UNLESS PRE-APPROVED BY ARCHITECT, TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END.
- USE ASTM A-615 GR. 40 REINFORCING STEEL IN ALL RESIDENTIAL WORK & GR. 60 REINFORCING STEEL IN ALL COMMERCIAL WORK, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPICE FOR CONTINUOUS BARS, UNLESS NOTED OTHERWISE. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN UNLESS OTHERWISE SPECIFIED. PROVIDE DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS NOTED OTHERWISE. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS:

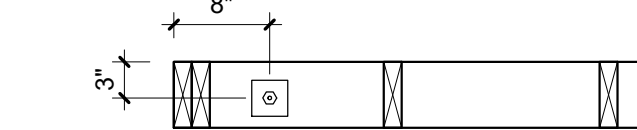
	BOTTOM	TOP	SIDES
FOOTING/PILECAP	3"	2"	3"
BEAMS (U.O.N.)	1 1/2"	1 1/2"	1 1/2"
COLUMNS	2"	1"	2"
SLABS ON GROUND	1"	1"	1"
SLABS (OTHER THAN ON GROUND)	1"	1"	1"
POURED WALLS RETAINING FILL	-	-	2"
POURED WALLS ABOVE GROUND	-	-	1 1/2"

- USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES.
- SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY, UNLESS APPROVED BY ARCHITECT. WHERE PIPES OR DUCTS PENETRATE SLABS, A MAX. OF TWO BARS EACH WAY MAY BE CUT. PROVIDED SPLICE BARS ARE PLACED ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-BAR-DIA. LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDUITS IN SLABS IN ACCORDANCE WITH ACI-318 CH. 8.3. PROVIDE 1 #5 X 6" EACH WAY PLACED DIAGONALLY AT MID-DEPTH AROUND ALL OPENINGS LARGER THAN 12" U.O.N.

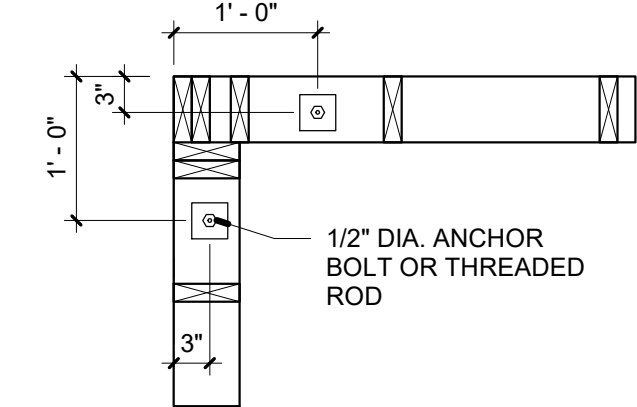
RECOMMENDED 3-STUD CORNER



EDGE OF OPENING LAYOUT



OPTIONAL CORNER LAYOUT



3 ANCHOR BOLT DETAIL

3/4" = 1'-0"

SHOP DRAWING SUBMITTALS

- THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF SPECIFICATIONS.
- REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.
- IN ACCORDANCE WITH THE SPECIFICATIONS, SUBMIT A COPY OF THE SHOP DRAWING SUBMITTAL REGISTER TO THE STRUCTURAL ENGINEER, SHOWING DATES OF SUBMITTAL FOR EACH SPECIFIC STRUCTURAL SECTION OF THE WORK, CONSISTENT WITH THE FOLLOWING CRITERIA:
 - ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 WORKING DAYS OF RECEIPT BY THEM.
 - SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
 - SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.
- ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE SUBMITTAL TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL. DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.
- SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED AND WILL BE RETURNED WITHOUT COMMENT.
- RESPONSIBILITIES OF DETAILERS AND FABRICATORS:
 - GENERAL- SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS, INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.
 - CONCRETE REINFORCING DETAILER- PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BENDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
 - CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE CONTROL JOINTS, EXPANSION JOINTS, LINTELS, CONCRETE BOND BEAMS, AND OPENINGS. DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, PILASTERS.
 - CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
 - CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST CLEARLY BE SHOWN.
 - CLEARLY SHOW ELEVATION, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS.
 - CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
 - CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.
- FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, SEE BELOW.

SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY SPECIALTY ENGINEER

- DEFINITION -
 - A FLORIDA REGISTERED PROFESSIONAL ENGINEER WHO SPECIALIZES IN AND WHO UNDERTAKES THE DESIGN OF STRUCTURAL COMPONENTS OR STRUCTURAL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT.
- SHALL BE:
 - AN EMPLOYEE OR OFFICER OF A FABRICATOR.
 - AN EMPLOYEE OR OFFICER OF AN ENTITY SUPPLYING COMPONENTS TO A FABRICATOR.
 - AN INDEPENDENT CONSULTANT RETAINED BY THE FABRICATOR OR HIS SUPPLIER.
- THE FOLLOWING SYSTEMS AND COMPONENTS AS A MINIMUM REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A SPECIALTY ENGINEER, PRE-ENGINEERED WOOD ROOF TRUSSES.
- THE SPECIALTY ENGINEER OR MANUFACTURER SHALL DESIGN, PROVIDE, AND INSTALL THEIR COMPONENTS AND THE COMPONENT CONNECTIONS TO THE PRIMARY STRUCTURE PER THE WIND CRITERIA STATED IN THE GENERAL NOTES ON THIS SHEET OR THE CURRENT GOVERNING BUILDING CODES, WHICHEVER IS MORE STRINGENT.
- SUBMITTALS SHALL CLEARLY IDENTIFY THE SPECIFIC PROJECT AND APPLICABLE CODES, LIST THE DESIGN CRITERIA, AND SHOW ALL DETAILS AND PLANS NECESSARY FOR PROPER FABRICATION AND INSTALLATION. CALCULATIONS AND SHOP DRAWINGS SHALL IDENTIFY SPECIFIC PRODUCT UTILIZED. GENERAL PRODUCTS WILL NOT BE ACCEPTED.
- SHOP DRAWINGS AND CALCULATIONS MUST BE PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE SPECIALTY ENGINEER.
- SHOP DRAWINGS AND CALCULATIONS REQUIRE THE EMBOSSED SEAL, DATE AND SIGNATURE OF THE SPECIALTY ENGINEER. COMPUTER PRINTOUTS ARE AN ACCEPTABLE SUBSTITUTE FOR MANUAL COMPUTATIONS PROVIDED THEY ARE ACCOMPANIED BY SUFFICIENT DESCRIPTIVE INFORMATION TO PERMIT THEIR PROPER EVALUATION. SUCH DESCRIPTIVE INFORMATION SHALL BEAR THE EMBOSSED SEAL AND SIGNATURE OF THE SPECIALTY ENGINEER AS AN INDICATION THAT HE HAS ACCEPTED RESPONSIBILITY FOR THE RESULTS. SEPIAS DO NOT REQUIRE SIGNATURE AND SEAL. THE ARCHITECT WILL RETAIN ONE SIGNED AND SEALED BLUELINE PRINT FOR RECORD.
- CATALOG INFORMATION ON STANDARD PRODUCTS DOES NOT REQUIRE THE SEAL OF A SPECIALTY ENGINEER.
- REVIEW BY THE ARCHITECT OF SUBMITTALS IS LIMITED TO VERIFYING THE FOLLOWING:
 - THAT THE SPECIFIED STRUCTURAL SUBMITTALS HAVE BEEN FURNISHED.
 - THAT THE STRUCTURAL SUBMITTALS HAVE BEEN SIGNED AND SEALED BY THE SPECIALTY ENGINEER.
 - THAT THE SPECIALTY ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND HAS USED THE SPECIFIED STRUCTURAL CRITERIA. (NO DETAILED CHECK OF CALCULATIONS WILL BE MADE.)
 - THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)
- A LIST SHALL BE PREPARED AND MAINTAINED BY THE CONTRACTOR FOR ALL SHOP DRAWINGS REQUIRING PARTICIPATION OF A SPECIALTY ENGINEER. THE LIST SHALL CONTAIN PROJECT NAME, NAME OF CONTRACTOR, NAME OF SUBCONTRACTOR, NAME OF SPECIALTY ENGINEER, DRAWING NUMBER, DRAWING TITLE AND THE LATEST REVISION NUMBER AND DATE. FOR PARTIAL SUBMITTALS, THE LIST SHALL CONTAIN ALL ANTICIPATED DRAWING NUMBERS AND TITLES REQUIRED TO COMPLETE THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE LATEST UPDATED LIST OF DRAWINGS WITH EACH SUBMITTAL.
- SUBMITTALS NOT MEETING THE ABOVE CRITERIA WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.



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8/25/2020

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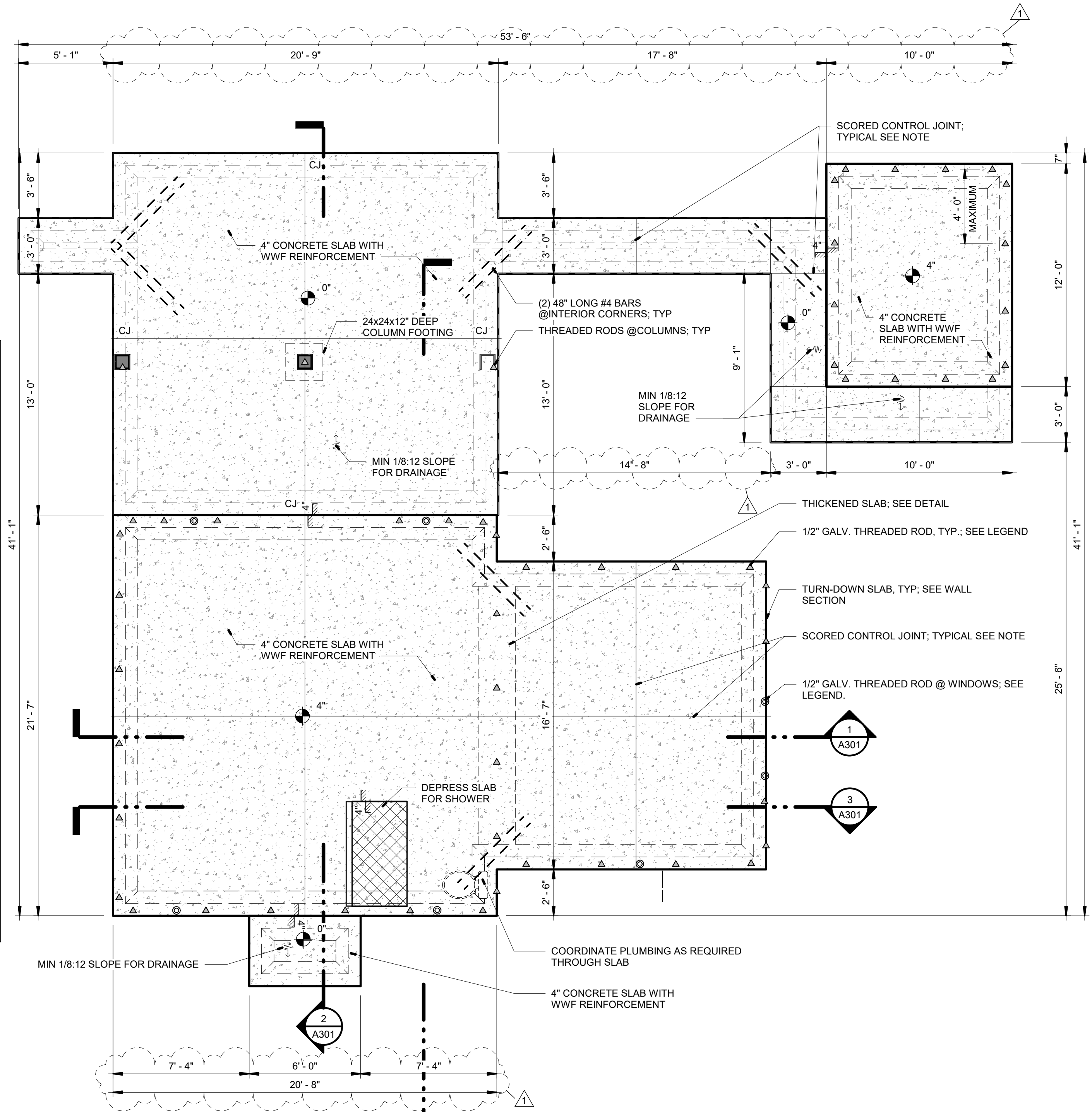
STRUCTURAL
NOTES AND
DIAGRAMS

SHEET NO:

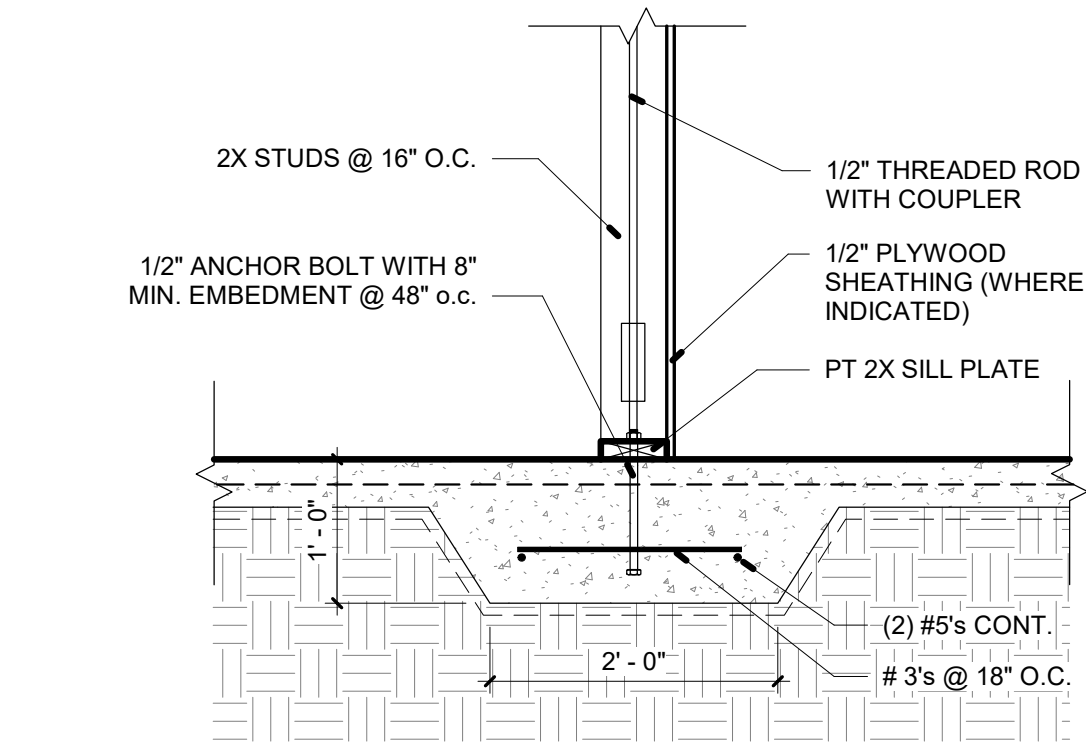
S001

PROJECT NO:
20020

EXISTING RESIDENCE
NO WORK - THIS AREA



1 FOUNDATION PLAN
1/4" = 1'-0"



2 THICKENED SLAB DETAIL
3/4" = 1'-0"

- TYPICAL SLAB NOTE:**
1. 4" 3,000psi CONCRETE SLAB REINFORCED WITH W1.4xW1.4 / 6x6 WWF REINFORCEMENT. INSTALL OVER VAPOR BARRIER AND COMPACTED FILL WITH APPROVED TERMITE TREATMENT.
- SCORING NOTE:**
- CJ SAW CUT 1/4" CONTROL JOINTS AT MAXIMUM 12'-0" O.C.
- THREADED ROD ANCHORS:**
- △ 1/2" THREADED ROD @ 4'-0" O.C. MAX SPACING WITH 8" MIN. EMBEDMENT. SEE DETAIL. COORDINATE BOLT LAYOUT WITH ARCHITECTURAL PLANS AND DIMENSIONED FOUNDATION ELEMENTS.
- ⊙ 1/2" ANCHOR BOLT W/ MIN. 8" EMBEDMENT BENEATH WINDOWS; TYP.
- SLAB LEGEND:**
- ▨ SLOPED SLAB
- ▤ DEPRESSED SLAB



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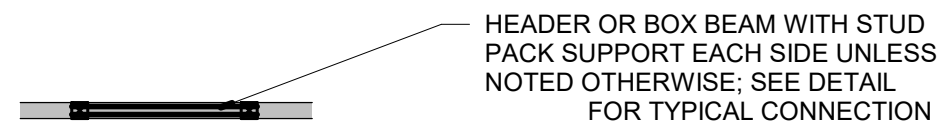
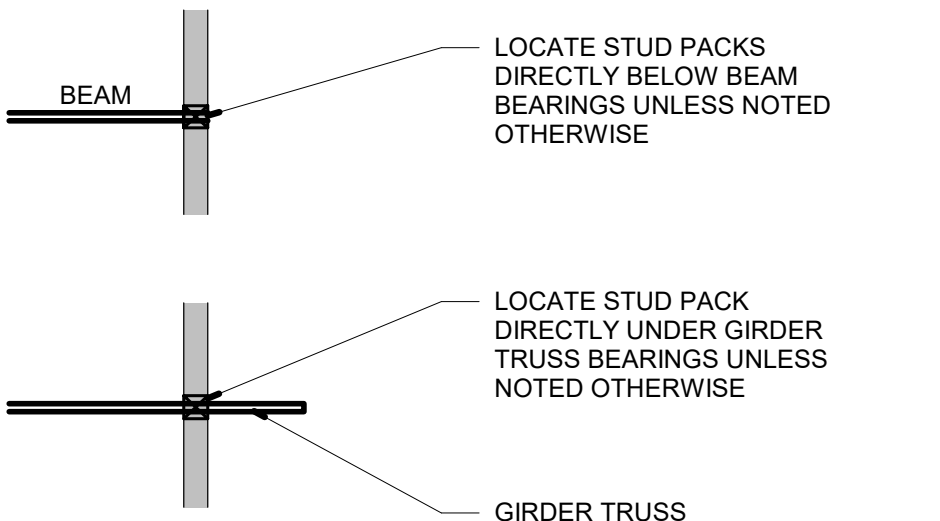
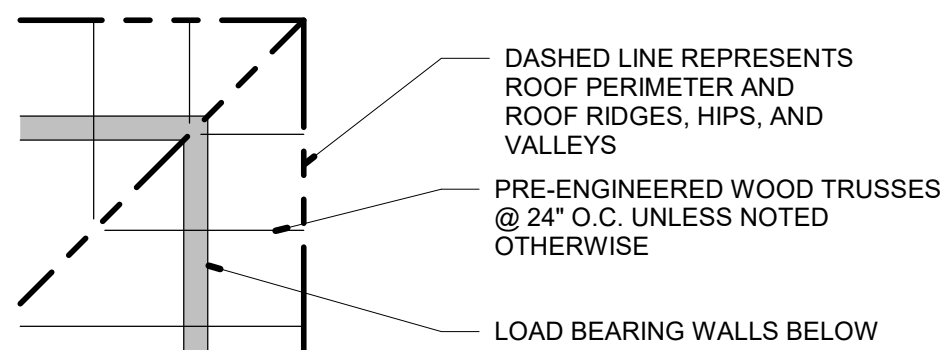
FOUNDATION PLAN

SHEET NO:

S101

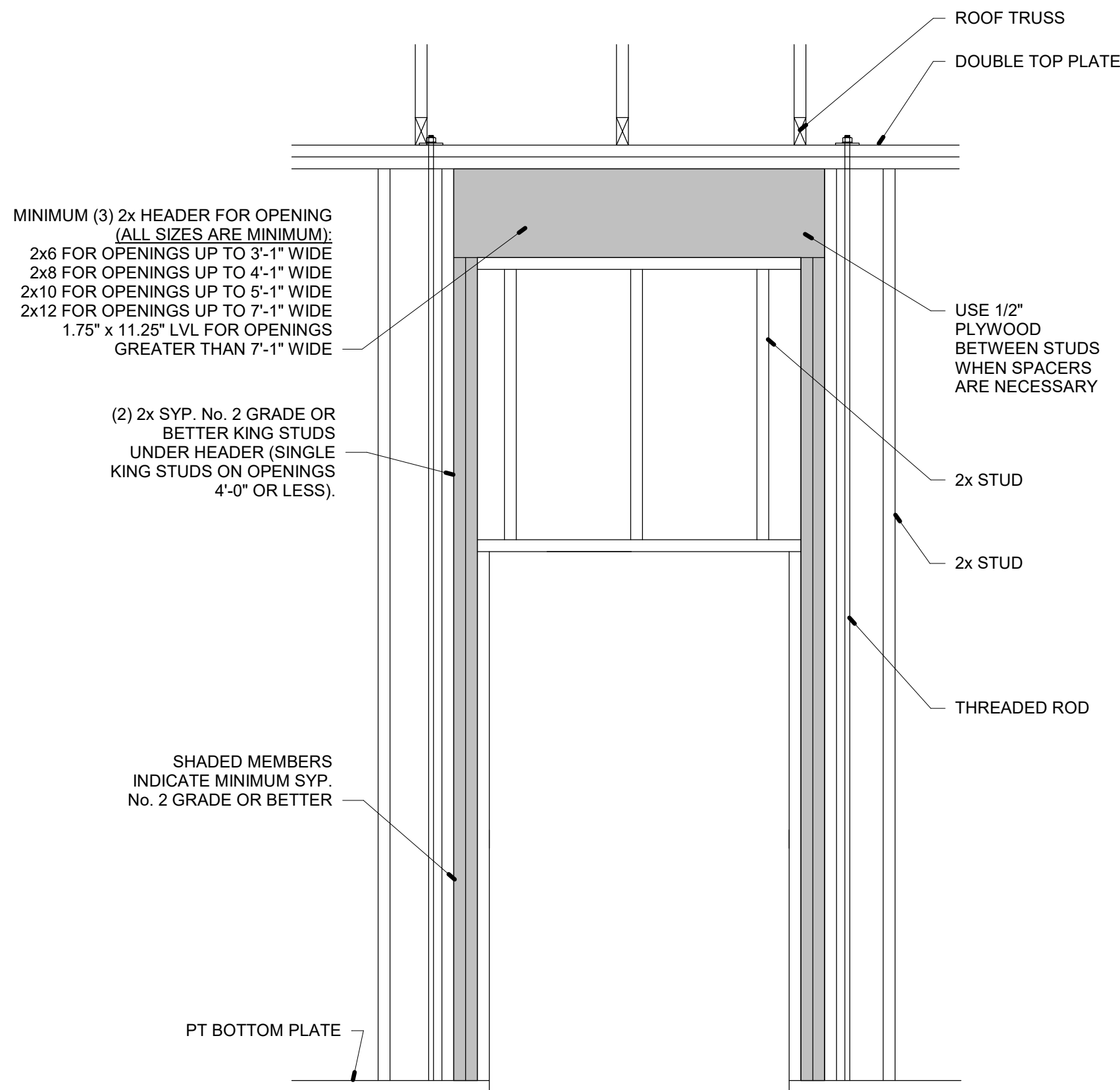
PROJECT NO:
20020

LEGEND



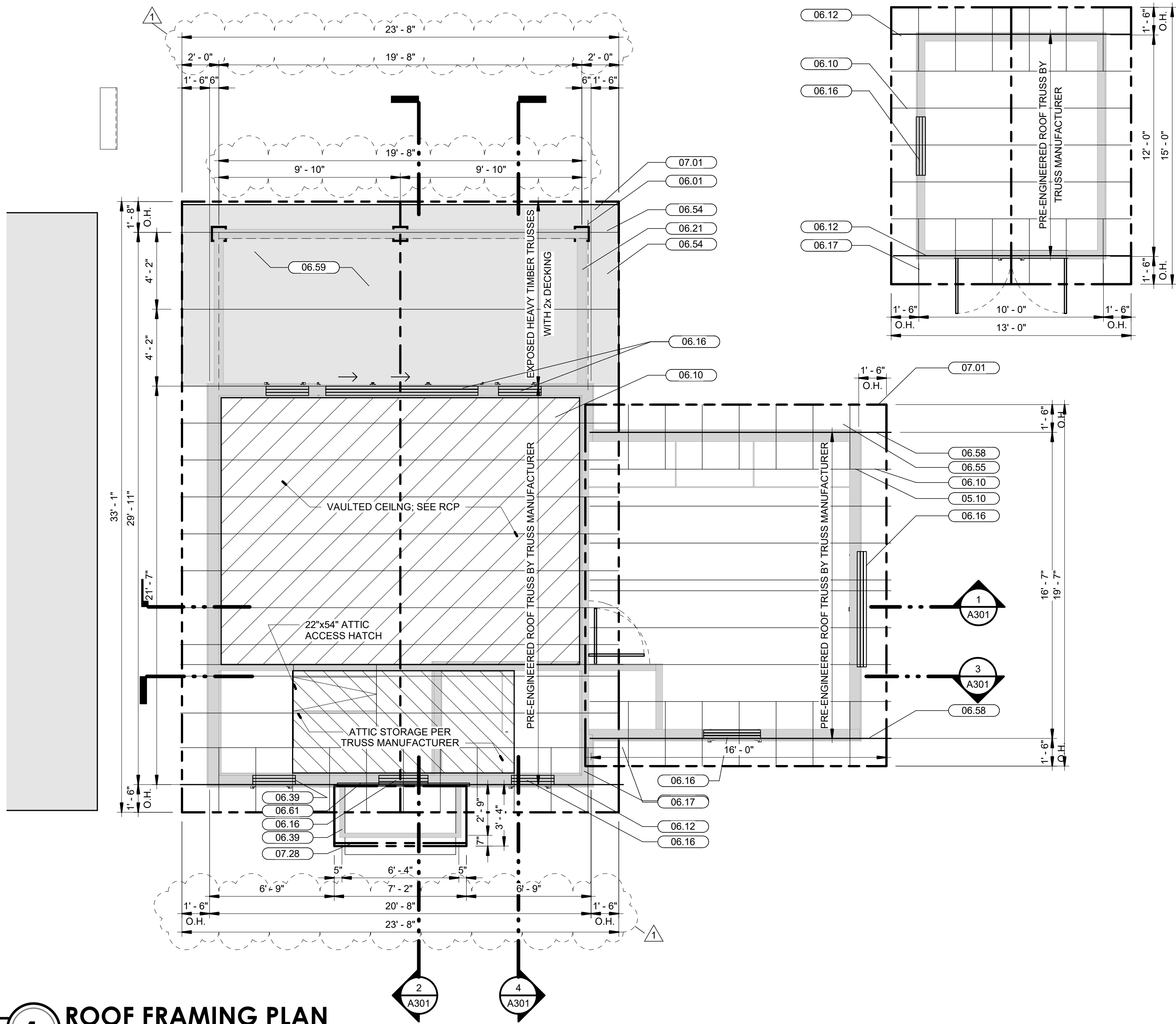
GENERAL FRAMING NOTES

1. FINAL TRUSS LAYOUT TO BE DETERMINED BY FLORIDA REGISTERED TRUSS ENGINEER.
2. CONTRACTOR TO SUBMIT TRUSS PACK DESIGN TO ARCHITECT FOR APPROVAL.
3. PROVIDE MIN. 5/8" THICK CDX PLYWOOD SHEATHING. 1/2" MAY BE USED IF ALL EDGES ARE SECURED WITH BLOCKING.
4. OSB IS NOT AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD.



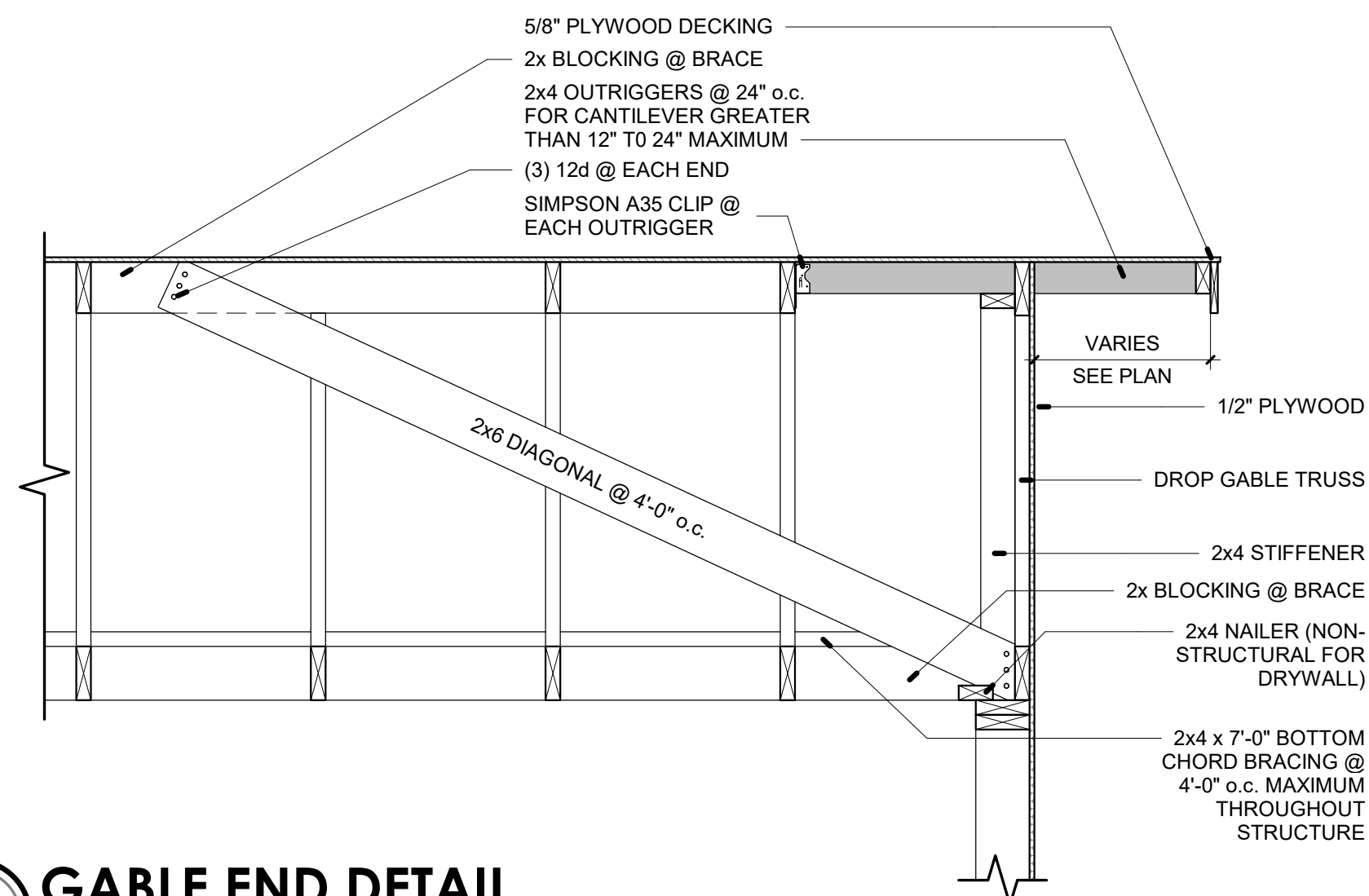
2 HEADER FRAMING DETAIL

3/4" = 1'-0"



1 ROOF FRAMING PLAN

1/4" = 1'-0"



3 GABLE END DETAIL

3/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	TEXT
05.10	H/2.5A SIMPSON HOLD DOWN ANCHOR @EACH TRUSS/WALL CONNECTION; TYP.
06.01	8"x8" KDAT COLUMNS WRAPPED IN COMPOSITE TRIM; TYPICAL
06.10	PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" o.c.; TYPICAL
06.12	DROP GABLE TRUSS
06.16	HEADER; TYPICAL. SEE STRUCTURAL HEADER FRAMING DETAIL
06.17	2x4 OUTRIGGERS @ 24" o.c.; TYPICAL; SEE FRAMING PLAN
06.21	PAINTED (3) 2x10 BEAM WRAPPED IN COMPOSITE TRIM; TYPICAL AT COLUMNS
06.39	(2) 2x10 WOOD BEAM; PAINT WITH SOLID-BODY STAIN
06.54	PT PAINTED HEAVY TIMBER TRUSSES @48" o.c.; SEE STRUCTURAL
06.55	PT 2x4 WOOD OUTRIGGER; SEE STRUCTURAL
06.58	DROP TRUSS
06.59	PAINTED 2x PT WOOD STRUCTURAL DECKING RUN PARALLEL TO ROOF RIDGE
06.61	2x6 AWNING LEDGER
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; TO MATCH EXISTING RESIDENCE; TYPICAL
07.28	AWNING ON DECORATIVE BRACKETS



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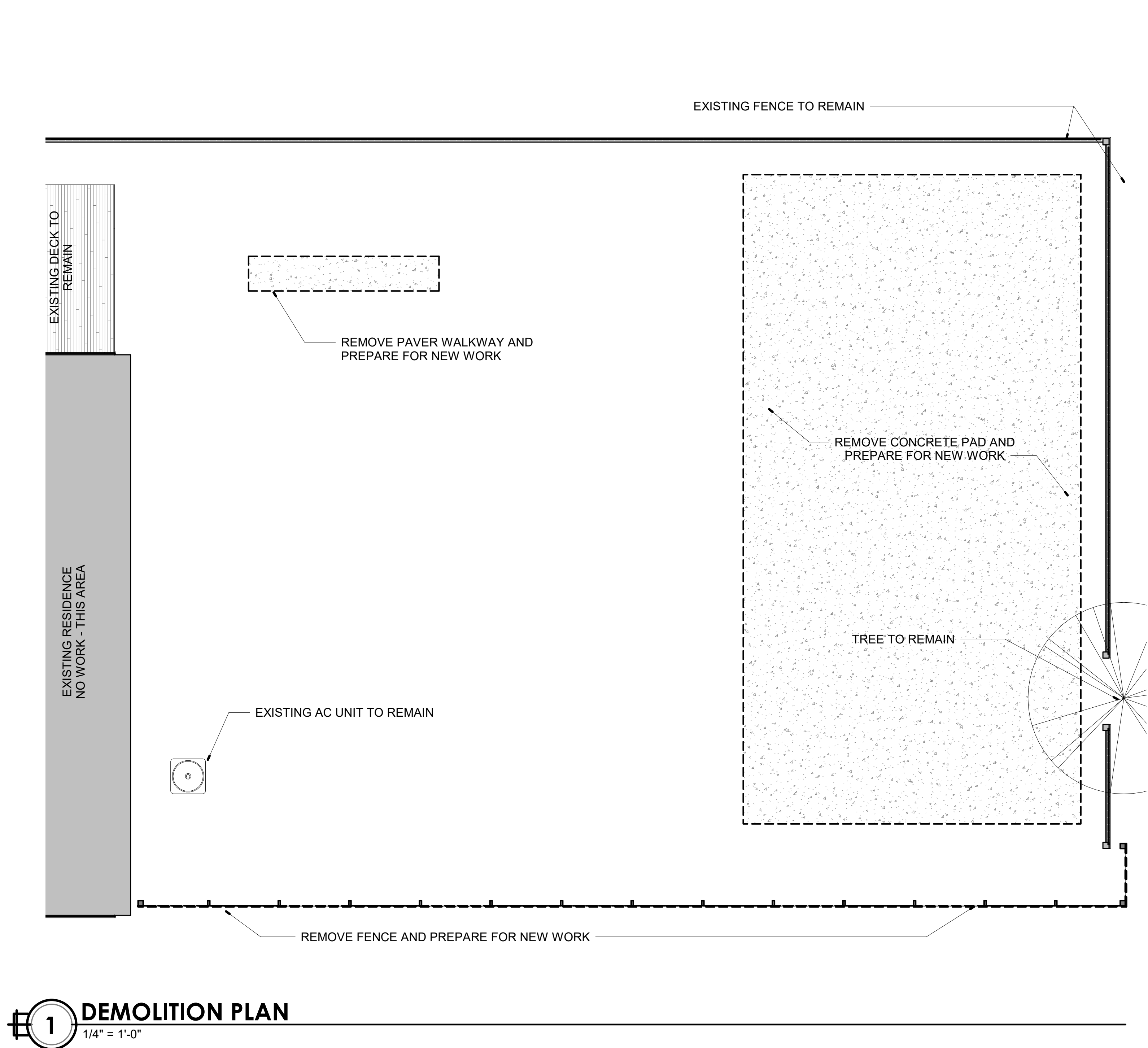
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SHEET TITLE:
ROOF FRAMING PLAN

SHEET NO:
S102
PROJECT NO: 20020



1 DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

- 1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
- 2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
- 3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.

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SHEET TITLE:

DEMO PLAN

SHEET NO:

A010

PROJECT NO:
20020



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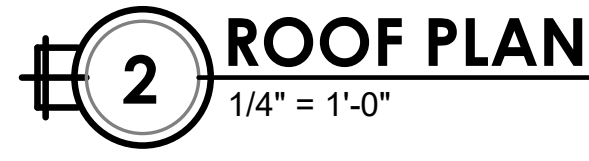
DATE:
25/2020

TITLE: **FW FLOOR /**

NO:

101

JECT NO:
20



A
ENTRY
SINGLE
HALF LITE

B
SINGLE
TWO
PANEL

C
SINGLE
TWO PANEL
POCKET

D
3-TRACK
3-PANEL
FULL LITE
SLIDING

E
ENTRY
DOUBLE
HALF LITE

CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
WOOD DOORS TO BE SOLID CORE, STAINED.
PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

DOOR SCHEDULE							
DOOR NO.	DOOR		TYPE MARK	DOOR		FRAME	Comments
	WIDTH	HEIGHT		MATERIAL	LOCKSET	MATERIAL	
001	9' - 0"	7' - 0"	D	FB	ENTRY	COMP.	3-TRACK SLIDING DOOR POCKET
002	2' - 6"	7' - 0"	C	WD	PRIVACY	WD	
003	3' - 0"	7' - 0"	B	WD	PRIVACY	WD	
004	3' - 0"	7' - 0"	B	WD	PASSAGE	WD	
005	3' - 0"	7' - 0"	A	FB	ENTRY	COMP.	
006	6' - 0"	7' - 0"	E	FB	STORAGE	COMP.	

A
FIXED

B
FIXED

C
FIXED
TRANSOM

D
CASEMENT

E
DOUBLE
HUNG
EGRESS

1. ALL WINDOWS TO BE VINYL, IMPACT-RATED PRODUCT.
2. ALL WINDOWS TO HAVE MIN. LOW-E GLASS COATING.
3. ALL WINDOWS TO HAVE INTERIOR GYP RETURN AND 1x WOOD SILL.

WINDOW SCHEDULE						
Type	Mark	Width	Height	Head Height	Material	Comments
A		2' - 0"	3' - 0"	7' - 0"		
B		1' - 2"	1' - 11"	10' - 5"		
C		3' - 0"	1' - 6"	9' - 10"		
D		6' - 0"	2' - 0"	7' - 0"		
E		2' - 8"	2' - 0"	7' - 0"		EGRESS

KEYNOTE ASPHALT	
NUMBER	TEXT
06.21	PAINTED (3) 2x10 BEAM WRAPPED IN COMPOSITE TRIM; TYPICAL AT COLUMNS
06.64	PERGOLA: PAINT WITH SOLID-BODY STAIN
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; TO MATCH EXISTING RESIDENCE; TYPICAL
07.03	28ga STANDING SEAM METAL ROOF OVER ADHERED MEMBRANE UNDERLAYMENT; TYPICAL
07.08	PAINTED 1x6 COMPOSITE FASCIA; TYPICAL

1. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
2. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
3. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
4. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
5. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.



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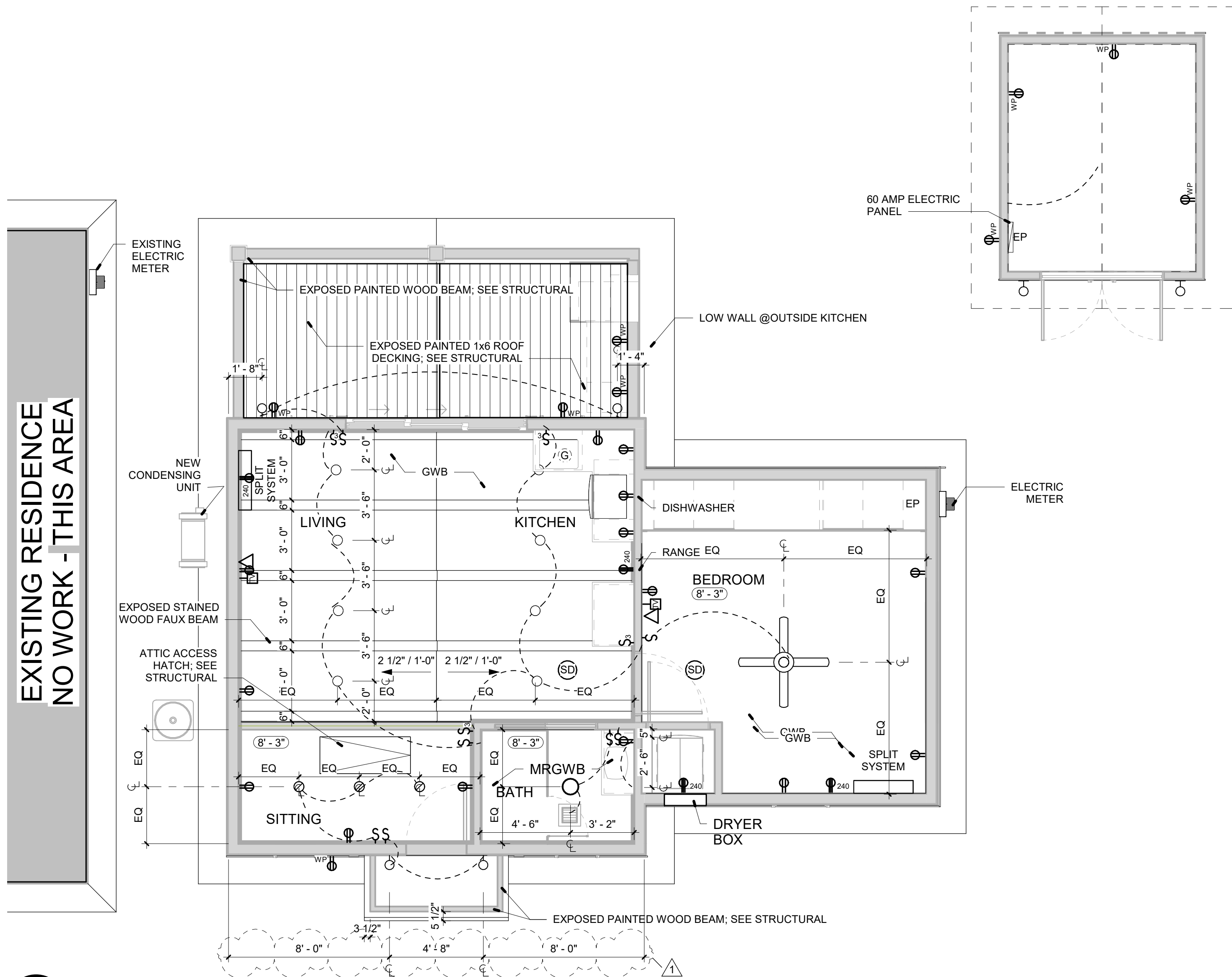
SHEET TITLE:

RCP/LIGHTING

SHEET NO:

A103

PROJECT NO: 20020



1 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND

	DUPLEX
	240V
	SWITCH
	3-WAY SWITCH
	DATA
	IN-SINK GARBAGE DISPOSAL
	CABLE TV
	LINEAR PENDANT
	EXHAUST FAN
	RECESSED LIGHT FIXTURE
	WALL MOUNTED (SCONCE) LIGHT FIXTURE
	CEILING FAN
	WEATHER-PROOF
	GROUND FAULT CIRCUIT INTERRUPTER
	COMBINED SMOKE & CARBON MONOXIDE DETECTOR LISTED OR LABELED BY A NATIONAL RECOGNIZED TESTING LABORATORY. HARDWIRED TO BUILDING ELECTRICAL SYSTEM. INSTALL WITHIN 10'-0" OF ALL SLEEPING AREAS AND ENSURE EACH DEVICE HAS BATTERY BACK-UP.

ELECTRICAL NOTES

- CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

CONDUITS AND CONNECTIONS

- PROVIDE A 6'-0" MAXIMUM FLEXIBLE CONNECTION FROM EACH RECESSED LIGHTING FIXTURE TO JUNCTION BOX ABOVE CEILING.
- ALL SAFETY SWITCH DISCONNECTS LOCATIONS IN MECHANICAL ROOMS SHALL HAVE 3'-0" MIN. OF WORKING SPACE IN FRONT OF DISCONNECT; COORDINATE WITH MECHANICAL CONTRACTOR AND EQUIPMENT LOCATIONS.
- FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS). CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.
- CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY, CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
- CONDUIT MATERIAL SHALL BE AS FOLLOWS:
A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
B) RISER FROM 36" BELOW GRADE - RIGID GALVANIZED STEEL.
C) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
D) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE.
E) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
F) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ELECTRICAL METALLIC TUBING. (DOES NOT APPLY ON RESIDENTIAL)
G) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB -INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.
-

CODES & EQUIPMENT

- ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE W/ LOCAL UTILITY CO. TO ENSURE THE OWNER HAS A COMPLETE AND OPERABLE SERVICE. E.C. WILL PAY ALL UTILITY CO. CHARGES AND FEES AND ALL INSPECTION AND PERMIT FEES.
- ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.
- THE LOADS SHOWN FOR APPLIANCES AND EQUIPMENT ARE BASED ON DESIGN INFORMATION. THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE NAMEPLATE VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED FOR APPLIANCE MODIFICATIONS BY THE CONTRACTOR.
- COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC. WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
- VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SWITCHES.
- WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.

RECEPTACLES & SWITCHES

- ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE BOTTOM OF THE BOX.
- VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PRIOR TO ROUGH-IN.
- VERIFY ALL POWER/DATA/PHONE RECEPTACLE ELEVATIONS LOCATED 7" CENTER LINE OVER COUNTERTOP WITH ARCHITECTURAL DETAILS PRIOR TO ROUGH-IN.
- RECEPTACLES, SWITCHES AND COVER PLATES COLOR SHALL BE SELECTED BY THE OWNER FROM STANDARD COLORS.
- WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.
- IF FIRE ALARM SYSTEM INSTALLED, ALL FIRE ALARM CIRCUITS SHALL BE TERMINATED ON TERMINAL STRIPS. WIRE NUTS ARE PROHIBITED. ALL ANNUNCIATING AND INITIATING CIRCUITS ENTERING THE BUILDING AND AT THE FIRE ALARM PANEL SHALL BE PROVIDED WITH SUITABLE SURGE SUPPRESSORS.
- RECEPTACLE SPACING MUST BE PER NEC.
- ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.
- SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

2 NORTH ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"

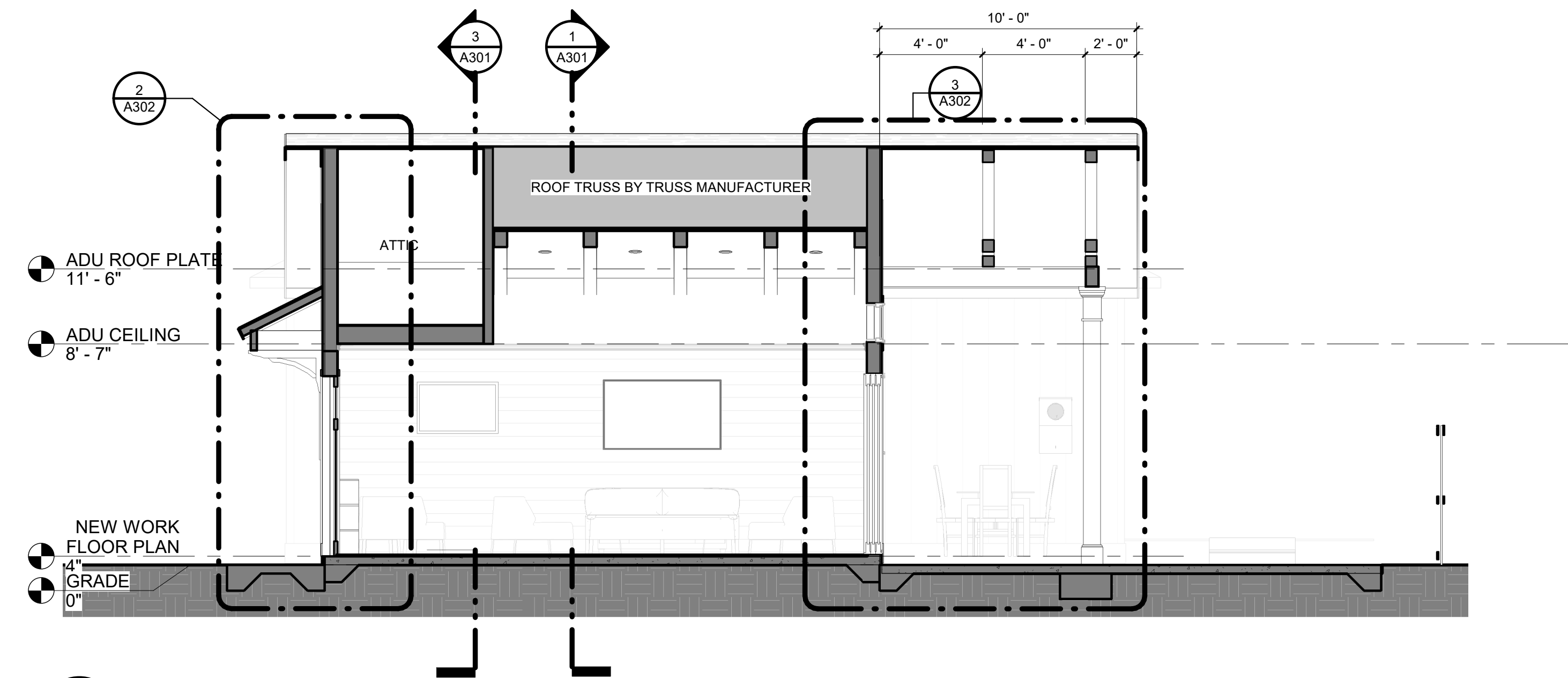
1 SOUTH ELEVATION
1/4" = 1'-0"

4 WEST ELEVATION
1/4" = 1'-0"

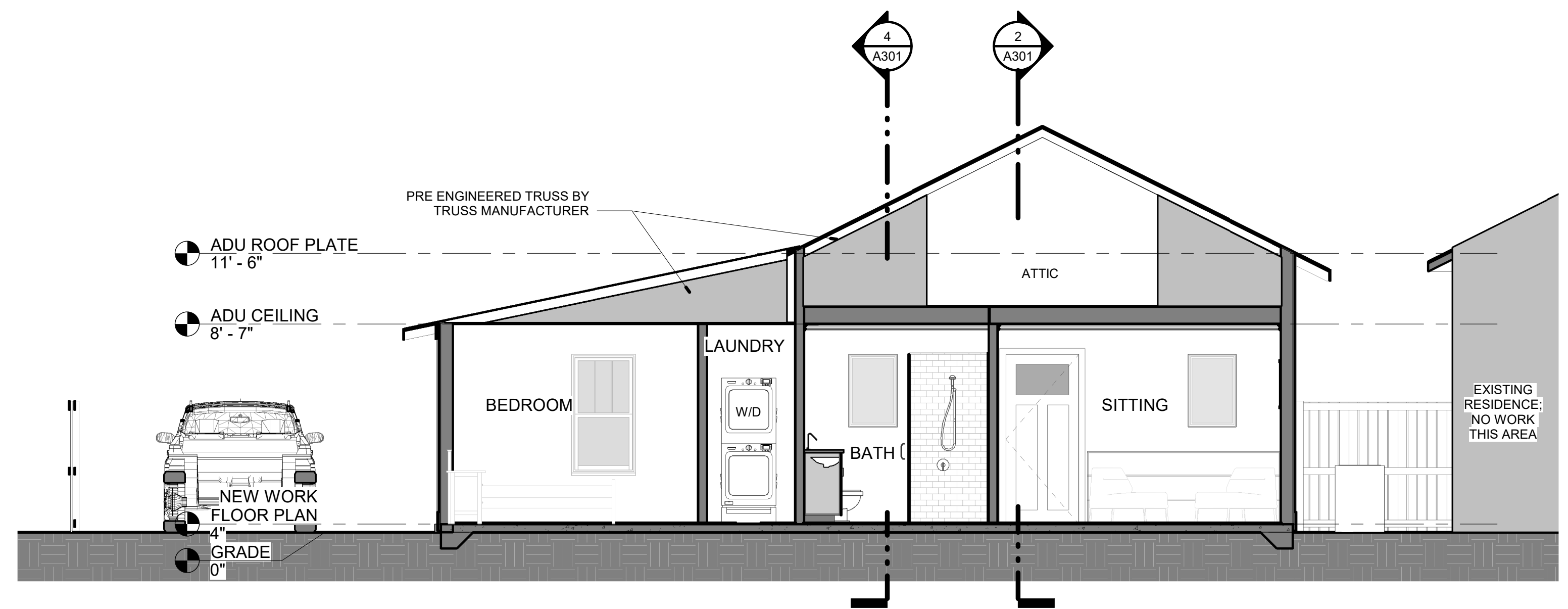
KEYNOTE LEGEND	
NUMBER	TEXT
02.01	EXISTING CONDENSER TO REMAIN
06.01	8"x8" KDAT COLUMNS WRAPPED IN COMPOSITE TRIM; TYPICAL
06.02	PAINTED COMPOSITE 1x10 TRIM; TYPICAL
06.03	PAINTED COMPOSITE CORNER TRIM BOARD; TYPICAL
06.04	PAINTED COMPOSITE 1x6 TRIM; TYPICAL
06.21	PAINTED (3) 2x10 BEAM WRAPPED IN COMPOSITE TRIM; TYPICAL AT COLUMNS
06.38	DECORATIVE WOOD BRACKET; SEE WALL SECTIONS
06.39	(2) 2x10 WOOD BEAM; PAINT WITH SOLID-BODY STAIN
06.40	2x6 WOOD STUD WALL WITH PAINTED VERTICAL 1x2 BATTENS @8" O/C OVER PAINTED COMPOSITE PANEL EXTERIOR; PAINT TO MATCH EXISTING RESIDENCE; 1/2" GYP INTERIOR
06.41	2x4 WOOD STUD WALL WITH 8" VERTICAL BATTEN EXTERIOR, GYP INTERIOR

KEYNOTE LEGEND	
NUMBER	TEXT
06.43	HEAVY TIMBER TRUSS; PAINT WITH SOLID BODY STAIN
06.44	WOOD FENCE; MATCH EXISTING
06.51	2x6 WOOD STUD WALL WITH 8" VERTICAL BATTEN EXTERIOR; NICKLE GAP SIDING INTERIOR
06.53	2x6 WOOD STUD WALL WITH CORRUGATED ALUMINUM EXTERIOR; GYP INTERIOR
06.62	2x6 WOOD STUD WALL WITH 8" VERTICAL BATTEN EXTERIOR
06.63	PAINTED COMPOSITE 1x8 TRIM; TYPICAL
06.64	PERGOLA; PAINT WITH SOLID-BODY STAIN
06.65	WOOD WALL CAP; PAINT WITH SOLID-BODY STAIN
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; TO MATCH EXISTING RESIDENCE; TYPICAL
07.03	28ga STANDING SEAM MEAL ROOF OVER ADHERED MEMBRANE UNDERLAYMENT; TYPICAL
07.08	PAINTED 1x6 COMPOSITE FASCIA; TYPICAL

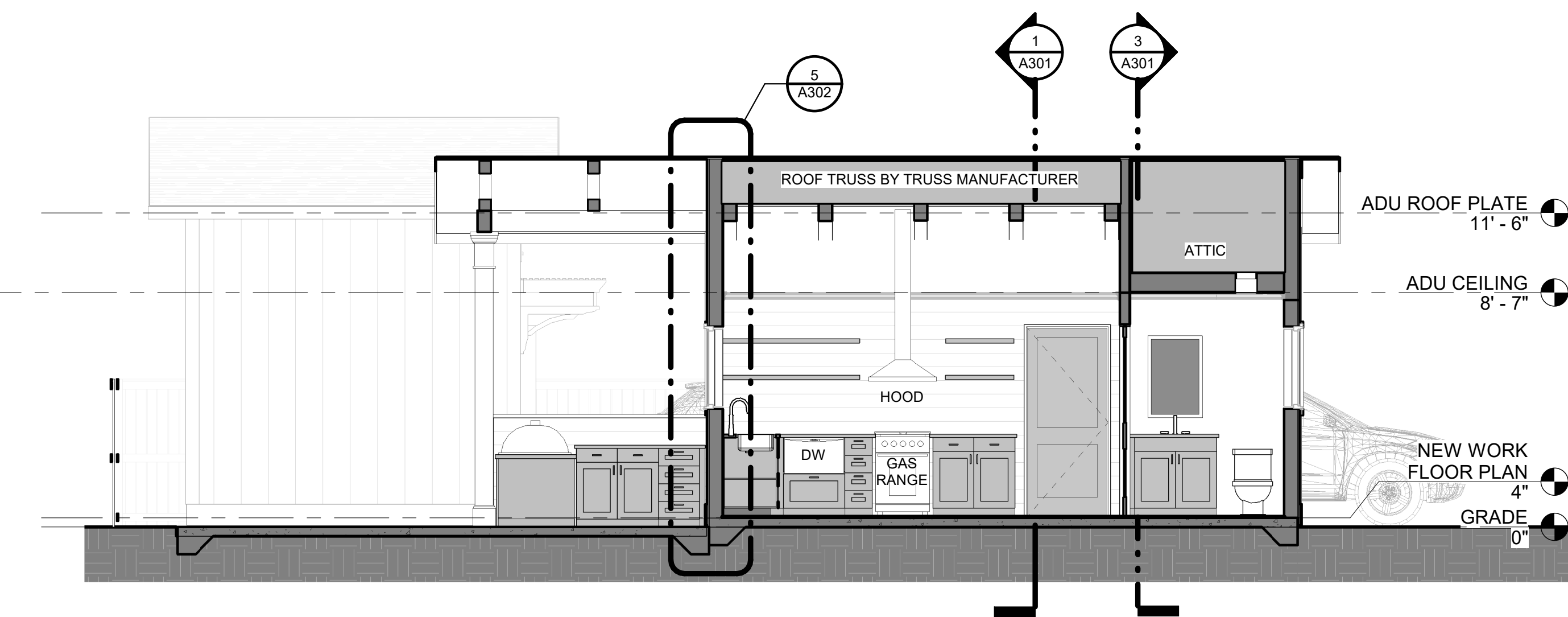
KEYNOTE LEGEND	
NUMBER	TEXT
07.28	AWNING ON DECORATIVE BRACKETS
08.05	WINDOW WITH GYP RETURN INTERIOR, SEE SCHEDULE
08.06	3 PANEL 3 TRACK SLIDING PATIO DOOR; SEE SCHEDULE
12.03	SOLID SURFACE COUNTER TOP AND COMPOSITE CABINETS BY CASEWORK CONTRACTOR
26.06	EXTERIOR SCONCE; SEE RCP



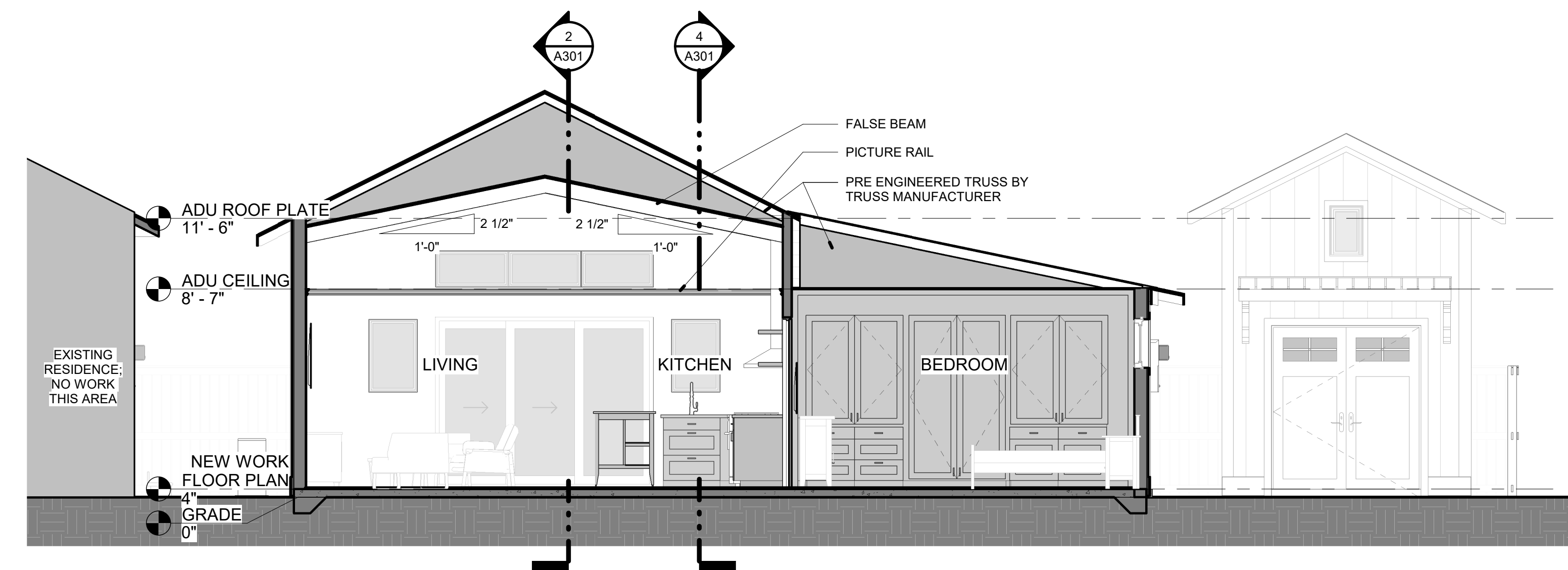
2 Section 1
1/4" = 1'-0"



3 Section 2
1/4" = 1'-0"



4 Section 3
1/4" = 1'-0"



1 Section 4
1/4" = 1'-0"



dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS



PERMIT SET

NAAB ADU
1800 N 15TH AVE
PENSACOLA, FL 32503

DRAWN BY: LBW
CHECKED BY: JSS

ISSUE DATE:
8/25/2020

REVISIONS
No. Des. Date

SHEET TITLE:

BUILDING SECTIONS

SHEET NO:

A301

PROJECT NO:
20020

KEYNOTE...	
NUMBER	TEXT
07.15	PROVIDE MINIMUM 6" R-38 OPEN CELL, WATER-BASED SPRAY FOAM INSULATION @ ATTIC
07.16	PROVIDE MINIMUM 6" R-38 OPEN CELL, WATER-BASED SPRAY FOAM INSULATION BETWEEN STUDS
07.19	10 MIL VAPOR BARRIER
07.27	MINIMUM 6" PRE-FINISHED CONTINUOUS ALUMINUM FLASHING WITH DRIP EDGE
08.05	WINDOW WITH GYP RETURN INTERIOR, SEE SCHEDULE
08.06	3 PANEL, 3 TRACK SLIDING PATIO DOOR, SEE SCHEDULE
09.01	FINISHED FLOOR
09.02	1/2" GYPSUM BOARD, TYPICAL
09.03	5/8" GYPSUM BOARD, TYPICAL @ CEILINGS
12.03	SOLID SURFACE COUNTERTOP AND COMPOSITE CABINETS BY CASEWORK CONTRACTOR
26.06	EXTERIOR SCONCE, SEE RCP
26.07	RECESSED LIGHT FIXTURE; SEE RCP
31.01	COMPACTED, TERMITTE TREATED FILL

The image displays three vertical architectural section drawings of a building facade, likely for a porch or entrance area. Each section is annotated with material callouts (e.g., 06.01, 07.01, 08.01) and dimensions (e.g., 11' - 6", 8' - 7", 4", 0").

Left Section: Shows a cross-section of a wall and roof assembly. Key features include:

- ADU ROOF PLATE:** 11' - 6" wide.
- ADU CEILING:** 8' - 7" high.
- NEW WORK FLOOR PLAN:** 4" thick.
- GRADE:** 0" level.
- Structural Elements:** Includes a "PRE-ENGINEERED ROOF TRUSSES BY TRUSS MANUFACTURER" and various framing members.

Middle Section: Shows a vertical column or post structure. Key features include:

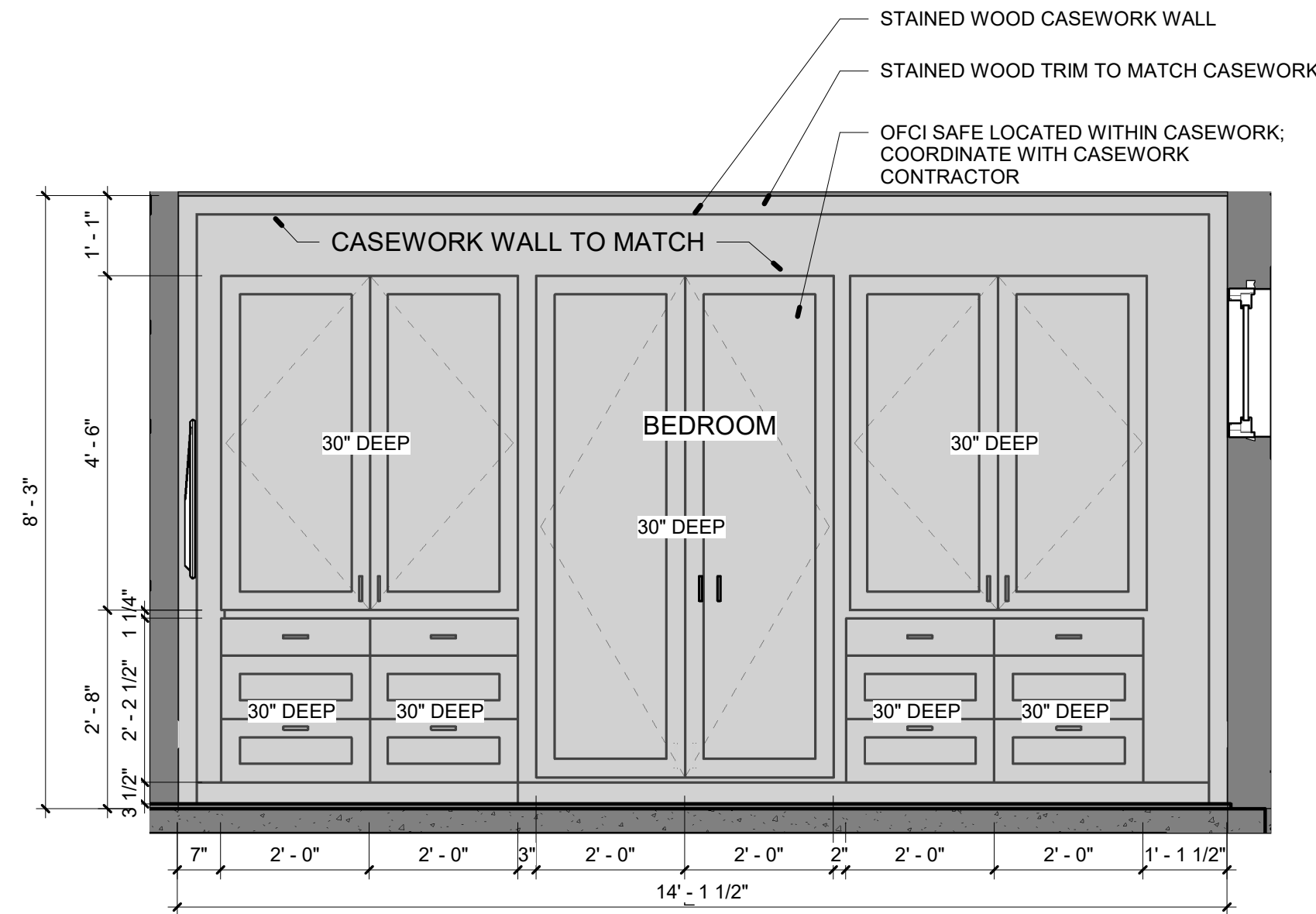
- ADU ROOF PLATE:** 11' - 6" wide.
- ADU CEILING:** 8' - 7" high.
- NEW WORK FLOOR PLAN:** 4" thick.
- GRADE:** 0" level.
- Structural Elements:** Includes a central vertical post and base foundation details.

Right Section: Shows a cross-section of a wall and roof assembly, similar to the left section but with different material callouts. Key features include:

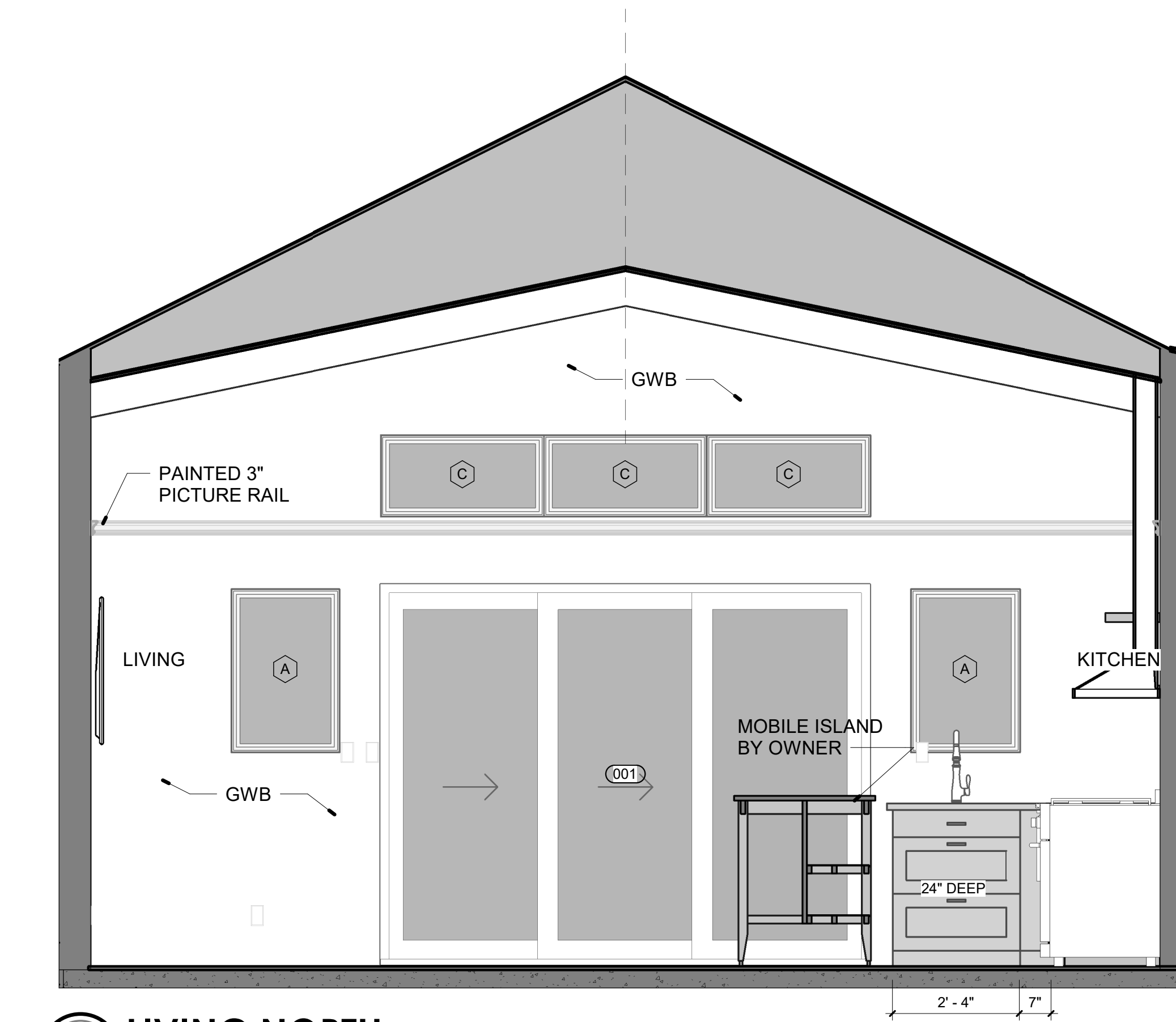
- ADU ROOF PLATE:** 11' - 6" wide.
- ADU CEILING:** 8' - 7" high.
- NEW WORK FLOOR PLAN:** 4" thick.
- GRADE:** 0" level.
- Structural Elements:** Includes a "PICTURE RAIL MOUNTING HEIGHT" detail and various framing members.

1800 N 15TH AVE
PENSACOLA, FL 32503

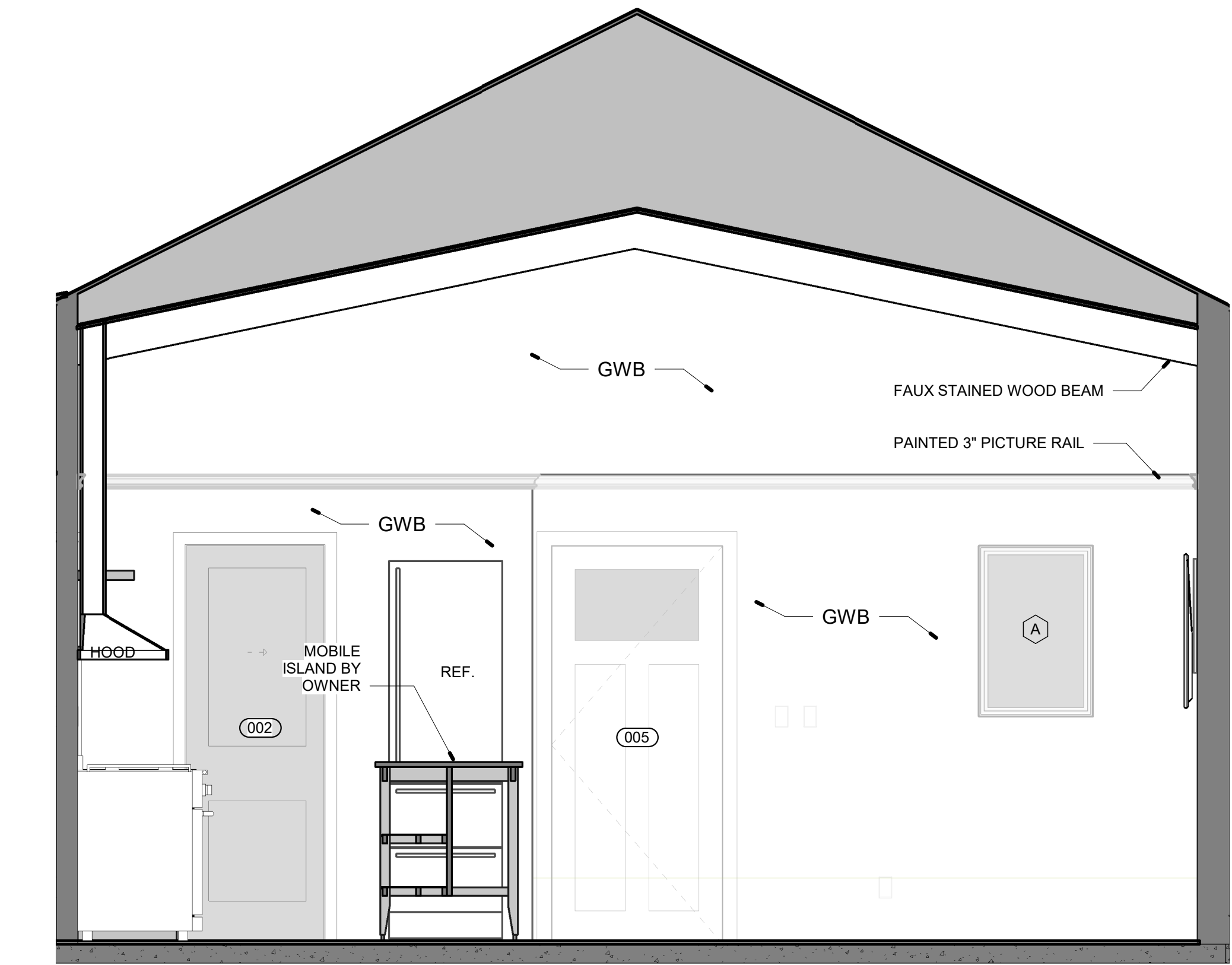
PROJECT NO
20020



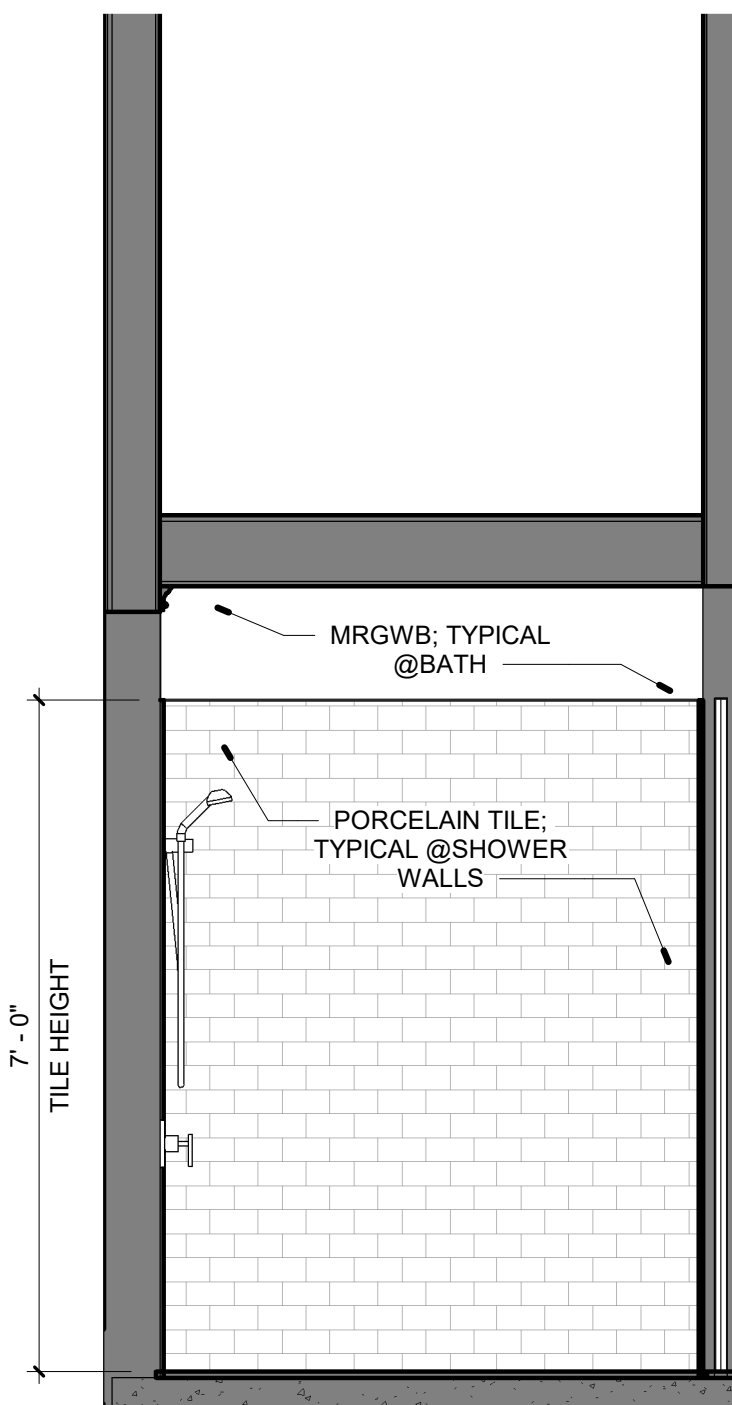
5 BEDROOM NORTH
1/2" = 1'-0"



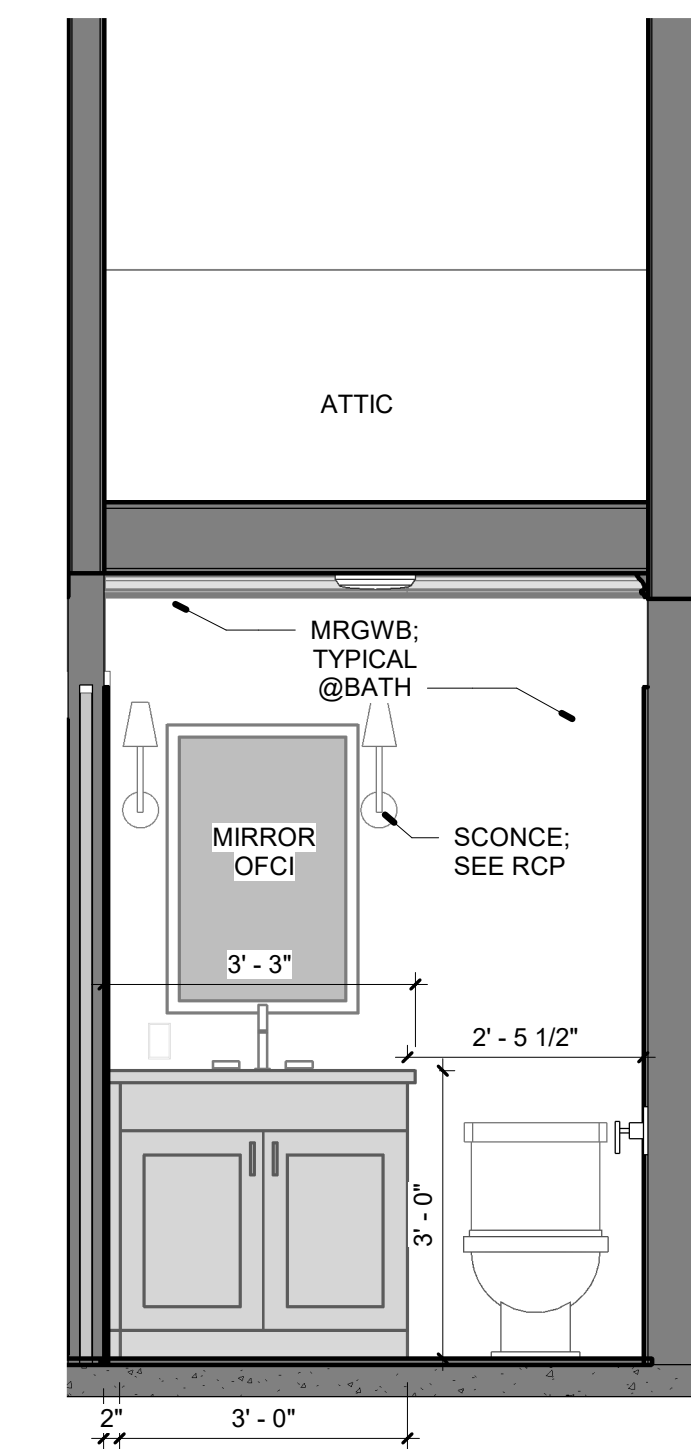
2 LIVING NORTH
1/2" = 1'-0"



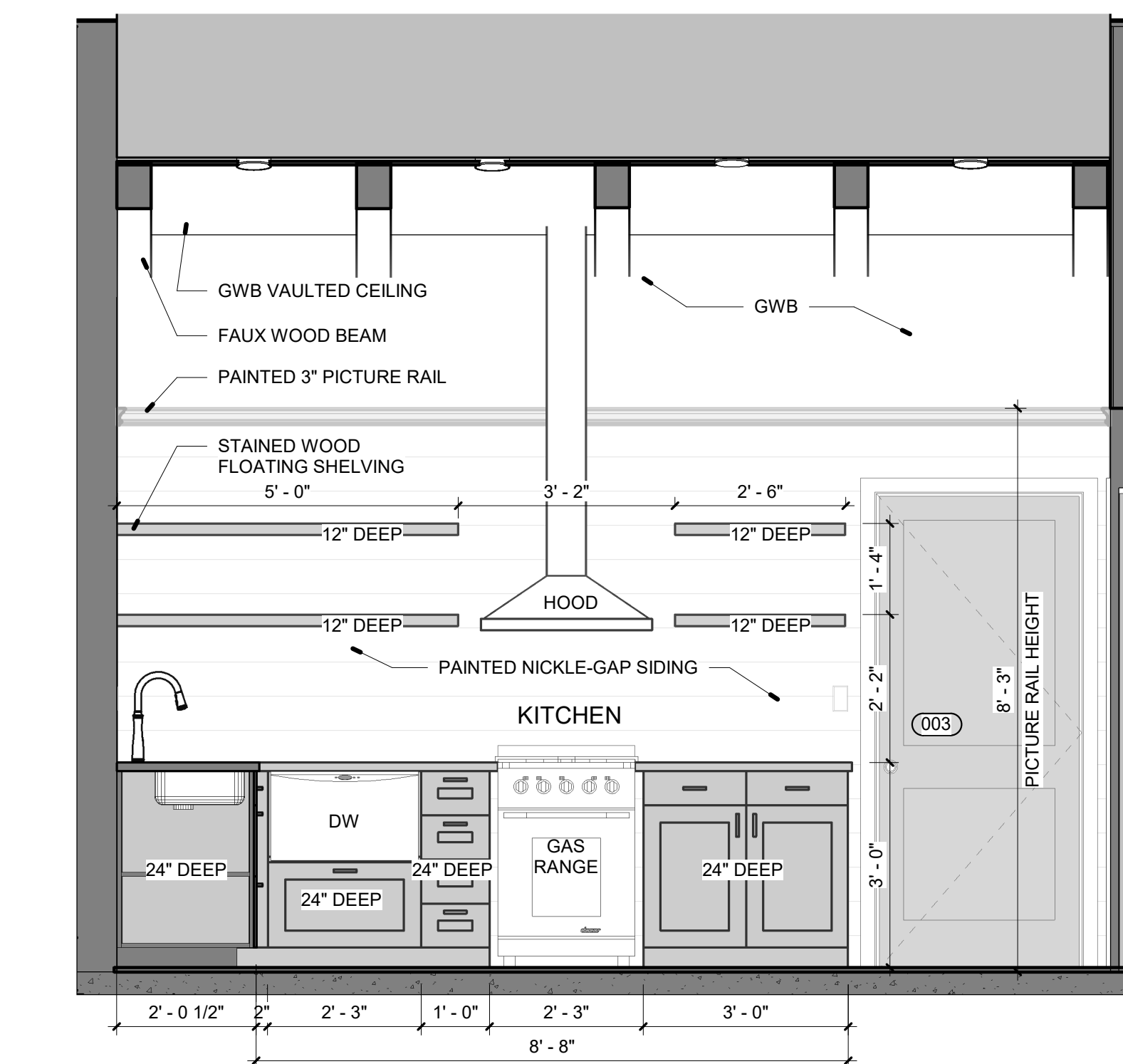
3 LIVING SOUTH
1/2" = 1'-0"



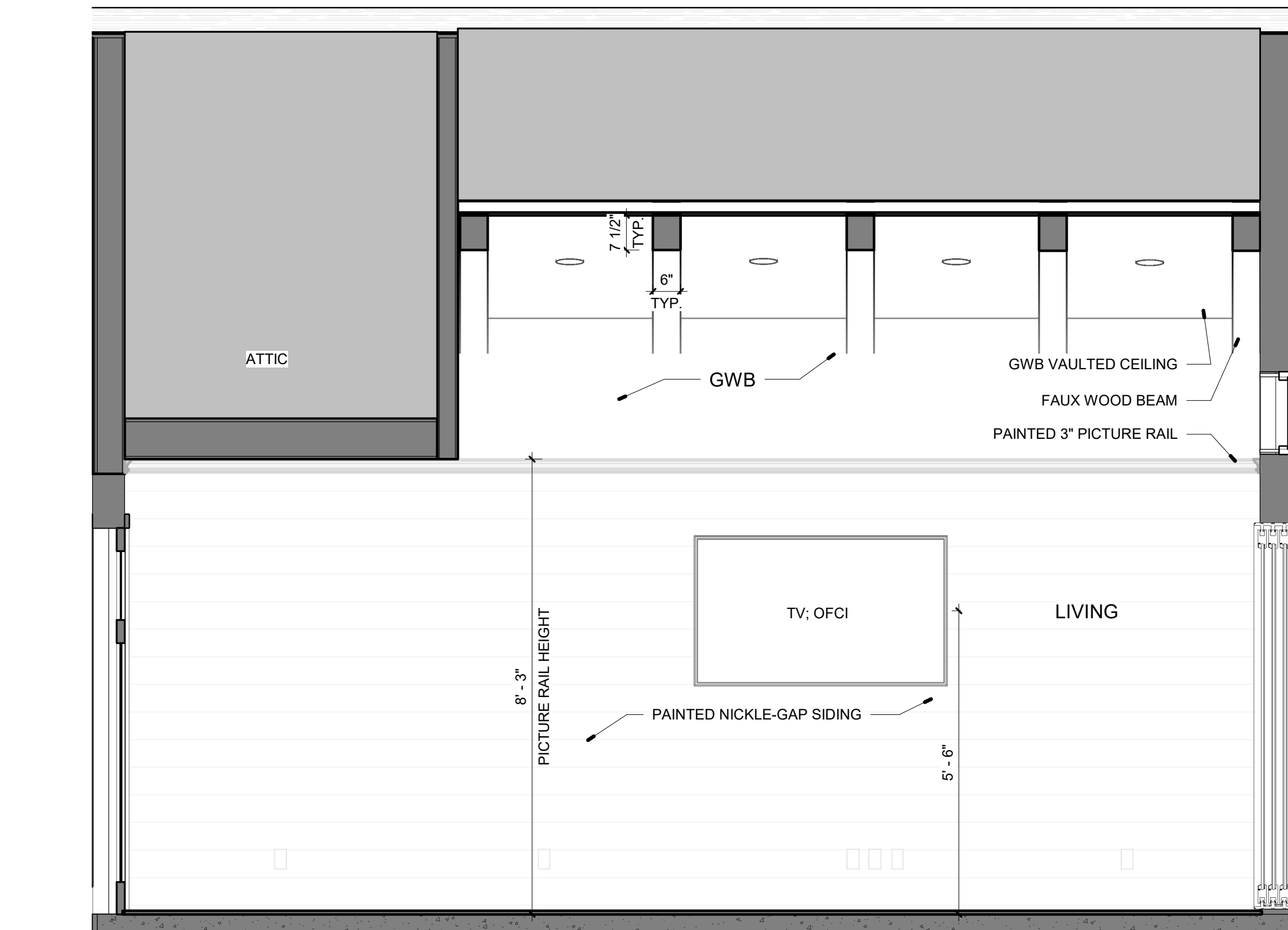
7 BATHROOM WEST
1/2" = 1'-0"



6 BATHROOM EAST
1/2" = 1'-0"



1 KITCHEN EAST
1/2" = 1'-0"



4 LIVING WEST
1/2" = 1'-0"



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AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT WRITTEN CONSENT OF
THE FIRM'S PRINCIPALS



PERMIT SET

NAAB ADU
1800 N 15TH AVE
PENSACOLA, FL 32503

DRAWN BY:
LBW

CHECKED BY:
JSS

ISSUE DATE:
8/25/2020

REVISIONS
No. Des. Date

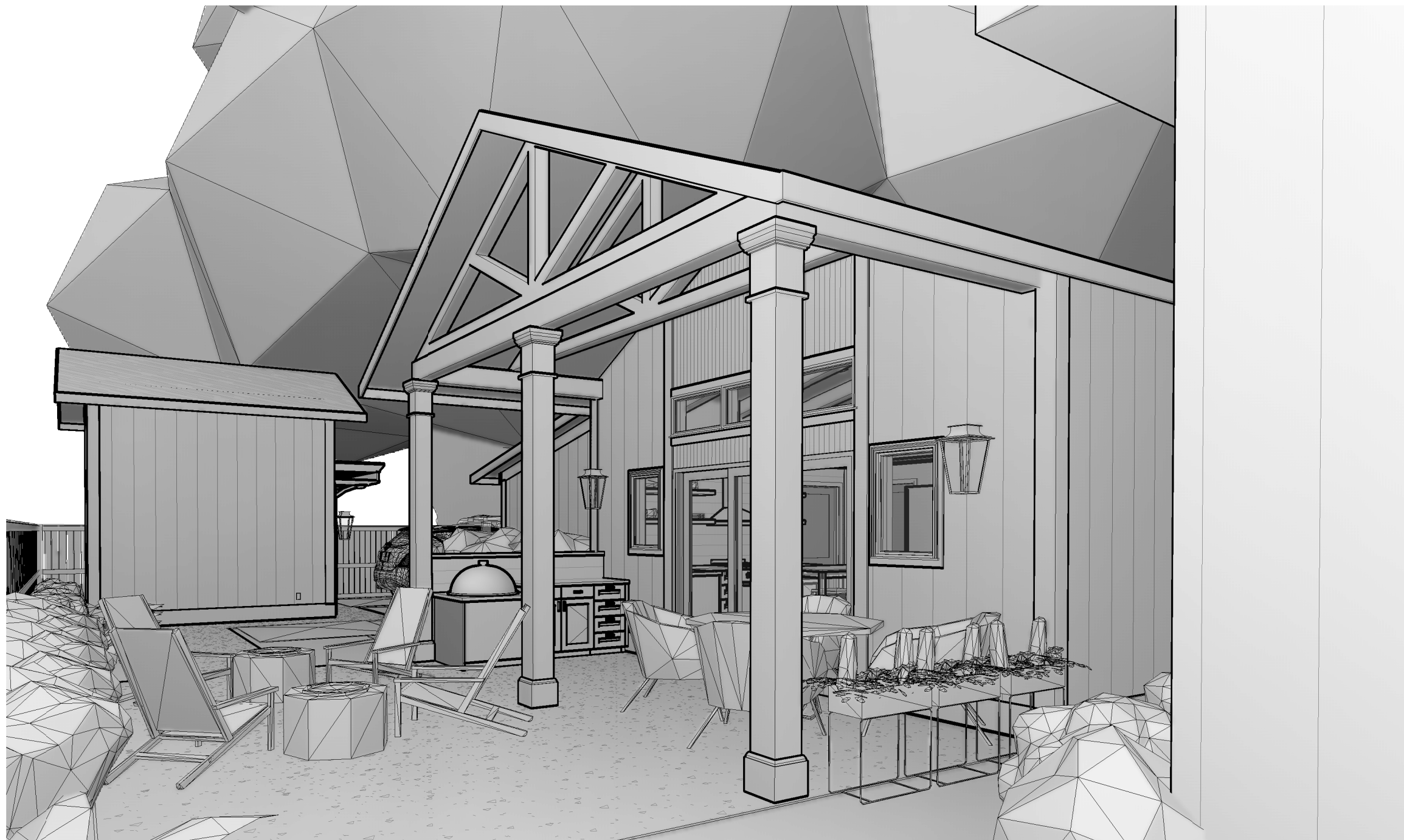
SHEET TITLE:

**INTERIOR
ELEVATIONS**

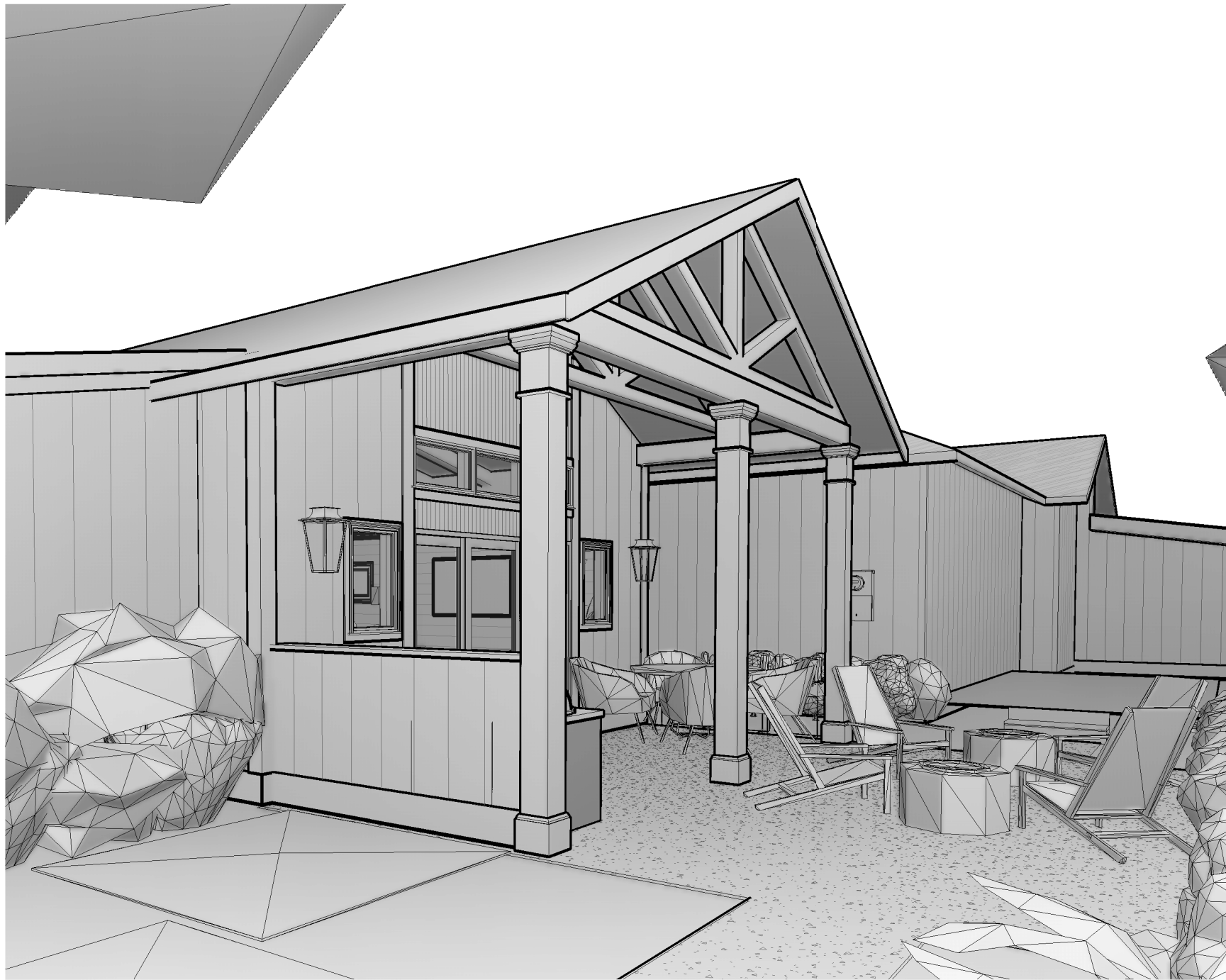
SHEET NO:

A401

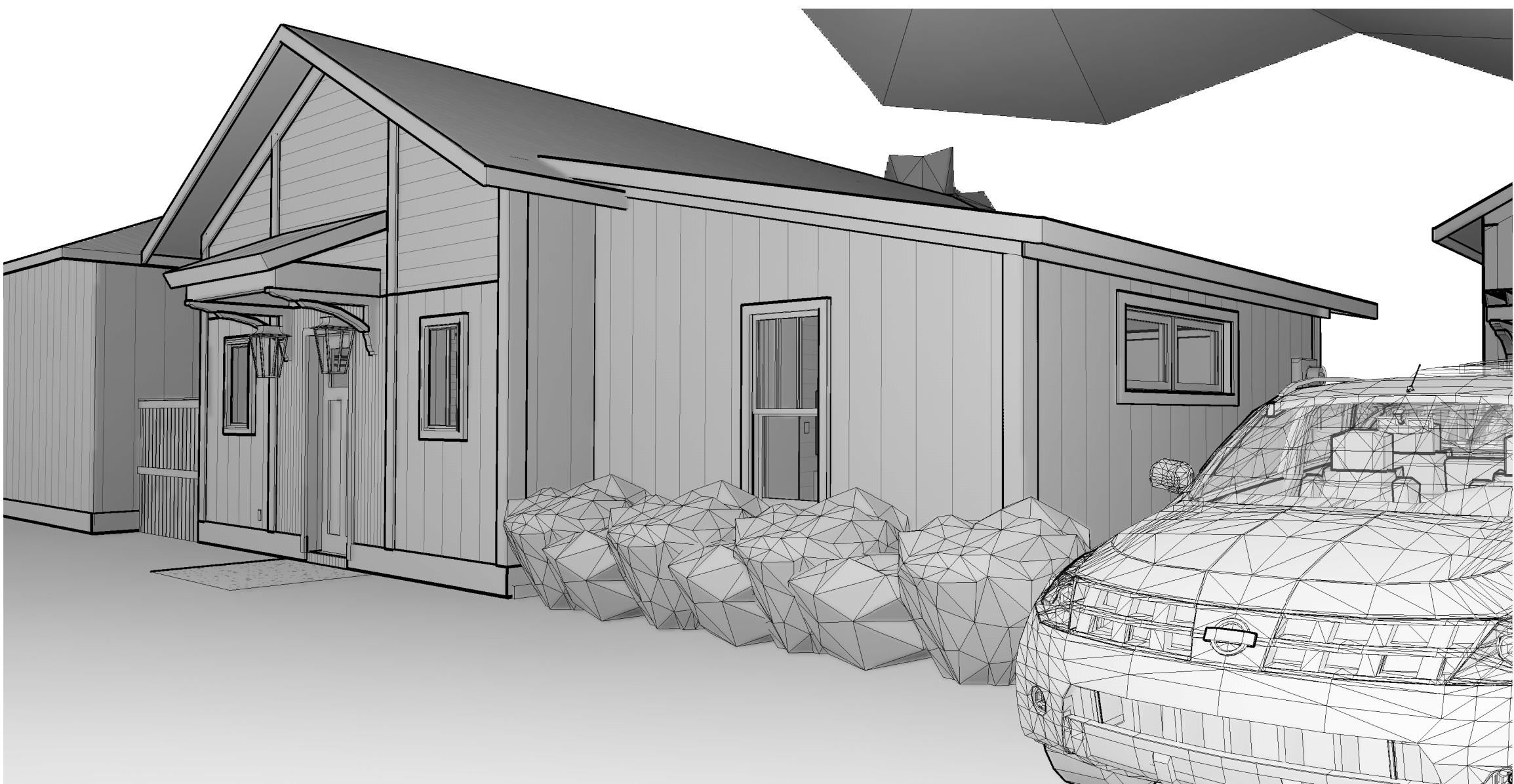
PROJECT NO:
20020



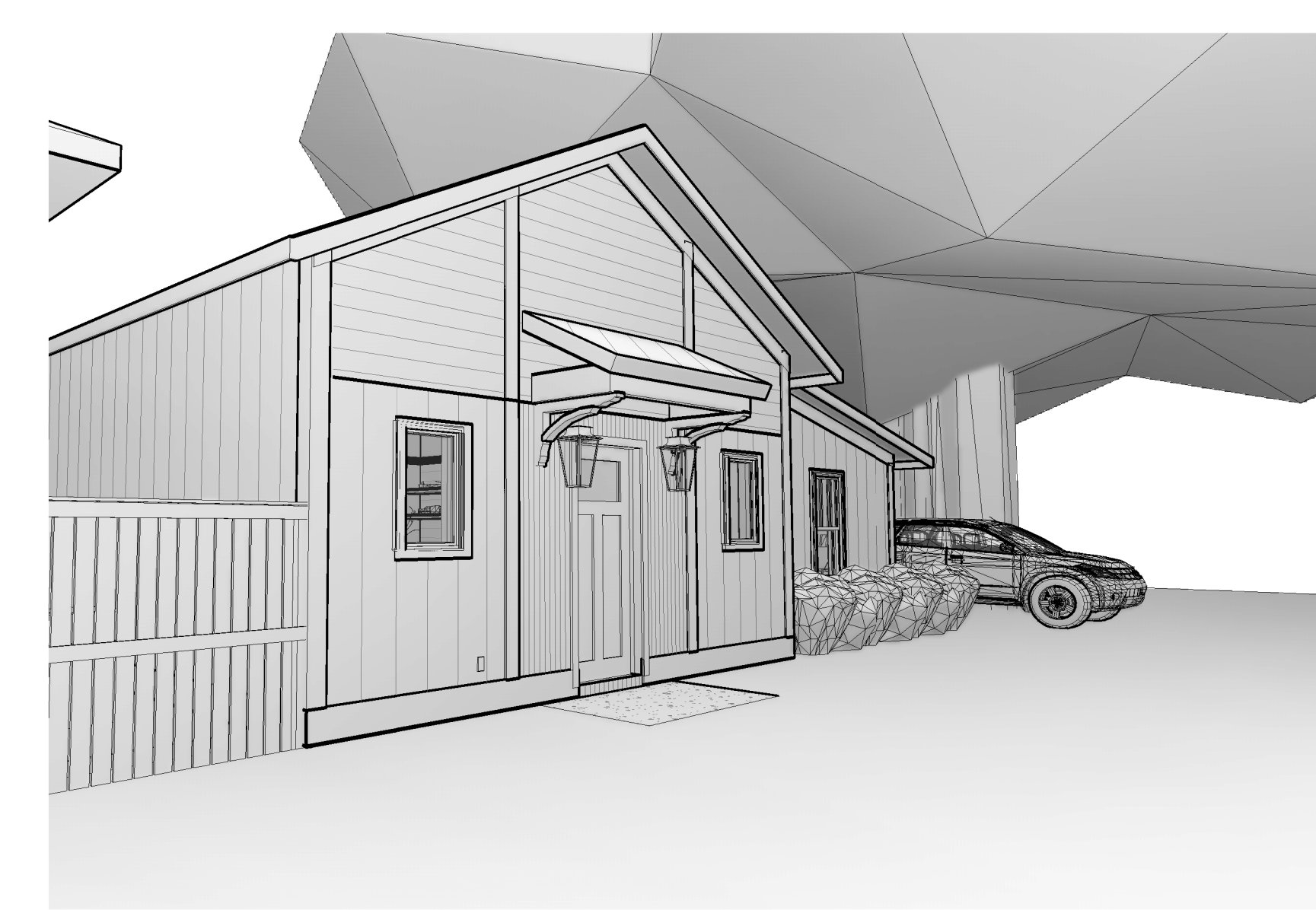
2 North Exterior 2



1 North Exterior




4 South Exterior 2



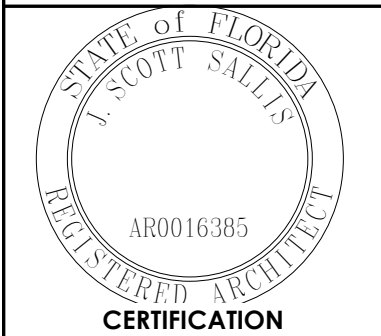
3 South Exterior 1

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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CERTIFICATION

PERMIT SET

NAAB ADU
1800 N 15TH AVE
PENSACOLA, FL 32503

DRAWN BY:	CHECKED BY:
LBW	JSS

ISSUE DATE:
8/25/2020

REVISIONS		
No.	Des.	Date

SHEET TITLE:
3D EXTERIOR PERSPECTIVE VIEWS

SHEET NO:
A701

PROJECT NO:
20020



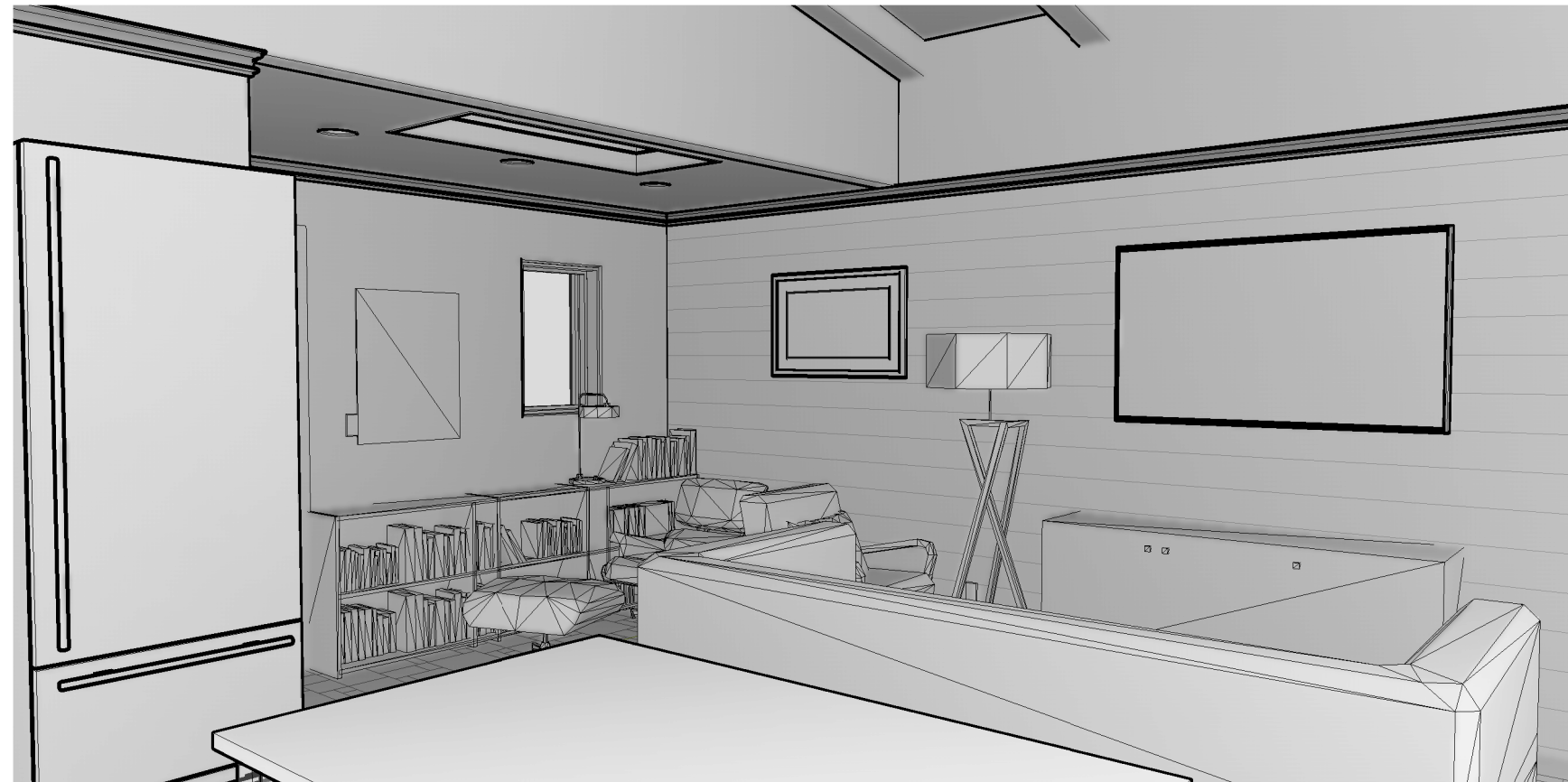
2 Kitchen 2



3 Living 1



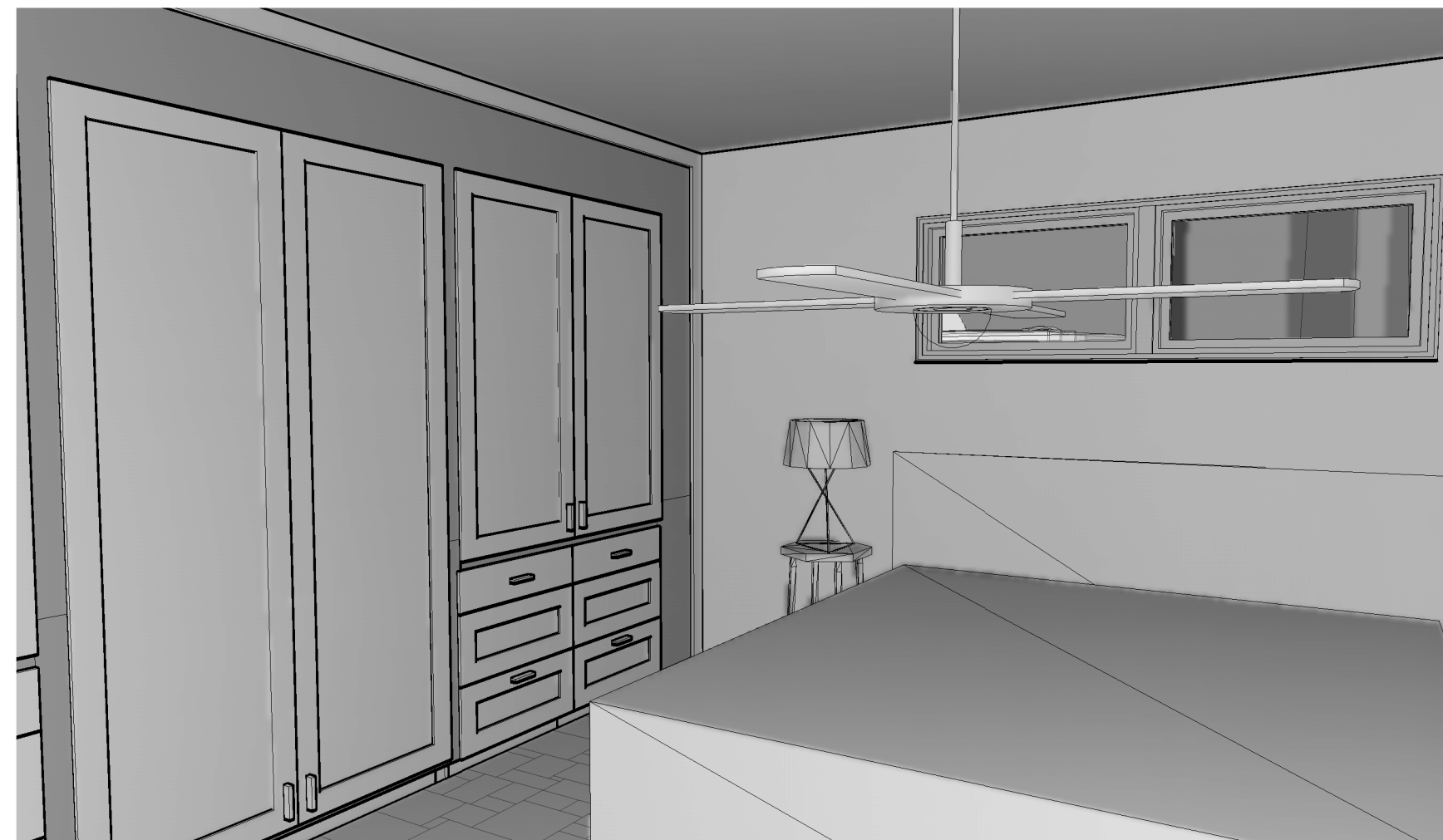
1 Kitchen 1



5 Sitting 1



4 Main 1



6 Bedroom 1

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS

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CERTIFICATION

PERMIT SET

NAAB ADU

1800 N 15TH AVE
PENSACOLA, FL 32503

DRAWN BY:	CHECKED BY:
LBW	Checker
ISSUE DATE: 8/25/2020	
REVISIONS	
No.	Des. Date
SHEET TITLE:	
3D INTERIOR PERSPECTIVE VIEWS	
SHEET NO:	
A702	
PROJECT NO: 20020	



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00566

Zoning Board of Adjustments

9/16/2020

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/9/2020

SUBJECT:

ZBA 2020-008
4532 Menewa Path
R-1AAA Zoning District

BACKGROUND:

Mr. Matt Banks, Banks Construction is requesting a Variance to reduce the required rear setback from 30.0 FT to 24.7 FT to accommodate an addition. The proposed addition is to renovate and expand the existing master bedroom. The existing sunroom encroaches into the setback and will tie into the addition.

Staff has reviewed the permits on file and cannot determine the background on the enclosed screen porch and existing encroachment.

Staff has also reviewed our GIS maps and the Escambia County Property Appraisers records which both indicate the existing covered porch was existing in 1999.



City of
Pensacola
*America's First Settlement
And Most Historic City*

- ☒ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) 12-2-3(D) / T.12-2.1 Zoning B1AAA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 4532 MENEWA PATH, PENSACOLA, FLORIDA 32504

Current use of property: SINGLE FAMILY RESIDENCE

1. Describe the requested variance(s): (OPTION A) WE'RE REQUESTING A 5' 3" OVERAGE OF THE REAR YARD SETBACK. THE SECOND OPTION (OPTION B) IS A 4' 2" OVERAGE OF THE REAR YARD SETBACK. OPTION B WOULD MATCH THE EXISTING HOME'S CURRENT SETBACK OVERAGE.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

THE HOMEOWNER IS REQUESTING A VARIANCE THAT WOULD ALLOW THEM TO MATCH THE OVERAGE OF

NEIGHBORING PROPERTIES OR THEIR EXISTING HOME.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

NEIGHBORING HOMES CURRENTLY SIT OVER THE REAR YARD SET BACK; THE HOMEOWNERS WISH TO MATCH THE OVERAGE AND USE THAT SQUARE FOOTAGE TO CREATE A MODERN MASTER SUITE THAT WILL NOT ONLY MATCH THE NEIGHBORING PROPERTIES BUT LOOK THE MOST AESTHETICALLY PLEASING.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

THE HOME CURRENTLY EXCEEDS THE REAR YARD SETBACK. THE PROPOSED ADDITION WOULD SIMPLY SQUARE OFF THE REAR/RIGHT CORNER OF THE HOUSE. THIS WOULD NOT NEGATIVELY IMPACT NEIGHBORING PROPERTIES AS THEIR HOMES CURRENTLY EXCEED THE REAR YARD SET BACK IN A SIMILAR FASHION.
SEE ATTACHED

5. Explain what other condition(s) may justify the proposed variance(s):

CLIENTS SIMPLY WANT TO MATCH THE OVERAGES OF THE NEIGHBORING PROPERTIES; AND TO THE BENEFIT OF THE NEIGHBORING PROPERTIES. CREATE AN ADDITION THAT IS THE MOST AESTHETICALLY PLEASING.


Application Date: 8/26/2020

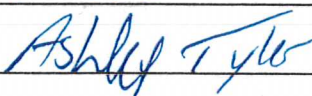
Applicant: MATT BANKS / BANKS CONSTRUCTION

Applicant's Address: 500 N 9TH AVE, PENSACOLA, FLORIDA 32501

Email: MBANKSCONSTRUCTION@GMAIL.COM

Phone: 850-572-4267

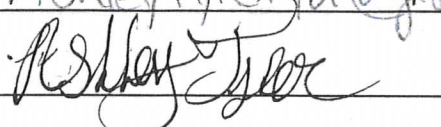
Applicant's Signature: 

Property Owner: 

Property Owner's Address: 4532 MENEWA PATH, PENSACOLA, FLORIDA 32504

Email: Ashleytyle2@gmail.com

Phone: 850-426-1727

Property Owner's Signature: 

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

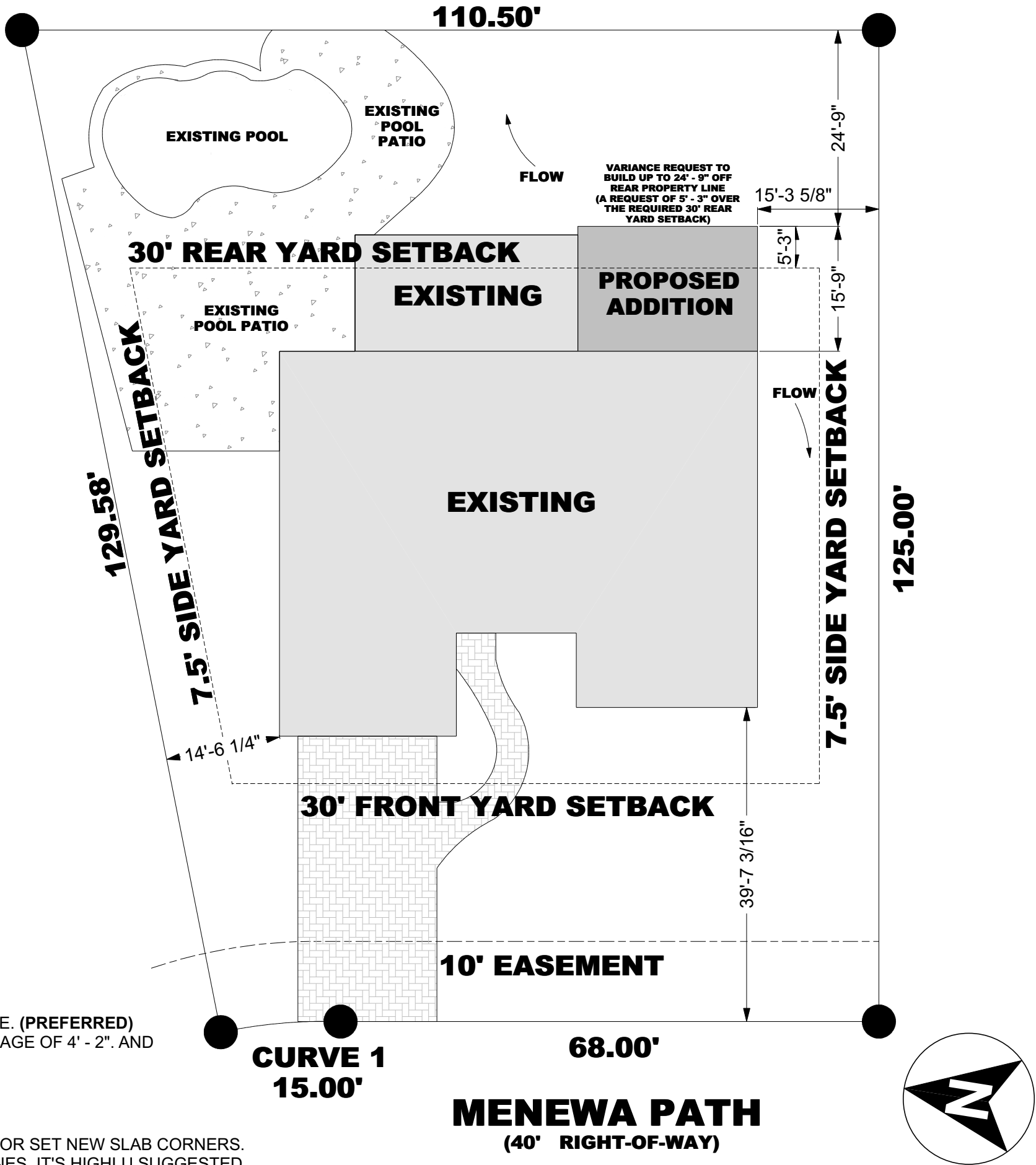
PROPOSED SITE PLAN
SCALE: 1" = 15' - 0"

VARIANCE REQUEST:

- 1. REQUESTING A 5' - 3" REAR YARD SETBACK OVERAGE. (PREFERRED)
- 2. OPTION B. MATCH THE CURRENT STRUCTURE OVERAGE OF 4' - 2". AND MATCH THE BACK OF THE EXISTING HOME.

SITE PLAN NOTES:

- 1. SITE PLAN BASED ON CLIENT PROVIDED SURVEY.
- 2. IT IS HIGHLY SUGGESTED THAT A LICENSED SURVEYOR SET NEW SLAB CORNERS.
- 3. DUE TO THE CLOSE PROXIMITY TO THE SETBACK LINES, IT'S HIGHLU SUGGESTED THAT THE CONTRACTOR FIELD VERIFY THE SITE MEASUREMENT TO CONFIRM LAYOUT IS AS SHOWN.



REVISIONS

PROJECT INFORMATION	
DESCRIPTION:	Tyler Renovation & Addition
NAME:	
ADDRESS:	4532 Menewa Path, Pensacola, FL 32506

REVISIONS	
A	
B	
C	

REFLECTIONS Home Designs & CAD Services
Email: timdanieljr83@gmail.com / Phone: (850)-417-5332
facebook.com/ReflectionsHomeDesigns
twitter.com/HomeDesignsCAD
instagram.com/HomeDesignsCAD

DATE:	08/25/2020
SCALE:	-
SHEET:	ARCHITECTURAL 2 OF 5

ENGINEERED SHEETS
ARE SIGNED & SEALED

TYLER MASTER RENOVATION / ADDITION

4532 Menewa Path, Pensacola FL. 32506

BANKS



CONSTRUCTION
(850)572-4267

TABLE OF CONTENTS

ARCHITECTURAL SHEETS

- SHEET 1 OF 5: COVER SHEET
- SHEET 2 OF 5: PROPOSED SITE PLAN
- SHEET 3 OF 5: PROPOSED FRONT & RIGHT ELEVATION
- SHEET 4 OF 5: PROPOSED FLOOR PLAN
- SHEET 5 OF 5: PROPOSED ELECTRICAL PLAN

SQUARE FOOTAGE

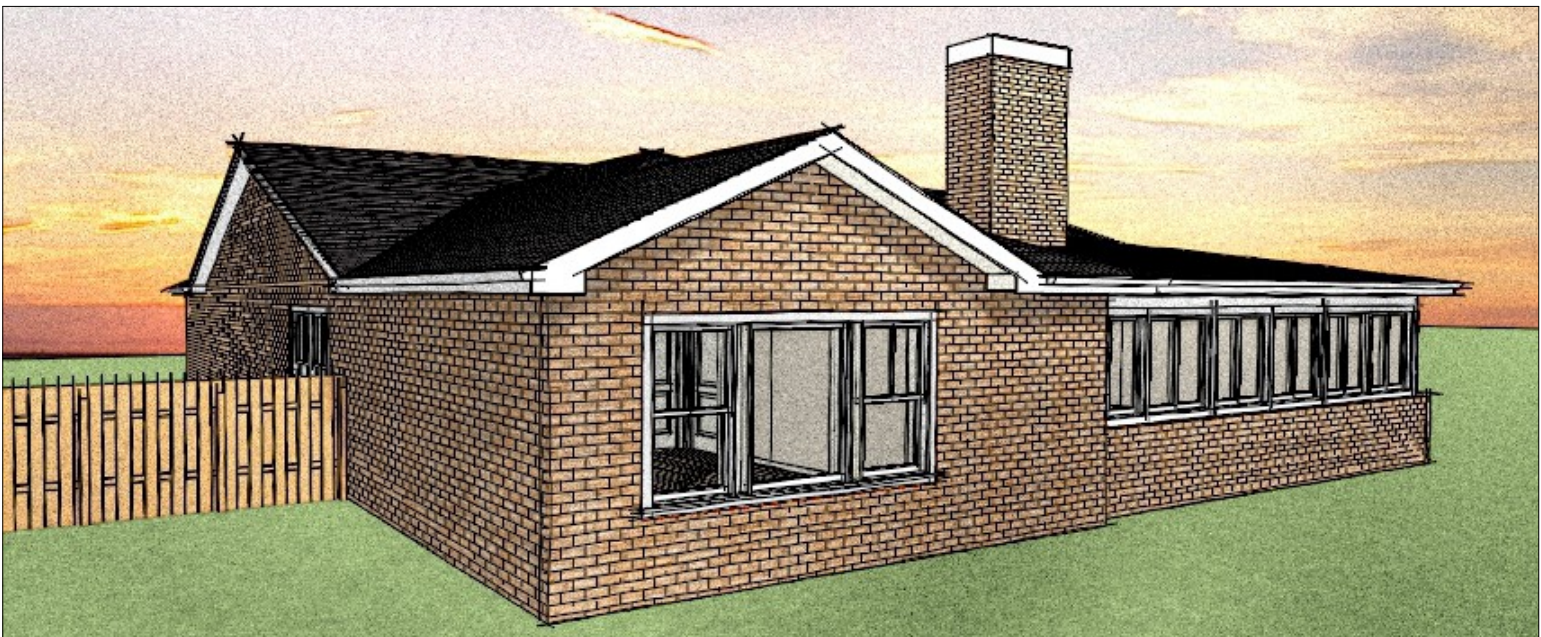
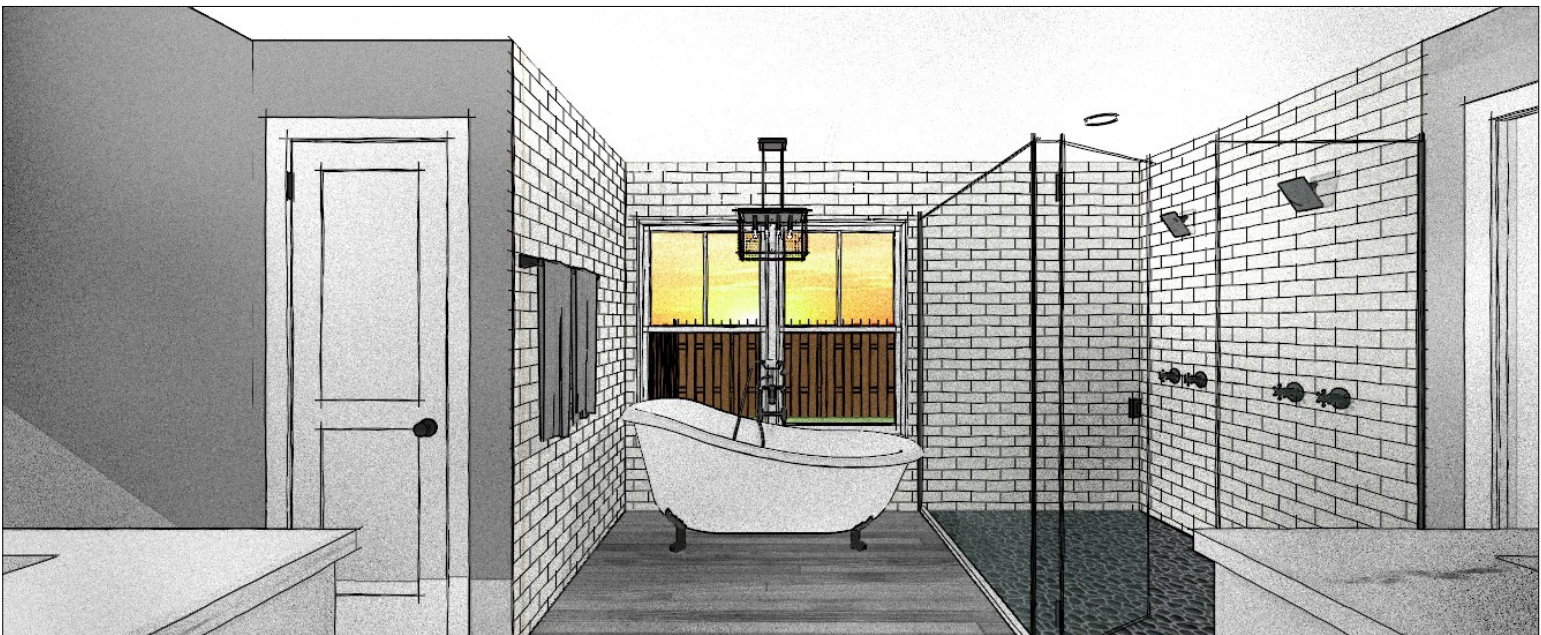
- EXISTING BASE - 2,185
- EXISTING GARAGE - 483
- EXISTING OPEN FINISHED PORCH - 25
- EXISTING SUNROOM - 406

EXISTING TOTAL SQUARE FOOTAGE - 3,099

PROPOSED ADDITION - 351
PROPOSED TOTAL SQUARE FOOTAGE - 3,450

SCOPE OF WORK

THE CLIENT IS LOOKING TO RENOVATE & EXPAND THE EXISTING MASTER BEDROOM. AN ADDITION WILL BE PLACED OFF THE REAR OF THE HOME & THE EXISTING SUNROOM WILL TIE INTO THE ADDITION. THE EXISTING MASTER BATHROOM FIXTURE LOCATIONS WILL MOVE TO ACCOMMODATE THE NEW LAYOUT.



ENGINEERED SHEETS
ARE SIGNED & SEALED

REVISIONS

A
B
C

PROJECT INFORMATION

DESCRIPTION: Tyler Renovation & Addition

NAME:

ADDRESS: 4532 Menewa Path, Pensacola, FL. 32506

**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com / Phone: (850)-417-5332

facebook.com/ReflectionsHomeDesigns
twitter.com/HomeDesignsCAD
instagram.com/HomeDesignsCAD

DATE: 07/23/2020

SCALE: -

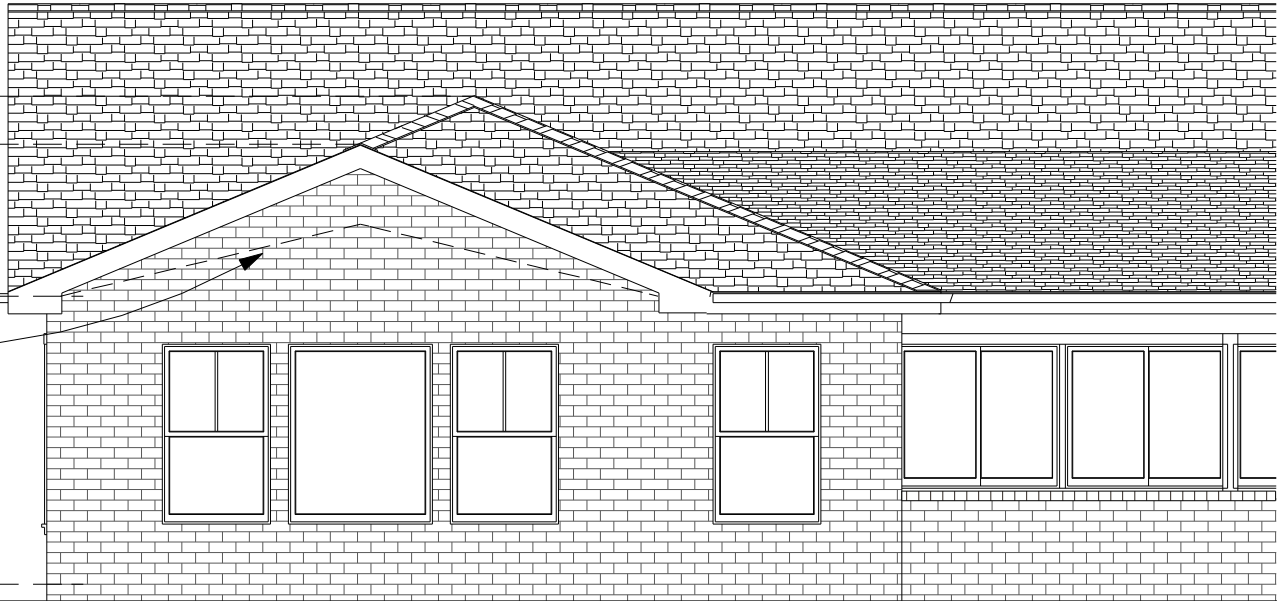
SHEET: ARCHITECTURAL
1 OF 5

13' - 6" RIDGE HEIGHT (HIP)
12' - 2 1/2" RIDGE HEIGHT (GABLE)

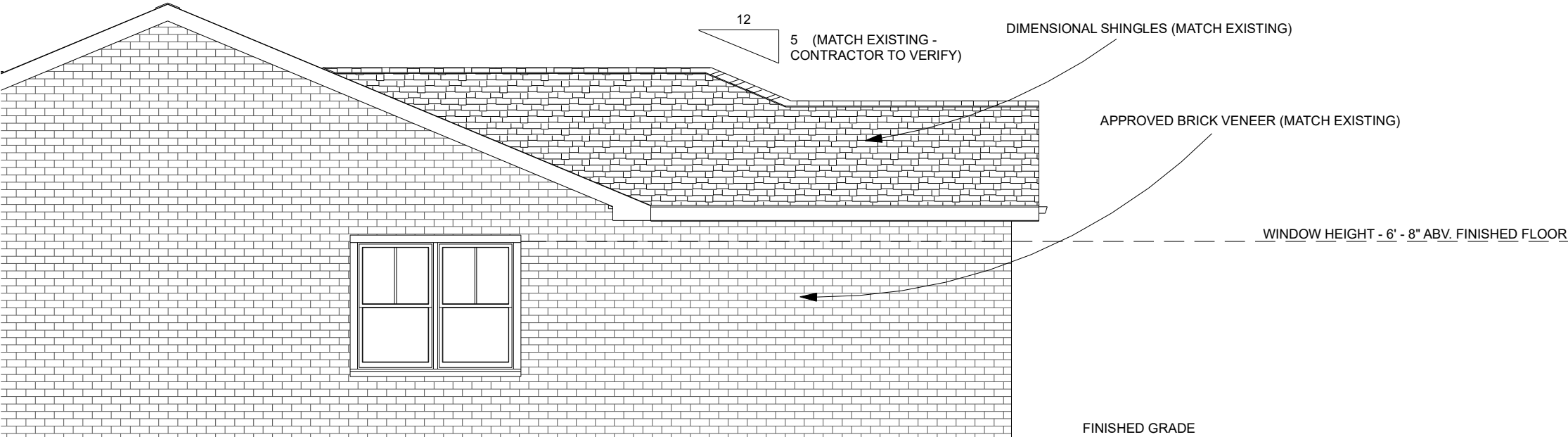
8' - 0" CEILING HEIGHT

2 : 12 CATHEDRAL CEILING (MASTER BEDROOM)

FINISHED FLOOR ELEVATION



PROPOSED REAR ELEVATION
SCALE: 3/16" = 1' - 0"



PROPOSED RIGHT ELEVATION
SCALE: 3/16" = 1' - 0"

REVISIONS

A
B
C

PROJECT INFORMATION

DESCRIPTION: Tyler Renovation & Addition
NAME:

ADDRESS: 4532 Menewa Path, Pensacola, FL 32506

**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com / Phone: (850)-417-5332

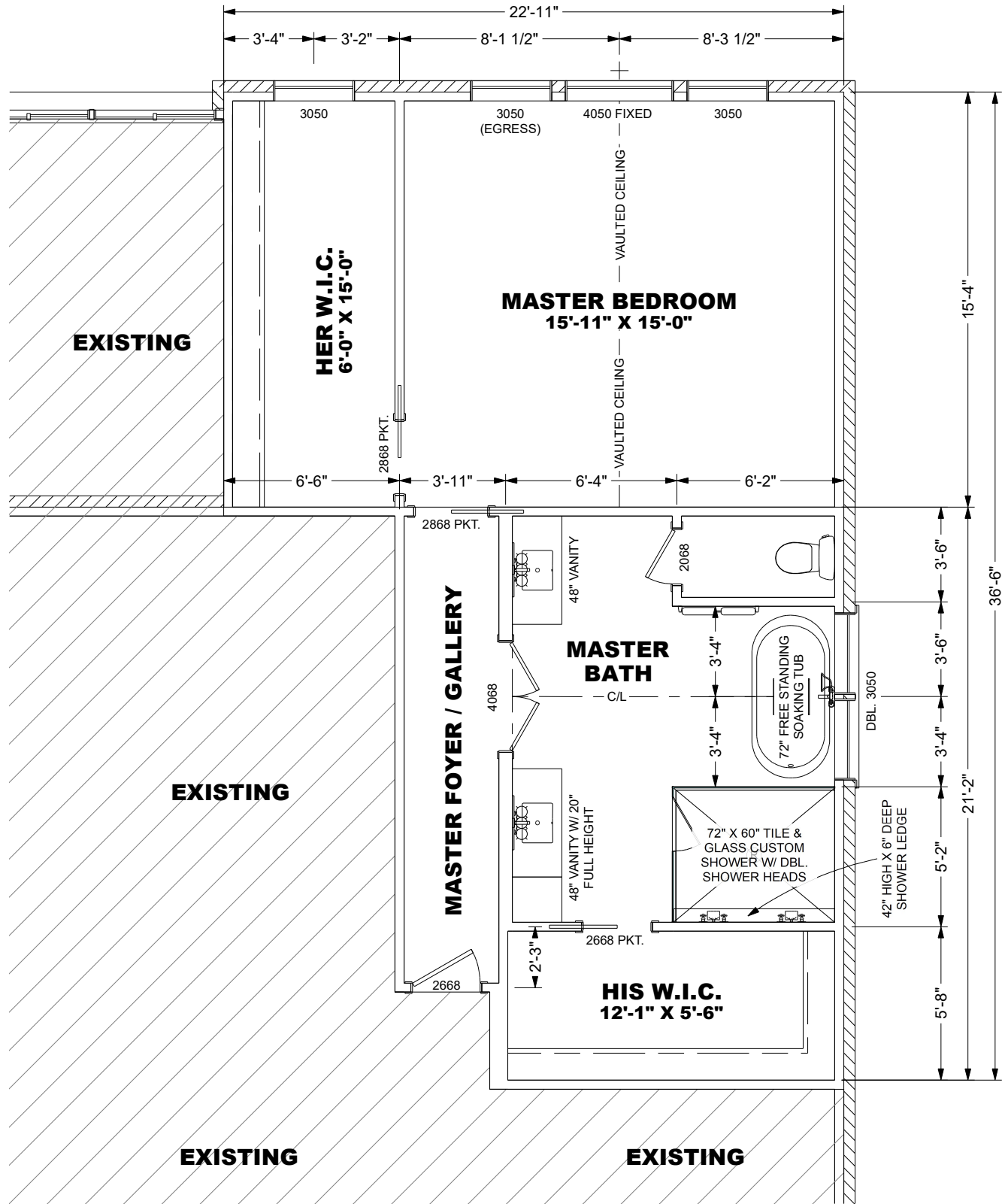
facebook.com/ReflectionsHomeDesigns
twitter.com/HomeDesignsCAD
instagram.com/HomeDesignsCAD

DATE: 07/23/2020

SCALE: -

SHEET: ARCHITECTURAL
3 OF 5

ENGINEERED SHEETS
ARE SIGNED & SEALED



PROPOSED FLOOR PLAN
SCALE: 3/16" = 1' - 0"

ENGINEERED SHEETS
ARE SIGNED & SEALED

REVISIONS	
A	
B	
C	

PROJECT INFORMATION	
DESCRIPTION:	Tyler Renovation & Addition
NAME:	
ADDRESS:	4532 Menewa Path, Pensacola, FL 32506

BANKS

CONSTRUCTION

(850)572-4267

**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com / Phone: (850)-417-5332

facebook.com/ReflectionsHomeDesigns
twitter.com/HomeDesignsCAD
instagram.com/HomeDesignsCAD

DATE:	07/23/2020
SCALE:	-
SHEET:	ARCHITECTURAL 4 OF 5

Reference: 151S290550054001

Account: [012528372](#)

Section Map: [15-1S-29-1](#)

Situs: 4525 MENEWA PATH

Complex: LAVALLET UNIT #4 PB 8 P 67 5TH ADDN PB 9 P 62 6...

Owner: SMITH LARRY

Mailing Address:

4525 MENEWA PATH

PENSACOLA, FL 32504

Last Sale: 10/2005, \$400,000

Property Use: SINGLE FAMILY RESID

Approx. Acreage: 0.3436 ac

Bldg. Count: 1

Total Heated Area: 3,282 sf

Zoned: R-1AAA

Taxing Auth: PENSACOLA CITY LIMITS

Schools:

Elem: CORDOVA PARK

Int: WORKMAN

High: WASHINGTON

Address

Ex. 123 E Main

☒ Like ☐ Begins ☐ Ends ☐ Equals

Execute Search

Selection



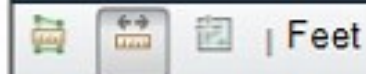
☐ Append Selection

☐ Suppress Auto Zoom

☐ Include radius in selection

ft (5280 ft max)

Measure



Measurement Result

27.5 Feet

Map Output

Layouts:

Map Only

Formats:

JPG

Export Map

Account: [012528370](#)
Section Map: [15-1S-29-1](#)

Situs: 4520 MENEWA PATH
Complex: LAVALLET UNIT #4 PB 8 P 67 5TH ADDN PB 9 P 62 6...
Owner: CHEW NANCY JEAN
Mailing Address:
4520 MENEWA PATH
PENSACOLA, FL 32504-8042
Last Sale: 8/12/2014, \$100
Property Use: SINGLE FAMILY RESID
Approx. Acreage: 0.3065 ac
Bldg. Count: 1
Total Heated Area: 2,388 sf
Zoned: R-1AAA
Taxing Auth: PENSACOLA CITY LIMITS
Schools:
Elem: CORDOVA PARK
Int: WORKMAN
High: WASHINGTON

Address

Ex. 123 E Main

☒ Like ☐ Begins ☐ Ends ☐ Equals

Execute Search

Selection



- ☐ Append Selection
☐ Suppress Auto Zoom

- ☐ Include radius in selection
 ft (5280 ft max)

Measure



Measurement Result

15.6 Feet

Map Output

Layouts:

Map Only

Formats:

JPG

Export Map

Reference: 151S290550052001

Account: [012528368](#)

Section Map: [15-1S-29-1](#)

Situs: 4526 MENEWA PATH

Complex: LAVALLET UNIT #4 PB 8 P 67 5TH ADDN PB 9 P 62 6...

Owner: MAGER JEFFREY T &

Mailing Address:
4526 MENEWA PATH
PENSACOLA, FL 32504

Last Sale: 10/17/2014, \$285,000

Property Use: SINGLE FAMILY RESID

Approx. Acreage: 0.2283 ac

Bldg. Count: 1

Total Heated Area: 2,594 sf

Zoned: R-1AAA

Taxing Auth: PENSACOLA CITY LIMITS

Schools:
Elem: CORDOVA PARK
Int: WORKMAN
High: WASHINGTON

Search

Address ▼

Ex. 123 E Main

☒ Like ☐ Begins ☐ Ends ☐ Equals

Execute Search

Selection

☐ Append Selection

☐ Suppress Auto Zoom

☐ Include radius in selection

ft (5280 ft max)

Measure

Feet

Measurement Result

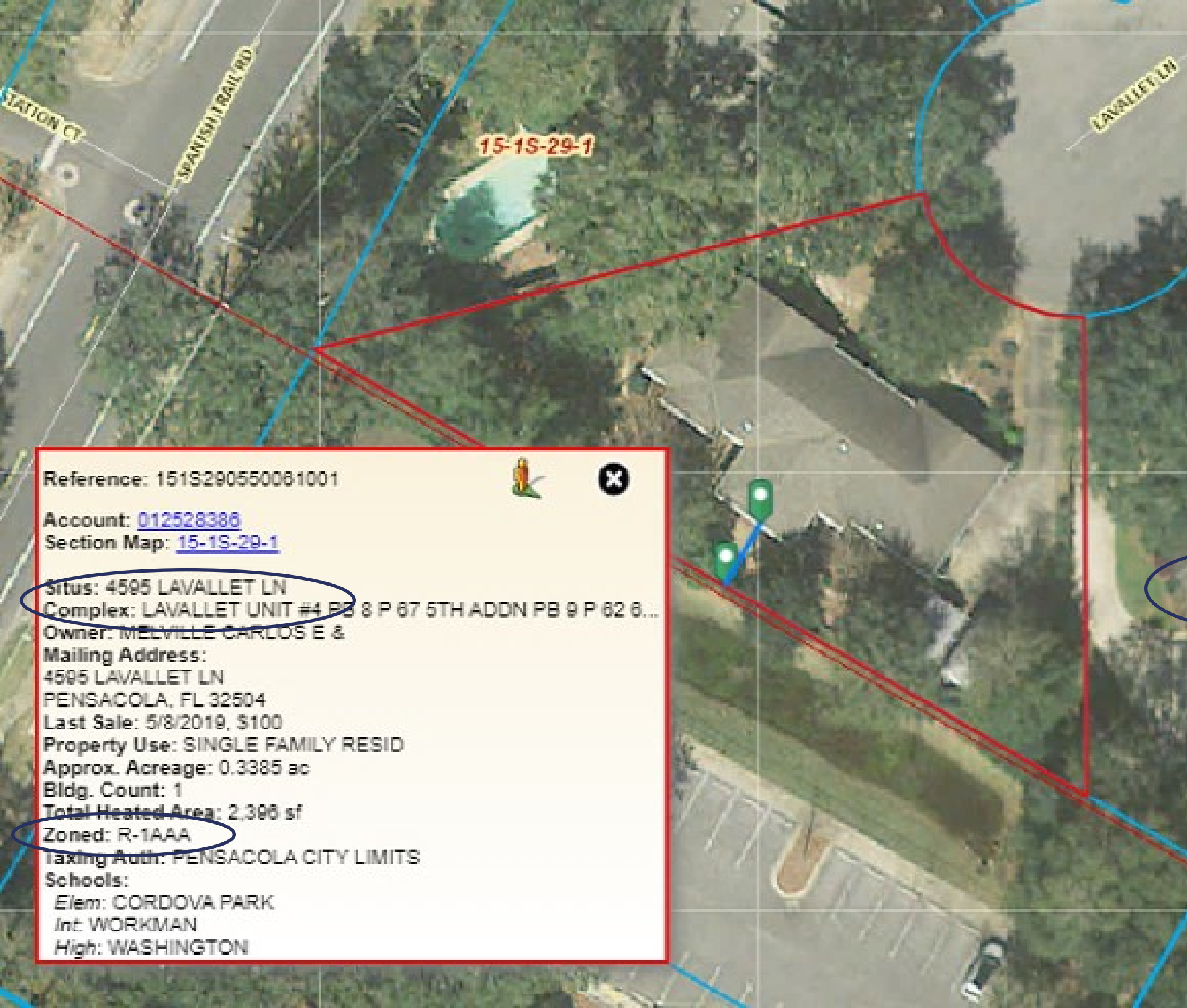
22.4 Feet

Map Output

Layouts: Map Only ▼

Formats: JPG ▼

Export Map



Reference: 151S290550081001

Account: [012528386](#)

Section Map: [15-1S-29-1](#)

Situs: 4595 LAVALLET LN

Complex: LAVALLET UNIT #4 PB 8 P 67 5TH ADDN PB 9 P 62 6...

Owner: MELVILLE CARLOS E &

Mailing Address:

4595 LAVALLET LN

PENSACOLA, FL 32504

Last Sale: 5/8/2019, \$100

Property Use: SINGLE FAMILY RESID

Approx. Acreage: 0.3385 ac

Bldg. Count: 1

Total Heated Area: 2,396 sf

Zoned: R-1AAA

Taxing Auth: PENSACOLA CITY LIMITS

Schools:

Elem: CORDOVA PARK

Int: WORKMAN

High: WASHINGTON

☒ Like ☐ Begins ☐ Ends ☐ Equals

Execute Search

Selection



☐ Append Selection

☐ Suppress Auto Zoom

☐ Include radius in selection

ft (5280 ft max)

Measure



Feet

Measurement Result

17.9 Feet

Map Output

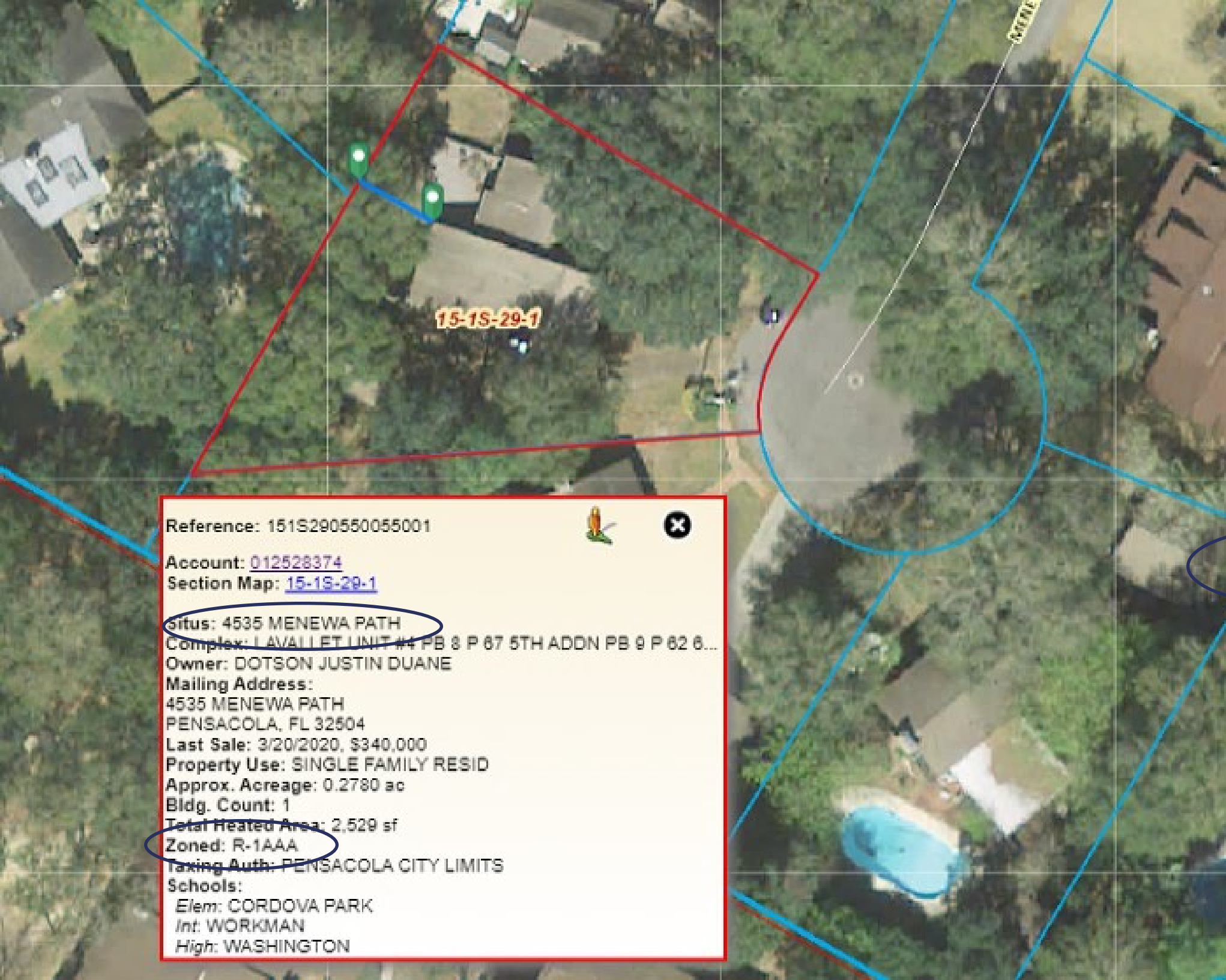
Layouts:

Map Only

Formats:

JPG

Export Map



Reference: 151S290550055001

Account: [012528374](#)

Section Map: [15-1S-29-1](#)

Situs: 4535 MENEWA PATH

Complex: LAVALLE UNIT #4 PB 3 P 67 5TH ADDN PB 9 P 62 6...

Owner: DOTSON JUSTIN DUANE

Mailing Address:

4535 MENEWA PATH
PENSACOLA, FL 32504

Last Sale: 3/20/2020, \$340,000

Property Use: SINGLE FAMILY RESID

Approx. Acreage: 0.2780 ac

Bldg. Count: 1

Total Heated Area: 2,529 sf

Zoned: R-1AAA

Taxing Auth: PENSACOLA CITY LIMITS

Schools:

Elem: CORDOVA PARK

Int: WORKMAN

High: WASHINGTON

Ex. 123 E Main

☒ Like ☐ Begins ☐ Ends ☐ Equals

Execute Search

Selection



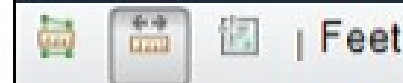
☐ Append Selection

☐ Suppress Auto Zoom

☐ Include radius in selection

ft (5280 ft max)

Measure



Measurement Result

23.9 Feet

Map Output

Layouts:

Map Only

Formats:

JPG

Export Map



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 20-00567

Zoning Board of Adjustments

9/16/2020

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/9/2020

SUBJECT:

ZBA 2020-009
1006 E. Texar Drive
R-AAA Zoning District

BACKGROUND:

Mr. Michael Dolezal, is requesting a Variance to reduce the required front yard setback from 30.0 FT to 26.0 FT and the front side yard from 15.0 FT to 14.0 to accommodate a carport extension and renovation to the existing carport.

Staff finds that there appears to be adequate room to accommodate the option of the carport being relocated within the rear and would have access to Escalona Avenue. This would still allow for the renovation to enclose the existing carport.

- ☐ **Zoning Board of Adjustment**
☐ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
 B. Site plan and/or survey showing the following details:.*
 1. Abutting street(s)
 2. Lot dimensions and yard requirements (setbacks)
 3. Location and dimensions of all existing structures
 4. Location and dimensions of all proposed structures and/or additions
 5. Dimension(s) of requested variance(s)
 C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
 D. A non-refundable application fee of \$500.00.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
 Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) SEC 12-2-3(D) / T.12-2.1 Zoning B1AAA
SEC 12-2-4(F)(3)

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 1006 E Texar Dr., Pensacola, FL 32503

Current use of property: Residential

1. Describe the requested variance(s): This is a request to extend a carport toward the front approximately 4 feet over the Texar Dr setback line and to add 1 foot to the side of the carports/house.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

It is desired that an existing door be located inside a new room, As a result a carport 20 feet long will

extend beyond the Texar setback line. The door cannot be moved due to existing kitchen cabinets and a low ceiling in the adjacent room. Additionally a 1 foot variance is desired along Escalona side.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

This portion of the home was build in 1954/55 with a short narrow carport and an outside utility room. .

That may have been the style and adequate at the time, however a larger carport is desirable today.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The setback line is more than 30 feet from Texar Dr. Extending over the setback by 4 feet will not have an impact on property rights or general welfare of residents in the area. The Escalona setback is more than 15 feet from Escalona and construction 1 foot over the setback will have no impact.

5. Explain what other condition(s) may justify the proposed variance(s):

This variance will also allow for a renovation incorporating a pitched roof similar to the existing style and design, eliminating the flat roof (which leaks) over the current utility room and carport.

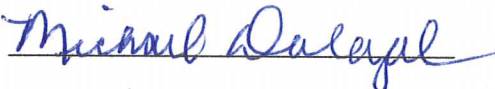
Application Date: August 26, 2020

Applicant: Michael Dolezal

Applicant's Address: 6135 Hilltop Dr., Pensacola, FL 32504

Email: mjdolezal@yahoo.com

Phone: 850-255-5618

Applicant's Signature: 

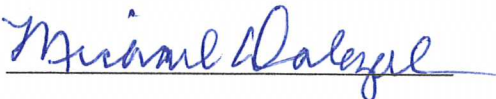
Property Owner: same as above

Property Owner's Address: _____

Email: _____

Phone: _____

Property Owner's Signature: _____



The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

LOT 23
BLOCK 12 GRANADA
PLAT BOOK 2 PAGE 50

EAST TEXAR DRIVE (100' RW)

ESCALONA AVENUE (60' RW)

LOT 25

LOT 24

LOT 1

LOT 26

ON LINE
BEARING
N35°00'00"W
125.72(F) 125.73(P)
INT NO
REFERENCE

N54°52'39"E 84.77(F) 84.97(P)
4" CHAINLINK FENCE

ONE STORY WOOD
VENER RESIDENCE

CONCRETE

4"x4" CONCRETE MONUMENT
P.T.

FND 3" CAPPED
ROD # 7092

FND 3" IRON ROD
(TYPICAL 2)

FND 3" CAPPED
ROD # 3774

FND 3" PIPE

FND NAIL

P.I.

P.T.

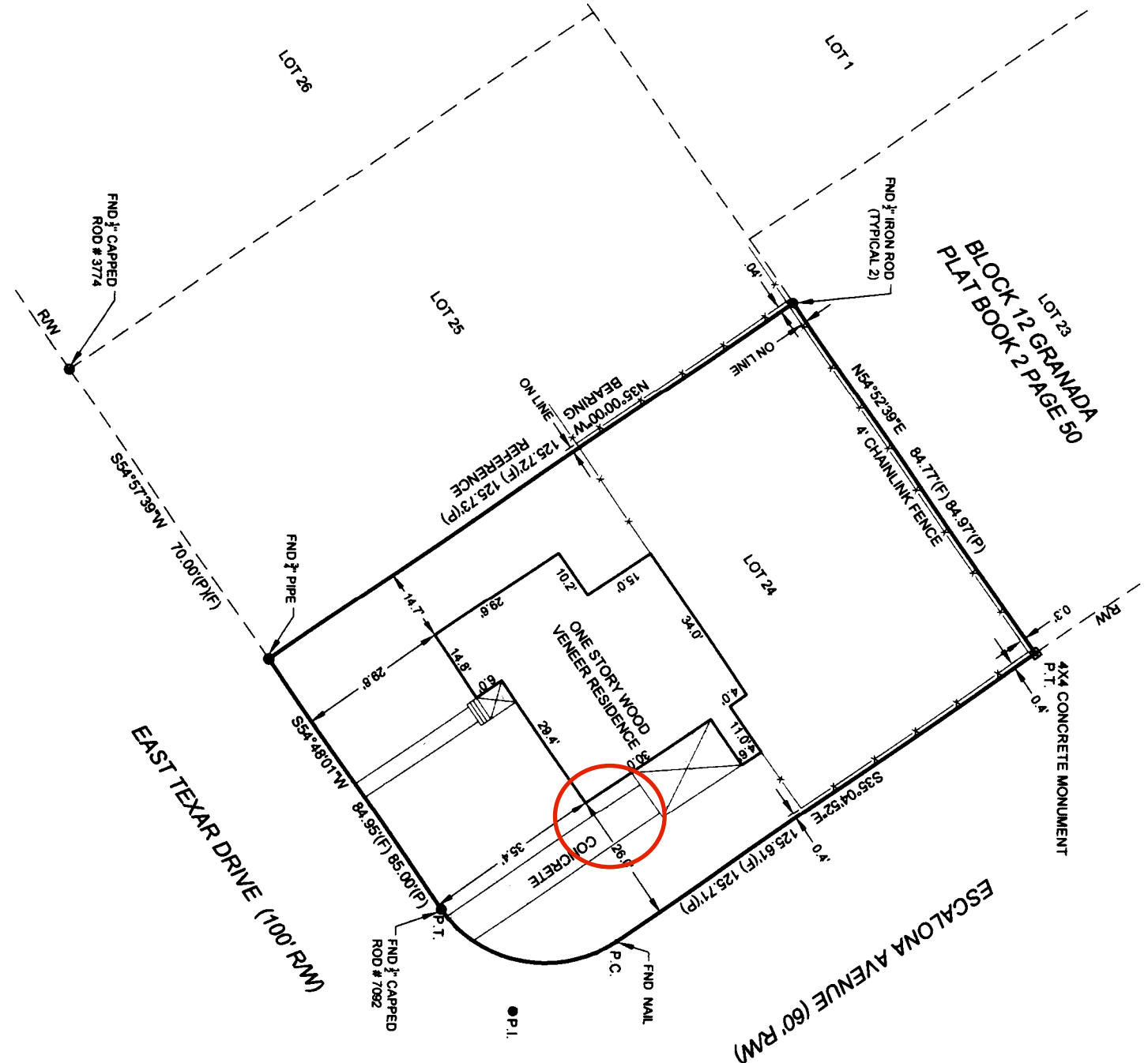
P.T.

P.C.

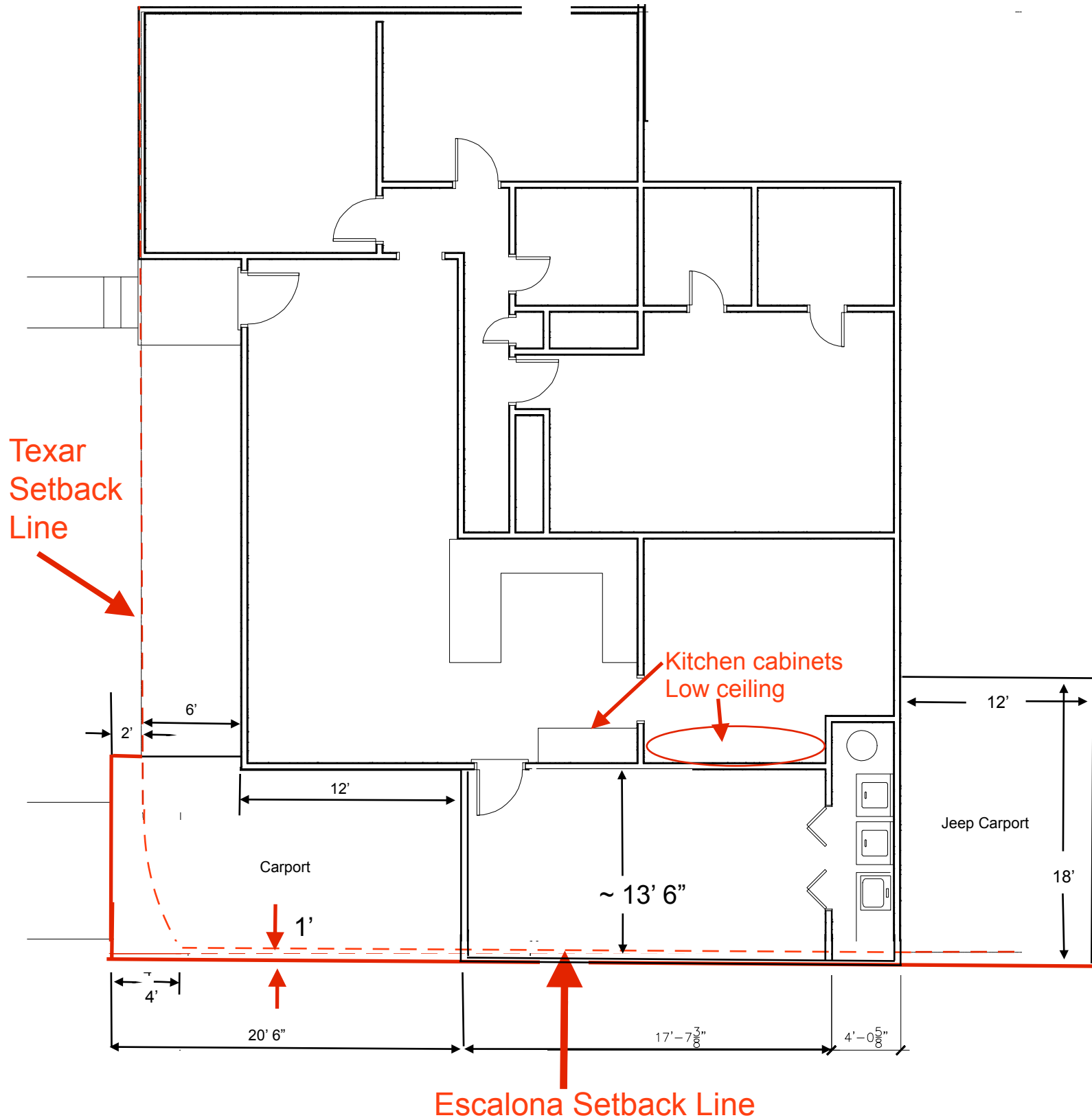
S54°57'39"W 70.00'(P)(F)

S54°46'01"W 84.95'(F) 85.00'(P)

S35°04'52"E 125.61'(F) 125.71'(P)



Texar
Setback
Line











City of Pensacola
Zoning Board of Adjustment
222 W Main St.
Pensacola, FL 32502

Subj: Request for Variance at 1006 E Texar Dr.

I have reviewed the application for variance at 1006 E Texar Dr. and make the following recommendation:

1. ☒ Support ☐ Reject Address: 1106 E TEXAR DR. ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: MICHAEL BLANKENSHIP
2. ☒ Support ☐ Reject Address: 1006 EAST TEXAS ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: John Scorralls
(101 Escalona Ave)
3. ☒ Support ☐ Reject Address: 1103 TEXAR DR ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: KAREN COLSON
4. ☒ Support ☐ Reject Address: 1101 TEXAR DR ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: JAMES A. SPANWORTH
5. ☒ Support ☐ Reject Address: 1002 E TEXAR DR ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: BARBARA GREEN
6. ☒ Support ☐ Reject Address: 102 E. Escalona Ave ☒ Owner ☐ Tenant
Signature: [Signature] Printed Name: Dawn R. Everett
7. Support ☐ Reject Address: _____ Owner ☐ Tenant
Signature: _____ Printed Name: _____