



PLANNING SERVICES

THE UPSIDE of FLORIDA

## MEMORANDUM

**TO:** Planning Board Members  
**FROM:** Leslie Statler, Planner *lesn*  
**DATE:** August 5, 2019  
**SUBJECT:** Amendment to Conditional Use Permit – 501 S. Palafox Street (Al Fresco)

Scott Sallis, Dalrymple Sallis Architecture, is requesting an Amendment to the existing Conditional Use permit on behalf of the property owner, Michael Carro. This project was last discussed at the July 9, 2019, Planning Board meeting. Mr. Sallis, Mr. Carro, and their respective teams met with City staff from Inspection Services and Planning Services the week after the Planning Board meeting to further discuss the various components to this unique development and the approval process. The property was initially granted a Conditional Use Permit in 2012 for the development of the site under the “mobile restaurant” provision within the Ordinance. The proposed amendment rotates one Airstream restaurant unit, adds a wooden open-air structure over the entire site, expands the cafeteria-style dining space, and adds a retail component along Main Street perimeter utilizing moveable wooden kiosks. The service bar previously developed as part of “Shux” restaurant will remain; however the two areas will be transformed into one space.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review as well as staff’s findings on the compliance of the Development Plan with the applicable Conditional Use Permit criteria. Upon approval by City Council, the current outdoor dining License-To-Use will be amended administratively to include the roofline of the proposed structure.

For clarification purposes, retail is allowed within the district “by right”, meaning it is a use allowed without additional approvals. However, Conditional Use approvals are site-specific and must be developed as approved. The retail component modified the approved site plan by reconfiguring the space.

EVERYTHING THAT’S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143/[www.cityofpensacola.com](http://www.cityofpensacola.com)

Sec. 12-2-78. - Conditional use permit.

(A) *Authorization and purpose.* The city council may, under the prescribed standards and procedures contained herein, authorize the construction of any use that is expressly permitted as a conditional use in a particular zoning district; however, the city reserves full authority to deny any request for a conditional use permit or to impose reasonable conditions on the use. Provisions for a conditional use permit are intended to establish a process for submitting a site plan for specific uses which require further review by the planning board and city council to assess the impacts of the proposed use on the surrounding neighborhood.

(B) *Applicability.* ...

(3) Mobile restaurant facilities may be permitted on private property having frontage on South Palafox Place in the area located between the southern right-of-way line of Main Street and Pensacola Bay. Mobile restaurant facilities shall only be permitted as an accessory use to an adjacent existing and operational restaurant subject to the following conditions:

(a) Mobile restaurant units will be permanently fixed to the ground (the attachments can be removed in the event the mobile restaurant needs to be moved due to lease termination or declaration of emergency).

*The Airstream being relocated will be anchored with helical anchors identical to the existing anchoring system for the Airstream mobile kitchen units.*

*Mobile retail kiosks are also being proposed between W. Main Street and the dining area.*

*They will be removed in the event of a storm.*

(b) Storage areas and mechanical equipment shall be screened from view.

*The mechanical equipment will continue to be screened from view; this will be enforced through the permit approval process.*

(c) Mobile restaurant units shall be connected to the sewer system and utilize a grease trap.

*Sewer connections will be required during the permitting process; additional requirements from ECUA may apply. The grease trap location for the rotated Airstream is not indicated on the amended Development Plan as presented; however, they will be required during the permitting process.*

(d) Mobile restaurant units shall have permanent restrooms provided for customers via the adjacent principal restaurant use.

*No changes appear to be proposed for the existing restroom facilities. The proposed Development Plan incorporates a screen wall to provide a visual separation from the restrooms and the common area.*

- (e) Mobile restaurant development sites shall provide one (1) customer seats per linear foot of mobile unit on site.

*The amended Development Plan provides approximately 1.5 seats for the 100 linear feet of mobile kitchen with a total of 156 seats at tables and the bar area.*

- (f) In addition to minimum landscaping requirements, mobile restaurant development sites shall provide both hardscape and landscape details with sufficient quality of design to create a formalized outdoor plaza environment. This shall be accomplished through the incorporation of grated tree wells for the planting of shade and canopy trees within outdoor seating areas. Outdoor seating areas shall be constructed with a minimum of forty (40) percent decorative architectural pavers comprising the overall seating area.

*The Development Plan exceeds this requirement by providing 3,633 sf of pavers within the development area.*

- (g) Each individual mobile restaurant unit shall have a water source located within thirty (30) feet behind the structure.

*The amended Development Plan complies with this standard.*

- (h) Mobile restaurant units shall be allowed one menu attached to the façade not to exceed sixteen (16) square feet and one identifying sign not to exceed twenty-five (25) square feet.

*The Development Plan acknowledges existing signage will remain compliant.*

- (i) There will be a maximum of four (4) mobile restaurant units per development site. If a mobile restaurant development site has more than one mobile restaurant unit on the parcel then all mobile restaurant units will be of a consistent design, size, and color. Mobile restaurant units and associated developments shall comply with the regulations and reflect the character of the district in which they are located. Accent features to distinguish unique culinary concepts are encouraged.

*The amended Development Plan does not change the sizes of the previously approved Airstreams. Only one Airstream will be rotated with this amendment; the other three will remain as they are.*

- (j) Mobile restaurant units shall not occupy more than twenty-five (25) percent of the overall development site area.

*The mobile restaurants will remain compliant and will not exceed 25% of the development site area.*

- (k) Underground utilities shall be required for each mobile restaurant unit. Generators are not permitted with the exception of during the course of emergencies and power outages.

*The existing Airstreams utilize underground utilities and will continue to do so with this amendment.*

- (l) A designated screened dumpster area shall be located within five hundred (500) feet of a mobile restaurant unit.

*The existing dumpster is to remain on the adjacent property and will be screened from view..*



Department:	Comments:	Date Rec'd
FIRE	Fire Marshall has no issues at this time.	8/1/2019
PW/E	UPDATED: Any overhang into the r/w will need an "air rights" LTU. Stormwater drainage should be addressed when permit plans are submitted. / On 7/25/2018: PW&F has no issue with the request	Updated on 7/25/2019; Original Comments on 7/26/2019
InspSvcs	No issues with the amended conditional use	8/5/2019
ESP	Pensacola Energy has no comments on the resubmittal.	7/29/2019
ECUA	ECUA Engineering has no objection to the Conditional Use for this project. If the existing utilities are to be used for the new installations, then there is no comment from ECUA Engineering. If a new connection to ECUA's system or new/larger water meter is required, then the project will need to submit to ECUA Engineering for review and permitting of water and/or sewer.	7/25/2019
GPW	Gulf Power does not have any objections to the design they are proposing as long as we are able to maintain the secondary pedestals located on Main St and S. Palafox. Right now they have their movable planters in place camouflaging them and we have no issues.	8/5/2019
ATT	This does not appear to impact AT&T or our facilities in that area	8/1/2019

## Leslie Statler

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**From:** Jonathan Bilby  
**Sent:** Tuesday, August 6, 2019 9:34 AM  
**To:** Leslie Statler  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

I have no issues with the amended conditional use.  
Thanks,  
Jonathan

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**From:** Leslie Statler  
**Sent:** Monday, August 5, 2019 5:52 PM  
**To:** Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>  
**Subject:** FW: "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

Does Inspections have comments? Please advise.

*Leslie*

Visit us at <http://cityofpensacola.com>  
222 W Main St.  
Pensacola, FL 32502  
Office: 850.435.1673  
[lstatler@cityofpensacola.com](mailto:lstatler@cityofpensacola.com)



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**From:** Leslie Statler  
**Sent:** Thursday, August 1, 2019 1:10 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrick Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Subject:** FW: "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

Happy Thursday everyone!

## Leslie Statler

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**From:** Annie Bloxson  
**Sent:** Thursday, August 1, 2019 3:24 PM  
**To:** Leslie Statler  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Good Afternoon,

I have no issues at this time.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



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**From:** Leslie Statler <LStatler@cityofpensacola.com>  
**Sent:** Thursday, August 01, 2019 1:10 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

## Leslie Statler

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**From:** Derrik Owens  
**Sent:** Friday, July 26, 2019 1:33 PM  
**To:** Leslie Statler; Sherry Morris  
**Cc:** Ryan J. Novota; Brad Hinote; Jonathan Bilby  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Any overhang into the r/w will need an "air rights" LTU. Stormwater drainage should be addressed when permit plans are submitted.

---

**From:** Leslie Statler  
**Sent:** Friday, July 26, 2019 10:33 AM  
**To:** Derrik Owens <DOwens@cityofpensacola.com>  
**Cc:** Ryan J. Novota <RNovota@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Thank you!

In my review, I noticed the roof overhangs the sidewalk by several feet. Will this need an LTU? Should stormwater drainage onto the sidewalk be addressed at this time?

*Leslie*

Visit us at <http://cityofpensacola.com>  
222 W Main St.  
Pensacola, FL 32502  
Office: 850.435.1673  
[lstatler@cityofpensacola.com](mailto:lstatler@cityofpensacola.com)



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**From:** Derrik Owens  
**Sent:** Thursday, July 25, 2019 4:08 PM  
**To:** Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>  
**Cc:** Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

PW&F has no issue with the request.....

---

**From:** Leslie Statler  
**Sent:** Wednesday, July 24, 2019 3:59 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin

## Leslie Statler

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**From:** Diane Moore  
**Sent:** Monday, July 29, 2019 10:43 AM  
**To:** Leslie Statler  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Leslie,  
Pensacola Energy has no comments on the resubmittal.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

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---

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**Sent:** Wednesday, July 24, 2019 3:59 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

Happy Wednesday all!

## Leslie Statler

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Thursday, July 25, 2019 1:13 PM  
**To:** Leslie Statler  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Hi Leslie,

ECUA's comments have not changed with this re-submittal. My previous comments still stand:

"ECUA Engineering has no objection to the Conditional Use for this project. If the existing utilities are to be used for the new installations, then there is no comment from ECUA Engineering. If a new connection to ECUA's system or new/larger water meter is required, then the project will need to submit to ECUA Engineering for review and permitting of water and/or sewer."

Thanks,

**Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |**  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

---

**From:** Leslie Statler [mailto:LStatler@cityofpensacola.com]  
**Sent:** Wednesday, July 24, 2019 3:59 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

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Happy Wednesday all!

The applicant has prepared a RESUBMITTAL of the project in its entirety. This project was discussed at the July Planning Board meeting; however the Board could not act upon the item due to last minute changes within the site plan. These changes have been included within this packet. Please review and provide comments as applicable. This item is scheduled for the August 13, 2019, Planning Board agenda. Therefore, all comments must be received **no later than close of business on Thursday, August 1, 2019.**

If you have questions, please let me know.

## Leslie Statler

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**From:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Sent:** Monday, August 5, 2019 10:57 AM  
**To:** Leslie Statler  
**Subject:** "Al Fresco" Conditional Use / RESUBMITTAL Review

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Please see comments from engineering below. Thank you, Kellie G. Simmons

---

**From:** Gobert, Harolyn <Harolyn.Gobert@nexteraenergy.com>  
**Sent:** Monday, August 5, 2019 10:54 AM  
**To:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Cc:** Johnson, Kenneth <Kenneth.Johnson2@nexteraenergy.com>  
**Subject:** RE: "Al Fresco" Conditional Use / RESUBMITTAL Review

Kellie,  
Gulf Power does not have any objections to the design they are proposing as long as we are able to maintain the secondary pedestals located on Main St and S. Palafox. Right now they have their movable planters in place camouflaging them and we have no issues. Let me know if you need anything else.

Harolyn

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**From:** Simmons, Kellie <[Kellie.Simmons@nexteraenergy.com](mailto:Kellie.Simmons@nexteraenergy.com)>  
**Sent:** Monday, August 5, 2019 7:23 AM  
**To:** Gobert, Harolyn <[Harolyn.Gobert@nexteraenergy.com](mailto:Harolyn.Gobert@nexteraenergy.com)>  
**Cc:** Johnson, Kenneth <[Kenneth.Johnson2@nexteraenergy.com](mailto:Kenneth.Johnson2@nexteraenergy.com)>  
**Subject:** FW: "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

I know you were working with this. Any additional comments for them?

Thanks,  
Kellie

---

**From:** Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>  
**Sent:** Thursday, August 1, 2019 1:10 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Simmons, Kellie <[Kellie.Simmons@nexteraenergy.com](mailto:Kellie.Simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>

## Leslie Statler

---

**From:** SAUERS, BRAD <bs5403@att.com>  
**Sent:** Thursday, August 1, 2019 4:32 PM  
**To:** Leslie Statler  
**Cc:** FENNER, KARL L  
**Subject:** FW: "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Attachments:** Al Fresco Market V7.0 w kiosks\_Planning Board Drawing Set 07-23-19.pdf; Alfresco Market Memorandum 002 07-23-19.pdf

**Importance:** High

This does not appear to impact AT&T or our facilities in that area.

### Brad Sauers

Manager – OSP Plng and Eng  
Technology Operations

### AT&T

605 W Garden St, Pensacola, FL 32502  
o 850.436.1495 | bs5403@att.com

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**From:** FENNER, KARL L  
**Sent:** Thursday, August 01, 2019 1:14 PM  
**To:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: "Al Fresco" Conditional Use / RESUBMITTAL Review  
**Importance:** High

### Karl Fenner

Area Manager – OSP Plng and Eng  
Technology Operations

### AT&T

605 W Garden St, Pensacola, FL 32502  
o 850.436.1485 | [kf5345@att.com](mailto:kf5345@att.com)

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**CONDITIONAL USE**

Fee: \$2,000.00  
Rehearing/Rescheduling Planning Board: \$100.00  
Rehearing/Rescheduling City Council: \$250.00



Applicant Information:

Name: J. Scott Sallis, AIA, representing owner, Michael Carro

Address: 503 E. Government Street, Pensacola, FL 32502

Phone: 850-470-6399 Fax: 850-470-6397 Email: scott@dalsal.com

Property Information:

Owner Name: SOGO Spa, LLC Phone: 850-380-3344

Location/Address: 501 E. Government Street, Pensacola, FL 32502

Parcel ID: 0 0 \_ 0 s \_ 0 0 \_ 9 1 0 0 \_ 1 1 0 \_ 0 2 5

Square Feet/Acres: \_\_\_\_\_

Legal Description: Please attach a full legal description (from deed or survey)

Purpose of conditional use: \_\_\_\_\_

Owner seeks to construct a single-story, roof structure over a series of existing mobile restaurants and new retail kiosks. The existing Air-stream mobile restaurants will remain. Retail kiosks will be added. The retail kiosks will be movable and will be taken off site during storm events. We offer the attached site plan, elevations, and perspective views of the proposed development for Planning Board review and recommendation on the proposed amendment to the existing Conditional Use.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this conditional use and that no refund of these fees will be made. I have reviewed a copy of the applicable zoning regulations and understand that I must be present on the date of the Planning Board and City Council meeting.

J. Scott Sallis

Date: 2019.08.06 13:55:03 -05'00' 08-06-2019

Signature of Applicant

Date

(Owner of Property or Official Representative of Owner)

**FOR OFFICE USE ONLY**

Zone: \_\_\_\_\_ District: \_\_\_\_\_ Date Received: \_\_\_\_\_

Case Number: \_\_\_\_\_ Date Postcards mailed: \_\_\_\_\_

Planning Board Date: \_\_\_\_\_ Recommendation: \_\_\_\_\_

Council Date: \_\_\_\_\_ Council Action: \_\_\_\_\_

## Memorandum 002

**Date:** Tuesday, July 23, 2019

**Project:** **Alfresco Market**  
501 S Palafox St., Pensacola, FL

**Recipient:** **Leslie Statler**, Planner | (850) 435-1673 | LStatler@cityofpensacola.com

Leslie,

Per our conversations to date, we offer the revised drawing set to supplement our existing application for Additional Conditional Use by Planning board.

Our client looks to cover the existing outdoor dining area known as Alfresco that was permitted for Conditional Use in July 2012 for the development of the site under the "mobile restaurant" provision within the ordinance. This roof will be provided as an asphalt shingle roof on wood trusses, supported with steel columns. Development will allow for retail vendors with portable kiosks. The development is in full compliance with previous conditional use permit as outlined below:

Sec. 12-2-78. - Conditional use permit.

- (3) Facility is permitted on private property with frontage on South Palafox Place south of Main Street right of way line. Development will remain as an accessory use to an existing restaurant.

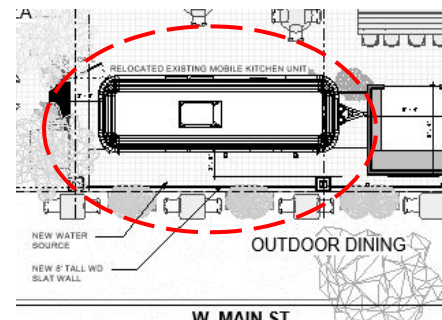
- (a) Mobile restaurant units will be permanently fixed to the ground (the attachments can be removed in the event the mobile restaurant needs to be moved due to lease termination or declaration of emergency).

**Existing mobile kitchen units will remain with existing anchoring system. One of the mobile kitchen units will be relocated and rotated at 90 degrees (W. Main St. facing the interior dining area).**

**An 8 ft tall wood slat wall will be located behind the relocated mobile kitchen unit to comply with Sec.12-2-78 (B) (3b) Storage areas and mechanical equipment shall be screened from view.**

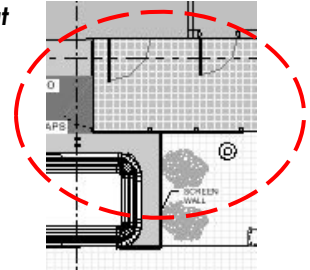
### **Note: Emergency Evacuation Plan for Kiosks at Al Fresco**

In the event of a pending storm, Landlord will require tenants to remove their items from the kiosks. The kiosks will then be loaded on a 24' flat trailer (2 at a time) and relocated to a warehouse facility. The trailer will make 3 trips to complete this task.



- (b) Storage areas and mechanical equipment shall be screened from view.

**Mechanical equipment will continue to be screened from view with new wood slat wall as well as a gate addition on Palafox ST. Refer to NEW WORK FLOOR PLAN Sheet 1/A101.**



- (c) Mobile restaurant units shall be connected to the sewer system and utilize a grease trap.

**Existing Mobile restaurant units will remain connected to the existing sewer system and utilize existing grease trap.**

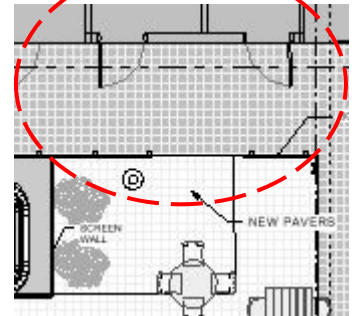
- (d) Mobile restaurant units shall have permanent restrooms provided for customers via the adjacent principal restaurant use.

**Existing mobile restaurant units have permanent restrooms provided for customers via adjacent principal restaurant use.**

- (e) Mobile restaurant development sites shall provide one (1) customer seats per linear foot of mobile unit on site.

**100 seats are required for the 100 linear foot of mobile kitchen units on site. The development provides more than 100 seats. Refer to NEW WORK FLOOR PLAN Sheet 1/A101.**

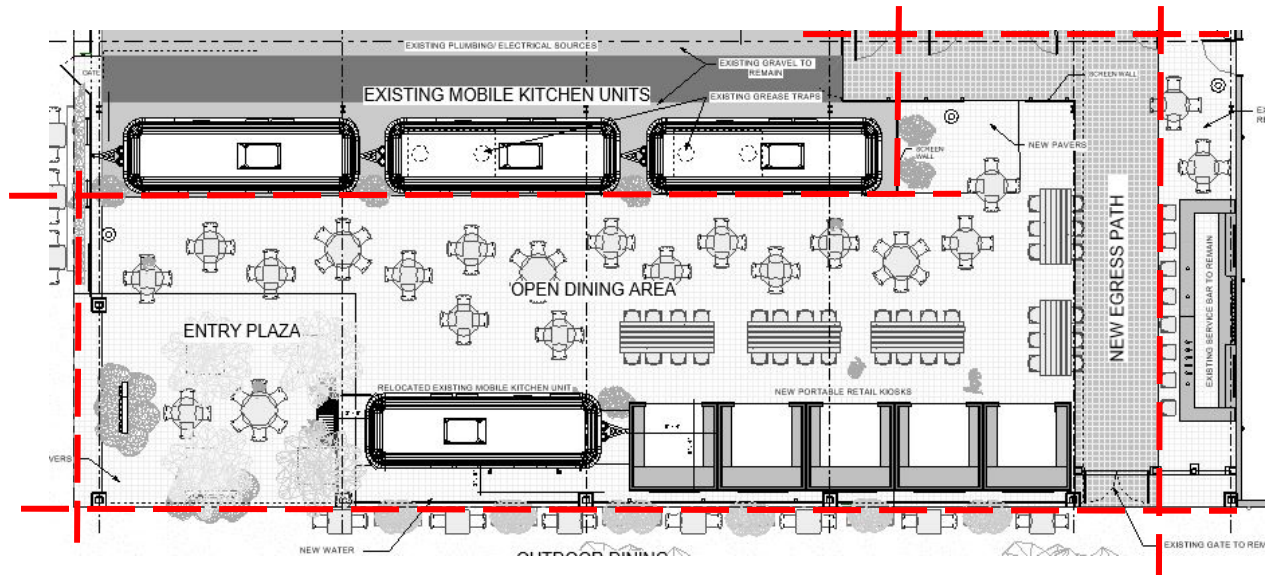
**PROVIDED: APPROX. 156 SEATS**



- (f) In addition to minimum landscaping requirements, mobile restaurant development sites shall provide both hardscape and landscape details with sufficient quality of design to create a formalized outdoor plaza environment. This shall be accomplished through the incorporation of grated tree wells for the planting of shade and canopy trees within outdoor seating areas. Outdoor seating areas shall be constructed with a minimum of forty (40) percent decorative architectural pavers comprising the overall seating area.

**The development maintains (4) existing palm trees and offers new. Existing pavers will remain, meeting the 40% paver requirement for this development. Refer to NEW WORK FLOOR PLAN Sheet 1/A101 for calculations on slab/paver area.**

<b>Total Site SF =</b>	<b>6,250</b>	<b>SF</b>
<b><u>REQUIRED:</u> 40% PAVERS OF TOTAL SF=</b>	<b>2,500</b>	<b>SF</b>
<b><u>PROVIDED:</u> PAVERS ON SITE=</b>	<b>3,633.60</b>	<b>SF</b>



- (g) Each individual mobile restaurant unit shall have a water source located within thirty (30) feet behind the structure.

***Each individual mobile restaurant unit has a permanent existing water source within 30 ft.***

- (h) Mobile restaurant units shall be allowed one menu attached to the façade not to exceed sixteen (16) square feet and one identifying sign not to exceed twenty-five (25) square feet.

***All existing and compliant signing to remain.***

- (i) There will be a maximum of four (4) mobile restaurant units per development site. If a mobile restaurant development site has more than one mobile restaurant unit on the parcel then all mobile restaurant units will be of a consistent design, size, and color. Mobile restaurant units and associated developments shall comply with the regulations and reflect the character of the district in which they are located. Accent features to distinguish unique culinary concepts are encouraged.

***Per 2012 granted Conditional Use Permit existing (4) mobile units will remain in this development.***

- (j) Mobile restaurant units shall not occupy more than twenty-five (25) percent of the overall development site area.

***Existing mobile kitchen units comply with 25% lot coverage.***

<b>Total lot SF =</b>	<b>6,250 SF</b>
<b>MAX. ALLOWED: 25% of Total Lot SF =</b>	<b>1,562.5 SF</b>
<b>PROVIDED: Mobile Kitchen Units SF=</b>	<b>800 SF</b>

- (k) Underground utilities shall be required for each mobile restaurant unit. Generators are not permitted with the exception of during the course of emergencies and power outages.

***Each mobile restaurant unit is connected to underground utilities and does not utilize generators.***

- (l) A designated screened dumpster area shall be located within five hundred (500) feet of a mobile restaurant unit.

***Existing dumpster to remain on adjacent property and will be screened from view.***



## EXISTING CONDITIONS





## PROPOSED DEVELOPMENT













## MATERIALS

**Date:** Tuesday, July 23, 2019

**Project:** AL FRESCO MARKET  
501 S. Palafox St.  
Pensacola, FL

**Recipient:** Planning Board– City of Pensacola

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Brick Veneer @Columns	Alabama Brick Co.	Henry Old Cahaba
Roof Trusses	Sherwin-Williams Solid Body Stain "Hill Country - SW 3532"	
Roof	GAF Timberline	Asphalt Shingles - Amber Wheat
Exposed Roof Decking	Sherwin-Williams Solid Body Stain "Mountain Ash - SW 3540"	
Screen Wall	Sherwin-Williams Solid Body Stain To Match Existing Color	
Exterior Light Fixtures	Bevolo	Aged Copper
Steel Columns/Brackets	Sherwin-Williams	"Rockwood Date Bronze - SW2808"
Portable Kiosks	Owner Furnished-Wood ship lap	"Egret White SW 7570"

## **MATERIALS**

### **MASONRY**



Alabama Brick Co. Henry Old Cahaba

### **ROOF TRUSSES COLOR**



Sherwin-Williams Solid Body Stain "Hill Country SW 3532"

### **ROOF**



GAF Timberline - Asphalt Shingles Amber Wheat

### EXPOSED ROOF DECKING



Sherwin-Williams Solid Body Stain "Mountain Ash SW 3540"

### FRENCH QUARTER STYLE



### STEEL COLUMNS/BRACKETS

SW 7027  
Well-Bred Brown  
Interior / Exterior  
Locator Number: 241-C7

Sherwin-Williams - "Rockwood Date Bronze SW2808"

**KIOSKS COLOR**

SW 7570  
**Egret White**

Interior / Exterior

Locator Number: 255-C4

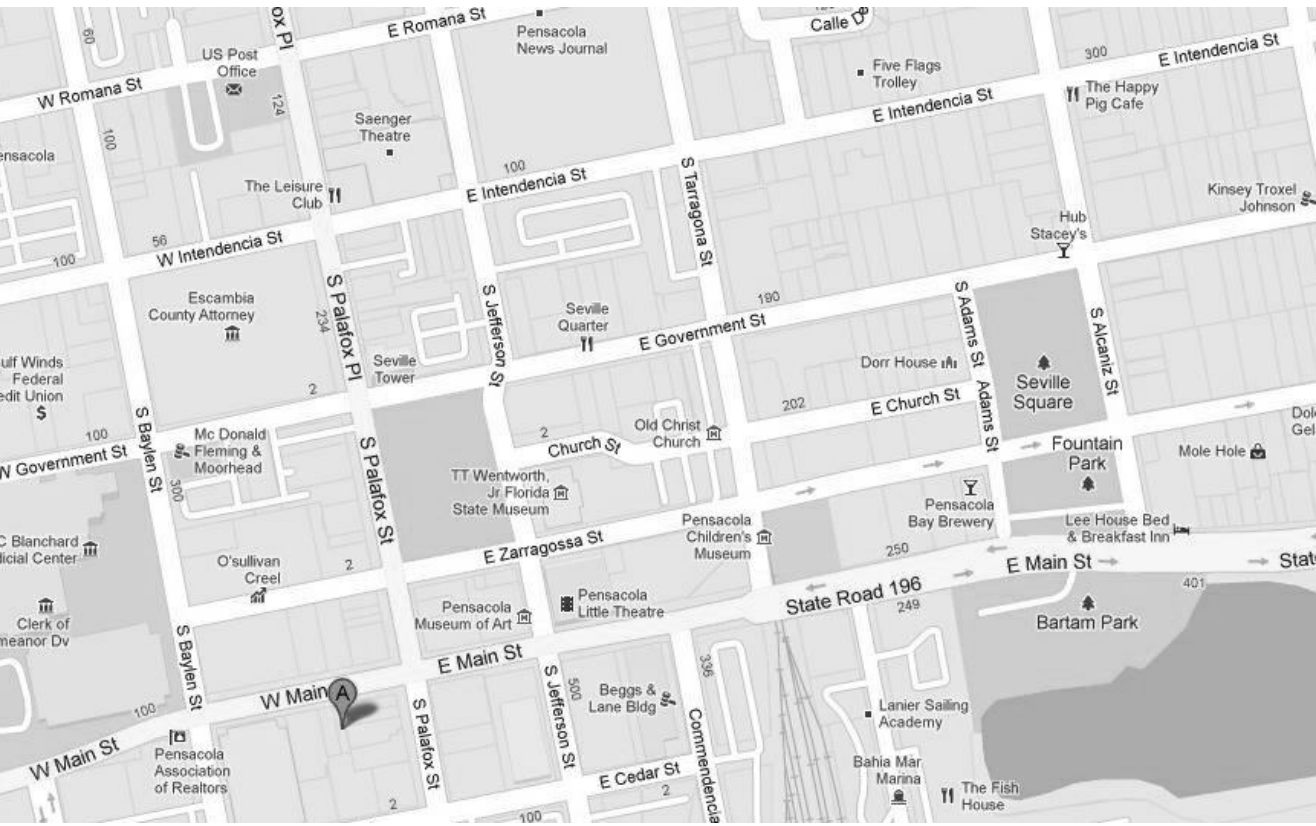
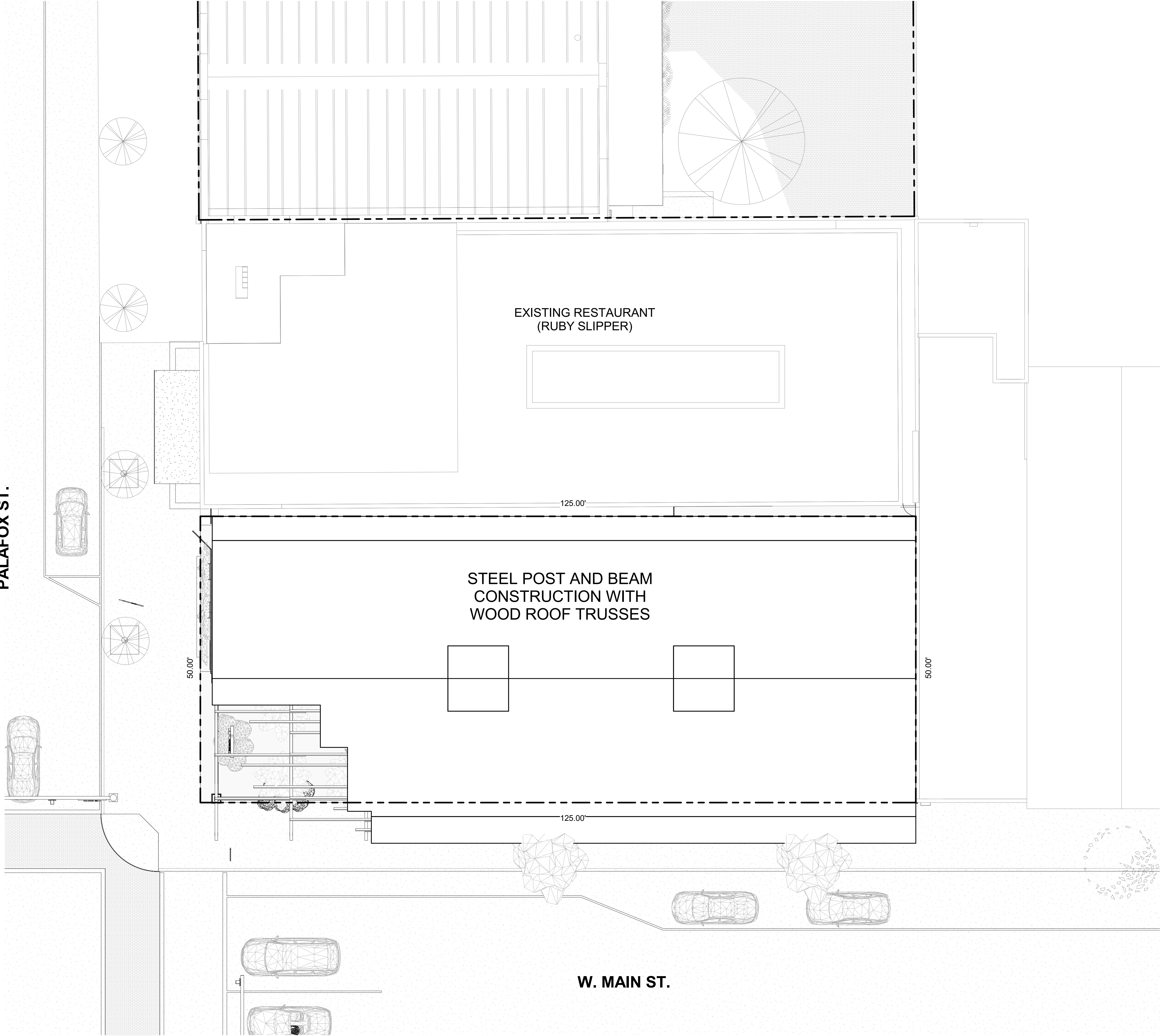
Sherwin-Williams -" Egret White SW 7570"



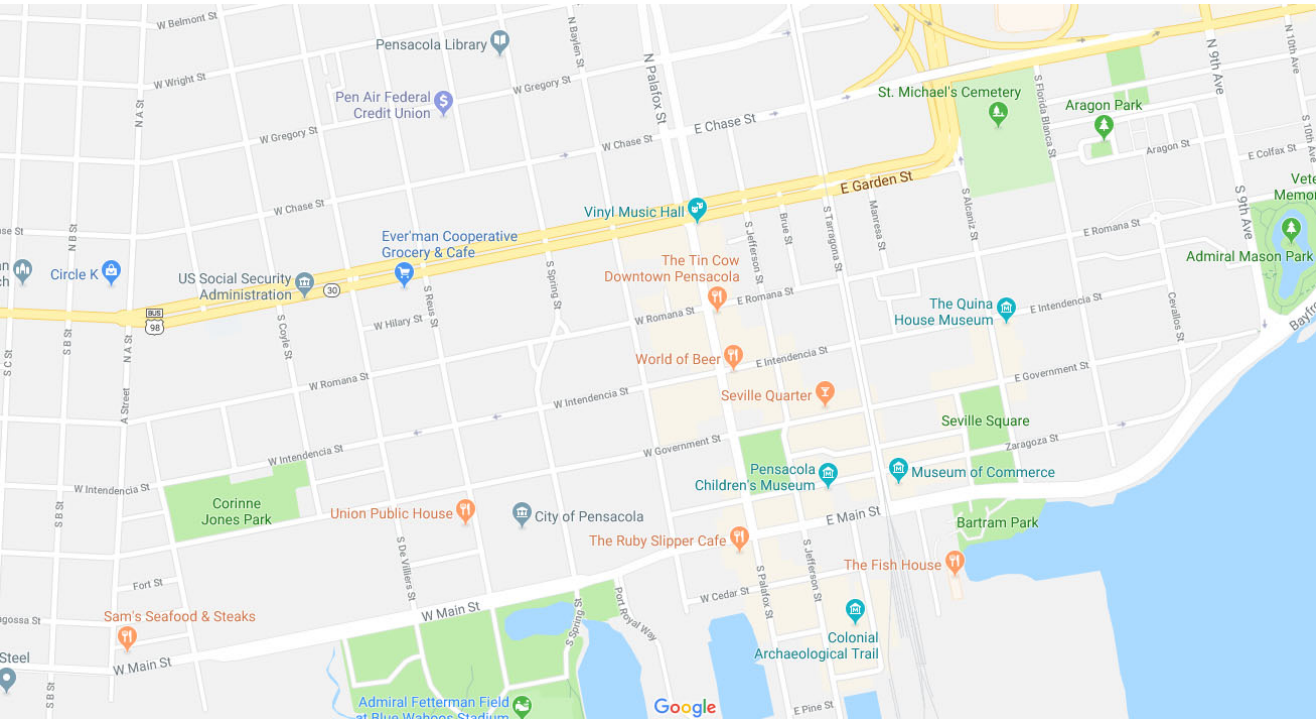
# Al Fresco Pavilion

A COMMERCIAL RENOVATION FOR MICHAEL CARRO

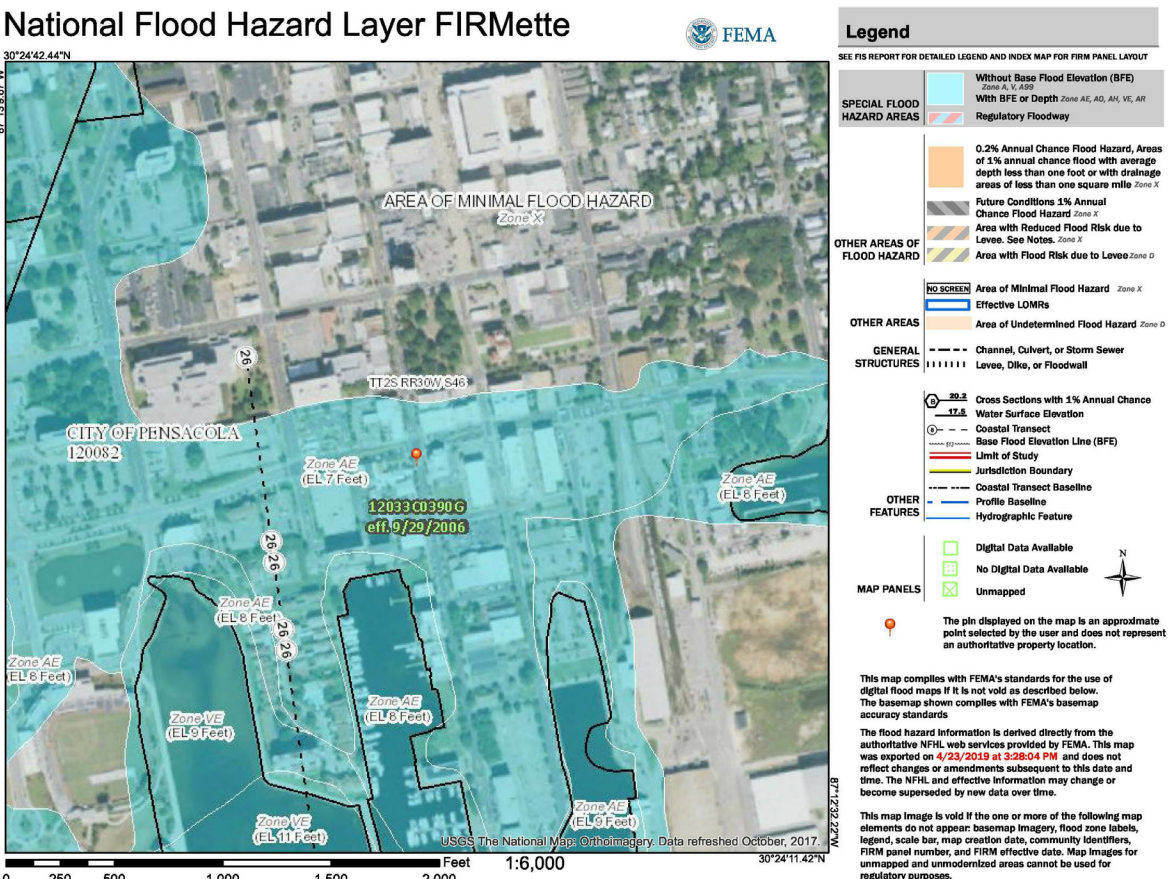
501 S. Palafox St.  
Pensacola, FL



SITE MAP



VICINITY MAP



FLOOD MAP

## BUILDING DATA

**APPLICABLE CODES:**  
2014 FLORIDA BUILDING CODE

**CONSTRUCTION TYPE:**  
TYPE III-A : SPRINKLERED

**OCCUPANCY CLASSIFICATION:**  
ASSEMBLY (A-2)

**PHYSICAL PROPERTIES:**  
COVERED OUTDOOR DINING AND RETAIL: 6,250 SF  
BUILDING HEIGHT: 24'-6"  
NO. OF STORIES: 1

## GENERAL NOTES

- COMPLY WITH 2014 FBC 1609.4 REGARDING OPENING PROTECTION. OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.
- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2014 EDITION. CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

Index of Drawings	
Sheet Number	Sheet Title
General	
G001	TITLE SHEET
Architectural	
A101	FLOOR PLAN
A201	ELEVATIONS



dalrymple | sallis  
architecture

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f: 850-470-6397  
www.dalsai.com

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CERTIFICATION

NOT FOR  
CONSTRUCTION

**Al Fresco Pavilion**  
501 S. Palafox St.  
Pensacola, FL

DRAWN BY:	CHECKED BY:
SRJ	JSS
ISSUE DATE:	
07/23/19	
REVISIONS:	
No. Desc. Date	

SHEET TITLE:

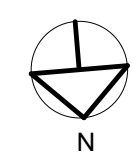
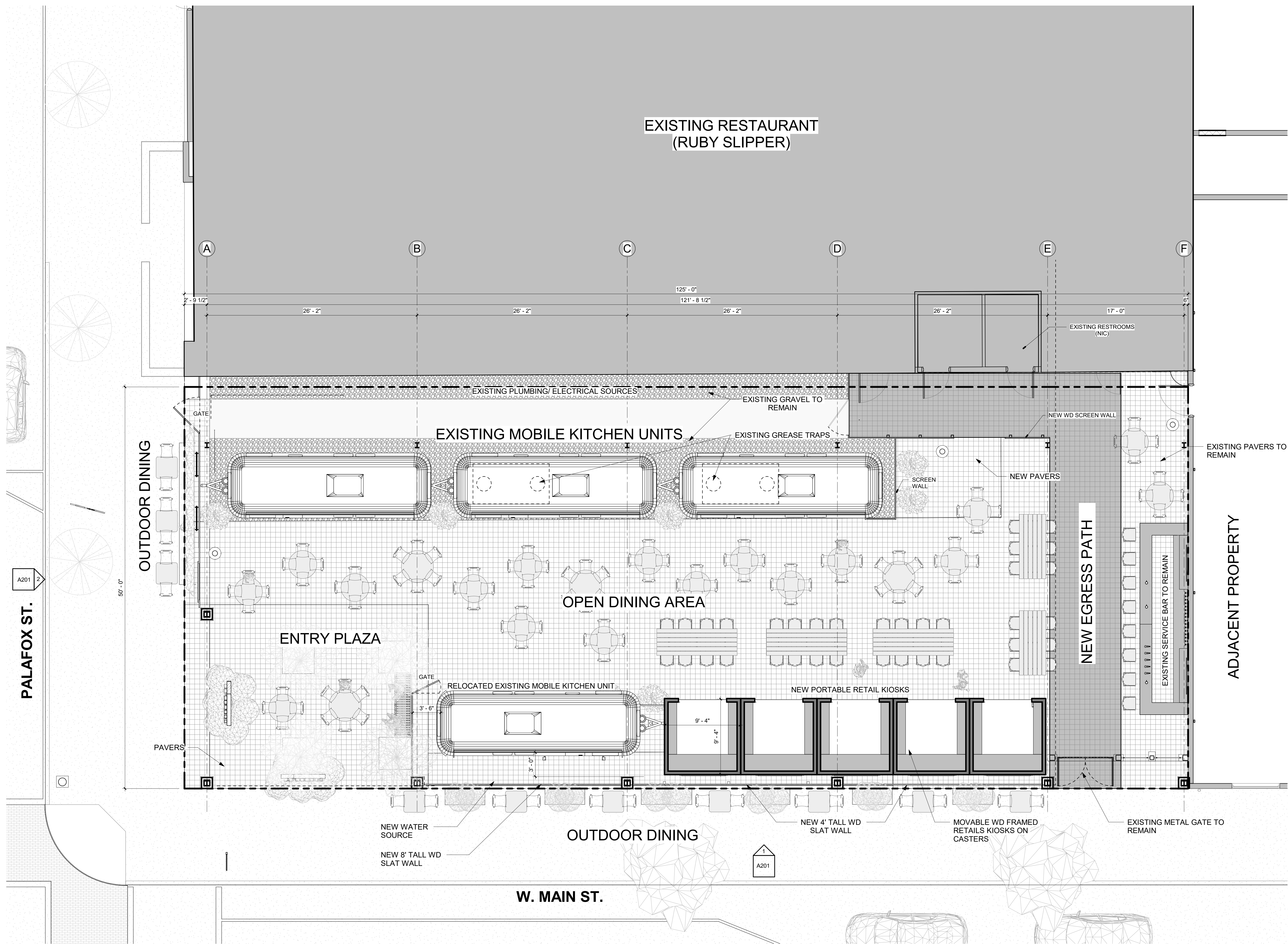
**TITLE SHEET**

SHEET NO.:

**G001**

PROJECT NO:  
16059





**1 NEW WORK FLOOR PLAN**  
3/16" = 1'-0"

**EXISTING MOBILE KITCHEN (MAX. ALLOWED PROPOSED = 4 UNITS)**

SIZE 25'x8' 200 SF

**PAVER CALCULATIONS**

TOTAL SITE SF	6,250 SF
REQUIRED : 40% PAVERS OF TOTAL SF	2,500 SF
PROVIDED: SF PAVERS ON SITE	3,633.60 SF

**EXISTING MOBILE KITCHEN UNIT CALCULATIONS**

TOTAL SITE SF	6,250 SF
MAXIMUM ALLOWED: 25% OF SITE TOTAL SF	1,562.5 SF
MAXIMUM PROVIDED: MOBILE KITCHEN UNITS SF	800 SF

**PROPOSED NUMBER OF SEATING**

REQUIRED ON SITE	1 SEAT PER LINEAR FT 100 SEATS REQ. FOR 100 LINEAR FT OF MOBILE KITCHEN UNITS
PROVIDED	APPROX. 156 SEATS

**PROPOSED MOVABLE KIOSKS**

ON CASTERS  
WOOD FRAMED  
REFER TO MEMO 002 FOR COLOR  
SCHEME.



**dalrymple | sallis**  
architecture

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CERTIFICATION

**NOT FOR  
CONSTRUCTION**

## Al Fresco Pavilion

501 S. Palafox St.  
Pensacola, FL

DRAWN BY: SRJ  
CHECKED BY: JSS

ISSUE DATE:  
07/23/19

REVISIONS	No.	Des.	Date
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SHEET TITLE:

**ELEVATIONS**

SHEET NO:

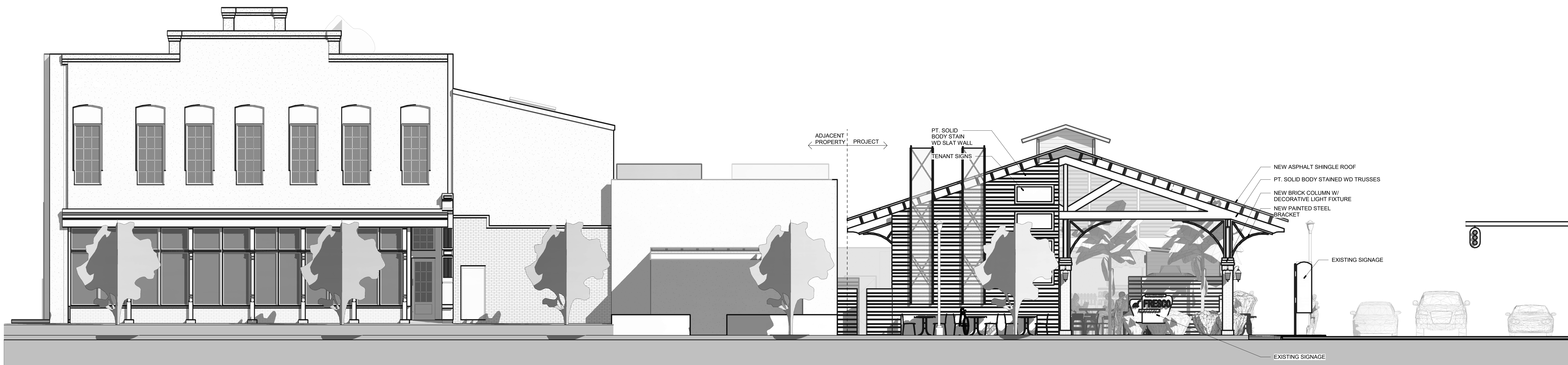
**A201**

PROJECT NO:  
16059



**1 MAIN ST. ELEVATION**

3/16" = 1'-0"



**2 PALAFOX ELEVATION**

3/16" = 1'-0"





PLANNING SERVICES

THE UPSIDE *of* FLORIDA

## MEMORANDUM

**TO:** Planning Board Members  
**FROM:** Leslie Statler, Planner *lesm*  
**DATE:** August 5, 2019  
**SUBJECT:** Aesthetic Review – 501 S. Palafox Street (Al Fresco)

Scott Sallis, Dalrymple Sallis Architecture, is seeking aesthetic review for changes to the “Al Fresco” mobile restaurant development on behalf of the property owner, Michael Carro. The final design presented today is consistent with the aesthetics reviewed and approved by the Planning Board at their July 9, 2019, meeting. A roof system will be added over the entire project area to create an open-market. Additional pavers are being added and the cafeteria-style dining area is being enlarged. The service bar previously developed as part of “Shux” restaurant will remain; however the two areas will be transformed into one space.

This item is under consideration with the previous item. All pertinent information lies within the supporting documentation for the Amendment to the Conditional Use Permit.

EVERYTHING THAT’S GREAT ABOUT FLORIDA IS BETTER IN PENSACOLA.

222 West Main Street Pensacola, FL 32502 / T: 850.435.1670 / F: 850.595.1143 / [www.cityofpensacola.com](http://www.cityofpensacola.com)