

Department:	Comments:
FIRE	No objections.
PW/E	No objections.
Insp Svcs	No objections.
ESP	Pensacola Energy has a gas main within the R/W described in this LTU request. We would need to know more about the project and the potential impact in maintaining our gas line.
ECUA	Project will need to submit to ECUA Engineering for review and permitting of water and/or sewer. Please see the ECUA Engineering Manual - Procedures 2 and 3 for information regarding submittal and review processes ( <a href="https://ecua.fl.gov/work-with-us/engineering-manuals-contacts">https://ecua.fl.gov/work-with-us/engineering-manuals-contacts</a> ).
GPW	No comments.
ATT	Please review the attached AT&T markups. AT&T does have facilities within the project scope. The markups are only approximate and the contractor would have to have our facilities located to determine if there is a conflict. Please contact me with any questions.

## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Tuesday, March 24, 2020 1:14 PM  
**To:** Cynthia Cannon  
**Subject:** RE: LTU Request - 1 South Jefferson Street

Good Afternoon,

I do not oppose the LTU request for the puppy pit at 1 S. Jefferson Street.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



*Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing*

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Tuesday, March 17, 2020 12:41 PM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>

## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Tuesday, March 24, 2020 3:48 PM  
**To:** Cynthia Cannon  
**Subject:** RE: LTU Request - 1 South Jefferson Street

Cynthia,  
Pensacola Energy has a gas main within the R/W described in this LTU request. We would need to know more about the project and the potential impact in maintaining our gas line.

Thanks,  
Diane

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

\*\*\*Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit [Pensacola311.com](http://Pensacola311.com)

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Tuesday, March 17, 2020 12:41 PM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Cc:** Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>  
**Subject:** LTU Request - 1 South Jefferson Street

Good Afternoon All,

## Cynthia Cannon

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Thursday, March 19, 2020 8:15 AM  
**To:** Cynthia Cannon  
**Subject:** RE: LTU Request - 1 South Jefferson Street

Good morning Cynthia,

Project will need to submit to ECUA Engineering for review and permitting of water and/or sewer. Please see the ECUA Engineering Manual - Procedures 2 and 3 for information regarding submittal and review processes (<https://ecua.fl.gov/work-with-us/engineering-manuals-contacts>).

Thank you,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Tuesday, March 17, 2020 12:41 PM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Statler <LStatler@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Cc:** Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>  
**Subject:** LTU Request - 1 South Jefferson Street

**\*\*WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders \*\***

Good Afternoon All,

Please review and comment on the attached request before the Planning Board for a License to Use application for a Puppy Pit Stop at 1 S. Jefferson Street. Please provide comments **by close of business on Friday March 27, 2020**.

Thank you!

**Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

## Cynthia Cannon

---

**From:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Sent:** Monday, April 13, 2020 11:49 AM  
**To:** Cynthia Cannon  
**Cc:** Gobert, Harolyn  
**Subject:** [EXTERNAL] RE: LTU Request - 1 South Jefferson Street

**THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT**

Engineering replied that we have no objections.

Thank you,



**Gulf Power**

*Kellie G. Simmons*

Sr. Corporate Real Estate Representative

Office – (850) 444-6870

Cell - (850) 549-1134

---

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Thursday, April 9, 2020 12:50 PM  
**To:** Simmons, Kellie <Kellie.Simmons@nexteraenergy.com>  
**Cc:** Elsie Zhang <ezhang@jerrypate.com>  
**Subject:** FW: LTU Request - 1 South Jefferson Street

Caution - External Email ([ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com))

[Report This Email](#) [Tips](#)

Kellie,

I don't recall getting a reply from you on this project. My apologies if you've already commented and somehow I missed them!

Thank you,

**Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)

## Cynthia Cannon

---

**From:** ST PIERRE, ROB A <RS634Y@att.com>  
**Sent:** Tuesday, March 17, 2020 3:06 PM  
**To:** Cynthia Cannon  
**Subject:** RE: LTU Request - 1 South Jefferson Street  
**Attachments:** AT&T MARKUPS\_LTU APPLICATION\_Puppy Pit\_Complete.pdf

Cynthia,

Please review the attached AT&T markups. AT&T does have facilities within the project scope. The markups are only approximate and the contractor would have to have our facilities located to determine if there is a conflict. Please contact me with any questions. I am currently working remotely and can be reached at 850-501-9161.

Thanks,

Rob St. Pierre  
Manager, OSP Plng & Eng  
Technology Operations

AT&T  
605 W Garden St. Pensacola, FL 32502  
o 850.436.1701 | [rs634y@att.com](mailto:rs634y@att.com)

*This e-mail and any files transmitted with it are AT&T property, are confidential, and are intended solely for use by the individual or entity to whom this email is addressed. If you are not one of the named recipient(s) or otherwise have reason to believe that you have received this message in error, please notify the sender and delete this message immediately from your computer. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.*

**Sent:** Tuesday, March 17, 2020 12:41 PM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOwens@cityofpensacola.com](mailto:DOwens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; FENNER, KARL L <[kf5345@att.com](mailto:kf5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly(GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; KENNINGTON, STEPHEN <[sk1674@att.com](mailto:sk1674@att.com)>  
**Cc:** Paul A Kelly(GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>  
**Subject:** LTU Request - 1 South Jefferson Street

Good Afternoon All,

Please review and comment on the attached request before the Planning Board for a License to Use application for a Puppy Pit Stop at 1 S. Jefferson Street. Please provide comments **by close of business on Friday March 27, 2020.**

## Cynthia Cannon

---

**From:** Elsie Zhang <ezhang@jerrypate.com>  
**Sent:** Wednesday, March 18, 2020 1:19 PM  
**To:** ST PIERRE, ROB A; Cynthia Cannon  
**Cc:** Lissa Dees  
**Subject:** RE: LTU Request - 1 South Jefferson Street

Thank you Rob. I appreciate your help.

Cynthia, we will field locate the AT&T conduit and sleeve it in concrete footer if there is a conflict. Do we need to add the note on the plan and resubmit it to you? Or do we wait until we receive other comments?

Thank you,

**Elsie Zhang, *RLA***  
Landscape Architect / Design Associate



301 Schubert Drive | Pensacola, FL 32504  
Office: 850-479-4653 Ext. 1230  
Fax: 850-472-0381  
[www.jerrypatedesign.com](http://www.jerrypatedesign.com)

**From:** ST PIERRE, ROB A <RS634Y@att.com>  
**Sent:** Wednesday, March 18, 2020 11:29 AM  
**To:** Elsie Zhang <ezhang@jerrypate.com>  
**Subject:** RE: LTU Request - 1 South Jefferson Street

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Elsie,

Yes, if there is a conflict protecting it with a concrete footer is fine.

Thanks,

Rob St. Pierre  
Manager, OSP Plng & Eng  
Technology Operations

AT&T

605 W Garden St. Pensacola, FL 32502

o 850.436.1701 | [rs634y@att.com](mailto:rs634y@att.com)

*This e-mail and any files transmitted with it are AT&T property, are confidential, and are intended solely for use by the individual or entity to whom this email is addressed. If you are not one of the named recipient(s) or otherwise have reason to believe that you have received this message in error, please notify the sender and delete this message immediately from your computer. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.*

**From:** Elsie Zhang <[ezhang@jerrypate.com](mailto:ezhang@jerrypate.com)>

**Sent:** Wednesday, March 18, 2020 11:24 AM

**To:** ST PIERRE, ROB A <[RS634Y@att.com](mailto:RS634Y@att.com)>

**Cc:** Lissa Dees <[LissaD@downtownpensacola.com](mailto:LissaD@downtownpensacola.com)>

**Subject:** RE: LTU Request - 1 South Jefferson Street

Good morning Rob, this is Elsie Zhang with Jerry Pate Design. I just received the markup from AT&T with potential conduit conflict.

It seems most of the area where the conduit runs is only going to be painted on the existing concrete. The only possible conflict area is around the proposed circular concrete bench area. Do you think field locating the conduit and sleeving it in concrete footer if there is a conflict will be ideal for AT&T?

Please let us know your thoughts and we will add the notes on the plan document accordingly.

Thank you Rob,

**Elsie Zhang, RLA**

Landscape Architect / Design Associate



301 Schubert Drive | Pensacola, FL 32504

Office: 850-479-4653 Ext. 1230

Fax: 850-472-0381

[www.jerrypatedesign.com](http://www.jerrypatedesign.com)

**From:** Steve Dana <[SDana@jerrypate.com](mailto:SDana@jerrypate.com)>

**Sent:** Wednesday, March 18, 2020 11:11 AM

**To:** Elsie Zhang <[ezhang@jerrypate.com](mailto:ezhang@jerrypate.com)>

**Subject:** Re: LTU Request - 1 South Jefferson Street

I don't see ATT comments. Do you have them? I would think we could sleeve through the footer of the circular bench if a conflict. Maybe all we need now is a note on the plan. Please call Rob St Pierre at ATT to work through it. Thanks.

Sent from my iPhone

On Mar 18, 2020, at 10:58 AM, Elsie Zhang <[ezhang@jerrypate.com](mailto:ezhang@jerrypate.com)> wrote:

Steve, we probably need the contractor to field locate the ATT conduits to see if there is conflict around the circular concrete bench area. Not sure how deep the conduit is located. Do you have an idea? Do we need to add a note on our plans and resubmit it to the city?

**Elsie Zhang**, *RLA*

Landscape Architect / Design Associate

<image001.png>

**301 Schubert Drive | Pensacola, FL 32504**

**Office: 850-479-4653 Ext. 1230**

**Fax: 850-472-0381**

**[www.jerrypatedesign.com](http://www.jerrypatedesign.com)**

**From:** Lissa Dees <[LissaD@downtownpensacola.com](mailto:LissaD@downtownpensacola.com)>

**Sent:** Wednesday, March 18, 2020 10:40 AM

**To:** Elsie Zhang <[ezhang@jerrypate.com](mailto:ezhang@jerrypate.com)>; Steve Dana <[SDana@jerrypate.com](mailto:SDana@jerrypate.com)>

**Subject:** FW: LTU Request - 1 South Jefferson Street

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please see the attached concerns from AT&T

**Lissa Dees**

**Executive Director**

<image002.png>

<image003.jpg>

<image004.jpg>

Pensacola Downtown Improvement Board

226 South Palafox Street, Suite 106

Pensacola, FL 32502

**Phone 850.434.5371**

**[Take This Quick Survey to Let Us Know How We're Doing!](#)**

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Tuesday, March 17, 2020 3:21 PM

**To:** Lissa Dees <[LissaD@downtownpensacola.com](mailto:LissaD@downtownpensacola.com)>

**Subject:** FW: LTU Request - 1 South Jefferson Street

Hi Lissa,

Please see the attached review comments from AT&T. I'm sure if your consultant worked directly with Rob they could easily address their concerns.

Hope all is well with you!

Thank you,

**Cynthia Cannon, AICP**

*Assistant Planning Director*

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435-1670

[ccannon@cityofpensacola.com](mailto:ccannon@cityofpensacola.com)

<image005.png>

*Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by*

**From:** ST PIERRE, ROB A <[RS634Y@att.com](mailto:RS634Y@att.com)>

**Sent:** Tuesday, March 17, 2020 3:06 PM

**To:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Subject:** RE: LTU Request - 1 South Jefferson Street

Cynthia,

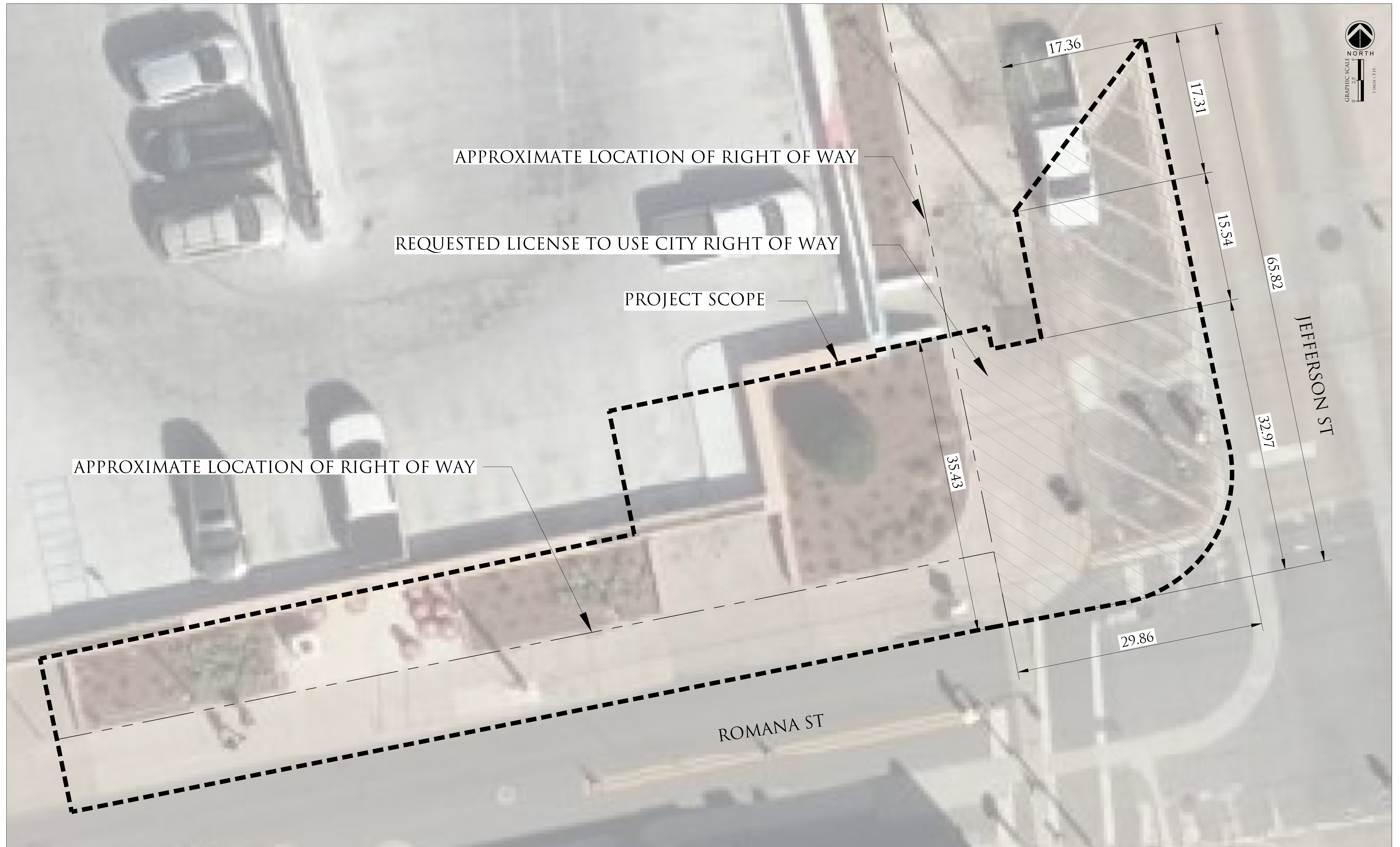
Please review the attached AT&T markups. AT&T does have facilities within the project scope. The markups are only approximate and the contractor would have to have our facilities located to determine if there is a conflict. Please contact me with any questions. I am currently working remotely and can be reached at 850-501-9161.

Thanks,

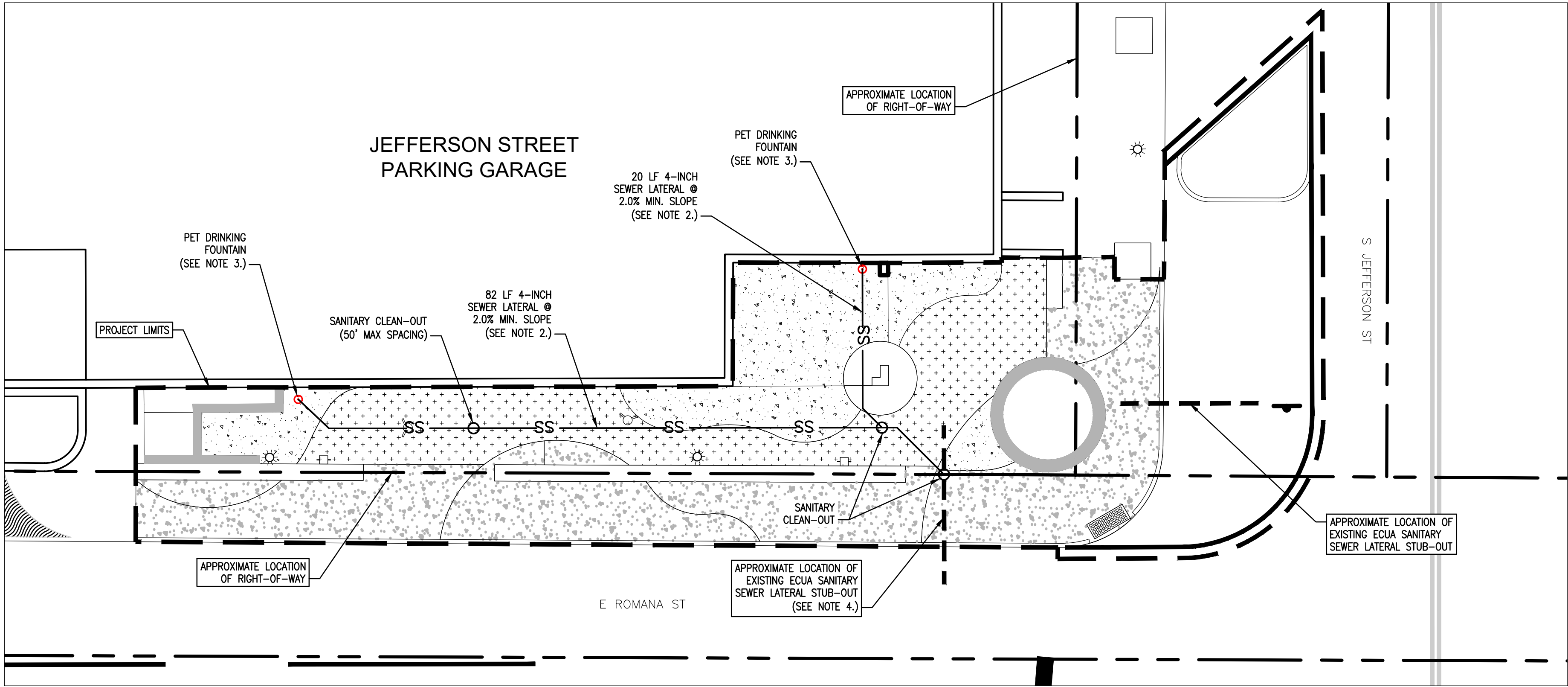
Rob St. Pierre  
Manager, OSP Plng & Eng  
Technology Operations

AT&T





\\WdMyCloudMirror\GCE\ENGINEERING\GCE LLC\Projects\00000.02\Site Design\Jefferson Doggy Stop\3\_19016\_DIB Puppy Pit Stop\_Hardscape - Standard\Pet Fountain\_Utility Plan\_certified.dwg, Feb 27, 2020 - 1:40:42PM, erica

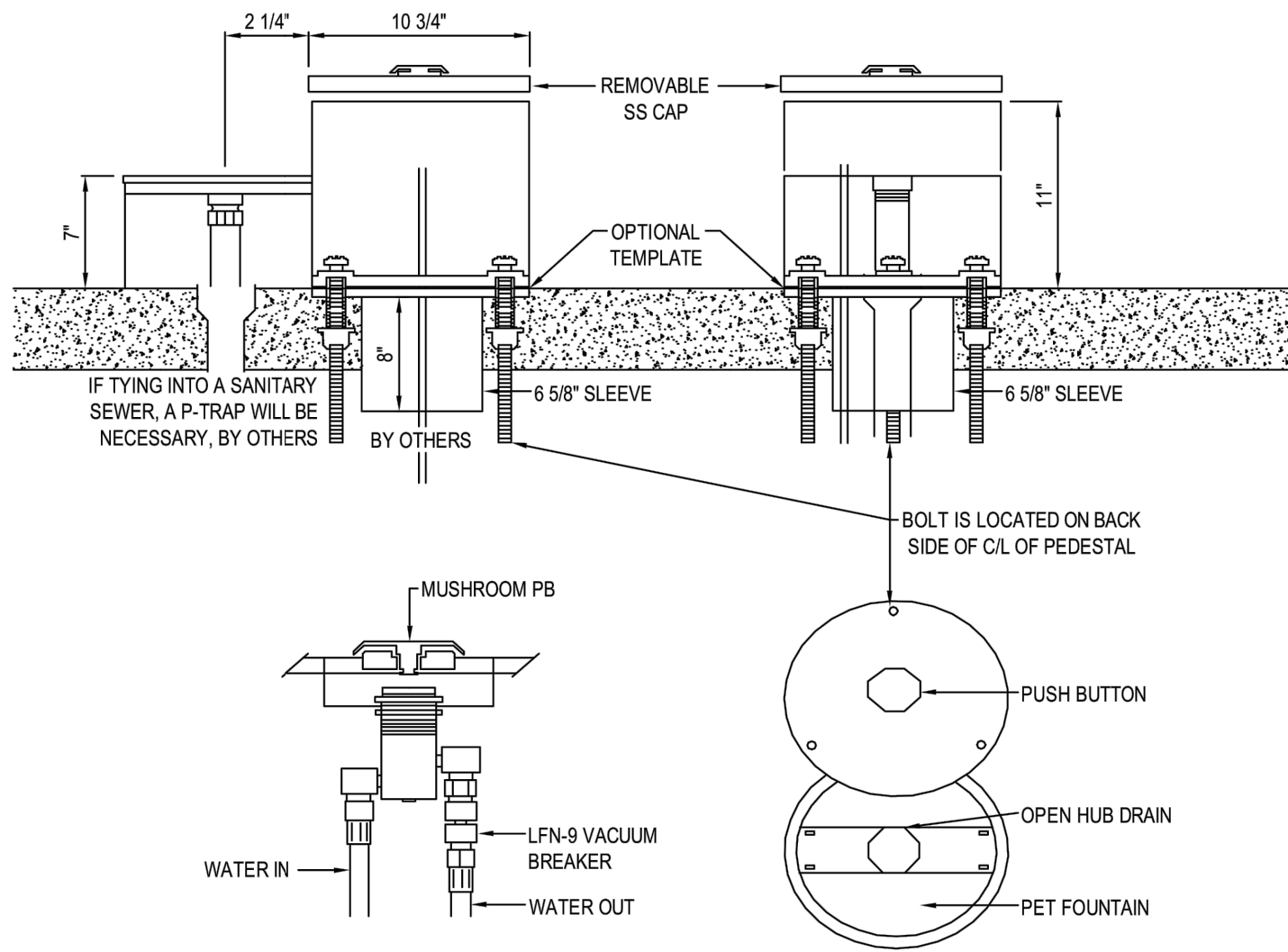


OVERALL UTILITY PLAN

SCALE: 1" = 40' 0 20' 40' 80'



MOST DEPENDABLE FOUNTAINS, INC.  
5705 COMMANDER DR. P.O. BOX 587  
ARLINGTON, TN 38002-0587  
TOLL FREE: 1-800-552-6331  
PHONE: (901) 867-0039  
FAX: (901) 867-0159  
www.mostdependable.com



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 3354-9.5.

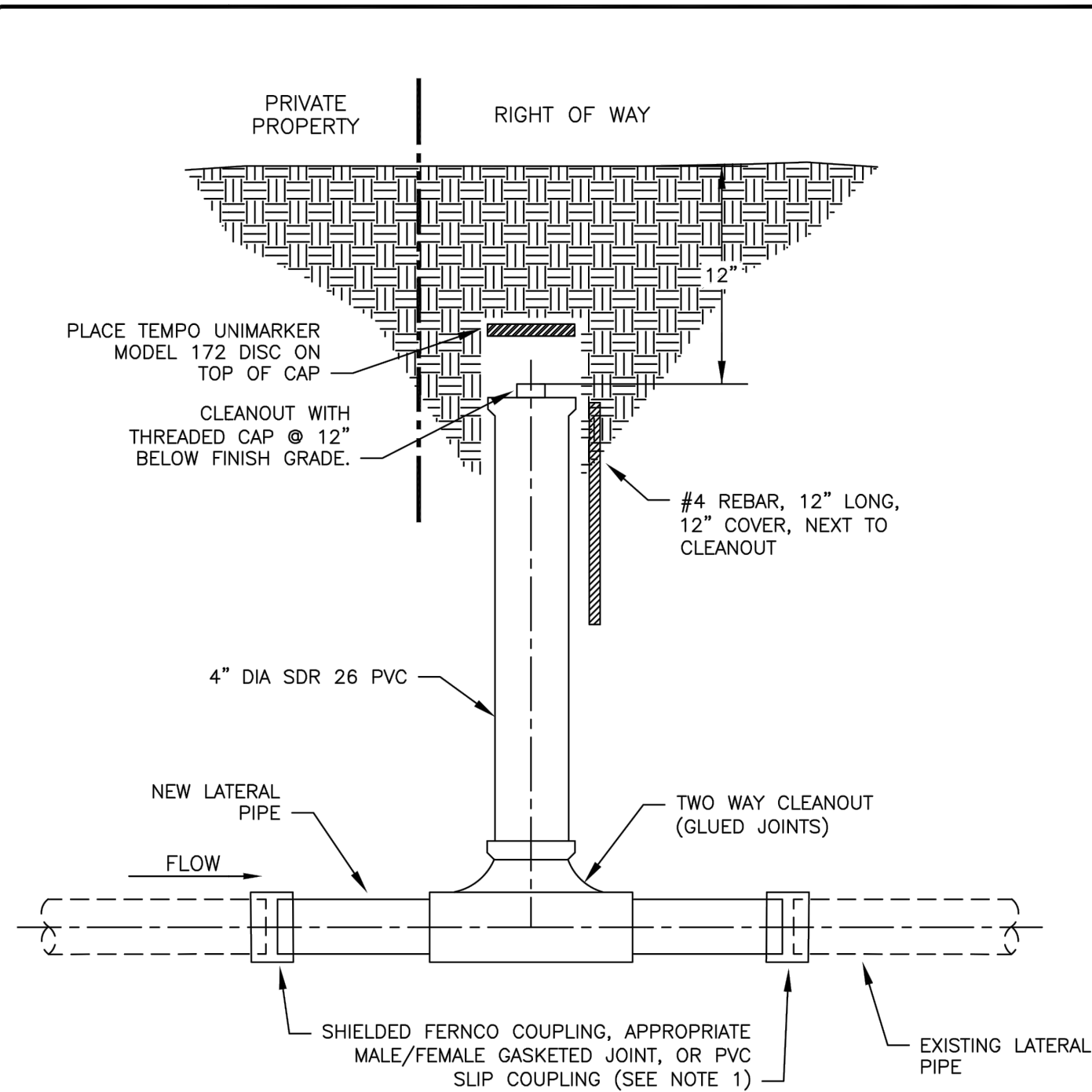


3354-9.5

PROTECTED BY COPYRIGHT © 2016 CADDETAILS.COM LTD.

REVISION DATE 10/18/2016

CADdetails.com



NOTES:

1. MAKE CONNECTION TO EXISTING JOINTS USING NEW GASKETS OR CONNECT TO CLEANLY CUT EXISTING PIPE USING APPROVED REINFORCED FERNCO COUPLING. WHEN COUPLING PVC TO PVC OF THE SAME OUTSIDE DIAMETER, USE A PVC SLIP COUPLING INSTEAD OF A FERNCO.
2. WHERE PRACTICAL, INSTALL CLEANOUTS AS CLOSE TO PROPERTY LINE WHILE REMAINING IN ROW.



NEW CLEANOUT INSTALLATION ON EXISTING LATERAL

SCALE: N.T.S.  
DATE: 9/01/2016

DETAIL

D-2

ECUA Engineering Manual Reference Note\*

\*note shall be inserted in the upper right corner of title sheet

\* applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at [www.ecua.fl.gov](http://www.ecua.fl.gov), is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☐ YES ☐ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

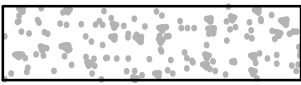
Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\*Project Manuals used only with ECUA CIP Projects

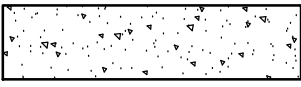
C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

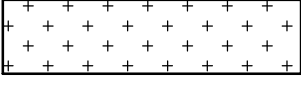
LEGEND



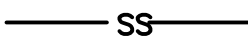
EXISTING CONCRETE



NEW CONCRETE



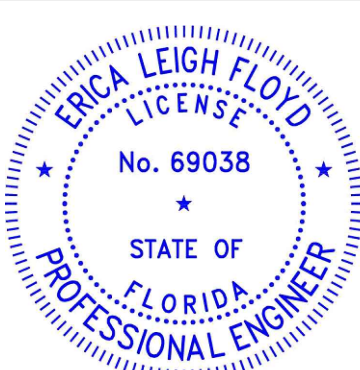
NEW ASTROTURF



NEW SANITARY SEWER LATERAL

NOTES:

1. UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING LOCATIONS PRIOR TO START OF DEMOLITION OR CONSTRUCTION.
2. NEW SANITARY SEWER LATERAL CONSTRUCTION AND PLACEMENT SHALL BE IN ACCORDANCE WITH ECUA ENGINEERING MANUAL (SEE ECUA REFERENCE NOTE THIS SHEET).
3. CONTRACTOR TO CONNECT PET DRINKING FOUNTAIN DRAIN TO 4-INCH SEWER LATERAL IN ACCORDANCE WITH PLUMBING CODE.
4. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER STUB-OUT AND COORDINATE CONNECTION WITH ECUA INSPECTIONS.
5. CONNECTION TO EXISTING ECUA SANITARY SYSTEM SHALL BE MADE WITH ECUA INSPECTOR PRESENT. CONTRACTOR SHALL NOTIFY ECUA 72 HOURS PRIOR TO CONNECTION.



ERICA LEIGH FLOYD, P.E.  
FL REG. ENGINEER # 69038

This item has been digitally signed and sealed by Erica Leigh Floyd, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

GULF CIVIL ENGINEERING, LLC  
Site/Civil Design Services

3298 Summit Boulevard, Suite 44  
Pensacola, FL 32503  
850.262.8941  
FL Certificate of Auth. # 30082

gce

DOWNTOWN  
IMPROVEMENT BOARD

JEFFERSON STREET  
PUPPY PIT STOP

REVISION / ACTION TAKEN

APPR.

NO.

DATE

PROJECT NO: 00000.02

DATE: FEBRUARY 2020

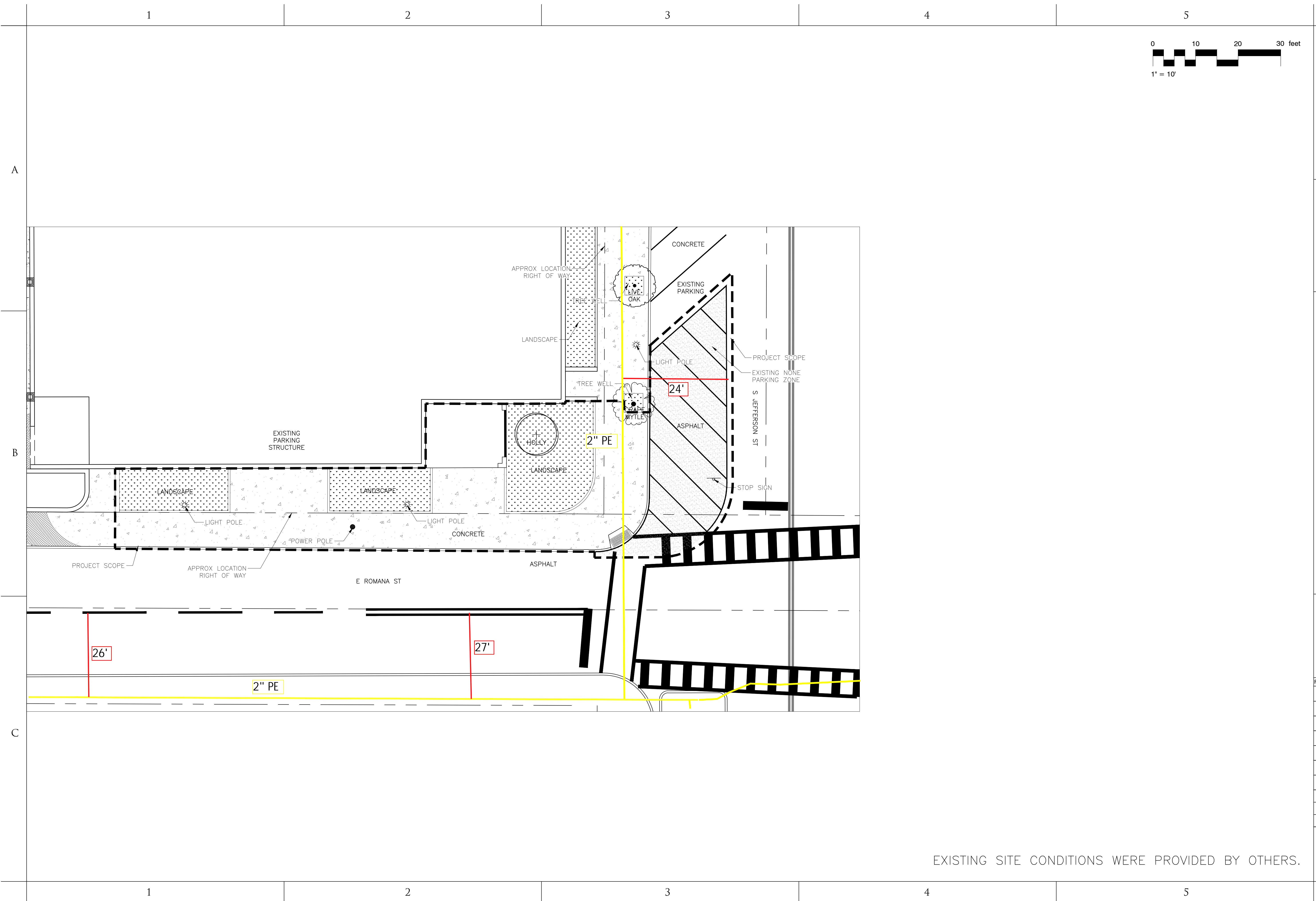
PROJECT MGR: E. FLOYD

SCALE:

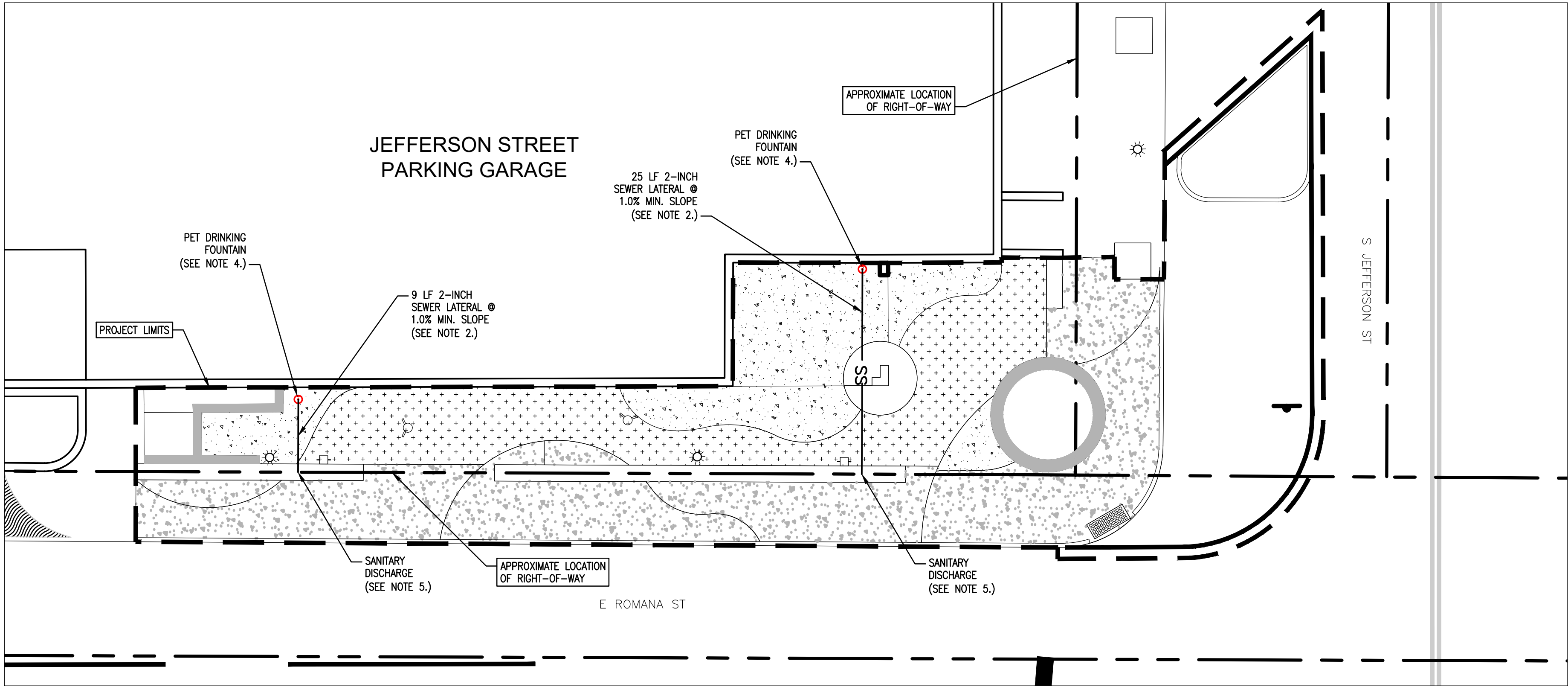
UTILITY PLAN

RELEASED  
FOR CONSTRUCTION

C-100

[illegible]

\\WDMyCloudMirror\GCE\ENGINEERING\GCE\Projects\00000.02\Site Design\Jefferson Doggy Stop\3\_19016\_DIB Puppy Pit Stop\_Hardscape - Standard\3\_19016\_DIB Puppy Pit Stop\_Hardscape\_2013.dwg, Apr 07, 2020 - 11:01:36AM, erica



OVERALL UTILITY PLAN  
SCALE: 1" = 40' 0 20' 40' 80'

**LEGEND**

- EXISTING CONCRETE
- NEW CONCRETE
- NEW ASTROTURF
- NEW SANITARY SEWER LATERAL

- NOTES:**
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING LOCATIONS PRIOR TO START OF DEMOLITION OR CONSTRUCTION.
  - NEW SANITARY SEWER LATERAL CONSTRUCTION AND PLACEMENT SHALL INCLUDE A MINIMUM 30-INCH COVER OVER PIPE AND INSTALLATION AT A MINIMUM 1.0% POSITIVE SLOPE TO DISCHARGE LOCATION.
  - SANITARY SEWER PIPING SHALL BE ASTM D3034 DR 26 PIPE w/ GLUED JOINTS.
  - CONTRACTOR TO CONNECT PET DRINKING FOUNTAIN DRAIN TO 2-INCH SEWER LATERAL IN ACCORDANCE WITH PLUMBING CODE (INCLUDING P-TRAP).
  - DISCHARGE LOCATION SHALL BE DIRECT DISCHARGE WITH SUMP BOTTOM TO VEGETATED/PEA GRAVEL DEPRESSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR SECTION VIEW AND DETAILS.

**MDF**  
MOST DEPENDABLE  
FOUNTAINS, INC.

MOST DEPENDABLE FOUNTAINS, INC.  
5705 COMMANDER DR. P.O. BOX 587  
ARLINGTON, TN 38002-0587  
TOLL FREE: 1-800-552-6331  
PHONE: (901) 867-0039  
FAX: (901) 867-0159  
www.mostdependable.com

2 1/4" 10 3/4" 7" 11" 6" 6 5/8" SLEEVE 6 5/8" SLEEVE

IF TYING INTO A SANITARY SEWER, A P-TRAP WILL BE NECESSARY, BY OTHERS

BY OTHERS

REMOVABLE SS CAP

OPTIONAL TEMPLATE

BOLT IS LOCATED ON BACK SIDE OF C/L OF PEDESTAL

MUSHROOM PB

WATER IN

LFN-9 VACUUM BREAKER

WATER OUT

PUSH BUTTON

OPEN HUB DRAIN

PET FOUNTAIN

**NOTES:**

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 3354-9.5.

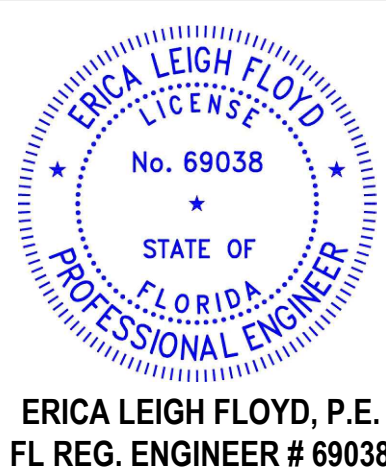
**350 SM SS**  
SHOWN W/ OPTIONAL 10" SS SURFACE CARRIER

3354-9.5

PROTECTED BY COPYRIGHT © 2016 CADDDETAILS.COM LTD.

REVISION DATE 10/18/2016

CADdetails.com



This item has been digitally signed and sealed by Erica Leigh Floyd, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**UTILITY PLAN**

**RELEASED FOR CONSTRUCTION**

**C-100**

**DOWNTOWN IMPROVEMENT BOARD**

**JEFFERSON STREET PUPPY PIT STOP**

**PROJECT NO: 00000.02**

**DATE: APRIL 2020**

**PROJECT MGR: E. FLOYD**

**SCALE:**

**REVISION / ACTION TAKEN**

**NO. DATE APPR.**

**GULF CIVIL ENGINEERING, LLC**  
Site/Civil Design Services  
3298 Summit Boulevard, Suite 44  
Pensacola, FL 32503  
850.262.8941  
FL Certificate of Auth. # 30082

**gce**



# DIB JEFFERSON STREET PUPPY PIT STOP

## LANDSCAPE IMPROVEMENTS PLAN

## PROJECT LOCATION

1 S JEFFERSON ST (SOUTH GARAGE)  
PENSACOLA, FL 32502



301 SCHUBERT DRIVE - PENSACOLA, FL 32504  
850-479-4653 [WWW.JERRYPATEDESIGN.COM](http://WWW.JERRYPATEDESIGN.COM)

DOWNTOWN IMPROVEMENT BOARD  
JEFFERSON STREET PUPPY PIT STOP

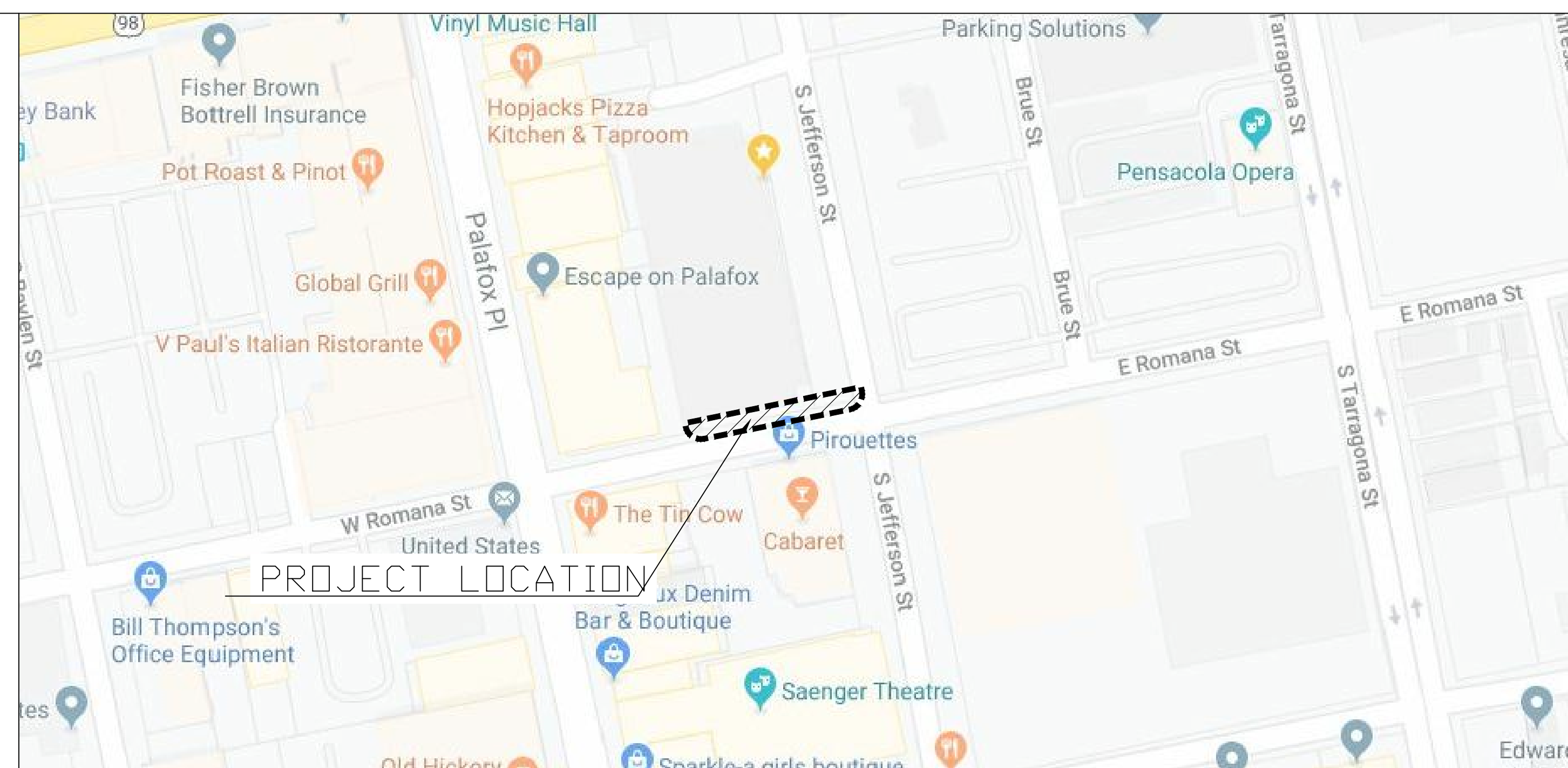
---

COVER PAGE

## SHEET\_INDEX

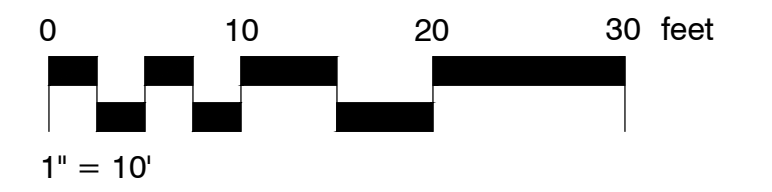
## SHEET DESCRIPTION

LS100	COVER PAGE
LS101	EXISTING CONDITIONS PLAN
LS201	DEMOLITION PLAN
LS301	LAYOUT PLAN
LS401	HARDSCAPE PLAN
LS501	LANDSCAPE PLAN
C100	UTILITY PLAN
LS601	DETAILS
LS602	DETAILS
IR101	IRRIGATION PLAN
IR201	IRRIGATION DETAILS



REV. #	DATE
PROJECT NUMBER:	
19016	
DATE:	
4.9.2020	

LS100



JEFFERSON STREET PUPPY PIT STOP

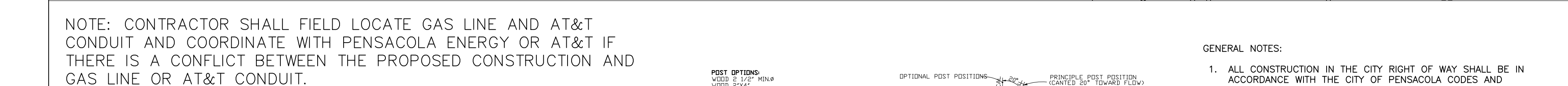
---

EXISTING CONDITIONS PLAN

CT NUMBER:  
16

S101

ISSUE FOR FEMMI



NOTES FOR SILT FENCES

1. Type III Silt Fence shall be used. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1, FDOT Design Standards Index No. 102, Latest Edition.

## 2 TYPE III SILT FENCE APPLICATION

Demolition			
SYMBOL	DESCRIPTION	QTY	DETAIL
 (D-101)	REMOVE EXISTING TURF & VEGETATION TO DEPTH REQUIRED FOR NEW HARDSCAPE & LANDSCAPE.	1,056 sf	
 (D-102)	REMOVE EXISTING CONCRETE TO DEPTH REQUIRED FOR NEW HARDSCAPE & LANDSCAPE	492 sf	
 (D-103)	REMOVE EXISTING WALL	34 lf	
 (D-104)	REMOVE EXISTING ASPHALT TO DEPTH REQUIRED FOR NEW HARDSCAPE & LANDSCAPE	207 sf	
 (D-105)	SILT FENCE	222 lf	

EXISTING TO REMAIN		CODE	BOTANICAL / COMMON NAME	CAL	QTY
		LN3	Lagerstroemia x 'Natchez' Crape Myrtle	Existing	1
		QV3	Quercus virginiana Southern Live Oak	Existing	1
REMOVE		CODE	BOTANICAL / COMMON NAME	CAL	QTY
		IM3	Ilex x 'Mary Nell' Mary Nell Holly	Existing	1

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
21. THE CONTRACTOR'S MEANS AND METHODS OF GROUNDWATER DEWATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FDEP CHAPTER 62-621 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY".

\* WHERE APPLICABLE

THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

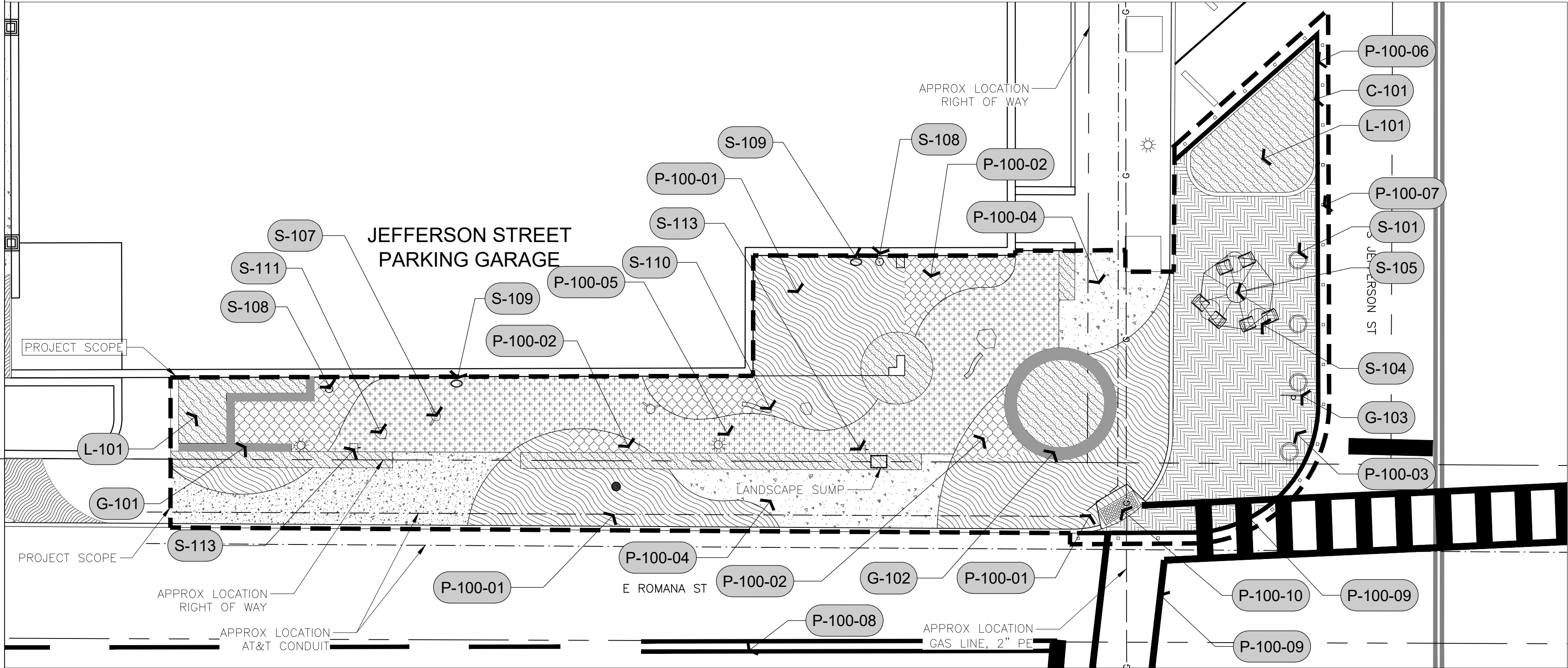
1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPERATELY FROM FROM OTHER EXCAVATED SOIL(S)
3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

[illegible]

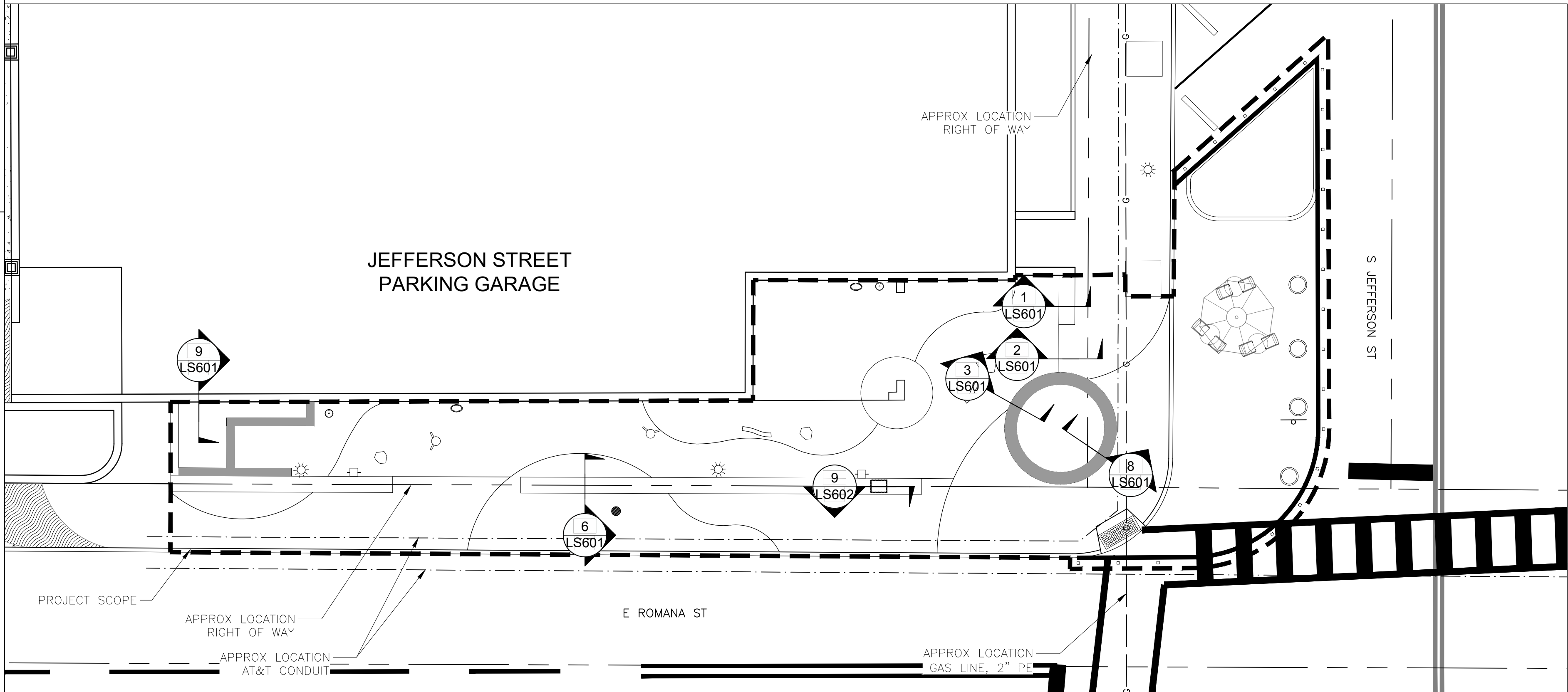
- REFERENCE\_NOTES\_SCHEDULE

NOTE: ALL SITE FURNITURE AND AMENITIES EXACT LOCATION TO BE FIELD LAID OUT BY LANDSCAPE ARCHITECTS AND CONTRACTOR.

GROUND PLAN HARDSCAPE PLAN



AWNING & HARDSCAPE DETAIL CALL OUT

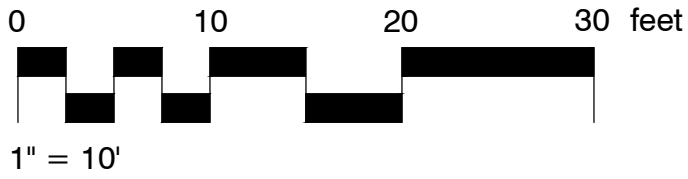


REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
C-101	TYPE F CURB	57 lf	2/LS602
G-101	PROPOSED CONCRETE 12"D PLANTER WALL	33 lf	7/LS601
G-102	PROPOSED CONCRETE 18"D SEAT WALL	39 lf	7/LS601
G-103	EXISTING STOP SIGN SHALL REMAIN IN PLACE		
L-101	PROPOSED PLANTING BED	571 sf	
P-100-01	PROPOSED PEDESTRIAN PAINT ON EXISTING CONCRETE SIDEWALK - STREETBOND 120 BY GAE TERRA COTTA	977 sf	
P-100-02	PROPOSED PEDESTRIAN PAINT ON NEW CONCRETE SIDEWALK - STREETBOND 120 BY GAE TERRA COTTA	305 sf	4/LS601
P-100-03	PROPOSED PEDESTRIAN PAINT ON EXISTING ASPHALT - STREETBOND 120 BY GAF TERRA COTTA	757 sf	
P-100-04	EXISTING CONCRETE SIDEWALK TO REMAIN	587 sf	
P-100-05	ARTIFICIAL TURF - FOREVERLAWN K9GRASS	739 sf	1/LS601
P-100-06	6" WHITE THERMOPLASTIC STRIPING		
P-100-07	RAISED PAVEMENT MARKERS		
P-100-08	EXISTING ROAD STRIPING TO REMAIN		
P-100-09	EXISTING THERMOPLASTIC CROSSWALK TO REMAIN		
P-100-10	24X60 TRUNCATED DOMES TACTILE WARNING SURFACE INSTALLED IN ACCORDANCE WITH CITY OF PENSACOLA ENGINEERING AND MANUFACTURER SPECIFICATIONS.		
S-101	VERADEK BLACK COLOR ROUND PLANTER 27"D X 30"H OR APPROVED EQUAL, WITH SIX(6) REFLECTIVE MARKERS ON EACH PLANTER, SEE DETAIL ON LS601 FOR REFLECTIVE MARKERS LAYOUT	4	10/LS601
S-104	GRAND STEEL PATIO BISTRO SET - ONE FOLDABLE PATIO TABLE AND TWO CHAIRS - YELLOW COLOR, OR APPROVED EQUAL	3	
S-105	GALTECH 9' OCTAGONAL HARDWOOD PATIO MARKET UMBRELLA - LIGHT WOOD W/SUNBRELLA CANVAS NATURAL CANOPY, OR APPROVED EQUAL	1	
S-107	ULTRA SITE DOG FIRE HYDRANT - RED COLOR, OR APPROVED EQUAL	2	
S-108	MOST DEPENDABLE FOUNTAINS - PET DRINKING FOUNTAIN, 350 SMSS , BLUE COLOR, OR APPROVED EQUAL	2	1/LS602
S-109	ULTRA SITE DOG WASTE STATION, PBARK-490, BLUE, OR APPROVED EQUAL, ATTACH TO THE WALL, SEE DETAIL	2	3/LS602
S-110	LOG BALANCE BEAM, OR APPROVED EQUAL	2	
S-111	ROCKS, OR APPROVED EQUAL	2	
S-113	ULTRA SITE DOG LEASH CHECK, PBARK-480, BLUE, OR APPROVED EQUAL	2	11/LS601

GENERAL NOTES:

- ALL CONSTRUCTION IN THE CITY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE CITY OF PENSACOLA CODES AND SPECIFICATIONS.
- EXISTING ROAD & CROSSWALK STRIPING SHALL NOT BE DESTROYED, MOVED OR OTHERWISE ALTERED.
- ALL LANES SHALL BE OPEN FOR TRAFFIC IN THE EVENT OF AN EVACUATION NOTICE.
- CONTRACTOR SHALL FIELD LOCATE GAS LINE AND AT&T CONDUIT AND COORDINATE WITH PENSACOLA ENERGY OR AT&T IF THERE IS A CONFLICT BETWEEN THE PROPOSED CONSTRUCTION AND GAS LINE OR AT&T CONDUIT.
- ALL STRIPING SHALL BE THERMOPLASTIC.
- IMPROVEMENTS IN THE CITY RIGHT OF WAY SHALL BE MAINTAINED BY THE DOWNTOWN IMPROVEMENT BOARD AS LONG AS THE DIB IS TASKED BY THE CITY OF PENSACOLA.
- DETECTABLE WARNINGS SHALL COMPLY WITH LATEST FDOT DESIGN STANDARDS INDEX 522.
- RAISED PAVEMENT MARKERS SHALL COMPLY WITH LATEST FDOT STANDARD PLANS INDEX 706 & INDEX 711.
- ALL RAISED PAVEMENT MARKERS SHALL BE CLASS B DOUBLE SIDED REFLECTIVE & WHITE IN COLOR PER FDOT STANDARD PLANS INDEX 706.
- REFLECTIVE MARKERS:
  - ALL ROUND PLANTERS ON SIDEWALK BUMP-OUT ON JEFFERSON STREET SHALL CONTAIN (6) SIX REFLECTIVE MARKERS ATTACHED TO THE FACE OF THE PLANTERS WITH SCREWS. SEE DETAIL ON LS601.
  - REFLECTIVE MARKERS SHALL HAVE A REFLECTION COLOR OF RED.



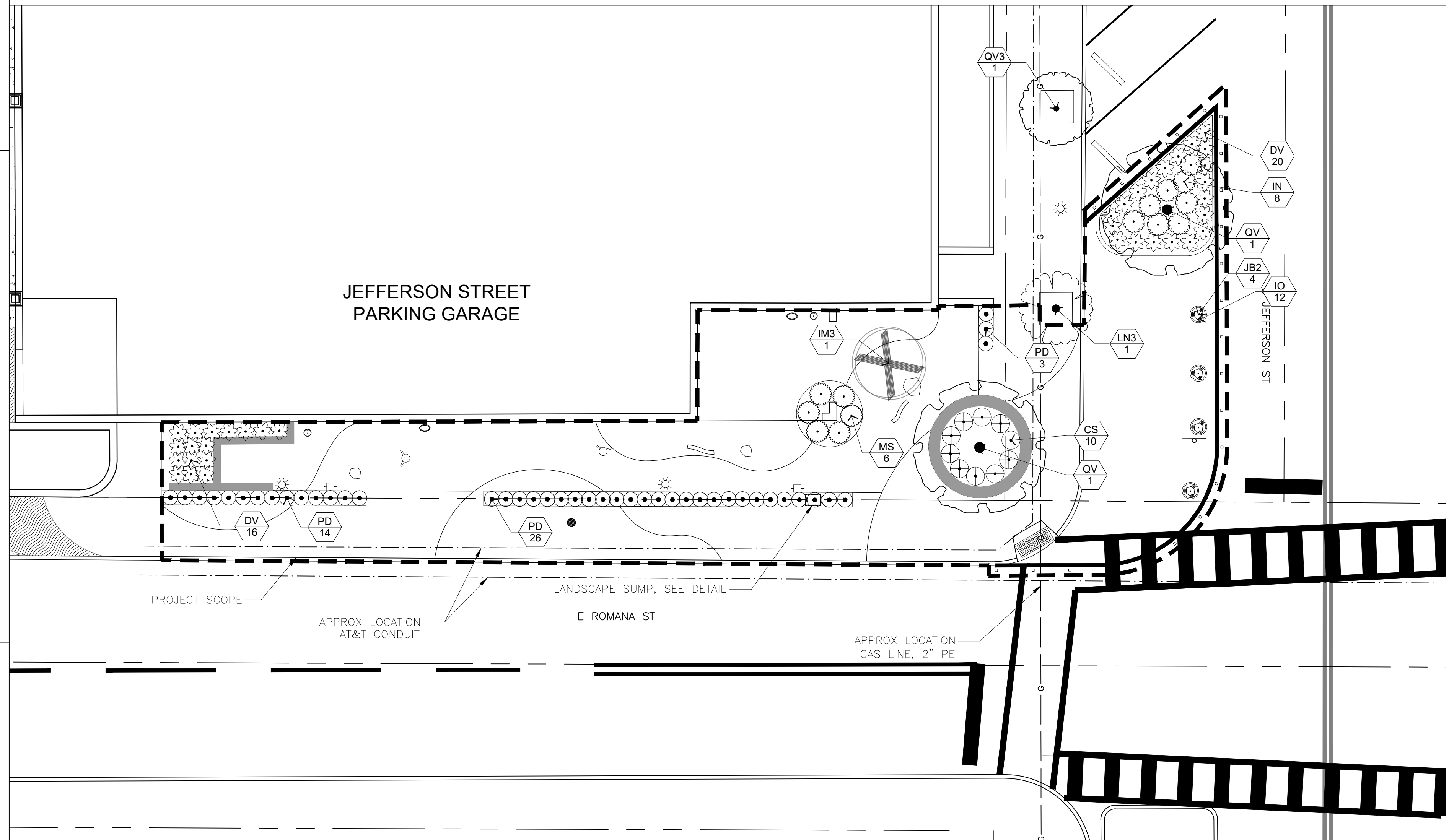
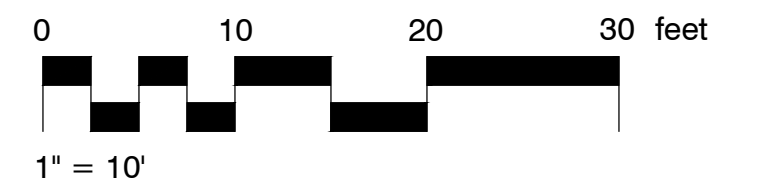
REV. # DATE

PROJECT NUMBER:  
19016

DATE:  
4.9.2020

SHEET NO.:

LS401

PLANT SCHEDULE PUPPY PIT STOP

- GENERAL NOTES:

REV. #	DATE

LS501







## **MINUTES OF THE ARCHITECTURAL REVIEW BOARD**

**January 16, 2020**

**MEMBERS PRESENT:** Chairperson Quina, Vice Chairperson Crawford, Board Member Fogarty, Board Member Campbell-Hatler, Board Member Mead, Board Member Salter, Board Member Villegas

**MEMBERS ABSENT:** None

**STAFF PRESENT:** Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Assistant City Attorney Lindsay, Intern Mendillo, Assistant Planning Director Cannon, Digital Media Coordinator Siedah Rosa

**OTHERS PRESENT:** Elsie Zhang, Lissa Dees

### **CALL TO ORDER / QUORUM PRESENT**

Chairperson Quina called the Architectural Review Board (ARB) meeting to order at 2:00 p.m. with a quorum present and explained the Board procedures to the audience.

### **APPROVAL OF MINUTES**

Board Member Crawford made a motion to approve the December 19, 2019 minutes, seconded by Board Member Villegas, and it carried unanimously. Board Member Fogarty made a motion to approve the minutes of the special meeting tour on January 10, 2020, seconded by Board Member Campbell-Hatler, and it carried unanimously.

**OPEN FORUM** - None

### **NEW BUSINESS**

**Item 1**

**1304 N. Barcelona Street**

**NHPD**

**Contributing Structure**

**PR-1AAA**

**Action taken: Approved.**

Scott Sallis, Dalrymple Sallis Architecture, is requesting modifications to a recently approved project.

Mr. Sallis presented to the Board and explained the proposed changes were simplified due to construction costs but felt it warranted returning to the Board for approval. Chairperson

Quina noted that North Hill had no objections to the request. He asked about the materials for the pergola, and Mr. Sallis advised they were most likely wood. Board Member Mead addressed the tree cutting, and Mr. Sallis stated the neighborhood association had met and had given their concerns. It was determined the tree cutting involved Laurel oaks, and everyone was on board. He further explained the trees coming out were near the pool, and they were planting far more trees than they were removing. It was determined the pergola was open to the sky with aluminum slats. Chairperson Quina asked about the security from the house to the pool. Mr. Sallis stated the pool contractor would be addressing this. He also advised there was a new connection from the porch to the master suite since the windows leaked horribly. **Board Member Crawford made a motion to approve, seconded by Board Member Mead, and it carried unanimously.**

**Item 2**

**1 S. Jefferson Street**

**PHBD**

**Non-Contributing Structure**

**C-2A**

**Action taken: Approved (awning not included).**

Lissa Dees, Downtown Improvement Board (DIB), is requesting approval for a "Puppy Pit Stop" along the south side of the Jefferson Street parking garage.

Ms. Zhang and Ms. Dees presented to the Board and stated the dog area would be open with the dogs on leashes. The no parking zone would be painted to expand the sidewalk area with planters to protect pedestrians from the vehicles. Some of the furniture and amenities would be offered in the second phase.

Chairman Quina pointed out it was an interesting way to enliven that corner, and it was a shame they couldn't raise the curb to make it all level. It was determined the funding came from the DIB. Board Member Mead asked if there was some manner where they could attach leashes, possibly installing rails to give for more freedom for the animals and the owners; it might also be a good architectural addition. Board Member Campbell-Hatler asked about the cleanup plan, and Ms. Dees stated the DIB had hired a company for street cleaning who would add this to their regular routine. Ms. Zhang advised there would be a waste station, and the turf was designed to keep the solid waste on top of the turf for easier cleaning.

Board Member Villegas was concerned about safety and asked about the shrubs which were determined to be in the first phase. She was concerned with the presence of the dogs and how people deal with them and how this would all play out. She liked the idea of attaching the leash to something and asked if there could be a gate on the entrance if needed; she wanted to know the quick fix for any potential problems. Ms. Dees advised when Southtowne was proposed, there was a dog park, but that had been mitigated. There were now areas to avoid, and they were trying to provide an area for the downtown pets. She also explained they were working within the budget they currently have, and a gate might be affordable at a later date. She indicated the traffic flow was a part of Public Works, and they had not commented on the need for a change.

Ms. Zhang stated they would use the same screening as the rear of Jefferson garage, and the awning cover was within Phase 2. They considered the retractable awning for the tight space and hurricane conditions. Advisor Pristera asked about the lighting, and Ms. Dees advised the lighting on the inside had been converted to LEDs, and the domes would be replaced to make it brighter. She also explained there were lots of security cameras around

the parking garage. Board Member Salter asked about the size of the in-ground waste disposal, and it was determined to be around 24" to 36" but it would be a regular size container buried in the ground. Board Member Campbell-Hatler was concerned about the shade and suggested "lollipop" trees, and Ms. Dees stated she would be asking Council about the Tree Fund monies. **Board Member Campbell-Hatler made a motion to approve, seconded by Board Member Crawford. Board Member Salter made an amendment to state the awning was not included, and it was accepted and seconded. With no speakers, the motion carried unanimously.**

**Item 3**

**412 E. Belmont Street**

**OEHPD**

**Contributing Structure**

**OEHC-1**

**Action taken: Approved with abbreviated reviews.**

Jesse LaCoste, LaCoste Construction Group, is seeking *final* approval for a rear addition and exterior modifications to a contributing structure.

Mr. LaCoste addressed the Board and stated the siding color was aqua, windows and doors would be a deep espresso stain, the iron fixtures would be black, and trim color would be white. Chairperson Quina advised from the onsite visit, the actual ceiling height upstairs seemed adequate, but the problem was the ceiling height over the stairwell. Mr. LaCoste stated raising one roof line above the other created the need to raise the whole roof for the best visual.

Advisor Pristera stated it seemed to be a lot of expense to raise the roof for two rooms and a bathroom, and with a deep lot it might be better to construct an addition on the rear and not deal with the stairs and raising the roof; he explained this was not a preservation project. Mr. LaCoste stated the deep structural work was caused by the Code, and once they did the structural alterations, it became a Level 3 alteration. Advisor Pristera felt the lot was wide enough for other things. Mr. LaCoste stated the house was actually twisted, and according to the boundary, the rear of the left elevation was actually diving into the property line; he did not have as much room to build in the rear as it seemed. The Board then discussed other methods to obtain the needed height. Mr. Scapechi, the engineer, explained that Mr. Weekley pointed to a structural beam which holds up the second floor which is below the head height, and it could not be raised. Chairperson Quina asked how significant this house was, and Advisor Pristera stated it was unique to Old East Hill and significant to them. Staff stated Old East Hill had provided comments when the project was presented for conceptual review. Mr. LaCoste indicated they wanted to keep the structure the same, but it would be taller. Staff handed out the prior Old East Hill comments to the Board for consideration. It was determined the age for construction of the house was the 1890s, and Old East Hill wanted to maintain the gothic influence and details with a single front door and sidelights; Mr. LaCoste was agreeable to these suggestions.

Chairperson Quina appreciated the fact they were trying to preserve the structure, and adding 2' was minimal in saving the house. Mr. Weekley then explained to the Board that the foundation was a must, the head level at the stairs would have to come to Code, it was a Level 3 alteration, and he would need reports for historical repairs. He pointed out the foundation would not be done from the crawl space, and all flooring would be removed even to level the foundation. In just walking across the flooring, he could see there were some serious issues. He advised the east side appeared to be an add-on with multiple

piers at one location which was the point where it was beginning to sag. He explained they were basically building a new house from inside out. Advisor Pristera agreed this structure needed work. Board Member Campbell-Hatler asked what aesthetic quality would the structure have in the end with all the required changes and would it be better to take it down. Mr. LaCoste explained they had factored in enough to build what they proposed, and since his name would be attached to this home, it would be built with certain standards. Board Member Mead addressed the lack of fenestration on the rear, and Board Member Crawford suggested a window on the new rear elevation.

**Board Member Mead made a motion to approve with the following modifications: 1) that the dormer on the west side have a double gang of square windows or a single square window consistent with the other square windows on that elevation; 2) in the addition, that the window over the top be modified to fit one of the component windows on the main body of the house to be submitted for abbreviated review; 3) on the rear elevation the door be shifted to the left to accommodate the retention of the double gang windows – he was fine with the deletion of the single window to the left of that side, and that some type of appropriate fenestration be placed in the rear elevation wall to give it some relief and more light in the bathroom which could be in an abbreviated review. (It was clarified that it was the door on the upper level of the rear elevation. It was also noted the Board preferred the single door on A2.2.) Board Member Crawford seconded the motion. Board Member Salter amended the motion to ensure all of the eaves, overhangs, and rakes of the new addition matched the profiles of the existing. The amendment was accepted and seconded, and the motion carried unanimously.**

**Item 4**

**200 W. Jackson Street**

**NHPD**

**Contributing Structure**

**PR-2**

**Action taken: Approved.**

James and Michelle English are requesting a *Variance* to increase the maximum allowed rear yard coverage from 25% (625 sf) to 27.36% (684 sf) to accommodate a detached garage with second-story living quarters.

Mr. English presented to the Board, and Chairperson Quina stated he appreciated the applicant returning to the Board and addressing its concerns. Board Member Mead pointed out the house originally comprised a parcel which included the lot behind it, so with respect to the current Code, the existing house is built well into the rear setback line which is part of the percentage problem. Historic Preservation Planner Harding advised the Board had approved the removal of the existing stairs but 175 sq. ft. of the house still encroached into the rear; he explained they were able to occupy 625 sq. ft. and they were asking for 684 sq. ft. If the building had been built within its own setbacks, a variance would not be necessary. **Board Member Mead considered this a hardship, and the applicant should get credit for that detail and receive the balance for that on the additional coverage for what they were requesting and moved for an approval. Board Member Crawford seconded the motion, and with no audience speakers, the motion carried unanimously.**

# NHPD

## Contributing Structure

PR-2

**Action taken:** Approved with abbreviated review.

James and Michelle English are requesting approval for exterior modifications to a contributing structure and to add a detached two-car garage with second-story living quarters.

Mr. English addressed the Board and stated the windows were changed to wood since they wanted to emulate each elevation. The steel carriage doors would be trimmed to match the house. Board Member Crawford was concerned with the steel because of extruding methods which might not have sharp edges. Mr. English advised their goal was consistency which would be addressed by the painter. He also explained the balcony was now at 4' and they wanted it to aesthetically match the house. Chairperson Quina suggested lowering the balcony windows for access. Mr. English advised they proposed to position the A/C units under the stairs. Board Member Mead addressed the awning roof over the door and suggested duplicating the bracket detail on the front porch.

**Board Member Crawford made a motion to approve with the following modifications:**

1) that the windows on the front and right include a 4" center trim piece which matches the main house; 2) that brackets be added to the rear elevation canopy similar to the front elevation; 3) recommended the carriage door in the plans and suggested considering fiberglass doors with a cement board overlay for sharper details. Board Member Salter amended the motion to include that the second floor windows be lowered. Board Member Mead suggested an abbreviated review for the 4" center window trim since the trim was probably a 6" trim. The amendments were accepted. Board Member Mead seconded the motion, and it carried unanimously.

(The Board then proceeded to Item 7.)

## PHBD

## Contributing Structure

**C-2A**

**Action taken:** Approved as art.

The UWF Historic Trust is requesting modifications to a previously approved mural. This project was denied during an Abbreviated Review due to the inclusion of the UWF Historic Trust's name and logo causing the mural to be classified as signage.

Advisor Pristera presented to the Board and explained the mural had been installed. He explained as people come into the mural program, they were trying to deal with how to place the signature on it to designate it as part of a walking trail. They will eventually have an application which visitors can follow to an information hub. He explained the key was a citation or artist's signature, and they did not intend it to be offsite advertising.

Board Member Salter explained the definition of a sign by the City of Pensacola does not distinguish or exclude not-for-profits but states any entity, and the Trust is an entity. Assistant City Attorney Lindsay stated Board Member Salter was correct. Whether this Board would want to recommend that the City look at whether the ordinance could be amended at how we define signs, the Board could recommend that review. But as the Code is currently written, the opinion by Board Member Salter was correct. Staff referred to Sec. 12-14-1 *Definitions enumerated, Sign* - Sign means any device, display or structure, or part thereof, which advertises, identifies, displays, directs or attracts attention to an

object, person, institution, organization, business, product, service, event or location by the use of words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images.

Board Member Mead suggested the Trust was the custodian of the art and what it had been approved under previously. Board Member Salter advised every image he had seen in the past did not have the logo/key. Staff advised they had looked at it as off-premise signage which was also prohibited in this district. Assistant City Attorney Lindsay explained it was public art but might not be under the City's definition because there is a designation referencing back to the Historic Trust; the logo and the wording created the sign. Board Member Campbell-Hatler explained it was more an installation piece since one would have to know what they were looking at in order to participate in the viewing and consumption of it. Board Member Mead pointed out the Gulf Coast Arts Festival had lots of signs and depictions which direct the person to the artist. Advisor Pristera stated the parking garage also had the signature of the artists. Board Member Mead felt the categories were different. Board Member Campbell-Hatler explained if it was really signage, it would be very legible and very obvious for what it was trying to advertise; she did not believe this mural was focused on selling. She pointed out if walking through a museum with earphones on, you would have to have a designation to know which pieces were in that collection. Advisor Pristera indicated the key was lending to interactive wayfinding. Board Member Mead explained the value was given by the designation, and Board Member Campbell-Hatler suggested it was out of the perimeters of advertising and believed all of the murals should have it. Board Member Salter believed the issue at hand was using the key/logo as the symbol for the wayfinding paths, but the murals being mounted to the sides of the building represented the emblem of the Historic Trust Trail and did not need the mark of the Historic Trust placed on them to mark them as a part of the historic trail. The way the Code is written does not mean it has to be a business but states "which identifies an entity" which it does. He felt there needed to be an alteration to the Code.

Board Member Mead did not feel in this context an alteration was needed because he thought a categorical distinction could be made between art and signage and that the customary nature of the identification that is spoken to in the signage is different than the customary nature of the identification that is typically the signature of the artist, or in this case, the custodian of art. Proportionally speaking, this was consistent for the signature on art where we have a matter which is in the public domain and has to be maintained by a public custodian; he suggested this was within the bounds for custom of art and did not become signage. Board Member Salter asked the difference between this mural and the mural with the logo for the East Garden District development. Advisor Pristera felt the development was using the mural to benefit them for their development, and the logo placement was also in a more prominent location. Board Member Salter stated it was still a logo of an entity and did not see a distinction between this logo and the Historic Trust logo. Board Member Mead explained they were trying to use a public domain image as signage in the same manner as the Historic Trust, but here you have the public custodian of the art and of the location putting up the historic image of the place and also indicating the custodian. Board Member Salter pointed out the image could change and at that point, anyone who wanted to become the custodian could place their image on it. Board Member Mead clarified that the Historical Trust was the real custodian of the images, and if that

custodian did not exist, those historical resources would go away. Advisor Pristera advised there was a committee to oversee donors, and it was a program for public benefit, and if they wanted their sponsorship noted, it could be placed on a website. He felt giving the key gave it legitimacy in that a larger group had reviewed this, and it was appropriate and serving a public good.

Board Member Villegas agreed with both Board members but felt some type of amendment needed to be in place to acknowledge the historical value of it and how these things are approached. Verbiage of custodianship could get the Board in trouble down the line, and she felt amending it with some acknowledgment to a historical acknowledgement within the community would be the value of the community and allowed in that context. But outside of that, signage was signage; she felt it would be changed out and could be a problem down the line. Board Member Mead explained that within an art placement, you would sign the iteration of the art, and this mural was consistent with that. Attempts to prescribe too much winnows out all the creative efforts that you could get in the play of the joints that are needed in order to be successful. Board Member Villegas pointed out there were a lot of images not owned by UWF which the Historical Trust had not handed over, and a private company could purchase them, and an amendment protected the Board in the long term.

**Board Member Mead made a motion to approve as these are public art in placements which are being signed effectively by the custodian of the art in placement responsible for its erection, these should be considered as art, and insofar as they are in proportion to the typical customary signature on a piece of art, they should be approved and not considered signage. Board Member Campbell-Hatler seconded the motion. The motion carried 5 to 2 with Board Member Salter and Villegas dissenting.**

**Item 7**

**423 E. Government Street**

**PHD**

**Contributing Structure**

**HC-1 / Wood Cottages**

**Action taken: Approved.**

Robin Hoban is requesting approval to remove a chimney.

Ms. Hoban presented to the Board and thanked Historic Preservation Planner Harding for his assistance in preparing the application. She advised they did a preliminary assessment of the chimney initially, and based on the Board's discussion, they decided to try and keep the chimney; the entire floorplan had been designed around the chimney. At this time, they have begun to fully assess the brick on the chimney and the house, and the sun dried brick had not held up over time, and the prior owners had not done anything to mitigate the damage. After getting onto the roof with the structural engineer, the degradation was alarming; it was a concern at this point, it would cost more to remove it than to keep it, and they wanted the Board to consider her request to remove the chimney. Advisor Pristera explained he had met the contractor at the house and also felt the house was very unstable, and only a small portion was supporting the chimney structure; to repair the house would be a total rebuild. He pointed out the homeowner was doing a great job in restoring the house the correct way, but the chimney would be a total rebuild. **Board Member Mead made a motion to approve the chimney removal, seconded by Board Member Salter, and it carried unanimously.**

**ADJOURNMENT** – With no further business, the meeting adjourned at 4:22 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be 'G. Hardy', written in a cursive style.

Historic Preservation Planner Harding  
Secretary to the Board