



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. Christian Voelkel
Applicant Signature

3/26/2020
Date

FLORIDA BUILDING CODE 2017

DESIGN CRITERIA:

1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530/560.1-13).
4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

1. DEAD AND LIVE LOADS PER ASCE 7
2. FLOOR LIVE LOAD = 40PSF
3. ATTIC LIVE LOAD = 10PSF
4. ROOF LIVE LOAD = 20PSF
5. WIND LOAD AS PER ASCE 7

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

1. STRUCTURAL STEEL = 36 KSI (MINIMUM)
2. CONCRETE REINFORCING BARS = GRADE 60 (ASTM A-615)
3. CONCRETE = 2,500 PSI @ 28 DAYS
4. BOLTS = GRADE A325
5. THREADED ROD = GRADE A307 (SAE 1018)
6. ANCHOR BOLTS = GRADE F1554
7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

1. THE DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
3. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CORRECTATIONAL COSTS.
4. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS, ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
5. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
6. ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATIONS INSURANCE, AND CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
8. RECOMMEND ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO, METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

1. NAILS SHALL BE CORROSION-RESISTANT.
2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AT LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
2. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER.
3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAGE (0.105 INCH) SHANK WITH A MINIMUM $\frac{3}{8}$ " DIAMETER HEAD.
4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF $\frac{3}{4}$ " INTO THE ROOF SHEATHING. WHERE ROOF SHEATHING IS LESS THAN $\frac{3}{4}$ " THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)
 - TWO LAYERS REQUIRED.
 - 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
 - 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS NINE INCHES.
 - FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
 - FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
6. SATURATED FELT UNDERLAYMENT (ROOF SLOPE \geq 4:12).
 - ONE LAYER REQUIRED.
 - APPLY IN SHINGLE FASHION.
 - INSTALL STARTING FROM THE EAVE AND LAPPED 2-INCHES.
 - FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
 - FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
 - FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.
7. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).
 - AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.
 - OVERLAP SHALL BE A MINIMUM OF 3".
 - EAVE DRIP EDGES SHALL EXTEND $\frac{1}{2}$ " BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
 - DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT. IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
 - DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPLICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#5 BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1.5" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#11 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

[illegible]

ROOF COMPONENTS COMPLIANCE STANDARDS	
ASPHALT SHINGLES	ASTM D 225 -OR- D 3462
UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)	ASTM D 4869 TYPE II -OR- TYPE IV
UNDERLAYMENT (ROOF SLOPE ≥ 4:12)	ASTM D 4869 TYPE IV
SELF ADHERING POLYMER MODIFIED BITUMEN SHEET	ASTM D 1970
NAILS	ASTM F 1667
WOOD SCREWS	ANSI/ASME B 18.6.1
CORROSION RESISTANCE (FASTENERS)	ASTM A 641 CLASS I
CORROSION RESISTANCE (CLIPS)	0.90 OZ/FT ² ASTM A 90/A 90M



SHAMS RESIDENCE

425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502


<p><u>NEW RESIDENCE AREAS:</u></p> <p>FIRST FLOOR CONDITIONED SPACE: 1,975 S.F.</p> <p>SECOND FLOOR CONDITIONED SPACE: 1,535 S.F.</p> <p>TOTAL CONDITIONED SPACE: 3,510 S.F.</p> <p>FIRST FLOOR FRONT PORCH: 174 S.F.</p> <p>SECOND FLOOR FRONT BALCONY: 174 S.F.</p> <p>SECOND FLOOR REAR PORCH / SUN DECK: 307 S.F.</p>	<p><u>SCOPE OF WORK:</u></p> <p>...</p>
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1-3 EXISTING SITE LAYOUT WITH DEMOLITION

SCALE: $\frac{1}{8}" = 1'-0"$

1-4 NEW SITE LAYOUT
SCALE: $\frac{1}{8}" = 1'-0"$

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425 & 427 EAST ROMANA STREET
PENSACOLA, FL 32502**
Prepared for: **CALDWELL BUILDERS**

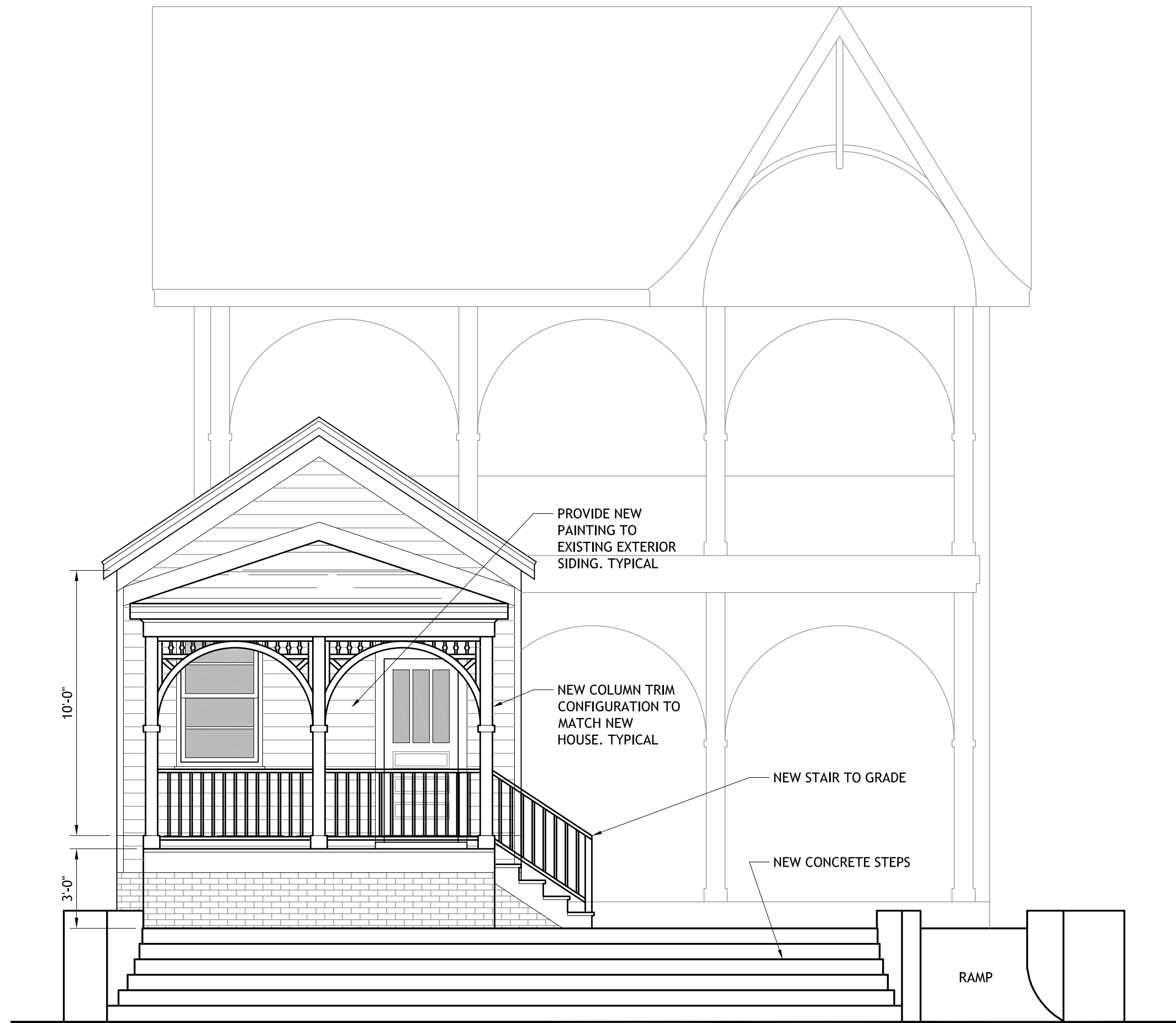
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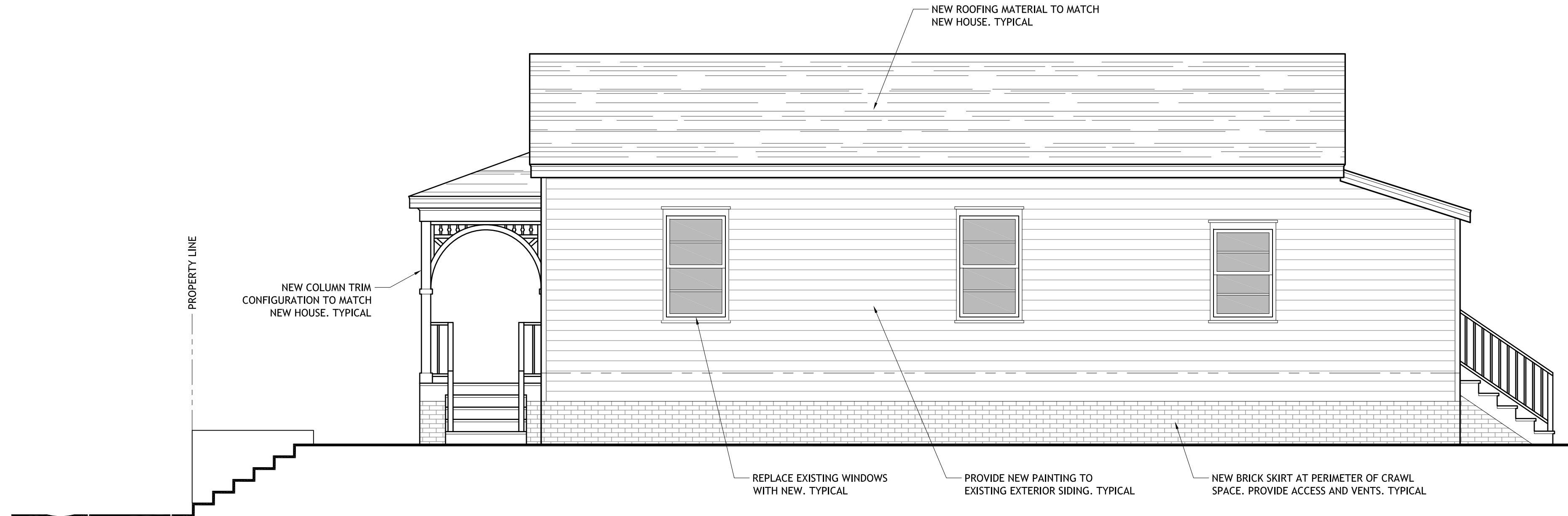
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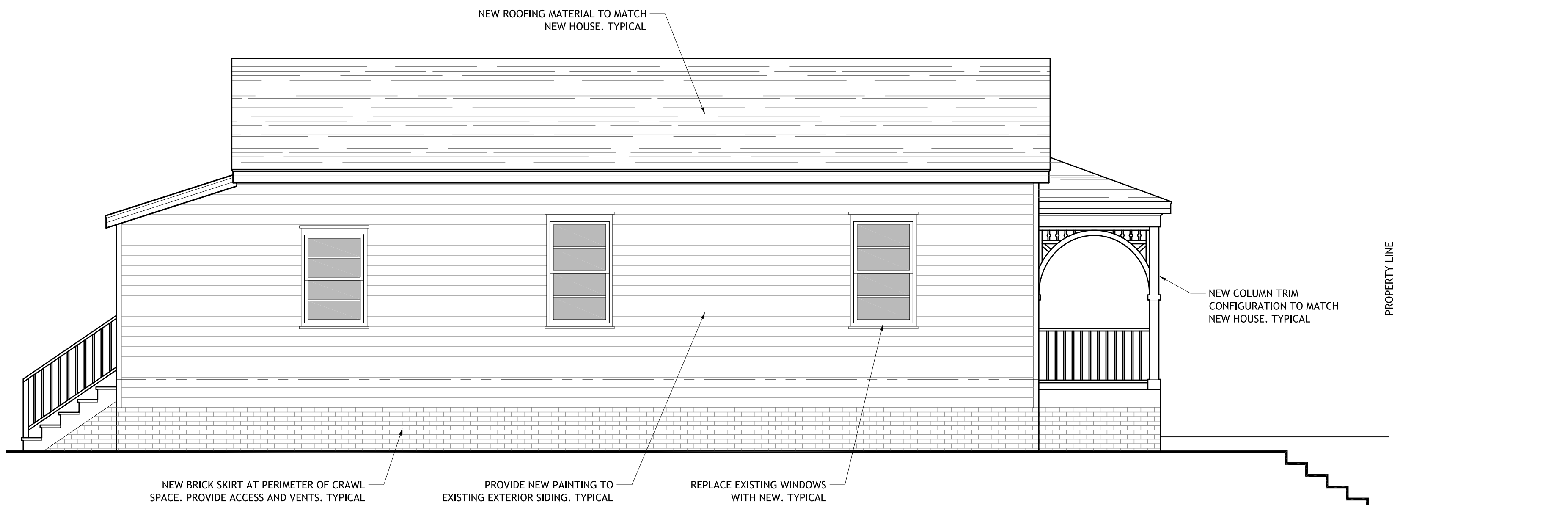
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2-1 EXISTING CONTRIBUTING STRUCTURE - NORTH ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2-2 EXISTING CONTRIBUTING STRUCTURE - WEST ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



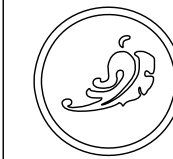
2-3 EXISTING CONTRIBUTING STRUCTURE - EAST ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2-4 EXISTING CONTRIBUTING STRUCTURE - SOUTH ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$

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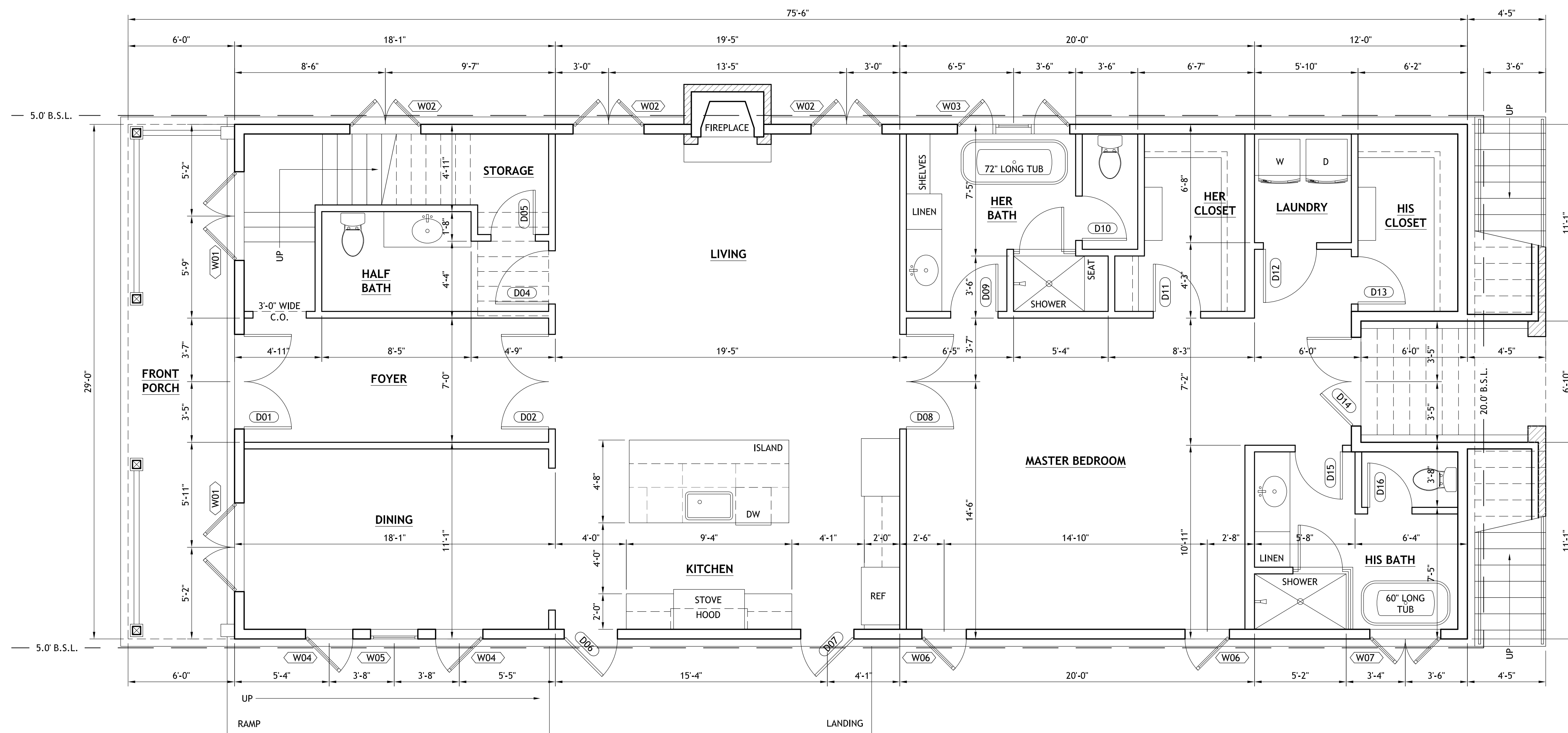
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Checked By: JCV
Project #: 000-181007

Scale: As Noted

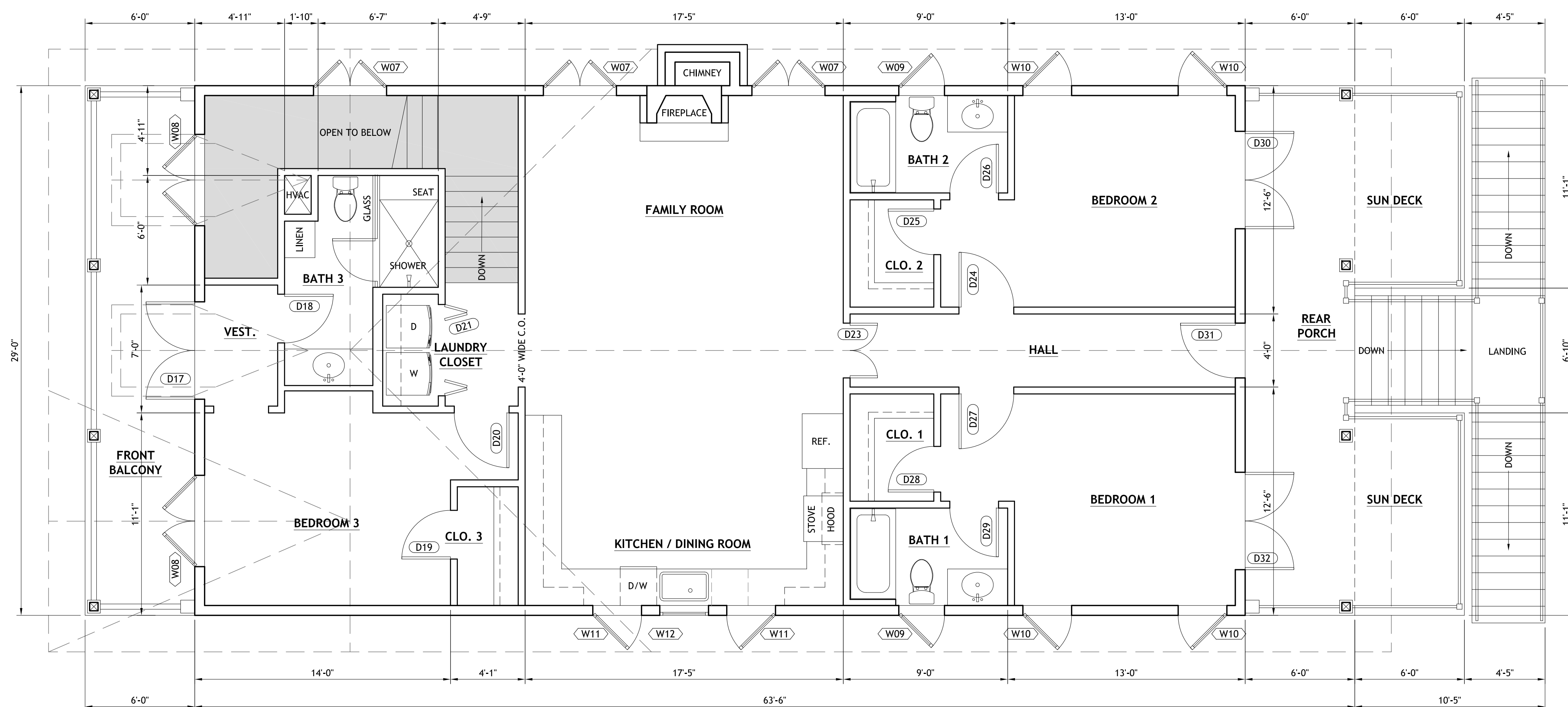
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DOOR SCHEDULE						
TAG	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	TYPE	FLORIDA PRODUCT APPROVAL NUMBER
D01	5'-4"	9'-0"	EXTERIOR DOOR	WOOD	SWING (PAIR)	
D02	5'-4"	9'-0"	INTERIOR DOOR	WOOD/GLASS	SWING (PAIR)
D04	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING
D05	2'-6"		INTERIOR DOOR	WOOD	SWING
D06	3'-0"	9'-0"	EXTERIOR DOOR	CLAD/GLASS	SWING	
D07	3'-0"	9'-0"	EXTERIOR DOOR	CLAD/GLASS	SWING	
D08	5'-4"	9'-0"	INTERIOR DOOR	WOOD	SWING
D09	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D10	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING
D11	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D12	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING
D13	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D14	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D15	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D16	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING
D17	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D18	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D19	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D20	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING
D21	5'-0"	8'-0"	INTERIOR DOOR	WOOD	BI-FOLD (PAIR)
D23	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING (PAIR)
D24	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING
D25	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING
D26	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D27	3'-0"	8'-0"	INTERIOR DOOR	WOOD	SWING
D28	2'-6"	8'-0"	INTERIOR DOOR	WOOD	SWING
D29	2'-8"	8'-0"	INTERIOR DOOR	WOOD	SWING
D30	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	
D31	3'-0"	8'-0"	EXTERIOR DOOR	CLAD	SWING	
D32	5'-4"	8'-0"	EXTERIOR DOOR	CLAD	SWING (PAIR)	

WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	QTY.	EGRESS
W01	(2) 2'-8"	7'-0"	CASEMENT		2	---
W02	(2) 2'-0"	7'-0"	CASEMENT		3	---
W03	(3) 2'-0"	6'-0"	(2) CASEMENT (1) FIXED		1	---
W04	2'-8"	7'-0"	CASEMENT		2	---
W05	2'-8"	7'-0"	FIXED		1	---
W06	2'-6"	6'-0"	CASEMENT		2	YES
W07	(2) 2'-0"	6'-0"	CASEMENT		4	---
W08	(2) 2'-8"	6'-0"	CASEMENT		4	YES
W09	2'-6"	5'-0"	CASEMENT		2	---
W10	2'-8"	6'-0"	CASEMENT		4	YES
W11	2'-8"	4'-6"	CASEMENT		2	---
W12	2'-8"	4'-6"	FIXED		1	---

WINDOW NOTE: GLAZED OPENINGS SHALL BE PROTECTED AS SPECIFIED IN ASCE 7-10 SECTION 26.10.3



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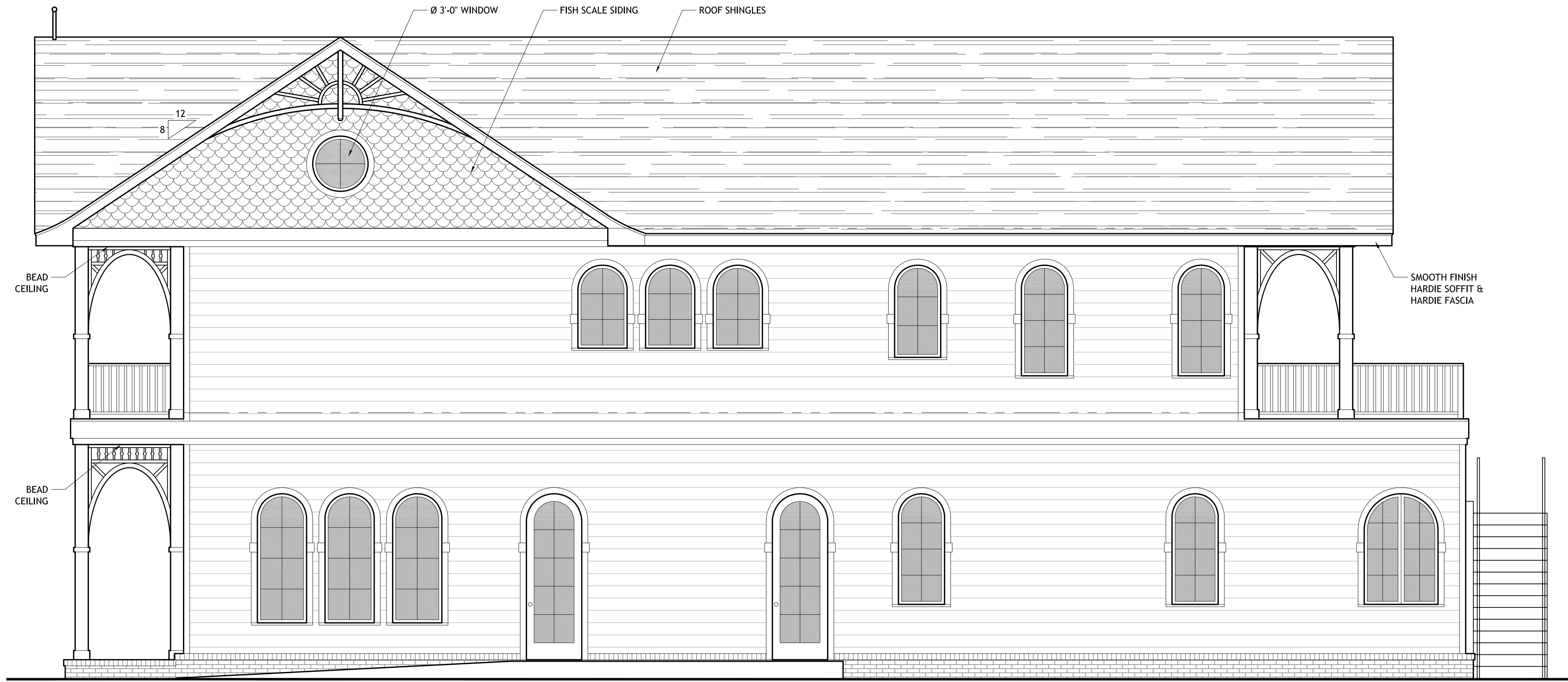
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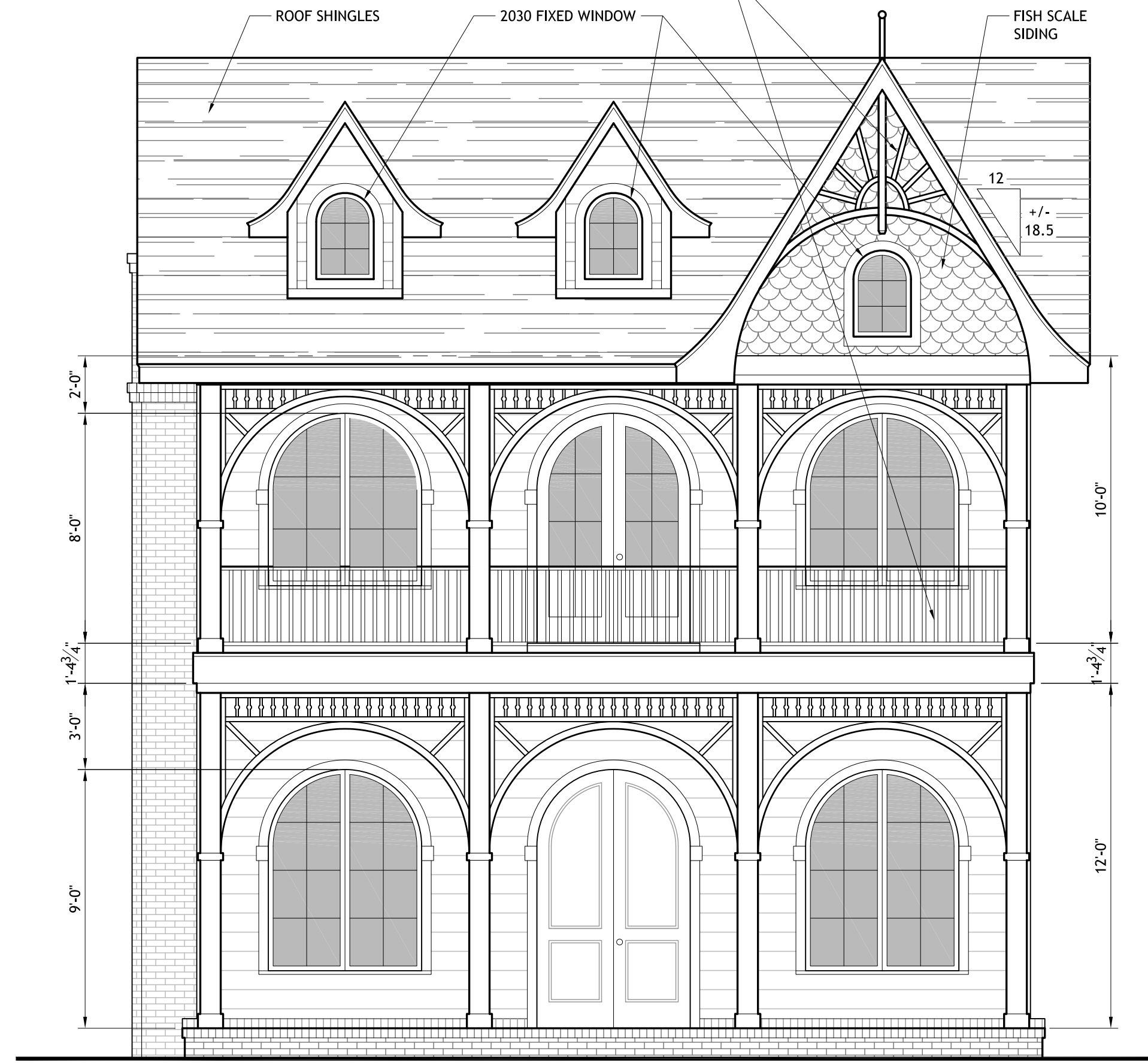
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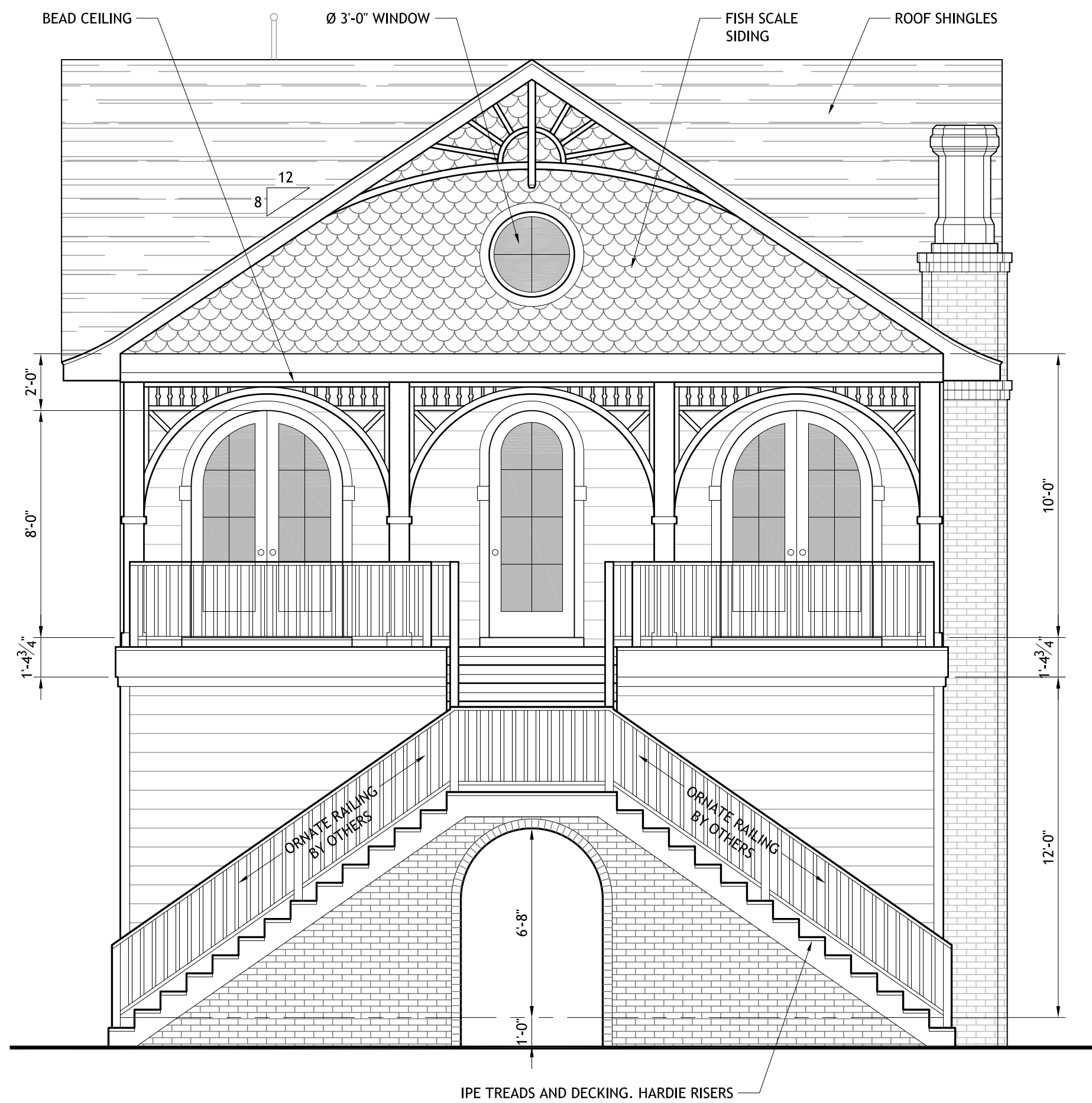
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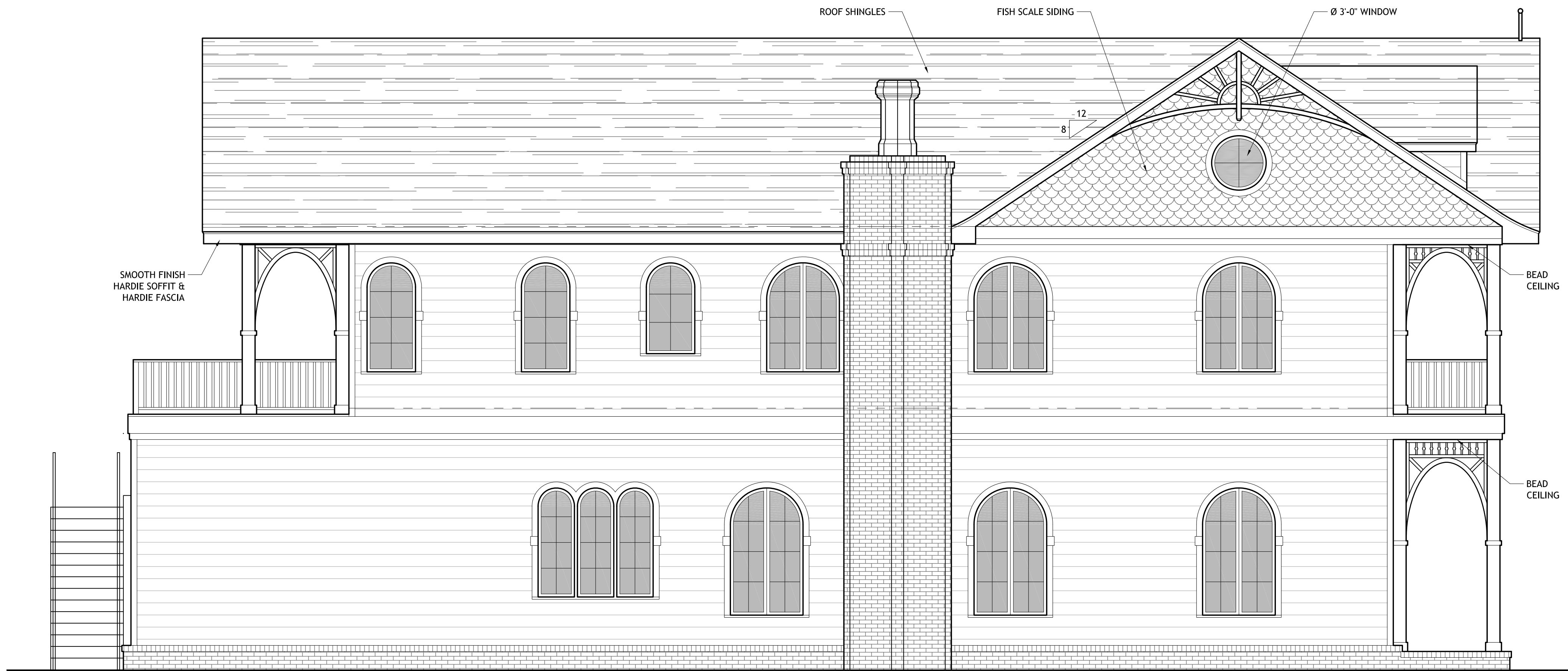
4-1 WEST ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



4-2 NORTH ELEVATION - FRONT
SCALE: $\frac{1}{4}" = 1'-0"$



4-3 SOUTH ELEVATION - REAR
SCALE: $\frac{1}{4}" = 1'-0"$



4-4 EAST ELEVATION
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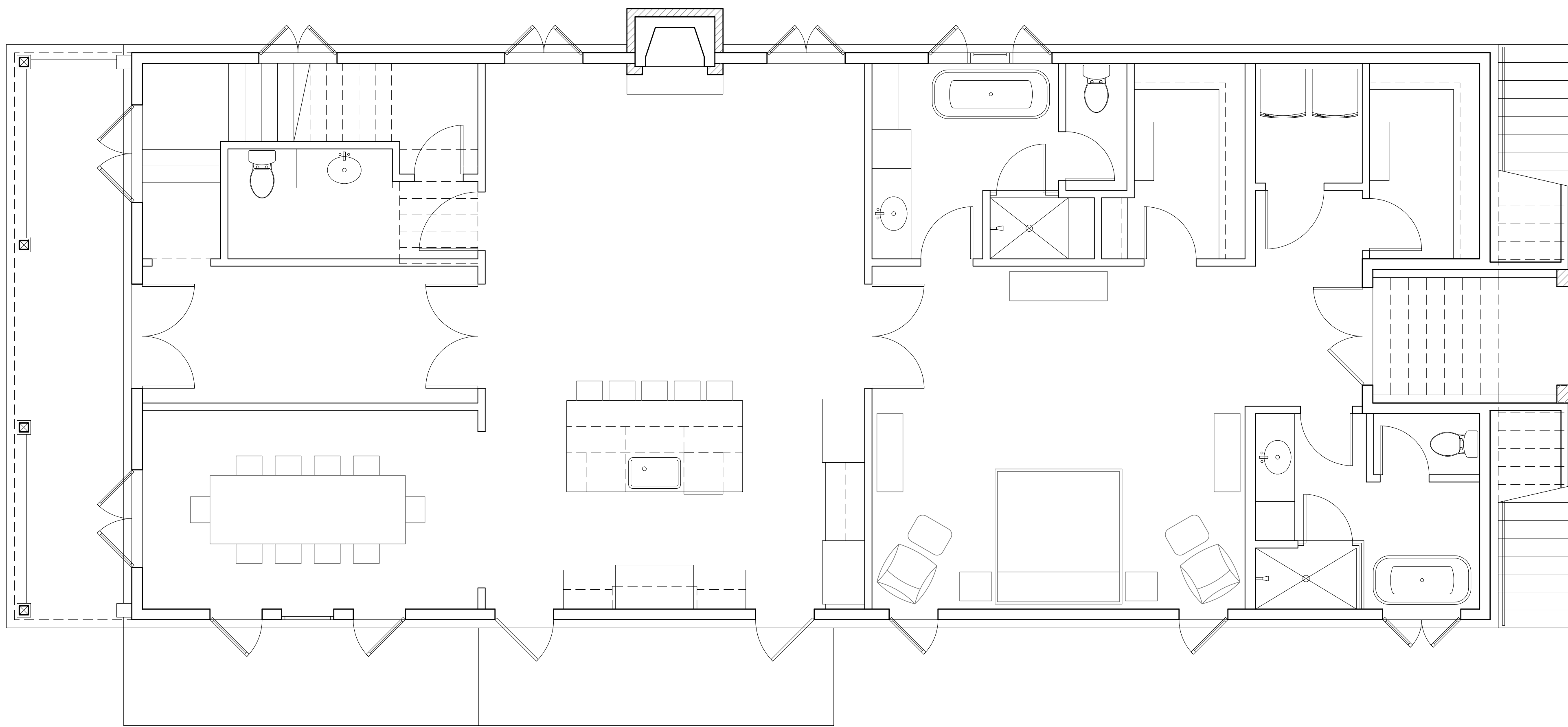
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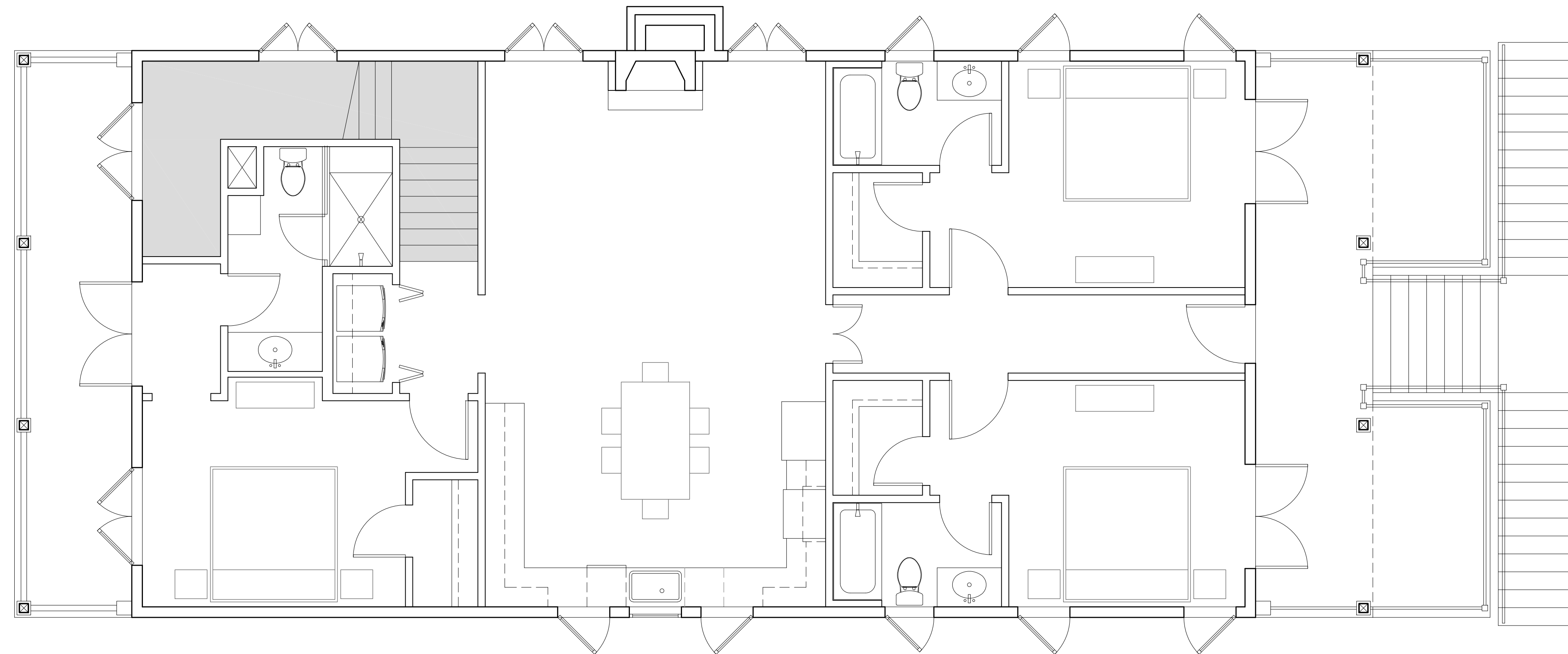
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5-1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N



5-2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" N

ELECTRICAL LEGEND	
	CEILING MOUNTED LIGHT FIXTURE (RECESSED)
	VANITY LIGHT
	CEILING MOUNTED LIGHT FIXTURE
	BATHROOM VENT
	SMOKE DETECTOR
	WALL SWITCH
	WALL SWITCH (3-WAY)
	240V RECEPTACLE
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE w/ GROUND FAULT CIRCUIT INTERRUPTER
	CEILING FAN
	PORCH LIGHT
	4-BULB FLUORESCENT LIGHT
	WEATHERPROOF BOX/COVER
	OVER DOOR LED LIGHT
	CHANDELIER
	FLOOD LIGHT
NOTE: FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY OWNER AND ELECTRICIAN.	

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