



Architectural Review Board

PROJECT MEMORANDUM

TO: Architectural Review Board Members

FROM: Gregg Harding, Historic Preservation Planner

DATE: March 31, 2020

SUBJECT: **15 W. Strong Street**

This memorandum is to explain the timeline and scope of design changes to Building #1 (Townhouses #1-5) of the Covington Place development.

1. Demo and conceptual design approved at July 2017 ARB meeting.
2. Variance and final design approved with comments at September 2017 ARB meeting. The motion for approval included the following changes:
 - An addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 and 18); and
 - Approval of a fence with brick piers and appropriate stone caps with skim-coated block or brick with some manner of planting to green the wall with ivy or appropriate vines.
3. Construction documents for Building #1 (Townhouses #1-5) submitted to Inspection Services for review and permits in April 2018.
 - ***Design changes from ARB approval to all elevations and minor changes to floor plan are documented (major changes have been highlighted).
4. Certificate for Occupancy issued on July 5, 2018.
 - ***Further design changes from submitted construction plans are documented in photographs of built townhomes (design changes have been circled in red).

September 2017

Approved Plans

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. The motion then carried unanimously.

VARIANCE ISSUES

ABUTING STREETS: CERVANTES STREET ON SOUTH SIDE.
BAYLEN STREET ON WEST SIDE.
STRONG STREET ON NORTH SIDE.
EAST SIDE ABUTES ADJACENT COMMERCIAL PROPERTIES.

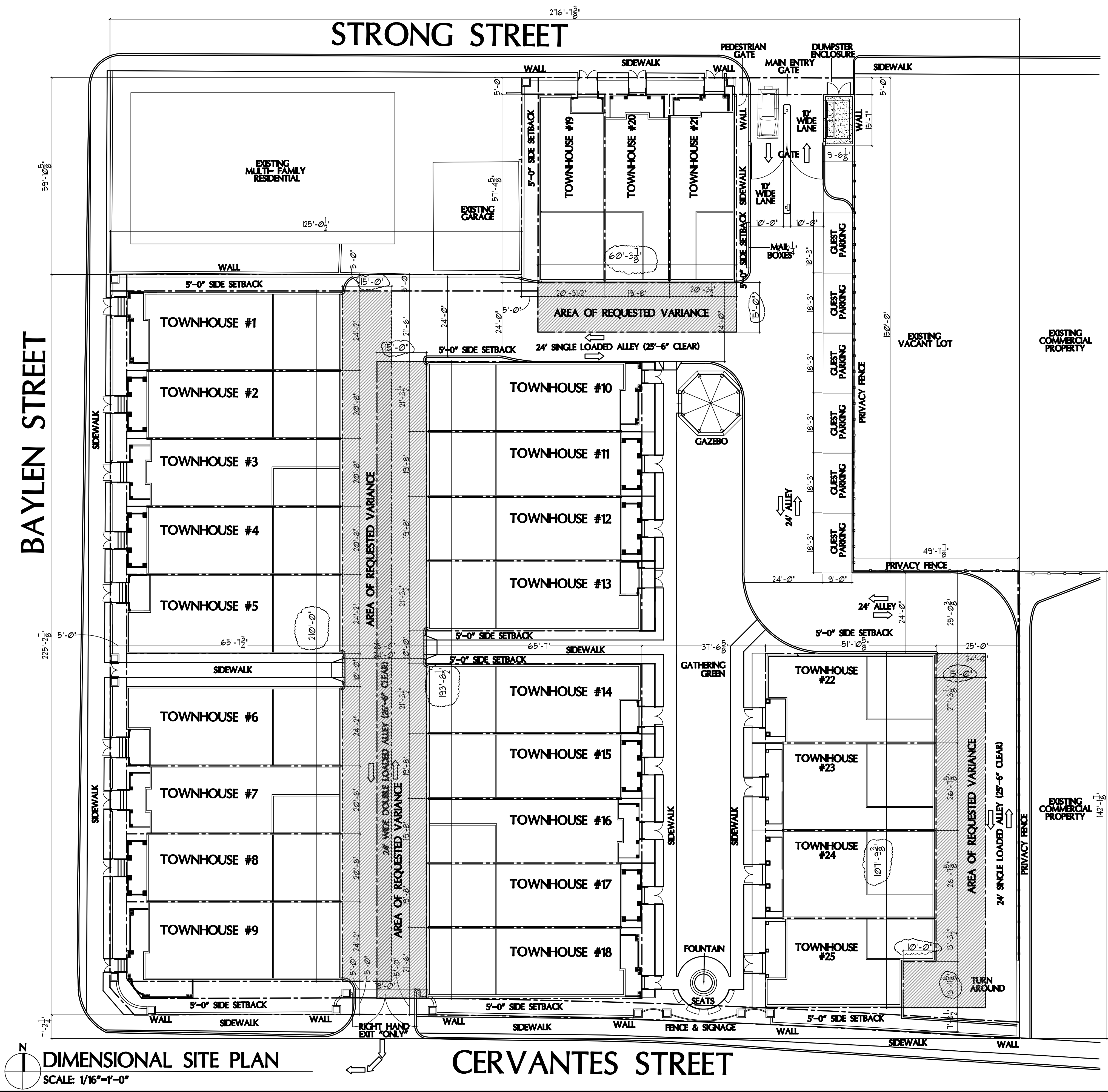
LOT DIMENSIONS: ARE AS SHOWN ON SITE PLAN.

YARD SETBACKS: 0' FRONT SETBACK.
5' SIDE SETBACK.
15' REAR SETBACK (REQUESTING VARIANCE TO ALLOW 0').

LOCATION & DIMENSIONS OF EXISTING STRUCTURES:
ALL EXISTING STRUCTURES TO BE DEMOLISHED.

LOCATION & DIMENSIONS OF STRUCTURES TO BE ADDED:
SEE SITE PLAN FOR ALL NEW PROPOSED CONSTRUCTION.

DIMENSIONS OF REQUESTED VARIANCE:
SEE HATCHED AREAS ON SITE PLAN.



DIMENSIONAL SITE PLAN
SCALE: 1/16"=1'-0"

REVISIONS
FINAL ARB SUBMITTAL
8-31-2017

ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
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Artisan's Architecture L.L.C.

Charles E. Kunze Jr. 25 W. Cedar St., Suite #14, Pensacola, FL 32502
850-432-8438

PROJECT TITLE
COVINGTON PLACE

15 W. STRONG ST,
PENSACOLA, FL. 32501

PROJ. NO. 2017-010R
DATE: 8-31-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.

SHEET TITLE
DIMENSIONAL
SITE PLAN

A1.0

Front facing Baylen Street



Rear





C TYPICAL BUILDING END EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

- 30 YEAR ARCHITECTURAL ASPHALT SHINGLE ROOFING OVER PLYWOOD DECKING ON PRE-ENGINEERED ROOF TRUSSES.
- ARCHITECTURAL "OG" GUTTERS AND ROUND DOWNSPOUTS ATTACHED TO 5/4" HARDIE BOARD FASCIA TRIM.
- HARDIE BOARD SOFFIT SHEATHING PANELS, SMOOTH VENTED.
- ALL EXTERIOR TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD, SMOOTH.
- ALL EXTERIOR SIDING TO BE HARDIE BOARD, SHIP LAP SIDING, WITH HARDIE BOARD SHAKE SIDING IN SOME ACCENT GABLE AREAS.
- ORNAMENTAL METAL BALCONIES ON GARAGE SIDE OF BUILDING AND OVERLOOKING CERVANTES STREET.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- BRICK VENEER ON FOUNDATIONS, WALLS, PORCH FLOOR & ALL STEPS.



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REVISIONS
FINAL ARB SUBMITTAL
8-31-2017

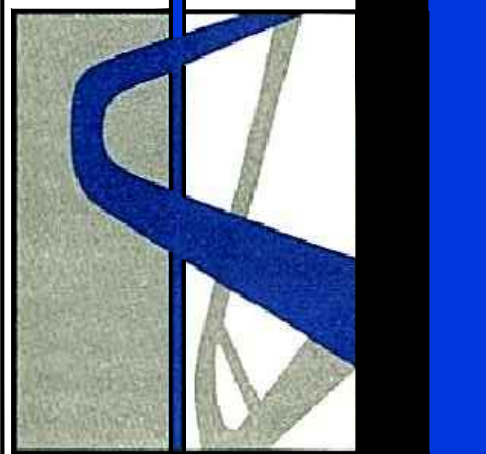
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850-432-8438 FLORIDA REGISTRATION # AR-00034 ALABAMA REGISTRATION #01



COVINGTON
PLACE

PROJ. NO. 2017-010R
DATE: 8-9-2017
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
ENLARGED
ELEVATIONS

A4.1

April 2018

Plans Submitted to Inspections

APRIL 2018 PLANS TO INSPECTIONS

UNAPPROVED DEVIATIONS FROM SEPT. 2017 AIRB APPROVAL



1 BUILDING-A, WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING-A, EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTE LEGEND

- 1 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 2\"/>

- 5 2\"/>

- 6 NEWMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4\"/>

- 10 PORCH FLOORING TO BE MANUFACTURED \"TREX-LIKE\" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE. BENEATH AIR SPACE INSTALL A HEAVY DUTY SHINGLE PLY WATERPROOF BARRIER ON 2\"/>

- 12 BRICK ROWLOCK COURSE CONTINUOUS (\"PINE HALL BRICK\"-\"SEDFIELD\"(Q) #1714 WITH GRAY GROUT).
13 BRICK PAVERS (\"PINE HALL BRICK\"-\"SEDFIELD\"(Q) #1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND AN ALL EXTERIOR STEPS.

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-17-2-18

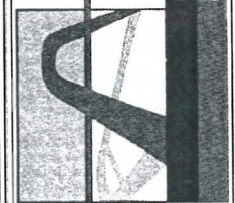
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COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE: 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4\"/>

SHEET TITLE
BUILDING-A
EXTERIOR ELEVATIONS

A3.6

APRIL 2018
PLANS TO INSPECTIONS

**UNAPPROVED
DEVIATIONS
FROM SEPT. 2017
ARE APPROVAL**



3 BUILDING-A, NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 BUILDING-A, SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTE LEGEND

- 1 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 2" CDX PLYWOOD ROOF DECKING. DECKING TO BE ATTACHED AND NAILED PER STRUCTURAL ON PRE-ENGINEERED WOOD ROOF TRUSSES, SPACED AND DESIGNED PER STRUCTURAL SPECIFICATIONS AND NOTES. ANCHORED AND INSTALLED PER TRUSS MANUFACTURER'S SHOP DRAWINGS.
- 2 PERFORATED "HARDIE SOFT" SHEATHING.
- 3 P.T. CONTINUOUS 2X6 FASCIA BD. WITH 2"x4" HARDIE BD. FASCIA TRIM AND 3" PRE-FINISHED METAL Drip EDGE FLASHING.
- 4 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL BARRIER, ON 2" CDX PLYWOOD WALL SHEATHING. SHEATHING ATTACHED TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.

- 5 2"x12" HARDIE BD. TRIM.
- 6 NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 7 "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 8 "RAYNOR" TRADE MARK, SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAP TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 9 PRE-FINISHED POWDER COATED ALUM. RAILS & PICKETS, 3'-0" HIGH.

- 10 PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE. BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 2" CDX PLYWOOD DECK, MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- 11 BRICK VENEER ("PINE HALL BRICK-"SEDGEFIELD"(Q) #1714 WITH GRAY GROUT) ON CMU FOUNDATIONS WALLS.
- 12 BRICK ROWLOCK COURSE CONTINUOUS ("PINE HALL BRICK-"SEDGEFIELD"(Q) #1714 WITH GRAY GROUT).
- 13 BRICK PAVERS ("PINE HALL BRICK-"SEDGEFIELD"(Q) #714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ALL EXTERIOR STEPS.

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-17-2-18

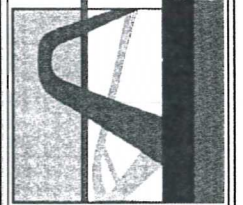
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COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE 8-1-2018
DRAWN BY: C.E.E.J.
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SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
EXTERIOR ELEVATIONS

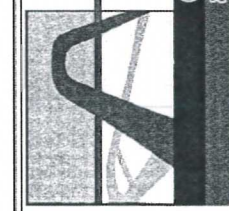
A3.7

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-07-2-18

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COVINGTON
PLACE

BUILDING-A

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DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
LIFE SAFETY PLAN,
CODE REVIEW

A3.0

LIFE SAFETY LEGEND

- THIS DASHED LINE INDICATES THE LOCATIONS OF A 2-HOUR RATED 6" GROUT FILLED CMU "COMMON PARTY WALL" FIRE PARTITION.
- THIS HATCH PATTERN INDICATES THE AREA WHICH EXTENDS 4'-0" FROM EACH SIDE OF THE COMMON PARTY WALL, WHERE A LAYER OF 1/2" TYPE-X GYP. BD. IS LOCATED ON THE UNDERSIDE OF THE ROOF DECK.
- THIS HATCH PATTERN INDICATES THE AREA WHICH IS REQUIRED TO HAVE A 1-HOUR FIRE RATED SOFFIT ON THE UNDERSIDE ONLY.
- EX THIS SYMBOL INDICATES THE LOCATIONS OF "EMERGENCY EGRESS AND EXIT" WINDOWS, REQUIRED IN EACH SLEEPING ROOM.
- GAR THIS SYMBOL INDICATES THAT THE CEILING ABOVE ALL GARAGE AREAS SHALL BE REQUIRED TO BE SHEATHED WITH ONE LAYER OF 1/2" TYPE-X GYP. BD. ON THE UNDERSIDE OF THE CEILING FRAMING, AND ALL WALLS BETWEEN THE GARAGE AND THE LIVING AREAS SHALL BE REQUIRED TO BE SHEATHED WITH 1/2" GYP. BD. MINIMUM ON THE GARAGE SIDE.
- STAIR THIS SYMBOL INDICATES THAT ALL CEILING AREAS BENEATH THE STAIRWAYS MUST BE SHEATHED WITH 1/2" GYP. BD.
- ATTIC THIS SYMBOL INDICATES THE APPROXIMATE LOCATION OF THE ATTIC ACCESS WHICH MUST BE AT LEAST 20" X 30", TO ALLOW FIRE ACCESS TO THE ATTIC SPACE.

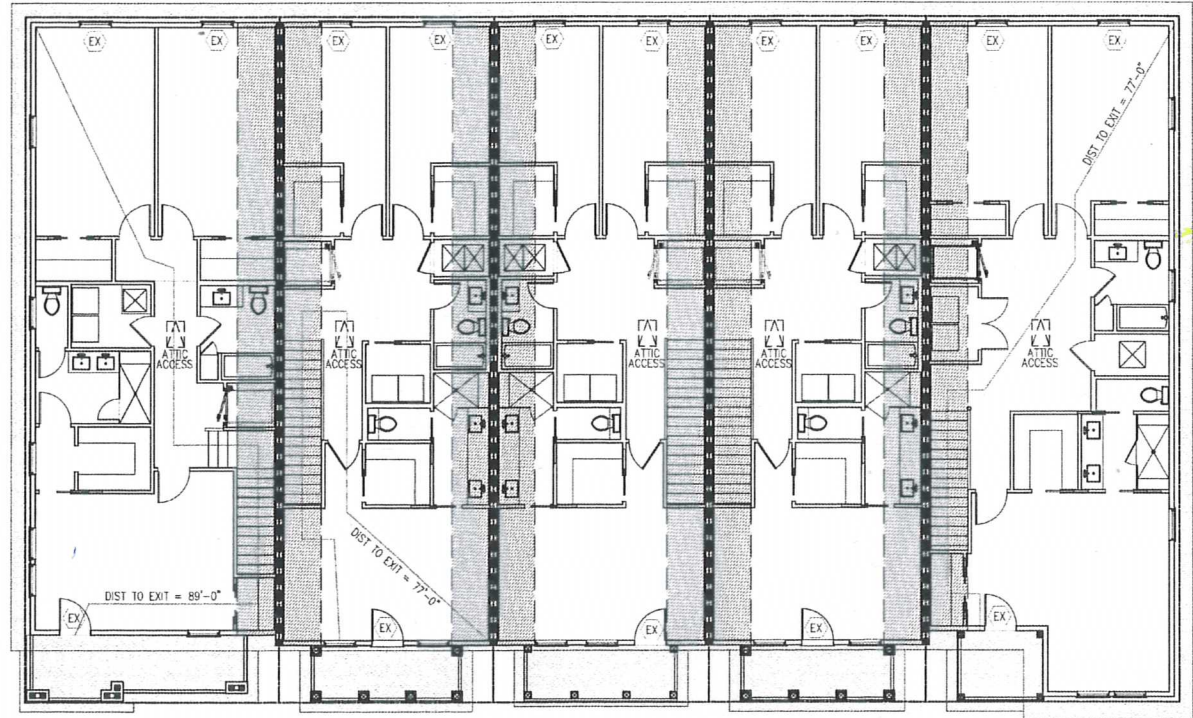
FLORIDA PRODUCT FL#S

- IF THE CONTRACTOR ELECTS TO SUBSTITUTE A DIFFERENT MANUFACTURER HE MUST PROVIDE FL# FOR THOSE PRODUCTS.
- ROOF SHINGLES - ATLAS ROOFING CORP. LIFETIME PINNACLE PRISTINE LAMINATED SHINGLES. (FL# 16305.1-R6).
- FIBER CEMENT PANELS - JAMES HARDIE BUILDING PRODUCTS, INC., HARDIEPANEL. (FL# 13223.2-R1).
- FIBER CEMENT LAP SIDING - JAMES HARDIE BUILDING PRODUCTS, INC., HARDIELAP. (FL# 13192.1-R4).
- WINDOWS - PGT INDUSTRIES WINDGUARD SINGLE HUNG VINYL-IMPACT (FL# 1435.5-R20).
- FIBERGLASS DOORS - NEUMA DOOR BY NANYA PLASTICS, E. 1/2" LITE INSWING PATIO DOOR. (FL# 14752.32-R5).
- FIBERGLASS DOORS - MASONITE INTERNATIONAL - BELLEVILLE 2 PANEL HINGED DOOR. (FL# 6506.3-R3).
- OVERHEAD SECTIONAL DOOR ASSEMBLY - RAYMOR BUILDWARK 26 GAGA STEEL PAN SECTIONAL. (FL# 15212.5-R7).
- SIMPSON - MSTA24, MTS20 STRAPS. (FL# 10852.8-R2).
- SIMPSON - H2.5A, H10 CLIPS. (FL# 10456.6-R2).
- SIMPSON - H2.5A CLIPS. (FL# 10456.12-R2).
- SIMPSON - SPH6 STRAPS. (FL# 10456.57-R2).
- SIMPSON - MTS18 STRAPS. (FL# 10456.35-R2-R2).
- SIMPSON - HTS20. (FL# 13872.3-R1).

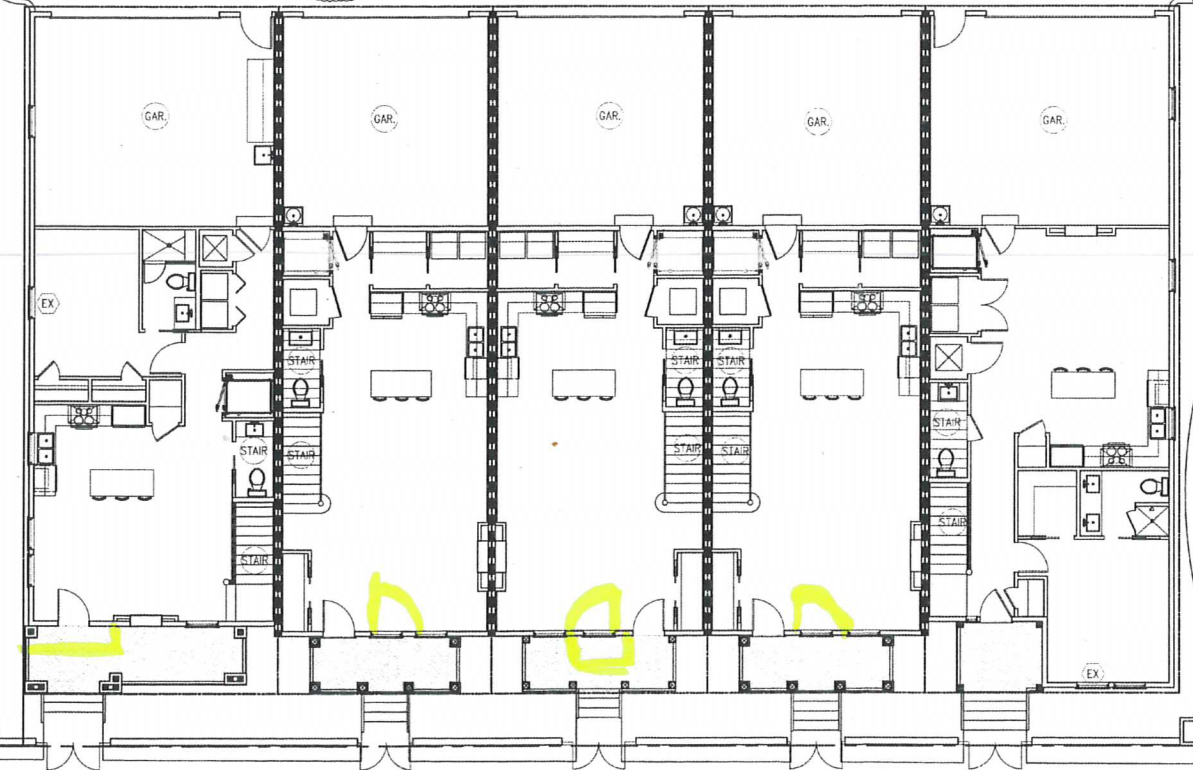
CODE REVIEW BASED ON FBC 2017 BUILDING & 2017 FBC RESIDENTIAL

- OCCUPANCY: R-2 RESIDENTIAL "TOWNHOUSE".
- CONSTRUCTION TYPE: VB (UNSPRINKLERED).
- MAXIMUM ALLOWABLE BUILDING HEIGHT (WITHOUT CODE INCREASE): 40'-0". (IF SPRINKLER IS ADDED HEIGHT MAY INCREASE BY 20'-0").
- MAXIMUM ALLOWABLE NUMBER OF STORIES (WITHOUT CODE INCREASE): 2 STORIES. (IF SPRINKLER IS ADDED ONE STORY MORE IS ALLOWED.)
- MAXIMUM ALLOWABLE AREA PER FLOOR (WITHOUT CODE INCREASE): 7,000 S.F.
- EXTERIOR WALLS/BUILDINGS WHICH ARE 0' TO 10'-0" APART ARE REQUIRED TO BE 1-HOUR FIRE RATED ASSEMBLIES. THEY ARE NOT REQUIRED TO BE FIRE RATED IF THE SEPARATION BETWEEN BUILDINGS IS GREATER THAN 10'-0".
- TOWNHOUSE "JOINT PARTY WALLS" ARE REQUIRED TO BE 2-HOUR FIRE RATED ASSEMBLIES.
- TOWNHOUSES NOT MORE THAN THREE STORIES HIGH MAY BE SEPARATED BY A JOINT PARTY WALL AS FOLLOWS:
 - NO MECH., ELECT., & PLUMB. PENETRATIONS ALLOWED THROUGH THE JOINT FIRE WALL UNLESS IT IS A U.L. DES. RATED ASSEMBLY.
 - JOINT PARTY WALL MUST BE CONTINUOUS FROM THE FOUNDATION UP TO THE UNDERSIDE OF THE ROOF.
 - A SINGLE JOINT PARTY WALL MUST MAINTAIN INDEPENDENT STRUCTURAL INTEGRITY ON EACH SIDE OF WALL.
 - ONE LAYER OF 1/2" TYPE-X GYP. BD. MUST EXTEND OUT 4'-0" ON EACH SIDE OF THE JOINT PARTY WALL AND BE ATTACHED TO THE UNDERSIDE OF THE DECK.
- 406.3.3 406.3.4 GARAGES SEPARATION REQUIREMENTS:
 - GARAGE FLOOR MUST BE SLOPED TO DRAIN TOWARD EXTERIOR DOOR.
 - GARAGE CEILING BELOW HABITABLE SPACE SHALL BE SEPARATED FROM GARAGE BY NOT LESS THAN ONE LAYER OF 1/2" TYPE-X GYP. BD.
 - ALL SUPPORT WALL SEPARATING THE GARAGE FROM THE HABITABLE RESIDENTIAL SPACE SHALL HAVE NOT LESS THAN ONE LAYER OF 1/2" GYP. BD.
 - THE DOOR BETWEEN THE GARAGE AND LIVING AREA SHALL BE EITHER SOLID WOOD OR HONEYCOMB CORE STEEL WITH 1/8" THICK DOOR, OR A 20 MINUTE RATED AND LABELED DOOR, COMPLYING WITH 716.5.3. - DOORS FROM THE GARAGE "CAN NOT" OPEN INTO A SLEEPING SPACE, AND MUST BE SELF-CLOSING & SELF-LATCHING.
 - ANY DUCTWORK LOCATED IN THE GARAGE MUST BE CONSTRUCTED OF METAL 0.019" (48MM) WITH NO OPENING INTO GARAGE.
 - AUTOMATIC GARAGE DOOR OPENERS MUST BE UL325 LISTED.
- 420.2 SEPARATION WALLS: THE WALLS BETWEEN EACH DWELLING/SLEEPING UNIT (EACH TOWNHOUSE) SHALL BE CONSTRUCTED AS "FIRE PARTITIONS" PER SECTION 708.
- 420.5 AUTOMATIC FIRE SPRINKLER SYSTEMS:
 - NOT REQUIRED FOR TOWNHOUSES LESS THAN 3 STORIES. SEE SECTION 903.3.2.
- 420.6 SMOKE DETECTION & FIRE ALARM SYSTEMS:
 - SHALL BE PROVIDED BASED ON 907.2.6 907.2.8 907.2.9 907.2.10 & 907.2.11.
- CHAPTER 7: NO OTHER FIRE RATINGS ARE REQUIRED BY THIS CHAPTER.
- CHAPTER 8: INTERIOR FINISH CLASSIFICATIONS: ALL INTERIOR FINISHES IN THIS R-2 OCCUPANCY ARE REQUIRED TO MEET OR EXCEED "CLASS - B" IN INTERIOR EXIT STAIRWAYS & CORRIDORS WHICH ARE ENCLOSED FOR EXIT, ALL OTHER SPACES SHALL MEET OR EXCEED "CLASS - C" FINISHES.
- CHAPTER 9: SECTION 903.2.6: A FIRE SPRINKLER SYSTEM IS NOT REQUIRED FOR THESE TWO-STORY R-2 BUILDINGS.
- CHAPTER 10: OCCUPANCY LOADS: R-2 OCCUPANCY LOAD IS CALCULATED BASED ON 200 GROSS S.F./PERSON. THESE UNITS VARY IN SIZE FROM 1,587 S.F. TO 2,496 S.F. WHICH MEANS THAT THE SMALLEST UNIT OCCUPANT LOAD = 8 PEOPLE, AND THE LARGEST UNIT OCCUPANT LOAD = 13 PEOPLE.
- 1003.2 MINIMUM CEILING HEIGHT: 7'-6" A.F.F., OR A MINIMUM OF 5'-0" FOR A SLOPED CEILING ONLY WHEN AT LEAST 50% OF THE ROOM MAINTAINS 7'-6" A.F.F.
- CEILING HEIGHT IN R-2 STAIRWAY MAY BE 6'-6" MINIMUM ABOVE A LINE CONNECTING THE LEADING EDGES OF THE STAIR RISERS.
- MEANS OF EGRESS:
 - CORRIDOR WIDTH: MINIMUM 36" CLEAR WIDTH REQUIRED, FOR OCCUPANCY LOAD LESS THAN 50 PEOPLE.
 - MINIMUM HEADHEIGHT: 80" MINIMUM, MEASURED VERTICAL TO LINE CONNECTING LEADING EDGES OF STAIR RISERS.
 - STAIR RISERS & TREADS: IN R-2 OCCUPANCIES THE RISERS MAY BE 7" HIGH MAXIMUM, AND THE TREADS MAY BE 10", PLUS A 1" NOSING, DEEP MINIMUM. 11" TREADS WITH 1" NOSINGS ARE STANDARD.
 - RISE & RUN SHALL BE DIMENSIONALLY UNIFORM.
 - STAIR LANDINGS: THERE SHALL BE A LANDING AT BOTH THE TOP AND THE BOTTOM OF A STAIRWAY.
 - STAIR LANDING SHALL BE AT LEAST AS DEEP AND THE STAIRWAY IS WIDE, BUT IT DOES NOT NEED TO EXCEED 4'-0" IN DEPTH.
 - DOORS OPENING ONTO STAIR LANDINGS SHALL NOT REDUCE THE CLEAR WIDTH BY MORE THAN ONE HALF, AND WHEN FULLY OPEN THE DOOR MAY NOT PROJECT MORE THAN 17" INTO THE LANDING.
 - THE UNDERSIDE OF ANY STAIR IN AN R-2 OCCUPANCY SHALL BE SHEATHED WITH AT LEAST ONE LAYER OF 1/2" GYP. BD.
 - A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE OF MORE THAN 12'-0" BETWEEN FLOOR LEVELS AND/OR LANDINGS.
 - HANDRAILS: R-2 UNITS ARE ALLOWED TO HAVE HANDRAILS EITHER ON BOTH SIDES OF STAIRWAYS OR ON ONLY ONE SIDE IF DESIRED.
- HANDRAILS:
 - HANDRAILS SHALL BE MOUNTED BETWEEN 34" TO 38" ABOVE THE LINE CONNECTING THE LEADING EDGES OF THE STAIR RISERS.
 - HANDRAILS SHALL BE BETWEEN 1 1/2" O.D. TO 2" O.D., OR SHALL MEET "TYPE 2" REQUIREMENTS.
 - HANDRAILS SHALL EXTEND 12" BEYOND THE FACE OF THE TOP RISER AND SHALL EXTEND ON TREAD DEPTH BEYOND THE FACE OF THE BOTTOM RISER, UNLESS THE R-2 UNIT IS NOT INTENDED TO BE ADA ACCESSIBLE.
 - HANDRAILS SHALL HAVE 1 1/2" CLEARANCE OFF THE FACE OF THE WALL, AND SHALL NOT PROJECT MORE THAN 4 1/2" INTO THE REQUIRED CLEAR STAIR WIDTH ON EACH SIDE.
- GUARDRAILS:
 - GUARDRAILS ARE REQUIRED ALONG THE OPEN SIDES OF ANY FLOOR/LANDING/ETC. AREA WHICH IS MORE THAN 30" ABOVE THE GRADE OR FLOOR BELOW.
 - GUARDRAILS HEIGHT IS REQUIRED TO BE 36" MINIMUM A.F.F. ON ALL HORIZONTAL AREAS, AND 34" MINIMUM ALONG OPEN SIDES OF STAIRWAYS, ABOVE LINE CONNECTING LEADING EDGES OF RISERS.
 - A GUARDRAIL SHALL BE CONSTRUCTED WITH NO OPENING LARGE ENOUGH TO ALLOW THE PASSAGE OF A 4" DIAM. SPHERE THROUGH ANY OPENING, AND AT THE TRIANGLE CREATED BY STAIR RISE & RUN NO OPENING SHALL ALLOW THE PASSAGE OF A 6" SPHERE.
- A SINGLE EXIT IS ALLOWED IN R-2 OCCUPANCY WITH LESS THAN 49 PERSON OCCUPANT LOAD.
- THE MAXIMUM TRAVEL DISTANCE TO EXIT WITHIN AN R-2 OCCUPANCY IS 200'-0" (UNSPRINKLERED).
- EMERGENCY ESCAPE & EXITS: REQUIRED FOR EACH ROOM USED FOR SLEEPING.
 - MINIMUM SIZE AREA IS 5.7 S.F. OF CLEAR EMERGENCY OPENING, GRADE FLOOR OPENING MAY BE REDUCED TO 5 S.F.
 - MINIMUM CLEAR EMERGENCY OPENING HEIGHT IS 24", AND THE MINIMUM CLEAR EMERGENCY OPENING WIDTH IS 20"
 - THE MAXIMUM HEIGHT TO THE BOTTOM OF THE CLEAR EMERGENCY OPENING IS 44" A.F.F.
- ATTIC ACCESS: MUST BE A MINIMUM OF 20" X 30" CLEAR TO ACCESS ALL ATTIC OR CONCEALED SPACES WITH A CLEAR HEIGHT EXCEEDING 30".
- FBC RESIDENTIAL SECTIONS:
 - BALCONY AND ROOF GABLES WHICH PROJECT 2'-5" BEYOND THE COMMON PARTY WALL AND EXTERIOR WALL INTERSECTIONS SHALL BE REQUIRED TO HAVE A 1-HOUR FIRE RATED ON THE UNDERSIDE OF SUCH PROJECTION. OPENING ARE ALLOWED WITHIN 3'-5" OF THE COMMON PARTY WALL FOR A MAXIMUM OF 25% OPENING (FRONT PORCH SIDES MAY BE OPEN AS LONG AS THEY ARE AT LEAST 3' AWAY FROM COMMON PROPERTY LINE, AND DO NOT COMPOSE MORE THAN 25% OF THE SHARED COMMON PROPERTY WALL AREA. BUT THEY MUST BE 1-HOUR FIRE RATED ON THE UNDERSIDES).
- R314 - MUST HAVE A SMOKE DETECTION SYSTEM COMPLYING WITH NFPA 72.
- R319 - ADDRESS SIGNAGE MUST BE LOCATED IN A PLACE WHICH IS CLEARLY VISIBLE FROM THE STREET AND SHALL BE 4" HIGH MINIMUM, WITH 1" MINIMUM STROKES ON A CONTRASTING BACKGROUND COLOR.
- R320 - H.C. ACCESSIBILITY: AT LEAST ONE BATHROOM ON THE GROUND FLOOR SHALL HAVE A DOOR WITH A MINIMUM 29" CLEAR OPENING WIDTH.
- R321.4 - RESIDENTIAL ELEVATOR REQUIREMENTS: ELEVATOR MUST COMPLY.

UNIT 2A



2 BUILDING-A, SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



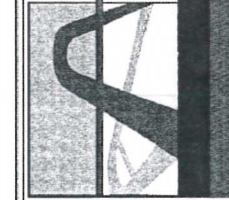
1 BUILDING-A, FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS
RELEASED FOR PERMITTING
3-1-2018
REVISION #1
5-17-2-18

ARCHITECT'S SEAL & SIGNATURE

DRAWING IS VOID WITHOUT A
RAISED SEAL AND AN ORIGINAL,
DATED SIGNATURE.

creating architecture as an art form
Artisan's Architecture L.L.C.
Charles E. Kunze Jr. 25 W. Cedar St., Ste. 106, Pensacola FL 32502
850-432-8438



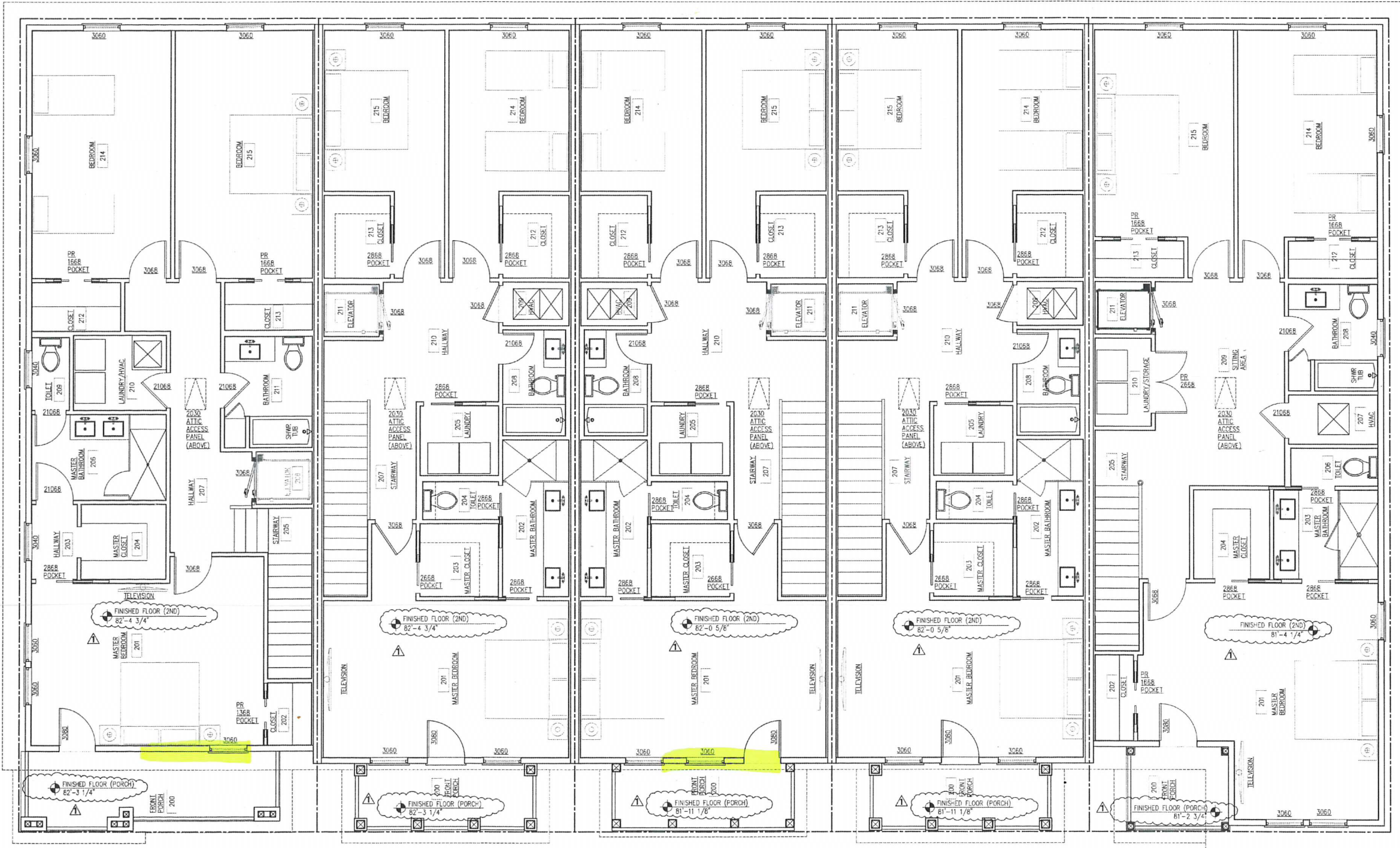
**COVINGTON
PLACE**

BUILDING-A

PROJ. NO. 2017-0108
DATE 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
SECOND FLOOR PLAN

A3.2



TOWNHOUSE-1A, THE STRONG
(1,398 Finished S.F.) (124 Exterior Porch S.F.)

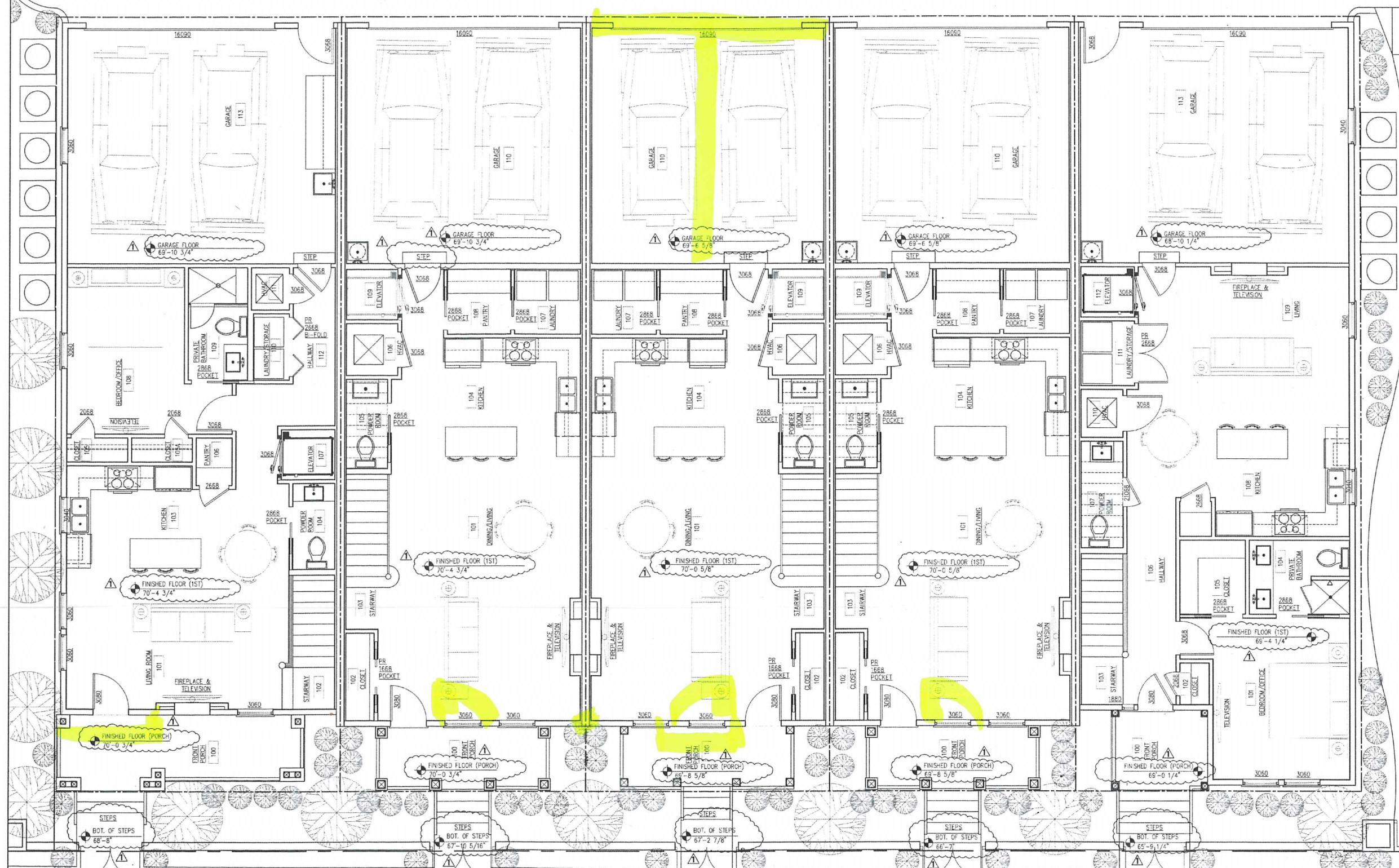
TOWNHOUSE-2A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-3A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-4A, THE CERVANTES
(1,236 Finished S.F.) (79 Exterior Porch S.F.)

TOWNHOUSE-5A, THE BAYLEN
(1,471 Finished S.F.) (54 Exterior Porch S.F.)

BUILDING-A, SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



TOWNHOUSE-1A, THE STRONG
(910 Finished S.F.) (124 Porch S.F.) (488 Garage S.F.)

TOWNHOUSE-2A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-3A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-4A, THE CERVANTES
(812 Finished S.F.) (79 Porch S.F.) (424 Garage S.F.)

TOWNHOUSE-5A, THE BAYLEN
(983 Finished S.F.) (54 Porch S.F.) (488 Garage S.F.)

BUILDING-A, FIRST FLOOR PLAN

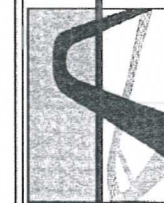
SCALE: 1/4" = 1'-0"

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COVINGTON
PLACE

BUILDING-A

PROJ. NO. 2017-010R
DATE 3-1-2018
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.
SCALE: 1/4" = 1'-0"

SHEET TITLE
BUILDING-A
FIRST FLOOR PLAN

A3.1

Charles E. Kunze Jr. 25 W. Cedar St., Ste. 106, Pensacola FL 32502
850-432-8438

Finished Construction
Certificate to Occupy Issued
July 2018









