



City of  
**Pensacola**  
America's First Settlement  
And Most Historic City

**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**This application for Building (B) - 800 BLK N. Baylen Street**

**Project Address:** COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST.

**Applicant:** JAMES C. BOZEMAN TODAY HOMES FOR CHARLES LIBERIS

**Applicant's Address:** 101 SOUTH ALCAÑIZ PENSACOLA, FL 32504

**Email:** TDY HOMES @ BELLSOUTH.NET **Phone:** 850-432-3522

**Property Owner:** CHARLES LIBERIS  
(If different from Applicant)

**District:** PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee  
☐ Commercial/Other Residential – \$250.00 hearing fee

\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

**Project specifics/description:**

WE ARE SEEKING APPROVAL OF CHANGES TO COVINGTON TOWNHOME BUILDING(F) 15, 17 & 19 WEST STRONG ST. PENSACOLA, FL.

**This application for Building (B) - 800 BLK N. Baylen Street**

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

James C. Bozeman  
Applicant Signature

3-16-2020  
Date



Jim Bozeman &lt;tdyhomesnwfl@gmail.com&gt;

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**Covington Place Architectural Drawings**2 messages

---

**Charles Kunze** <chuck@artisansarchitecture.com>

Tue, Oct 8, 2019 at 4:04 PM

To: "tdyhomes@bellsouth.net" <tdyhomes@bellsouth.net>, Charles Liberis <cliberis@liberislaw.com>, Linda Liberis <lindabliberis@gmail.com>, Charles Kunze <chuck@artisansarchitecture.com>

Cc: Charles Kunze <chuck@artisansarchitecture.com>

Jim Bozeman,

I have been asked by Charles Liberis to give you approval to modify my drawings for the Covington Place Project located on Cervantes Avenue, N. Baylen Street, & W. Strong Street.

I do release The Covington Place Project to you with permission to modify the drawings as Charles Liberis directs. I will still retain the right to use Covington Place in my advertising, resumes, website and any other formats I desire, and to reference it as an Artisan's Architecture LLC design and partially built project.

I will not be responsible or liable for the project, permitting, errors or omissions, or any part of the drawings once they have been changed in any way from the current record set I have on file at my office as of today: 10-8-2019.

You may want to review any comments made to us by the ARB and North Hill to insure understanding of what was approved by those entities.

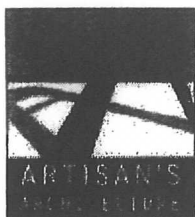
My title block, firm information and any electronic seals or signatures must be removed for all documents which are revised or modified after today: 10-8-2019.

I would expect that the good name and reputation of Artisan's Architecture LLC or Charles E. Kunze Jr. would not be demeaned or slandered in the future in reference to this change of the responsible design party, my understanding is that this is only being done for expedience of scheduling on the part of Charles Liberis.

Thank You,

**CHARLES E. KUNZE JR.**

AIA, NCARB,  
PRESIDENT/OWNER OF  
ARTISAN'S ARCHITECTURE LLC



SEPT. 7, 2017

Covington Place  
15 West Strong Street  
Pensacola, FL 32501

## EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Primary Exterior Finishes:</b>	Hardie, Shiplap Siding with 7" Colors - SW2849 (Westchester Gray), SW2819 (Downing Slate), SW2821 (Downing Stone) & SW2844 (Roycroft Mint Gray); Unit colors shall alternate these colors.
<b>Foundation Walls or Piers:</b> Grey Grout.	Pine Hall Brick- "Sedgefield(Q)" #1714 with
<b>Windows:</b>	PGT Windguard Vinyl Windows with Exterior Mullions. Color-Bronze
<b>Window Trim:</b>	Hardie, Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
<b>Entry Door and Hardware:</b>	<b>Front &amp; Balcony Door:</b> Neuma-Flush Glazed-Fiberglass-Stained Finish <b>Rear Door:</b> Fiberglass Therma-Tru
<b>Doors and Hardware:</b>	Brushed Nichol Finish
<b>Door Trim:</b>	Hardie Smooth Trim Board 5/4" Thick. Color-SW2829 "Classical White."
<b>Garage Doors:</b>	Raynor-Trade Mark, Simulated out Swing, with overlaid Trim. Bronze

## EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Porch Balustrade:</b>	Prefinished Powder Coated Aluminum rails and pickets & well as Balconies Over Garage and at End Units. Color – Antique Black.
<b>Porch Columns:</b>	Hardie Trim Smooth Trim 5\4" or Preformed round with Caps & Base. Color-SW2829 "Classical White."
<b>Porch Decking:</b>	Brick Pavers on Lower Floor-Pine Hall Brick Co, "Sedgefield (Q) #1714with Grey Grout or KDA 2X Floor Deck on Upper Porches. Color-SW2829 "Classical White."
<b>Ornament:</b>	Smooth Hardie Color-2829 "Classical White."
<b>Fascia's:</b> White."	Smooth Hardie-Painted Satin SW2829 "Classical
<b>Soffits:</b> White."	Smooth Hardie 5/4" Color-SW2829 "Classical
<b>Gutters &amp; Downspouts:</b>	Prefinished OG Color-Bronze if Required.
<b>Roofing:</b>	Atlas Dimensional Shingles either Weatherford Wood.
<b>Other Rooftop Elements:</b>	Nail over ridge vent to match roofing.
<b>Exterior Lighting:</b>	Copper Finish – Gas & Electric Lighting.
<b>Walkways:</b>	Concrete or Brick Pavers.



## EXTERIOR MATERIALS & COLOR SCHEDULE

<u>Elements</u>	<u>Description</u>
<b>Driveways:</b>	Asphalt.
<b>Fencing:</b>	6' Wood Privacy on non-Street Sides.
<b>Garden Walls:</b>	Block – Painted SW2844 “Roycroft Mint Gray.”
<b>Gates:</b>	Black Wrought Iron
<b>Landscaping:</b>	See Landscaping Plan A1.1
<b>Signage:</b>	To be determined – Proposed to be located wrought iron gates.
<b>Miscellaneous:</b>	N/A

## Submitted Paint Samples

### Front

SW 2819  
**Downing Slate**  
Interior / Exterior



### Side

SW 2849  
**Westchester Gray**  
Interior / Exterior



### Trim

SW 2844  
**Roycroft Mist Gray**  
Interior / Exterior



### Garage

SW 2821  
**Downing Stone**  
Interior / Exterior



# COVINGTON PLACE

## EXTERIOR COLOR SAMPLES

### Siding Colors

**SW2849**



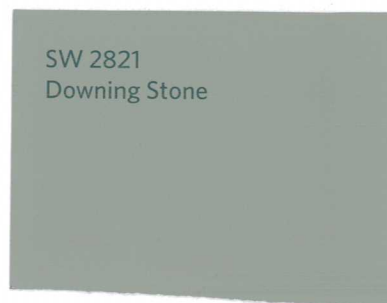
Westchester Gray

**SW2819**



Downing Slate

**SW2821**



Downing Stone

### Trim & Accent Color

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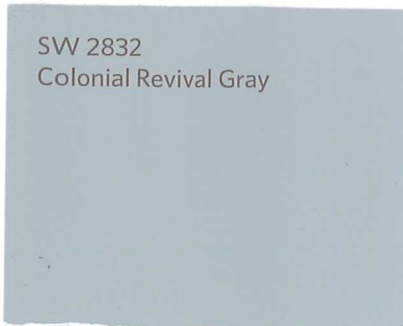
**SW2844**



Roycroft Mint Gray

### Garden Wall Color

**SW2832**



Colonial Revival Gray



# SIDING

SW 2849

Westchester Gray

SW 2844

Roycroft Mist Gray

SW 2819

Downing Slate

SW 2821

Downing Stone

SW 2832

Colonial Revival Gray

← TRIM

UNIT  
COLORS

GARDEN  
WALL

# Covington Place

ROOF

Weathered  
Wood

ROOF

Thunderbox  
Gray



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JamesHardie

EXT SIDING


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HardiePlank® Lap Siding

1 / 4

## SELECT CEDARMILL

Mountain Sage

More ColorPlus® Technology colors are available **near you...**
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# HARDIEPLANK® LAP SIDING

BRICK





# EXT WINDOWS

8/30/17, 4:49 PM



PART OF THE PGT  
FAMILY OF BRANDS



WinDoor



CUSTOM WINDOWS + DOORS



Windows

Doors

ProZone

Product Information

Resources

Media Center

WINGUARD® VINYL

DOUBLE HUNG



# DH5560

Movable bottom sash that slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation
- Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration options

- Proview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)



## CONFIGURATIONS

DOUBLE HUNG WINDOW

## FRAME COLORS

STANDARD FINISHES

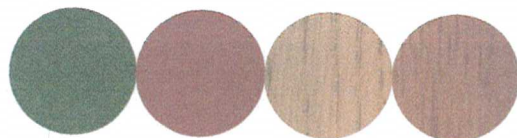
WHITE

PREMIUM FINISHES

BRONZE



BEIGE BRONZE ANODIZE\* PEBBLE  
KHAKI\*



HUNTER  
GREEN\*BRICK  
RED\*NATURAL  
OAKDARK  
OAKNATURAL  
CHERRY

Finish swatches are for reference only. Ask your dealer about final color matching.  
 \*Available for select styles only. Ask your dealer for more details.

**GRID FEATURES****FLAT GRID (GBG)**

9/16" wide or 13/16" wide

Grid between the glass

**CONTOUR GRID (GBG)**

1" wide

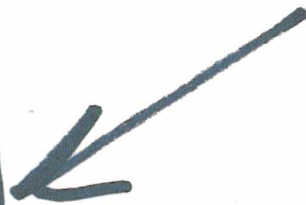
Grid between the glass

**TRADITIONAL SIMULATED DIVIDED LITE GRIDS**

7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar  
 between the glass

**GRID OPTIONS****WINDOW GRID STYLES**FLAT  
GRID  
(GBG)CONTOUR  
GRID  
(GBG)TRADITIONAL  
SIMULATED  
DIVIDED  
LITE  
GRIDS

**SIMULATED DIVIDED  
LITE**



## PRODUCT OPTIONS

### GLASS OPTIONS


Impact Resistant 

### THERMAL ENHANCEMENTS

Argon Gas (requires insulating glass)

High Performance Low-E 

### SCREEN TYPES

1816 Charcoal or Gray 

2020 Screen mesh (optional)

### PREMIUM GLASS OPTIONS

Tempered Glass

Privacy Glass (Obscure)

## GLASS TINTS

### EXTERIOR REFLECTION



CLEAR

BRONZE

GRAY

GREEN



AZURE  
BLUE

SOLAR  
COOL  
BRONZE

GRAYLITE  
II

OBSCURE  
(TEXTURED)

REQUEST A QUOTE

REQUEST A BROCHURE

My Idea Center

EXT TRIM  
5/4 SMOOTH



JamesHardie



COLOR AND DESIGN

WHY HARDIE?

PRODUCTS

START YOUR PROJECT

PRODUCT SUPPORT

PROS



Download Product Catalog



Warranty & Install Info

## HARDIETRIM® BOARDS

Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with HardieTrim® boards.

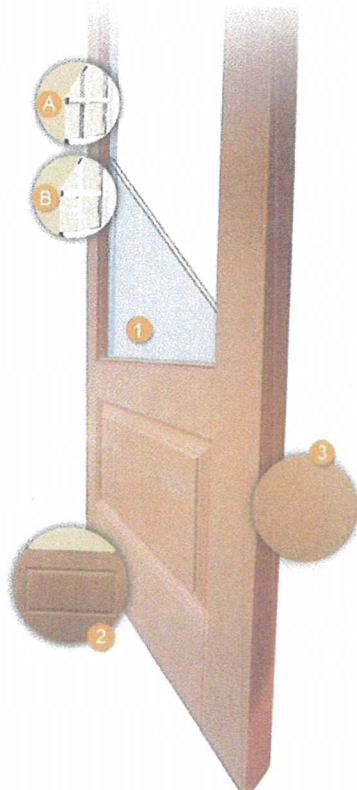


### 3/4 Lite Patio Doors Design Features

Design Features

Design Features

FRONT &  
BALCONY  
DOORS  
W/SIMULATED  
DIVIDED LITE  
WHERE  
APPLICABLE



Neuma Door



Smooth White Interior and exterior finish is standard on all doors, including the 3/4 lite panel.

**A. Simulated Divided Lites** - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

**B. Grilles Between the Glass** - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE2 272. Available with 3/4" I.G. LoE2 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

[\[top\]](#)

[Return](#)



Manufactured with 100% recycled glass

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# REAR EXTERIOR DOORS

THERMA TRU  
DOORS

WHAT TO  
CONSIDER

EXPLORE  
DOORS

INSPIRATION  
& DESIGN

WHERE  
TO BUY



[Share](#) [Print](#)



## Classic-Craft® Rustic Collection™ \$\$\$

2/3 Lite 1 Panel | Style No. CCR20020XJ

1 Available Size

DESIGN YOUR ENTRYWAY

WHERE TO BUY

### FINISH OPTIONS



Cherry



### GLASS OPTIONS



Chinchilla



See how this privacy compares to clear glass

### Don't see the glass design you want?

In addition to thousands of standard glass choices, we offer additional glass options through our Special Quote Program to help you find the right look for virtually any home.

[Learn More >](#)





# TradeMark™ Wind Load

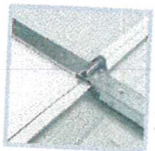
## Classic Look, Unyielding Strength

The combination of durable, 24-gauge steel, defined raised panel styling and authentic woodgrain texture gives your home curb appeal with TradeMark steel garage doors. Add charm with colonial or ranch panels, or for a distinctive look on your home, choose the carriage house option. Optional polystyrene insulation can be added to provide additional comfort and help keep your garage quieter. TradeMark doors are available in both post and strut designs.



### Hardware

Track formed from strong galvanized steel, paired with durable, long-wearing steel rollers ensures smooth, quiet operation.



### Insulation

Optional energy-saving core of polystyrene insulation provides added comfort and helps keep your garage quieter.



### Section Joints

Strong, roll-formed tongue-and-groove meeting rails seal out wind, rain, and snow, keeping your garage dry and secure.



### Raynor Secure

TradeMark doors are available in a wide variety of pressure ratings to meet your local wind codes.

# GARAGE DOORS



## Colors

### Standard



### Optional

Raynor's OptiFinish paint process allows your TradeMark door to be customized with more than 1,800 Sherwin-Williams™ colors.

## Decorative Hardware

The black matte powder coated straps and handles are designed to appear hand-forged, adding a historically-accurate dimensional quality to your door. Choose from handles and straps with Bean or Fleur-de-Lis designs.

### Handles

Fleur-de-Lis  
Handle



Bean  
Handle

### Straps

Bean

Fleur-de-Lis

## Standard Limited Warranty\*\*

### Door Sections

"For As Long As You Own Your Home" against rust through

### Hardware

3-years to the original purchaser

### Springs

3-years to the original purchaser

\*\* Limited Warranty: Visit [www.raynor.com/products](http://www.raynor.com/products) for complete Limited Warranty details

## Panel Options\*

Heights: 6'6" through 10' in 3" increments†

Widths: 4', 6', 8', 9', 10', 12', 15', 16', 18'

Colonial

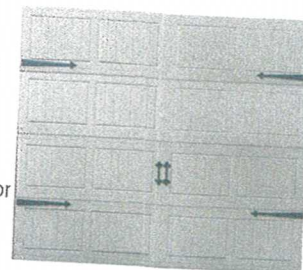
Ranch

### Carriage House

Many other options available. Contact your Raynor dealer for further details.

## Carriage House Option

The Carriage House option offers a classic design that adds character to your home. And, with decorative hardware available in Bean or Fleur-de-lis styles, the Carriage House option is the perfect design touch for any architecturally stylized home.



## Hurricane Reinforcing Systems

TradeMark doors are available in both post and strut designs, giving homeowners flexibility in choosing between an assisted or unassisted door approved for IBC, FBC, TDI, or Miami-Dade installation environments.



Post Design



Strut Design

Exclusively Distributed by:



P.O. Box 448, 1101 East River Rd.  
Dixon, IL 61021-0448  
1-800-4-RAYNOR (472-9667)





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### PRODUCT CATEGORIES

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Appliques

AZEK® Brand PVC

Balusters (Spindles)

Baseboards

Beadboard &amp; V-Groove

Blocks, Corner/Base/Etc

Brackets

Caps, Door &amp; Window

Casings, Door &amp; Window

Ceiling Medallions

Columns

Corbels

Corner Guards (Beads)

Cornices

Crown Mouldings

Deck Boards, Etc

Entry &amp; Window Systems

Finials &amp; Drops

Gable Decorations

Gallery Rails

Handrails

Headers

Lamp Posts

Mantels

Mouldings

Jewel Posts

Liches, Wall

Panels/Medallions, Fretwork

Recessed Trim

Stair Balusters

Polyurethane Products

Porches - START HERE!

Porch Flooring

Porch Posts

Rails

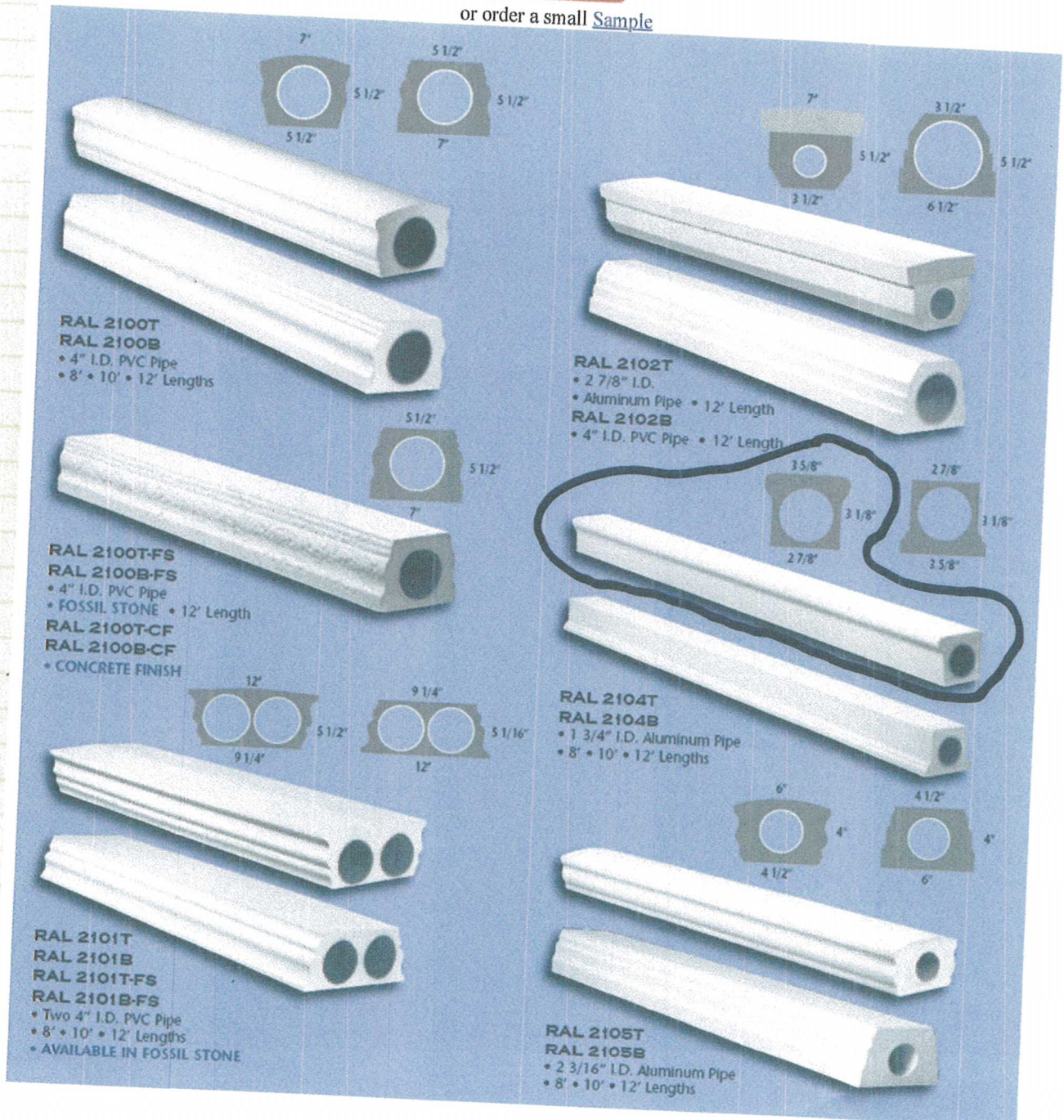
Roof Spires

Trimming Trim

### Polyurethane Rails # SP-RL (caf)

High Density Polyurethane (the only kind we sell) feels, sounds, installs, and paints just like wood but that's where the similarities end! [Read more about Polyurethane...](#)

Order Below

or order a small [Sample](#)




# PICKETS EXT HANDRAILS

Screen/Storm Doors

Shingles, Cedar

Shutters

Signs

Small Parts

Spandrels

Spindles (and Balusters)

Stair Parts, Interior

Sunburst Fans

Trim Boards

Vents, Louvered

Wainscot Beadboard

YellaWood® Pressure Treated

The Bargain Room!

More . . .

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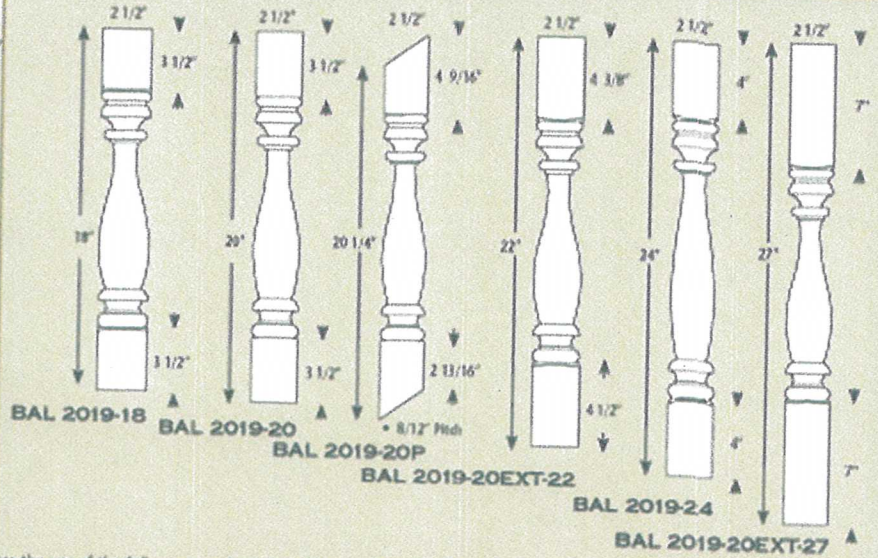
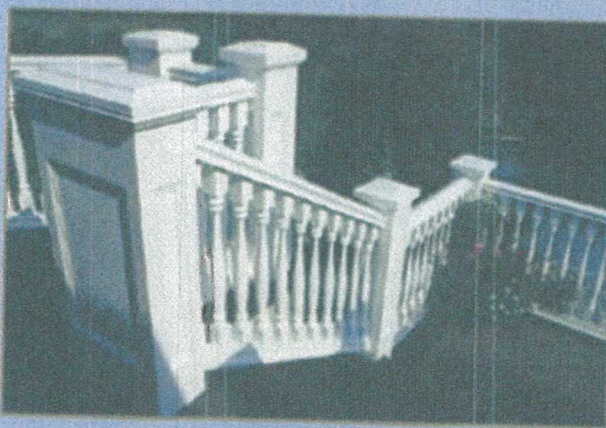
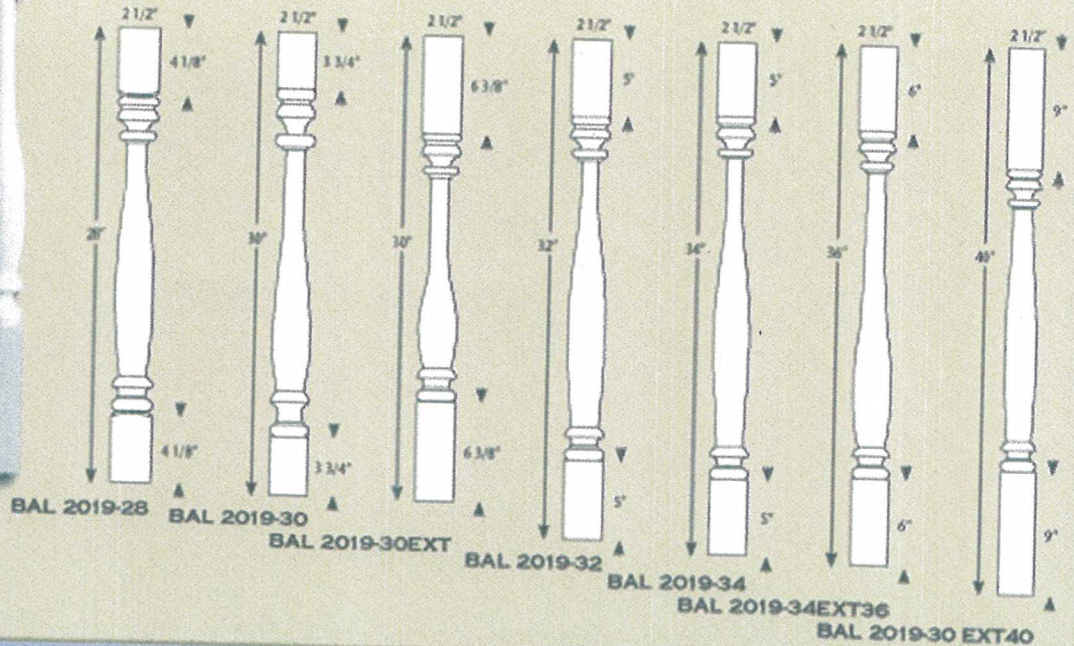


Photo illustrates the use of the following products: BAL 2019, and RAL 2105T & B.

### BAL 2019

• 3/4" "M" Dimension • 2 1/2" Max. Space 4" Ball Rule • 1 1/16" Hole Saw



**Above left:**

Photo illustrates the use of the following products:

**Above right:**

Photo illustrates the use of the following products:



# ROUND EXT COLUMN

Hand Crafted, Classically Inspired Architectural Columns, Balustrades &amp;

info@meltonclassics.com (mailto:info@meltonclassics.com)

Questions? 800-963-3060 (tel:8009633060)

## WRAPS



### FRP Classic™ Fiberglass Column Covers

#### Overview

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/)

#### Designs

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/)

#### Image Gallery

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/photos/)

#### Specifications

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/)

Product Selection Assistance (http://meltonclassics.com/product-selection-assistance/)

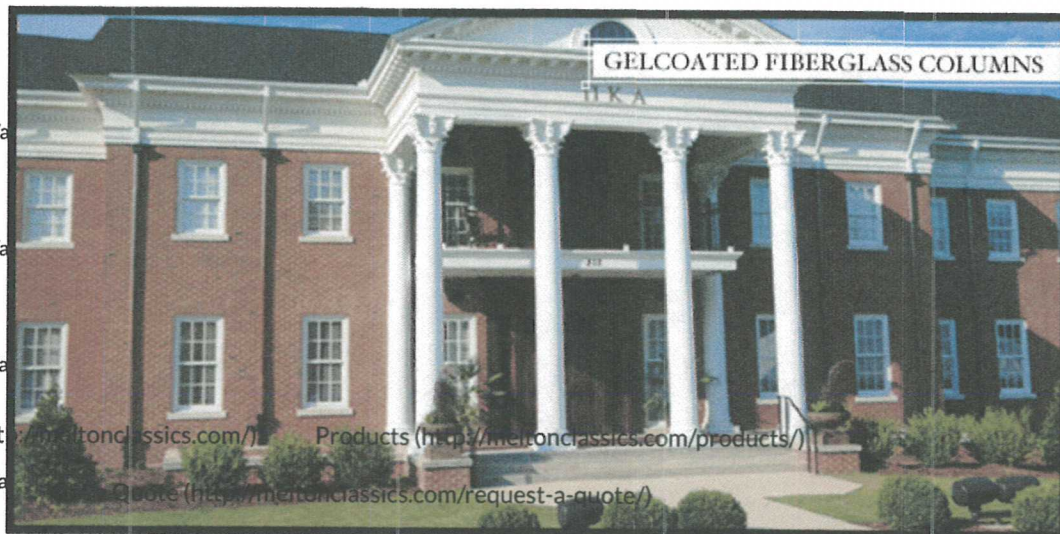
#### Installation

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/how-to-install-fiberglass-columns/)

#### Warranty

(http://meltonclassics.com/technical-data/architectural-products-warranties/)

### GELCOATED FIBERGLASS COLUMNS



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FAQ (http://meltonclassics.com/faqs/general-faqs/)

Designs (http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/designs/)

Contact (http://meltonclassics.com/contact/)

Literature (http://meltonclassics.com/literature/)

Plans/Joints (http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/plans-joints/)

Technical (http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/technical/)

### Architectural Column Products

#### Composite Fiberglass Columns

##### DuraClassic™

(http://meltonclassics.com/composite-fiberglass-columns/)

#### Fluted Fiberglass Columns

##### FiberFlute™

(http://meltonclassics.com/products/architectural-columns/fluted-columns/)

#### Fiberglass Columns

##### ClassicGlas™

(http://meltonclassics.com/products/architectural-columns/classicglas/)

#### Fiberglass Column Covers

##### FRP Classic™

(http://meltonclassics.com/products/architectural-columns/fiberglass-columns-covers/)

#### GFRC Columns (Glass-Fiber Reinforced Concrete)

##### FiberCrete™

(http://meltonclassics.com/products/architectural-columns/gfrc-columns-covers/)

#### PVC Column Covers

##### MeltonCraft™

(http://meltonclassics.com/products/architectural-columns/pvc-porch-columns/)

### FRP Classic™ Gelcoated Fiberglass Column Designs

#### Tuscan Round

#200FRP



#### Roman Doric

#210FRP



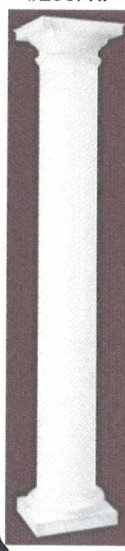
#### Roman Doric w/Attic

#220FRP



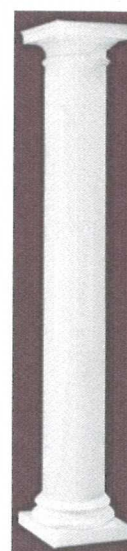
#### Tuscan Straight w/Astragal

#200FRP



#### Roman Doric w/Attic Straight w/Astragal

#220FRP



#### Straight Shaft



#### Tuscan Square

#200FRP

#### Roman Ionic

#230FRP

#### Roman Ionic

#235FRP

#### Scamozzi

#240FRP

#### Scamozzi

#245FRP

#### Roman Corinthian

#250FRP



# SQUARE COLUMN WRAPS

## Non-Tapered PVC Column Wraps

[Non-tapered square columns](#) | [Tapered square columns](#) | [Caps & bases](#)

Our Non-tapered Column Wraps come in one complete kit that includes the traditional Box Cap and Base, squaring blocks, adhesive and instruction sheets. All column wraps are made of PVC.

[Download Installation Instruction Sheet](#)

**Lead Time:** Column wraps ship within 5 to 7 days.

**Product Specs:** The Non-tapered Plain Column Wraps are constructed of a .625" thick material, while the Non-tapered Economy Plain Column Wrap is a .375" thickness. Box Caps and Bases come in a .625" standard thickness. Optional [cap and base styles](#) are available.

**Scroll down** this page for items and pricing:



[Plain](#) | [Economy](#) | [Fluted](#) | [Double Fluted](#) | [Raised](#) | [Double Raised](#) | [Recessed](#) | [Double Recessed](#)

### Plain Column Wrap

Product Code	Shaft Width	Shaft Height	List Price	Sale Price
CW6X72P1BX	6"	72"	\$224.96	\$146.22
CW6X96P1BX	6"	96"	\$257.61	\$167.45
CW6X108P1BX	6"	108"	\$277.56	\$180.41
→ CW6X120P1BX	6"	120"	\$293.87	\$191.02
CW8X72P1BX	8"	72"	\$261.41	\$169.92
CW8X96P1BX	8"	96"	\$303.20	\$197.08
CW8X108P1BX	8"	108"	\$329.10	\$213.92
CW8X120P1BX	8"	120"	\$349.98	\$227.49
CW8X144P1BX	8"	144"	\$397.46	\$258.35
CW10X72P1BX	10"	72"	\$295.78	\$192.26
CW10X96P1BX	10"	96"	\$346.69	\$225.35
CW10X108P1BX	10"	108"	\$377.28	\$245.23
→ CW10X120P1BX	10"	120"	\$402.72	\$261.77
CW10X144P1BX	10"	144"	\$459.63	\$298.76
CW12X72P1BX	12"	72"	\$330.12	\$214.58
CW12X96P1BX	12"	96"	\$390.25	\$253.66
CW12X108P1BX	12"	108"	\$425.28	\$276.43
CW12X120P1BX	12"	120"	\$455.29	\$295.94

WholesaleMillwork

**AUGUST SUPER SALE**

Sale ends August 30

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# DOOR & WINDOW EXTERIOR HEAD TRIM

## Window Trim - Transform Your Home

[Door Trim](#) | [Window Trim](#) | [Window Trim Installation Guide](#)

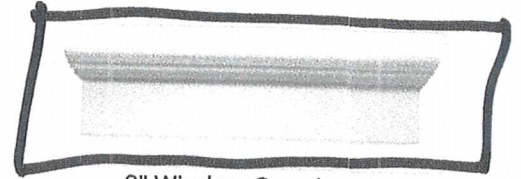
Window trim can transform an ordinary home into an extraordinary home. Many pieces are designed to work together. The options are virtually countless. In addition to our custom capabilities, we carry a full product line of products which are made of high density polyurethane. If you don't see what you are looking for on our site, call us at **1-866-995-6001** or email at [salesinfo@wholesalemillwork.com](mailto:salesinfo@wholesalemillwork.com). We also offer custom sizing of all window trim.



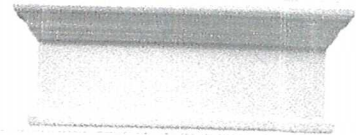
6" Window Crosshead



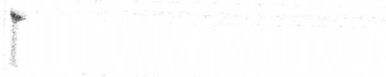
12" Window Crosshead



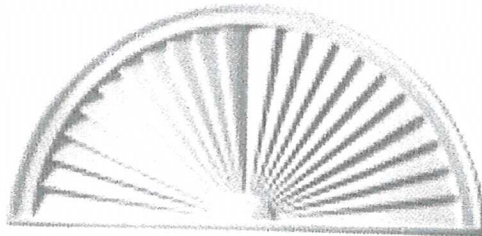
9" Window Crosshead



14" Window Crosshead



Craftsman Crossheads (2 styles)



Half Circle Sunburst



Half Round Spoked Pediment



REQUEST A QUOTE

REQUEST A BROCHURE My Idea Center



# EXT SOFFIT VENTED-SMOOTH

8/30/17, 5:23 PM

COLOR AND DESIGN

WHY HARDIE?

PRODUCTS

START YOUR PROJECT

PRODUCT SUPPORT

PROS



Download Product Catalog



Warranty & Install Info

## HARDIESOFFIT® PANELS

Soffits are key construction elements—they cover the underside of your roof eaves and exterior porch ceilings. We offer them in both smooth and vented profiles to meet aesthetic needs as well as code requirements.



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Sale ends August 30

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**BRACKETS  
IF USED**

## Brackets



ARCH



CRAFTSMAN



DESIGNER



WOODGRAIN



TRADITIONAL



VICTORIAN

## Corbels



URETHANE



WOOD



FEATURED **NEW**

## Dentil Blocks



HORIZONTAL



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STAIR

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Jim Bozeman &lt;tdyhomesnwfl@gmail.com&gt;

---

**Landscape**

---

**Charles Liberis** <cliberis@liberislaw.com>

Fri, Mar 13, 2020 at 1:23 PM

To: Today's Homes &lt;tdyhomes@bellsouth.net&gt;

{ DUH! Design

{ Tillman -grounds and maintenance }

Very truly yours,



Charles S. Liberis

Liberis Law Firm

212 W. Intendencia

Pensacola, FL 32502

Office: 850-438-9647

Fax: 850-433-5409

**Please Note: Any amount over \$5,000.00 needed for closing will have to be wired in for closing. If the amount is less than \$5,000.00 we can accept a certified check.**

**\*\*Be aware! Online banking fraud is on the rise. If you receive an email containing WIRE TRANSFER INSTRUCTIONS to our firm, please call us immediately at 850-438-9647 to verify the information prior to sending funds.\*\* NOTE: OUR wire instructions will NEVER have a Swift Code.**

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DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANIZ ST., PENSACOLA, FL 32501  
(850)-432-3510 FAX: 434-2375 EMAIL: [ldyhomes@bel](mailto:ldyhomes@bel)

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SHEET NUMBER: 1 of 11

SCALE: 1"=10'-0"

DRAWING NO.:  
B-1420



DOOR & WINDOW SURROUNDS  
ELLIPTICAL DESIGN WITH 1" LOUVERS  
CAN BE BUILT WITH 3/4" PLYWOOD OR  
CONCRETE FIBERBOARD CUT OUT  
LOUVER INSERTS.  
OPTION  
DURABRACK PREFAB DETAIL

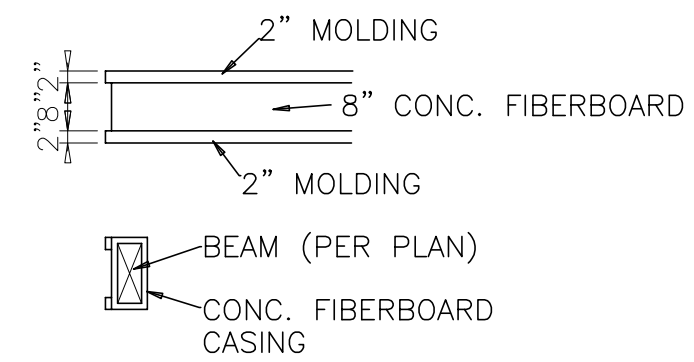
#### DOOR & WINDOW LOUVER DETAIL N.T.S.

- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- PERFORATED HARDIE SOFFIT SHEATHING.
- P.T. CONTINUOUS 2"x6" FASCIA BOARD WITH 3/4"x4" HARDIE BOARD FASCIA TRIM AND 3" PRE-FINISHED METAL DRIP EDGE FLASHING.
- 7" HARDIE SHIP-LAP SIDING OR SHAKES, OVER WATERPROOFING WALL TO FRAMING PER STRUCTURAL SPECIFICATIONS AND NOTES.
- 5/4"x12" HARDIE BOARD TRIM.
- NEUMA DOORS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- "PGT" VINYL WINDOWS, WITH RAISED DIVIDERS, ALL TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- RAYNOR-TRADE MARK SIMULATED OUT-SWING GARAGE DOOR, WITH OVERLAD TRIM, ALL SURROUNDING TRIM & MOLDINGS TO BE 5/4" HARDIE BOARD.
- 36" HIGH RAIL WITH 2 1/2" P.T. TURNED WOOD PICKETS AT 4" O.C.
- PORCH FLOORING TO BE MANUFACTURED "TREX-LIKE" PORCH DECKING BOARDS OVER AIR SPACE, DECKING ANCHORED TO SLOPED P.T. SLEEPERS RUN PARALLEL TO DRAINAGE SLOPE, BENEATH AIR SPACE INSTALL A HEAVY DUTY SINGLE PLY WATERPROOF BARRIER ON 5/8" APA RATED DECKING. MOUNTED TO TOP OF 2X (PER STRUCTURAL) PORCH FLOOR FRAMING.
- BRICK VENEER (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT).
- BRICK PAVERS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.

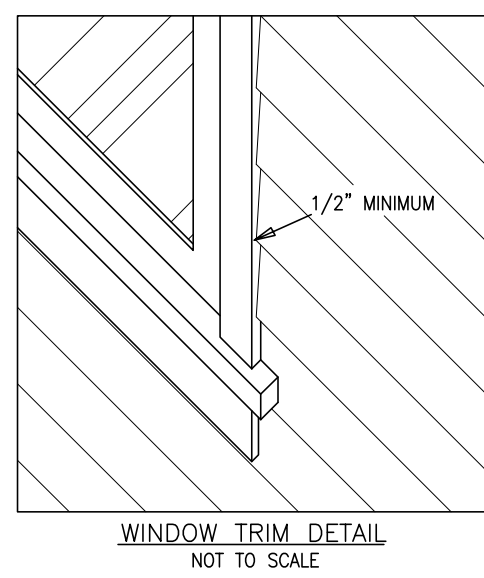
FRONT ELEVATION



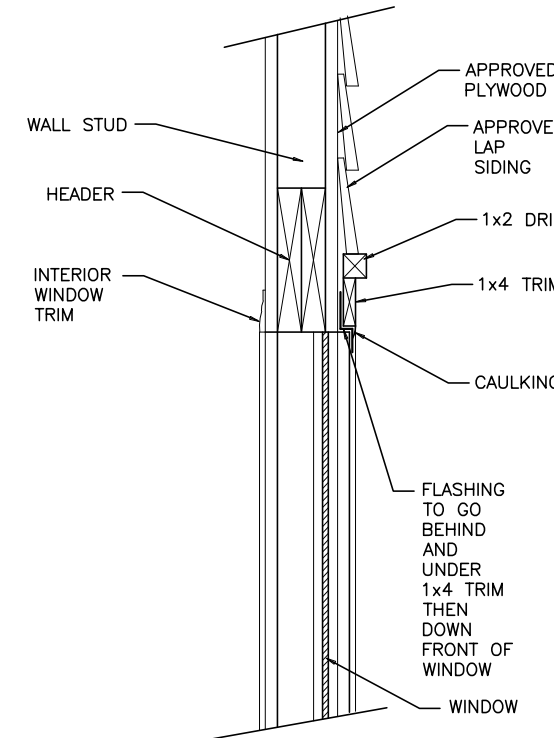
RIGHT ELEVATION



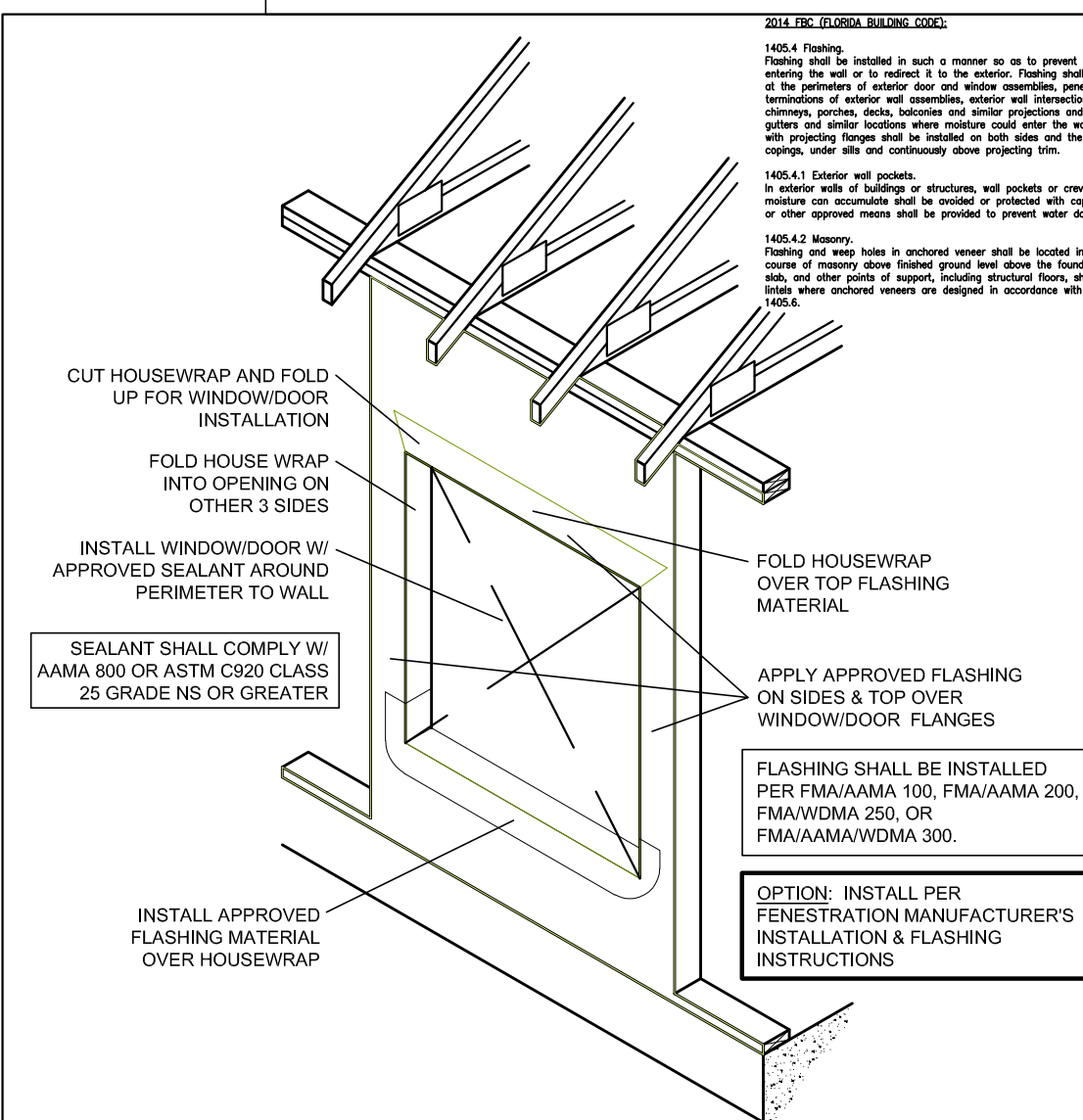
CASED BEAM DETAIL  
3/8"=1'-0"



WINDOW TRIM DETAIL  
NOT TO SCALE



DRIP CAP DETAIL  
No Scale



TYPICAL FLASHING DETAIL  
No Scale





REAR ELEVATION



LEFT ELEVATION

- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOFING OVER PEEL & STICK ROOF WATERPROOFING MEMBRANE, ADHERED TO TOP OF 5/8" APA RATED SHEATHING. SHEATHING TO BE ATTACHED AND NAILED SCHEDULE ON ENGINEER'S STRUCTURAL SHEATHING SCHEDULE.
- 2) PERFORATED HARDIE SOFFIT SHEATHING.
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- 11) BRICK VENEER (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON CMU FOUNDATION WALLS.
- 12) BRICK ROWLOCK COURSE CONTINUOUS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT).
- 13) BRICK PAVERS (PINE HALL BRICK-SEDFIELD (Q) 1714 WITH GRAY GROUT) ON ALL FIRST FLOOR PORCH FLOORS AND ON ALL EXTERIOR STEPS.

DESCRIPTION: ELEVATIONS

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DATE: NOV. 15 2019

DRAWN BY: J. GRAY

DRAWING NO.:  
B-1420

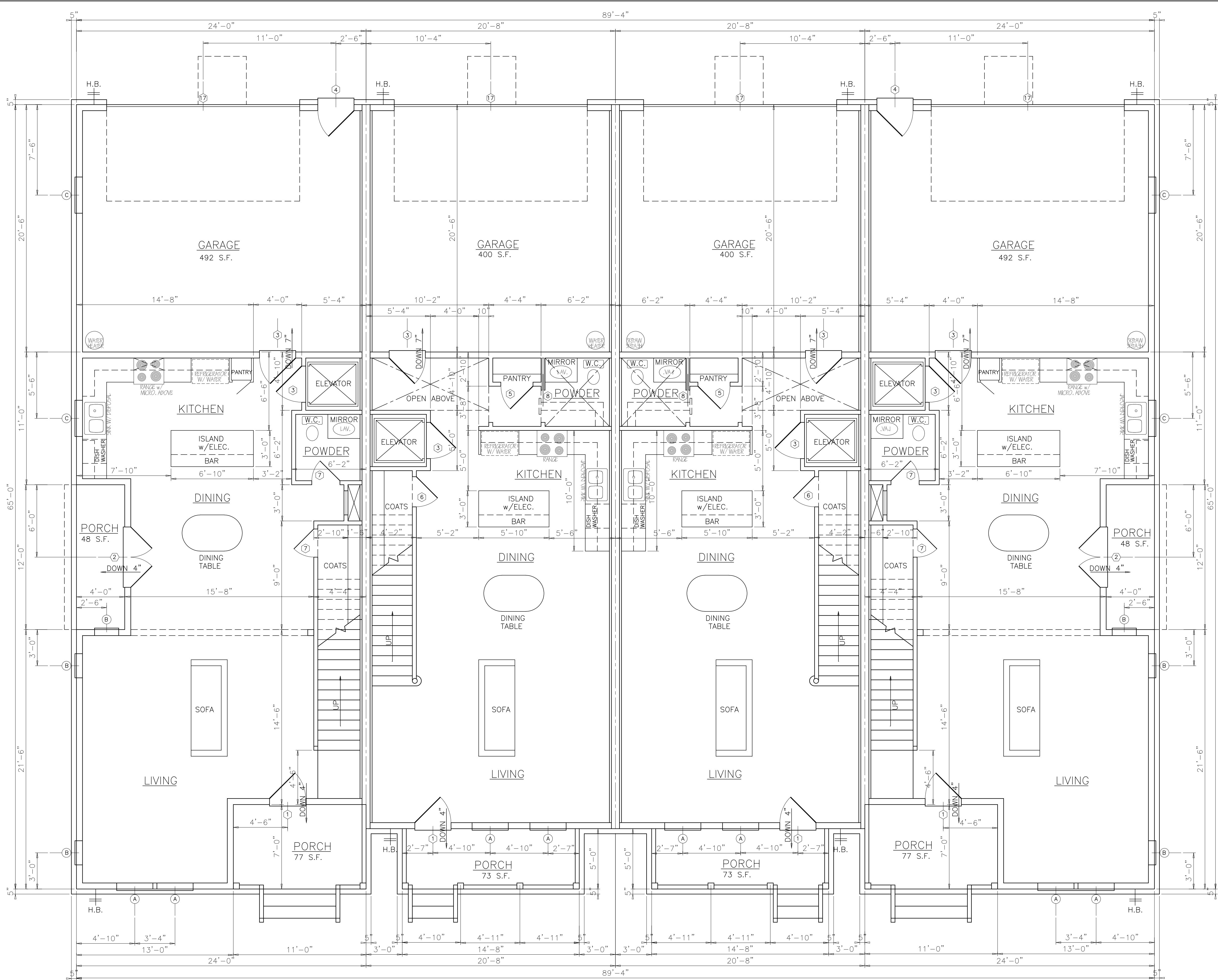
SHEET NUMBER:  
3 OF 11

SCALE: 1/4"=1'-0"

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANIZ ST., PENSACOLA, FL 32502  
(850)-432-3510 FAX: 434-2375

FINISH ROOM SCHEDULE				DOOR SCHEDULE				WINDOW SCHEDULE				REMARKS
ROOM	FLOOR	WALLS	CEILING	NO.	SIZE	DESCRIPTION	REMARKS	U.P.C.	SIZE	DESCRIPTION		
LIVING DINING KITCHEN MASTER SUITE BEDROOM 2 BEDROOM 3 BATH 1 BATH 2 BATH 3 POWDER GARAGE	CONCRETE	ORANG. PEEL PAINT	ORANG. PEEL TEXT	1	3'-0"x8'-0"x1 3/4"	DECORATIVE	INSULATED	A	3060 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED	
				2	(0)-2'-8"x8'-0"x1 3/4"	DOUBLE FRENCH DOOR UNIT	INSULATED	B	2060 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED	
				3	3'-0"x8'-0"x1 3/4"	6-PANEL	INSULATED	C	3040 SET AT 8'-0"	VINYL SINGLE HUNG	INSULATED	
				4	3'-0"x6'-8"x1 3/4"	6-PANEL	INSULATED	D	3050 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED	
				5	2'-8"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	E	2050 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED	
				6	2'-6"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	F	2030 SET AT 6'-8"	VINYL SINGLE HUNG	INSULATED	
				7	2'-4"x8'-0"x1 3/8"	6-PANEL	MASONITE PAINT	G				
				8	2'-8"x8'-0"x1 3/8" POCKET	HVAC DOOR	MASONITE PAINT					
				9	2'-0"x5'-0"x1 3/8"		MASONITE PAINT					
				10	3'-0"x6'-8"x1 3/4"	DECORATIVE	INSULATED					
				11	3'-0"x6'-8"x1 3/4"	6-PANEL	INSULATED					
				12	2'-8"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT					
				13	2'-6"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT					
				14	2'-0"x6'-8"x1 3/8"	6-PANEL	MASONITE PAINT					
				15	5'-0"x6'-8"x1 3/8" Bi-FOLD	6-PANEL	MASONITE PAINT					
				16	4'-0"x6'-8"x1 3/8" Bi-FOLD	6-PANEL	MASONITE PAINT					
				17	16'x8'	OVERHEAD GARAGE DOOR	WIND RATED					
INTERIOR FINIS											REMARKS	
SQUARE FOOTAGE INDEX												
FIRST FLOOR 939 S.F.											FIRST FLOOR 777 S.F.	
SECOND FLOOR 1483 S.F.											SECOND FLOOR 1240 S.F.	
TOTAL LIVING AREA 2422 S.F.											TOTAL LIVING AREA 2017 S.F.	
FRONT PORCH 77 S.F.											FRONT PORCH 73 S.F.	
SIDE PORCH 48 S.F.											GARAGE 400 S.F.	
GARAGE 492 S.F.												



FIRST FLOOR 939 S.F.  
SECOND FLOOR 1483 S.F.  
TOTAL LIVING AREA 2422 S.F.

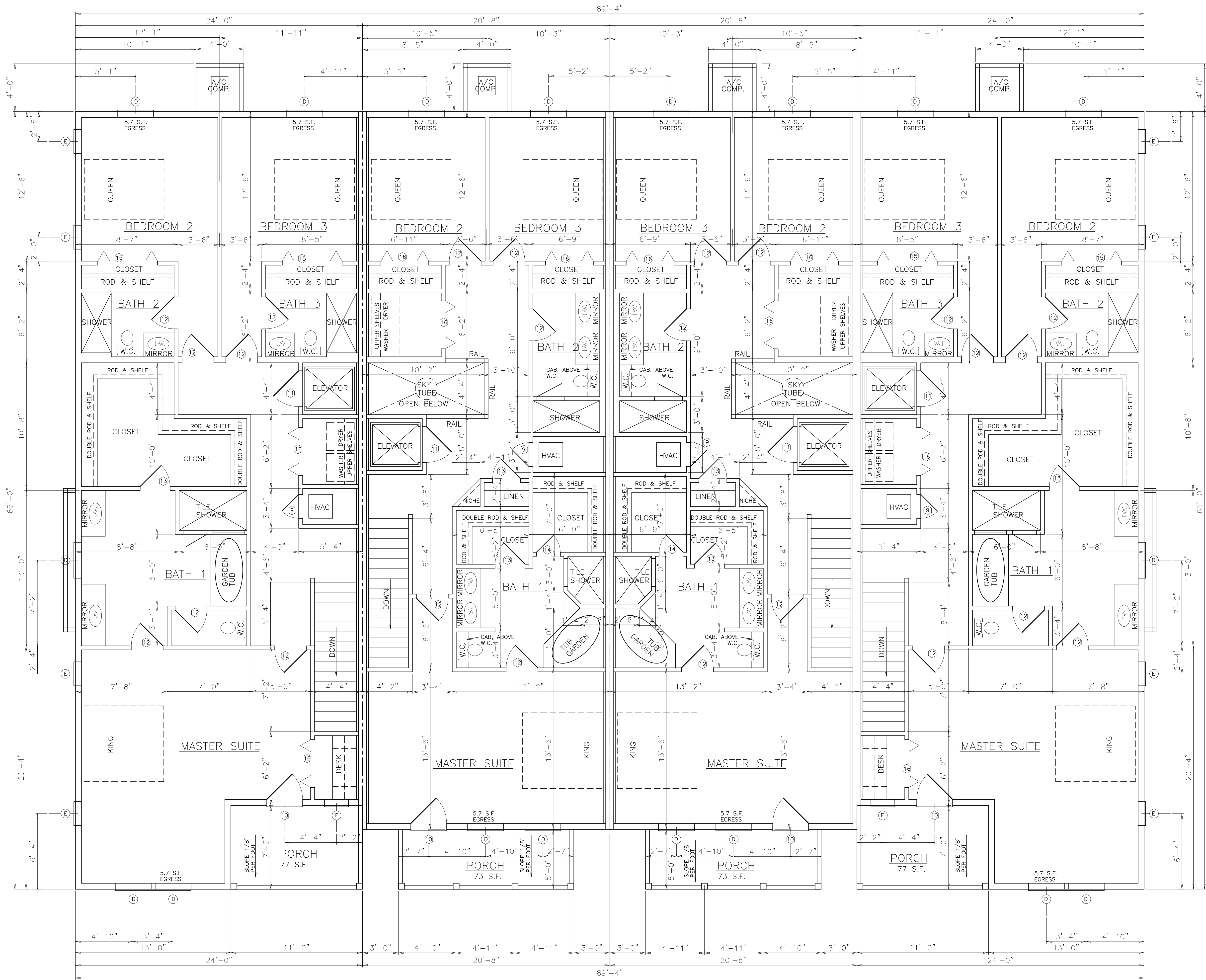
FIRST FLOOR 777 S.F.  
SECOND FLOOR 1240 S.F.  
TOTAL LIVING AREA 2017 S.F.

FIRST FLOOR 777 S.F.  
SECOND FLOOR 1240 S.F.  
TOTAL LIVING AREA 2017 S.F.

FIRST FLOOR 939 S.F.  
SECOND FLOOR 1483 S.F.  
TOTAL LIVING AREA 2422 S.F.

BUILDING B FIRST FLOOR





BUILDING B SECOND FLOOR

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANTAZA ST., PENSACOLA, FL 32502  
(850) 432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: NOV. 15 2019

DESCRIPTION: SECOND FLOOR

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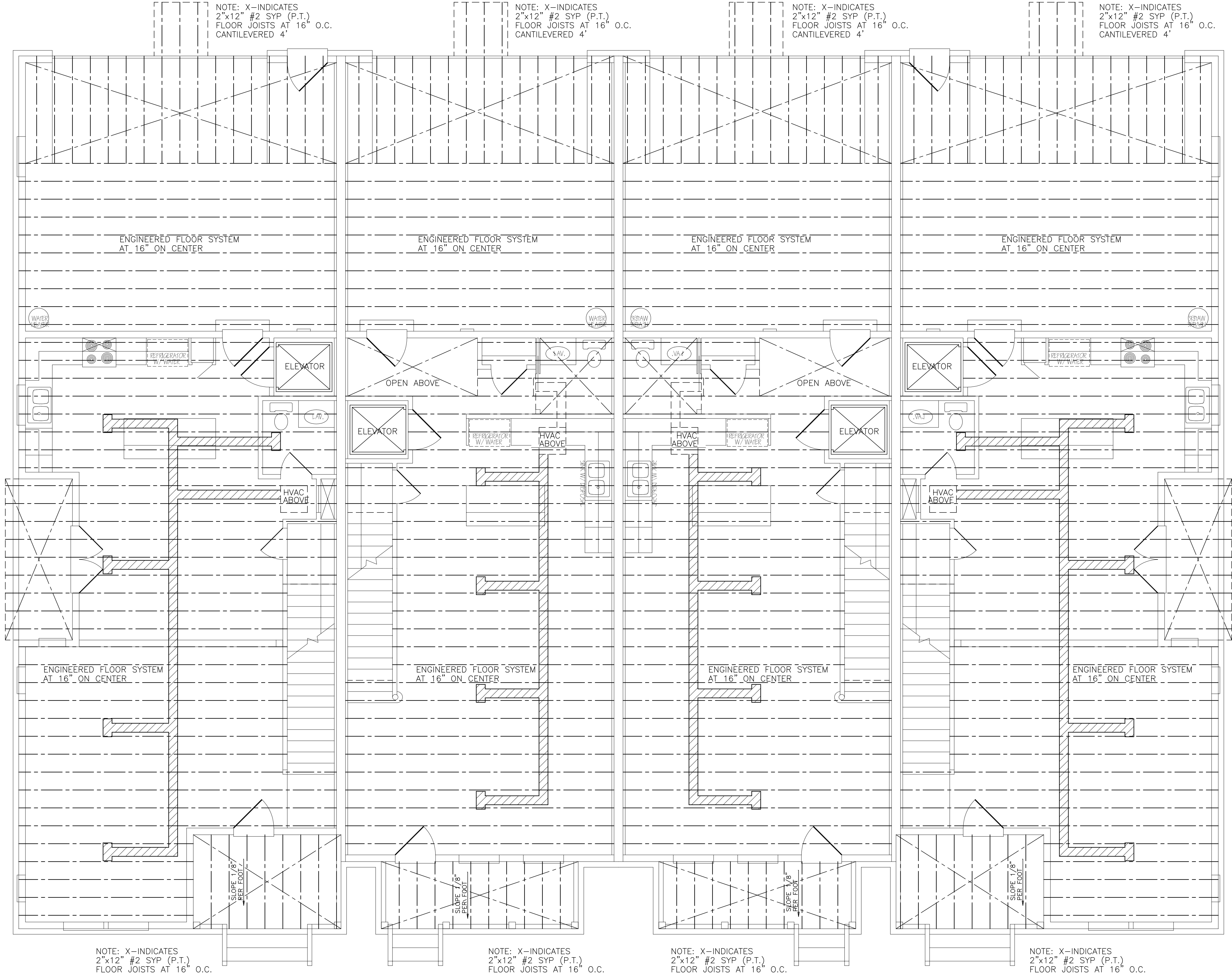
DRAWING NO.:  
B-1420

TODAY'S HOMES  
51<sup>st</sup>  
1966 JIM BOZEMAN 2019





NOTE: X-INDICATES  
2"x12" #2 SYP (P.T.)  
FLOOR JOISTS AT 16" O.C.  
CANTILEVERED 18"



NOTE: X-INDICATES  
2"x12" #2 SYP (P.T.)  
FLOOR JOISTS AT 16" O.C.  
CANTILEVERED 18"

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. CALHOUN ST., PENSACOLA, FL 32502  
(850) 432-3510 FAX: 434-2375

DRAWN BY: J. GRAY

DATE: DEC. 3 2019

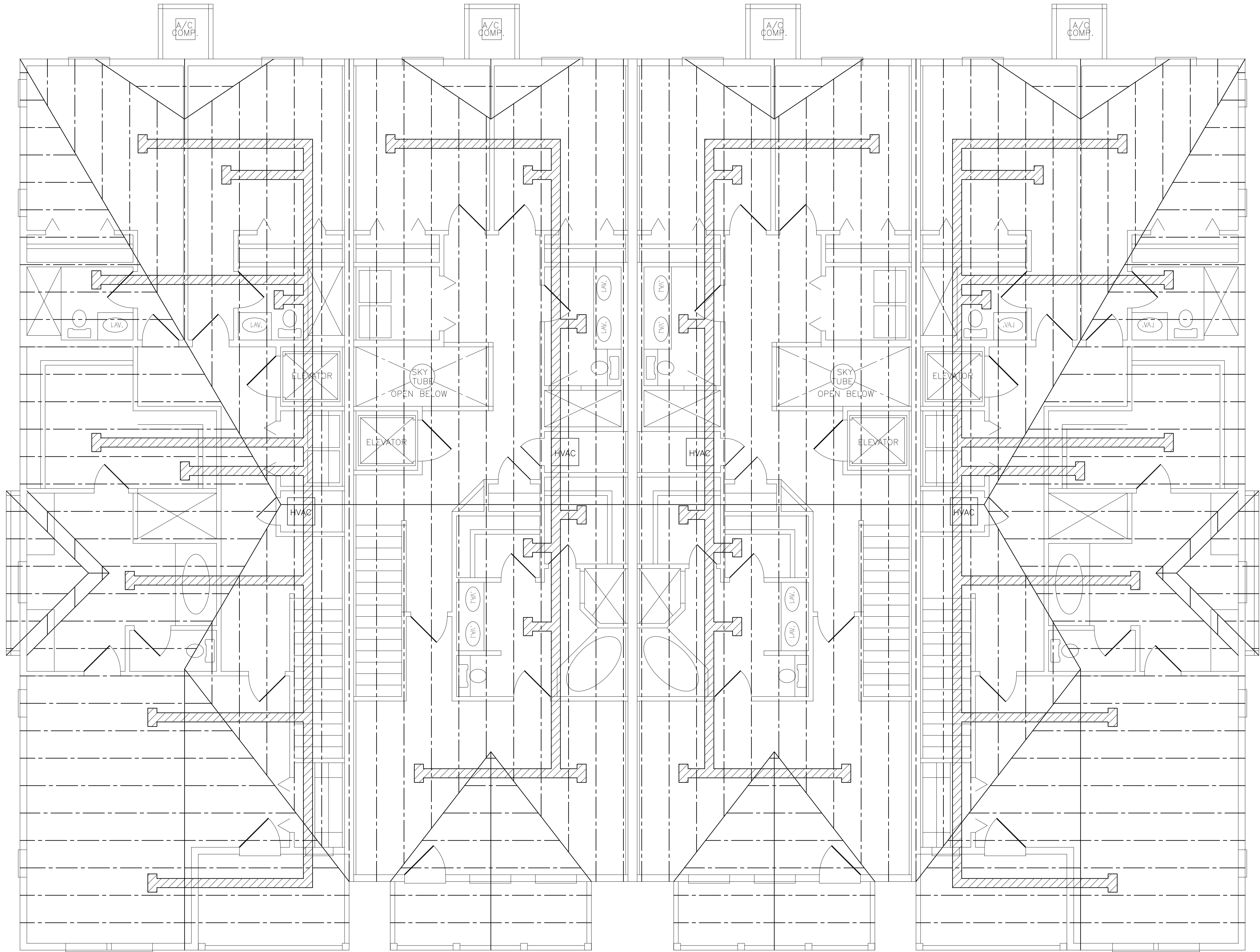
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B-1420

SCALE: 1/4"=1'-0"  
SHEET NUMBER:  
7 OF 11

DESCRIPTION: FLOOR FRAMING

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TODAY'S HOMES  
51<sup>st</sup>  
1968 JIM BOZEMAN 2019



GENERAL NOTES:

ENGINEERED TRUSSES AT 24" ON CENTER  
TRUSS MANUFACTURER TO VERIFY TRUSS  
LAYOUT & FURNISH TRUSS DESIGN WITH  
ENGINEER'S SEAL.

SEE ELEVATIONS FOR ROOF PITCH & OVERHANG.

MECHANICAL CONTRACTOR TO VERIFY DUCT  
LAYOUT & GRILL SIZE TO UNIT SPECIFICATIONS.

CONTRACTOR TO VERIFY UNIT SIZE.

RETURN-AIR VENT ABOVE BEDROOM DOORS

Today's Homes of Northwest Florida, Inc.

DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANTAZA ST., PENSACOLA, FL 32502  
(850) 432-3510 FAX: 434-2375

DRAWN BY: J. GRAY  
DATE: DEC. 3, 2019  
SCALE: 1/4"=1'-0"  
SHEET NUMBER:  
8 OF 11

DESCRIPTION: ROOF FRAMING  
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TODAY'S HOMES  
51<sup>st</sup>  
1968 JIM BOZEMAN 2019



\*\*\*\*\* NOTICE \*\*\*\*\*

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

FAILURE TO CALL FOR INSPECTION MAY RESULT IN FOOTING BEING REPLACED.

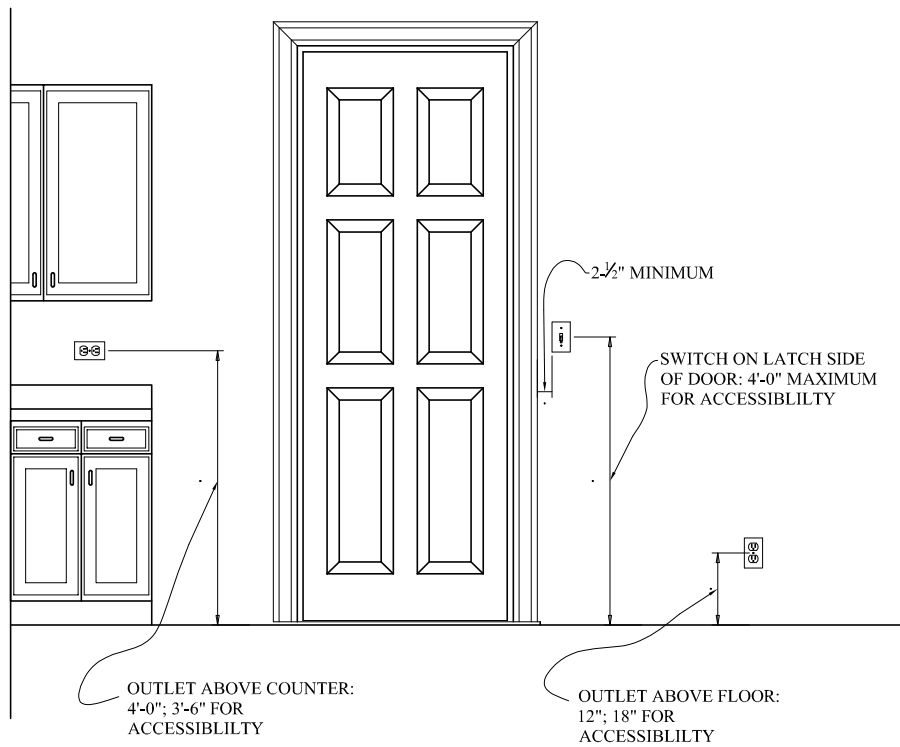
NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

E3802.11 BEDROOM OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

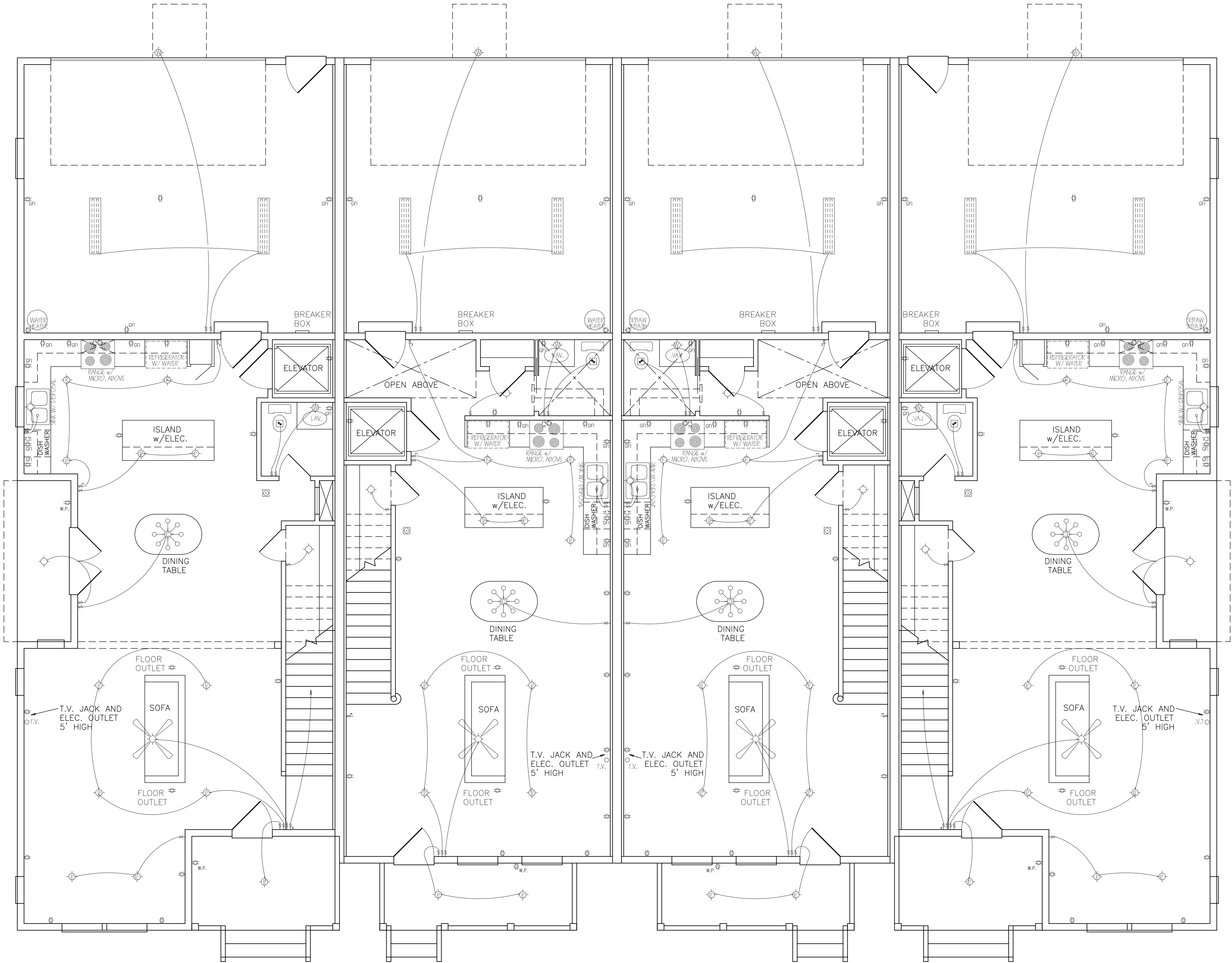
E3803.4 STORAGE OR EQUIPMENT SPACES. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

ELECTRICAL LEGEND:

- ⊙ GAS LINE
- ⊙ CABLE T.V. OUTLET
- ⊕ 110V ELECTRICAL OUTLET
- W.P. WEATHER-PROOF EXTERIOR 110V ELECTRICAL OUTLET
- GFI GROUND-FAULT-INTERFACE 110V ELECTRICAL OUTLET
- ⊕ 110V ELECTRICAL OUTLET UNDER COUNTER FOR BUILT-IN APPLIANCES
- ⊕ 220V OUTLET
- ⊕ DOOR BELL
- ▶ PHONE OUTLET
- DOOR BELL CHIMES
- EXHAUST FAN
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- 2-WAY WALL SWITCH
- 3-WAY WALL SWITCH
- 4-WAY WALL SWITCH
- CEILING MOUNTED LIGHT
- WALL-MOUNTED LIGHT
- RECESSED LIGHT
- HANGING "DROP" LIGHT
- CHANDELIER (SEE OWNER)
- CEILING FAN (PLAN SHOWS LIGHT KITS ADDED)
- FLUORESCENT LIGHT FIXTURE 4" FLOOR, BULBS
- FLUORESCENT STRIP LIGHT
- WALL-MOUNTED SCONCE LIGHT



HEIGHTS OF SWITCHES AND OUTLETS



BUILDING B FIRST FLOOR ELECTRICAL

\*\*\*\*\* NOTICE \*\*\*\*\*

NEC ART 250.52(A)(3)-CONCRETE ENCASED ELECTRODE INSPECTION REQUIRED FOR GROUNDING OF REBAR STEEL PRIOR TO POURING THE FOUNDATION OR FOOTING.

FAILURE TO CALL FOR INSPECTION MAY RESULT IN FOOTING BEING REPLACED.

NOTE: AS OF 1 OCTOBER 2009, VERIFY ALL ELECTRICAL OUTLETS AS ARCH. FAULT OR GFI PER NATIONAL ELECTRICAL CODE AND LOCAL INSPECTION DEPARTMENT.

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- ⊕ SMOKE ALARM
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ 2-WAY WALL SWITCH
- ⊕ 3-WAY WALL SWITCH
- ⊕ 4-WAY WALL SWITCH
- ⊕ CEILING MOUNTED LIGHT
- ⊕ WALL-MOUNTED LIGHT
- ⊕ RECESSED LIGHT
- ⊕ HANGING "DROP" LIGHT
- ⊕ CHANDELIER (SEE OWNER)
- ⊕ CEILING FAN (PLAN SHOWS LIGHT KITS ADDED)
- ⊕ FLUORESCENT LIGHT FIXTURE 4' FLOOR. BULBS
- ⊕ FLUORESCENT STRIP LIGHT
- ⊕ WALL-MOUNTED SCONCE LIGHT

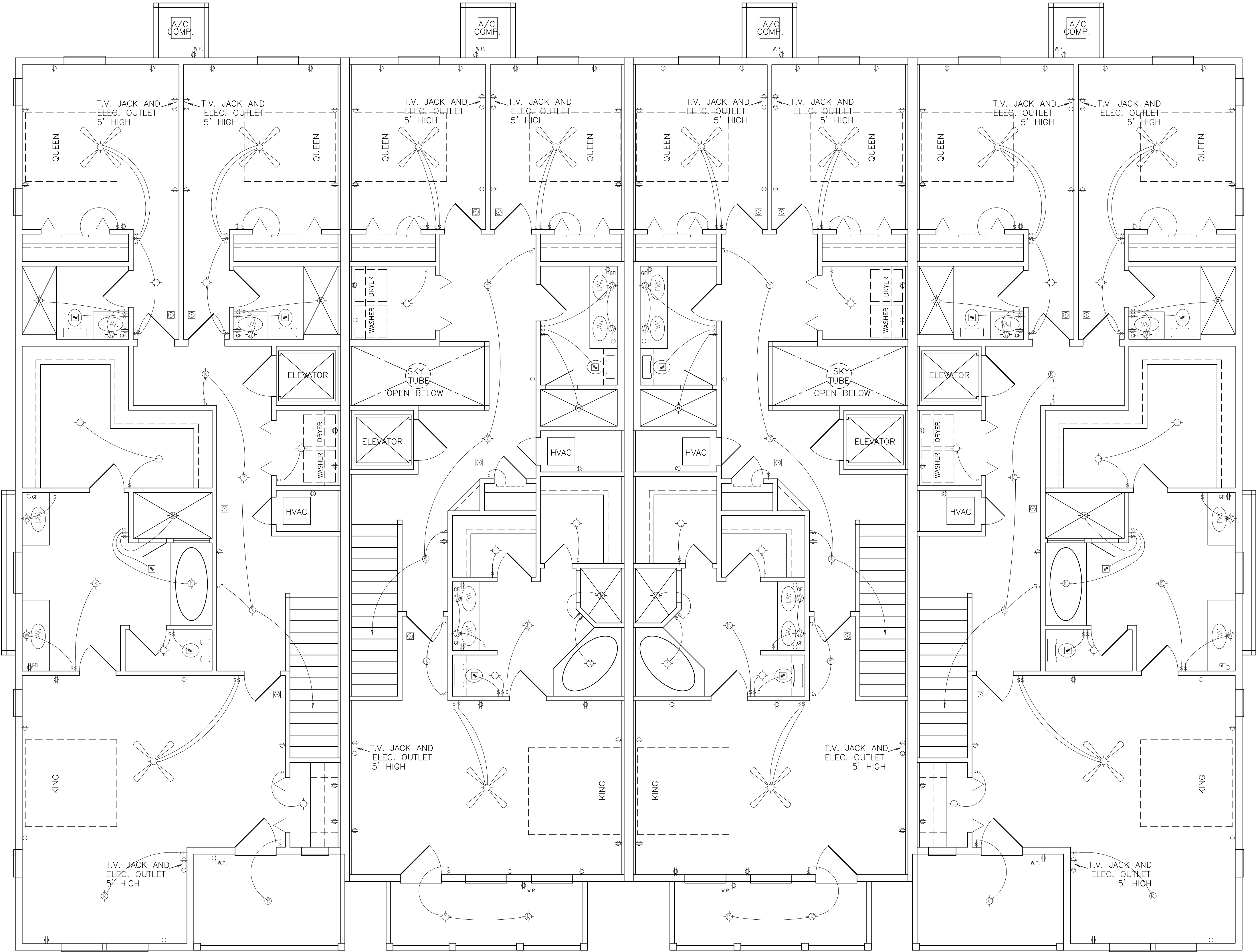
OUTLET ABOVE COUNTER: 4'-0", 3'-6" FOR ACCESSIBILITY

OUTLET ABOVE FLOOR: 12", 18" FOR ACCESSIBILITY

SWITCH ON LATCH SIDE OF DOOR: 4'-0" MAXIMUM FOR ACCESSIBILITY

2'-0" MINIMUM

HEIGHTS OF SWITCHES AND OUTLETS



BUILDING B SECOND FLOOR ELECTRICAL

TODAYS  
51<sup>st</sup> HOMES  
1968 JM BOZEMAN 2019

DESCRIPTION: SECOND FLOOR ELECTRICAL

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DRAWN BY: J. GRAY

DATE: DEC. 3 2019

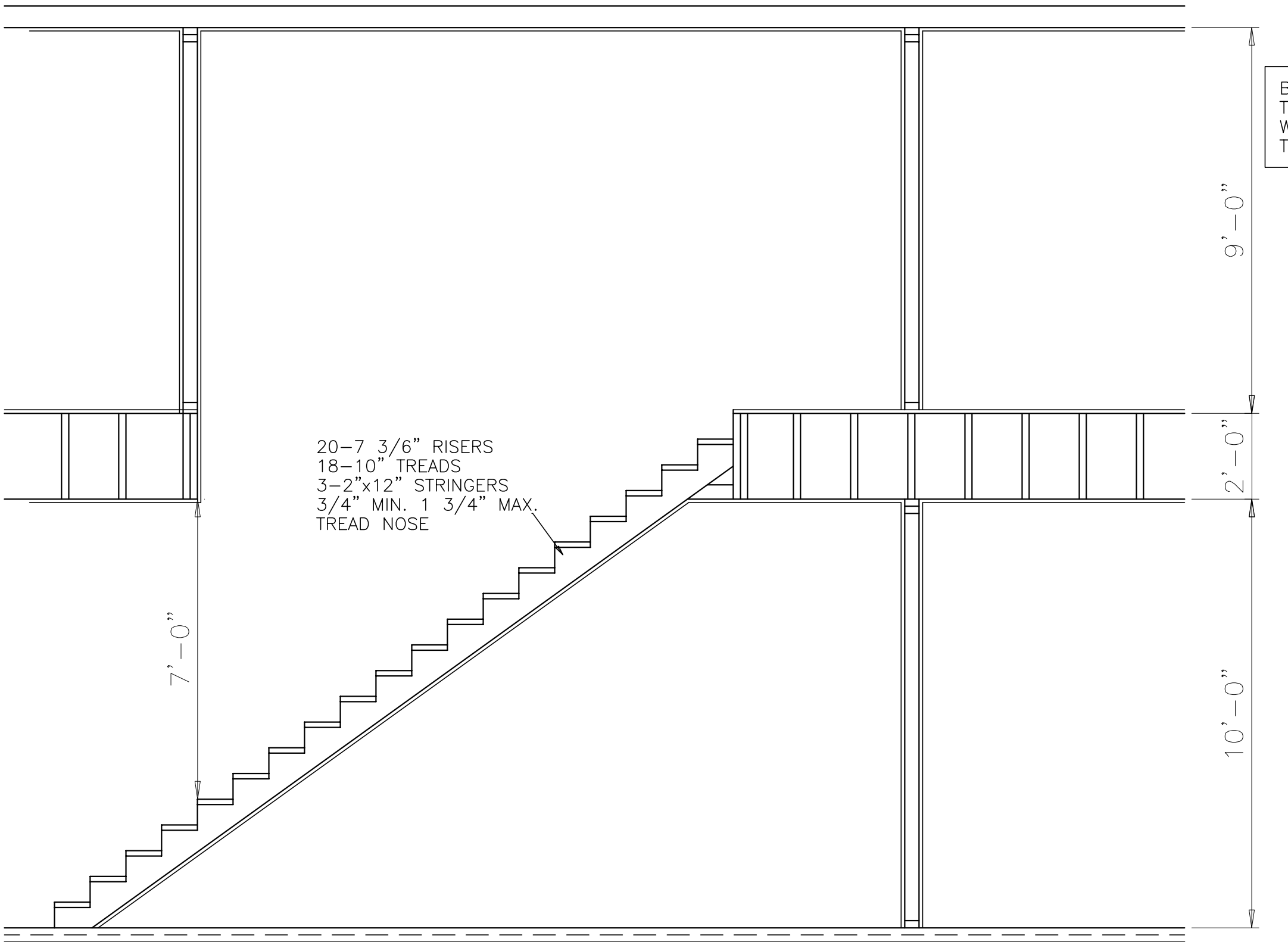
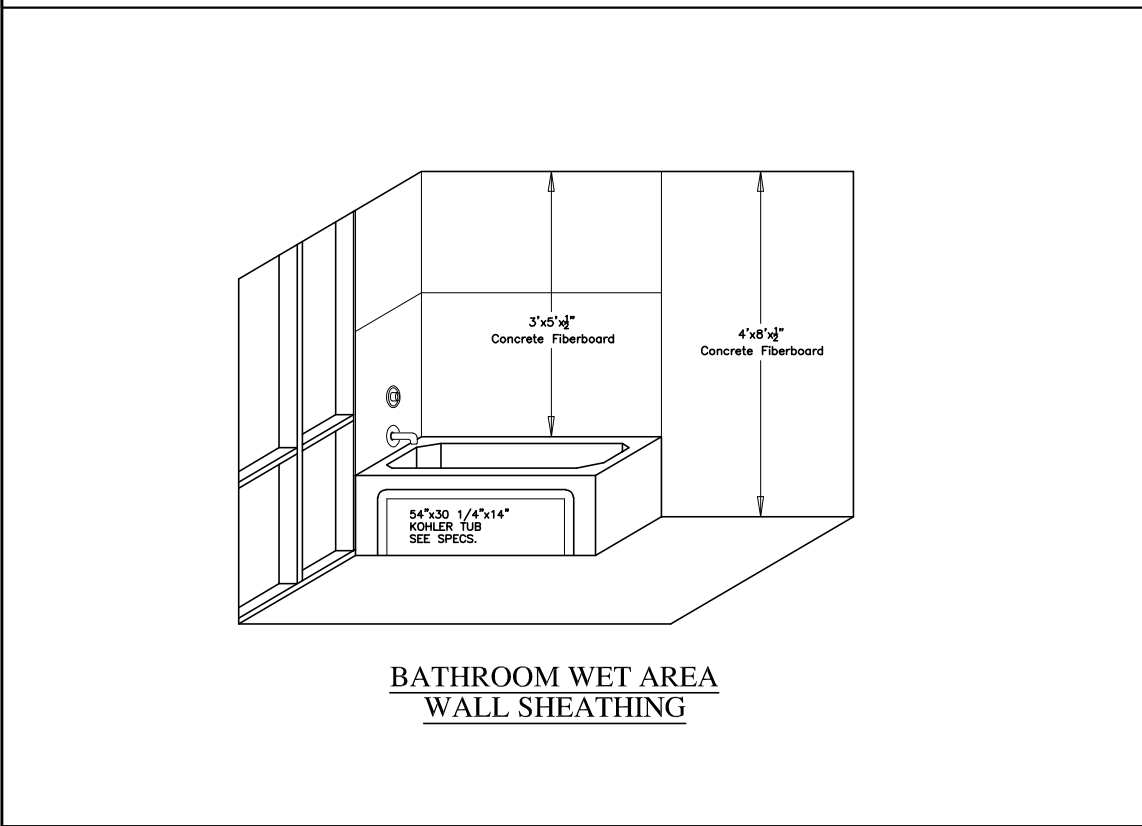
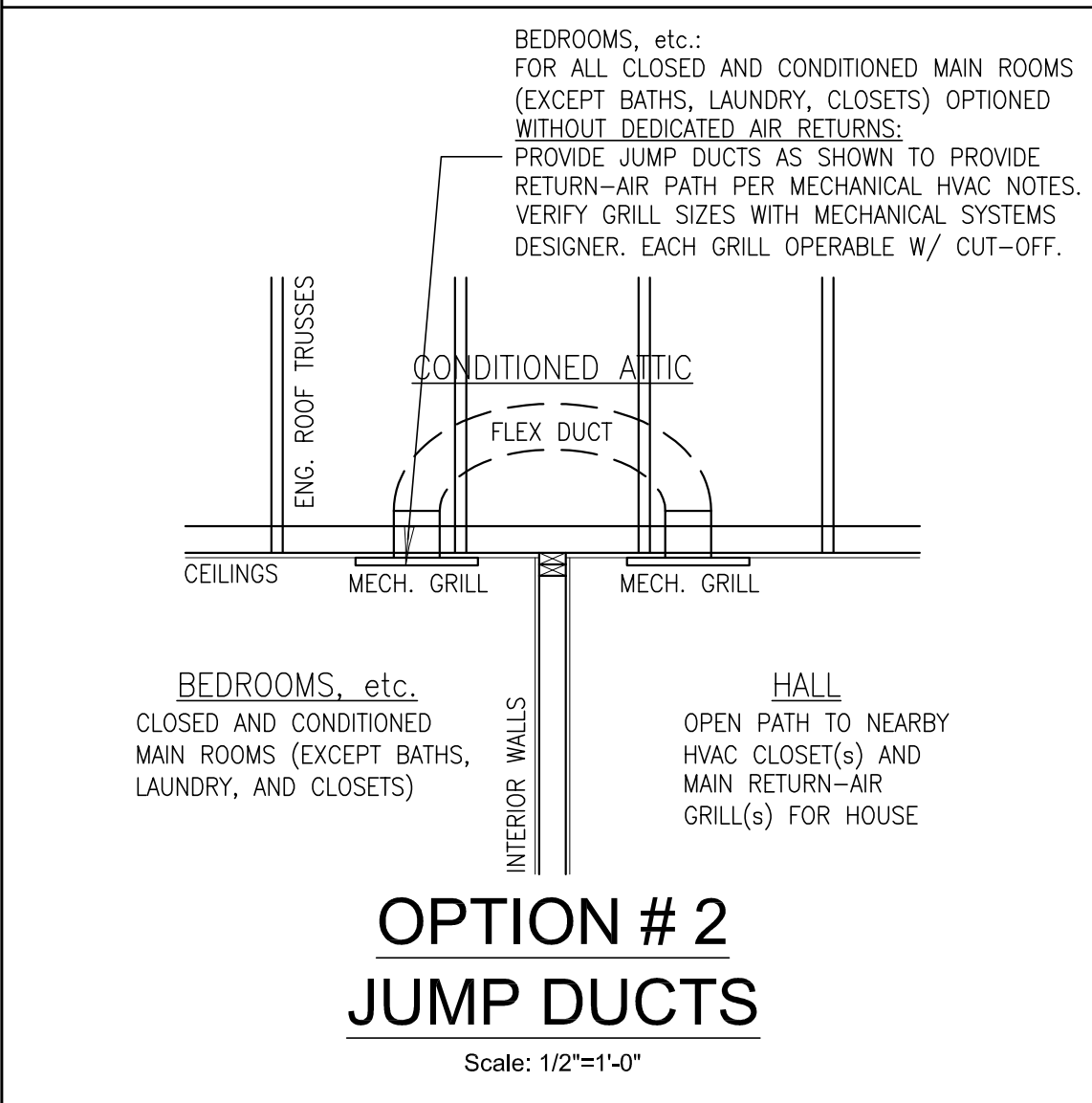
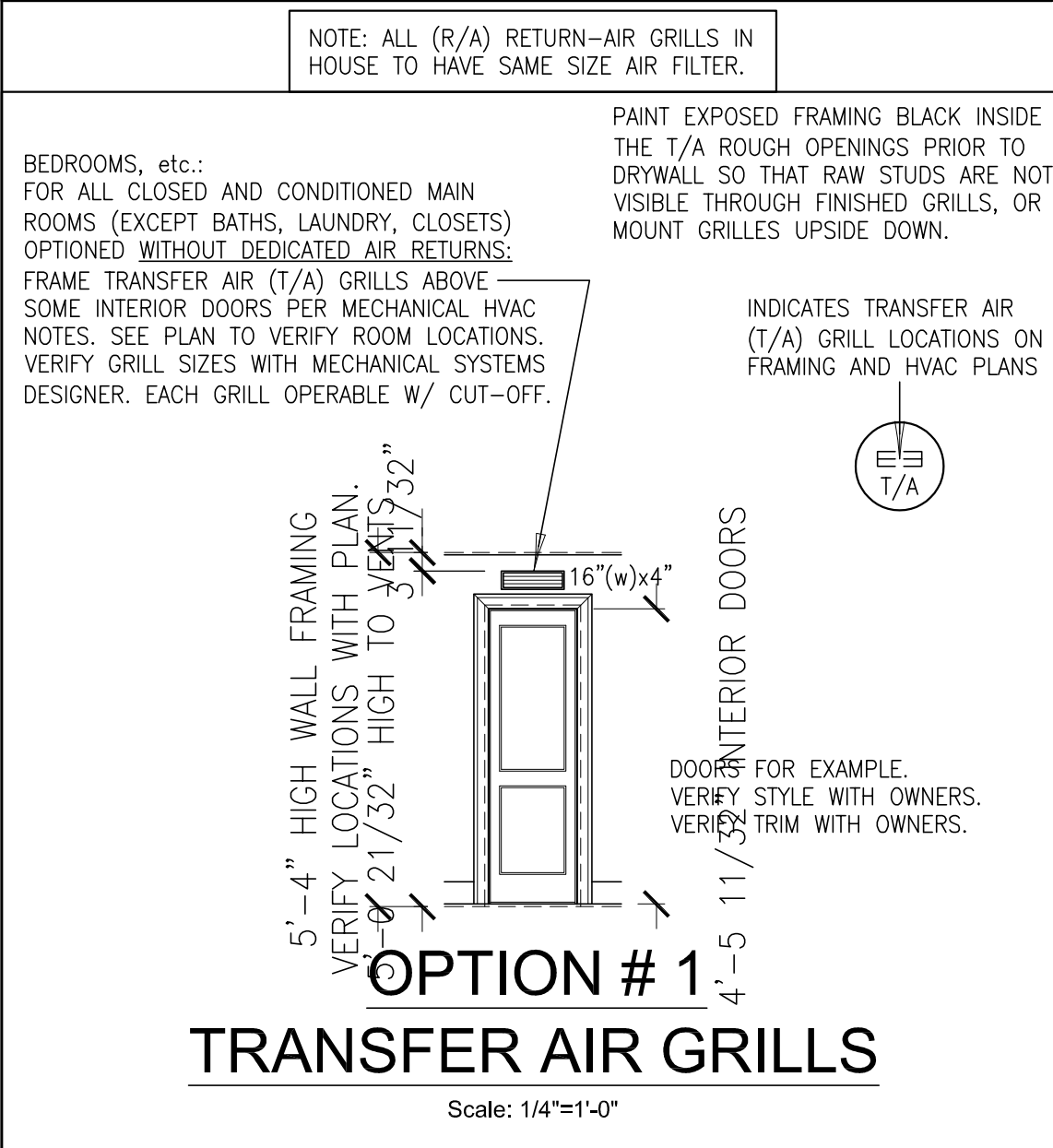
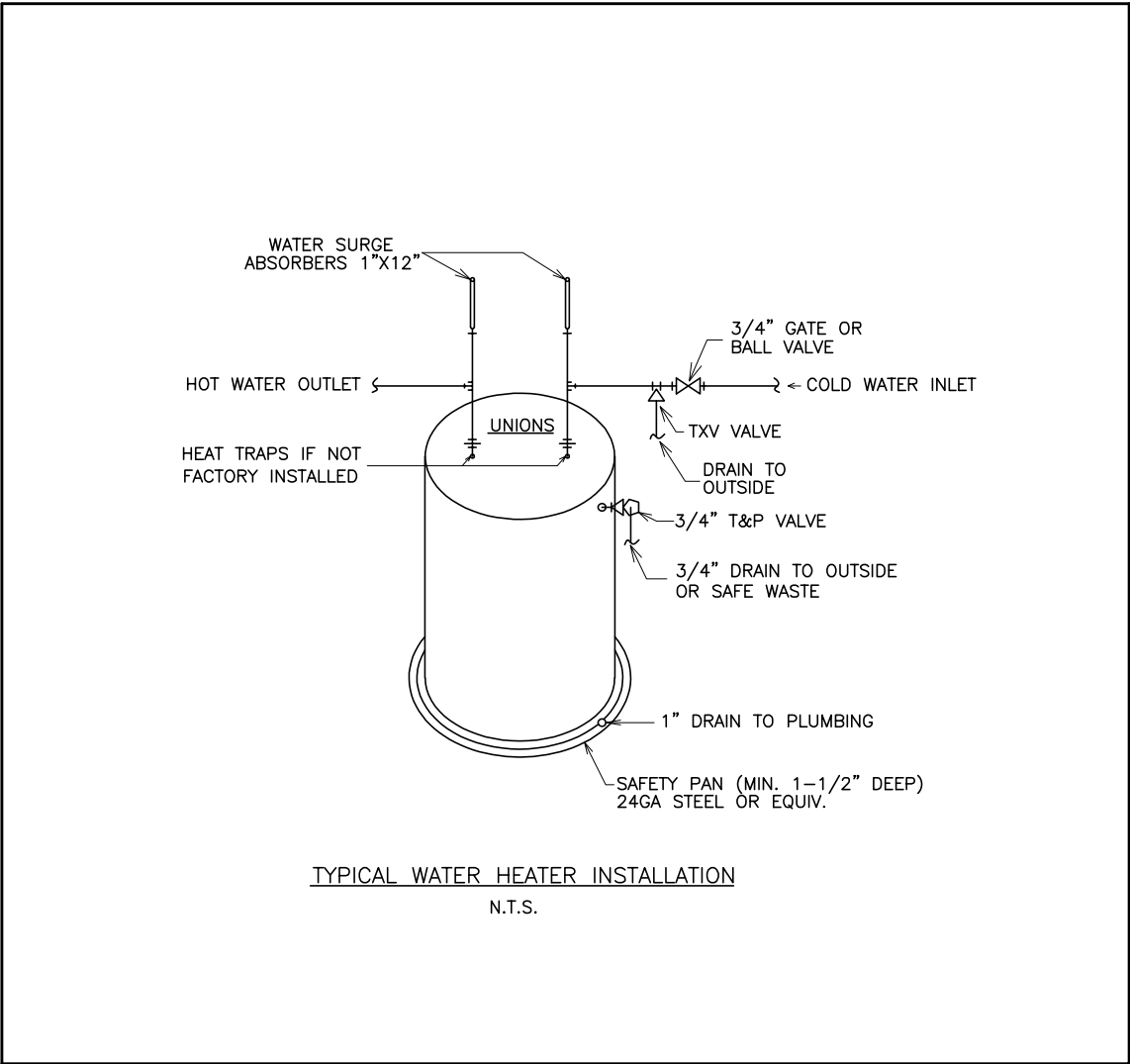
SCALE: 1/4"=1'-0"

SHEET NUMBER: 10 OF 11

DRAWING NO.: B-1420

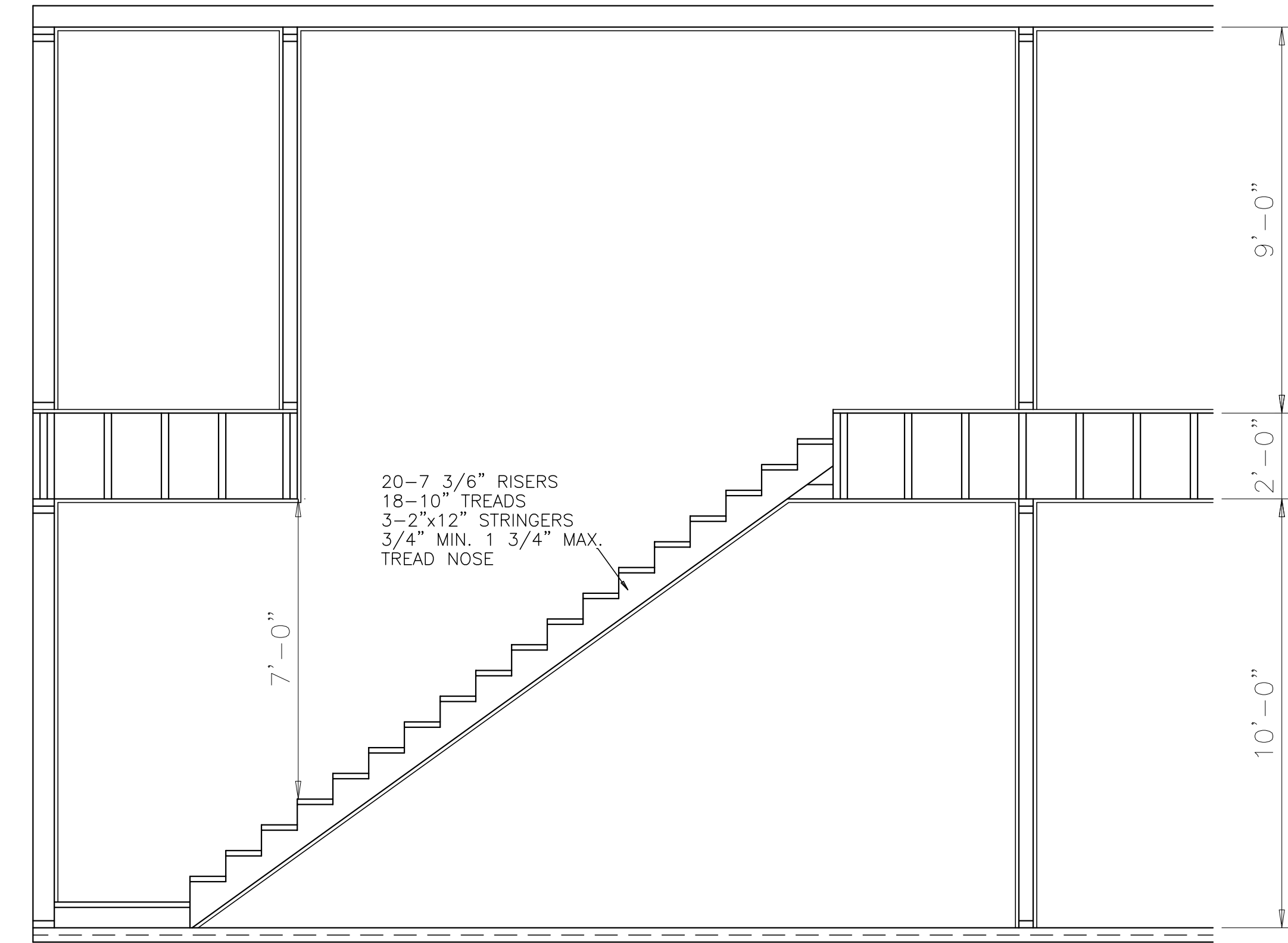
Today's Homes of Northwest Florida, Inc.  
DESIGNER: JAMES C. BOZEMAN  
101 S. ALCANIZ ST., PENSACOLA, FL 32502  
(850)-432-3510 FAX: 434-2375





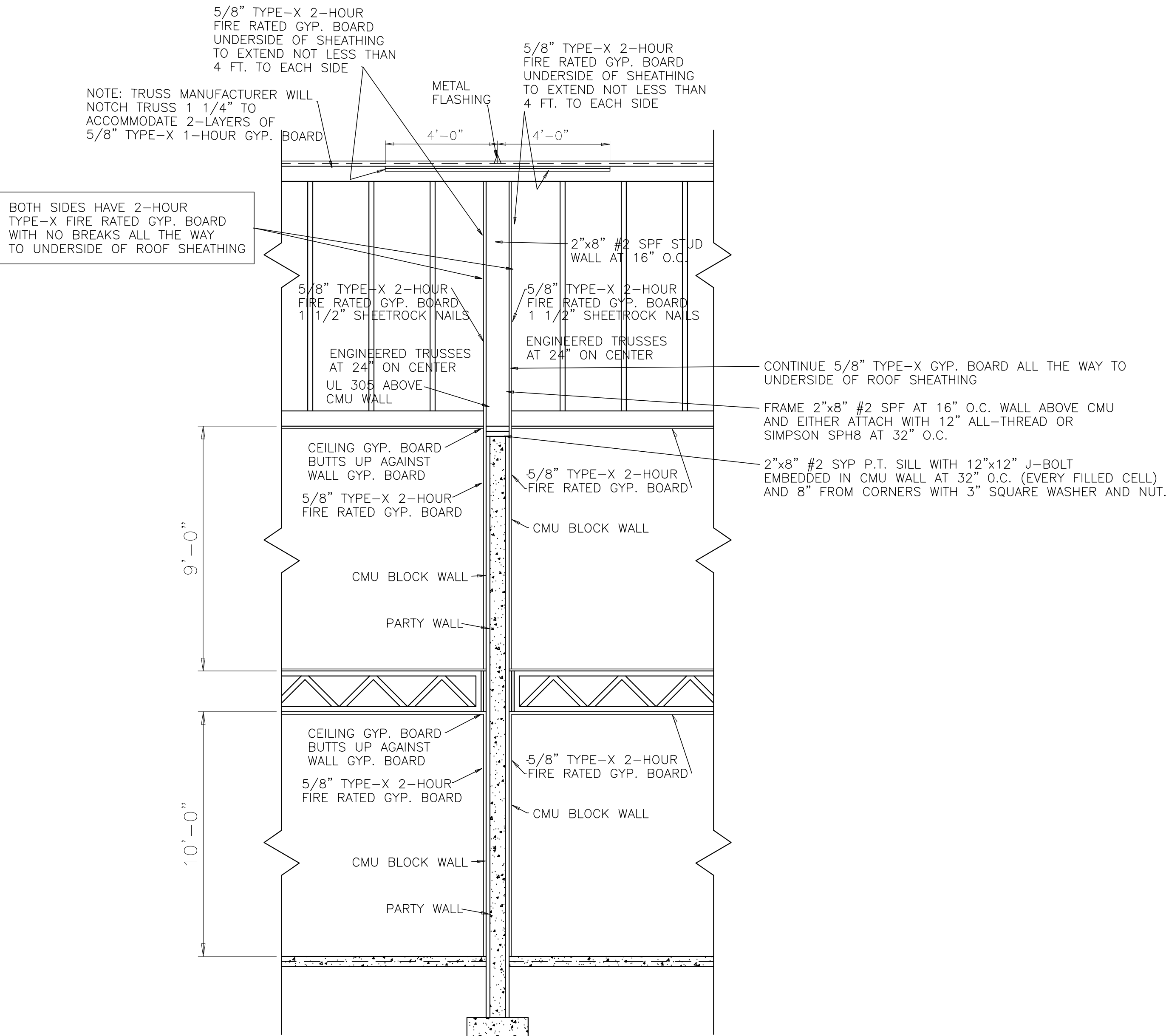
STAIR DETAIL MIDDLE UNIT

SCALE: 3/8"=1'-0"



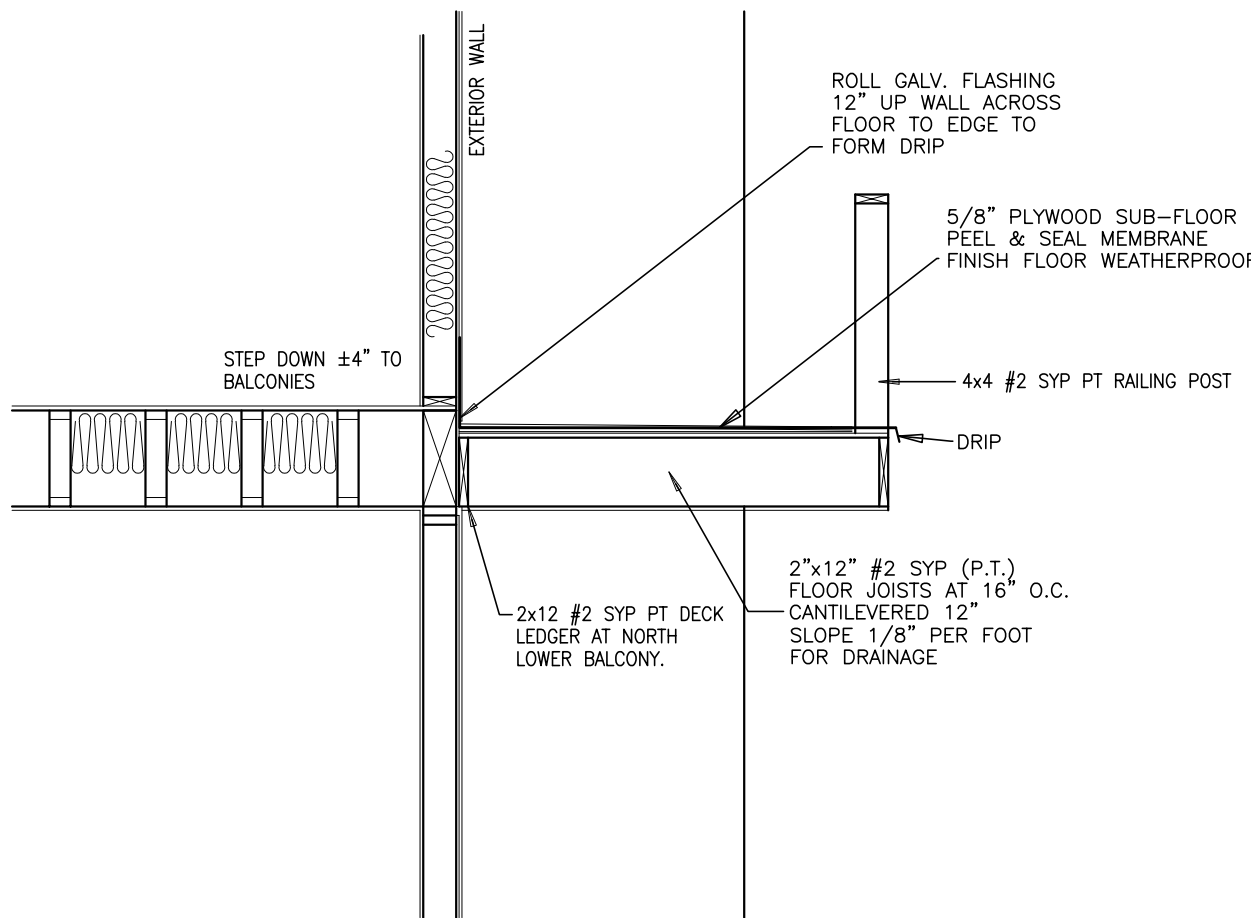
STAIR DETAIL END UNITS

SCALE: 3/8"=1'-0"



FIREWALL DETAIL

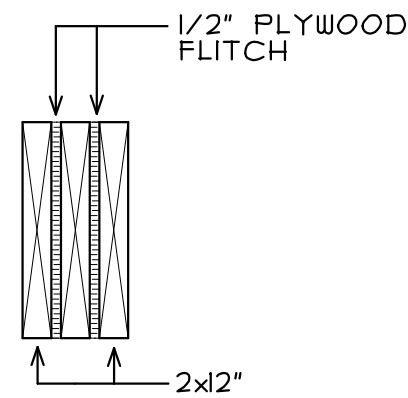
3/8"=1'-0"



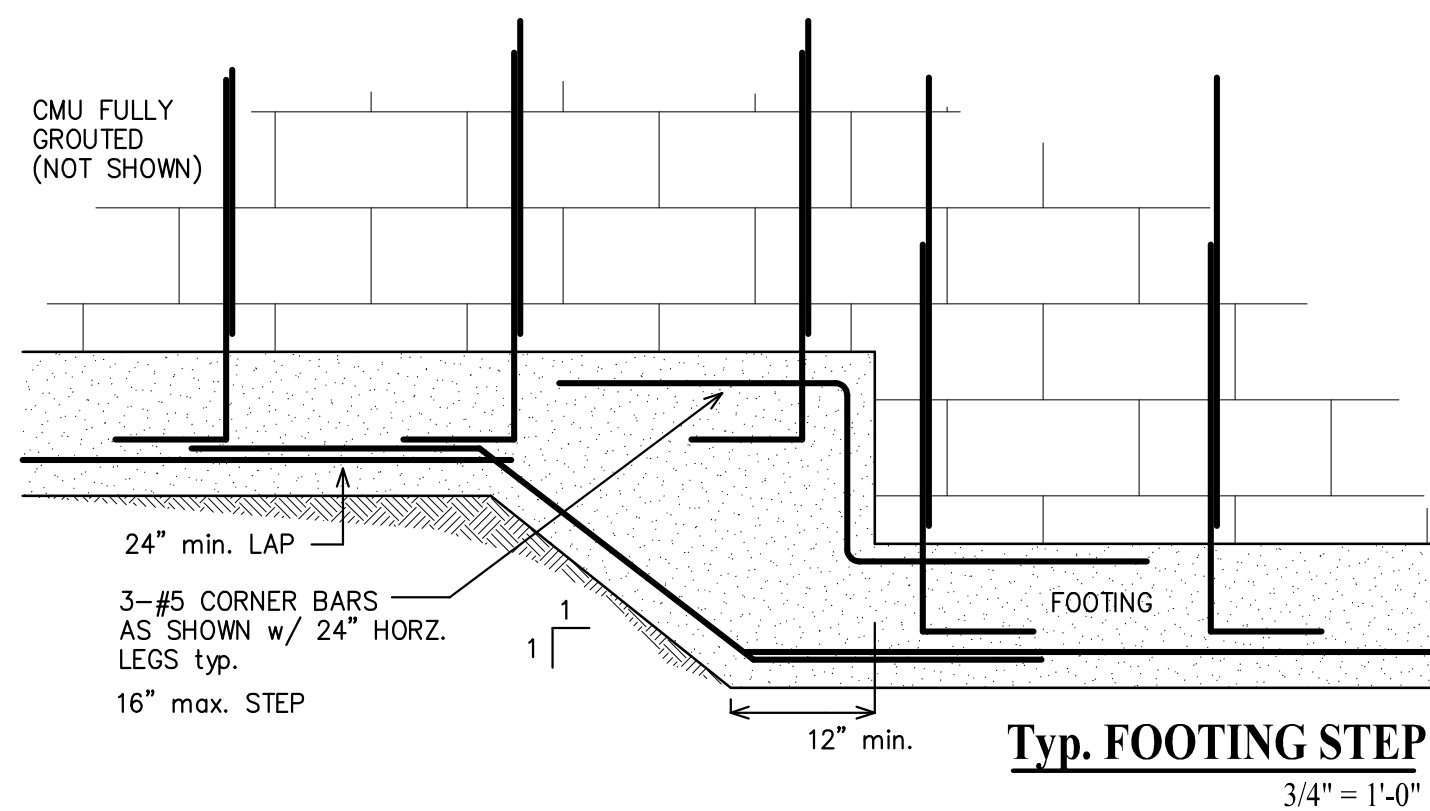
A/C BALCONY DETAIL

3/8"=1'-0"

1. CODE:  
FLORIDA BUILDING CODE, 2017  
AMERICAN CONCRETE INSTITUTE (ACI318)  
NFPA 1 / NFPA 101 AND ALL LOCAL AND STATE CODES
2. GENERAL DETAILS: AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SUBJECT TO DETAIL DESIGNER'S DESIGN CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATION AND SAFETY REQUIREMENTS.
3. DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER SHALL ISSUE ADDITIONAL INSTRUCTIONS TO ALL CONCERNED, ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CORRECTIONS SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.
4. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, AS REQUIRED FOR THE PROTECTION OF LIFE AND LIMB OF THE DESIGNER. THE CONSTRUCTION OF THIS BUILDING, EXCESS LOAD CAPACITY OF SLAB SHALL NOT EXCEED LOADS EQUIVALENT TO THE DESIGN SUPERIMPOSED LOADS LESS CONSTRUCTION DEAD AND LIVE LOADS. DESIGN SUPERIMPOSED LOADS INCLUDE LIVE LOAD, PARTITION LOAD, AND ANY OTHER LOAD NOT IN PLACE AT THE TIME OF SHORING.
5. EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION WORK, INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
6. OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
7. BACKFILL: BACKFILL AROUND THE EXTERIOR PERIMETER OF WALL SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR (7) SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL INTERIOR FLOOR (7) SYSTEMS ARE COMPLETELY IN PLACE. BACKFILL AROUND FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION OF INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.
8. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
9. WELDING: ALL WELDING SHALL BE PERFORMED BY WELDERS LICENSED FOR THE TYPE OF WELDING TO BE MADE. SEE SPECIFICATIONS FOR WELDING PROCESS TO BE USED. WELDING OF REINFORCING STEEL FOR USE IN STRUCTURAL CONCRETE OR STRUCTURAL MASONRY SHALL BE PERMITTED ONLY WHERE SPECIFICALLY DESIGNATED BY THE ARCHITECT OR WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
10. SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
11. INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS, SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN INSPECTION. ALL INSPECTIONS UNLESS SPECIFICALLY CONTRACTED FOR.
12. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT, AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE SURE THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
13. SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A REVIEW OF ALL SHOP DRAWINGS CHECKED. SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR THE PURPOSE OF REVIEWING THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, OR THAT THE CONTRACTOR SHALL SUPERSEDE THE STRUCTURAL DRAWINGS.



**TYP. WALL HEADER**  
**UNLESS NOTED OTHERWISE**



1. STRUCTURAL TIMBER EXCEPT WALL STUDS SHALL BE #2 SOUTHERN PINE (19% MAX. MOISTURE CONTENT)
2. PLYWOOD/OSB SHEATHING SHALL BE APA RATED (PPR-108)
3. EXTERIOR STUD AND SHEAR WALL TO HAVE SOLID BLOCKING AT SHEATHING JOINTS
4. CALCULATED WEAR MATERIAL SUPPLIERS MUST FURNISH ENGINEERING ENGINEERS SEALED AND REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.
5. ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURER'S STATE REGISTERED ENGINEER.
6. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS, MATERIALS AND CONDITIONS.
7. SPLICES AT MULTI-BOARD CONTINUOUS BEAMS SHALL BE ALLOWED FOR ONE BOARD ONLY PER SPAN AND ONLY AT THE QUARTER POINT OF THE SPAN, UNLESS SHOWN OTHERWISE.

1. CONCRETE PLACEMENT AND QUALITY: SPECIFIED IN PROJECT SPECIFICATIONS.
2. DEBRIS: REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.
3. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS AND COLUMNS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTH SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED EIGHT FEET, AND A SUFFICIENT NUMBER SHALL BE USED TO ENSURE THAT THE CONCRETE IS KEPT LEVEL AT ALL TIMES.
4. INSERTS: ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, ETC., ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING.
5. SPLICES: MAINTAIN MIN. LAP DISTANCE AT ALL SPLICES
6. CONSTRUCTION JOINTS: CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN, SOLIDLY EMBEDDED AGGREGATE. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF CONSTRUCTION JOINT LOCATION IN SLABS AND BEAMS.
7. TEMPERATURE AND SHRINKAGE REINFORCEMENT:        SHALL HAVE A LAP OF THIRTY (30) BAR DIAMETERS, BUT NOT LESS THAN 18 INCHES, AND THE SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN FIVE (5) FEET APART.
8. REBAR GRADES: ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:  

#3 & SMALLER BARS.....	GRADE 40
#4 & LARGER BARS.....	GRADE 60

THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS SHALL NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI (RETEST SHALL NOT EXCEED THIS VALUE BY MORE THAN AN ADDITIONAL 3,000 PSI) AND THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL TENSILE YIELD STRENGTH IS NOT LESS THAN 1.25
9. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO ASTM A615 AND A185.
10. WELDING: TACK WELDING OF REBAR IS NOT PERMITTED UNLESS CALLED FOR OR APPROVED BY THE ENGINEER. WELDING OF STIRRUPS, TIES, INSERTS OR OTHER SIMILAR ELEMENTS TO LONGITUDINAL REINFORCING BARS SHALL NOT BE PERMITTED.
11. REBAR COVER: MINIMUM REBAR COVER FOR PRESTRESSED CONCRETE SHALL AS BE SHOWN IN THIS TABLE:

EXPOSURE CONDITION	MINIMUM COVER	TOLERANCE (-)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"	3/8 INCH
EXPOSED TO EARTH OR WEATHER: NO. 5 AND SMALLER BARS	3"	1/4 INCH
SLABS ON GRADE	2"	1/4 INCH

12. TOLERANCES FOR REBAR PLACEMENT: TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS TWO (2) INCHES, EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE 1/2 INCH.

13. CONCRETE QUALITY: SHALL BE AS SHOWN IN TABLE BELOW:

CONCRETE USE	STRENGTH AT 28 DAYS	SUMP	AIR	AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	3000	6"	-	1 1/2"	HARDROCK
GRADE SLAB	3000	4"	-	1"	HARDROCK

14. CONCRETE WEIGHT: ALL CONCRETE SHALL BE OF REGULAR WEIGHT OF 145 POUNDS PER CUBIC FOOT UNLESS NOTED OTHERWISE.
15. AGGREGATE: SIZE OF AGGREGATE SHALL CONFORM TO ASTM C33-85.  

3/4".....ASTM SIZE C67  
1".....ASTM SIZE C57
16. CEMENT: SHALL BE TYPE II.
17. CONCRETE AGE: NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY.
18. WET SET: REINFORCEMENT MAY NOT BE WET SET IN CONCRETE POURS.
19. ROUGHENED SURFACES: WHERE INDICATED ON THE DRAWINGS, ROUGHENED SURFACES SHALL BE PROVIDED BY MEANS OF HEAVY RAKING OR GROOVING. OTHER METHODS MAY BE ACCEPTABLE PENDING WRITTEN APPROVAL FROM THE ENGINEER. ALL INTERFACING SURFACES MUST BE CLEAN AND FREE OF LOOSE MATERIALS.
20. ADMIXTURES: NO ADMIXTURES SHALL BE ADDED TO THE CONCRETE WITHOUT THE APPROVAL OF THE ENGINEER, UNLESS NOTED OTHERWISE.
21. CONCRETE TESTINGS: ALL TESTINGS SHALL BE PERFORMED BY INDEPENDENT LABORATORY.  
TESTING PER:  

a. ASTM C143  
b. ASTM C39 1 TEST CYLINDER PER 50 CUBIC YARDS (OR FRACTION THERE OF) AGED ONE DAY, REQUIRED CYLINDER(s) QUANTITIES AND TEST AGE AS FOLLOWS:  
1 AT 3 DAYS  
1 AT 7 DAYS  
1 AT 28 DAYS  
ONE ADDITIONAL RESERVE CYLINDER TO BE TESTED UNDER DIRECTION OF THE ENGINEER. IF 28 DAY STRENGTH IS ACHIEVED, THE ADDITIONAL CYLINDER(S) MAY BE DISCARDED.

LOCATION:	LOADING: PSF	
	LIVE LOAD	DEAD LOAD
ROOF		
TOP CHORD	20	15
BOTTOM CHORD	5	10
FLOOR	40	15

DIRECTIONAL PROCEDURE FOR ASCE 7-10

DESIGNED FOR: 155 MPH (ULT.), 116 MPH ALLOWABLE STRESS DESIGN	
TERRAIN EXPOSURE CATEGORY: B	
GUST EFFECT FACTOR: 0.85	<u>DEAD AND LIVE LOAD:</u>
INTERNAL PRESSURE: +/- 0.18	ROOF LIVE LOAD: 20 PSF
RISK (OCCUPANCY) CATEGORY: II	ROOF DEAD LOAD: 15 PSF
	CEILING DEAD LOAD: 5 PSF

WALL PRESSURE FOR COMPONENTS AND CLADDING:			
Vasd (ULT) mph	AREA (sqft)	INTERIOR (ZONE 4)	END (ZONE 5)
120 (155)	up to 50	26.0/-28.2	26.0/-34.8
	51 to 130	23.2/-25.5	23.2/-29.3

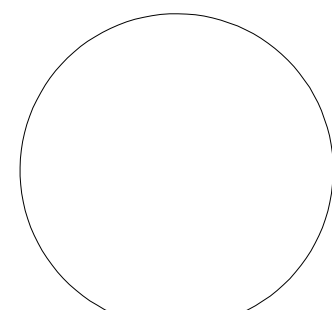
USE WIND SPEED REQUIRED BY DESIGN CRITERIA LISTED ABOVE  
FOR EXPOSURE B  
END ZONE= WITHIN 4FT OF MAIN BUILDING CORNERS

TRUSS MANUFACTURE SHALL MEET OR EXCEED THE REQUIREMENTS FOR WIND/GRAVITY DESIGN AS LISTED INCLUDING REQUIRED WIND SPEED, TERRAIN EXPOSURE CATEGORY, INTERNAL PRESSURE, BUILDING CATEGORY AND IMPORTANCE FACTOR.

1. FOUNDATION DESIGN BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF IN CLEAN SANDY SOILS.
2. CONTRACTOR SHALL VERIFY ALL ASSUMED CONDITIONS WITH A GEOTECHNICAL SOILS EXPLORATION AND REPORT. PROVIDE REPORT TO ENGINEER OF RECORD PRIOR TO INITIATION OF WORK. FOUNDATION MODIFICATION MAY BE REQUIRED UPON REVIEW OF GEOTECHNICAL REPORT.



Pensacola, FL



FL P.E. # 56873

Lane and Hatcher Engineers, LLC

CERT. OF AUTH. 9481

5125 OAK GLEN DRIVE

Pace, FL

850-393-0937

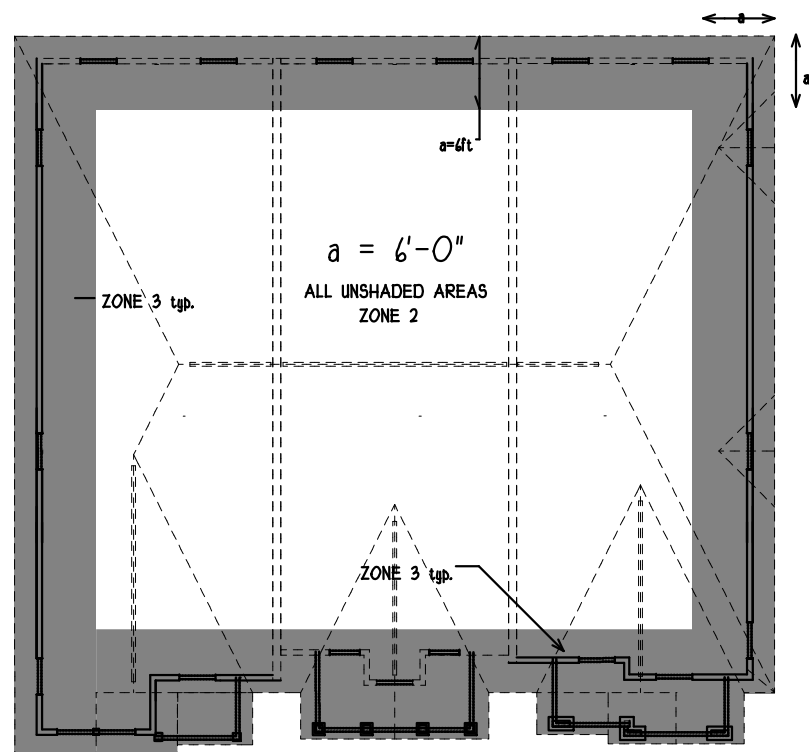
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01-06-20	2001
Scale: As Noted	
REVISIONS:	

S1 OF

6 SHEETS

ALL EXTERIOR WALL AND INTERIOR SHEAR WALLS	7/16" APA RATED SHEATHING W/ 8D NAILS AT 3" O.C. EDGE AND 12" O.C. INTERIOR SPACING
ROOF SHEATHING:	5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING
FLOOR SHEATHING:	3/4" APA RATED SHEATHING W/ 10D RING SHANK NAILS AT 4" O.C. EDGE 8" o.c. INTERIOR SPACING (GLUE & NAIL)
PORCH SHEATHING:	5/8" APA RATED SHEATHING W/ 8D RING SHANK NAILS AT 4" O.C. EDGE 6" o.c. INTERIOR SPACING

ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.



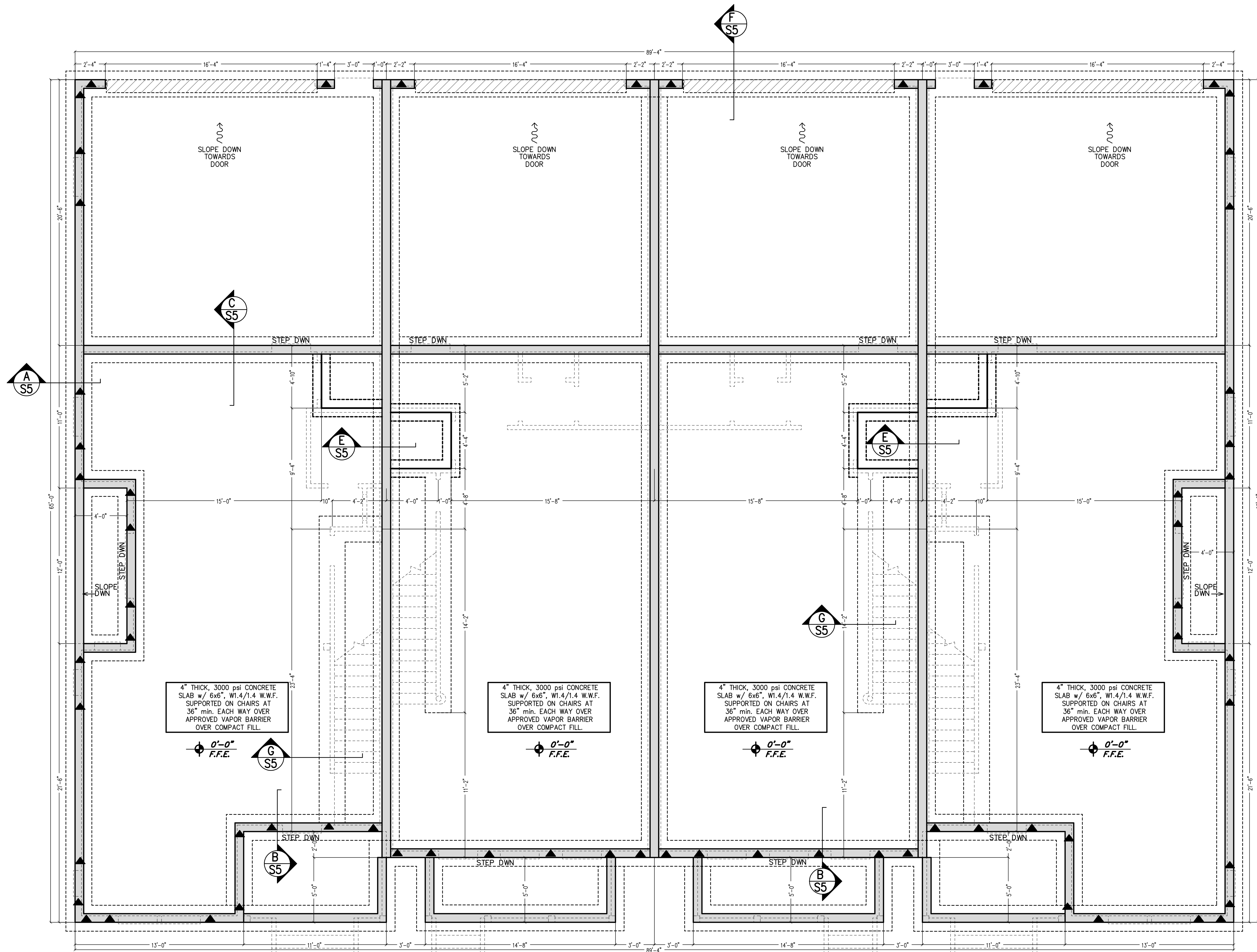
**ROOF PRESSURE ZONES**

MINIMUM UNIFORM WIND PRESSURE FOR ROOF CLADDING:		
	COMPONENT AREA (sq.)	PRESSURE REQUIREMENT (psf)
OVERHANG	WITHIN ZONE 2	-45.2
	WITHIN ZONE 3	-18.0
ZONE 3, ZONE 2		
	10	-38.7
	50	-31.5
ZONE 3, ZONE 1	10	-51.2
	50	-48.6

USE COMPONENT AREA OF 10 SQ FT FOR  
ROOFING SYSTEM

COMPONENT AND CLADDING PRESSURE REQUIREMENTS (FOR ROOFS):





FOUNDATION PLAN  
1/4" = 1'-0"

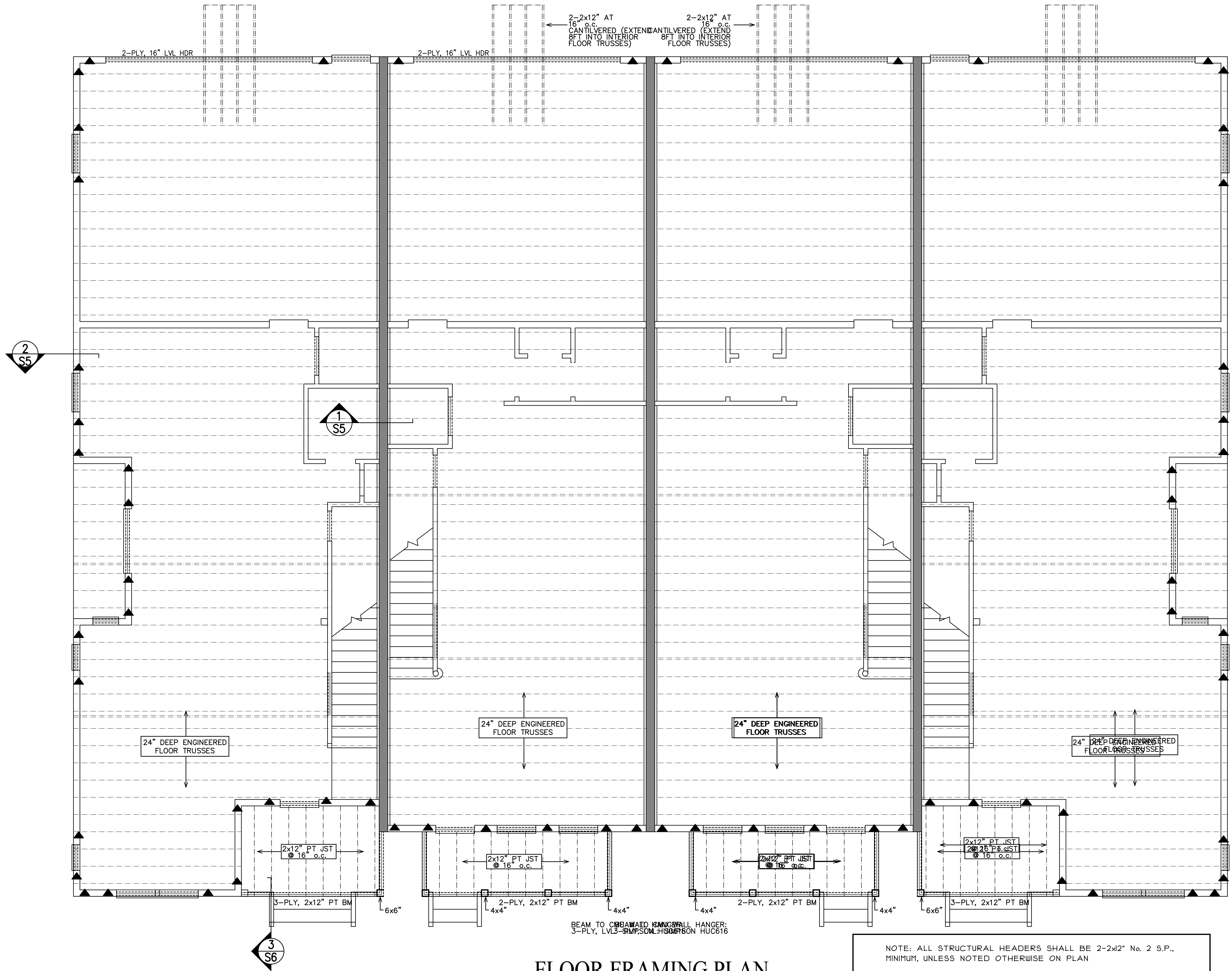
SAW CUT CONTROL JOINTS:  
INTERIOR SLAB: 20'-0" o.c. EACH WAY  
PLACE KEYED CONSTRUCTION JOINT  
AS NEEDED

VERIFY TRUSS MANF. FINAL DESIGN FOR ALL  
REQUIRED INTERIOR LOAD BEARING FOOTINGS.  
SUBMIT DESIGN TO ENG. OF RECORD FOR  
REVIEW PRIOR TO INITIATION OF WORK

WALL ANCHORS: (SEE DETAILS)

- ▲ : 5/8 x 12" L-BOLTS w/ 1" MIN. EMBEDMENT  
COUPLED TO 5/8" A 3/4 THREADED ROD  
EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED  
w/ 3" x 3" x 1/4" WASHER AND NUT.
- ALL LOAD BEARING AND SHEAR WALLS:  
5/8 x 12" L-BOLT w/ 2" WASHER REQUIRED AT WITHIN 8" EACH  
SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32" O.C.

Drawn by: ACH	Chk by: ACH
01-06-20	2001
Scale: As Noted	
REVISIONS:	

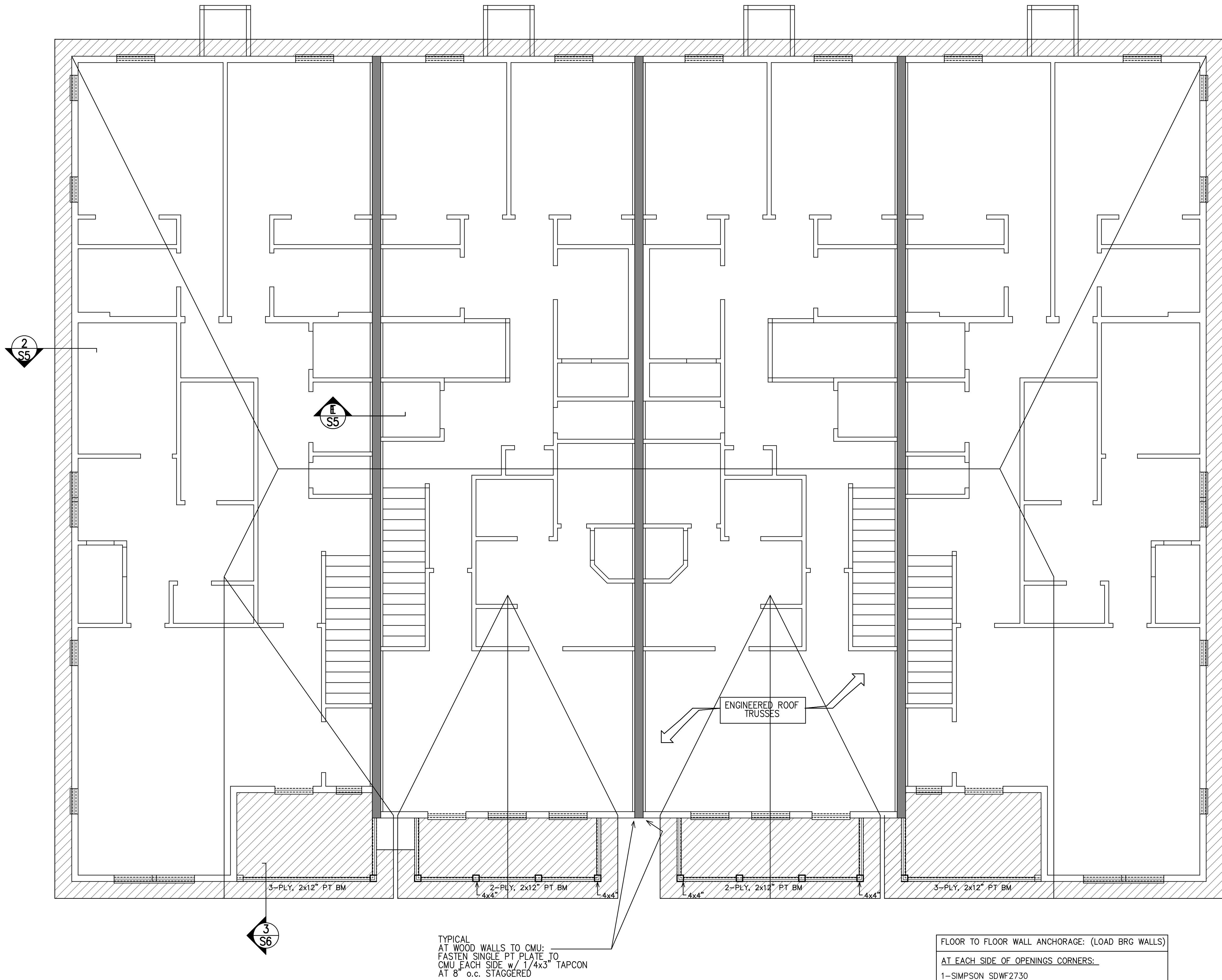


FLOOR FRAMING PLAN  
1/4" = 1'-0"

NOTE: ALL STRUCTURAL HEADERS SHALL BE 2-2x12 No. 2 S.P., MINIMUM, UNLESS NOTED OTHERWISE ON PLAN

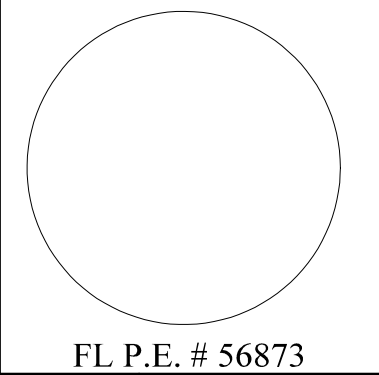
- WALL ANCHORS: (SEE DETAILS)**
- ▲ : 5/8 x 12" L-BOLTS W/ 1" MIN. EMBEDMENT COUPLED TO 5/8" A 36 THREADED ROD EXTENDED THROUGH 1st FL TOP PLATE AND TERMINATED W/ 3" x 3" x 1/4" WASHER AND NUT.
  - ALL LOAD BEARING AND SHEAR WALLS:  
5/8 x 12" L-BOLT W/ 2" WASHER REQUIRED AT WITHIN 8" EACH SIDE OF ALL WALL OPENINGS, CORNERS AND AT 32" O.C.





**ROOF/ANCHORAGE PLAN**  
1/4" = 1'-0"

FLOOR TO FLOOR WALL ANCHORAGE: (LOAD BRG WALLS)  
AT EACH SIDE OF OPENINGS CORNERS:  
1-SIMPSON SDWF2730  
  
BETWEEN ABOVE SPECIFIED LOCATIONS:  
1-SIMPSON CS16 COILED STRAP REQUIRED AT 48" O.C.



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