



# ESCAMBIA COUNTY TINY HOUSES

ARCHITECT: HUFFMAN ASSOCIATES / STUDIO FOR ARCHITECTURE LLC.

UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.

ESCAMBIA COUNTY, FLORIDA



Craig Huffman  
Digitally signed by Craig Huffman  
 Date: 2020.07.10 19:19:35  
 +0400

100% CONSTRUCTION DOCUMENTS /  
 PERMIT SET

07-10-2020



## PROJECT INFORMATION

TINY HOUSE ACCESSORY BUILDING  
LOCATION - PENSACOLA, FLORIDA, ESCAMBIA COUNTY

### NEW CONSTRUCTION -

UNIT 2A - 1 FLOOR RESIDENCE (GABLE ROOF PORCH)

TOTAL HTD/COOLED 336 G.S.F.  
COVERED OUTDOOR DECK 120 G.S.F.

### APPLICABLE CODES:

FLORIDA BUILDING CODE - RESIDENTIAL 2017, 6TH ED.

### OCCUPANCY / GROUP CLASSIFICATION:

PER FBC, SECTION 311: RESIDENTIAL

### TYPE OF BUILDING CONSTRUCTION:

PER CHAPTER 6, SECTION 601, TABLE 601 BUILDINGS ARE TYPE VB: 0 HOUR RATED  
NON-SPRINKLED  
PER CHAPTER 6, SECTION 602, TABLE 602 FIRE-RESISTANCE  
RATING REQUIREMENTS BASED ON FIRE SEPARATION  
DISTANCE >30 FEET = 0 HOUR RATED

### MATERIAL RATINGS AND FLAME SPREAD:

ALL FINISHES TO BE PER FBC 803.3 - CLASS C IN ALL AREAS

### WIND LOAD & STRUCTURAL DESIGN CRITERIA: 141 M.P.H. PER FIG. 1609

REFER TO WIND ANALYSIS FOR ADDITIONAL STRUCTURAL DESIGN CRITERIA

## GENERAL NOTES AND QUALITY STANDARDS:

- 1) ALL WORK IS TO BE IN STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS AND CODES WHICH APPLY TO THIS PROJECT, AND TO GENERALLY ACCEPTED CONSTRUCTION TRADE PRACTICES.
- 2) ALL WORK IS TO COMPLY WITH ANY APPLICABLE COVENANTS, RESTRICTIONS, AND REQUIRED CONSTRUCTION PROCEDURES REQUIRED BY ZONING, PLD & ENVIRONMENTAL PERMIT REQUIREMENTS.
- 3) ALL DIMENSIONS, SITE CONDITIONS, AND INSTALLATION SHALL BE FIELD VERIFIED WHEN PREPARING BIDS AND PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCIES OR CONFLICTS BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- 4) ALL WORK IS TO BE CONSISTENT WITH THE CONTRACT DOCUMENTS. ANY PROPOSED CHANGES OR SUBSTITUTIONS TO THE LAYOUT, ASSEMBLY, OR MATERIALS MUST BE SUBMITTED IN WRITING TO THE ARCHITECT AND APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING.
- 5) THE ARCHITECTURAL & STRUCTURAL DRAWINGS ARE COORDINATED IN RELATION TO THIS PROJECT & ALL OF THE REQUIREMENTS IN THESE DRAWINGS APPLY TO THE WORK, IF THERE IS A CONFLICT - THE MORE STRINGENT REQUIREMENT IS REQUIRED. SUBMIT CONFLICTS & DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- 6) DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- 7) THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.

## SHOP DRAWING & SUBMITTAL REQUIREMENTS:

- 1) THE GENERAL CONTRACTOR SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTIBLE.
- 2) ON FIRST SUBMITTAL CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS, ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL. ONLY CLOUDED ITEMS WILL BE REVIEWED.

## FLORIDA PRODUCT APPROVAL NOTICE:

\*CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL COMPONENTS REQUIRING PRODUCT APPROVAL PER FS.553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS.

## DRAWING LIST

|      |   |
|------|---|
| A01  | DATA SHEET                                    |
| A02  | SPECIFICATIONS                                |
| A03  | SITE PLAN                                     |
| A1   | UNIT 2A - FLOOR PLANS                         |
| A1.1 | UNIT 2A - FOUNDATION, FRAMING & ROOF PLANS    |
| A2   | UNIT 2A - ELEVATIONS                          |
| A3   | UNIT 2A - BUILDING SECTIONS                   |
| A4   | UNIT 2A - WALL SECTIONS                       |
| A4.1 | UNIT 2A - SECTIONS & DETAILS                  |
| A4.2 | UNIT 2A - ALTERNATE FOUNDATION & PIER DETAILS |
| A5.0 | UNIT 2A - BED PLATFORM DETAILS                |
| MEP1 | UNIT 2A - MECH. ELECT. & PLUMBING PLANS       |

ALSO REFER TO 8.5X11 SIGNED & SEALED DRAWINGS & WIND LOAD ANALYSIS BY STRUCTURAL ENG. IN SEPARATE ATTACHMENT

## LOCATION MAP

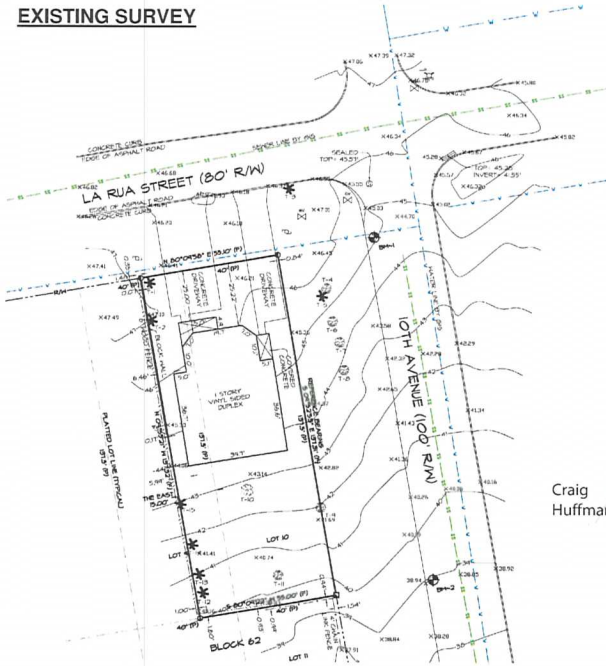
923 E. LA RUA ST., PENSACOLA, FLORIDA



PROJECT  
LOCATION



## EXISTING SURVEY



Craig  
Huffman

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by Craig  
Huffman  
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19:20:08 -04:00



DATA SHEET

A01

ESCAMBIA COUNTY TINY HOUSES  
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.  
ESCAMBIA COUNTY, FLORIDA

Date: 07-10-2020  
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Drawn by: DB  
Checked by: CH  
REVISIONS

19:20:08 -04:00

DATA SHEET

A01



ESCAMBIA COUNTY TINY HOUSES  
UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.  
ESCAMBIA COUNTY, FLORIDA

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Drawn by: DB  
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19:20:08 -04:00

DATA SHEET

A01



SPECIFICATIONS

Gable Cottage Series: Unit 2A

These Specifications describe the proposed finishes, construction systems and products that are required for this project.

1.) General Requirements

1.1 Alternates: NA

The base bid includes wood frame stud construction. Refer to wood stud wall sections in standard detail sheet.

1.2 Submittals: Submit Shop Drawing Submittals for windows & doors, metal roof, cabinets, ceramic tile, LVT floor, HVAC system, plumbing fixture valves & fittings, light fixtures.

1.3 Standards & Definitions: refer to drawings

1.4 Construction Facilities: as required

1.5 Substitutions: *Cost reduction alternate assemblies & products may be submitted for Architect & Owner review & approval.*

1.6 Warranties: Standard contractor and manufacturer's warranties will apply.

2.) Site Work

2.1 Site Clearing: For general layout and location of proposed structures. Only remove trees that have been approved for removal (marked on the site.)

2.2 Excavation, Filing, & Compaction: Compaction to be 98% proctor. Refer to drawings for finish floor & grade elevation relationships. (2) Geotechnical site borings to a 10' depth are recommended for each house.

2.3 Termite Control: Provide standard termite treatment that meets all environmental laws & standards.

2.4 Landscape: Provide a \$500 Landscape allowance per house.

3.) Concrete

3.1 Concrete Materials

- Design mix to provide concrete with the following properties:  
3000 psi at 28 compressive strength & W/C ratio of 0.46 maximum (air entrained)
- Slump Limits: slabs – not more than 4" reinforced concrete foundations: not less than 1" & not more than 3" refer to ASTM C 94 for mixing req. in various weather conditions

3.2 Reinforcing Materials

- Reinforcing bars: ASTM 615, Grade 60 deformed
- Steel wire: ASTM A 82 plain cold drawn steel

4.) Masonry

- Provide normal weight 1900 psi concrete masonry units in shapes, profiles & dimensions as shown on drawings.
- Reinforcing bars: billet steel per ASTM 615
- Joint reinforcement: ladder design with perpendicular cross rods spaced at 16" o.c. max.

5.) Metals

- Misc. plates and fasteners to be compatible with chemicals in pressure treated wood
- Provide Simpson fasteners, bolts & washers for connection & tie down systems as required by wind load requirements & as indicated on the Architectural & Structural drawings.

6.) Wood

- Dimensional lumber: Standard grade with 19% maximum moisture content (for untreated).
- Wall & Roof Sheathing: APA rated structural #1 exterior
- Provide pressure treated wood & plywood within 18" of grade and at all locations in contact with concrete or masonry and at all exterior locations unless noted otherwise.
- Provide kiln dried P.T. for exterior columns & trim that are not cement fiber.
- Provide SIPS panels in sizes & profiles shown as Alternate framing system. (if project has SIPS framing)
- Porch Columns: 6 x 6's or 8 x 8's KDAT pre manufactured hollow structural.
- Exterior trim: primed 1/2" & 5/4" hardboard trim by Hardie Board or equal.
- Exterior siding: cement fiber lap siding, smooth panels & panels with 1/2" x 1 1/2" or 3/4" 2 & 1/2" battens
- Soffits: 5/16" cementitious panels with 1x cem. fiber trim.
- Interior standing & running trim: paint grade w/ square edge profile.
- All exposed rafter tails and outlookers to be P.T. material.

7.) Thermal & Moisture Protection

- Insulation: R – 19 batt insulation in 1st floor joists, with plastic mesh support. Install batt insulation in bathroom & bedroom partitions (for sound attenuation)
- Install R-11 batt insulation in walls & open cell spray foam insulation "R-22 minimum in roof. If R-30 is required by energy code - provide 6" of rigid insul. in roof joist cavity.
- Perimeter wall and roof insulation is provided by SIPS panels – If alternate framing system is used.
- Provide Ice & Water & Shield roof membrane on roof sheathing or SIPS panels below metal roof.
- Roof: Provide corrugated galvalume 26 ga. metal roof over plywood deck with neoprene washers & exposed fasteners. Fasteners are 24" o.c. max. each way.
- Provide 24 ga. corrugated mtl. roof over porch with exposed framing & purlins.
- Provide galvanized sheet metal flashing
- Provide elastomeric joint sealers at all appropriate exterior locations.
- If gutters are used: 1/2 round 5" dia. galvalume gutters w/ 2 & 1/2" dia. downsouts (refer to drawings)
- Provide silicone sealant for exterior caulking & joint sealer
- Exterior siding: cement fiber panels & lap siding as shown on drawings
- Exterior paint: acrylic latex mildew resistant exterior grade paint
- Interior paint: latex (satin sheen) on gypsum board or OSB & semi gloss on wood trim

8.) Doors & Windows

Refer to drawings for door & window types and locations.

- Provide exterior fiberglass doors manu. by Jeld wen or Neuma OR approved equa.
- Entry door to have 1/4 lite design with integral blinds and tempered glass. Door to be painted per Architect's color selection. Provide shop drawings from door manufacturer.
- Door Hardware: Coppercreek Egg Knob E Series passage in Tuscany Bronze finish, Deadbolt Lock: Kwik-set 9-10 2 Wave in Venetian Bronze or approved equal. Provide electric lock & keypad @ front door.
- Provide Andersen 100 series windows OR approved equa. Andersen windows include single hung, casement & awning types.
- All windows are to have insulated low e glass. Window colors to be selected from 100 series standard colors. Provide shop drawings from window manufacturer.
- Interior doors: MDF w/ square "slat" style doors, painted. 6'-8" height – 2 panel .
- Door Hardware: Egg shape oil rubbed 10B bronze

9.) Finishes

- Bathroom floor: 6" x 24" ceramic floor tile by Montagna by Marrazi.
- Kitchen Backsplash: Ceramic tile backsplash in kitchen between counter and cabinets.
  - Mosaic art - optic 1" x 3" brick in color selected by Architect.
- Ceiling Cladding: 1/2" densglass, painted
- Floors in living, dining, kitchen, sleeping area: LVT "wood plank" appearance - Armstrong "better" or equal.
- Interior wall & ceiling finish: 1/2" densglass, painted.
- Alternate interior wall & ceiling finish: OSB (from SIPS panels) with paint finish & 1/4" x 1 1/2" batten trim at joints.
- Bathroom walls at interior partitions: 1/2" water resistant green board with epoxy paint.

10.) Specialties

- Bathroom accessories:
  - Mirror: Gatco Designer 2, 19.5" x 26.5" H oval tilting frameless mirror with chrome hardware & beveled edges
  - Towel bar & toilet paper dispenser: polished chrome \$50 allowance

11.) Equipment

- Appliances (shown in the plans):

2 burner cooktop: GE Electric Cooktop (Stainless Steel) (Common: 21-in; Actual 21.25-in) Model #: JP201CBSS  
Refrigerator: Frigidaire 14.6 - cu ft Top Freezer Refrigerator (Stainless Steel) ENERGY STAR Model #: FFHT1514QS

12.) Furnishings / Millwork

- Pre manuf. standard cabinets in profiles & dimensions shown on the plans. --- Provide 1/4" birch veneer plywood kitchen cabinets - Finish to be selected by Architect.
- Provide plastic laminate countertops in kitchen & storage loft desk - Color to be selected by Architect.
- Cabinet hardware: - To be selected by Architect
- Provide cabinet shop drawings prior to fabrication.
- Painted wood (poplar, pine or fir paint grade) built in shelves & millwork

13.) Special Construction N/A

14.) Conveying Systems N/A

15.) Mechanical & Plumbing

Mitsubishi mini-split system

*Cost reduction substitutions & products may be submitted for the Architect's & Owner's review & approval. Proposed plumbing fixture substitutions must be consistent with the locations, aesthetics and general performance characteristics of the fixtures that are specified below*

- Plumbing fixtures:  
Kitchen sink: Moen 2200 Series 22-in x 25-in Single-Basin Stainless Steel Drop-In 4-hole Residential Kitchen Sink Model #: G221984

Kit. Faucet: Peerless Chrome 2-Handle High-Arc Kitchen Faucet with Side Spray Model #: P299578LF

Bathroom toilet: American Standard Mainstream Waterwarden White 1.28 GPF, 12" rough in WaterSense elongated 2 piece toilet

Bathroom lavatory: AquaSource White Drop in Round sink – model # AL 2191-00  
Valves: AquaSource Kirkmont Chrome 2 handle 4 in Centerset WaterSense faucet, Model # 67297 - 6101

Shower: DELTA White Acrylic One-Piece Shower with Integrated Seat (Common 36-in x 48-in; Actual: 76-in x 35.875-in x 47.875-in) Model #: 214836AC00

16.) Electrical & Lighting

- 100 amp panel with all work per Florida Residential Building Code
- Electrical contractor to verify to load prior to installing panel.

*Cost reduction substitutions & products may be submitted for the Architect's & Owner's review & approval. Proposed light fixture substitutions must be consistent with the locations, aesthetics and general performance characteristics of the fixtures that are specified below*

- Light fixtures: Refer to drawings for types & locations.  
Surface mount ceiling fixtures: "Hammer" 9" dia. by Restoration Hardware (or approved substitution) in polished chrome finish in bathroom.

Kitchen sconce fixture: "Vintage Barn" 9" by Restoration Hardware (or approved substitution) in weathered zinc finish, Rough in 8" – 4" AFF at center line of sink.

Bathroom sconce fixture: "Cloche Sconce" 9" by Restoration Hardware (or approved substitution) in polished chrome finish.

Living room fan - light: 44" dia. Concept Drop Down by Restoration Hardware (or approved substitution) in bronze finish, Unit 2A bottom of fan: 9' - 0" AFF.

Wall Sconces: "Wit Adjustable Sconce" by Restoration Hardware (or approved substitution) in bronze finish.

Exterior porch light: "Starboard Sconce" by Restoration Hardware (or approved substitution) in weathered zinc finish, Rough in at 7' – 6" AFF.

Recessed can lights: Shallow 5" max, depth 4" diameter with white trim. Use warm spectrum 2700k LED lamps. Recessed lights are used with wood frame only. If SIPS panels are used – fixtures are surface mount only.

Craig Huffman

Digitally signed by  
Craig Huffman  
Date: 2020.07.10  
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drawn by: DB  
checked by: CH  
REVISIONS



SPECIFICATIONS

A02





- **BASE BID:** 2X4 STUDS @ 16" O.C. W/ R11 BATT INSULATION AND 1/2" OSB SHEATHING AND 1/2" DENSEGLASS
- **ALTERNATE:** 4 1/2" SIPS PANEL SYSTEM

- **BASE BID:** P.T. 2X8 JOISTS @ 24" O.C. W/ OPEN CELL SPRAY FOAM INSULATION MIN. R-22 W/ 3/4" ROOF DECK AND 1/2" DENSGLASS. PROVIDE (2) 2X10 RIDGE BEAM.
- **ALTERNATE:** 6 1/2" SIPS ROOF PANEL SYSTEM

- **BASE BID (AS DRAWN):** FINISH FLOOR 2'-6" ABOVE GRADE, TOP OF PORCH DECK 2'-4" ABOVE GRADE, PORCH STEPS: (4) 7" RISERS
- **DEDUCTIVE ALTERNATE:** FINISH FLOOR 2'-0" ABOVE GRADE, TOP OF DECK 1'-10" ABOVE GRADE, PORCH STEPS: (3) 7 1/3" RISERS

- 1) 13'-0" x 6'-8" FIREGLASS DOOR WITH 3/4 LITE & INTEGRAL BLINDS - EXTERIOR - PAINTED
- 2) 12'-0" x 6'-8" SOLID CORE MDF SLIDING 2- PANEL STICK STYLE DOORS - INTERIOR - PAINTED
- 3) 12'-0" x 6'-8" SOLID CORE MDF 2- PANEL STICK STYLE POCKET DOOR - INTERIOR - PAINTED
- 4) 2'-0" x 6'-8" SOLID CORE MDF 2-PANEL STICK STYLE DOOR - PAINTED
- 5) 2'-0" x 6'-8" SOLID CORE MDF 2- PANEL STICK STYLE POCKET DOOR - INTERIOR - PAINTED

**BUILT-IN MILLWORK SHELVES**  
 3"4" PANTED @ 18" O.C.  
 VERTICAL BETWEEN 1"4" & 6"4" A.F.F. - SEE A3.1

**2X4 INTERIOR PARTITIONS**

**3/3 FIBERGLASS SHOWER**

**MOVED OUT 2X4 WALL @ SHOWER**

**2X4 INTERIOR PARTITIONS**

**DRYER VENT**

**3"4" WIDE X3"4" HIGH ALUM. BAHAMA SHUTTER**

**24 X36 AWNING WINDOW**

**MICROWAVE ABOVE IN OPEN SHELF**

**5'4"X6" P.T. DECK**

**6X6 COL.**

**UNIT 2A**  
 3'6" x 1'4"

**8'10" 0"**  
**12' 0"**  
**3' 2"**

**MINI SPLIT WALL MT. CONDENSER**

**BATHROOM**

**CLOSET**

**ROD AND SHELF**

**2"4" WIDE X 2'4" HIGH ALUM. BAHAMA SHUTTER**

**2X4 36 AWNING WINDOW**

**LOW QUEEN PLATFORM BED - SEE A5.D FOR DETAILS**

**3"6" WIDE SINGLE HUNG CEDRESS WINDOW**

**3"4" WIDE X 3'4" HIGH ALUM. BAHAMA SHUTTER**

**2' 8" X 6' 8" PKT. DOOR**

**2'1" 2" X 6' 8" DOOR**

**ELECTRIC PANEL**

**MINI-SPLIT HVAC SYSTEM @ 2' 2" A.F.F. BY Mitsubishi OR APPROVED EQUIV.**

**TV**

**15" DW.**

**2" 0" X 6' 8" PKT. DOOR**

**SHARED LIVING / DINING COOKING AREA (28 NET S.F.)**

**2 BURNER COOKTOP W EXHAUST HOOD ABOVE**

**3' 10" PORCH RAIL PER A4.1 1 1/2" DIA. 4X4 RAIL POST**

**3' 2" STEP DOWN**

**OPTIONAL 4' LONG PORCH SWING**

**6X8 BEAM OVERHEAD**

**ROOF OVERHEAD**

**6X6 COL.**

**45° MITER @ CORNER**

**FLUSH CEILING RD. ROOFING - EQUIV. ON ALL 3 SIDES, 3 1/2" MIN. WIDTH, 5 1/2" MAX.**

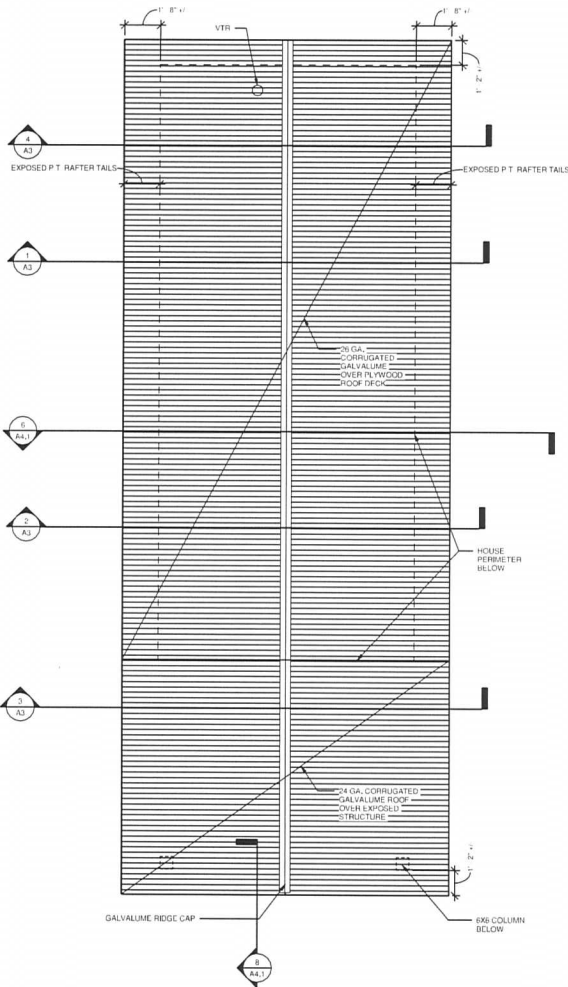
**AT GRADE (0' 0" HIG.)**

**12' 2"**  
 TO EDGE OF DECK

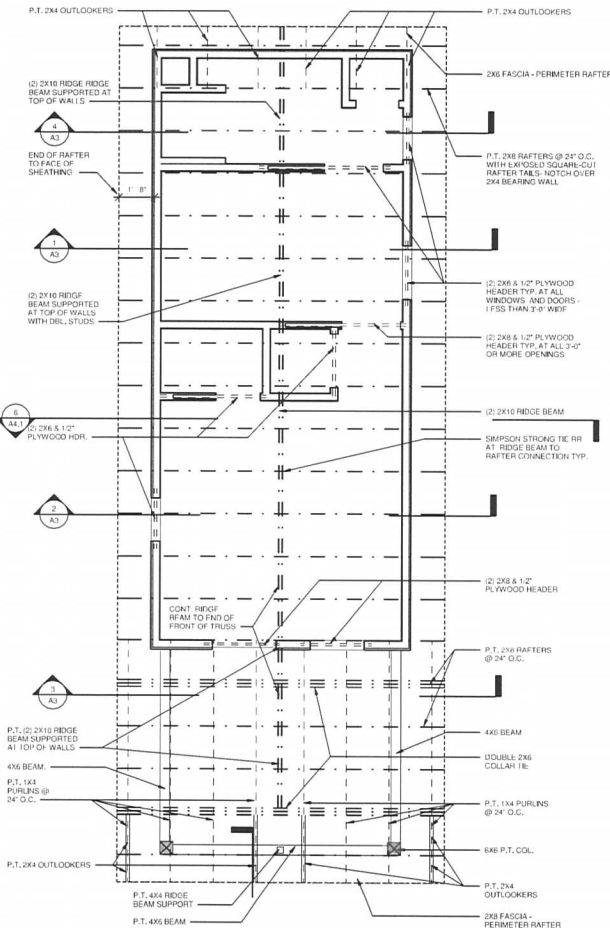
**8' A4.1**

336 G.S.F.  
DECK 120 G.S.F.  
Digitally signed by  
Craig Huffman  
Date: 2020.07.10  
19:20:59 -04'00'

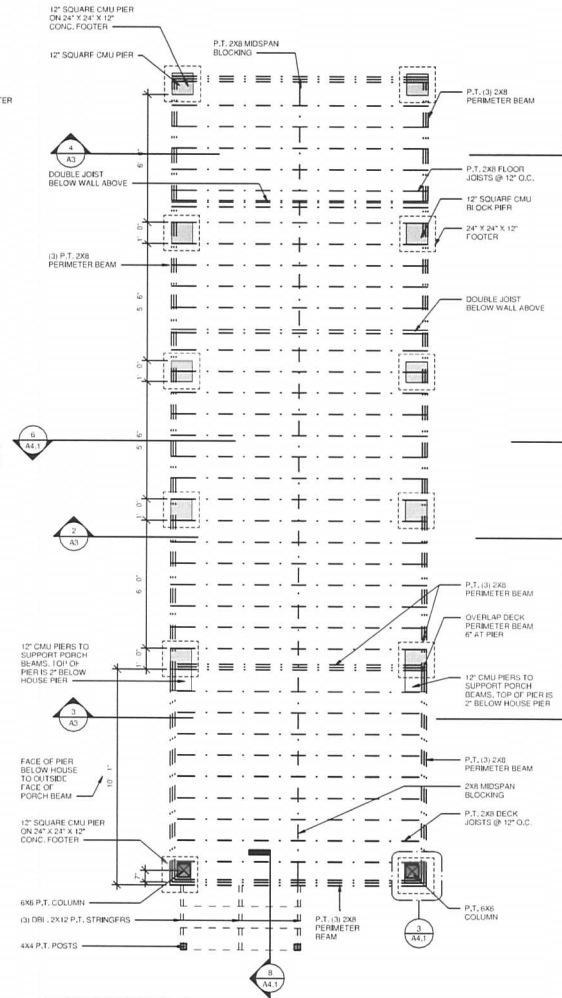
A1



5 UNIT 2A - ROOF PLAN  
3/8" = 1'-0"



2 UNIT 2A - ROOF FRAMING PLAN  
3/8" = 1'-0"



1 UNIT 2A FOUNDATION & FLOOR  
FRAMING PLAN  
3/8" = 1'-0"

ALSO REFER TO STRUCTURAL DRAWINGS & SPECS.

**GENERAL FOUNDATION NOTES:**  
THE FOOTINGS ARE PROPORTIONED FOR A BEARING CAPACITY OF 1500 PSF, AND SHOULD BE VERIFIED WITH THE SOIL TYPE AND RECOMMENDATIONS MADE BY A GEOTECHNICAL REPORT. USE 3000 PSI (MINIMUM) CONCRETE FOR ALL FOUNDATIONS AND SLABS.

NOTE:  
FOR EXPANSIVE SOIL CONDITIONS SEE CONTIGUOUS FOOTING PLAN 5 ON A1.2

NOTE:  
FOR FOUNDATION DETAILS & STAIR DECK DETAIL SEE A4 & A4.1

Craig  
Huffman

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Huffman  
Date: 2020.07.10  
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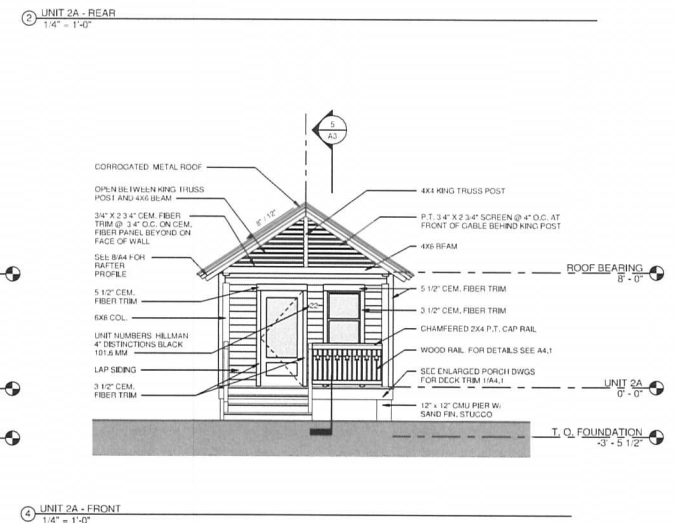
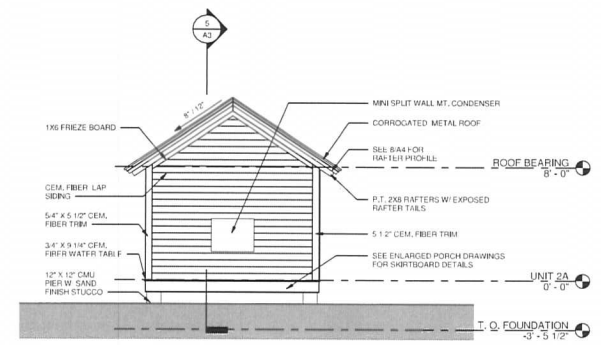
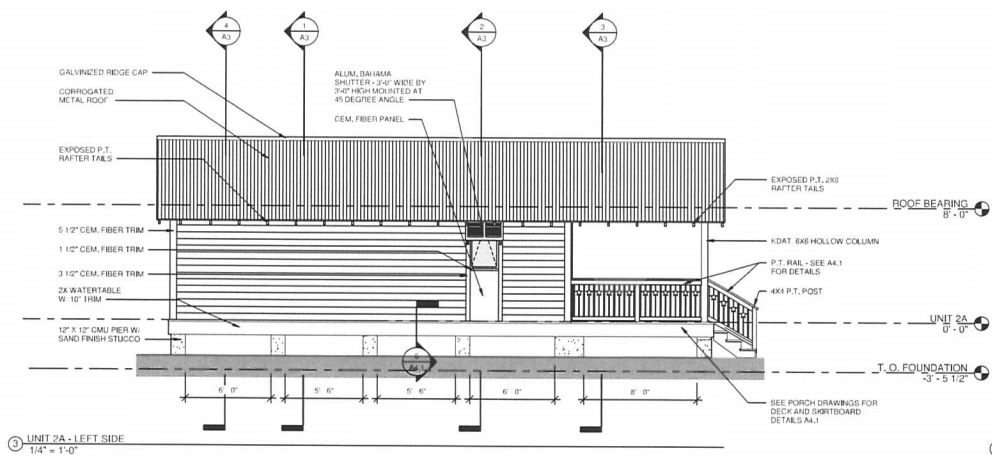
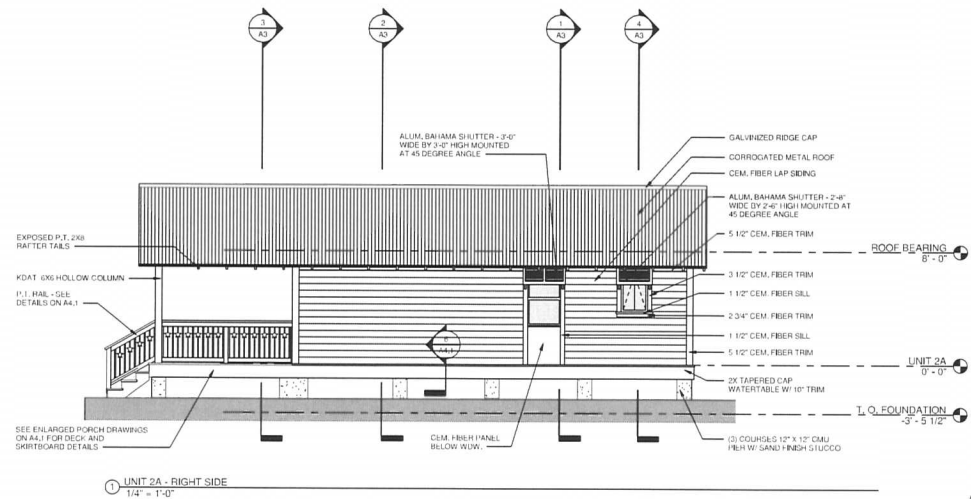
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Checked by: CDH  
Revisions:



UNIT 2A ELEVATIONS

**A2**



Craig Huffman  
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Date: 2020.07.10 19:21:25 -04'00'





UNIT 2A BUILDING SECTIONS

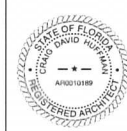
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Craig Huffman  
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19:21:36 -04'00'

A3



**ESCAMBIA COUNTY TINY HOUSES**  
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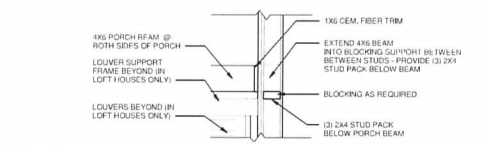
Date: 07-19-2020  
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Checked by: CDH  
REVISIONS:



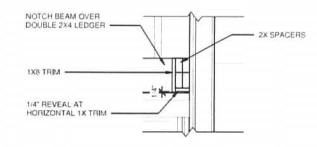
WALL SECTIONS

**A4**

Craig Huffman  
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Date: 2020.07.10 19:21:48 -0400

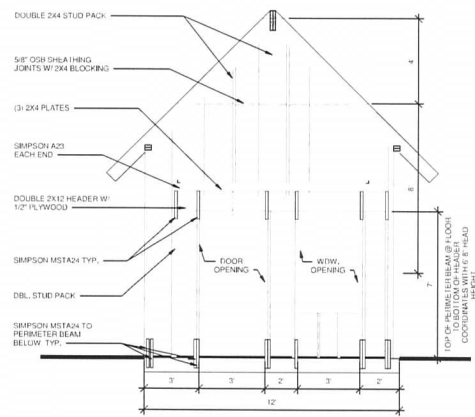


1 STUD CONST. BEAM TO WALL SECTION  
1" = 1'-0"

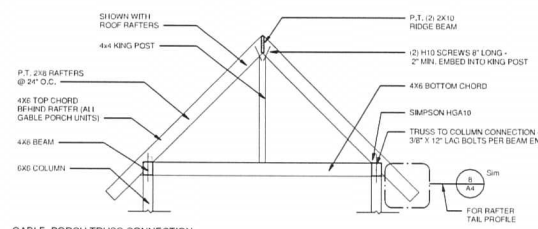


2 SIPS SYSTEM BEAM TO WALL SECTION - ALTERNATE CONS. METHOD  
1" = 1'-0"

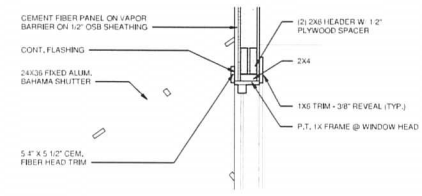
NOTE: SHEATHING TO BE NAILED TO ALL STUDS @ 4" O.C. W/ 8D NAILS. NAIL SHEATHING TO HEADER WITH 4 ROWS OF NAILS @ 4" O.C.  
NOTE: DRAWING IS FOR LOFT UNITS - OTHERS ARE SIMILAR



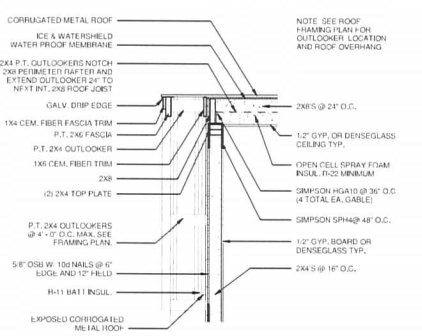
3 PORTAL FRAME @ FRONT WALL OF LOFT UNIT - UNIT 2A FRAMING SIM.  
3/8" = 1'-0"



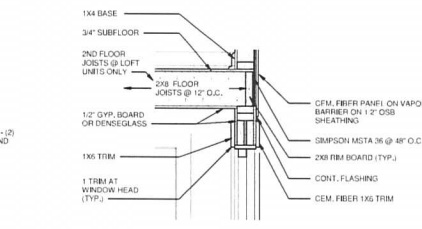
4 GABLE PORCH TRUSS CONNECTION - SIMILAR WITH 8-12 PITCH  
3/8" = 1'-0"



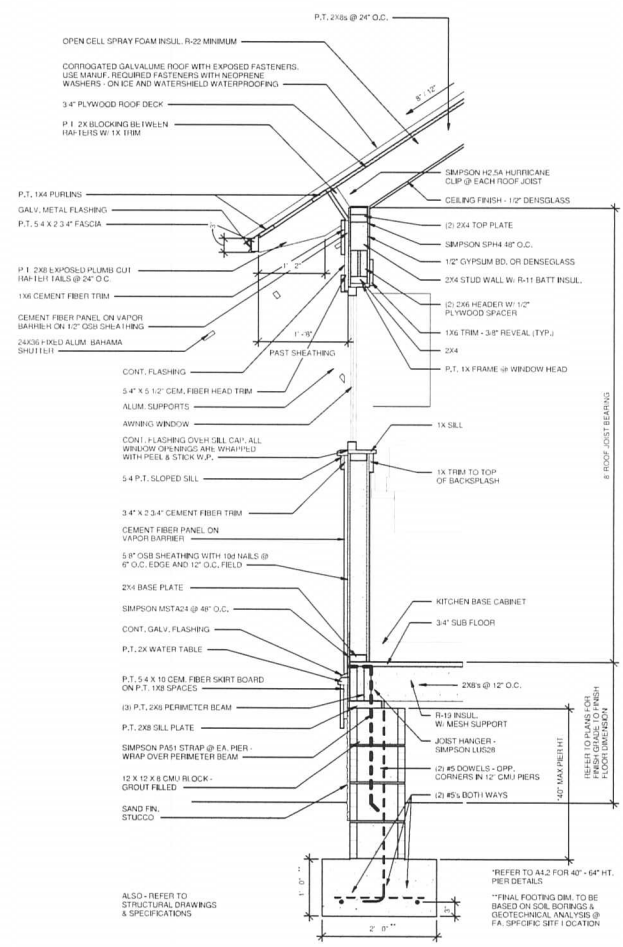
5 TYP. WINDOW HEAD TRIM W/ SHUTTER  
1" = 1'-0"



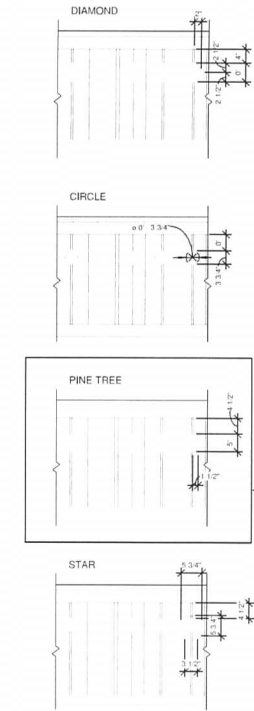
6 ROOF O.H. & OUTLOOKER DETAIL  
3/4" = 1'-0"



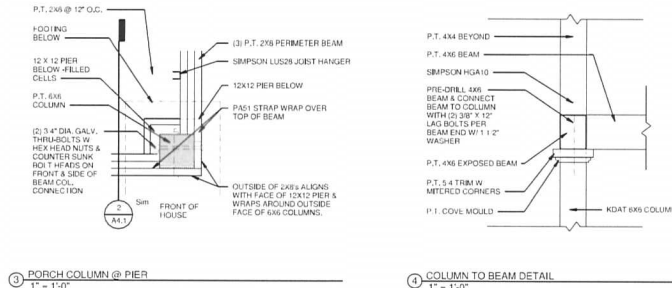
7 TYP. WINDOW HEAD TRIM  
1" = 1'-0"



8 UNIT 2A WALL SECTION  
1" = 1'-0"

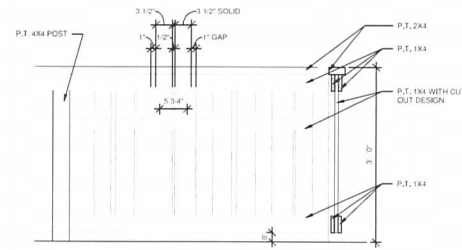


1 RAIL CUT OUTS  
3/4" = 1'-0"

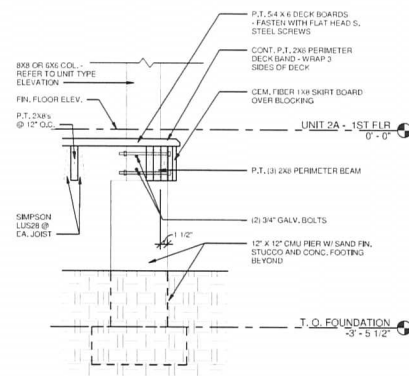


2 PORCH COLUMN @ PIER  
1" = 1'-0"

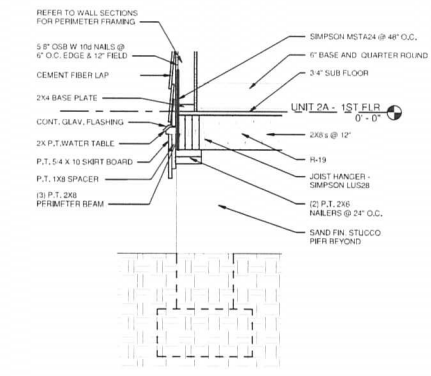
3 COLUMN TO BEAM DETAIL  
1" = 1'-0"



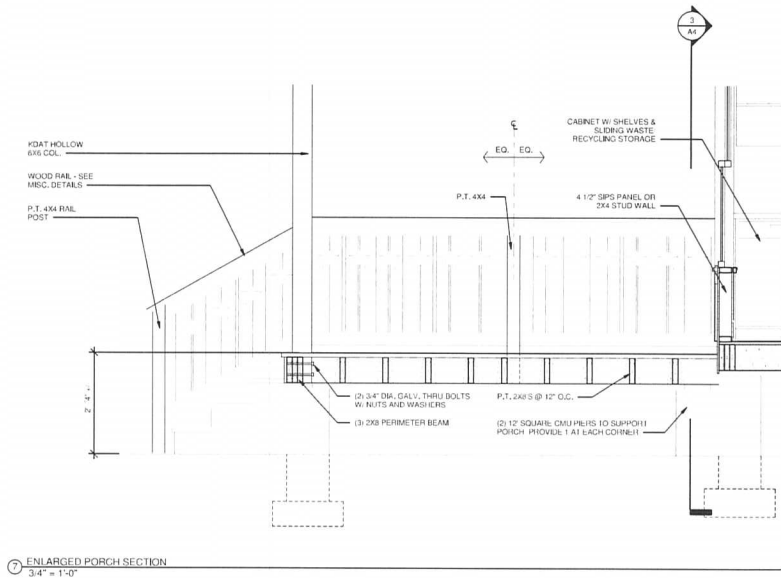
4 WOOD RAIL DETAIL  
1" = 1'-0"



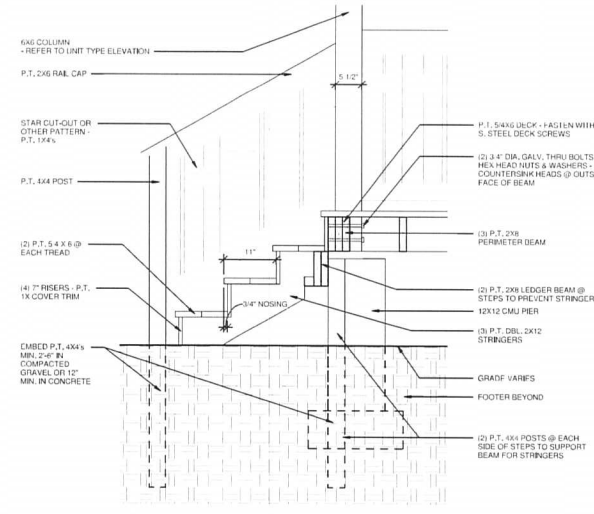
5 DECK DETAIL  
1" = 1'-0"



6 SKIRTBOARD DETAIL  
1" = 1'-0"

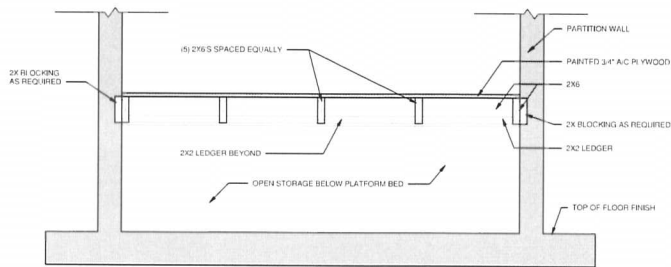


7 ENLARGED PORCH SECTION  
3/4" = 1'-0"

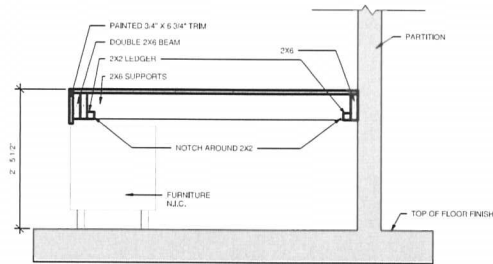


8 PORCH STAIR DETAIL  
1" = 1'-0"

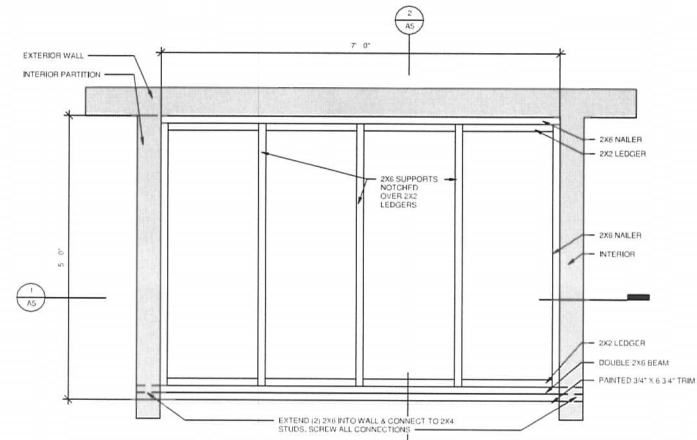




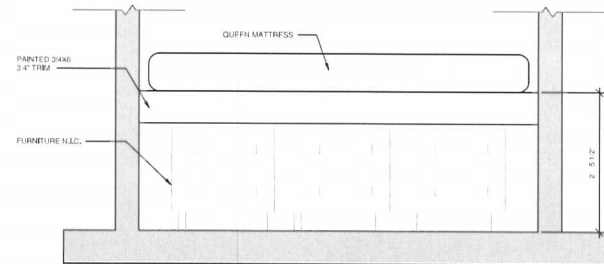
1 PLATFORM BED SECTION A  
1" = 1'-0"



2 PLATFORM BED SECTION B  
1" = 1'-0"



3 QUEEN PLATFORM BED PLAN  
1" = 1'-0"



4 PLATFORM BED ELEVATION  
1" = 1'-0"

**ESCAMBIA COUNTY TINY HOUSES**  
**UNIT 2A - 923 EAST LA RUA ST., PENSACOLA, FL.**  
**ESCAMBIA COUNTY, FLORIDA**

Date: 07-10-2020  
100% CONSTRUCTION  
DOCUMENTS / P/100M Set  
Drawn by: DB  
Checked by: SJ  
REVISIONS



BED PLATFORM DETAILS

**A5**

Craig Huffman  
Digitally signed  
by Craig Huffman  
Date: 2020.07.10  
19:22:24 -0400



**ESCAMBIA COUNTY TINY HOUSES**  
**UNIT 2A - EAST 923 LA RUA ST., PENSACOLA, FL.**  
ESCAMBIA COUNTY, FLORIDA

Date: 6/10/2020  
100% CONSTRUCTION DOCUMENTS / PERMIT SET  
Drawn by: DTH  
Checked by: CDH  
REVISIONS



UNIT 2A MECH. ELEC. & PLUMBING

**MEP1**

**NOTES:**

- 1) WHERE WALL RECEPTACLES ARE LOCATED UNDER WINDOWS, CENTER BETWEEN BASE AND WINDOW TRIM VERTICALLY. NOT EXCEEDING STANDARD RECEPTACLE HEIGHT.
- 2) SIPs MANUFACTURER RESPONSIBLE FOR ADDING BLOCKING AS REQUIRED SO THAT RECEPTACLES ARE PLACED AS SHOWN ON P. AND, F.O., CENTERED UNDER WINDOWS OR BETWEEN WINDOWS ETC.
- 3) MECHANICAL CONTRACTOR TO VERIFY SIZE, EFFICIENCY AND PLACEMENT OF ALL MECHANICAL EQUIPMENT. ORIGINAL CONTRACTOR TO CONSULT W/ MECHANICAL CONTRACTOR AND/OR MECHANICAL ENGINEER AND NOTIFY ARCHITECT OF ANY DIFFICULTY W/ INSTALLATION, EFFICIENCY OR PERFORMANCE OF SYSTEMS.
- 4) MECH. CONTRACTOR TO PROVIDE ENERGY FORM ANALYSIS
- 5) INSULATE WATER PIPES WHERE EXPOSED.
- 6) PLUMBING CONTRACTOR TO PROVIDE PLUMBING RISER.
- 7) ELECTRICAL CONTRACTOR TO LOCATE ALL LIGHT FIXTURES AS SHOWN. IF FIXTURE LOCATION MUST BE RELOCATED, NOTIFY THE ARCHITECT TO OBTAIN APPROVAL PRIOR TO RELOCATION.
- 8) ELECTRICAL CONTRACTOR TO PROVIDE PANEL LOAD SCHEDULES & WIRING.
- 9) CONTRACTOR TO PROVIDE PLUMBING & LIGHTING FIXTURE SUBMITTALS FOR ARCHITECT'S APPROVAL PRIOR TO PURCHASE & INSTALLATIONS. - REFER TO SPECIFICATIONS ON A02

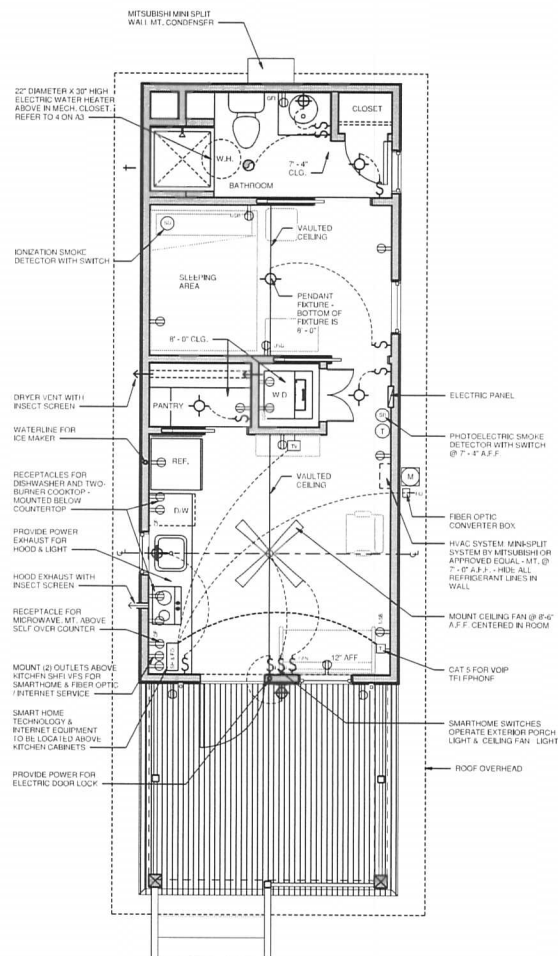
**ELECTRICAL / PLUMBING SYMBOLS**

|  |  |
|--|--|
|  | THERMOSTAT   |
|  | EXTERIOR FIBER OPTIC CONVERTER BOX   |
|  | ELECTRIC PANEL   |
|  | SMART HOME & FIBER OPTIC INTERNET EQUIP (LOCATE ABOVE KITCHEN CABINETS) 5 PORT POE CREAM SWITCH, SMART HOME SMART HUB, WIRELESS ROUTER |
|  | DUPLEX OUTLET 118" A.F.F. (UNO) 3 WIRE GROUNDING   |
|  | DUPLEX OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER MOUNT @ 48" A.F.F.   |
|  | DUPLEX OUTLET, OUTDOOR   |
|  | DUPLEX W/ USB OUTLET, 18" WITH USB PORT  |
|  | DUPLEX OUTLET, 220 VOLT MOUNT 3" A.F.F., 25 AMP BREAKER  |
|  | CAT 5 FOR VOP TELEPHONE  |
|  | CAT 5 FOR TELEPHON - MOUNT 7-8" A.F.F.   |
|  | SMOKE DETECTOR   |
|  | WATER HEATER   |
|  | A.C. TOGGLE SWITCH, SINGLE POLE, 177-200 V.A.C., SURFACE MOUNTED @ 48" A.F.F.  |
|  | A.C. TOGGLE SWITCH, THREE WAY, 177-200 V.A.C., SURFACE MOUNTED @ 48" A.F.F.  |
|  | SMART A.C. TOGGLE SWITCH, 177-200 V A.C., SURFACE MOUNTED @ 48" A.F.F.   |
|  | LED LIGHT FIXTURE, CEILING SURFACE MOUNT   |
|  | LED LIGHT FIXTURE, WALL SURFACE MOUNT  |
|  | EXTERIOR LED LIGHT FIXTURE, WALL SURFACE MOUNT   |
|  | EXHAUST FAN/LIGHT, CEILING MOUNTED   |
|  | FLUORESCENT LIGHT, SURFACE MOUNTED   |
|  | CEILING FAN, PENDANT MOUNT, 48" DIAMETER WITH LIGHT FIXTURE  |
|  | FREEZE PROOF WATER HYDRANT HOSE (BB)   |
|  | METER  |
|  | ELECTRIC WIRING  |
|  | CAT 5 WIRING   |

- ALL LED LAMPS ARE 2700 KELVIN.
- ALL SWITCHES & RECEPTACLES ARE WHITE.
- EXTERIOR RECEPTACLES HAVE COVER PLATES & ARE GRAY OR BLACK

MEP LEGEND  
1/4" = 1'-0"

UNIT 2A MECH. ELEC. & PLUMBING  
3/8" = 1'-0"



Craig Huffman

Digitally signed by  
Craig Huffman  
Date: 2020.07.10  
19:22:35 -0400