

S:\2020 Projects\2020-99-99 923 E. LaRua\DWGS\Civil\20-99-000X.dwg, Sep 03, 2020 - 5:56:41PM, andrew

Site Construction Plans

For

TINY HOUSE

923 E. LARUA STREET PENSACOLA, FL 32501

OWNER/DEVELOPER:

AMR AT PENSACOLA INC.
KEVIN HAGEN, PRESIDENT
730 BAYFRONT PKWY. SUITE 4B
PENSACOLA, FL 32502
PHONE: (850) 530-4226

ENGINEER:

KENNETH HORNE & ASSOCIATES, INC.
7201 N. 9th AVENUE, SUITE 6
PENSACOLA, FLORIDA 32504
PHONE: (850) 471-9005

SURVEYOR:

NORTHWEST FLORIDA LAND SURVEYING
7142 BELGIUM CIRCLE
PENSACOLA, FL 32526
PHONE: (850) 432-1052

STORMWATER NOTES:

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO CITY OF PENSACOLA "AS BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY CITY OF PENSACOLA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
3. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
4. ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE STABILIZED.
5. TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.
6. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPOGRAPHY OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
7. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE CITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
8. NOTIFY SUNSHINE 811 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; PHONE 811
9. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE CITY.
10. ALL NEW STORMWATER RUNOFF IS TO BE DIRECTED TO THE NEW STORMWATER COLLECTION SYSTEM.

UTILITY NOTES:

1. CONTRACTOR SHALL LOCATE, SUPPORT & PROTECT EXISTING UTILITIES TO REMAIN, AS REQUIRED. ALL KNOWN UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL UTILIZE GROUND PENETRATING RADAR OR EQUIVALENT TO LOCATE ALL EXISTING UTILITIES WITHIN ALL AREAS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES TO BE RELOCATED AND/OR IN DIRECT CONFLICT WITH CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL CONTACT PLUMBING DEPT ECSO 850-469-5484 A MINIMUM OF 48 BUSINESS HOURS PRIOR TO COMMENCEMENT OF ALL UTILITY LOCATIONS TO COORDINATE THIS WORK.
2. IF EXISTING UTILITY LINES ABOVE OR BELOW GROUND ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE RELOCATED AS PER UTILITY OWNER AND OWNER REQUIREMENTS.
3. CONTRACTOR SHALL NOTIFY THE OWNER FORTY-EIGHT HOURS PRIOR TO BEGINNING CONSTRUCTION.
4. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTHS BEFORE BEGINNING CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PRESERVING AND PROTECTING SAID UTILITIES OR STRUCTURES.
5. CONTRACTOR SHALL HAUL AWAY ALL EXCESS MATERIAL AND DEBRIS AND DISPOSE OF OFFSITE IN A LEGAL MANNER.
6. FOR STAGING, EQUIPMENT STORAGE, EMPLOYEE PARKING, AND SITE ACCESS, COORDINATE WITH OWNER.
7. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWER, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POST, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.

EROSION CONTROL NOTES:

1. HAY BALES AND SILT FENCE SHALL BE PLACED AS REQUIRED. POSTS FOR SILT FENCE SHALL BE AT A DEPTH TO RESIST OVERTURNING, THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. SUPPLEMENT WITH HAY BALES AS REQUIRED TO PREVENT THE PASSAGE OF SOIL MATERIALS. HAY BALES ARE TO BE PROPERLY PLACED AND STAKED. (SEE TYPICAL DETAILS)
2. ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE.
3. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SOD UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES USED ARE MAINTAINED AND FULLY FUNCTIONAL DURING RAINFALL EVENTS.

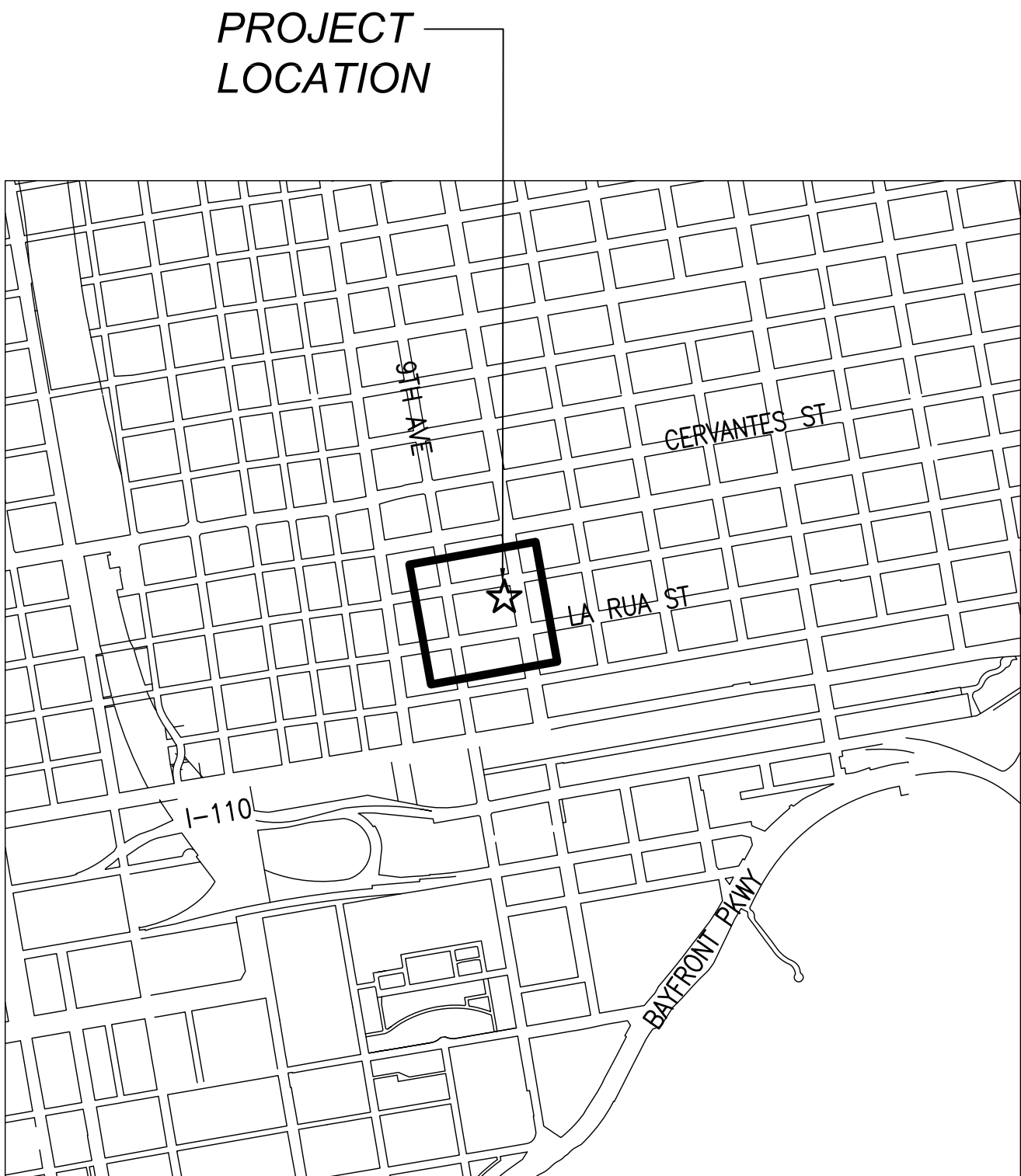
SITE DATA:

PROPERTY REFERENCE NO: 00-0S-00-9025-010-062
PROPERTY ADDRESS: 923 E. LARUA ST PENSACOLA, FL 32501
ZONING: R-2
FLU: OFFICE
PROPOSED USE: TINY HOUSE
PROJECT AREA DISTURBED: 1912 SF (0.044 AC)
PROPOSED IMPERVIOUS AREA IN PROJECT: 713 SF (0.016 AC)
PROPOSED PERVIOUS AREA IN PROJECT: 1199 SF (0.028 AC)

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET AND GENERAL NOTES
C101	EXISTING CONDITIONS AND EROSION CONTROL
C201	SITE STAKING PLAN
C401	GRADING AND DRAINAGE PLAN
C501	DETAILS

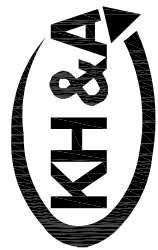
GENERAL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO CITY OF PENSACOLA STANDARDS.
2. ANY DEVIATIONS FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM BOTH THE ENGINEER OF RECORD AND THE CITY OF PENSACOLA
3. THE CONTRACTOR IS ADVISED TO FAMILIARIZE THEMSELF WITH THE SITE PRIOR TO BIDDING. COORDINATE VISIT WITH OWNER.
4. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WITH VARIOUS UTILITY COMPANIES PRIOR TO CONSTRUCTION.
5. ALL LANDSCAPING SHALL COMPLY WITH CHAPTER 12 OF THE CITY OF PENSACOLA LAND DEVELOPMENT CODE.
6. ALL WORK WITHIN THE RIGHT-OF-WAYS SHALL CONFORM TO CITY OF PENSACOLA STANDARDS, F.D.O.T. STANDARD DETAILS AND SPECIFICATIONS (LATEST EDITION).
7. IF MORE THAN ONE ACRE WILL BE DISTURBED, CONTRACTOR SHALL FILE A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES." CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT THROUGHOUT THE COURSE OF CONSTRUCTION.
8. THE GENERAL CONTRACTOR IS TO MAINTAIN (CUT AND WATER) THE VEGETATION ON SITE UNTIL FINAL ACCEPTANCE BY OWNER.
9. ROLL GRADE BEFORE AND ROLL SOD AFTER PLACEMENT TO ENSURE SMOOTH FINAL GRADE. NO RUTTING WILL BE ACCEPTABLE AT PROJECT CLOSE-OUT.
10. NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT CITY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES, AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
11. ALL CURB AND GUTTER, SIDEWALKS, AND HANDICAP RAMPS SHALL BE A MINIMUM OF 3000 PSI CONCRETE AT 28 DAYS WITH 1.5 POUNDS OF FIBERMESH PER CUBIC YARD.



VICINITY MAP
1"=1000'

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS



PO BOX 10689, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8268

923 E. LARUA STREET

COVER SHEET

FLORIDA

ESCAMBIA

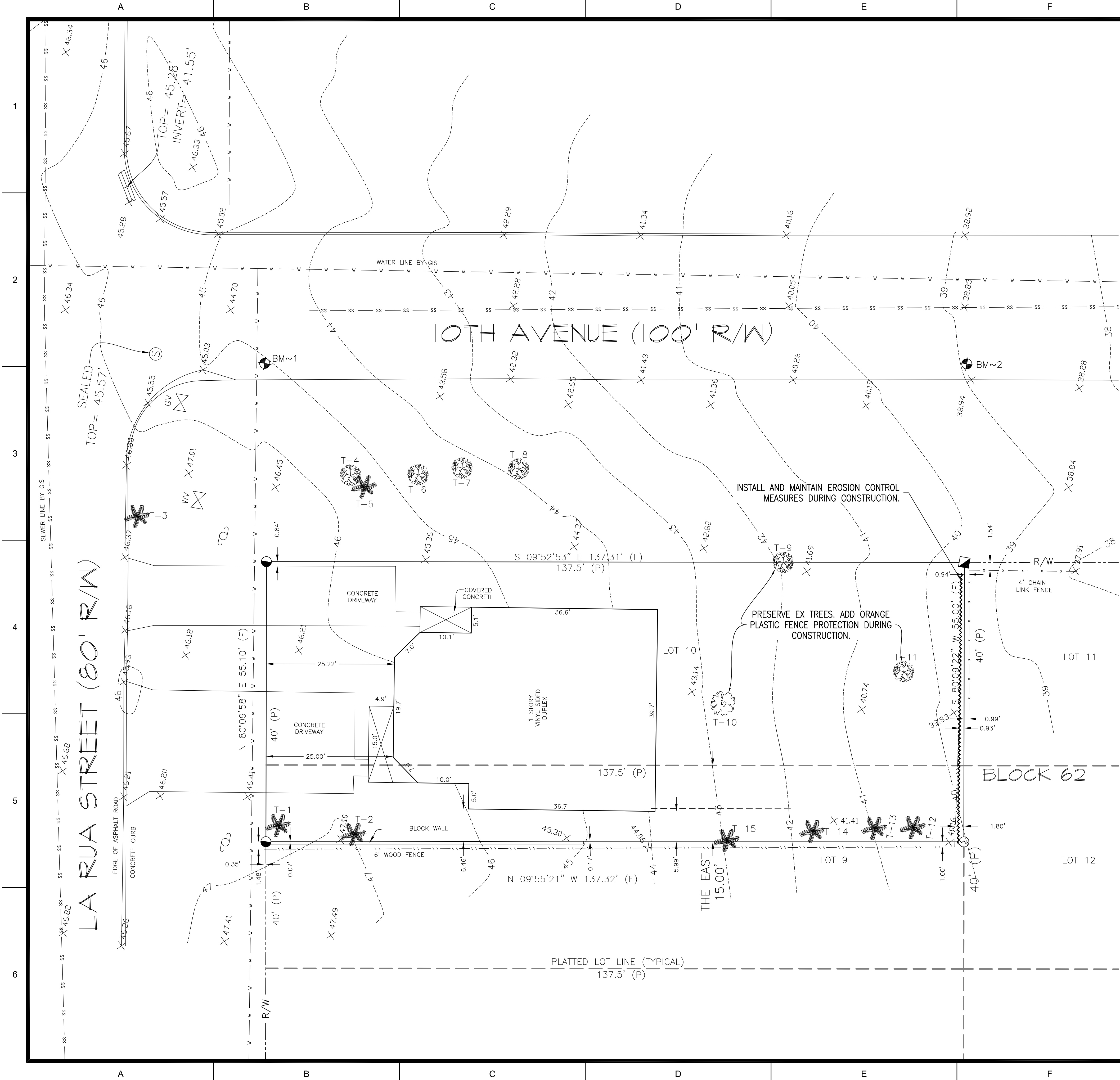
DRAWN BY:	AHH
DESIGNED BY:	RCK
CHECKED BY:	RCK
DATE:	9/2/2020
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	
BY:	DATE:

PROJECT NO: 2020-99
C001

SHEET: 1 OF 5

REVISIONS	
NO.	DATE
THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING. ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	

ROBERT C. KRASNOSKY
FL PE 49949



TREE TABLE			
TREE NO.:	DIAMETER	TYPE	CANOPY
T-1	28"	PALM	15'
T-2	18"	PALM	12'
T-3	14"	PALM	15'
T-4	24"	OAK	32'
T-5	9"	PALM	10'
T-6	14"	OAK	26'
T-7	12"	OAK	20'
T-8	15"	OAK	32'
T-9	34"	OAK	55'
T-10	19"	MAGNOLIA	28'
T-11	15"	OAK	22'
T-12	15"	PALM	12'
T-13	14"	PALM	15'
T-14	20"	PALM	16'
T-15	14"	PALM	15'

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 44.26' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 38.59' (NAVD88)

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK:
6636, PAGE: 1732)

PARCEL NO. 2: LOT 10, AND THE EAST 25 FEET OF LOT
9, BLOCK 62, NEW CITY TRACT, CITY OF PENSACOLA,
ESCAMBIA COUNTY, FLORIDA, ACCORDING TO MAP OF SAID
CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

LEGEND:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7073 (FOUND)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ 4" SQUARE CONCRETE MONUMENT, NUMBERED 4284 (FOUND)
- ~ PLATTED INFORMATION
- ~ FIELD INFORMATION
- ~ RIGHT OF WAY
- ~ SECTION
- ~ TOWNSHIP
- ~ RANGE
- ~ OFFICIAL RECORD
- ~ PAGE
- ~ BENCHMARK
- ~ FIRE HYDRANT
- ~ WATER VALVE
- ~ GAS VALVE
- ~ SIGN
- ~ UTILITY POLE

NO.

DATE

REVISIONS

923 E. LARUA STREET

EXISTING CONDITIONS

AND EROSION CONTROL

FLORIDA

ESCAMBIA

DRAWN BY: AHH

DESIGNED BY: RCK

CHECKED BY: RCK

DATE: 9/2/2020

SCALE: 1" = 10'

NOT FOR CONSTRUCTION

BY: DATE:

PROJECT NO: 2020-99

C101

SHEET: 2 OF 5

Kenneth Horne & Associates, Inc.

CIVIL ENGINEERS

PO BOX 10689, PENSACOLA, FLORIDA 32524

7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504

(850) 471-9005 info@kh-a.com FAX (850) 471-0093

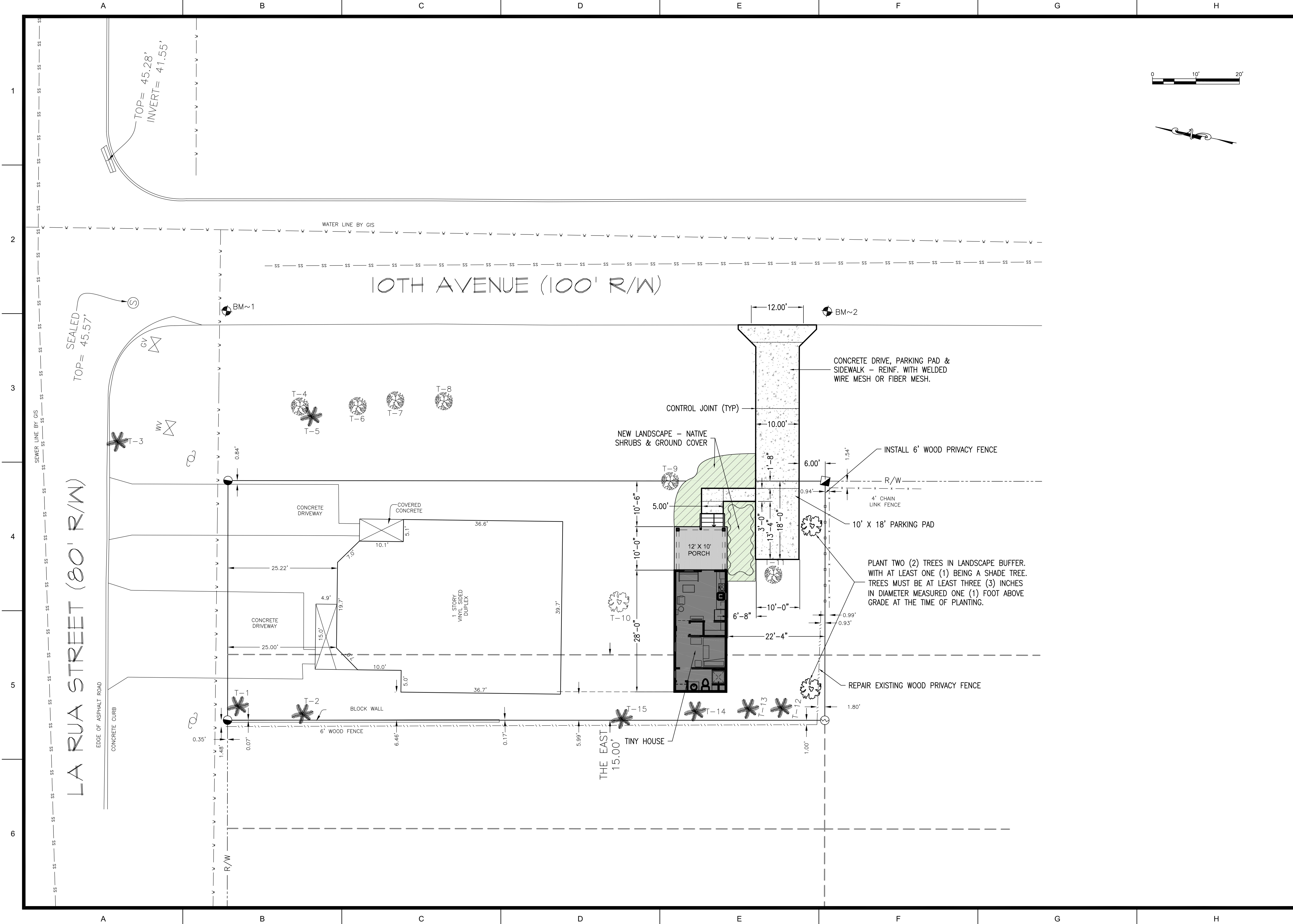
FL CERTIFICATE OF AUTHORIZATION NO. 8288

ROBERT C. KRASNOSKY

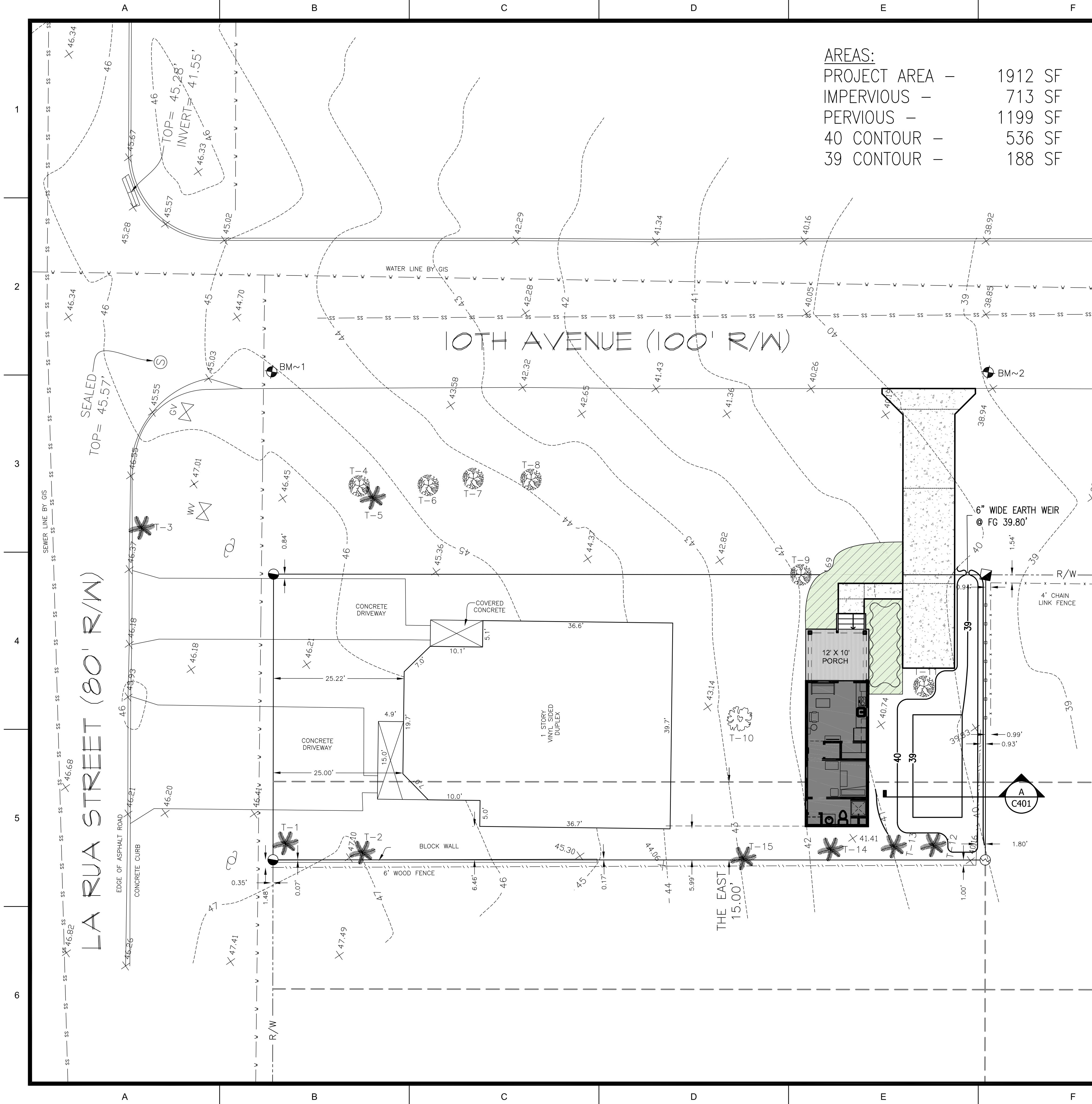
FL PE 49949

0 10' 20'

S:\2020 Projects\2020-99 923 E. LaRua\DWGS\CIVIL\20-99-C20X.dwg, Sep 03, 2020 -- 5:56:50PM, andrew

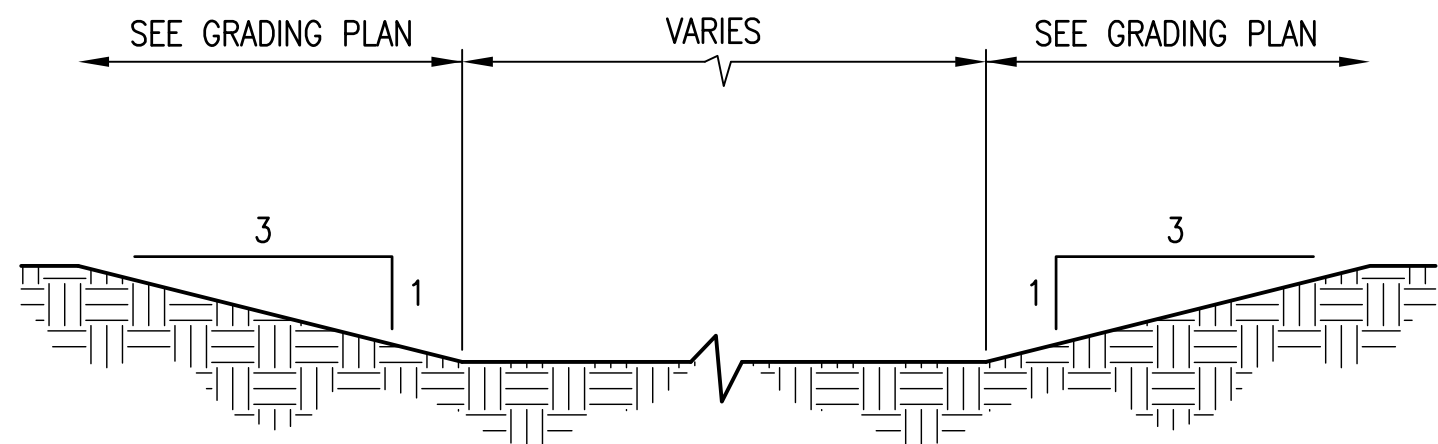
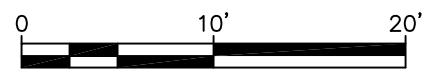


DRAWN BY: AHH		PROJECT NO: 2020-99	
DESIGNED BY: RCK		C201	
CHECKED BY: RCK		SHEET: 3 OF 5	
DATE: 9/2/2020		NOT FOR CONSTRUCTION	
SCALE: 1" = 10'		BY: DATE:	
923 E. LARUA STREET		FLORIDA	
SITE STAKING PLAN		ESCAMBIA	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS		PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288	
REVISIONS		THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KENNETH HORNE & ASSOCIATES, INC. ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	
NO.	DATE	ROBERT C. KRASNOSKY FL PE 49949	



AREAS:

PROJECT AREA -	1912 SF
IMPERVIOUS -	713 SF
PERVIOUS -	1199 SF
40' CONTOUR -	536 SF
39' CONTOUR -	188 SF



RETENTION POND NOTES:

- POND SIDEWALLS TO RECEIVE SOLID SOD MATCH EXISTING SPECIES
- POND BOTTOM TO BE SEEDED
- CLEAN RETENTION POND OF ALL CONSTRUCTION DEBRIS AND SILT BEFORE SODING.

A
C401

TYPICAL POND SECTION
NO SCALE

NO.	DATE	REVISIONS

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF KENNETH HORNE & ASSOCIATES, INC. ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

THIS DRAWING IS THE PROPERTY OF
KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE
REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED
ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

ROBERT C. KRASNOSKY
FI DE 49949

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

24

PO BOX 10005, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504

FL. CERTIFICATE OF AUTHORIZATION NO. 8268



923 E. LARUA STREET

GRADING AND

DRAINAGE PLAN

FLORIDA

DRAWN BY:	AHH
DESIGNED BY:	ROK
CHECKED BY:	ROK
DATE:	9/2/2020
SCALE:	1" = 10'
NOT FOR CONSTRUCTION	
BY:	DATE:
PROJECT NO: 2020-99	
C401	
SHEET:	4 OF 5

PROJECT NO: 2020-99
C401

SHEET: 4 OF 5

S:\2020 Projects\2020-99 923 E. LaRua\DWGS\Civil\20-99-C50X.dwg, Sep 03, 2020 -- 5:57:02PM, andrew

1

2

3

4

5

6

REVISIONS	
NO.	DATE
THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF KENNETH HORNE & ASSOCIATES, INC.	

ROBERT C. KRASNOSKY
FL PE 49949

KH&A

Kenneth Horne & Associates, Inc.

CIVIL ENGINEERS

PO BOX 10689, PENSACOLA, FLORIDA 32524

7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504

(850) 471-9005 info@kh-a.com FAX (850) 471-0093

FL CERTIFICATE OF AUTHORIZATION NO. 8288

923 E. LARUA STREET

DETAILS

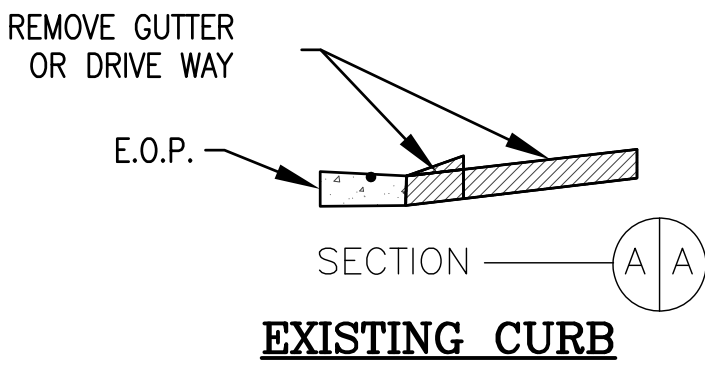
FLORIDA

ESCAMBIA

DRAWN BY:	AHH
DESIGNED BY:	ROK
CHECKED BY:	ROK
DATE:	9/2/2020
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	
BY:	DATE:
PROJECT NO: 2020-99	
C501	
SHEET: 5	OF 5

TYPE "B" (LAYBACK) CURB DRIVEWAY DETAIL

DRIVEWAY SHALL BE INSTALLED IN SUCH A MANNER AS TO NEITHER CREATE A STANDING WATER ISSUE, CREATE AN EROSION ISSUE, NOR DIRECT STORMWATER ONTO PRIVATE PROPERTY. INSTALLATION OF DRIVEWAY SHALL ALLOW FOR STORMWATER TO FLOW ALONG SAME COURSE AS PRE-CONSTRUCTION CONDITIONS.
FOR FURTHER INFORMATION, CONTACT THE BUILDING INSPECTION DEPARTMENT **436-5600**



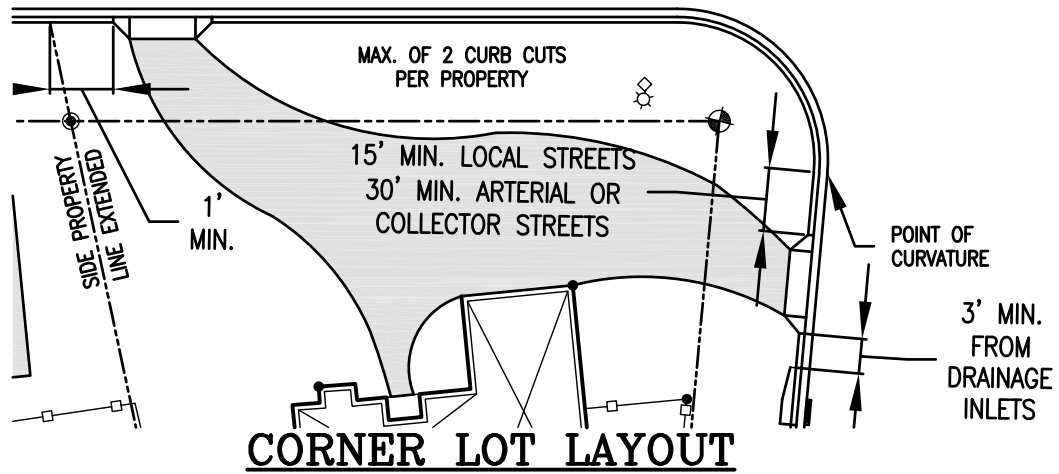
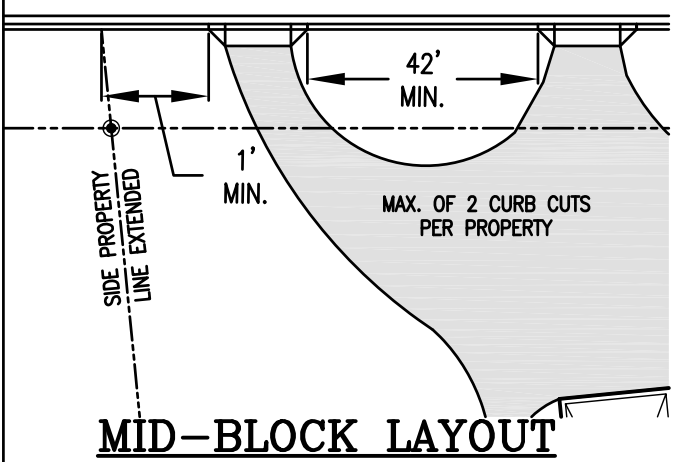
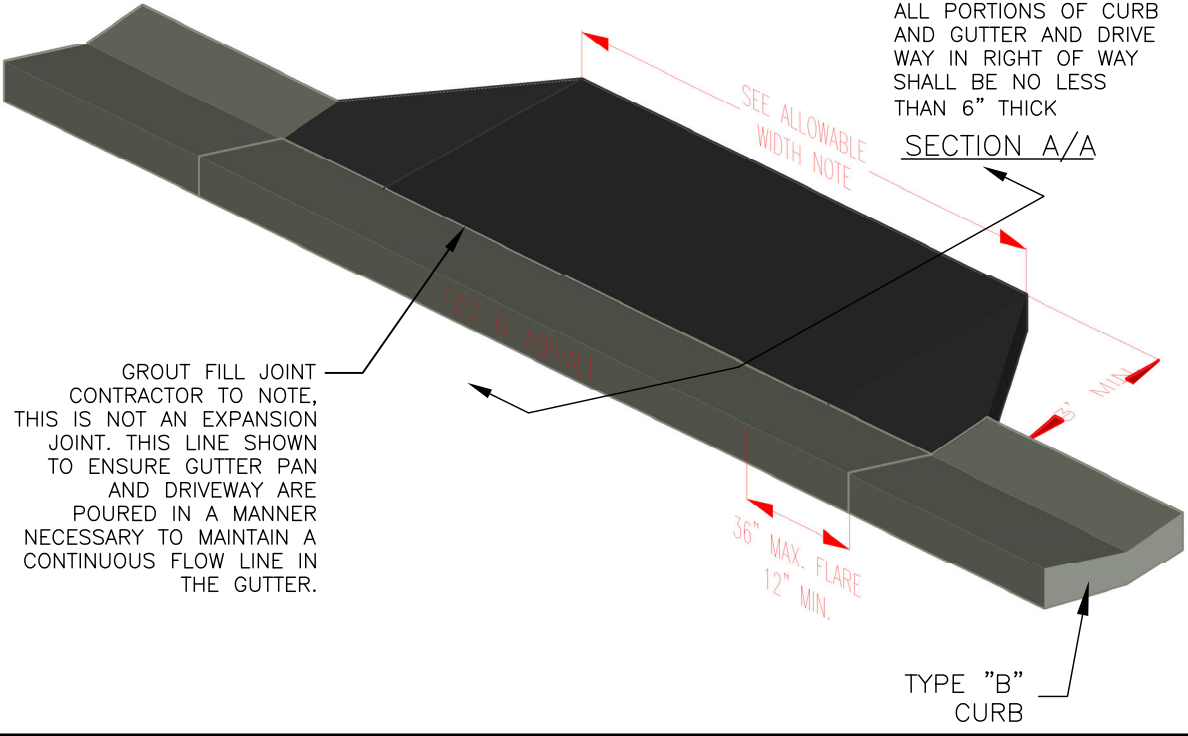
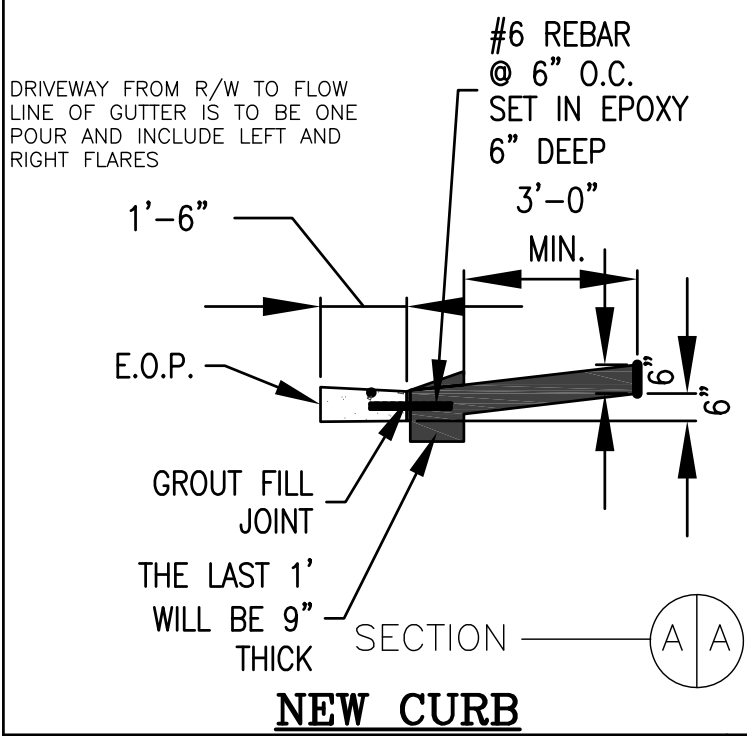
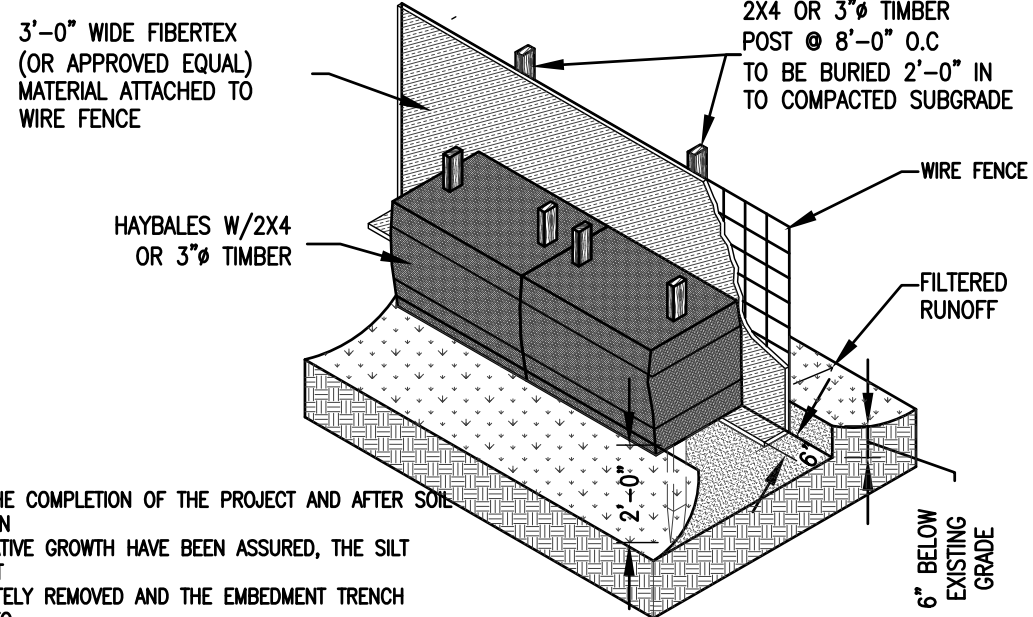
- NOTES:**
- 3000 PSI CONCRETE AT 28 DAYS WITH 1LB. FIBER REINFORCEMENT PER CU. YD.
 - EDGE OF PAVEMENT SHALL BE SAWCUT AS NECESSARY TO PREVENT FAILURE/CRUMBLING AND TO PROVIDE SMOOTH EDGE/TRANSITION BETWEEN EXISTING AND CONCRETE.
 - EXPANSION JOINTS AS REQUIRED.
 - EDGED WITH $\frac{1}{2}$ " RADIUS AND BROOM FINISH.

INSPECTION DRIVEWAY/CURB & GUTTER/OTHER WORK

PRELIMINARY INSPECTION
COMPACTION AND FORM WORK IS INSPECTED BY THE ENGINEERING AND CONSTRUCTION SERVICES **(24 HOURS BEFORE POURING)**. IF MODIFYING EXISTING CURB CUT & DRIVEWAY SECTION DOES NOT MEET STANDARDS THEN DRIVEWAY SECTION MUST BE REMOVED AND REPLACED TO MEET CITY STANDARDS.

FINAL INSPECTION
FINAL INSPECTION IS CONDUCTED AFTER THE DRIVEWAY/CURB & GUTTER, OR OTHER WORK HAS BEEN COMPLETED (AFTER POURING). PLEASE CALL **436-5600** BETWEEN 7:30 A.M. - 4:30 P.M. TO SCHEDULE THE PRELIMINARY AND FINAL INSPECTIONS.

ALLOWABLE WIDTH "CRA AREA"		ALLOWABLE WIDTH	
MIN:	MAX:	MIN:	MAX:
[] RESIDENTIAL: 10'-0"	20'-0"	[] RESIDENTIAL: 12'-0"	24'-0"
(SINGLE DRIVEWAY)		(SINGLE DRIVEWAY)	
[] RESIDENTIAL: 10'-0"	22'-0"	[] RESIDENTIAL: 20'-0"	24'-0"
(JOINT-USE DRIVEWAY)		(JOINT-USE DRIVEWAY)	
[] RESIDENTIAL: 12'-0"	24'-0"	[] RESIDENTIAL: 24'-0"	40'-0"
(MULTI-FAMILY)		(MULTI-FAMILY)	
[] COMMERCIAL: 12'-0"	40'-0"	[] COMMERCIAL: 12'-0"	40'-0"



REV. 6/25/19
(CBI)

CITY OF PENSACOLA, FLORIDA
DEPARTMENT OF PUBLIC WORKS AND FACILITIES
ENGINEERING AND CONSTRUCTION SERVICES DIVISION