

## SUBDIVISION PLAT

### Please Check Application Type:

- ☒ Minor Subdivision (< 4 lots)  
☒ Preliminary & Final Plat Submission Fee: \$2,000.00  
☐ Subdivision (> 4 lots)  
☐ Preliminary Plat Submission Fee: \$1,000.00 + \$25/lot  
☐ Final Plat Submission Fee: \$1,500.00 + \$25/lot  
[Resubmittal: 1/2 the initial fee; Rescheduling to Planning Board / City Council: \$250.00]

### Applicant Information

Name: Spetto Properties  
Address: 5113 N. Davis Hwy  
Pensacola, FL 32503  
Phone: 850-393-6953  
Fax: \_\_\_\_\_  
Email: chspear@gmail.com

### Owner Information (if different from applicant)

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

### Property Information

Location/Address: 7011 LANIER DRIVE

Subdivision Name: Lanier Place

# of Parcels to be Subdivided: 1 Parcel ID #(s): 31-1S-30-1901-013-003

# of Existing Lots: 1 # of Proposed Lots: 4 Total Acreage: 0.48 ac

Legal Description: Please attach a full legal description from deed or survey

Type of Subdivision: ☒ Residential\* ☐ Non-Residential  
[\*If residential, see reverse for open space requirement]

Will a Variance from the Subdivision Regulations be requested for the project (Sec. 12-8-7)? ☐ YES ☐ NO

If yes, specify exact variance requested: \_\_\_\_\_

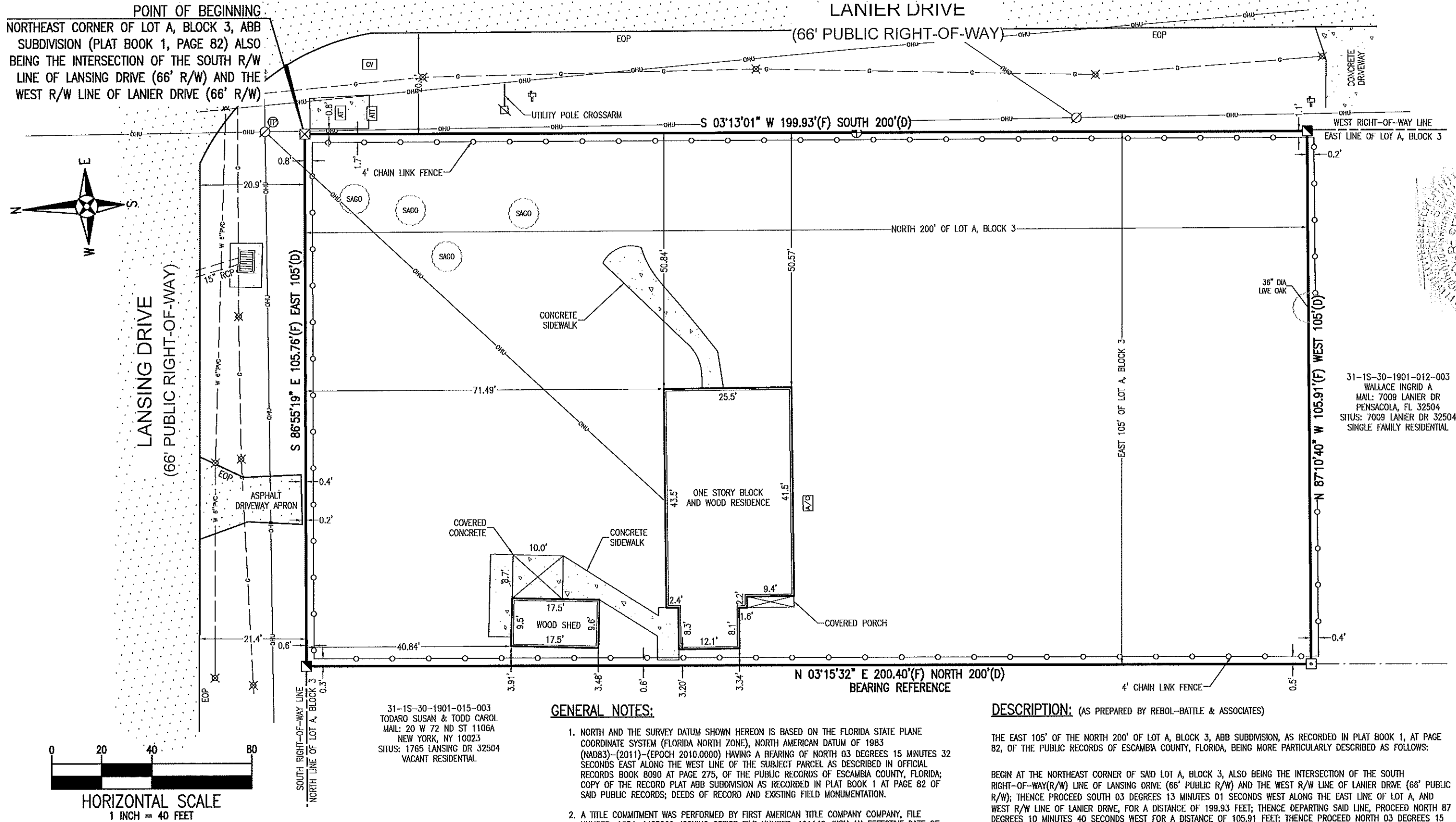
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this plat and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning and subdivision requirements and understand that I must be present on the date of the Planning Board meeting.

Signature of Applicant  
(Owner of Property or Official Representative of Owner)

Date

### FOR OFFICE USE ONLY

Zone: \_\_\_\_\_ District: \_\_\_\_\_  
Date Received: \_\_\_\_\_ Case Number: \_\_\_\_\_  
Application Fee: \_\_\_\_\_ Receipt #: \_\_\_\_\_  
Open Space Requirement (acres or \$): \_\_\_\_\_ Receipt #: \_\_\_\_\_  
Planning Board Date: \_\_\_\_\_ Recommendation: \_\_\_\_\_  
Council Date: \_\_\_\_\_ Action: \_\_\_\_\_  
Recording Date: \_\_\_\_\_ Map Bk/Pg: \_\_\_\_\_



**RBA**  
REBOL-BATTLE & ASSOCIATES  
Civil Engineers and Surveyors  
2201 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone: 850.438.1000 Fax: 850.438.0448  
E-Mail: info@rba-survey.com

NOT VALID WITHOUT  
THE ORIGINAL  
SIGNATURE AND SEAL  
OF A FLORIDA LICENSED  
SURVEYOR AND MAPPER

7011 LANIER DRIVE  
PENSACOLA, FLORIDA 32504  
SECTION: 31 TOWNSHIP: 1 SOUTH RANGE: 30 WEST  
COUNTY: ESCAMBIA

NO.	DATE	APPL.	REVISION/ACTION TAKEN

PROJECT: 2020.081  
DRAWN BY: ANC  
CHKD BY: RBS  
SCALE: 1" = 20'  
F.B.: 20-06; 20-08  
P.G.: 21, 24; 52-53  
DATE: 08/01/2020

**BOUNDARY SURVEY**  
PREPARED FOR: CARL SPEAR  
REQUESTED BY: CARL SPEAR

1 of 1



SITE INFORMATION	
OWNER/DEVELOPER:	CARL SPEAR, OD, MBA, FAO, SPETTO PROPERTIES INC. 5113 N. DAVIS HWY STE. 10 PENSACOLA, FLORIDA 32504
PROPERTY REFERENCE NO:	31-15-30-1901-013-003
PROPERTY ADDRESS:	7011 LANIER DRIVE
PROPERTY AREA:	0.48 ACRES
PROJECT AREA:	0.48 ACRES
TYPICAL LOT SIZE:	0.12 ACRES
PROPERTY ZONING:	R-1AA
FUTURE LAND USE:	M.D.R.
PROPOSED ACTIVITY:	4 LOT SPLIT FOR 4 SINGLE FAMILY RESIDENCES
REQUIRED BUILDING SETBACKS R-1AA:	FRONT YARD - 30 FT. SIDE YARD - 6 FT. REAR YARD - 30 FT.

# PRELIMINARY PLAT OF LANIER PLACE 4 LOT RESIDENTIAL SUBDIVISION REPLAT OF A PORTION OF LOT A, BLOCK 3, ABB SUBDIVISION, PLAT BOOK 1, PAGE 82, SECTION 31, TOWNSHIP 1 SOUTH, RANGE 29 WEST CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA SEPTEMBER 2020

## UTILITY SERVICE NOTES:

POTABLE WATER:  
AFTER RECEIVING ALL APPROVALS FROM ECUA AND THE CITY OF PENSACOLA,  
THE DEVELOPMENT WILL CONNECT TO ECUA'S EXISTING SYSTEM.

SANITARY SEWER:  
AFTER RECEIVING APPROVALS FROM ECUA AND THE CITY OF PENSACOLA,  
THE DEVELOPMENT WILL CONNECT TO ECUA'S EXISTING GRAVITY SYSTEM.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:  
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED  
UTILITY COMPANY.

PREPARED BY  
**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.438.0400  
Fax 850.438.0448  
EB 00009857 LB7616

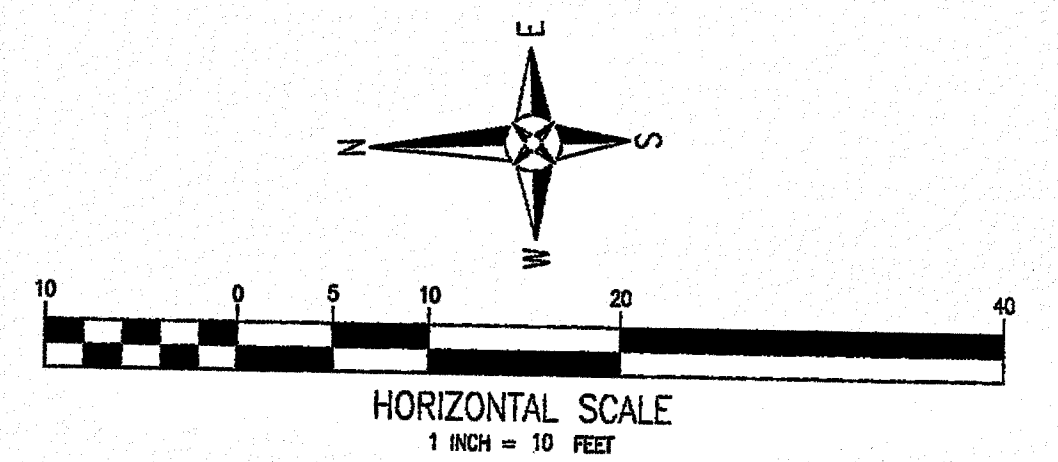
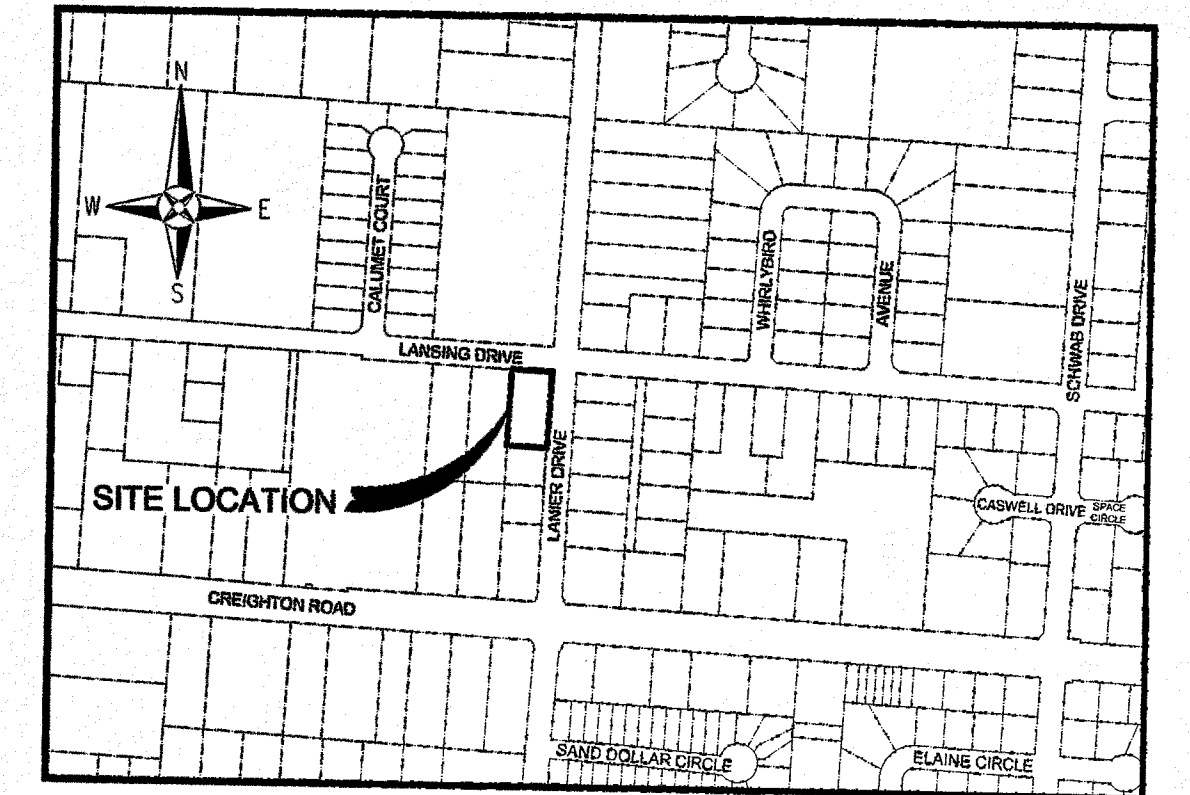
PROFESSIONAL SURVEYOR AND MAPPER  
MARK A. NORRIS, P.S.M.  
REBOL-BATTLE & ASSOCIATES

OWNER AND DEVELOPER  
CARL SPEAR, OD, MBA, FAO,  
SPETTO PROPERTIES, INC.

CIVIL ENGINEER  
MARK EVAN ROBINSON II, PE  
REBOL-BATTLE & ASSOCIATES

## LEGEND:

- ▲ SET NAIL & DISK (No. 7916)
- SET 4"x4" CONCRETE PRM (No. 7916)
- FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)
- FOUND 4"x4" CONCRETE MONUMENT (WITH PUNCH HOLE)
- FOUND 1/2" DIA IRON ROD (NO IDENTIFICATION)
- DENOTES STORM WATER DROP INLET
- DENOTES WOOD UTILITY POLE
- DENOTES METAL UTILITY POLE
- DENOTES MAILBOX
- DENOTES UTILITY SPOT SHOT (PAINT OR FLAG)
- DENOTES AIR CONDITIONING UNIT
- DENOTES AT&T COMMUNICATIONS VAULT
- DENOTES BELLSOUTH COMMUNICATIONS VAULT
- DENOTES TELEPHONE PEDESTAL
- DENOTES SPOT ELEVATION
- DENOTES ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
- DENOTES CHAIN LINK FENCE
- 2" DENOTES BURIED GAS LINE (2" BARE STEEL)
- DHU DENOTES OVERHEAD UTILITIES
- W 6" PVC DENOTES BURIED WATER LINE (6" PVC)
- B.S.L. DENOTES BUILDING SETBACK LINE
- DIA DENOTES DIAMETER
- EL DENOTES ELEVATION
- EOP DENOTES EDGE OF PAVEMENT
- PRM DENOTES PERMANENT REFERENCE MONUMENT
- PVC DENOTES POLYVINYL CHLORIDE PIPE
- RCP DENOTES REINFORCED CONCRETE PIPE
- R/W DENOTES RIGHT-OF-WAY
- SF DENOTES SQUARE FEET



## LEGAL DESCRIPTION:

THE EAST 105' OF THE NORTH 200' OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY(R/W) LINE OF LANIER DRIVE (66' PUBLIC R/W) AND THE WEST R/W LINE OF LANIER DRIVE (66' PUBLIC R/W); THENCE PROCEED SOUTH 03 DEGREES 13 MINUTES 01 SECONDS WEST ALONG THE EAST LINE OF LOT A, AND WEST R/W LINE OF LANIER DRIVE, FOR A DISTANCE OF 199.93 FEET; THENCE DEPARTING SAID LINE, PROCEED NORTH 87 DEGREES 10 MINUTES 40 SECONDS WEST FOR A DISTANCE OF 105.91 FEET; THENCE PROCEED NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 200.40 FEET TO THE SOUTH R/W LINE OF AFOREMENTIONED LANIER DRIVE ALSO BEING THE NORTH LINE OF LOT A; THENCE PROCEED SOUTH 86 DEGREES 55 MINUTES 19 SECONDS EAST ALONG SAID SOUTH R/W LINE FOR A DISTANCE OF 105.76 FEET TO THE POINT OF BEGINNING.

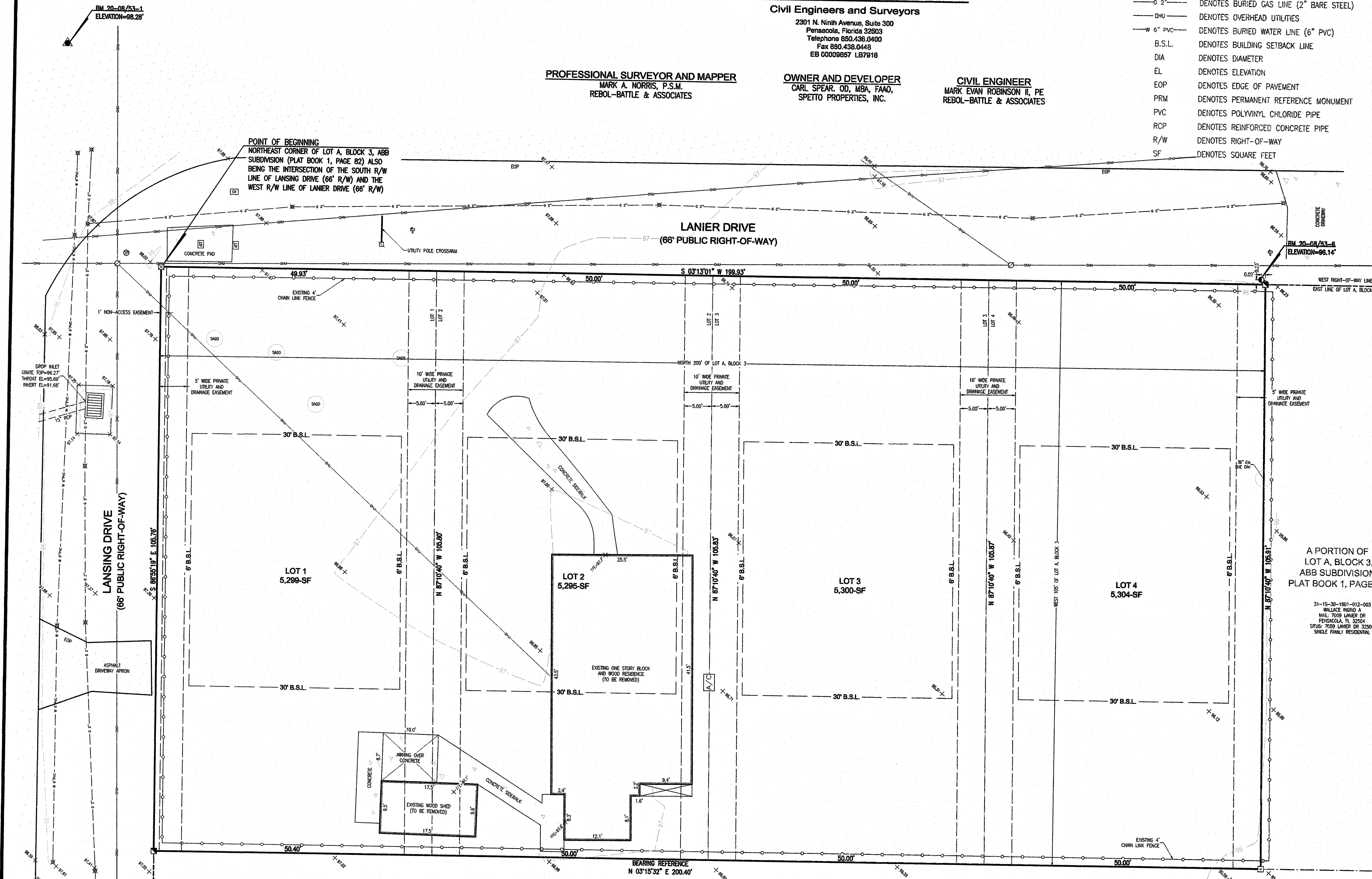
LYING IN AND BEING A PORTION OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 21,184 SQUARE FEET.

## GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST ALONG THE WEST LINE OF THE SUBJECT PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 8090 AT PAGE 275, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; COPY OF THE RECORD PLAT ABB SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 82 OF SAID PUBLIC RECORDS; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- A TITLE COMMITMENT WAS PERFORMED BY FIRST AMERICAN TITLE COMPANY COMPANY, FILE NUMBER: \_\_\_\_\_, ISSUING OFFICE FILE NUMBER: \_\_\_\_\_, WITH AN EFFECTIVE DATE OF SEPTEMBER \_\_, 2020 AT 8:00 AM, AND PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER II GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CITY OF PENSACOLA, COMMUNITY PANEL NUMBER 1203300380G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES). SIZE AND TYPE OF MATERIAL OF UTILITIES WERE TAKEN FROM MAPS FROM THE RESPECTIVE UTILITY COMPANY'S. THE FOLLOWING SUNSHINE ONE CALL TICKET WAS ISSUED FOR THIS PROJECT: 237001347, 237001375
- GRAPHIC SYMBOLS FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITY LINES MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE ENCROACHMENTS AND IMPROVEMENTS ARE AS SHOWN HEREON.

A PORTION OF  
LOT A, BLOCK 3,  
ABB SUBDIVISION  
PLAT BOOK 1, PAGE 82

31-15-30-1901-013-003  
WILLIAM HENRY A.  
MAIL 7009 LANIER DR.  
PENSACOLA, FL 32504  
SITES: 7009 LANIER DR. 32504  
SINGLE FAMILY RESIDENTIAL



NOTE:  
ALL DRIVEWAYS AND UTILITIES WILL  
BE ACCESSED OFF OF LANIER DRIVE

A PORTION OF  
LOT A, BLOCK 3,  
ABB SUBDIVISION  
PLAT BOOK 1, PAGE 82

31-15-30-1901-013-003  
TOWNSHIP 1 SOUTH & 10100 CIRCLE  
MAIL: 20 W 72 RD STE 11100A  
NEW YORK, NY 10023  
SITES: 1755 LANIER DR. 32504  
VACANT RESIDENTIAL

## CITY OF PENSACOLA PROFESSIONAL SURVEYOR AND MAPPER:

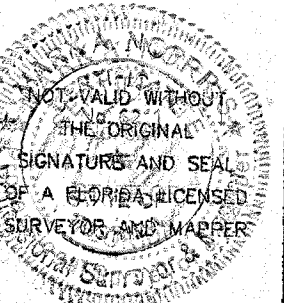
NOT VALID WITHOUT  
THE ORIGINAL  
SIGNATURE AND SEAL  
OF A FLORIDA  
LICENSED SURVEYOR  
AND MAPPER

LESLIE D. ODOM - PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. LS6520

## SURVEYOR'S CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND DESCRIBED HEREIN, THAT SAID LAND HAS BEEN SUBDIVIDED AS INDICATED, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.) HAVE BEEN PLACED AS INDICATED, THAT THE PLAT WAS PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF THE PLAT ACT CHAPTER 177.011-177.151 FLORIDA STATUTES, AND THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61B17-6, FLORIDA ADMINISTRATION CODE.

MARK A. NORRIS - PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 6511



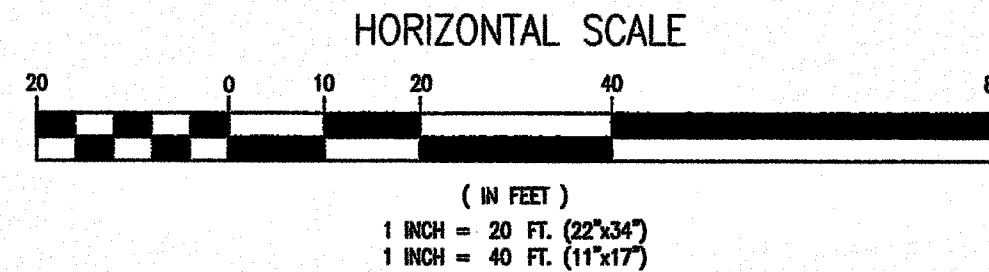
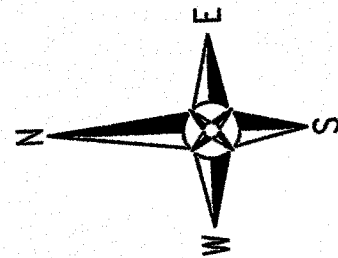


PREPARED BY



**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.438.0400  
Fax 850.438.0448  
EO 00008657 L57916



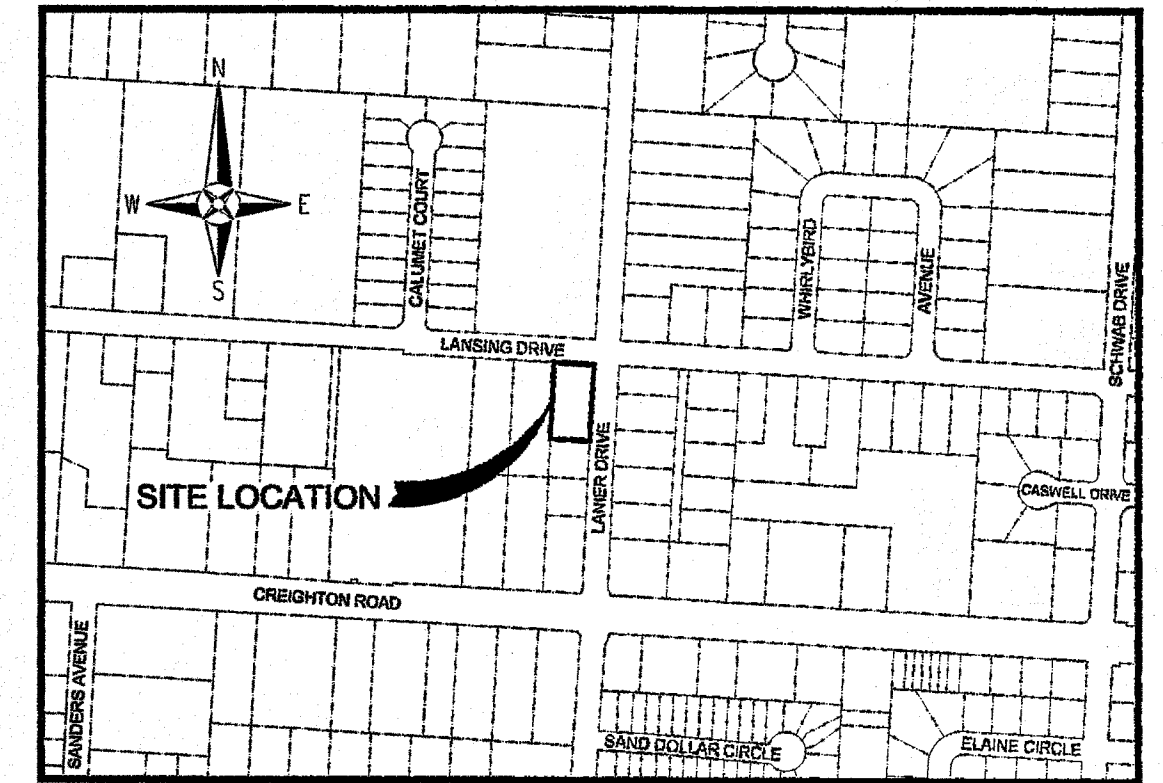
# FINAL PLAT OF LANIER PLACE

4 LOT RESIDENTIAL SUBDIVISION REPLAT OF A PORTION OF  
LOT A, BLOCK 3, ABB SUBDIVISION, PLAT BOOK 1, PAGE 82,  
SECTION 31, TOWNSHIP 1 SOUTH, RANGE 29 WEST  
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA  
SEPTEMBER 2020

**OWNER AND DEVELOPER**  
SPETTO PROPERTIES, INC.  
5113 N. DAVIS HIGHWAY, SUITE 10  
PENSACOLA, FLORIDA

**CIVIL ENGINEER**  
MARK EVAN ROBERTSON II, P.E.  
REBOL-BATTLE & ASSOCIATES  
2301 N. NINTH AVENUE, SUITE 300  
PENSACOLA, FLORIDA 32503

**PROFESSIONAL SURVEYOR AND MAPPER**  
MARK A. NORRIS, P.S.M.  
REBOL-BATTLE & ASSOCIATES  
2301 N. NINTH AVENUE, SUITE 300  
PENSACOLA, FLORIDA 32503



**VICINITY MAP**  
SCALE: 1" = 500'

## DESCRIPTION:

THE EAST 105' OF THE NORTH 200' OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT A, BLOCK 3, ABB SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 82, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY(R/W) LINE OF LANIER DRIVE (66' PUBLIC R/W) AND THE WEST R/W LINE OF LANIER DRIVE (66' PUBLIC R/W); THENCE PROCEED SOUTH 03 DEGREES 13 MINUTES 01 SECONDS WEST ALONG THE EAST LINE OF LOT A, AND WEST R/W LINE OF LANIER DRIVE FOR A DISTANCE OF 199.93 FEET; THENCE DEPARTING SAID LINE, PROCEED NORTH 87 DEGREES 10 MINUTES 40 SECONDS WEST FOR A DISTANCE OF 105.91 FEET; THENCE PROCEED NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 200.40 FEET TO THE SOUTH R/W LINE OF AFOREMENTIONED LANIER DRIVE ALSO BEING THE NORTH LINE OF LOT A; THENCE PROCEED SOUTH 86 DEGREES 55 MINUTES 19 SECONDS EAST ALONG SAID SOUTH R/W LINE FOR A DISTANCE OF 105.76 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 21,184 SQUARE FEET.

## DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT CARL SPEAR, OD, MBA, FAO, AUTHORIZED AGENT, SPETTO PROPERTIES, INC., OWNERS OF THE LAND HEREIN DESCRIBED AND PLATTED KNOWN AS LANIER PLACE, HEREBY DEDICATE THE DRAINAGE AND UTILITY EASEMENTS TO THE DEVELOPER OR THEIR ASSIGNS, AND AUTHORIZED AND REQUEST THE FILING OF THIS PLAT IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

IN WITNESS WHEREOF, CARL SPEAR, OD, MBA, FAO, AUTHORIZED AGENT, OUR SPETTO PROPERTIES, INC., ARE QUALIFIED TO DO BUSINESS IN THE STATE OF FLORIDA HAS CAUSED THESE PRESENTS TO BE MADE AND SIGNED IN ITS NAME BY ITS AUTHORIZED AGENT.

WITNESSES

OWNER

SIGNATURE

CARL SPEAR, OD, MBA, FAO,  
AUTHORIZED AGENT  
SPETTO PROPERTIES, INC.

PRINT

SIGNATURE

PRINT

## STATE OF FLORIDA, COUNTY OF ESCAMBIA:

BEFORE THE SUBSCRIBER PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE INDIVIDUALS DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE USES AND PURPOSES HEREIN SET FORTH, THEY ARE PERSONALLY KNOWN TO ME AND THEY DID NOT TAKE AN OATH, GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC, STATE OF FLORIDA

MY COMMISSION NUMBER: \_\_\_\_\_

## CERTIFICATE OF COUNTY CLERK:

I, PAUL CHILDERS, CLERK OF COURTS OF ESCAMBIA COUNTY, FLORIDA HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF THE PLAT ACT CHAPTER 177 FLORIDA STATUTES AND THE SAME WAS RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_ 2020 IN PLAT BOOK \_\_\_\_ AT PAGE \_\_\_\_ OF THE PUBLIC RECORDS OF SAID COUNTY.

PAUL CHILDERS, CLERK OF COURTS  
ESCAMBIA COUNTY, FLORIDA

SEAL

## CITY COUNCIL CERTIFICATE:

I, ERICKA L. BURNETT, CITY CLERK OF THE CITY OF PENSACOLA, FLORIDA, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO THE CITY COUNCIL OF SAID CITY AT ITS MEETING HELD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020, AND WAS APPROVED BY SAID COUNCIL.

ERICKA L. BURNETT  
CITY CLERK OF THE CITY OF PENSACOLA

## CITY OF PENSACOLA PROFESSIONAL SURVEYOR AND MAPPER STATEMENT:

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177, FLORIDA STATUTES, BY THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER FOR THE CITY OF PENSACOLA.

LESLIE D. ODOM  
PROFESSIONAL SURVEYOR & MAPPER  
LICENSE No. L58520

NOT VALID WITHOUT THE  
ORIGINAL SIGNATURE  
AND THE SEAL OF A  
FLORIDA LICENSED  
SURVEYOR AND MAPPER

## SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND DESCRIBED HEREIN, THAT SAID LAND HAS BEEN SUBDIVIDED AS INDICATED, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.) HAVE BEEN PLACED AS INDICATED, THAT THE PLAT WAS PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF THE PLAT ACT CHAPTER 177.011-177.151 FLORIDA STATUTES, AND THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61017-6, FLORIDA ADMINISTRATION CODE, SIGNED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK A. NORRIS, P.S.M.  
PROFESSIONAL SURVEYOR & MAPPER  
LICENSE No. 6511, LB No. 7916  
REBOL-BATTLE & ASSOCIATES, LLC  
2301 N. 9TH AVENUE, SUITE 300  
PENSACOLA, FL 32503

NOT VALID WITHOUT THE  
ORIGINAL SIGNATURE  
AND THE SEAL OF A  
FLORIDA LICENSED  
SURVEYOR AND MAPPER

RESTRICTIVE COVENANTS FILED IN OFFICIAL RECORDS BOOK \_\_\_\_ PAGE \_\_\_\_

PLAT BOOK \_\_\_\_, PAGE \_\_\_\_

POINT OF BEGINNING  
NORTHEAST CORNER OF LOT A, BLOCK 3, ABB  
SUBDIVISION (PLAT BOOK 1, PAGE 82) ALSO  
BEING THE INTERSECTION OF THE SOUTH R/W  
LINE OF LANIER DRIVE (66' R/W) AND THE  
WEST R/W LINE OF LANIER DRIVE (66' R/W)

LANIER DRIVE  
(66' PUBLIC RIGHT-OF-WAY)

S 03°13'01" W 199.93'

1' NON-ACCESS EASEMENT

LANIER DRIVE  
(66' PUBLIC RIGHT-OF-WAY)

S 86°55'19" E 105.76'

LOT 1  
5,299-SF

LOT 2  
5,295-SF

LOT 3  
5,300-SF

LOT 4  
5,304-SF

A PORTION OF  
LOT A, BLOCK 3,  
ABB SUBDIVISION  
PLAT BOOK 1, PAGE 82

BEARING REFERENCE  
N 03°15'32" E 200.40'

A PORTION OF  
LOT A, BLOCK 3,  
ABB SUBDIVISION  
PLAT BOOK 1, PAGE 82

## UTILITY SERVICE NOTES:

POTABLE WATER:  
AFTER RECEIVING ALL APPROVALS FROM ECWA AND THE CITY OF  
PENSACOLA, THE DEVELOPMENT WILL CONNECT TO ECWA'S EXISTING SYSTEM.

SANITARY SEWER:  
AFTER RECEIVING APPROVALS FROM ECWA AND THE CITY OF PENSACOLA,  
THE DEVELOPMENT WILL CONNECT TO ECWA'S EXISTING GRAVITY SYSTEM.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:  
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED  
UTILITY COMPANY.

## LEGEND:

- ☒ SET 4"x4" CONCRETE PRM (NUMBER 7916)
- FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)
- FOUND 4"x4" CONCRETE MONUMENT (WITH PUNCH HOLE)
- PRM DENOTES PERMANENT REFERENCE MONUMENT

## GENERAL NOTES:

1. NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF NORTH 03 DEGREES 15 MINUTES 32 SECONDS EAST ALONG THE WEST LINE OF THE SUBJECT PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 8090 AT PAGE 273, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. COPY OF THE RECORD PLAT ABB SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 82 OF SAID PUBLIC RECORDS, DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
2. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.
3. A TITLE COMMITMENT WAS PERFORMED BY FIRST AMERICAN TITLE COMPANY COMPANY, FILE NUMBER: \_\_\_\_\_, ISSUING OFFICE FILE NUMBER: \_\_\_\_\_, WITH AN EFFECTIVE DATE OF SEPTEMBER XX, 2020 AT 8:00 AM, AND PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
4. IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR CITY OF PENSACOLA, COMMUNITY PANEL NUMBER 12033003806, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
5. GRAPHIC SYMBOLS FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, AND UTILITIES MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
6. ALL LOT CORNERS, PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS WILL BE PLACED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA PLAT ACT, CHAPTER 177, SECTIONS 177.011 - 177.151.
7. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
8. ALL DRIVEWAYS AND UTILITIES WILL BE ACCESSED OFF OF LANIER DRIVE.

Department:	Comments:
FIRE	No comments.
PW/E/Surveying	See attached comments from the City Surveyor.
InspSvcs	No comments.
ESP	No comments.
ECUA	The final plat is acceptable to ECUA under the assumption that all water and sewer utilities that are not located within public rights-of-way will be privately owned and maintained. The plat states that these lots will be connecting into ECUA's existing gravity sewer system, however, ECUA GIS maps do not show sewer facilities adjacent to the proposed lots. Projects that propose subdividing land in which the resulting new parcels will abut existing right-of-way should contact ECUA Engineering to evaluate if existing water and sewer facilities are present/sufficient to accommodate the newly created parcels. It is possible the property owner may be required to install new water and sewer facilities to serve the new parcels should the existing facilities not be present or sufficient in size. Please contact the ECUA Engineering Map Room at 850-969-3311 for more information. It may be necessary that the proposed homes tie into sewer via low-pressure or other methods which would conflict with the language on the final plat.
GPW	No comments.
ATT	No comments.
Planning	Lot 1 will have a secondary side setback of 15 feet. The existing building is subject to the Historical Structure Demolition Review process since it was constructed more than 50 years ago.



## Cynthia Cannon

---

**From:** Annie Bloxson  
**Sent:** Friday, September 25, 2020 11:15 AM  
**To:** Cynthia Cannon  
**Subject:** RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Good Morning,

I do not oppose to the Subdivision Preliminary/Final Plat for 7011 Lanier Drive.

Respectfully,

### Annie Bloxson

Fire Marshal

Visit us at [PensacolaFire.com](http://PensacolaFire.com)

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

[abloxson@cityofpensacola.com](mailto:abloxson@cityofpensacola.com)



*Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.*

---

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>

**Sent:** Tuesday, September 22, 2020 11:06 AM

**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Mark Jackson <[MaJackson@cityofpensacola.com](mailto:MaJackson@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T)

## Cynthia Cannon

---

**From:** Diane Moore  
**Sent:** Wednesday, September 23, 2020 1:05 PM  
**To:** Cynthia Cannon  
**Subject:** RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

Cynthia,  
Pensacola Energy has no comment on the plats.

Diane Moore | Gas Distribution Engineer  
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514  
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331  
Email: [dmoore@cityofpensacola.com](mailto:dmoore@cityofpensacola.com)

\*\*\*Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit [Pensacola311.com](http://Pensacola311.com)

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

---

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Tuesday, September 22, 2020 11:06 AM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote <[bradhinote@cityofpensacola.com](mailto:bradhinote@cityofpensacola.com)>; Brian Cooper <[bcooper@cityofpensacola.com](mailto:bcooper@cityofpensacola.com)>; Chris Mauldin <[CMauldin@cityofpensacola.com](mailto:CMauldin@cityofpensacola.com)>; Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>; Derrik Owens <[DOWens@cityofpensacola.com](mailto:DOWens@cityofpensacola.com)>; Diane Moore <[DMoore@cityofpensacola.com](mailto:DMoore@cityofpensacola.com)>; Heather Lindsay <[HLindsay@cityofpensacola.com](mailto:HLindsay@cityofpensacola.com)>; Jonathan Bilby <[JBilby@cityofpensacola.com](mailto:JBilby@cityofpensacola.com)>; Karl Fenner (AT&T) <[KF5345@att.com](mailto:KF5345@att.com)>; Kellie L. Simmons (Gulf Power) <[kellie.simmons@nexteraenergy.com](mailto:kellie.simmons@nexteraenergy.com)>; Leslie Odom <[LOdom@cityofpensacola.com](mailto:LOdom@cityofpensacola.com)>; Leslie Statler <[LStatler@cityofpensacola.com](mailto:LStatler@cityofpensacola.com)>; Mark Jackson <[MaJackson@cityofpensacola.com](mailto:MaJackson@cityofpensacola.com)>; Miriam Woods <[MWoods@cityofpensacola.com](mailto:MWoods@cityofpensacola.com)>; Paul A Kelly (GIS) <[PAKelly@cityofpensacola.com](mailto:PAKelly@cityofpensacola.com)>; Robbie Weekley <[rweekley@cityofpensacola.com](mailto:rweekley@cityofpensacola.com)>; Ryan J. Novota <[RNovota@cityofpensacola.com](mailto:RNovota@cityofpensacola.com)>; Sherry Morris <[SMorris@cityofpensacola.com](mailto:SMorris@cityofpensacola.com)>; Stephen Kennington (AT&T) <[sk1674@att.com](mailto:sk1674@att.com)>  
**Subject:** 7011 Lanier Drive Subdivision Preliminary/Final Plat

Good Morning All,

Please review and comment on the attached request before the Planning Board for a combined preliminary/final subdivision plat for Lanier Place which is located at 7011 Lanier Drive. All comments must be received by Wednesday September 30, 2020.

Thank you,



## Cynthia Cannon

---

**From:** Andre Calaminus <andre.calaminus@ecua.fl.gov>  
**Sent:** Wednesday, September 23, 2020 3:29 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] RE: 7011 Lanier Drive Subdivision Preliminary/Final Plat

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

The final plat is acceptable to ECUA under the assumption that all water and sewer utilities that are not located within public rights-of-way will be privately owned and maintained.

The plat states that these lots will be connecting into ECUA's existing gravity sewer system, however, ECUA GIS maps do not show sewer facilities adjacent to the proposed lots. Projects that propose subdividing land in which the resulting new parcels will abut existing right-of-way should contact ECUA Engineering to evaluate if existing water and sewer facilities are present/sufficient to accommodate the newly created parcels. It is possible the property owner may be required to install new water and sewer facilities to serve the new parcels should the existing facilities not be present or sufficient in size. Please contact the ECUA Engineering Map Room at 850-969-3311 for more information. It may be necessary that the proposed homes tie into sewer via low-pressure or other methods which would conflict with the language on the final plat.

Thanks,

**Andre Calaminus** | Right of Way Agent | Emerald Coast Utilities Authority |  
P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: [www.ecua.fl.gov](http://www.ecua.fl.gov) |  
Phone: (850) 969-5822 | Fax: (850) 969-6511 |

---

**From:** Cynthia Cannon <CCannon@cityofpensacola.com>  
**Sent:** Tuesday, September 22, 2020 11:06 AM  
**To:** Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>  
**Subject:** 7011 Lanier Drive Subdivision Preliminary/Final Plat

**\*\*WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders \*\***

Good Morning All,



## Cynthia Cannon

---

**From:** SAUERS, BRAD <bs5403@att.com>  
**Sent:** Monday, September 28, 2020 4:16 PM  
**To:** Cynthia Cannon  
**Subject:** [EXTERNAL] FW: 7011 Lanier Drive Subdivision Preliminary/Final Plat  
**Attachments:** 2020.081 Boundary for Plat - Signed 09-03-2020.pdf; Final Plat of Lanier Place.PDF; Preliminary Plat of Lanier Place.PDF; APPLICATION.pdf

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

AT&T has no objection.

#### Brad Sauers

Manager – OSP Plng and Eng  
Technology Operations

#### AT&T – Bellsouth Telecommunications, LLC

605 W Garden St, Pensacola, FL 32502  
o 850.436.1495 [bs5403@att.com](mailto:bs5403@att.com)

The information transmitted is intended only for the person or entity to which it is addressed and may contain confidential, proprietary and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you receive this in error, please contact the sender and delete material from all computers.

---

**From:** FENNER, KARL L <kf5345@att.com>  
**Sent:** Tuesday, September 22, 2020 11:11 AM  
**To:** SAUERS, BRAD <bs5403@att.com>  
**Subject:** FW: 7011 Lanier Drive Subdivision Preliminary/Final Plat

#### Karl Fenner

Area Manager – OSP Plng and Eng  
Access Construction & Engineering, AL/NWFL OSPC/E + SER PDT/SOC

#### AT&T – BellSouth Telecommunications, LLC

605 W Garden St, Pensacola, FL 32502  
m 850-393-2318 | o 850.436.1485 | [kf5345@att.com](mailto:kf5345@att.com)

*This e-mail and any files transmitted with it are AT&T property, are confidential, and are intended solely for use by the individual or entity to whom this email is addressed. If you are not one of the named recipient(s) or otherwise have reason to believe that you have received this message in error, please notify the sender and delete this message immediately from your computer. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited.*

---

**From:** Cynthia Cannon <[CCannon@cityofpensacola.com](mailto:CCannon@cityofpensacola.com)>  
**Sent:** Tuesday, September 22, 2020 11:06 AM  
**To:** Amy Hargett <[ahargett@cityofpensacola.com](mailto:ahargett@cityofpensacola.com)>; Andre Calaminus (ECUA) <[andre.calaminus@ecua.fl.gov](mailto:andre.calaminus@ecua.fl.gov)>; Annie Bloxson <[ABloxson@cityofpensacola.com](mailto:ABloxson@cityofpensacola.com)>; Bill Kimball <[bkimball@cityofpensacola.com](mailto:bkimball@cityofpensacola.com)>; Brad Hinote

4 LOT RESID  
LOT A, BLD  
SECT 1  
CITY OF

4 LOT RESIDENTIAL SUBDIVISION REPLAT OF A PORTION OF LOT A, BLOCK 3, ABB SUBDIVISION, PLAT BOOK 1, PAGE 82, SECTION 31, TOWNSHIP 1 SOUTH, RANGE 29 WEST CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA  
SEPTEMBER 2020

**CIVIL ENGINEER**  
**MARK EVAN ROBINSON II, PE**  
**REBOB-BATTLE & ASSOCIATES**

[illegible][illegible]

ALL DRIVEWAYS AND UTILITIES WILL BE ACCESSED OFF OF LAMIER DRIVE

**CITY OF PENSACOLA PROFESSIONAL SURVEYOR AND MAPPER**

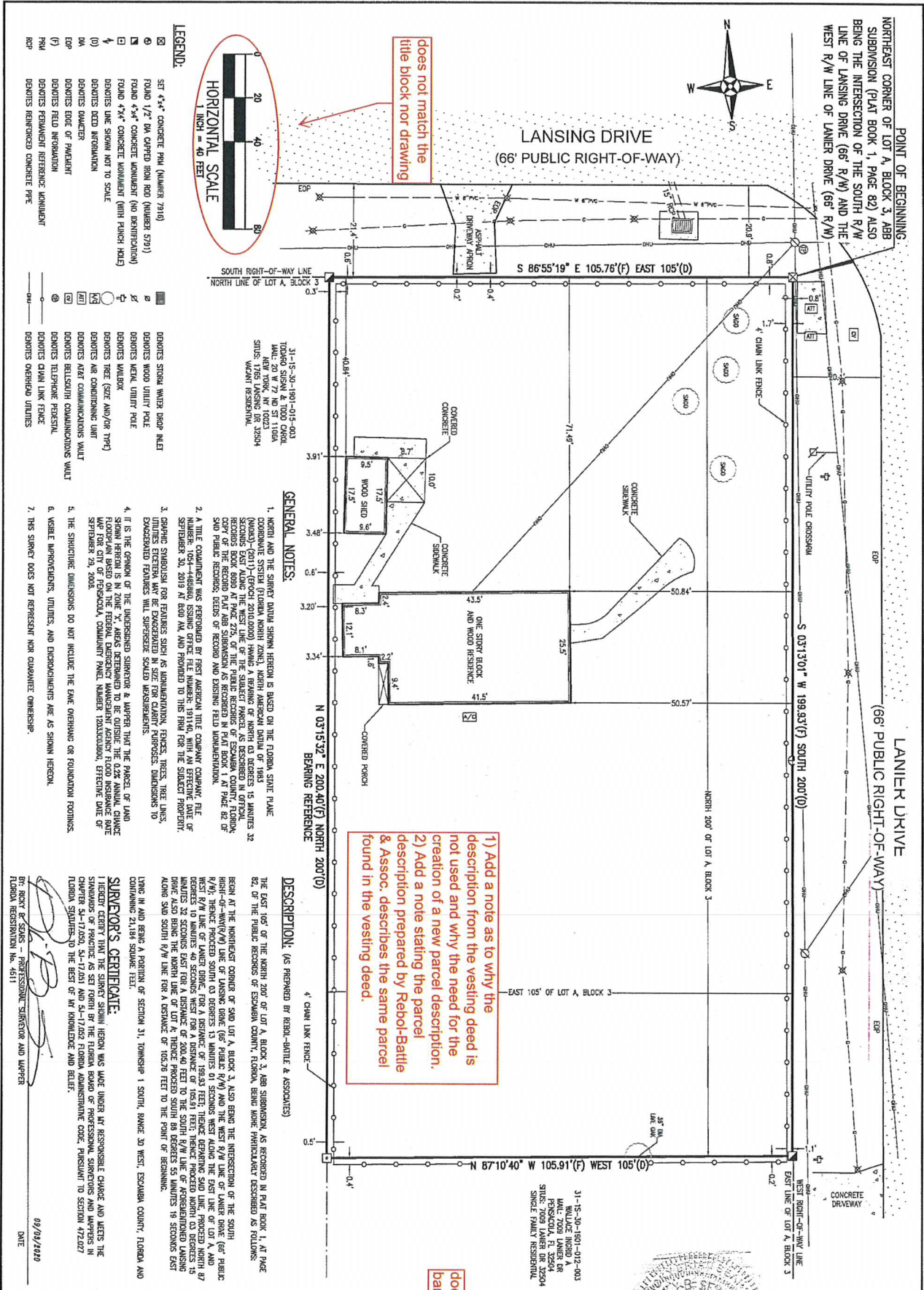
NOT  
b  
SUCH  
OF  
LOCAL  
A

**LIST C. GOOD: PROFESSIONAL SURVEYOR AND MAPPER**  
**LOREN WOOD PHILLIPS AND JAMES**

[illegible]







<b>BOUNDARY SURVEY</b> PREPARED FOR: CARL SPEAR REQUESTED BY: CARL SPEAR DATE: 09/09/2020		PROJECT: 2020.081 DRAWN BY: ANS CHECKED BY: ANS SCALE: 1" = 20' TYPED: 20-09-20-20 PD: 21, 24, 25-23 DATE: 08/01/2020	NO. DATE APPL. REVISION/NOTATION TAKEN 1. 09/09/2020 2. 09/09/2020 3. 09/09/2020 4. 09/09/2020 5. 09/09/2020 6. 09/09/2020 7. 09/09/2020 8. 09/09/2020 9. 09/09/2020 10. 09/09/2020 11. 09/09/2020 12. 09/09/2020 13. 09/09/2020 14. 09/09/2020 15. 09/09/2020 16. 09/09/2020 17. 09/09/2020 18. 09/09/2020 19. 09/09/2020 20. 09/09/2020 21. 09/09/2020 22. 09/09/2020 23. 09/09/2020 24. 09/09/2020 25. 09/09/2020 26. 09/09/2020 27. 09/09/2020 28. 09/09/2020 29. 09/09/2020 30. 09/09/2020 31. 09/09/2020 32. 09/09/2020 33. 09/09/2020 34. 09/09/2020 35. 09/09/2020 36. 09/09/2020 37. 09/09/2020 38. 09/09/2020 39. 09/09/2020 40. 09/09/2020 41. 09/09/2020 42. 09/09/2020 43. 09/09/2020 44. 09/09/2020 45. 09/09/2020 46. 09/09/2020 47. 09/09/2020 48. 09/09/2020 49. 09/09/2020 50. 09/09/2020 51. 09/09/2020 52. 09/09/2020 53. 09/09/2020 54. 09/09/2020 55. 09/09/2020 56. 09/09/2020 57. 09/09/2020 58. 09/09/2020 59. 09/09/2020 60. 09/09/2020 61. 09/09/2020 62. 09/09/2020 63. 09/09/2020 64. 09/09/2020 65. 09/09/2020 66. 09/09/2020 67. 09/09/2020 68. 09/09/2020 69. 09/09/2020 70. 09/09/2020 71. 09/09/2020 72. 09/09/2020 73. 09/09/2020 74. 09/09/2020 75. 09/09/2020 76. 09/09/2020 77. 09/09/2020 78. 09/09/2020 79. 09/09/2020 80. 09/09/2020 81. 09/09/2020 82. 09/09/2020 83. 09/09/2020 84. 09/09/2020 85. 09/09/2020 86. 09/09/2020 87. 09/09/2020 88. 09/09/2020 89. 09/09/2020 90. 09/09/2020 91. 09/09/2020 92. 09/09/2020 93. 09/09/2020 94. 09/09/2020 95. 09/09/2020 96. 09/09/2020 97. 09/09/2020 98. 09/09/2020 99. 09/09/2020 100. 09/09/2020	<b>7011 LANIER DRIVE</b> PENSACOLA, FLORIDA 32504 A PORTION OF SECTION 31 TOWNSHIP 1 SOUTH RANGE 30 WEST COUNTY: ESCAMBA STATE: FLORIDA SINGLE FAMILY RESIDENTIAL 31-15-30-1801-012-003 TOWNSHIP 1 SOUTH RANGE 30 WEST COUNTY: ESCAMBA FLORIDA 32504 SITES: 7001 LANIER DR 32504 SINGLE FAMILY RESIDENTIAL	<b>RBA</b> <b>REBOL-BATTLE &amp; ASSOCIATES</b> CIVIL ENGINEERS AND SURVEYORS 2301 N. Ninth Avenue, Suite 300 Pensacola, Florida 32503 Telephone: 850-438-5000 Fax: 850-438-0448 E-mail: RBA@RBA-FLA.COM
--	--	---	--	--	--



## SUBDIVISION PLAT



### Please Check Application Type:

☒ Minor Subdivision (< 4 lots)

☐ Subdivision (> 4 lots)

☒ Preliminary & Final Plat Submission

☐ Preliminary Plat Submission

☐ Final Plat Submission

Fee: \$2,000.00

Fee: \$1,000.00 + \$25/lot

Fee: \$1,500.00 + \$25/lot

[Resubmittal: 1/2 the initial fee; Rescheduling to Planning Board / City Council: \$250.00]

### Applicant Information

Name: Spetto Properties

Address: 5113 N. Davis Hwy  
Pensacola, FL 32503

Phone: 850-393-6953

Fax: \_\_\_\_\_

Email: chsppear@gmail.com

### Owner Information (if different from applicant)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

### Property Information

Location/Address: 7011 LANIER DRIVE

Subdivision Name: Lanier Place

# of Parcels to be Subdivided: 1 Parcel ID #(s): 31-1S-30-1901-013-003

# of Existing Lots: 1 # of Proposed Lots: 4 Total Acreage: 0.48 ac

Legal Description: Please attach a full legal description from deed or survey

Type of Subdivision: ☒ Residential\* ☐ Non-Residential

[\*If residential, see reverse for open space requirement]

Will a Variance from the Subdivision Regulations be requested for the project (Sec. 12-8-7)? ☐ YES ☐ NO

If yes, specify exact variance requested: \_\_\_\_\_

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval of this plat and that no refund of these fees will be made. Also, I understand that any resubmissions based on non-compliance with City subdivision and/or development requirements will result in one-half (1/2) the initial application fee. I have reviewed a copy of the applicable zoning and subdivision requirements and understand that I must be present on the date of the Planning Board meeting.

**signature and date needed**

Signature of Applicant

(Owner of Property or Official Representative of Owner)

Date

### FOR OFFICE USE ONLY

Zone: \_\_\_\_\_ District: \_\_\_\_\_

Date Received: \_\_\_\_\_ Case Number: \_\_\_\_\_

Application Fee: \_\_\_\_\_ Receipt #: \_\_\_\_\_

Open Space Requirement (acres or \$): \_\_\_\_\_ Receipt #: \_\_\_\_\_

Planning Board Date: \_\_\_\_\_ Recommendation: \_\_\_\_\_

Council Date: \_\_\_\_\_ Action: \_\_\_\_\_

Recording Date: \_\_\_\_\_ Map Bk/Pg: \_\_\_\_\_

***Planning Services Division  
Zoning Review***

Address: 7011 Lanier Drive  
Zoning: R-1AA  
Reviewed: 10/01/2020

1. This property is located within the R-1AA zoning district. The setbacks indicated on the Preliminary and Final Plats are incorrect with respect to Lot 1. Lot 1 will have a secondary side setback of 15 feet.
2. The existing buildings need to be removed. The proposed plat will create non-conforming situations with respect to setbacks and land use: (a) The residence will not comply with the side setbacks; (b) the wood shed will be bisected by a property line.  
Please note: the residence is subject to the Historical Structure Demolition Review process since it was constructed more than 50 years ago. Please consult with Gregg Harding, Historic Preservation Planner, for more information on this process.