



***Gateway Review Board Application
Full Board Review***

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential – \$50.00 hearing fee
- ☐ Commercial – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.

Applicant Signature

Date

***Gateway Review Board Application
Full Board Review***

Procedure for review of plans:

- Plan submission: All development plans, including demolition, must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**
- Review and approval. *All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13.* At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.
- Final development plan. *If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development.* For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.
- Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the Board. This provision is made in an effort to save the applicant and the Board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the Board secretary and chairman, then the matter will be referred to the board for a decision.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

***Gateway Review Board Application
Full Board Review***

Submittal Instructions/Requirements Checklist:

- _____ **One (1) copy of the application form and any support documents which are black & white and on 8.5" x 11" paper;**
- _____ **Eleven (11) copies of all photographs, color drawings/renderings, product literature, over-sized drawings, and color palettes/swatches. Drawings should not exceed 11" x 17".**
- _____ **One (1) pdf of the drawings/renderings; emailed to staff. Please advise staff of security on the file which would prohibit a file size reduction when the e-version of the agenda is compiled.**

Support Documents MUST include:

DRAWINGS:

Drawings are required for both renovations and additions to existing buildings, as well as new construction. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'; the minimum scale for floor plans is 1/8" = 1'; and the minimum scale for exterior elevations is 1/8" = 1'. The scale for other items, such as signs and details, shall be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above to be more reasonably presented. ***Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.***

SITE PLAN:

- Indicate overall property dimensions and building size and location on the property. Indicate relationship of adjacent buildings, if any.
- Indicate layout of all driveways and parking on the site.
- Indicate all fences and signs with dimensions as required to show exact locations. Indicate existing trees and existing and new landscaping.

FLOOR PLAN:

- Indicate locations and sizes of all exterior doors and windows. Indicate all porches, steps ramps and handrails.
- For renovations or additions to existing buildings, indicate all existing conditions and features, as well as the revised conditions and features and the relationship of both.

EXTERIOR ELEVATIONS:

- Indicate all four elevations of the exterior of the building.
- Indicate the relationship of this project to adjacent structures, if any.
- Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
- Indicate exterior wall materials, including type of materials, dimensions, architectural elements and colors. Provide color swatches.
- Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.

Gateway Review Board Application
Full Board Review

- Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, and color.
- Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashings, and color.
- Indicate all signs, whether they are building mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.

PHOTOGRAPHS:

RENOVATIONS/ADDITIONS TO EXISTING BUILDINGS:

- Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the “street scape” that is in the immediate vicinity and all adjacent buildings should be supplied.
- If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered or replaced.
- Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.

NEW CONSTRUCTION:

- Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
- Provide photographs of the adjoining “street scape”, including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.

DESCRIPTIVE PRODUCT LITERATURE/BROCHURES:

- Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
- Provide samples or descriptive literature on roofing material and trim to augment the information on the drawings. The information must indicate dimensions, details, material, color, and style.
- Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing, and color.

Date: Friday, September 11, 2020

Project: **ARAGON MAILBOX PAVILION**
Aragon Community Garden
Pensacola, FL 32502

Recipient: **Planning Review Board**

Existing Site Conditions



View of Existing Shed and garden from Aragon Street



Existing Mailboxes and gate



View of Existing Shed (to remain) and Gate

Renderings



View from Park



View from Shed Area Entrance



View from Mailbox Area Entrance



View from Aragon Street

Exterior Color Schedule

<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>COLOR</u>
EXTERIOR SIDING	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
EXTERIOR TRIM	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
ROOF (Match Existing)	N/A	N/A
EAVES AND SOFFITS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
ROOF STRUCTURE	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
FASCIAS	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
COLUMN	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"
COLUMN TRIM	SHERWIN-WILLIAMS	SW6440 "COURTYARD"
FLASHING	PRE-FINISHED ALUMINUM	CHARCOAL GRAY
PERGOLA STRUCTURE	SHERWIN-WILLIAMS	SW7005 "PURE WHITE"

SW 7005
Pure White
Interior / Exterior
Locator Number: 255-C1



SW 6440
Courtyard
Interior / Exterior
Location Number: 156-C7



ROOF (MATCH EXISTING)

EXTERIOR LIGHT FIXTURE

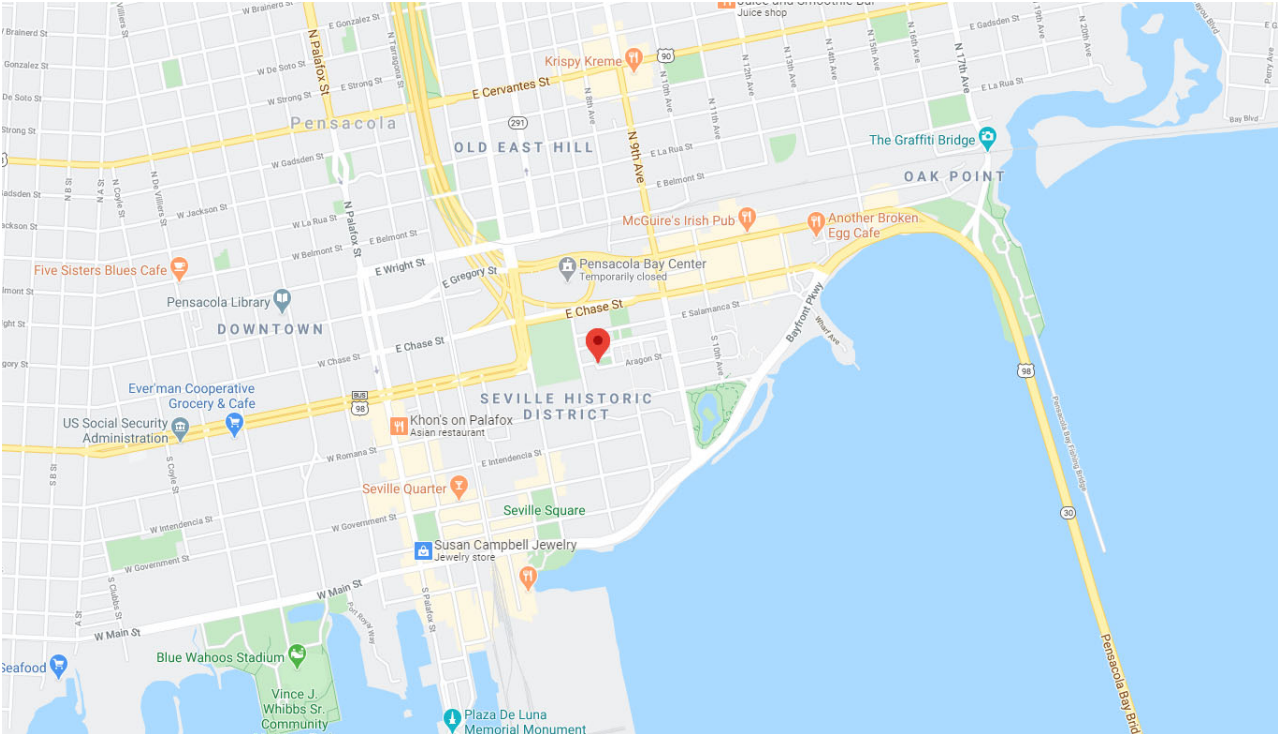
BEVOLO FRENCH QUARTER YOKE PENDANT



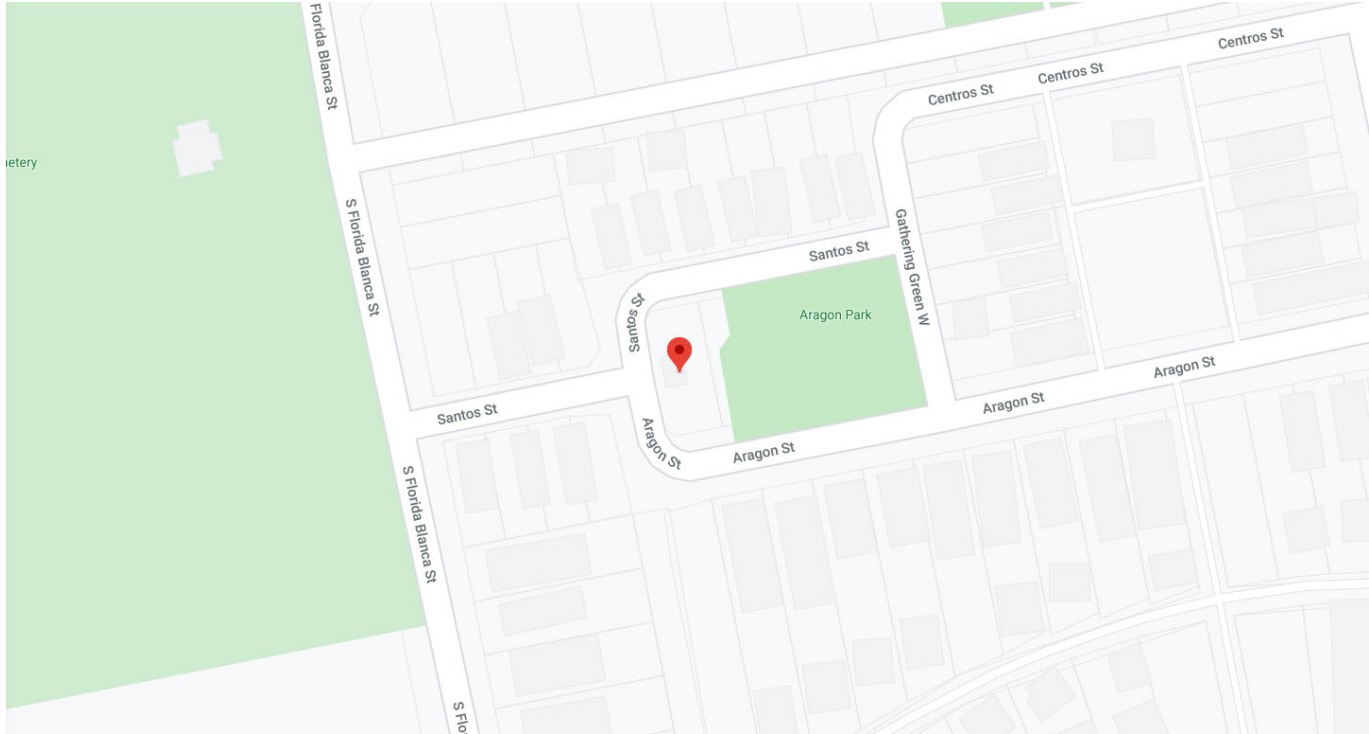
Aragon Mailbox Pavilion

Pavilion shelter for the existing mailbox area in the Aragon Community

Aragon Community Garden



VICINITY MAP



SITE MAP

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Structural		
S001	STRUCTURAL NOTES AND DIAGRAMS	
Architectural		
A101	DEMO, FRAMING & NEW WORK PLANS	
A201	ELEVATIONS, BUILDING & WALL SECTIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

BUILDING DATA

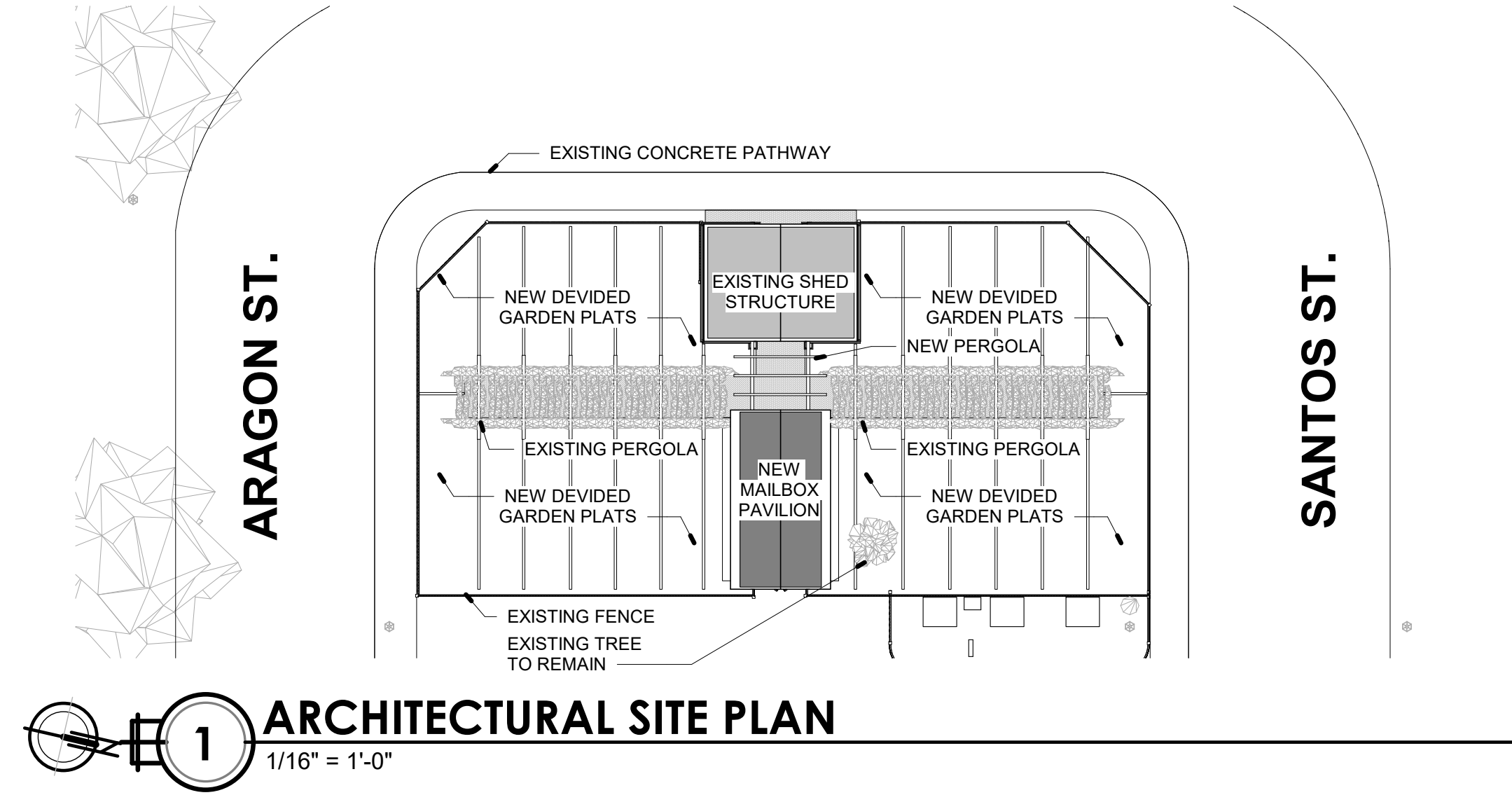
APPLICABLE CODES:
2017 FLORIDA BUILDING CODE, COMMERCIAL
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
COMMERCIAL (U) - UTILITY/MISCELLANEOUS

FLOOD ZONE: X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 12'-8"
NO. OF STORIES: 1



NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

ELEVATION REFERENCES		ANNOTATION REFERENCES	
	ELEV. NO. INTERIOR ELEVATION REFERENCE		WALL TAG REFERENCE WALL TYPE STC FIRE RATING
	DETAIL NO. EXTERIOR ELEVATION REFERENCE		DOOR NUMBER REFERENCE
	SHEET NO.		WINDOW TYPE
	DETAIL NO. DETAIL REFERENCE		DATUM ELEVATION
	SHEET NO.		CENTERLINE
	BUILDING SECTION REFERENCE		COLUMN GRID NUMBER
			ROOM TAG
			CEILING HEIGHT - ABOVE FIN. FLOOR
			REVISION NUMBER REFERENCE
			REVISION NO.



dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

Aragon Mailbox Pavilion

Aragon Community Garden

DRAWN BY:
LBW

CHECKED BY:
JSS

ISSUE DATE:
9/11/2020

REVISIONS:
No. Desc. Date

SHEET TITLE:
TITLE SHEET

SHEET NO.:
G001

PROJECT NO:
20035

PROJECT LOCATION

Notes:

1. Values are minimal design 3-second gust wind speeds in miles per hour (m/s) at 33 ft (10m) above ground for Exposure C category.
2. Linear interpolation between contours is permitted.
3. Islands and coastal areas outside the last contour shall use the last wind speed contour of the coastal area.
4. Mountainous terrain, gorges, ocean promontories, and special wind regions shall be examined for unusual wind conditions.
5. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (Annual Exceedance Probability = 0.005, MRE = 700 years).

Notes:

1. Values are nominal design 3-second gust wind speeds in miles per hour (m/s) at 35 ft (10m) above ground for Exposure C category.
2. Linear interpolation between contours is permitted.
3. Islands and coastal areas outside the contour shall use the last wind speed contour of the coastal area.
4. Mountainous terrain, gorges, ocean promontories, and special wind regions shall be examined for unusual wind conditions.
5. Wind speeds correspond to approximately a 70% probability of exceedence in 50 years (Annual Exceedence Probability = 0.00143, $MRI = 700$ years).

(3)	(2)	(3)	(3)	(2)	(3)
(2)	(1)	(2)	(2)	(1)	(2)
(3)	(2)	(3)	(3)	(2)	(3)

A 3x3 grid with numbers in the cells and arrows indicating a path from the center to the corners. The numbers are: (1,1)=3, (1,2)=2, (1,3)=3, (2,1)=2, (2,2)=2, (2,3)=2, (3,1)=2, (3,2)=1, (3,3)=2. Arrows point from the center (2,2) to the corners (1,1), (1,3), (3,1), and (3,3).

Component and Cladding Ultimate Wind Pressures				
Roof	Area	Surface Pressure (psf)		
		10 sf	50 sf	100 sf
Negative Zone 1		-53.9	-49.0	-46.9
Negative Zone 2		-60.8	-56.0	-53.9
Negative Zone 3		-60.8	-56.0	-53.9
Positive All Zones		50.4	48.0	46.9
Overhang Zone 2		-69.5	-64.7	-62.6
Overhang Zone 3		-69.5	-64.7	-62.6
Wall	Area	Surface Pressure (psf)		
		10 sf	100 sf	500 sf
Negative Zone 4		-57.4	-51.2	-46.9
Negative Zone 5		-67.8	-55.5	-46.9
Positive Zone 4 & 5		53.9	47.7	43.4

NOTE:
ALL EDGES OF WALL SHEATHING ARE BLOCKED. ALL EDGES
OF ROOF SHEATHING ARE BLOCKED IN ZONES 2 AND 3 ONLY.
ORIENT WALL SHEATHING HORIZONTALLY. ROOF SHEATHING
SHALL BE FASTENED W/ RING SHANK NAILS.

SHEATHING NAILING REQUIREMENTS			
ZONE	NAIL SIZE	SPACING	LOCATION
1	8d	6"	PERIMETER
	8d	6"	FIELD
2	8d	4"	PERIMETER
	8d	8"	FIELD
3	8d	4"	FIELD & PERIMETER
	8d	6"	PERIMETER
4	8d	10"	FIELD
	8d	6"	PERIMETER
5	8d	6"	FIELD
	8d	4"	FIELD & PERIMETER
OVERHANG	8d	4"	FIELD & PERIMETER

ULTIMATE WIND PRESSURE TABLE NOTES:

LINEAR INTERPOLATION FOR INTERMEDIATE VALUES OF EFFECTIVE AREAS IS ACCEPTABLE. OTHERWISE, USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

ULTIMATE WIND LOAD PRESSURES ARE FOR USE IN LOAD COMBINATIONS LISTED IN FBC 2017 AND ASCE 7-16. THESE COMBINATIONS ARE LISTED IN FBC SECTION 1605 AND INCLUDE A WIND LOAD FACTOR OF 0.6 USING ALLOWABLE STRESS DESIGN. THEREFORE, ULTIMATE PRESSURES LISTED IN THE LOAD TABLE MAY BE REDUCED 40% WHEN USING ALLOWABLE STRESS DESIGN. REDUCED LOADS ARE THE "WORKING LOADS."

1. TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
2. THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
3. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
4. REVISIONS ARE IDENTIFIED BY REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

DESIGN LOADS AND CRITERIA:

A.	ROOF LIVE LOAD	20 PSF
	ROOF DEAD LOAD	10 PSF
B.	WIND CRITERIA	FBC 2017 ASCE 7-10
	RISK CATEGORY:	II
	BASIC WIND SPEED	160 MPH ULTIMATE (3 SECOND GUST) 124 NOMINAL
	EXPOSURE CATEGORY	C
	STRUCTURE TYPE	OPEN BUILDING
	INTERNAL PRESSURE COEFF.	+/- 0.00

1. OSB IS NOT CONSIDERED AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD SHEATHING.
2. ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR EXPOSED TO EXTERIOR ELEMENTS AND LEFT UNFINISHED SHALL BE PRESSURE TREATED.
3. DO NOT PAINT PRESSURE TREATED WOOD WHEN MOISTURE CONTENT IS ABOVE 19%.
4. ALL STRUCTURAL GRADE LUMBER SHALL BE SOUTHERN YELLOW PINE, NO. 2 GRADE OR BETTER.
5. NOTCHES ON THE ENDS OF JOISTS SHOULD NOT EXCEED ONE FOURTH OF THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST. AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF THE JOIST SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
6. JOISTS SHALL BE SUPPORTED LATEROALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF A JOIST ARE NAILED TO A HEADER, BAND OR RM JOIST OR TO AN ADJOINING STUD OR BY OTHER MEANS. BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND THE FULL DEPTH OF THE JOIST.

CONNECTIONS:

- MAIN BEAM - 1910# UPLIFT
- SIDE BEAM - 637# UPLIFT

1. NOTCH AND BOLT (NOTCH LESS THAN 50%) (2) 3/4" A307 GALV THRU BOLTS - 1/4" STEEL PLATE W/BOLTS IF POST NOTCHED MORE THAN 50%
2. MISC COLUMN CAPS

RAFTER TO LOWER BEAM (#650 UPLIFT CONNECTION NEED) (.6DL +.6W):

1. SIMPSON H10A-2
2. (2) SIMPSON SDWC15600 (HIDDEN OPTION) (INSTALL PER MANUFACTURER -
DETAIL ATTACH SIMILAR)

RAFTER TO RIDGE BEAM CONNECTION (205# UPLIFT CONNECTION NEED) (.6DL+.6W):

1. SIMPSON HU46 SLOPED SEAT HANGER (BEAM FLUSH)
2. MISC ANGLE CONNECTIONS
3. IF BEAM DROPPED BELOW: SIMPSON H2.5a, H10A OR SIMPSON SDWC15600

FOUNDATION UNKNOWN; FIXED CONNECTION REQUIRED TO ADEQUATE
FOUNDATION FOR ALL MEMBER AND CONNECTIONS ABOVE TO BE ADEQUATE

1. LVL BEAMS SHALL BE MANUFACTURED BY APA MEMBER MANUFACTURER TO APA SPECS.
2. USE LVLs CONFORMING TO ASTM D 5456 AND ABLE TO WITHSTAND THE DESIGN LOAD INDICATED. REFER TO STRUCTURAL PLANS FOR SIZING. LENGTH AS REQUIRED FOR SPAN AND BEARING.
3. DO NOT STORE ENGINEERED WOOD PRODUCTS IN DIRECT CONTACT WITH THE GROUND. STACK FLATWISE.
4. MINIMUM BEARING LENGTH: 3", ENDS: 3", INTERMEDIATE.
5. LVL BEAMS SHALL HAVE MINIMUM ALLOWABLE STRESSES AS FOLLOWS:

ALLOWABLE BENDING STRESS:	Fb=2600 PSI
COMPRESSION - 4 TO GRAIN:	Fc= 700 PSI
COMPRESSION TO GRAIN:	Fc = 1000 PSI
MODULUS OF ELASTICITY:	E=1,800,000 PSI
MODULUS OF SHEAR:	Fv=285 PSI

1. ALL MASONRY WORK IS TO CONFORM TO ACI 530 AND 530.1.
2. USE CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. PROVIDE f_m OF 1500 PSI (UNIT STRENGTH 1900 PSI). PERFORM f_m AND C90 COMPLIANCE BY UNIT TEST METHOD. USE ONLY MASONRY UNITS THAT ARE A MIN. OF 50% OF SOLID.
3. USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270. USE 3/8" FULL-BEDDED JOINTS. FOR ALL MASONRY UNITS. REMOVE MORTAR PROTRUDING INTO CELL CAVITIES THAT ARE TO BE REINFORCED AND GROUTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR TO CURE BEFORE PLACING GROUT.
4. USE ALL GROUT CONFORMING TO ASTM C-476 WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, TESTED IN ACCORDANCE WITH ASTM C1019. AGGREGATE TO CONFORM TO ASTM C404 FOR COARSE GROUT AND SLUMP OF 8" TO 11".
5. FOR REINFORCED MASONRY USE STANDARD (9 GAGE CROSS AND SIDE RODS) LADDER TYPE HORIZONTAL JOINT REINFORCING IN EVERY OTHER COURSE UNLESS NOTED OTHERWISE. USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISCONTINUOUS ENDS A MIN. OF 12". HORIZONTAL REINFORCING SHALL CONFORM TO ASTM A-82.
6. USE ASTM A-615 GRADE 40 REINFORCING STEEL.
7. USE PRESSURE-TREATED WOOD FOR ALL WOOD IN CONTACT WITH MASONRY.

1. FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF FOR FOOTINGS.
2. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
5. COMPACTED FILL UNDER SLABS, CONCRETE APRONS, PATIO PAVERS, AND OTHER NON-PERVIOUS SURFACES TO RECEIVE AN APPROVED TERMITES TREATMENT PER FBC 2304.12.

1. USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI-318 AND 301 AND PROPORTION CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MIN. ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

• FOOTING	3000 PSI
• GRADE BEAMS	3000 PSI
• POURED WALLS	5000 PSI ***
• COLUMNS	5000 PSI ***
• BEAMS & ELEVATED SLABS	5000 PSI ***
• ALL OTHER CONCRETE	5000 PSI ***
*** UNLESS NOTED OTHERWISE	
2. WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE, USE CONCRETE CONTAINING A SUPERPLASTICIZER IN R/W ADMIXTURE. ASTM C494 TYPE F. SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7" +/-.
- IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 2 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP. UNLESS PRE-APPROVED BY ARCHITECT, TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END.
4. USE ASTM A-615 GR. 60 REINFORCING STEEL IN ALL RESIDENTIAL WORK & GR. 60 REINFORCING STEEL IN ALL COMMERCIAL WORK, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPlice FOR CONTINUOUS BARS, UNLESS NOTED OTHERWISE. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS NOTED OTHERWISE. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS: .

	<u>BOTTOM</u>	<u>TOP</u>	<u>SIDES</u>
FOOTING/PILECAP	3"	2"	3"
BEAMS (U.O.N.)	1 1/2"	1 1/2"	1 1/2"
COLUMNS	-	-	1 1/2"
SLABS ON GROUND	2"	1"	2"
SLABS (OTHER THAN ON GROUND)	1"	1"	1"
POURED WALLS RETAINING FILL	-	-	2"
POURED WALLS ABOVE GROUND	-	-	1 1/2"

5. USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL SHEET FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES. PROVIDE ALL PIPES THROUGHOUT INDIVIDUALLY AND EQUALLY.
6. APPROVED BY ARCHITECT, WHERE PIPES OR DUCTS PENETRATE SLABS, A MAX. OF TWO BARS EACH WAY MAY BE CUT, PROVIDED SPlice BARS ARE PLACED ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-BAR-DIA. LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDUITS IN SLABS IN ACCORDANCE WITH ACI-318 CH. 6.3. PROVIDE 18 X 6 EACH WAY PLACED DIAGONALLY AT MID-DEPTH ALONG ALL OPENINGS LARGER THAN 12", U.O.N.

THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF SPECIFICATIONS.

REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITH NO COMMENT.

IN ACCORDANCE WITH THE SPECIFICATIONS, SUBMIT A COPY OF THE SHOP DRAWING SUBMITTAL REGISTER TO THE STRUCTURAL ENGINEER, SHOWING DATES OF SUBMITTAL FOR EACH SPECIFIC STRUCTURAL SECTION OF THE WORK, CONSISTENT WITH THE FOLLOWING CRITERIA

A. ALL AT ADEQUATE TIME FOR TRANSMITTAL AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 WORKING DAYS OF RECEIPT BY THEM.

B. SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.

C. SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.

ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL. IT DOES NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.

SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED AND WILL BE RETURNED WITHOUT COMMENT.

RESPONSIBILITIES OF DETAILERS AND FABRICATORS:

A. GENERAL-SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWING.

B. CONCRETE REINFORCING DETAILER- PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BEARING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.

- CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE CONTROL JOINTS, EXPANSION JOINTS, UNITS.
- CONCRETE BOND BEAMS, AND OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, PILASTERS.
- CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
- CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST CLEARLY BE SHOWN.
- CLEARLY SHOW ELEVATIONS, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS.
- CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
- CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.

FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, SEE BELOW.

DEFINITION -

A. A FLORIDA REGISTERED PROFESSIONAL ENGINEER WHO SPECIALIZES IN ARCHITECTURE AND WHO UNDERTAKES THE DESIGN OF STRUCTURAL COMPONENTS AND/OR STRUCTURAL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT.

B. SHALL BE:

1. AN EMPLOYEE OR OFFICER OF A FABRICATOR.
2. AN EMPLOYEE OR OFFICER OF AN ENTITY SUPPLYING COMPONENTS TO A FABRICATOR.
3. AN INDEPENDENT CONSULTANT RETAINED BY THE FABRICATOR OR HIS SUPPLIER.

THE FOLLOWING SYSTEMS AND COMPONENTS AS A MINIMUM REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A SPECIALTY ENGINEER: PRE-ENGINEERED WOOD ROOF TRUSSES, THE SPECIALTY ENGINEER OR MANUFACTURER SHALL DESIGN, PROVIDE, AND INSTALL THEIR COMPONENTS AND THE COMPONENT CONNECTIONS TO THE PRIMARY STRUCTURE PER THE WIND CRITERIA STATED IN THE GENERAL NOTES ON THIS SHEET OR THE CURRENT GOVERNING BUILDING CODES, WHICH EVER IS MORE STRINGENT.

SUBMITTAL SHALL CLEARLY IDENTIFY THE SPECIALTY PROJECT AND APPLICABLE CODES, LIST THE DESIGN CRITERIA, AND SHOW ALL DETAILS AND PLANS NECESSARY FOR PROPER FABRICATION AND INSTALLATION. CALCULATIONS AND SHOP DRAWINGS SHALL IDENTIFY SPECIFIC PRODUCT UTILIZED. GENERIC PRODUCTS WILL NOT BE ACCEPTED.

THE SHOP DRAWINGS AND CALCULATIONS MUST BE PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE SPECIALTY ENGINEER. SHOP DRAWINGS AND CALCULATIONS REQUIRE THE EMBOSSED SEAL, DATE AND SIGNATURE OF THE SPECIALTY ENGINEER. COMPUTER PRINTOUTS ARE AN ACCEPTABLE SUBSTITUTE FOR MANUAL COMPUTATIONS PROVIDED THEY ARE ACCOMPANIED BY SUFFICIENT DESCRIPTIVE INFORMATION TO PERMIT THE PROPER EVALUATION. SUCH DESCRIPTIVE INFORMATION SHALL BEAR THE EMBOSSED SEAL AND SIGNATURE OF THE SPECIALTY ENGINEER AS AN INDICATION THAT HE HAS ACCEPTED RESPONSIBILITY FOR THE RESULTS. SEPAS DO NOT REQUIRE SIGNATURE AND SEAL. THE ARCHITECT WILL RETAIN ONE SIGNED AND SEALED BLUELINE PRINT FOR RECORD.

CATALOG INFORMATION ON STANDARD PRODUCTS DOES NOT REQUIRE THE SEAL OF A SPECIALTY ENGINEER.

REVIEW BY THE ARCHITECT OF SUBMITTALS IS LIMITED TO VERIFYING THE FOLLOWING:

- A. THAT THE SPECIFIED STRUCTURAL SUBMITTALS HAVE BEEN FURNISHED.
- B. THAT THE STRUCTURAL SUBMITTALS HAVE BEEN SIGNED AND SEALED BY THE SPECIALTY ENGINEER.
- C. THAT THE SPECIALTY ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND HAS USED THE SPECIFIED STRUCTURAL CRITERIA. (NO DETAILED CHECK OF CALCULATIONS WILL BE MADE.)
- D. THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)

A LIST SHALL BE PREPARED AND MAINTAINED BY THE CONTRACTOR FOR ALL SHOP DRAWINGS REQUIRING PARTICIPATION OF A SPECIALTY ENGINEER. THE LIST SHALL CONTAIN PROJECT NAME, NAME OF CONTRACTOR, NAME OF SUBCONTRACTOR, NAME OF SPECIALTY ENGINEER, DRAWING NUMBER, DRAWING TITLE AND THE LATEST REVISION NUMBER AND DATE. FOR PARTIAL SUBMITTALS THE LIST SHALL CONTAIN ALL ANTICIPATED DRAWING NUMBERS AND TITLES REQUIRED TO COMPLETE THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE LATEST UPDATED LIST OF DRAWINGS WITH EACH SUBMITTAL.

SUBMITTALS NOT MEETING THE ABOVE CRITERIA WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS



**NOT FOR
CONSTRUCTION**

Aragon Mailbox Pavilion

Aragon Community Garden

DRAWN BY: LBW	CHECKED BY: JSS
------------------	--------------------

ISSUE DATE:
9/11/2020

REVISIONS		
No.	Des.	Date

HEET TITLE:

STRUCTURAL NOTES AND DIAGRAMS

HEET NO:

S001

PROJECT NO:
20035

1. CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

1. CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

1. FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT) IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS.
2. CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.
3. CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
4. CONDUIT MATERIAL SHALL BE AS FOLLOWS:
 - A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 - B) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 - C) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE.
 - D) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
 - E) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ROMEX.
 - F) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB - INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.

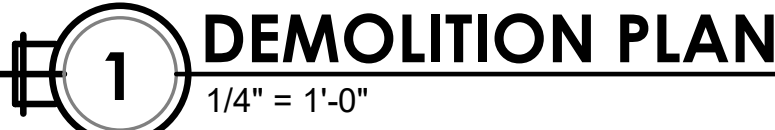
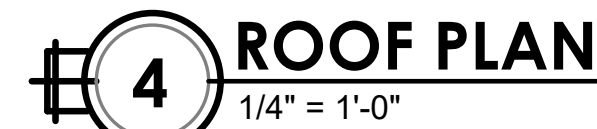
1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.
2. ELECTRICAL CONTRACTOR SHALL COORDINATE W/ GULF POWER, TO ENSURE THE OWNERS DESIRED AESTHETIC, COMPLETE AND OPERABLE SERVICE.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.
4. THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE MANUFACTURER'S LISTED VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
5. COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC., WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
6. VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SCHEDULING.
7. WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.

1. **ALL LOW VOLTAGE WIRING AND BOXES BY INTEGRATED SURROUNDINGS.**
2. ROUTE LIGHT FIXTURE SWITCH LEGS TIE TO DIGITAL KEY PADS AS HOME RUNS TO CLOSET SHOWER AT SOUTH WEST CORNER OF GROUND FLOOR.
3. TWO SWITCHES ARE SHOWN, PROVIDE SINGLE POLE COMBINATION DECORATOR LIGHT SWITCH - WHITE
4. ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE CENTER OF THE BOX.
5. VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PROVIDED DRAWING.
6. RECEPTACLES, SWITCHES AND COVER PLATES SHALL BE DECORATOR STYLE. COLOR SHALL BE WHITE.
7. WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.
8. RECEPTACLE SPACING MUST BE PER NEC.
9. ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.
10. SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

\$ SWITCH
 \$3 3-WAY SWITCH
 PENDANT LIGHT FIXTURE



1. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT
2. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.



1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.



NUMBER	TEXT
02.01	EXISTING WOOD GATETO REMAIN
02.02	EXISTING WOOD FENCE TO REMAIN
02.03	EXISTING WOOD PERGOLA STRUCTURE
03.01	EXISTING 4" THICK TYPICAL CONCRETE SLAB.
03.17	EXISTING STAMPED AND PAINTED CONCRETE PATHWAY
04.01	8" NORMAL WEIGHT CMU WALL WITH BRICK VENEER WITH 1" AIR GAP, PROVIDE MASONRY ANCHORS AT 16" o.c. EACH WAY; WITH BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.12	8" NORMAL WEIGHT CMU WALL WITH FULLY GROUTED CELLS; TYPICAL
05.15	SIMPSON 110GA-2 TYPICAL @ALL RAFTER/BEAM CONNECTIONS
05.16	SIMPSON HU46 SLOPED SEAT HANGER (BEAM FLUSH); TYPICAL @ALL RAFTER TO RIDGE BEAM CONNECTIONS
06.01	EXISTING 12"x12" SOLID WOOD COLUMNS CUT DOWN TO NEW HEIGHT (SEE ELEVATION); PAINT AND TRIM TO MATCH EXISTING; TYPICAL
06.41	2x4 WOOD STUD WALL WITH PAINTED VERTICAL 1x4 SIDING TO MATCH EXISTING SHED STRUCTURE; VERIFY COLOR WITH OWNER
06.48	(3) 2x12 SYP P.T. RIDGE BEAM
06.64	(2) SISTERED PT 2x8 WOOD PERGOLA; PAINT WITH SOLID-BODY STAIN
06.68	4x4 #2 SYP P.T. RAFTERS; SPACING 30" O/C; PAINT WITH SOLID BODY STAIN
06.70	(3) 2x12 SYP P.T. BEAM; PAINT WITH SOLID BODY STAIN
06.71	WOOD GARDEN DIVIDERS PLACED IN GARDEN BEDS
06.72	EXISTING 12x12 SOLID WOOD COLUMN; VERIFY HEIGHT IS CONSISTENT WITH ELEVATION
6.80	
06.80	VERTICAL 6x6 #2 SYP P.T. POST CUT DOWN TO 5x6; PAINT WITH SOLID BODY STAIN
07.02	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT ON 2x4 FRAMING SLOPED @1/4"1/12"; TYPICAL
07.09	PAINTED COMPOSITE SOFFIT; TYPICAL
26.06	EXTERIOR PENDANT; SEE RCP

1. OSB IS NOT AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD

DASHED LINE REPRESENTS ROOF PERIMETER AND ROOF RIDGES, HIPs, AND VALLEYS

PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE

LOAD BEARING WALLS BELOW

BEAM

LOCATE STUD PACKS DIRECTLY BELOW BEAM BEARINGS UNLESS NOTED OTHERWISE

LOCATE STUD PACK DIRECTLY UNDER GIRDER TRUSS BEARINGS UNLESS NOTED OTHERWISE

GIRDER TRUSS

HEADER OR BOX BEAM WITH STUD PACK SUPPORT EACH SIDE UNLESS NOTED OTHERWISE. SEE DETAIL FOR TYPICAL CONNECTION



503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND
UN-PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT WRITTEN CONSENT OF
THE FIRM'S PRINCIPALS



CERTIFICATION

**NOT FOR
CONSTRUCTION**

Aragon Mailbox Pavilion

Aragon Community Garden

DRAWN BY:	CHECKED BY:
LBW	JSS

ISSUE DATE:
9/11/2020

REVISIONS		
No.	Des.	Date

SHEET TITLE:
**DEMO,
FRAMING &
NEW WORK
PLANS**

SHEET NO: _____

A101

PROJECT NO:
20035

KEYNOTE LEGEND	
NUMBER	TEXT
02.01	EXISTING WOOD GATE TO REMAIN
02.02	EXISTING WOOD FENCE TO REMAIN
02.03	EXISTING WOOD PERGOLA STRUCTURE
02.04	EXISTING STRUCTURE BEYOND
03.01	EXISTING 4" THICK TYPICAL CONCRETE SLAB
03.17	EXISTING STAMPED AND PAINTED CONCRETE PATHWAY
04.01	8" NORMAL WEIGHT CMU WALL WITH BRICK VENEER WITH 1" AIR GAP. PROVIDE MASONRY ANCHORS AT 16" O.C. EACH WAY. WITH BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.05	BRICK VENEER. PROVIDE MASONRY ANCHORS AT 16" O.C. EACH WAY. WEEP SLOTS @ 32" O.C. TYPICAL

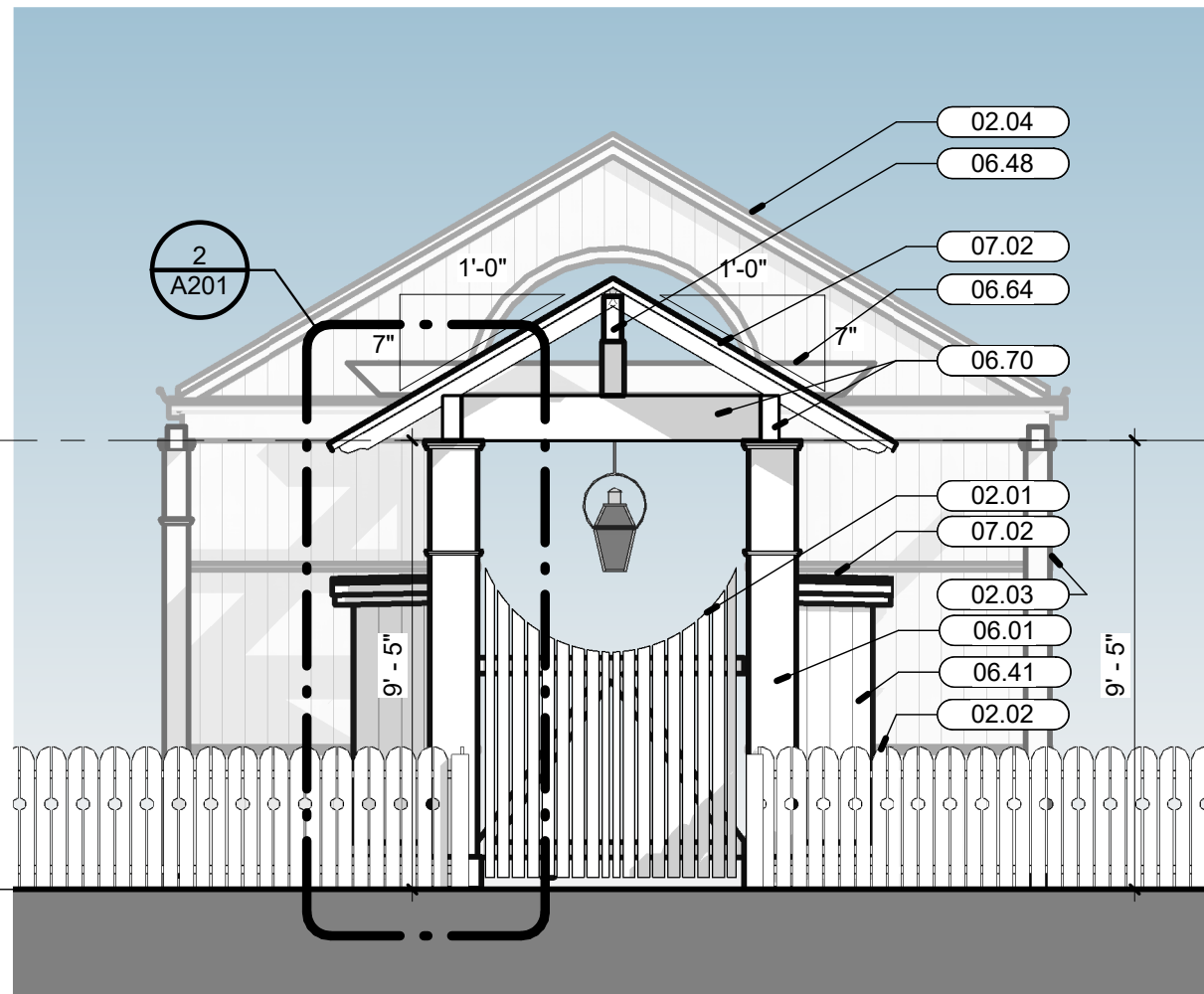
KEYNOTE LEGEND	
NUMBER	TEXT
04.07	BRICK ROWLOCK COURSE; TILT 30 DEGREES MINIMUM FOR DRAINAGE; TYPICAL
04.12	8" NORMAL WEIGHT CMU WALL WITH FULLY GROUTED CELLS; TYPICAL
05.02	1/2" ANCHOR BOLTS W/ MIN. 8" EMBEDMENT; TYPICAL
05.13	STRUT ATTACHMENT FOR PRE-MANUFACTURED MAILBOX ASSEMBLY
06.01	EXISTING 12"x12" SOLID WOOD COLUMNS CUT DOWN TO NEW HEIGHT (SEE ELEVATION); PAINT AND TRIM TO MATCH EXISTING; TYPICAL
06.06	LIQUID-APPLIED MOISTURE BARRIER OVER 1/2" PLYWOOD SHEATHING; TYPICAL
06.07	5/8" PLYWOOD ROOF DECKING; TYPICAL

KEYNOTE LEGEND	
NUMBER	TEXT
06.20	2x4 WOOD STUDS @ 16" O.C.; TYPICAL
06.36	PAINTED 1/2" PLYWOOD WALL SHEATHING; TYPICAL
06.41	PT 2x4 WOOD STUD WALL WITH PAINTED VERTICAL 1x4 SIDING TO MATCH EXISTING SHED STRUCTURE; VERIFY COLOR WITH OWNER
06.48	(3) 2x12 SYP P.T. RIDGE BEAM
06.61	2x NAILER (NON-STRUCTURAL)
06.64	(2) SISTERED PT 2x8 WOOD PERGOLA; PAINT WITH SOLID-BODY STAIN
06.68	4x4 #2 SYP P.T. RAFTERS; SPACING 30" O/C; PAINT WITH SOLID BODY STAIN
06.70	(3) 2x12 SYP P.T. BEAM; PAINT WITH SOLID BODY STAIN

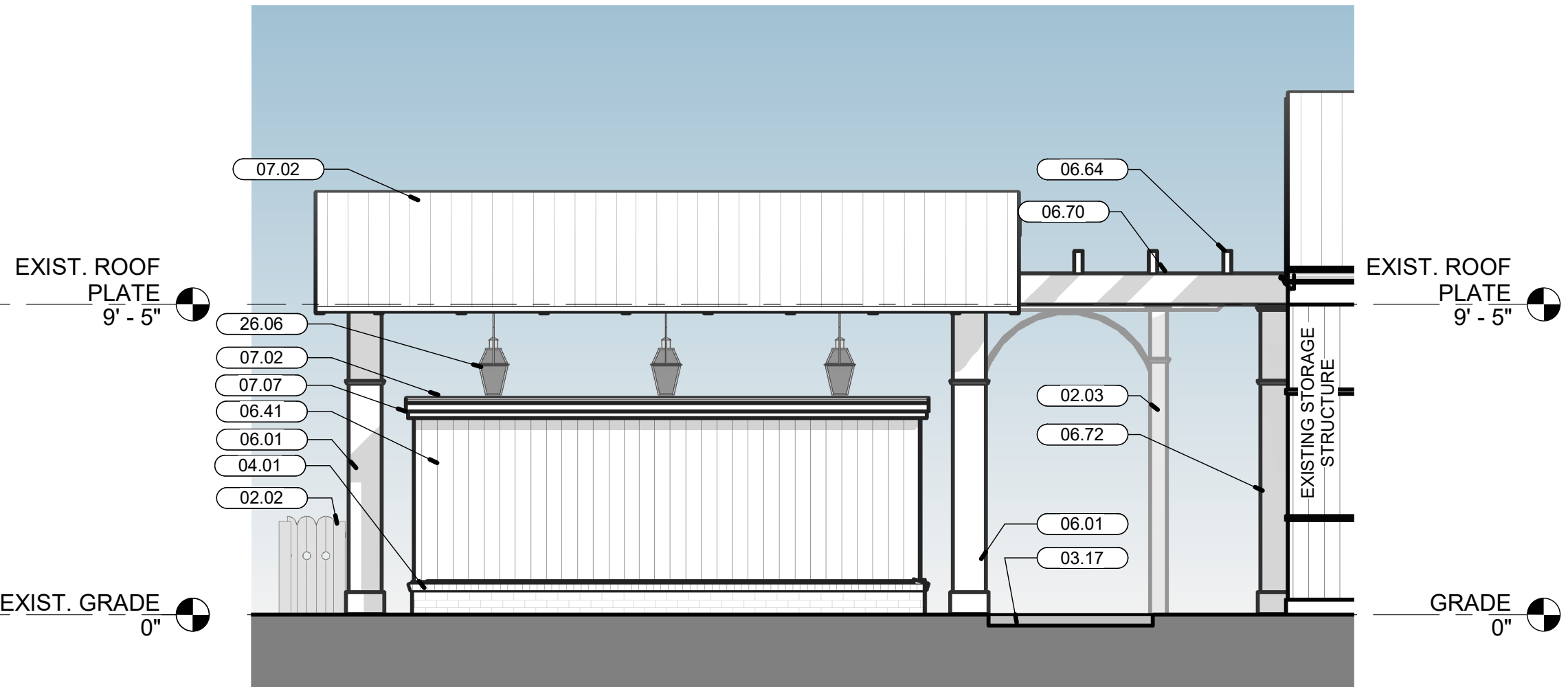
KEYNOTE LEGEND	
NUMBER	TEXT
06.72	EXISTING 12x12 SOLID WOOD COLUMN; VERIFY HEIGHT IS CONSISTENT WITH ELEVATION
06.73	EXPOSED 2x6 #2 SYP P.T. T&G DECKING
06.74	PT WOOD BASE PLATE
06.79	2x4 ROOF FRAMING
06.81	(2) 2x8 HEADER ABOVE MAILBOX OPENING WITH PAINTED COMPOSITE BOARD FINISH
06.82	(3) 2x12 SYP P.T. RIDGE BEAM; PAINT WITH SOLID BODY STAIN
07.02	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT ON 2x4 FRAMING SLOPED @ 1/4"/12"; TYPICAL
07.04	PAINTED COMPOSITE PANEL; TYPICAL

KEYNOTE LEGEND	
NUMBER	TEXT
07.05	PAINTED COMPOSITE VERTICAL SIDING; SEE EXTERIOR FINISH LEGEND; TYPICAL
07.07	PAINTED COMPOSITE TRIM; SEE DETAIL
07.11	ALUMINUM DRIP EDGE PLACED BENEATH ROOFING MATERIAL
07.22	PROVIDE ALUMINUM FLASHING & DRIP EDGE; TYP.
07.26	CONTINUOUS SEALANT
07.31	PROVIDE BLACK-COLORED PEAL AND SEAL PRODUCT OVER NAILER, BENEATH WALL BASE PLATE AND FINISH TO CONTINUE MAXIMUM 1/2" BEYOND WALL FINISH

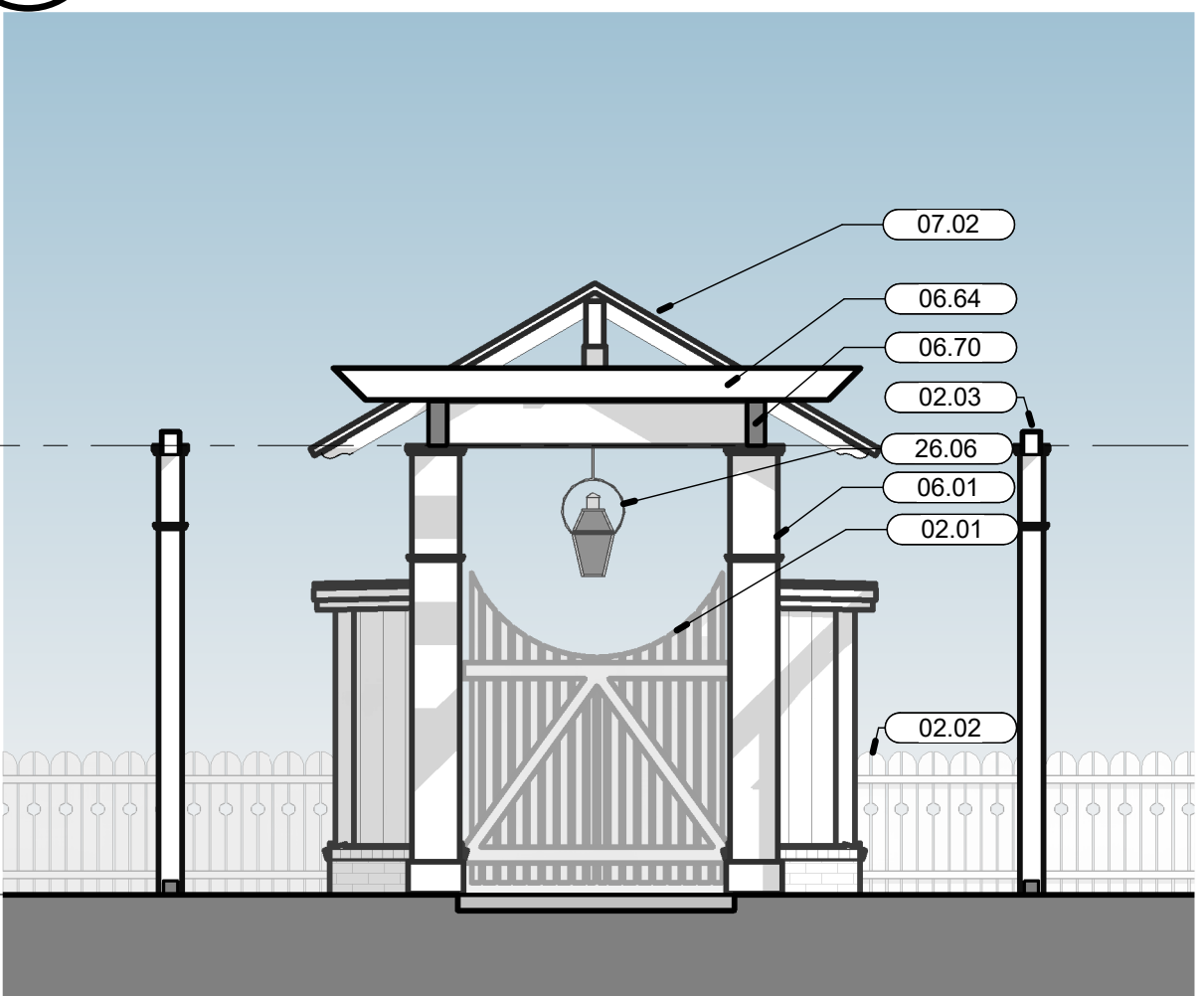
KEYNOTE LEGEND	
NUMBER	TEXT
12.04	NEW PRE-MANUFACTURED MAILBOX; OWNER FURNISHED, CONTRACTOR INSTALLED
26.06	EXTERIOR PENDANT; SEE RCP



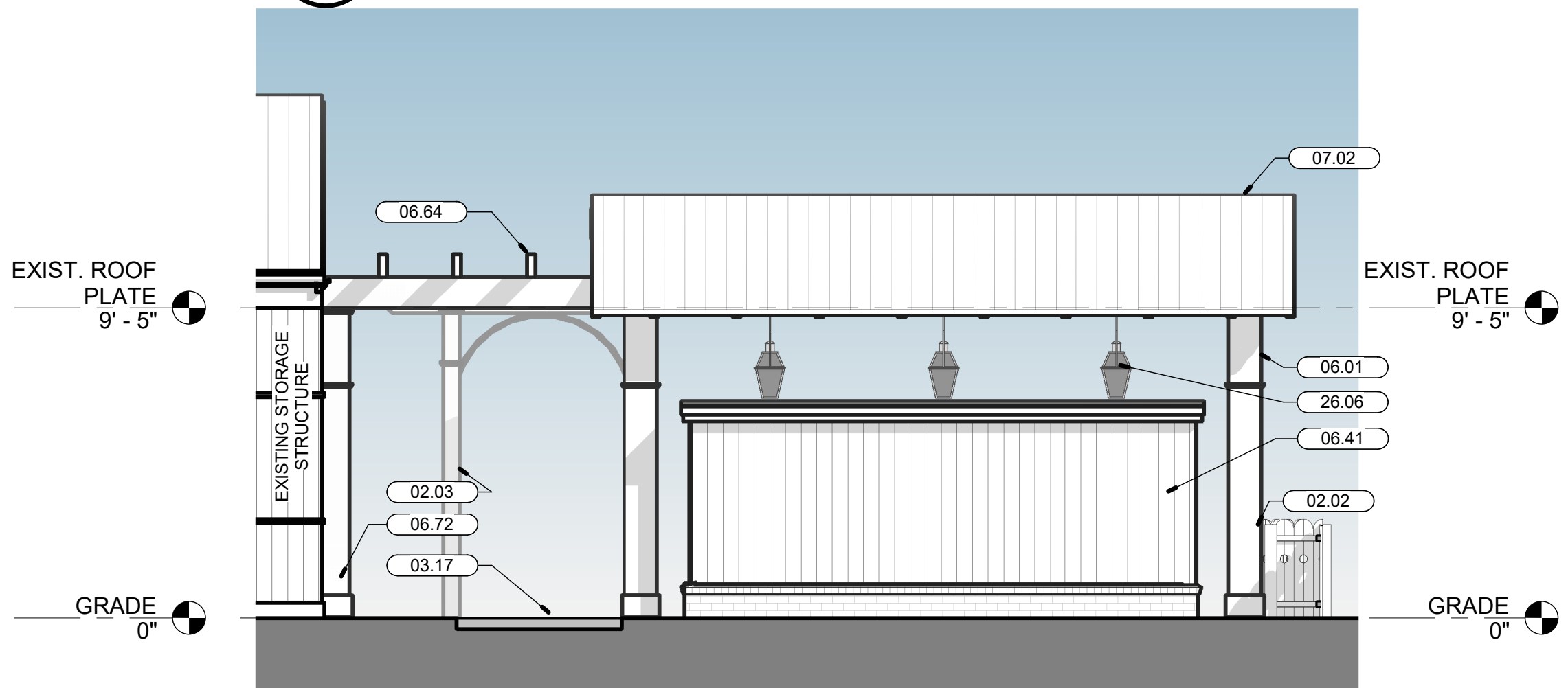
3 REAR ELEVATION
1/4" = 1'-0"



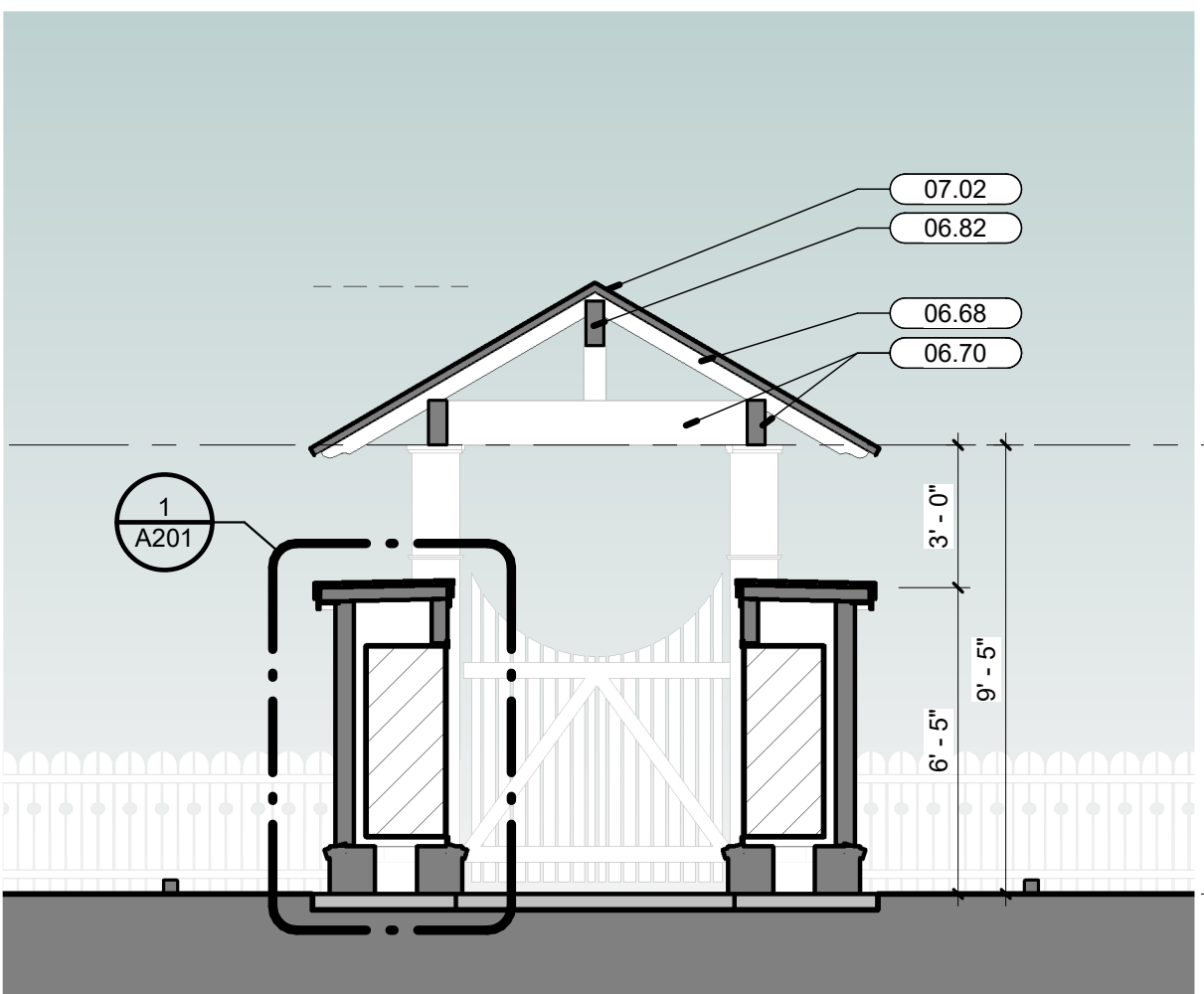
4 SIDE ELEVATION A
1/4" = 1'-0"



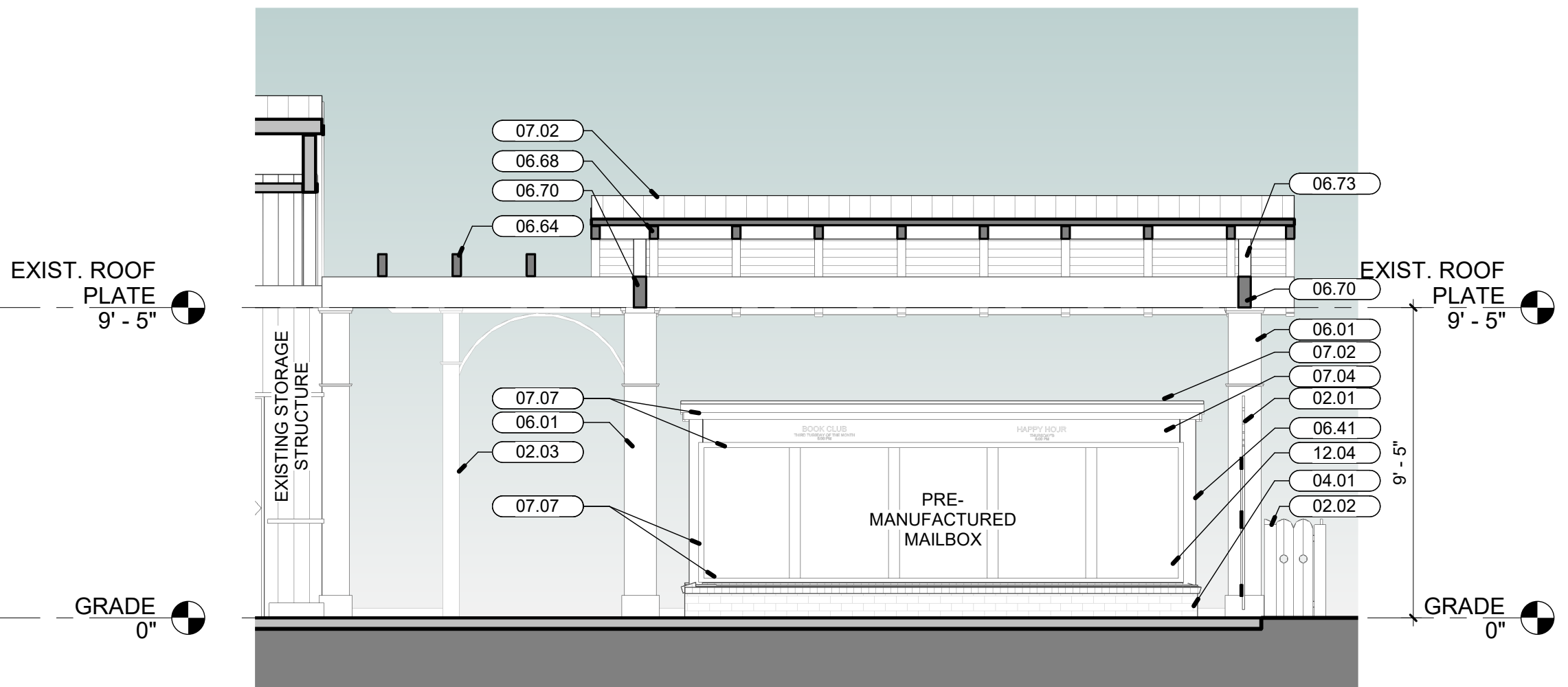
6 FRONT ELEVATION
1/4" = 1'-0"



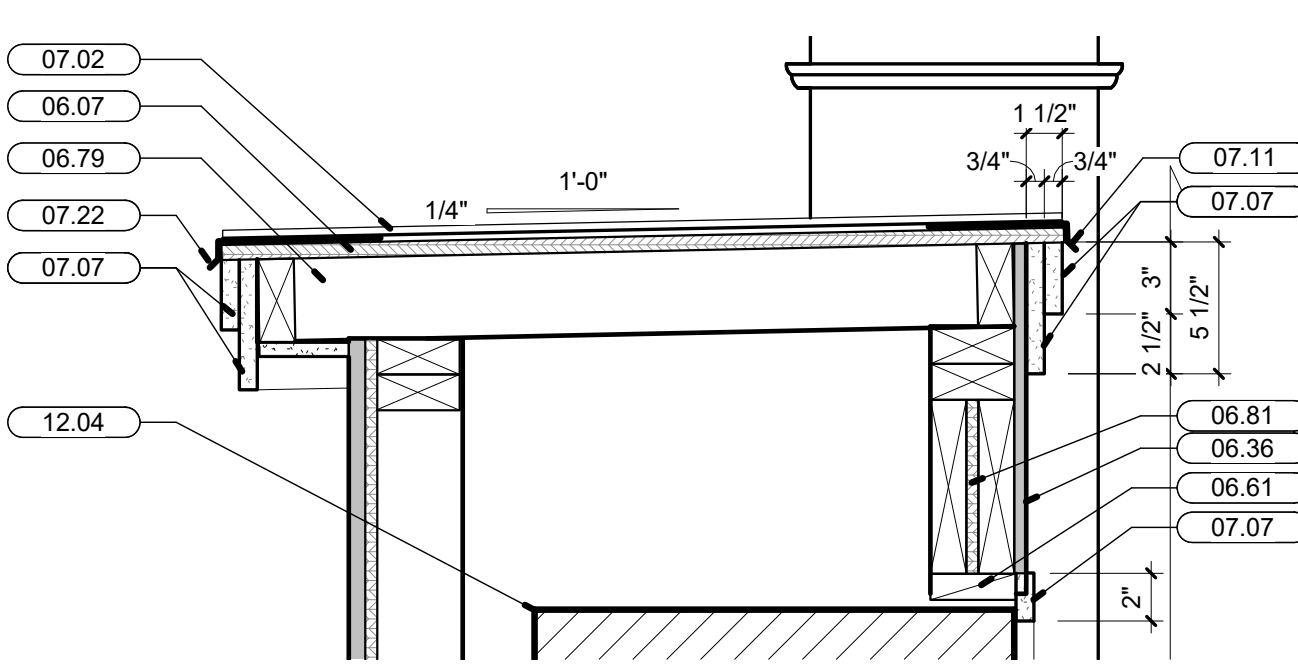
5 SIDE ELEVATION B
1/4" = 1'-0"



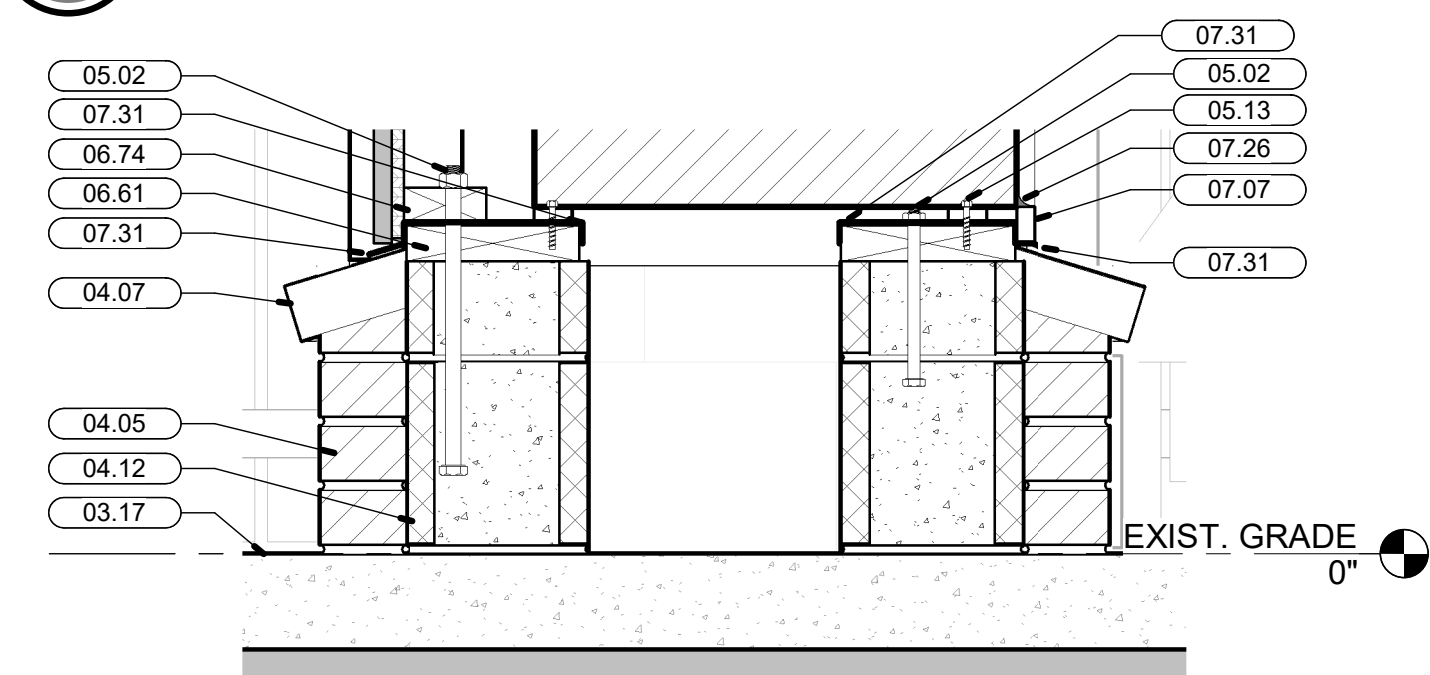
8 TRANSVERSE
1/4" = 1'-0"



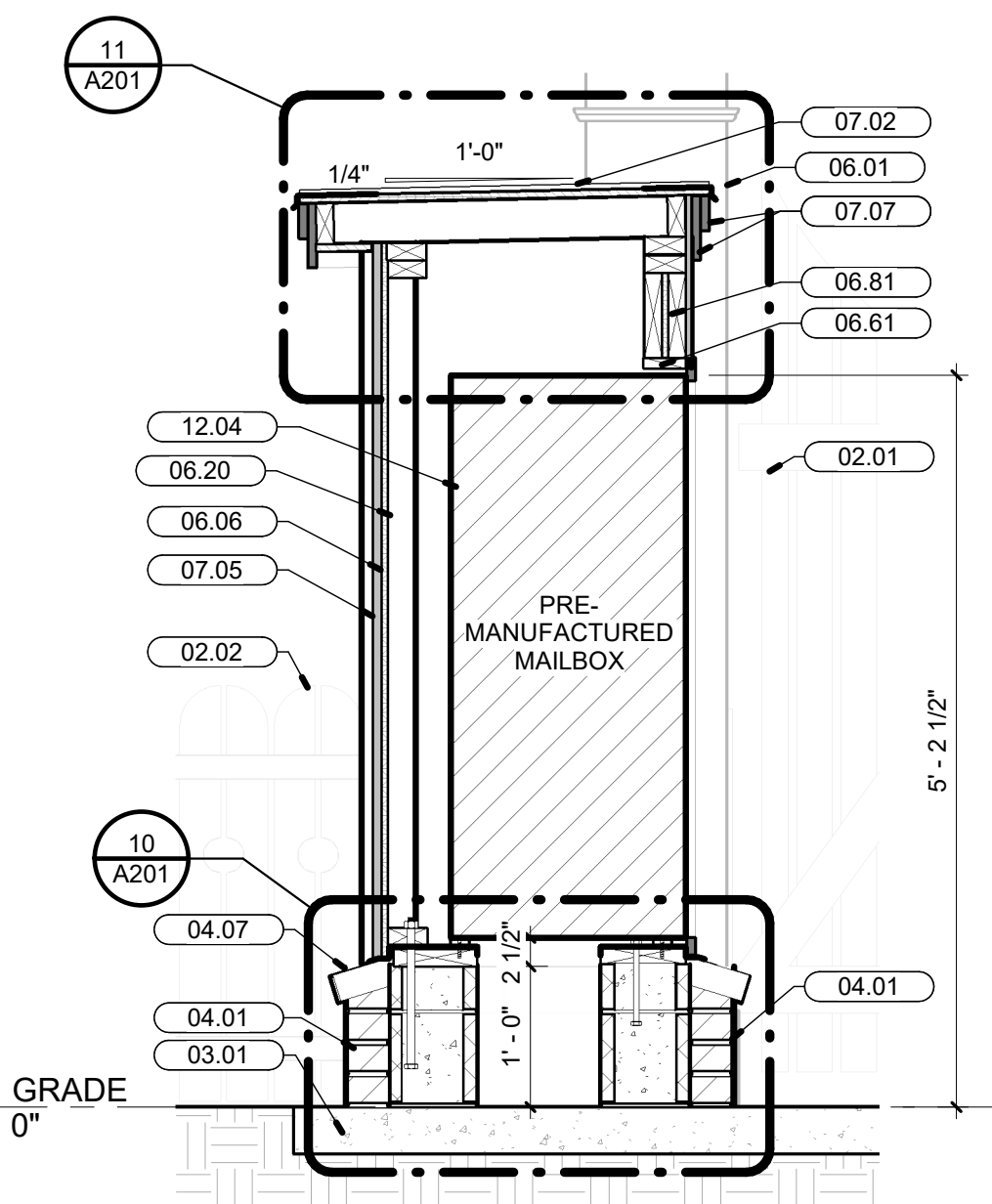
7 LONGITUDINAL
1/4" = 1'-0"



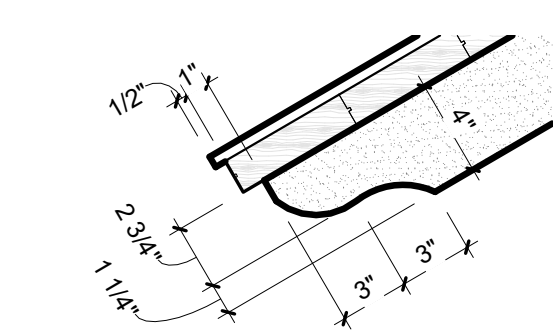
11 MAILBOX ROOF CONNECTION
1 1/2" = 1'-0"



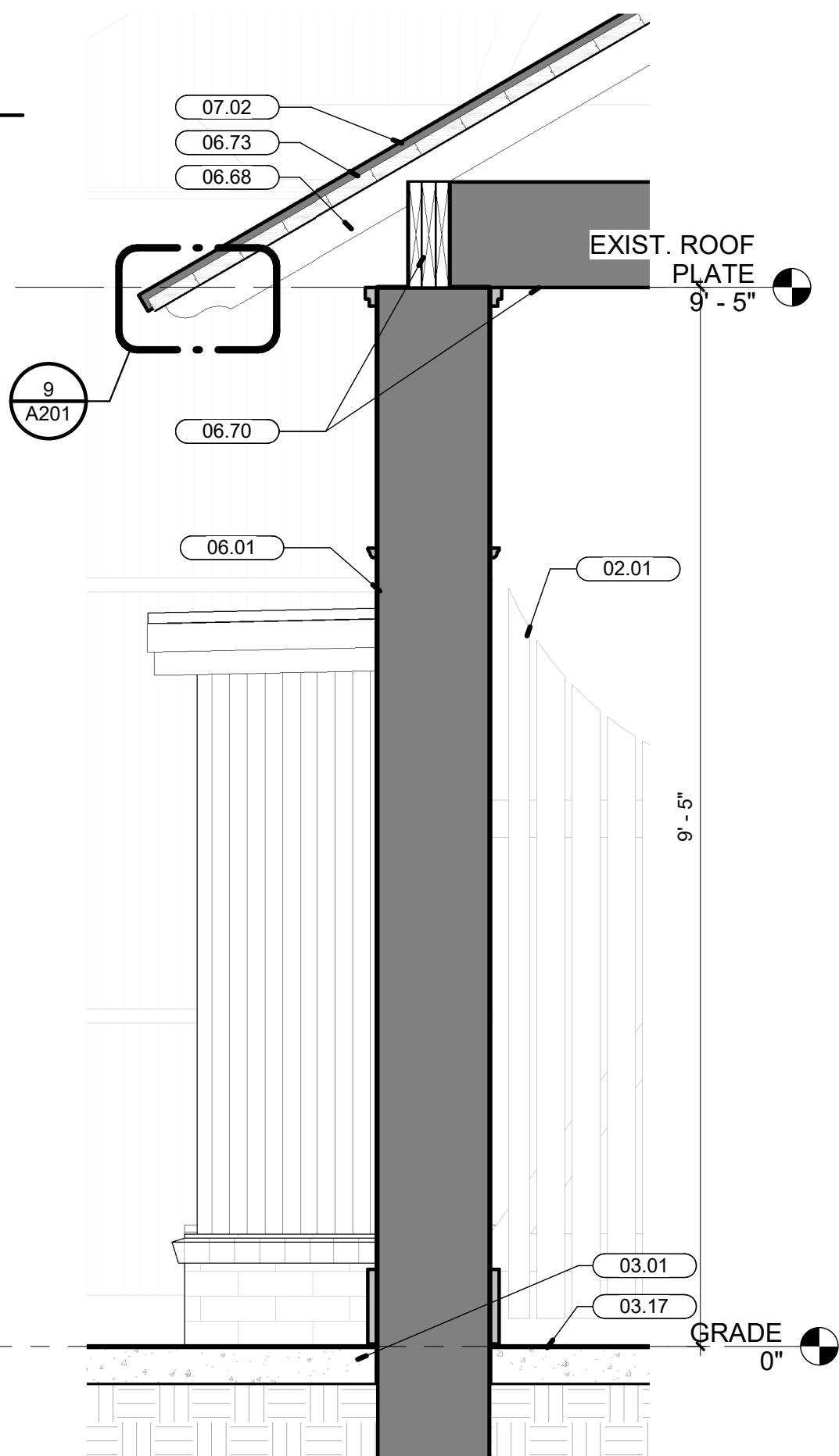
10 BASE CONNECTION DETAIL
1 1/2" = 1'-0"



1 MAILBOX ENCASEMENT
3/4" = 1'-0"



9 RAFTER TAIL DETAIL
1 1/2" = 1'-0"



2 COLUMN SECTION
3/4" = 1'-0"



NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS

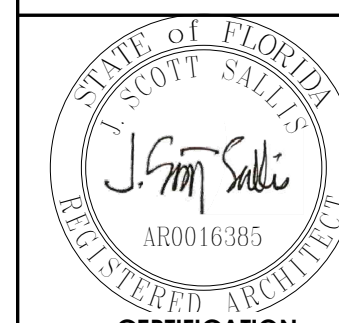


dalrymple | sallis
architecture

503 E. Government St
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

AR 0016385

THIS DOCUMENT SHOWS ORIGINAL
UN-PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT WRITTEN CONSENT
OF THE FIRM'S PRINCIPALS



CERTIFICATE

**NOT FOR
CONSTRUCTION**

Aragon Mailbox Pavilion

Aragon Community Garden

DRAWN BY: LBW	CHECKED BY: JSS
------------------	--------------------

ISSUE DATE:
9/11/2020

REVISIONS		
No.	Des.	Date

SHEET TITLE:
**3D EXTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A701

PROJECT NO
20035

Department:	Comments:
FIRE	No comments.
PW/E	No comments.
InspSvcs	No comments.
ESP	No comments.
ECUA	If the pavilion requires a new or modified connection to ECUA's utility system, please have the developer contact ECUA Engineering for more information.
GPW	No comments.
ATT	No comments.

Cynthia Cannon

From: Annie Bloxson
Sent: Friday, September 25, 2020 11:15 AM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

Good Morning,

I do not oppose the Aragon Mailbox Pavilion.

Respectfully,

Annie Bloxson

Fire Marshal

Visit us at PensacolaFire.com

475 E. Strong St.

Pensacola, FL 32501

Office: 850.436.5200

abloxson@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, September 22, 2020 11:11 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T)

Cynthia Cannon

From: Diane Moore
Sent: Wednesday, September 23, 2020 1:15 PM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

Cynthia,
Pensacola Energy has no comments on the Aragon Pavilion.

Thanks,
Diane

Diane Moore | Gas Distribution Engineer
Pensacola Energy | 1625 Atwood Drive, Pensacola, FL 32514
Desk: 850-474-5319 | Cell: 850-324-8004 | Fax: 850-474-5331
Email: dmoore@cityofpensacola.com

***Please consider the environment before printing this email.



For Non-Emergency Citizen Requests, Dial 311 or visit Pensacola311.com

Notice: Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:11 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Aragon Mailbox Pavilion

Good Morning All,

Cynthia Cannon

From: Leslie Odom
Sent: Wednesday, September 23, 2020 3:35 PM
To: Cynthia Cannon
Subject: RE: Aragon Mailbox Pavilion

No comments as presented.

Les Odom
City Surveyor
Office: 850-436-5531

From: Cynthia Cannon <CCannon@cityofpensacola.com>
Sent: Tuesday, September 22, 2020 11:11 AM
To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus (ECUA) <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly (GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>
Subject: Aragon Mailbox Pavilion

Good Morning All,

Please review and comment on the attached request before the Planning Board for an aesthetic review for the Aragon Mailbox Pavilion located behind the existing Aragon Community Garden shed. All comments must be received by Wednesday September 30, 2020.

Thank you,

Cynthia Cannon, AICP
Assistant Planning Director
Visit us at <http://cityofpensacola.com>
222 W Main St.
Pensacola, FL 32502
Office: 850.435-1670
ccannon@cityofpensacola.com



Cynthia Cannon

From: Andre Calaminus <andre.calaminus@ecua.fl.gov>
Sent: Tuesday, September 22, 2020 3:00 PM
To: Cynthia Cannon
Subject: [EXTERNAL] RE: Aragon Mailbox Pavilion

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Cynthia,

ECUA has no comment on the aesthetic review of the mailbox pavilion. If the pavilion requires a new or modified connection to ECUA's utility system, please have the developer contact ECUA Engineering for more information.

Thanks,

Andre Calaminus | Right of Way Agent | Emerald Coast Utilities Authority |

P.O. Box 17089 | Pensacola, FL 32522-7089 | Web: www.ecua.fl.gov |

Phone: (850) 969-5822 | Fax: (850) 969-6511 |

From: Cynthia Cannon <CCannon@cityofpensacola.com>

Sent: Tuesday, September 22, 2020 11:11 AM

To: Amy Hargett <ahargett@cityofpensacola.com>; Andre Calaminus <andre.calaminus@ecua.fl.gov>; Annie Bloxson <ABloxson@cityofpensacola.com>; Bill Kimball <bkimball@cityofpensacola.com>; Brad Hinote <bradhinote@cityofpensacola.com>; Brian Cooper <bcooper@cityofpensacola.com>; Chris Mauldin <CMauldin@cityofpensacola.com>; Cynthia Cannon <CCannon@cityofpensacola.com>; Derrik Owens <DOwens@cityofpensacola.com>; Diane Moore <DMoore@cityofpensacola.com>; Heather Lindsay <HLindsay@cityofpensacola.com>; Jonathan Bilby <JBilby@cityofpensacola.com>; Karl Fenner (AT&T) <KF5345@att.com>; Kellie L. Simmons (Gulf Power) <kellie.simmons@nexteraenergy.com>; Leslie Odom <LOdom@cityofpensacola.com>; Leslie Statler <LStatler@cityofpensacola.com>; Mark Jackson <MaJackson@cityofpensacola.com>; Miriam Woods <MWoods@cityofpensacola.com>; Paul A Kelly(GIS) <PAKelly@cityofpensacola.com>; Robbie Weekley <rweekley@cityofpensacola.com>; Ryan J. Novota <RNovota@cityofpensacola.com>; Sherry Morris <SMorris@cityofpensacola.com>; Stephen Kennington (AT&T) <sk1674@att.com>

Subject: Aragon Mailbox Pavilion

****WARNING: This is an external email --- DO NOT CLICK links or attachments from unknown senders ****

Good Morning All,

Please review and comment on the attached request before the Planning Board for an aesthetic review for the Aragon Mailbox Pavilion located behind the existing Aragon Community Garden shed. All comments must be received by Wednesday September 30, 2020.

Thank you,

Cynthia Cannon, AICP

Assistant Planning Director

Visit us at <http://cityofpensacola.com>