



City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

***Gateway Review Board Application***

**Project Address:** 662 Aragon Street

**Applicant:** Dalrymple Sallis Architecture

**Applicant's Address:** 503 E. Government St. Pensacola FL 32052

**Application Date:** 1/15/21 **Phone:** 850-470-6399

**Email:** Scott@dalsal.com **Fax:**

**Property Owner:** Todd and Alita Fisher  
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential – \$50.00 hearing fee  
☐ Commercial – \$250.00 hearing fee

Renovation of an existing 2-story zero-lot-line residence in the Aragon Neighborhood.

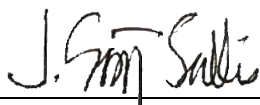
New extension for front porch with new pergola structure and rear awning for existing 108 SF rear concrete patio.

New, small awning over new, 210 SF rear bedroom exterior access door and new adjacent 90 SF concrete patio.

New, 366 SF covered Carport with 100 SF of storage area.

\*Attach seven (7) copies of required information (see reverse side)

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Gateway Review Board meeting.*



Applicant Signature

1/15/2021

Date

***Gateway Review Board Application***

*Procedure for review of plans.*

(a) Plan submission: All development plans must comply with development plan requirements set forth in subsections 12-2-81(C) and (D), and design standards and guidelines established in section 12-2-82. Every application for a new certificate of occupancy or a building permit to erect, construct, demolish, renovate or alter a building or sign, or exterior site work (i.e., paving and landscaping of off-street parking areas), located or to be located in the Gateway Redevelopment District shall be accompanied with **drawings or sketches with sufficient detail to show, as far as they relate to exterior appearances, the architectural design of the building, sign, or exterior work (both before and after the proposed work is done in cases of altering, renovating, demolishing or razing a building or structure) including proposed materials, textures and colors, and the plot plan or site layout including all site improvements or features such as walls, fences, walks, terraces, plantings, accessory buildings, paved areas, signs, lights, awnings, canopies and other appurtenances.**

(b) Review and approval. All plans shall be subject to the review and approval of the Gateway Review Board established in Chapter 12-13. At the time of review the board may require that any aspect of the overall site plan which does not meet the standards established in this section be incorporated and brought into compliance within a time limit approved by the board.

(c) Abbreviated review. Sign requests, paint colors, fencing, and emergency repairs which are consistent with the regulations and guidelines set forth in this section, may be approved by letter to the building official from the Gateway Review Board secretary and the chairman of the board. This provision is made in an effort to save the applicant and the board time for routine approval matters. If agreement cannot be reached as it pertains to such requests by the board secretary and chairman, then the matter will be referred to the board for a decision.

(d) Final development plan. If the Gateway Review Board approves a preliminary development plan, the owner shall submit a final development plan in accordance with the procedure set forth below within six (6) months of the date of approval of the preliminary plan of development. For good cause shown, the Gateway Review Board may, in its discretion, extend the time within which to file the final development plan for successive periods, the total of which shall not be more than an additional six (6) months. The final development plan shall be in basic conformity with the preliminary plan of development and comply with the other provisions of section 12-2-81 pertaining to the final development plan. If the applicant submits a final development plan which conforms to all the conditions and provisions of this chapter, then the Gateway Review Board shall conclude its consideration at its next regularly scheduled meeting.

**Date:** Friday, January 15, 2021

**Project:** **FISHER RENOVATION**  
662 ARAGON ST  
Pensacola, FL 32502

**Recipient:** **Planning Board**

## EXISTING SITE CONDITIONS

### Views of Existing home from Aragon Street



### Views of Existing home and parking area from rear alley





## RENDERINGS

Renderings from Aragon Street



Renderings of Carport from rear alley



Birdseye rendering of rear of home and new courtyard





## **EXTERIOR COLOR SCHEDULE**

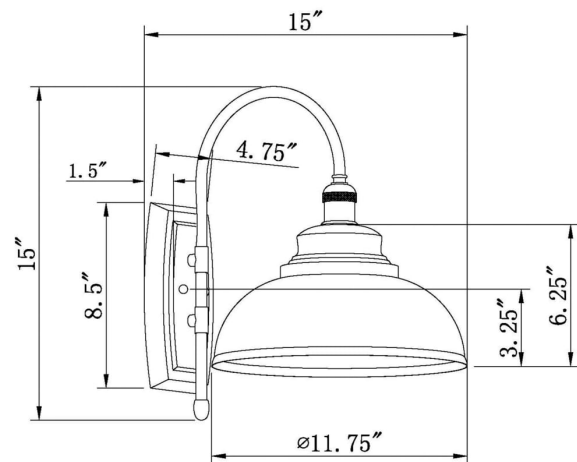
<u>ARCHITECTURAL ELEMENT</u>	<u>MANUFACTURER</u>	<u>TYPE</u>	<u>COLOR</u>
STUCCO	N/A	MATCH EXISTING	MATCH EXISTING
EXTERIOR WINDOW TRIM	N/A	MATCH EXISTING	MATCH EXISTING
ROOF (Match Existing)	N/A	N/A	MATCH EXISTING
EAVES AND SOFFITS	N/A	PAINT	MATCH EXISTING
FASCIAS	N/A	PAINT	MATCH EXISTING
COLUMNS	N/A	PAINT	MATCH EXISTING
COLUMN TRIM	SHERWIN-WILLIAMS	SOLID BODY STAIN	MATCH EXISTING
FLASHING	N/A	PRE-FINISHED ALUMINUM	CHARCOAL GRAY
PERGOLA STRUCTURE	SHERWIN-WILLIAMS	SHERWIN-WILLIAMS	MATCH EXISTING

## **WINDOWS**

Vinyl, to match existing

## **EXTERIOR LIGHT FIXTURES**

*Forte Lighting, Outdoor Wall Sconce with Metal Shade*

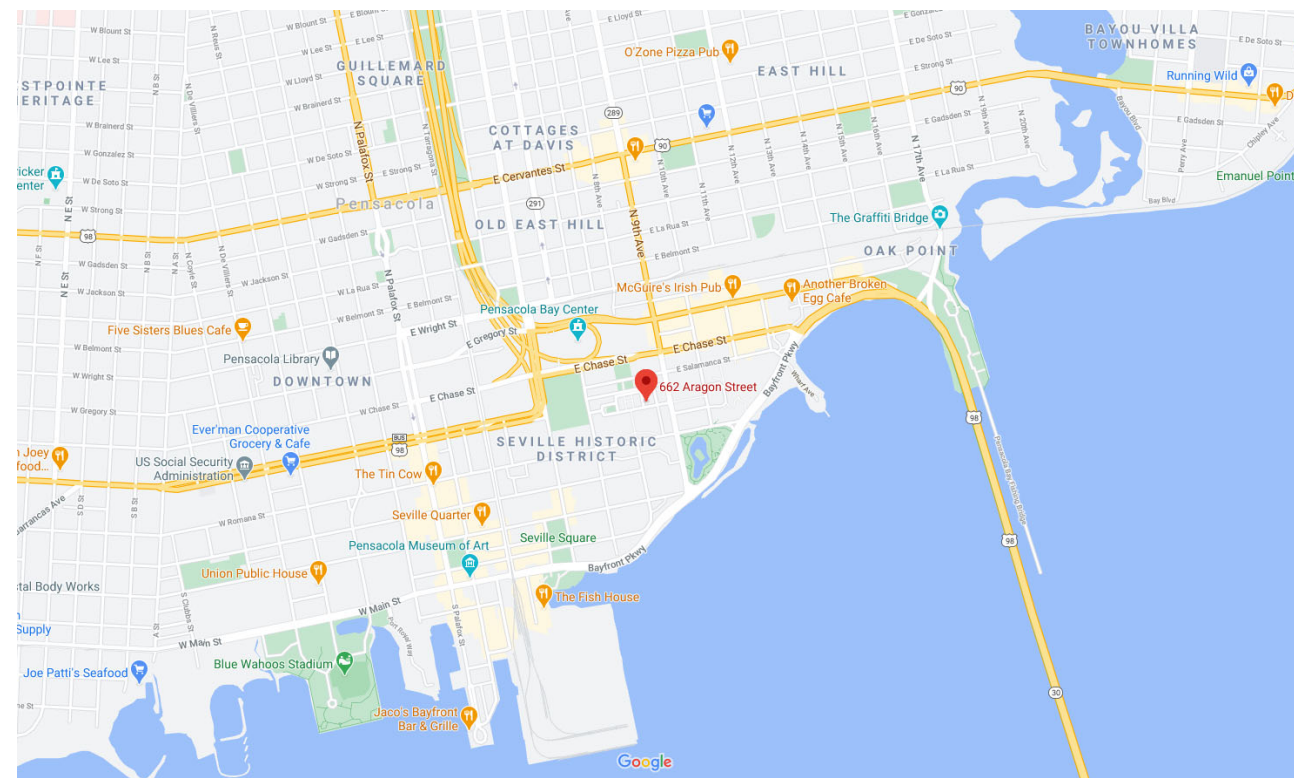




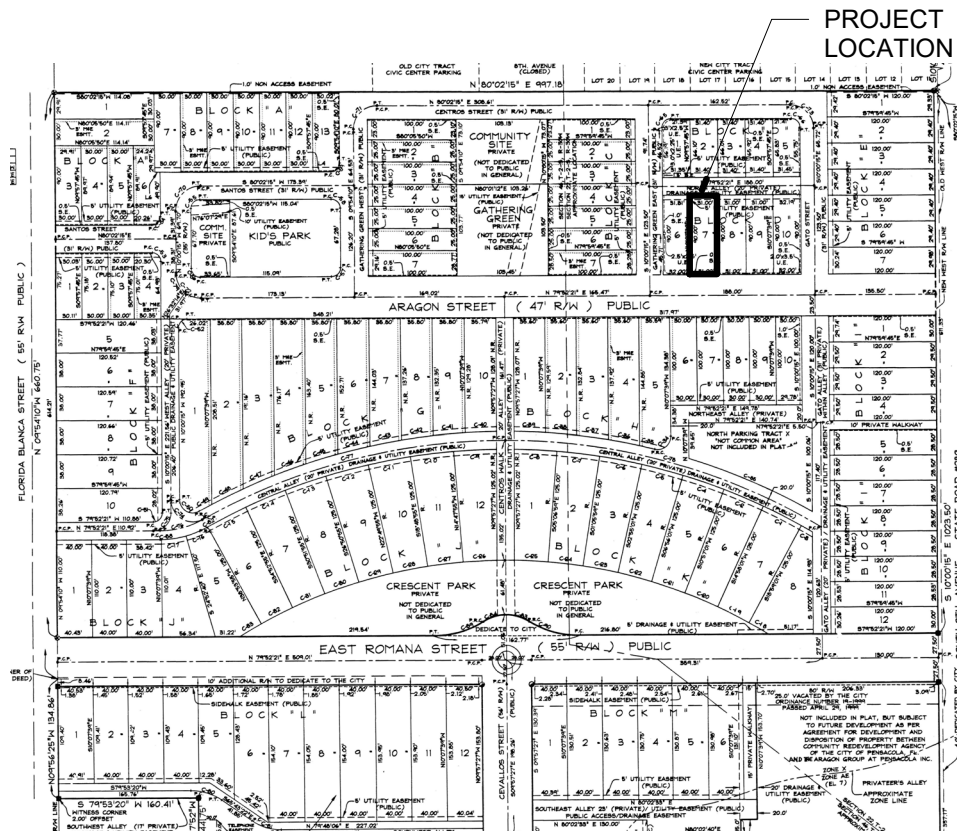
# Fisher Renovation

Renovation to an existing single family residence in the Aragon Neighborhood.

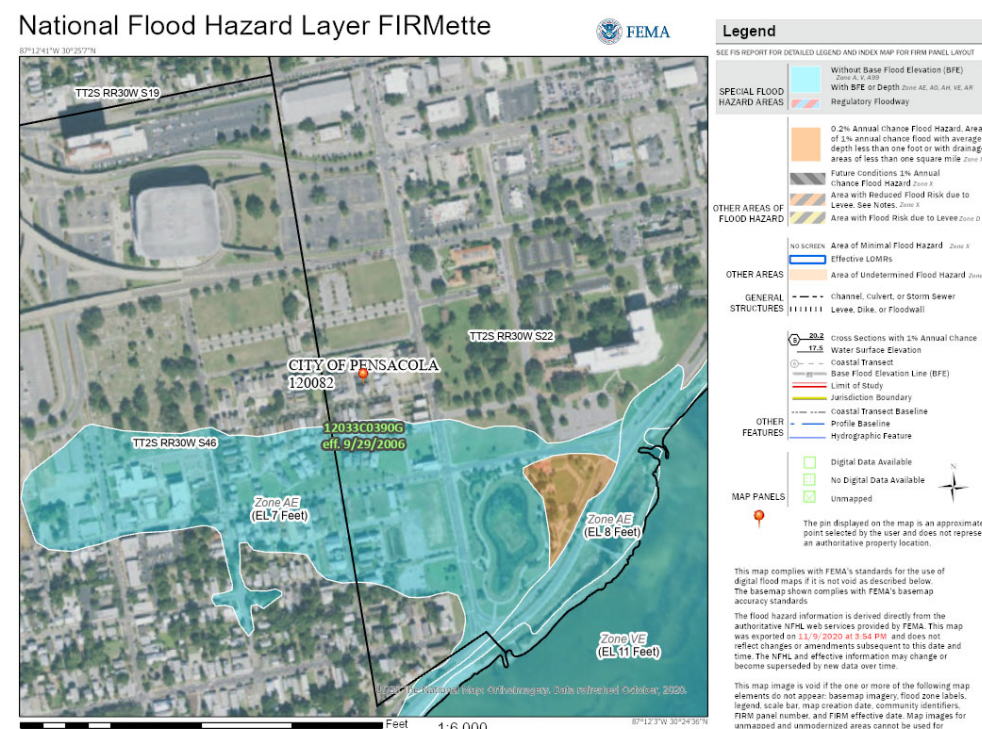
662 Aragon Street, Pensacola, FL 32502



VICINITY MAP



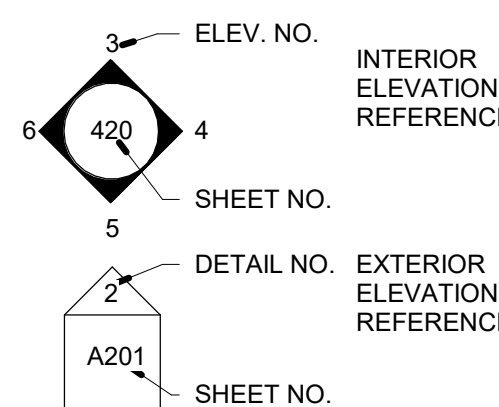
ARAGON SITE MAP



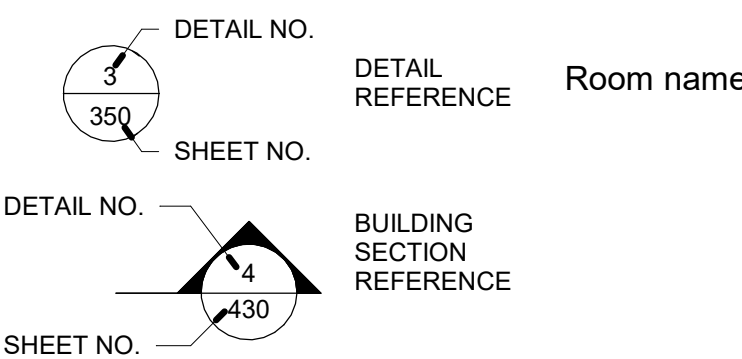
FEMA FLOOD MAP



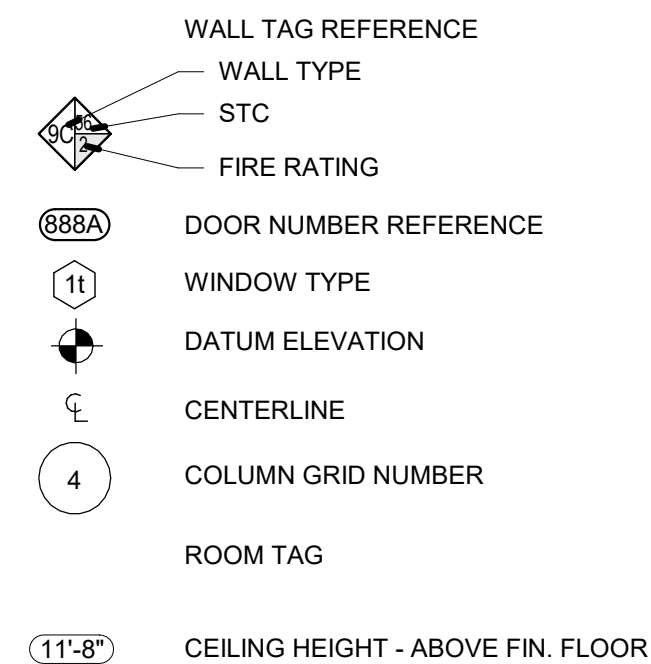
## ELEVATION REFERENCES



## DETAIL REFERENCES



## ANNOTATION REFERENCES



## REVISION NUMBER REFERENCE



INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A001	SITE PLAN & ROOF PLAN	
A010	DEMO PLANS	
A101	NEW WORK FLOOR PLANS	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS INTERIOR ELEVATIONS	
A302	WALL SECTION, SCHEDULES & DETAILS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	

## BUILDING DATA

APPLICABLE CODES:  
2017 FLORIDA BUILDING CODE, RESIDENTIAL  
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

CONSTRUCTION TYPE:  
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:  
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: GRD-1

FLOOD\_ZONE: X

PHYSICAL PROPERTIES:  
BUILDING HEIGHT: 30'-6"  
NO. OF STORIES: 2

## GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYS IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2017 FBC, RESIDENTIAL EDITION R.301.2.1.2 FOR RESIDENTIAL WORK OR 2017 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.



#1 AREA PLAN  
1/16" = 1'-0"



THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

DESIGN  
DEVELOPMENT  
SET

Fisher Renovation

662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW  
CHECKED BY: JSS

ISSUE DATE:  
1-15-2021

REVISIONS:  
No. Desc. Date

SHEET TITLE:

TITLE SHEET

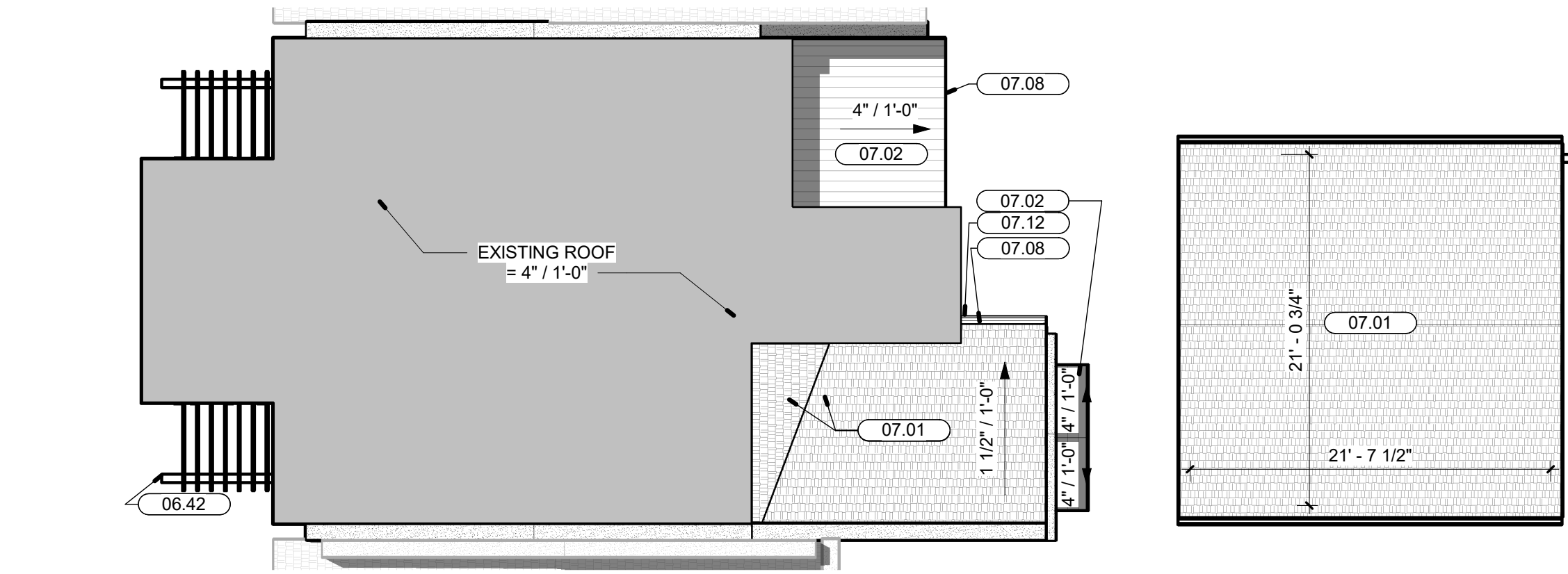
SHEET NO:

G001

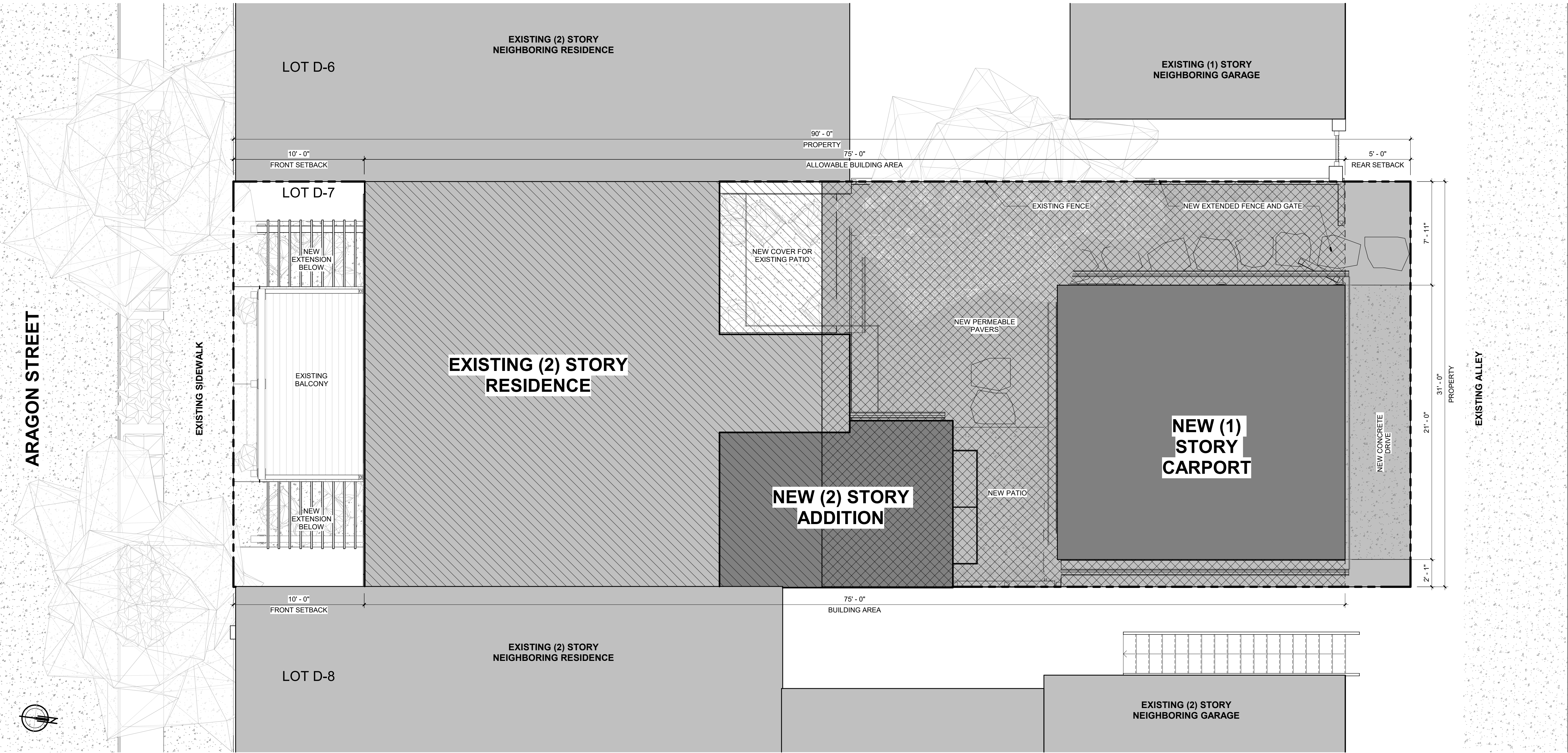
PROJECT NO:  
20050



KEYNOTE LEGEND	
NUMBER	TEXT
06.42	SOLID BODY STAINED SYP PT WOOD BEAM; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; SHINGLES TO MATCH EXISTING RESIDENCE; TYPICAL
07.02	5V CRIMP METAL ROOF OVER ADHERED MEMBRANE UNDERLAYMENT; TYPICAL
07.08	PAINTED 1x COMPOSITE FASCIA; PAINT TO MATCH EXISTING; TYPICAL
07.12	PRE-FINISHED ALUMINUM GUTTER; TYPICAL



**2 ROOF PLAN**  
1/8" = 1'-0"



**1 ARCHITECTURAL SITE PLAN**  
1/4" = 1'-0"



**dalrymple | sallie**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

*J. Sallie*

CERTIFICATION

**DESIGN  
DEVELOPMENT  
SET**

**Fisher Renovation**  
662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW  
CHECKED BY: JSS

ISSUE DATE:  
1-15-2021

REVISIONS  
No. Des. Date

SHEET TITLE:

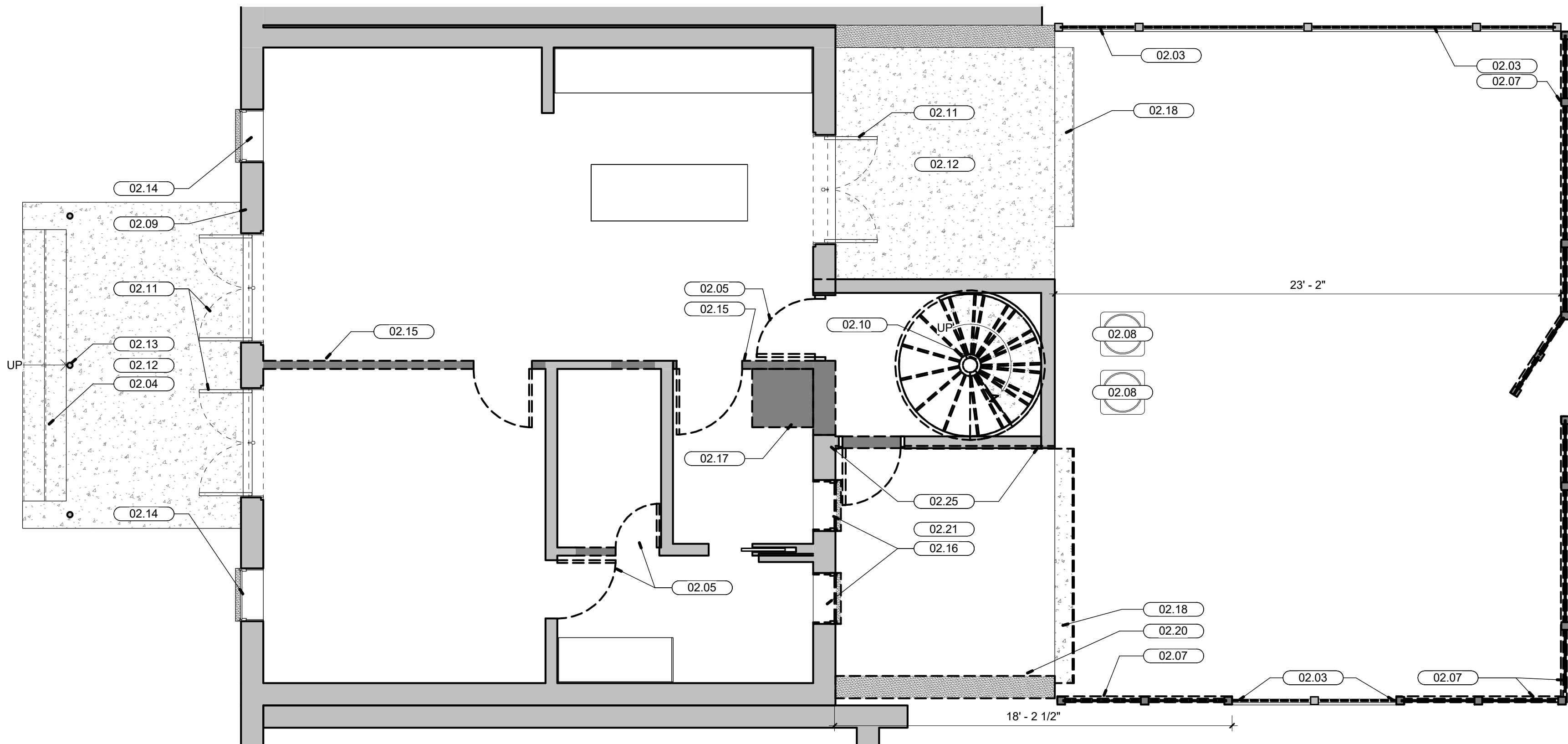
**SITE PLAN &  
ROOF PLAN**

SHEET NO:

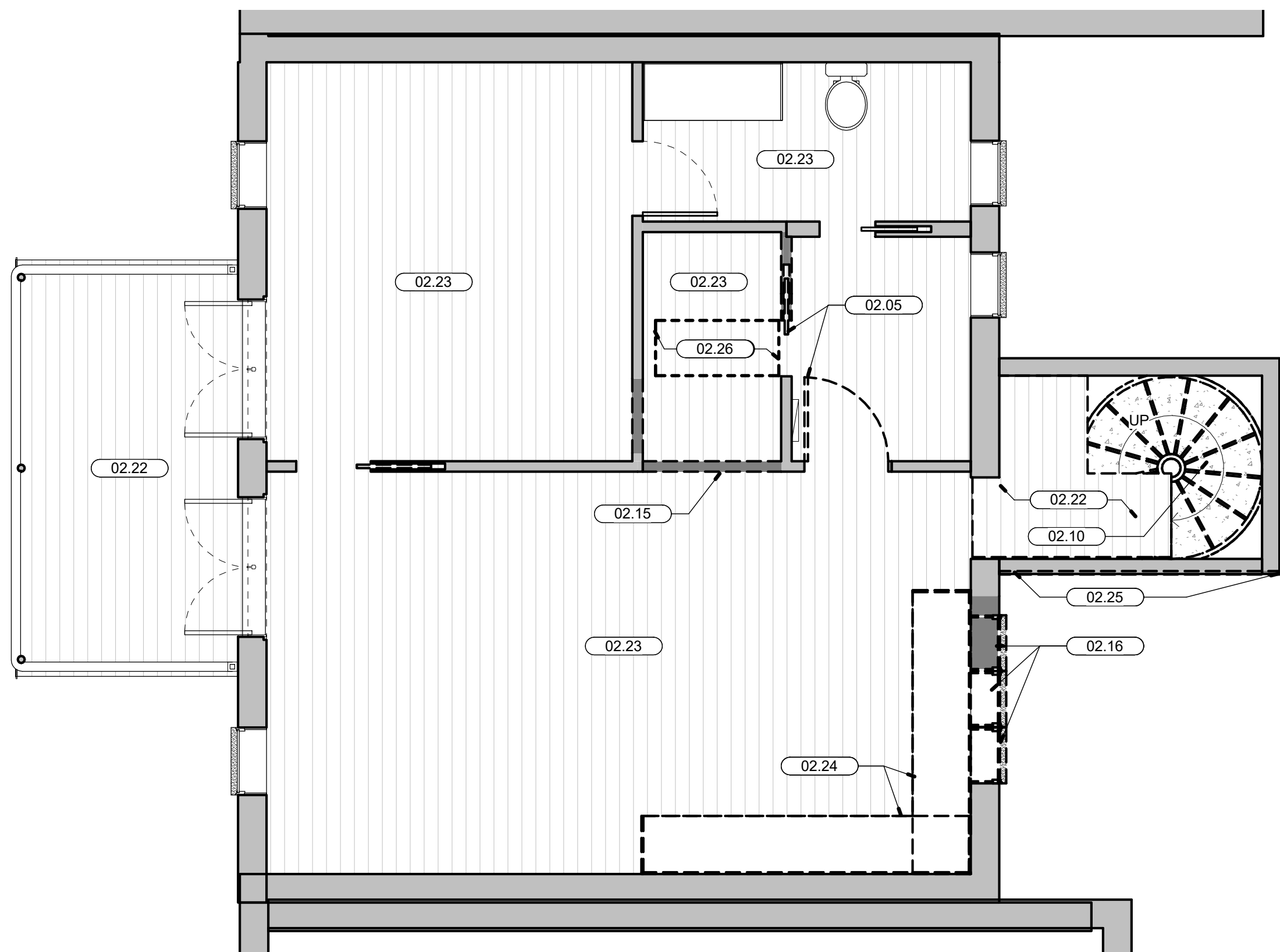
**A001**

PROJECT NO:  
20050





**1 FIRST FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"



**2 SECOND FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"

## DEMOLITION NOTES

1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.

## KEYNOTE LEGEND

NUMBER	TEXT
02.03	EXISTING FENCE TO REMAIN; SEE PLAN
02.04	EXISTING STEPS TO REMAIN
02.05	REMOVE EXISTING DOOR AND REPAIR WALL TO PREPARE FOR NEW WORK
02.07	REMOVE EXISTING FENCE AS NEEDED TO PREPARE FOR NEW WORK
02.08	EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AREA
02.09	EXISTING ICF WALL WITH STUCCO FINISH TO REMAIN
02.10	REMOVE EXISTING SPIRAL STAIR AND PREPARE AREA FOR NEW WORK
02.11	EXISTING DOUBLE ENTRY DOORS TO REMAIN
02.12	EXISTING CONCRETE PORCH TO REMAIN
02.13	EXISTING 3" ALUMINUM COLUMN TO REMAIN; REMOVE EXISTING SUNBURST COLLAR; TYPICAL
02.14	EXISTING WINDOW TO REMAIN; TYPICAL
02.15	REMOVE EXISTING WALL AND PREPARE AREA FOR NEW WORK
02.16	REMOVE EXISTING WINDOW AND PREPARE AREA FOR NEW WORK
02.17	RELOCATE EXISTING MECHANICAL EQUIPMENT TO NEW MECHANICAL ROOM; SEE 1/A101
02.18	REMOVE EXISTING CONCRETE STEPS AND PREPARE AREA FOR NEW WORK
02.20	DEMOLISH EXISTING ICF WALL AND PREPARE FOR NEW WORK
02.21	REMOVE EXISTING PORCH SLAB AND PREPARE AREA FOR NEW WORK
02.22	EXISTING WOOD PORCH TO REMAIN
02.23	EXISTING FLOOR FINISH TO REMAIN; VERIFY WITH OWNER
02.24	REMOVE EXISTING KITCHEN COUNTER AND EQUIPMENT AND PREPARE AREA FOR NEW WORK
02.25	REMOVE EXTERIOR BOARD AND BATTEN FINISH THIS AREA ONLY
02.26	REMOVE AND RELOCATE EXISTING ATTIC ACCESS AND REPAIR CEILING FOR NEW WORK; SEE NEW WORK PLAN



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

*J. Sallis*

CERTIFICATION

**DESIGN  
DEVELOPMENT  
SET**

**Fisher Renovation**  
662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW  
CHECKED BY: JSS

ISSUE DATE:  
1-15-2021

REVISIONS  
No. Des. Date

SHEET TITLE:

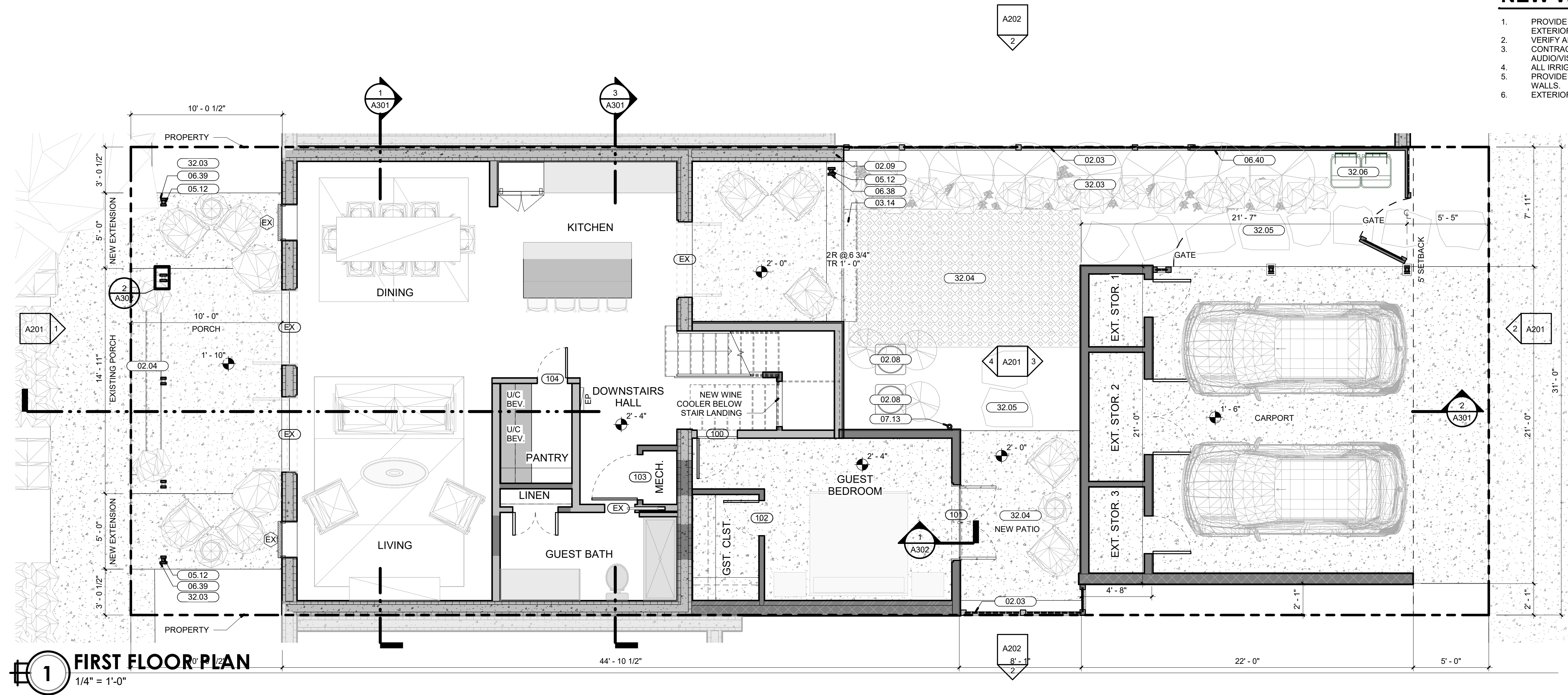
**DEMO PLANS**

SHEET NO:

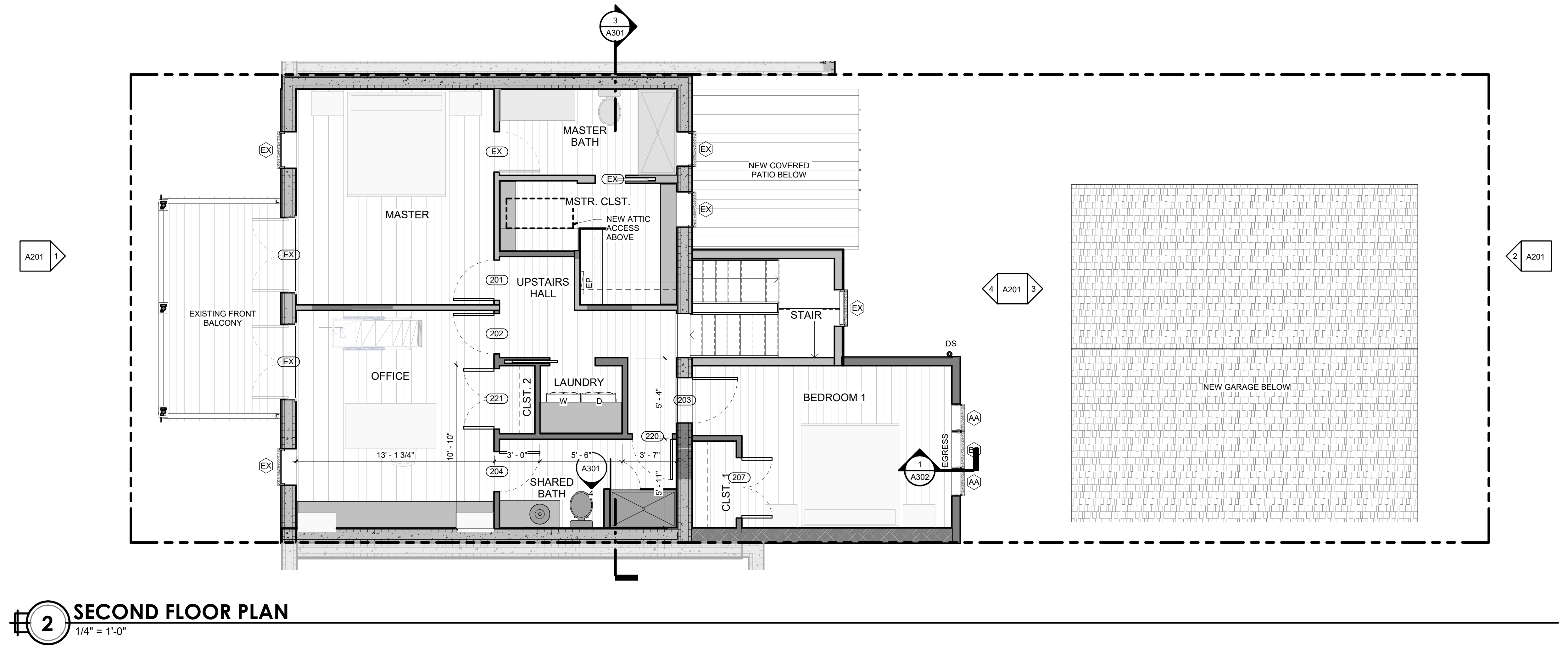
**A010**

PROJECT NO:  
20050





1 FIRST FLOOR PLAN  
1/4" = 1'-0"



2 SECOND FLOOR PLAN  
1/4" = 1'-0"

## NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.

## KEYNOTE LEGEND

NUMBER	TEXT
02.03	EXISTING FENCE TO REMAIN; SEE PLAN
02.04	EXISTING STEPS TO REMAIN
02.08	EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AREA
02.09	EXISTING ICF WALL WITH STUCCO FINISH TO REMAIN
03.14	NEW CONCRETE STEPS TO EXISTING PORCH
05.12	NEW 3" ALUMINUM COLUMN TO MATCH EXISTING; SEE DETAIL 2-3/302
06.38	NEW P.T. WOOD PERGOLA STRUCTURE; STAIN TO MATCH EXISITNG, VERIFY WITH OWNER; SEE DETAIL
06.39	NEW SYP P.T. 2x6 COLUMN SURROUND AND 1x2 COLLAR AROUND EXISTING AND NEW COLUMNS; STAIN WITH SOLID BODY STAIN TO MATCH EXISTING EXTERIOR WOODWORK, VERIFY WITH OWNER; SEE DETAIL 2-3/A302
06.40	NEW P.T. WOOD FENCE AND GATE; TYPE AND STAIN TO MATCH EXISTING
07.13	PRE-FINISHED ALUMINUM DOWNSPOUT; TYPICAL
32.03	NEW LANDSCAPED BED BY OWNER
32.04	NEW PERMEABLE PAVERS; VERIFY TYPE AND EXTENTS WITH OWNER
32.05	NEW FLAGSTONE PATH, VERIFY TYPE AND EXTENTS WITH OWNER
32.06	NEW AREA FOR TRASH AND RECYCLING STORAGE



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsol.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

*J. M. Sallis*

CERTIFICATION

DESIGN  
DEVELOPMENT  
SET

Fisher Renovation

662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW  
CHECKED BY: JSS

ISSUE DATE:  
1-15-2021

REVISIONS  
No. Des. Date

SHEET TITLE:

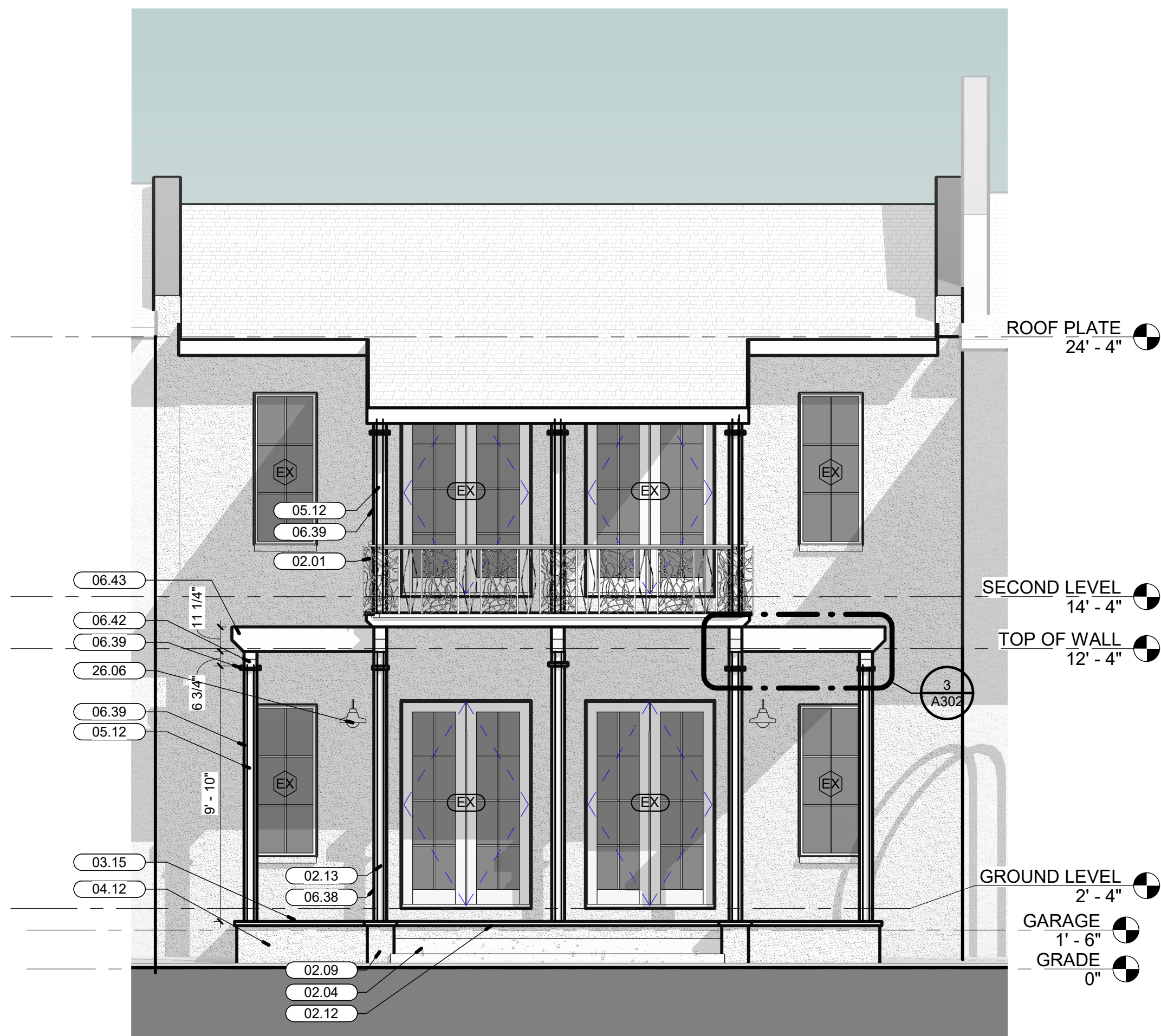
NEW WORK  
FLOOR PLANS

SHEET NO:

A101

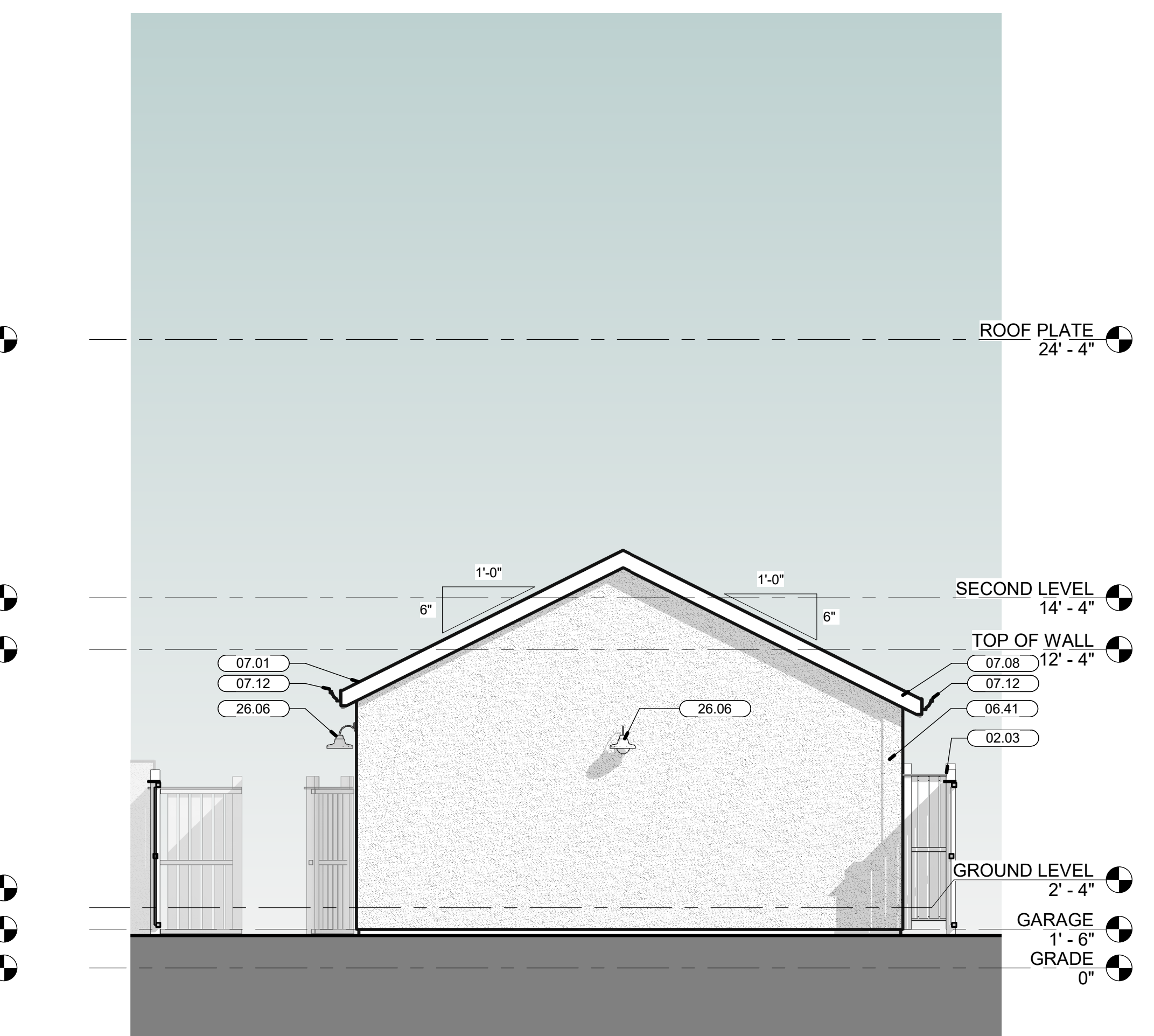
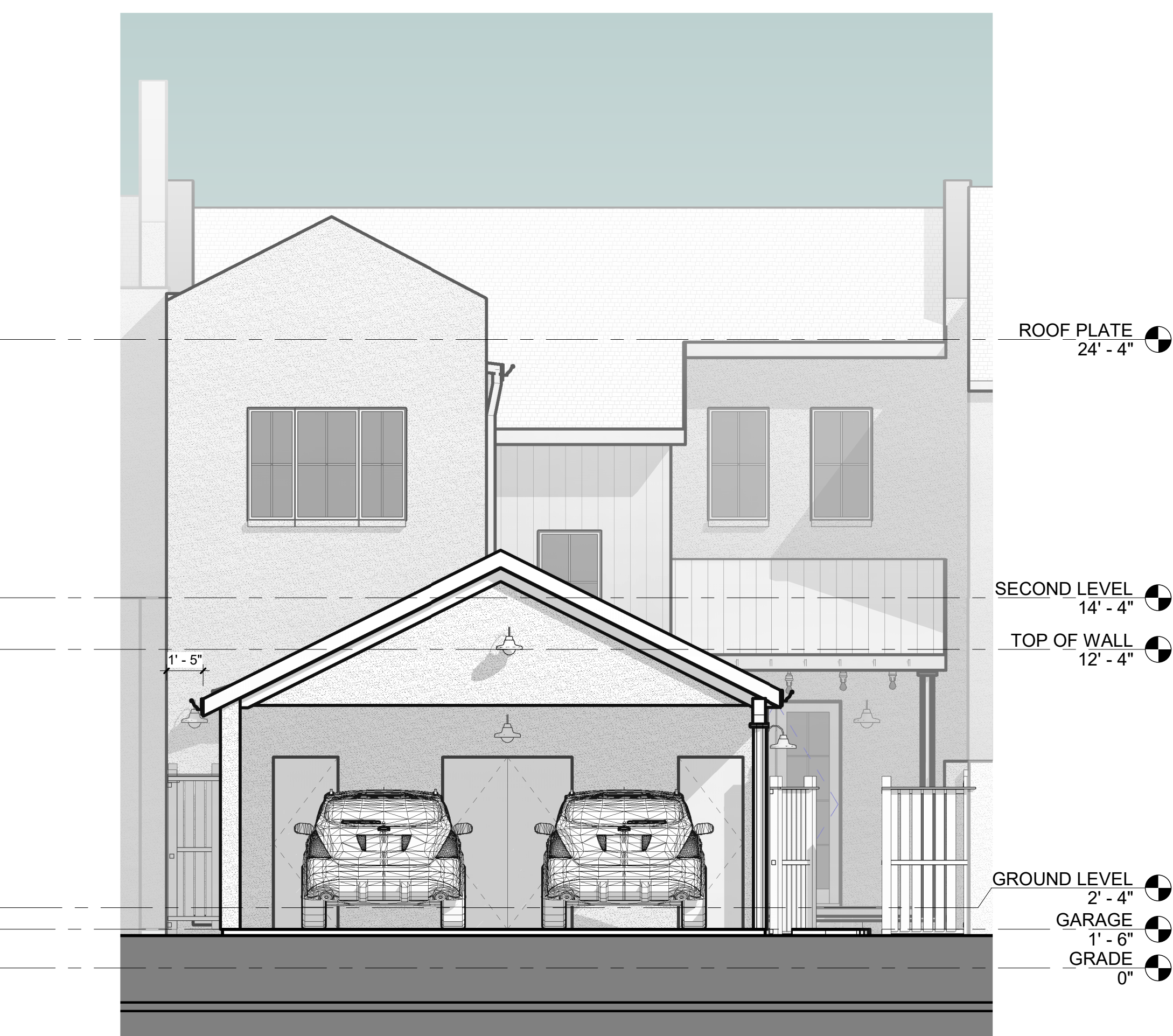
PROJECT NO:  
20050



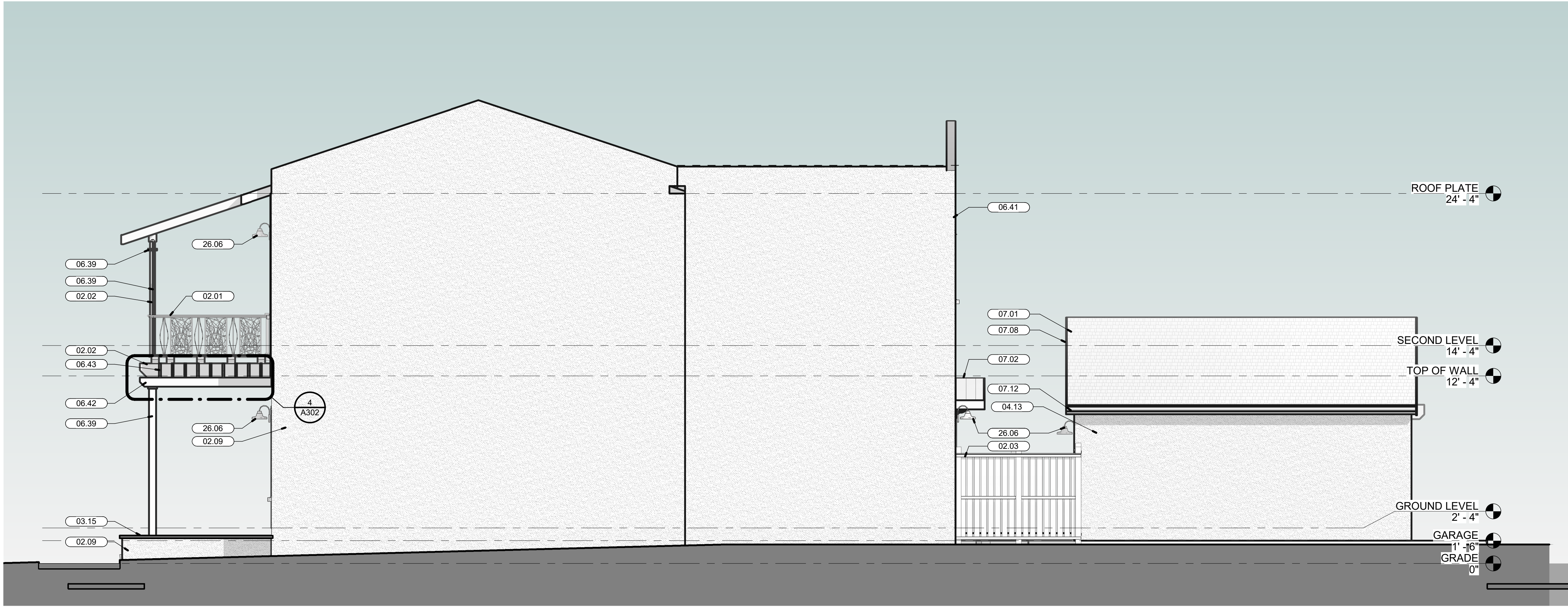


# KEYNOTE LEGEND

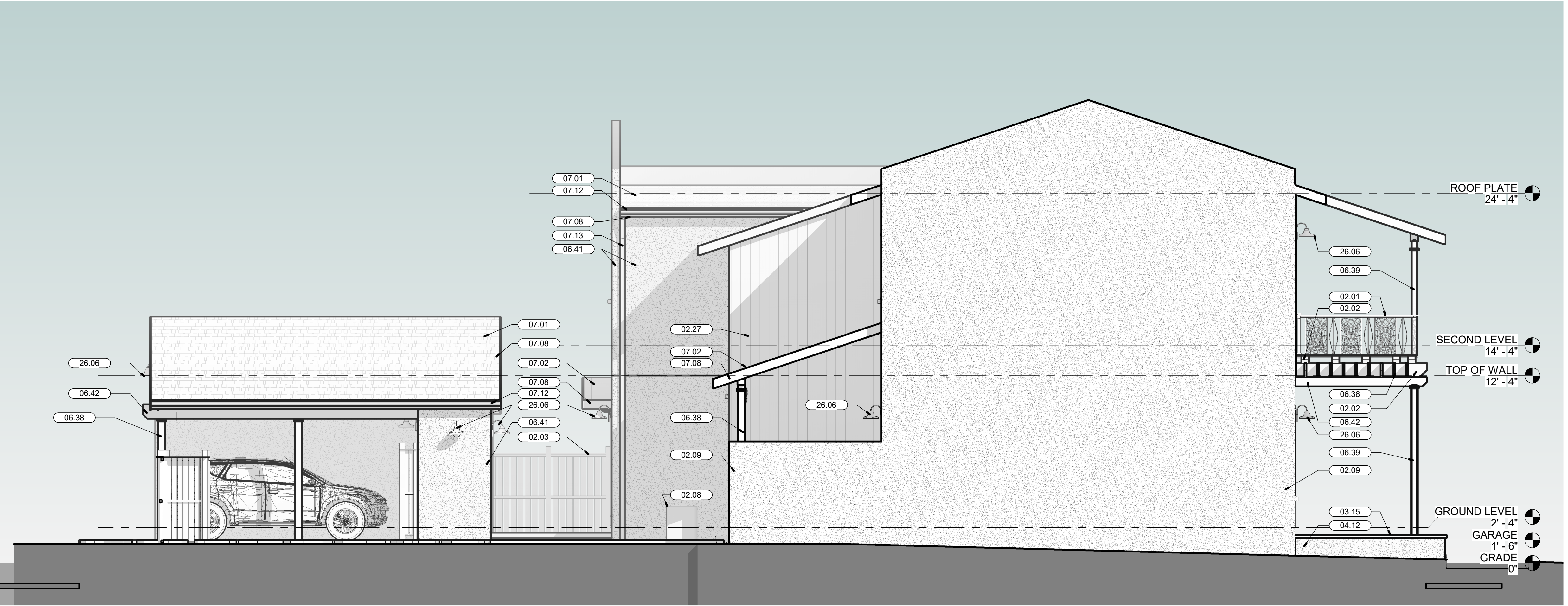
NUMBER	TEXT
02.01	EXISTING ALUMINUM HANDRAIL TO REMAIN
02.03	EXISTING FENCE TO REMAIN; SEE PLAN
02.04	EXISTING STEPS TO REMAIN
02.08	EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AREA
02.09	EXISTING ICF WALL WITH STUCCO FINISH TO REMAIN
02.12	EXISTING CONCRETE PORCH TO REMAIN
02.13	EXISTING 3" ALUMINUM COLUMN TO REMAIN; REMOVE EXISTING SUNBURST COLLAR; TYPICAL
03.14	NEW CONCRETE STEPS TO EXISTING PORCH
03.15	NEW CONCRETE PORCH EXTENSION TO MATCH EXISTING PORCH FINISH
04.12	NEW 8" CMU PORCH EXTENSION WITH STUCCO FINISH TO MATCH EXISTING
05.12	NEW 3" ALUMINUM COLUMN TO MATCH EXISTING; SEE DETAIL 2-3/302
06.38	NEW P.T. WOOD PERGOLA STRUCTURE; STAIN TO MATCH EXISTING. VERIFY WITH OWNER. SEE DETAIL 2-3/302
06.39	NEW SYP PT. 2x6 COLUMN SURROUND AND 1x2 COLLAR AROUND EXISTING AND NEW COLUMNS; STAIN WITH SOLID BODY STAIN TO MATCH EXISTING EXTERIOR WOODWORK. VERIFY WITH OWNER. SEE DETAIL 2-3/302
06.41	2x6 SYP WOOD FRAMED EXTERIOR WALL WITH STUCCO FINISH TO MATCH EXISTING
06.42	SOLID BODY STAINED SYP PT WOOD BEAM; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
06.43	2x12 SYP PT SOLID BODY STAINED WOOD PERGOLA MEMBER; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; SHINGLES TO MATCH EXISTING RESIDENCE; TYPICAL
07.02	5V CRIMP METAL ROOF OVER ADHERED MEMBRANE UNDERLAYMENT; TYPICAL
07.08	PAINTED 1x COMPOSITE FASCIA; PAINT TO MATCH EXISTING; TYPICAL
07.12	PRE-FINISHED ALUMINUM GUTTER; TYPICAL
07.13	PRE-FINISHED ALUMINUM DOWNSPOUT; TYPICAL
08.04	DOOR & FRAME, SEE SCHEDULE
08.05	WINDOW, SEE SCHEDULE
26.06	NEW EXTERIOR SCONCE. SEE LIGHTING/ELECTRICAL PLAN







**1** SIDE ELEVATION A  
1/4" = 1'-0"



**2** SIDE ELEVATION B  
1/4" = 1'-0"

KEYNOTE LEGEND	
NUMBER	TEXT
02.01	EXISTING ALUMINUM HANDRAIL TO REMAIN
02.02	EXISTING PORCH STRUCTURE TO REMAIN
02.03	EXISTING FENCE TO REMAIN; SEE PLAN
02.08	EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AREA
02.09	EXISTING ICF WALL WITH STUCCO FINISH TO REMAIN
02.27	EXISTING WOOD FRAMED EXTERIOR WALL TO REMAIN
03.15	NEW CONCRETE PORCH EXTENSION TO MATCH EXISTING PORCH FINISH
04.12	NEW 8" CMU PORCH EXTENSION WITH STUCCO FINISH TO MATCH EXISTING
04.13	NEW 8" CMU GARAGE WALL WITH STUCCO FINISH TO MATCH EXISTING, BOTH SIDES
06.38	NEW P.T. WOOD PERGOLA STRUCTURE; STAIN TO MATCH EXISITNG, VERIFY WITH OWNER; SEE DETAIL
06.39	NEW SYP P.T. 2x6 COLUMN SURROUND AND 1x2 COLLAR AROUND EXISTING AND NEW COLUMNS; STAIN WITH SOLID BODY STAIN TO MATCH EXISTING EXTERIOR WOODWORK, VERIFY WITH OWNER; SEE DETAIL 2-3/A302
06.41	2x6 SYP WOOD FRAMED EXTERIOR WALL WITH STUCCO FINISH TO MATCH EXISTING
06.42	SOLID BODY STAINED SYP PT WOOD BEAM; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
06.43	2x12 SYP PT SOLID BODY STAINED WOOD PERGOLA MEMBER; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
07.01	30 YEAR DIMENSIONAL ASPHALT SHINGLES OVER ADHERED MEMBRANE UNDERLAYMENT; SHINGLES TO MATCH EXISTING RESIDENCE; TYPICAL
07.02	5V CRIMP METAL ROOF OVER ADHERED MEMBRANE UNDERLAYMENT; TYPICAL
07.08	PAINTED 1x COMPOSITE FASCIA; PAINT TO MATCH EXISTING; TYPICAL
07.12	PRE-FINISHED ALUMINUM GUTTER; TYPICAL
07.13	PRE-FINISHED ALUMINUM DOWNSPOUT; TYPICAL
26.06	NEW EXTERIOR SCNCE; SEE LIGHTING/ELECTRICAL PLAN



**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsol.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

*J. Sallis*

CERTIFICATION

**DESIGN DEVELOPMENT SET**

**Fisher Renovation**  
662 Aragon Street, Pensacola, FL 32502

DRAWN BY:	CHECKED BY:
LBW	JSS

ISSUE DATE:  
1-15-2021

REVISIONS	No.	Des.	Date

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

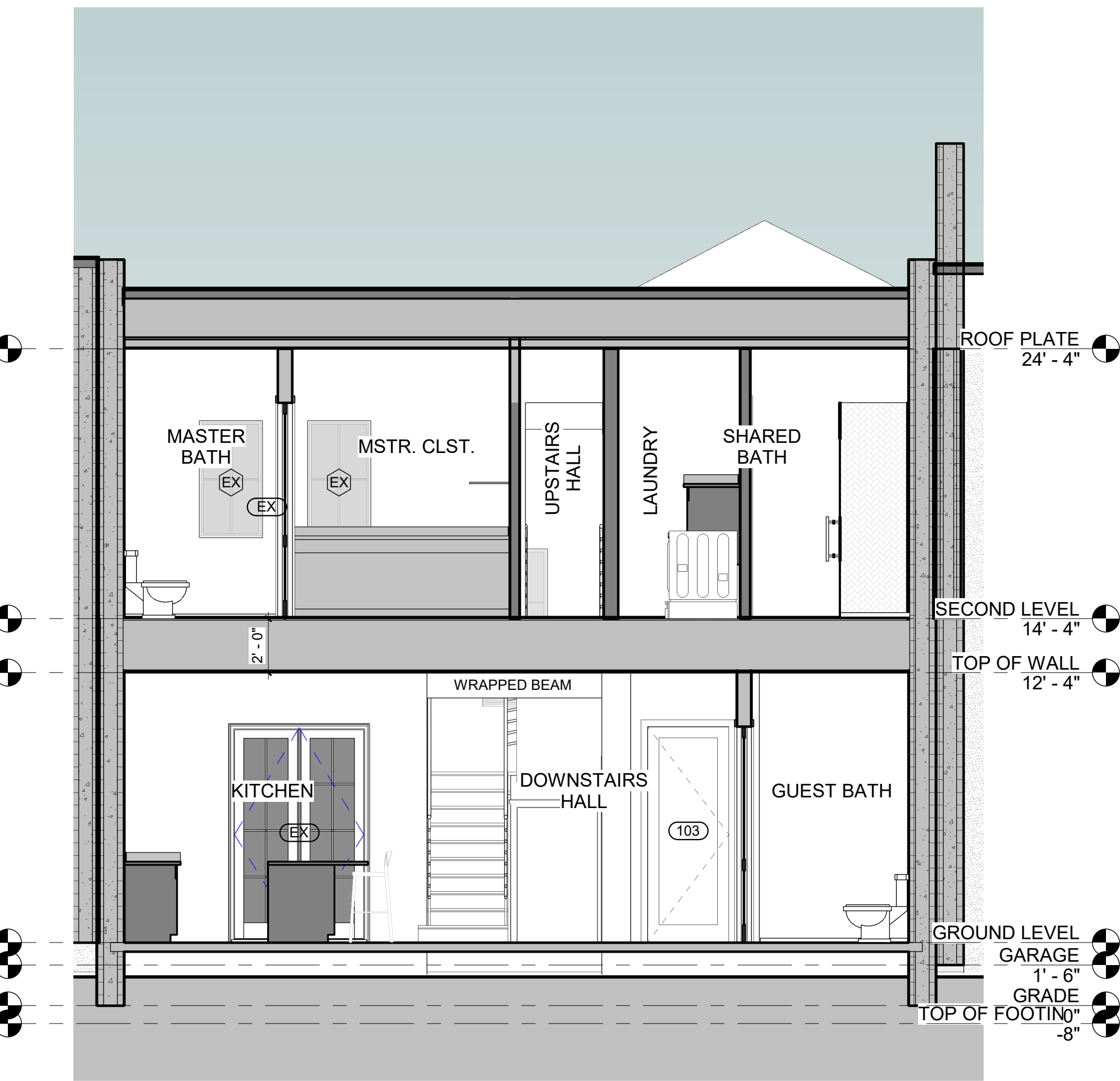
SHEET NO:  
**A202**

PROJECT NO:  
20050

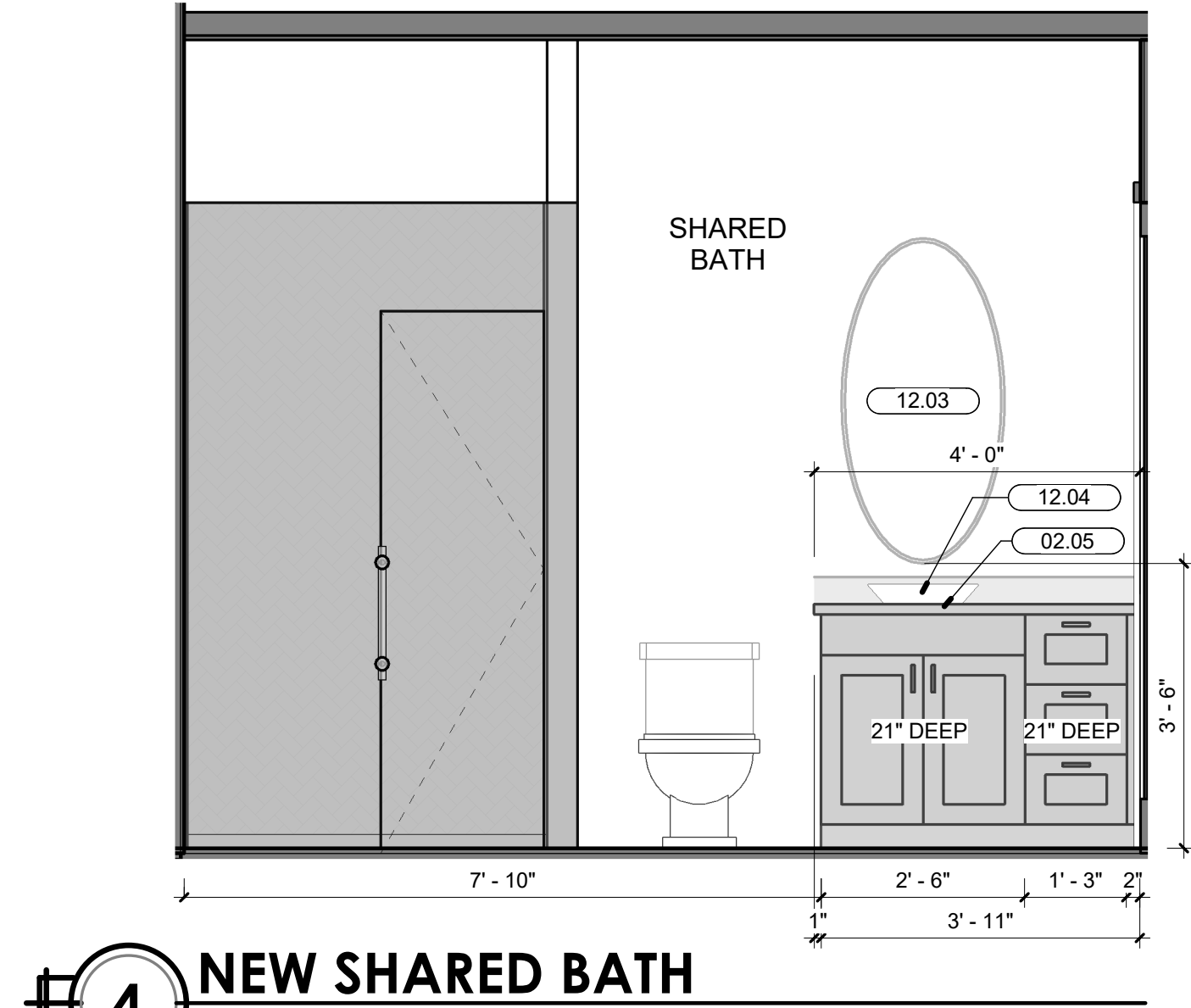




**Section 1**  
1/4" = 1'-0"

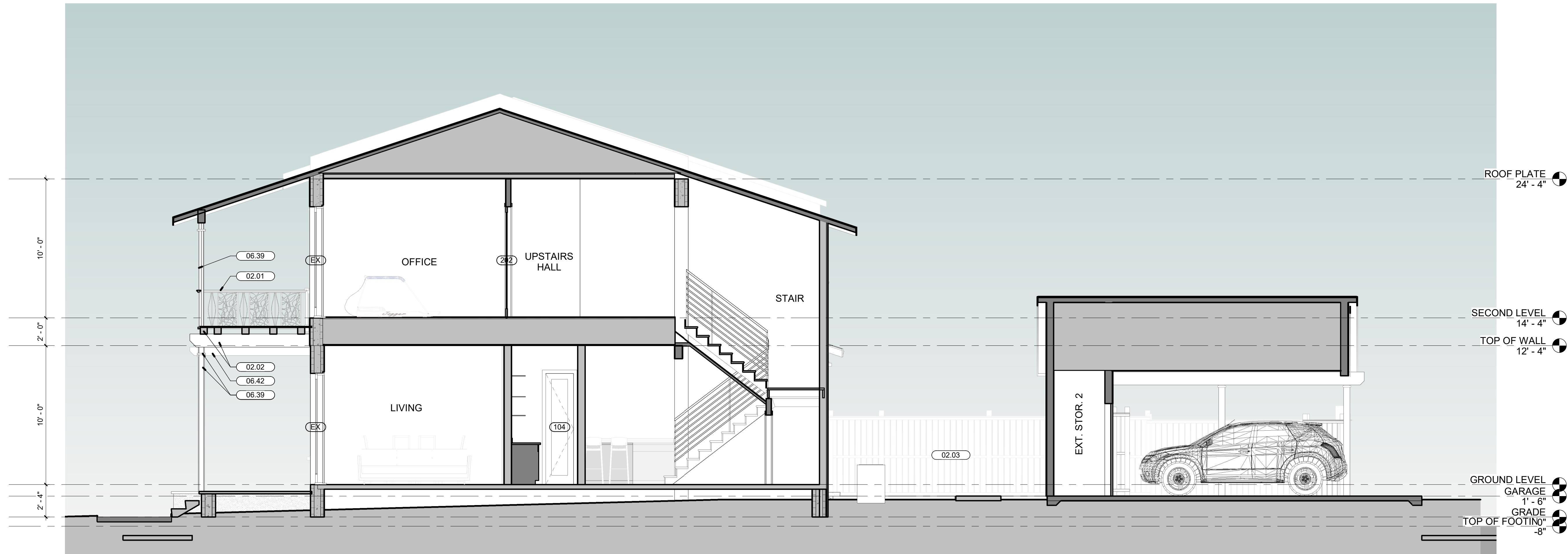


**Section 3**  
1/4" = 1'-0"



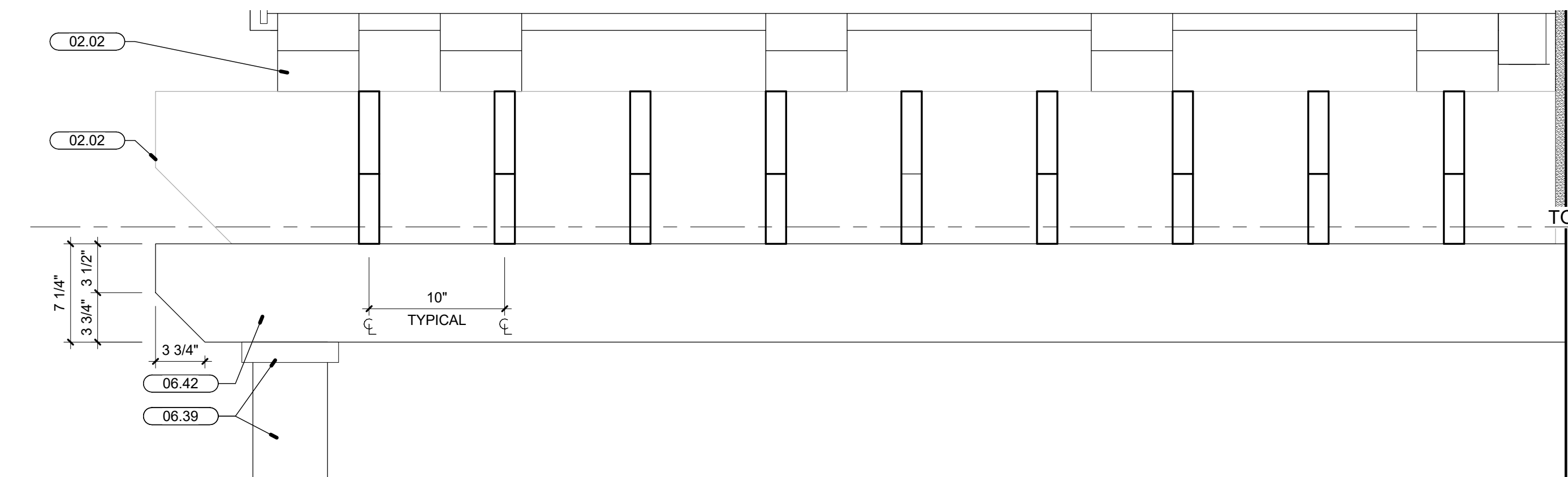
**Section 4**  
1/2" = 1'-0"

KEYNOTE LEGEND	
NUMBER	TEXT
02.01	EXISTING ALUMINUM HANDRAIL TO REMAIN
02.02	EXISTING PORCH STRUCTURE TO REMAIN
02.03	EXISTING FENCE TO REMAIN; SEE PLAN
02.05	REMOVE EXISTING DOOR AND REPAIR WALL TO PREPARE FOR NEW WORK
06.39	NEW SYP P.T. 2x6 COLUMN SURROUND AND 1x2 COLLAR AROUND EXISTING AND NEW COLUMNS; STAIN WITH SOLID BODY STAIN TO MATCH EXISTING EXTERIOR WOODWORK; VERIFY WITH OWNER; SEE DETAIL 2-3/A302
06.42	SOLID BODY STAINED SYP PT WOOD BEAM; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
12.03	MIRROR; OWNER FURNISHED, CONTRACTOR INSTALLED
12.04	SINK; MOUNT TYPE AND FINISH TO BE SPECIFIED BY OWNER



**Section 2**  
1/4" = 1'-0"

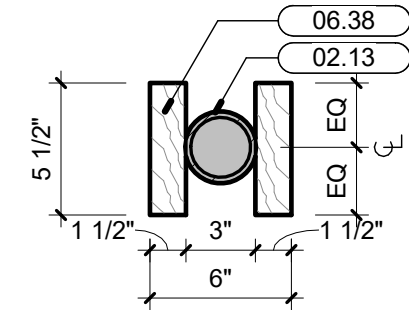




**4 PERGOLA ELEVATION**  
1 1/2" = 1'-0"



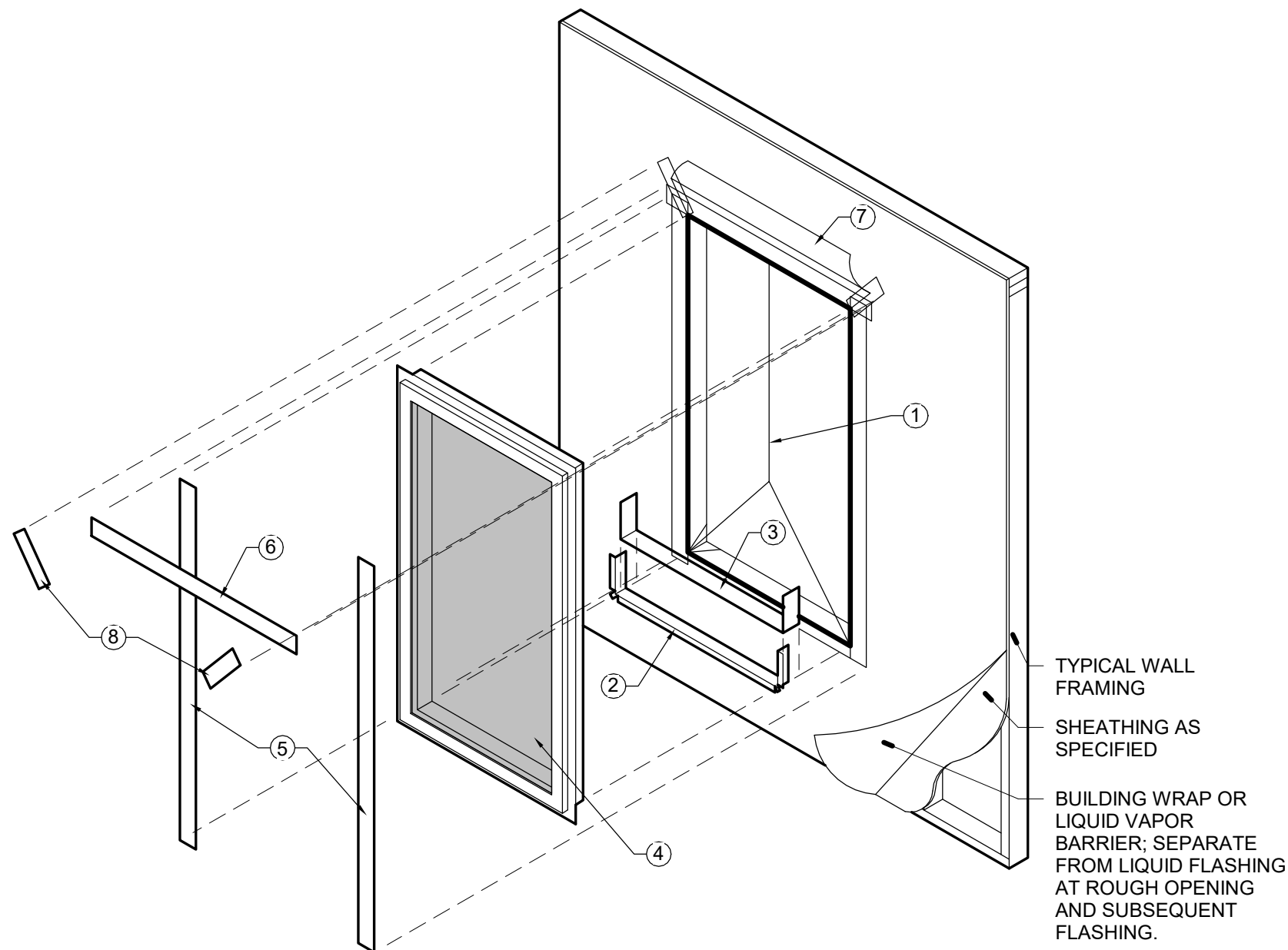
**3 PERGOLA AND COLUMN**  
1 1/2" = 1'-0"



**2 COLUMN SURROUND**  
1 1/2" = 1'-0"

## FLASHING PROCESS FOR NEW WINDOWS

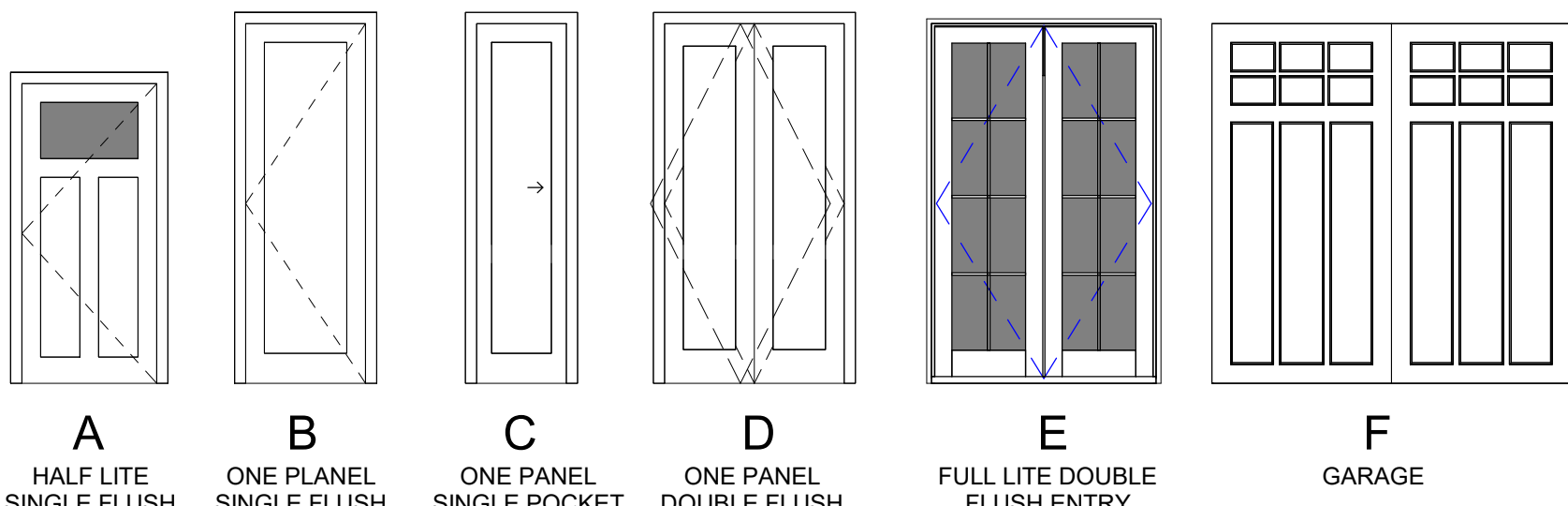
- IF LIQUID VAPOR BARRIER IS NOT USED, CUT BUILDING WRAP VAPOR BARRIER AS SHOWN. FOLD BOTTOM AND TOP SIDE FLAPS INTO OPENING AND FASTEN. TEMPORARILY HOLD TOP FLAP UP ABOVE OPENING. IF LIQUID VAPOR BARRIER IS USED, PAINT BARRIER INTO OPENING.
- PROVIDE SILL FLASHING TAPE OR ADDITIONAL LIQUID FLASHING THAT OVERHANGS OPENING 1" AND EXTENDS UP OPENING SIDES A MINIMUM OF 6".
- PROVIDE 2ND LAYER OF SILL FLASHING OR LIQUID FLASHING TO OVERLAP FIRST LAYER BY 1". DO NOT EXTEND SILL FLASHING PAST INTERIOR FACE OF FRAMING.
- INSTALL WINDOW FROM EXTERIOR OF BUILDING. PLUMB, SQUARE AND VERIFY OPERATION. FASTEN WINDOW IN OPENING WITH 2" GALVANIZED ROOFING NAILS AT 6" O.C.
- PROVIDE SIDE FLASHING TAPE OR ADDITIONAL LIQUID FLASHING TO EXTEND 2" ABOVE TOP AND BOTTOM OF OPENING.
- PROVIDE TOP FLASHING TAPE OR LIQUID FLASHING TO EXTEND PAST EDGE OF SIDE FLASHING TAPE BY 1". DO NOT TAPE OR SEAL BOTTOM NAILING FIN.
- IF LIQUID VAPOR BARRIER IS NOT USED, FOLD DOWN TOP FLAP OF BUILDING WRAP VAPOR BARRIER.
- IF LIQUID VAPOR BARRIER IS USED, APPLY ADDITIONAL LAYER OF LIQUID FLASHING ABOVE WINDOW.
- PROVIDE FLASHING TAPE/ADDITIONAL LIQUID FLASHING AT DIAGONAL CUTS AT LEAST 1" LONGER THAN CUT.
- WHERE EXTERIOR SEALANT IS REQUIRED, USE OSI QUAD MAX CHEMICALLY CURING SEALANT, OR ARCHITECT APPROVED EQUAL.



**5 WINDOW FLASHING DETAIL**  
1/2" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	TYPE MARK	DOOR				FRAME		Comments	
		WIDTH	HEIGHT	MATERIAL	FINIS H	HARDWARE	MATERIAL		
100	B	2'-8"	6'-8"	MDF	PAINT	PRIVACY	WD		
101	TTTT	5'-0"	8'-0"	FBG	PAINT	ENTRY	COMP.		
102	PP	2'-4"	8'-0"	MDF	PAINT	PASSAGE	WD		
103	B	3'-0"	8'-0"	MDF	PAINT	PRIVACY	WD		
104	B	2'-0"	8'-0"	MDF	PAINT	PASSAGE	WD		
201	B	2'-8"	8'-0"	MDF	PAINT	PRIVACY	WD		
202	B	2'-8"	8'-0"	MDF	PAINT	PRIVACY	WD		
203	B	3'-0"	8'-0"	MDF	PAINT	PRIVACY	WD		
204	B	2'-8"	8'-0"	MDF	PAINT	PRIVACY	WD		
206	C	2'-0"	8'-0"	MDF	PAINT	PASSAGE	WD		
207	D	4'-0"	8'-0"	MDF	PAINT	PASSAGE	WD		
210	N	5'-0"	6'-8"						
213	O	2'-6"	6'-8"						
214	O	2'-6"	6'-8"						
215	B	2'-8"	6'-8"	MDF	PAINT	PRIVACY	WD		
217	V	3'-0"	8'-0"	MDF					
219	WWW	2'-0"	6'-8"						
220	B	2'-8"	8'-0"	MDF					
221	D	4'-0"	8'-0"	MDF					
231	QQ	3'-0"	8'-0"						

## DOOR TYPES



## DOOR NOTES

- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- WOOD DOORS TO BE SOLID CORE, STAINED.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

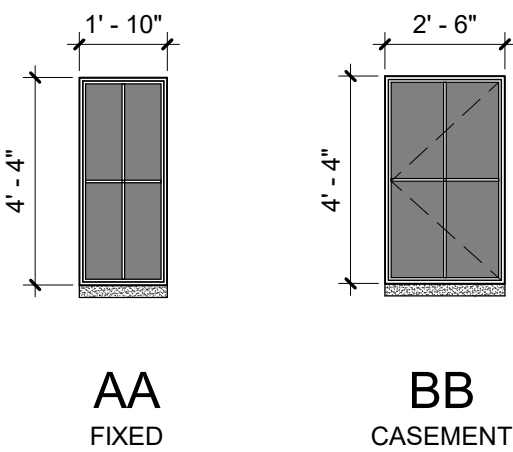
## KEYNOTE LEGEND

NUMBER	TEXT
02.02	EXISTING PORCH STRUCTURE TO REMAIN
02.13	EXISTING 3" ALUMINUM COLUMN TO REMAIN; REMOVE EXISTING SUNBURST COLLAR; TYPICAL
05.12	NEW 3" ALUMINUM COLUMN TO MATCH EXISTING; SEE DETAIL 2-3/302
06.38	NEW P.T. WOOD PERGOLA STRUCTURE; STAIN TO MATCH EXISTING; VERIFY WITH OWNER; SEE DETAIL
06.39	NEW SYP P.T. 2x6 COLUMN SURROUND AND 1x2 COLLAR AROUND EXISTING AND NEW COLUMNS; STAIN WITH SOLID BODY STAIN TO MATCH EXISTING EXTERIOR WOODWORK; VERIFY WITH OWNER; SEE DETAIL 2-3/A302
06.42	SOLID BODY STAINED SYP PT WOOD BEAM; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE
06.43	2x12 SYP PT SOLID BODY STAINED WOOD PERGOLA MEMBER; STAIN TO MATCH EXISTING EXTERIOR WOOD STRUCTURE

## WINDOW SCHEDULE

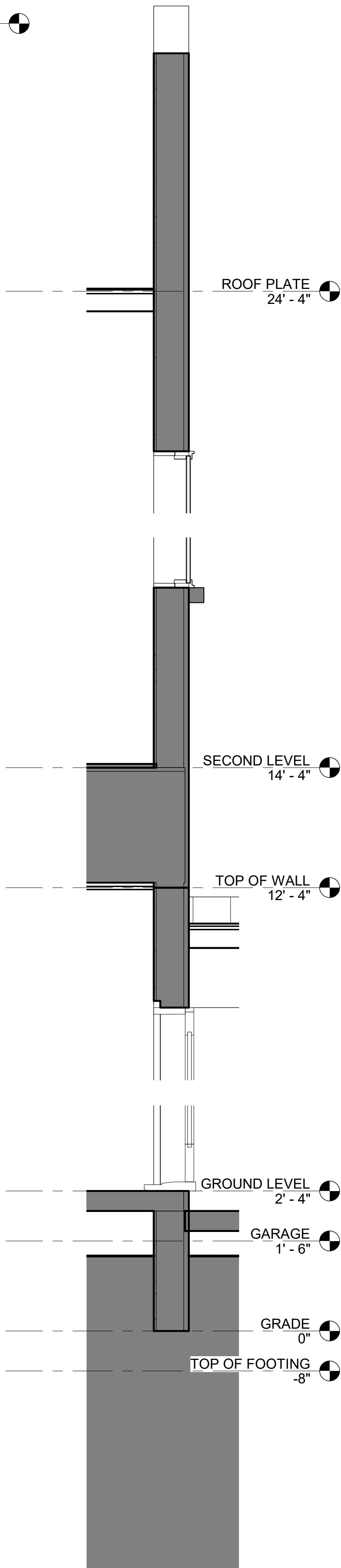
Type Mark	Width	Height	Head Height	Material	Comments
AA	1' - 10"	4' - 4"	7' - 4"	VINYL	FIXED
BB	2' - 6"	4' - 4"	7' - 4"	VINYL	CASEMENT, EGRESS

## WINDOW TYPES



## WINDOW NOTES

- ALL WINDOWS TO BE VINYL, IMPACT-RATED PRODUCT.
- ALL WINDOWS TO HAVE MIN. LOW-E GLASS COATING.
- ALL INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING WINDOWS.



**1 Section 4**  
3/4\" = 1'-0"



**dalrymple | sallie**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dolsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

*J. Sallie*

CERTIFICATION

**DESIGN  
DEVELOPMENT  
SET**

**Fisher Renovation**

662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW  
CHECKED BY: JSS

ISSUE DATE:  
1-15-2021

REVISIONS  
No. Des. Date

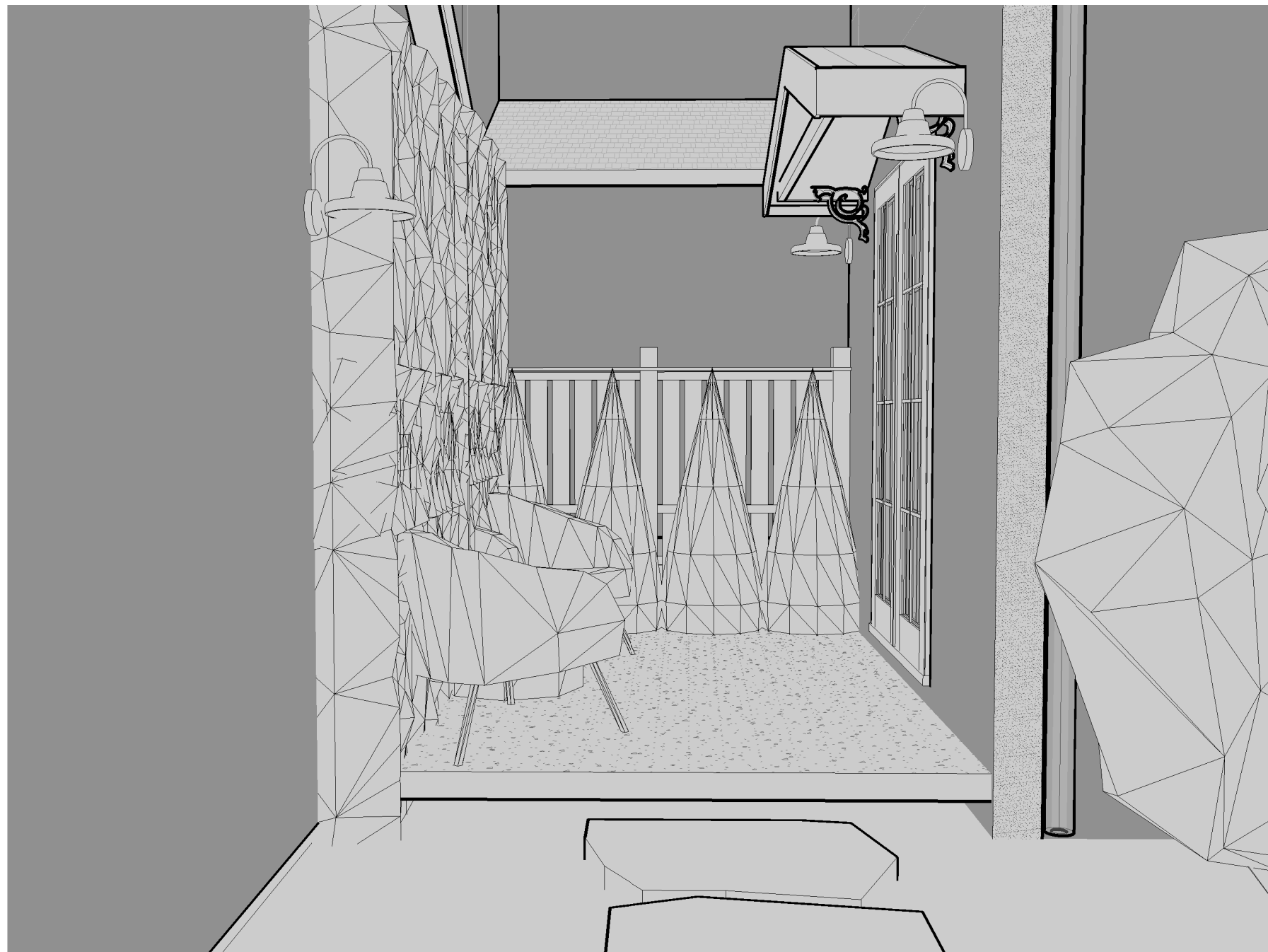
SHEET TITLE:  
**WALL  
SECTION,  
SCHEDULES &  
DETAILS**

SHEET NO:

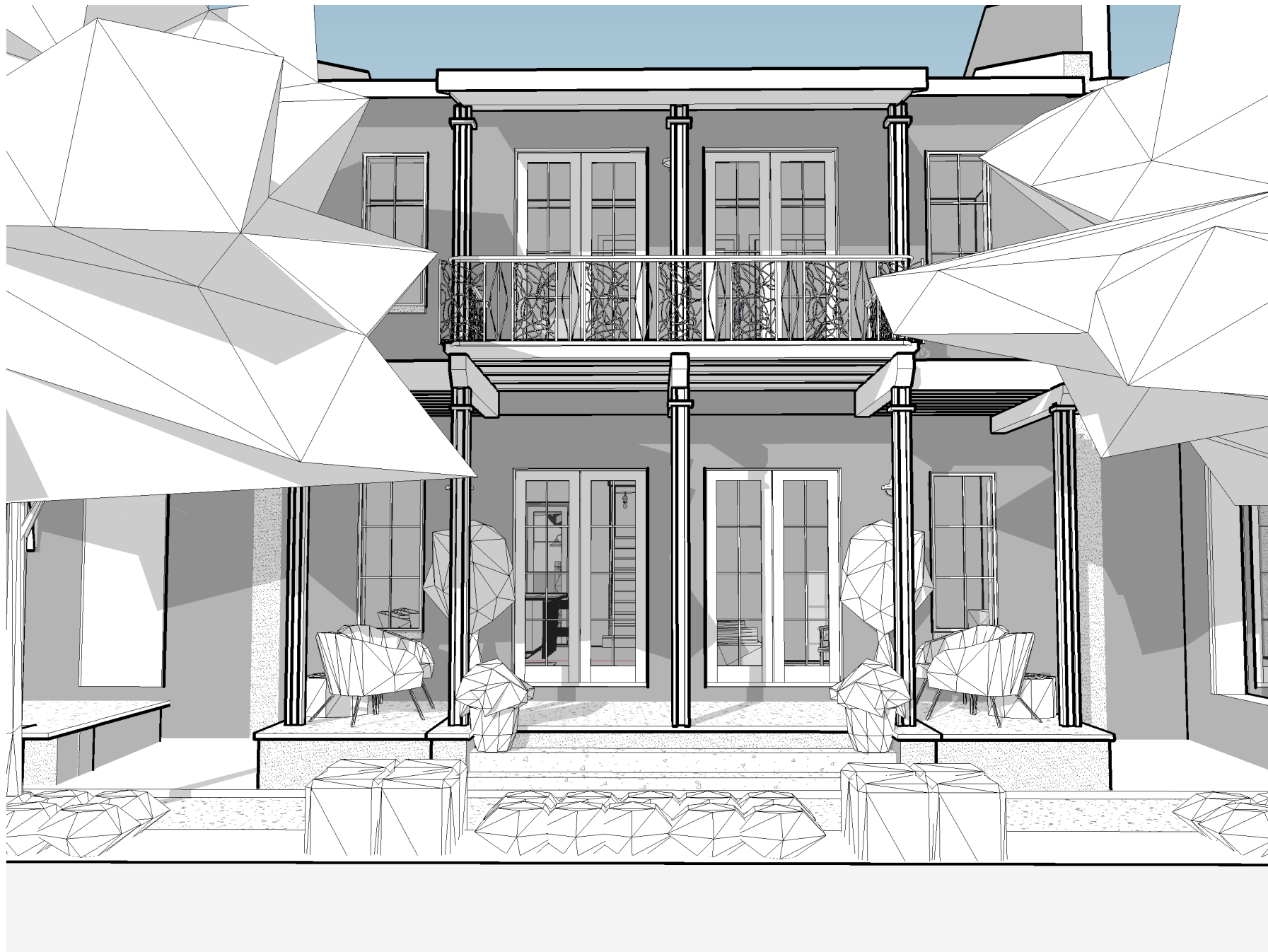
**A302**

PROJECT NO:  
20050

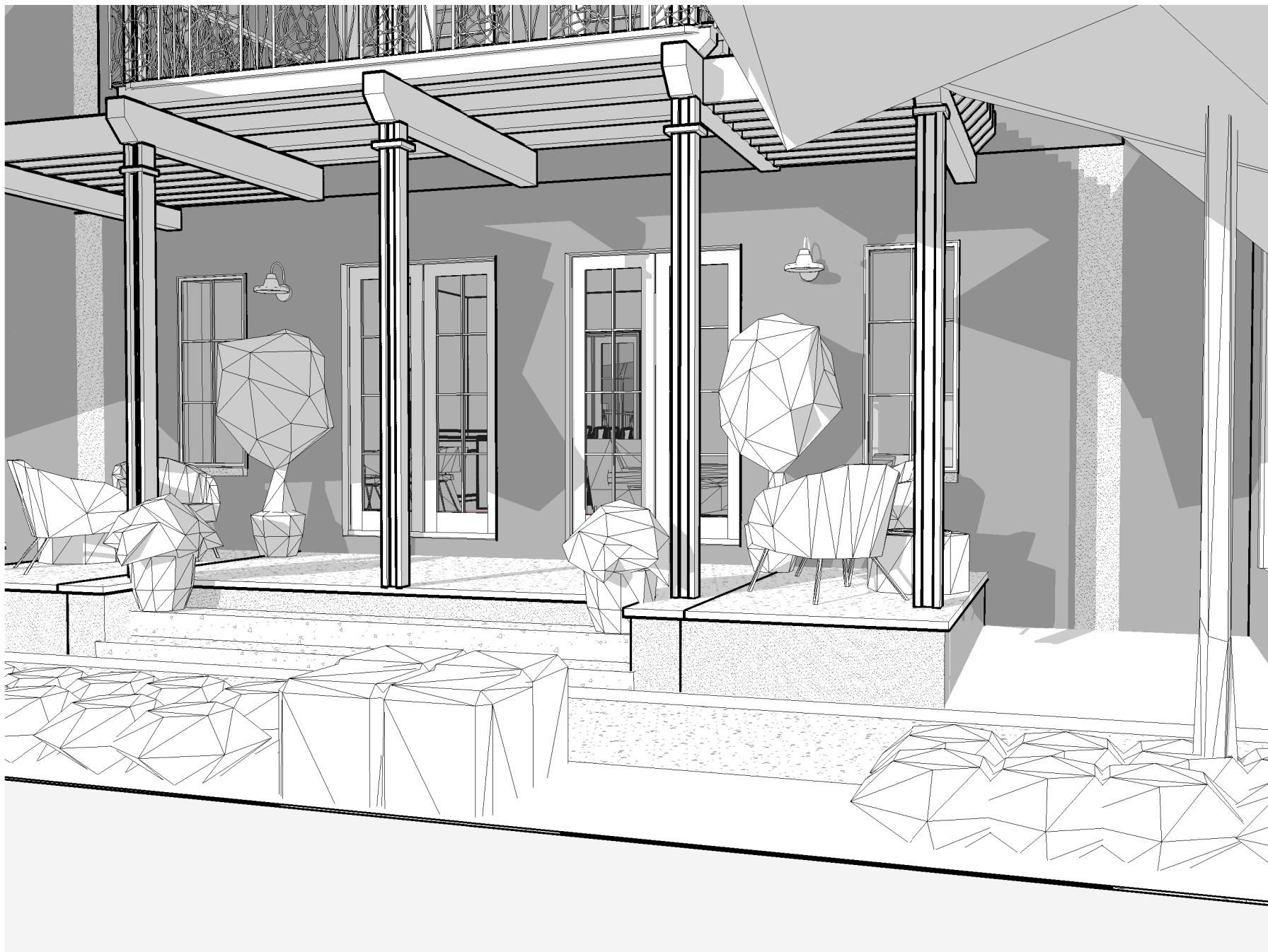




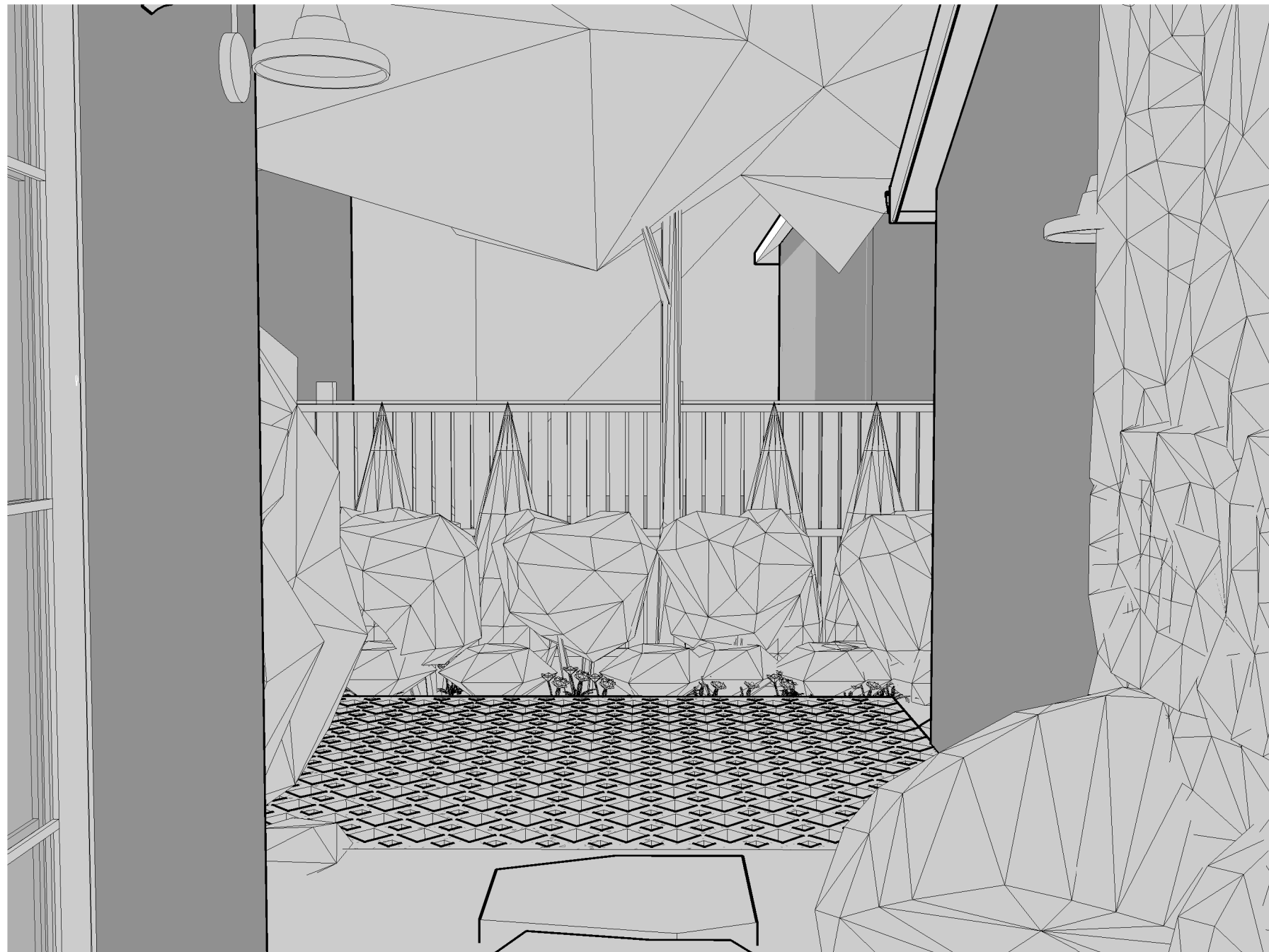
**1** Courtyard/Patio 2



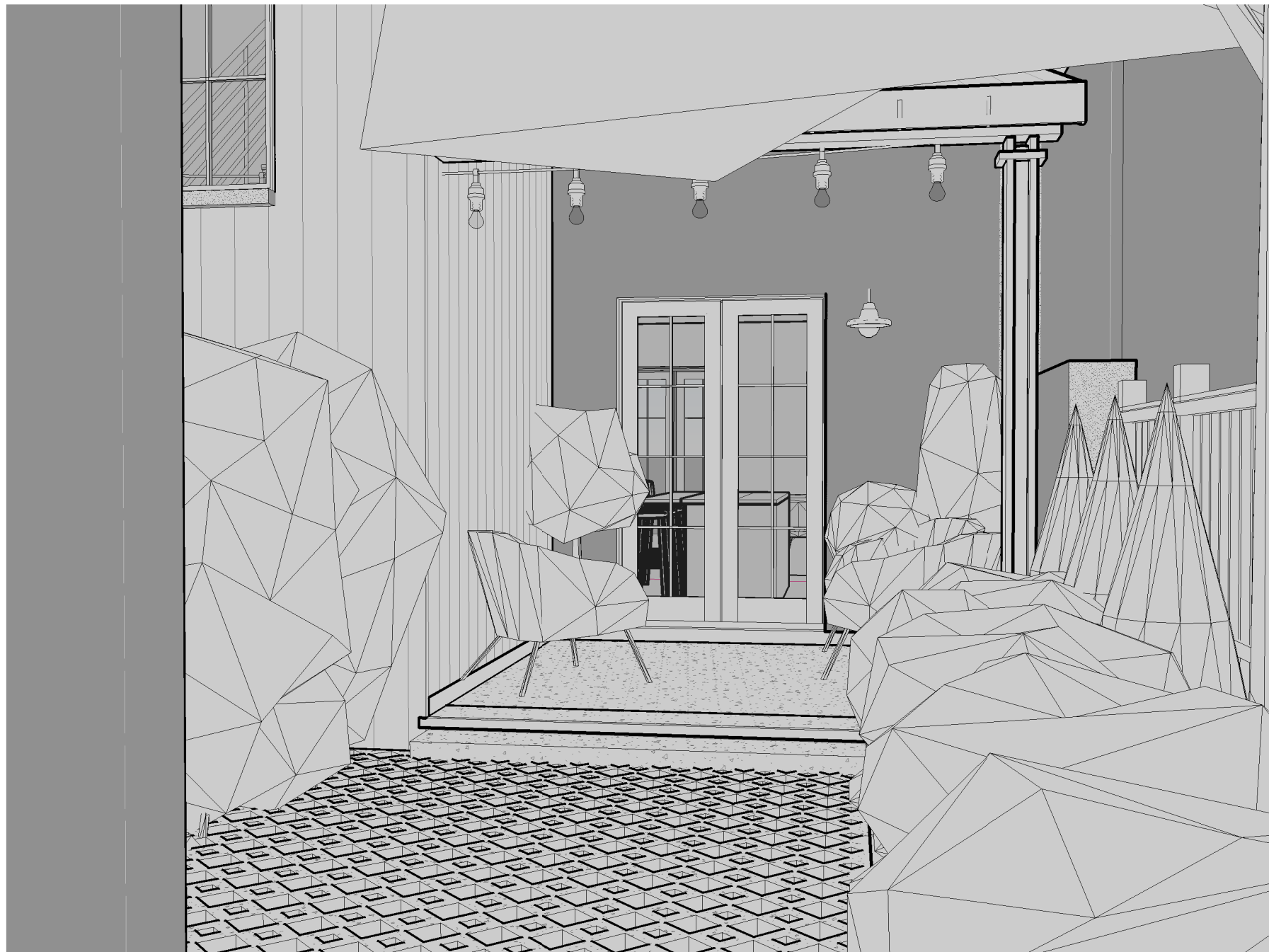
**2** Front Straight



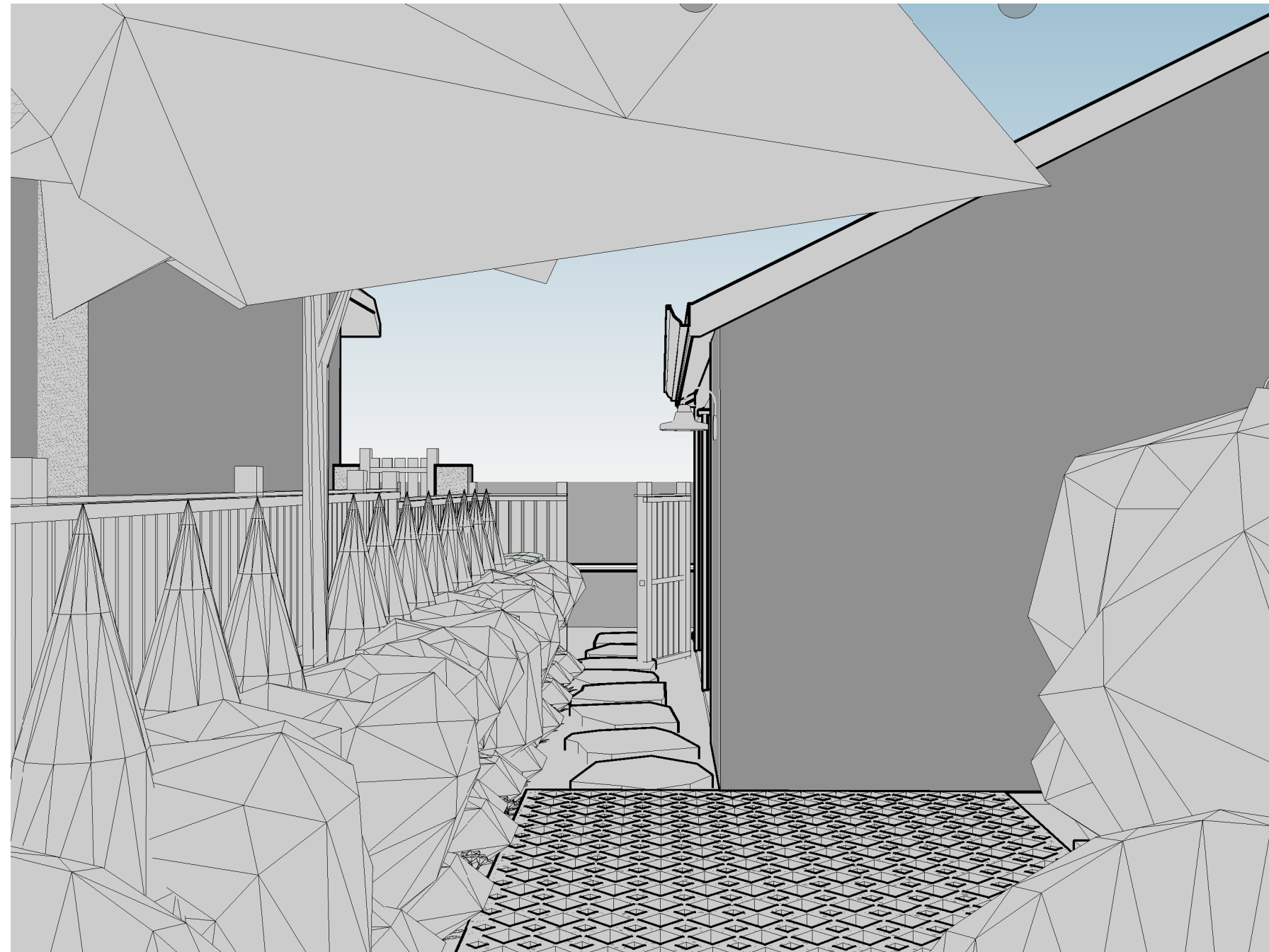
**3** Front Approach



**4** Courtyard View from Patio 2



**5** Rear Patio



**6** Courtyard



**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

**DESIGN  
DEVELOPMENT  
SET**

**Fisher Renovation**

662 Aragon Street, Pensacola, FL 32502

DRAWN BY: LBW	CHECKED BY: JSS
------------------	--------------------

ISSUE DATE:  
1-15-2021

REVISIONS No.	Des.	Date

SHEET TITLE:  
**3D EXTERIOR  
PERSPECTIVE  
VIEWS**

SHEET NO:

**A701**

PROJECT NO:  
20050

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS