



City of
Pensacola
America's First Settlement
And Most Historic City

**Architectural Review Board Application
Full Board Review**

Application Date: 01.28.2021

Project Address: 150 S Baylen Street, Pensacola Florida 32502

Applicant: Caldwell Associates Architects

Applicant's Address: 116 N Tarragona Street

Email: michelle@caldwell-assoc.com/michael@caldwell-assoc.com

Phone: 850-439-6578

Property Owner: Studer Properties LLP

District: ☐ PHD ☐ NHDP ☐ OEHPD ☒ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

This development will create 11-three story, single family townhouses on a previously underutilized .42-acre parking lot, located on the corner of Baylen Street & Intendencia Street. This infill style development helps restore the urban fabric, enhances the streetscape, creates additional neighborhood security, and adds living options and density to our popular downtown core. At just one block off Palafox, it is walking distance to all of Pensacola's downtown amenities while not being at the center of the activity. Property owners will utilize a shared private access drive from Intendencia Street for rear access to their garage which will enable the public streets and sidewalks to maintain, and even enhance, their current function and pedestrian traffic patterns. Three different unit types are offered ranging from a 2,000 SF to 3,000 SF.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

01.28.2021

Date

1/28/2021

150 S. Baylen Street Existing Conditions:

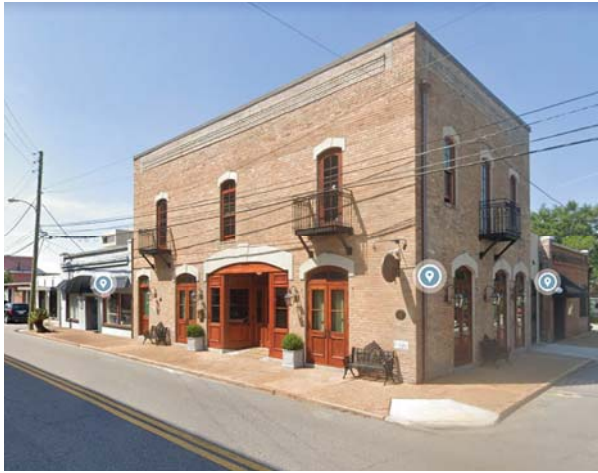


Surrounding Buildings:



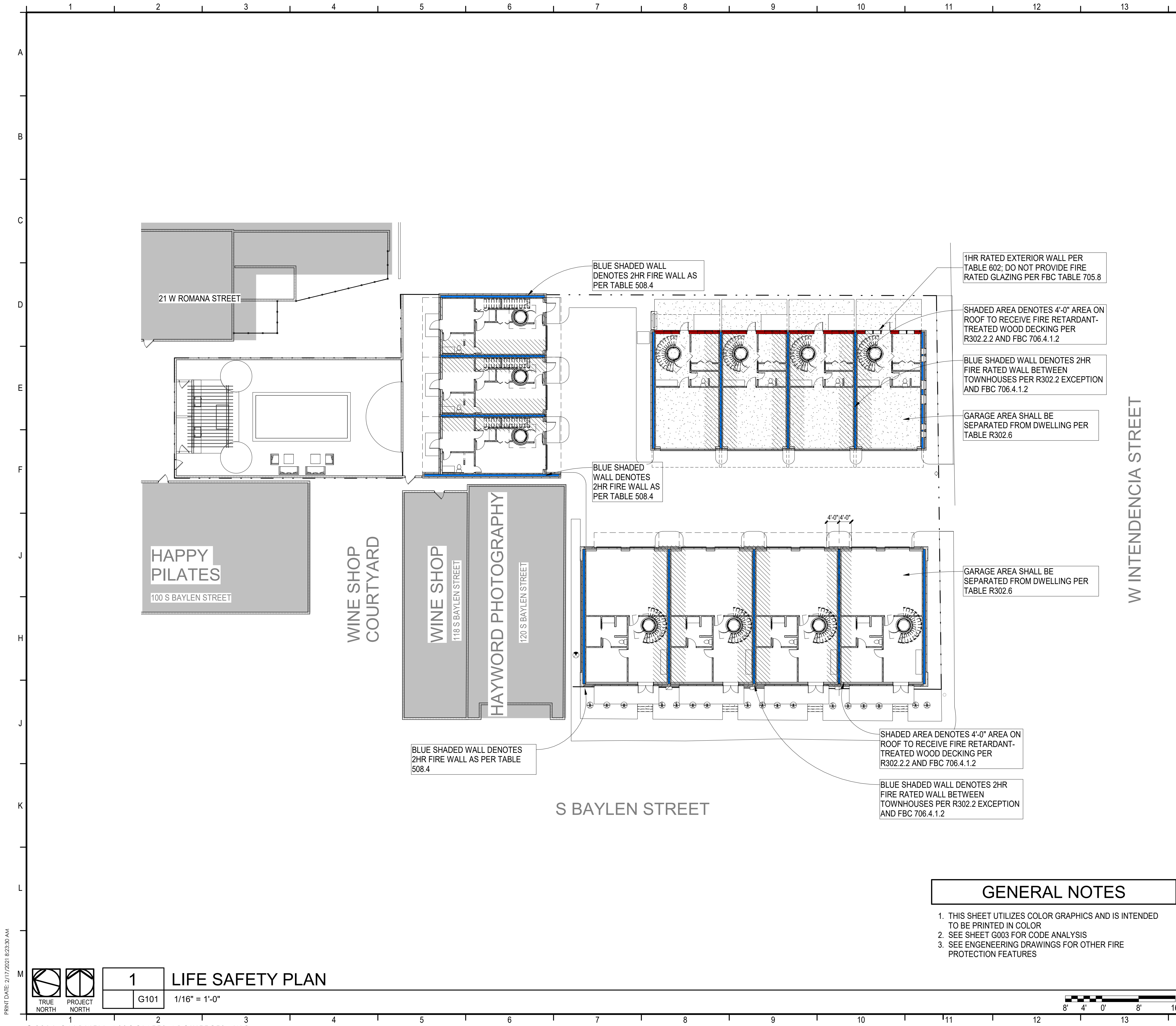
CALDWELL

ASSOCIATES | BROKER/5036



A	—
B	—
C	—
D	—
E	—
F	—
J	—
H	—
J	—
K	—
L	—
M	





LEGEND	
<div></div>	2 HR RATED CONSTRUCTION
<div></div>	1 HR RATED CONSTRUCTION

CODE ANALYSIS	
OCCUPANCY CLASSIFICATION	
FBC 2020:	GROUP R3 (SINGLE FAMILY TOWNHOUSE)
CONSTRUCTION TYPE	
FBC 2020:	TYPE VB (5B), FULLY SPRINKLERED
BUILDING AREA AND HEIGHT	
UNIT A AREA:	3,000 SQFT
UNIT B AREA:	2,500 SQFT
UNIT C AREA:	2,000 SQFT
ALLOWABLE AREA:	UL
ALLOWABLE HEIGHT:	3 STORIES
FIRE RESISTANCE	
TYPE VB CONSTRUCTION:	
PRIMARY STRUCTURAL FRAME:	0 hr
BEARING WALLS:	
EXTERIOR BEARING:	1 hr (SEE BELOW)
INTERIOR BEARING:	0 hr
NONBEARING WALLS:	
EXTERIOR BEARING:	0 hr (SEE BELOW)
INTERIOR BEARING:	0 hr
FLOOR CONSTRUCTION:	0 hr
ROOF CONSTRUCTION:	0 hr
EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE	
X < 5'	SEPARATION 1 hr
5' < 10'	SEPARATION 1 hr
10' < 30'	SEPARATION 0 hr
X > 30'	SEPARATION 0 hr
ADDITIONAL REQUIREMENTS	
R302.2 EXCEPTION	FIRE SEPARATION BETWEEN TOWNHOUSES 2HR
706.4.1.2	FIRE SEPARATION BETWEEN TOWNHOUSES 2HR
R302.2.4 STRUCTURAL INDEPENDENCE	EACH INDIVIDUAL TOWNHOUSES SHALL BE STRUCTURAL INDEPENDENT.
903.2.11.3.1 - NFPA 101 REQUIREMENT FOR FULLY SPRINKLERED	3-STORY, 3-UNITS TOGETHER AS PER FLORIDA STATUTE 553.895(2).
R302.6 DWELLING-GARAGE FIRE SEPARATION	THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6 - PROVIDE 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT
R393.1 HABITABLE ROOMS - HABITABLE ROOMS SHALL HAVE AN	AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOM.
R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.	EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
R310.2.1 MINIMUM OPENING AREA - SHALL HAVE A NET CLEAR	OPENING OF NOT LESS THAN 5.7 SQUARE FEET. NET CLEAR HEIGHT NOT LESS THAN 23 INCHES AND CLEAR WIDTH OF NOT LESS THAN 20 INCHES.
R310.2.2 WINDOW SILL HEIGHT - SILL HEIGHT OF NOT LESS THAN	44 INCHES ABOVE FLOOR
R311.6 HALLWAYS - SHALL NOT BE LESS THAN 3 FEET	
R311.7.1 STAIRWAY WIDTHS - NOT LESS THAN 3 FEET	
R311.7.2 HEADROOM - NOT LESS THAN 6 FEET 8 INCHES	
R314.1 SMOKE ALARM - SHALL COMPLY WITH NFPA 72 AND	SECTION R314
R314.3 LOCATIONS - 1. AT EACH SLEEPING ROOM, 2. OUTSIDE	EACH SEPARATE SLEEPING AREA, 3. AT EACH FLOOR, 4. INSTALLED NOT LESS THAN 3FT HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM.
R321.1 ELEVATORS - SHALL COMPLY WITH ASME A17.1/CSA B44	
R807.1 ATTIC ACCESS - PROVIDE 22 X 30 INCH OPENING	

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES

STRUCTURAL
LBYD ENGINEERING, INC.

ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION
W3 ENGINEERING

PLUMBING, MECHANICAL
W3 ENGINEERING

ELECTRICAL
W3 ENGINEERING

LANDSCAPE
TBD

MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET
(CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY-
NOT FOR
CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
LIFE SAFETY PLAN

SHEET NUMBER:
G101

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 8:23:30 AM

TRUE NORTH

PROJECT NORTH

1

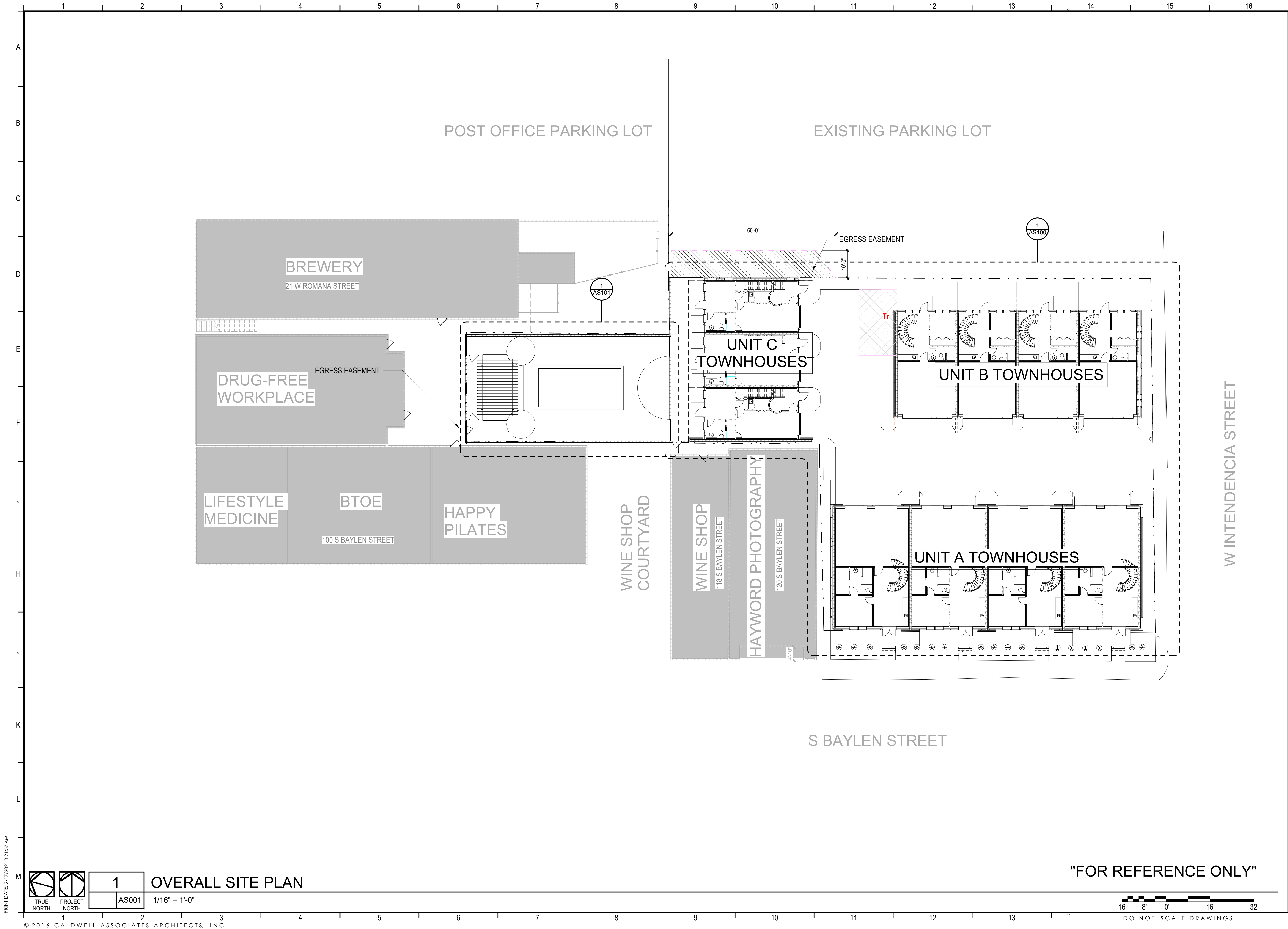
G101

LIFE SAFETY PLAN

1/16" = 1'-0"

8' 4' 0' 8' 16'

DO NOT SCALE DRAWINGS



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STRUCTURAL	LYBD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET
(CORNER OF BAYLEN & INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
OVERALL SITE

SHEET NUMBER:

AS001

DESIGN DEVELOPMENT



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LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

**150 S BAYLEN STREET
(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT SITE PLAN

SHEET NUMBER:

AS100

DESIGN DEVELOPMENT

CIVIL
 REBEL BATTLE & ASSOCIATES
 STRUCTURAL
 LBYD ENGINEERING, INC.
 ARCHITECTURAL
 CALDWELL ASSOC. ARCHITECTS
 FIRE PROTECTION
 W3 ENGINEERING
PLUMBING, MECHANICAL
 W3 ENGINEERING
 ELECTRICAL
 W3 ENGINEERING
LANDSCAPE
 TBD
MOISTURE CONSULTANT
 TBD
ACOUSTICAL CONSULTANT
 TBD
POOL CONSULTANT
 TBD

**150 S BAYLEN STREET
CORNER OF BAYLEN &
NTENDENCIA)**

**-PRELIMINARY-
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CONSTRUCTION**

DESIGN DEVELOPMENT

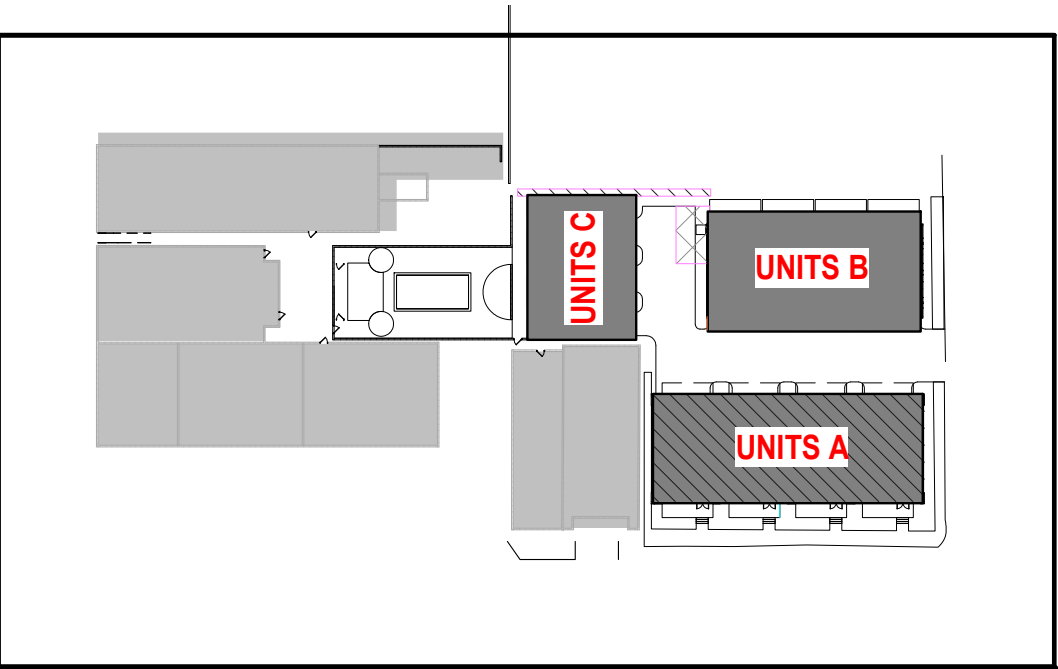


BAYLEN STREET TOWNHOUSES

UNIT TYPE A



4 BEDROOM / 3 1/2 BATH
2,377 SF - CONDITIONED SPACE
230 SF - BALCONIES
562 SF - 2 CAR GARAGE
3,169 SF TOTAL



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ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

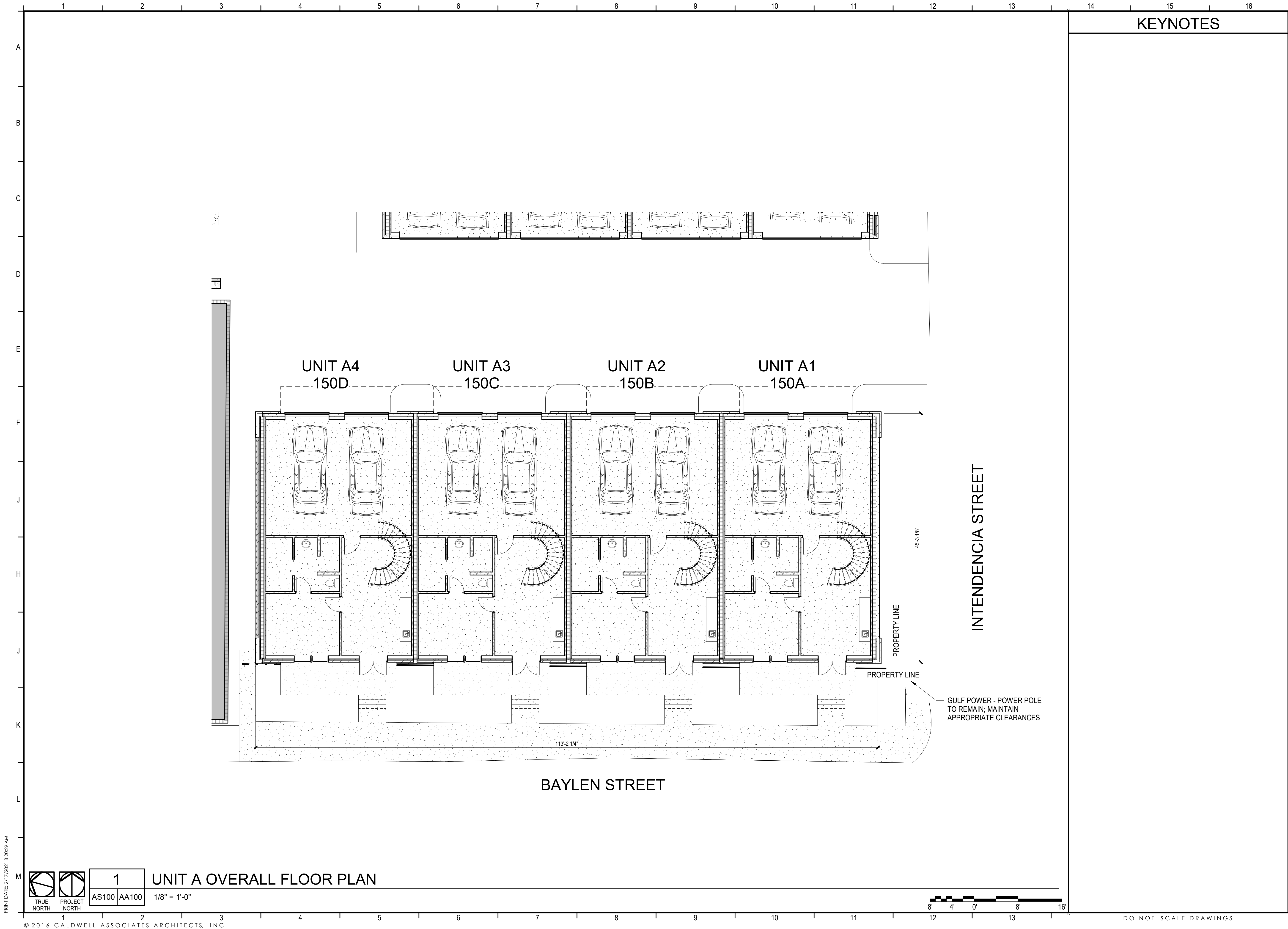
**150 S BAYLEN STREET
(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT A COVER SHEET

SHEET NUMBER:
GA001

DESIGN DEVELOPMENT



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MOISTURE CONSULTANT	TBD
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POOL CONSULTANT	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

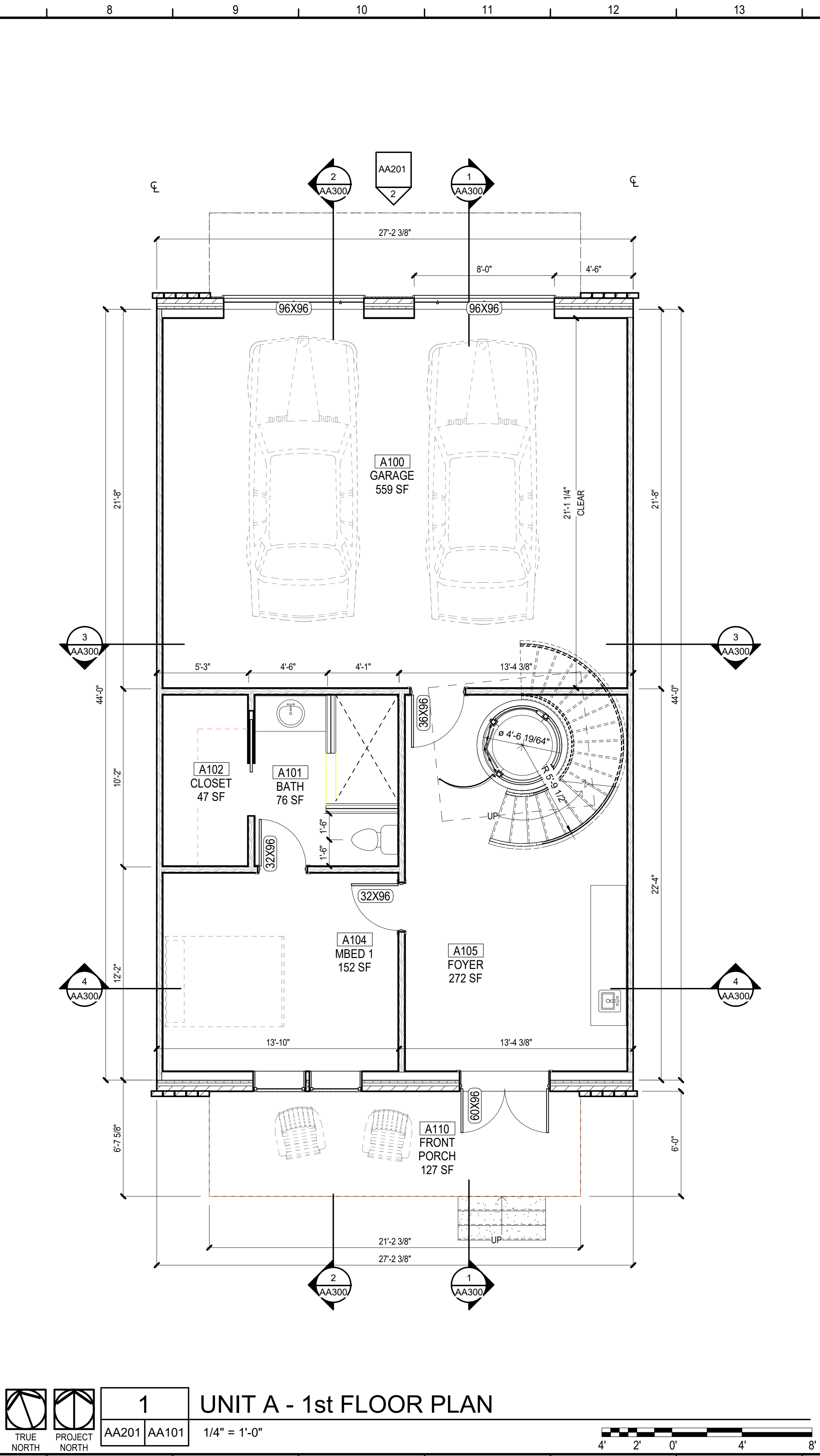
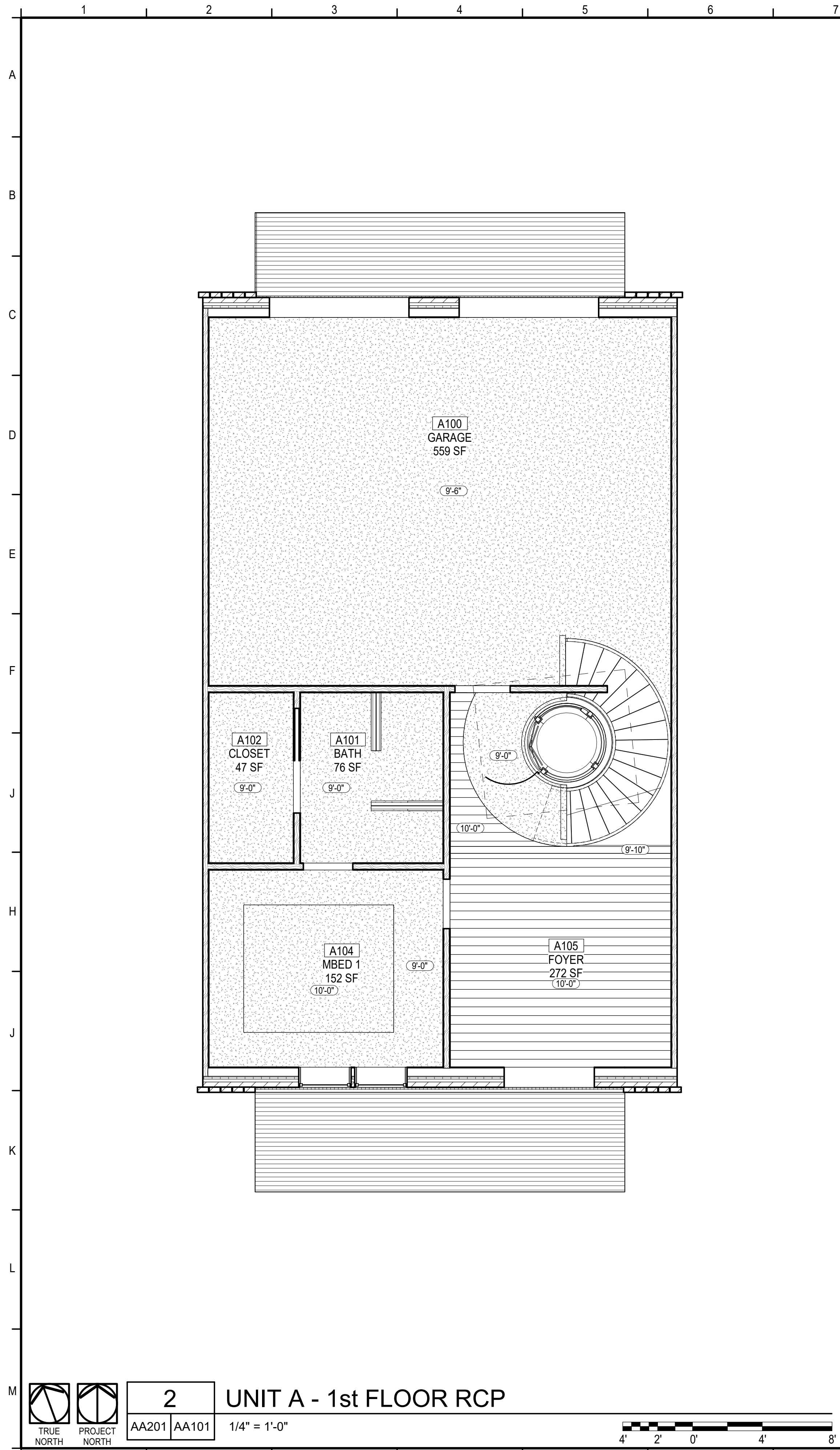
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(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
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CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT A OVERALL PLAN

SHEET NUMBER:
AA100
DESIGN DEVELOPMENT

PRINT DATE: 2/16/2021 4:53:21 PM



KEYNOTES

LEGEND

CONCRETE MASONRY UNIT WALL; SEE WALL TYPE

WOOD STUD WALL; SEE WALL TYPE

5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE

LIGHT FIXTURES; SEE ELECTRICAL

SUPPLY AIR DIFFUSER; SEE MECHANICAL

RETURN AIR GRILLE; SEE MECHANICAL

GENERAL NOTES

- COORDINATE WITH ALL OTHER DRAWINGS PRIOR TO COMMENCING ANY WORK.
- REFER TO WALL TYPE SHEET FOR MORE INFORMATION
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED OR WALL MOUNTED DEVICE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTING INFORMATION.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
- PROVIDE PRESSURE TREATED WOOD BLOCKING IN STUD WALL CAVITIES WHERE REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS, INCLUDING, BUT NOT LIMITED TO, UPPER CABINET AND COUNTER SUPPORT BRACKETS.

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DESIGN DEVELOPMENT	02.17.2021

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ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION
W3 ENGINEERING

PLUMBING, MECHANICAL
W3 ENGINEERING

ELECTRICAL
W3 ENGINEERING

LANDSCAPE
TBD

MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

POOL CONSULTANT
TBD

PROJECT:

RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)**

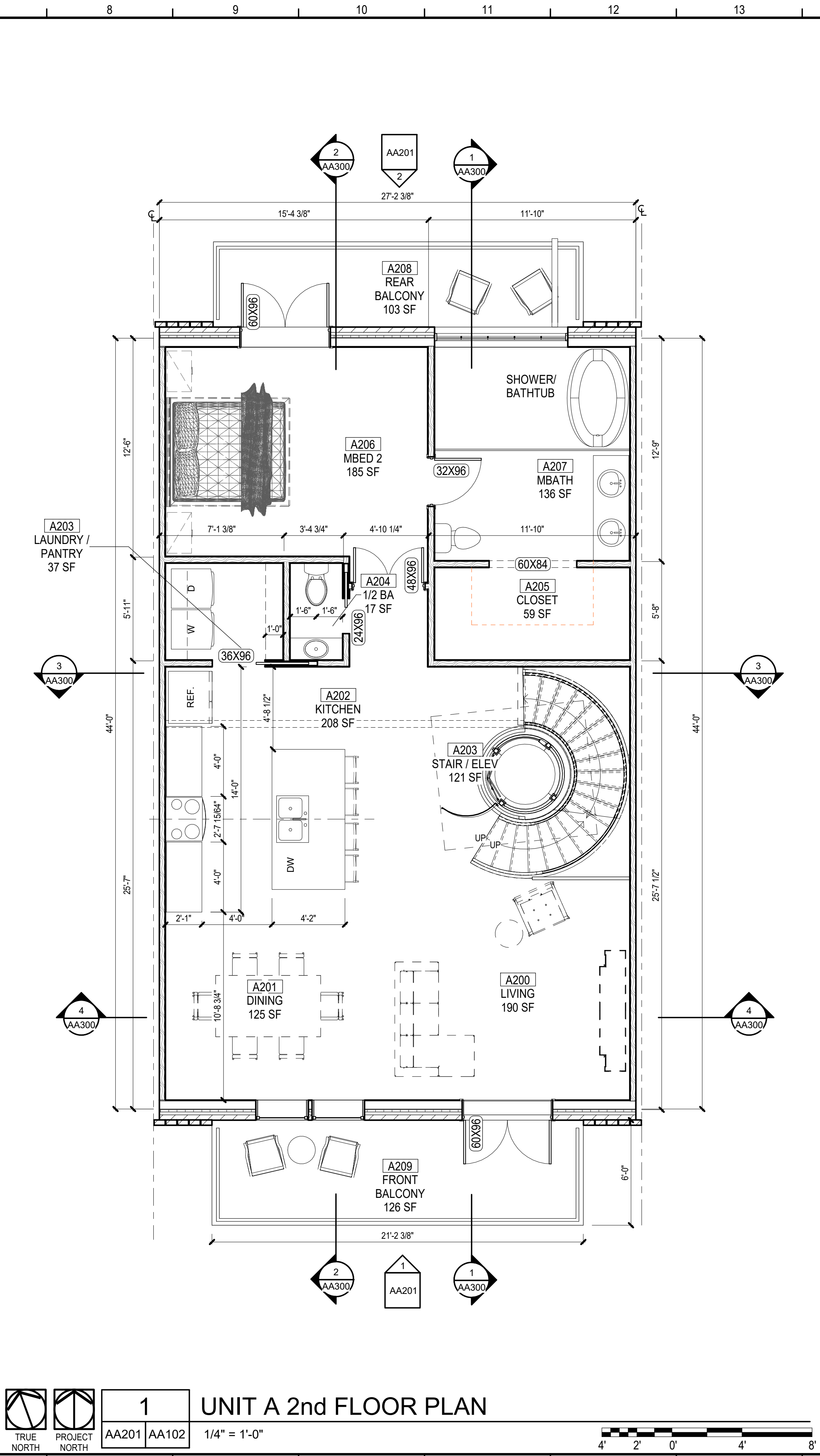
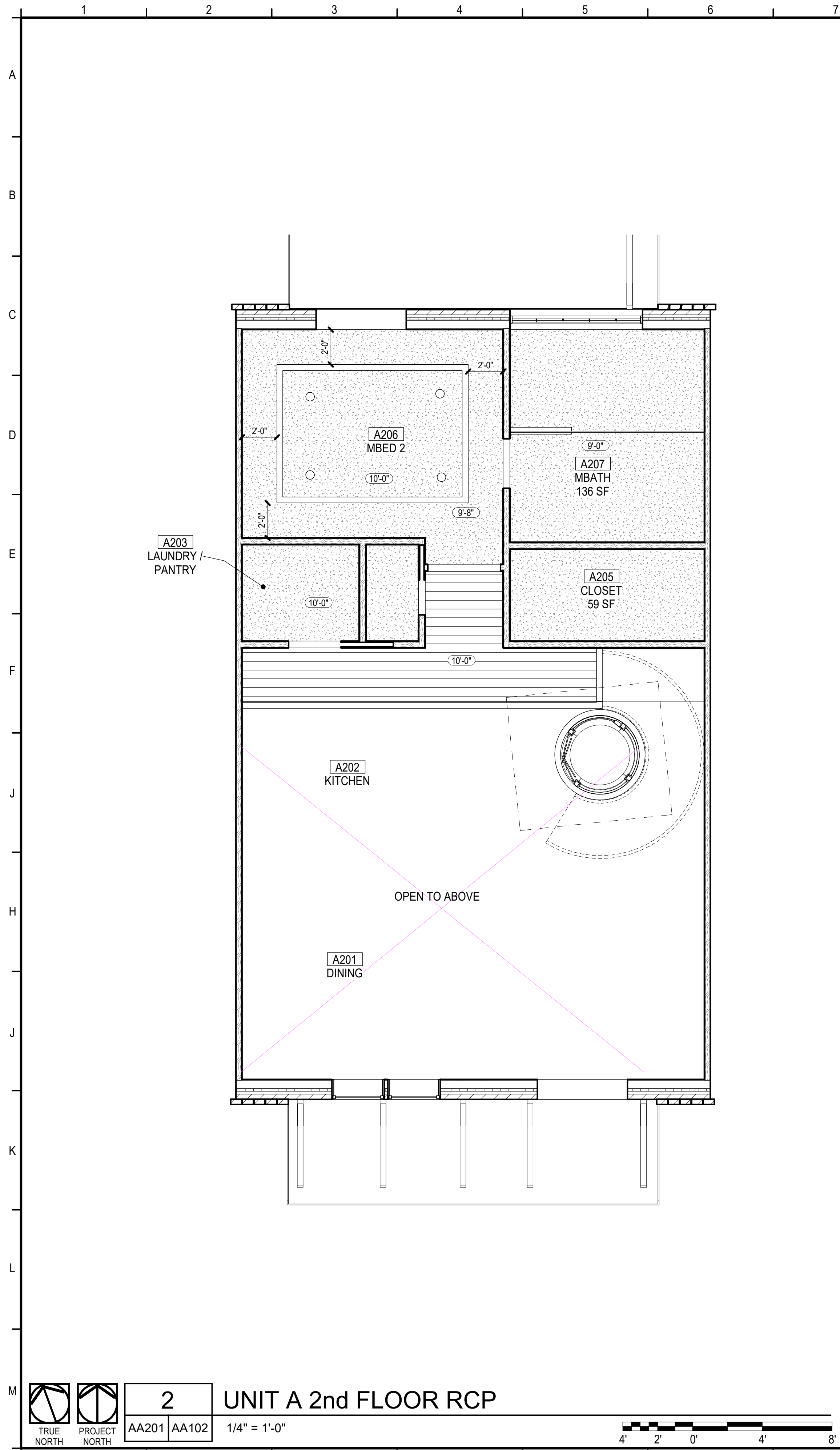
**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT A 1st FLOOR &
REFLECTED CEILING PLANS

SHEET NUMBER:
AA101

DESIGN DEVELOPMENT

PRINT DATE: 2/16/2021 4:54:09 PM



KEYNOTES

LEGEND

GENERAL NOTES

CALDWELL ASSOCIATES | ARCHITECTS

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SCHEMATIC DESIGN 3 08.28.2020
SCHEMATIC DESIGN 4 09.11.2020
SCHEMATIC DESIGN 5 02.03.2021
DESIGN DEVELOPMENT 02.17.2021

PROJECT TEAM:

CIVIL REBOL BATTLE & ASSOCIATES
STRUCTURAL LBYD ENGINEERING, INC.
ARCHITECTURAL CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION W3 ENGINEERING
PLUMBING, MECHANICAL W3 ENGINEERING
ELECTRICAL W3 ENGINEERING
LANDSCAPE TBD
MOISTURE CONSULTANT TBD
ACOUSTICAL CONSULTANT TBD
POOL CONSULTANT TBD

PROJECT:

RED FEATHER TOWNHOUSES

150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)

PROJECT NO. : 20021
SHEET TITLE: UNIT A 2nd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:

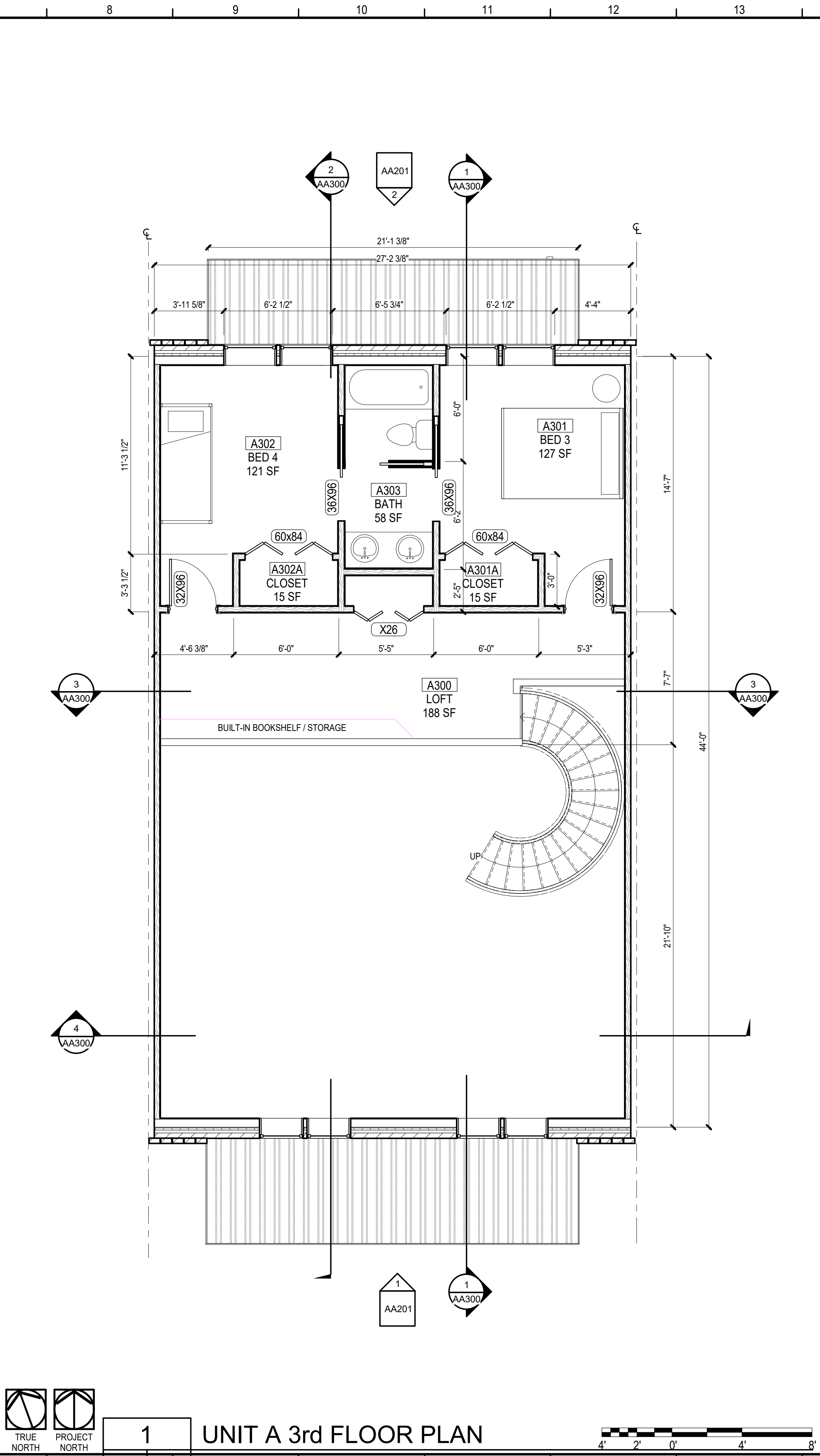
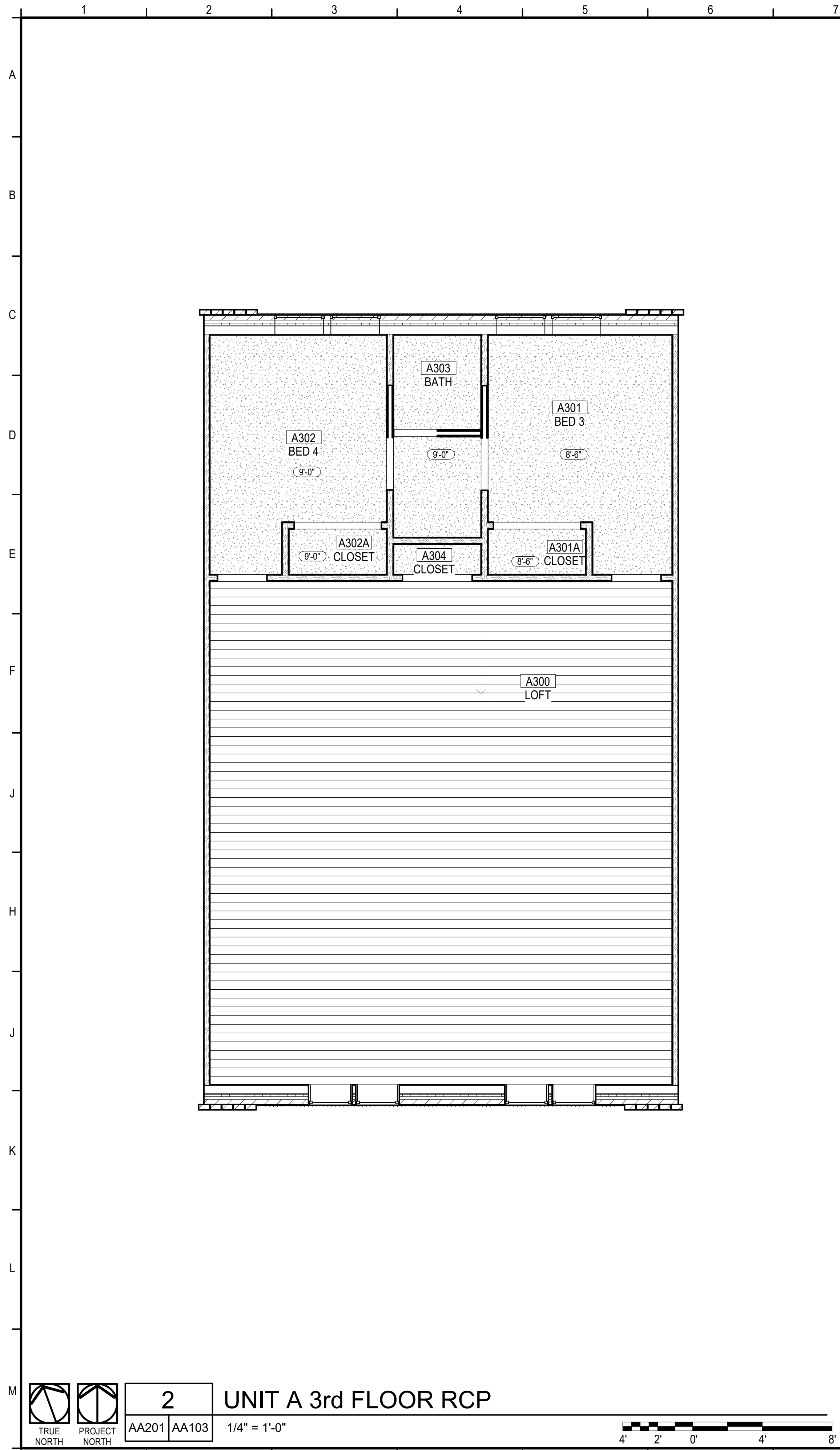
AA102

DESIGN DEVELOPMENT

-PRELIMINARY -
NOT FOR
CONSTRUCTION

DO NOT SCALE DRAWINGS

PRINT DATE: 2/16/2021 4:54:46 PM



KEYNOTES

LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL

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- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
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DESIGN DEVELOPMENT	02.17.2021

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ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION
W3 ENGINEERING

PLUMBING, MECHANICAL
W3 ENGINEERING

ELECTRICAL
W3 ENGINEERING

LANDSCAPE
TBD

MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)**

PROJECT NO. : 20021

SHEET TITLE: UNIT A 3rd FLOOR & REFLECTED CEILING PLANS

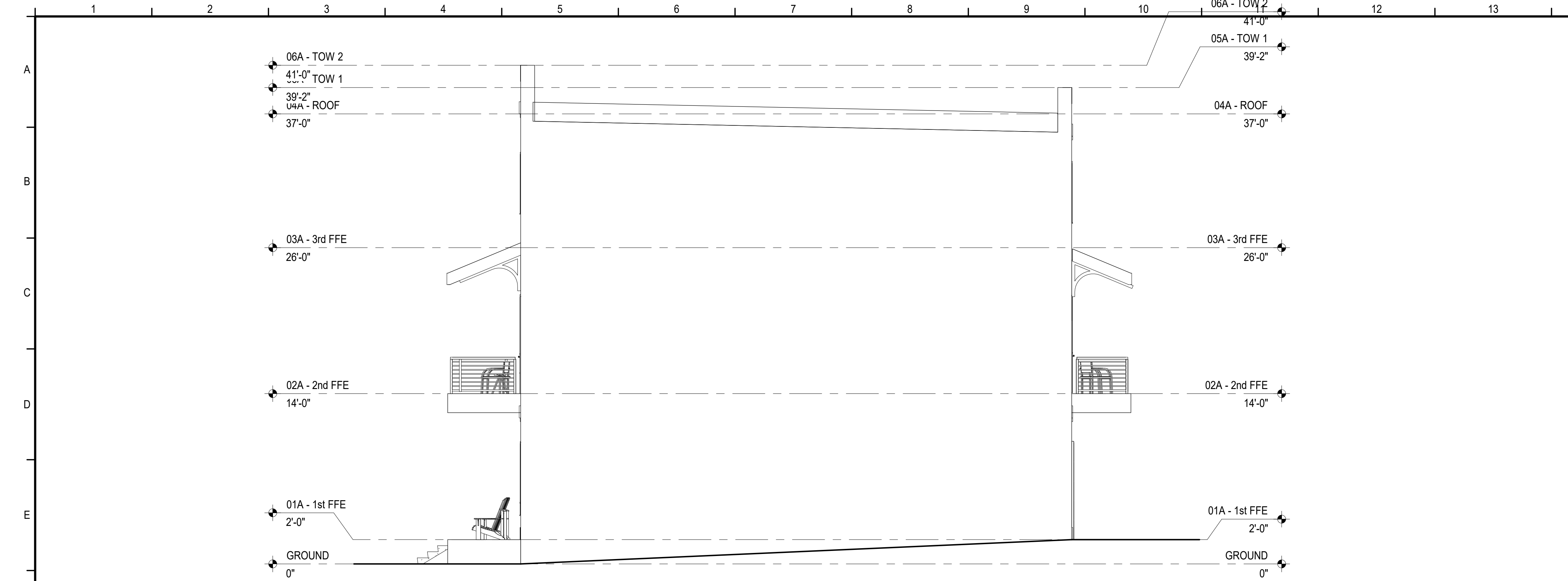
SHEET NUMBER:

AA103

DESIGN DEVELOPMENT

-PRELIMINARY - NOT FOR CONSTRUCTION

DO NOT SCALE DRAWINGS



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

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<u>CIVIL</u>	REBOL BATTLE & ASSOCIATES
<u>STRUCTURAL</u>	LBVD ENGINEERING, INC.
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<u>FIRE PROTECTION</u>	W3 ENGINEERING
<u>PLUMBING, MECHANICAL</u>	W3 ENGINEERING
<u>ELECTRICAL</u>	W3 ENGINEERING
<u>LANDSCAPE</u>	TBD
<u>MOISTURE CONSULTANT</u>	TBD
<u>ACOUSTICAL CONSULTANT</u>	TBD
<u>POOL CONSULTANT</u>	TBD

PROJECT: RED FEATHER TOWNHOUSES

150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN &
INTENDENCIA)

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

GENERAL NOTES

- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
- ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
- SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
- SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

PROJECT NO. : 20021
SHEET TITLE:

UNIT A ENLARGED EXTERIOR
ELEVATIONS

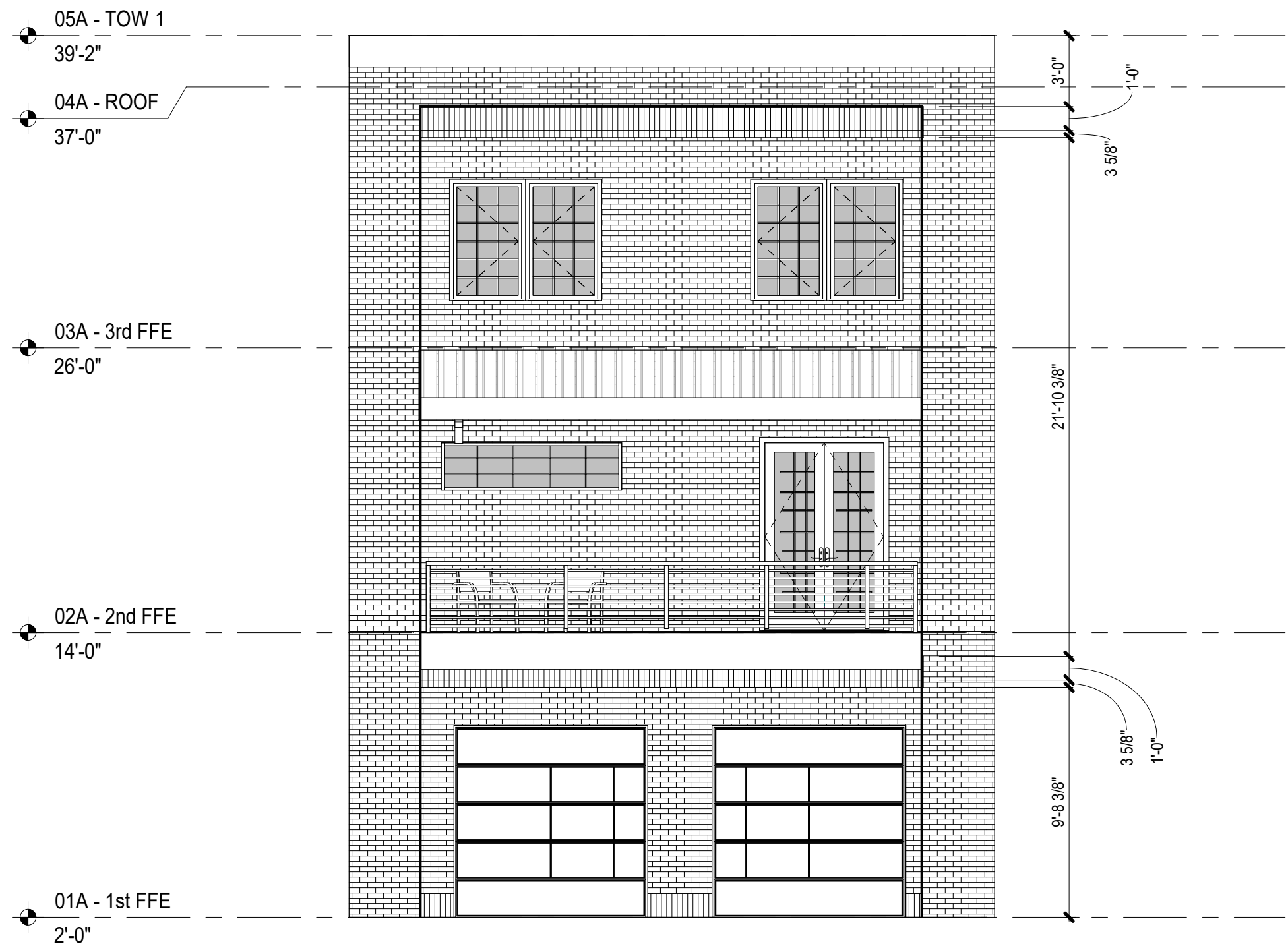
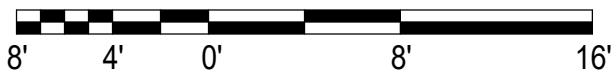
SHEET NUMBER:

AA201

DESIGN DEVELOPMENT

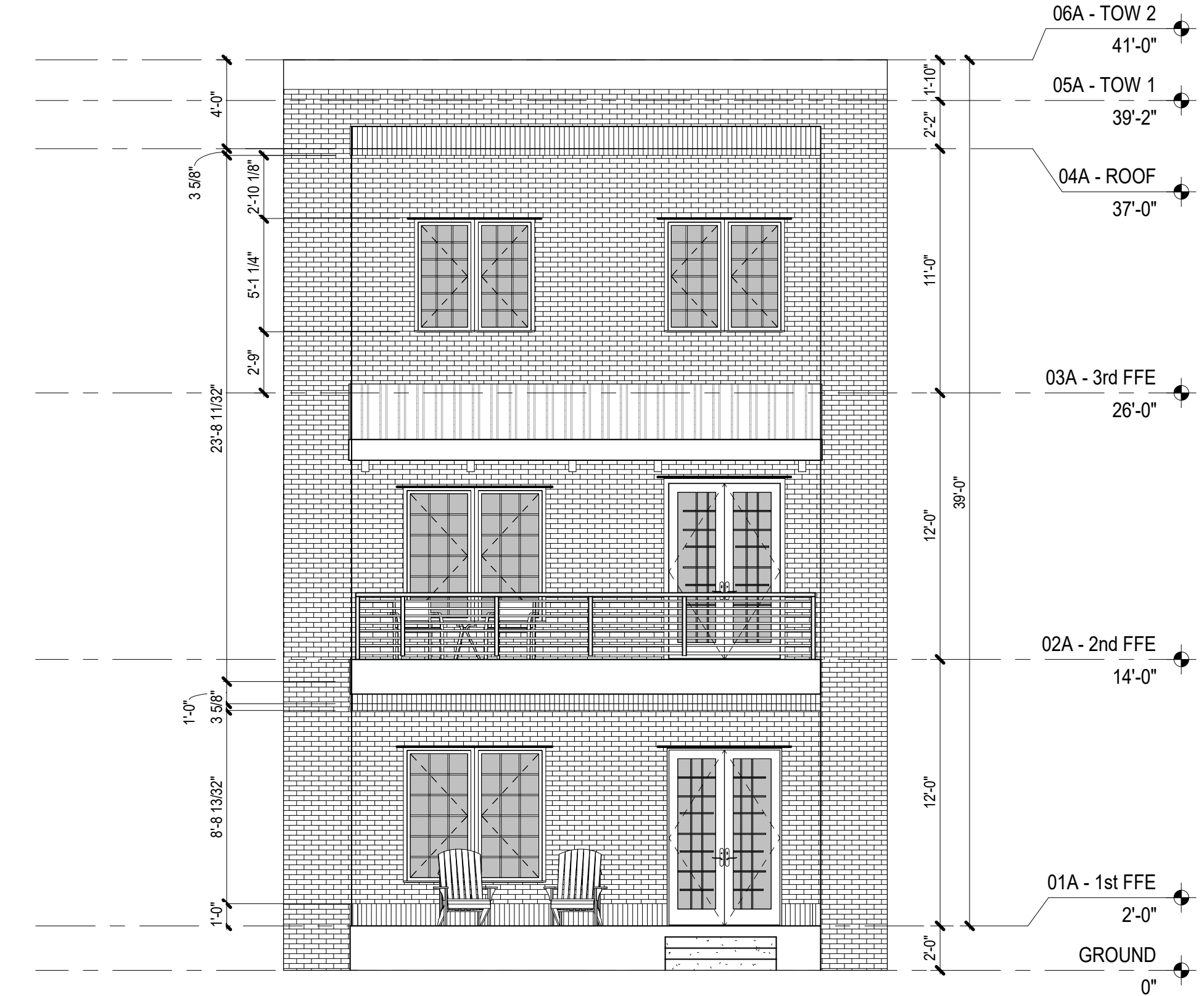
3 EXTERIOR ELEVATION - SIDES

AA201 3/16" = 1'-0"



2 EXTERIOR ELEVATION - REAR

AA101 AA201 3/16" = 1'-0"

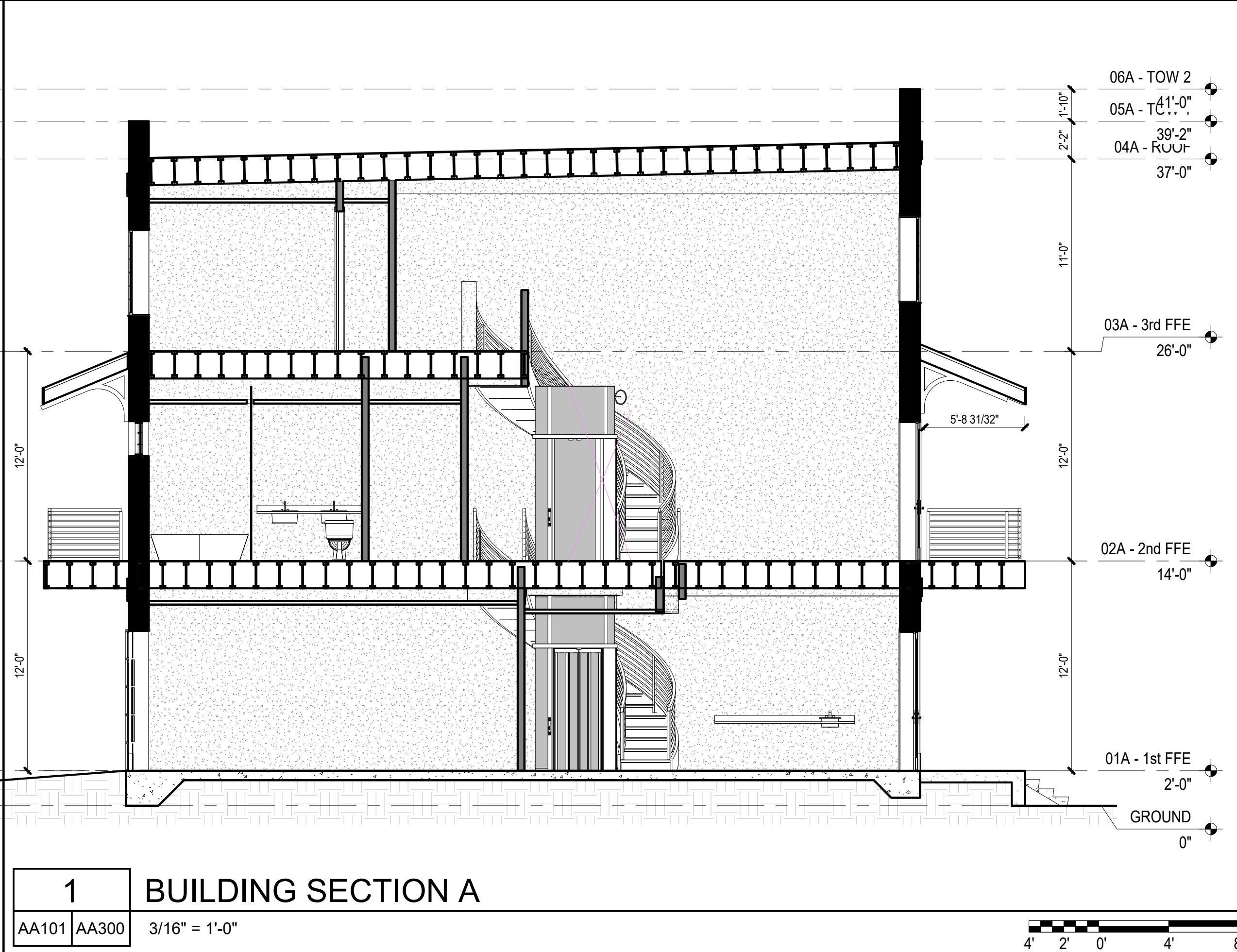
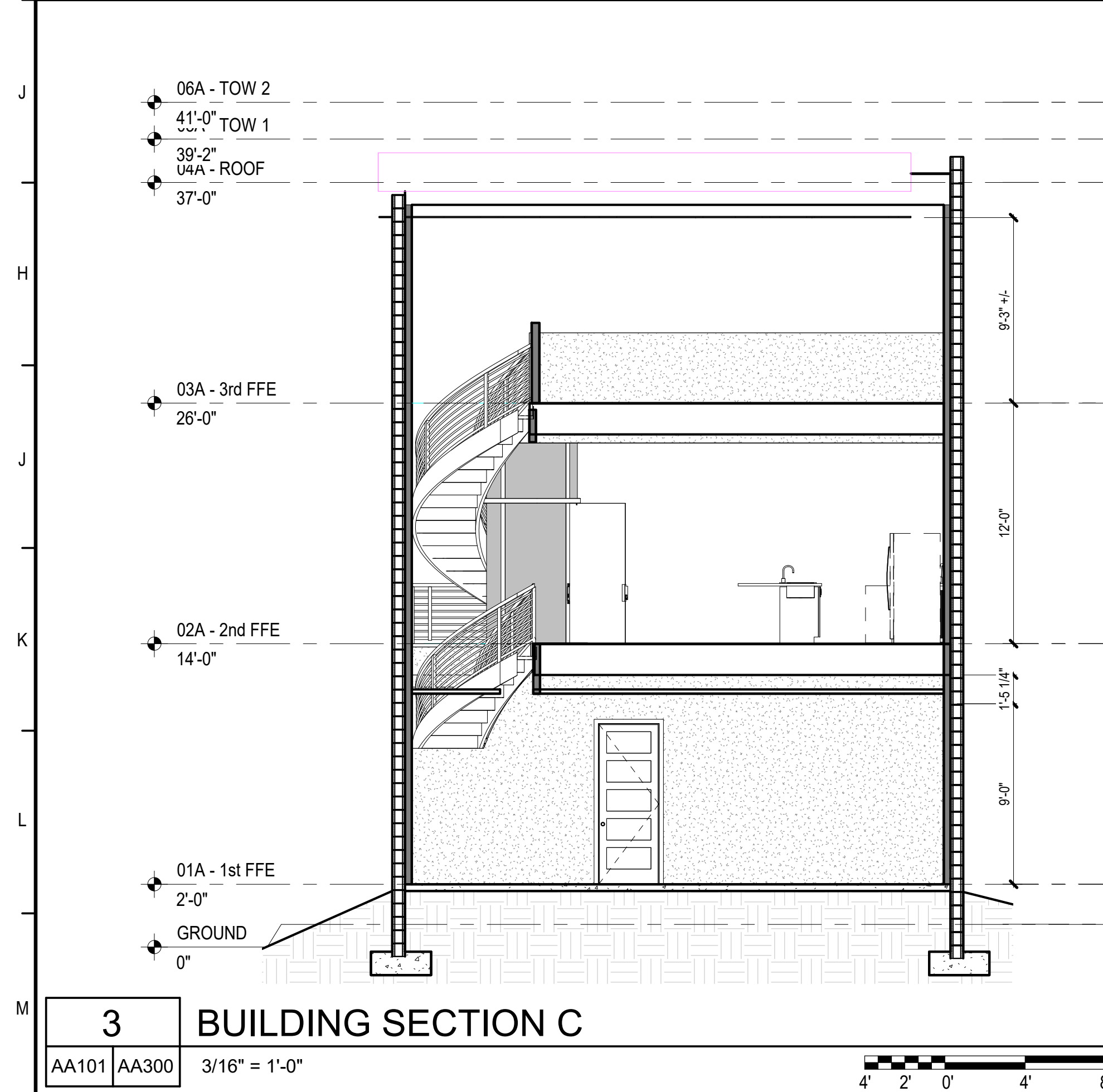
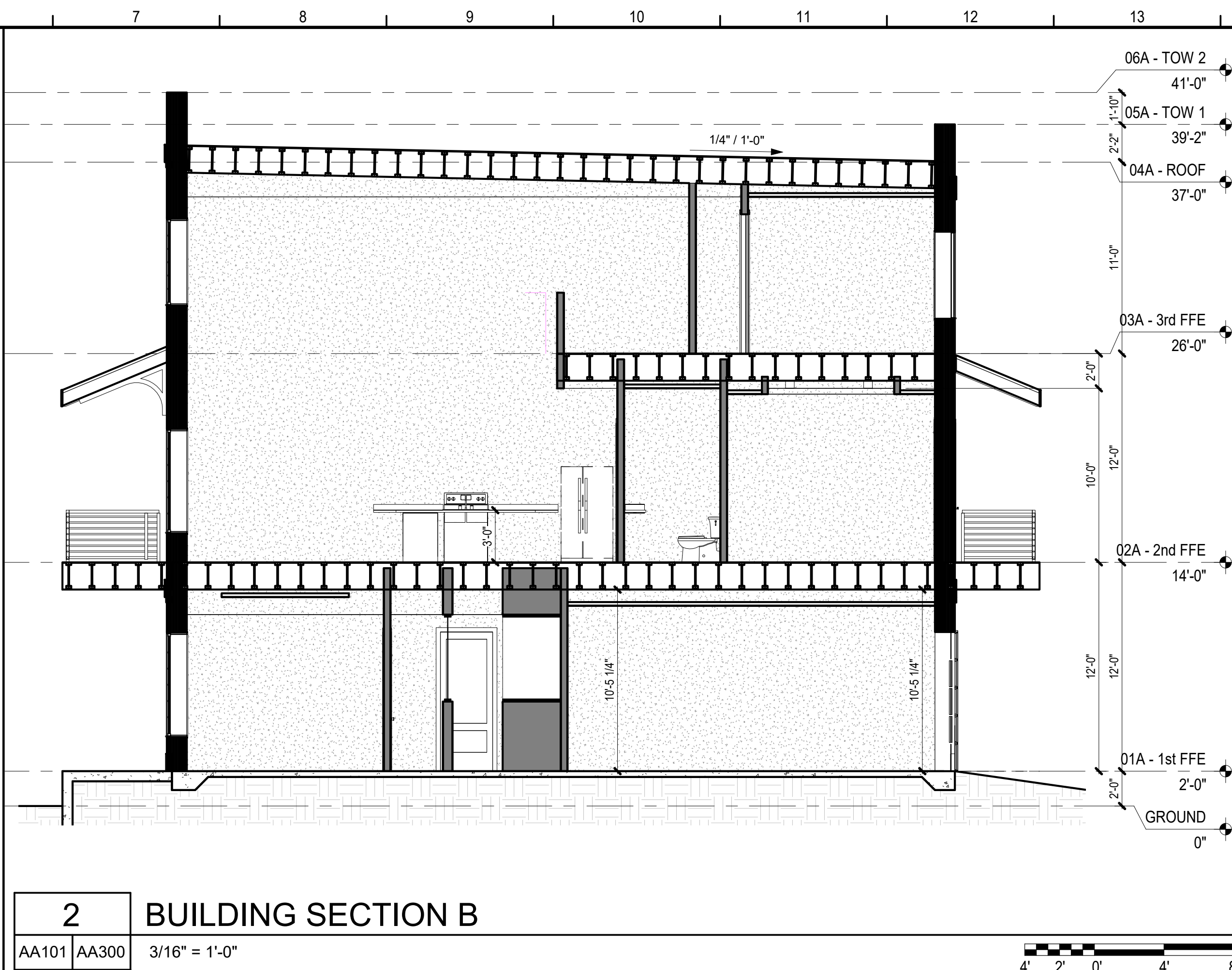
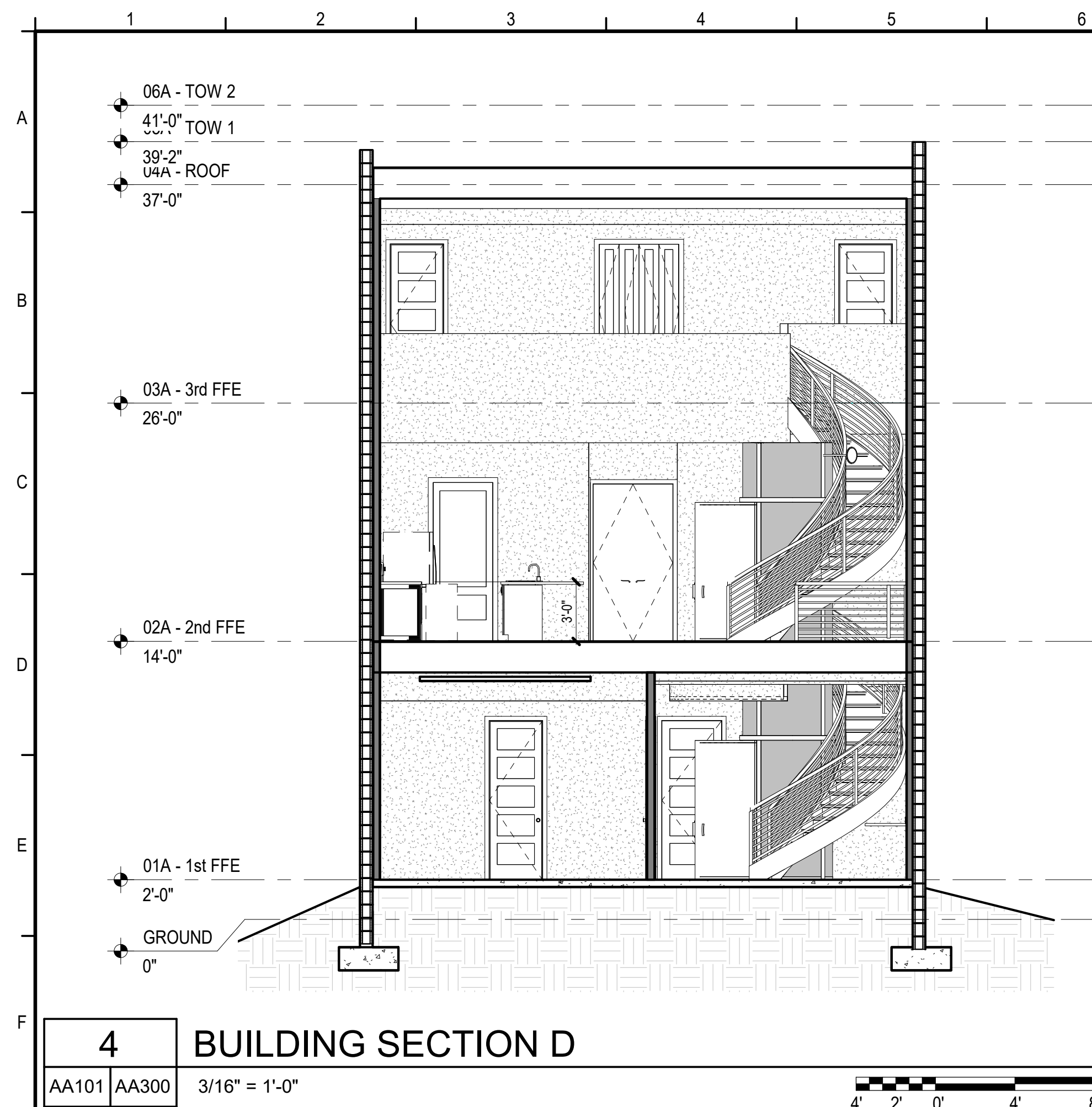


1 EXTERIOR ELEVATION - FRONT BAYLEN STREET

AA102 AA201 3/16" = 1'-0"



DO NOT SCALE DRAWINGS



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL
 REBEL BATTLE & ASSOCIATES
 STRUCTURAL
 LBYD ENGINEERING, INC.
 ARCHITECTURAL
 CALDWELL ASSOC. ARCHITECTS
 FIRE PROTECTION
 W3 ENGINEERING
PLUMBING, MECHANICAL
 W3 ENGINEERING
 ELECTRICAL
 W3 ENGINEERING
LANDSCAPE
 TBD
MOISTURE CONSULTANT
 TBD
ACOUSTICAL CONSULTANT
 TBD
POOL CONSULTANT
 TBD

PROJECT:

RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
BAYLEN &
INTENDENCIA)**

GENERAL NOTES

1. STEEL STRUCTURE, INCLUDING BEAMS, TRUSSES, BAR JOISTS, BRACING, COLUMNS AND METAL DECKING SHALL BE PAINTED WHERE EXPOSED WITH EXCEPTIONS TO AREAS WHERE TENANT BUILDOUTS HAVE NOT YET BEEN CONSTRUCTED.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO FINAL ROOFING INSTALLATION
3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.
4. ROOFING SURFACES SHALL MEET FLORIDA BUILDING ENERGY CODE FOR REFLECTANCE REQUIREMENTS
5. CONTRACTOR SHALL FOLLOW SMACNA STANDARDS FOR ALL ROOF TOP PENETRATIONS.
6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON WIND FACTORS AND PRESSURES TO DESIGN THE ROOF SYSTEM AND COMPONENTS.
7. SUBMIT PRODUCTS THAT MEET OR EXCEED WIND PRESSURES AS STATED ON STRUCTURAL DRAWINGS.
8. ALL FASTENERS AND FLASHING COMPONENTS SHALL MATCH ADJACENT ROOF PANEL COLORS.

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT A BUILDING SECTIONS

SHEET NUMBER:

AA300

DESIGN DEVELOPMENT

PRINT DATE: 2/16/2021 4:56:33 PM

© 2016 CALDWELL ASSOCIATES ARCHITECTS, INC

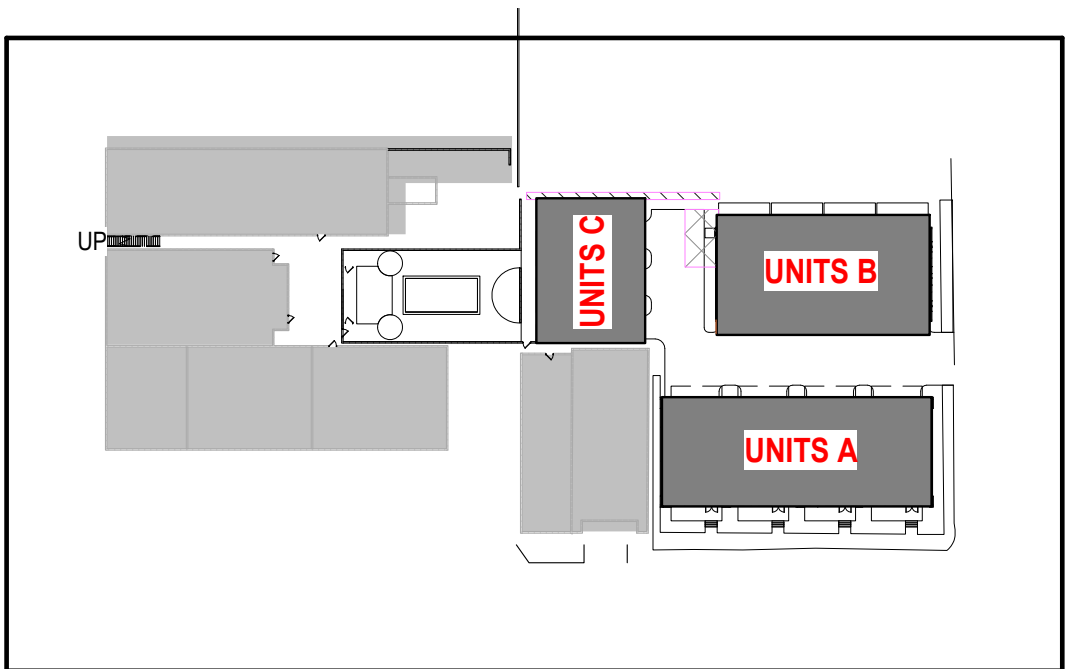
DO NOT SCALE DRAWINGS

BAYLEN STREET TOWNHOUSES

UNIT TYPE B



4 BEDROOM / 3 1/2 BATH
2,152 SF - CONDITIONED SPACE
177 SF - BALCONIES
377 SF - 2 CAR GARAGE
2,706 SF TOTAL



CALDWELL
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116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:	
<u>CIVIL</u>	REBOL BATTLE & ASSOCIATES
<u>STRUCTURAL</u>	LBVD ENGINEERING, INC.
<u>ARCHITECTURAL</u>	CALDWELL ASSOC. ARCHITECTS
<u>FIRE PROTECTION</u>	W3 ENGINEERING
<u>PLUMBING, MECHANICAL</u>	W3 ENGINEERING
<u>ELECTRICAL</u>	W3 ENGINEERING
<u>LANDSCAPE</u>	TBD
<u>MOISTURE CONSULTANT</u>	TBD
<u>ACOUSTICAL CONSULTANT</u>	TBD
<u>POOL CONSULTANT</u>	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

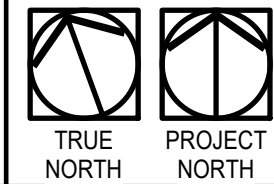
**150 S BAYLEN STREET
(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT B COVER SHEET

SHEET NUMBER:
GB001

DESIGN DEVELOPMENT



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBUD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN &
INTENDENCIA)**

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**

GENERAL NOTES

1. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
3. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
4. SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
5. ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

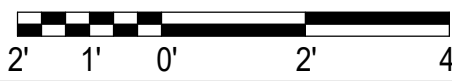
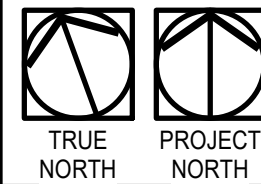
PROJECT NO. : 20021
SHEET TITLE:

UNIT B - 1st FLOOR &
REFLECTED CEILING PLANS

SHEET NUMBER:

AB101

DESIGN DEVELOPMENT



116 N TARRAGONA STREET, PENSACOLA, FL 32502
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License No: AA26000721 | License No: IB0000995

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

CIVIL
REBEL BATTLE & ASSOCIATES
STRUCTURAL
LBVD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:

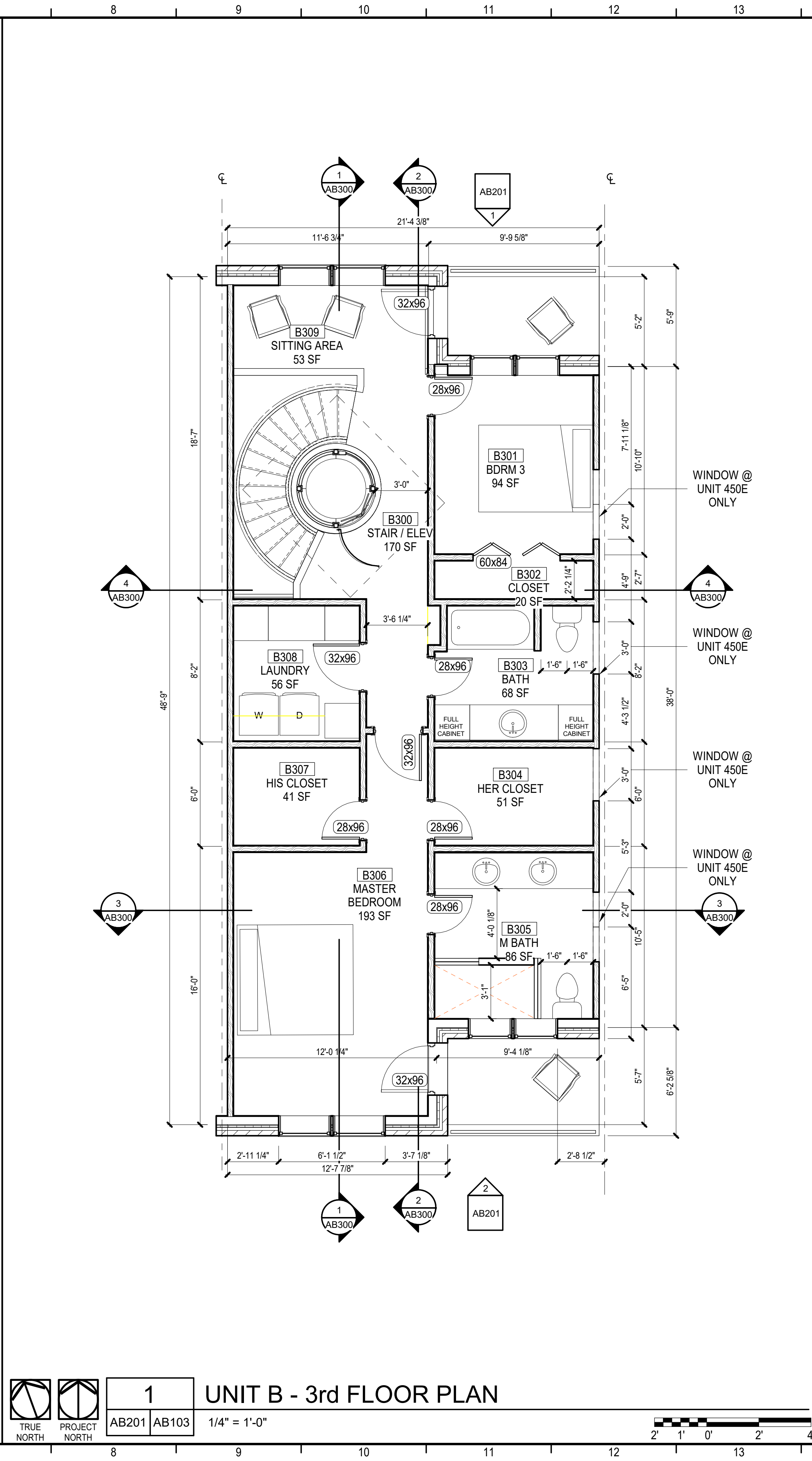
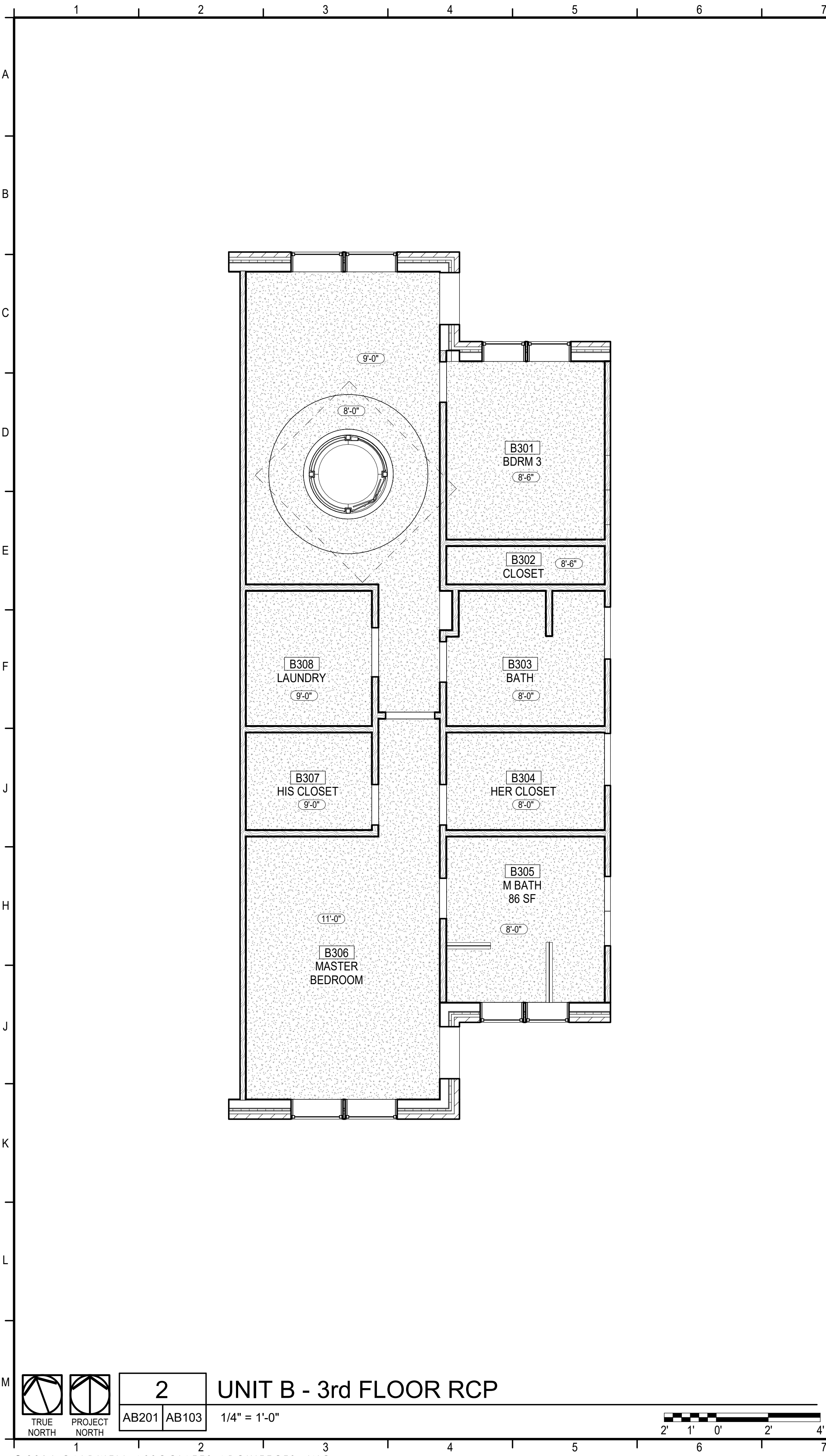
1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET, U.N.O. REFER TO FINISH SCHEDULE

SHEET NUMBER:

AB102

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 9:50:09 AM



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES

STRUCTURAL
LYBD ENGINEERING, INC.

ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION
W3 ENGINEERING

PLUMBING, MECHANICAL
W3 ENGINEERING

ELECTRICAL
W3 ENGINEERING

LANDSCAPE
TBD

MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

POOL CONSULTANT
TBD

PROJECT:
RED FEATHER
TOWNHOUSES

150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)

-PRELIMINARY -
NOT FOR
CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - 3rd FLOOR &
REFLECTED CEILING PLANS

SHEET NUMBER:

AB103

DESIGN DEVELOPMENT

DO NOT SCALE DRAWINGS



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:	
CIVIL	REBOL BATTLE & ASSOCIATES
STRUCTURAL	LBVD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

GENERAL NOTES

- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
- ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
- SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
- SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

PROJECT NO. : 20021
SHEET TITLE:

UNIT B - ENLARGED
EXTERIOR ELEVATIONS

SHEET NUMBER:

AB201

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 9:50:30 AM

2 EXTERIOR ELEVATION - REAR

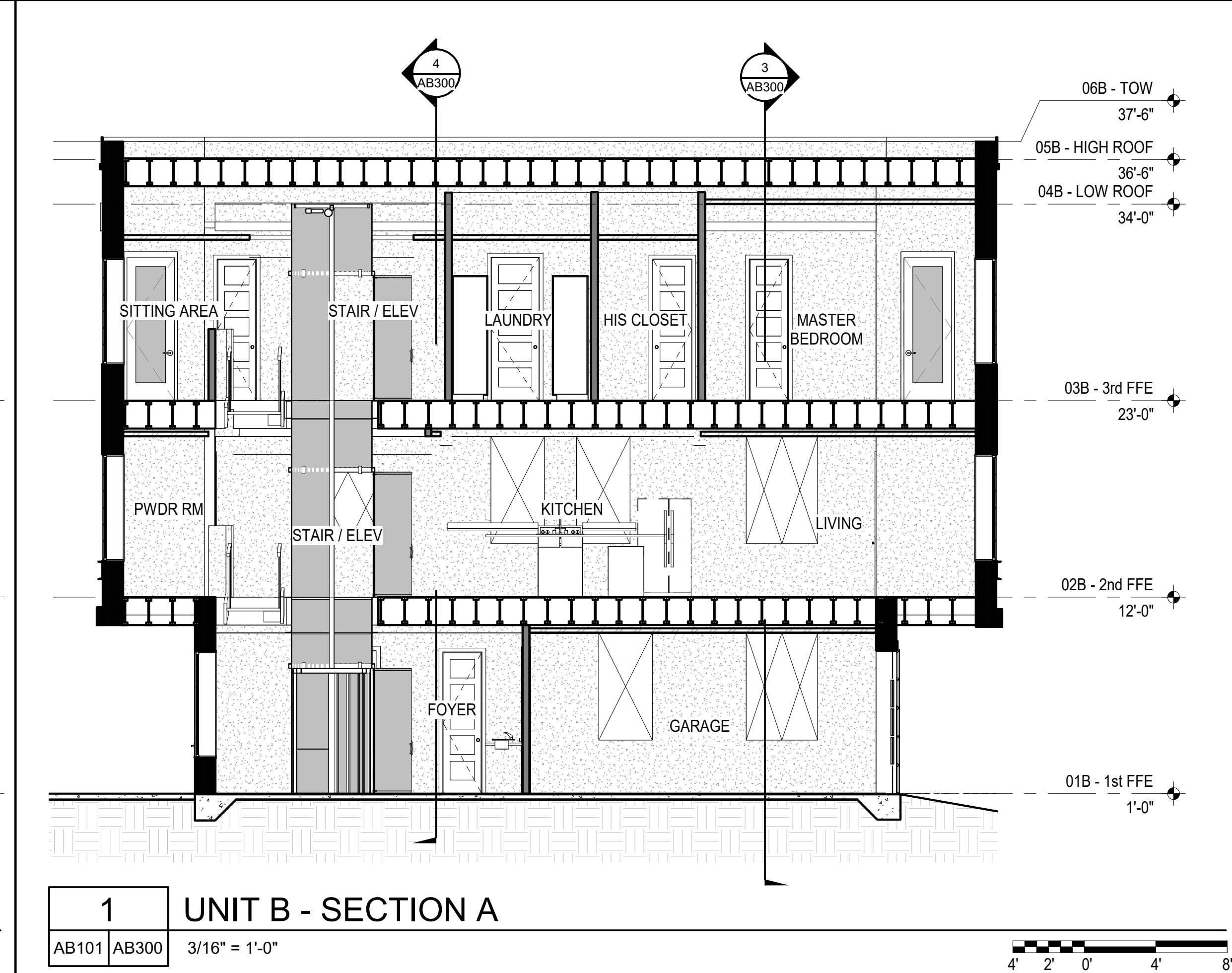
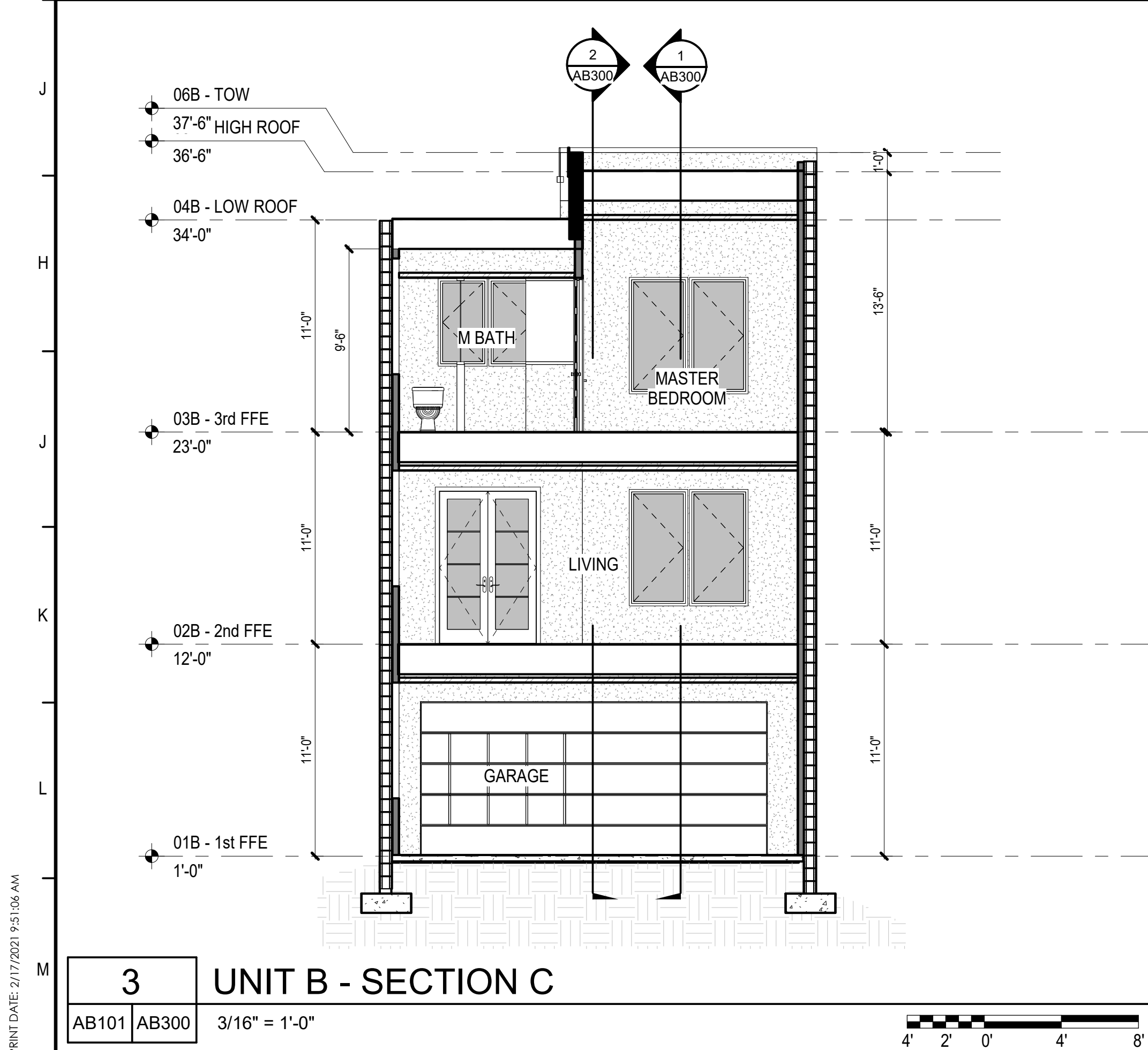
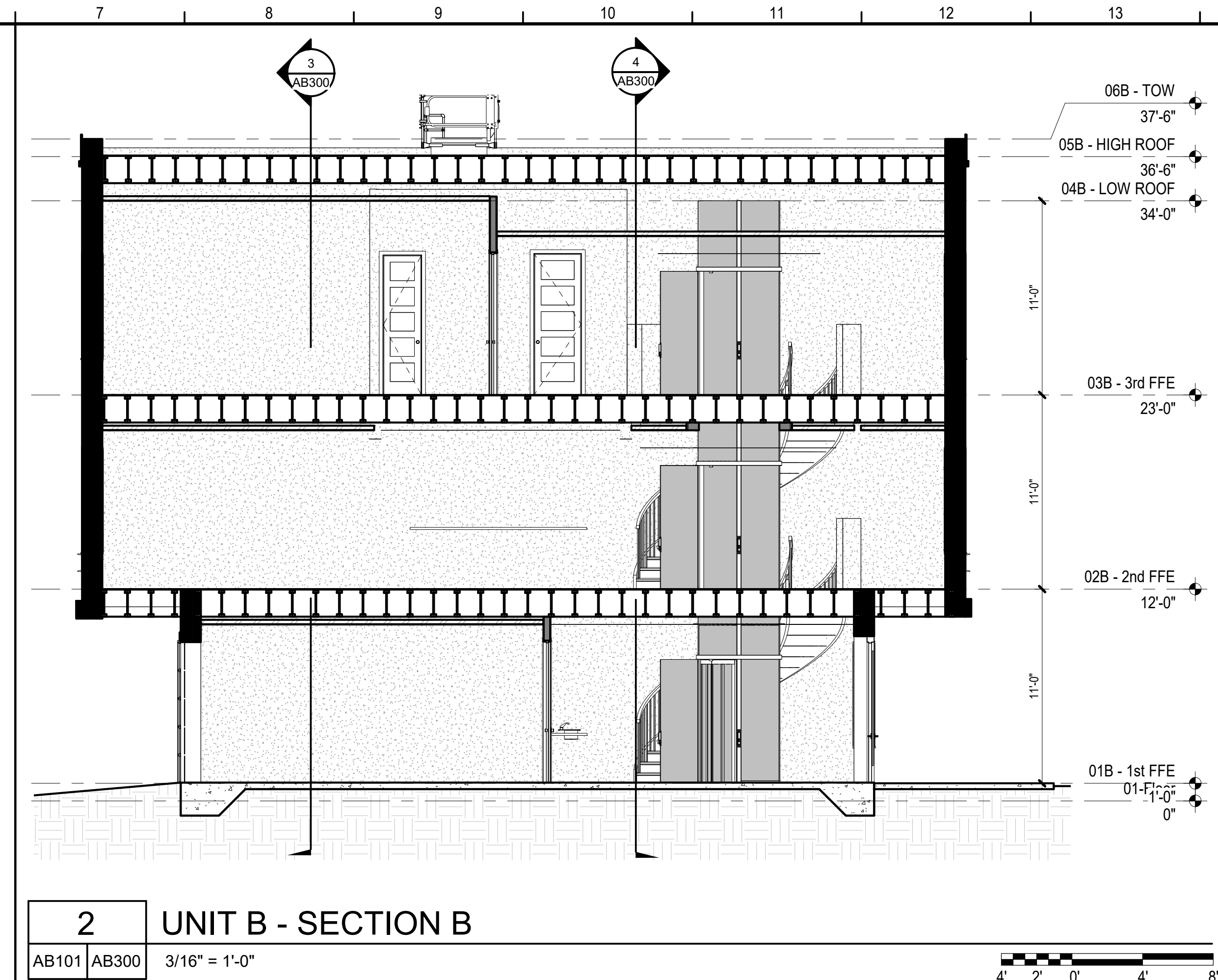
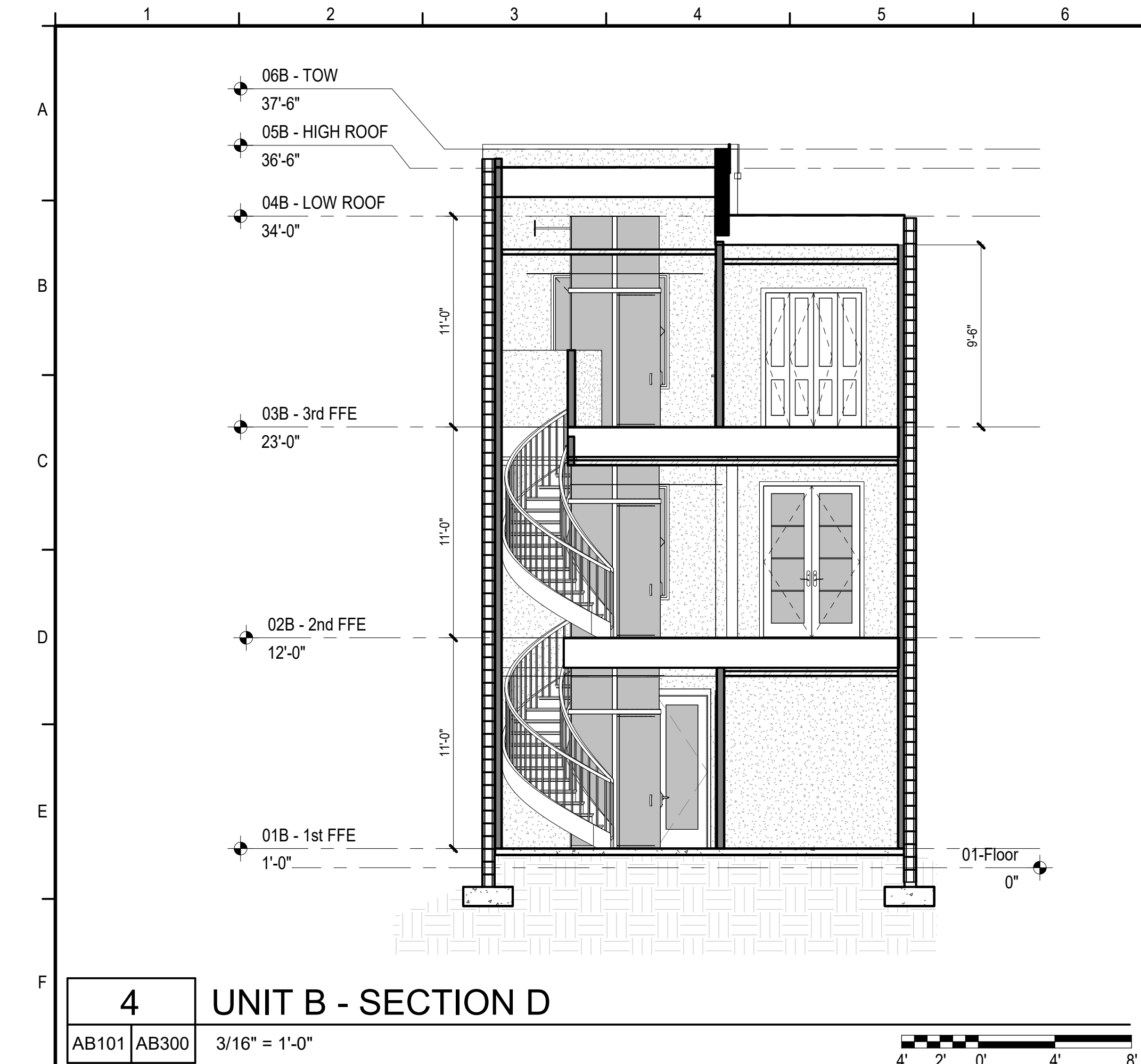
AB101 AB201

3/16" = 1'-0"

1 EXTERIOR ELEVATION - FRONT

AB102 AB201

3/16" = 1'-0"



KEYNOTES

GENERAL NOTES

1. REFER TO ALL OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL INFORMATION.

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:	
CIVIL	REBOL BATTLE & ASSOCIATES
STRUCTURAL	LYBD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - BUILDING SECTIONS

SHEET NUMBER:
AB300

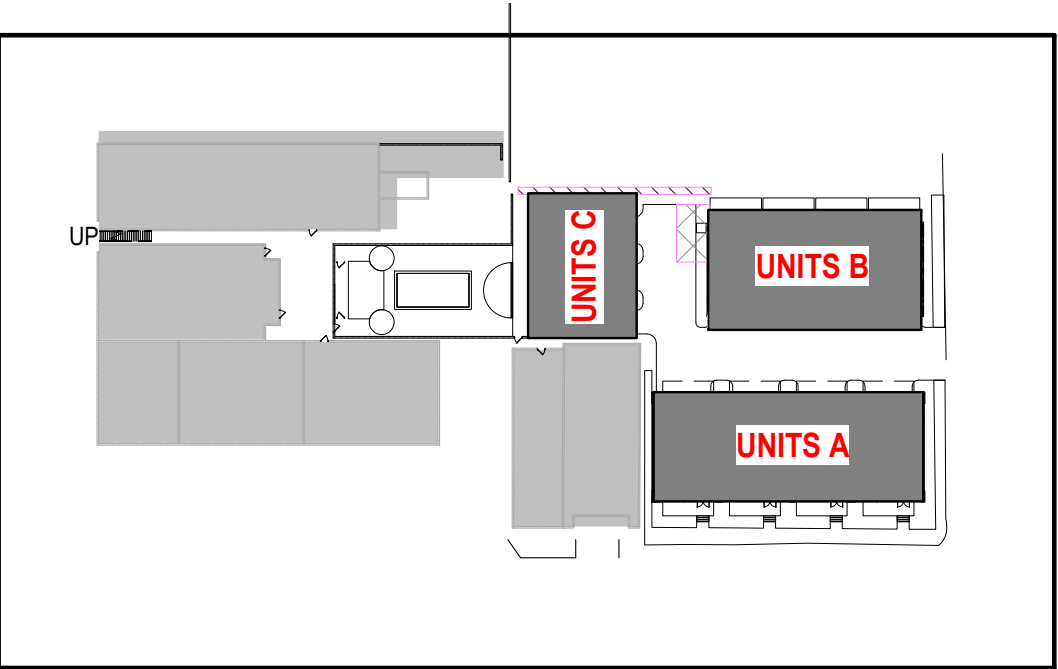
DESIGN DEVELOPMENT

BAYLEN STREET TOWNHOUSES

UNIT TYPE C



3 BEDROOM / 3 1/2 BATH
1,793 SF - CONDITIONED SPACE
105 SF - BALCONIES
236 SF - 1 CAR GARAGE
2,134 SF TOTAL



CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:	
<u>CIVIL</u>	REBOL BATTLE & ASSOCIATES
<u>STRUCTURAL</u>	LBVD ENGINEERING, INC.
<u>ARCHITECTURAL</u>	CALDWELL ASSOC. ARCHITECTS
<u>FIRE PROTECTION</u>	W3 ENGINEERING
<u>PLUMBING, MECHANICAL</u>	W3 ENGINEERING
<u>ELECTRICAL</u>	W3 ENGINEERING
<u>LANDSCAPE</u>	TBD
<u>MOISTURE CONSULTANT</u>	TBD
<u>ACOUSTICAL CONSULTANT</u>	TBD
<u>POOL CONSULTANT</u>	TBD

PROJECT:
**RED FEATHER
TOWNHOUSES**

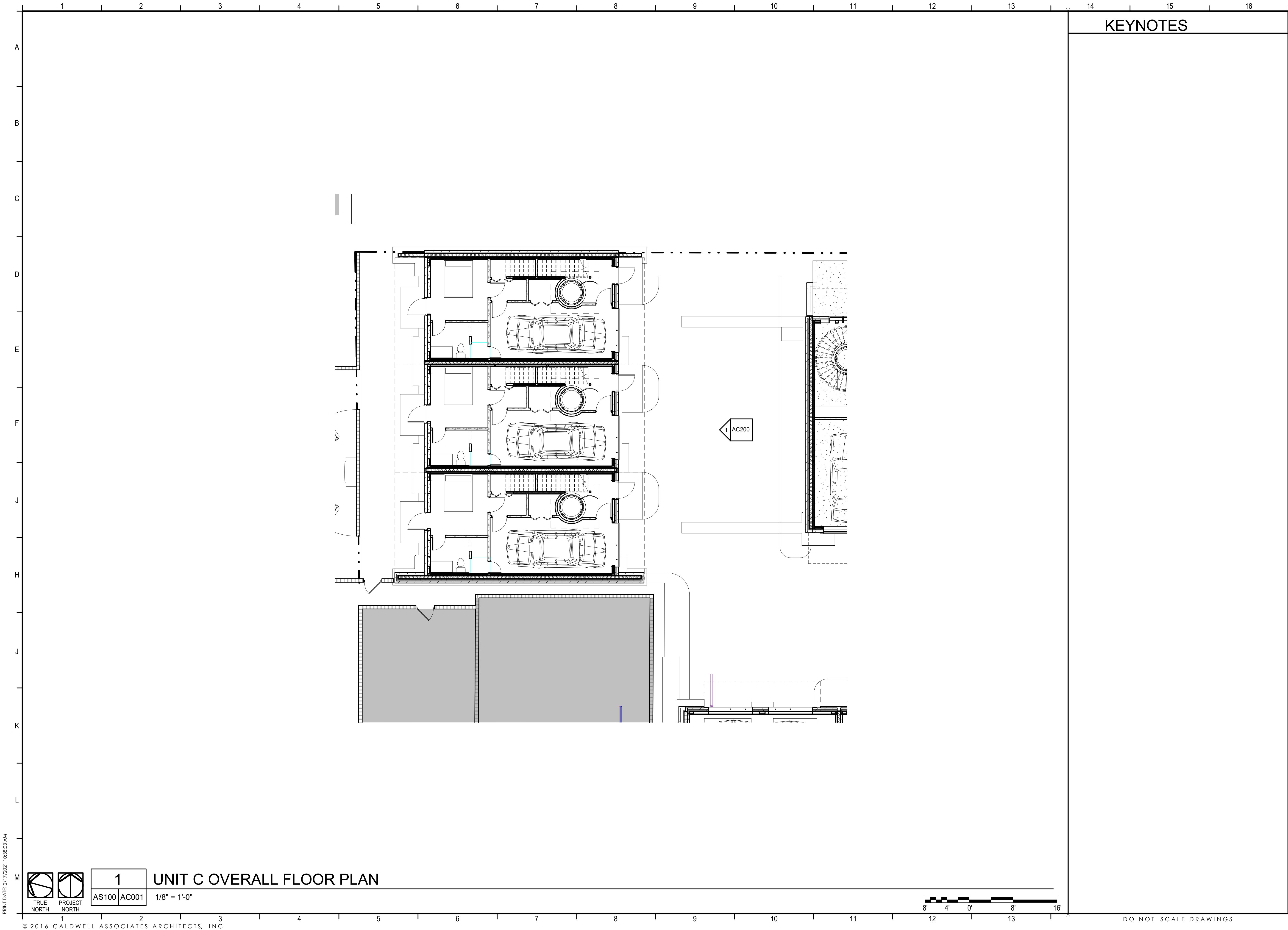
**150 S BAYLEN STREET
(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT C COVER SHEET

SHEET NUMBER:
GC001

DESIGN DEVELOPMENT



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:	
CIVIL	REBOL BATTLE & ASSOCIATES
STRUCTURAL	LYD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

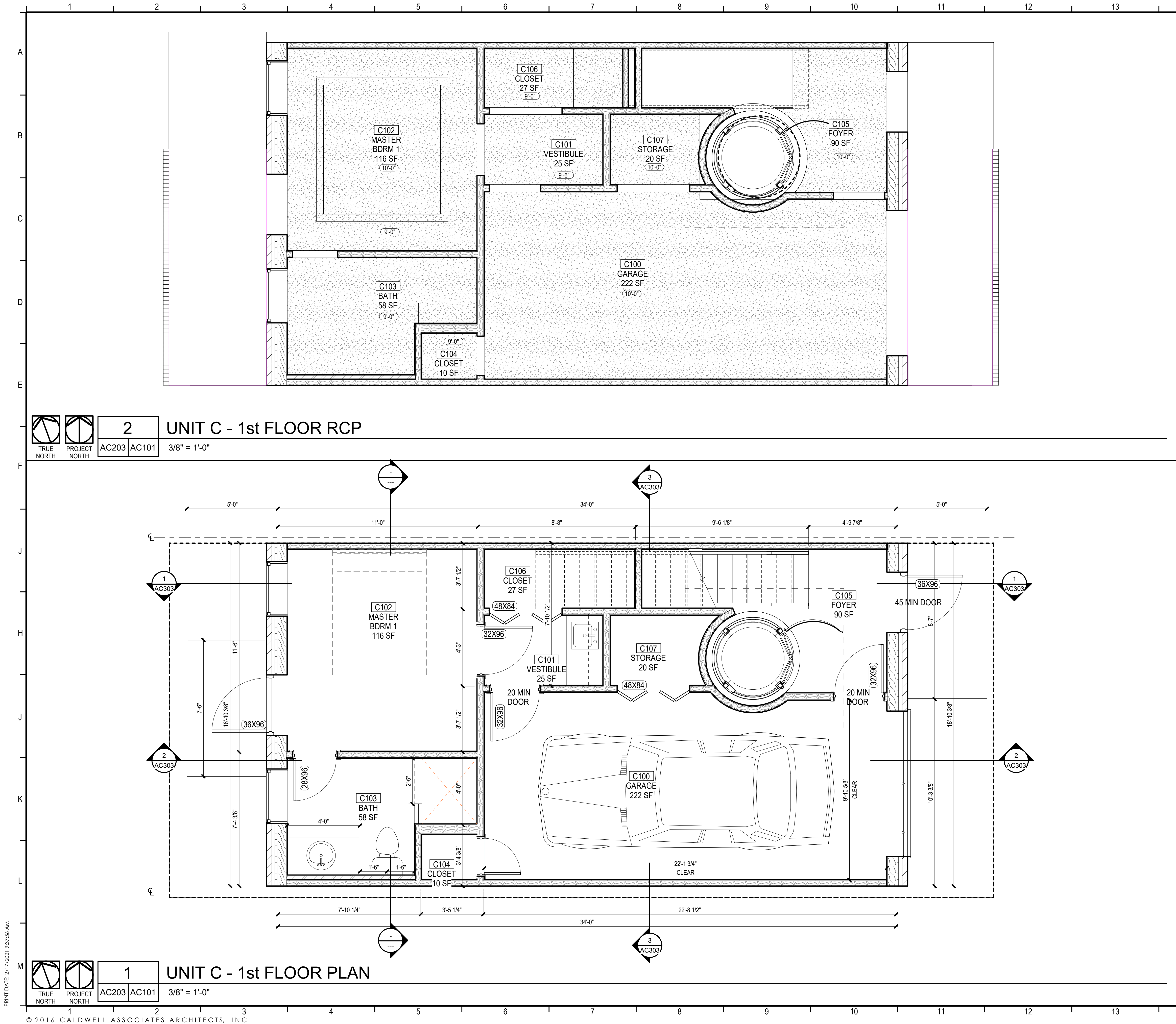
PROJECT:
**RED FEATHER
TOWNHOUSES**

**150 S BAYLEN STREET
(CORNER OF BAYLEN &
INTENDENCIA)**

**-PRELIMINARY -
NOT FOR
CONSTRUCTION**

PROJECT NO. : 20021
SHEET TITLE:
UNIT C OVERALL PLAN

SHEET NUMBER:
AC001
DESIGN DEVELOPMENT



KEYNOTES

CALDWELL
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL	REBOL BATTLE & ASSOCIATES
STRUCTURAL	LBVD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:
RED FEATHER
TOWNHOUSES

150S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN &
INTENDENCIA)

-PRELIMINARY -
NOT FOR
CONSTRUCTION

GENERAL NOTES

1. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
3. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
4. SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
5. ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

PROJECT NO. : 20021
SHEET TITLE:

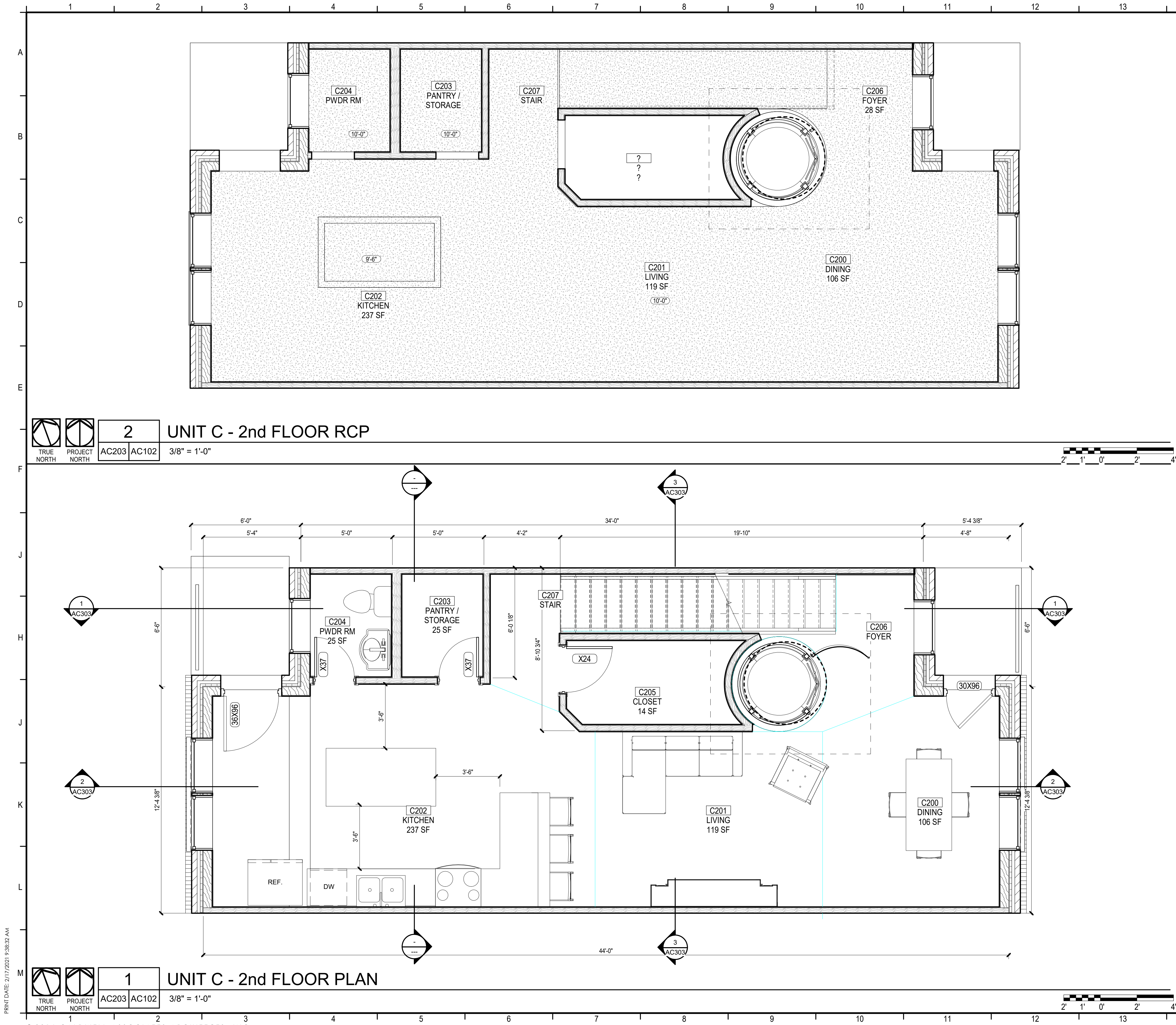
UNIT C - 1st FLOOR &
REFLECTED CEILING PLANS

SHEET NUMBER:

AC101

DESIGN DEVELOPMENT

DO NOT SCALE DRAWINGS



KEYNOTES

- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
- BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
- EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
- VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
- EMERGENCY EXIT SIGN; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL
- LOUD SPEAKER; SEE AUDIO-VISUAL
- WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET, U.N.O., REFER TO FINISH SCHEDULE

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:	
CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL	REBOL BATTLE & ASSOCIATES
STRUCTURAL	LBVD ENGINEERING, INC.
ARCHITECTURAL	CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION	W3 ENGINEERING
PLUMBING, MECHANICAL	W3 ENGINEERING
ELECTRICAL	W3 ENGINEERING
LANDSCAPE	TBD
MOISTURE CONSULTANT	TBD
ACOUSTICAL CONSULTANT	TBD
POOL CONSULTANT	TBD

PROJECT:

RED FEATHER TOWNHOUSES

150S BAYLEN STREET
PENSACOLA, FLORIDA
(BAYLEN & INTENDENCIA)

-PRELIMINARY -
NOT FOR
CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:

UNIT C - 2nd FLOOR &
REFLECTED CEILING PLANS

SHEET NUMBER:

AC102

DESIGN DEVELOPMENT



SHEET NUMBER:
AC203
DESIGN DEVELOPMENT

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
2. ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
3. SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
4. SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.



DO NOT SCALE DRAWINGS

