



City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Property Owner: \_\_\_\_\_

*(If different from Applicant)*

**District:**                      **PHD**                      **NHPD**                      **OEHPD**                      **PHBD**                      **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

---

---

---

---

---

---

---

---

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

*J. Smith Sallie*

4/29/2021

Applicant Signature

Date

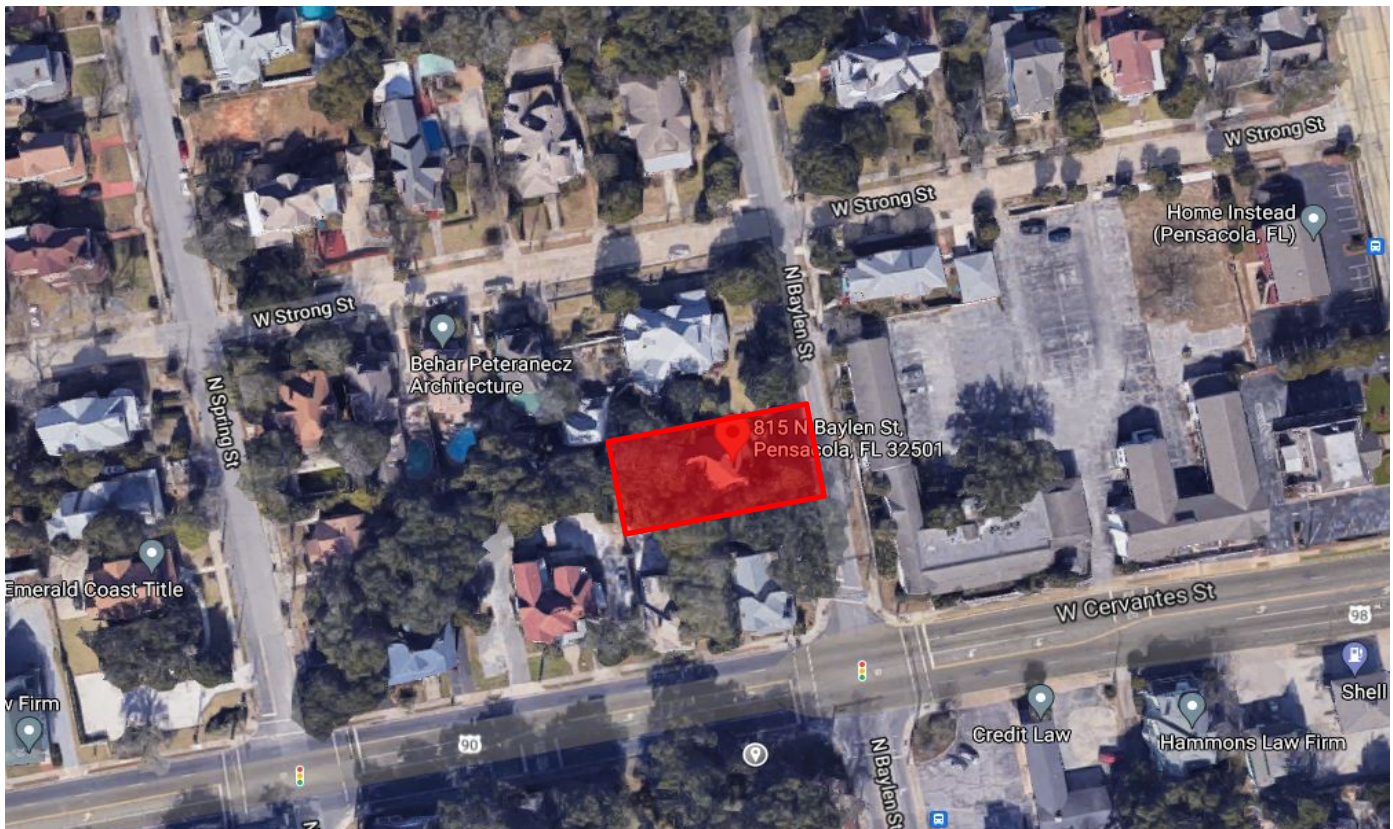
**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**

**Date:** Tuesday, May 04, 2021

**Project:** 815 N. Baylen St.  
Pensacola, FL 32501

**Recipient:** Architectural Review Board – City of Pensacola

## Existing Site Conditions



**Project Location**



**View of Existing Front**



**View of Existing South Side**



**View of Existing North Side**



**View of Existing Rear**

## Exterior Color Schedule

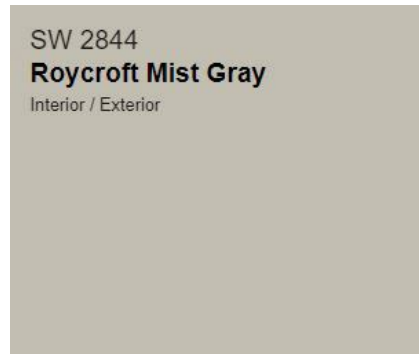
ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Wood Siding	Sherwin Williams	SW "Downing Slate"
Wood Trim	Behr	"Whisper White"
Architectural Grade Running Trim	Sherwin Williams	SW "Roycroft Mist Gray"
Architectural Bracket	Sherwin Williams	SW "Roycroft Mist Gray"
Column/Beams	Behr	"Whisper White"
Soffit/ Ceilings	Behr	"Whisper White"
Fascia	Behr	"Whisper White"
Back Deck Screen	Behr	"Whisper White"
Existing Front Porch	Behr	"Whisper White"
New Back Deck Railing	Behr	"Whisper White"
Entry Door	-	Existing Wood
Window/Door Headers	Behr	"Whispering White"
Shutters	-	Existing Wood
Roofing	Owens Corning	Driftwood Dimensional Shingles
New Covered Deck Roofing	Metal Sales	Brown
Lighting	TBD	Black or Dark Bronze Metal
Brick (Chimney & Step)	-	Existing
New Brick Piers	TBD	Red Brick to match existing

## PAINT COLORS



### **Wood Siding**

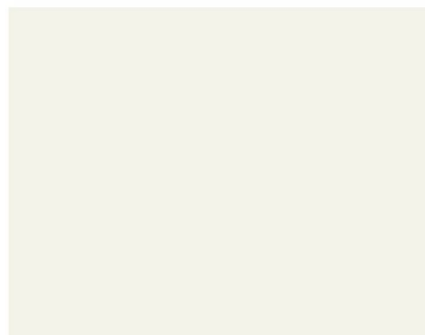
Sherwin Williams: "Downing Slate"



### **Wood Accent**

Sherwin Williams: "Roycroft Mist Gray"

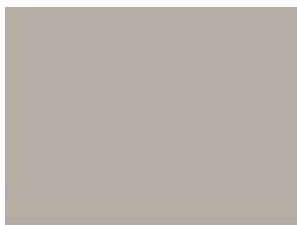
Whisper White HDC-MD-08



### **Wood Trim**

Behr: "Whisper White"

## Roofing



### **Standing Seam:**

*Metal Sales*

Standing Seam Metal:  
Ash Grey



### **Asphalt Shingle:**

*Owens Corning*  
Driftwood

## OTHER MATERIALS



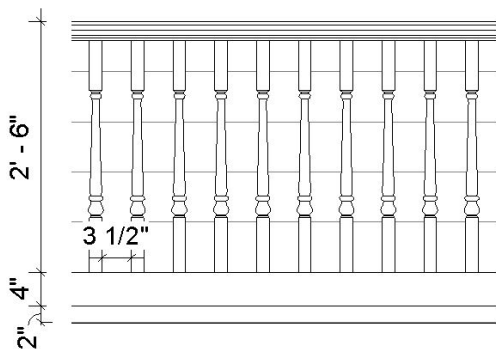
### **Brick:**

Red Brick  
Match Existing



### **Infill Siding**

1 x 4 in. Wood Siding  
Sherwin Williams: "Downing Slate"



### **Wood Railing: Proposed to be similar as existing**

3 ft. Tall: 3 1/2 in Spacing  
Behr "Whisper White"

**WINDOW – DIVIDED LITES TO MATCH EXISTING**  
**By: JELD-WEN**



Clad Wood  
W-2500 Series  
White Painted  
Double Hung Window w/ Natural Interior and Screen

**BACK DOOR- HINGE DOOR WITH FLAT GRILLES**  
**By: Neuma**



Fiberglass Exterior Door  
White Painted

## LIGHTING



### **Exterior Sconce**

Finish: Black or Bronze Metal

## Renderings



**View of Front**



**View of Rear**

## Historic Photos



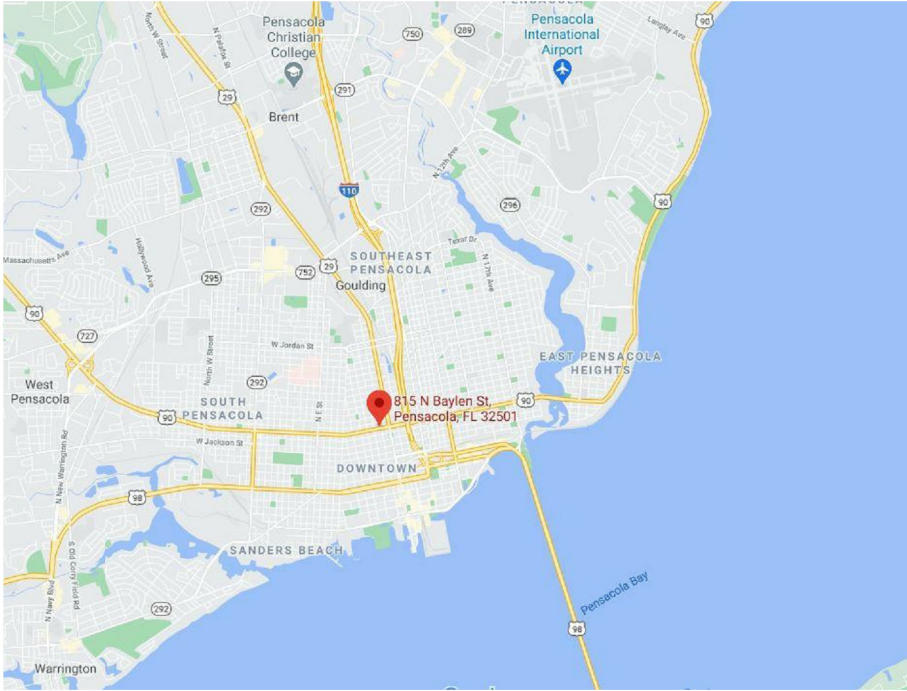
815 H. Baylen

1H5-18

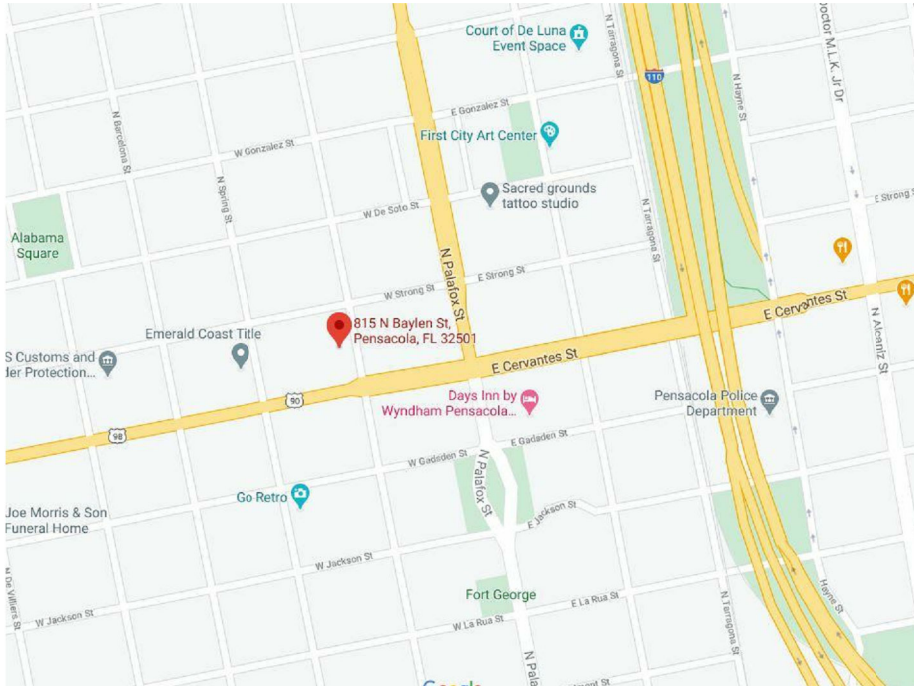
# LYTER RENOVATION

RENOVATION OF AN EXISTING TWO-STORY RESIDENCE

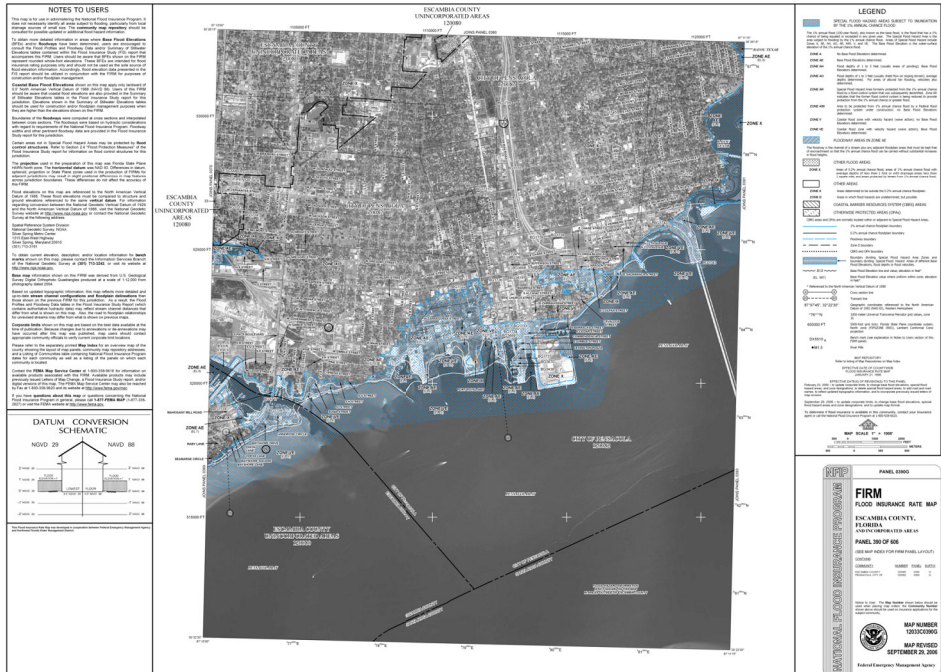
815 N BAYLEN ST. PENSACOLA, FL 32501



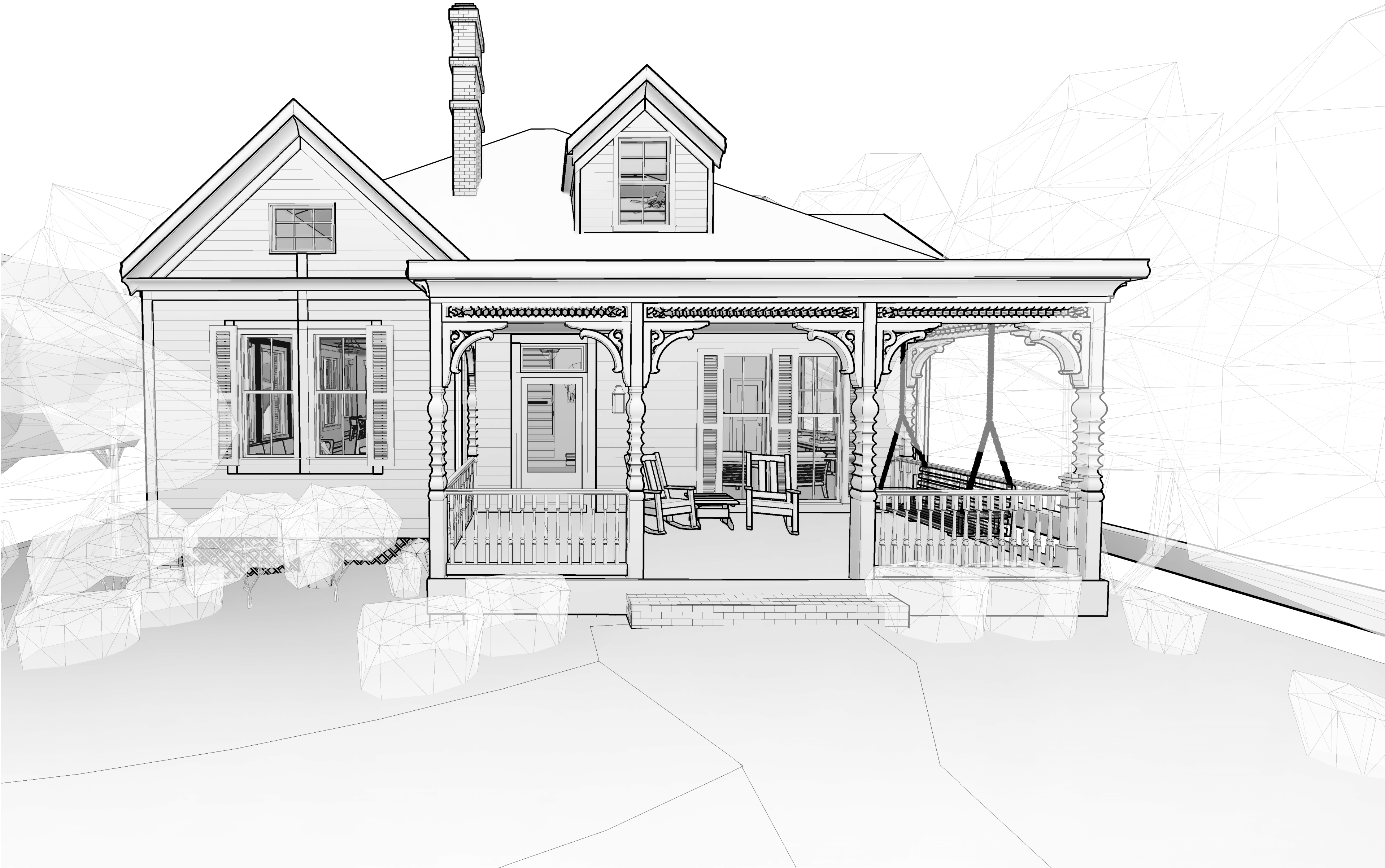
VICINITY MAP



SITE MAP



FEMA FLOOD MAP



## BUILDING DATA

**APPLICABLE CODES:**  
2020 FLORIDA BUILDING CODE, RESIDENTIAL  
FLORIDA FIRE PREVENTION CODE, 7th EDITION

**CONSTRUCTION TYPE:**  
TYPE VB: UNPROTECTED, UNSPRINKLERED

**OCCUPANCY CLASSIFICATION:**  
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

**ZONED:** PR-2

**FLOOD ZONE:** X

**PHYSICAL PROPERTIES:**  
BUILDING HEIGHT: 31'- 4"  
NO. OF STORIES: 2

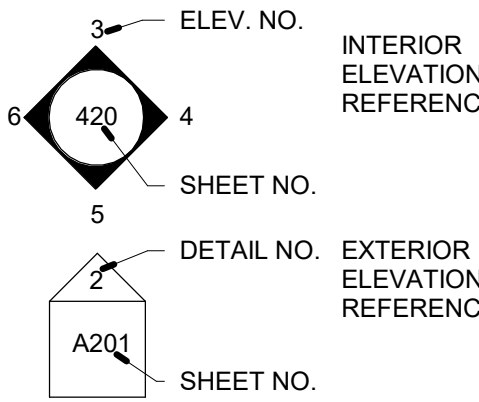
## BUILDING AREA TOTALS

LEVEL	AREA	COMMENTS
FIRST LEVEL		
FIRST LEVEL	1,960 SF	
SECOND LEVEL		
SECOND LEVEL	1,167 SF	
TOTAL BUILDING AREA (CONDITIONED)	3,127 SF	

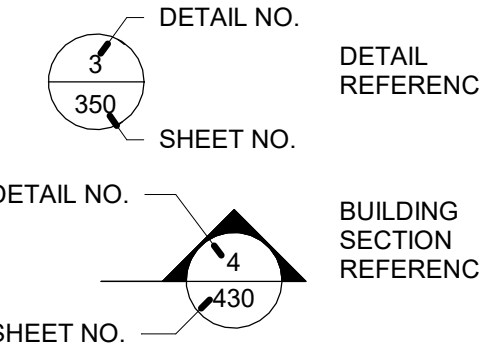
## GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2020 FBC, RESIDENTIAL EDITION R301.2.1.2 FOR RESIDENTIAL WORK OR 2020 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

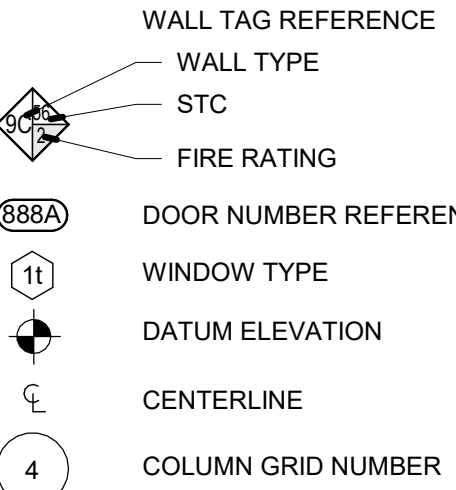
### ELEVATION REFERENCES



### DETAIL REFERENCES



### ANNOTATION REFERENCES



Room name ROOM TAG  
(11'-8") CEILING HEIGHT - ABOVE FIN. FLOOR

### REVISION NUMBER REFERENCE

REVISION NO.

## INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A001	SITE PLAN	
A010	FIRST FLOOR DEMO PLAN	
A012	SECOND FLOOR DEMO PLAN	
A101	NEW WORK FIRST FLOOR PLAN	
A102	NEW WORK SECOND FLOOR PLAN	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR  
CONSTRUCTION

LYTER RENOVATION

815 N BAYLEN ST. PENSACOLA, FL 32501

DRAWN BY: JLR  
CHECKED BY: JSS

ISSUE DATE: 04/29/2021

REVISIONS: No. Desc. Date

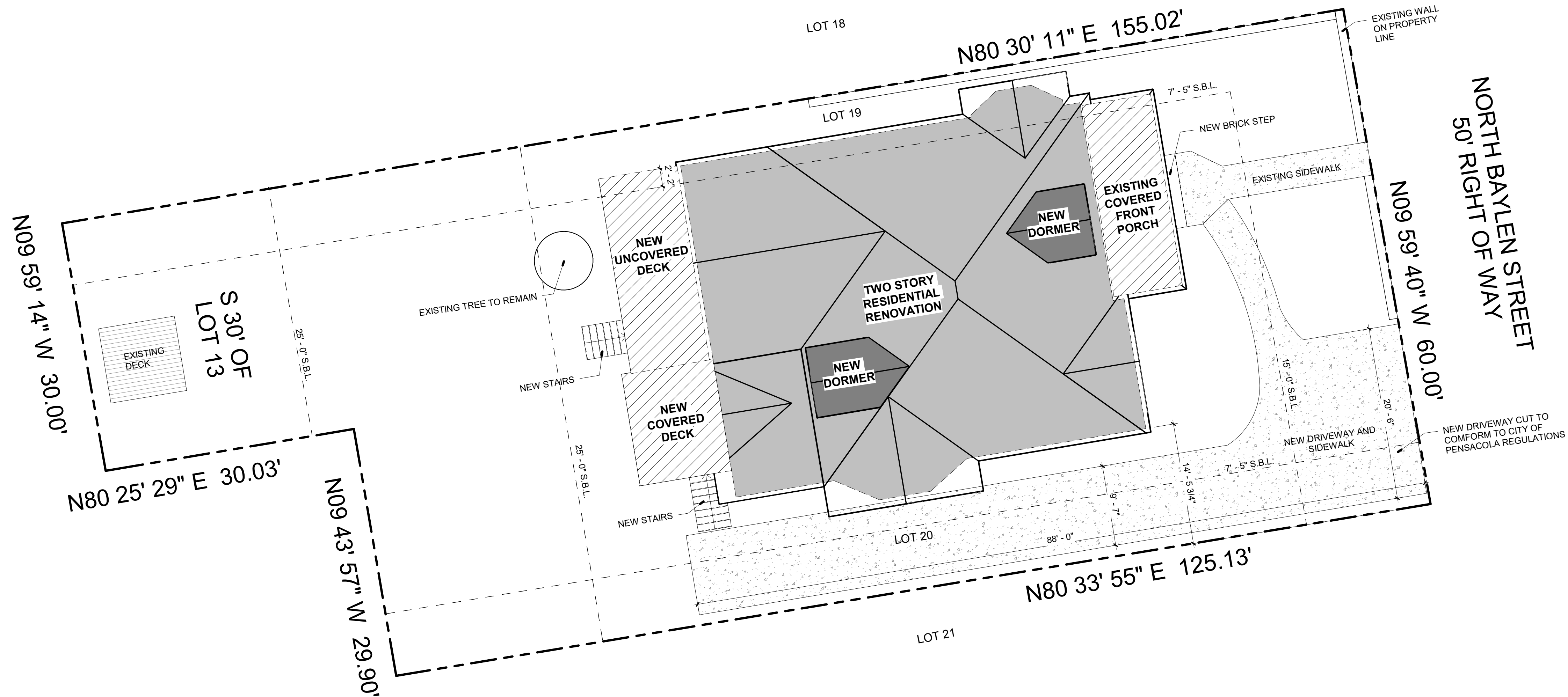
SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO: 21015



**1 SITE PLAN**  
1/8" = 1'-0"



**dalrymple | sallis**  
architecture  
503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

**NOT FOR CONSTRUCTION**

# LYTER RENOVATION

815 N BAYLEN ST. PENSACOLA, FL 32501

DRAWN BY: JLR  
CHECKED BY: JSS

ISSUE DATE: 04/29/2021

REVISIONS  
No. Des. Date

SHEET TITLE:

**SITE PLAN**

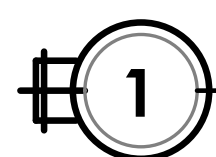
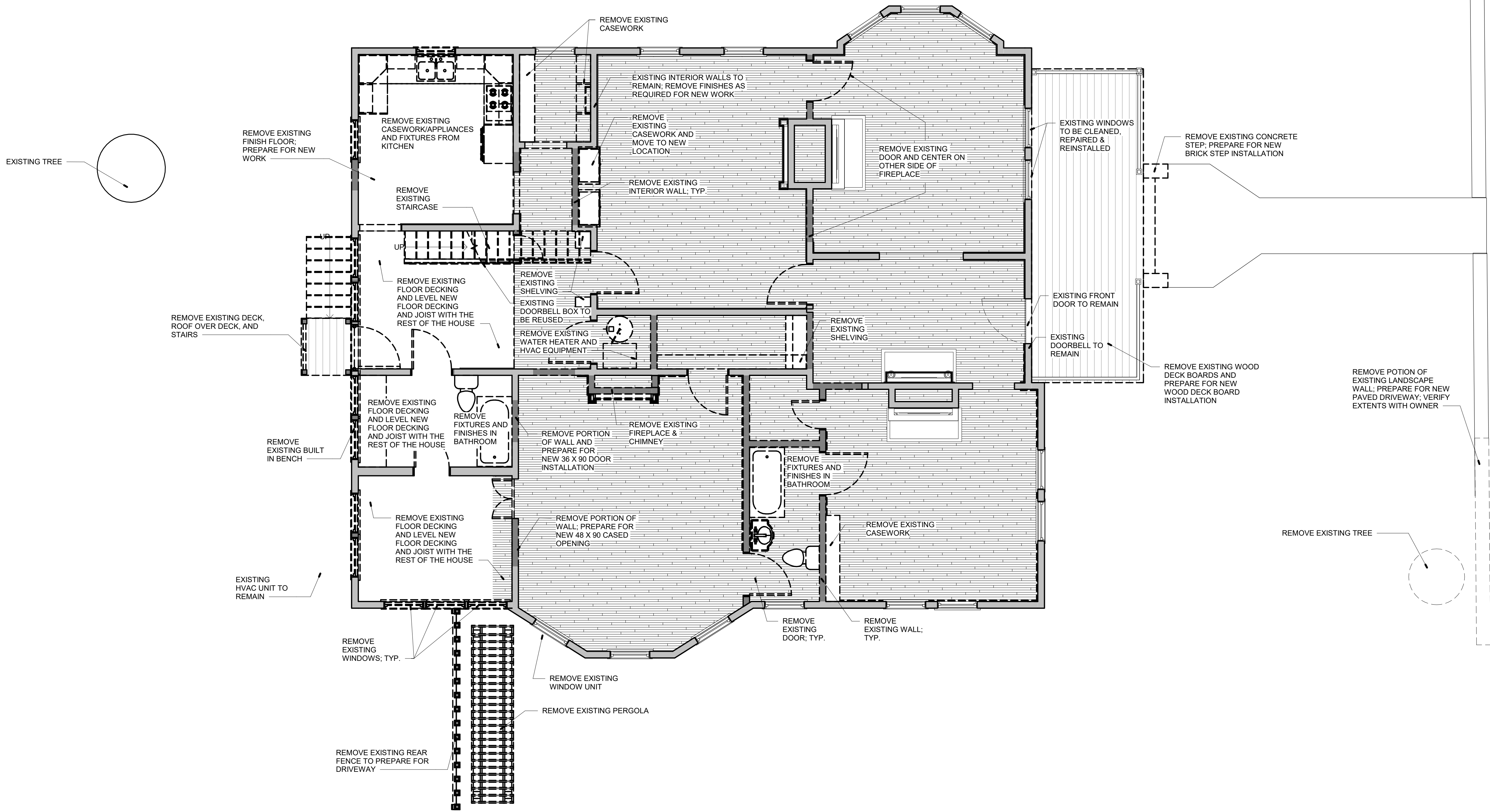
SHEET NO:

**A001**

PROJECT NO: 21015

DEMOLITION NOTES

- 1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
- 2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
- 3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
- 4. CLEAN AND POLISH ALL EXISTING WOOD FLOOR ON FIRST LEVEL.
- 5. EXISTING FIREPLACE TILE TO REMAIN WHERE POSSIBLE
- 6. CONTRACTOR TO VERIFY LOAD BEARING WALLS BEFORE DEMOLITION AND BRACE AS NECESSARY.
- 7. REMOVE ALL EXISTING PLASTER ON WALLS AND CEILINGS.
- 8. PRESERVE ALL THE EXISTING BASE BOARD TRIM.
- 9. BRICKS FROM THE REMOVED CHIMNEY ARE TO BE USED FOR NEW FRONT PORCH STEP.
- 10. REMOVE ALL EXISTING EXTERIOR LIGHTING



FIRST FLOOR DEMOLITION PLAN



**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

**LYTER RENOVATION**  
815 N BAYLEN ST. PENSACOLA, FL 32501

DRAWN BY: JLR  
CHECKED BY: JSS

ISSUE DATE:  
04/29/2021

REVISIONS  
No. Des. Date

SHEET TITLE:

**FIRST FLOOR  
DEMO PLAN**

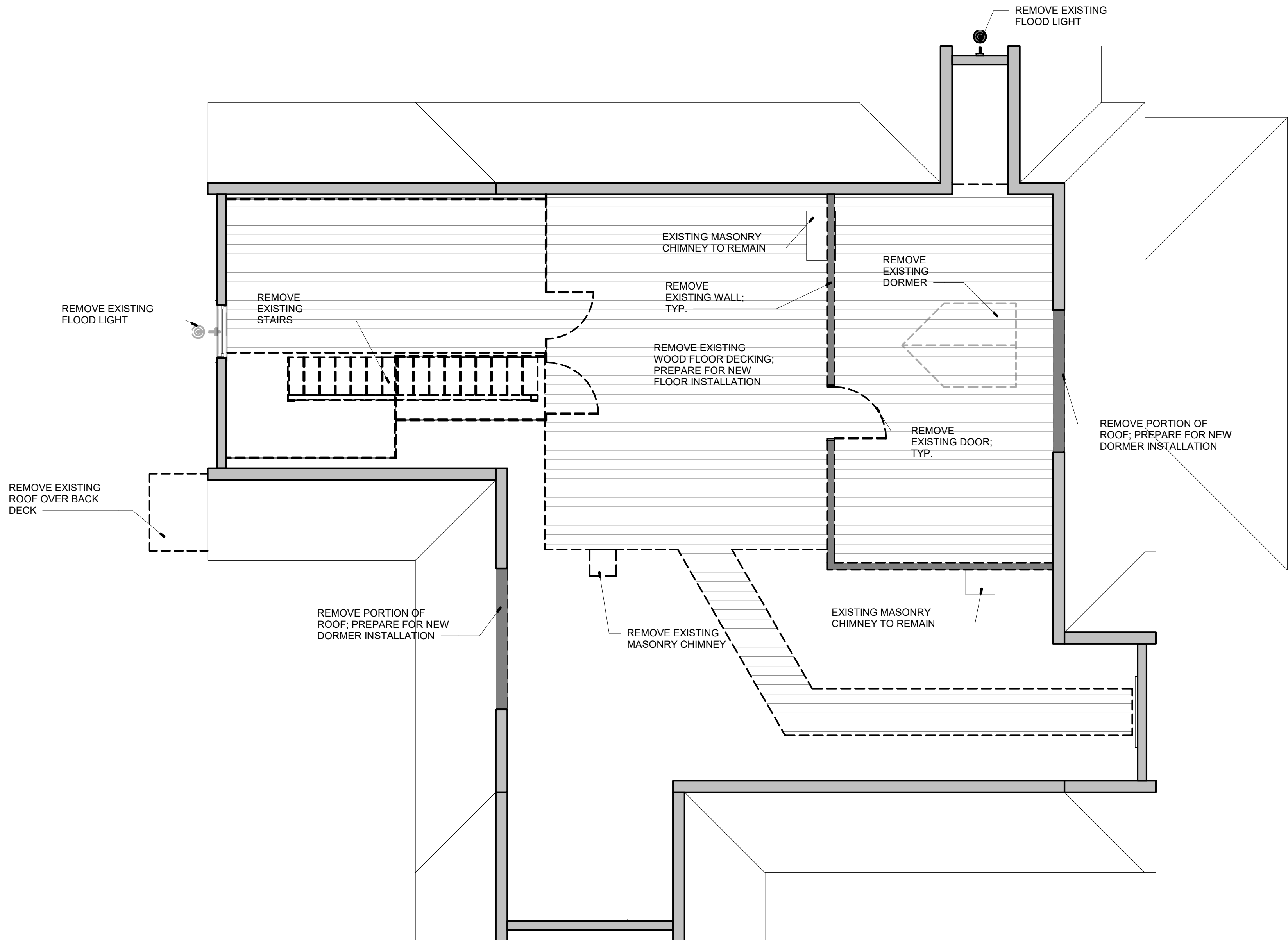
SHEET NO:

**A010**

PROJECT NO:  
21015

DEMOLITION NOTES

- 1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
- 2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
- 3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
- 4. CLEAN AND POLISH ALL EXISTING WOOD FLOOR ON FIRST LEVEL.
- 5. EXISTING FIREPLACE TILE TO REMAIN WHERE POSSIBLE.
- 6. CONTRACTOR TO VERIFY LOAD BEARING WALLS BEFORE DEMOLITION AND BRACE AS NECESSARY.
- 7. REMOVE ALL EXISTING PLASTER ON WALLS AND CEILINGS.
- 8. PRESERVE ALL THE EXISTING BASE BOARD TRIM.
- 9. BRICKS FROM THE REMOVED CHIMNEY ARE TO BE USED FOR NEW FRONT PORCH STEP.
- 10. REMOVE ALL EXISTING EXTERIOR LIGHTING



1

SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR  
CONSTRUCTION

LYTER RENOVATION

815 N BAYLEN ST. PENSACOLA, FL 32501

DRAWN BY:	CHECKED BY:
JLR	JSS

ISSUE DATE:  
04/29/2021

REVISIONS	No.	Des.	Date
-----------	-----	------	------

SHEET TITLE:  
**SECOND  
FLOOR DEMO  
PLAN**

SHEET NO:

**A012**

PROJECT NO:  
21015

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNERS/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
7. CAP & SEAL ALL EXISTING FIREPLACE & CHIMNEYS/FLUES EXCEPT FOR LIVING ROOM. CLEAN & REPAIR LIVING ROOM CHIMNEY/ FLUE AS REQUIRED TO BURN GAS LOG FIRE INSERT.



503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
[www.dalsal.com](http://www.dalsal.com)  
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND  
UN-PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT WRITTEN CONSENT OF  
THE FIRM'S PRINCIPALS

## CERTIFICATION

**NOT FOR  
CONSTRUCTION**

# LYTER RENOVATION

815 N BAYLEN ST. PENSACOLA, FL 32501

<b>DRAWN BY:</b> JLR	<b>CHECKED BY:</b> JSS
-------------------------	---------------------------

ISSUE DATE:  
04/29/2021

REVISIONS		
No.	Des.	Date

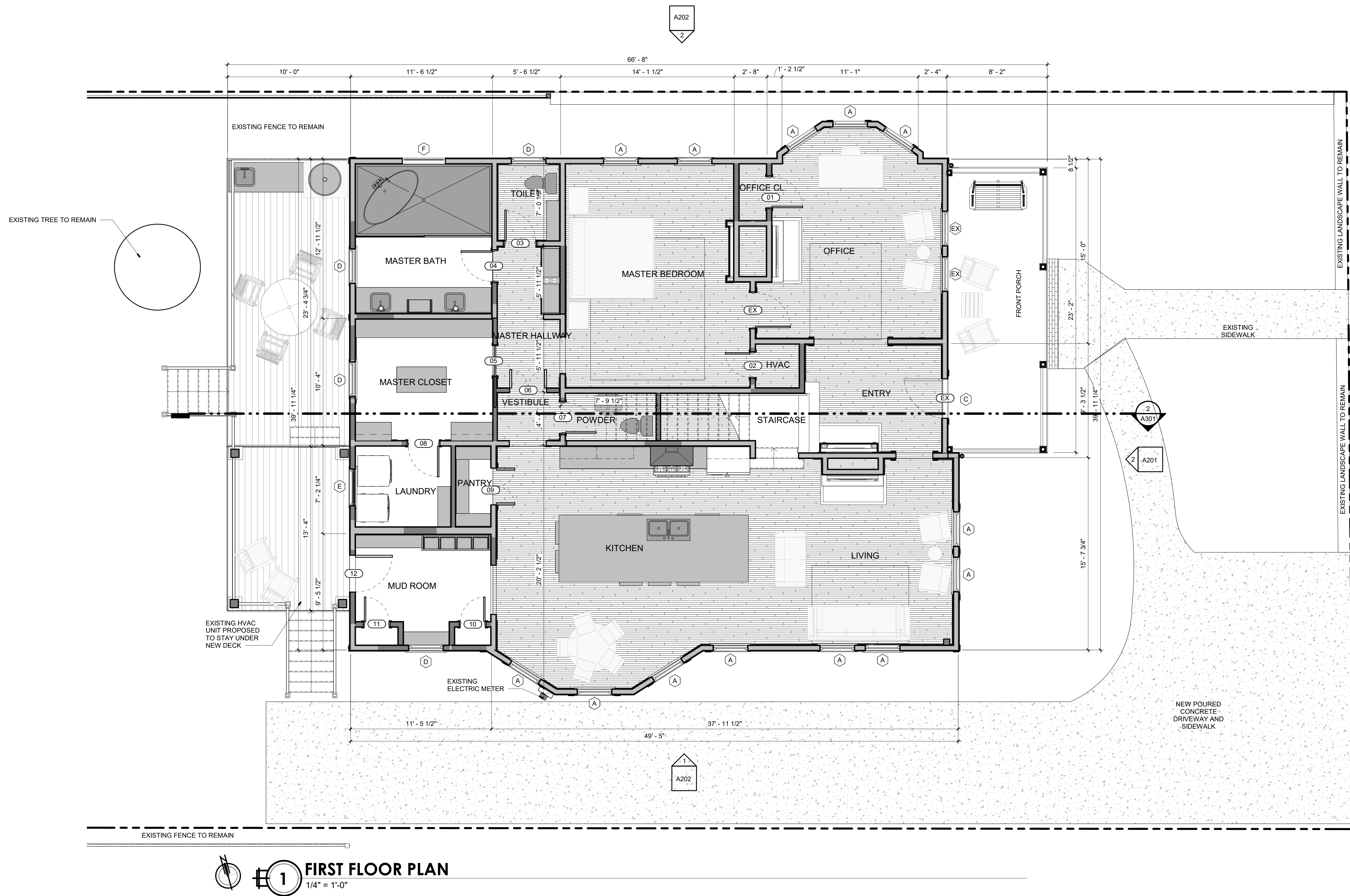
**SHEET TITLE:**

**NEW WORK  
FIRST FLOOR  
PLAN**

**SHEET NO:**

# A101

PROJECT NO:  
21015





03 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com  
AR 0016385

DOCUMENT SHOWS ORIGINAL AND  
PUBLISHED WORK OF THE ARCHITECT  
MAY NOT BE DUPLICATED IN ANY  
WITHOUT WRITTEN CONSENT OF  
THE FIRM'S PRINCIPALS

## IDENTIFICATION

**NOT FOR  
CONSTRUCTION**

# LYTTER RENOVATION

VISION DATA INC. 1 ENZACOLA, 1 E 3250 I

W/IN BY: LR	CHECKED BY: JSS
----------------	--------------------

DATE: 4/29/2021


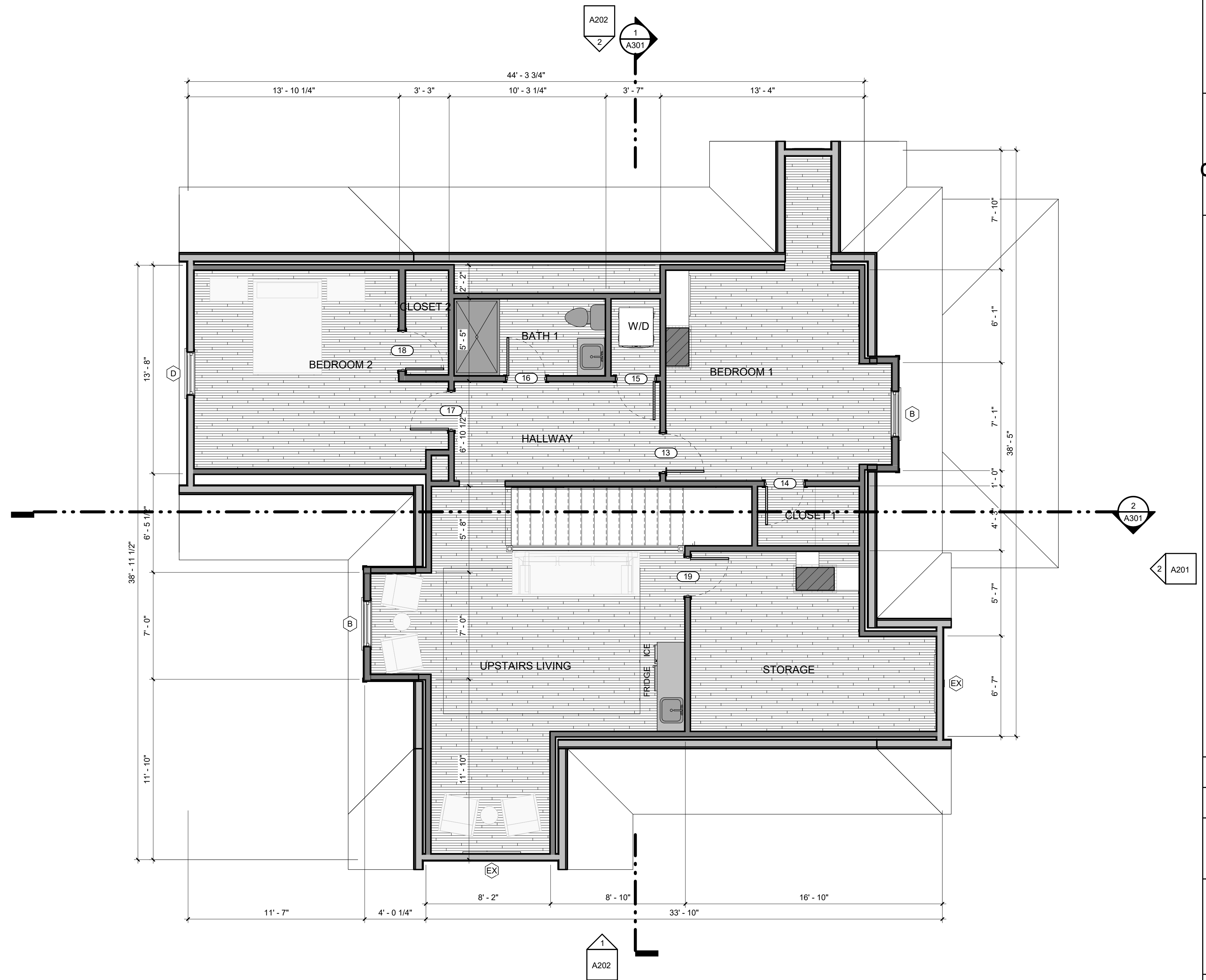
IONS	
Des.	Date

**TITLE:**  
**NEW WORK**  
**SECOND**  
**FLOOR PLAN**

NO:

# A102

JECT NO:  
15



## SECOND FLOOR PLAN

$$1/4'' = 1'-0''$$



**dalrymple | sallis**  
architecture

503 E. Government St.  
Pensacola, FL 32502  
v: 850-470-6399  
f: 850-470-6397  
www.dalsal.com

AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT WRITTEN CONSENT OF  
THE FIRM'S PRINCIPALS

CERTIFICATION

**NOT FOR  
CONSTRUCTION**

**LYTER RENOVATION**

815 N BAYLEN ST. PENSACOLA, FL 32501

DRAWN BY: JLR  
CHECKED BY: JSS

ISSUE DATE:  
04/29/2021

REVISIONS  
No. Des. Date

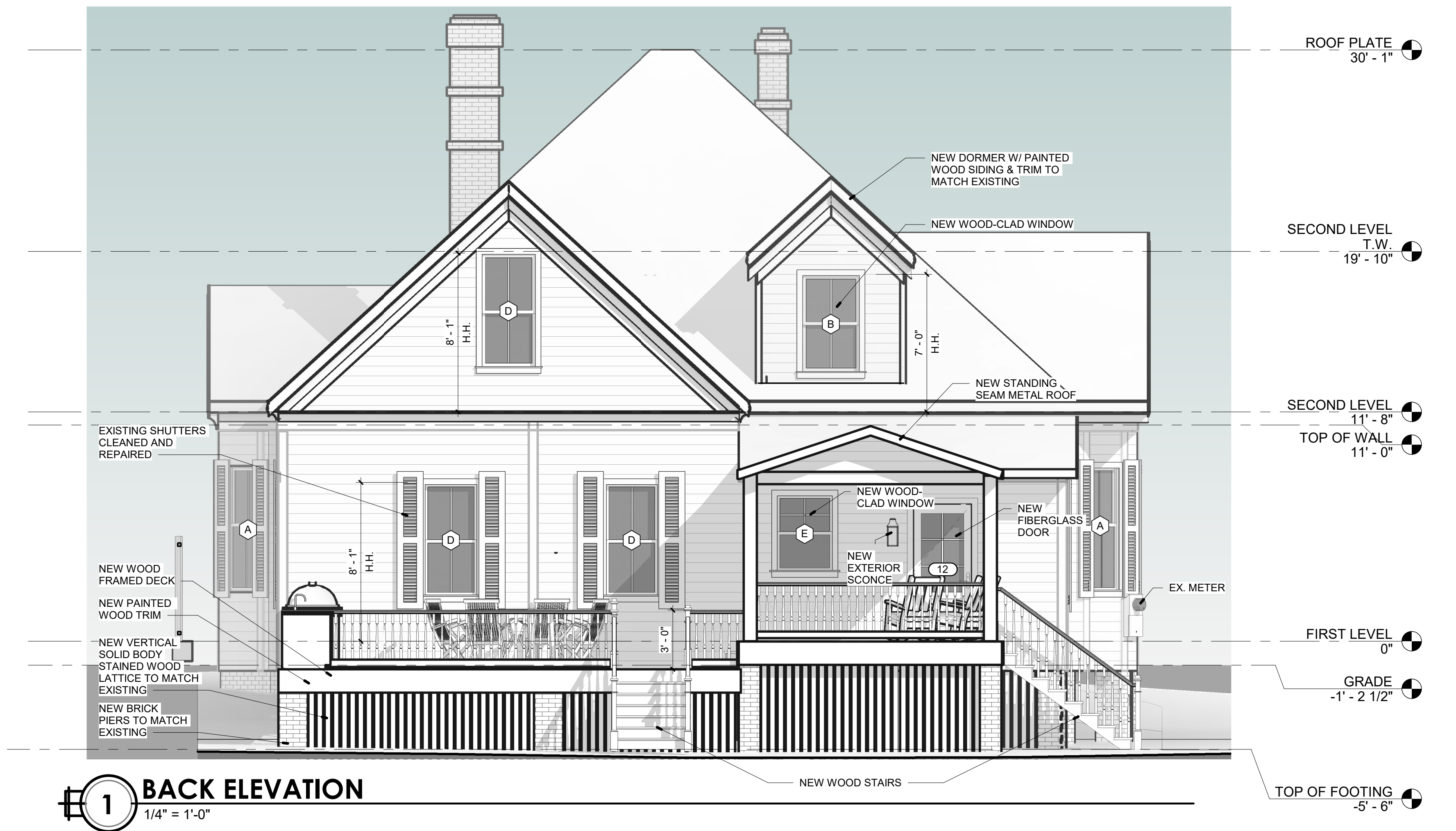
SHEET TITLE:

**EXTERIOR  
ELEVATIONS**

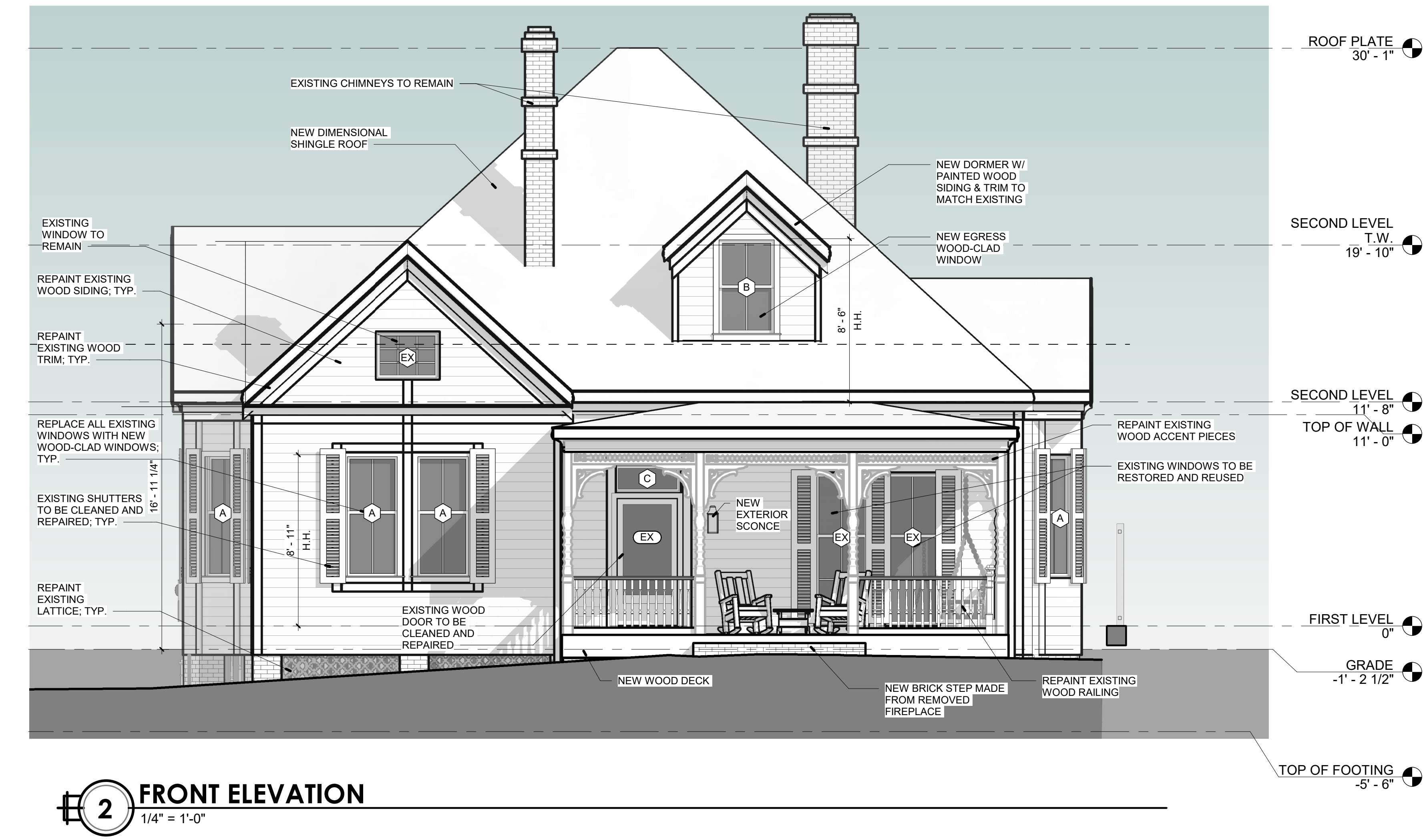
SHEET NO:

**A201**

PROJECT NO:  
21015



**1 BACK ELEVATION**  
1/4" = 1'-0"



**2 FRONT ELEVATION**  
1/4" = 1'-0"



ROOF PLATE  
30' - 1"

SECOND LEVEL  
T.W.  
19' - 10"

SECOND LEVEL  
11' - 8"  
TOP OF WALL  
11' - 0"

FIRST LEVEL  
0"

GRADE  
-1' - 2 1/2"

TOP OF FOOTING  
-5' - 6"

1 SIDE ELEVATION A  
1/4" = 1'-0"



ROOF PLATE  
30' - 1"

SECOND LEVEL  
T.W.  
19' - 10"

SECOND LEVEL  
11' - 8"  
TOP OF WALL  
11' - 0"

FIRST LEVEL  
0"

GRADE  
-1' - 2 1/2"

TOP OF FOOTING  
-5' - 6"

2 SIDE ELEVATION B  
1/4" = 1'-0"