



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

04-29-21

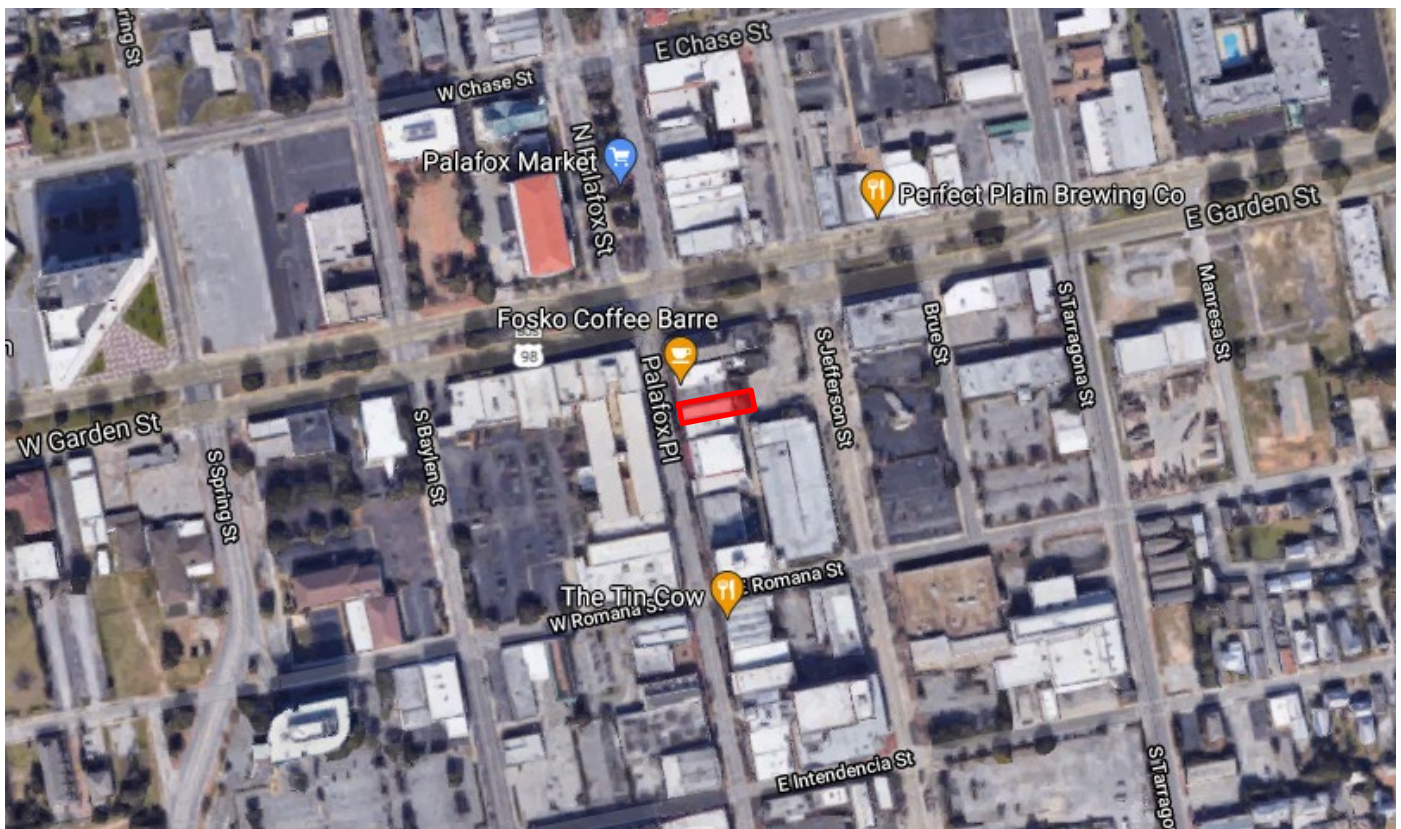
Date

Date: Thursday, April 29, 2021

Project: Wine Bar Patio Addition
16 Palafox Pl.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



Project Location



View of Existing Rear

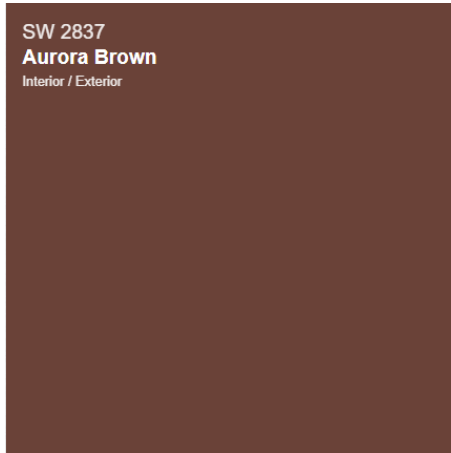


View From Alley

Exterior Color Schedule

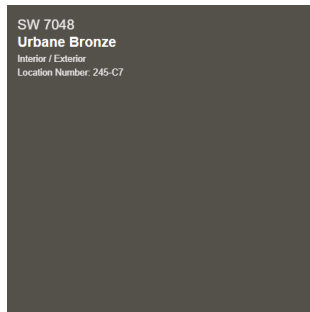
ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Existing/New Columns	Sherwin Williams	SW 2837 "Aurora Brown" (To Match Ex.)
Trusses/Beams	Sherwin Williams	SW 2837 "Aurora Brown" (To Match Ex.)
Rafters/Purlins	Sherwin Williams	SW 2837 "Aurora Brown" (To Match Ex.)
Roofing	Metal Sales	Galvalume
New Gutter/Downspout	Sherwin Williams	SW 7048 "Urbane Bronze" (To Match Ex.)
String Lights	TBD	Black
Ceiling Fan	Big Ass Fans	Vintage Silver
Surface-Mounted Heater	TBD	Silver

PAINT



Structure Paint

Sherwin Williams: "Aurora Brown"



Gutter/Downspout

Sherwin Williams: "Urbane Bronze"

ROOFING



Roofing

Metal Sales

5V Metal:

Galvalume

LIGHTING/FAN/HEATER



String Lights
Finish: Black



Ceiling Fan
Big Ass Fans, Essence, 8ft Diameter
Finish: Vintage Silver



Surface-Mounted Heater
Finish: Silver

Renderings



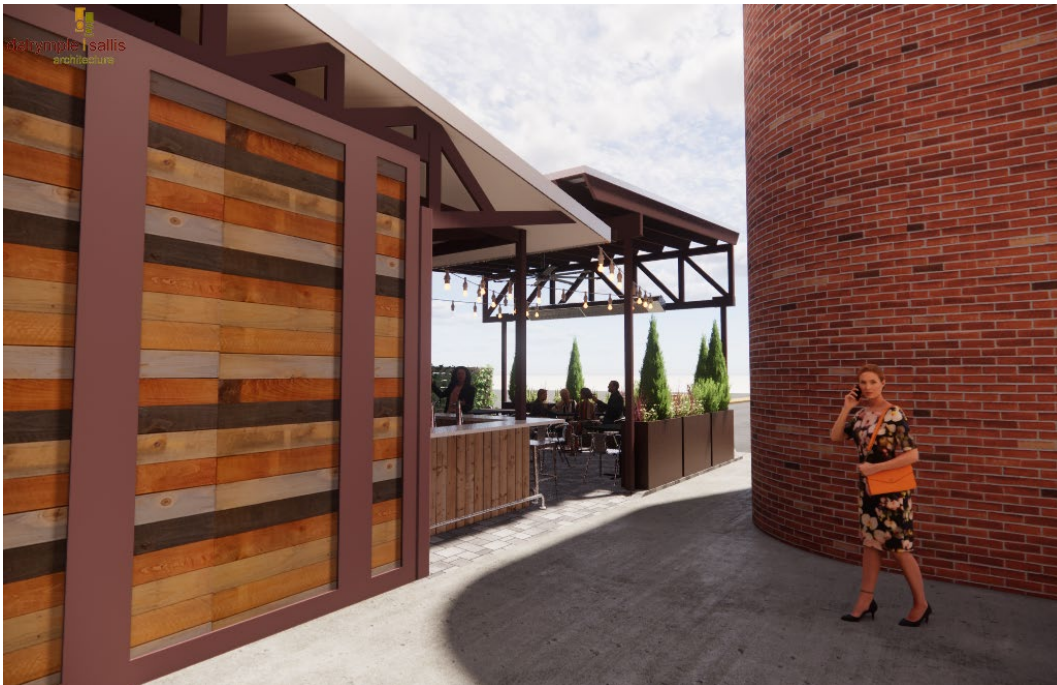
View from Parking Lot



View at Dusk



View of Dining Area

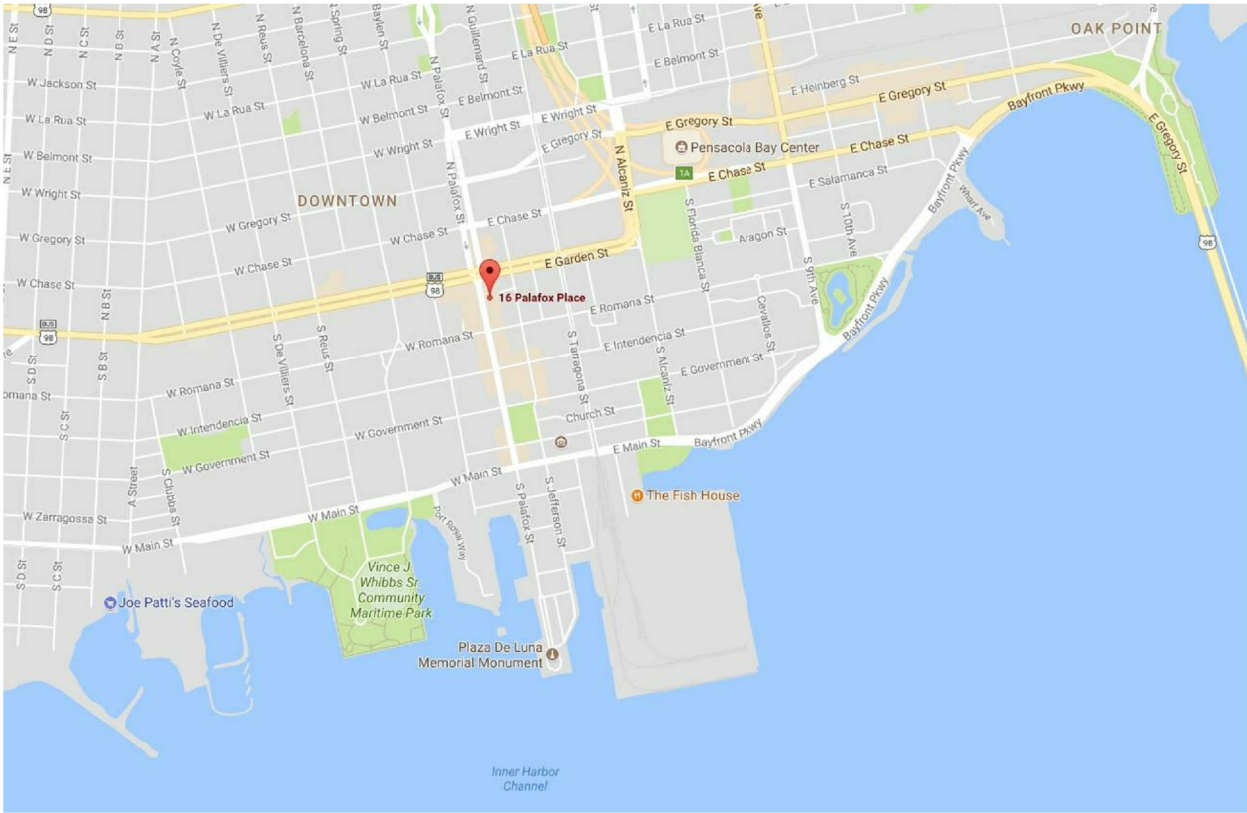


View From Alley

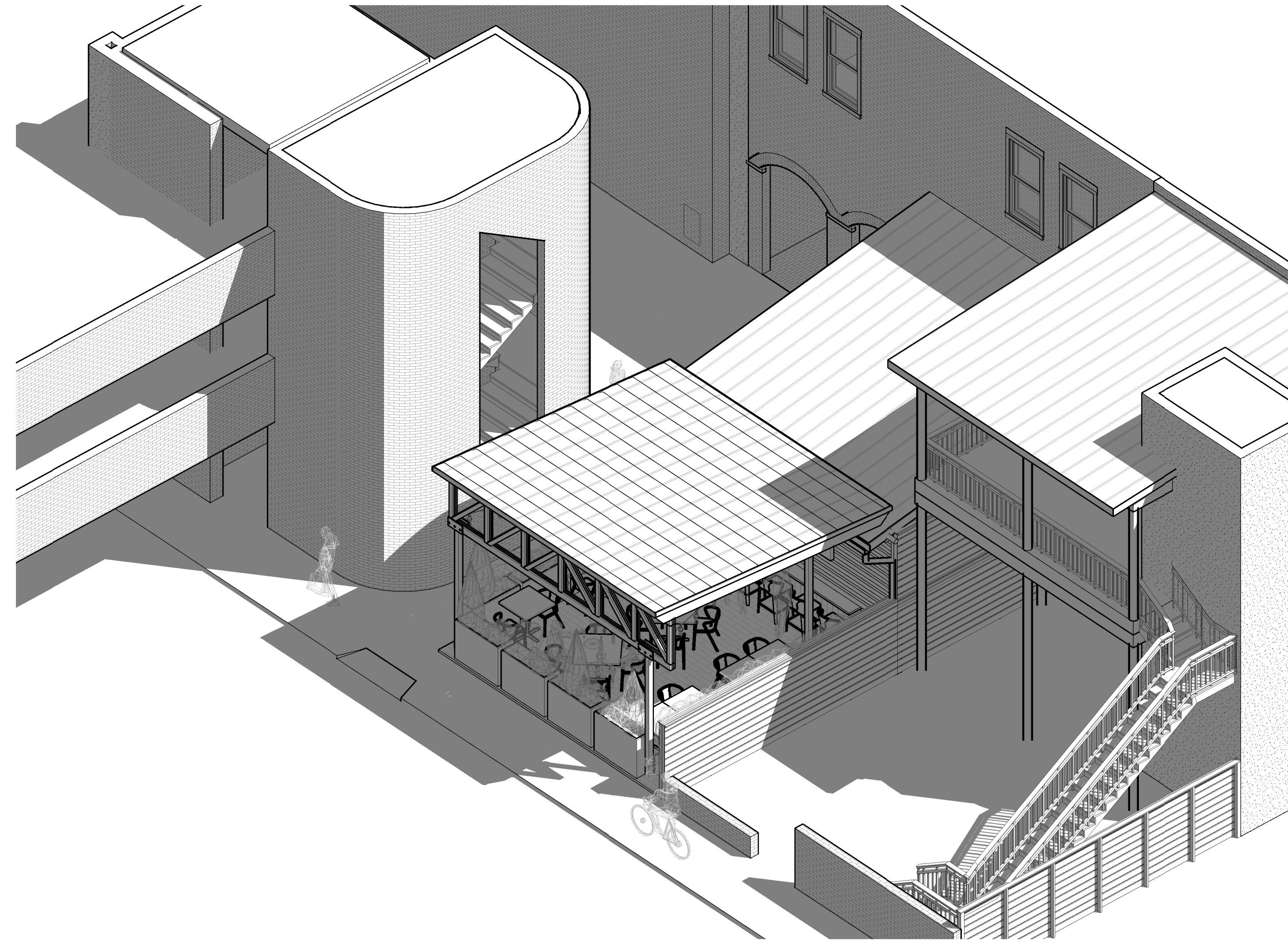
Wine Bar Patio Addition

NEW OUTDOOR DINING STRUCTURE ADDITION

16 Palafox Place, Pensacola, FL 32502



SITE MAP



BUILDING DATA

APPLICABLE CODES:
2020 FLORIDA BUILDING CODE
FLORIDA FIRE PREVENTION CODE, 7th EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
ASSEMBLY (A-2)

ZONED: (C-2A) DOWNTOWN RETAIL COMMERCIAL

FLOOD ZONE: X

PHYSICAL PROPERTIES:
ADDITION HEIGHT: 14'-10"
NO. OF STORIES: 1

AREA TOTALS		
LEVEL	AREA	COMMENTS
GROUND		
GROUND	492 SF	EXISTING UNDER ROOF
GROUND	360 SF	NEW ROOF ADDITION
TOTAL UNDER ROOF	852 SF	

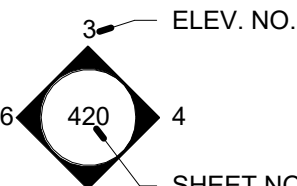
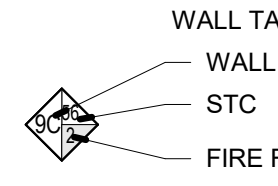
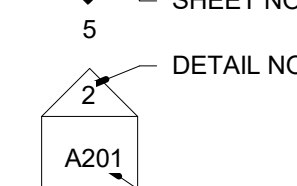
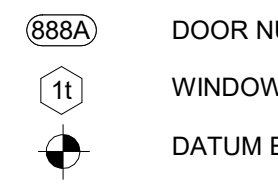
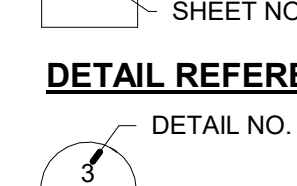
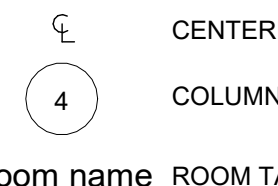
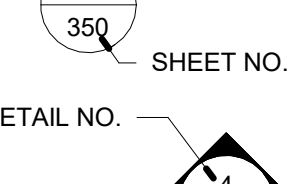
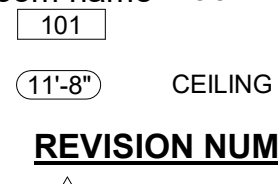
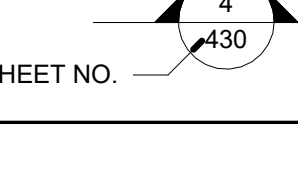

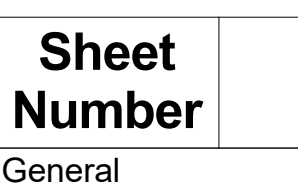

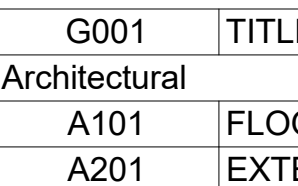
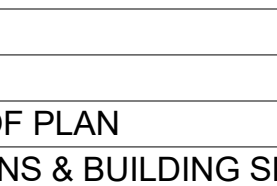
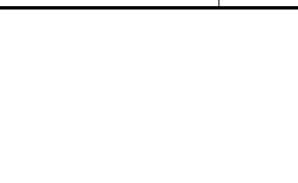




PROJECT TEAM:

ARCHITECT OF RECORD:
J. SCOTT SALLIS, AIA scott@dalsal.com
DALRYMPLE | SALLIS ARCHITECTURE
503 E. GOVERNMENT ST.
PENSACOLA, FL 32502
(850) 470-6399

STRUCTURAL ENGINEERING:
MAX SPENCER, PE
dean.spencer.pe@gmail.com
DEAN A SPENCER ENGINEERING, INC
2735 SANSIBEL PLACE,
GULF BREEZE, FL 32563
(850) 932-8730

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2020 FBC, RESIDENTIAL EDITION R301.2.1.2 FOR RESIDENTIAL WORK OR 2020 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

ELEVATION REFERENCES		ANNOTATION REFERENCES	
	ELEV. NO. INTERIOR ELEVATION REFERENCE		WALL TAG REFERENCE WALL TYPE STC
	SHEET NO. DETAIL NO. EXTERIOR ELEVATION REFERENCE		FIRE RATING
	DETAIL NO. SHEET NO.		DOOR NUMBER REFERENCE
	DETAIL NO. SHEET NO.		WINDOW TYPE
	DETAIL NO. SHEET NO.		DATUM ELEVATION
	DETAIL NO. SHEET NO.		CENTERLINE
	DETAIL NO. SHEET NO.		COLUMN GRID NUMBER
	DETAIL NO. SHEET NO.		Room name ROOM TAG
	DETAIL NO. SHEET NO.		CEILING HEIGHT - ABOVE FIN. FLOOR
		REVISION NUMBER REFERENCE	
			REVISION NO.

INDEX OF DRAWINGS	
Sheet Number	Sheet Title
General	
G001	TITLE SHEET
Architectural	
A101	FLOOR PLANS & ROOF PLAN
A201	EXTERIOR ELEVATIONS & BUILDING SECTIONS



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AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR
CONSTRUCTION

Wine Bar Patio Addition

16 Palafox Place, Pensacola, FL 32502

DRAWN BY: MH
CHECKED BY: JSS

ISSUE DATE:
04-28-21

REVISIONS:
No. Desc. Date

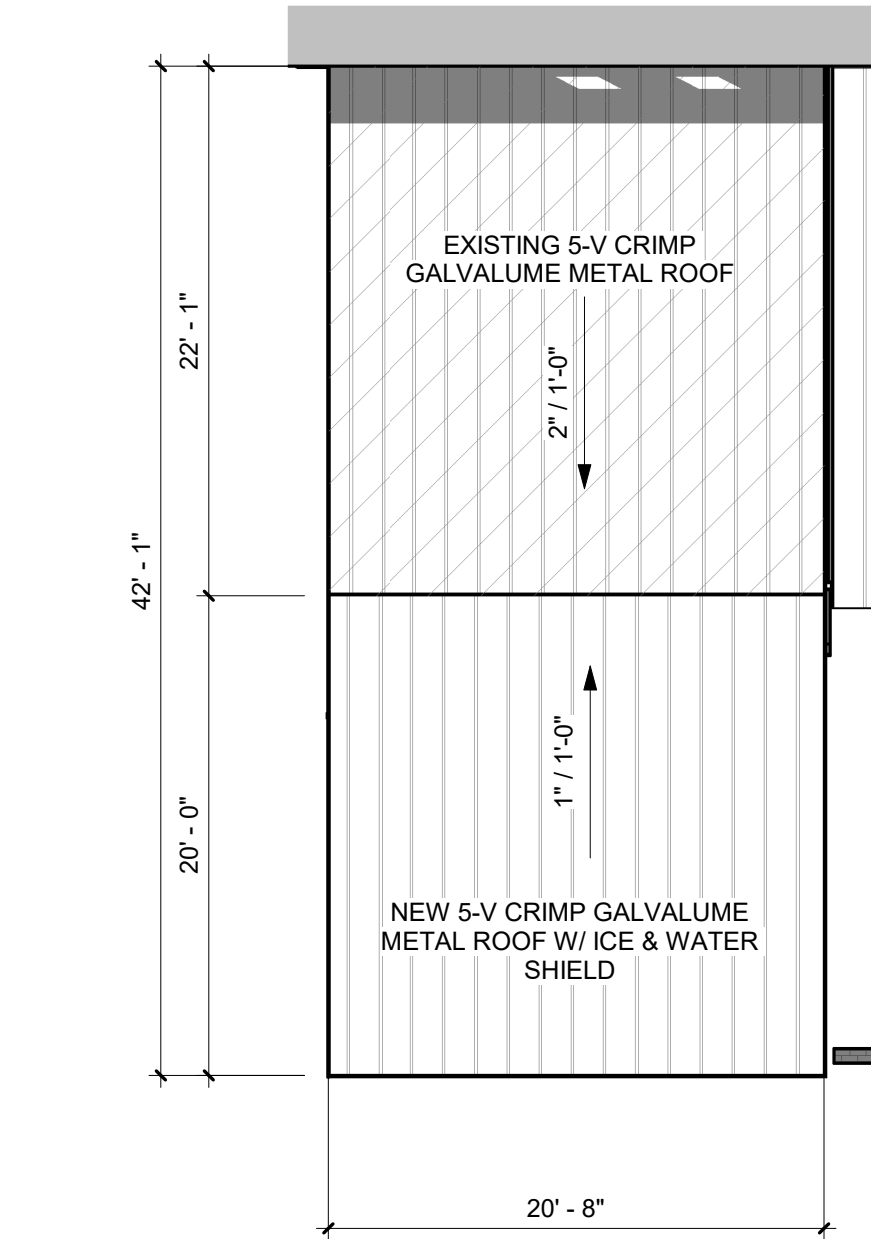
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TITLE SHEET

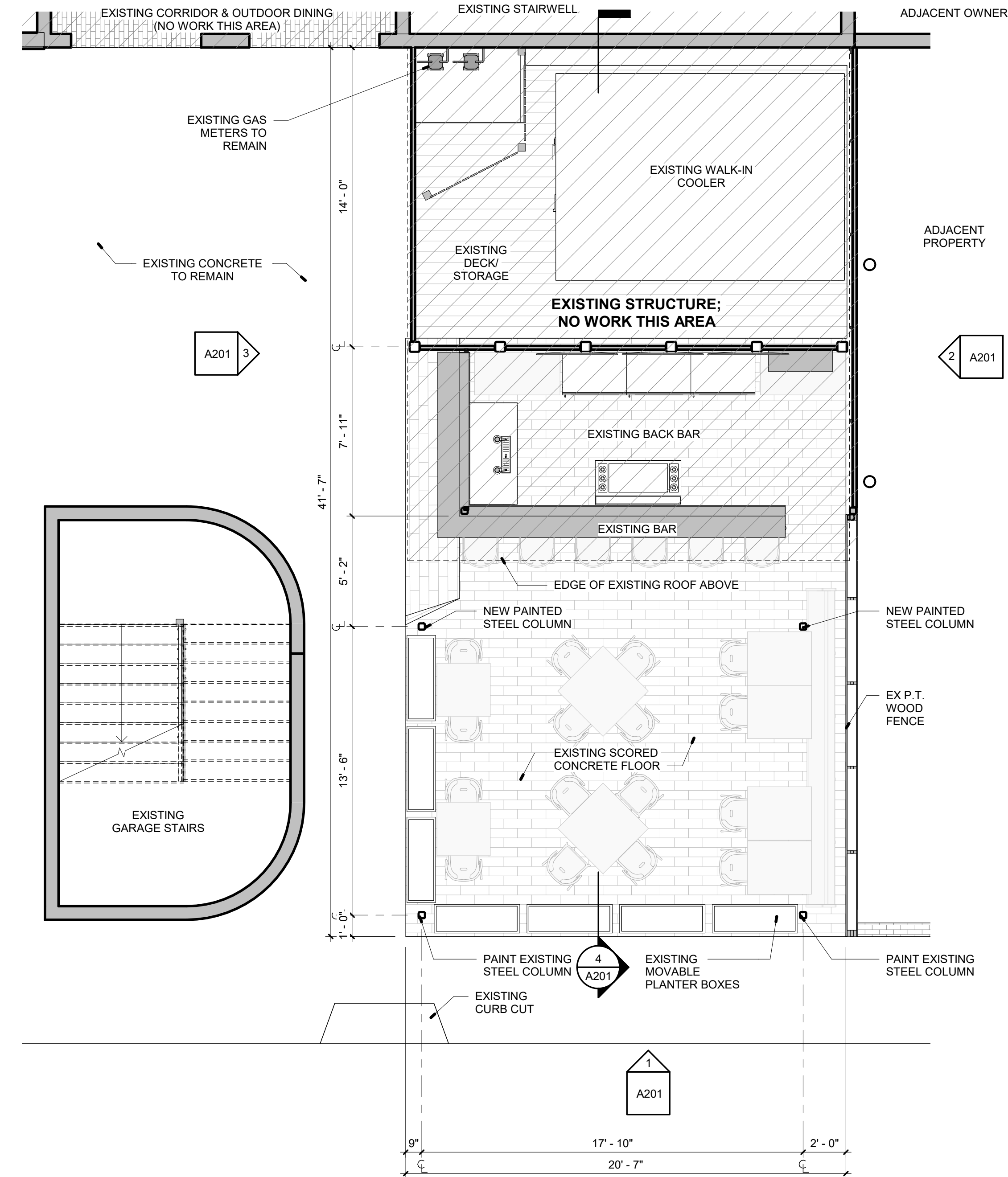
SHEET NO:

G001

PROJECT NO:
21010



3 ROOF PLAN
1/8" = 1'-0"



1 NEW WORK FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
2. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
3. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
4. ALL FURNITURE/ SEATING BY OWNER U.N.O.

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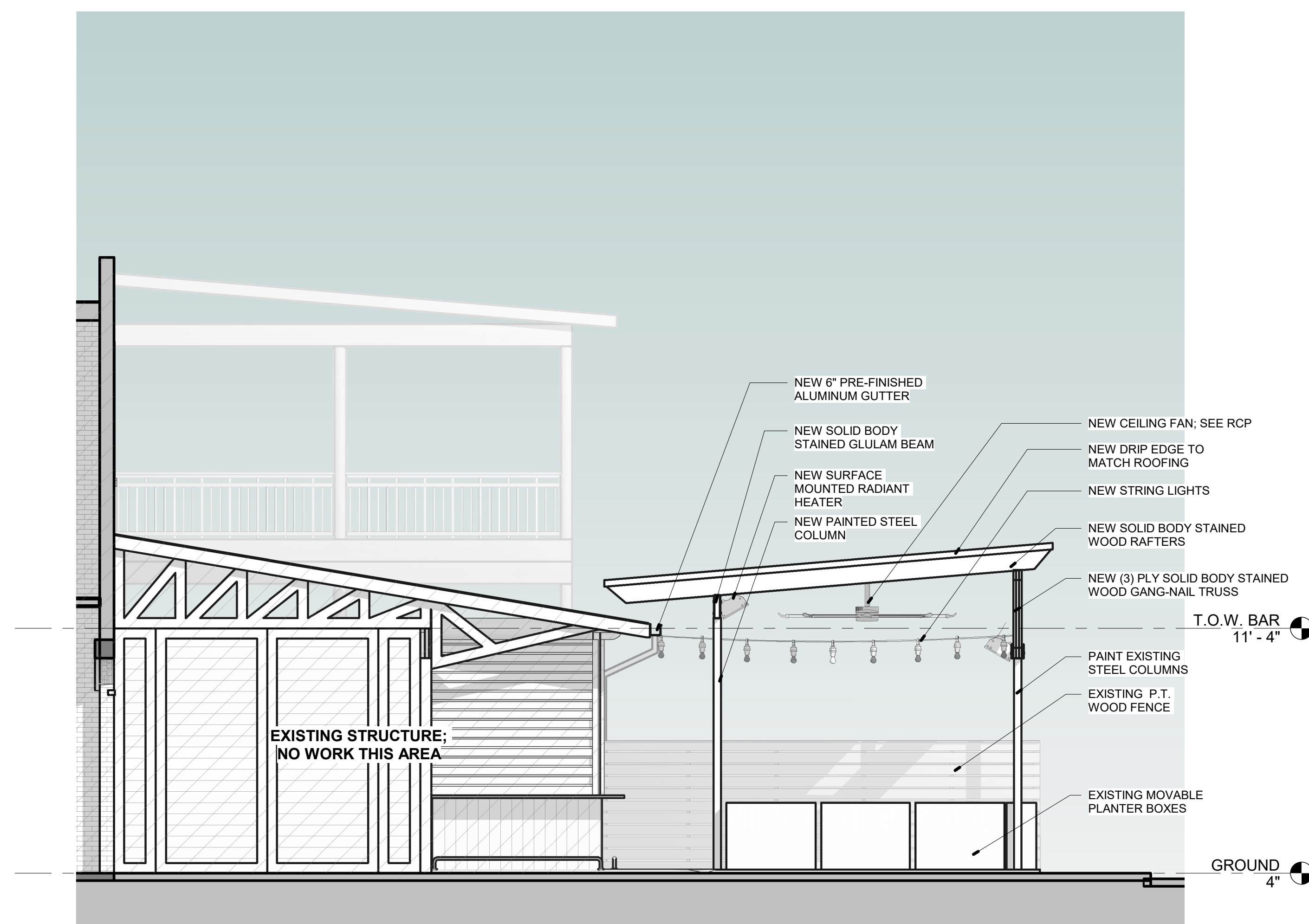
NOT FOR CONSTRUCTION

Wine Bar Patio Addition
16 Palafox Place, Pensacola, FL 32502

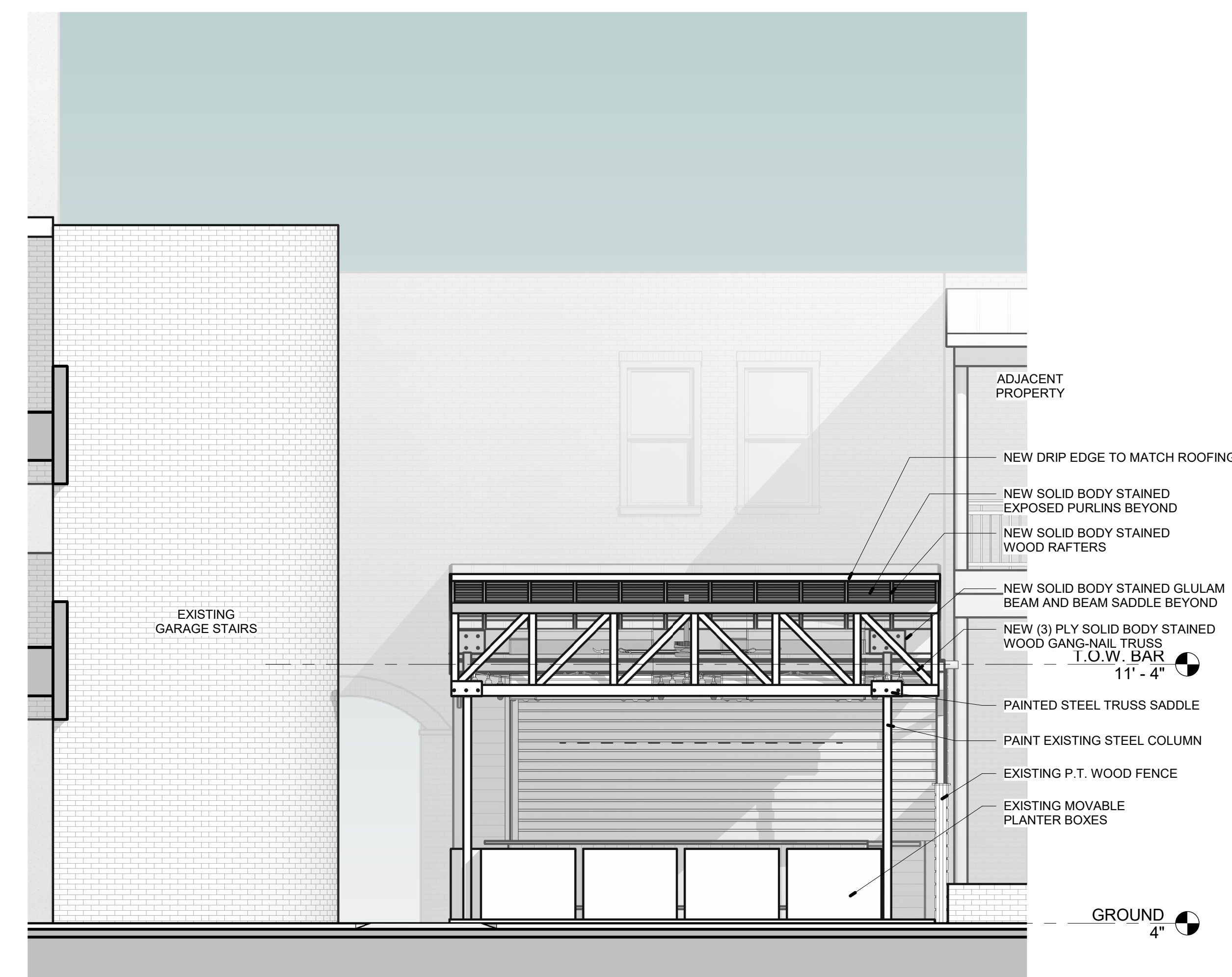
DRAWN BY:	CHECKED BY:
GRM/MH	JSS
ISSUE DATE:	04-28-21
REVISIONS	No. Des. Date

SHEET TITLE:
FLOOR PLANS & ROOF PLAN

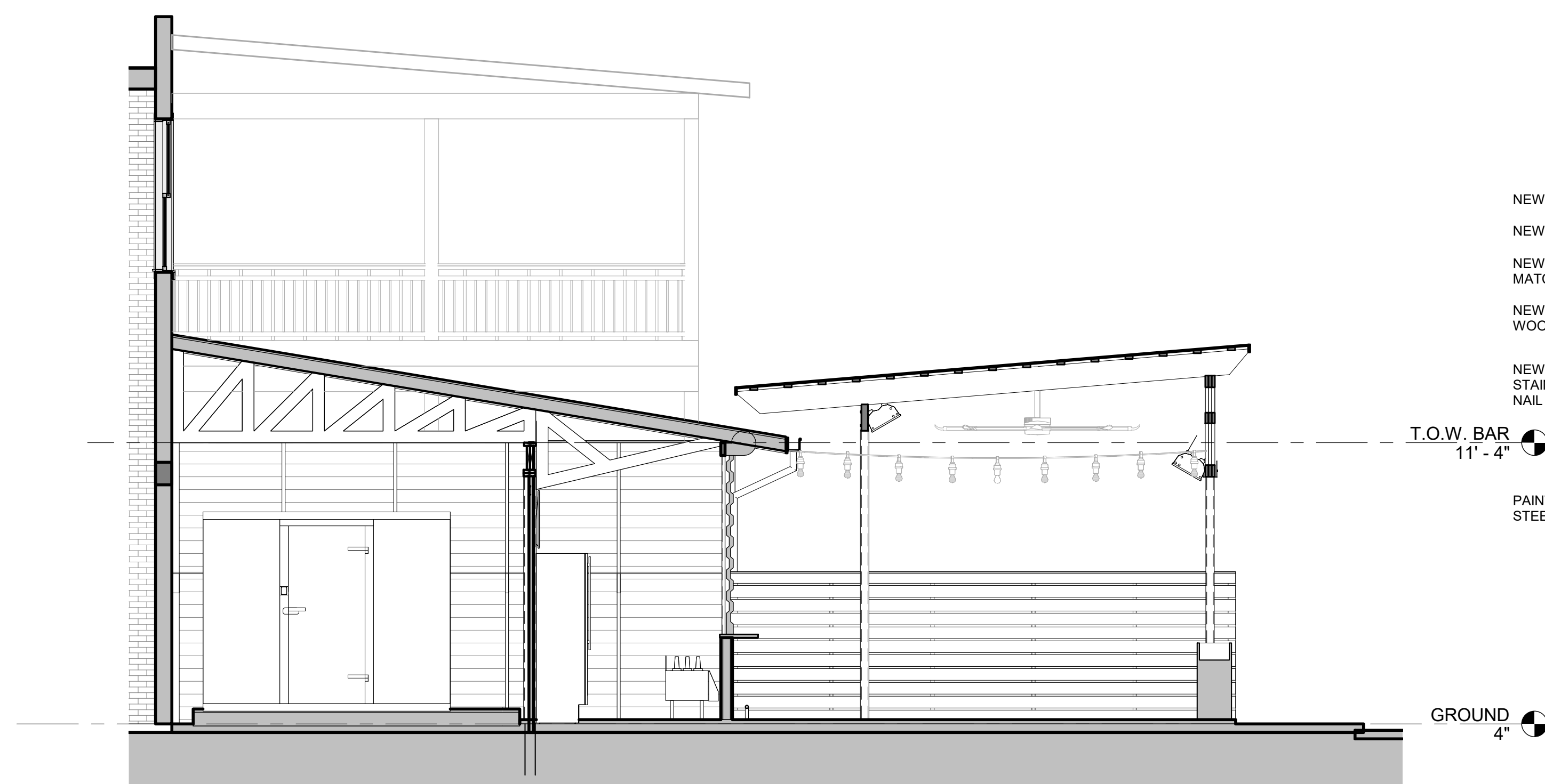
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A101
PROJECT NO:
21010



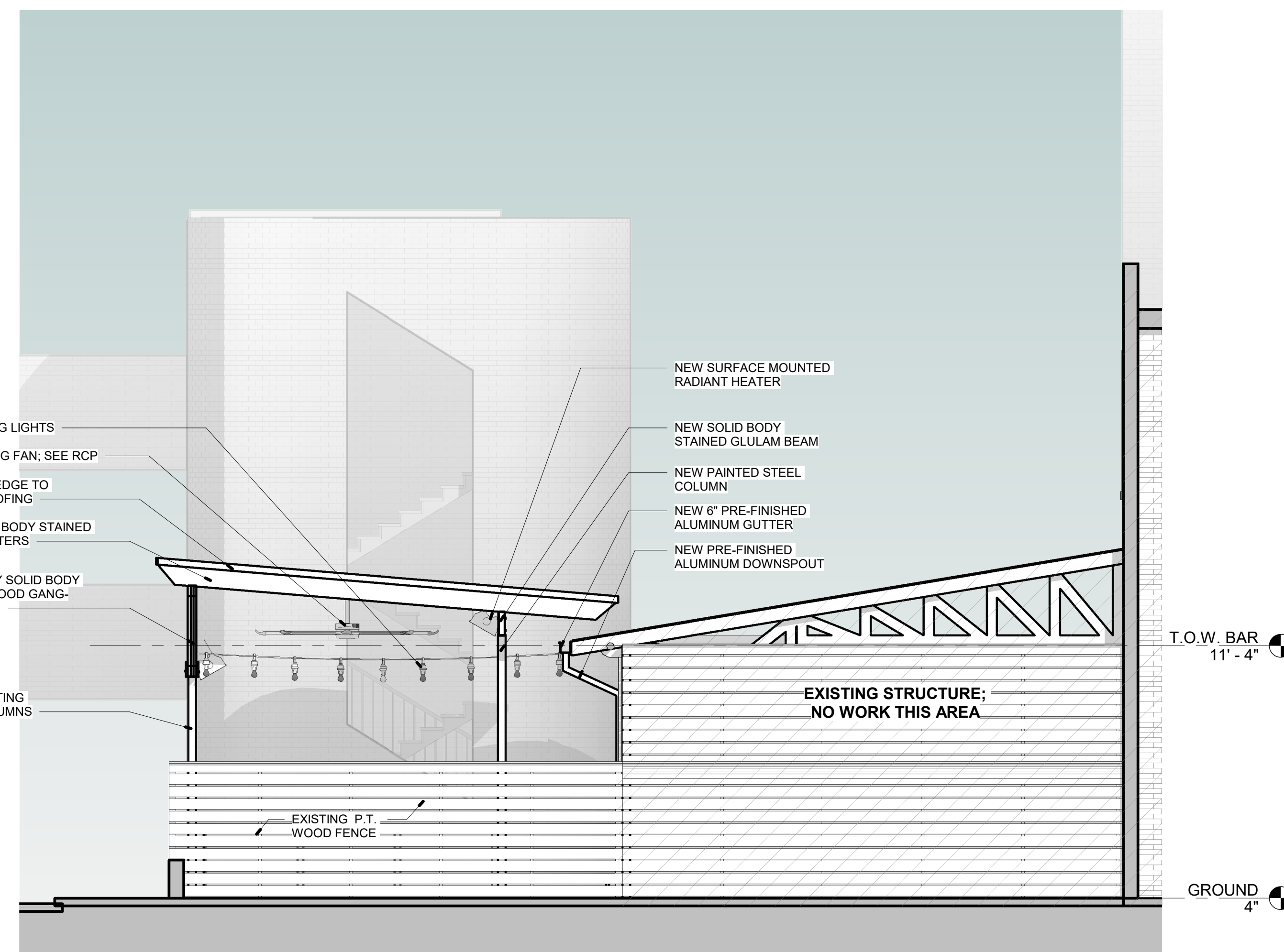
3 SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



4 BUILDING SECTION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"