



**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_

**Applicant's Address:** \_\_\_\_\_

**Email:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Property Owner:** \_\_\_\_\_

*(If different from Applicant)*

**District:**                      **PHD**                      **NHPD**                      **OEHPD**                      **PHBD**                      **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

  
\_\_\_\_\_

Applicant Signature

\_\_\_\_\_

Date

FLORIDA BUILDING CODE 2020

DESIGN CRITERIA:

- 1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
- 2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
- 3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530/560.1-13).
- 4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

- 1. DEAD AND LIVE LOADS PER ASCE 7
- 2. WIND LOAD AS PER ASCE 7

FLOOD DESIGN DATA:

- 1. ZONE "X"

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

- 1. CONCRETE = 4000 PSI (ASTM A-639)
- 2. CONCRETE REINFORCING BARS = 60,000 PSI (ASTM A-618)
- 3. CONCRETE = 2,500 PSI @ 28 DAYS
- 4. BOLTS = GRADE A325
- 5. THREADED ROD = GRADE A307 (SAE 1018)
- 6. ANCHOR BOLTS = GRADE F1554
- 7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
- 8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

- 1. DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK.
- 3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
- 4. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CONSEQUENCES THEREAFTER.
- 5. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
- 6. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
- 7. RESPONSIBLE FOR JOB SITE SAFETY.
- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
- 9. REMOVAL OF EXISTING STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO, METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

- 1. NAILS SHALL BE CORROSION-RESISTANT.
- 2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AT LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

- 1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- 2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

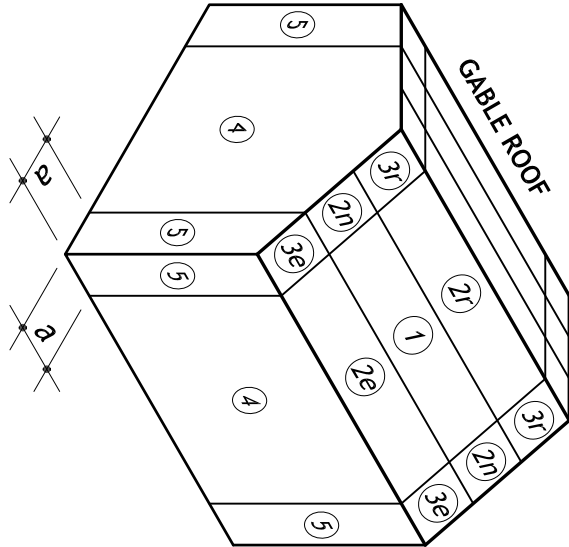
- 1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY GUTTERED DECKS.
- 2. SHINGLES SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- 3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAUGE (0.105 INCH) SHANK WITH A MINIMUM 3/8" DIAMETER HEAD.
- 4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4" INTO THE ROOF SHEATHING, WHERE ROOF SHEATHING IS LESS THAN 3/4" THICK. THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
- 5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)
- 6. TWO LAYERS REQUIRED.
- 7. 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
- 8. 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS 19 INCHES.
- 9. FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
- 10. FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
- 11. FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6 INCHES.
- 12. SATURATED FELT UNDERLAYMENT (ROOF SLOPE ≥ 4:12).
- 13. ONE LAYER REQUIRED.
- 14. APPLY IN SHINGLE FASHION.
- 15. INSTALL STARTING FROM THE EAVE AND LAPPED 2- INCHES.
- 16. FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
- 17. FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
- 18. FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6 INCHES.
- 19. SEPARATING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).
- 20. AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 21. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.
- 22. OVERLAP SHALL BE A MINIMUM OF 3".
- 23. EAVE DRIP EDGES SHALL EXTEND 1/2" BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
- 24. DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT. IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
- 25. DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPLICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#41 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOUR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

ROOF COMPONENTS COMPLIANCE STANDARDS

- ASPHALT SHINGLES \_\_\_\_\_ ASTM D 225, OR: D 3462
- UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12) \_\_\_\_\_ ASTM D 4869 TYPE II OR: TYPE IV
- SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET \_\_\_\_\_ ASTM D 1970
- NAILS \_\_\_\_\_ ASTM F 1667
- WOOD SCREWS \_\_\_\_\_ ANSI/ASME B 18.6.1
- CORROSION RESISTANCE (FASTENERS) \_\_\_\_\_ ASTM A 641 CLASS 1
- CORROSION RESISTANCE (CLIPS) \_\_\_\_\_ 0.90 OZ/FT<sup>2</sup> \_\_\_\_\_ ASTM A 90/A 90M



Title:  
**STRUCTURAL DESIGN PORCH & SHED ADDITION  
KOCH RESIDENCE  
210 S ALCANIZ ST  
PENSACOLA, FL 32502**  
Prepared for: **MELISSA & NICK KOCH**



103 Bay Bridge D. Gulf Breeze, FL 32561

Office: (850) 288-0333  
www.VoelkelEngineering.com

FL CA: 35353

Revision	Date

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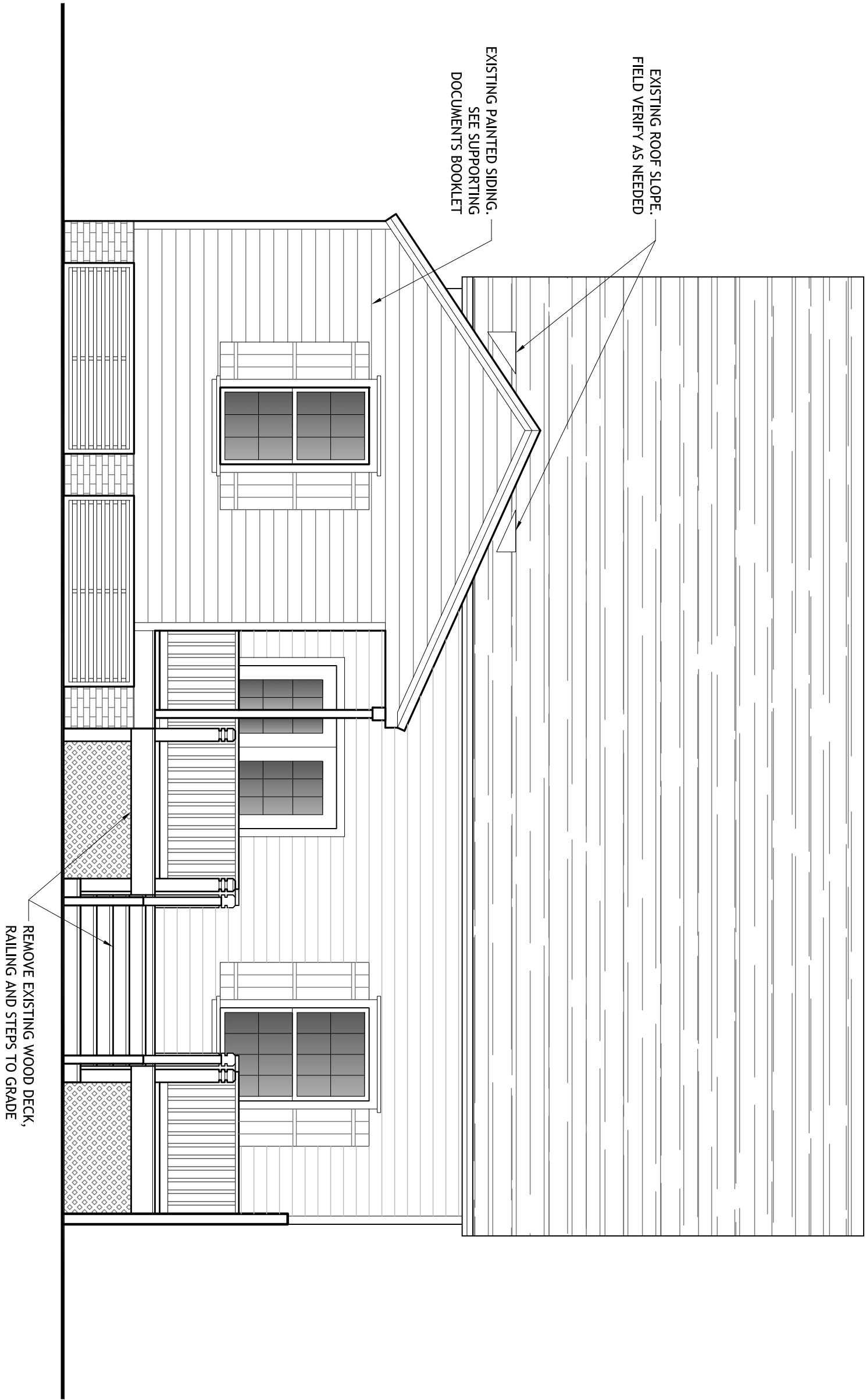
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J. Christian Voelkel FLPE 82229

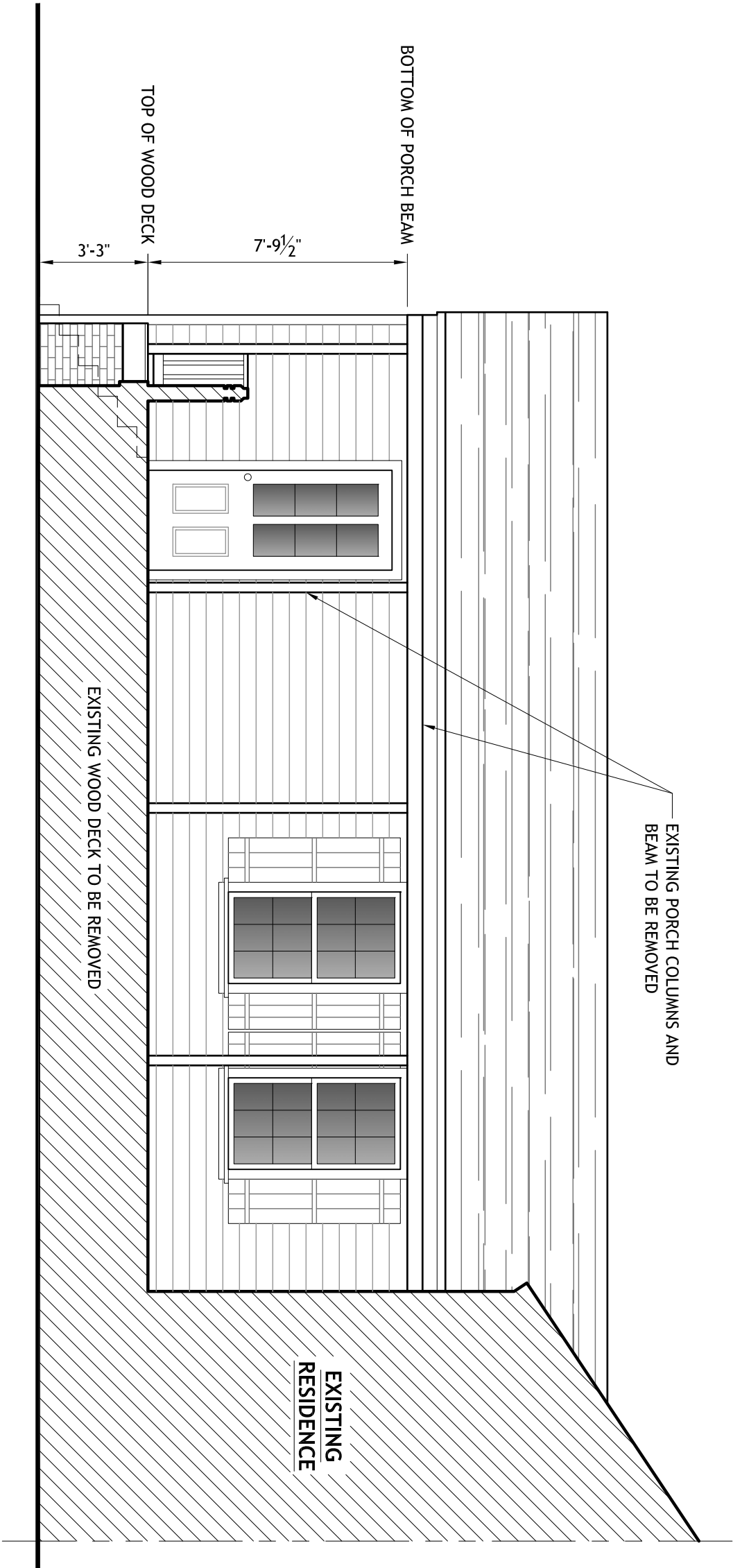
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Checked By: JCV  
Project #: 000-210712

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Sheet: 2 of 7

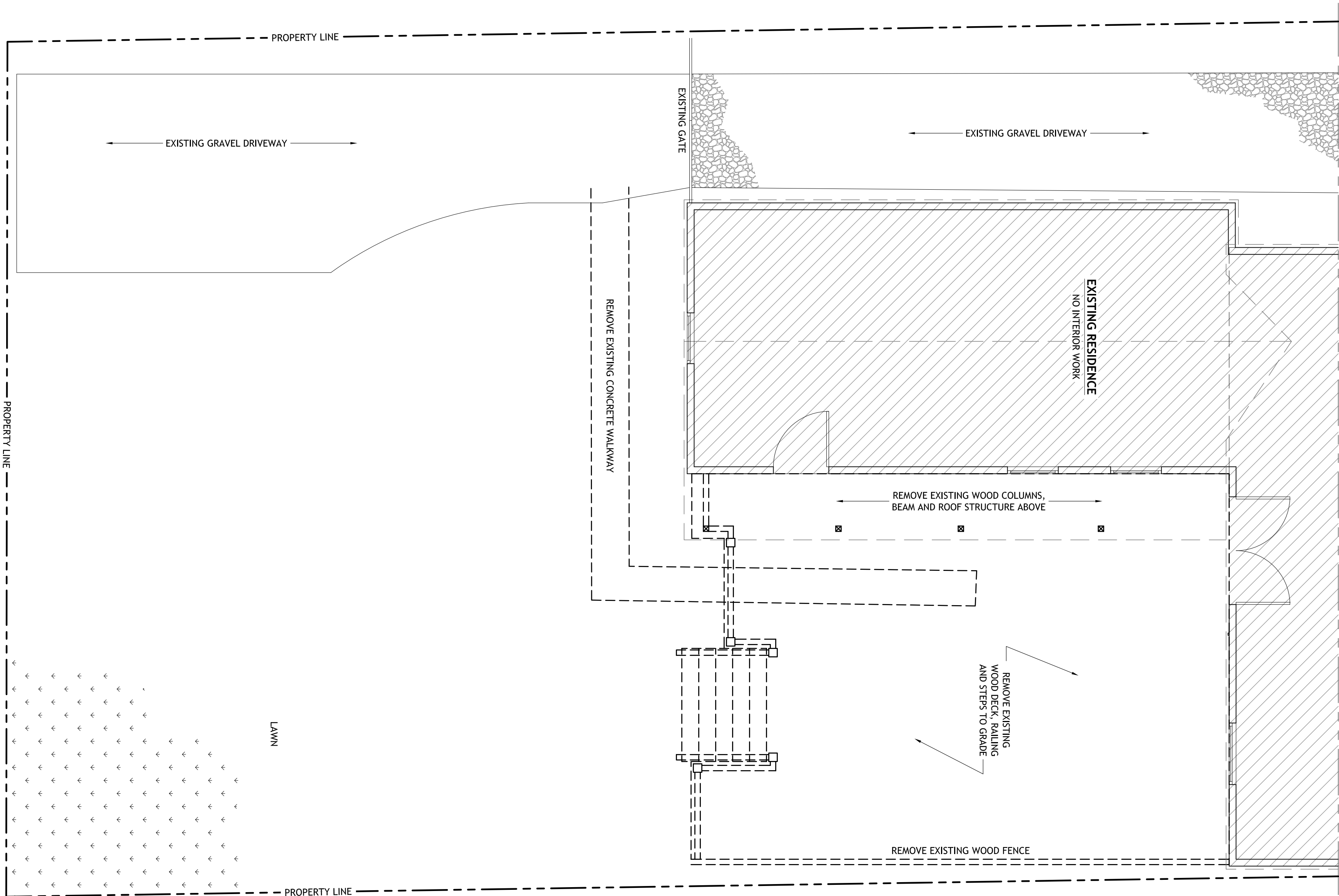
**2-2 EAST ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"

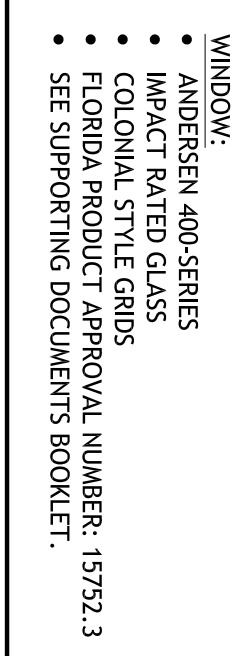
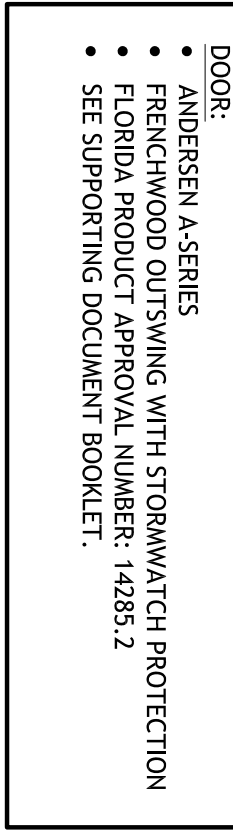


**2-3 EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

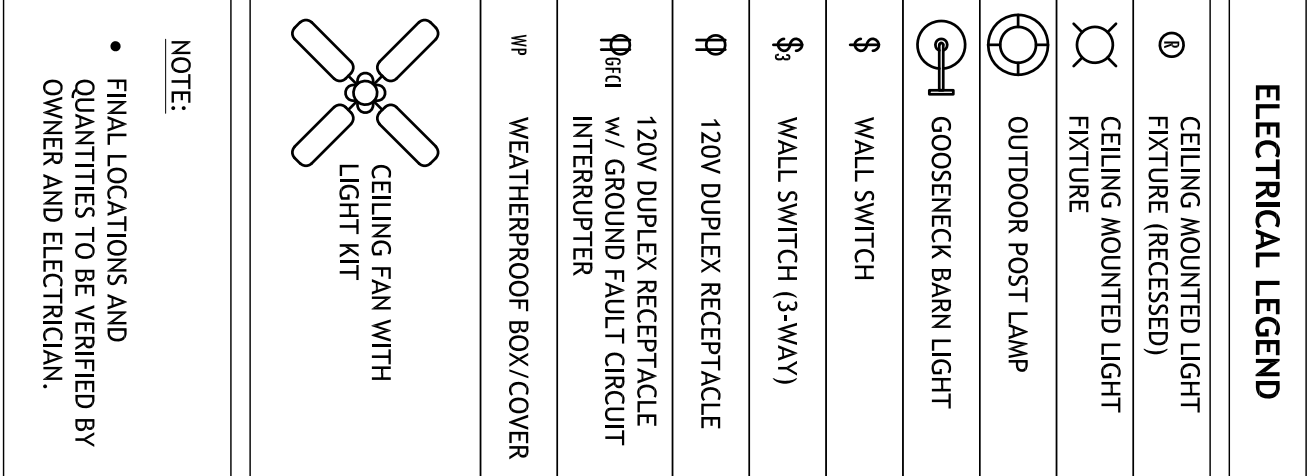












**2-1 EXISTING FLOOR PLAN / DEMOLITION**  
SCALE: 1/4" = 1'-0"





SCALE:  $\frac{1}{4}" = 1'-0"$



ELECTRICAL LEGEND	
	① CEILING MOUNTED LIGHT FIXTURE (RECESSED)
	CEILING MOUNTED LIGHT FIXTURE
	OUTDOOR POST LAMP
	GOOSENECK BARN LIGHT
	WALL SWITCH
	WALL SWITCH (3-WAY)
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE w/ GROUND FAULT CIRCUIT INTERUPTER
	WEATHERPROOF BOX/COVER
	CEILING FAN WITH LIGHT KIT

- FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY OWNER AND ELECTRICIAN.

[illegible]

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Sheet: 3 of 7



**VOELKEL**  
ENGINEERING

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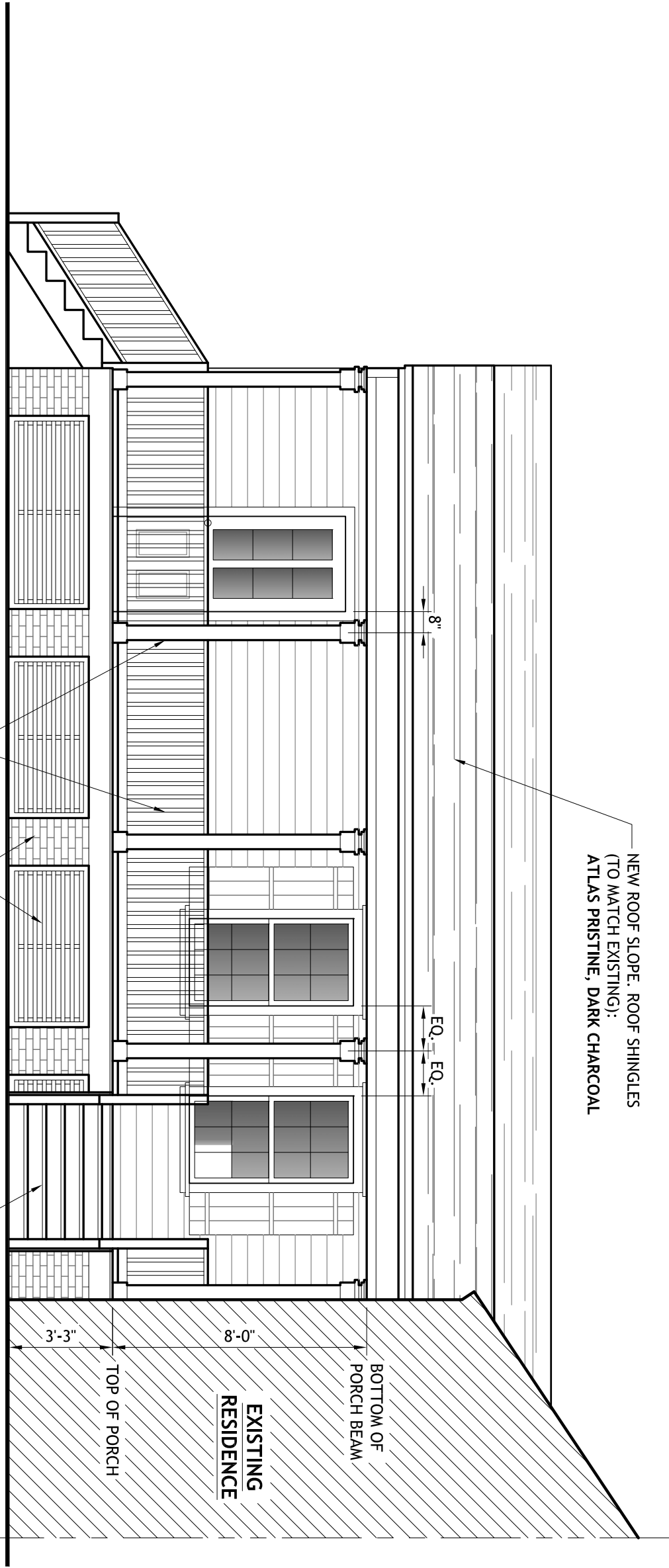
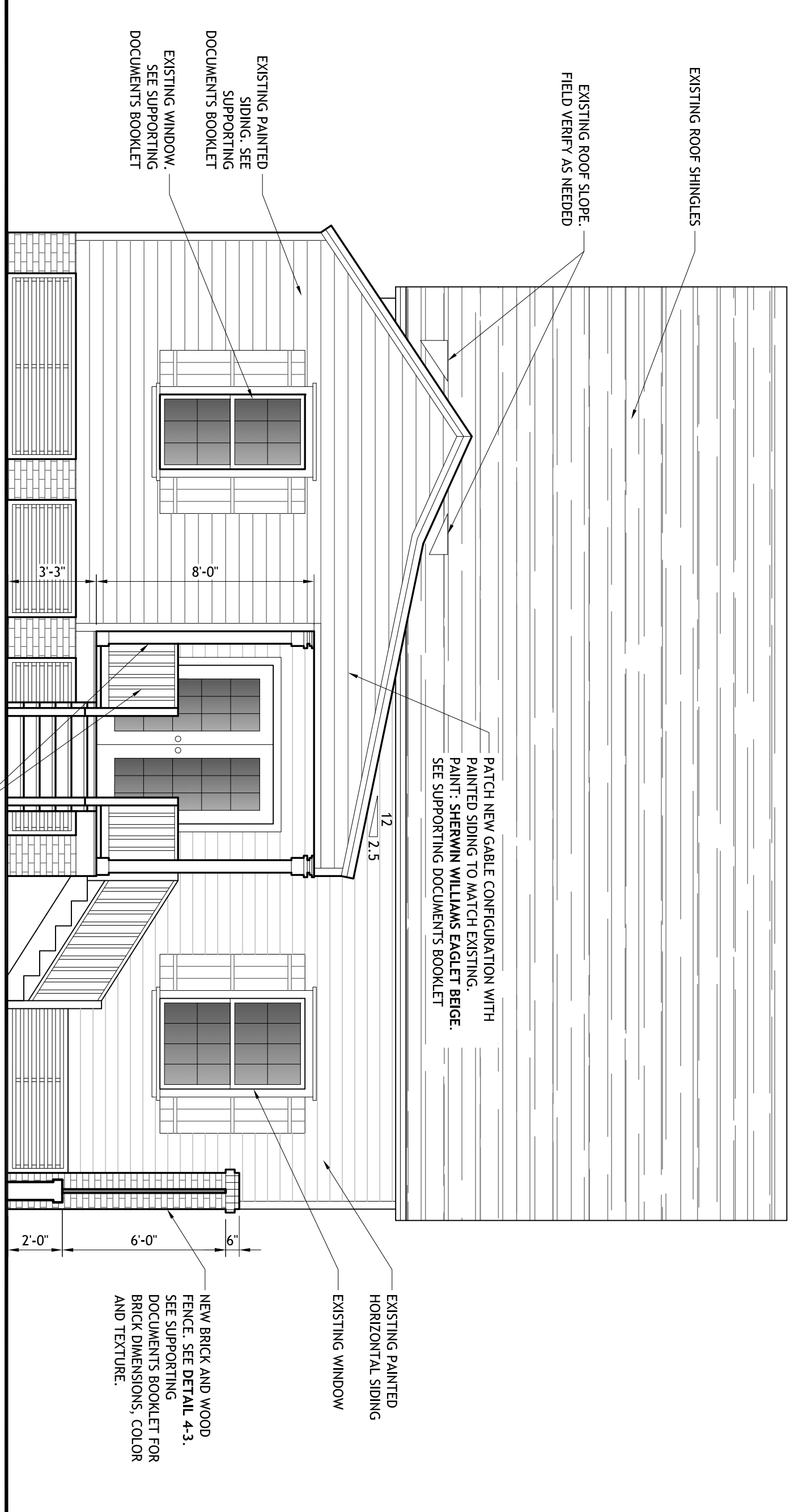
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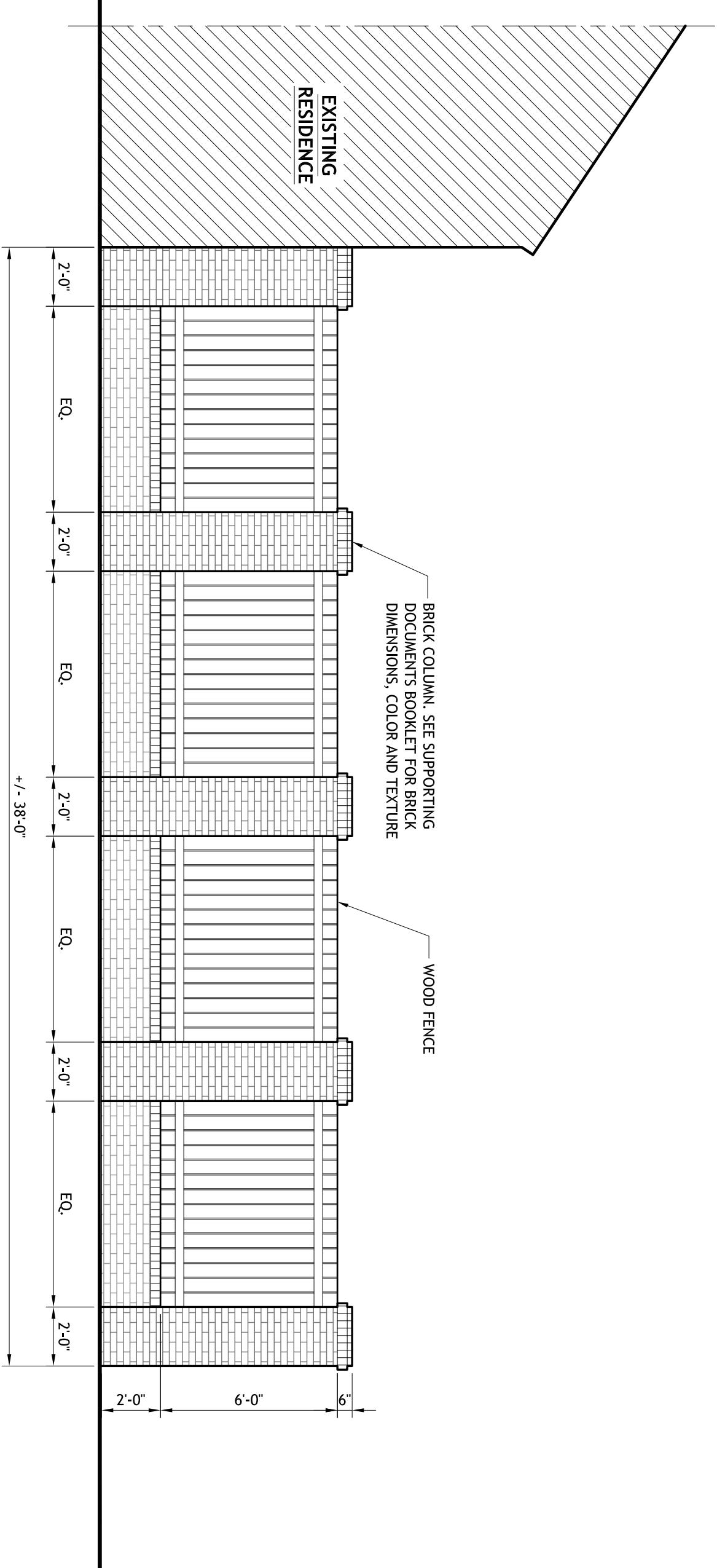


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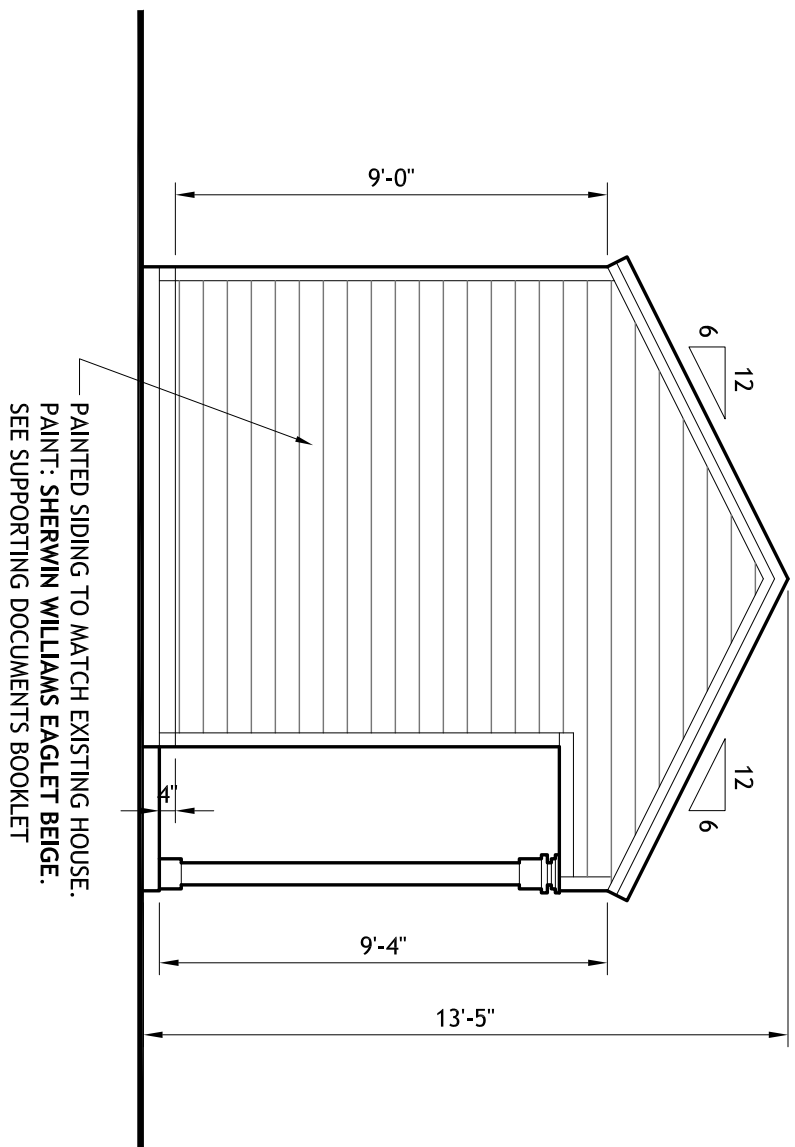
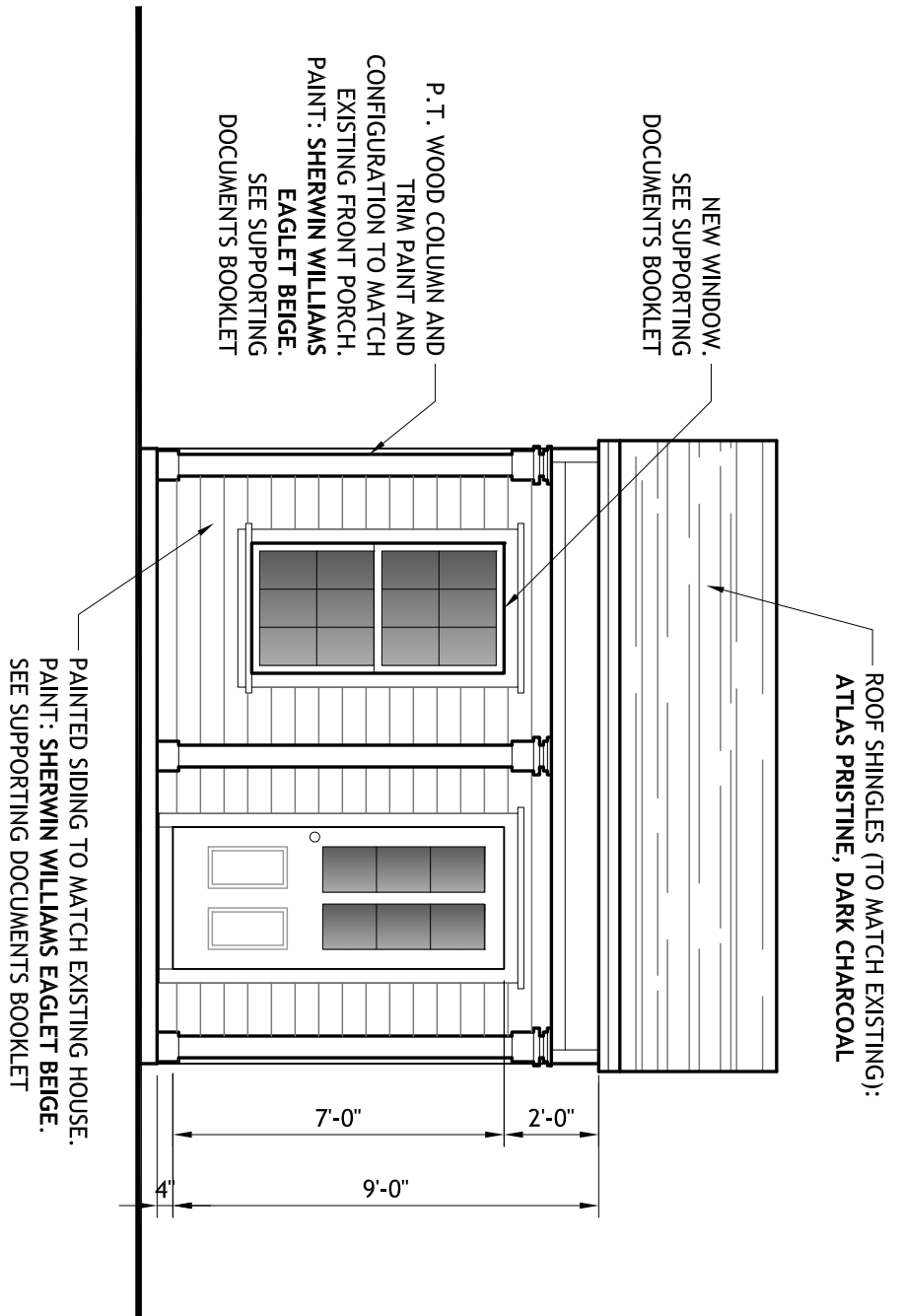
### 4-3 NEW BRICK AND WOOD FENCE ELEVATION

SCALE:  $\frac{1}{4}'' = 1'-0''$



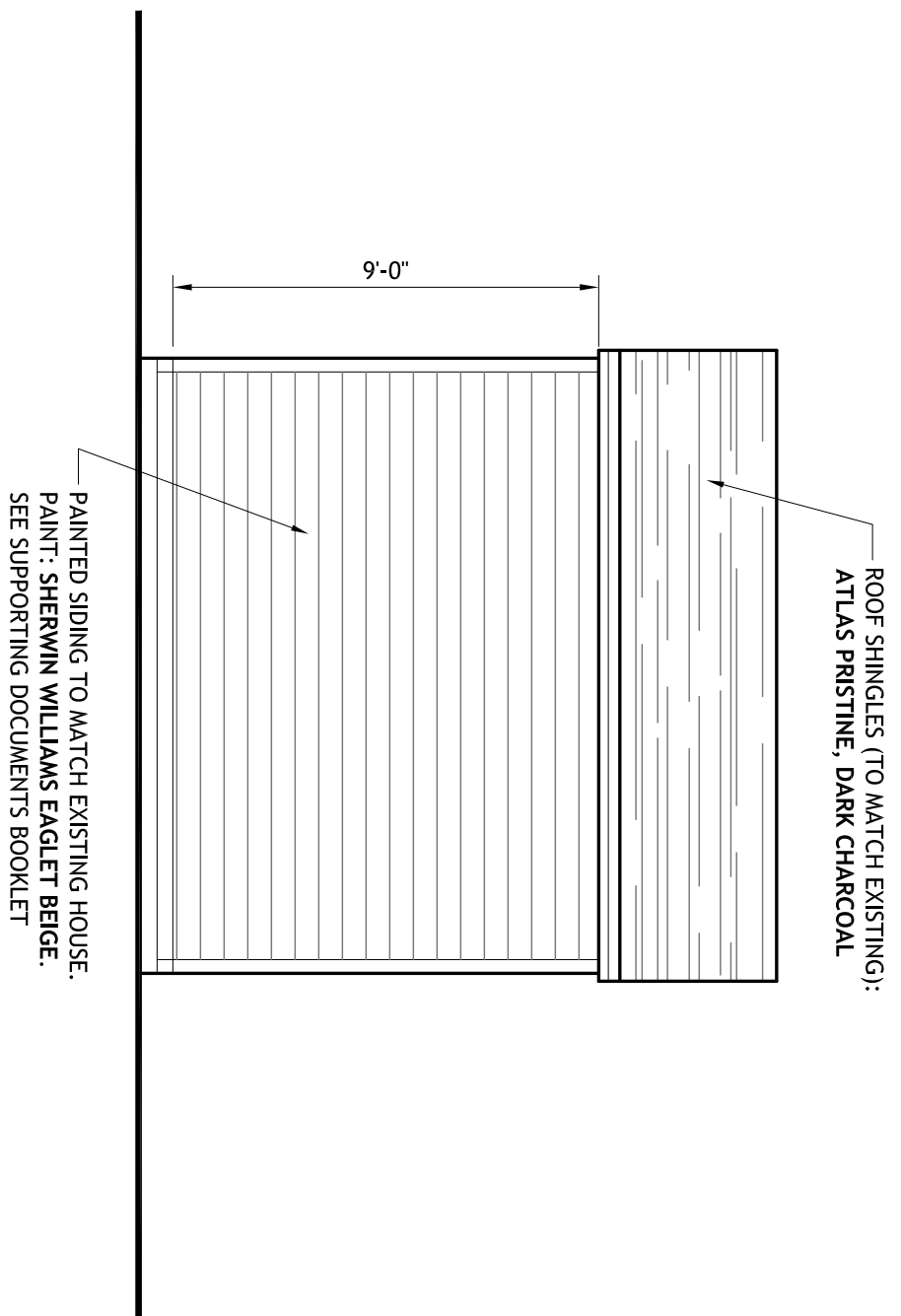
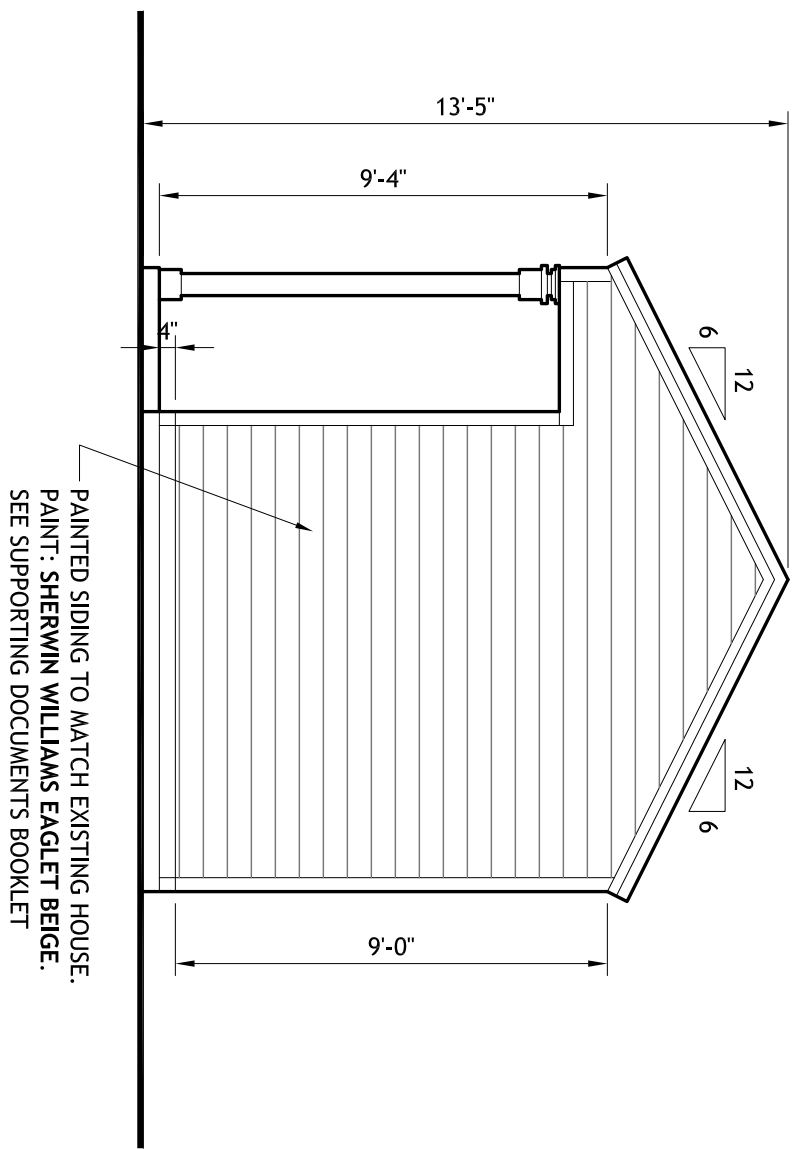
### 4-3 NEW BRICK AND WOOD FENCE ELEVATION

SCALE:  $\frac{1}{4}'' = 1'-0''$



### 4-3 NEW BRICK AND WOOD FENCE ELEVATION

SCALE:  $\frac{1}{4}'' = 1'-0''$



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Sheet: 4 of 7

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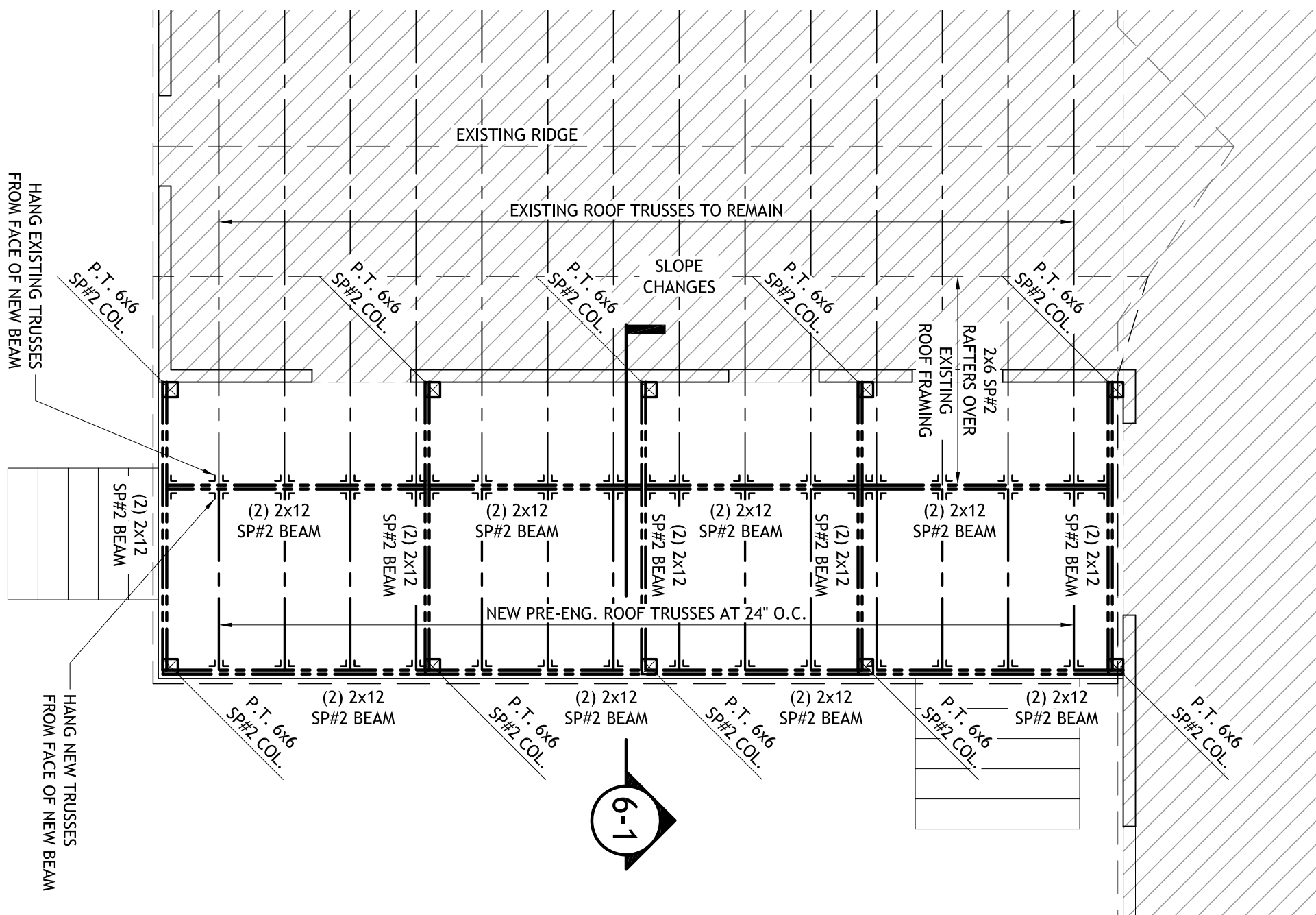
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Sheet: 5 of 7

**5-3 NEW PORCH - ROOF FRAMING PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$

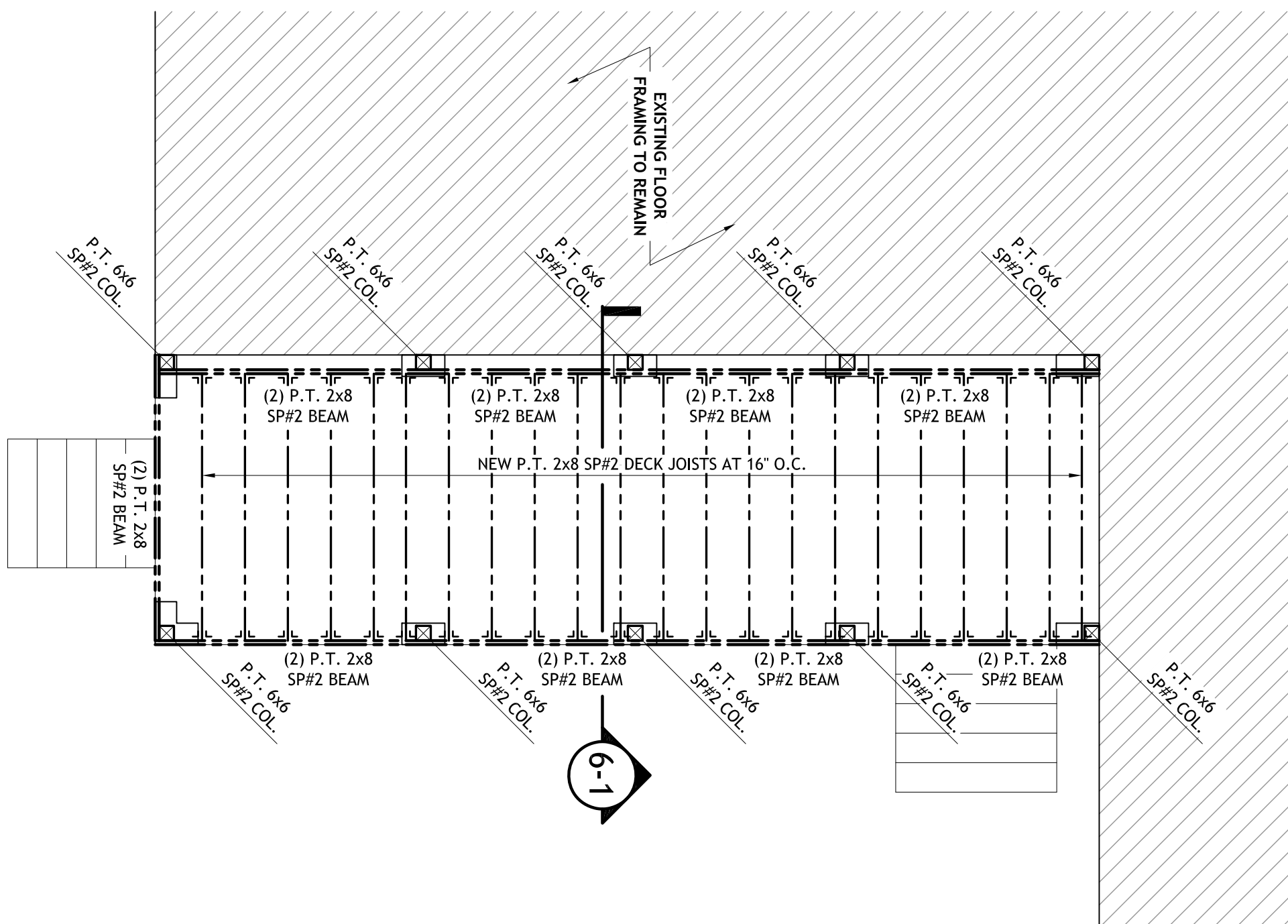
MINIMUM LVL VALUES:	
Fb = 3,100 psi	
Fv = 285 psi	
E = 2.0 x 10 <sup>6</sup> psi	
Fc = 750 psi	

NOTE:	
TRUSS HANGERS AND GIRDOR TRUSS STRAPPING TO BE SPECIFIED TO BE MANUFACTURED.	

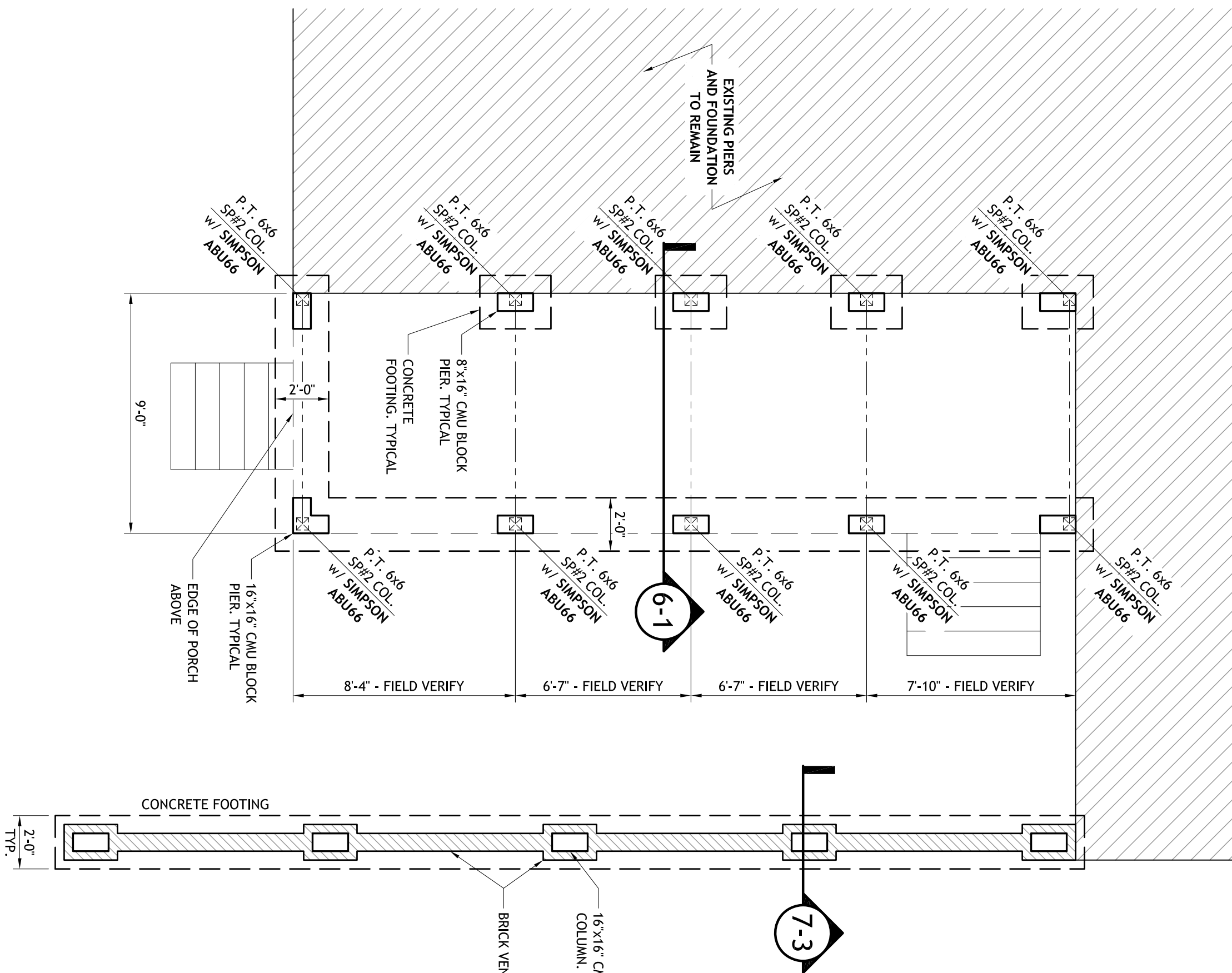
NOTE:	
CONTINUOUS HEADERS REQUIRE SIMPSON A57A18 AT BRIDGELATE SUPPORT.	



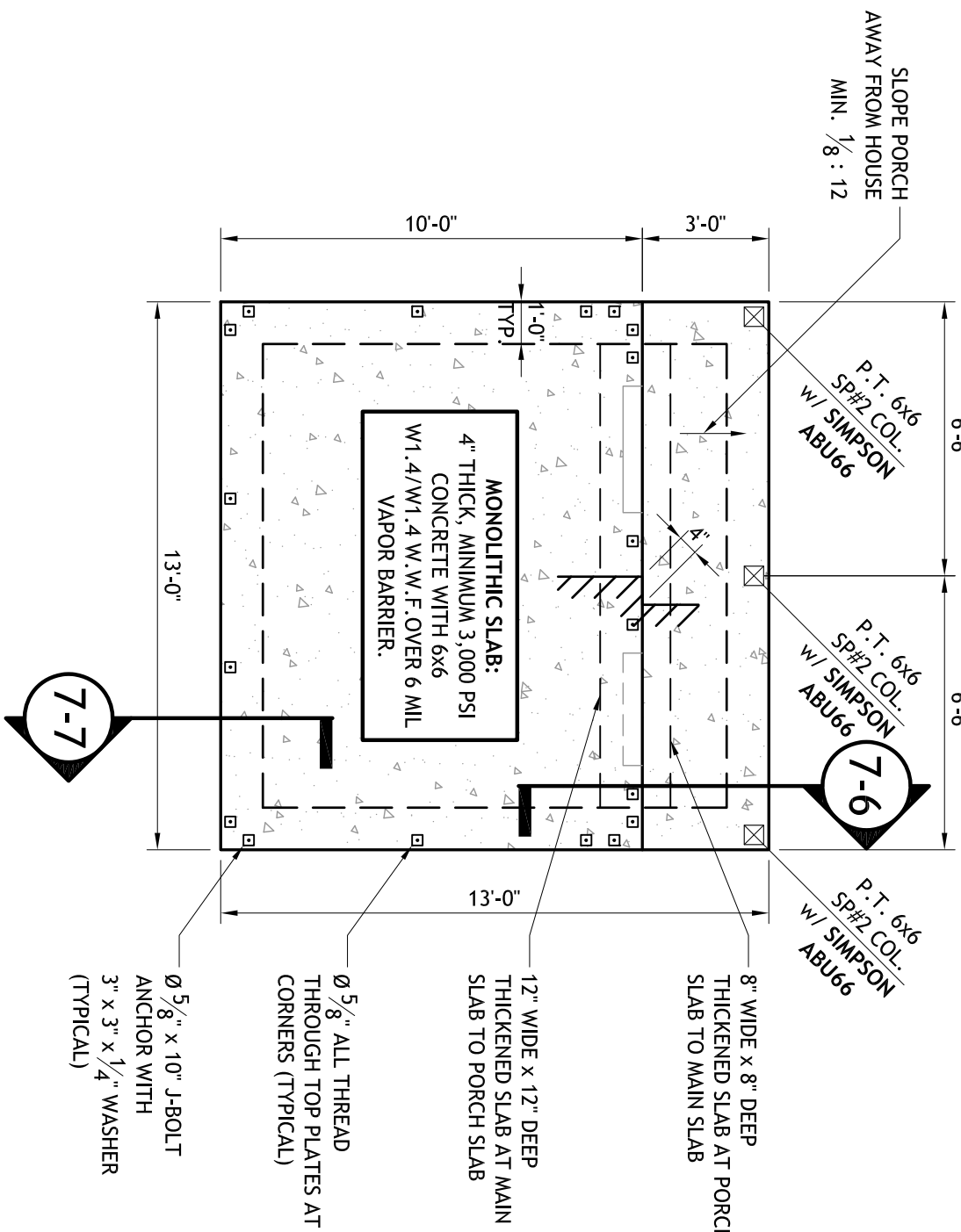
**5-2 NEW PORCH - FLOOR FRAMING PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$



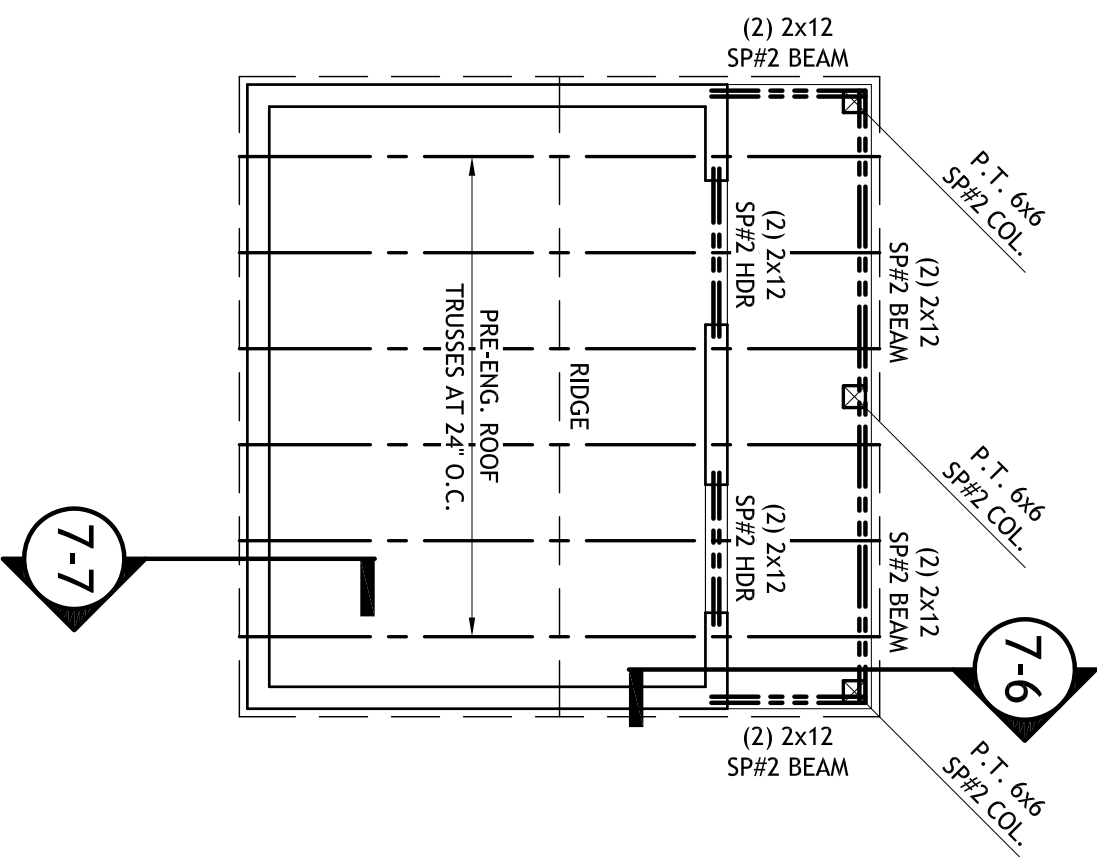
**5-1 NEW PORCH AND FENCE - FOUNDATION PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$



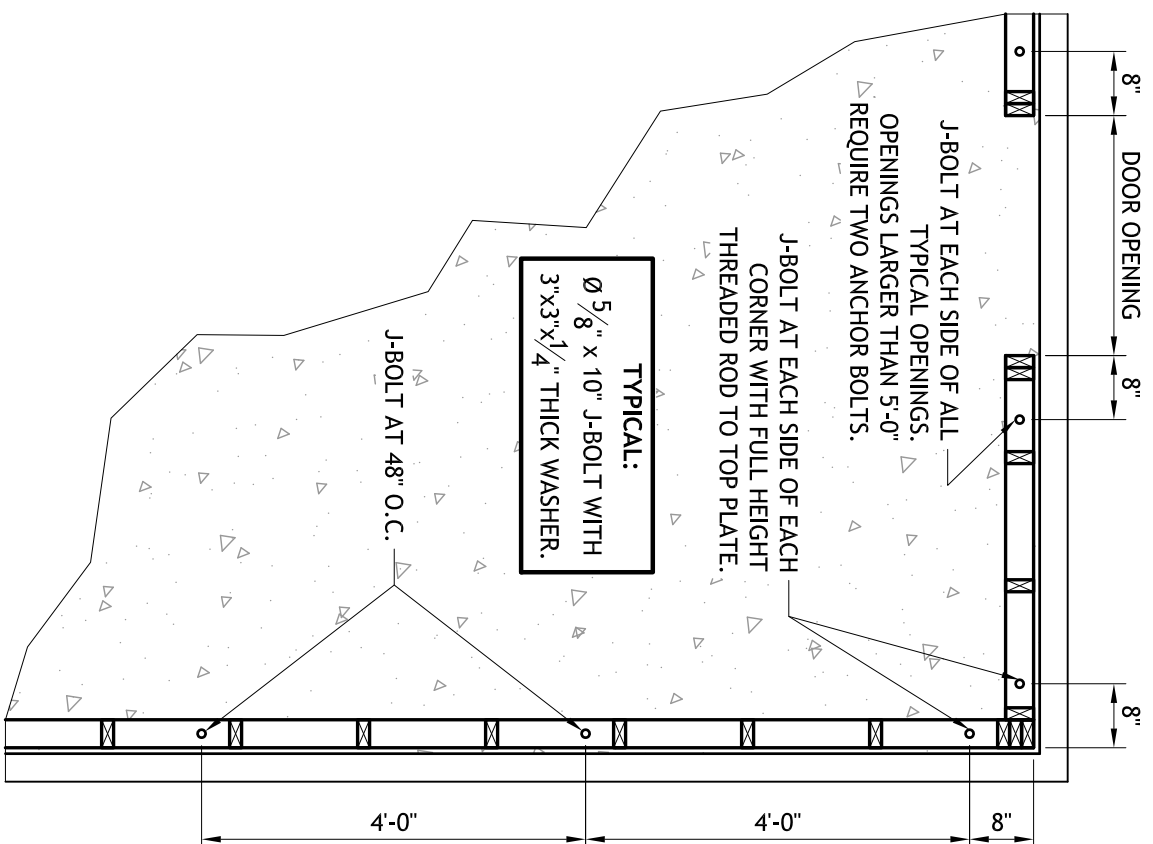
**5-4 NEW STORAGE SHED - FOUNDATION PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$



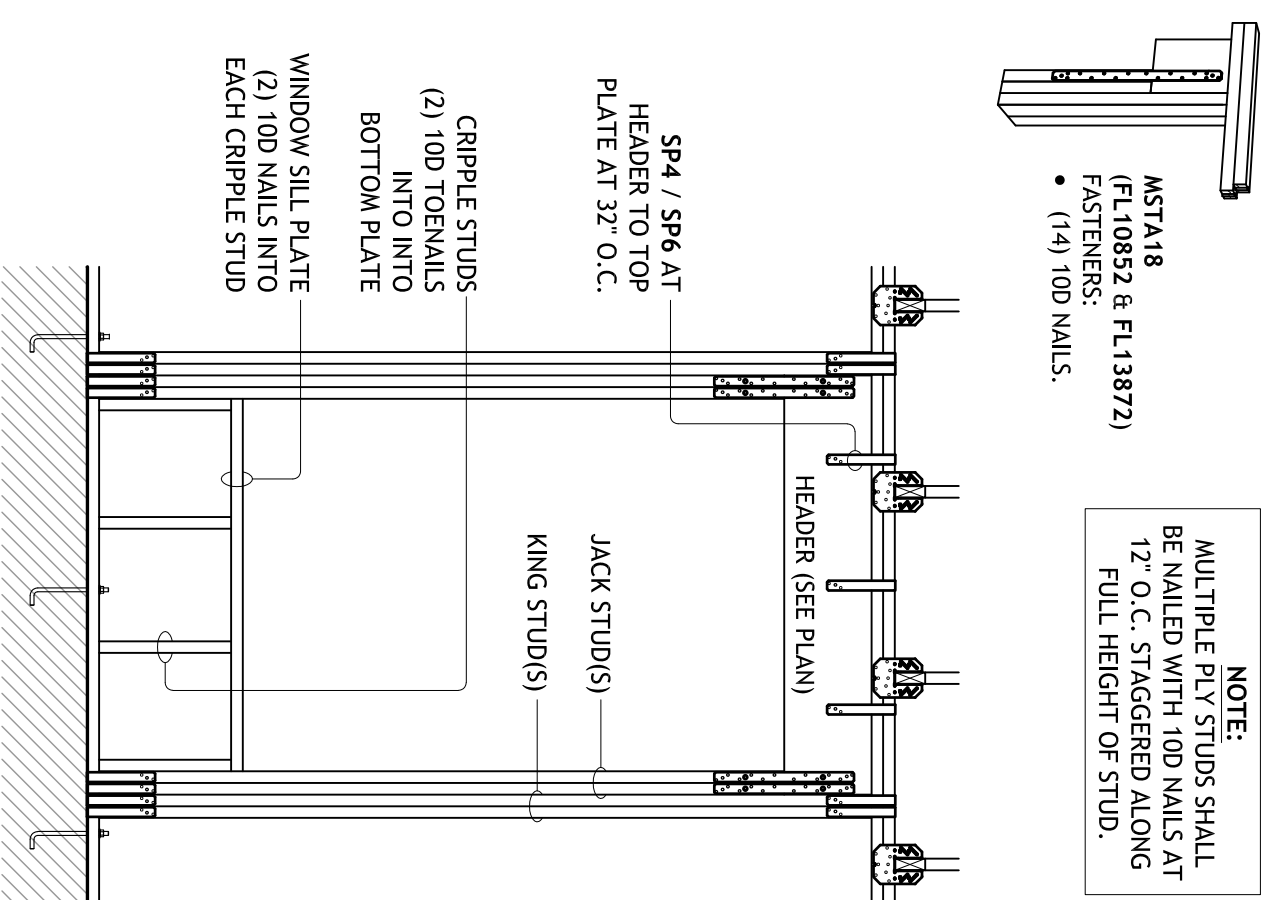
**5-5 NEW STORAGE SHED - ROOF FRAMING PLAN**  
SCALE:  $\frac{1}{4}" = 1'-0"$



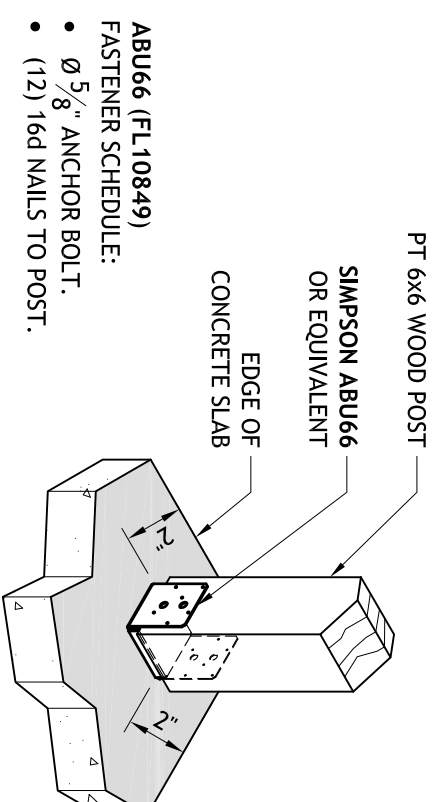
**5-6 TYPICAL ANCHOR BOLT LAYOUT**  
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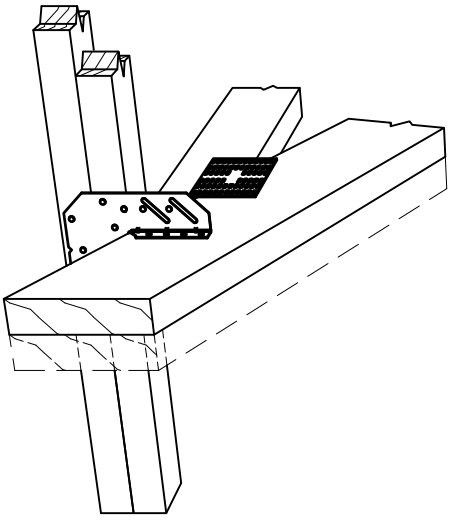
**5-7 STANDARD OPENING DETAIL**  
NOT TO SCALE



**5-8 COLUMN BASE ANCHOR**  
NOT TO SCALE



**5-9 STANDARD TRUSS ANCHOR DETAIL**  
NOT TO SCALE



Date

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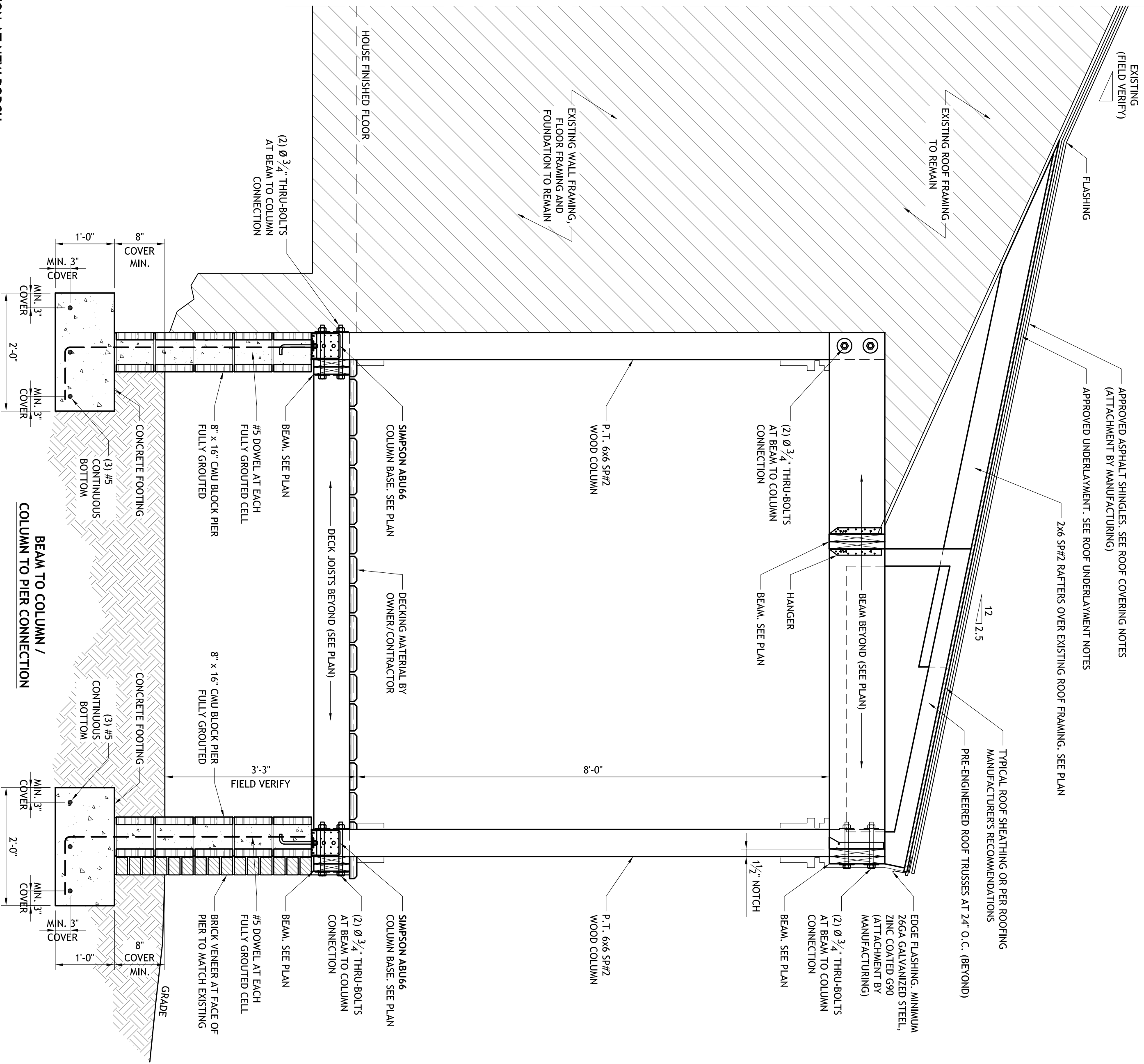
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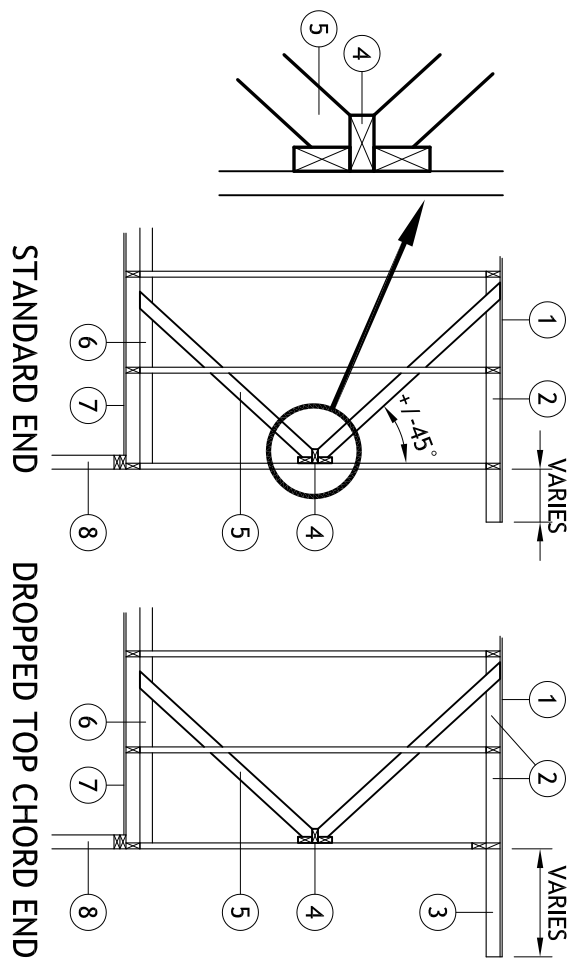
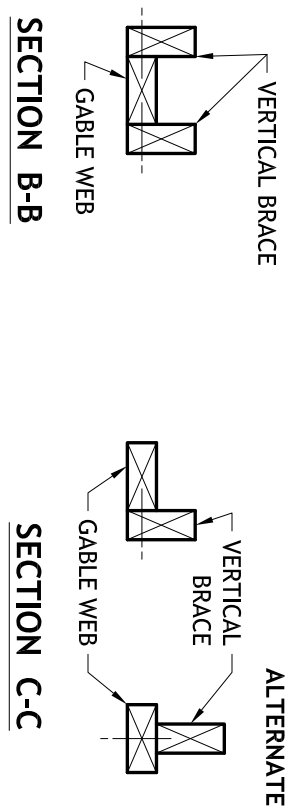
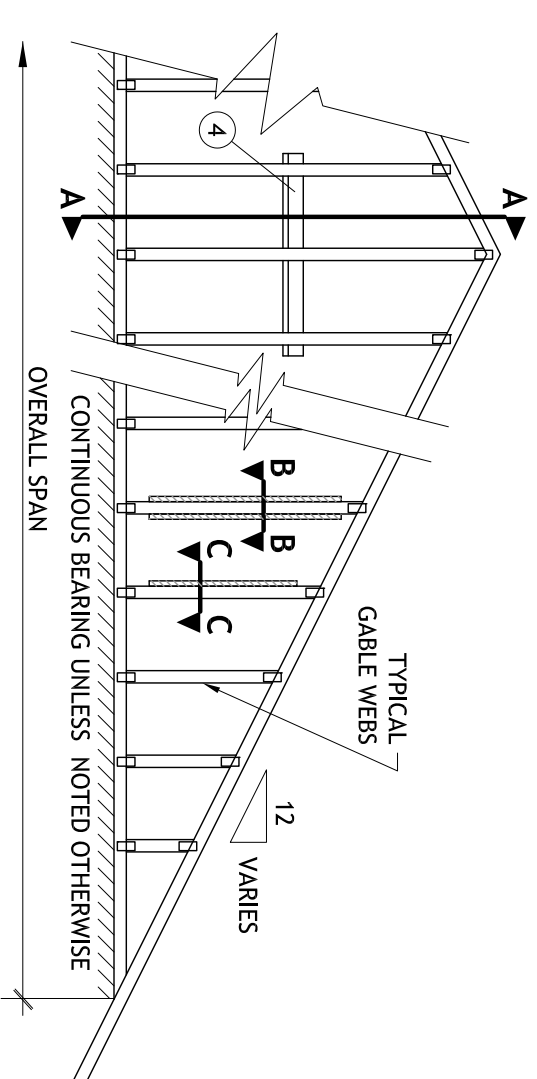
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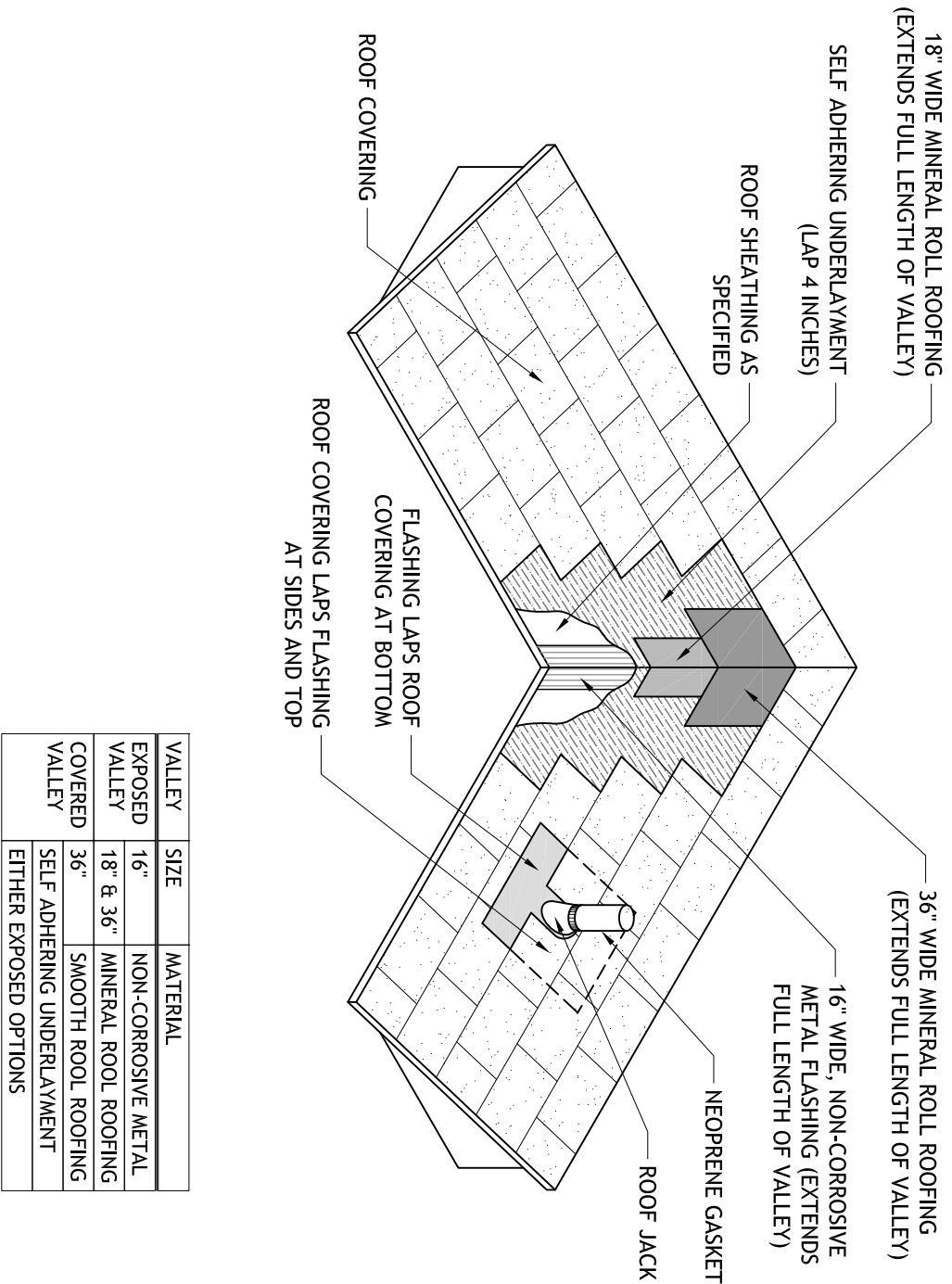
**6-1**  
WALL SECTION AT NEW PORCH  
SCALE:  $\frac{3}{4}" = 1'-0"$



TAG	DESCRIPTION	NOTES AND CONNECTOR SCHEDULE
1	Structural Sheathing	As specified in Wall Section
2	2x4 Blocking	Cut to fit between trusses
3	Outrigger	Dropped cable as required by truss manufacturer
4	Lateral Bracing	Attached at mid-height of Gable Truss or @ 48" O.C. maximum - (1) 1x2 Nails into each Gable Web
5	Diagonal Bracing	Attached at midspan of Gable Truss and @ 48" O.C. maximum - (1) 1x2 Nails into each Gable Web - (2) 12D Nails into Bottom Chord Lateral Bracing
6	Bottom Chord	Attached at midspan of Gable Truss or @ 48" O.C. maximum - (2) 12D Nails into each Truss Bottom Chord
7	Lateral Bracing	Attached at midspan of Gable Truss or @ 48" O.C. maximum - (2) 12D Nails into each Truss Bottom Chord
8	Ceiling Diaphragm	As specified in Wall Section

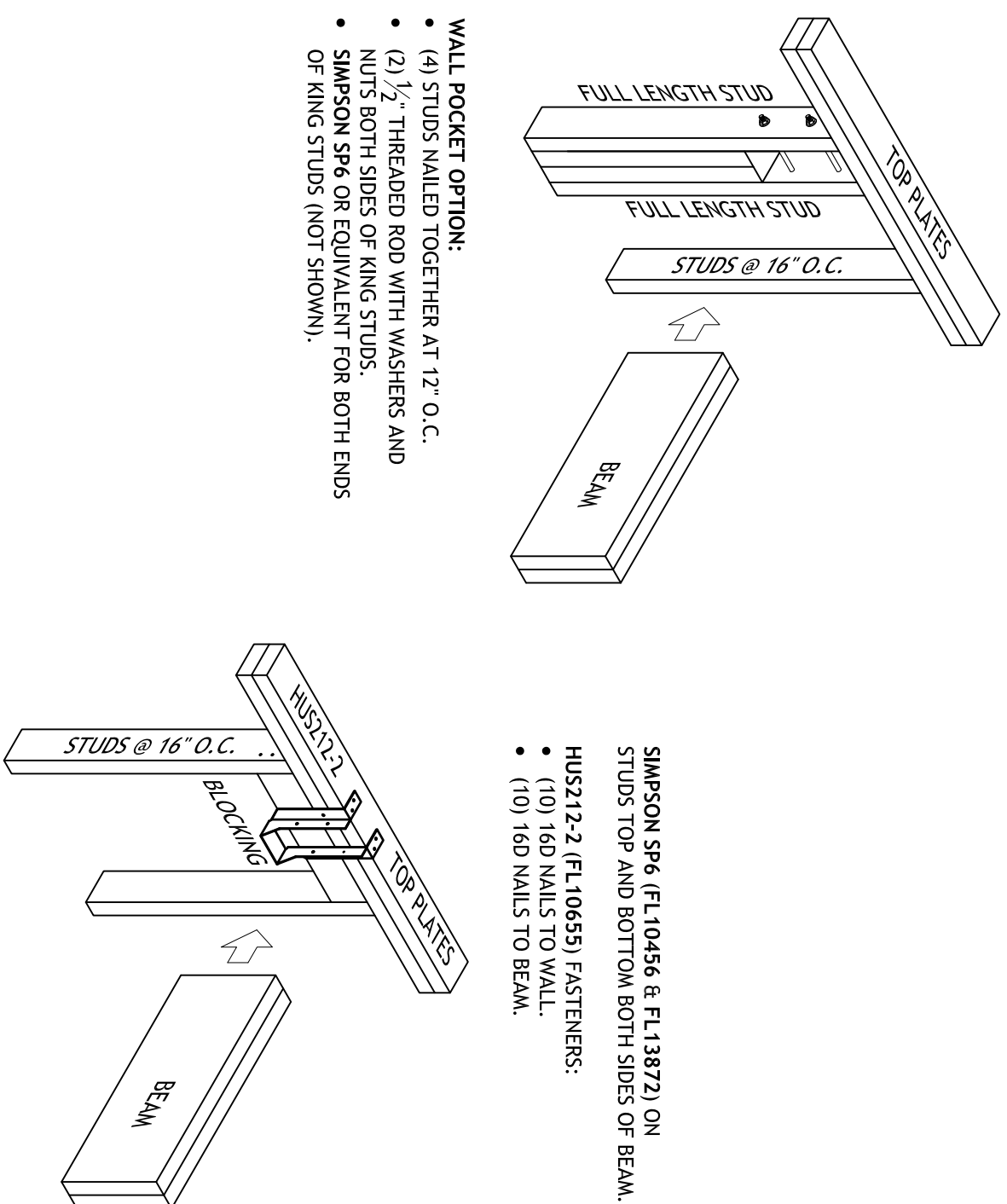


**6-3**  
STANDARD WATERPROOFING DETAIL  
NOT TO SCALE



VALLEY	SIZE	MATERIAL
EXPOSED	16"	NON-CORROSIVE METAL
VALLEY	18" & 36"	MINERAL ROLL ROOFING
COVERED	36"	SMOOTH ROLL ROOFING
VALLEY		SELF-ADHERING UNDERLAYMENT
		EITHER EXPOSED OPTIONS

**6-4**  
BEAM TO WALL CONNECTION DETAILS  
NOT TO SCALE



- WALL POCKET OPTION:**
- (4) STUDS NAILED TOGETHER AT 12" O.C.
  - (2) 1/2" THREADED ROD WITH WASHERS AND NUTS BOTH SIDES OF KING STUDS.
  - STUDS ARE NAILED TOGETHER FOR BOTH ENDS OF KING STUDS (NOT SHOWN).

SIMPSON SPK, FL10456, & FL13872, ON STUDS TOP AND BOTTOM BOTH SIDES OF BEAM.

HUS212.2 (FL10655) FASTENERS:

- (10) 16D NAILS TO WALL.
- (10) 16D NAILS TO BEAM.





Date: Thursday, August 26, 2021  
Project: Koch Residence - Detached Storage and Porch Extension  
210 S. Alcaniz Street  
Recipient: Architectural Review Board – City of Gulf Breeze

### **Existing Site Conditions**



*Project Location*

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103 Bay Bridge Drive, Gulf Breeze, FL 32561

[www.VoelkelEngineering.com](http://www.VoelkelEngineering.com)

[info@VoelkelEngineering.com](mailto:info@VoelkelEngineering.com)

Phone: 850.288.0333

FLCA35353 • FLCGC1530838



*Existing Residence Front View*



*Existing Residence Rear View*



*North Corner of Existing Rear Yard*



*South Corner of Rear Yard*

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*Existing Porch – proposed 5' extension, design elements to match*

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## **Project Design Elements**



Existing Window  
– proposed design to match



Proposed Design Window Selection:  
Andersen 400 Series  
Impact Rated Glass, Colonial Style Grids  
- double hung wood with vinyl cladding  
- simulated divided lite external grilles to match existing  
FL#15752.3



Proposed Design Door Selection:  
(match existing )  
Andersen A Series -  
Frenchwood Outswing  
with stormwatch protection (HVVZ) Impact  
FL#14285.2



Exterior Paint Selection  
to match existing resi-  
dence  
Sherwin Williams –  
Eaglet Beige



Roofing: Atlas – Pristine, 50  
year Architectural Shingles,  
Dark Charcoal



Proposed structure to match existing front residence design elements

Existing House Siding: 7" painted horizontal wood siding.

Front Porch Ceiling: Tongue and Groove.

Front Porch Floor: 1x6 stained/painted deck boards



Column and railing on proposed design to match front existing:

Railing: 2x2 painted wood, 5" gap

Lattice: 2" x 2" painted wood, 2" gap



Hardscape and Fence to match existing design elements

Brick: 9" x 2-1/2" x 4" deep

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