



**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____
(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- Residential Homestead – \$50.00 hearing fee
- Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

Date

DESIGN CRITERIA:

1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASSONRY STRUCTURES (ACI 530/560.1-13).
4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

1. DEAD AND LIVE LOADS PER ASCE 7
2. WIND LOAD AS PER ASCE 7

FLOOD DESIGN DATA:

1. ZONE "X"

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

1. CONCRETE STRENGTH (28 DAY) = 4000 PSI (ASTM A-639)
2. CONCRETE TENSILE STRENGTH (28 DAY) = 480 PSI (ASTM A-639)
3. CONCRETE = 2,500 PSI @ 28 DAYS
4. BOLTS = GRADE A325
5. THREADED ROD = GRADE A307 (SAE 1018)
6. ANCHOR BOLTS = GRADE F1554
7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

1. DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
4. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND EXPENSES INCURRED THEREAFTER.
5. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
6. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
7. ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATION INSURANCE, AND CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
9. ROADS OR STAIRWAYS, STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO, METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

1. NAILS SHALL BE CORROSION-RESISTANT.
2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AT LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

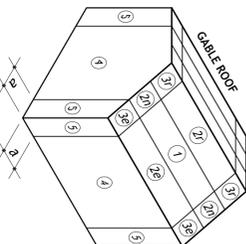
1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
2. ASPHALT SHINGLES SHALL BE FASTENED TO 1/2" THICK ROOF SHEATHING WITH 12" SPACING.
3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAUGE (0.105 INCH) SHANK WITH A MINIMUM 3/8" DIAMETER HEAD.
4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4" INTO THE ROOF SHEATHING, WHERE ROOF SHEATHING IS LESS THAN 3/4" THICK. THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)
6. TWO LAYERS REQUIRED.
7. 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
8. 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS 19 INCHES.
9. FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
10. FASTENERS SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
11. FASTENERS SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6 INCHES.
12. SATURATED FELT UNDERLAYMENT (ROOF SLOPE ≥ 4:12).
13. ONE LAYER REQUIRED.
14. APPLY IN SHINGLE FASHION.
15. INSTALL STARTING FROM THE EAVE AND LAPPED 2- INCHES.
16. FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
17. FASTENERS SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
18. FASTENERS SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6 INCHES.
19. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).
20. AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
21. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.
22. OVERLAP SHALL BE A MINIMUM OF 3".
23. EAVE DRIP EDGES SHALL EXTEND 1/2" BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
24. DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
25. DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO WEATHER SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (E3 BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- STEEL REINFORCEMENT (4#1 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOUR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

ROOF COMPONENTS COMPLIANCE STANDARDS

ASPHALT SHINGLES	ASTM D 225, OR, D 3462
UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)	ASTM D 4869 TYPE II, OR, TYPE IV
UNDERLAYMENT (ROOF SLOPE ≥ 4:12)	ASTM D 4869 TYPE IV
SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET	ASTM D 1970
NAILS	ASTM F 1667
WOOD SCREWS (FASTENERS)	ANSI/SMAE B 18.6.1
CORROSION RESISTANCE (CLIPS)	ASTM A 641 CLASS 1
	0.90 OZ/FT ² ASTM A 90/A 90M



1-1 COMPONENTS & CLADDING ZONES
NOT TO SCALE

FLORIDA PRODUCT APPROVAL

PRODUCT	ITEM	TYPE	APPROVAL NUMBER
WINDOWS	EXTERIOR WINDOWS	STATE	PROVIDED BY CONTRACTOR
DOORS	EXTERIOR DOORS	STATE	PROVIDED BY CONTRACTOR
SIMPSON STRONG-TIE	HT / H2.5K / SP1 / SP4	STATE	FL 04056
SIMPSON STRONG-TIE	LTS / MST / HTS	STATE	FL 0852 / FL 13872
SIMPSON STRONG-TIE	SOWC/15600	STATE	FL 15895
SIMPSON STRONG-TIE	H10A / H10A-2	STATE	FL 11478
SIMPSON STRONG-TIE	H6 / HT6-2 / LGT / MGT	STATE	FL 11420
SIMPSON STRONG-TIE	HH4 / HH6	STATE	FL 10446
SIMPSON STRONG-TIE	HGT	STATE	FL 0486 / FL 10886
2-BOLTS		STATE	ASTM F1594
THREADED ROD		STATE	ASTM A307 (SAE 1018)
NUTS		STATE	ASTM A563
WASHERS		STATE	ASTM F463

SITE PREPARATION:

- A GEOTECHNICAL SOIL REPORT WAS NOT FURNISHED FOR THIS PROJECT. CONTRACTOR SHALL VERIFY ASSUMED SOIL CONDITIONS WITH GEOTECHNICAL ENGINEER FOR MINIMUM 1,500 psf.
- TERMITTE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITTICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD.
- ALL FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS MAXIMUM AND TO 95% MODIFIED PROCTOR DENSITY.

1-2 WIND DESIGN & LOADING DATA
NOT TO SCALE

Zone and Roof Live Loads

Attic:	20 psf w/ storage, 10 psf w/o storage
Habitable Attic, Bedroom:	30 psf
All Other Rooms:	40 psf
Garage:	40 psf
Roof:	20 psf

(Balcony and Deck live loads are 150% of the adjacent zone area.)

Wind Design Data

Ultimate Wind Speed:	160 mph	Normal Wind Speed:	124 mph
Risk Category:	II	Wind Exposure:	B
Building Classification:	Enclosed	End Zone Width (e):	4.00 ft
Internal Pressure Coefficient:	0.18	Roof Geometry:	Gable
Roof Slope:	6.0 in 12 (26.6°)	Mean Roof Height:	13 ft

(The Normal Wind speed was used to determine the Component and Cladding design pressures.)

Component and Cladding

Roof Zone 1:	+6.0 psf min., -32.4 psf min.
Roof Zone 2a:	+6.0 psf min., -32.4 psf min.
Roof Zone 2b:	+6.0 psf min., -51.6 psf min.
Roof Zone 2c:	+6.0 psf min., -51.6 psf min.
Roof Zone 3a:	+6.0 psf min., -51.6 psf min.
Roof Zone 3b:	+6.0 psf min., -51.6 psf min.
Roof Zone 3c:	+6.0 psf min., -51.6 psf min.
Overhang at Roof Zone 1:	-38.5 psf min.
Overhang at Roof Zone 2a:	-57.8 psf min.
Overhang at Roof Zone 2b:	-69.3 psf min.
Overhang at Roof Zone 2c:	-80.2 psf min.
Wall Zone 4:	-22.7 psf min., -30.4 psf min.
Wall Zone 5:	-22.7 psf min., -30.4 psf min.

STRUCTURAL DESIGN FOR PORCH AND SHED ADDITION

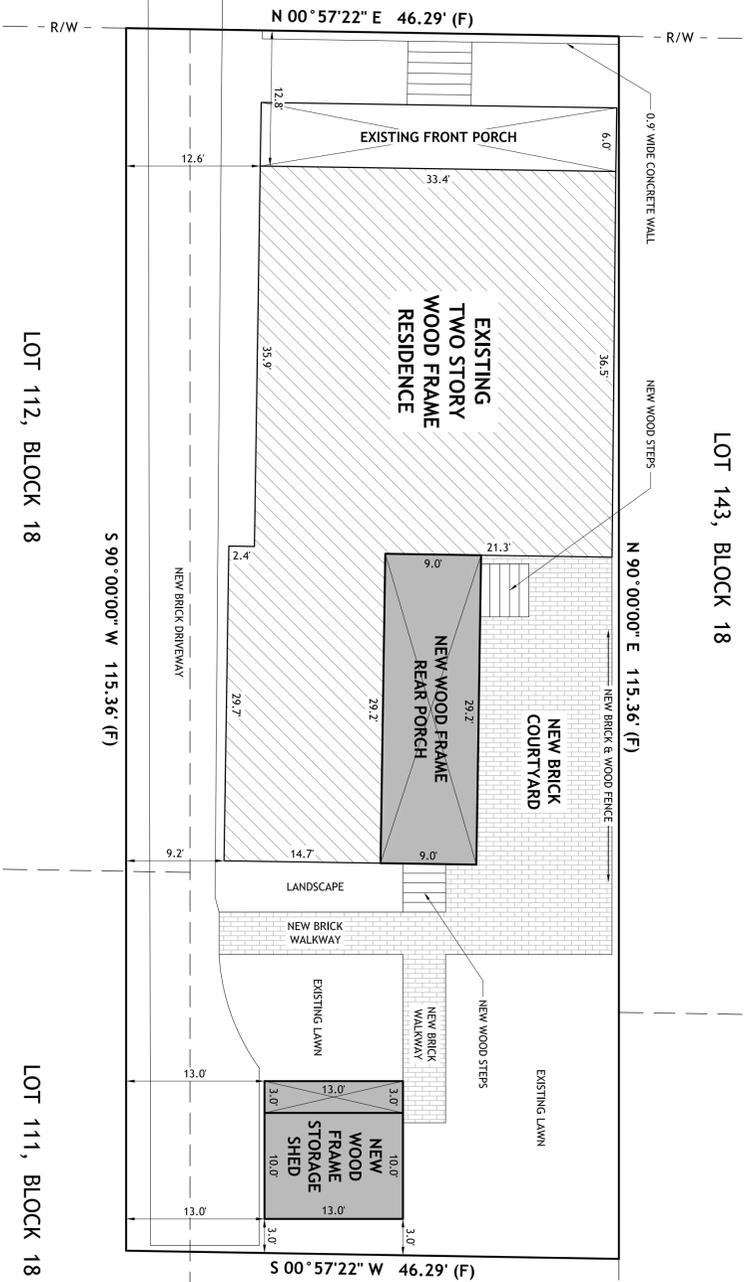
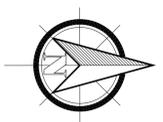
KOCH RESIDENCE

210 S. ALCANIZ ST

PENSACOLA, FL 32502

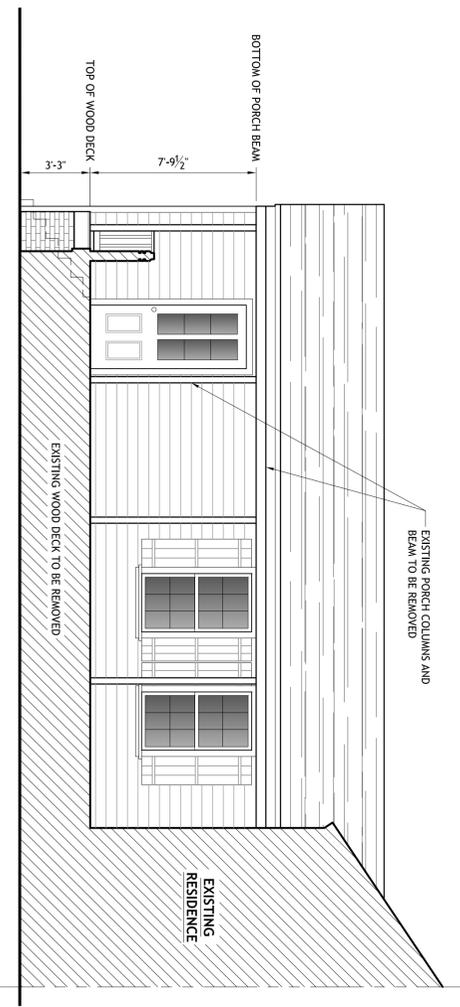
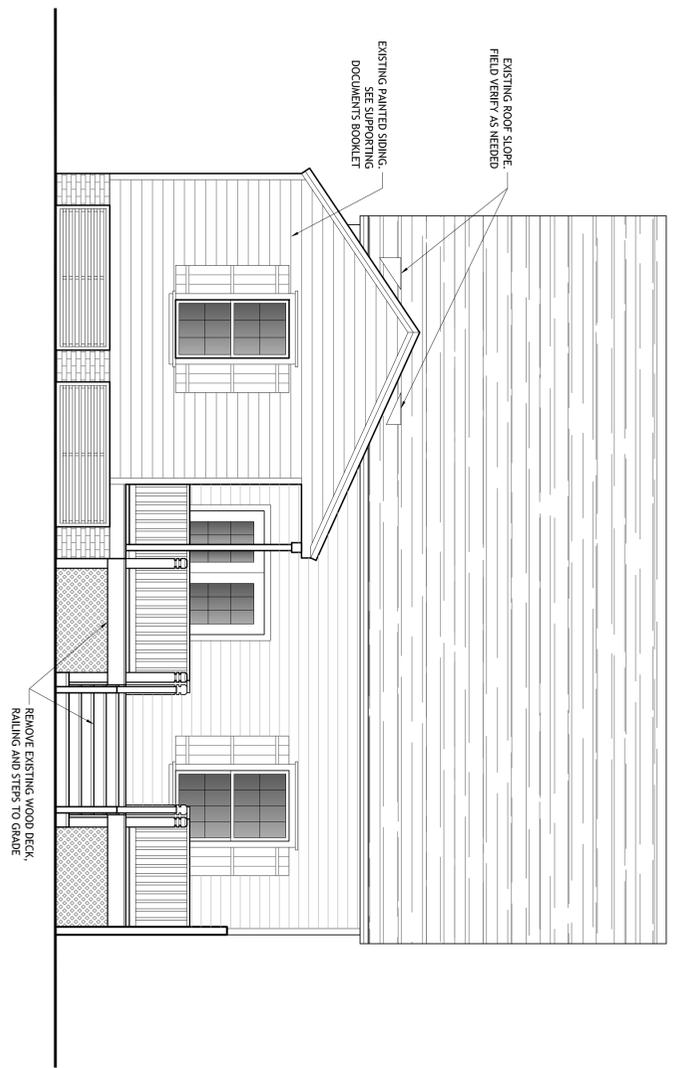
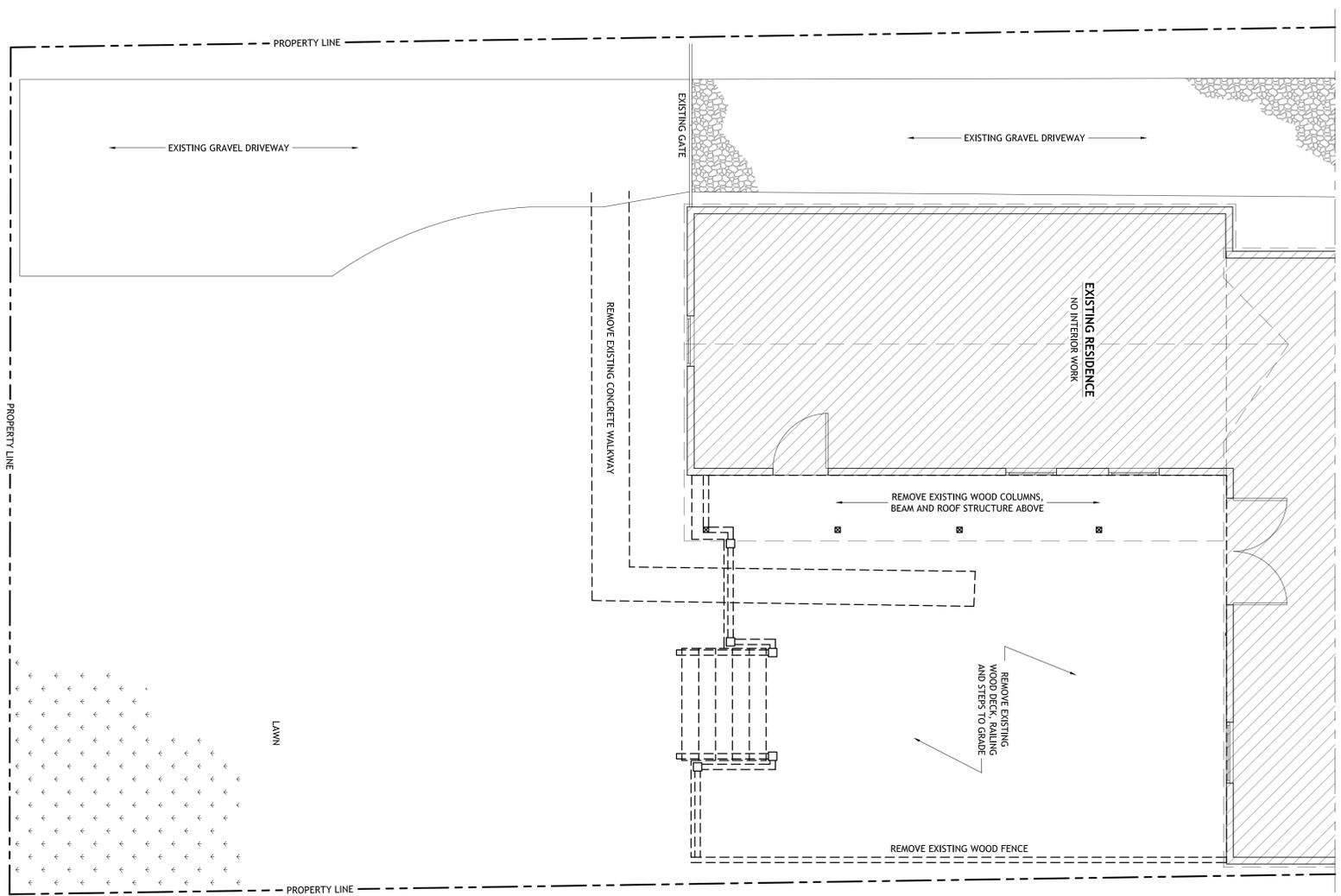
SCOPE OF WORK:

IT IS THE INTENT OF THE HOMEOWNER TO RECONFIGURE THE BACK PORCH LOCATED AT 210 SOUTH STORAGE SHED IN THE REAR YARD OF THEIR PROPERTY. THE PLANS CONTAINED HEREIN INCLUDE THE OVERALL DESIGN AND STRUCTURAL REQUIREMENTS FOR THIS PROJECT.



1-3 SITE LAYOUT
SCALE: 1/8" = 1'-0"

NOTE: SITE LAYOUT MUST BE VERIFIED BY SURVEYOR AND COORDINATED WITH ALL APPROPRIATE AGENCIES WHERE APPLICABLE.



This document is digitally signed, sealed and the SHA authentication code must be verified on any electronic copies.

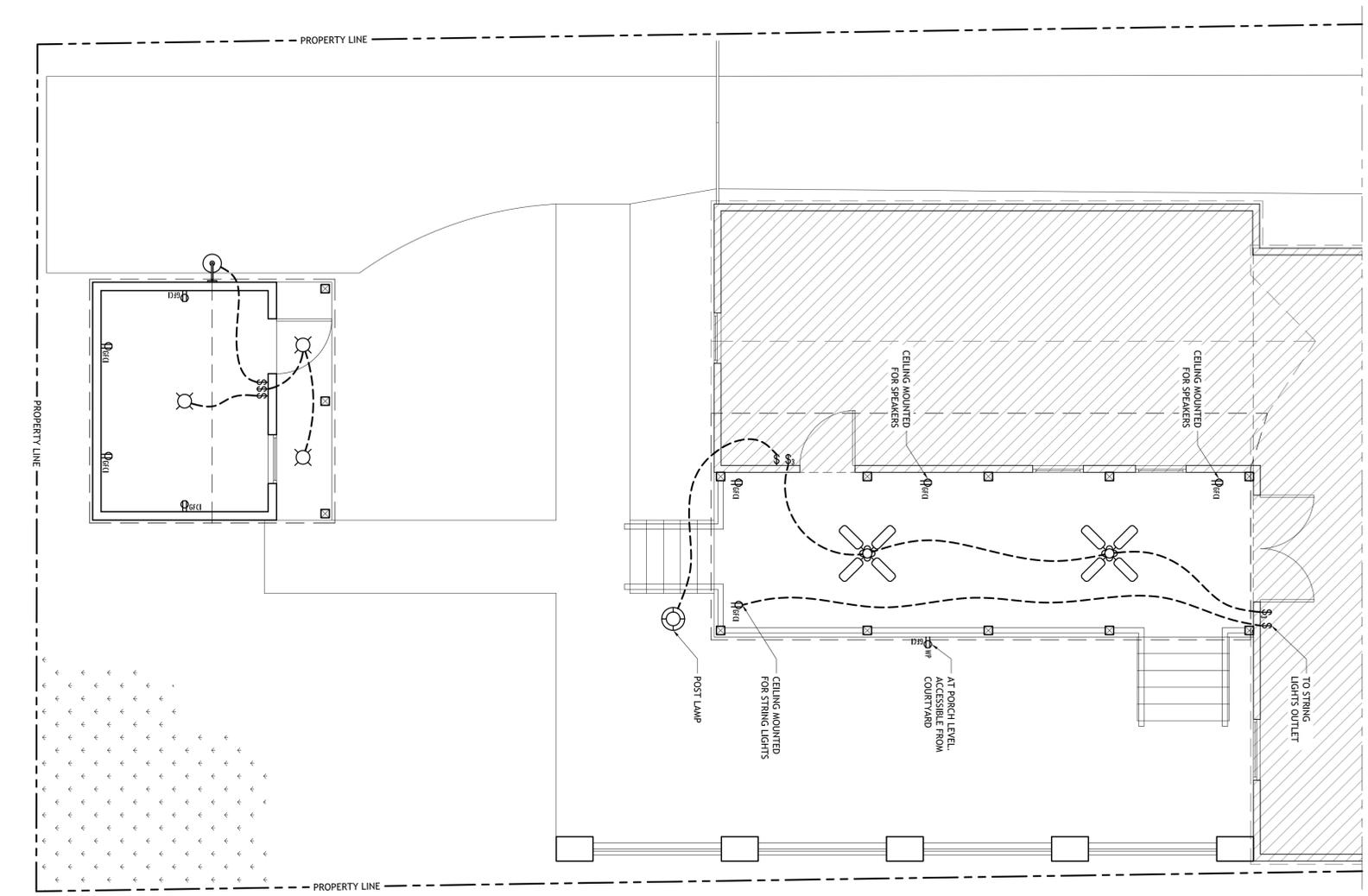
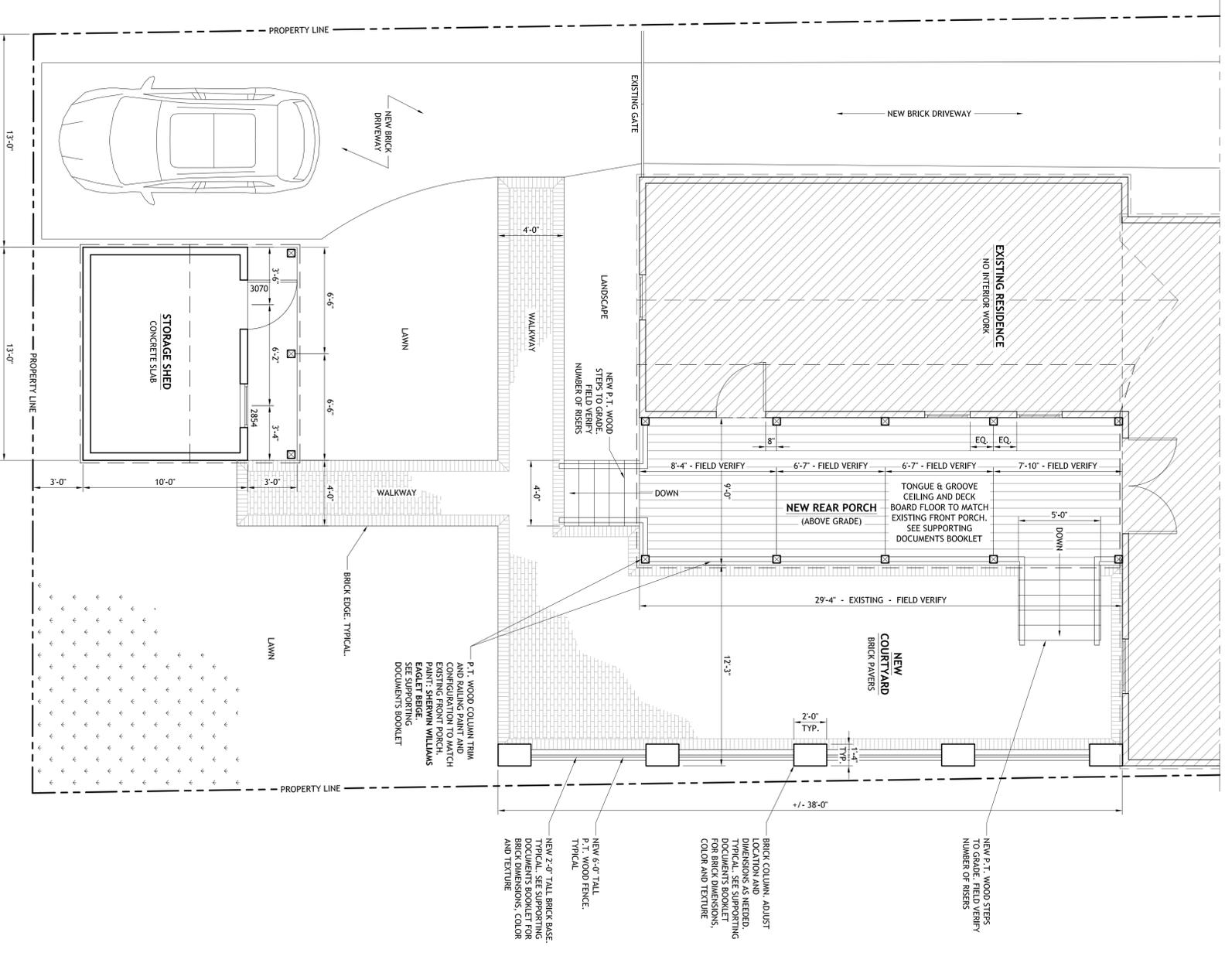
Title: STRUCTURAL DESIGN PORCH & SHED ADDITION
Koch Residence
210 S ALCANIZ ST
PENSACOLA, FL 32502
Prepared for: MELISSA & NICK KOCH

VOELKEL ENGINEERING
103 Bay Bridge D. Gulf Breeze, FL 32561
Office: (850) 288-0333
www.VoelkelEngineering.com
FL CA: 35353

Revision	Date

FOR REVIEW ONLY
without signature and seal.
PRELIMINARY
FOR REVIEW/BID ONLY
Not to be used for construction without the approval of the original designer and client.

J. Christian Voelkel F.P.E. 82229
Designed By: JCV / FRS
Checked By: JCV
Project #: 000-210712
Scale: As Noted
Sheet: 2 of 7



ELECTRICAL LEGEND	
	CEILING MOUNTED LIGHT FIXTURE (RECESSED)
	CEILING MOUNTED LIGHT FIXTURE
	OUTDOOR POST LAMP
	GOOSENECK BARN LIGHT
	WALL SWITCH
	WALL SWITCH (3-WAY)
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE w/ GROUND FAULT CIRCUIT INTERRUPTER
	WEATHERPROOF BOX/COVER

NOTE:
 • FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY OWNER AND ELECTRICIAN.

3-1 NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- DOOR:**
- ANDERSEN A-SERIES
 - FRENCHWOOD OUTSWING WITH STORMWATCH PROTECTION
 - ANDERSEN 400-SERIES
 - FLORIDA PRODUCT APPROVAL NUMBER: 14285.2
 - SEE SUPPORTING DOCUMENT BOOKLET.

- WINDOW:**
- ANDERSEN 400-SERIES
 - IMPACT RATED GLASS
 - ANDERSEN 400-SERIES
 - FLORIDA PRODUCT APPROVAL NUMBER: 15752.3
 - SEE SUPPORTING DOCUMENTS BOOKLET.

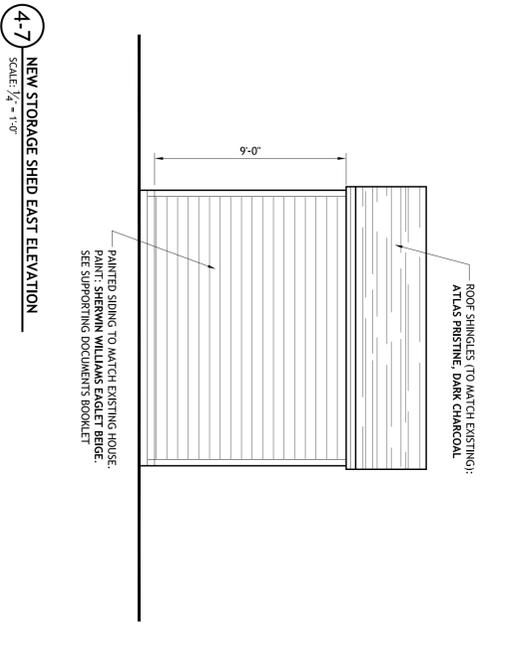
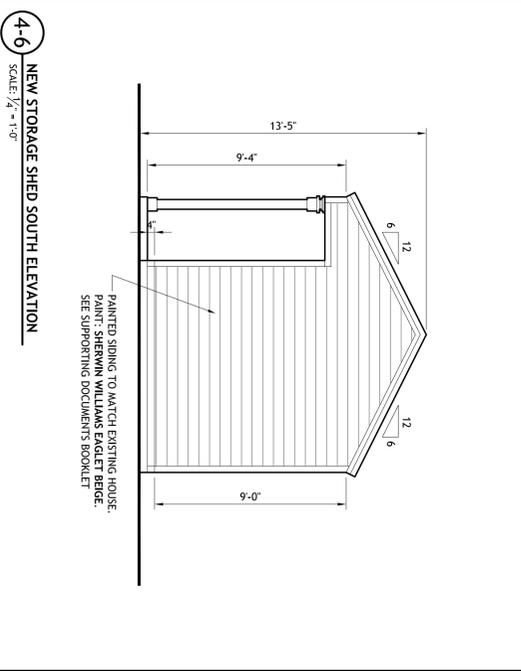
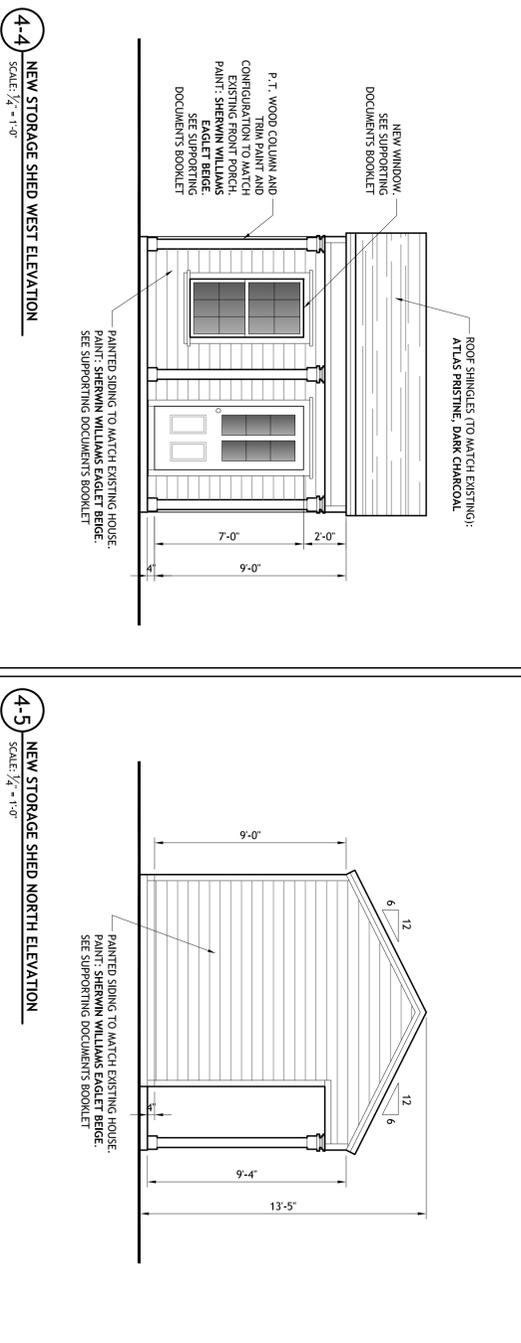
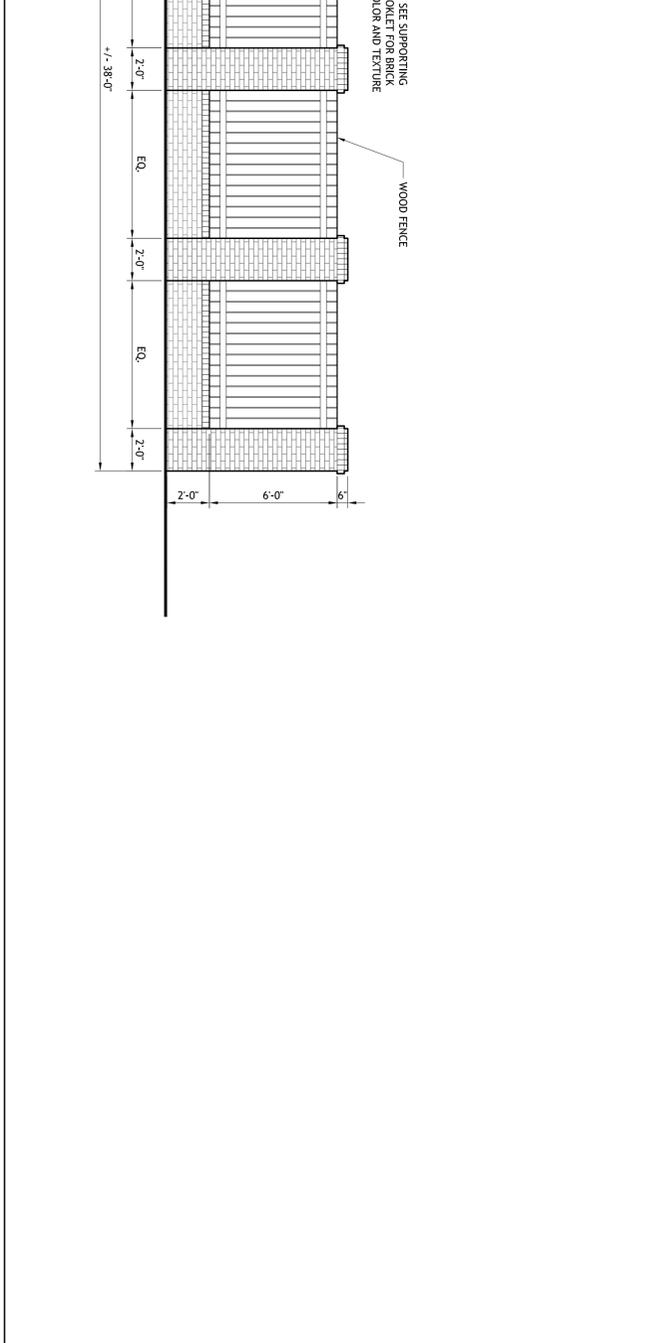
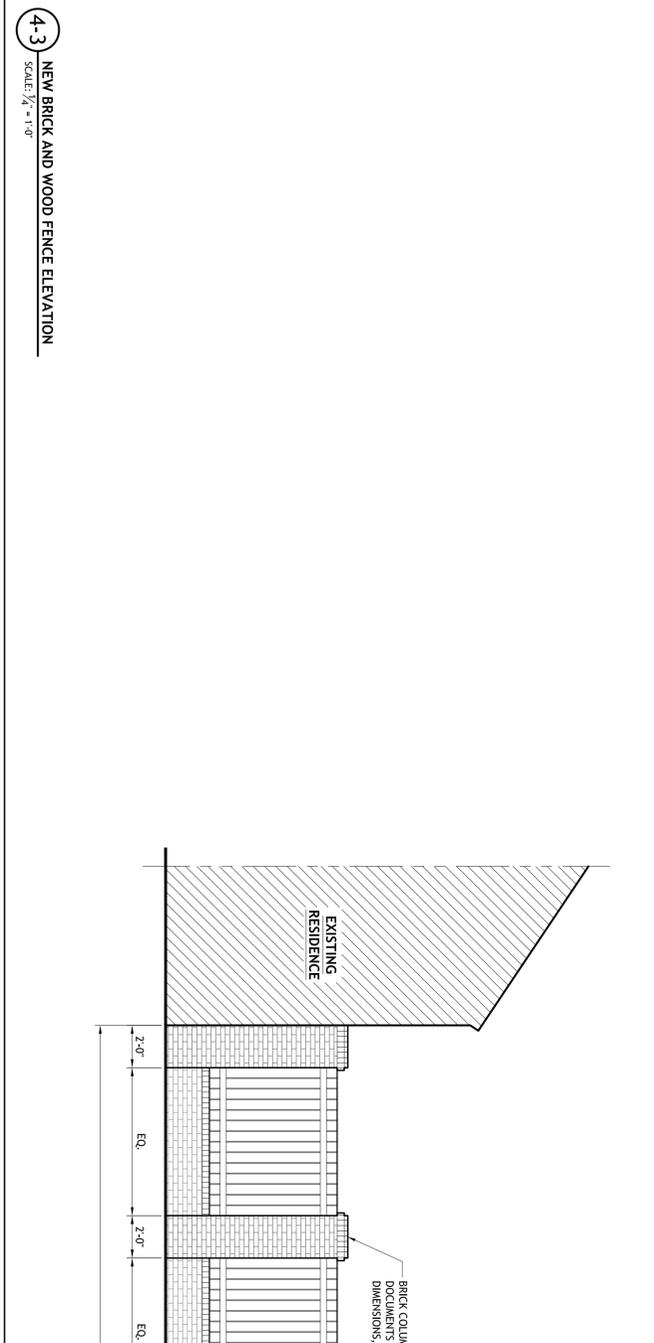
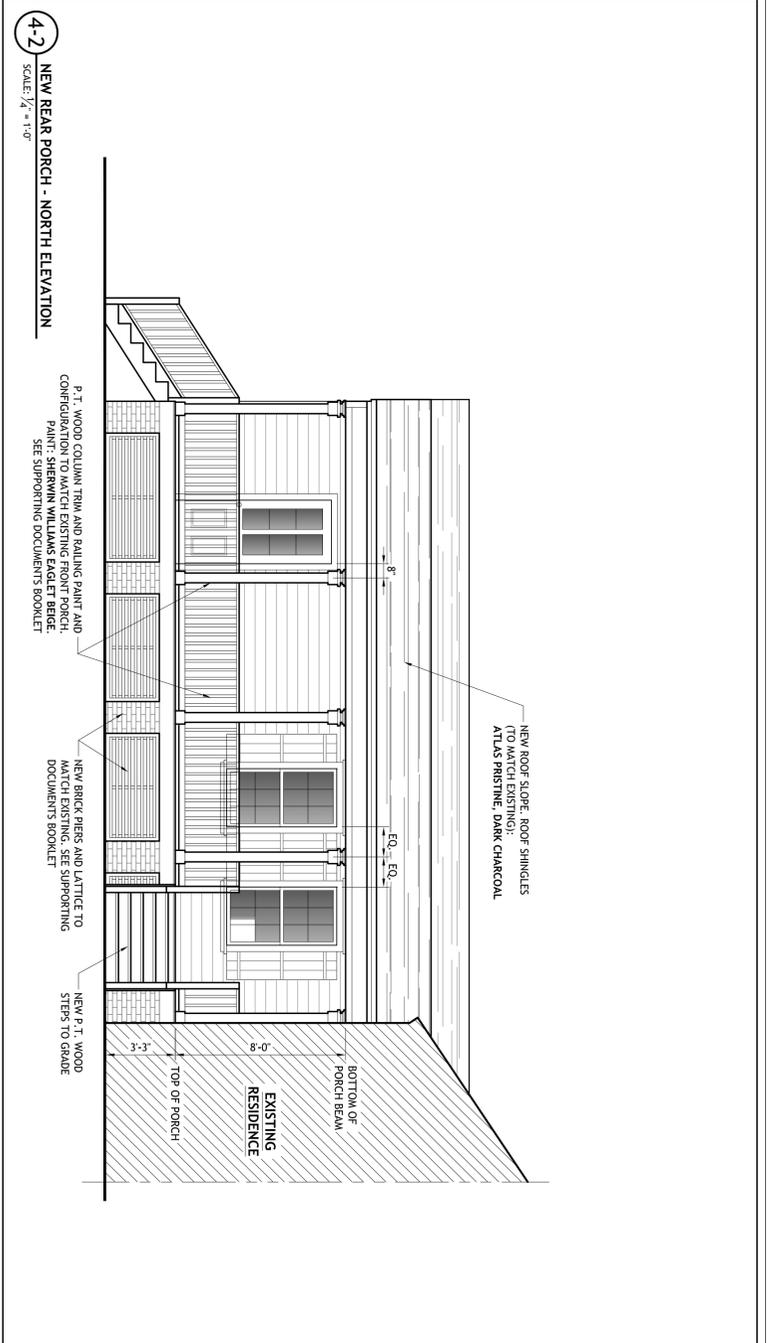
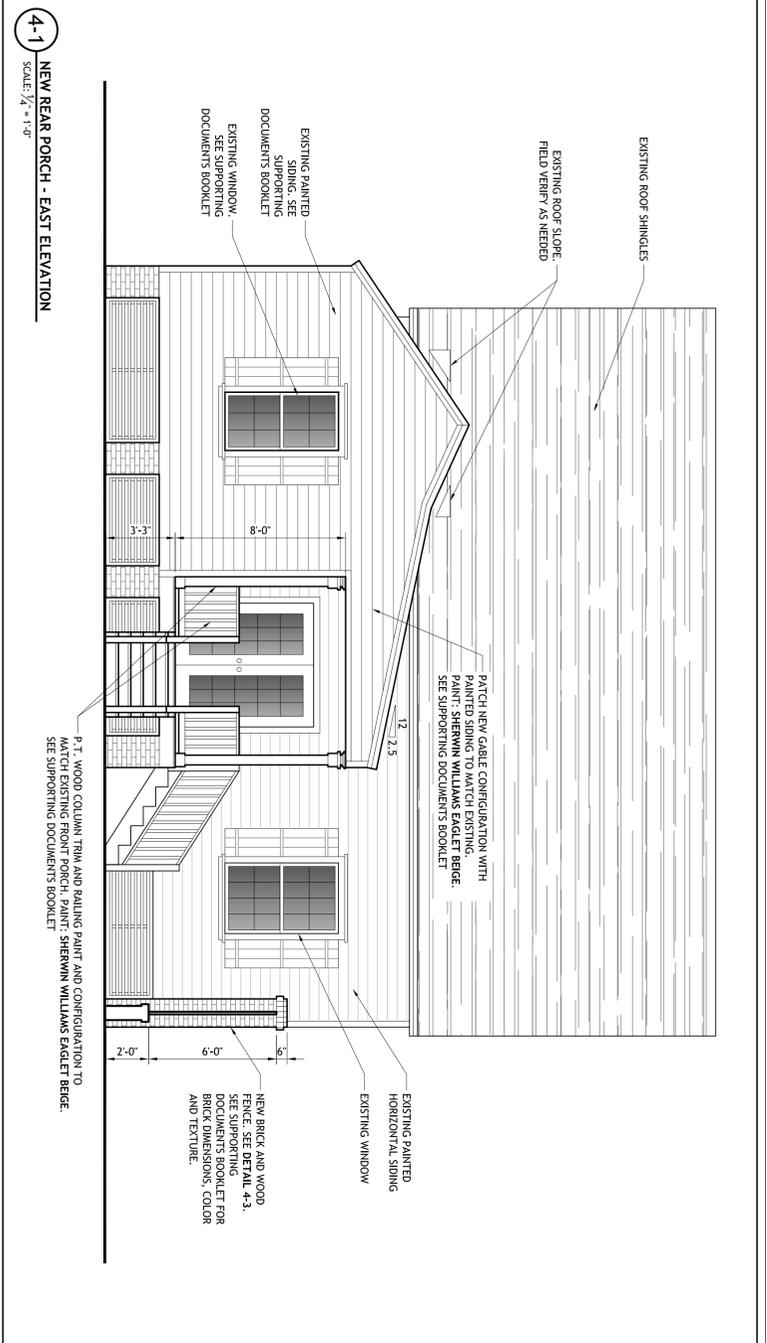
3-2 ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

FOR REVIEW ONLY
 without signature and seal.
PRELIMINARY
FOR REVIEW/BID ONLY
This is to be used for informational purposes only. It is not to be used for construction and shall represent neither approval nor seal.

Revision	Date

103 Bay Bridge D. Gulf Breeze, FL 32561
 Office: (850) 288-0333
 www.VoelkelEngineering.com
 FL CA: 35353

Title:
STRUCTURAL DESIGN PORCH & SHED ADDITION
KOCH RESIDENCE
210 S ALCANIZ ST
PENSACOLA, FL 32502
 Prepared for: **MELISSA & NICK KOCH**



Revision	Date

FOR REVIEW ONLY
without signature and seal.

PRELIMINARY
FOR REVIEW/BID ONLY
This is to be used for information only. It is not to be used for construction or other purposes without the approval of the original engineer and seal.

J. Christian Voelkel
FLPE 82229

Designed By: JCV / FRS
Checked By: JCV
Project #: 000-210712

Scale: As Noted
Sheet: 4 of 7

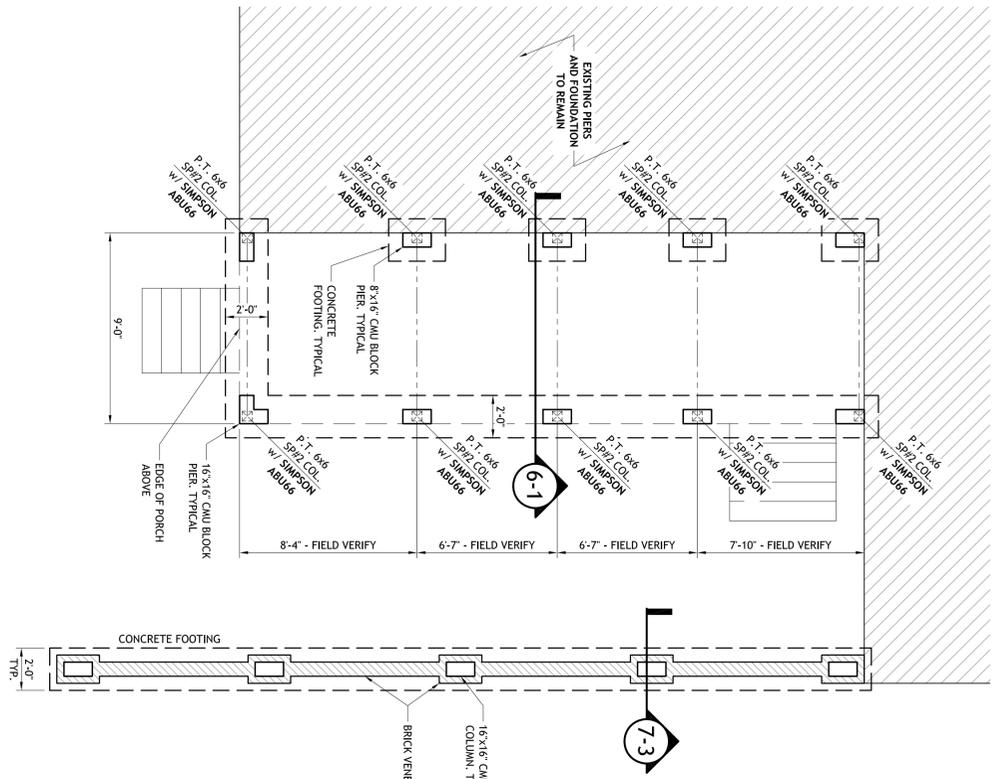
VOELKEL ENGINEERING

103 Bay Bridge D. Gulf Breeze, FL 32561

Office: (850) 288-0333
www.VoelkelEngineering.com

FL CA: 35353

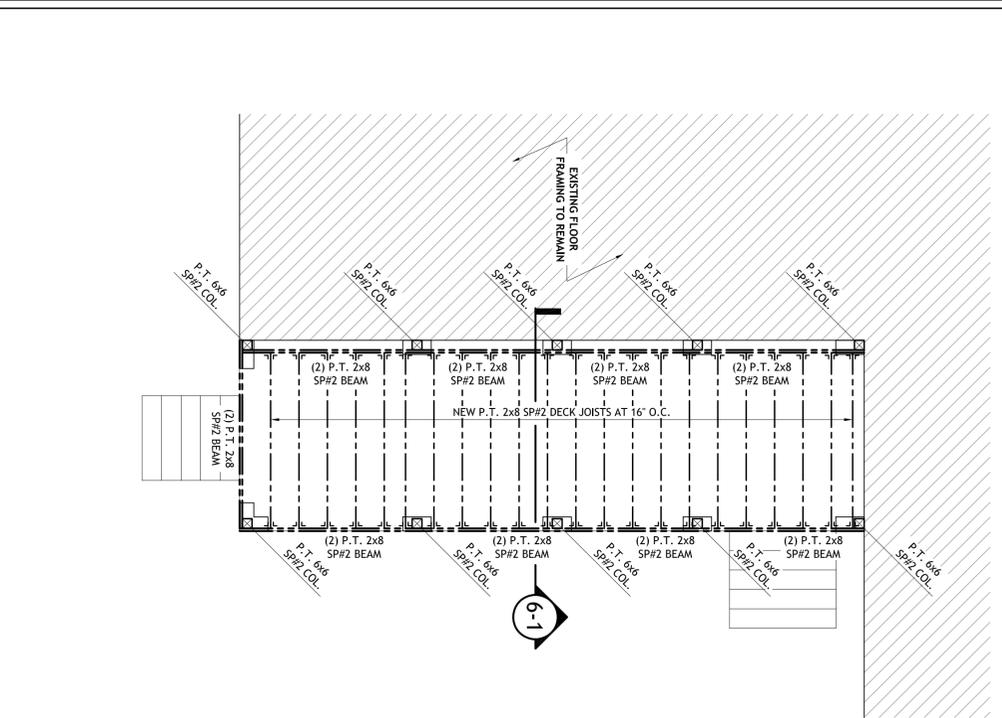
Title:
STRUCTURAL DESIGN PORCH & SHED ADDITION
KOCH RESIDENCE
210 S ALCANIZ ST
PENSACOLA, FL 32502
Prepared for: **MELISSA & NICK KOCH**



5-1 NEW PORCH AND FENCE - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



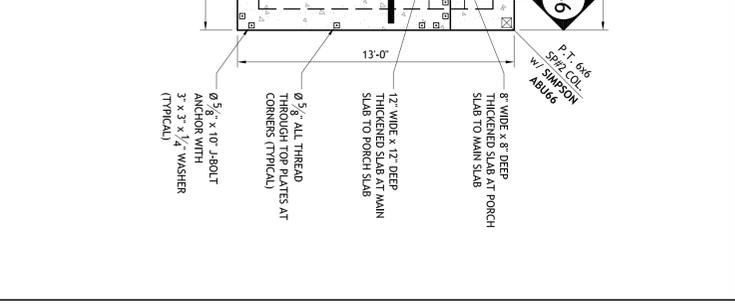
5-2 NEW PORCH - FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



5-3 NEW PORCH - ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



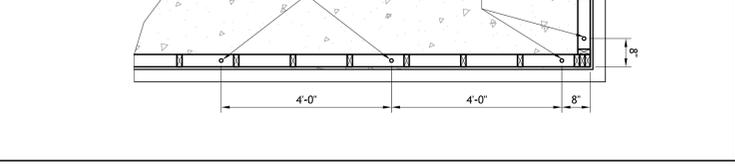
5-4 NEW STORAGE SHED - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



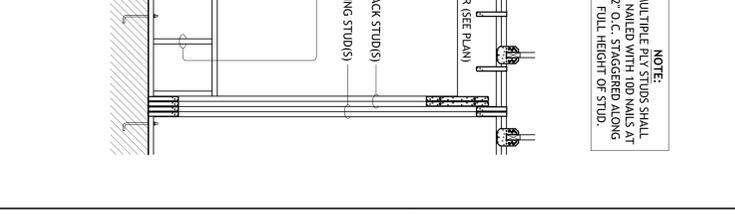
5-5 NEW STORAGE SHED - ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



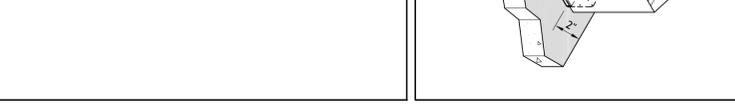
5-6 TYPICAL ANCHOR BOLT LAYOUT
SCALE: 1/2" = 1'-0"



5-7 STANDARD OPENING DETAIL
NOT TO SCALE



5-8 COLUMN BASE ANCHOR
NOT TO SCALE



5-9 STANDARD TRUSS ANCHOR DETAIL
NOT TO SCALE

MINIMUM LVL VALUES:
F _b = 3,100 psi
F _v = 285 psi
E = 2.0 x 10 ⁶ psi
F _c = 750 psi

NOTE:
TRUSS HANGERS AND GIRDERS TRUSS STRAPPING TO BE SPECIFIED AT TRUSS MANUFACTURER.

NOTE:
CONTINUOUS HEADERS REQUIRE SIMPSON ANCHOR AT INTERMEDIATE SUPPORTS.

Revision

Date

103 Bay Bridge D. Gulf Breeze, FL 32561
Office: (850) 288-0333
www.VoelkelEngineering.com FL CA: 35353

Title:
STRUCTURAL DESIGN PORCH & SHED ADDITION
KOCH RESIDENCE
210 S ALCANIZ ST
PENSACOLA, FL 32502
Prepared for: **MELISSA & NICK KOCH**

This document is original, speed printed, sealed and the SIA authentication code must be verified on any electronic copies.

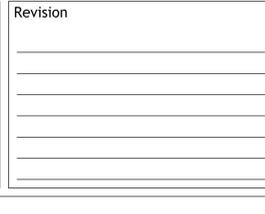
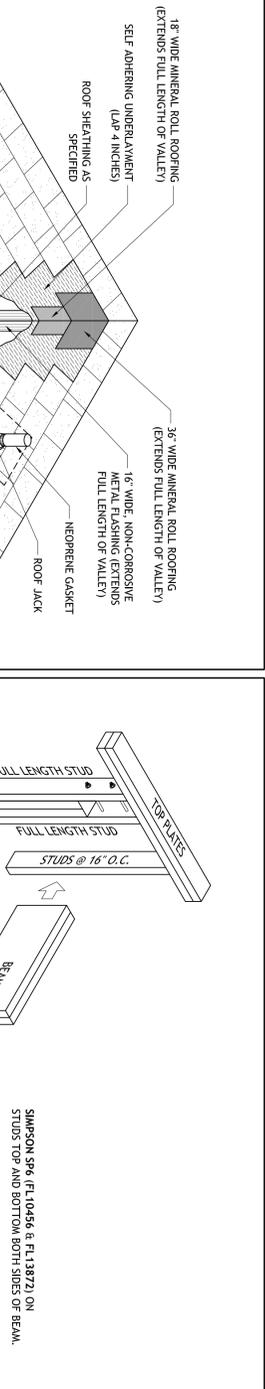
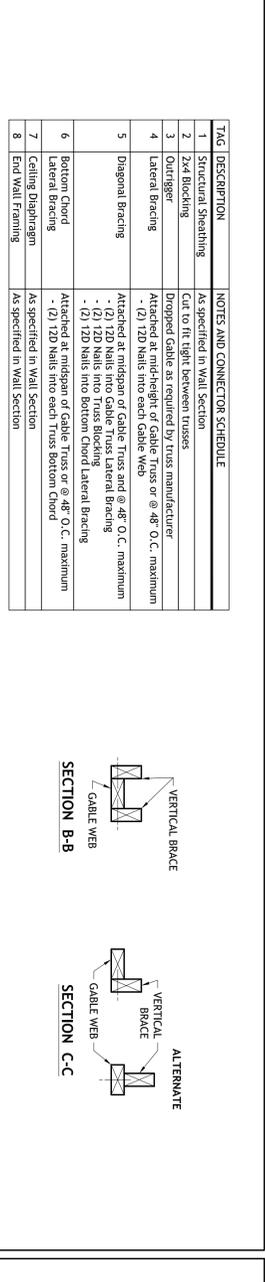
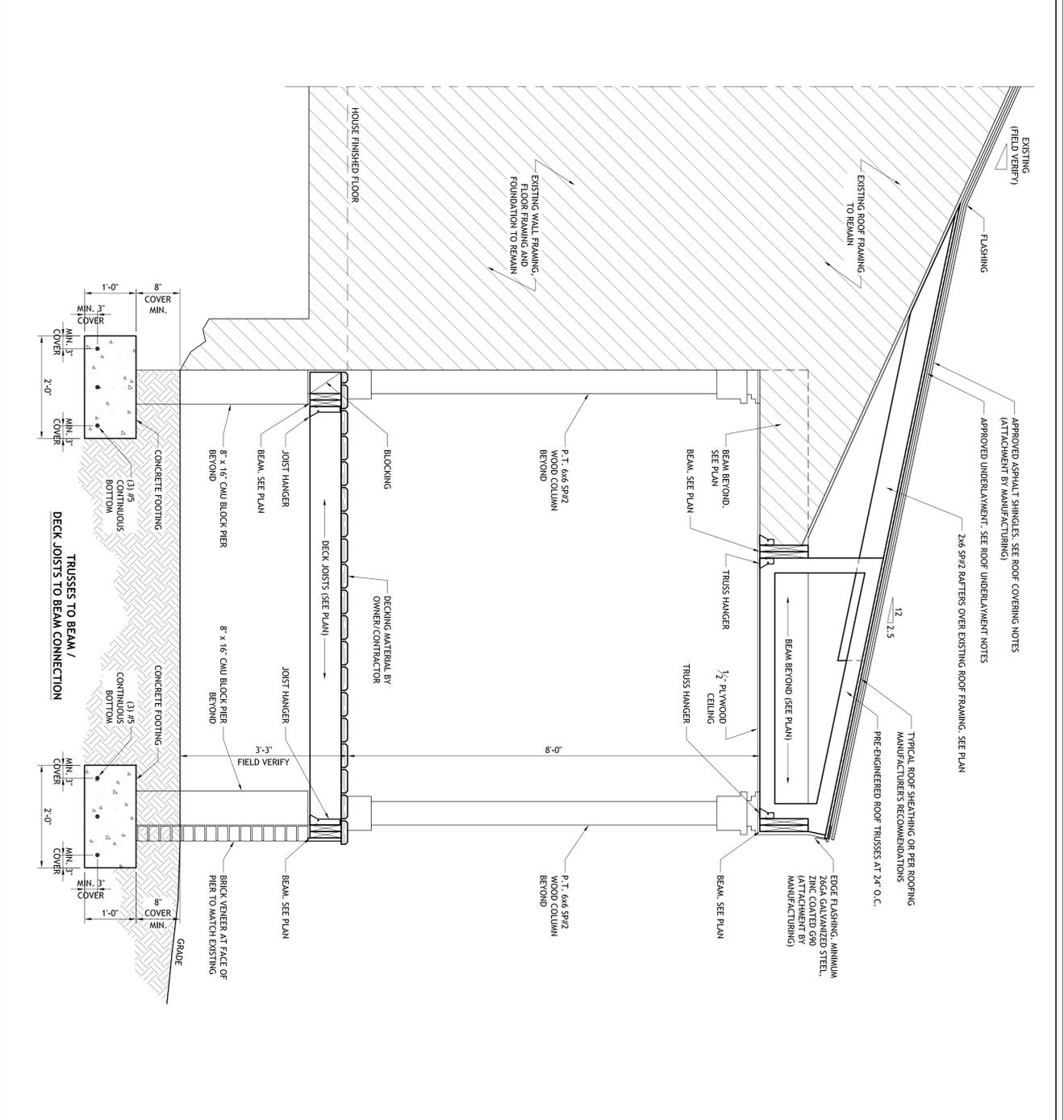
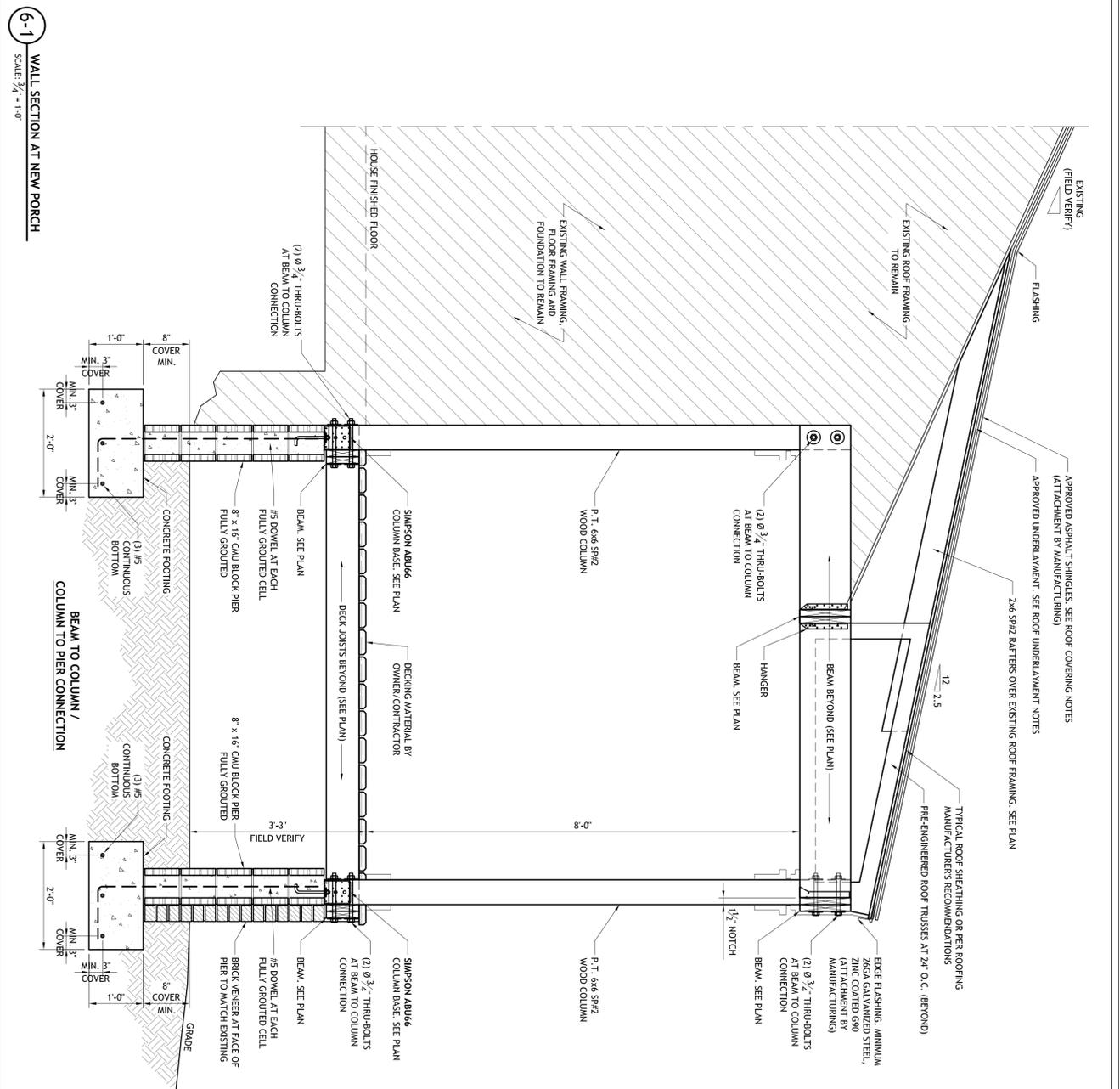
J. Christian Voelkel
FLPE 82229

FOR REVIEW ONLY
without signature and seal.

PRELIMINARY
FOR REVIEW/BID ONLY

Designed By: JCV / FRS
Checked By: JCV
Project #: 000-210712

Scale: As Noted
Sheet: 5 of 7



TAG DESCRIPTION NOTES AND CONNECTOR SCHEDULE

1	Structural Sheathing	As specified in Wall Section
2	2x4 Blocking	Call to fit tight between trusses
3	Outrigger	Dropped cable as required by truss manufacturer
4	Lateral Bracing	Attached at mid-height of Gable Truss or @ 48" O.C. maximum - (1) 120 Nails into steel Gable Web
5	Diagonal Bracing	Attached at midspan of Gable Truss and @ 48" O.C. maximum - (1) 120 Nails into steel Gable Web - (2) 120 Nails into Bottom Chord Lateral Bracing
6	Bottom Chord Lateral Bracing	Attached at midspan of Gable Truss or @ 48" O.C. maximum - (2) 120 Nails into each Truss Bottom Chord
7	Ceiling Diaphragm	As specified in Wall Section
8	End Wall Framing	As specified in Wall Section

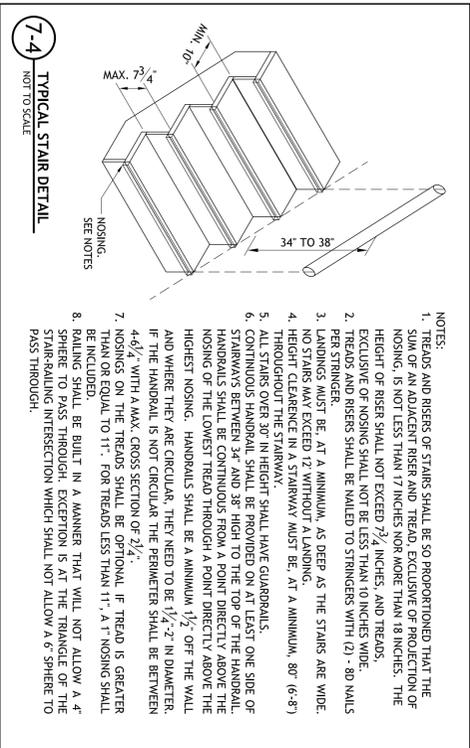
Revision	Date

FOR REVIEW ONLY
 without signature and seal.

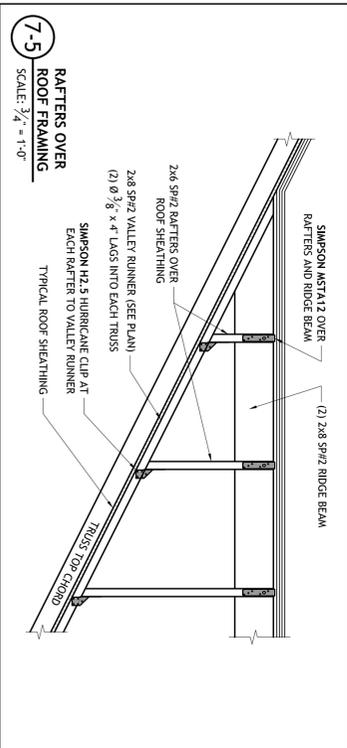
J. Christian Voelkel
 FLE 82229

Designed By: JCV / FRS
 Checked By: JCV
 Project #: 000-210712

Scale: As Noted
 Sheet: 7 of 7



- NOTES:
- TREADS AND RISERS OF STAIRS SHALL BE SO PROPORTIONED THAT THE SUM OF AN ADJACENT RISER AND TREAD, EXCLUSIVE OF PROTECTION OF NOSING, IS NOT LESS THAN 17 INCHES NOR MORE THAN 18 INCHES. THE HEIGHT OF RISER SHALL NOT EXCEED 7 1/4 INCHES, AND TREADS, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 10 INCHES WIDE.
 - TREADS AND RISERS SHALL BE NAILED TO STRINGERS WITH (2) - 80 NAILS.
 - LANDINGS MUST BE AT A MINIMUM, AS DEEP AS THE STAIRS ARE WIDE. NO STAIRS MAY EXCEED 12' WITHOUT A LANDING.
 - HEIGHT CLEARANCE IN A STAIRWAY MUST BE AT A MINIMUM, 80" (6'-8") THROUGHOUT THE STAIRWAY.
 - ALL STAIRS OVER 30" IN HEIGHT SHALL HAVE GUARDRAILS.
 - CONTINUOUS HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS BETWEEN 34" AND 38" HIGH TO THE TOP OF THE HANDRAIL. HANDRAILS SHALL BE CONTINUOUS FROM A POINT DIRECTLY ABOVE THE NOSING OF THE LOWEST TREAD THROUGH A POINT DIRECTLY ABOVE THE HIGHEST NOSING. HANDRAILS SHALL BE A MINIMUM 1 1/2" OBT THE WALL AND WHERE THEY ARE CIRCULAR, THEY NEED TO BE 1 1/2" IN DIAMETER.
 - IF THE HANDRAIL IS NOT CIRCULAR THE PERIMETER SHALL BE BETWEEN 4-6 1/4" WITH A MAX. CROSS SECTION OF 2 1/4".
 - NOSINGS ON THE TREADS SHALL BE OPTIONAL. IF TREAD IS GREATER THAN OR EQUAL TO 11". FOR TREADS LESS THAN 11", A 1" NOSING SHALL BE INCLUDED.
 - BALING SHALL BE BUILT IN A MANNER THAT WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH. EXCEPTION IS AT THE TRIANGLE OF THE INTERSECTION WHICH SHALL NOT ALLOW A 6" SPHERE TO PASS THROUGH.





Date: Thursday, August 26, 2021
Project: Koch Residence - Detached Storage and Porch Extension
210 S. Alcaniz Street
Recipient: Architectural Review Board – City of Gulf Breeze

Existing Site Conditions



Project Location

If this document is digitally signed, printed copies are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

103 Bay Bridge Drive, Gulf Breeze, FL 32561
www.VoelkelEngineering.com

info@VoelkelEngineering.com

Phone: 850.288.0333
FLCA35353 • FLCGC1530838



Existing Residence Front View



Existing Residence Rear View



North Corner of Existing Rear Yard



South Corner of Rear Yard



Existing Porch – proposed 5' extension, design elements to match

Project Design Elements



Existing Window
– proposed design to match



Proposed Design Window Selection:
Andersen 400 Series
Impact Rated Glass, Colonial Style Grids
- double hung wood with vinyl cladding
- simulated divided lite external grilles to match existing
FL#15752.3



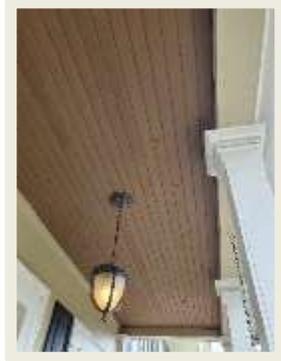
Proposed Design Door Selection:
(match existing)
Andersen A Series -
Frenchwood Outswing
with stormwatch protection (HVHZ) Impact
FL#14285.2



Exterior Paint Selection
to match existing resi-
dence
Sherwin Williams –
Eaglet Beige



Roofing: Atlas – Pristine, 50
year Architectural Shingles,
Dark Charcoal



Proposed structure to match existing front residence design elements
 Existing House Siding: 7" painted horizontal wood siding.
 Front Porch Ceiling: Tongue and Groove.
 Front Porch Floor: 1x6 stained/painted deck boards



Column and railing on proposed design to match front existing:
 Railing: 2x2 painted wood, 5" gap
 Lattice: 2" x 2" painted wood, 2" gap



Hardscape and Fence to match existing design elements
 Brick: 9" x 2-1/2" x 4" deep