

LOPEZ CARRIAGE HOUSE

430 E. INTENDENCIA ST. PENSACOLA, FL. 32502

GENERAL NOTES:

1. SPECIFICATIONS

Site – It is recommended that the services of a registered land surveyor be employed for the proper placement of the structure in relation to property lines, setback lines, easements, variances, etc.

Codes – Construction shall comply with all applicable national, state and local building codes. It is the responsibility of the Contractor and subcontractors to insure compliance with said codes and modify the specifications as needed to comply with such codes.

Measurements – Verify all dimensions and conditions before proceeding with construction. Noted dimensions take precedence.

Workmanship – Workmanship shall conform to the best and highest standards of quality in each trade and shall include all items of fabrication, construction and installation. All work shall be completed by skilled licensed and insured tradesmen and mechanics. Installation of all equipment and materials shall be in strict accordance with manufacturers recommendations.

Insurance – Builders Risk Insurance shall be maintained by the contractor or homeowner during the course of construction until final acceptance by the owner. All subcontractors shall provide building contractor with proof of license, insurance and workman's compensation. All subcontractors shall provide and be solely responsible for necessary barricades and safety precautions, and strictly adhere to all governing codes on safety, including the OSHA Act.

Square Footage – Interior finished square footage figures represent heated and cooled floor area only and do not include additional area for two-story or vaulted spaces, garages, decks, porches or any other unfinished areas.

Structural – Framing subcontractor is responsible for verifying location of all interior load bearing walls and shall insure their proper construction according to structural engineering sheets.

Mechanical – Mechanical contractor responsible for laying out ducts and sizing HVAC units.

2. JOB SITE

Subcontractors to keep premises clean. Remove all construction debris upon completion of work. No smoking is permitted within the residence. No loud music is permitted on the jobsite.

Electrician to provide at least 4 120V outlets for job site power.

Plumber to provide at least one temporary water source for the duration of the project.

3. PLANS, ERRORS, OMISSIONS AND CHANGES

The designer assumes no responsibility for plan/construction errors or omissions. Report all discrepancies to the designer prior to any work or material order.

It is the responsibility of the contractor to bring any errors to the attention of the designer before the application phase of construction has begun to allow us to correct the drawings.

Caution must be exercised in making any changes to these plans. Only qualified designers, structural engineers, architects or contractor should attempt modifications. The designer is not responsible for any changes made to these plans without the authorization of the designer.

DRAWING INDEX:

C1 - SITE PLAN
A1 - ELEVATIONS
A2 - FOUNDATION & FLOOR PLAN
A3 - ROOF & TRUSS PLAN
A4 - SECTIONS AND DETAILS
S2 - ENGINEER'S DETAILS
S2 - ENGINEER'S DETAILS
E1 - ELECTRICAL PLANS

SQUARE FOOTAGE

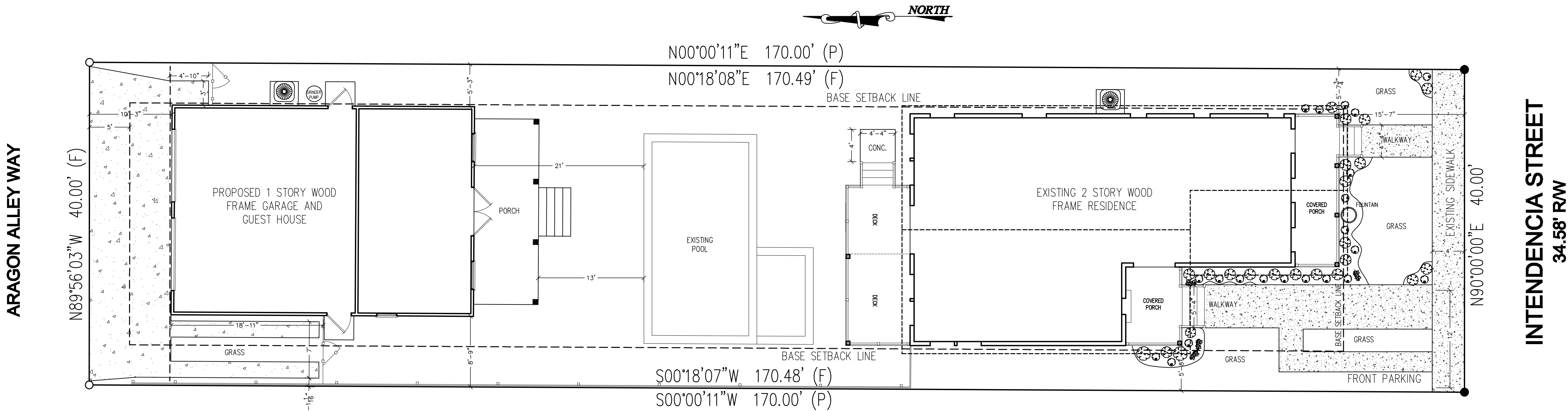
BUILDING AREA:
LIVING: 373 SF
GARAGE: 602 SF
COVERED PORCH: 184 SF
TOTAL UNDER ROOF: 1159 SF

BUILDING INFORMATION:

FBC 2020
ZONING: HR-1
OCCUPANCY: SINGLE FAMILY
RESIDENCE

OUTBUILDING SETBACKS:

FRONT: N/A
SIDE: 5'
REAR: 5'



SITE PLAN

SCALE: 1/8" = 1'

Escambia County Property Appraiser
000S009001002334 – Full Legal Description

BEG AT INTERSECT OF N R/W LI OF INTENDENCIA ST (34' 58/100 FT R/W) AND W R/W LI OF 8TH AVE PT BEING SE COR OF BLK 21 S 90 DEG 0 MIN 0 SEC W ALG N R/W 80 FT TO SE COR OF LT 334 FOR POB N 0 DEG 0 MIN 11 SEC E ALG E LI OF LT 334 170 FT TO NE COR OF LT S 90 DEG 0 MIN 0 SEC W ALG N LI 40 FT S 0 DEG 0 MIN 11 SEC W 170 FT TO N R/W LI OF INTENDENCIA ST N 90 DEG 0 MIN 0 SEC E ALG R/W LI 40 FT TO POB PART OF LT 334 BLK 21 OLD CITY TRACT OR 7102 P 1205.

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ACTION UNDER THE COMMON COPYRIGHT ACT.

SCALE
1/8"=1'

REVISIONS:

DESIGNER: DAMIAN J. SCHREY

DATE: 09/27/21

SCALE: 1/4" = 1'

PAGE: OF

SITE PLAN

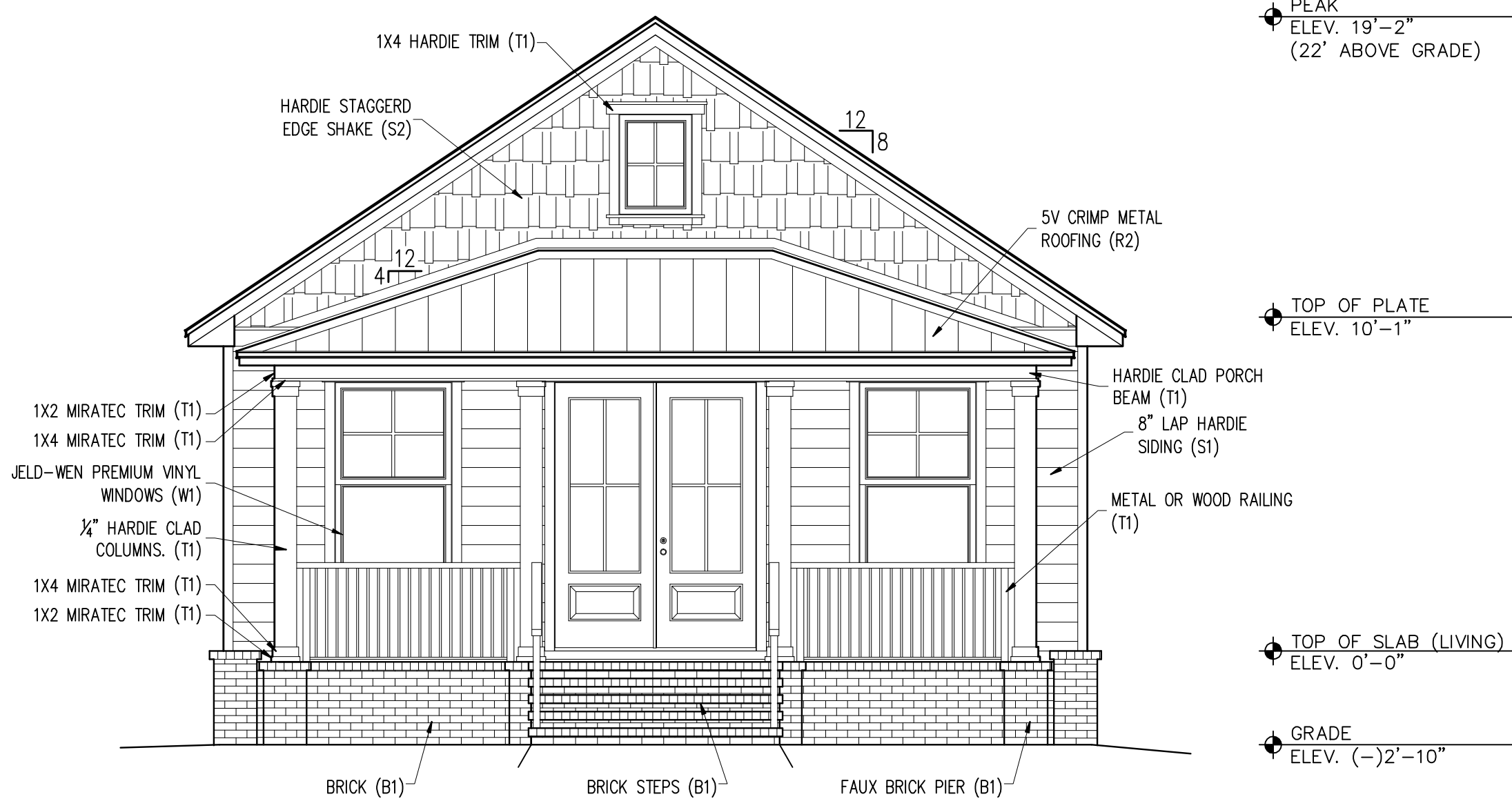
DESIGN - BUILD - RESTORE
RESIDENTIAL & COMMERCIAL

913 E. GONZALEZ ST.
PENSACOLA, FL. 32503
OFFICE: (850) 455-0509
FAX: 850-455-0511

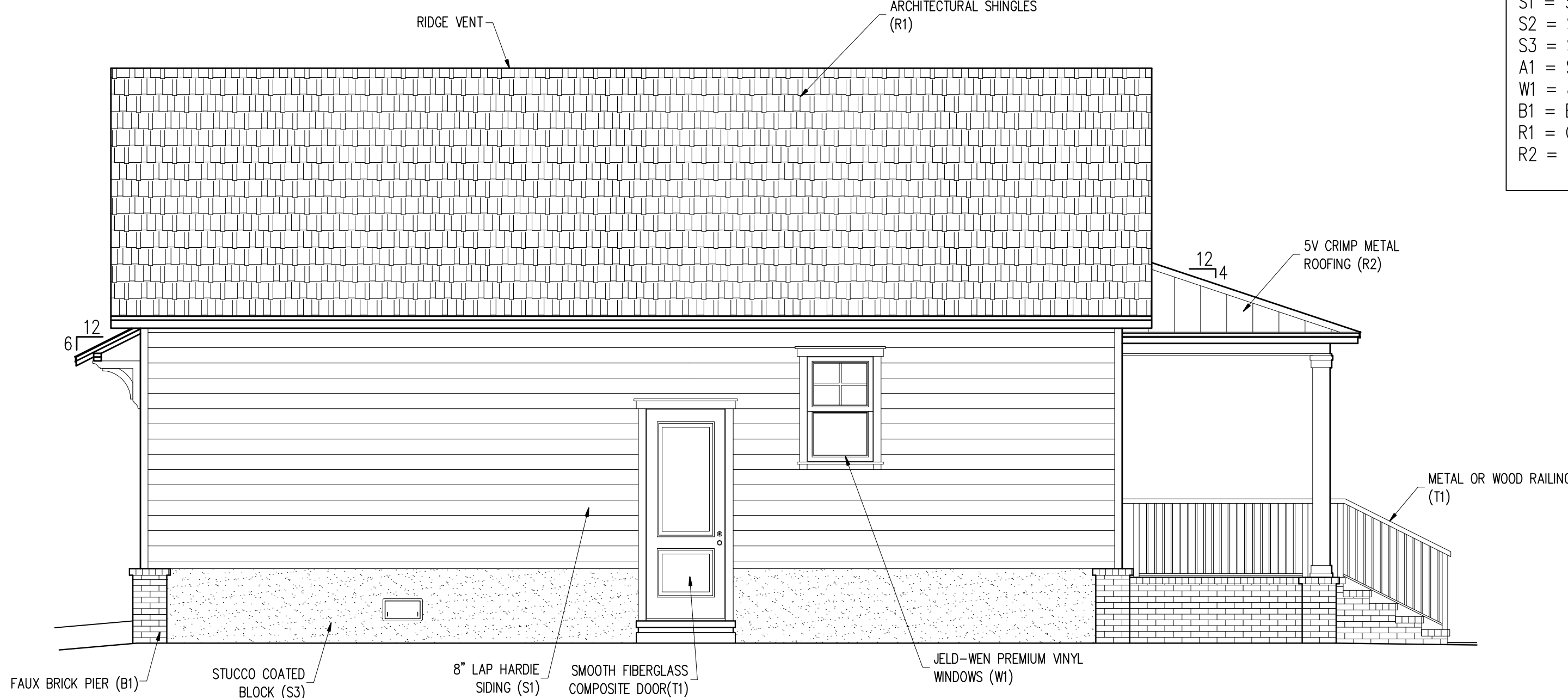
HIGH-POINT DBR
DESIGN BUILD RESTORE

SHEET

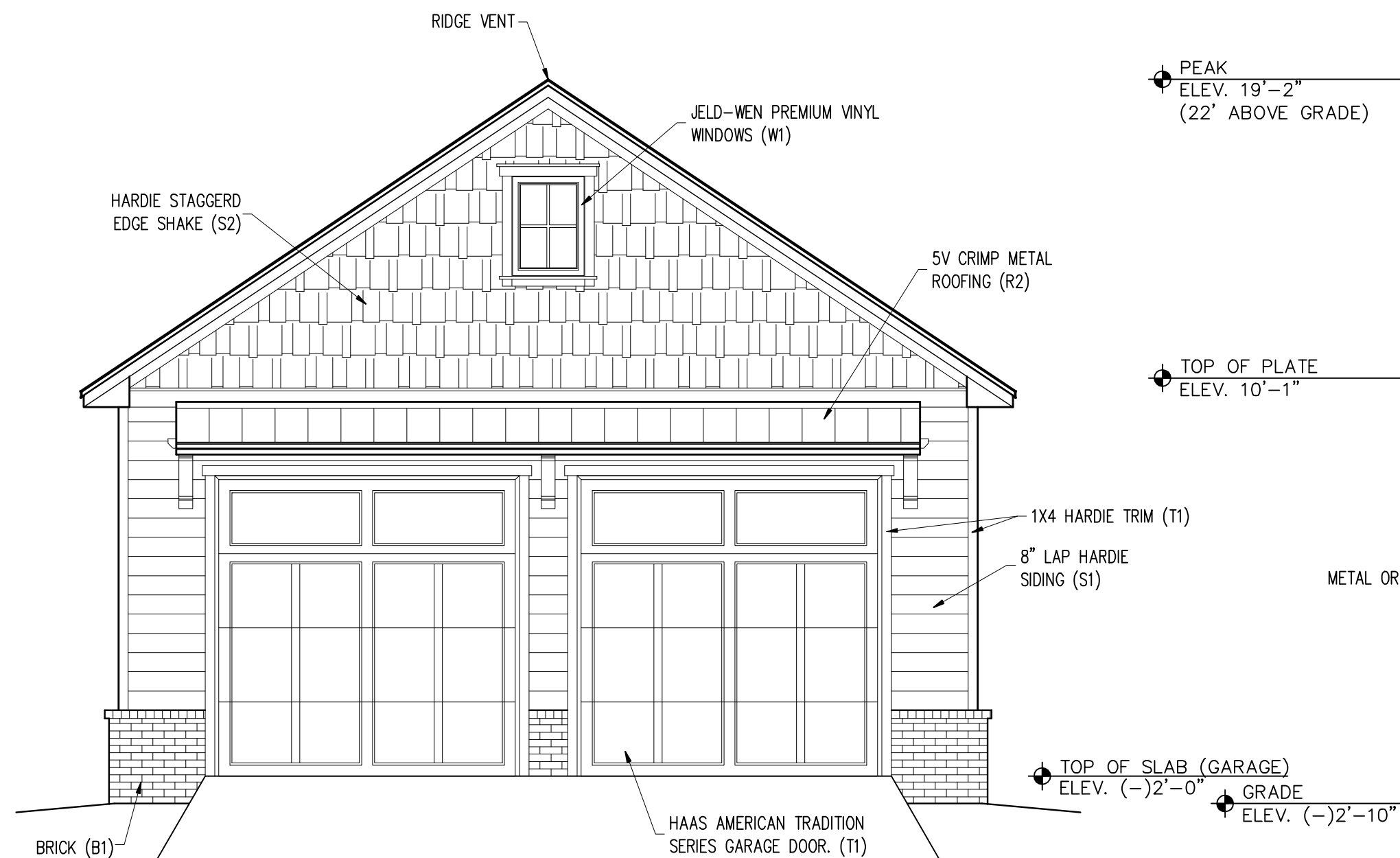
C1



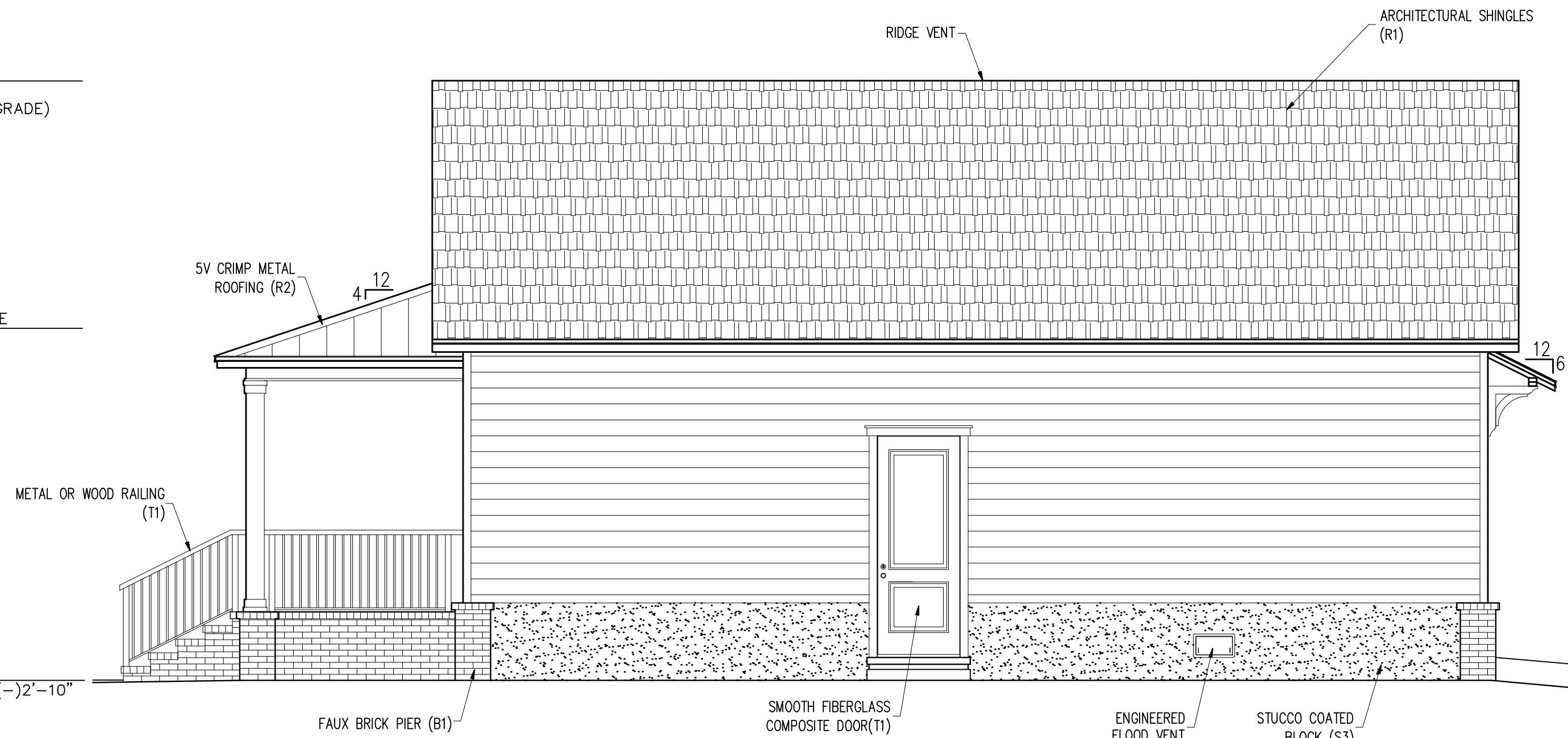
SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'



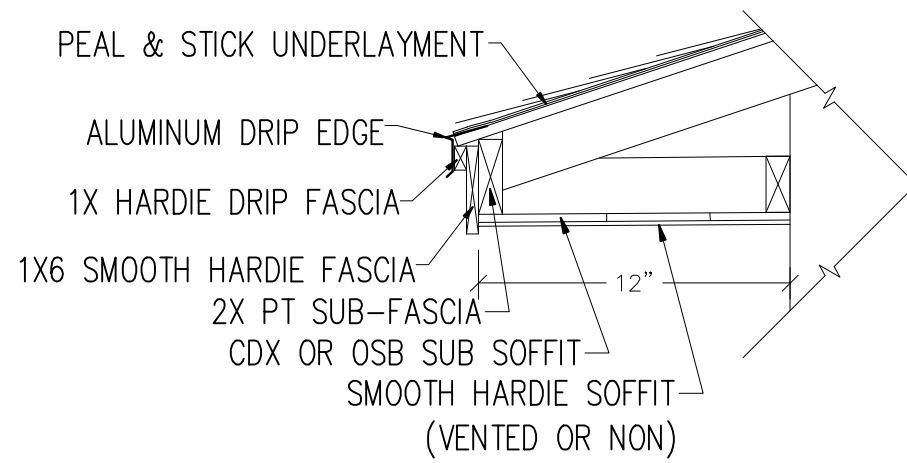
WEST (LEFT SIDE) ELEVATION
SCALE: 1/4" = 1'



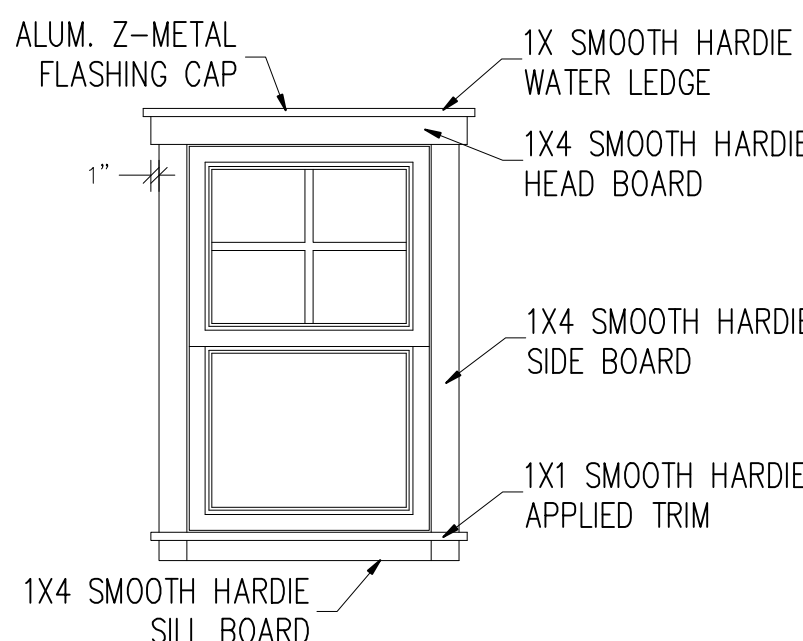
NORTH (REAR) ELEVATION
(FACING ARAGON ALLEY)
SCALE: 1/4" = 1'



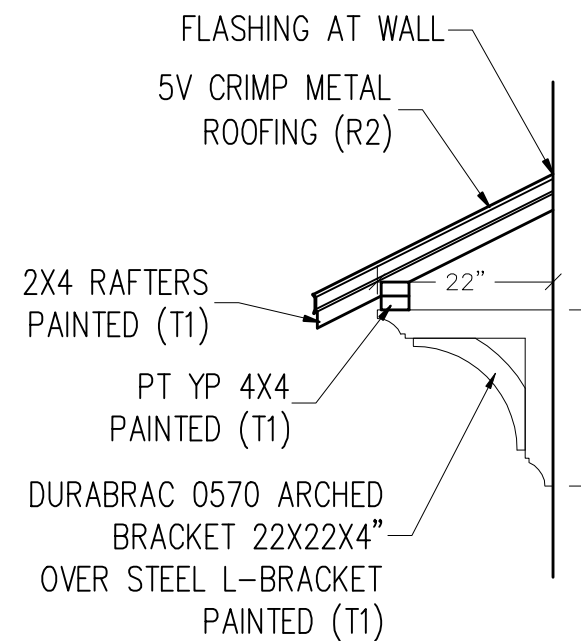
EAST (RIGHT SIDE) ELEVATION
SCALE: 1/4" = 1'



TYPICAL SOFFIT AND FASCIA DETAIL
SCALE: NTS



WINDOW TRIM DETAIL
SCALE: NTS



AWNING ROOF DETAIL
SCALE: NTS

COLOR/MATERIAL KEY:
T1 = SW7014 EIDER WHITE
S1 = SW7015 REPOSE GRAY
S2 = SW7017 DORIAN GRAY
S3 = SW7020 BLACK FOX
A1 = SW7027 WELL-BRED BROWN
W1 = JELD-WEN CHESTNUT BRONZE
B1 = BORAL BRICK - ORTEGA
R1 = GAF TIMBERLINE - WEATHERED WOOD
R2 = METAL SALES 5V CRIMP - OLD TOWN GRAY

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SCALE
1/4"=1'

REVISIONS:			
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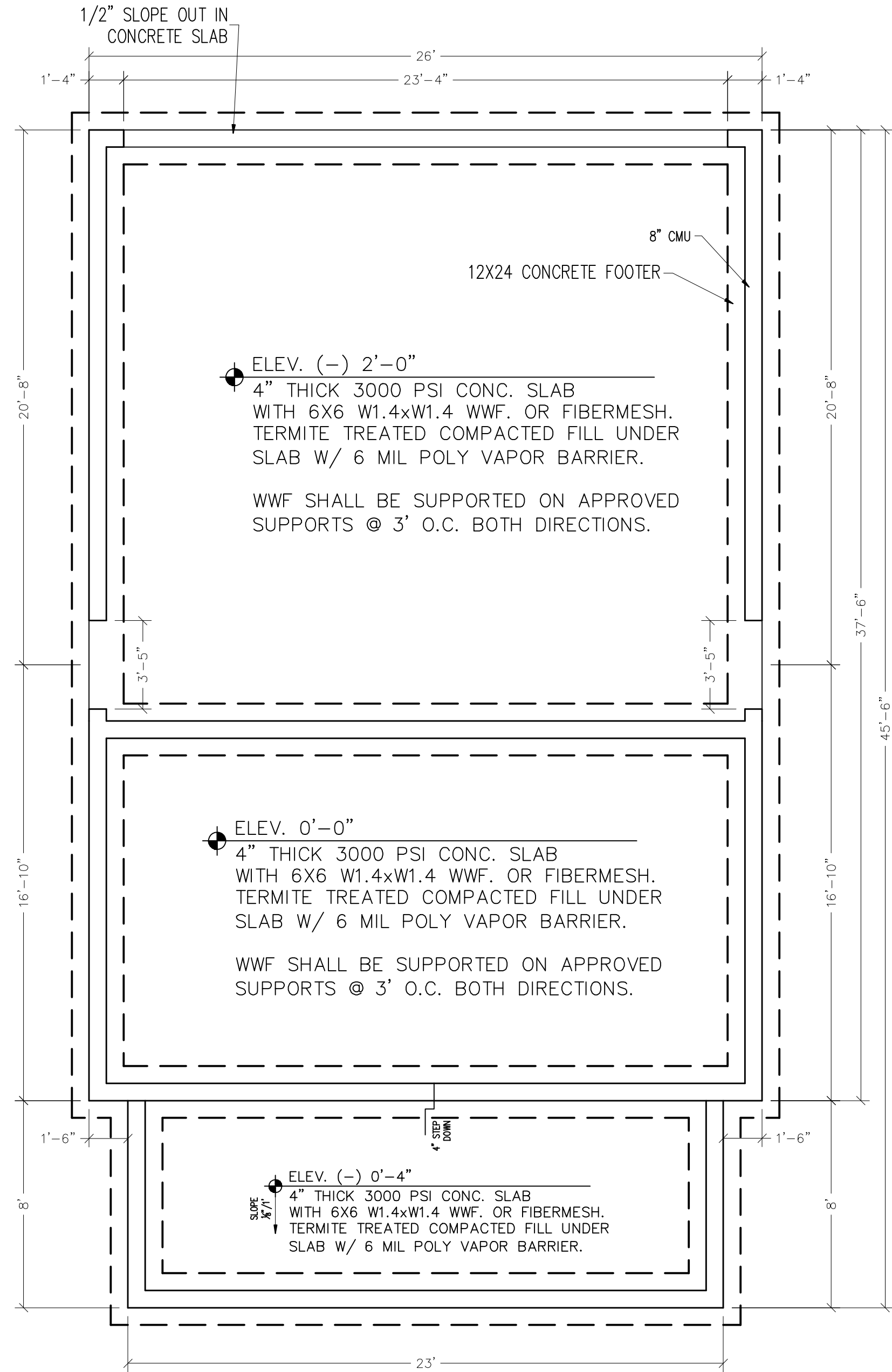
DESIGNER: DAMIAN J. SCHREY	DATE: 09/27/21	SCALE: 1/4" = 1'	PAGE: OF
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CARRIAGE HOUSE ELEVATIONS	LOPEZ RESIDENCE 430 E. INTENDENCIA PENSACOLA FL. 32502
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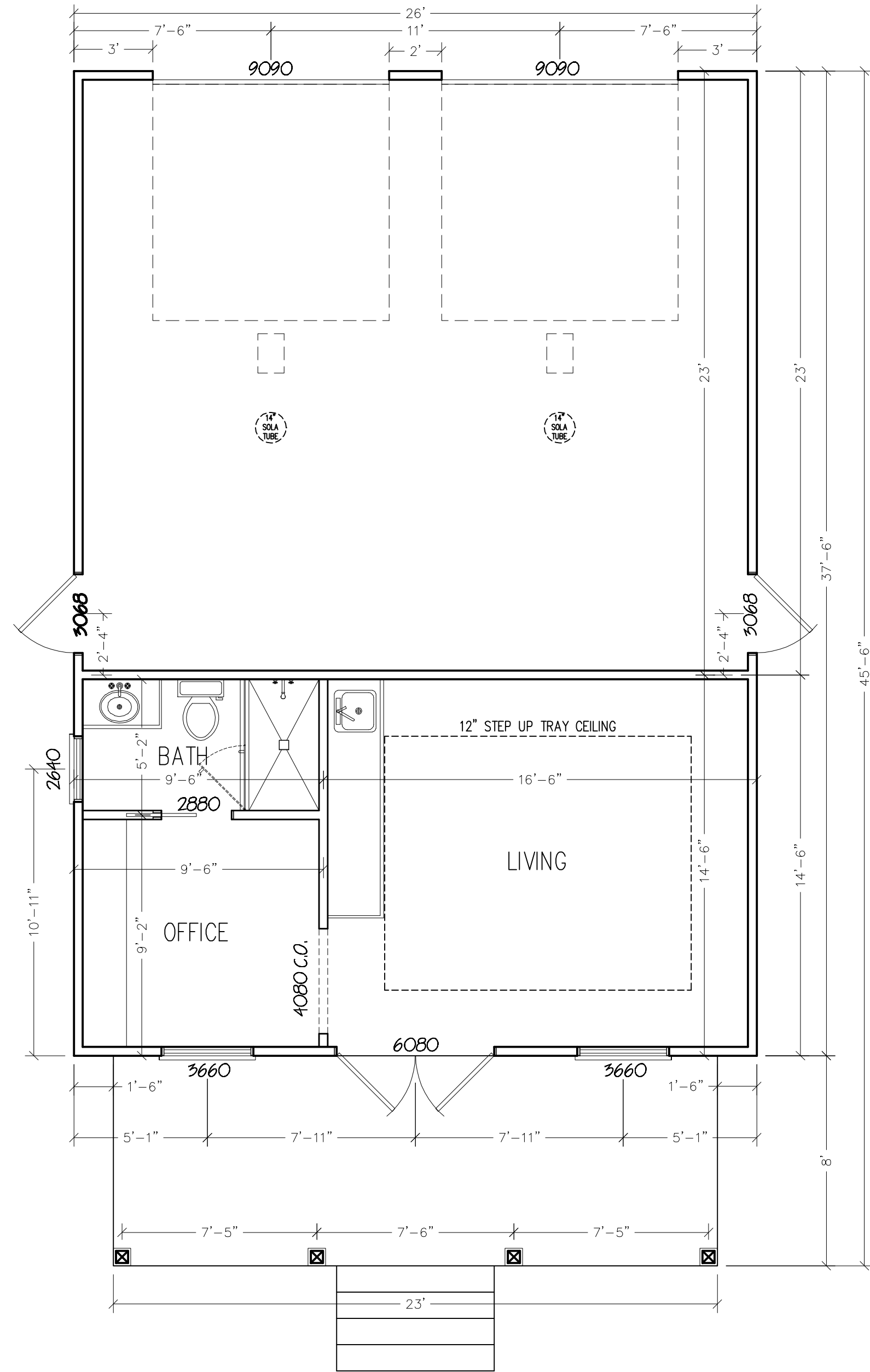


SHEET
A1



FOUNDATION PLAN

SCALE: 1/4" = 1'



1st FLOOR PLAN

SCALE: 1/4" = 1'

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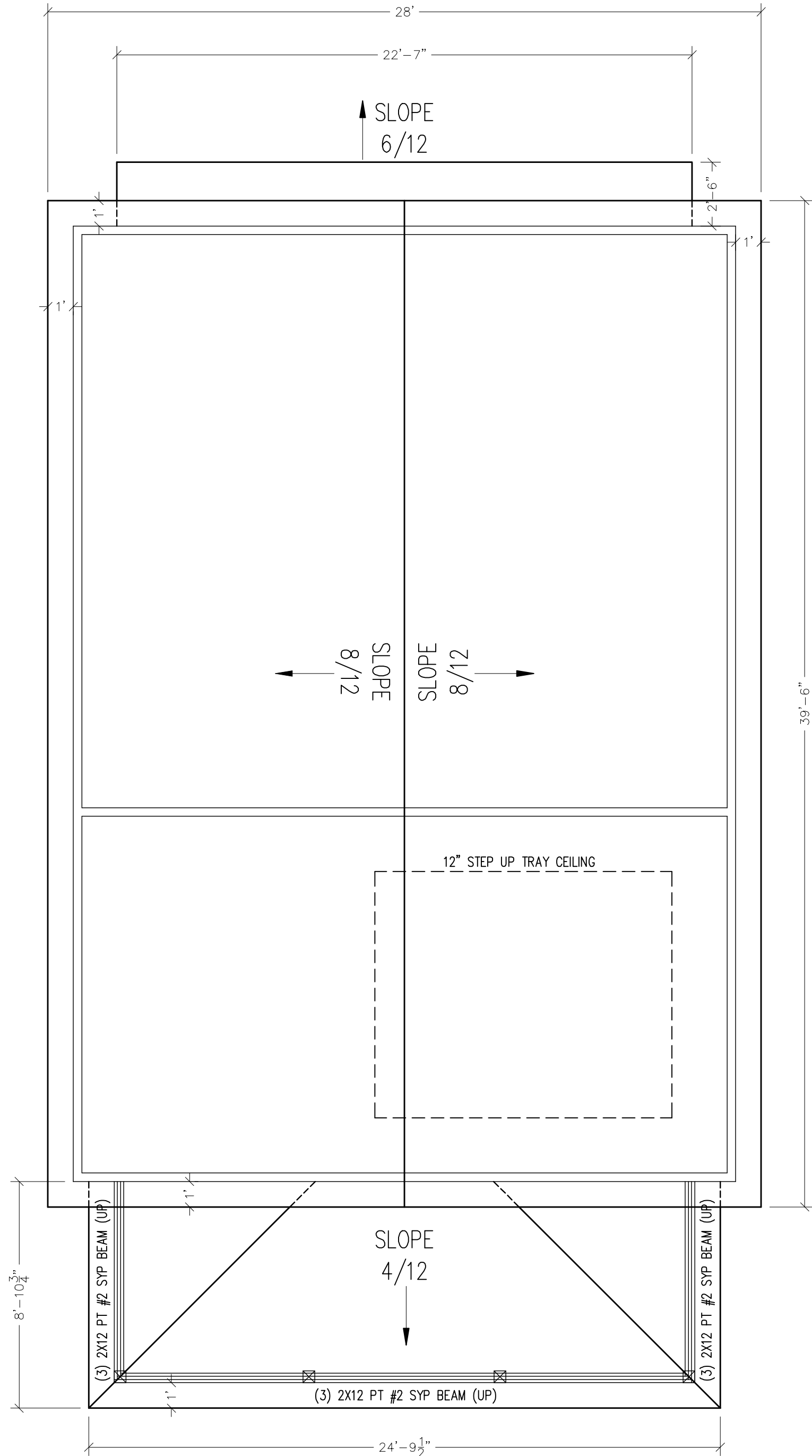
DESIGNER: DAMIAN J. SCHREY
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CARRIAGE HOUSE FOUNDATION & FLOOR PLAN
LOPEZ RESIDENCE 430 E. INTENDENCIA PENSACOLA FL. 32502

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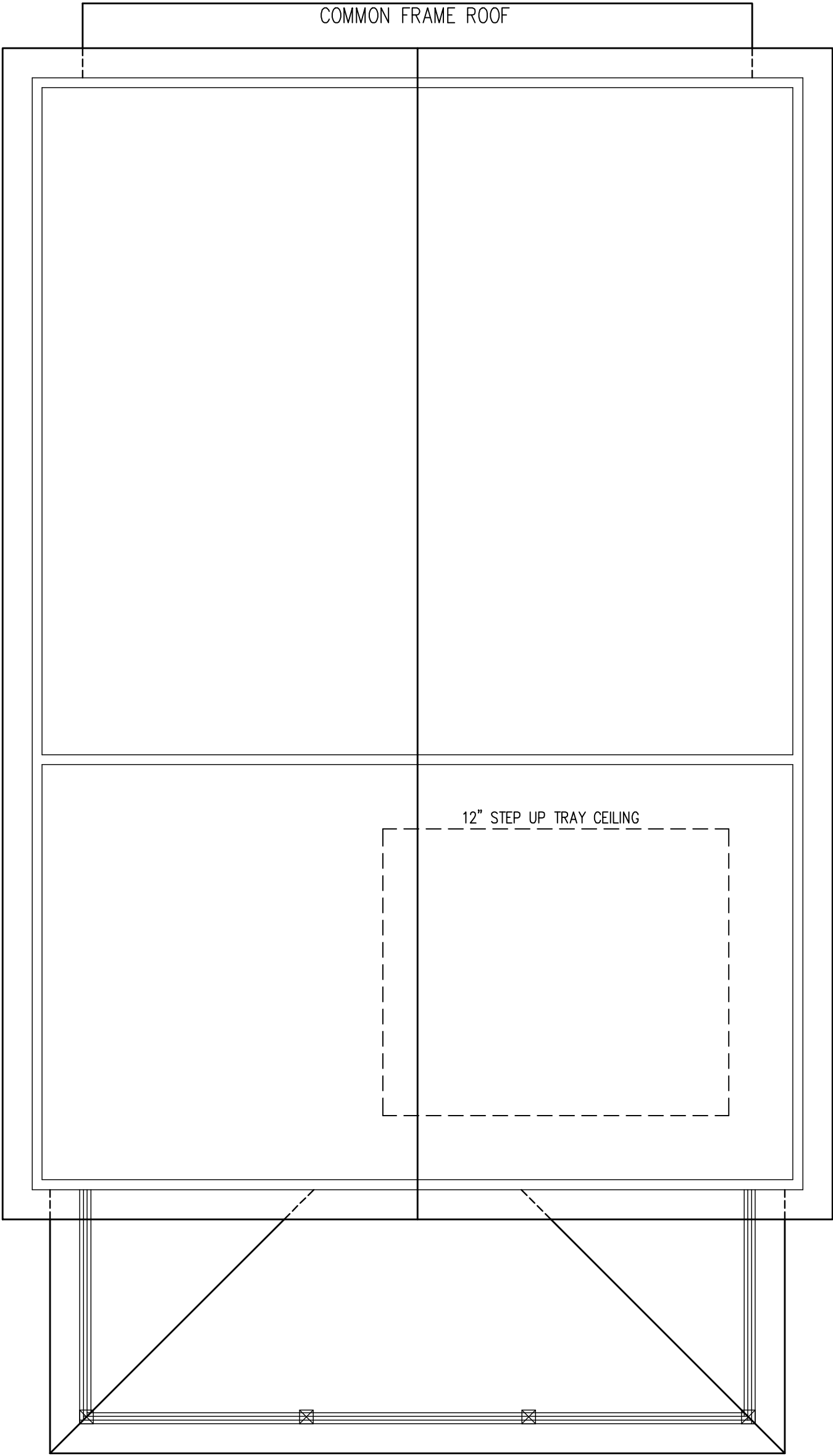


SHEET
A2



ROOF PLAN

SCALE: 1/4" = 1'



ROOF TRUSS PLAN

SCALE: 1/4" = 1'

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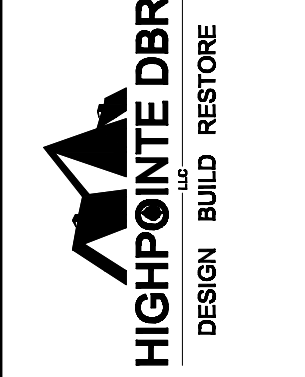
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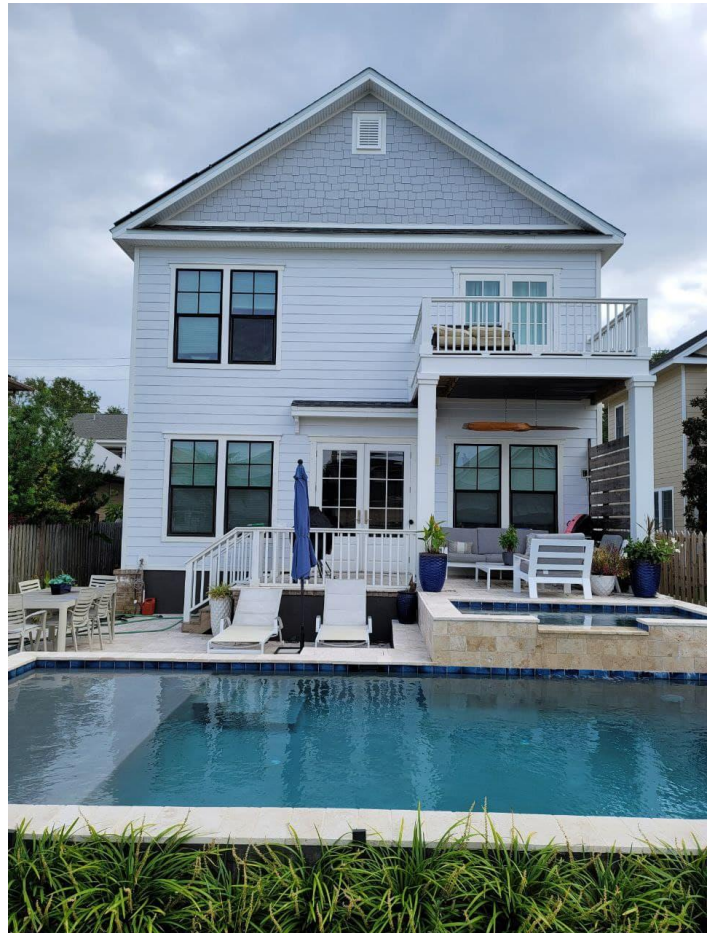
SHEET
A3

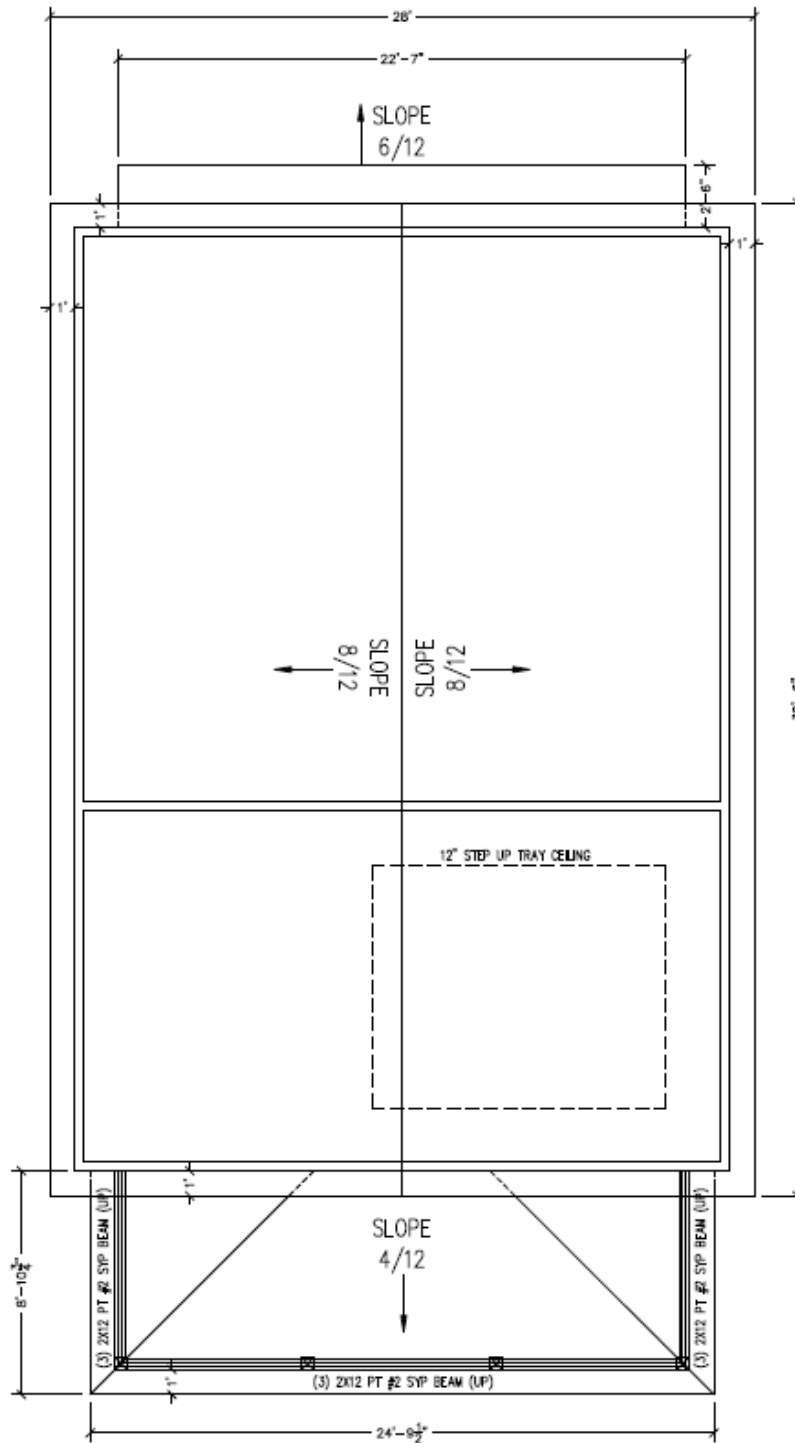
430 E. Intendencia Garage with Pool House



ALL Colors and Materials Will match the
Main House previously Approved by ARB

Main House

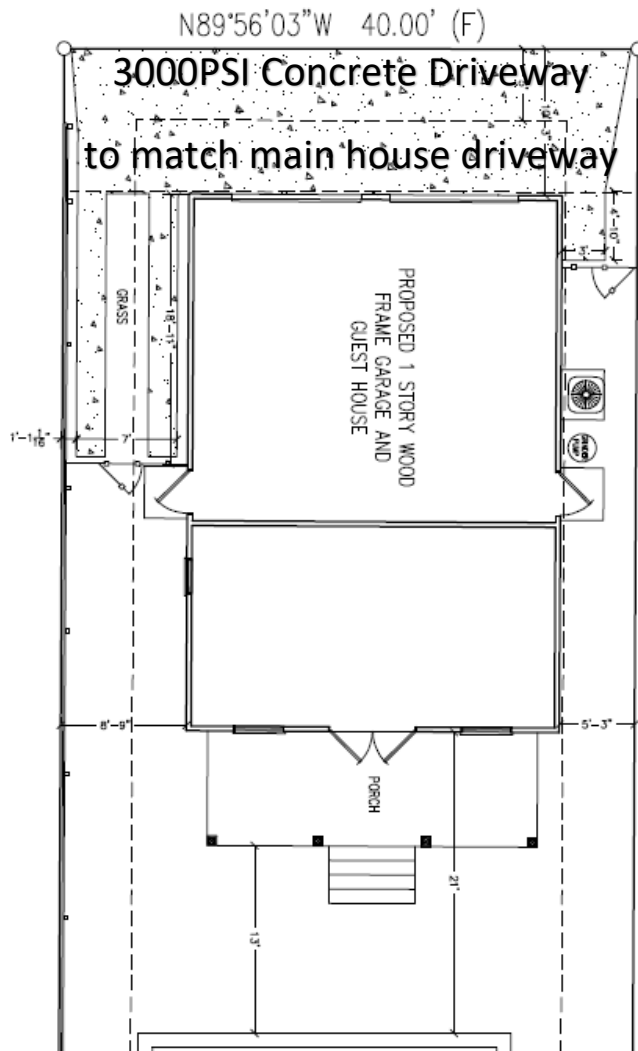




ROOF PLAN

[illegible]

ARAGON ALLEY WAY

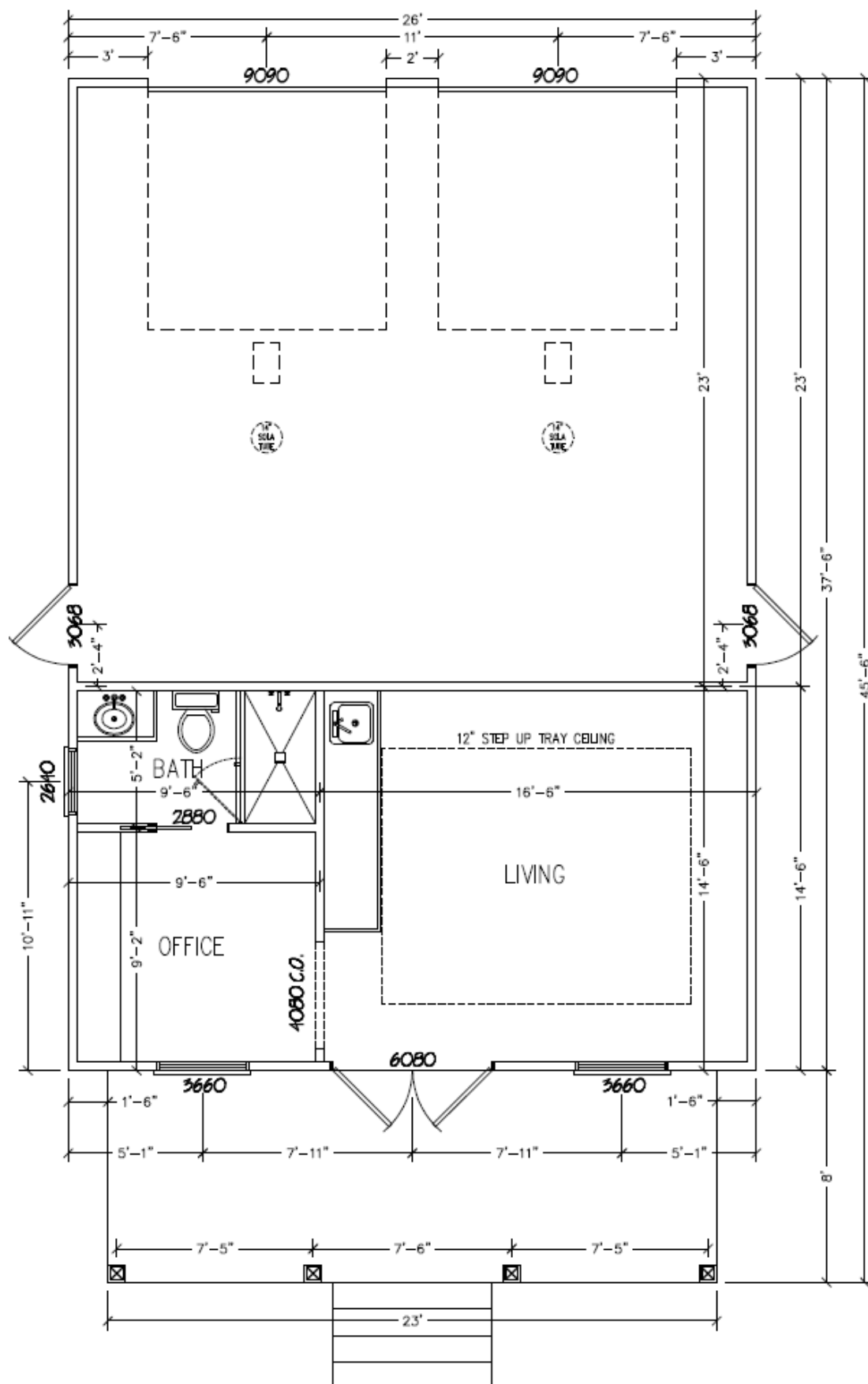


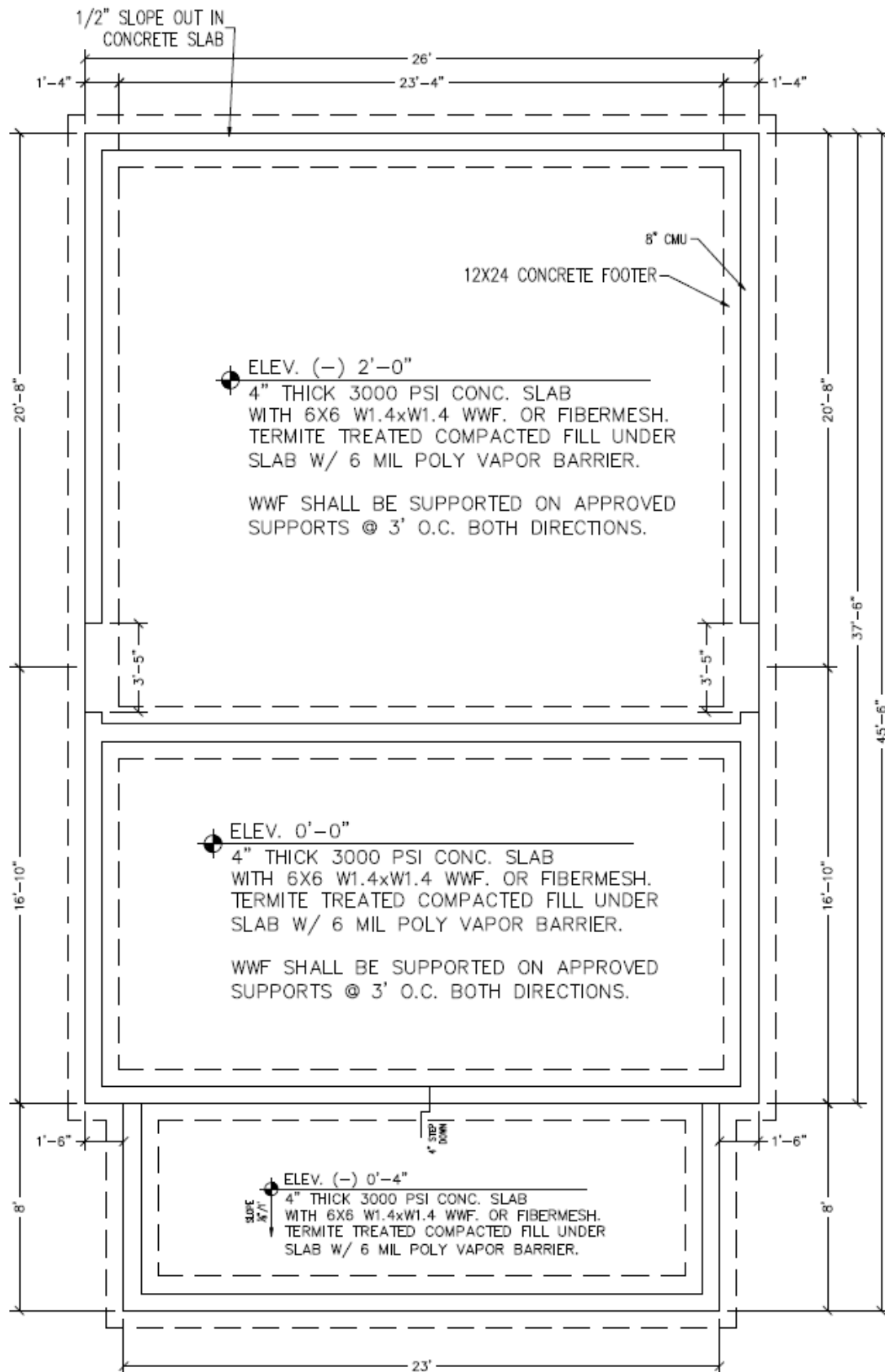
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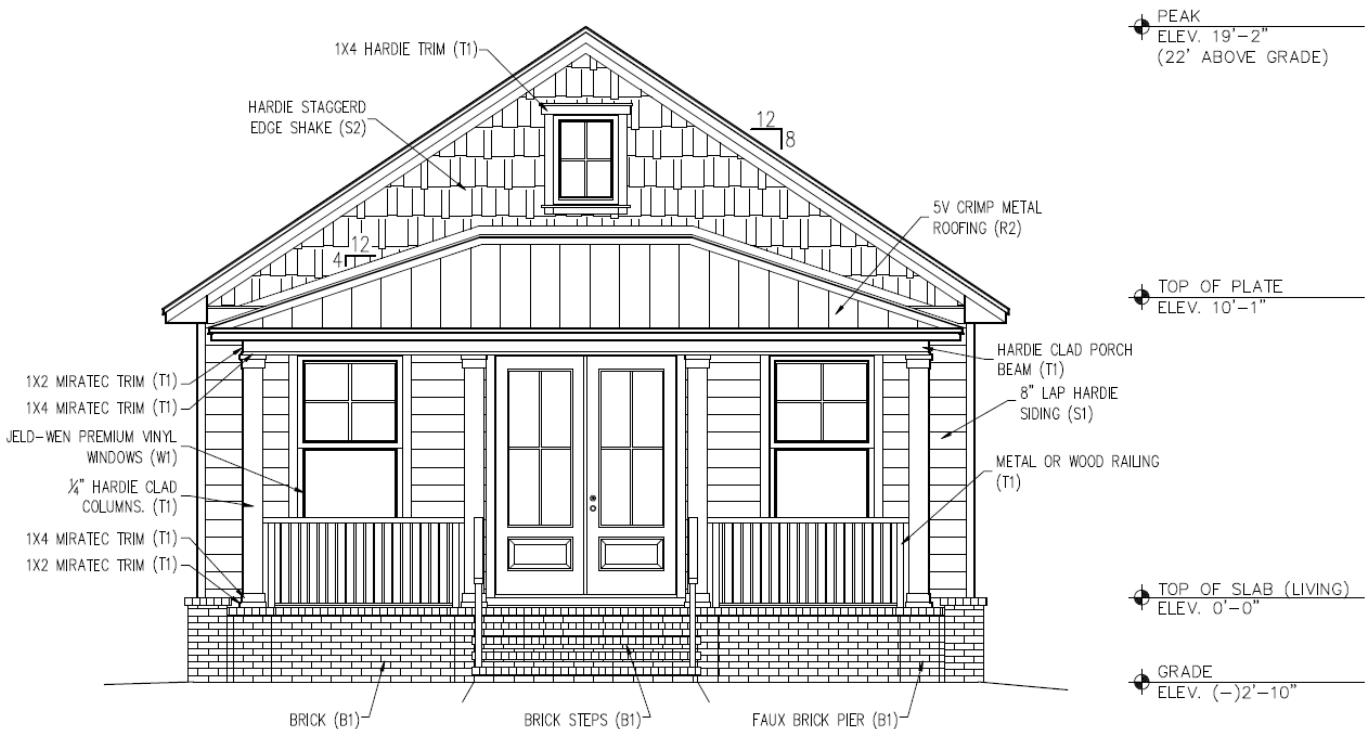
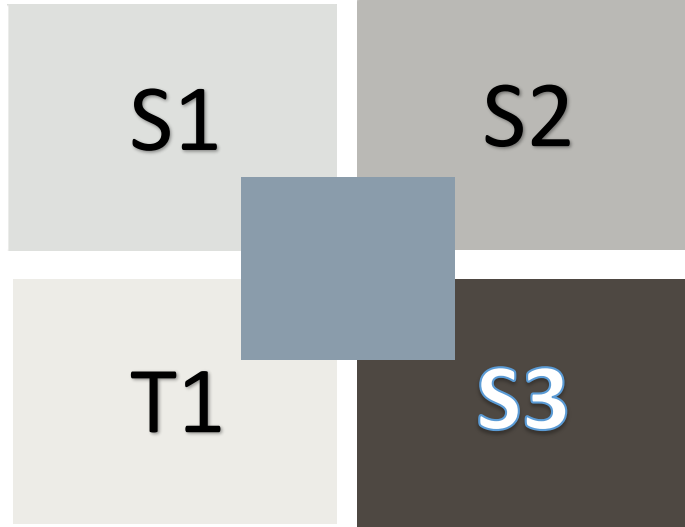


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 - OLD TOWN GRAY



Old Town Grey (W25)



SOUTH (FRONT) ELEVATION

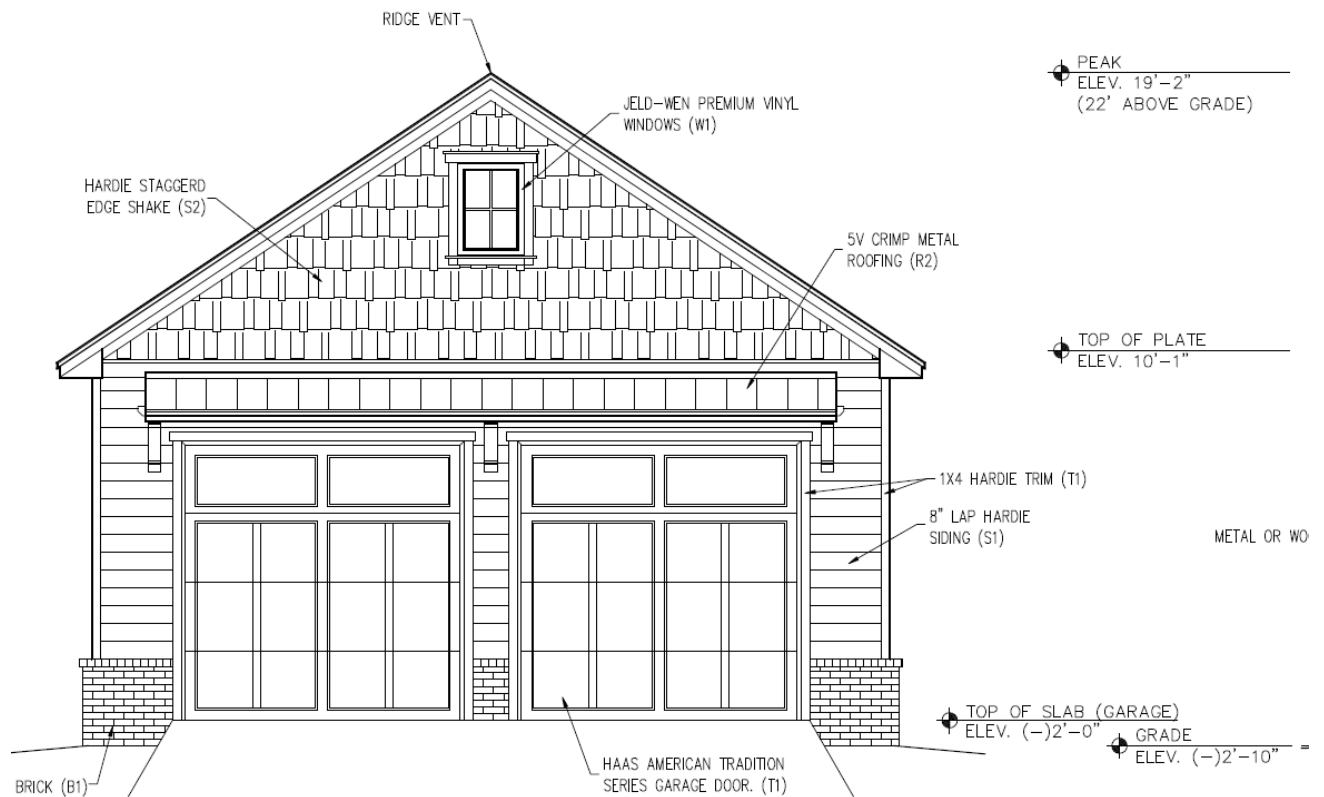
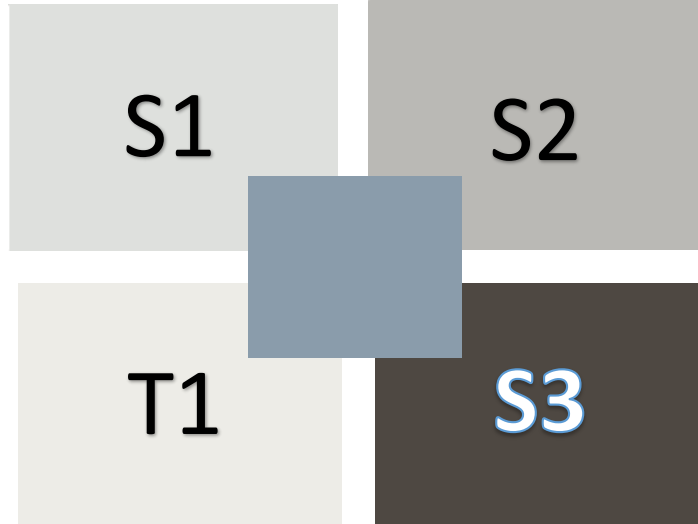
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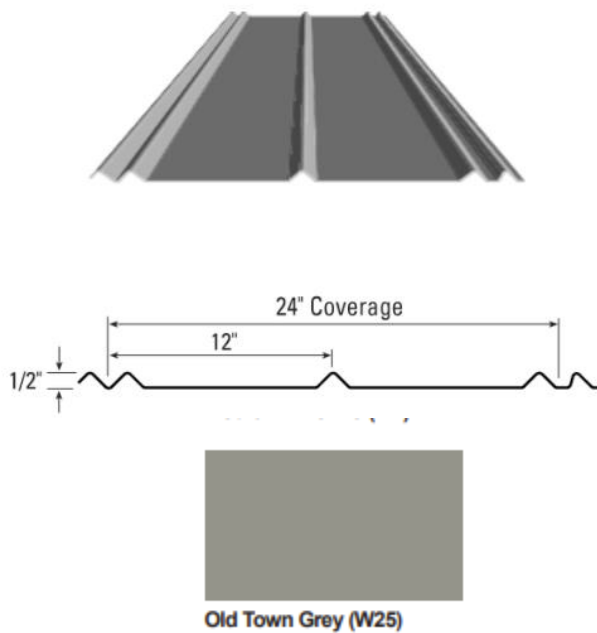
Old Town Grey (W25)



NORTH (REAR) ELEVATION

(FACING ARAGON ALLEY)

SCALE: 1/4" = 1'



5V-CRIMP

Roof

Panel Coverage: 24"

Rib Height: 1/2"

Standard Gauges: 26 ga., 29 ga.

Optional Gauge: .032" ga.

With a traditional "V" rib, 5V-Crimp offers details designed to conceal its fasteners to provide a stunning metal roof with a clean appearance.

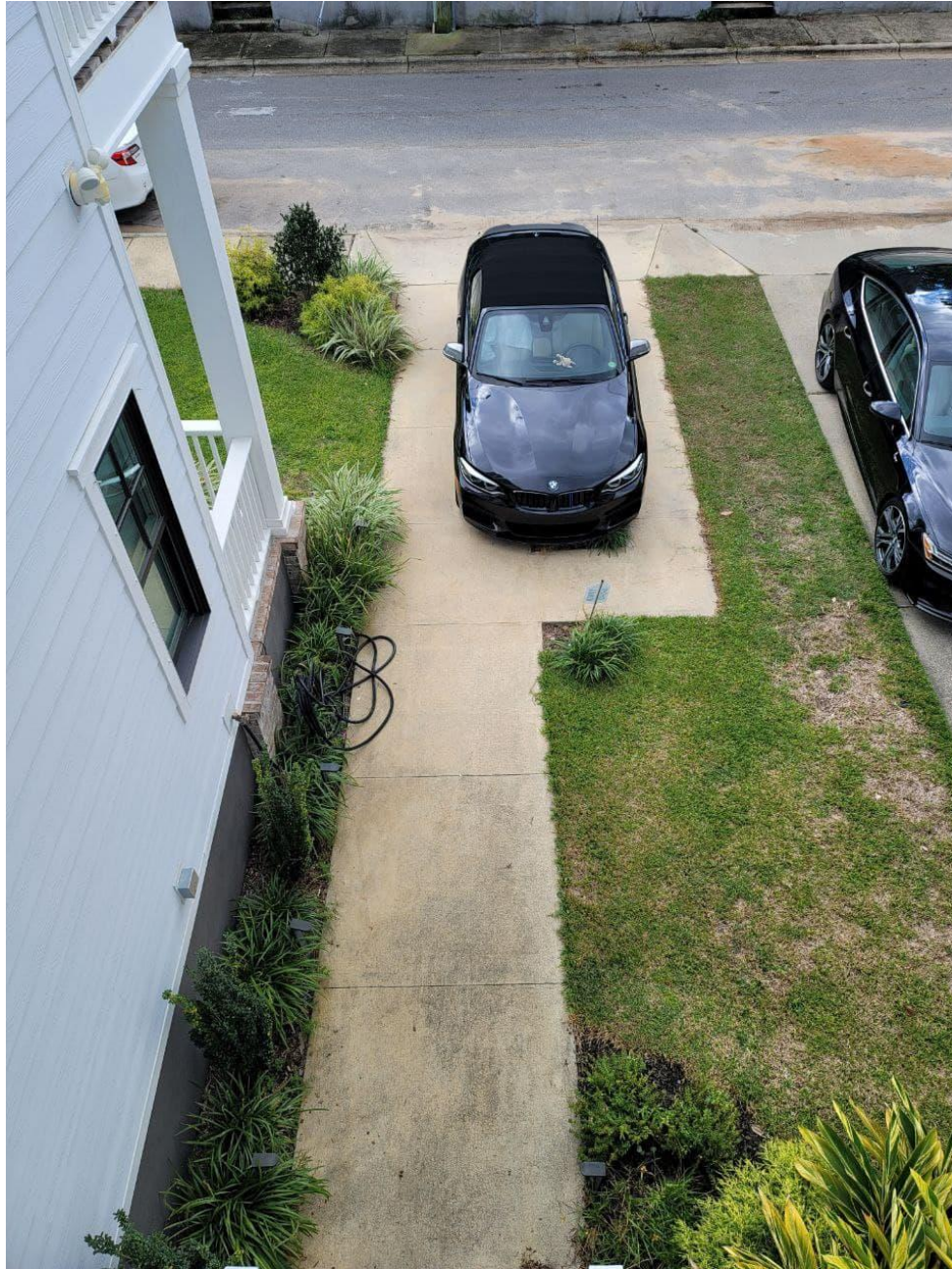


Timberline® HDZ™ Shingles

The look people know and love, now featuring LayerLock™ Technology

Weathered Wood

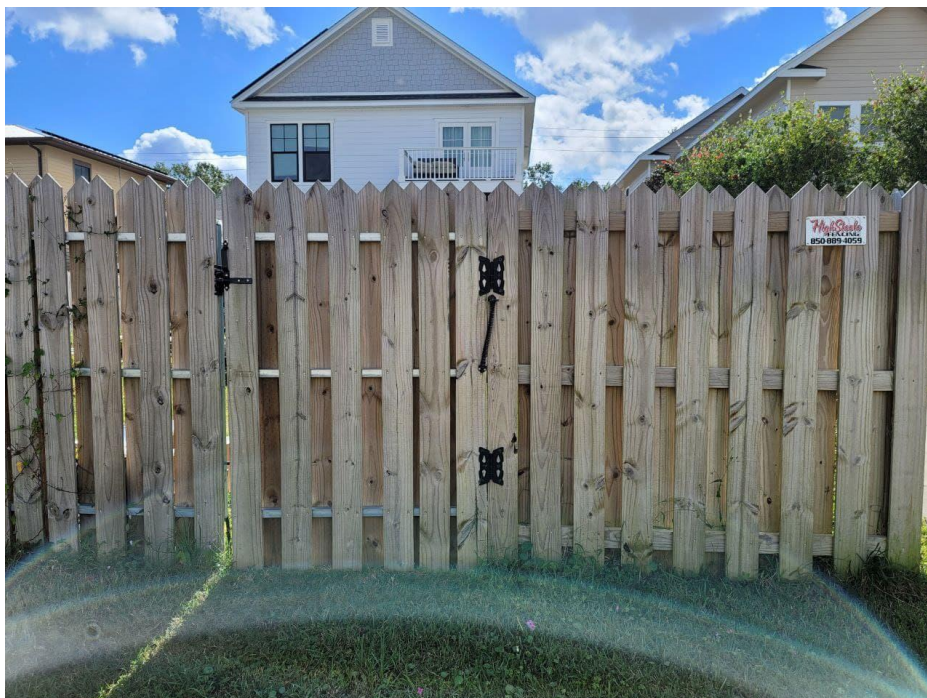
Rear driveway and parking strips will use same concrete as the front parking pad pictured below



Exterior Lighting for rear Porch and alley garage to
match Main House



Current 6 foot fence and gate on north side will be reused and relocated to extend East side to reach garage and expand backyard privacy



Actual Hardie Plank on current house. Will Use
same on Garage



NeumaDoor in White will match main house



Smooth White interior and exterior finish is standard on all doors, including the 3/4 lite panel.

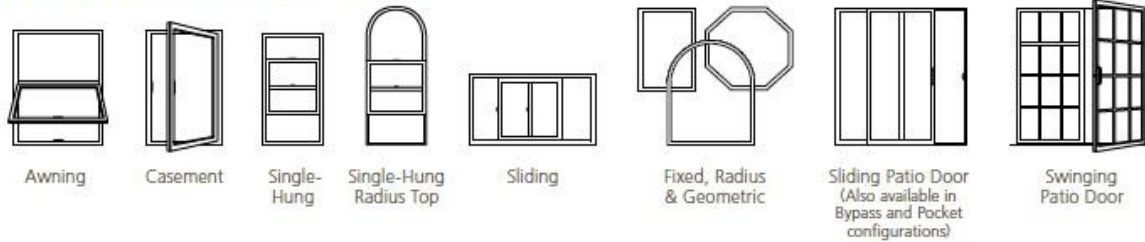
A. Simulated Divided Lites - 100% Composite 7/8" or 1-1/4" and fixed directly to the glass. For better energy efficiency than individual panes of glass. 1-1/4" SDL are unique for the 3/4" panel door only.

B. Grilles Between the Glass - 3/4" flat GBG available in classic, colonial patterns or can be customized by special order to fit our decor.

- 1 Standard with LoE3 366. Available with 3/4" I.G. LoE3 Impact Glass.
- 2 Embossed architectural design detail on exterior and interior of the panel.
- 3 Special order pre-finish options feature a refined Mahogany wood grain.

DEFINING DESIGN DETAILS

Window and Patio Door Styles



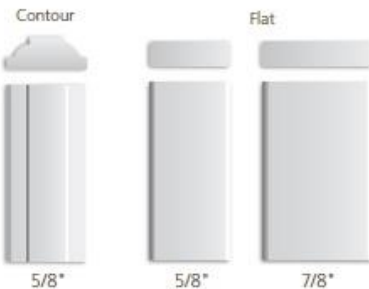
Vinyl Colors*



*Actual colors may vary from samples displayed.

**Exterior only. Interior is white.

Divided Lites



Frame Options

Integral Nailing Fin

Formed as part of the frame for strength and stability.

J-channel

Allows siding to be tucked out of sight for a clean line.

Brickmould

An exterior casing providing a boundary between siding and frame.

Box Frame

Places directly into existing window frame for easy installation.

Face Flange

Used for installation into wood buck in concrete block construction.

Flange Extender

(Flush Fin) 2-3/8"

Blinds Between the Glass (BBG)†

These blinds are thermally sealed between the glass - so there's no need for dusting.

They easily raise, lower and tilt to give you control of light and privacy.

†Available in sliding door configurations with 3'0" x 6'8" panels





AMERICAN TRADITION™

PREMIUM WOOD GRAIN COLORS



Ash



Mahogany



American
Walnut



English Oak

STANDARD BASE COLORS



Almond



Polar White



Sandstone



Gray



Bronze



Brown

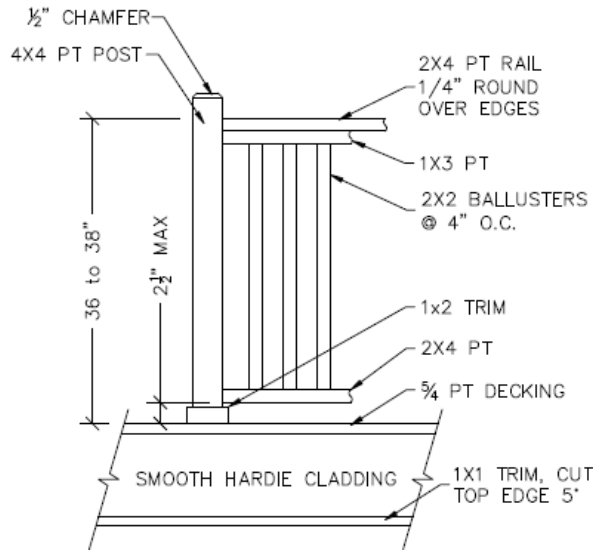


Charcoal



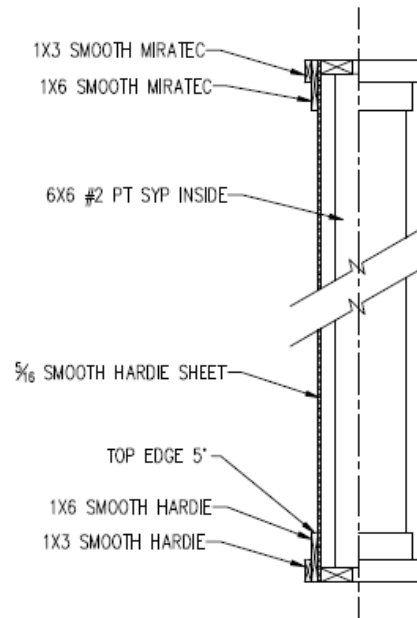
Carbon Black

- 2" Thick with Full Thermal Break (1-3/8" Base & 5/8" Overlay)
- 13.45 Calculated R-Value
- Environmentally Compliant Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Polyurethane Overlay Boards
- 12 Base & Overlay Colors
- 12 Door Designs
- 10 Window Options available in top 2 sections
- 4 Impact Polycarbonate Glazing Options
- 15 Insulated Glass Options
- 9 Non-Insulated Glass Options
- Available with Wind Load and Impact Options
- Industry Leading Warranty
- Lifetime Rust-Through & Delamination
- 10-Year Finish
- 6-Year Hardware
- 5-Year Overlay Delamination
- 3-Year Spring



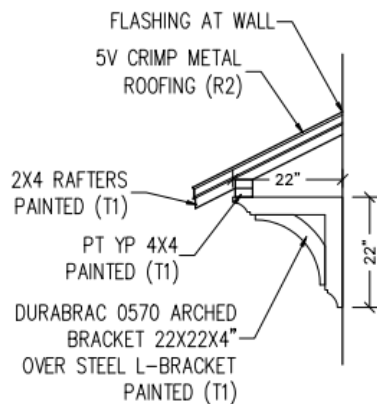
TYPICAL EXTERIOR WOOD RAILING DETAIL

SCALE: 1" = 1'



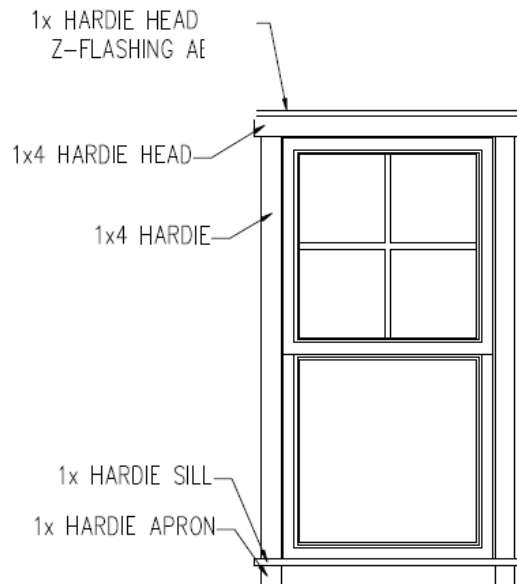
TYP. COLUMN SECTION

SCALE: 1" = 1'



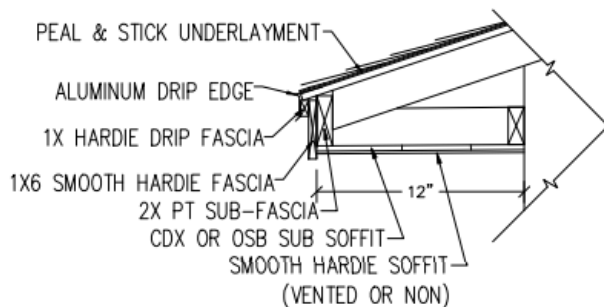
AWNING ROOF DETAIL

SCALE: NT8



EXTERIOR WINDOW TRIM DETAIL

SCALE: 3/4" = 1'



TYPICAL SOFFIT AND FASCIA DETAIL

SCALE: NT8