



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Agenda - Final

Community Redevelopment Agency

The City of Pensacola Community Redevelopment Agency was created by the City Council and is a dependent special district in accordance with the Florida State Statutes Chapter 189 (Resolution No. 55-80 adopted on September 25, 1980; and amended Resolution No. 22-10 adopted on August 19, 2010.)

Monday, April 10, 2023

3:30 PM

Council Chambers, 1st Floor

Immediately following City Council Agenda Conference starting at 3:30 P.M.

Members of the public may attend the meeting in person.

CALL MEETING TO ORDER

Members: Teniade Broughton-Chairperson, Jennifer Brahier-Vice Chairperson, Charles Bare, Casey Jones, Jared Moore, Allison Patton, Delarian Wiggins

BOARD MEMBER DISCLOSURE

Board Members disclose ownership or control of interest directly or indirectly of property in the Community Redevelopment Area

CHAIRMAN'S REPORT

APPROVAL OF MINUTES

1. [23-00307](#) CRA MEETING MINUTES - 03/06/2023

Attachments: [CRA MEETING MINUTES - 03/06/2023](#)

PRESENTATIONS

ACTION ITEMS

2. [23-00161](#) AMENDMENT NO. 4 TO CONTRACT WITH SCAPE LANDSCAPE ARCHITECTURE, DPC FOR DESIGN ASSISTANCE SERVICE
- Recommendation:** That the Community Redevelopment Agency (CRA) approve Amendment No. 4 to the contract with SCAPE Landscape Architecture, DPC for design assistance services for the Hashtag Waterfront Connector Project. Further, that the CRA authorize the CRA Chairperson to take all actions necessary to execute the contract amendment.
- Sponsors:** Teniade Broughton
- Attachments:** [Amendment No 4 - SCAPE Contract for Design Services](#)
[Amendment No. 4 - Proposal \(Exhibit A\)](#)
3. [23-00195](#) REQUEST TO TEMPORARILY SUSPEND AND RE-NEGOTIATE AN AGREEMENT WITH THE CRA RELATED TO 100 W INTENDENCIA ST.
- Recommendation:** That the Community Redevelopment Agency (CRA) consider suspending the deed restrictions set forth in the special warranty deed for the property addressed as 100 West Intendencia Street (formally 120 W. Government Street) for a period of sixty (60) days, beginning on April 11, 2023, to permit a prospective buyer to acquire the property and to re-negotiate an agreement with the CRA for the redevelopment of the subject property.
- Sponsors:** Teniade Broughton
- Attachments:** [Development Proposal](#)
[Special Warranty Deed](#)
[Amendment Extending Construction Commencement](#)
[Approved Plans](#)
[Location Map](#)
[Prospective Buyer Request](#)

DISCUSSION ITEMS

OPEN FORUM

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 436-5640 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00307

Community Redevelopment Agency 4/10/2023

SUBJECT:

CRA MEETING MINUTES - 03/06/2023

City of Pensacola



COMMUNITY REDEVELOPMENT AGENCY

Meeting Minutes

March 6, 2023,

3:53 P.M.

Council Chambers

The Community Redevelopment Agency (CRA) Board meeting was called to order by Chairperson Broughton at 3:53 P.M. (Immediately following the 3:30 P.M. City Council Agenda Conference).

CALL MEETING TO ORDER

CRA MEMBERS PRESENT: Teniade Broughton, Jennifer Brahier, Charles Bare, Casey Jones, Jared Moore(arrived 3:57p.m.), Allison Patton, Delarian Wiggins

CRA MEMBERS ABSENT: None

Public participation was available as follows:

Members of the public may attend the meeting in person.

The meeting can also be watched live stream at:

<https://www.cityofpensacola.com/428/Live-Meeting-Video>

BOARD MEMBER DISCLOSURE

BOARD MEMBERS DISCLOSE OWNERSHIP OR CONTROL OF INTEREST DIRECTLY OR INDIRECTLY OF PROPERTY IN THE COMMUNITY REDEVELOPMENT AREA

CRA Member's Patton and Wiggins disclosed ownership or control of interest directly or indirectly of property in the Community Redevelopment Area.

CHAIRMAN'S REPORT

None.

APPROVAL OF MINUTES

1. [23-00204 CRA & SPECIAL CRA MEETING MINUTES - 2/06/2023 & 2/23/2023](#)

A motion was made by CRA Member Charles Bare, seconded by CRA Member Jennifer Brahier.

Councilman Moore was not yet seated when the vote was taken. His verbal yes was notated at 3:57p.m.

The motion carried by the following vote:

Yes: 7 Teniade Broughton, Casey Jones, Delarian Wiggins,
Jennifer Brahier, Allison Patton, Charles Bare, Jared
Moore(via 3:57p.m.)

No: 0 None

PRESENTATIONS

2. [23-00164 BRUCE BEACH PHASE 2B - 60% DESIGN](#)

Director of Development Services Sherry Morris introduced the item. Allen Vinson, Project Design Manager for HDR Inc., Linh Pham, Senior Associate for Scape Landscape Architecture, and Deputy City Administrator David Forte, all spoke to the item and answered questions accordingly.

ACTION ITEMS

3. [23-00160 WAIVER OF PLAZA DE LUNA DOCKING FEES FOR TALL SHIPS FESTIVAL](#)

Recommendation: That the Community Redevelopment Agency (CRA) approve a fee waiver for docking of the Nao Trinidad, SSV Ernestina-Morrissey, Pride of Baltimore II, When and If and Glenn L Swetman at Plaza de Luna from April 27, 2023, to May 2, 2023, in support of the 2023 Tall Ships Festival provided that the CRA be promoted as an event sponsor.

A motion was made by CRA Member Allison Patton, seconded by CRA Member Casey Jones.

Director of Development Services Sherry Morris provided an overview of the item. Michelle Sarra of The Marketing Bar, representative for Tall Ships, spoke to the item and staff answered questions accordingly.

The motion carried by the following vote:

Yes: 7 Teniade Broughton, Casey Jones, Delarian Wiggins, Jared Moore, Jennifer Brahier, Allison Patton, Charles Bare

No: 0 None

4. [23-00142](#) CRA COMMERCIAL PROPERTY IMPROVEMENT PROGRAM AWARD - FRANK MARSTON AMERICAN LEGION POST #33

Recommendation: That the Community Redevelopment Agency (CRA) approve a Commercial Property Improvement Program funding award, in an amount not to exceed \$140,000.00, to the Frank Marston Post 33, Incorporated, The American Legion, Department of Florida for eligible improvements to the property located at 1401 W. Intendencia Street, Pensacola, Florida. Further, that the CRA authorize the CRA Chairperson to take all actions necessary to complete the project pursuant to the program documents.

A motion was made by CRA Member Delarian Wiggins, seconded by CRA Member Casey Jones.

Director of Development Services Sherry Morris turned the item over to Hilary Halford, CRA Program Manager, who provided an overview. Rick Cusimano, Post Commander for American Legion Post #33 and Nicole Dixon, Vice Commander for American Legion Post #33, spoke to the item and staff responded to questions accordingly.

The motion carried by the following vote:

Yes: 6 Teniade Broughton, Casey Jones, Delarian Wiggins, Jared Moore, Jennifer Brahier, Allison Patton,

No: 1 Charles Bare

5. [23-00177 CONSTRUCTION COMMENCEMENT EXTENSION REQUEST - 150 S BAYLEN STREET REDEVELOPMENT PROJECT](#)

Recommendation: That the Community Redevelopment Agency (CRA) consider a request from Red Feather Developers, LLC for an extension to the construction commencement deadline on redevelopment of the property at 150 South Baylen Street for a period of one year, through March 31, 2024.

A motion was made by CRA Member Casey Jones, seconded by CRA Member Delarian Wiggins.

Director of Development Services Sherry Morris gave an overview of the item. City Attorney Charlie Pepler spoke to the item and staff responded accordingly to questions.

Following discussion by the Board Members, a motion was made by CRA Member Broughton, seconded by CRA Member Brahier, that the extension be contingent upon Red Feather Developers, LLC's acknowledgement of all conditions and restrictions in Special Warranty Deed Book 7770, Page 1928, and that the repurchase deadline be extended 180 days with the giving of a 60-day notice.

The motion carried by the following vote:

Yes: 7 Teniade Broughton, Casey Jones, Delarian Wiggins, Jared Moore, Jennifer Brahier, Allison Patton, Charles Bare

No: 0 None

6. [RESOLUTION NO. 2023-02 CRA ADD-ON: ACQUIRING REAL PROPERTY AT 401 N. REUS ST.](#)

Recommendation: That the Community Redevelopment Agency (CRA) adopt Resolution No. 2023-02 CRA

A RESOLUTION OF THE CITY OF PENSACOLA, FLORIDA, COMMUNITY REDEVELOPMENT AGENCY RELATING TO COMMUNITY REDEVELOPMENT WITHIN THE URBAN CORE COMMUNITY REDEVELOPMENT AREA; PROVIDING FINDINGS; APPROVING AND AUTHORIZING THE EXPENDITURE OF CRA FUNDS TO ACQUIRE CERTAIN REAL PROPERTY THEREIN LOCATED AT 401 NORTH REUS STREET IN FUTHERANCE OF THE PURPOSES ESTABLISHED IN CHAPTER 163 PART III, FLORIDA STATUTES, AND THE URBAN CORE REDEVELOPMENT PLAN; AND PROVIDING AN EFFECTIVE DATE.

A motion was made by CRA Member Allison Patton, seconded by CRA Member Casey Jones.

Following discussion by the Board Members, Board Member Bare asked that a vote first take place, to add-on Resolution No. 2023-02 CRA to the agenda before discussion. A hand vote took place.

The vote was:

Yes: 7 Teniade Broughton, Casey Jones, Delarian Wiggins, Jared Moore, Jennifer Brahier, Allison Patton, Charles Bare

No: 0 None

Director of Development Services Sherry Morris introduced the item. City Administrator Kerrith Fiddler, City Finance Director Amy Lovoy, City Property Lease Manager Deana Stallworth, and Deputy City Administrator David Forte all spoke to the item and answered questions accordingly.

The motion carried by the following vote:

Yes: 7 Teniade Broughton, Casey Jones, Delarian Wiggins, Jared Moore, Jennifer Brahier, Allison Patton, Charles Bare

No: 0 None

DISCUSSION ITEMS

None.

OPEN FORUM

None.

ADJOURNMENT
5:27 P.M.

APPROVED _____



Memorandum

File #: 23-00161

Community Redevelopment Agency 4/10/2023

ACTION ITEM

SPONSOR: Teniade Broughton, Chairperson

SUBJECT:

AMENDMENT NO. 4 TO CONTRACT WITH SCAPE LANDSCAPE ARCHITECTURE, DPC FOR DESIGN ASSISTANCE SERVICE

RECOMMENDATION:

That the Community Redevelopment Agency (CRA) approve Amendment No. 4 to the contract with SCAPE Landscape Architecture, DPC for design assistance services for the Hashtag Waterfront Connector Project. Further, that the CRA authorize the CRA Chairperson to take all actions necessary to execute the contract amendment.

SUMMARY:

On October 5, 2020, the Community Redevelopment Agency (CRA) approved a contract with SCAPE Landscape Architecture to assist with design consistency and community engagement services for the Hashtag and Bruce Beach waterfront connector projects.

In 2022, the CRA solicited bids for the first phase of the Hashtag Waterfront Connector Project (Main Street) on numerous occasions but was unsuccessful in obtaining a responsive bid. As a result, the scope of the project was modified to focus improvements on traffic calming and bicycle improvements. Before proceeding further with the project, it is recommended that consistency review be performed by SCAPE as has been performed on the project historically. The scope of service includes review of the modified plans and proposal of alternative concepts (if any) to assist in aligning the proposed design with the original Hashtag Waterfront Connector design intent. Amendment No. 4 must be approved to provide this service.

PRIOR ACTION:

October 5, 2020 - The CRA approved a contract for design services with SCAPE Landscape Architecture DPC in an amount not to exceed \$75,000.

July 12, 2021 - The CRA approved an amendment to the contract with SCAPE expanding the scope of services and increasing the contract amount by \$75,000 for a total contract amount not to exceed \$150,000.

September 20, 2021 - The CRA approved Amendment No. 2 to the contract with SCAPE to extend their participation on the project to provide consistency review through 90% design completion, including an additional public engagement meeting.

July 18, 2022 - The CRA approved Amendment No. 3 to the contract with SCAPE extend the firm's participation on the Bruce Beach Phase 2 project through 100% design completion and during CRA meetings at 60% and 90% milestones. Further, the CRA accepted a scrivener's error in the board memo approving Amendment No. 2 of the contract, adjusting the total funding authorized by Amendment No. 2.

FUNDING:

Budget: \$210,000

Actual:	\$202,500	Contract Amount
	<u>\$ 7,500</u>	Amendment No. 4
	\$210,000	

FINANCIAL IMPACT:

Approval of Amendment No. 4 will add \$7,500 for a total contract amount of \$210,000.

LEGAL REVIEW ONLY BY CITY ATTORNEY: Yes

3/28/2023

STAFF CONTACT:

David Forte, Deputy City Administrator
Sherry Morris, Development Services Director
Victoria D'Angelo, CRA Assistant Manager
Brad Hinote, City Engineer

ATTACHMENTS:

- 1) Amendment No. 4 - SCAPE Contract for Design Services
- 2) Amendment No. 4 - Proposal (Exhibit A)

PRESENTATION: Yes

**CONTRACT BETWEEN CITY OF PENSACOLA COMMUNITY REDEVELOPMENT
AGENCY AND SCAPE LANDSCAPE ARCHITECTURE DPC**

AMENDMENT NO. 4

THIS AMENDMENT NO. 3 TO THE Contract Between City of Pensacola Community Redevelopment Agency and SCAPE Landscape Architecture DPC ("Amendment No. 4") made and entered into this _____ day of ____ 2023, by and between the City of Pensacola Community Redevelopment Agency, hereinafter referred to as "CRA" and SCAPE Landscape Architecture DPC, hereinafter referred to as "Contractor"

WITNESSETH:

WHEREAS, the CRA and the Contractor entered into the Contract Between City of Pensacola Community Redevelopment Agency and SCAPE Landscape Architecture DPC dated November 17, 2020 ("Original Contract") to provide Consistency Review Services for the Hashtag and Bruce Beach Waterfront Connectivity Projects ("Original Services"); and

WHEREAS, the parties now desire to amend the Original Contract to provide for Additional Services as defined below;

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained, it is agreed that the Original Contract shall be hereby amended as follows:

1. The Contractor shall perform all work and additional services described in and in accordance with the Proposal for Additional Services ("Additional Services"), attached hereto as Exhibit A. Those Additional Services shall be performed in accordance with Section 2 of the Original Contract.
2. Payment for the Additional Services will be in accordance with the fee schedule and payment terms described in Exhibit A. All other provisions of Section 4 of the Original Contract shall apply.
3. The Contractor shall commence and complete all Additional Services in accordance with the schedule contained in Exhibit A.
4. In compliance with the provisions of F.S. 448.095, the parties to this Amendment No. 4 and any subcontractors engaged in the performance of this contract hereby certify that they have registered with and shall use the E-Verify system of the United States Department of Homeland Security to verify the work authorization status of all newly hired employees, within the meaning of the statute.

5. All other terms and conditions of the Original Contract not amended hereby shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment No. 4 to the Contract between City of Pensacola Community Redevelopment Agency and SCAPE Landscape Architecture DPC on the date first above written.

CONTRACTOR

**COMMUNITY REDEVELOPMENT
AGENCY OF THE CITY OF
PENSACOLA, FLORIDA**

SCAPE Landscape Architecture DPC
(Contractor's Name)

Chairperson, Teniade Broughton

By _____
President

City Clerk, Ericka L. Burnett

(Printed President's Name)

Approved As To Substance:

Attest _____
Corporate Secretary

CRA Manager

Legal in form and valid as drawn:

(CORPORATE SEAL)

City Attorney

EXHIBIT A

SCAPE LANDSCAPE ARCHITECTURE DPC

277 BROADWAY NINTH FLOOR NEW YORK NY 10007

T 212 462 2628 SCAPESTUDIO.COM

PROPOSAL FOR ADDITIONAL DESIGN REVIEW SERVICES

Pensacola Hashtag Connector

February 14, 2023

Brad Hintoe, P.E.
City Engineer
City of Pensacola
222 W Main Street
Pensacola, FL 32502

SCOPE OF SERVICES

As discussed in our meeting on Friday, February 3rd, 2023, SCAPE is pleased to submit the following request for additional services. This document outlines our additional scope and fee to develop the following services:

- Design consistency review services for revised design of the Hashtag Connector (phase 1)

DESIGN CONSISTENCY REVIEW SERVICES FOR REVISED DESIGN OF THE HASTHAG CONNECTOR – PHASE 1 (6 WEEKS)

- Participate in coordination calls with Dewberry and the client team. Assume two conference calls.
- Review plans and documentation prepared by Dewberry and provide written comments. Assume one (1) round of reviews and comments.
- Proposed alternative concepts to assist in aligning the proposed design with the original Hashtag Connector design intent. Assume up to two (2) sketches to communicate alternative concepts.

SCAPE assumes the following deliverables:

- o Written memo to outline review comments
- o Up to two (2) concept sketches

SCAPE assumes our work will commence upon approval and will run a consecutive 6 weeks.

Services outlined under the Scope of Services shall be provided per the Terms and Conditions in the Agreement for Professional Services dated November 17th, 2020.

FEES FOR PROFESSIONAL SERVICES

Project Phase	Duration	SCAPE Fee	Payment Term
Design consistency review services	6 weeks	<u>\$7,500</u>	Fixed fee
TOTAL FEE FOR ADDITIONAL SERVICES		<u>\$7,500</u>	

PAYMENT TERMS:

Fixed Fee: Fixed fee phases shall be invoiced monthly based on the percentage of work completed within the billing period.

HOURLY BILLING RATES

Services outlined under the Scope of Services are based on our hourly billing rates. Current rates are as follows:

Founding Principal	\$350/Hour
Principal	\$300/Hour
Director	\$220/Hour
Senior Associate	\$190/Hour
Associate	\$150/Hour
Senior Designer	\$135/Hour
Designer	\$110/Hour

Rates are valid for the current calendar year and may be increased subsequently without written notice. Additional Services shall be computed with the hourly billing rate at the time of the add service. Services outlined under the Scope of Services shall be provided per the Fees and Terms in the Agreement for Professional Services.

SIGNATURE PAGE

SCAPE requires a signed proposal, a Notice-to-Proceed to start work. Upon acceptance of this proposal, this scope for additional services will be under the already existing terms and agreement between SCAPE and the Client team.

Landscape Architect

Client

SCAPE / LANDSCAPE ARCHITECTURE DPC

Community Redevelopment Agency of the City of Pensacola



By: Alexis Landes
Title: Managing Principal
Date: 2/14/2023

By: _____
Title: _____
Date: _____



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00195

Community Redevelopment Agency 4/10/2023

ACTION ITEM

SPONSOR: Teniade Broughton, Chairperson

SUBJECT:

REQUEST TO TEMPORARILY SUSPEND AND RE-NEGOTIATE AN AGREEMENT WITH THE CRA RELATED TO 100 W INTENDENCIA ST.

RECOMMENDATION:

That the Community Redevelopment Agency (CRA) consider suspending the deed restrictions set forth in the special warranty deed for the property addressed as 100 West Intendencia Street (formally 120 W. Government Street) for a period of sixty (60) days, beginning on April 11, 2023, to permit a prospective buyer to acquire the property and to re-negotiate an agreement with the CRA for the redevelopment of the subject property.

SUMMARY:

On December 5, 2016, the CRA declared the property located at 120 West Government Street surplus and available for redevelopment. Subsequently, a Notice of Disposition/Request for Proposals (RFP) was published in the Pensacola News Journal for redevelopment of the property in accordance with Chapter 163, Part III, Florida Statutes. A contract for sale of the property was awarded to Steven and Paul Grimes, managers of G Squared Pensacola, LLC (as later assigned) on September 11, 2017 in response to a development proposal received by the developer. Requirements for redevelopment of the property were secured by deed restrictions within the special warranty deed. The restrictions require that the property be used only for a professional office and residential mixed use development including no less than 10 units.

Subsequent to the sale, the property was split into two parcels. The parcel to the south remains addressed as 120 West Government Street, while the parcel to the north is addressed as 100 West Intendencia Street. A Notice of Commencement was issued on August 22, 2018 for construction of a 6-unit mixed use building now known as the Imperium building. The building includes 3 commercial units with 3 two-level condominium units located above them. A certificate of occupancy was issued for completion of the Imperium on October 23, 2019. No further construction has been performed to date, leaving 4 units still to be developed. The deadline for completion of the 10 units was January 5, 2020. Since only 6 of the 10 units have been completed to-date, liquidated damages are accruing at a rate of \$1,000 per day in accordance with the restrictions.

At the CRA's February 2023 meeting, G Squared Pensacola, LLC submitted a request to modify the deed restrictions. The CRA authorized staff to further negotiate an amendment to the restrictions for

its consideration at a future meeting.

Subsequent to the February 2023 meeting, however, staff was approached by a prospective buyer interested in acquiring and redeveloping the property. The buyer is currently under contract to acquire the property and is requesting that the CRA consider suspending the restrictions for a period of sixty (60) days, beginning on April 11, 2023, to allow the buyer to complete acquisition and to re-negotiate an agreement with the CRA for redevelopment of the property.

The existing restrictions, less the liquidated damages waived during the 60-day suspension period, will continue to apply should (1) the property not be successfully acquired by the prospective buyer and (2) an agreement between the buyer and CRA not be reached for redevelopment of the site within the 60-day suspension period.

PRIOR ACTION:

December 5, 2016 - The CRA declared the property located at 120 W Government Street surplus.

September 11, 2017 - The CRA approved an award of contract to G. Squared LLC. for the sale of 120 West Government Street.

September 14, 2017 - The City Council approved an award of contract to G. Squared LLC. for the sale of 120 West Government Street.

May 10, 2018 - The CRA approved a 150-day extension of the construction commencement deadline set forth in the deed conveying 120 W Government Street, terminating on September 2, 2018.

February 6, 2023 - The CRA authorized staff to negotiate the deed restrictions set forth in the special warranty deed for the property addressed as 100 West Intendencia Street (formally 120 W. Government Street) per a request from G Squared Pensacola LLC.

FUNDING:

N/A

FINANCIAL IMPACT:

Approval of this request will suspend accrual of liquidated damages at a rate of \$1,000 per day for a period of 60 days.

LEGAL REVIEW ONLY BY CITY ATTORNEY: Choose an item.

[Click here to enter a date.](#)

STAFF CONTACT:

David Forte, Deputy City Administrator
Sherry Morris, Development Services Director
Victoria D'Angelo, CRA Assistant Manager

Click or tap here to enter text.

ATTACHMENTS:

- 1) Development Proposal - G. Squared LLC
- 2) Special Warranty Deed
- 3) Amendment Extending Construction Commencement
- 4) Accepted Plans
- 5) Location Map
- 6) Prospective Buyer Request

PRESENTATION: No

DEVELOPMENT BRIEF FOR 120 WEST GOVERNMENT STREET

The buying entity is a family group comprised of life-long residents of Pensacola. They are well capitalized and foresee a completed project within two years of the land purchase. The prospective development would be mixed-use in nature with 10 to 12 eventual units. It would be a blend of small professional spaces on the ground floor fronting Government Street with two or three very good quality attached townhomes on the upper floor(s). Phase II would be two or three detached single family or townhome lots to the rear (Intendencia), hopefully with lots large enough for greenspace or courtyards.

The overriding emphasis will be for high quality construction with a design that reflects the history of Pensacola. This would include very high ceilings, all brick construction (possibly all reclaimed), exposed brick interior walls, wood beams and heavy architectural detailing with highlights of modern/industrial design.

Great effort will be made to have as much green area as possible and the entire site plan will center on the historic oak tree present today.

The end result would be a project that offers small, high quality, individual professional space for single tenants (virtually non-existent downtown), high quality attached townhomes for part-time and full-time residents, and detached townhomes with outdoor spaces.

Recorded in Public Records 1/8/2018 10:34 AM OR Book 7835 Page 887,
Instrument #2018001690, Pam Childers Clerk of the Circuit Court Escambia
County, FL Recording \$35.50 Deed Stamps \$5,040.00

This instrument prepared by:
A ALAN MANNING, Esquire
Clark Partington
125 West Romana Street, Suite 800
Pensacola, Florida 32502
CPH File No. 17-1018

Parcel ID Number: 00-0S-00-9001-020-120

STATE OF FLORIDA
COUNTY OF ESCAMBIA

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made the 5th day of January, 2018, **Community Redevelopment Agency of the City of Pensacola, a public body, corporate and politic, of the State of Florida**, whose address is 220 W. Main Street, Pensacola, Florida 32502 (the "Grantor"), to **G Squared Pensacola, LLC, a Florida limited liability company**, whose address is 2222 Whaley Avenue, Pensacola, Florida 32503 ("Grantee").

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situated in **ESCAMBIA** County, Florida (the "Property"):

Lot 121 and the West 29 feet of Lot 120 and the West 60 feet of Lot 134, Block 14, Old City Tract, according to the Map of the City of Pensacola, copyrighted by Thos C. Watson in 1906.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, to have and to hold, the same in fee simple forever.

SUBJECT TO zoning and other requirements imposed by governmental authorities; restrictions and matters appearing on the plat, if there is a recorded plat, or otherwise common to the subdivision, if the Property is located within a subdivision; valid easements, covenants, conditions, restrictions and mineral reservations of record affecting the Property, if any, which are not hereby reimposed; and taxes for the current year and subsequent years; and the restrictions set forth on Exhibit "A" attached hereto and incorporated herein.

And Grantor does hereby warrant that title to said real property is free from any liens or encumbrances imposed or created by Grantor or anyone claiming by, through or under Grantor, and Grantor will defend the title to said real property against the lawful claims of all persons claiming by, through or under Grantor, but no further.

"Grantor" and "Grantee" are used for singular or plural, as context requires.

[Signature Page To Follow On The Next Page].

BK: 7835 PG: 888

IN WITNESS WHEREOF, the Grantor has executed these presents causing its name to be signed by its duly authorized officer on the day and year first above written.

Signed, sealed and delivered in the presence of:

Community Redevelopment Agency of the City of Pensacola, a public body, corporate and politic, of the State of Florida

[Signature]
Victoria D'Angelo
Print/Type Name of Witness

By: [Signature]
Name: Jewel Cannada-Wynn
Its: Vice-Chairperson

[Signature]
John P. Daniel
Print/Type Name of Witness

ATTEST:
[Signature]
Print Name: Enche [unclear]
Title: City Clerk



STATE OF FLORIDA
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 4th day of January, 2018, by Jewel Cannada-Wynn, as Vice-Chairperson of Community Redevelopment Agency of the City of Pensacola, a public body, corporate and politic, of the State of Florida, on behalf of said Agency, who is personally known to me or has produced a driver's license as identification.

[Signature]
NOTARY PUBLIC
Commission number: _____
My Commission expires: _____

(NOTARIAL  JOHN P. DANIEL
Notary Public, State of Florida
My Comm. Expires October 22, 2020
Commission No. GG 30364

EXHIBIT "A"

This conveyance is made subject to the following covenants, conditions and restrictions:

- (1) Subject to compliance with applicable zoning, land use and other local, state and federal ordinances, rules and regulations, the Property shall be used only for a professional office and residential mixed use development containing not less than a total of ten units (the "Project"), and for no other use without the prior written consent of the Grantor.
- (2) The plans and specifications of the Project shall be subject to the prior approval of the Grantor, such approval not to be unreasonably withheld provided that the Project complies with the following:
 - a. The Project must comply in all respects with (1) the Community Redevelopment Act of 1969 as amended, as set forth in Chapter 163, Part III, Florida Statutes and (2) the City of Pensacola Urban Core Community Redevelopment Plan (2010).
 - b. The Project shall be of high quality construction and shall reflect the history of Pensacola by including, without limitation, very high ceilings, all brick construction (using reclaimed brick to the extent reasonably feasible), exposed brick interior walls, wood beams and heavy architectural detailing with highlights of modern/industrial design.
 - c. The Project shall maximize green spaces and the entire site plan shall center on the existing historic oak tree, which shall not be removed or materially altered.
 - d. The Project shall comply with all applicable zoning, land use, land development, building, fire, safety and other local, state and federal statutes, rules and regulations.
- (3) Properly and fully completed development and building permit applications, including without limitation plans and specifications for the Project meeting the foregoing requirements (collectively, the "Application") shall be submitted to the Grantor and to the City of Pensacola no later than March 6, 2018 (the "Application Submittal Deadline") and construction of the improvements contemplated by the approved Application shall commence no later than thirty (30) days after written approval of the Application by both the Grantor and the City of Pensacola (the "Construction Commencement Deadline"); provided that the Application Submittal Deadline may be extended for up to sixty (60) days by reason of delays caused, through no fault of the Grantee, by Acts of God, force majeure or other reasonably unforeseeable circumstances. If the Grantee does not submit the Application to the Grantor and the City of Pensacola on or before the Application Submittal Deadline, or commence construction on or before the Construction Commencement Deadline, then the Grantor shall have a one hundred eighty (180) day

*Excluded to
Sept 2, 2018*

right to repurchase the Property, commencing from the Application Submittal Deadline or the Construction Commencement Deadline, as the case may be. The Grantor shall provide written notice to the Grantee of the Grantor's election to exercise its repurchase right within sixty (60) days after the Application Submittal Deadline or the Construction Commencement Deadline as the case may be. If the Grantor elects to exercise this right to repurchase the Property, the Grantor will pay the Grantee an amount equal to the purchase price paid by the Grantee to the Grantor for Grantee's purchase of the Property. If the Grantor has not repurchased the Property by the end of the applicable 180-day repurchase period, as evidenced by a recorded warranty deed from the Grantee to the Grantor, then the "right to repurchase" granted in this deed is expressly extinguished, released, void and of no further force and effect without necessity for any further action of the Grantor or the Grantee, it being understood, however, that all other covenant, conditions and restrictions set forth in this Deed shall be and remain in full force and effect. Notwithstanding the forgoing, on or after the end of the applicable 180-day repurchase period, upon request of the Grantee, the Grantor expressly agrees to enter into, grant, and deliver any instrument that the Grantee, or any title insurance company insuring the Property, reasonably deems necessary to clear the title to the Property from the aforesaid right to repurchase thereby making title to the Property marketable without further rights reserved herein. The rights herein are for the benefit of the Grantor and shall be enforceable by the Grantor, and no other.

- (4) The improvements shall be completed (as evidenced by the issuance of a Certificate of Occupancy by the City of Pensacola) substantially in accordance with the Application no later than January 5, 2020 (the "Completion Deadline"); provided that the Completion Deadline shall be extended by reason of delays caused, through no fault of the Grantee, by Acts of God, force majeure or other reasonably unforeseeable circumstances. The Grantee shall pay to the Grantor liquidated damages in the amount of \$1,000 per day for each day after the Completion Deadline until such improvements are completed.
- (5) The prevailing party in any action brought to enforce any of the foregoing covenants, conditions and restrictions shall be entitled to recover reasonable attorney's fees and costs of the action.

IN ACCORDANCE with Section 270.11, Florida Statutes, the Grantor reserves for itself, its successors, and assigns, an undivided three-fourths interest in, and title in and to an undivided three-fourths interest in, all the phosphate, mineral and metals that are or may be in, on, or under the Property, and an undivided one-half interest in all the petroleum that is or may be in, on, or under the Property without any right of entry to mine, explore or develop for same.

Recorded in Public Records 6/8/2018 9:17 AM OR Book 7913 Page 1496,
Instrument #2018044711, Pam Childers Clerk of the Circuit Court Escambia
County, FL Recording \$35.50

3550

THIS INSTRUMENT PREPARED BY
AND RETURN TO:
John P. Daniel, Esq.
Beggs & Lane, RLLP
501 Commendencia Street
Pensacola, Florida 32502

STATE OF FLORIDA
COUNTY OF ESCAMBIA

AGREEMENT EXTENDING CONSTRUCTION COMMENCEMENT DEADLINE

THIS AGREEMENT EXTENDING CONSTRUCTION COMMENCEMENT DEADLINE (this "Agreement") is made this 04th day of June, 2018, by and between COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF PENSACOLA, a public body, corporate and politic, of the State of Florida ("CRA"), whose address is 222 West Main Street, Pensacola, Florida 32502, and G SQUARED PENSACOLA, LLC, a Florida limited liability company ("Owner"), whose address is 2222 Whaley Avenue, Pensacola, Florida 32503.

WITNESSETH:

WHEREAS, Owner is the owner in fee simple of that certain parcel of land situated in Escambia County, Florida, described as Lot 121 and the West 29 feet of Lot 120 and the West 60 feet of Lot 134, Block 14, Old City Tract, according to the Map of the City of Pensacola copyrighted by Thos. C. Watson in 1906 (the "Property");

WHEREAS, the Property was conveyed to Owner by CRA by that certain Special Warranty Deed from CRA, as grantor, to Owner, as grantee, dated January 5, 2018, as recorded in O.R. Book 7835, Page 887, Public Records of Escambia County, Florida (the "Deed") subject to the covenants, conditions and restrictions contained in the Deed;

WHEREAS, the "Construction Commencement Deadline" as defined in the Deed was April 5, 2018, and, at Owner's request, CRA has agreed to extend such Construction Commencement Deadline to and including September 2, 2018;

WHEREAS, this Agreement has been duly authorized by action taken by CRA at a duly called special meeting of CRA held on May 10, 2018;

NOW, THEREFORE, for and in consideration of the premises and the mutual covenants and conditions hereinafter set forth, the sum of Ten Dollars (\$10.00) cash in hand paid by each party to the other, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, CRA and Owner hereby agree as follows:

- (1) Recitals. The foregoing recitals are true and correct and are hereby incorporated herein by reference.
- (2) Definitions. Capitalized terms in this Agreement shall have the respective meanings assigned to them in the Deed unless another meaning is clearly required by the express terms of this Agreement.
- (3) Extension of Construction Commencement Deadline. The Construction Commencement Deadline as defined in the Deed shall be, and hereby is, extending to and including September 2, 2018.
- (4) Limited Waiver of CRA's Right to Repurchase Property. CRA hereby waives any right it has or may have to repurchase the Property under the terms of the Deed by reason of any circumstances or events existing, arising or occurring on or before September 2, 2018, including but not limited to any such right to repurchase the Property that accrued or may have accrued by reason of Owner's failure to meet any deadline under the Deed that arose on or before the date of this Agreement. However, CRA and Owner agree that CRA retains, and does not waive, the right to repurchase the Property in accordance with the terms of the Deed in the event that construction of improvements on the Property in accordance with the terms of the Deed has not commenced on or before the Construction Commencement Deadline, as hereby extended to and including September 2, 2018.
- (5) Ratification. The terms, covenants, conditions and restrictions contained in the Deed, as hereby expressly modified and amended, are hereby ratified and affirmed.
- (6) Savings. If any provision or provisions of this Agreement, or any article, section, sentence, clause, phrase, or word herein, or the application thereof, is in any circumstances held invalid, the validity of the remainder of this Agreement and the application thereof shall not be affected thereby.
- (7) Entire Agreement. This Agreement contains the entire agreement and understanding between the parties with respect to the extension of the Construction Commencement Deadline, and all prior negotiations, understandings and agreement with respect thereto are hereby superseded.
- (8) Captions. The captions in this Agreement are for convenience only and are not a part of this Agreement and do not in any way limit or amplify the terms and provisions of this Agreement.
- (9) Applicable Law. The laws of the State of Florida shall govern this Agreement. All actions or proceedings in any way, manner or respect, arising out of or from or related to this Agreement shall be litigated only in courts having situs within Escambia County, Florida.

BK: 7913 PG: 1498

IN WITNESS WHEREOF, CRA and Owner have executed this Agreement by and through their respective duly authorized representative as of the date first set forth above.

Signed, sealed and delivered in the presence of:

COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF PENSACOLA, a public body, corporate and politic, of the State of Florida

Mithbc
M. Helen Gibson
Print/Type Name of Witness

By: Jewel Cannada Wynn
Jewel Cannada Wynn, its Vice Chairperson

Victoria D'Angelo
Print/Type Name of Witness

ATTEST:

Erica L. Burnett
Print Name: ERICA L. BURNETT
Title: CITY CLERK



Signed, sealed and delivered in the presence of:

G SQUARED PENSACOLA, LLC, a Florida limited liability company

Kim Johnson
Kimberly C. Johnson
Print/Type Name of Witness

By: SPG
Steven P. Grimes, its Manager


KATRINA GAHMER
Print/Type Name of Witness

By: Paul A. Grimes
Paul A. Grimes, its Manager

BK: 7913 PG: 1499 Last Page

STATE OF FLORIDA
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 5th day of June, 2018, by Jewel Cannada Wynn, as Vice Chairperson of Community Redevelopment Agency of the City of Pensacola, a public body, corporate and politic, of the State of Florida, on behalf of said agency. Said person is personally known to me or has produced a current Florida driver's license as identification.



NOTARY PUBLIC
Commission number: _____
My Commission expires: _____

(NOTARIAL SEAL)

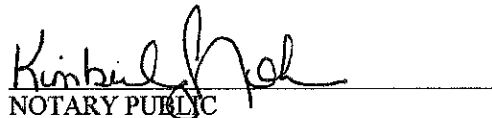
Stephanie A. Chwastyk
Notary Public-State of Florida
My Comm. Expires: April 5, 2020
Notary Comm. No. FF979104

STATE OF FLORIDA
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 6th day of June, 2018, by Steven P. Grimes and Paul A. Grimes, the Managers of G Squared Pensacola, LLC, a Florida limited liability company, on behalf of said company. Said persons are personally known to me or have produced their respective current Florida driver's licenses as identification.



KIMBERLEY C. JOHNSON
Notary Public, State of Florida
Comm. Exp. June 13, 2020
Comm. No. FF 987147



NOTARY PUBLIC
Commission number: _____
My Commission expires: _____

(NOTARIAL SEAL)



120 West Government St.



PROJECT LOCATION

INDEX OF DRAWINGS

GENERAL		ARCHITECTURAL		PLUMBING	
G-001	GENERAL NOTES & PROJECT DATA	G-001	COVER SHEET AND INDEX OF DRAWINGS	P-001	LEGEND, NOTES
		A-001	WALL AND FLOOR/CEILING TYPES	P-101	DOMESTIC PIPING 1ST FLOOR PLAN
				P-102	DOMESTIC PIPING 2ND FLOOR PLAN
				P-103	DOMESTIC PIPING 3RD FLOOR PLAN
				P-111	SANITARY PIPING 1ST FLOOR PLAN
		A-100	ARCHITECTURAL SITE PLAN	P-112	SANITARY PIPING 2ND FLOOR PLAN
		A-101	FIRST FLOOR PLAN	P-113	SANITARY PIPING 3RD FLOOR PLAN
		A-102	SECOND FLOOR PLAN	P-301	PLUMBING SANITARY RISERS
		A-103	THIRD FLOOR PLAN	P-501	PLUMBING DETAILS
		A-104	ROOF PLAN	P-502	PLUMBING DETAILS
				P-601	PLUMBING SCHEDULES
		A-121	REFLECTED CEILING PLANS		
		A-201	EXTERIOR ELEVATIONS - SOUTH & WEST	MECHANICAL	
		A-202	EXTERIOR ELEVATIONS - NORTH & EAST	M-001	LEGEND AND NOTES
		A-301	BUILDING SECTION	M-101	1ST FLOOR HVAC PLAN
		A-302	BUILDING SECTION	M-102	2ND FLOOR HVAC PLAN
		A-303	WALL SECTIONS	M-103	3RD FLOOR HVAC PLAN
		A-304	WALL SECTIONS	M-201	HVAC PIPING PLANS
		A-305	DETAILS	M-301	HVAC ROOF PLAN
		A-306	DETAILS	M-501	HVAC DETAILS
		A-307	ROOF DETAILS	M-601	HVAC SCHEDULES
		A-308	PLAN DETAILS		
STRUCTURAL				ELECTRICAL	
S1	FOUNDATION PLAN AND DETAILS	A-501	INTERIOR ELEVATIONS	E-101	GROUND FLOOR LIGHTING PLAN
S2	SECOND FLOOR FRAMING PLAN AND DETAILS	A-502	INTERIOR ELEVATIONS	E-102	SECOND FLOOR LIGHTING PLAN
S3	THIRD FLOOR FRAMING PLAN AND DETAILS	A-503	INTERIOR ELEVATIONS	E-103	THIRD FLOOR LIGHTING PLAN
S4	ROOF FRAMING PLAN AND DETAILS	A-701	DOOR AND WINDOW SCHEDULES	E-201	GROUND FLOOR POWER PLAN
S5	COMPONENT AND CLADDING DETAILS	A-702	DOOR AND WINDOW DETAILS	E-202	SECOND FLOOR POWER PLAN
S6	WALL DETAILS			E-203	THIRD FLOOR POWER PLAN
S7	ELEVATOR WALL DETAILS			E-204	ROOF POWER PLAN

PROJECT TEAM:

OWNER:
 PAUL & STEVE GRIMES
 120 W. GOVERNMENT ST
 PENSACOLA, FL. 32502

ARCHITECT:
 SMP ARCHITECTURE
 40 S. PALAFOX PLACE, SUITE 202
 PENSACOLA, FL. 32502
 (850) 432-7772 p
 (850) 432-7057 f
 BRIAN@SMP-ARCH.COM
 CONTACT: BRIAN SPENCER

CIVIL:
 REBOL-BATTLE ASSOCIATES
 2301 N. 9TH AVE.
 PENSACOLA, FL. 32503
 (850) 438-0400

CONTACT: JASON REBOL

STRUCTURAL ENGINEER:
 DEAN A. SPENCER ENGINEERING
 2735 SANIBEL PLACE
 GULF BREEZE, FL. 32563
 (850) 932-8730

CONTACT: MAX SPENCER

MECHANICAL ENGINEER:
 W3 ENGINEERING, INC.
 P.O. BOX 12835
 PENSACOLA, FL 32591
 (850) 629-8270

CONTACT: JAY WELLS

ELECTRICAL ENGINEER:
 ADAMS CONSULTING ENGINEERING
 P.O. BOX 13062
 PENSACOLA, FL 32591
 (850) 444-0095

CONTACT: SCOTT ADAMS

BUILDING / SITE INFORMATION

BUILDING USE: RESIDENTIAL/BUSINESS
OCCUPANCY: R-2/B
MIXED OCCUPANCY: YES
GROSS BUILDING AREA:
 1ST FLOOR: 4,768 S.F.
 2ND FLOOR: 4,768 S.F.
 3RD FLOOR: 4,383 S.F.
TOTAL: 13,920 S.F.

CONSTRUCTION TYPE: TYPE V-B
SPRINKLERED: YES
AREA/STORY LIMIT: 21,000 S.F.
STORY LIMIT: 3
NUMBER OF STORIES: 3
BUILDING HEIGHT LIMIT: 60'
BUILDING HEIGHT: 28' (HIGHEST FLOOR LEVEL)
HIGH RISE: NO
FIRE DISTRICT: NO
NUMBER OF EGRESS EXITS PER LEVEL:
 REQUIRED: 1
 PROVIDED: 1

120 W. GOVERNMENT
 PENSACOLA, FL

SITE DATA: SEE CIVIL
PARKING: 10 SPACES
LOT SIZE: 28,530 S.F.
LOT WIDTH: 108'
LOT DEPTH: 340'
FRONT YARD: 0' SETBACK
SIDE YARD: 0' SETBACK
REAR YARD: 0' SETBACK

FIRE SEPARATION/RESISTANCE

STRUCTURAL FRAME	0 HOUR
BEARING WALLS EXTERIOR INTERIOR	0 HOUR 0 HOUR 0 HOUR
NON-BEARING WALLS EXTERIOR INTERIOR	0 HOURS 0 HOURS 0 HOURS
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
OCCUPANCY SEPARATION	1 HOUR

BUILDING CODES

BUILDING	2017 FLORIDA BUILDING CODE, 6TH ED.
MECHANICAL	2017 FLORIDA MECHANICAL CODE, 6TH ED.
ELECTRICAL	2017 NEC
PLUMBING	2017 FLORIDA PLUMBING CODE, 6TH ED.
ACCESSIBILITY	2017 FLORIDA ACCESSIBILITY CODE, 6TH ED.

SYMBOL LEGEND

	KEYNOTE		DETAIL IDENTIFICATION MARK
	ROOM NAME & NUMBER		DETAIL NUMBER
	GLAZING IDENTIFICATION & NUMBER		REFERENCED SHEET
	DOOR IDENTIFICATION & NUMBER		AREA ENLARGED
	SCHEDULED WALL TYPE		
	CEILING HEIGHT DENOTATION		INTERIOR ELEVATION DETAIL MA
	(F.E.C.) SEMI-RECESSED FIRE EXTINGUISHER		EXTERIOR ELEVATION DETAIL MA
	REVISION MARK		SECTION DETAIL IDENTIFICATION
	SECTION KEY		ELEVATION MARK SYMBOL
	SECTION NUMBER		
	SHEET WHERE DRAWN		

FLORIDA PRODUCT APPROVAL NUMBERS:

PRODUCT CATEGORY	MANUFACTURER	PRODUCT LINE/TYPE	APPROVAL NO.
WINDOWS - FIXED ALUMINUM	KOLBE & KOLBE	ULTRA SERIES IMPACT	FL# 17052-R2
WINDOWS - CASEMENT ALUMINUM	KOLBE & KOLBE	ULTRA SERIES IMPACT	FL# 22235-R3
DOORS - SLIDING GLASS ALUMINUM	WINDOOR	8100 SERIES	FL# 12979-R3
DOORS - OUTSWING GLASS ALUMINUM	WINDOOR	9020 SERIES	FL# 15709-R1
DOORS - HOLLOW METAL AND FRAME	INGERSOL-RAND	IR /STEEL CRAFT SERIES	FL #3905.1-R4
WALL LOUVERS	GREENHECK	DC-6174	FL #7494-R5
ROOFING - LOW SLOPE MEMBRANE	MANVILLE ROOFING SYSTEM	X	FL #2948-R6
ROOFING - METAL	PETERSON ALUMINIUM	SNAP-CLAD STANDING SEAM	FL #6191.1
EXTERIOR INSULATION FINISH SYSTEM	STO CORPORATION	STO ESSENCE NEXT	FL #7229.1

NOTE: PRODUCTS INDICATED ABOVE ARE SELECTED FOR USE AS BASIS OF SPECIFICATIONS. CONTRACTOR SHALL PROVIDE THE REQUIRED PRODUCT FLORIDA PRODUCT APPROVAL NUMBERS (2010) FOR EQUIVALENT APPROVED SUBSTITUTIONS.

GENERAL NOTES

- THE WORK CONSIST OF THIS SET OF DRAWINGS, SPECIFICATIONS, ADDENDA, CONSTRUCTION CHANGE DIRECTIVES, CHANGE ORDERS, THE CONTRACT BETWEEN THE OWNER AND CONTRACTOR, AND ANY OTHER INFORMATION WRITTEN AND MUTUALLY AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND INTERRELATED. WHAT IS REQUIRED BY ANY ONE SHALL BE REQUIRED BY ALL. WORK OF ANY INDIVIDUAL TRADE IS NOT NECESSARILY CONFINED TO SPECIFIC DOCUMENTS, CHAPTERS OR LOCATIONS.
- THE CONTRACTOR SHALL TO COMPLY WITH ALL CODES AND ORDINANCES IN EFFECT AT THE TIME THE PERMIT IS ISSUED.
- IF DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS ARE DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING PRIOR TO BID.
- CONSTRUCTION TECHNIQUES, PROCEDURES, SEQUENCING AND SCHEDULING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS ONLY. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IT IS THE INTENT OF THE DOCUMENTS FOR THE CONTRACTOR TO PROVIDE A COMPLETELY WATERPROOF BUILDING ENVELOPE. REPORT TO ARCHITECT ANY CONDITION THAT WOULD PREVENT THIS IMMEDIATELY.
- COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, DUCTS, UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS AND ARCHITECTURAL DRAWINGS.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
- FOLLOW MANUFACTURER'S INSTRUCTION SPECIFICATIONS, DETAILS AND INSTRUCTIONS FOR ALL CONSTRUCTION MATERIALS AND SYSTEMS.

Listen. Interpret. Translate.

CERTIFICATION :

120 W
 GOVERNMENT
 (PHASE A)

120 W Government St.
 Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK, RPM

CHECKED BY : BKS, RPM

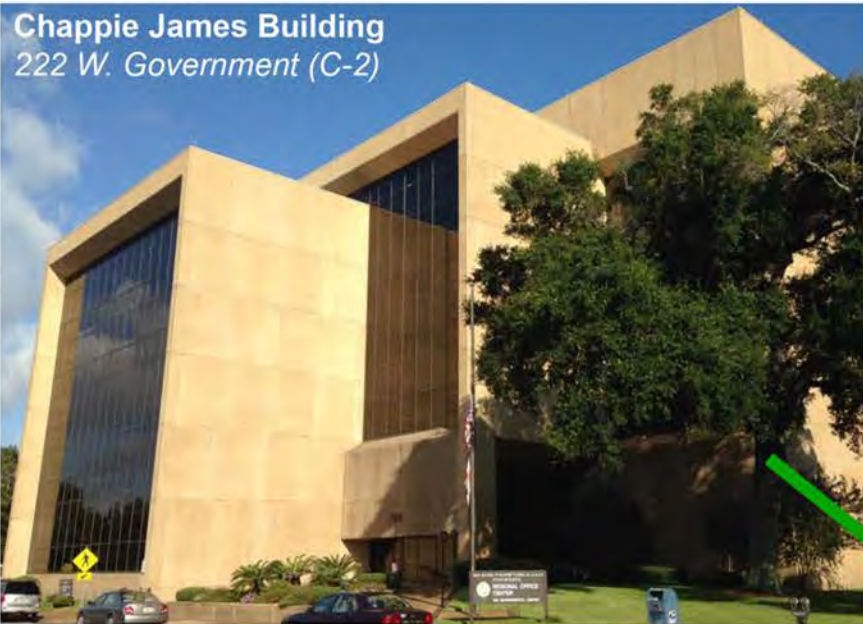
PROJECT NO. 1728

DATE : MAY 31, 2018

SHEET TITLE :
 COVER SHEET
 AND INDEX OF
 DRAWINGS

SHEET NO. :

G-001



Chappie James Building
222 W. Government (C-2)



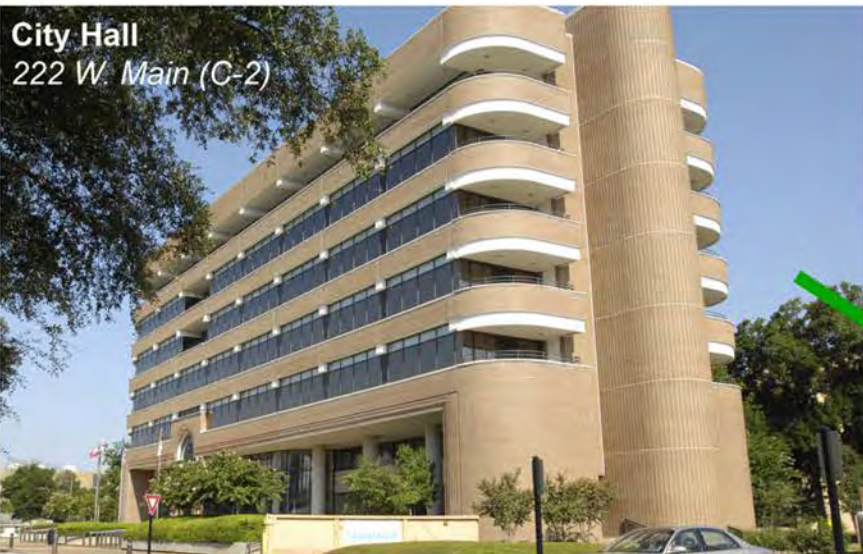
Coastal Bank
125 W. Romana (C-2A)



Southtowne Apartments
101 E. Romana (C-2, C-2A)

Site Context: Existing Structures

Site Location: 120 W. Government St
Vacant Lot (Surface Parking), C-2A



City Hall
222 W. Main (C-2)



Escambia County Courthouse
357 S. Baylen (C-2A)



^ View of Site (South)



^ View of Site (East)



^ View of Site (North)



^ View of Site (West)

Listen. Interpret. Translate.

CERTIFICATION :

**120 W
 GOVERNMENT
 (PHASE A)**

120 W Government St.
 Pensacola, Florida

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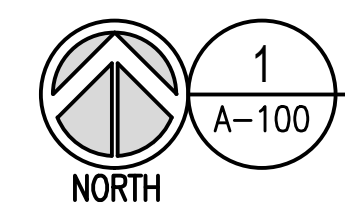
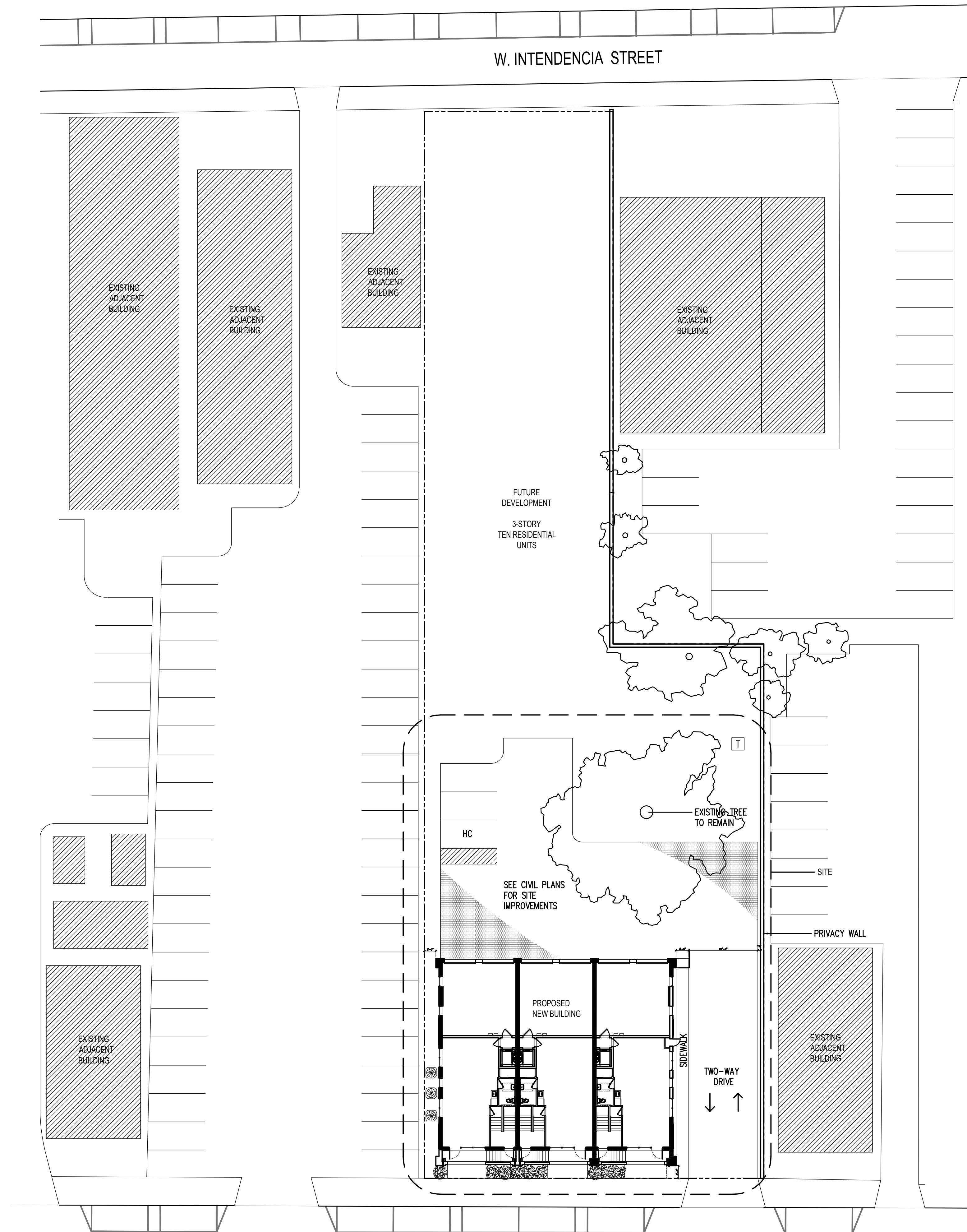
DATE : MAY 31, 2018

SHEET TITLE :

**ARCHITECTURAL
 SITE PLAN**

SHEET NO. :

A-100



ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"

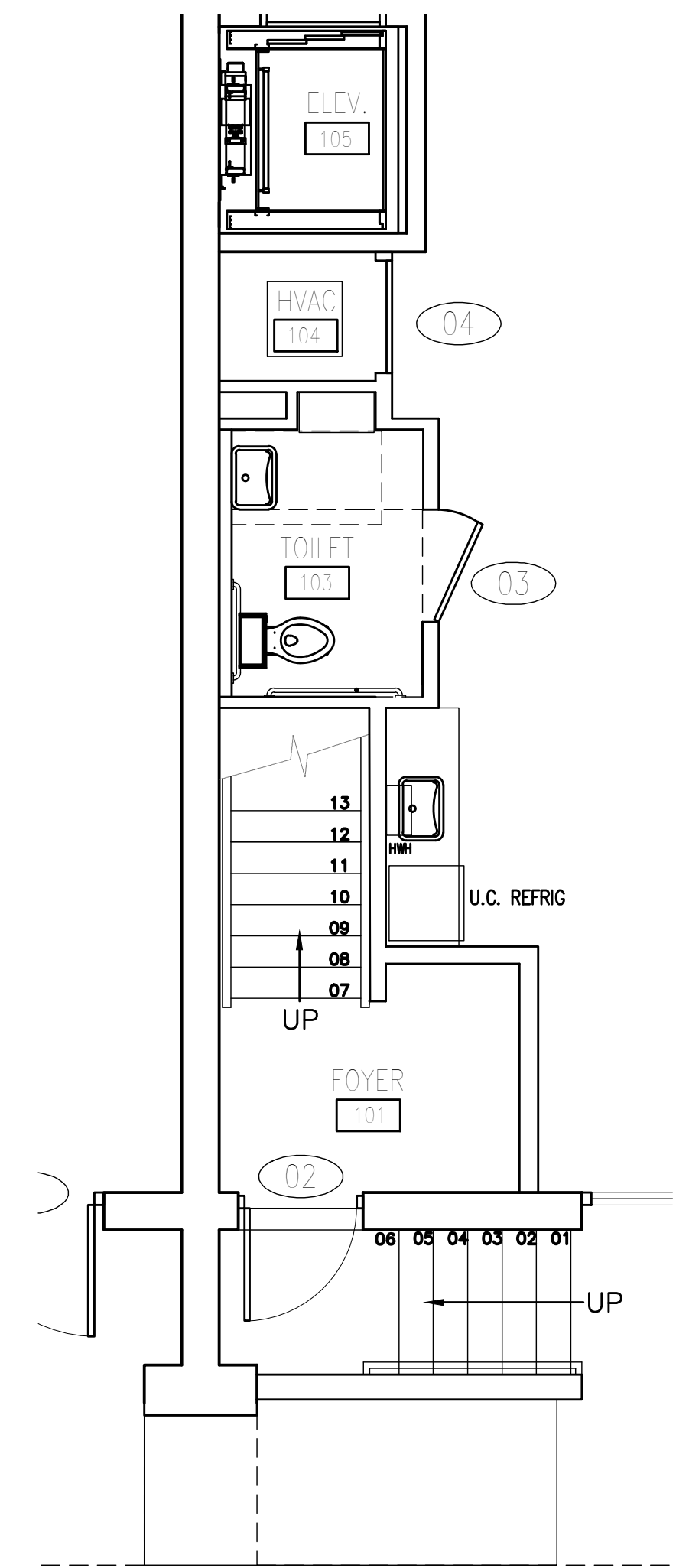
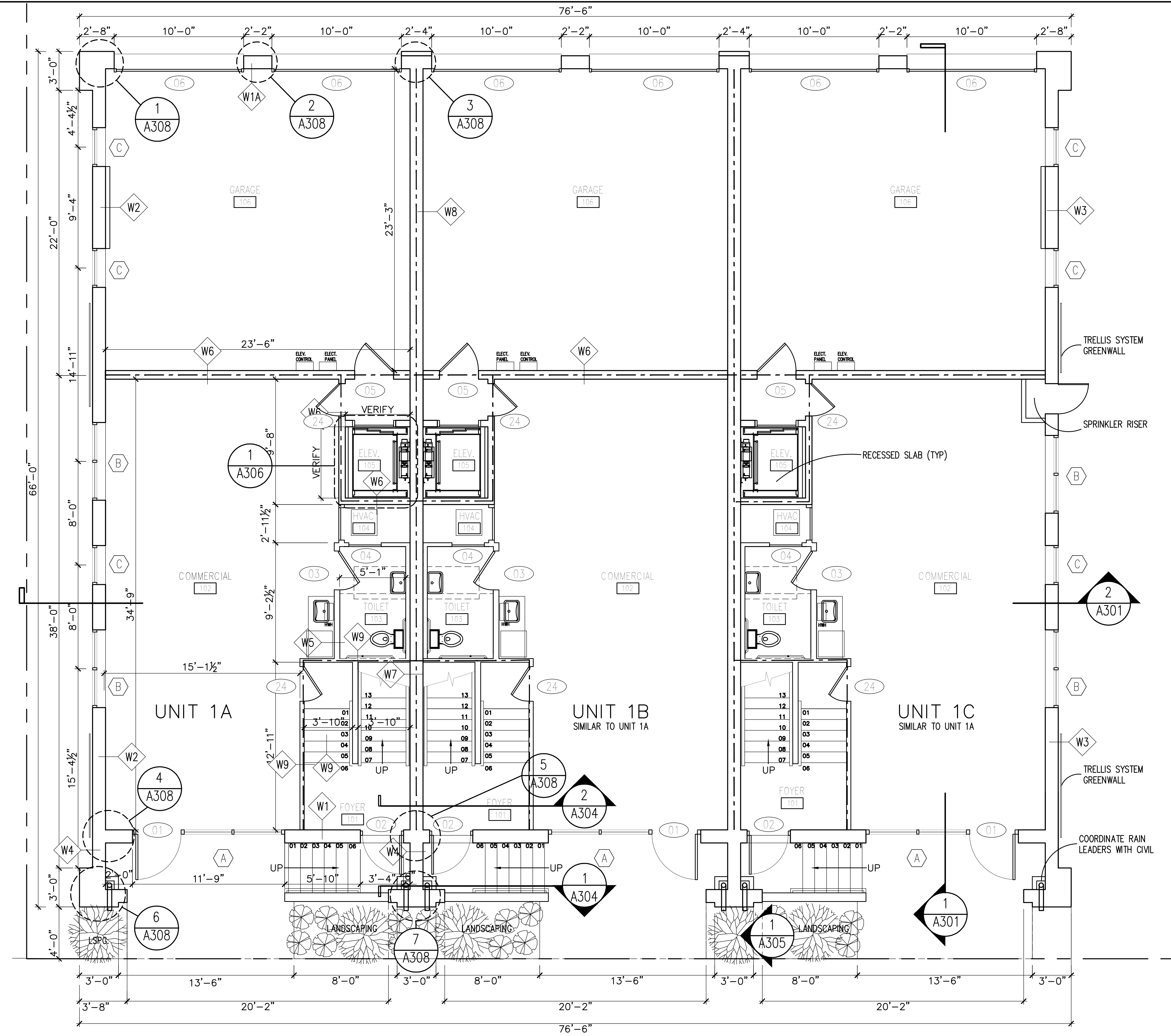
1
 A-100

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL BUILDING, WALL SECTIONS AND SLAB ELEVATION HEIGHTS INFORMATION.
4. SEE CIVIL DRAWINGS FOR CURB AND SIDEWALK INFORMATION.
5. COORDINATE REFLECTED CEILING PLAN (RCP) AND ACCESS PANEL LOCATIONS WITH ELECTRICAL, MECHANICAL DRAWINGS.

WALL LEGEND:

===== 1 HOUR FIRE RATED WALL



Listen. Interpret. Translate.
 CERTIFICATION :

120 W
 GOVERNMENT
 (PHASE A)

120 W Government St.
 Pensacola, Florida

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REVISIONS :

DRAWN BY : RSK, RPM

CHECKED BY : BKS, RPM

PROJECT NO. 1728

DATE : MAY 31, 2018

SHEET TITLE :

GROUND
 FLOOR PLANS

SHEET NO. :

A-101

1
 A-101
 NORTH
GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2
 A-101
ALT. GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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WALL LEGEND:



Listen. Interpret. Translate.
 CERTIFICATION :

120 W GOVERNMENT (PHASE A)

120 W Government St.
 Pensacola, Florida

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REVISIONS :

DRAWN BY : RSK, RPM

CHECKED BY : BKS, RPM

PROJECT NO. 1728

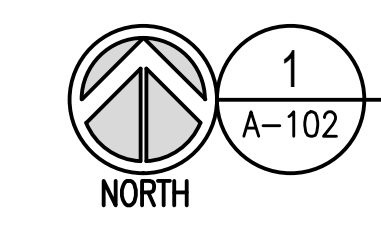
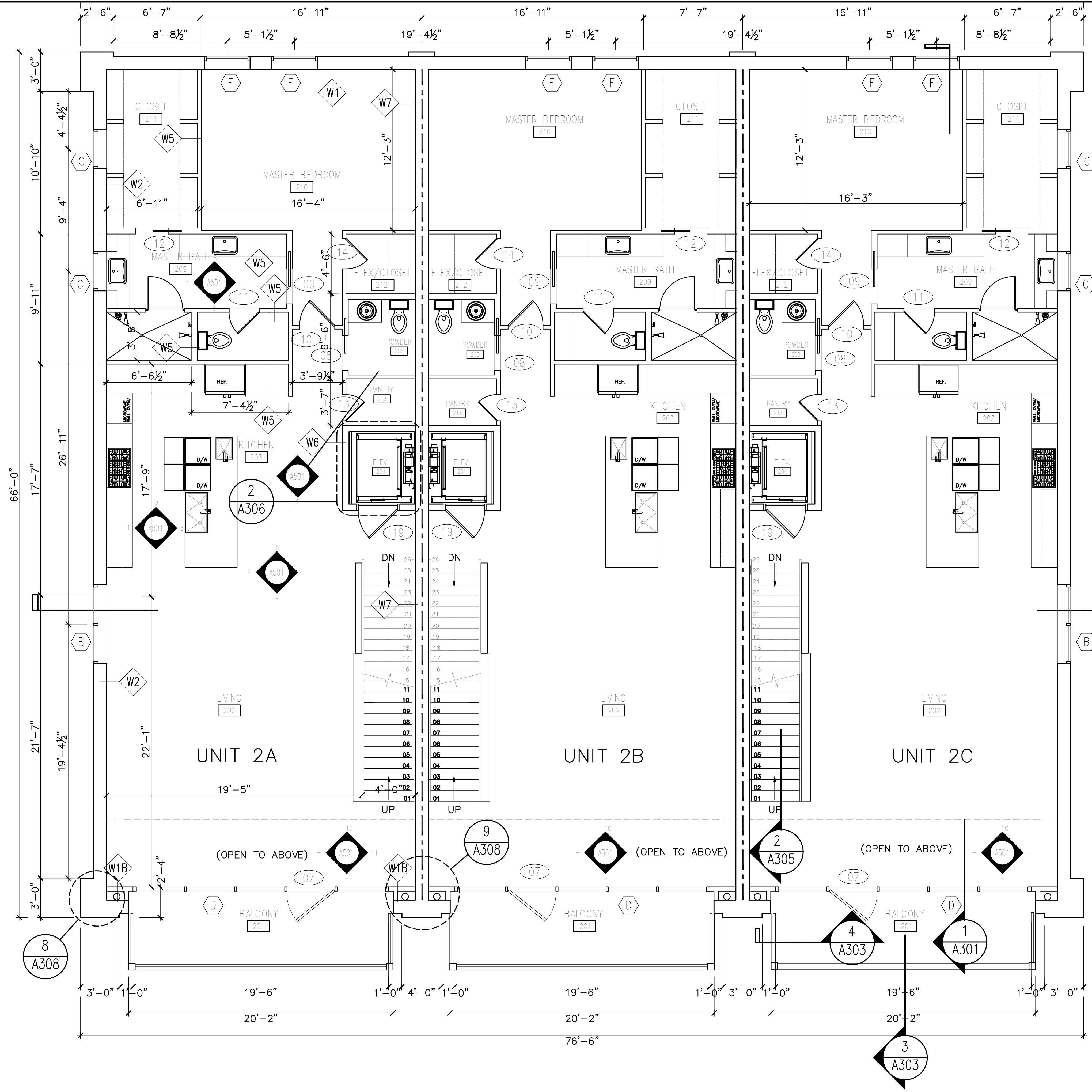
DATE : MAY 31, 2018

SHEET TITLE :

SECOND FLOOR PLANS

SHEET NO. :

A-102



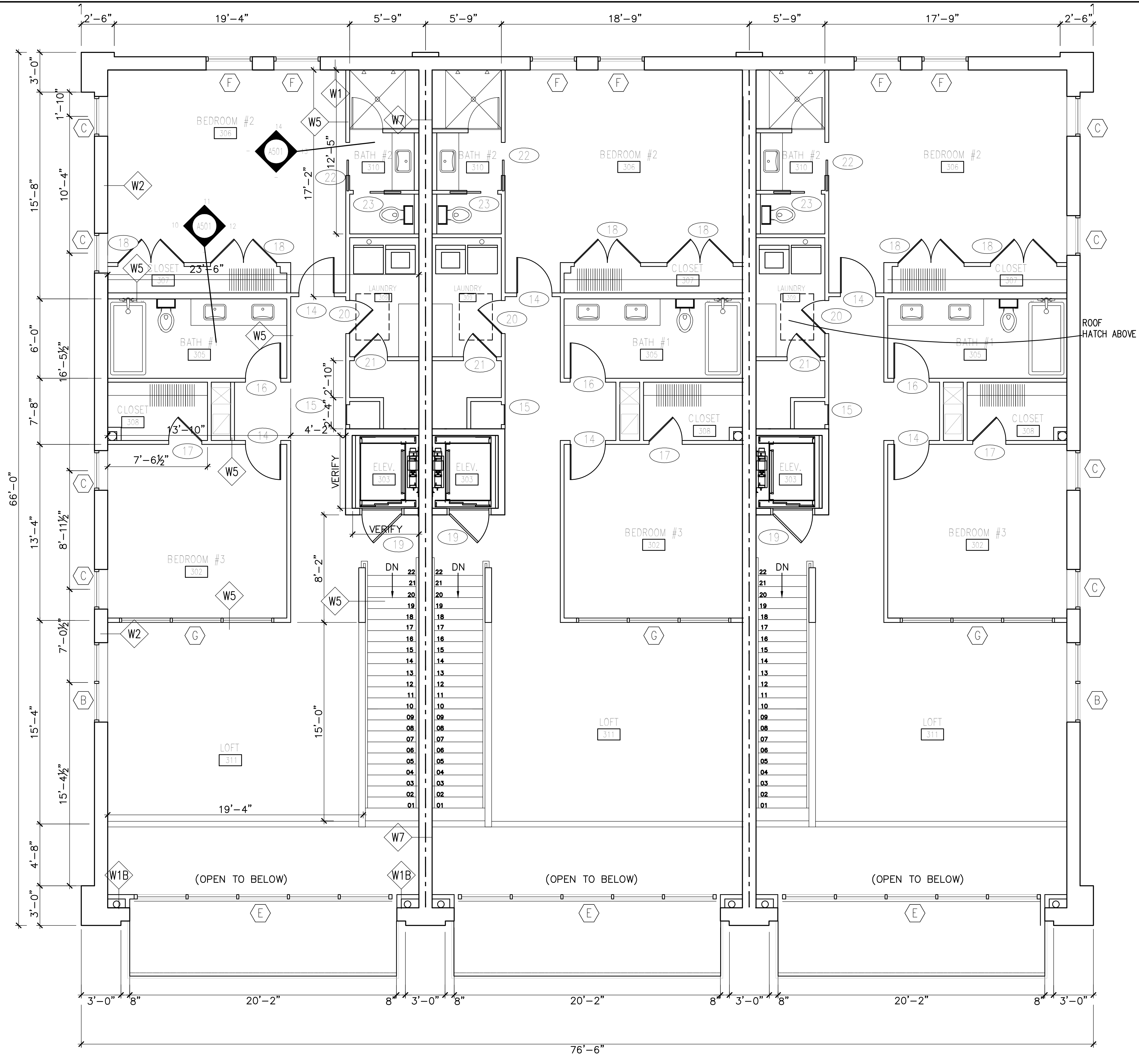
SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF CMU WALL, FACE OF CONCRETE AND CENTER OF OPENING OR STRUCTURAL GRID LINE, UNLESS NOTED OTHERWISE.
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WALL LEGEND:

1 HOUR FIRE RATED WALL



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REVISIONS :

DRAWN BY : RSK, RPM

CHECKED BY : BKS, RPM

PROJECT NO. 1728

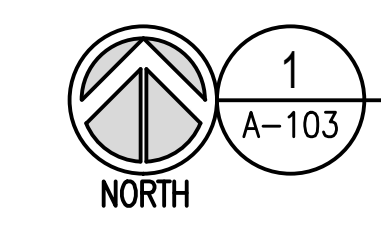
DATE : MAY 31, 2018

SHEET TITLE :

THIRD
 FLOOR PLANS

SHEET NO. :

A-103



THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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PROJECT NO. 1728

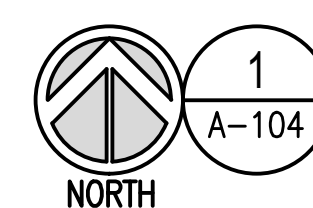
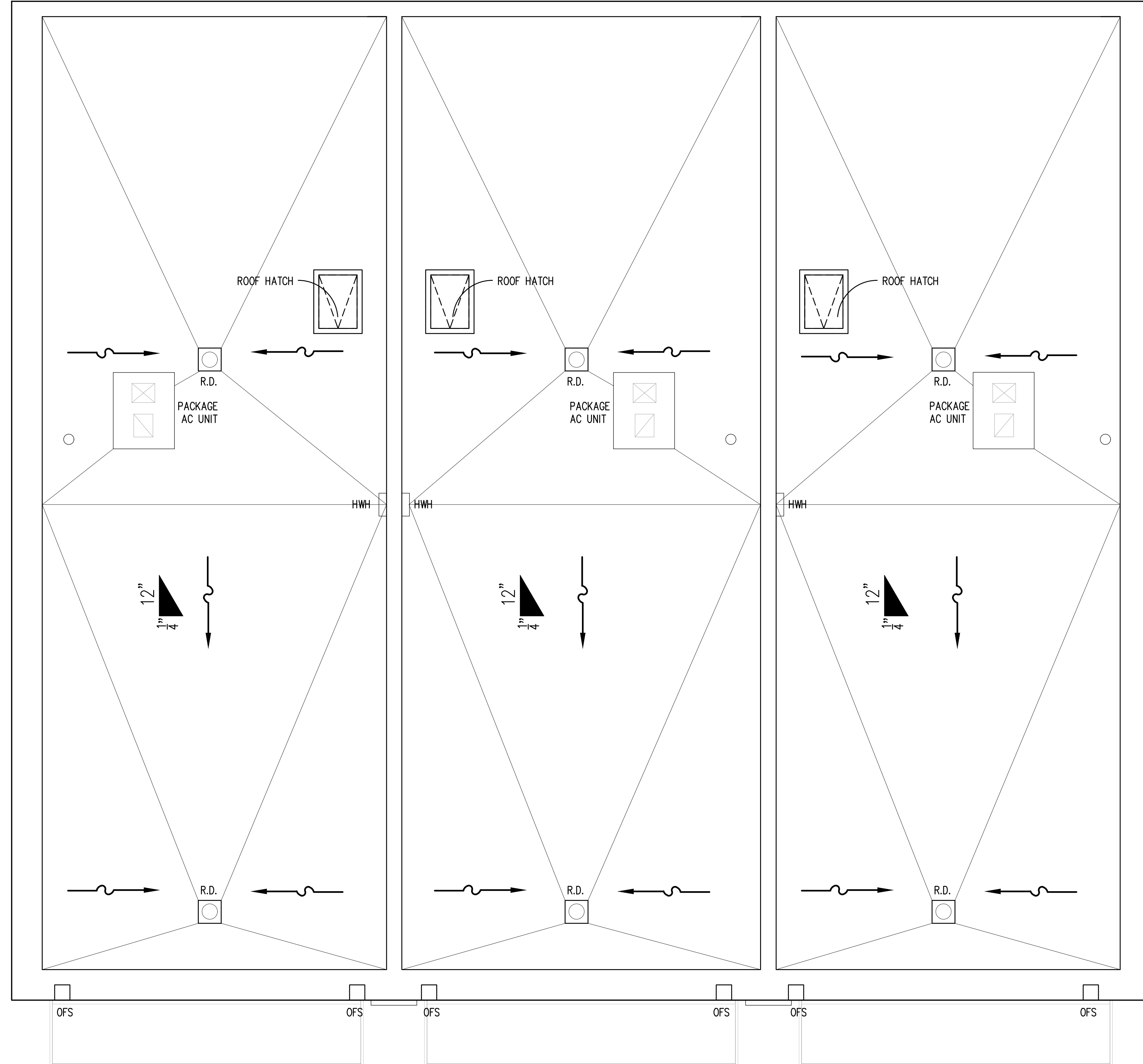
DATE : MAY 31, 2018

SHEET TITLE :

ROOF
 PLAN

SHEET NO. :

A-104



ROOF PLAN
 SCALE: 1/4" = 1'-0"

Sure-Weld TPO Reinforced Membrane

Q-Trac testing combines accelerated weathering with real-world conditions using an array of ten mirrors to reflect and concentrate full spectrum sunlight onto membrane test specimens. The Q-Trac device automatically tracks the sun's path from morning to night. Also, it adjusts to compensate for seasonal changes in the sun's altitude. Eight years in Q-Trac testing is equal to 40 years of real-world exposure. Carlisle requires its Sure-Weld TPO membranes to pass the equivalent of 40 years of exposure in the Q-Trac.

Carlisle Testing – Q-Trac

ASTM TEST	ASTM D6878 Requirement	Sure-Weld Requirement
N/A	N/A	Equivalent of 40 years of exposure

Environmental Cycling subjects the membrane to repeated cycles of heat aging, hot-water immersion, and xenon-arc exposure.

- » ASTM requirement – none
- » Carlisle EXTREME test*:
 - 10 days heat aging at 240°F (116°C) followed by
 - 5 days water immersion at 158°F (70°C) followed by
 - 5,040 kJ/m² (2000 hours at 0.70 W/m² irradiance) xenon-arc exposure

*Test specimen is 2.75" by 5.5" piece of membrane with edges sealed.

*Criterion – after 3 complete cycles, test specimens shall remain flexible and not have any cracking under 10x magnification while wrapped around a 3"-diameter mandrel.

Supplemental Approvals, Statements and Characteristics:

1. Sure-Weld TPO meets or exceeds the requirements of ASTM D6878 Standard Specification for Thermoplastic Polyolefin-Based Sheet Roofing.
2. Radiative Properties for ENERGY STAR, Cool Roof Rating Council (CRRC) and LEED.
3. Sure-Weld TPO membranes conform to requirements of the US E.P.A. Toxic Leachate Test (40 CFR part 136) performed by an independent analytical laboratory.
4. Sure-Weld TPO was tested for dynamic puncture resistance per ASTM D5635-04 using the most recently modified impact head. 45-mil was watertight after an impact energy of 12.5 J (9.2 ft-lbf) and 60-mil was watertight after 22.5 J (16.6 ft-lbf). 80-mil EXTRA was watertight after an impact energy of 30.0 J (22.1 ft-lbf).
5. NSF-P151 Certification for rainwater catchment system components.
 - Plant 91/White Only

Typical Properties and Characteristics

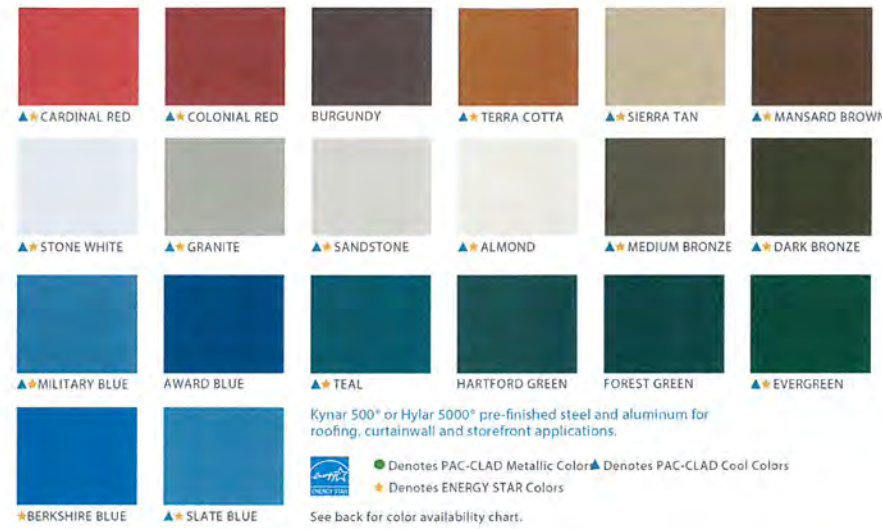
Physical Property	ASTM D6878 Requirement	45-mil	60-mil	80-mil EXTRA
Tolerance on Nominal Thickness, % ASTM D751 test method	+15, -10	± 10	± 10	± 10
Thickness Over Scrim, in. (mm) ASTM D7635 optical method, average of 3 areas	0.015 min (0.380)	0.018 typical (0.457)	0.024 typical (0.610)	0.034 typical (0.864)
Breaking Strength, lbf (kN) ASTM D751 grab	220 (976 N) min	225 (1.0) min 320 (1.4) typical	250 (1.1) min 360 (1.6) typical	350 (1.6) min 425 (1.9) typical
Elongation Break of Reinforcement, % ASTM D751 grab method	15 min	15 min 25 typical	15 min 25 typical	15 min 25 typical
Tearing Strength, lbf (N) ASTM D751 proc. B 8 in. x 8 in.	55 (245) min	55 (245) min 130 (578) typical	55 (245) min 130 (578) typical	55 (245) min 130 (578) typical
Brittleness Point, °F (°C) ASTM D2137	-40 (-40) max	-40 (-40) max -50 (-46) typical	-40 (-40) max -50 (-46) typical	-40 (-40) max -50 (-46) typical
Linear Dimensional Change, % ASTM D1204, 6 hours at 158°F	± 1 max	± 1 max -0.2 typical	± 1 max -0.2 typical	± 1 max -0.2 typical
Ozone Resistance, no cracks 7X ASTM D1149, 100 pphm, 168 hrs	PASS	PASS	PASS	PASS
Water Absorption Resistance, mass % ASTM D471 top surface only 166 hours at 158°F water	± 3.0 max	± 3.0 max 0.90 typical	± 3.0 max 0.90 typical	± 3.0 max 0.90 typical
Factory Seam Strength, lbf/in (kN/m) ASTM D751 grab method	66 (290) min	66 (290) min	66 (290) min	66 (290) min
Field Seam Strength, lbf/in (kN/m) ASTM D1876 tested in peel	No requirement	25 (4.4) min 50 (8.8) typical	25 (4.4) min 60 (10.5) typical	40 (7.0) min 70 (12.3) typical
Water Vapor Permeance, perms ASTM E96 proc. B	No requirement	0.10 max 0.05 typical	0.10 max 0.05 typical	0.10 max 0.05 typical
Puncture Resistance, lbf (kN) FTM 101C, method 2031 (see supplemental section)	No requirement	250 (1.1) min 325 (1.4) typical	300 (1.3) min 350 (1.6) typical	400 (1.8) min 450 (2.0) typical
Properties After Heat Aging ASTM D573, 32 weeks @ 240°F or 8 weeks @ 275°F No cracking when bent around 3" diameter mandrel Weight Change, %	PASS No cracking ± 1.5 max	PASS No cracking 1.0 max	PASS No cracking 1.0 max	PASS No cracking 1.0 max
Typical Weights lb/ft ² (kg/m ²)		0.23 (1.1)	0.29 (1.4)	0.40 (2.0)

LEED Information

Pre-consumer Recycled Content	10%
Post-consumer Recycled Content	0%
Manufacturing Location	Senatobia, MS Tooele, UT Carlisle, PA
Solar Reflectance Index (SRI)	99 (white) 86 (tan)



Color Chart



PETERSEN ALUMINUM CORPORATION | PAC-CLAD.COM

HQ: 1005 Tonne Road, Elk Grove Village, IL 60007
P: 800-PAC-CLAD, F: 800-722-7150

9060 Junction Drive, Annapolis Junction, MD 20701
P: 800-344-1400, F: 301-953-7627

10551 PAC Road, Tyler, TX 75707
P: 800-441-8661, F: 903-581-8592

102 Northpoint Parkway, Acworth, GA 30102
P: 800-272-4482, F: 770-420-2533

1885 Station Pkwy NW, Ste B, Andover, MN 55304
P: 877-571-2025, F: 866-901-2935

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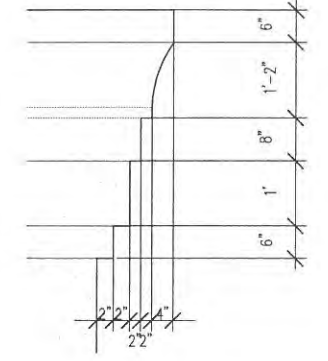
PROJECT NO. 1728

DATE : MAY 31, 2018

SHEET TITLE :
BUILDING ELEVATIONS

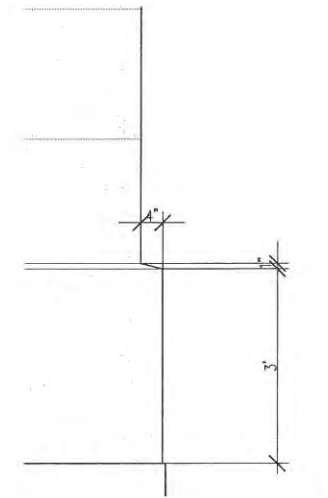
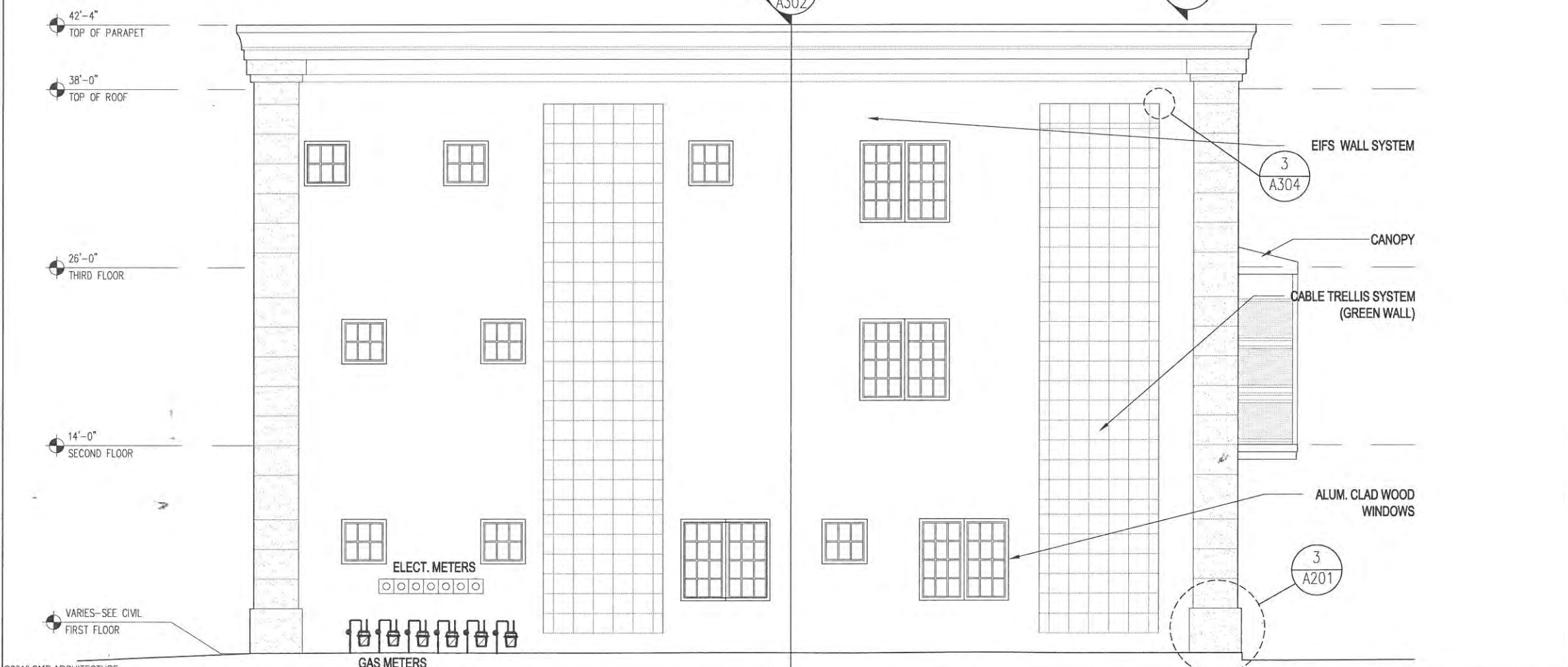
SHEET NO. :

A-201



4 DETAIL
 A-201 SCALE: 3/4" = 1'-0"

1 SOUTH ELEVATION
 A-201 SCALE: 1/4" = 1'-0"



3 DETAIL
 A-201 SCALE: 3/4" = 1'-0"

2 WEST ELEVATION
 A-201 SCALE: 1/4" = 1'-0"

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SHEET TITLE :

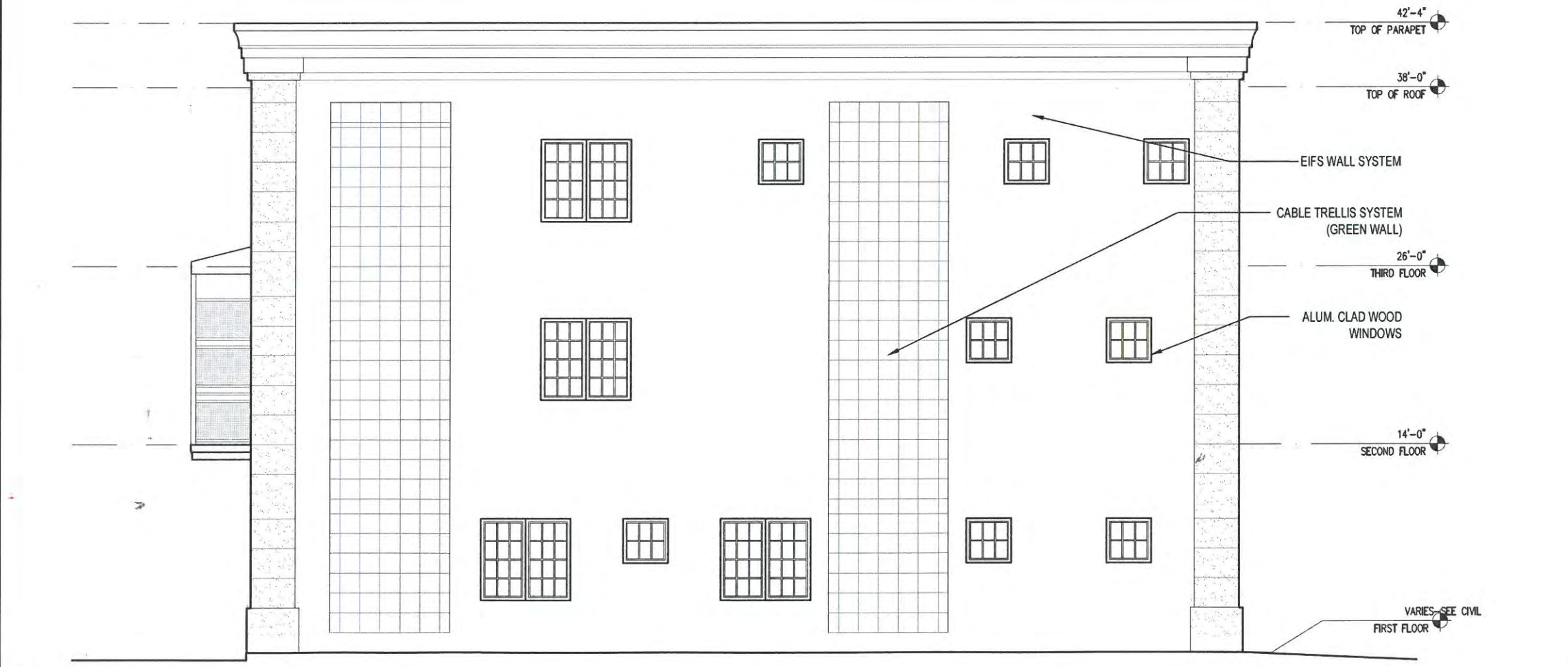
**BUILDING
 ELEVATIONS**

SHEET NO. :

A-202



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

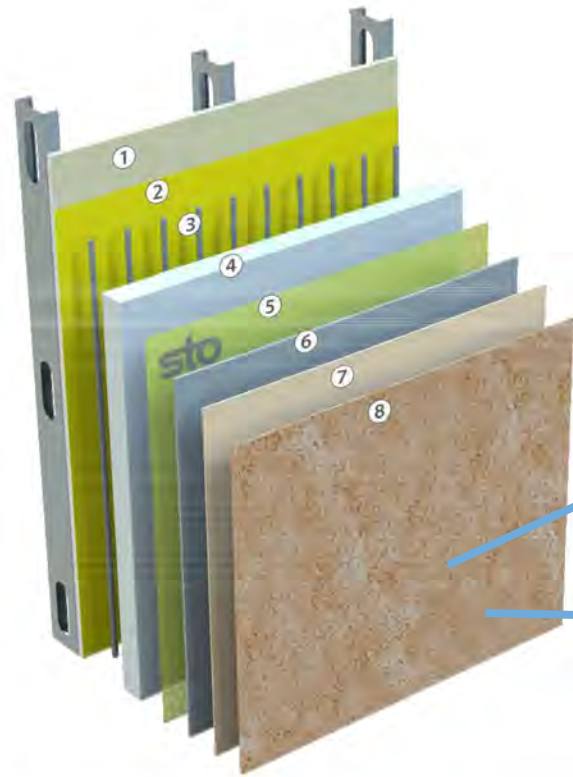


2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



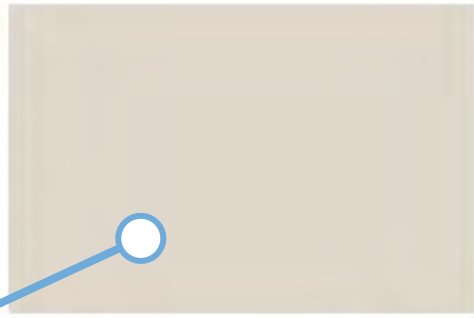
StoTherm NEXt

Exterior Insulation and Finish System (EIFS) with Drainage

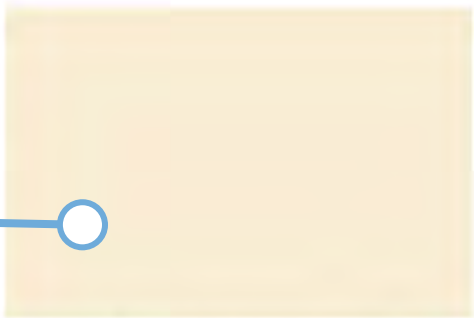


- 1) Structural wall assembly
- 2) StoGuard waterproof air barrier
- 3) Vertical adhesive ribbons
- 4) Sto EPS insulation board
- 5) Sto reinforcing mesh
- 6) Sto basecoat embedded in mesh
- 7) Sto primer (optional)
- 8) Sto decorative and protective finish

System Description	
StoTherm NEXt is a lightweight energy efficient wall cladding with continuous insulation, drainage, waterproof air barrier, and integral decorative and protective finish options.	
Uses	
StoTherm NEXt can be used on virtually any project where energy efficiency, aesthetic versatility, and speed of installation are desirable. Building retrofits can usually be achieved by over-cladding existing wall systems (brick, masonry, stucco, etc), usually without the need for structural modifications.	
Features	Benefits
Continuous insulation	No thermal bridging, reduced energy costs.
Waterproof Air Barrier	Moisture protection and an energy saving air barrier.
Drainable	Vertical ribbons provide a cavity for water to drain.
Lightweight	Reduced Structural costs. Great for retrofits.
Aesthetic Options	
Virtually unlimited color options, many textures, and the ability to replicate brick, limestone, granite, & metal panels.	
>30 years of experience	An integrated system with a single source warranty.
Properties	
Weight	< 2 psf
Insulation Thickness	1.0 to 12 inches
R-value (insulation only)	3.8 to 45
Wind Load Resistance	ICC ESR's 1720 and 1748
Fire Resistance	ICC ESR's 1720 and 1748
Warranty	
EIFS Moisture Protection Limited Labor and Materials Warranty:	
StoTherm Lotusan NEXt: 15 Years	
StoTherm Classic NEXt: 12 Years	
StoTherm Essence NEXt: 10 Years	
Maintenance	
EIFS – requires periodic cleaning to maintain appearance, repair to cracks and impact damage if they occur, re-coating to enhance appearance of weathered finish. Sealants and other façade components must be maintained to prevent water infiltration.	



Clay Angel
7002-11 Valspar
Available at Lowe's



Veranda Ivory
7003-201 Valspar
Available at Lowe's

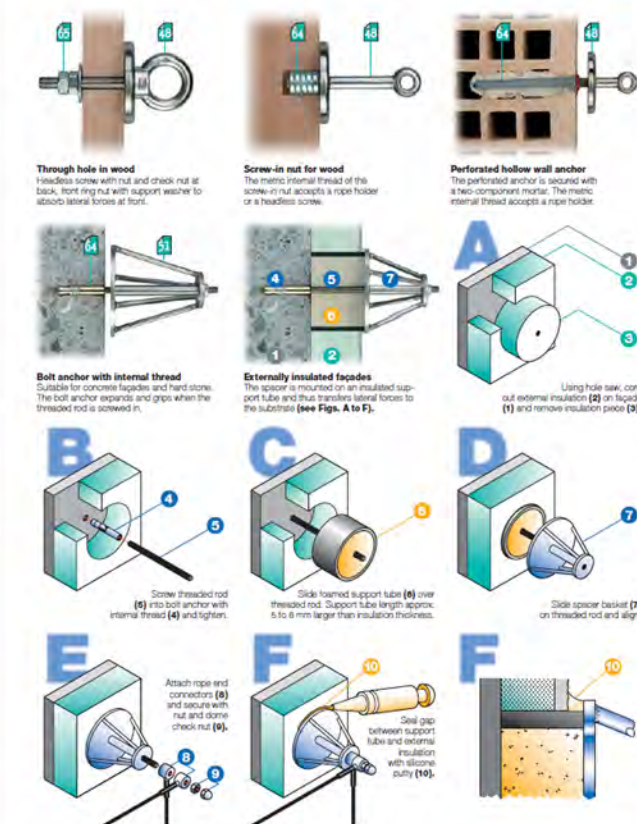


Sto Limestone Finish

80158 Sto Limestone Finish



WALL-MOUNTING SPACERS ON VARIOUS BUILDING MATERIALS



COMPONENT COMBINATIONS

WALL CLEARANCE (W) means the distance between the façade and the training system (centre of rope).	44	64	84	74	80	64	68	61	68	71	74	+12
Eye bolt, slotted, with support washer No. 30036-0044-01 Unfinished No. 30036-0044												
Eye bolt, slotted, with support washer No. 30036-0044-01 Unfinished No. 30036-0044												
Eye bolt, slotted, with support washer No. 30036-0044-01 Unfinished No. 30036-0044												
GreenGuard spacer (2.25" / 57mm) No. 30019-0006					74	80	64	68	61	68	71	74
GreenGuard spacer (2.25" / 57mm) No. 30019-0006					91	97	81	85	78	85	88	91
GreenGuard spacer (2.25" / 57mm) No. 30019-0006					116	122	106	110	103	110	113	116
Spacer basket (2.40" / 61mm) No. 30097-0016					61	67	61	65		65	68	91
Spacer basket (2.40" / 61mm) No. 30097-0100					116	122	106	110		110	113	116
Spacer basket (2.40" / 61mm) No. 30097-0150					166	172	156	160		160	163	166
Spacer basket (2.40" / 61mm) No. 30097-0200					216	222	206	210		210	213	216



Perforated Metal

How To Specify

Consider application or end use:

Physical requirements (strength, open area, environment, etc.).

Consider design properties:

Appearance, functionality, flexibility, ventilation properties (air, light, fluid and sound passage), style, uniqueness, etc.

Specify: McNICHOLS® Quality Perforated Metal Pattern or Description. See individual spec sheets or website for identification.

Material type: Varies by pattern choice. See individual spec sheets or website.

Thickness: Specify gauge or thickness in inches.

Hole size, shape and arrangement:

Hole opening size, shape and straight or staggered row, if applicable.

Size: Available 3' x 8' or 10', 4' x 8' or 10' or other sizes.

Hole Centers: Center to center measurement between two adjacent holes.

Quantity: Number of sheets or cut to size pieces required.

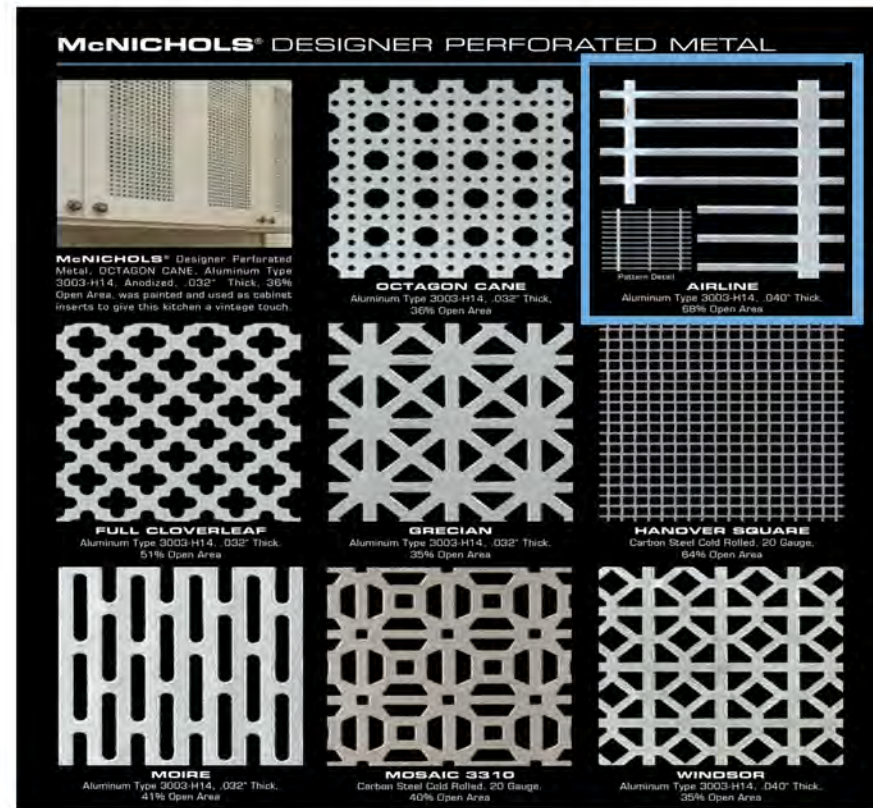
Blank Margins: Standard or special requirement.

Flatness: Requirements, if any.

End Pattern: Finished or unfinished.

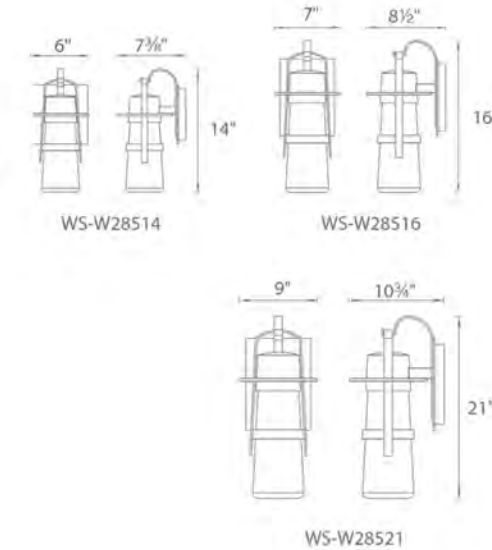
Features & Benefits

- Aesthetic appeal
- Accurate opening sizes
- Many hole size choices
- Good strength to weight ratio
- Versatile in application
- Choice of hole shape
- Variety of design styles
- Lightweight metal options
- Unique design
- Functionality
- Ventilation properties: air, light, fluid & sound
- Choice of gauges
- Variety of materials
- Unique pattern designs
- Many pattern choices
- Popularity



BALTHUS – model: WS-W285

LED Interior & Exterior Sconce



PRODUCT DESCRIPTION

Heavy hardware exhibits craftsman details. Mouth blown hammered clear glass creates resplendent sparkles on the wall.

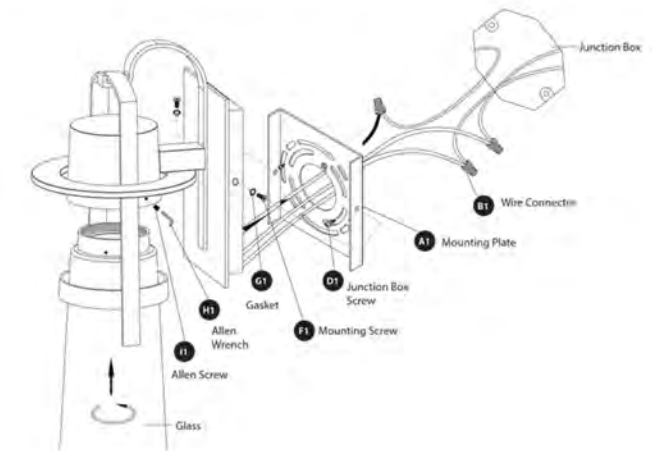
FEATURES

- ETL & cETL wet location listed, IP65 rated
- Dark Sky Friendly
- Mouth blown hammered clear glass
- Full range dimming when used with compatible dimmers
- No transformer or driver required
- 277V option available for WS-W28521 (special order)
- 80,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

- Construction:** Mouth blown hammered clear glass.
- Light Source:** High output LED.
- Finish:** Graphite (GH), Oil Rubbed Bronze (ORB).
- Standards:** ETL & cETL damp location listed. IP65 rated. Dark Sky friendly.

Fig.1



ORDER NUMBER

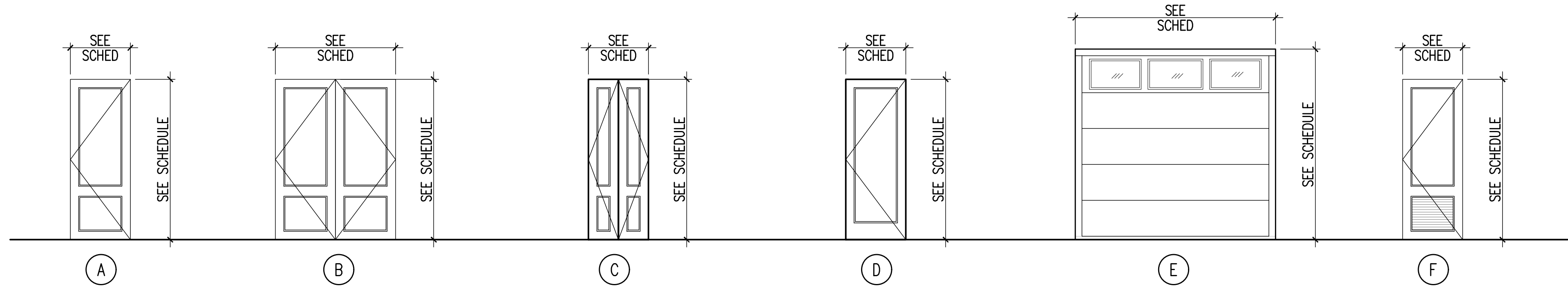
Model	Height	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W28514	14"	10W		478	455	GH Graphite
WS-W28516	16"	10W	120V	481	463	ORB Oil Rubbed Bronze
WS-W28521*	21"	10W		475	470	

Example: WS-W28514-ORB

*For 277V special order, add an "F" before the finish: WS-W28521F-ORB

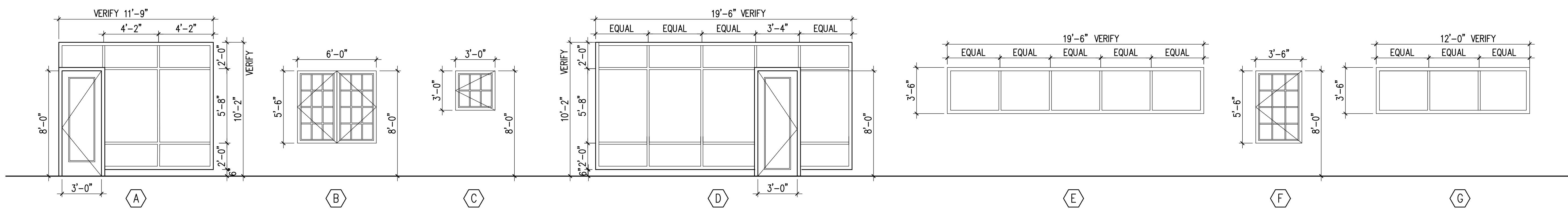
DOOR SCHEDULE

Mark	Location	Type	Door				Frame		H'dware	Remarks
			Width	Height	Thick.	Finish	Material	Finish	Set No.	
UNIT 5										
01	COMMERCIAL ENTRY	D	ALUM.	3'-0"	7'-4"	1-3/4"	PRE-FIN.	ALUM.	PRE-FIN.	ALUMINUM STOREFRONT
02	RESIDENTIAL ENTRY	D	ALUM.	3'-0"	7'-4"	1-3/4"	PRE-FIN.	ALUM.	PRE-FIN.	ALUMINUM STOREFRONT
03	COMMERCIAL TOILET	A	POPLAR	3'-0"	7'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
04	COMMERCIAL HVAC	F	POPLAR	2'-6"	7'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
05	GARAGE TO ELEV.	A	H.M.	3'-0"	7'-0"	1-3/4"	PAINTED	H.M.	PAINTED	45 MINUTE FIRE RATED
06	GARAGE	E		10'-0"	9'-0"	-	PRE-FIN.	-	-	
07	LIVING TO BALCONY	D	ALUM.	3'-0"	8'-0"	1-3/4"	PRE-FIN.	ALUM.	PRE-FIN.	ALUMINUM STOREFRONT
08	POWDER	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	POCKET DOOR
09	MASTER BATH	A	POPLAR	2'-10"	7'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	POCKET DOOR
10	MASTER BEDROOM	A	POPLAR	3'-0"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
11	WATER CLOSET	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
12	MASTER CLOSET	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	POCKET DOOR
13	CLOSET	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
14	BEDROOM	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
15	CLOSET	F	POPLAR	2'-6"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	LOWER PANEL LOUVERED
16	BATH	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
17	BEDROOM	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
18	CLOSET	B	POPLAR	PR 2'-6"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
19	ELEVATOR	A	POPLAR	3'-0"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
20	LAUNDRY	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
21	CLOSET	A	POPLAR	2'-6"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	
22	BATH	A	POPLAR	2'-6"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	POCKET DOOR
23	WATER CLOSET	A	POPLAR	2'-4"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	POCKET DOOR
24	STAIR/ELEV	A	POPLAR	2'-10"	8'-0"	1-3/4"	PAINTED	POPLAR	PAINTED	45 MINUTE FIRE RATED



WINDOW SCHEDULE

Mark	Size		Head Height	Glazing Type	Frame Material	Remarks
	Width	Height				
A	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	ALSF
B	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	CASEMENT
C	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	CASEMENT
D	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	ALSF
E	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	ALSF
F	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	CASEMENT
G	SEE ELEVATION	SEE ELEVATION	SEE ELEVATION	INSUL/TINT/IMPACT	PREFINISHED ALUMINUM	ALSF



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CHECKED BY : BKS, RPM

PROJECT NO. 1728

DATE : MAY 31, 2018

SHEET TITLE :
DOOR AND WINDOW SCHEDULE

SHEET NO. :

A-701

Trifab™ 601/601T/601UT Framing System

Larger, more versatile span delivers more thermal options and more design choices



Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



Performance Test Standards

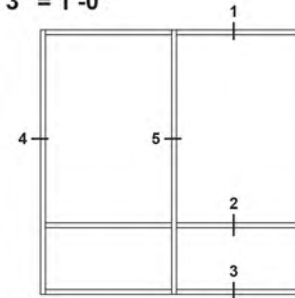
Air Performance	ASTM E 283
Water Performance	ASTM E 331
Uniform Static Structural	ASTM E 330
Sound Transmission Class (STC)	AAMA 1801 and in accordance with ASTM E 1425
Condensation Resistance (CRF)	AAMA 1503 and CAN/CSA-A440
Thermal Transmittance (U-Value)	AAMA 1503.1
U-Value Simulations for Other Glazing Options	AAMA 507, NFRC 100, NFRC 200, NFRC 500 and CAN/CSA-A440.2



Trifab™ 601/601T/601UT Framing System

BASIC FRAMING DETAILS (CENTER - Outside Glazed)

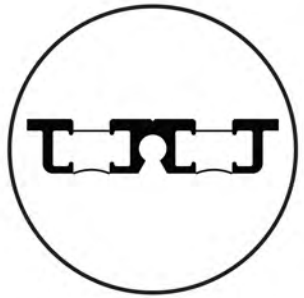
SCALE 3" = 1'-0"



ELEVATION IS NUMBER KEYED TO DETAILS



Trifab™ 601T IsoLock™ THERMAL BREAK



Trifab™ 601UT DUAL IsoLock™ THERMAL BREAK

SCREW SPLINE

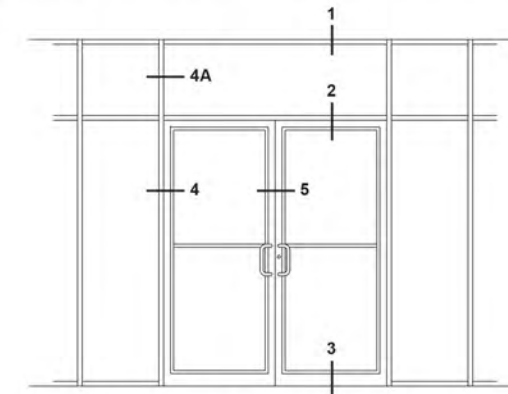
Trifab™ 601/601T/601UT Framing System

AA™ 250/425 THERMAL ENTRANCE DETAILS

SCALE 3" = 1'-0"

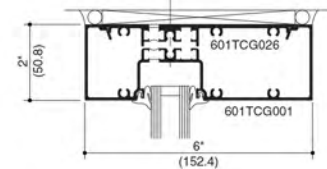
Trifab™ 601T FRAMING INCORPORATING KAWNEER "AA™250" DOORS.

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM. SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.

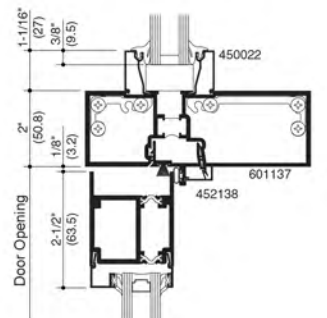


ELEVATION IS NUMBER KEYED TO DETAILS.

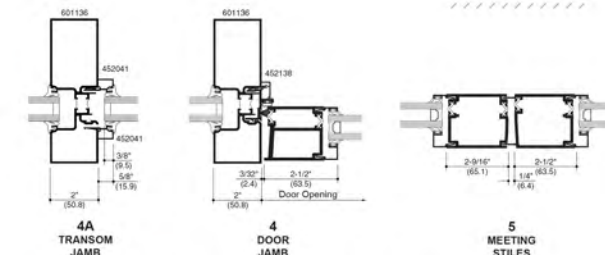
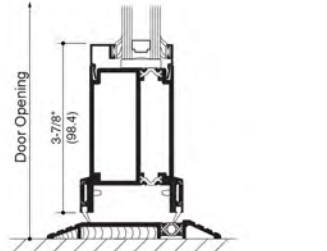
1 HEAD



2 TRANSOM BAR



3 BOTTOM RAIL



AA™ 250/425 THERMAL DOOR

F.S. R.O. G.S.	3'-4" 3'-4 1/2" 33 7/8"	4'-0" 4'-0 1/2" 41 7/8"	5'-0" 5'-0 1/2" 53 7/8"	6'-0" 6'-0 1/2" 65 7/8"
4'-6 1/2" 4'-6 1/2" 47 7/8"				
	KUN246P	KUW246P	KUN346P	KUW346P
5'-0" 5'-0 1/2" 53 7/8"				
	KUN25P	KUW25P	KUN35P	KUW35P

Push-Out Casement

Kolbe's push-out casements have a uniquely simple operation. Simply unlock a handle to push open or pull closed. Combining ease-of-operation with authentic style, push-out casements offer old-world aesthetics with today's energy efficiency.



Push-Out Casement Standard Features

- ▶ 1-3/4" thick sash
- ▶ Overall jamb width is 4-9/16" (basic box width is 2-3/4" plus extensions)
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating (meets performance requirements of AAMA 2605)
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, insulating LoE²-270 glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Single-point lever handle in an Oil-rubbed* finish
- ▶ Concealed hinges (segment head and half-circle top units use tri-Euro hinges for added support)
- ▶ Heavy vinyl nailing fins with head drip caps**

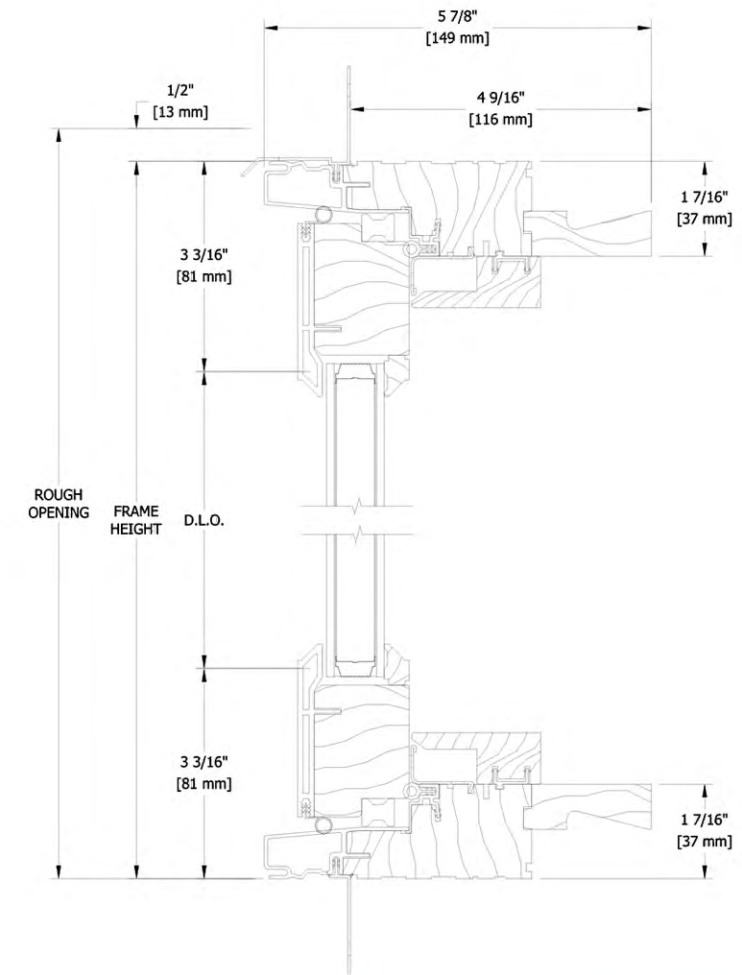
NOTE: All measurements are nominal.
*The Oil-rubbed finish is a living finish, which means that it will change appearance over time with use.
** Standard only on units without brickmould.

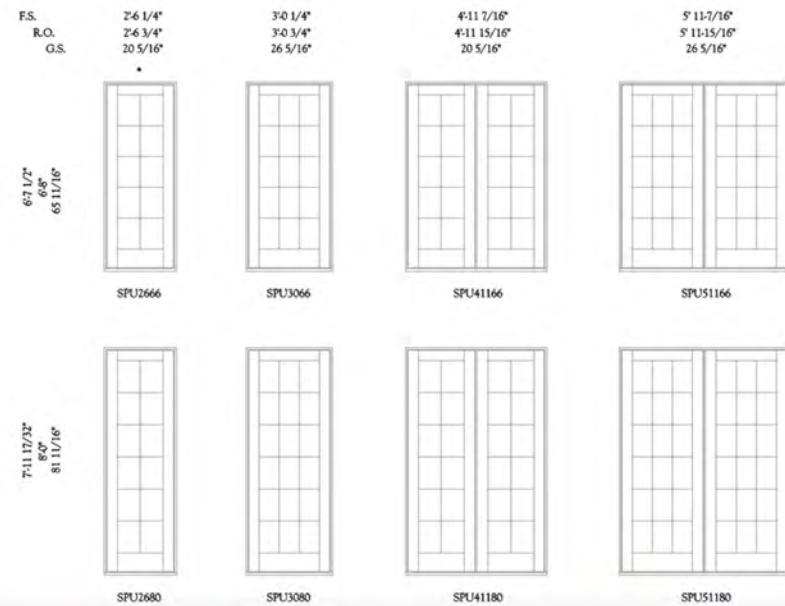
Push-Out Casement Options

- Glass** (pg. 192)
- ▶ LoE-180
 - ▶ LoE³-340
 - ▶ LoE³-366
 - ▶ ThermaPlus LoE
 - ▶ Neat®
 - ▶ Patterned-, bronze-, or gray-lite
 - ▶ Tempered or laminated
 - ▶ Other options standard to the industry

Divided Lites

- (pg. 193)
- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
 - ▶ Grilles-in-the-air-space





Outswing Doors

Outswing doors are available with the same multitude of options as inswing doors, but swing outward for areas that have indoor space constraints. Outswing entrance and patio doors are available in single double and French units, and can be customized with sidelites or transoms to create a distinctive opening.



Outswing Door Standard Features

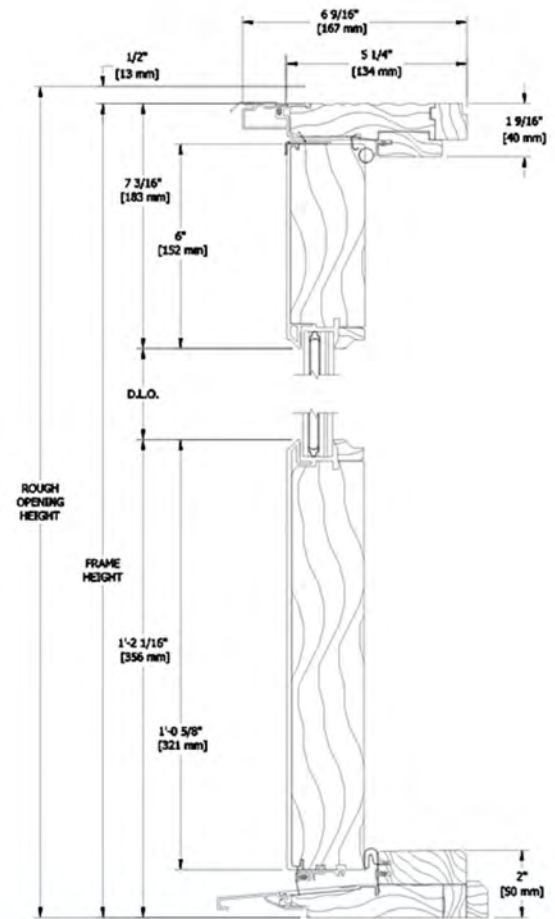
- ▶ 1-3/4" thick panel prehung in a 1-1/16" frame
- ▶ Overall jamb width is 4-9/16"
- ▶ Stiles and top rails are a nominal 4-5/8" wide; bottom rail is a nominal 7-9/16" high
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating *(meets performance requirements of AAMA 2605)*
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Energy efficient, tempered LoE²-270 glass

NOTE: All measurements are nominal.
* Standard only on units without brickmould.

- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Toronto handle set in Bright Brass
- ▶ Stainless steel multi-point locking hardware on single door panels; French doors have a 3-point lock on the active panel and a 2-point lock on the less active panel
- ▶ Non-adjustable, residential, 4" x 4" ball-bearing hinges with 1/4" radius corners in a Bright Brass finish
- ▶ Bronze anodized aluminum bumper sill with oak interior threshold
- ▶ Heavy vinyl nailing fins with head drip caps*
- ▶ Raised panels and/or glass lites

Outswing Door Options

- Hardware** (igs. 146-148)
- ▶ Toronto, München, Verona, or Dallas* handle set in Bright Brass PVD, Antique Brass, Satin Nickel PVD, Antique Nickel PVD, Oil-rubbed***, Rustic Umber, Matte Black, or Smoky Gray PVD (igs. 146-147)
 - ▶ Baldwin handle sets in various styles; available in Bright Brass PVD, Satin Brass, Antique Brass, Satin Nickel PVD, Brushed Chrome, Antique Nickel, Oil-rubbed**, Rustic Umber, Matte Black, or Distressed Smoky Gray (ig. 148)
 - ▶ Keyed lock
 - ▶ 2-point flush bolt lock on less active panel of French doors
 - ▶ Single-point locking system
 - ▶ Electronic multi-point lock *(available for select single-panel doors up to 8 feet high and with stiles wider than 3"; not available on double or French door configurations. Not recommended for coastal applications.)*
- Divided Lites** (ig. 193)
- ▶ Performance divided lites with 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bars
 - ▶ Grilles-in-the-air-space
- Sills**
- ▶ Clear anodized bumper sill
 - ▶ Oak or Mahogany sill
 - ▶ Thermal or non-thermal ADA-compliant sill
- Other Options** *(custom options are also available)*
- ▶ 2-1/4" thick panel
 - ▶ 3" or 6" stiles
 - ▶ 12-5/8" bottom rail
 - ▶ Other wood species and FSC®-certified wood (ig. 190)
 - ▶ Flat panel
 - ▶ Ovolo or square profile glazing beads and interior divided lite bars (ig. 193)
 - ▶ Interior prefinishing (ig. 190)
 - ▶ Extruded aluminum accessories applied to accessory grooves on the exterior frame (ig. 194)
 - ▶ Extension jambs up to 12" applied, over 12" shipped loose for field application
 - ▶ Galvanized steel installation clips
 - ▶ High performance or impact performance modifications



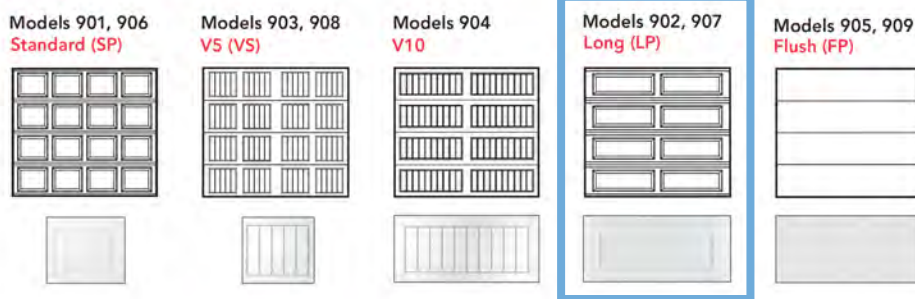


The Genuine. The Original.

Thermacore® Collection Series 5745 & 5765

Select your panel style and color

1 Choose a panel style:



Models	Series	Thickness	Polyurethane insulation	R-value*	Steel backing**	Warranty
901-905	5745	1 3/8"	•	12.12	•	Limited lifetime
906-909	5765	1 7/8"	•	16.22	•	Limited lifetime

* R-value: Overhead Door Corporation uses a calculated door section R-value for our insulated doors. The higher the R-value, the greater the insulating properties.

** Backing: Steel - interior-side steel backing for strength and finished appearance.

2 Choose a color:



Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Overhead Door Distributor for accurate color matching.

Building code/agency requirements

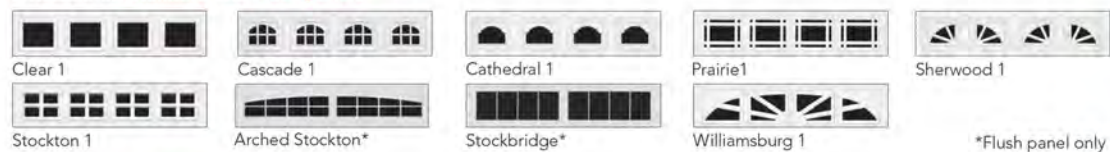
Exposure B	Door width up to	Wind speeds/Design pressures MPH ¹ /MPH ² /PSF design pressure	Impact resistant	Glass available	
				Standard	Impact
	9'	90 - 200 mph ¹ / 115 - 255 mph ² (+12.80/-14.80) - (+64.00/-72.00)	Yes ³	SP/LP ³	SP/LP ³
Series 5745 Models 901-905	16'	90 - 170 mph ¹ / 115 - 220 mph ² (+12.40/-13.80) - (+46.00/-52.00)	Yes ³	SP/LP ³	SP/LP ³
	18'	90 - 170 mph ¹ / 115 - 225 mph ² (+12.40/-13.80) - (+46.00/-52.00)	Yes ³	SP/LP ³	SP/LP ³
Series 5765 Models 906-909	9'	90 - 200 mph ¹ / 115 - 255 mph ² (+12.80/-14.80) - (+64.00/-72.00)	Yes ³	SP/LP ³	No
	16'	90 - 170 mph ¹ / 115 - 220 mph ² (+12.40/-13.80) - (+46.00/-52.00)	Yes ³	SP/LP ³	No
	18'	90 - 170 mph ¹ / 115 - 225 mph ² (+12.40/-13.80) - (+46.00/-52.00)	Yes ³	SP/LP ³	No

Thermacore® Collection Series 5745 & 5765

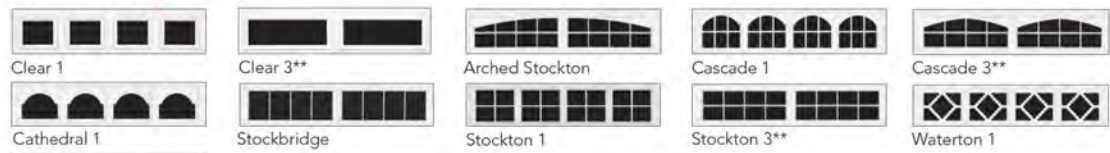
Customize your door with windows

3 Choose a window style:

Available on Standard and Flush panels



Available on VS panels

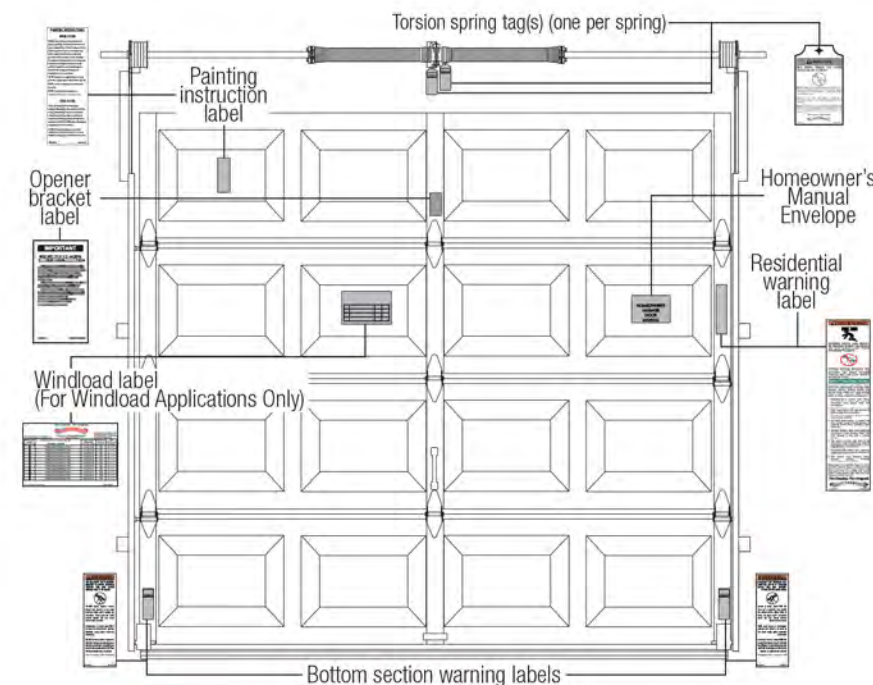
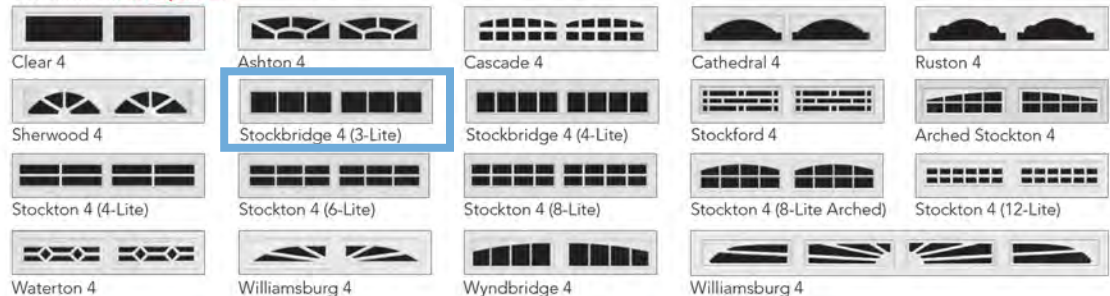


**Also available on Flush panel.

Choice of single or double arch is available for arched top double car windows:



Available on V10 panels



Thermacore® COLLECTION WINDSTORM™ WIND LOAD-RATED GARAGE DOORS



Model 903 7' high, V5 panel, Golden Oak finish, Arched Stockton windows

SERIES 5745 & 5765

Premium insulated garage doors designed to protect your family against hurricanes, high wind damage, pressure changes and wind-borne debris.

- Stringently tested to meet wind load requirements
- Impact resistant
- Reinforced hardware throughout the door
- Designed to meet local building codes – when ordered with proper wind load options – including Miami-Dade County.
- Thermacore® construction – a continuous layer of foamed-in-place, CFC-free polyurethane insulation between two layers of corrosion-resistant steel.
- In-between section thermal seals – snug-fitting tongue-and-groove section joints reduces wind and weather from entering the garage.
- Heavy gauge steel end caps for better appearance, improved strength and to protect the insulation from damage.
- Bulb-type bottom weatherseal guards against wind and rain while providing a cushion when closing.





120 W Government & 100 W Intendencia Location Map



Victoria D'Angelo

From: David Forte
Sent: Tuesday, March 28, 2023 5:42 PM
To: Justin Beck
Cc: DC Reeves; Sherry Morris; Victoria D'Angelo
Subject: Re: [EXTERNAL] 100 W. Intendencia

Justin,

In receipt. Will the request on the April 10 CRA Board meeting.

I will ask Victoria to coordinate the meeting details with you.

Thanks.

Sent from my iPhone

On Mar 28, 2023, at 5:32 PM, Justin Beck <jbeck@teambeck.com> wrote:

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

David,

Good afternoon, my partners and I are currently under contract to acquire 100 W Intendencia. While the final plans for the property are still under consideration, we would like to negotiate a new agreement to replace the current restriction on the property. Please accept this email as a request that the city consider suspending the current restrictions in place at the above referenced property for a period of 60 days for us to complete the acquisition of the property and to negotiate a new agreement directly with the city. Thank you for your consideration.

Justin A. Beck ccim cpm

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