



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, February 16, 2023, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [23-00098](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES FROM JANUARY 20, 2023

Attachments: [1-20-23 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [23-00114](#) 201 E. GOVERNMENT STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / CITY COUNCIL DISTRICT 6
ADDITION OF PORCH RAILINGS AT A NONCONTRIBUTING STRUCTURE

Attachments: [Images](#)
[Application Packet 2.3.2023](#)

3. [23-00099](#) 304 S. ALCANIZ STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / CITY COUNCIL DISTRICT 6
REPLACEMENT SIDING AND WINDOWS AT A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet 1.27.2023](#)
[Email Correspondence with Applicant](#)

4. [23-00120](#) 255 W. BRAINERD STREET - VARIANCE
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AA / CITY
COUNCIL DISTRICT 6
VARIANCE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Staff Memo Regarding Archaeological Resources](#)
 [Variance Application Packet 2.9.2023](#)
5. [23-00121](#) 255 W. BRAINERD STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY
COUNCIL DISTRICT 6
CONCEPTUAL REVIEW FOR A NEW ACCESSORY DWELLING UNIT
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet 1.30.2023](#)
6. [23-00136](#) 315 W. LEE STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY
COUNCIL DISTRICT 6
RENOVATIONS AND ADDITIONS TO A CONTRIBUTING STRUCTURE
AND NEW ACCESSORY STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet 2.6.2023](#)
 [Email and Information Regarding Doors and Windows](#)
7. [23-00135](#) 25 W. GOVERNMENT STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A / CITY
COUNCIL DISTRICT 6
FINAL REVIEW FOR SITE IMPROVEMENTS AND A NEW ENTRYWAY
- Attachments: [Images](#)
 [Application Packet 2.1.2023](#)

8. [23-00116](#) 400 S. JEFFERSON STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-2 / CITY COUNCIL
DISTRICT 6
FINAL REVIEW FOR CHANGES TO THE COURTYARD AT A
CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [November 2021 Items](#)
 [Application Packet 1.27.2023](#)
9. [23-00115](#) 211 N. PALAFOX STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A / CITY
COUNCIL DISTRICT 6
FINAL REVIEW FOR SITE IMPROVEMENTS AND A NEW STRUCTURE
- Attachments: [Images](#)
 [November 2022 Items](#)
 [Application Packet 2.9.2023](#)

ADJOURNMENT

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If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00098

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

Architectural Review Board Meeting Minutes from January 20, 2023



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

January 19, 2023

- MEMBERS PRESENT:** Chairperson Salter, Board Member Mead, Board Member McCorvey, Board Member Ramos, Board Member Yee, Board Member Fogarty, Board Member Courtney, Advisor Pristera
- MEMBERS ABSENT:** None
- STAFF PRESENT:** Assistant Planning & Zoning Division Manager Harding, Development Services Coordinator Statler, Assistant City Attorney Lindsay, Digital Media Specialist Russo, Cultural Resources Coordinator Walker
- STAFF VIRTUAL:** Development Services Director Morris, Planning and Zoning Division Manager Cannon, CRA Urban Design Planner Bennett
- OTHERS PRESENT:** Todd Clark, Brad Gadolin, Mackenzie Brown, David Meron, Rob Hazewinkel, Dieter Borrell, Casie Harris, Helen Counsell, Randi Martinez, Ashley King, Steve Dana, Kyle Baker, Isabella Spencer, Dan Girardin, Brian Spencer (via Teams)

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Board Member Fogarty made a motion to approve the November 17, 2022, minutes, seconded by Board Member Ramos, and it carried unanimously.

OPEN FORUM

NEW BUSINESS

Item 2 508 E. Jackson Street OEHPD / Zone OEHR-2, City Council District 6
Replacement Windows at a Non-contributing Structure

Action Taken: Approve with comments

Randi Martinez is requesting approval to replace nine windows at a noncontributing structure. The

222 West Main Street, Pensacola, Florida 32502
www.cityofpensacola.com

existing windows are a mix of metal and wood and many of the frames show significant wood rot. The current front windows are metal. The proposed new windows will be solid vinyl ViWinTech, double hung and one over one which is seen elsewhere in the neighborhood. Unfortunately, Old East Hill was unable to provide comments to this item, however, just to give you a little background on the window product, this same window except a different series, a lesser series, was actually approved for a noncontributing structure in Seville back in 2021. However, the only discussion item for those windows were whether or not those had simulated divided lites and so they were approved with the condition that those exist. These windows have no lites being one over one, the packet includes photographs of the windows themselves and then product details on the ViWinTech series 6000.

Ms. Martinez had no additional comments, other than her bringing her sales rep Robert Hazewinkel who might be able to answer any further questions that the board may have as well as the homeowner. Chairperson Salter noted that it looks like there are several different types of windows on the existing property. It is a mix of window types, so the owner is looking to replace them all and have a uniform look. Ms. Martinez confirmed yes. Assistant Planning & Zoning Division Manager Harding added that this property was cross-referenced with the National Register of Historic Places, strike that, with the architectural survey of this neighborhood, which is basically the basis for contributing and noncontributing structures, really just to clarify that this structure is in fact a noncontributing structure, which it is. Chairperson Salter noted there were no comments from the neighborhood association. Board Member Ramos asked for clarification about all of the openings remain the same size and they're just being replaced with windows. Ms. Martinez confirmed yes.

Board Member Courtney noted that this is exciting to see this cute little house is getting fixed up, they're very excited about that. With so many diverse window styles, it will probably look better to be a little bit more cohesive. Board Member Courtney questioned the number five window and if it was changing to DH, it looks like a little three section window. Ms. Martinez stated that it will be changed to double hung as well. Board Member Courtney noted that it looks like a really short window. Ms. Martinez confirmed that the double hung can be smaller. Board Member Courtney noted that the three-panel is really charming, personally she hates to see that change. Board Member Courtney asked Advisor Pristera if he had any comments about the window styles. Advisor Pristera noted that was a good window to bring up, he was wondering if it really had to be a double hung and is it ever going to be used to be opened. Mr. Hazewinkel asked for clarification if the ARB wanted it to remain like a picture window where it does not open. Board Member Courtney noted that a double hung of that proportion, she thinks will look peculiar for one thing. It's going to look like a 1940s jalousie window or something like that. She thinks to begin with, the charm of that window is in the function. Yes, the question is, is it really going to be used as a double hung because a double hung often you're really only getting a little bit of breeze through there. Is there a way to keep that look on that window. Mr. Hazewinkel noted that from their aspect, if they change it to a picture window it would be six of one half dozen of the other, they can change it a picture window. Mr. Hazewinkel clarified that a picture window does not open and it is not an issue on their end to change it. Advisor Pristera stated that changing the style of that window would not be appropriate, keeping it closer to what it is now is more appropriate. He also noted the mix in grid patterns but there's seems to be a lot of three over ones. Is the applicant open to having a grid pattern on them to retain some of that look to it. He acknowledged this is not a contributing structure, but these are older windows that do have character to them. Mr. Gadolin stated that most of the windows that they're speaking about are going to be on a blind side of the house, they are not visible from the street. The stuff up front will actually be replaced where visually it's identical to what is there so the street view is going to look just like it was other than the side one being double hung. It will actually make it appear a little more close to what those double windows on the original structure were, so it makes that a little more uniform. Mr. Gadolin

stated he didn't mind if the bathroom window is a picture window. He wants to be able to get this upgraded product since they are storm-rated windows, a little more safety for the structure, and a nice little break on his insurance. He views this as the best solution, as one can see there is some extensive rot on some of those windows and he's really trying to keep this house from rotting away. If he can get the windows replaced and watertight, it is going to go a really long way to keeping this house preserved. The curb side appeal will be exactly as it was before and just with a sturdier and safer window. Board Member Mead noted that the three over ones appear to be the older of the set that are on the house. They're clearly older in style and by condition they look older as well. He agrees with Board Member Courtney and Advisor Pristera that the three over one pattern, not being a significant added cost, to have an applied muntin that would keep that older form. Even if it is currently not on the visible side of the house, if it is in fact the older form of the window for the house, then that seems consistent with style. If it's only a marginal difference, it seems it would be nice to keep or restore that pattern, if we can. Mr. Gadolin consulted the experts from EcoView Construction. Mr. Hazewinkel noted the argument for that would be the street side, which is what everyone would see, has no grids on it and so for more uniformity for the home they're not changing the structure or doing anything to that aspect of it but for more uniformity of the home, making all the windows the same. Board Member Mead questioned if the front windows were being changed out. Mr. Hazewinkel confirmed that yes, they were being changed out but the windows on the front do not have the grid pattern. Board Member Mead asked how the house was oriented. Mr. Hazewinkel confirmed the house faces south. Board Member Mead noted that those windows would have likely been the first windows to be replaced because they would have been more exposed to weather. It seems clear that the pattern for the older windows is either the two over two or three over two. He suspects the three over two since it's a less common pattern and that probably would have been original. He would prefer, if the cost is not significant, to try to keep the three over one consistent around the entire set of replacements rather than just go with the one over one. He knows one over one is also common in some of these structures but we have evidence of a three over one and it seems like a good idea to try to keep that if we can and to restore it as close as we can back to the restorable form. Board Member Yee noted back to Board Member Courtney's comment and Advisor Pristera's comment about the smaller window, he sees there's an awning style available and that would allow you to keep it operable since it's in the bathroom and then you could maintain the proportions. That is really what the concern is. If you take a 24 inch high window and cut in half, now you have two little horizontal things instead of one that has these three taller lites. He doesn't know what the cost implications are but you could talk to the installer about that. Mr. Gadolin stated that he is definitely amenable to making it a picture window and he guesses that would probably be visually a little nicer. Board Member Yee noted that the awning would allow you to open it if air flow and ventilation is a concern. Mr. Gadolin doesn't see that being necessary, they have central air in the house and an exhaust system in the bathroom so he doesn't need an opening bathroom window. Advisor Pristera asked about the casing around the windows and if that would be replaced. Mr. Hazewinkel stated there is significant damage as far as wood rot goes. The window measurer included being able to replace the window casings, in white. Advisor Pristera asked if it will match the basic style and depth that is there now and Mr. Hazewinkel confirmed yes. Board Member Courtney clarified that the front, large window to the left would remain a picture window. Mr. Gadolin stated that he was looking to make that a double hung to better match the other windows under the porch right there and make it functional. Board Member Courtney personally feels like if you're going to make that a double hung, that it definitely will need the three muntins on the top section visually to change that out. The ones under the porch do not have the room for the three sections and she'll defer to Advisor Pristera who agrees that the two under the porch could be one over one and the large picture window one would be fine as three over one, proportion wise. Board Member Courtney noted that it's almost like that picture

window maybe was like the other ones underneath the porch at some point, the two together. Mr. Gadolin clarified that the portion Board Member Courtney was speaking of is an addition that was added probably half a century after the original structure and is really not part of the original building. He chose to save it because it was a functional space that he could use, but it is not part of what the original structure was and the windows don't match the rest of the house for that reason. He's just trying to get it visually a little closer and he feels the double hungs will look a lot nicer next to those other windows, it is sort of a uniform look with the front ones being double hung and the one over to the side. It seems it will be a little more uniform that way.

Board Member Mead made the motion to approve the application with a change to three over one throughout for abbreviated review unless the cost becomes prohibitive and if so, then the one over one would be acceptable but that could be submitted for abbreviated review and go from there. Chairperson Salter asked for clarification about the three over one, if Board Member Mead is including the two narrow windows on the front porch. Board Member Mead stated that the narrow ones are different and he tends to agree that those were probably one over one so they may or may not work with the three over one, that might be too busy. Board Member Mead would be fine with those as one over one.

Board Member Ramos questioned if the board is assuming that the bathroom windows that are now the picture windows, are those half simulated, the three lites. Board Member Mead confirmed yes. Board Member Ramos confirmed yes, in the bathroom, those would have the simulated divided lites and would be the three panels. Board Member Mead confirmed yes, the three panels with the option of an awning if they choose to have it operable or not.

Chairperson Salter noted that the motion on the table did not specifically address changing window number five from the proposed double hung. Board Member Mead stated that the square window in the bathroom also to be the three vertical lites, either operable or fixed, as they see fit.

Board Member Courtney questioned if the board is clarifying raised muntins as well. Board Member Mead stated that he said applied muntins and he means they're going to be applied, so they will be visible from the outside.

Mr. Hazewinkel requested to ask two questions. Someone mentioned if unless it becomes cost prohibitive, what is that definition? Is that five dollars, five hundred, is it one thousand? What is the definition of cost prohibitive? Board Member Mead stated that in his mind if it adds more than 20% to the cost of the project then it would be prohibitive. Mr. Hazewinkel and Board Member Mead acknowledged 20%. Mr. Hazewinkel's second question, if the house next to it has had improved windows and they don't have the muntins or the divided lites. Board Member Mead clarified that very often there would be variations in window patterns in similar type structures so they would have a variety, that was very often sought to differ yourself from the house next door which otherwise looks very similar, so that's not uncommon. So you have one that might have one window pattern and a same basic floorplan would have a different window pattern because they wanted to distinguish it.

Board Member Courtney seconded the motion and it carried unanimously.

Assistant Planning & Zoning Division Manager Harding expanded upon the board's thought process

by specifying the code section for Old East Hill for noncontributing structures is 12-3-10(3)(h). It does state that noncontributing structures are recognized as products of their own time, which is where the board was going with the three over one windows. In review of these structures, the board may make recommendations as to the use of particular building elements which will improve both the appearance of the individual structure, it's relationship with surrounding structures, and the overall district character, which Assistant Planning & Zoning Division Manager Harding believes meets the intent of the board's motion in this case.

Chairperson Salter stated that it was his understanding that the basis of the three over one was that it was determined that was likely the original pattern, based on the window types that were present and their locations.

Item 3 612 N. Spring Street NHPD / Zone PR-2, City Council District 6
Addition of Porch and Rear Guardrails at a contributing structure
Action Taken: Approved as submitted

Todd Clark is seeking approval to add guardrails to the front porch and rear stoop due to home insurance requirements. The proposed railings will be custom built of wood with 1" square pickets spaced 4" apart at their centers. The top rail will be 36" from the porch floor and will be painted to match the brown porch floor with the other components being painted white. Example photographs were taken from 126 W. Jackson Street which is a contributing structure to the south. That project received board approval about a year and a half ago. The image on the screen are those stairs that will be mimicked in this case. Assistant Planning & Zoning Division Manager Harding confirmed the representative image is from Jackson and Spring Streets. Assistant Planning & Zoning Division Manager Harding reported that with his conversations with Mr. Clark, the applicant planned on amending his packet to add something.

Mr. Clark presented to the board and stated that he's doing this as an insurance requirement and not because he wants to. Mr. Clark made one correction that the top part of the railing might be painted white and it's up for debate whether they go with white or brown. In addition to the railing, Mr. Clark asked for approval for fabric shields, to assist with insurance costs, on all windows and doors. Mr. Clark spoke with Deborah Hart with North Hill and they do have other houses in the district that have the same kind of panels. It's the kind that has the studs coming out of the corners and then you screw them down around the frame. Mr. Clark stated that about 85% of his windows are original so not only will help with insurance but it will protect the windows during a storm.

Chairperson Salter asked for clarification that Mr. Clark is proposing the fabric shield storm panels, which are the fabric panels and the only thing permanently attached to the structure are the studs. The panels come completely off and come back on for a hurricane. Mr. Clark confirmed yes. Mr. Clark asked for clarification from Assistant Planning & Zoning Division Manager Harding that because of the height of his porch he has to have the balusters 4 inches, he can't have a sphere 4 inches, to be able to protrude through the baluster. Assistant Planning & Zoning Division Manager Harding clarified that it was likely Robbie Weekly or the insurance agent who stated that. Mr. Clark stated that while he does not want to install the fence, there are other styles that he likes with cross details but the openings were too big. Chairperson Salter noted that the proposed railings are appropriate and minimal, not overpowering. The storm shutters are also appropriate for this area.

Board Member Fogarty asked for clarification that the shutters are not pull down, Mr. Clark confirmed no. Board Member Yee asked about the requirement for the 4 inch sphere if the deck is above 30 inches, Mr. Clark confirmed it is 32 inches. Mr. Clark requested to table his request for railing, aside from the storm shutters, to explore other options and get more information. Board Member Yee clarified that it is a code requirement if you are above 30 inches, you have to prevent the passage of

the 4 inch sphere, however if you're less than that then it's just decorative. Mr. Clark would like the ability to choose what he wants rather than settle for the balusters. Mr. Clark requested an abbreviated review of the final railing style. Board Member Courtney suggested a 32 inch high rail and add a stainless steel cable higher, considering the required 36 inches, to give an older look to the rail. Board Member Fogarty asked if the stair treads will be stained or will be painted white, Mr. Clark confirmed white. Board Member Ramos asked if rails would be on both sides of the front and rear stairs, Mr. Clark confirmed just one side on each. Assistant Planning & Zoning Division Manager Harding reminded the board to avoid tabling items because it opens up some legal issues, but the board can approve as submitted with an abbreviated review to choose the final style. Board Member Yee reminded Mr. Clark to check with his insurance agent about their requirements.

Board Member Ramos made the motion to approve as submitted with the addition of the fabric storm panels to the windows as well. Board Member Fogarty seconded the motion and it carried unanimously.

Board Member Mead mentioned to Chairperson Salter about Brian Spencer's request to move up the 200 E. Zaragoza Street train shed. Assistant Planning & Zoning Division Manager Harding noted that Chairperson Salter agreed to switch items 6 and 7.

Item 4 100 W. Garden Street PHBD / Zone C-2A, City Council District 6
Final Review for changes to the façade and site of a contributing structure

Action Taken: Approved as submitted

Ashley King, Trapolin Peer Architects, is seeking reviews for alterations to a contributing structure. Modifications to the ground floor façade were approved in October 2022. For this application, the following is requested: 1) Final approval for: changes to the exterior storefront sizes, locations, and materials; addition of new storefront openings; removal of the existing column-supported canopy and addition of a new metal-clad cantilevered canopy; and replacement of brick veneer façade under new canopy with simulated wood wall panel or metal wall panel; 2) Conceptual approval for: 1) Site hardscape and landscape improvements; relocation of the garbage storage yard from the center of the parking lot to the north side of the building.

Ms. King presented to the board. Advisor Pristera asked for clarification about a decorative pattern for when the awning turns the corner onto Garden from Baylen. Ms. King stated that the brick wall cannot be opened due to main egress, there will be an opening in the canopy, perhaps a sun dial, that will shine natural light on the façade. Chairperson Salter noted that the minor deviations are minimal and go along with what was previously approved. Board Member Ramos asked for clarification on the pattern for the metal wall panels on the east elevation. Ms. King noted that one single panel should cover that space, the two levels of store front will read as one plane. Board Member Fogarty questioned the boldness of military blue for the soffit area. Ms. King stated that color speaks to the Adams Homes logo and will eventually tie in with signage, but color choices will come back for final approval. Board Member Ramos asked for a presentation on the conceptual items. Ms. King presented on the site plan. Board Member Ramos asked about a landscaping schedule, Ms. King advised that it will be forthcoming. Board Member Ramos asked for clarification on the dumpster enclosure fence material, Ms. King advised that it will be conceptually composite over aluminum fence posts, more information to be forthcoming.

Board Member Ramos made the motion to approve as submitted. Board Member McCorvey seconded, and it carried unanimously.

Item 5 117 W. Garden Street PHBD / Zone C-2A, City Council District 6
Final Review for changes to a contributing structure

Action Taken: Approved with comments and request for abbreviated review

Casie Harris is requesting final review to modify the elevations and to add a rooftop addition at a contributing structure. The proposed work will replace the existing storefronts and windows with new, it will add second-floor balconies to the front, and an occupiable third floor will be constructed for a lounge and bar. This project received conceptual review with comments in November 2022 and many of the changes reflect the board's suggestions. Since this is for final review, a materials packet for all additions and changes has also been provided.

Chairperson Salter referenced historic photographs that were provided following the previous meeting that demonstrated that the bays were originally open and had full windows and that the awnings from the second-floor balconies have been removed from the scope. Chairperson Salter noted the porthole detail in the railings as a nod to the porthole windows, but he recognizes that detail is not entirely necessary since the historic photographs indicate that the porthole windows were not original. Mr. Borrell noted that based on the historic photograph provided by Drew Buchanan, all of the ground floor openings were once garage doors. Mr. Borrell also noted the back stair could not be kept as an egress due to being structural unsafe and fire hazard. Chairperson Salter noted the front balconies are prefabricated aluminum balcony system that is attaching to the building and the information packet notes tie back rods so there will be railing and anchors to the wall with tie backs. Chairperson Salter requested detail for the bottom of the deck surface and what street level will look like. Mr. Borrell stated the options are it being finished to what the structure is below or do a finished material on the bottom with some downlight under it. Chairperson Salter asked if it would be a flushed, finished ceiling or would we see the aluminum frame for the deck support system. Mr. Borrell noted that the manufacturer offers options for it being flush. Board Member Ramos asked about the proposed finish for the deck portion of aluminum balconies. Mr. Borrell noted is a standard grated type floor system, like mesh that you can stand on with aluminum finish. Mr. Borrell stated that he could explore options for covering those areas with material that will not allow water through onto pedestrians below. Board Member Ramos asked Advisor Pristera to speak about the applied balconies to a contributing structure. Advisor Pristera noted this version of the plans does not take away from the buildings aesthetic and retains enough of the original character and can be removed if needed. Board Member Ramos questioned how far the balconies come out. Mr. Borrell noted about 42 to 48 inches. Mr. Borrell noted that he met with FDOT regarding this project and they deferred to the City of Pensacola.

Board Member Ramos asked for clarification on the exterior paint selections. Ms. Harris noted the black and white is something different in the downtown area and she chose the color scheme to complement a development nearby. Board Member Ramos questioned if a contributing structure has to follow the historic paint palate. Assistant Planning & Zoning Division Manager Harding noted that not in the Palafox Historic Business District and that approved historic colors are only for the preservation districts. For Palafox Historic Business District, historic colors are not required by code and code states that color choice should not be offensive. Board Member Ramos questioned why the black color wasn't carried around the corner (east side). Ms. Harris stated that she wanted to keep the original brick on all other sides. Mr. Borrell noted it would be too dramatic to carry the black around the east corner. Board Member Ramos expressed concern for the front façade being one dimensional with black paint and applied balconies. Mr. Borrell noted that a mural could occur on the east wall at some point in the future.

Chairperson Salter asked for clarification about the location of the metal fence depicted in the packet.

Mr. Borrell noted on the roof to conceal the HVAC units on the rooftop, exact measurements are not currently available. Chairperson Salter noted that it is intended to screen the mechanical areas and asked if the bar area is surrounded by steel cable. Mr. Borrell noted yes, it is to keep people from walking into the rooftop and this was requested by the City's building department. Chairperson Salter asked about the one light fixture in the packet, Mr. Borrell stated it is the same fixture to be used at the six locations on the front of the building. Chairperson Salter noted his only real concern is painting the front of the building black and the affect that will have on the aesthetics downtown area. He is concerned it is too bold of a statement for the downtown area and black is not a traditional color for a historic building. Advisor Pristera noted it is rare to see, but Palafox House is historic and painted black. Mr. Borrell noted it has a shine to it where it appears more gray than black. Chairperson Salter mentioned the Handlebar, which was also painted black. Board Member Fogarty asked if stucco, perhaps on columns, would help. Chairperson Salter noted there is a balance to strike and he would like the rest of the board's thoughts. Board Member Courtney seconded the opinion that this beautiful architecture could disappear as painted black. Mr. Borrell noted he would agree if it was flat black, but a sheen could accentuate some of its features, perhaps a satin or eggshell finish. Ms. Harris asked if extending the white upwards, like a column look, would assist with breaking up the black façade. Door, window, and up to rooftop would be white. Board Member Mead stated he is not concerned with the front façade being painted black. Having different planes and different colors is itself a concern, but the front façade painted black does not trouble him. Assistant Planning & Zoning Division Manager Harding depicted an image of Palafox House as an example, discussion ensued about Palafox House. Board Member Ramos noted that Odd Colony is also a darker colored building. Board Member Ramos noted that he would paint the east side of the building black as well, which would help to highlight the front façade and work with landscaping. Board Member Mead noted it would be difficult to paint the east side due to lack of ornamentation. Mr. Borrell stated that lighting could be incorporated down the side of the building to complement the front. Chairperson Salter noted the drop in the parapet on the side and could that be also painted black to help wrap that corner. Board Member Yee suggested painting a strip around the corner to give depth and break up the dimension. Board Member Mead questioned what is dividing the parapet from the window frames. Mr. Borrell noted a coping cap, original being cast but aluminum was added. Board Member Mead asked if the coping could be painted black to diminish the scale of the black band across the top or use the metal color in the railings and pull it across to break it up and provide ornamentation for the sides. Board Member Yee said to continue matching treatment on the west side as well. Board Member Ramos asked for clarification about the treatment of the canopy in the rooftop bar, specifically the fascia and soffit materials, what will be seen from street level. Mr. Borrell stated the roof canopy is a steel structure with metal fascia, wood soffit system, and all structural components will be painted black including the fascia. Board Member Fogarty questioned the color scheme for the top level in the package noted as a vintage wood and ash color, but the cladding system specified a warm wood tone. She inquired about where the cladding will be visible and the ceiling of the composition. Mr. Borrell noted that it will be seen in the top structures that come out of the roof for the bar and the ceiling will be a warm tone and an ashy tone on the walls. Mr. Borrell noted that they're looking at two options, either stucco or fiber cement panels in the ash color. Board Member Mead suggested a brushed metal band at the foot of the parapet that wraps around the sides of the building and applied brushed metal detail on the railings to match. Board Member Yee inquired about where the stucco is applied, and where the wood paneling. Mr. Borrell stated in the upper structure of the rooftop for the stucco, specifically stucco or ash-colored fiber cement panels for walls and wood soffit. Board Member Yee questioned where the nano-walls are being used. Mr. Borrell answered the doors to left of the double doors on ground level. Ms. Harris clarified that the middle is access to rooftop and second floor apartments, and the far doors to the right and left are access to the restaurants. Board

Member Ramos asked if the folding doors would come back for abbreviated review if that direction is chosen and Mr. Borrell confirmed yes. Board Member Yee noted that glazing elevations need to be consistent width from top to bottom and the glazing and balconies are not centered on the plans, assuming it is a drafting inconsistency. Mr. Borrell noted it might be the shading on the plans. Board Member Yee asked for clarification about pursuing full board approval at this time. Mr. Borrell and Ms. Harris confirmed yes. Board Member Yee asked for clarification from Assistant Planning & Zoning Division Manager Harding about an abbreviated review requirement not allowing the applicant to move forward with permitting. Assistant Planning & Zoning Division Manager Harding stating that it depends on scope and that approval with a need for materials on the sliding doors and paint to be abbreviated review, the applicant can probably proceed with a permit since it will take some time for building, fire, and engineering to look at the plans.

Board Member Yee made the motion to approve with an abbreviated review for final glazing elevations, canopy details, clarifications on the cladding because there is lack of clarity on where the stucco is being used versus the ash siding panels. Paint and how it wraps the corner of the building, coping, and other applied details that wrap the corner to also come back for abbreviated review. The approval does not include signage.

Assistant Planning & Zoning Division Manager Harding noted that the disapproval of signage is pretty typical for commercial projects because the sign ordinance is very restrictive as far as size and location and color and lighting so that is usually handled through an abbreviated review.

Board Member Mead asked for clarification on the motion for the banding at the top, it was confirmed to be approved through an abbreviated review consistent with the comments. Board Member Mead seconded and it carried unanimously.

Assistant Planning & Zoning Division Manager Harding noted that because Board Member Yee was the motion maker he will be sent the abbreviated review.

Item 6 39 E. Chase Street PHBD / Zone C-2A, City Council District 6
Final Review of an Urban Plaza and Parking Area
Action Taken: Approved as submitted

Jerry Pate Design is requesting final review of a new urban plaza and parking area for the East Garden District hotel and development. Conceptual review was provided in August 2022 with consideration of the Board's comments. The new plans show removal of the artificial turf and a plaza hardscaped with clay pavers, a decorative center piece of cobblestones, and raised plantings bordered with limestone-capped wall seating. A sugar kettle fountain is proposed for the center. Additionally, details on the hardscape and landscape for the eastern parking area have been included for the Board's review.

Mr. Belsinger addressed the board and noted that the primary comment from the last review was to remove the faux turf, which they did, and Jerry Pate Design used the same brick paver as they are using throughout the plaza just in a different pattern, providing a more usable, active area throughout the urban plaza. This application includes the parking area to the east of the hotel and urban plaza, incorporating the trash coral and landscaping around the parking area. Assistant Planning & Zoning Division Manager Harding noted artificial turf has been removed from the application. Chairperson Salter asked for clarification about the metal wall panel for the trash enclosure gates and its similarity to what is being used at the top of the building. Mr. Belsinger noted that the ARB asked for a cleaner

metal look than what is being used for the top of the building, and they will be returning for an abbreviated review for the lower level metal panel above the first story as well as the mortar color. Mr. Belsinger noted the metal will be painted the same as all the other metal panels and the brick is the same as what was approved for the hotel. Mr. Dana noted that the lighting fixtures in the plaza are on the vertical face of the seat wall and in the planting beds as up lighting for the trees. Board Member Ramos asked for clarification about the landscaping plan for the parking area, specifically any plantings in the parking area or buffers between the parking area and sidewalks. Mr. Dana noted that a similar palette is being continued from the plaza to the parking area with live oak trees and the islands in the corners and the center. The eastern edge has a small hedge and center islands is low growing with a variety of species. The eastern corners have low growing beds under the live oaks. The northern boundary on Chase Street where handicap spots are that head into the street, there is a narrow area that will have a low, screen mesh wall to allow Confederate jasmine to grow and shield from the street. Board Member Ramos asked for clarification on the height of the screen. Mr. Dana and Mr. Belsinger noted it is 48 inches. Mr. Belsinger noted that at the suggestion of ARB, the eastern façade of the hotel includes murals and grow walls that will also have Confederate jasmine, which speak nicely to the fence on the northern side.

Board Member Fogarty made the motion to approve the application as submitted. Board Member Ramos seconded the motion and it carried unanimously.

Item 7 11 E. Garden Street PHBD / Zone C-2A, City Council District 6
Review of Roll-Down Shutters

Action Taken: Approved as submitted with modifications

SMP Architecture is seeking approval for security roll-down shutters. The shutters will be attached to an outdoor bar area which was approved by the board in October 2022 and with a following abbreviated review in December 2022. The abbreviated review was required to further define a proposed area of artificial turf and to modify the design of the bar enclosure system to better meet the board's comments and concerns. For the abbreviated review, vinyl film displaying historic images of downtown buildings were applied to the proposed roll-down shutters. While the turf area was approved, the shutters were not and were referred to the full board for review. This application includes the request for the roll-down shutters with applied vinyl images, the denied abbreviated review, and the meeting minutes from October 2022. Since the remainder of the project has been approved, this review is only for the shutters as proposed.

Mr. Girardin provided images of existing roll-down shutters and based on those examples Assistant Planning & Zoning Division Manager Harding did some background on if and when those items were approved. Mr. Spencer presented, via Teams, to the board. Mr. Spencer stated that there is successful application of graphics on a coiled, rolled up shutter, with local examples provided. Mr. Spencer provided photographs of Flounders on Pensacola Beach that depict the successful application of images on roll-down shutters. Mr. Spencer noted that roll-down shutters were approved for Graffiti Pizza who did not follow through on painting them black, as approved by the ARB. He also pointed out that other local businesses installed roll-down shutters without ARB approval.

Chairperson Salter noted that he denied the abbreviated review and referred to full board because it did not match the discussion of the board at that time and it presented an entirely different solution. Board Member Mead clarified that the board previously talked about curtain and/or swinging awning solutions, but the addition of historic photographs does present a different way of appreciating this question. He is still a little concerned about how the tale of the historic photos will be perceived with

the vertical banding effects as opposed to the much more simple, bold Pensacola Beach sign at Flounders. Board Member Ramos pointed out that there is an example of the historic photos on the roll-up shutters that depicts the concern of Board Member Mead. Board Member Yee asked for clarification on how the panels are applied to the panel slats. Mr. Spencer stated that he went over all of the details with Steve from Pensacola Sign, they have machinery and technology. The manufacturer's roller panel is not in the frame or box coil mechanism but is laid out in the Pensacola Sign shop and applied. They can control matte, semigloss, gloss, sepia, bright, vibrant colors, but it is applied in the shop. Board Member Yee noted it is a nice addition to a necessary evil and asked if the applicant was able to explore the other options mentioned previously. Mr. Spencer noted yes, but security, affordability, and durability was most important to the applicant. Space was also an issue in accommodating the other options. Board Member Mead asked Staff about enforceability of maintaining the photograph depictions as opposed to painting over it. Assistant Planning & Zoning Division Manager Harding noted that it would fall to code enforcement. There is a provision in the Palafox Historic Business District ordinance that pertains to the maintenance of things like this- of walls, doors, windows, in the approved condition. Board Member Mead stated that he is intrigued by the solution and sensitive to the difficulties of it and they've done enough to explore the various alternatives from a standpoint of public amenity, this is creative, that takes away from the roll down affect. It meets the intent of what ARB is trying to accomplish by adding to the public space in a meaningful way. Board Member Mead thinks this will pass muster, though he is still concerned about execution since the ARB hasn't seen this before and because of the horizontal lines.

Board Member Fogarty noted it is a cool idea and she's open to trying this, but she is concerned about the level of detail with horizontal lines and the door and how it would read. She asked if they considered other graphics that might be related to the history of the B-side or Vinyl in general, photographs of people inside enjoying a show. Is there something artistically interpreted as a simpler graphic so that the lines won't detract from it. Board Member Mead is concerned that it becomes signage for the use of the building versus architectural features that are depicting the history of the area which then become architectural elements that don't relate to the uses of the building. Board Member Fogarty asked if these images are the final selection. Mr. Girardin stated these are examples but they want to keep it with the Masonic building and the history of that. Advisor Pristera noted that there is a mural committee and process in place and could this be handled through that including agreements for maintenance. Board Member Mead agreed that would be appropriate, especially for maintenance. Advisor Pristera noted that once you are standing back from the sidewalk, the lines won't be too much. Mr. Girardin noted that the images will receive a UV protection treatment to increase longevity. Board Member Mead stated they should be matte and not shiny. Advisor Pristera asked if a base color could be specified in case the image comes off, black should be appropriate or something SMP has in mind. Board Member Ramos asked the proposed color of the frame. Mr. Girardin stated brown. Mr. Spencer noted the smooth powder coat is best finish for the fabricated shutter frame to frame. Chairperson Salter asked if the housing box will also be covered. Mr. Spencer stated no, it would be the factory finish, that being bronze. Board Member Mead noted that the final visual would be the perception of a beam with a let in post. Board Member Yee noted the distinction that the housing is the same color as the wood beam above.

Board Member Mead made the motion to approve the proposal as submitted with the following modifications 1) the paint scheme for the housing and the underlying treatment of the roll-up doors in terms of color be submitted for abbreviated review, 2) the content and selection of the depicted images for the panels to be applied to the roll-up doors be submitted to the mural committee for selection and determination of maintenance periods and requirements based upon a more detail examination of the technology and its examples, 3) and it be in sepia tones

of historic photographs rather than some other treatment. Murals do not need to come back for abbreviated review. Board Member Courtney seconded the motion and it carried unanimously.

Item 8 200 E. Zaragoza Street PHD / Zone HC-1, City Council District 6
Final Review for a New Structure to Cover Train Exhibit
Action Taken: Approved as submitted with conditions

The UWF Historic Trust is seeking final review for a structure to cover a locomotive, flatcar, and restored caboose along the side of the Museum of Industry. This project was conceptually approved in November 2021, and it will help protect three of the largest collection items on display. Being mindful of the historic building and sensitive to the below archaeological site, the proposed design minimizes ground disturbance and physical connections to the brick building. A row of metal columns on both sides of the train will support arched wooden beams and a polycarbonate panel roof system. The design takes inspiration from the industrial nature of railroads, historic train sheds, and the adjacent historic commercial buildings.

Mr. Pristera and Mr. Baker presented to the board. Examples of the polycarbonate panel roof system were passed around. Mr. Baker noted the silver color has a 20% translucency and the white has a 45%. Board Member Ramos asked for clarification about the purlins and when the fasteners go through the material that won't be coming through the purlins and they won't be visible on the other side. Mr. Baker confirmed yes and noted that they wanted all the fasteners to be hidden. Board Member Ramos asked for the rationale behind the copper gutters. Mr. Baker stated that copper was noted on other buildings around downtown and it would be a nice color to add to the palette they were creating. Mr. Pristera noted that the L&N Terminal has copper detailing. Board Member Mead shared an example of a train station with similar design elements. Board Member Mead asked why the color was varied for the polycarbonate paneling rather than using translucent throughout. Mr. Baker noted it was to create differing color and light penetration that would create a spotlight on the train elements. Board Member Mead agreed with the reasoning behind the choice for two differing paneling colors. Board Member Mead shared the term mollycroft that refers to lantern-structures on carriages. Board Members Mead and Yee were both complimentary of the design. Board Member Yee stated he would prefer the roof structure to be all one color. Mr. Baker stated they are open to all one color. Board Member Ramos also agreed that white throughout is most appropriate. Board Member Fogarty also agreed with using one color for the roof structure. Chairperson Salter asked for clarification on the attachment of the wood purlins to the beams and would anything be visible. Mr. Baker noted that they would try to hide any connections, but that detail hasn't been looked at specifically yet. They would be conscience of it from the street, avoiding large attachment brackets and they would try to conceal everything. Board Member Yee suggested stainless lags from the top that would avoid water issues. Board Member Ramos asked for clarification about the span between the columns over the caboose, noting it should be 4 x 4 upright dimension rather than 2 x 2. Mr. Baker noted that north to south, it is depicted as a 2 x 4-ish type dimension, but final size requirements will be dictated by the structural engineer but they would like to maintain the current cadence with 18 inches on center. Chairperson Salter noted that this is an addition to a historic structure and the panel type is not historic, but the ordinance does allow for exception to matching materials when unique circumstances exist and this is the definition of a unique circumstance. Based on that provision of the ordinance, this is an appropriate product for how its being used and the reasons addressed thus far. Chairperson Salter has some concern about the size of the purlins and how they will connect, but it will not prevent approval because any changes will come back for abbreviated review. Assistant Planning & Zoning Division Manager Harding concurred on the code perspective, though Assistant Planning & Zoning

Division Manager Harding viewed it as new construction, which shall complement the original historic building or be built in a manner that is complementary to the overall character of the district. If new construction is intended to match historical design, which this is, then building elements described in the previous section, which Chairperson Salter was referencing, applies. An avenue for code compliance from the ordinance states, alternatives to the materials may be considered on a case-by-case basis, which shall match the scale, texture, and coloration of historic roofing material. Chairperson Salter noted that the code section also says, any variance from original materials styles shall be approved only if circumstances unique to each project are found to warrant such variances.

Board Member Ramos made the motion to approve the package with the condition that panels be changed consistently to the opal white color and that any changes to final structural dimensions come back for abbreviated review.

Chairperson Salter clarified that the profile of all the panels will be covered by the gutters, so the profile of all these run in the same direction, the profile is perpendicular to the larger runs.

Board Member Fogarty seconded the motion and it carried unanimously.

ADJOURNMENT

Assistant Planning & Zoning Division Manager Harding noted that staff memos now identify what city council district the projects are in, there are two city council districts that cover ARB areas, district 6 and district 7.

With no further business, the meeting adjourned at 5:04 p.m.

Respectfully Submitted,



Assistant Planning & Zoning Division Manager Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00114

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

201 E. Government Street
Pensacola Historic District / Zone HC-1 / City Council District 6
Addition of Porch Railings at a Noncontributing Structure

BACKGROUND:

Blue CPM is seeking approval to install railings along the front and side of a noncontributing structure. The railings will be black aluminum, 36" in height, and set between the existing square columns.

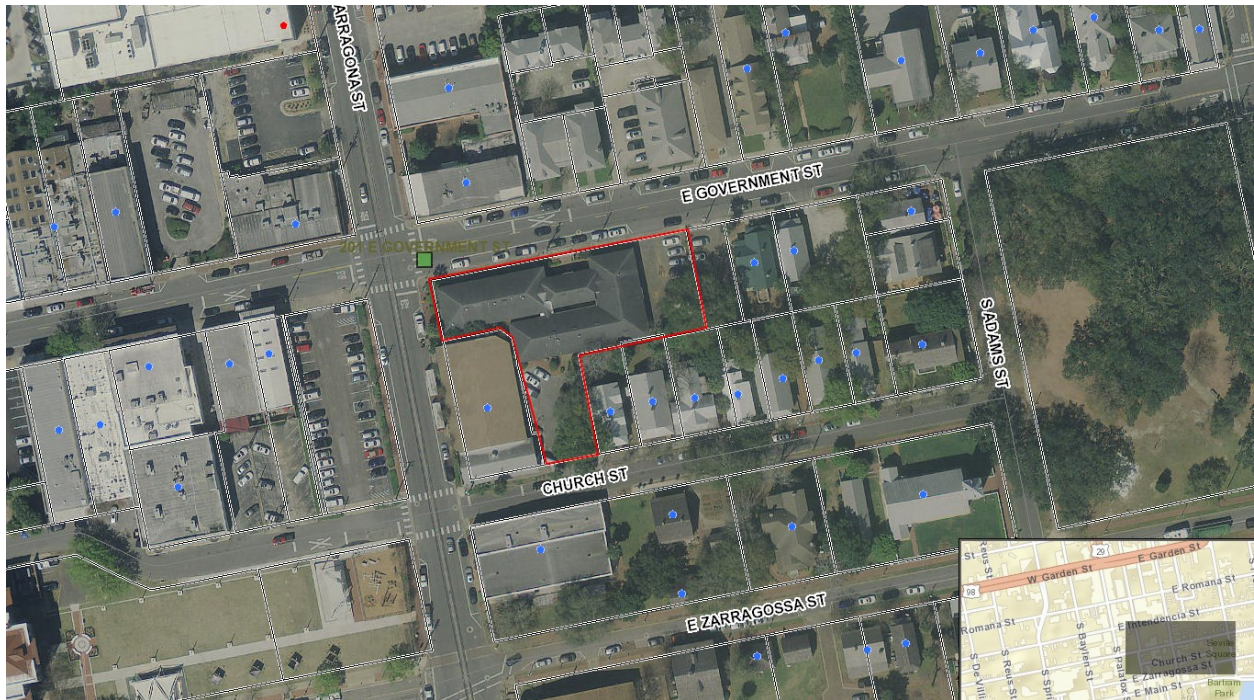
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(a) Pensacola Historic District, Procedure for Review, Decisions

Sec. 12-3-10(1)g. PHD, Alterations to noncontributing structures

201 E. Government Street





City of
Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 12-19-2022

Project Address: 201 E Government st Pensacola, FL 32502

Applicant: Blue CPM

Applicant's Address: 186 N Palafox, Pensacola, FL 32502

Email: don@bluecpm.com **Phone:** 850-529-2752

Property Owner: AWK Ventures LLC

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

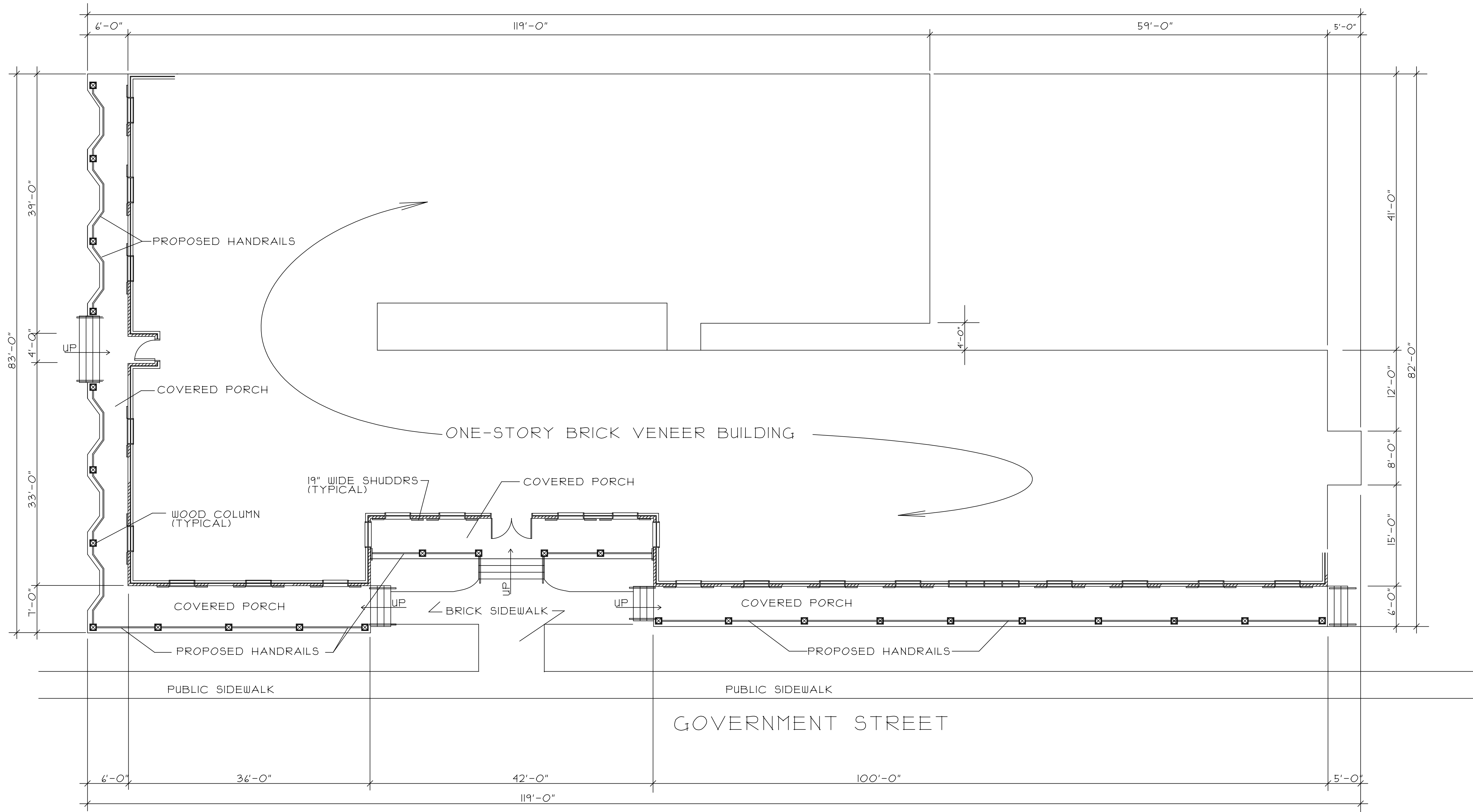
We are looking to instal 296.9 feet of railing along the North, East and part of the West side of 201 E Government St Pensacola, FL 32502 United States

The panels size is : 72 in. x 36 in Color: Black Material: Aluminum Railing

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

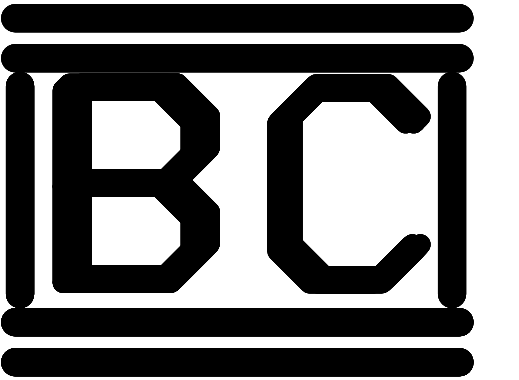

Applicant Signature

1/25/23
Date



FLOOR PLAN
SCALE: 1/8" = 1'-0"

PARCEL ID: 000S009005001009
ACC. NUMBER: 130694000
SECTION MAP: CA014
APP. ACREAGE: 0.5144
ZONED: HC-1
BASE AREA: 10,236 SQ. FT.
OPEN PORCH: 1,48 SQ. FT.



BOB CORDES
Building Contractor, LLC
Architecture & Engineering
7416 Camale Dr.
Pensacola, FL 32504
(850) - 479-2898
(850) 982-9741

I HAVE REVIEWED THIS PLAN
FOR COMPLIANCE WITH THE
2020 FLORIDA RESIDENTIAL
BUILDING CODE, 1th EDITION

OLD CITY BUILDING
201 EAST GOVERNMENT STREET
PENSACOLA, FLORIDA 32502

Release/Revision Schedule
01-30-23 ■ FOR CONSTRUCTION

0711
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Checked By: DR

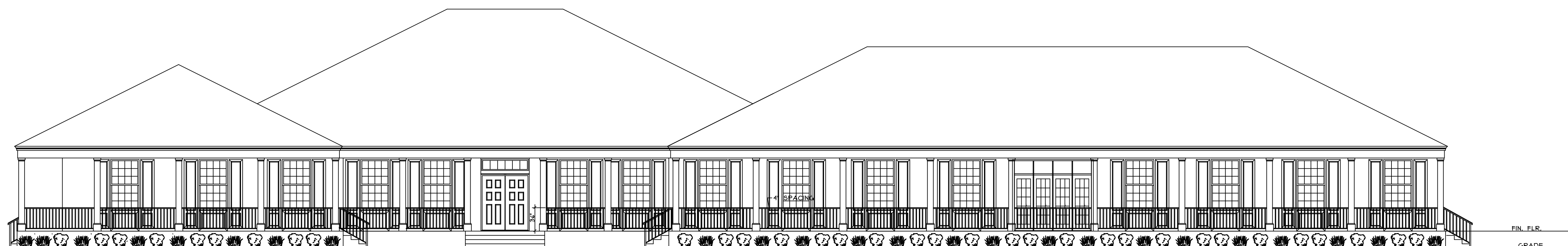
A-1
OF 3 SHEETS

BOB CORDES BUILDING CONTRACTOR, LLC #357252949

BOB CORDES - FLORIDA REGISTERED ARCHITECT #10197



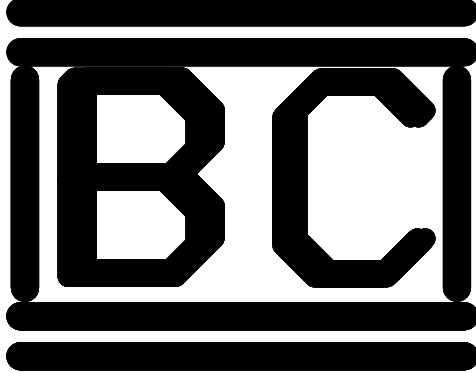
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION (VIEW FROM GOVERNMENT STREET)
SCALE: 1/8" = 1'-0"

BOB CORDES BUILDING CONTRACTOR, LLC #BC1252949

BOB CORDES - FLORIDA REGISTERED ARCHITECT #10197



BOB CORDES
Building Contractor, LLC
Architecture & Engineering
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OLD CITY BUILDING
201 EAST GOVERNMENT STREET
PENSACOLA, FLORIDA 32502

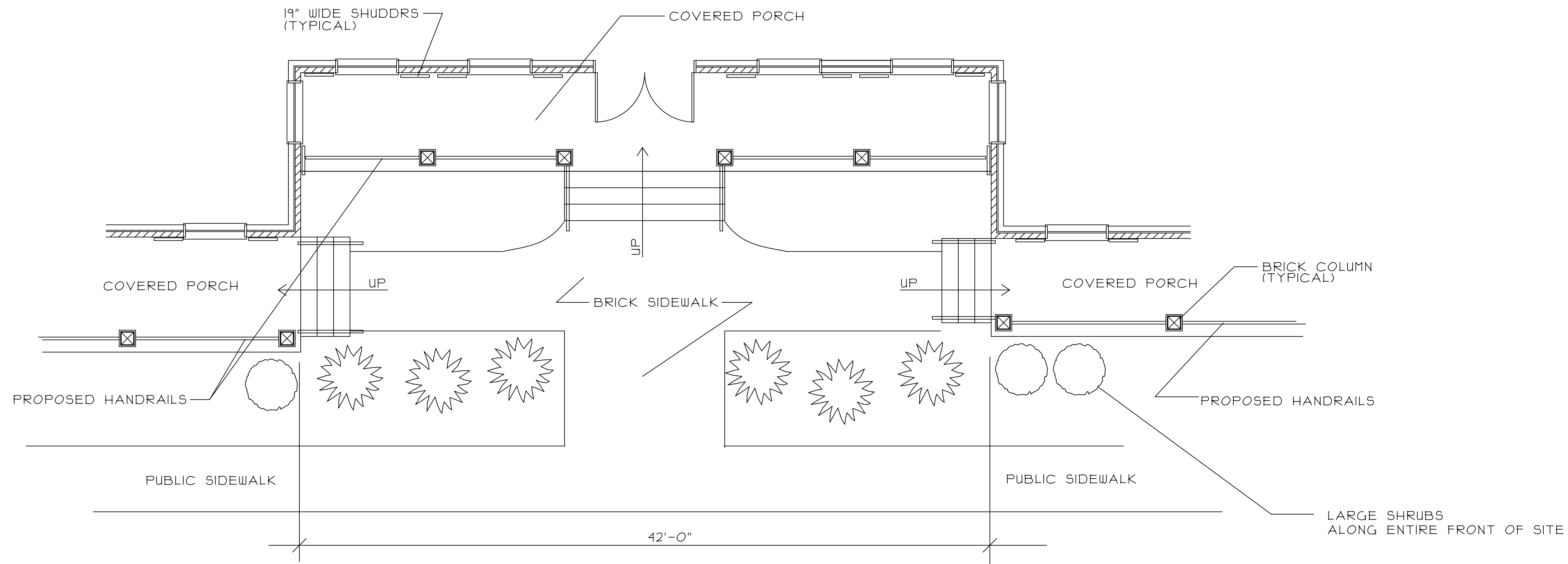
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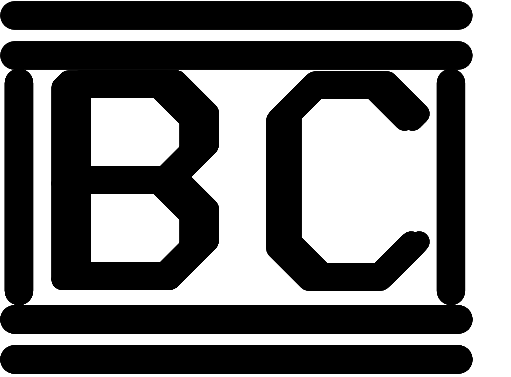
ENLARGED PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



ENLARGED PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

BOB CORDES BUILDING CONTRACTOR, LLC #BC1252949

BOB CORDES - FLORIDA REGISTERED ARCHITECT #10197



BOB CORDES
Building Contractor, LLC
Architecture & Engineering
7416 Camale Dr.
Pensacola, FL 32504
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I HAVE REVIEWED THIS PLAN
FOR COMPLIANCE WITH THE
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BUILDING CODE, 1st EDITION



OLD CITY BUILDING
201 EAST GOVERNMENT STREET
PENSACOLA, FLORIDA 32502



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A-3
OF 3 SHEETS

10:34

5G

Pensacola



Home / Lumber & Composites / Decking / Deck Rail



Weatherables (Brand Rating: 4.4/5)

Arlington 36 in. H x 72 in. W Textured Black Aluminum Railing Kit

★★★★★ (2)



\$205⁸⁷



Pay \$180.87 after \$25 OFF your total qualifying purchase upon opening a new card.

Apply for a Home Depot Consumer Card

Product Height x Width (in.): 36 in x 72 in



Home



Shop



Me



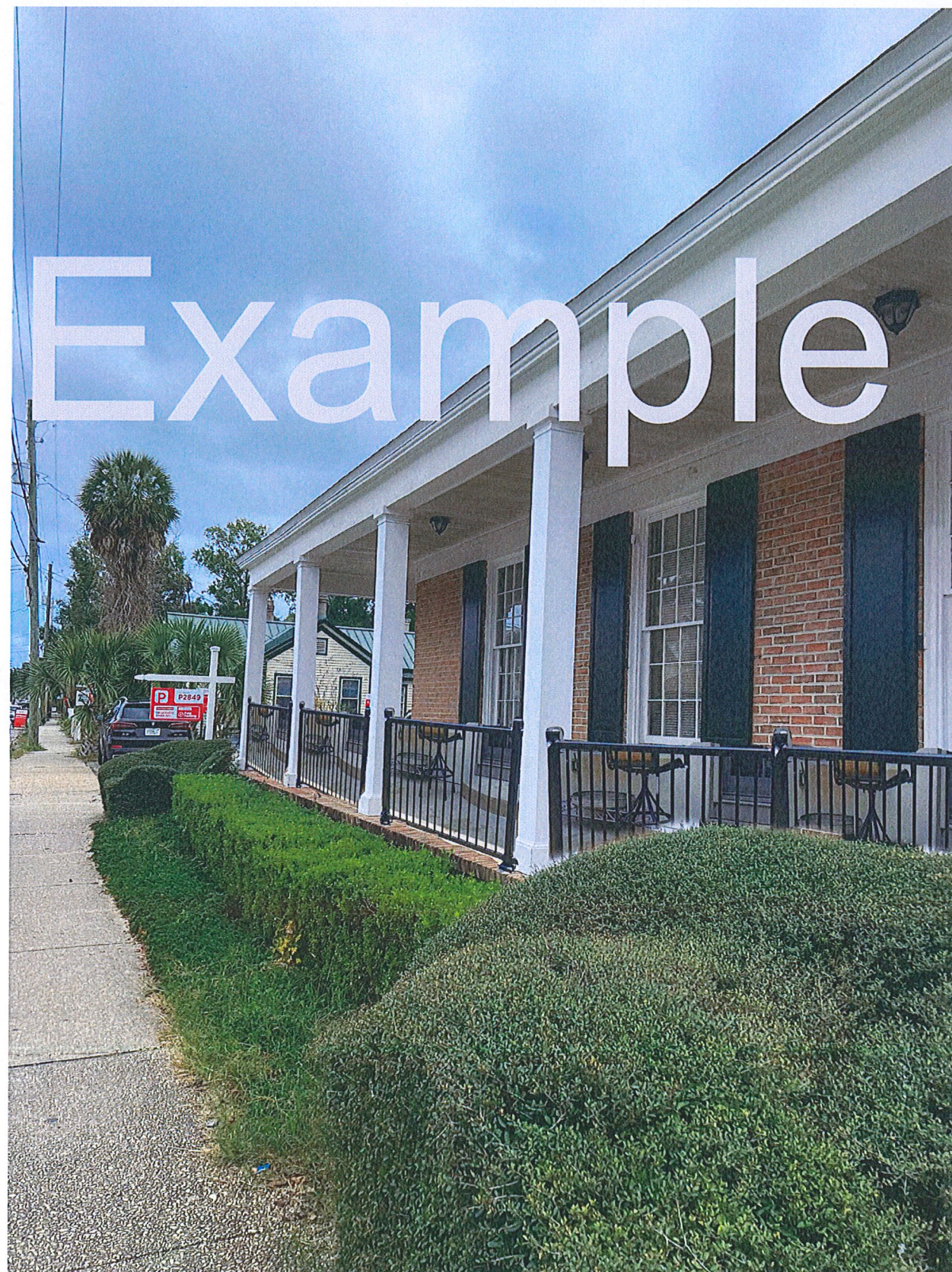
Store Mode



Cart



Example #1

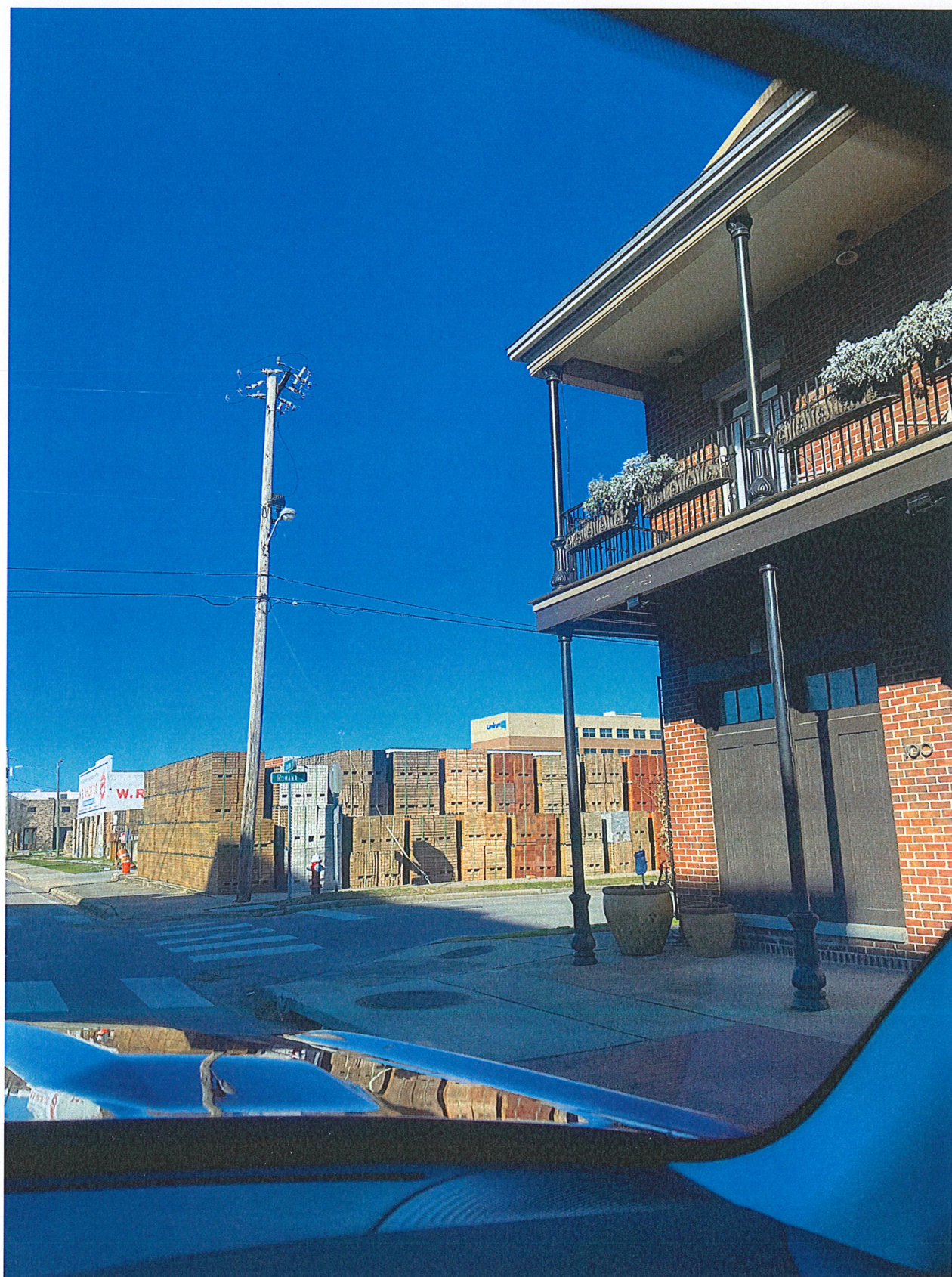


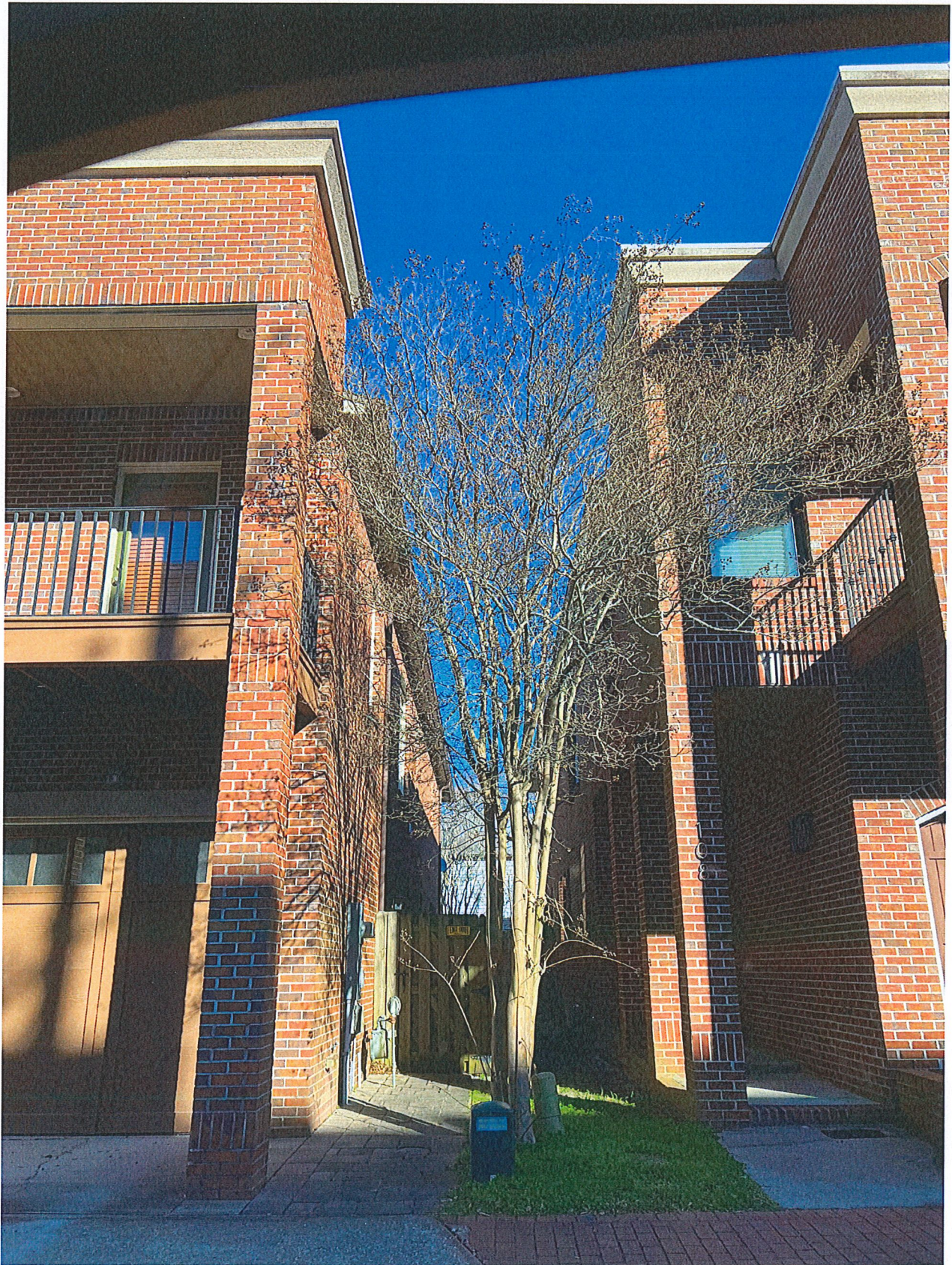
Example #1





Location with Similar Railing





Location with Similar Railing



Arlington Aluminum Railing

Installation Guide

THE BEST CHOICE FOR STRONG & DURABLE RAILING SYSTEMS

Our exclusive manufacturing process ensures our aluminum railing will provide superior strength plus it is virtually maintenance free. This guide will help make your installation easy. For questions, please call 1-888-743-3673 and welcome to Weatherables®.

Please note:

It is the responsibility of the installer to conform to local building codes and safety requirements. It is also the installer's responsibility to obtain all necessary building permits. The purchaser and installer should review the intended use of the products with a licensed professional engineer to determine code compliance. Weatherables® or its distributors shall not be held liable for improper or unsafe installations.

These instructions are guidelines and do not cover every installation scenario. Review all instructions before starting railing installation. The installer may need to modify the exact installation method to meet unique site requirements.

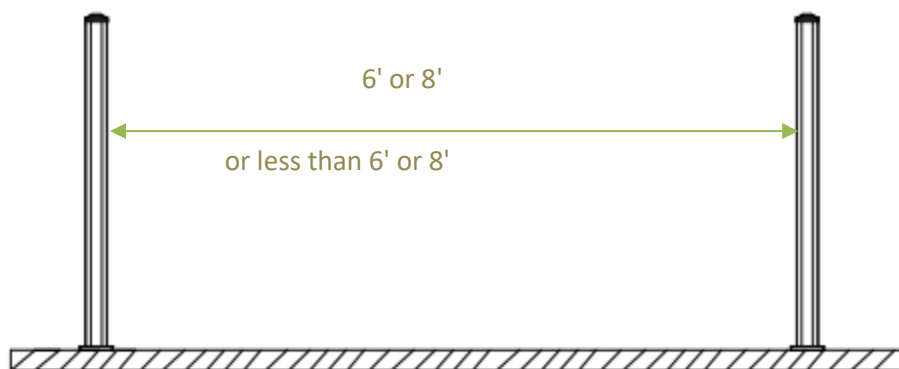
Tools:

- Hacksaw or metal cutting saw
- Drill
- Drill bits 5/32"
- Screwdriver
- Measuring tape
- Level

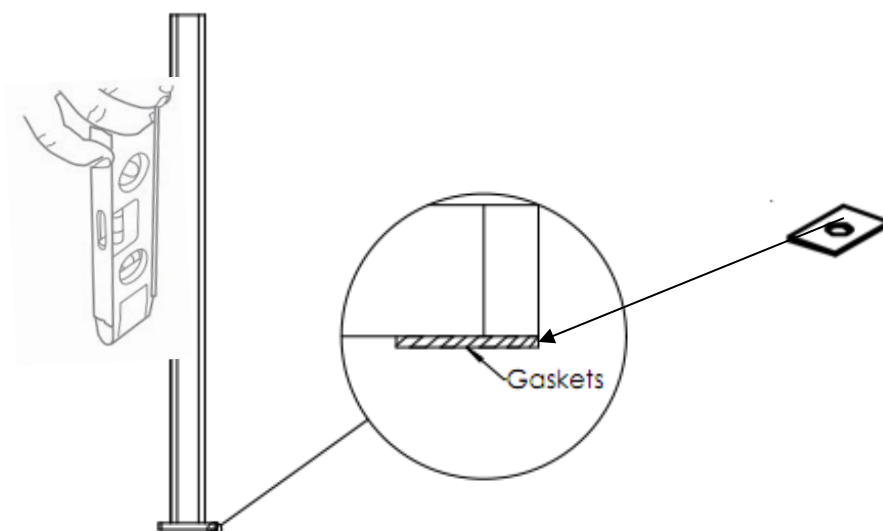
Straight Railing Installation

Step 1: Measure & Locate All Posts

1. Measure and locate all posts.
2. Choose the appropriate fasteners to fasten the posts according to local regulations.

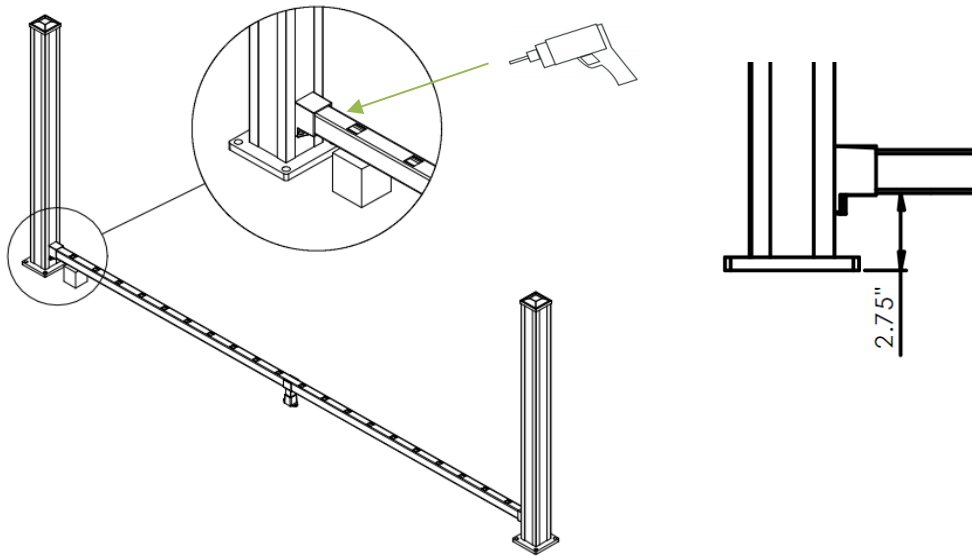


Note: The internal spacing between 2 posts is 6' and 8' or less than 6' or 8'.



Step 2: Install bottom rail and bottom brackets.

1. Locate and install bottom rail support.
2. Cut bottom and top rail to fit between posts if necessary.
3. Insert the bottom rail into bottom bracket at both ends, then position the bottom rail between posts, secure the brackets on the post with 2 #10-1" screws.



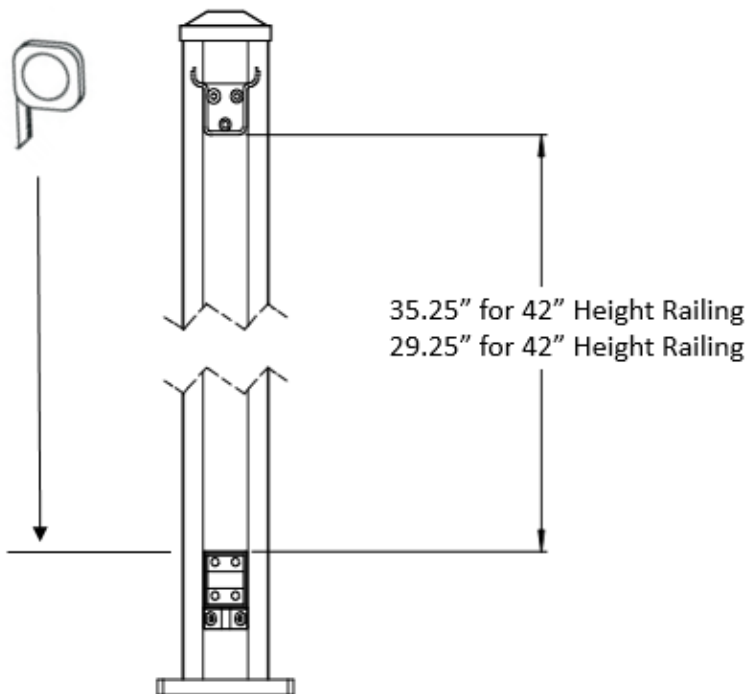
Note :

- The space between the bottom rail to the ground is 2.75", use a 2.75" high piece of wood as a temporary support.
- Pre-drill a hole on the post to install the bracket.
- When cutting the top rail, subtract 5/8" from total measurement.
- When cutting the bottom rail, subtract 5/16" from each mark and cut both ends to make sure leave the same amount of space at each end.
- To ensure equal picket spacing at each post, cut first and last spacers to equal lengths.

Step 3: Install top rail and top brackets.

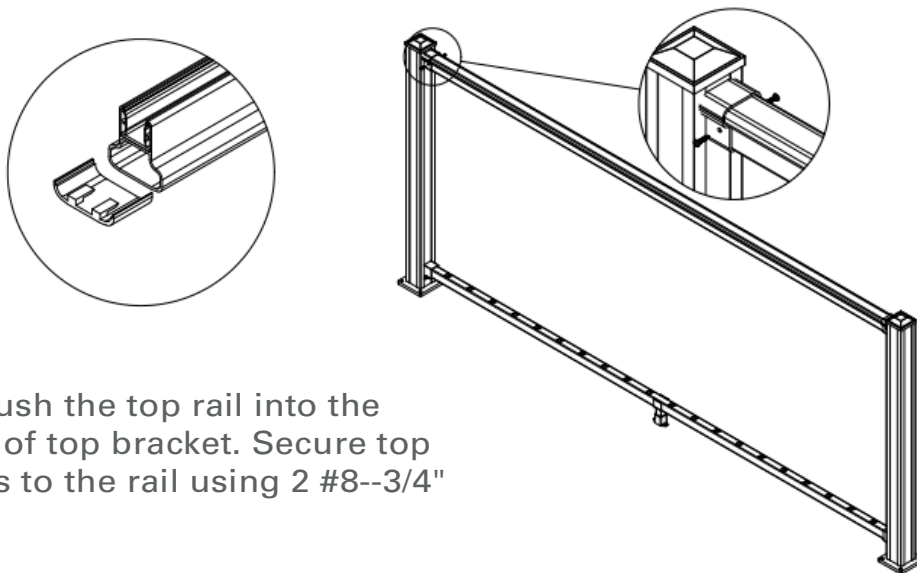
1. Position the top bracket based on the location of the bottom bracket.

Note: The brackets should be spaced 29 1/4" apart for 36" tall railing and 35 1/4" apart for 42" tall railing.



Note :
Screw the top brackets into the post using 3 #10-1" screws.

2. Insert the bracket cover into each end of rail. Secure the top rail with top brackets.



Note: Push the top rail into the bottom of top bracket. Secure top brackets to the rail using 2 #8--3/4" screws.

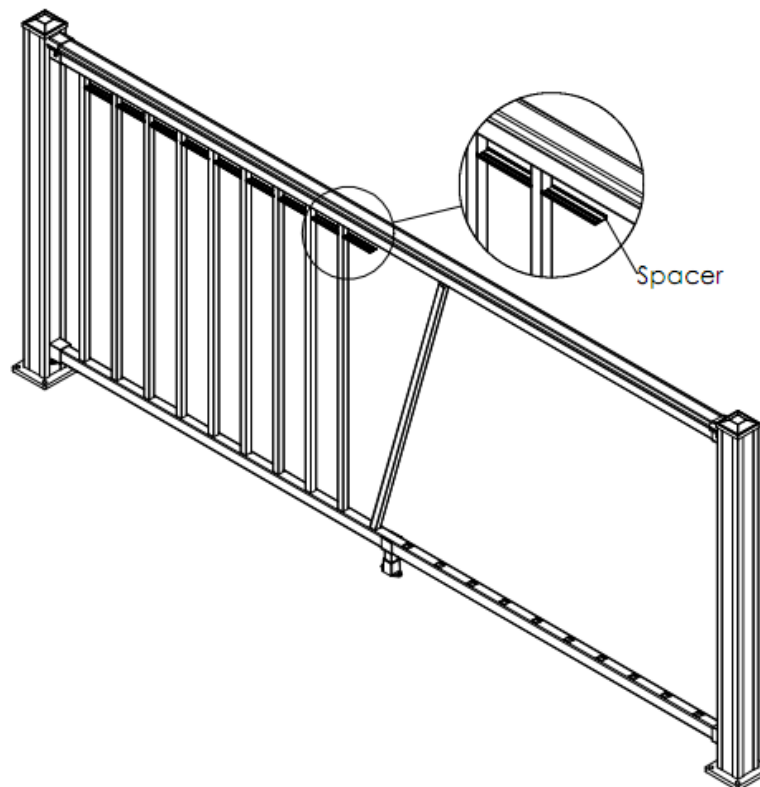
Step 4: Install pickets and spacers.

1. Snap the spacer into place and insert pickets into top and bottom rail one by one as shown below.

IMPORTANT: Install the last 4 pickets as a group and adjust the distance between the pickets **BEFORE** snapping the last 4 spacers into place.

Note: The size of spacer for each rail end is different. (A special round label will be used to identify the end spacer.)

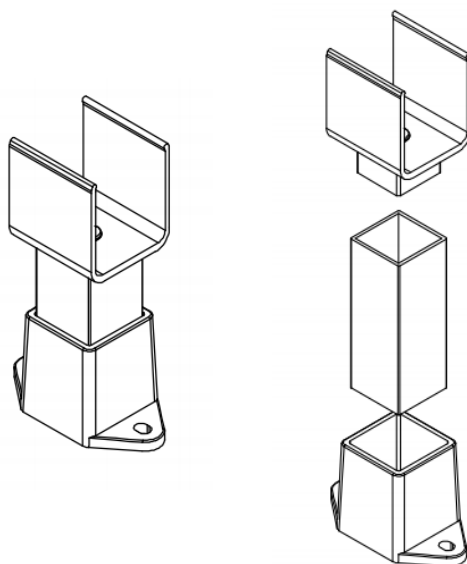
Cut spacers to fit the rails if necessary. To ensure equal picket spacing at each post, cut the first and last spacers to equal lengths.



Step 5: Install the footblock.

1. Secure the 3-piece adjustable footblock into place. The middle part of the footblock may be cut to adjust the height as necessary.

Note: 2 footblocks are required for 10' railing sections.



Repeat steps 1-5 for each remaining section.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00099

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

304 S. Alcaniz Street
Pensacola Historic District / Zone HC-1 / City Council District 6
Replacement Siding and Windows at a Contributing Structure

BACKGROUND:

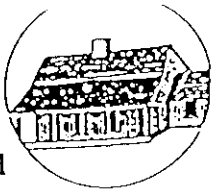
Scott Holland is requesting approval to replace the siding and windows at a contributing structure. No work will be conducted on the front. For the siding, all siding on the north and south sides as well as the rear will be replaced with kiln-dried wood, and the non-beveled profile and 5" exposure will be lined to match with the front siding. All windows on the north side will be replaced (total of 11), and six windows on the south side will be replaced. All new windows will be wood with Fibrex cladding, exterior muntins, and a six-over-six grille pattern. Additionally, the north side entry door will be replaced with a new wood entry door with simulated divided lites.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(a) Pensacola Historic District, Procedure for Review, Decisions

Sec. 12-3-10(1)f. PHD, Alterations to contributing structures



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE Version 2.0 7/92

Site #8 ES00971
Recorder #
Field Date 4/26/95
Form Date 7/29/95

Original
☒ Update

SITE NAMES (addr. if none) 304 S. ALCANIZ STREET [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 304 SOUTH ALCANIZ STREET
CROSS STREETS nearest/between BETW. E. GOVERNMENT ST. AND E. ZARAGOZA ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-002-087
SUBDIVISION NAME PENSACOLA HIST DIS BLOCK 9 LOT NO. 87-88
OWNERSHIP ☒ private-profit ☐ priv-nonprofit ☐ priv-ladiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☒ y ☐ n
[UTM: ZONE 16 17 EASTING 1000000 NORTHING 1000000]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

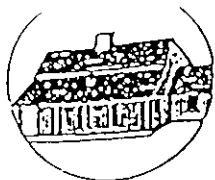
STYLE FRAM EXTERIOR PLAN RECT NO. STORIES 2
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types HIP Materials SMCO
Secondary strucs. (dormers etc.)
CHIMNEY: No. 1 Materials BRIC LOCATIONS N EXTERIOR
WINDOWS (types, materials, and placements) DHS, 6/6, WOOD

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations W/2 TIER APRON PORCH WITH
Porch roof types METAL POSTS, 3 BAY, ACCESS FROM WEST
EXTERIOR ORNAMENT

INTERIOR PLAN
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) ☒ commercial ☐ residential ☐ institutional ☐ rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☒ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1880 CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) _____ UNKNOWN
 BUILDER: (last name first) _____ UNKNOWN
 MOVES ☐ yes ☐ no Dates _____ Orig. addr. _____
 ALTERATIONS ☐ yes ☐ no Dates _____ Nature _____
 ADDITIONS ☐ yes ☐ no Dates _____ Nature _____
 ORIGINAL USES (give dates) _____ RESIDENCE
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) _____ COMMERCIAL - REST
 OWNERSHIP HISTORY (especially original owner) _____ MARY SMITH (ORIGINAL)
 MARK B. MAYER (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? ☐ yes ☐ no ☐ insuff. info | Local Designation Category _____
 Individually elig. for Nat. Register? ☐ yes ☐ no ☐ insuff. info | _____
 Potential contributor to NR district? ☐ yes ☐ no ☐ insuff. info | _____

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. _____ R12, F35-36

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION _____ HPPB

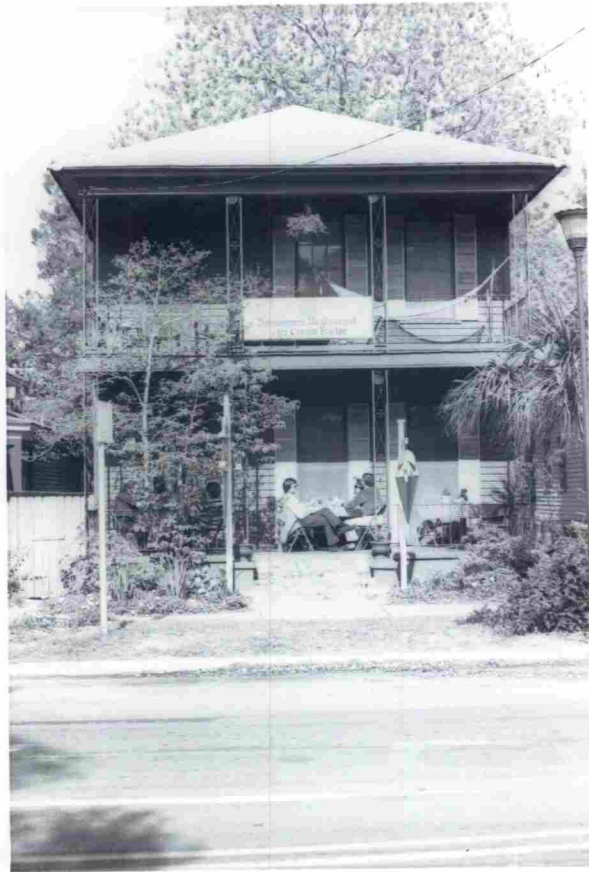
FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DEVELOPER USE ONLY		OFFICIAL EVALUATIONS				BHR USE ONLY	
NR DATE	KEEPER NR ELIGIBILITY	y	n	pe	n	Date	/ /
SHPO NR ELIGIBILITY	SHPO NR ELIGIBILITY	y	n	pe	n	Date	/ /
LOCAL DESIGNATION	LOCAL DESIGNATION					Date	/ /
DELIST DATE	Local office						

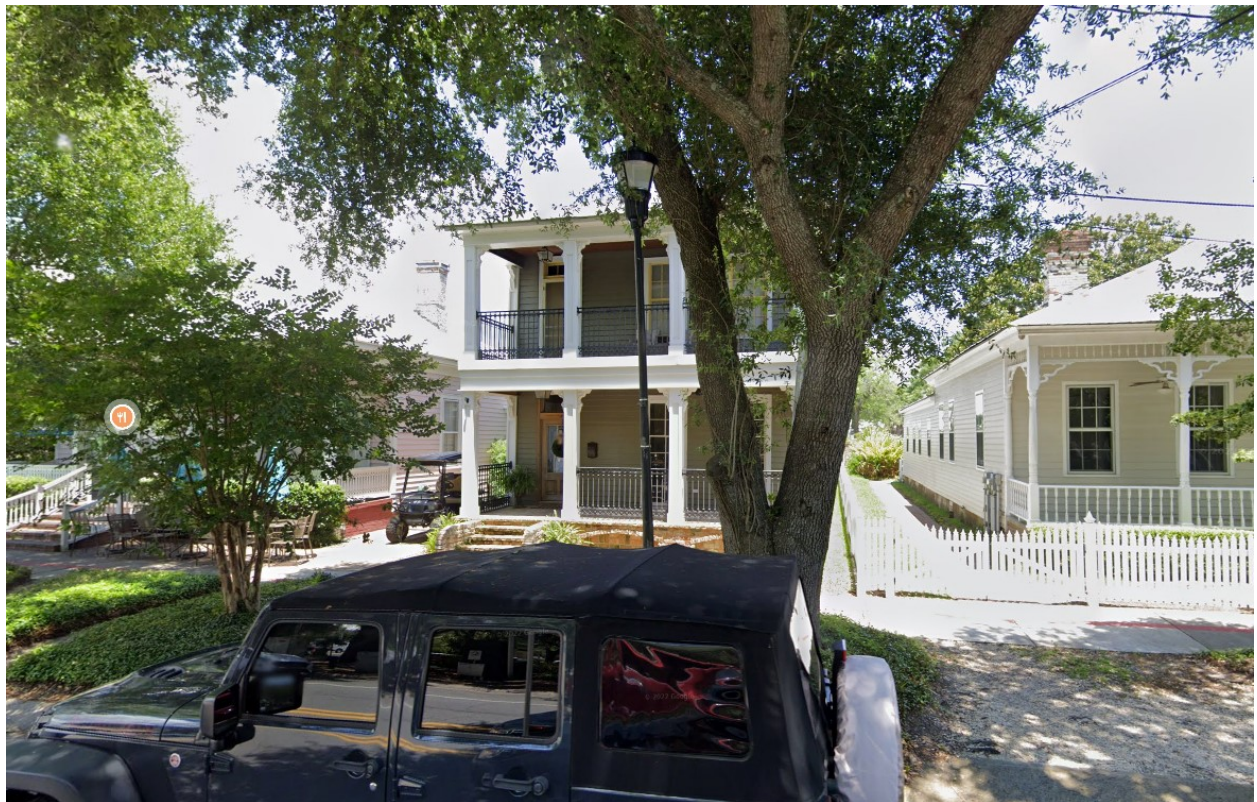
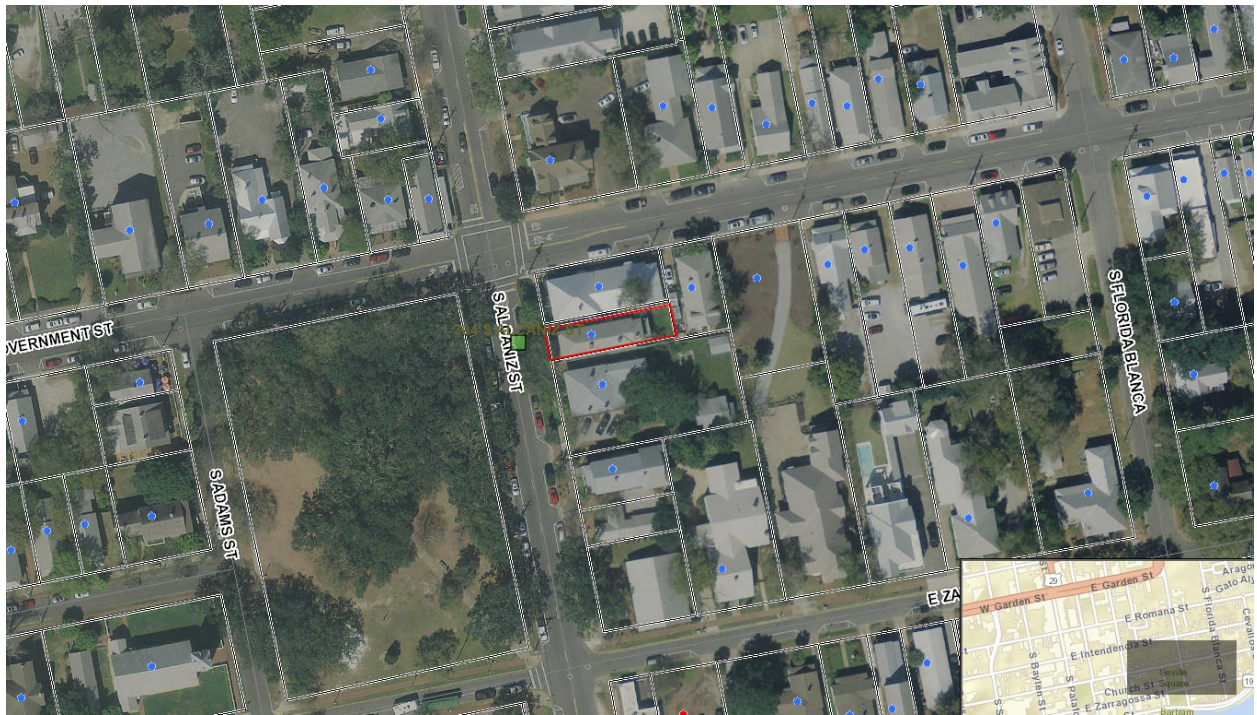
* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



304 S. Alcaniz Street





**Architectural Review Board Application
Full Board Review**

Application Date: 01-18-2023

Project Address: 304 SOUTH ALCANIZ STREET

Applicant: R. SCOTT HOLLAND ARCHITECT, LLC

Applicant's Address: 312 SOUTH ALCANIZ STREET / PENSACOLA, FL. / 32502

Email: scoho@rsharchitect.com **Phone:** 850-393-2168

Property Owner: RON & HEATHER KILPATRICK

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

"FINAL APPROVAL", see attachment for project description, photos, and other information.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

 Digitally signed by R. Scott
Holland
Date: 2023.01.18 09:15:01
-06'00'

Applicant Signature

01-18-2023

Date

PROJECT DESCRIPTION, DRAWINGS, PHOTOS, PRODUCT DATA, & SURVEY

i.	Project Description / Narrative	page 1
ii.	Site Plan	page 2
iii.	Photos	pages 3-14
iv.	New Wood Siding Data	pages 15-19
v.	New Wood Window Data	pages 20-28
vi.	New Wood Door (North Elevation)	pages 29-35
vii.	Survey	page 36

PROJECT DESCRIPTION / NARRATIVE:

The “Scope Of Work” involves replacement of existing windows and siding with matching new components and materials for an existing contributing single-family residence located at 304 South Alcaniz Street in the Seville Historic District. Specific tasks include the following;

1. Works includes only the two sides (North & South) and rear (East) elevations. No work will be performed on the front (North) elevation;
2. Remove and replace all existing lap wood siding; insulate wall cavity with full-sized batts; relocate all surface-mounted conduit, wiring, and other related components in wall cavity as practical; install 100% reinforced polyester weather barrier over existing studs; install new wood lap siding (with 5" exposure) to align with exiting siding on the front elevation; match all new trim (including reveals) with existing conditions on the front elevation; and prep, prime, and paint all new wood siding and trim to match existing front elevation.



Photo 1 (W. Elevation, Main View Along S. Alcaniz St.)

**All windows on north elevation proposed to be replaced.
Total of eleven (11).**



Photo 2 (N. Elevation Looking East)



Photo 3 (N. Elevation)



Photo 4 (N. Elevation)



Photo 5 (N. Elevation)



Photo 6 (N. Elevation)



Photo 7 (N. Elevation)

**Red boxes on south elevation proposed to be replaced.
Total of six (6).**



Photo 8 (S. Elevation Looking East)



Photo 9 (S. Elevation)



Photo 10 (S. Elevation)

Photo 11 (S. Elevation)

*Depicts New Window Noting Desired Muntin Design



Photo 11 (S. Elevation)



Photo 12 (S. Elevation)



Photo 13 (S. Elevation)



Photo 14 (S.E. Corner of Structure Looking Northwest)



Photo 15 (East Elevation, Rear View)

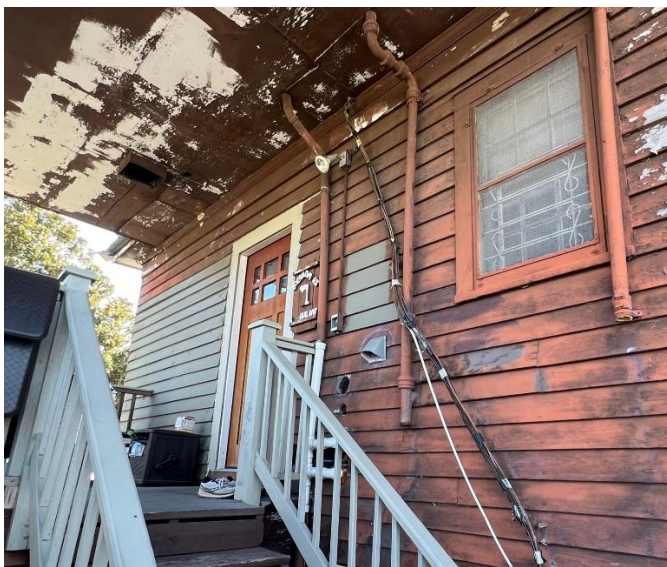


Photo 16 E. Elevation, Upper Deck)

pro'wood
KILN DRIED

STRAIGHT
TO THE POINT.

KILN DRIED

NEVER SETTLE.

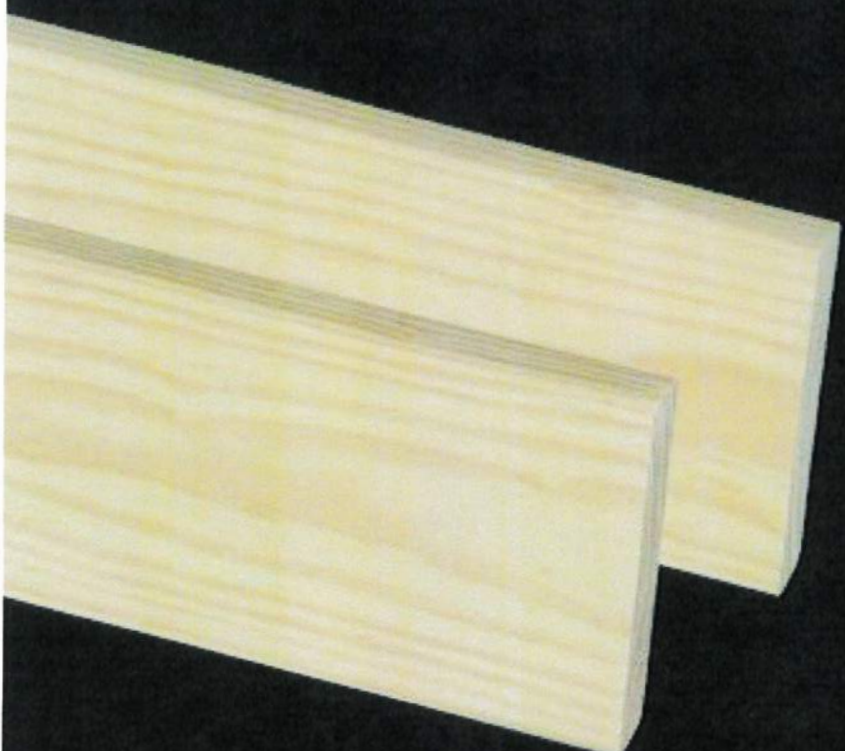
DRY. STABLE.

READY TO SEAL.

**KILN DRIED AFTER TREATMENT (KDAT)
FOR STABILITY AND FAST RESULTS.**

In the kiln, treated wood is spaced evenly and exposed to the exact temperature for removing excess moisture. This allows you to complete your job immediately, rather than waiting weeks or months to experience the satisfaction of a finished project.

SEE HOW WE STACK UP
PROWOODLUMBER.COM/KDAT





STAIN- OR SEAL-READY PROJECTS.



Avoid waiting for wet-treated wood to dry naturally. Kiln dried, pressure-treated wood can be sealed immediately.

MINIMAL SHRINK & LIGHTWEIGHT.



Drying increases wood's strength while reducing its weight, making it easier to transport, handle and cut. Experience more accurate measurements when building with KDAT.

WE RECOMMEND:

- ☑ Keep material dry before and during installation if possible.
- ☑ Use deck screws. Pre-drill close to the ends of the deck boards.
- ☑ KDAT decking should be gapped the width of an 8 penny nail (1/8"). This gap will allow for the normal expansion and contraction of the product.



PROWOOD KDAT IS BUILDING CODE COMPLIANT AND BACKED WITH A LIFETIME LIMITED WARRANTY.

[Home](#) / [Products](#) / [Kiln Dried After Treatment](#) / [YellaWood brand Architectural Trim](#)

YELLAWOOD® BRAND ARCHITECTURAL TRIM


Preserves more than just the wood. It also preserves your home's character.

Simple things like window and door trim and corner wraps can really add that something special that makes your home stand apart. With YellaWood® brand architectural trim, you get the flexibility and attention to detail you need to finish your next project.

KDAT Installation Tips

Find inspiration, building tips, and ideas for your next project.

DOWNLOAD THE BOOK

 [Find a Dealer](#)

FIND STAIN OR SEALER NEAR YOU

BENEFITS

- Architecturally correct, true square edges
- Resurfaced to remove handling marks
- C&BTR
- Ready to prime, install and paint
- Pressure treated to ground contact
- Kiln Dried After Treatment (KDAT) lifetime limited warranty
- Available pre-primed

AVAILABLE IN

- 1x4 through 1x12 (Length 12' and 16')
- 2x2 (Lengths 36" and 42")
- 2x4 through 2x12 (Lengths 12' and 16')
- 5/4x4 through 5/4x12 (Lengths 12' and 16')

Sizes are nominal.

Product availability varies by region.

RESOURCES



[Sealing, Painting & Staining](#)



[Care & Maintenance](#)



[Fastener Information](#)

TECHNICAL NOTE

KILN DRIED AFTER TREATMENT (KDAT)

Wood naturally absorbs and releases moisture to maintain equilibrium with the surrounding environment. Freshly treated woods' moisture content is above the fiber saturation point and dimensions are at their maximum. Uneven drying of wood - in which the surface dries faster than the interior - causes stress in the wood. This stress can result in checking, splitting, warping, cupping, and twisting. Because kilns control the rate of drying, *kiln drying after treatment (KDAT)* helps minimize the stress that causes these issues.

KDAT is recommended for **Dura-Guard®**, **Micro-Guard®** and **CCA** preservative treatments. KDAT wood meets building code and industry standard requirements for moisture content of 18% for plywood and 19% for dimensional lumber.

ADVANTAGES OF KILN DRYING AFTER TREATMENT (KDAT)

1. **Reduced Shrinkage** - When wood gets wet it expands and contracts as it dries. On the job site, **KDAT** wood can be installed without significant shrinkage or movement.
2. **Stable** - Wet treated wood exposed to ambient weather conditions and direct sun light tends to check, split, warp, cup or twist. **KDAT** material is uniformly dried to consistent moisture content closer to average ambient service conditions and is more stable when exposed to the elements. For treated wood that is destined for a manufacturing process, **KDAT** is recommended as wood dimensions are more consistent for milling or machining.
3. **Light weight** - Hoover's **KDAT** lumber and plywood is lighter and easier to handle than wood that is wet from treatment. Board footage can be maximized on a truck for more economical shipping.
4. **Stronger** - Wood strength and stiffness is a function of moisture content, i.e., dry wood is stronger than wet wood.
5. **Can be finished or sealed more promptly** - Manufacturers of coatings and adhesives do not recommend the use of their products with wet wood, treated or not. Paints, stains, coatings or adhesives should be applied to **KDAT** wood in accordance with the manufacturer's specifications.
6. **Cleaner** - Wet treated wood may exhibit mold or mildew. **KDAT** lumber and plywood is delivered in water resistant coverings which keep it clean, dry, and ready for use.

DISCLAIMER OF LIABILITY FOR RELIANCE ON INFORMATION PROVIDED BY HOOVER TREATED WOOD PRODUCTS, INC.: The information contained herein is true and accurate to the best of our knowledge, but is provided without warranty or guarantee. Since the conditions of use are beyond our control, Hoover Treated Wood Products, Inc. ("Hoover") disclaims all liability and assumes no legal responsibility for damages resulting from use of or reliance upon the information contained herein.



WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

Custom Sizes	70
Specifications	70
Existing Window Measurements	71
Sill Angle Details	71
Grille Patterns	72
Window Details	72-73
Joining Detail	73
Product Performance	197

CUSTOM SIZING
in $\frac{1}{8}$ " (3) increments 

Dimensions in parentheses are in millimeters.

WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

FEATURES

FRAME

A A Fibrex® material exterior protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.*

B For exceptional long-lasting* performance, sill members are constructed with a wood core and a Fibrex material exterior.

C Natural wood stops are available in pine, maple, oak and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

D Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring-tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

E Exterior stop covers are specially designed to allow easy application of high-quality sealant.

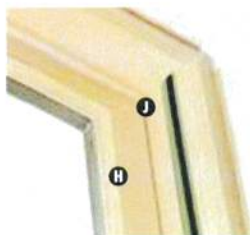
3 1/4" (83) "pocket window" jamb depth allows convenient replacement without disturbing interior window trim for most double-hung replacement situations.

F For units with white exterior color, the exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

SASH

G Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

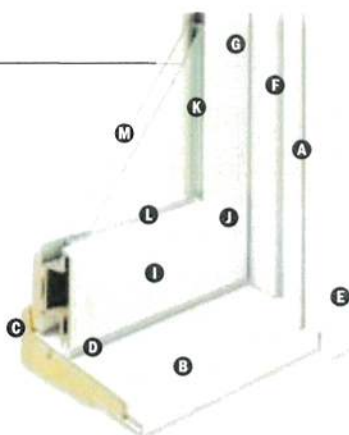
Wood Jamb Liner



H Natural wood sash interior with classic chamfer detailing. Available in pine, maple, oak or prefinished white.

I Low-maintenance sash exterior provides long-lasting* protection and performance. Sash exteriors on most units include Fibrex material.

J Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.



GLASS

K In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

L Silicone bed glazing provides superior weathertightness and durability.

M High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

HARDWARE



Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.

SILL ANGLES

Three sill angles are available – 0°, 8° and 14° – to closely match the existing sill in window replacement applications. See page 71 for details.



0° Sill Angle



8° Sill Angle



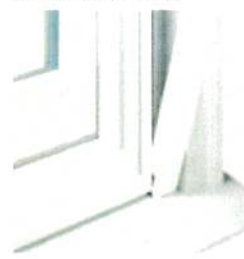
14° Sill Angle

Sill Angle Finder App

Our Sill Angle Finder App lets you quickly and easily find the sill angle of existing double-hung windows. Available for free for both iPhone® and Android™ smartphones. Download the app for iPhone from the App Store™ or for Android smartphones from the Google Play Store. The app is only available for smartphones, as tablets and other large devices are too bulky for measuring window sill angles.

INSTALLATION

Exterior Stop Cover



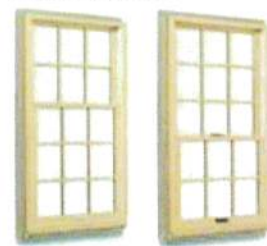
An exterior stop cover provides a clean transition from the new window to the existing window casing.

Included Installation Materials



Flat self-hanging shims, backer rod, installation screws and complete instructions are included with each insert window. See the measurement guide and worksheet at andersenwindows.com/measure.

SASH OPTIONS**



Cottage

Reverse Cottage

*Visit andersenwindows.com/warranty for details.

**Shown on 400 Series tilt-wash double-hung full-frame windows.

iPhone® and App Store® are registered trademarks of Apple Inc. Android™ is a trademark of Google Inc.

Dimensions in parentheses are in millimeters.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE



Standard Lock & Keeper

Antique Brass | **Black** | Bright Brass
 Brushed Chrome | Distressed Bronze
 Distressed Nickel | Gold Dust
 Oil Rubbed Bronze | Polished Chrome
 Satin Nickel | Stone | White

OPTIONAL HARDWARE Sold Separately

CONTEMPORARY



Bar Lift

Available in all hardware finishes.
 Shown in **Distressed Nickel**.

ESTATE™



Hand Lift

Finger Lifts

Antique Brass | Bright Brass
 Brushed Chrome | Distressed Bronze
 Distressed Nickel | Oil Rubbed Bronze
 Polished Chrome | **Satin Nickel**

TRADITIONAL



Bar Lift



Hand Lift



Finger Lifts

Antique Brass | **Black** | Bright Brass | Brushed Chrome
 Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**
 Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™



Bar Lift



Hand Lift



Finger Lifts

Stone | **White**

Bold name denotes finish shown.

HARDWARE FINISHES



ACCESSORIES Sold Separately

FRAME

Wood Interior Stop



Optional interior stop with matching chamfer is available.

SASH

Window Opening Control Device



A window opening control device is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied, or as a field-applied kit in stone or white.

INSECT SCREENS

Insect Screen Frames



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

TruScene® Insect Screens

Andersen TruScene insect screens let in over 25% more fresh air* and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

Conventional Insect Screens

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

GRILLES

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 72.

INSTALLATION

Coil Stock



Andersen® aluminum coil stock can be ordered to match any of our 11 trim colors. Made from .018" thick aluminum, Andersen coil stock is available in 24" (610) x 50' (15240) rolls. Color-matched 1 1/4" (32)-long stainless steel trim nails are also available and can be ordered in 1 lb./454 kg boxes.

CAUTION:

- Painting and staining may cause damage to rigid vinyl.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- Do not paint 400 Series windows in white, canvas, Sandtone, dark bronze, forest green or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

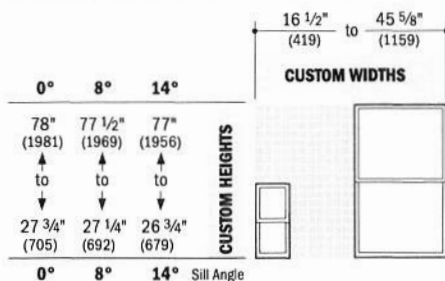
Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

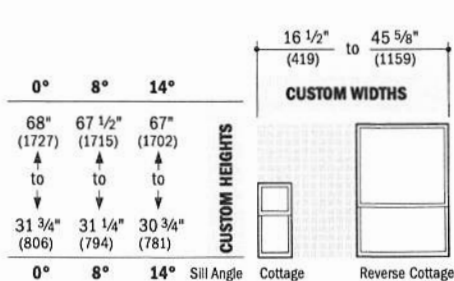
WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

Woodwright® Double-Hung, Picture and Transom Insert Window Sizes

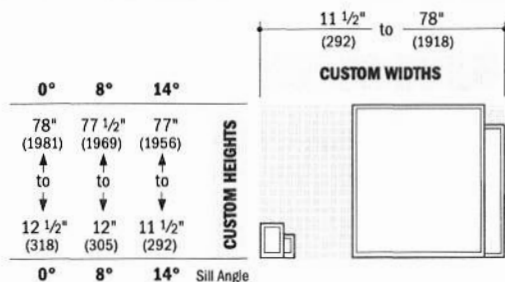
Double-Hung Equal Sash Ratio



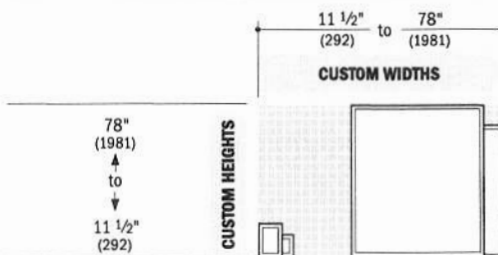
Double-Hung 2:3 Cottage and 3:2 Reverse Cottage Sash Ratio



Picture



Transom



Available in 1/8" (3) increments between minimum and maximum widths and heights. Height limits for double-hung and picture insert windows depend on new insert window sill angle.

For picture and transom insert windows, either height or width must be 68" (1727) or less, and height plus width cannot be less than 28" (711).

Woodwright® Double-Hung Insert Window Specification Formulas

	Clear Opening				
	Width = window width - 3.4375" (87)				
	Height = Depends on sash ratio and specific sill angle of insert window; see below.				
	sash ratio	clear opening height	sill angle deduction		
	1:1 Equal	= (window height + 2) - sill angle deduction	14° 3.1875" (81)	8° 3.4375" (87)	0° 3.75" (95)
	2:3 Cottage	= (window height x 2) + 5 - sill angle deduction	2.875" (73)	3.0625" (78)	3.25" (83)
	3:2 Reverse Cottage	= (window height x 2) + 5 - sill angle deduction	2.375" (60)	2.5625" (65)	2.8125" (71)
	Unobst. Glass				
	Width = window width - 6.0" (152)				
	Height = Depends on sash ratio and specific sill angle of insert window; see below.				
	sash ratio	unobstructed glass height	sill angle deduction		
	Equal, Height < 48" (1219)	= (window height + 2) - sill angle deduction - 6.5" (165)	14° 2.75" (70)	8° 2.9375" (75)	0° 3.25" (83)
	Equal, Height > 48" (1219)	= (window height + 2) - sill angle deduction - 11.5" (292)			
	Cottage, Height < 48" (1219)	= (window height x 2) + 5 - sill angle deduction - 6.5" (165)	1.9375" (49)	2.125" (54)	2.375" (60)
	Cottage, Height > 48" (1219)	= (window height x 2) + 5 - sill angle deduction - 11.5" (292)			
	Reverse Cottage, Height < 48" (1219)	= (window height x 2) + 5 - sill angle deduction - 6.5" (165)	3.5625" (90)	3.8125" (97)	4.8125" (122)
	Reverse Cottage, Height > 48" (1219)	= (window height x 2) + 5 - sill angle deduction - 11.5" (292)			

Woodwright® Picture and Transom Insert Window Specification Formulas

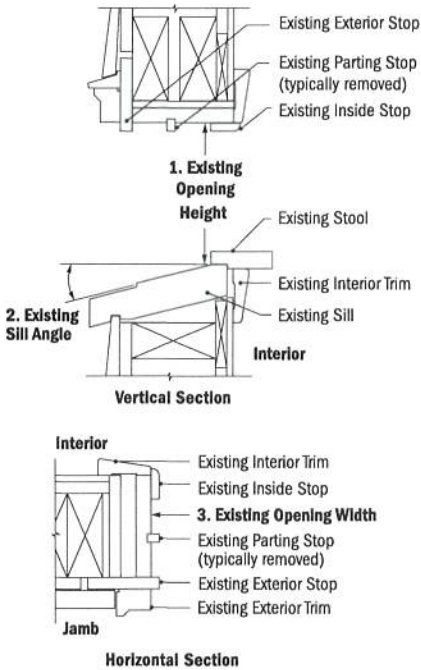
	Unobst. Glass				
	Picture Insert				
	Width = window width - 6.0" (152)				
	Height = Depends on sash ratio and specific sill angle of insert window; see below.				
	Transom Insert				
	Width = window width - 6.0" (152)				
	Height = window width - 6.0" (152)				
	unobstructed glass height	sill angle deductions			
	= window height - sill angle deduction	14° 5.816" (148)	8° 6.285" (160)	0° 6.890" (175)	

• Dimensions in parentheses are in millimeters.
• **Clear Opening** formulas provide dimensions for determining area available for egress.
• **Vent Opening** formulas provide dimensions for determining area available for passage of air.
• **Unobst. Glass** (unobstructed glass) formulas provide dimensions for determining area available for passage of light.
• Refer to andersenwindows.com/measure for detailed instructions on how to properly measure for insert windows.

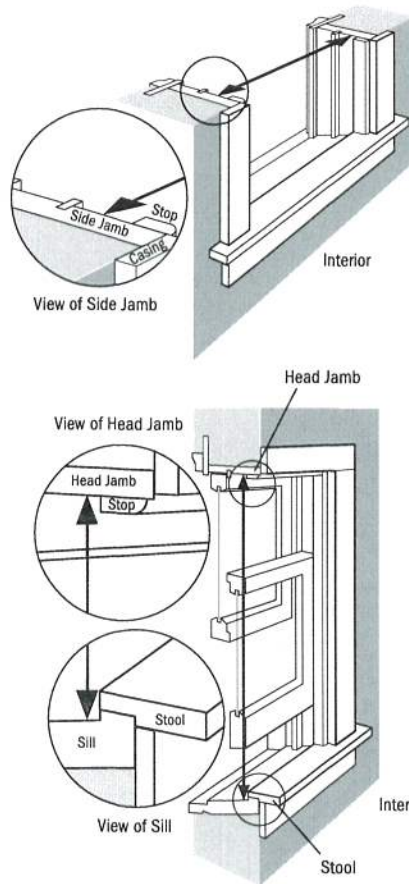
Existing Window Measurements

Required measurements:

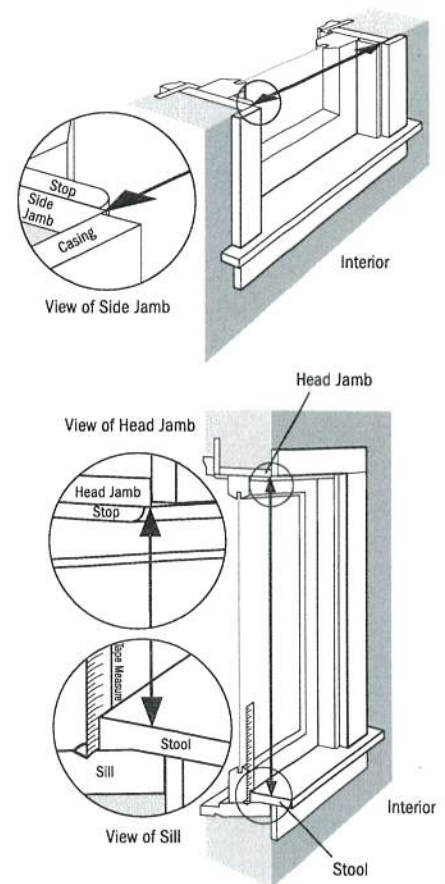
1. Existing Opening Height
2. Existing Sill Angle
3. Existing Opening Width



Existing Double-Hung Window



Existing Picture Window



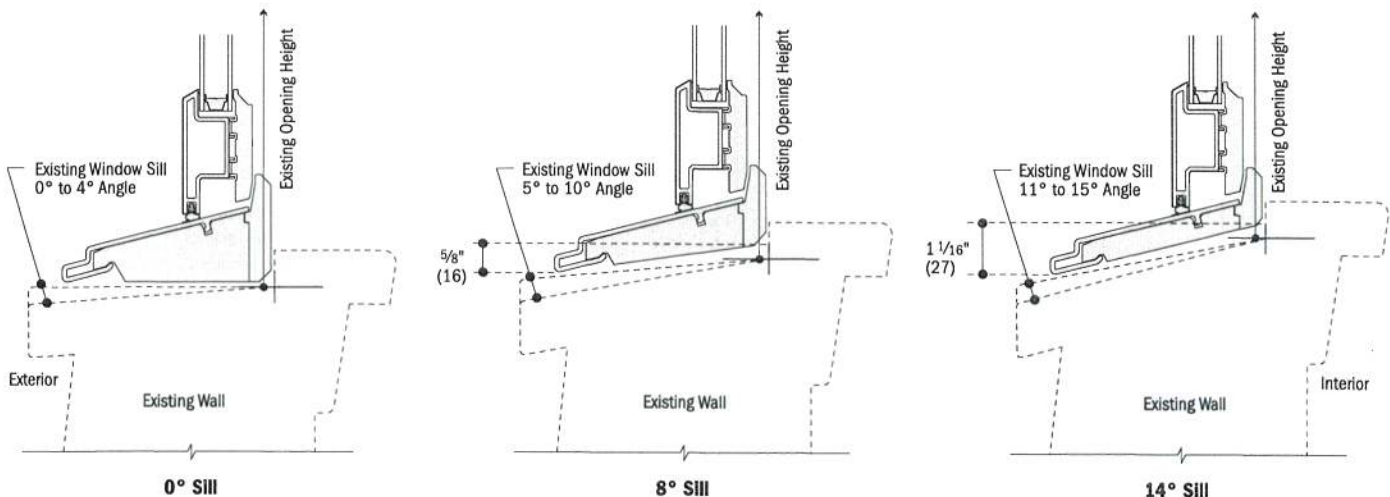
Sill Angle Details

Scale 3" (76) = 1'-0" (305) – 1:4

Select a sill angle that most closely matches your existing sill angle.

Windows with a smaller sill angle will have a larger maximum height.

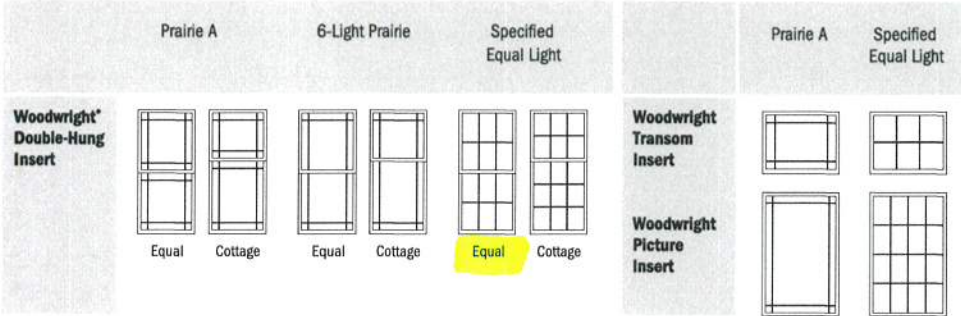
A "Sill Angle Finder App" is available; see page 68.



* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
* Dimensions in parentheses are in millimeters.
* Refer to andersenwindows.com/measure for detailed instructions on how to properly measure for insert windows.

WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

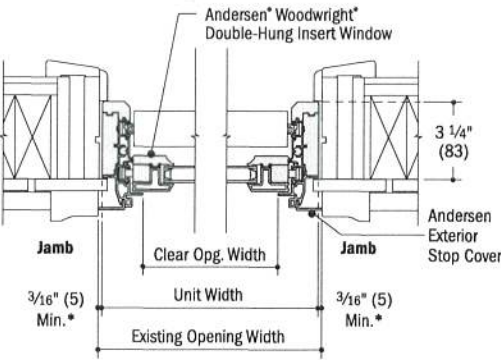
Grille Patterns



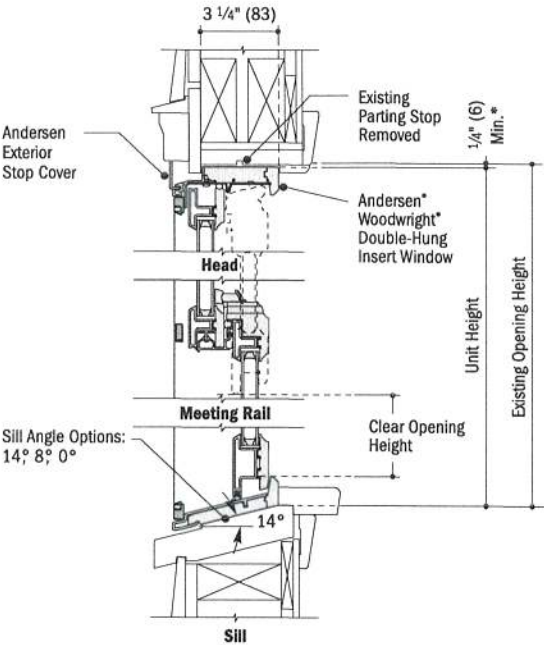
Patterns for double-hung windows are also available in Upper Sash Only (USO) configurations. For picture window patterns that require alignment with double-hung window patterns, identify the sash style (equal, cottage or reverse cottage) when ordering. **Number of lights and overall pattern varies with window size. Patterns not available in all configurations.** For more grille options, see page 14 or visit andersenwindows.com/grilles.

Woodwright® Double-Hung Insert Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Horizontal Section

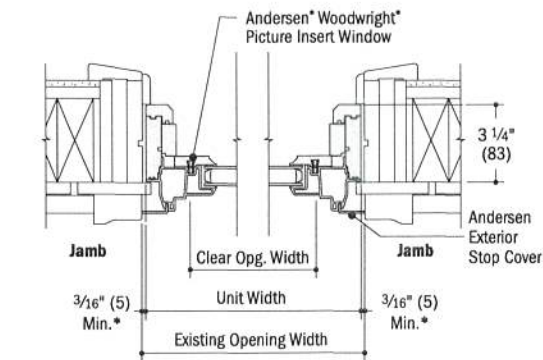


Vertical Section

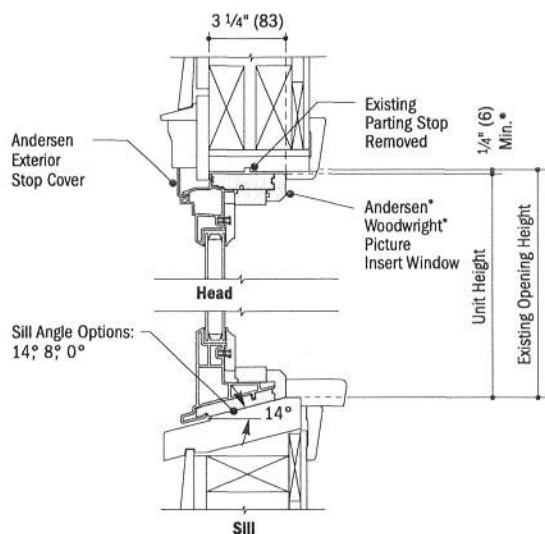
* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
* Dimensions in parentheses are in millimeters.
* Refer to andersenwindows.com/measure for detailed instructions on how to properly measure for insert windows.

Woodwright® Picture Insert Window Details

Scale 1½" (38) = 1'-0" (305) – 1:8



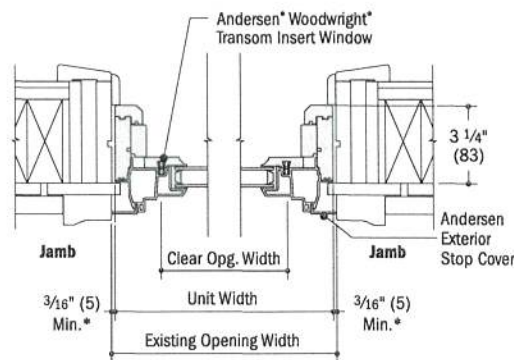
Horizontal Section



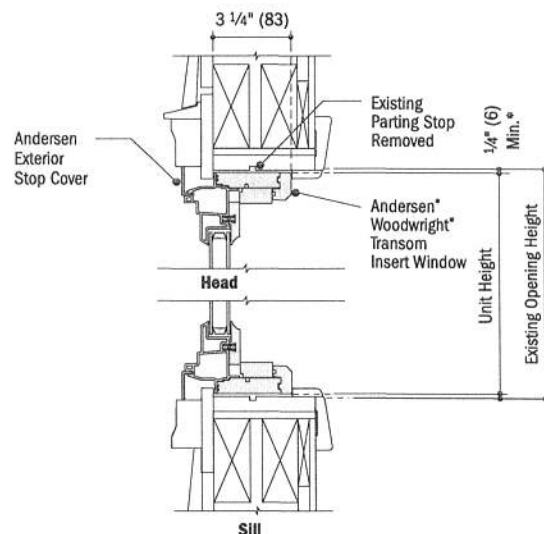
Vertical Section

Woodwright® Transom Insert Window Details

Scale 1½" (38) = 1'-0" (305) – 1:8



Horizontal Section

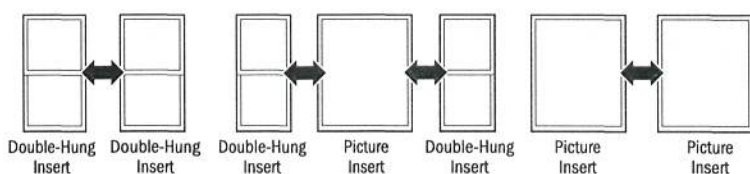
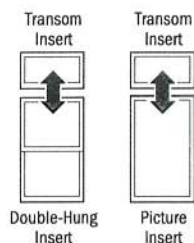


Vertical Section

Joining Combinations

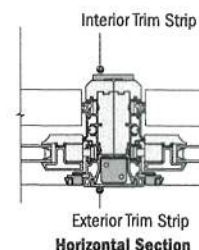
Join insert windows in one-way horizontal (stack) or vertical (ribbon) combinations.

Do not join insert windows in two-way combinations.



Vertical (ribbon) Joining Detail

Scale 1½" (38) = 1'-0" (305) – 1:8



Woodwright® Double-Hung Insert to Woodwright Double-Hung Insert

For more joining information, see the combination designs section starting on page 181.

* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
 * Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
 * Dimensions in parentheses are in millimeters.
 * Refer to andersenwindows.com/measure for detailed instructions on how to properly measure for insert windows.



GRILLE OPTIONS

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.



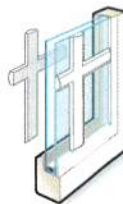
Permanent exterior
Permanent interior
with spacer

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of the window, with a spacer between the glass.



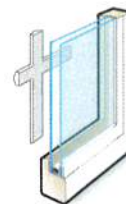
Permanent exterior
Permanent interior



Permanent exterior
Removable interior

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.



Removable interior

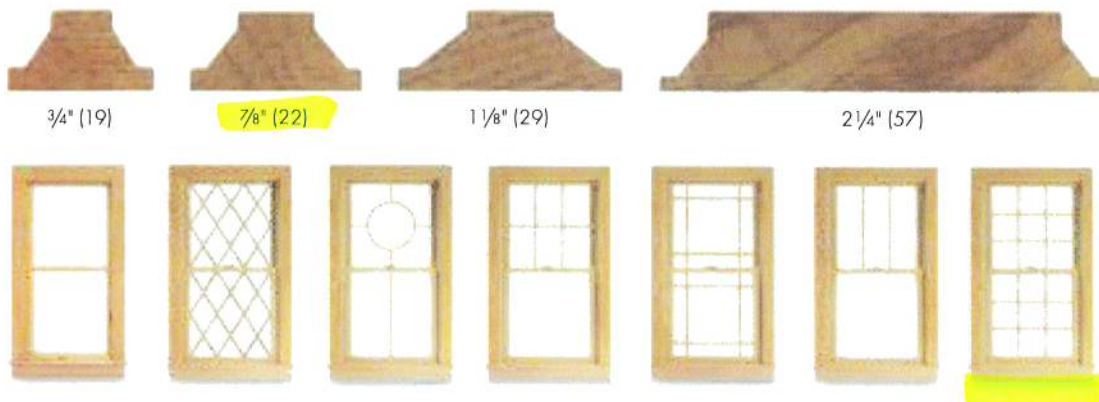


Finelight
grilles-
between-
the-glass

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.

Grille Bar Widths & Patterns



Actual width shown.

Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide.

*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.

COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

		WINDOWS								PATIO DOORS	
FEATURES		Woodwright® Double-Hung Full-Frame	Woodwright Double-Hung Insert	Tilt-Wash Double-Hung Full-Frame	Tilt-Wash Double-Hung Insert	Narroline® Double-Hung Conversion Kit	Casement	Awning	Gliding	Frenchwood® Gliding	Frenchwood Hinged Inswing
Low-Maintenance Exteriors											
	White	•	•	•	•	•	•	•	•	•	•
	Canvas	•	•	•	•		•	•	•		
	Sandtone	•	•	•	•	•	•	•	•	•	•
	Terratone	•	•	•	•	•	•	•	•	•	•
	Dark Bronze	•	•	•	•		•	•	•		
	Forest Green	•	•	•	•		•	•	•	•	•
	Black	•	•	•	•		•	•	•		
Interiors											
	Pine	•	•	•	•	•	•	•	•	•	•
	Maple	•	•							•	•
	Oak	•	•							•	•
	White	•	•	•	•	•	•	•	•	•	•
	Sandtone								•		
	Dark Bronze			•	•		•	•	•		
	Black			•	•		•	•	•		
Easy Cleaning											
	Tilt-to-Clean Sash	•	•	•	•	•					
Grilles & Blinds											
	Full Divided Light	•	•	•	•	•	•	•	•	•	•
	Simulated Divided Light	•	•	•	•	•	•	•	•	•	•
	Finelight™ Grilles-Between-the-Glass	•	•	•	•	•	•	•	•	•	•
	Removable Interior Grilles	•	•	•	•	•	•	•	•	•	•
	Blinds-Between-the-Glass									•	•
High-Performance Glass Additional glass options are available. See page 12 for details. For patio doors, all glass options are tempered.											
	Low-E4®	•	•	•	•	•	•	•	•	•	•
	Low-E4 SmartSun™	•	•	•	•	•	•	•	•	•	•
	Low-E4 Sun	•	•	•	•	•	•	•	•	•	•
	Low-E4 PassiveSun	•	•	•	•	•	•	•	•	•	•
	Clear Dual-Pane						•	•			
	HeatLock® Coating	•	•	•	•	•	•	•	•	•	•
Performance Option											
	Stormwatch® Protection	PG upgrade		•			•	•			
Glass Spacers											
	Stainless Steel	•	•	•	•	•	•	•	•	•	•
	Black or White	•	•	•	•	•	•	•	•	•	•
Standard Sizes											
	Minimum Width	1'-9 3/8"	1'-4 1/2"	1'-9 3/8"	1'-9 1/4"	Fits Narroline double-hung windows made after 1967	1'-5"	2'-0 1/8"	2'-11 1/4"	4'-11 1/4"	2'-6 1/8"
	Maximum Width	3'-9 3/8"	3'-9 3/8"	3'-9 3/8"	3'-8 7/8"		2'-11 15/16"	5'-11 7/8"	5'-11 1/4"	15'-9"	8'-11 1/8"
	Minimum Height	3'-0 7/8"	2'-3 3/4"	3'-0 7/8"	3'-0 3/8"		2'-0 1/8"	1'-5"	1'-10 1/4"	6'-7 1/2"	6'-7 1/2"
	Maximum Height	6'-4 7/8"	6'-5"	7'-8 7/8"	7'-6 3/8"		5'-11 7/8"	4'-0"	4'-11 1/4"	7'-11 1/2"	7'-11 1/2"
Custom Sizes											
		•	•	•	•		•	•		•	•

Alexandria TDL 4LT 80

Alexandria TDL 4LT 80



Alexandria TDL 4LT 8

Equipment Needed:

- Leveler
- Air Compressor
- Install Screws: 4" screws
- Shims
- Rubber mallet
- Square ruler
- Drill with 1" drill bits
- 15-gauge nail gun (To fit 1-1/2 – 2-1/2" Nails)
- Ladder
- Insulation Foam
- Brown siliconized acrylic
- Reciprocating Saws
- Tape Measure
- Hammer
- Crowbar
- Knife
- Chisel



of People required:

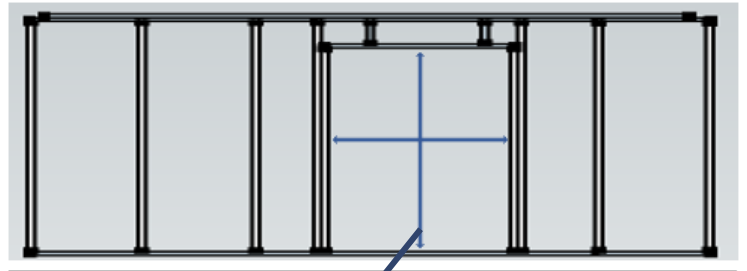
- 2 people

Time Required:

- 1-2 hours

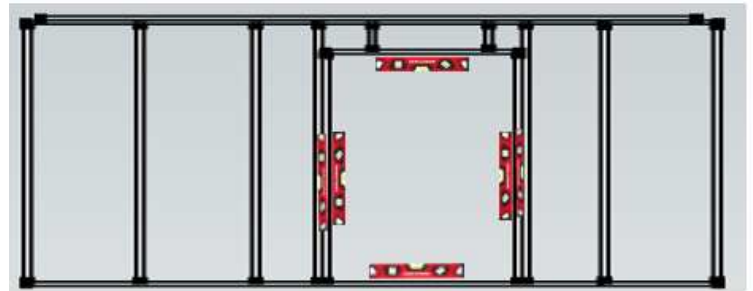
Step by Step Instructions

Step 1: Verify that the rough opening will fit the frame size of the door, ensure that the frame is $\frac{3}{4}$ " less than the opening.

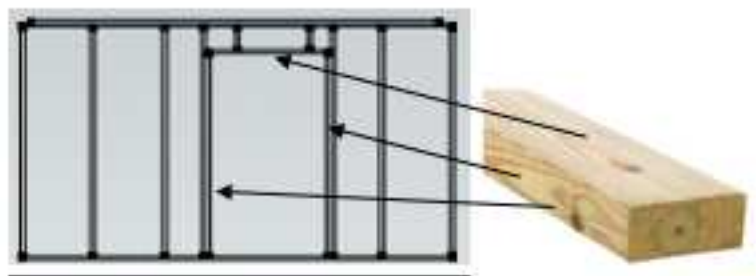


Measure the width and height of the opening. The new door must be $\frac{3}{4}$ " smaller in width and $\frac{3}{4}$ " small in height than this measurement.

Step 2: Verify that the rough opening is level.



Step 3: Verify that there are 2x4's around the opening of the door.



Step 4:

- Identify that the rough opening has a door pan, which is located on top of the plywood on the bottom of the opening. ** If a door pan is not installed, ensure that there is at least a piece of plywood on the bottom of the opening.
- To install a door pan, apply silicone to cover the whole plywood.
- Place the door pan on the plywood.

Note: that if the pan is not the size of the whole piece of the plywood, put the pan to the top of the plywood. The lip of the pan must be on the threshold. This lip should be aligned with the top of the plywood.



Door Pan

Step 5: Prep the doors and frame to be ready for install by removing all the packaging.

****Tools required to open the crate:** Knife, Crowbar and Hammer



Side of the Crate

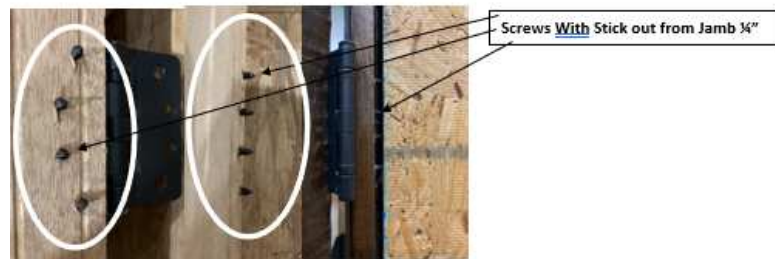
Require tools to open DSA crate

Front of the Crate

Step 6:

To ensure that the frame is ready for install, unfasten the screws halfway or just enough so that it is not sticking out from the frame. Always leave the top and bottom screws on the hinges and remove the two middle ones.

***Note:** To make an adjustment of the height where the door sits, you can install the screws either on the 3rd hole to lift the door or 2nd hole to drop the door. We use the middle two because it ensures that the screws will connect with the 2x4's.



Screws With Stick out from Jamb ¼"

Step 7: Remove the security lock from the door located in the bore area, before you start installation.



Step 8:

- Install the door from the exterior of the building. **DO NOT** drag or slide the bottom of the door into the opening (dragging and Sliding will damage the seal and lines and door pan).
- Place the bottom of the door at the bottom surface of the opening, then tilt the top into position. Center the door between the sides of the opening to allow enough clearance for ¾" on top and side for shimming.



Step 9:

Insert a least one installation screw of #12"x4 Phillips style corrosion resistant flathead screw through the second or third of the hinge jamb hole, into the structural framing.

(sold separate: 12x4 ORB Screw)



Step 10: Attach the door on the frame.

Step 11:

- Test the door by slightly closing, this is done to visualize the amount of adjustments needed on the install screws.
- If door is hitting the sill, you would need to raise the door up. If the door is hitting the upper frame, you would need to drop the door down.
- At all cost try not to put any install screws on the jambs unless you have exhausted all options with the holes offered on the hinges.
- If you install screws on the jambs, install them behind the weather strip.

Step 11 continued:

- When the door is still not closing you can use shims on the spaces between the frame and the opening, so that you can manipulate the frame until the door closes.
- If you apply shims on the bottom left, the frame will lift on the right side. If you apply shims on the bottom right, the frame will lift on the left side.
- Make sure that the install screws are loosened up when shimming the door, this avoids any damage that can be cause from shimming.

Step 12:

When you finish manipulating the frame. To check if it is done correctly; the door should be able to close without any interruption.



Step 13: Install handle set and door lock into the door

Step 14: Apply glue on the latch and the tip of the lock

Step 15: Close the door and activate the latch and lock

Step 16: Open the door again

Step 17:

Drill the two holes you need on the frame by identifying the glue marks on the jamb. Use a 1" bit and drill through the frame.

Step 18:

- Install strike plates on the frame
- Align the strike plates with the holes you have drilled
- Create an outline using a pencil or pen

Step 18 continued :

- d. Using a knife trace the outline you created
- e. With a chisel remove the wood inside the outline you created. Make sure that you only remove wood so that the depth is 1/8".

Step 19 :

- a. Test fit the doors
- b. Open close the door to make sure nothing is interfering
- c. Lock and unlock doors

THE END

Need help?

Contact

Warranty@dsadoors.com

or 919-781-3200 x 116

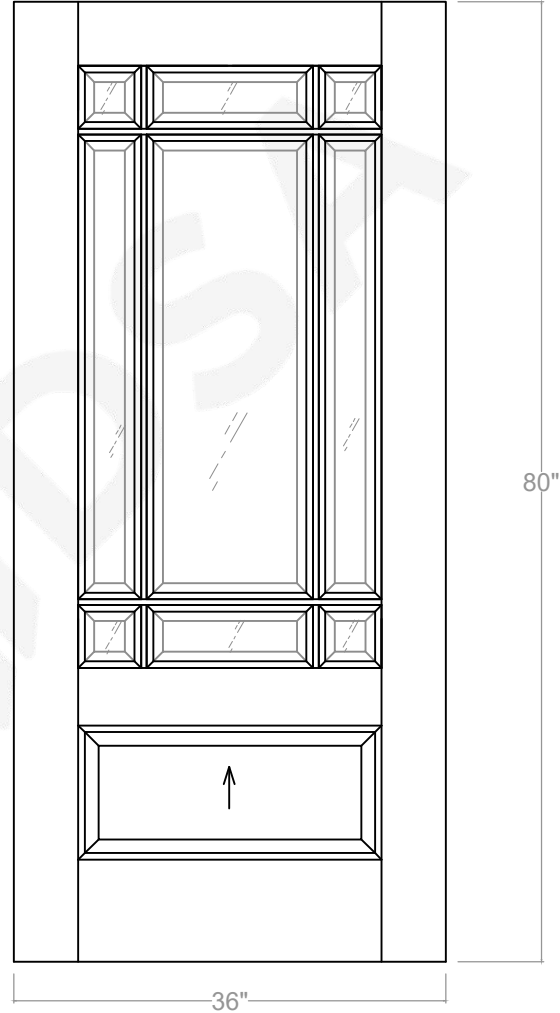
Safety and Handling

- Read and fully understand ALL manufacturer's instructions before beginning. Failure to follow proper installation instructions may result in the denial of warranty claims for operational or performance problems.
- Do not work alone. Two or more people are required. Use safe lifting techniques.
- Use caution when handling glass. Broken or cracked glass can cause serious injury.
- Wear protective gear (e.g. safety glasses, gloves, ear protection, etc.).
- Operate hand/power tools safely and follow manufacturer's operating instructions.
- Use caution when working at elevated heights.
- If disturbing existing paint, take proper precautions if lead paint is suspected (commonly used before 1979). Your regional EPA (www.epa.gov/lead) or Consumer Product Safety Commission offices provide information regarding regulations and lead protection.
- **WARNING:** Drilling, sawing, sanding or machining wood products generates wood dust, a substance known to the State of California to cause cancer. Use a respirator or other safeguards to avoid inhaling wood dust.

IF INJURY OCCURS, IMMEDIATELY SEEK MEDICAL ATTENTION!

Materials and Door Handling

- Make sure the operating panel is secured prior to installation.
- Protect adhesive surfaces from dirt, moisture, direct sunlight and folding over onto themselves.
- Handle in vertical position; do not drag on floor.
- Do not put stress on joints, corners or frames.
- Store door in dry, well-ventilated area in vertical, leaning position to allow air circulation; do not stack horizontally.
- Protect from exposure to direct sunlight during storage.
- Install only into vertical walls and when conditions and sheathing are dry



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SB

DOOR GENERAL SPECIFICATIONS	DATE :	1/13/2023
E-01: ALEXANDRIA 9LT TDL	PO # :	---
	VENDOR # :	---
3/0 X 6/8 - SQ TOP	DSA ORDER # :	---
	CUSTOMER: DOORS BY DESIGN	
GLASS TYPE: Clear Beveled IG Low E	SALES PERSON: BOB CLARK	



Order will be processed per this drawing.
Note all changes on this drawing before approval.
*REVISION FEE MAY APPLY FOR CHANGES MADE
AFTER SIGNED APPROVAL.

*SIGN & DATE HERE:

PHONE: 919-781-3200

FAX: 919-781-2380



Alexandria TDL 4LT 8/0

GLASS OPTIONS: Clear Beveled Low E or Flemish Low E

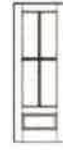
TIMBER: Mahogany

SINGLE DOOR: 2'6", 2'8", 3'0" x 8'0" x 1 3/4"

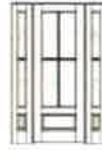
DOUBLE DOOR: 5'0", 5'4", 6'0" x 8'0" x 1 3/4"

SIDELIGHTS: 10", 12", 14"

LEAD TIME: 2-3 weeks



E-01



E-03



E-04



E-09



E-12



E-14



8192 SIX PENCE DRIVE
Pensacola, FL 32514

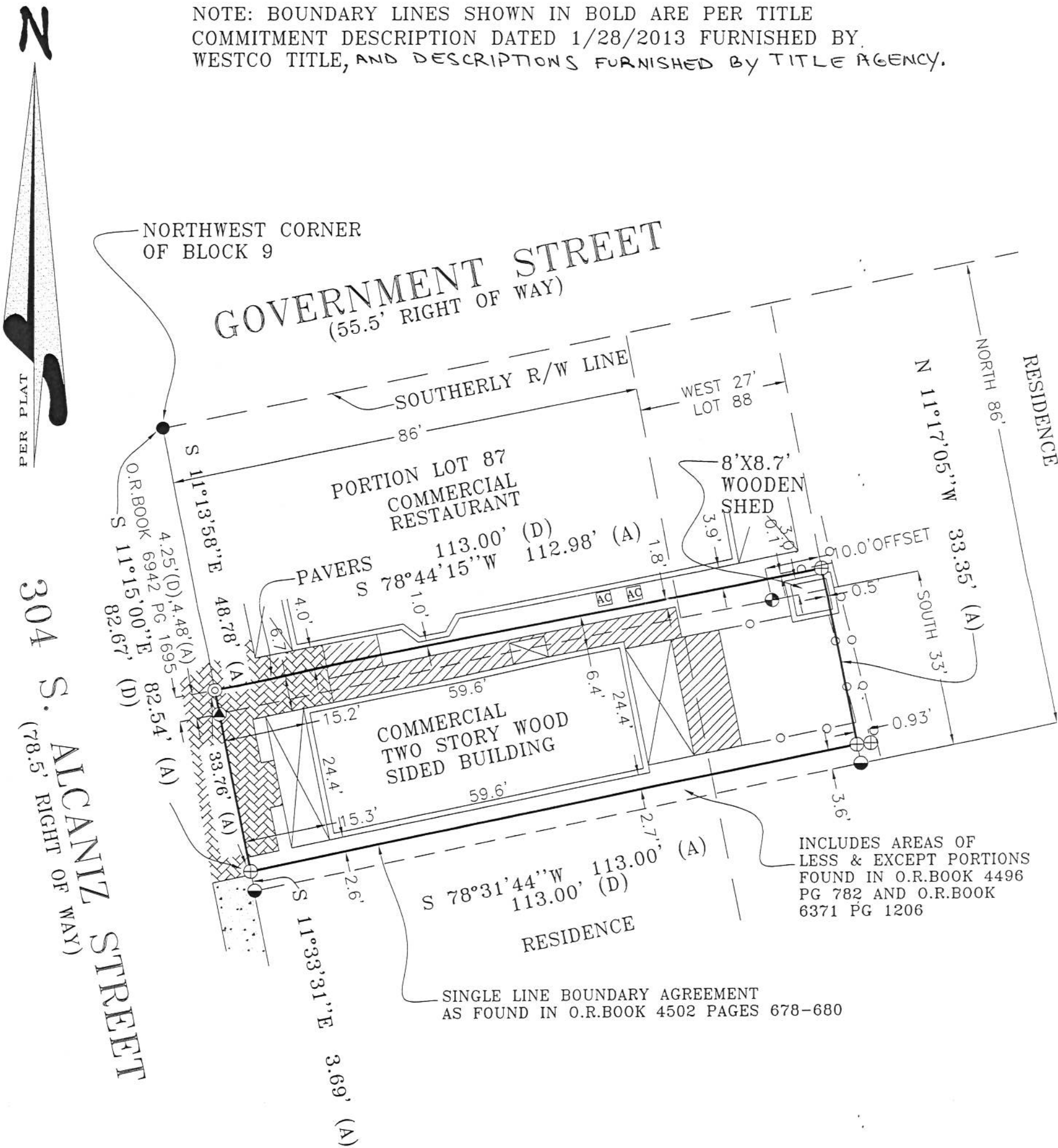


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FAX (850) 433-8282
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DRAWN BY CHIP EVANS

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PAGE 1 OF 2

NOTE: This map is not complete or valid without report on page 2 of 2

THIS MAP IS INTENDED TO BE PRINTED ON A PAPER SIZE OF 11"x17" TO FIT THE SCALE INDICATED HEREON. ANY OTHER SIZE PRINTED RENDERS THIS MAP INVALID.

Bearing Reference HELD THE EASTERLY R/W LINE PER LESS & EXCEPT DEEDS		Source of Information: Field Evidence & Recorded Plat	
NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. SEE PAGE 2 FOR SIGNATURE AND EMBOSSSED SEAL	Survey Number: 20-2013	LEGEND ° Degree ' Feet or Minutes " Inches or Seconds N North S South E East W West P.C.P. Permanent Control Point P.R.C. Point of Reverse Curve P.C. Point of Curvature P.T. Point of Tangency P.O.C. Point of Commencement P.O.B. Point of Beginning R/W Right of Way	P.R.M. Permanent Reference Monument R Radius R.P. Radius Point L.A. Length of Arc C.H. Chord and Chord Bearing <0.0> Existing Spot Elevation B.S.L. Building Setback Line Deed (P) Plat (A) Actual field measurement (D) Existing Hole in Concrete Set "X" Cut in Concrete 1/2" Metal Rod-Found Capped Iron rod-Found M.P.S. Capped Iron rod-Found BUTLER Capped Iron rod-Found Capped Iron rod-Found 1" Metal Pipe-Found
	Scale: 1"=20'		⊕ Capped Iron rod-set Lb.6832 ⊕ Nail & disk found ⊕ Nail & disk set Lb.6832 ⊕ Concrete Monument Found ⊕ Utility Pole ⊕ Meter E—E—E Utility wires overhead Concrete or Pavement N—N—N Chain link fence ○—○—○ Wooden fence X—X—X Wire Fence □—□—□ Plastic Fence Wood Deck or Dock Covered area (porch, carport, etc.) Pavers or Brick
	Field Date: 1-29-2013		
	Field Book/Page: 261/68		
	Type of Survey: Boundary & Improvements		
Revisions:			
LARRY E. STEGALL P.L.S., FLA #4747 LB # 6832 LARRY@LANDSENDSURVEYING.COM			

Gregg Harding

From: Scott Holland <scoho@rsharchitect.com>
Sent: Wednesday, January 25, 2023 9:00 AM
To: Gregg Harding; Leslie Statler
Cc: Ron Kilpatrick (rkilpatrick@matheselectric.com)
Subject: [EXTERNAL] RE: 304 S. Alcaniz Street

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hello Gregg,

See our responses below (bold **RED**).

Also, I just wanted you to know that I will be out of town on the 16th and will not be able to attend ARB Board meeting. Thanks.

Scott

R. SCOTT HOLLAND, AIA

R. SCOTT HOLLAND ARCHITECT, LLC
312 South Alcaniz Street / Pensacola, Florida / 32502
(850) 393-2168
scoho@rsharchitect.com

From: Gregg Harding <GHarding@cityofpensacola.com>
Sent: Tuesday, January 24, 2023 2:00 PM
To: Scott Holland <scoho@rsharchitect.com>
Subject: 304 S. Alcaniz Street

Good afternoon Scott,

I'm currently reviewing the application for 304 S. Alcaniz Street. Can you please provide answers via email to the following questions:

- Can you provide an example image of the existing siding profile or the proposed siding profile to indicate that the new will match? --- **The new siding will match the existing which is a 1x6 board (non-beveled). We can provide a sample to you if so desired. ---**
- Can you please clarify the number and location of windows to be replaced? Is it all windows on north, south, and rear? Or just the ones in images 11-13? --- **We will be replacing only the ones shown in the images. ---**
- All new windows will have a grille pattern of 9/9, correct? --- **6/6. ---**
- For the windows, will the lite option be "full divided light"? --- **No, we are proposing applied simulated exterior and interior muntins with interior spacers between muntins. ---**
- On page 11, is there an image missing? --- **No, all are included. ---**



Thank you.

Gregg Harding, RPA

Assistant Planning & Zoning Division Manager

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

gharding@cityofpensacola.com



Tell us how we are doing by completing this short [survey](#).

Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00120

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

255 W. Brainerd Street - Variance
North Hill Preservation District / Zone PR-1AA / City Council District 6
Variance

BACKGROUND:

Dr. Daniel Hohman is requesting approval to reduce the south rear yard setback from the required 5 feet to 3 feet and to increase the allowable rear yard coverage from 25% (1,000 sf) to 26% (1,038 sf) to accommodate a new detached accessory residential unit over garage. The applicant is requesting the variance due to several unusual property features which dictate placement of a proposed new building. These conditions include the site's topography, the underlying archaeology associated with Fort San Bernardo, and the inconsistent south property line. Conceptual review for the proposed structure is also for review and as the next agenda item.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-11-2(a)(2) Variances

Sec. 12-12-3(5)b. ARB conditions for granting variances

Sec. 12-3-55(4)a.2. Residential accessory structure standards (provides up to 25% of rear yard coverage)

Sec. 12-3-81(c)(4)b. and c. Accessory residential units (provides rear yard setback of 5' for accessory residential structures over a garage)

Sec. 12-3-10(2)h. North Hill preservation district, New construction

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAH RM 802 = =
1009 = =

Site No. Es 489

Site Name Blount, F.M. House 830 = = Survey Date 8009 820 = =
Address of Site: 255 W. Brainard St. Pensacola, FL 32501 905 = =
Instruction for locating on SE corner of W. Brainard St. and N.
Barcelona St. 813 = =
Location: Belmont Tract 56 6-11 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Moore, Jack D. and Elizabeth ;
Address: 255 W. Brainard St.
Pensacola, FL 32501 902 = =
Type of Ownership private 848 = = Recording Date 832 = =
Recorder:
Name & Title: Gantzhorn, Alan; Hawley, Nancy ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use residence 838 = =
Check One Check One or More
☒ Excellent 863 = = ☒ Altered 858 = = Present Use residence 850 = =
☐ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning + 1951 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 20th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
☐ Zoning () 878 = = ☐ Transportation () 878 = =
☐ Development () 878 = = ☐ Fill () 878 = =
☐ Deterioration () 878 = = ☐ Dredge () 878 = =
☐ Borrowing () 878 = =
☐ Other (See Remarks Below): 878 = =

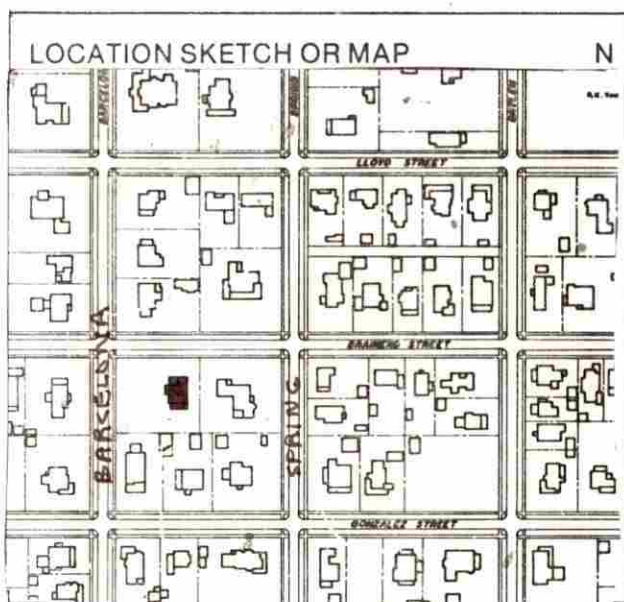
Areas of Significance: Architecture, Archaeology 910 = =

Significance:

This masonry vernacular structure was constructed on one of Pensacola's most important archaeological sites. The Queens redoubt of Ft. George, the explosion of which ended British hopes of defending Pensacola in 1781, stood on this site. The foundation of the house was laid in the crater caused by this explosion. Evidence of the breastworks can be seen in the surrounding yard.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Spindle; Gilbert D. (Jacksonville) 872 ==
 BUILDER unknown 874 ==
 STYLE AND/OR PERIOD masonry vernacular 964 ==
 PLAN TYPE irregular 966 ==
 EXTERIOR FABRIC(S) brick; common bond 854 ==
 STRUCTURAL SYSTEM(S) masonry 856 ==
 PORCHES s/l story hipped porch enclosed
 942 ==
 FOUNDATION: brick; continuous 942 ==
 ROOF TYPE: hipped 942 ==
 SECONDARY ROOF STRUCTURE(S): hipped 2nd story addition 942 ==
 CHIMNEY LOCATION: none 942 ==
 WINDOW TYPE: pivot, 12 light, metal #Jalousie, 1/1, metal 942 ==
 CHIMNEY: 882 ==
 ROOF SURFACING: composition shingle; butt 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 0 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola, 1970,
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude:
 ° ' " ° ' " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

UTM Coordinates:

Zone Easting Northing 890 ==

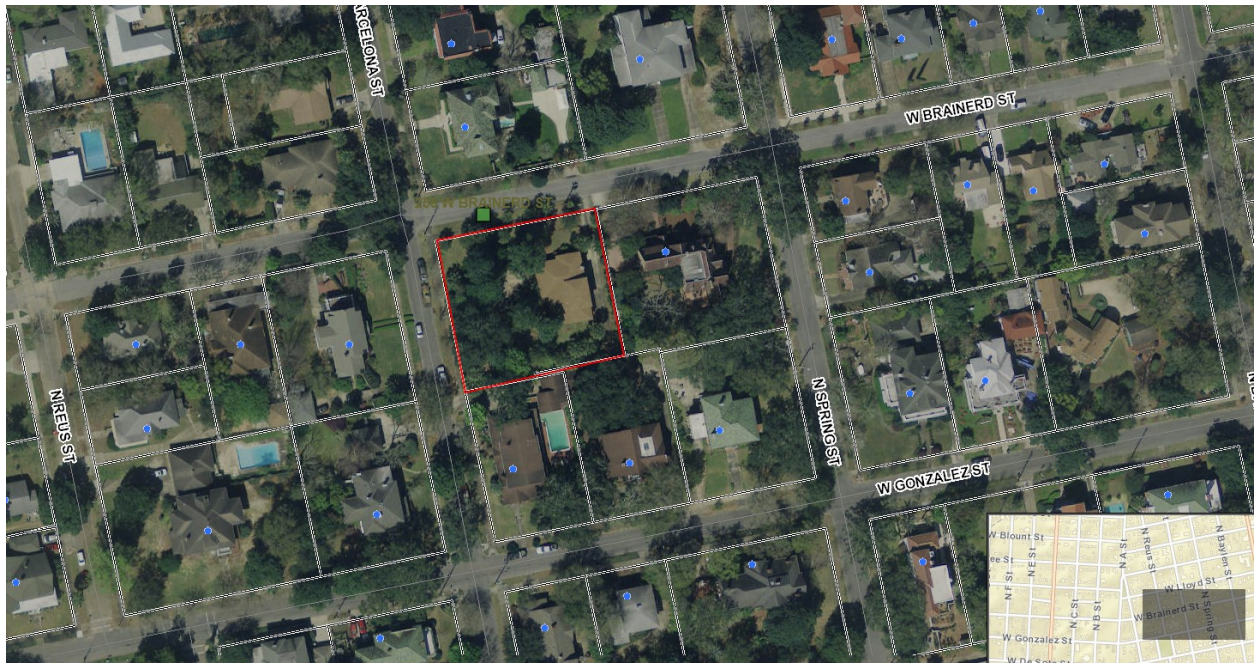
Photographic Records Numbers HPPB

P80.30.35

860 ==

Contact Print

255 W. Brainerd Street





TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 2/8/2023

SUBJECT: 255 W. Brainerd Street historic/archaeological significance

The residential structure located at 255 W. Brainerd Street in the North Hill Preservation District was constructed on top of the former Queen's Redoubt/Fort San Bernardo (8ES1367) fortification that was utilized by both British and Spanish forces during Pensacola's colonial history. The Queen's Redoubt, later renamed Fort San Bernardo to honor Gálvez after the British surrendered Pensacola, was an earth-and-timber support fortification to Fort George and protected Pensacola from a northern assault (James 2011).

The earthen mound on which the applicant's residence is constructed, was archaeologically investigated by the University of West Florida in 1987 and again in 2008. It is likely that the structure is situated within the impact area created when a mortar shell struck the door of the powder magazine in the Queen's Redoubt, causing a large explosion that killed numerous men. The fort was later repaired, expanded, and utilized as a defensive fortification through the Civil War (Bense 1989, James 2011).

A topographic map created in 2008 depicts the positioning of the residential structure and wooden deck within the earthen mound as well as sidewalks, and it was concluded during that time that the mound is likely a remnant of the expanded parapet (see second page) (James 2011). The Queen's Redoubt is part of the Fort George archaeological complex, which is listed in the National Register of Historic Places in 1974. The applicant should exercise caution during any ground disturbance on the property due to the historic use of the site and the potential for subsurface munitions.

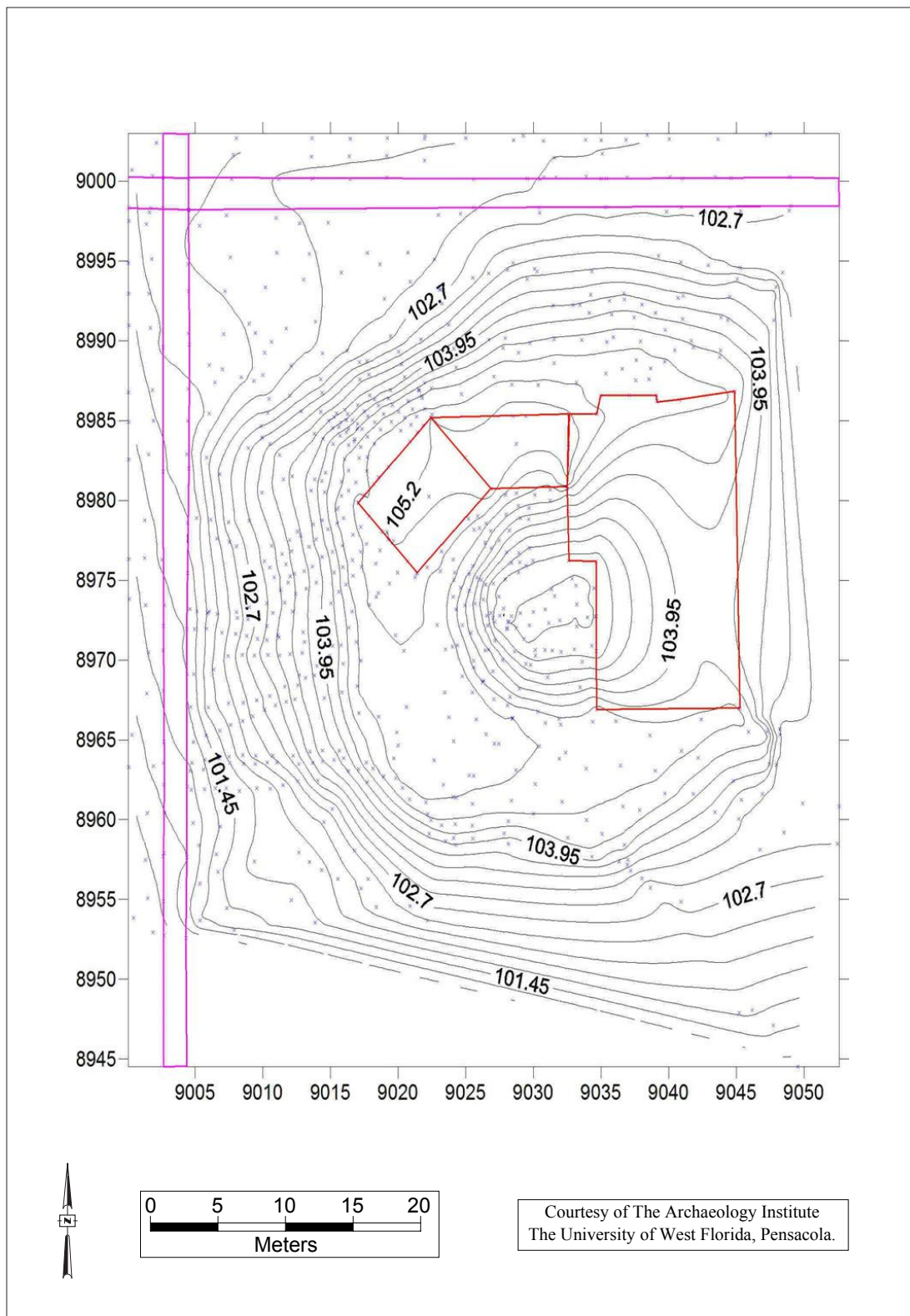


FIGURE 37. Topographic map of Site 8ES1367 by Roc Jarvis.

- ☐ **Zoning Board of Adjustment**
☒ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color.
 Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) **12-3-55 and 12-3-81** Zoning **PR-1AAA**

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: **255 W Brainerd St. Pensacola, FL. 32501**

Current use of property: **Residential**

1. Describe the requested variance(s): **A) Reduction in rear setback requirement -**
in relation to planned detached garage / nurse's cottage in back yard - 5 ft to 3 f; B) increase the
allowable rear yard coverage from 25% (1,000 sq ft) to 26%, (1,038 sq ft).

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The property is on the registry of historic places, as it was the site of a revolutionary war fortres

The topography is markedly different than any other property in the historic district. I have owned the property since 1999. In that time, the architectural review board has authorized many property owners to modify their freestanding garages with, in some cases, several variances.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

While serving this nation, deployed on aircraft carriers or serving in foreign countries, the city of Pensacola, using various legal manipulations, moved my property line because of encroaching properties. They took my land, without any compensation, or even ensuring this deployed service member was aware of the proposed changes. Otherwise, I would not be applying for a variance. I'd have been happy to put the proposed garage/nurse's quarters 3 ft off the prop line.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

This variance would correct a rather obscene injustice without any real infringement on anyone's rights. The variances afforded my neighbor devalued my property but were approved despite my objections as soon as I was deployed in 2002. I have six lots. There are very few lots in the area as large or as undeveloped as my property. No other property owner will be negatively impacted, which was clearly not the case when it came to me or my property.

5. Explain what other condition(s) may justify the proposed variance(s):

There are no other properties that will be able to see my garage/nurse's cottage from their homes. I am asking to build 3 ft from the original prop line. The very unique topography of my land and the erosion that will occur if this is not granted will require building a retaining wall, at a minimum, whether this garage was built or not. And, again, it will be 3 ft from the original line. This is not really a request for that variance, but a reasonable correction of the rights of others.

Application Date: 22 Jan 2023

Applicant: Dr. Daniel J. Hohman, CDR, USN(ret)

Applicant's Address: 255 W Brainerd St P'cola, FL 32501

Email: daniel.j.hohman2.ctr@health.mil Phone: (617) 308-4110

Applicant's Signature: Signature on file

Property Owner: Same as above

Property Owner's Address: _____

Email: _____ Phone: _____

Property Owner's Signature: _____

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.

Memorandum

From: Daniel J Hohman, Property owner, North Hill Preservation District

To: Zoning Board of Adjustment
Architectural Review Board
Planning Board
Gateway Review Board

Subj: VARIANCES REQUESTED FOR FREE STANDING GARAGE/NURSE'S QUARTERS

Board Members,

I wanted to write to you all to thoroughly explain all that went into the workup leading to this request for variances for a detached garage/nurse's quarters on my property.

I have owned my home in North Hill since 1999. For most of those years I was deployed in defense of this nation. During my 30 years of service, and 24 years of ownership, several decisions were made various city boards that negatively impacted my property while I served to protect others.

In 2002, the property behind my home, whose garage encroached on my land, along with the outbuilding of the home next to it, at the time, owned by Carter Quina, a board member and architect, was granted several variances to modify a small garage. This garage, though over the property line, was small and I accepted that there was an encroachment on my land when I closed on my home. I accepted an encroachment. I did not grant anyone that land. The Board, however, against my objections, allowed the encroaching garage to be modified, with a second story, robbing me of my view to the south and putting an unsightly wall right on my property line. RIGHT ON IT. No windows, nothing attractive to look at, just a giant, taller than two-story wall, that I must look at, now, instead of looking South, over all the houses, toward the water. That owner was given variances for height of the building, proximity to the existing home, amount of land its footprint took, and set back. He has no natural surfaces in his back yard, now, at all. The ENTIRE back yard is garage and cement. He has three trees on his property; I have over 50.

Then, knowing I was disappointed with the decision to allow modification of a building on my land, while still deployed, the legal ploy was undertaken to take that land from me. I was notified that this was done after returning from deployment. Several feet of my property were given to the two neighbors behind me while I served this nation. (Can you imagine?). Thus, where I want to build my free standing garage, where the unusual topography of my land dictates in many ways the appropriate building, it is now no longer set back from the property line, but much closer to the "newly created", what some might call the "imaginary" property line that was re-drawn during my military service. I would not be asking for a set back variance if the property line had been left as I bought it. Yes, I had title insurance, but that is useless, in case you are unaware of that, and I was not even compensated a penny for the land that was taken, nor were my taxes reduced despite having less land.

Over the subsequent years I have have been witness to several other garages and buildings being approved by the board in my neighborhood. Some are so massive that they have left the tiny lots with nearly no backyard, or front yard, no trees, and almost no setback. Additionally, these buildings, on small lots, are far taller than the 15 foot limits in the building codes for properties on the property lines.

I have six lots. I have worked with the Archeology Dept and Historical Society to preserve Fort San Bernardo. Both Dr Bentz and the current Archeology Dept Head at the University have been to my home and we have worked to preserve the only existing, unadulterated site of Pensacola's Revolutionary War history.

The steepness of the yard, especially in the back yard where this building is proposed, is prone to constant erosion of the fort. My new garage will stop the erosion of the back of the old fort.

There are a few trees that will have to be taken out. Two of the live oaks, one terribly sick and rotted and one overhanging Nathan's home to the south, will have to be removed. Additionally, there are two Magnolias, one a "heritage" Magnolia because of the size of its trunk, which will also have to be taken out. Two of these trees are threatening the safety of houses, one is terribly sick, and the least controversial Magnolia, is simply in the way of the upcoming lap pool I will be applying to put in. As part of my military service, my right lung is markedly dysfunctional and I require a mile swim every day to remain able to complete the activities of daily living. I have titanium rods in my neck, now, secondary to my spinal deterioration. I have been swimming a mile every morning for decades and will have to continue that therapy once I am permanently back in Pensacola.

I hope to live in this house, where I homesteaded 24 years ago, for another thirty years. Few residents that I know of have occupied their homes here anywhere near the time I expect to be in North Hill. I am, actually, only the fourth owner of the Blount Home, after the Hozleberry's, Mike and Lisa, and, now, me. Importantly, none of my neighbors are opposed to the Nurse's quarters/garage I am proposing.

Again, I have worked very closely with the Archeology and Historic folks to preserve the integrity of the fort as viewed from the corner of Barcelona and Brainard. I have worked with site engineers, done sampling studies of the soil and hill, and designed a home in harmony with the setting and the existing house. My mason, Adam Pugh, a fourth generation mason in Pensacola, who built my retaining wall after a live oak from the Payne mansion fell through my home, will be doing all the brick work on the new property. His skill and meticulous attention to detail will replicate the appearance of my home, exactly.

I am asking for, truly, only one variance had my land not been inappropriate "re-assigned" to someone else. The height of the new structure, from the bottom of the hill, to the top of the nurse's cottage, will be the only requested variance I'd need to request, and that is simply because of the topography of my property. The building, itself, will not be over 15 ft taller than the elevation of my back yard. The garage that I am, now, forced to look at, standing on the property I purchased, and the garage approved on Barcelona at Strong, are far more intrusive and detract from the neighborhood. What I am building will enhance and preserve the integrity of the community.

Please reach out to me if you have any questions or don't understand any of the explanation, above. I will be happy to further clarify what has transpired, if needed.

Thank you for your consideration in this matter.

Very Respectfully,

DANIEL J HOHMAN

Site photographs for Variance application.





Photographs of primary structure for conceptual aesthetic review of accessory







1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE WEST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 09 DEGREES 53 MINUTES 26 SECONDS WEST.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0390 G, REVISED SEPTEMBER 29, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 412.021, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
15. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/17.

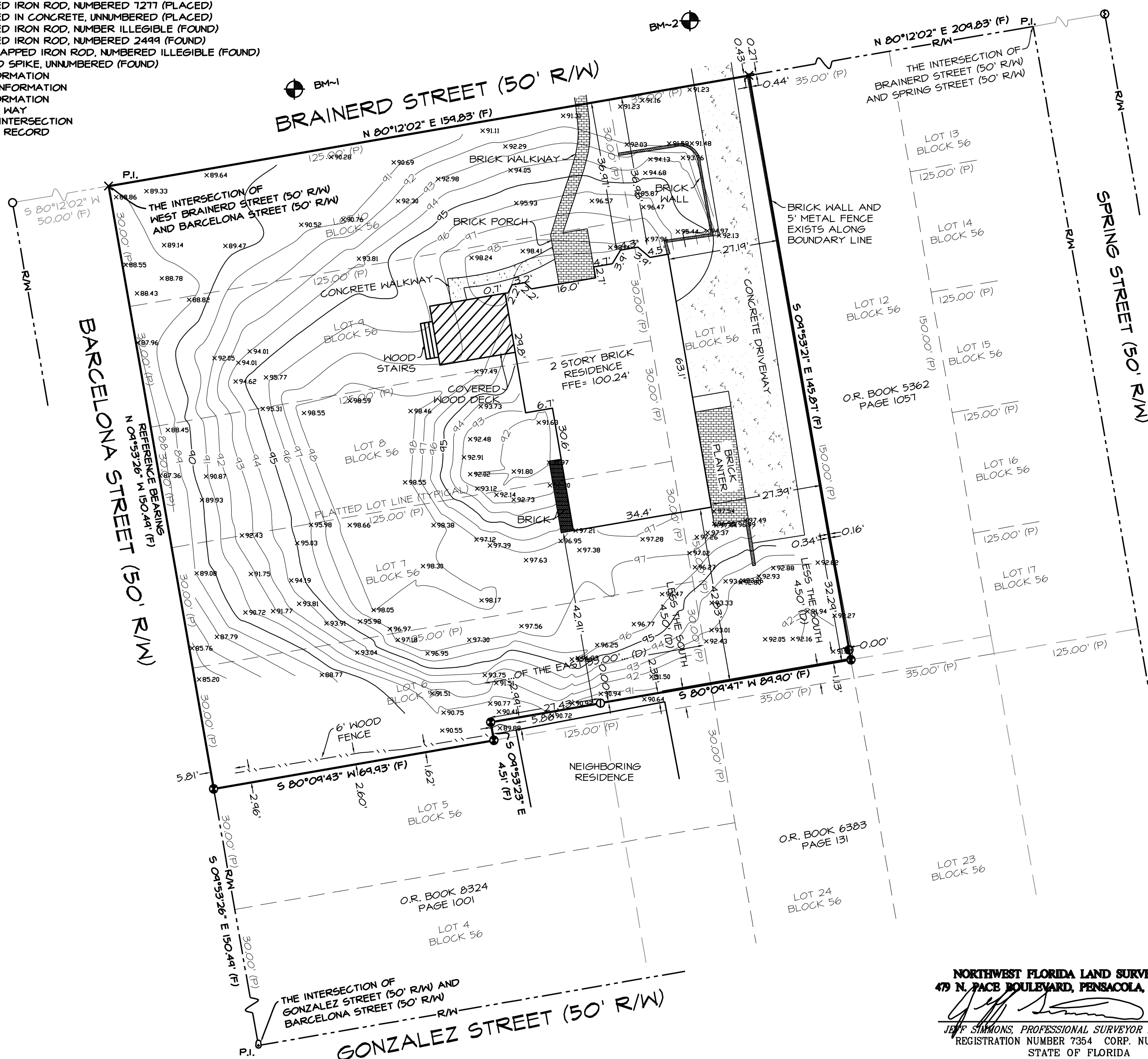
(IN FEET)
1 inch = 20 ft.

LOTS 6 THROUGH 11, BLOCK 50, BELMONT TRACT, PENSACOLA (ESCAMBIA COUNTY) FLORIDA, ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, LESS THE SOUTH 4.50 FEET OF THE EAST 55.00 FEET OF LOT 6 AND THE SOUTH 4.50 FEET OF LOT 11, THEREOF


BM~1 NAIL AND DISK IN ASPHALT
ELEVATION= 89.19' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT
ELEVATION= 90.66' (NAVD88)


X ~ 1/2" CAPPED IRON ROD, NUMBERED 1271 (PLACED)
 * ~ "X" SCRIBED IN CONCRETE, UNNUMBERED (PLACED)
 @ ~ 1/2" CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
 1 ~ 1/2" CAPPED IRON ROD, NUMBERED 2499 (FOUND)
 0 ~ 1/2" RED CAPPED IRON ROD, NUMBERED ILLEGIBLE (FOUND)
 9 ~ RAIL ROAD SPIKE, UNNUMBERED (FOUND)
 (D) ~ DEED INFORMATION
 (P) ~ PLATTED INFORMATION
 (F) ~ FIELD INFORMATION
 R/W ~ RIGHT OF WAY
 P.I. ~ POINT OF INTERSECTION
 O.R. ~ OFFICIAL RECORD



NORTHWEST FLORIDA LAND SURVEYING, INC.
479 N. PACE BOULEVARD, PENSACOLA, FLORIDA 32505

 04/12/2022
JEFF SIMMONS, PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NUMBER 7354 CORP. NUMBER 7277
STATE OF FLORIDA

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INDEX		25/54-22	PROJECT NO.	NO.	OF	SHEETS	BOUNDARY SURVEY WITH IMPROVEMENTS OF A PORTION OF BLOCK 56, BELMONT TRACT CITY OF PENSACOLA ESCAMBIA COUNTY, FLORIDA PREPARED FOR: DR. DAN HOHMAN REQUESTE BY: B.D. GRIZZARD	 NORTHWEST FLORIDA LAND SURVEYING, INC. A PROFESSIONAL SERVICE ORGANIZATION 479 N. Pace Blvd. Pensacola, FL 32506 (850) 432-1062	SCALE: 1" = 20'				DESIGNED BY: ADS		DRAWN BY: ADS		CHECKED BY: JAS		DATE: 04/12/2022		NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR	NO.	DATE	APPR.	REVISIONS	
									CREW CHIEF: AH		FIELD DATE: 03/31/22		FIELD BOOK: AHI		PAGE: 45		I.		4/26/22						ADD TOPOGRAPHY	

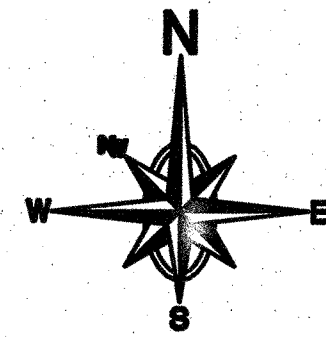
GENERAL NOTES:

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0403, LAMBERT PROJECTION AS ESTABLISHED ALONG THE WEST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 04 DEGREES 53 MINUTES 26 SECONDS WEST.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0940 S, REVISED SEPTEMBER 29, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-H-1.051 - 5J-H-1.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 412.021, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
15. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 104.03 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/91.

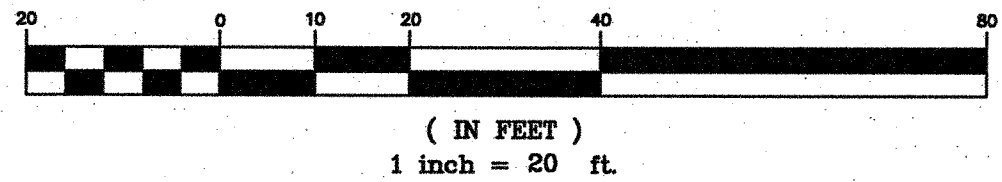
DENOTES:

- ① ~ 1/2" CAPPED IRON ROD, NUMBERED 1271 (PLACED)
- X ~ "X" SCRIBED IN CONCRETE, UNNUMBERED (PLACED)
- ② ~ 1/2" CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
- ③ ~ 1/2" CAPPED IRON ROD, NUMBERED 2449 (FOUND)
- ④ ~ 1/2" RED CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
- ⑤ ~ RAIL ROAD SPIKE, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.I. ~ POINT OF INTERSECTION
- O.R. ~ OFFICIAL RECORD

BOUNDARY SURVEY WITH IMPROVEMENTS OF A PORTION OF BLOCK 56, BELMONT TRACT CITY OF PENSACOLA ESCAMBIA COUNTY, FLORIDA



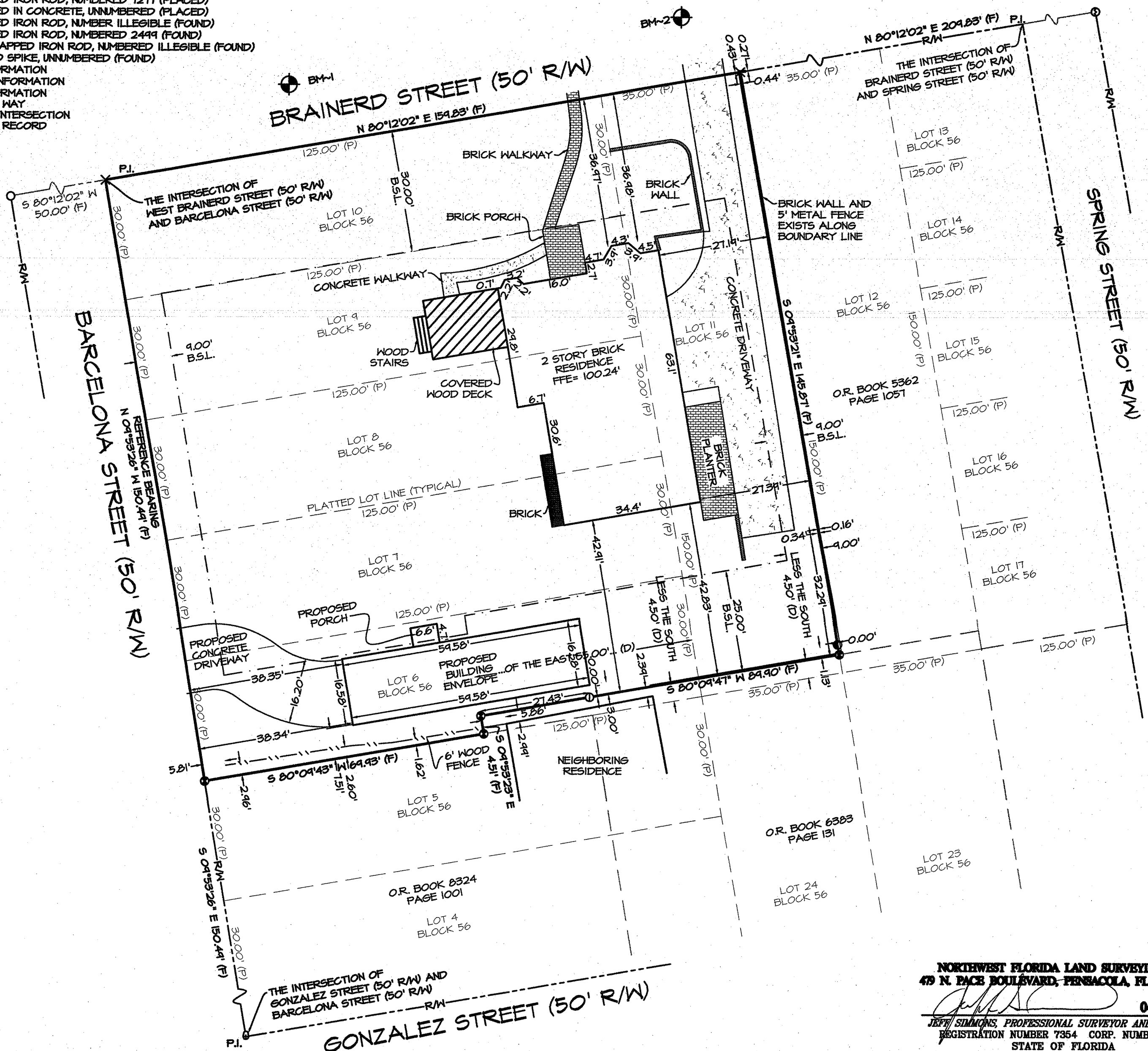
GRAPHIC SCALE



DESCRIPTION AS FURNISHED: O.R. BOOK 4416 PAGE 860 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA
LOTS 6 THROUGH 11, BLOCK 56, BELMONT TRACT, PENSACOLA (ESCAMBIA COUNTY) FLORIDA, ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, LESS THE SOUTH 4.50 FEET OF THE EAST 55.00 FEET OF LOT 6 AND THE SOUTH 4.50 FEET OF LOT 11, THEREOF

BENCHMARK DATA:

BM-1 NAIL AND DISK IN ASPHALT
ELEVATION= 84.19' (NAVD88)
BM-2 NAIL AND DISK IN ASPHALT
ELEVATION= 90.66' (NAVD88)



NORTHWEST FLORIDA LAND SURVEYING, INC.
479 N. PACE BOULEVARD, PENSACOLA, FLORIDA 32505
04/12/2022
JEFF SIMMONS, PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NUMBER 7354 CORP. NUMBER 7277
STATE OF FLORIDA

255 WEST BRAINERD STREET

INDEX	SHEETS	PROJECT NO.	NO.	DATE	APPR.	REVISIONS	
						NO.	DESCRIPTION
25154-22	1					1.	4/26/22 ADD TOPOGRAPHY
						2.	12/30/22 ADD PROPOSED BUILDING ENVELOPE
						3.	1/20/23 ADD PROPOSED LAZY "S" CONCRETE DRIVEWAY
						4.	1/25/23 ADD PROPOSED PORCH

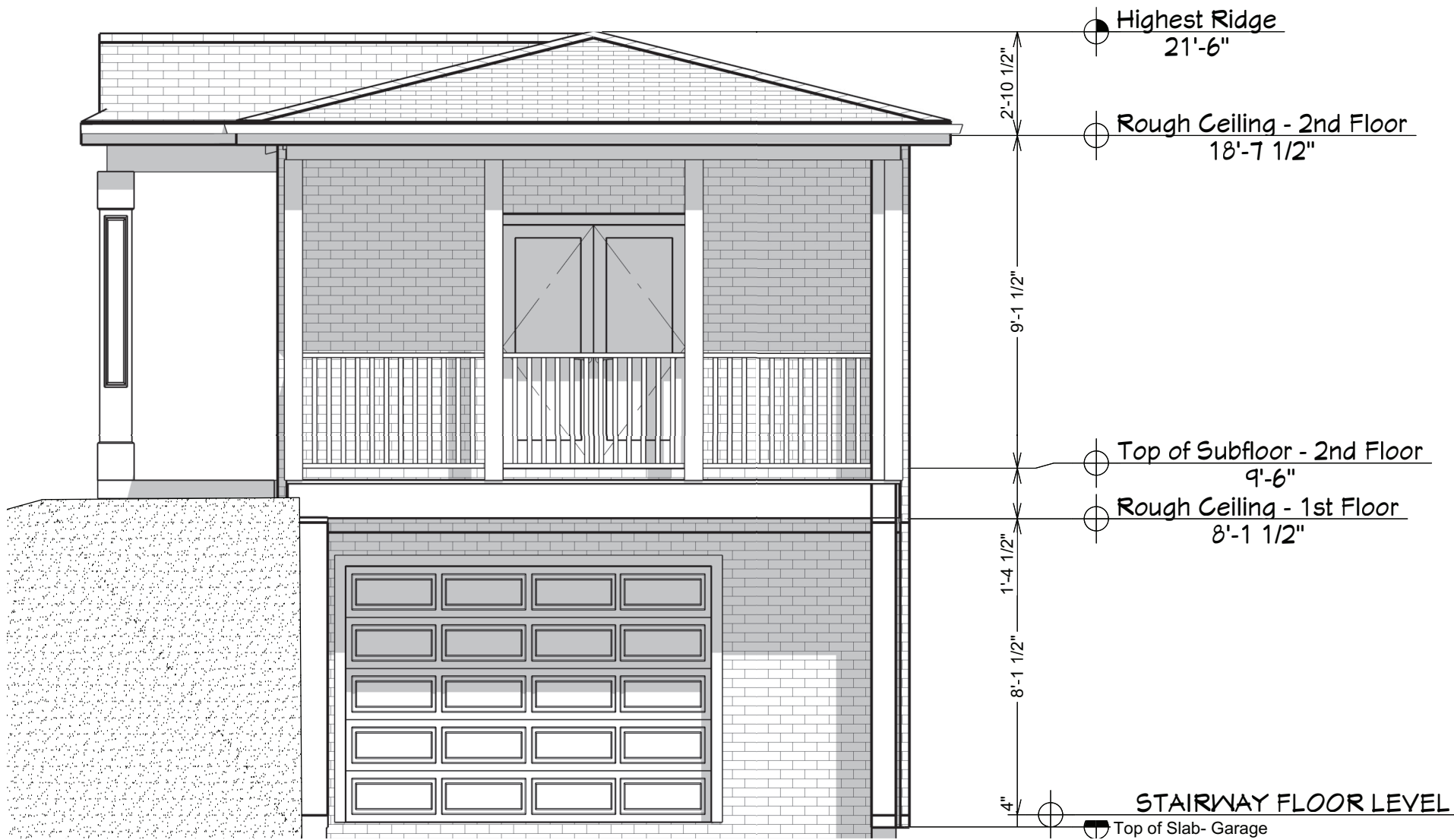
BOUNDARY SURVEY
WITH IMPROVEMENTS
OF A PORTION OF BLOCK 56, BELMONT TRACT
CITY OF PENSACOLA
ESCAMBIA COUNTY, FLORIDA
PREPARED FOR: DR. DAN HOHMAN
REQUESTED BY: B.D. GRIZZARD



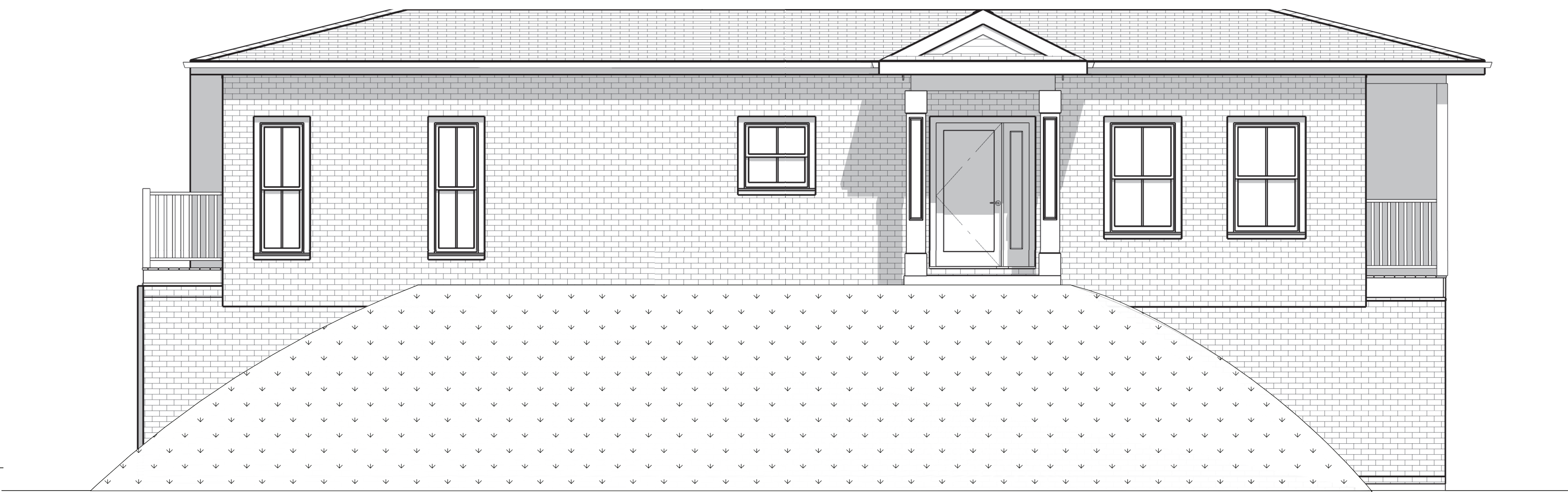
NORTHWEST FLORIDA LAND SURVEYING, INC.
A PROFESSIONAL SERVICE ORGANIZATION
479 N. Pace Blvd.
Pensacola, FL 32505
(904) 432-1008

SCALE: 1"=20'
DESIGNED BY: ADS
DRAWN BY: ADS
CHECKED BY: JAS
DATE: 04/12/2022
CREW CHIEF: AH
FIELD DATE: 03/31/22
FIELD BOOK: AHI
PAGE: 45

NOT VALID WITHOUT
THE SIGNATURE AND
ORIGINAL RAISED
SEAL OF A FLORIDA
LICENSED
PROFESSIONAL
LAND SURVEYOR



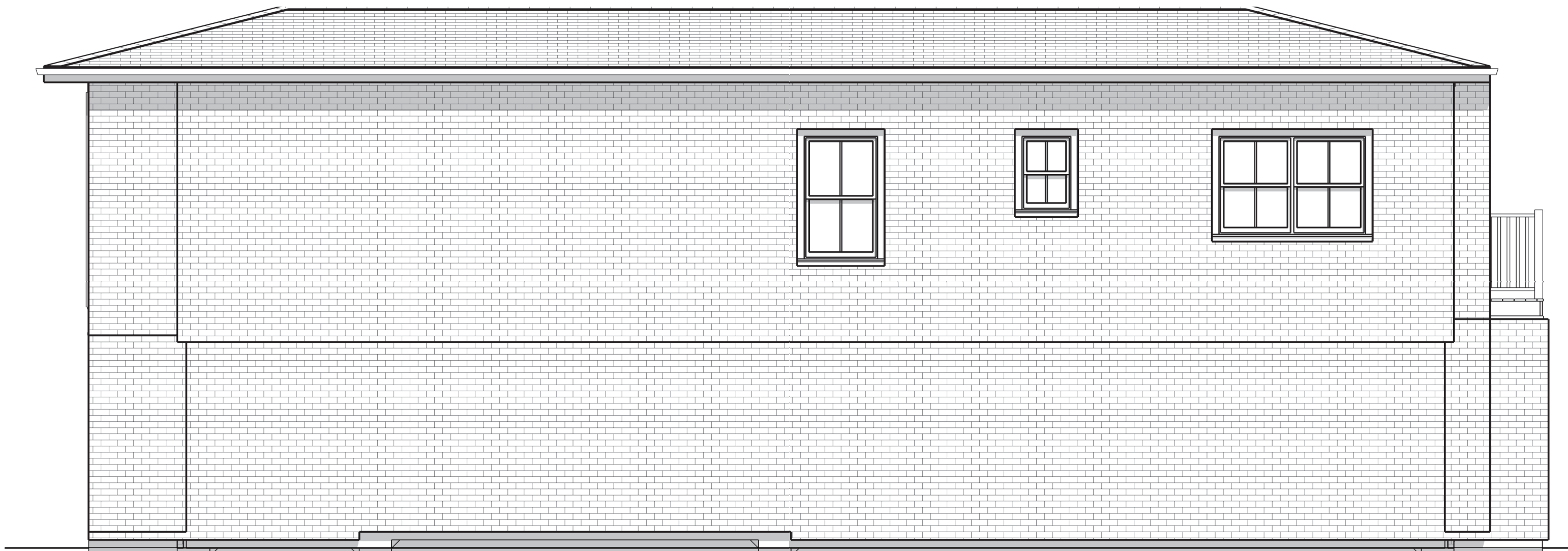
Exterior Elevation WEST



Exterior Elevation NORTH



Exterior Elevation EAST

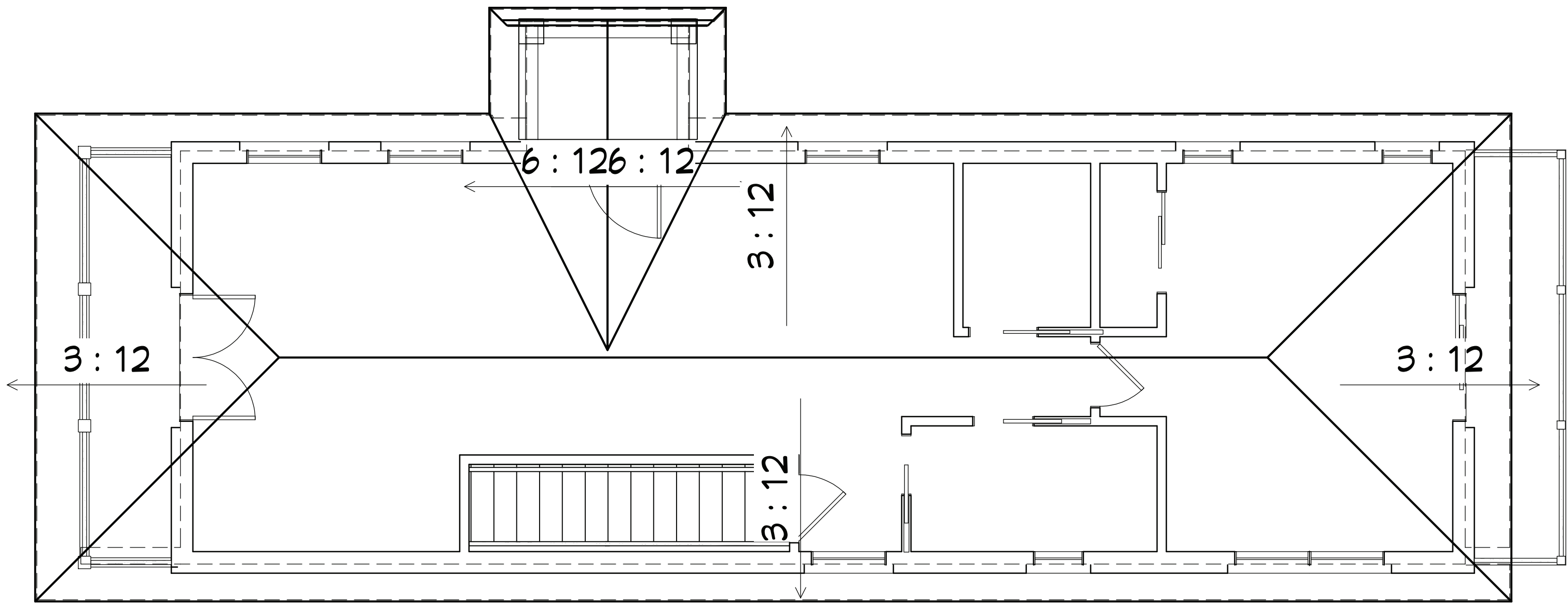
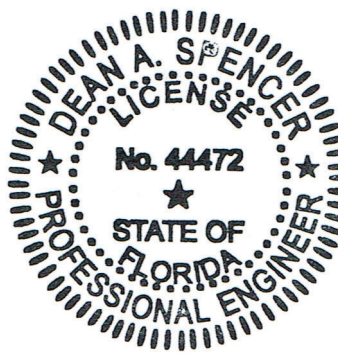


Exterior Elevation SOUTH

This item has been electronically signed and sealed by Dean A. Spencer, PE on 11/9/2022 using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

WINDLOAD & STRUCTURE ONLY!

Dean A Spencer Engineering, Inc.
FL PE #44472, CA #9070
1197 Tiger Trace Blvd
Gulf Breeze, FL 32563



Roof Plan View

LOCATION	SQFT
1st floor living (staircase)	65
2nd floor living	906
Total Living	971
Garage	823
East balcony	81
West balcony	81
Total	1956

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

DESIGNER:
DIANE PITTS
DATE:
10/31/2022
SCALE:
1/4" = 1'-0"

JOB: HOHMAN CARRAIGE HOUSE
255 W BRAINERD STREET
BUILDER: BUILT2CODE- BARRY GRIZZARD
850-460-7633

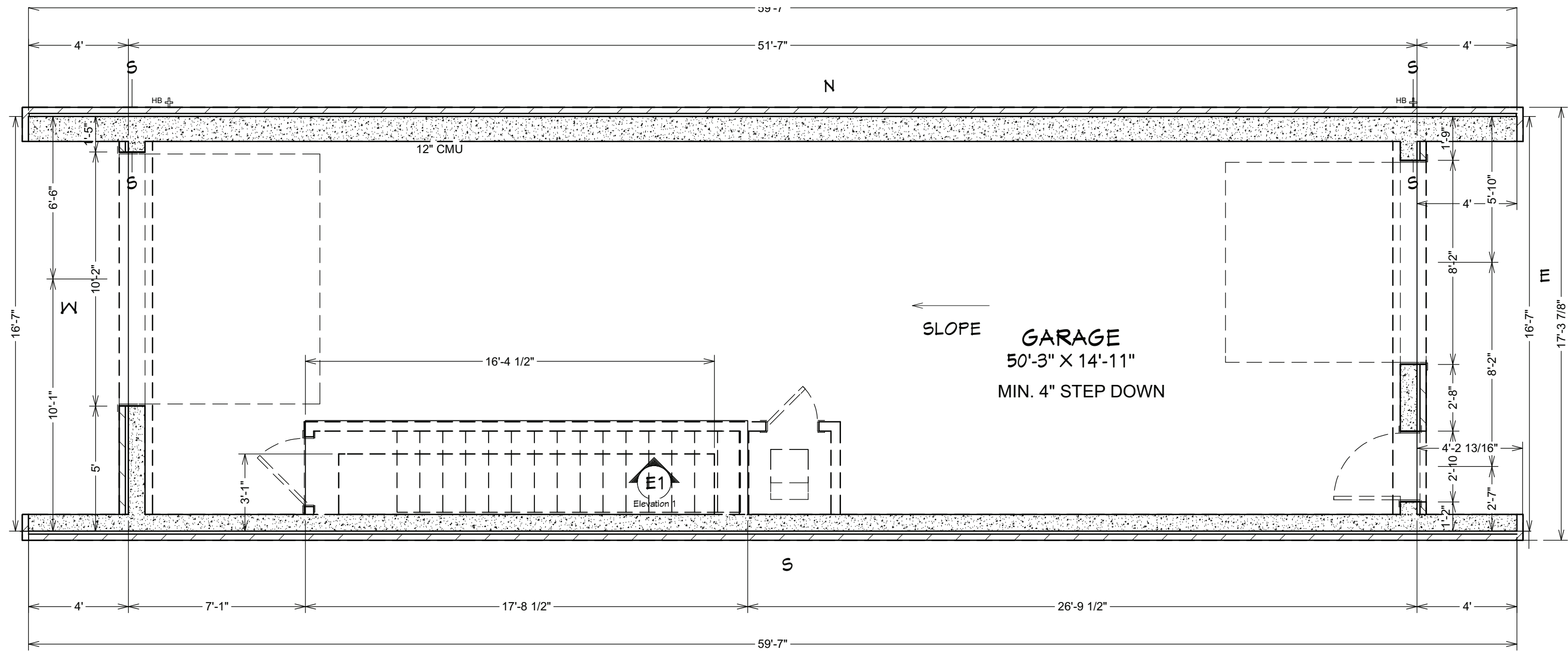
THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL#88877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:
A1

WINDLOAD AND STRUCTURE ONLY!

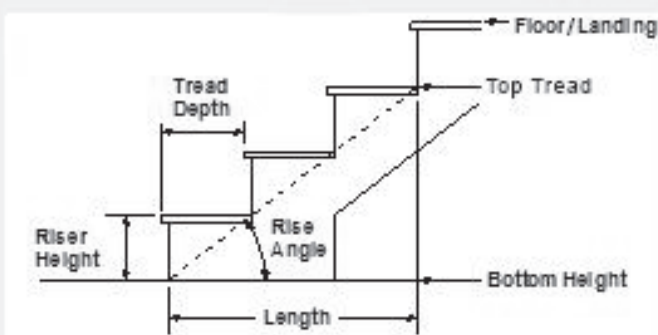


Foundation Dimension Plan
See S2 for Foundation Details

Staircase Information

Steep staircase reaches next level.
Best fit riser height of 6 11/16" requires 17 total
risers to reach 114 1/8" to next level.
Number of Sections: 1
Number of Landings: 0
Number of Risers: 16
Rise Angle: 32.96

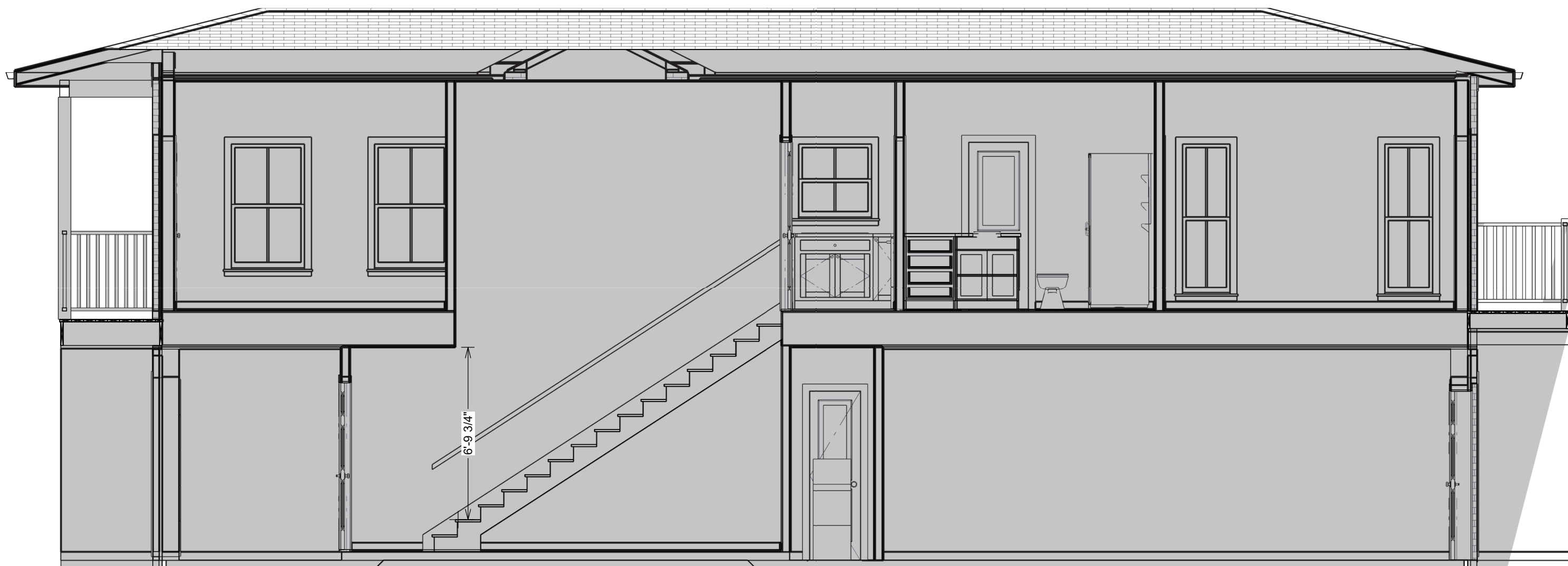
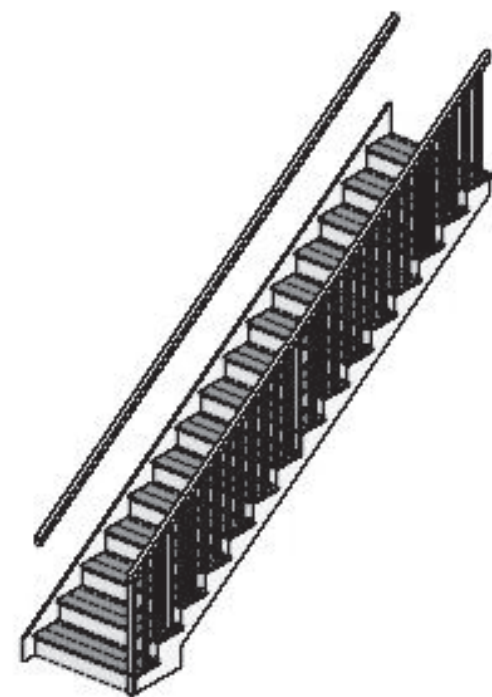
Make Best Fit



Advanced Options

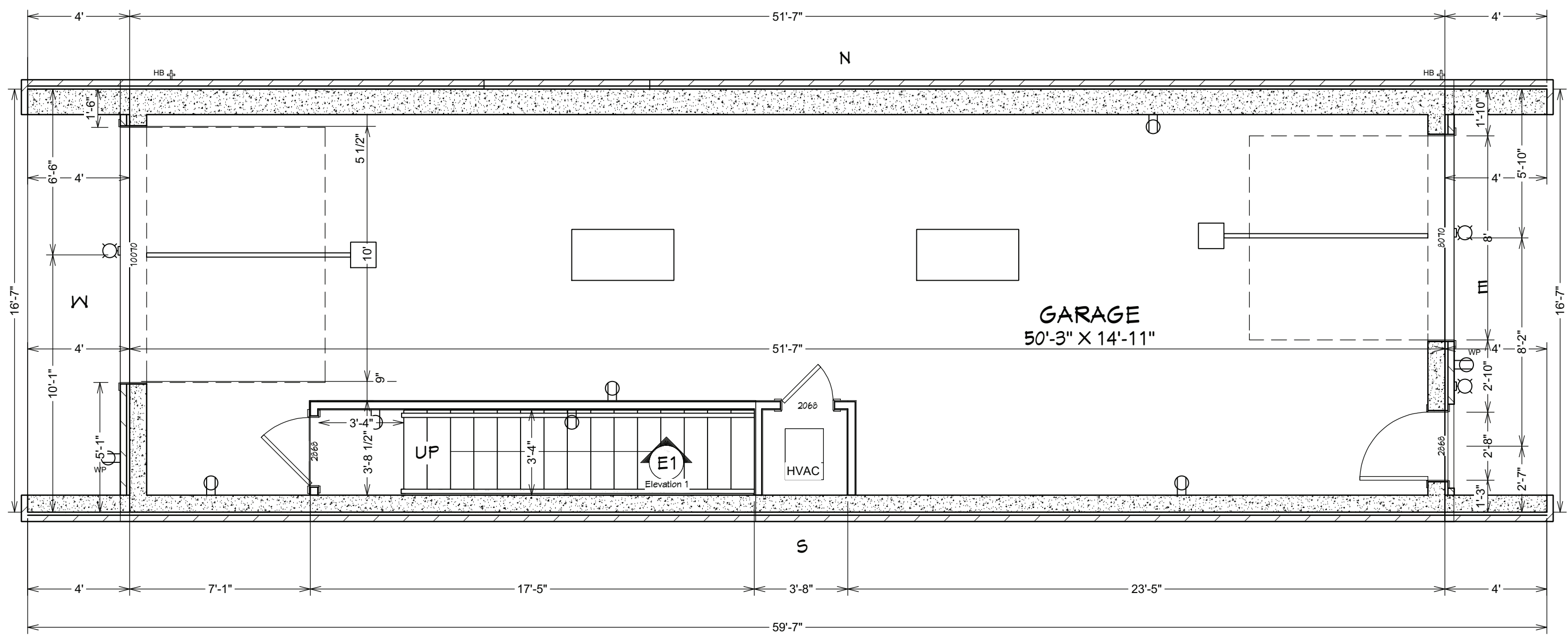
- ☒ Automatic Treads
☐ Lock Tread Depth
☐ Lock Number of Treads
- ☒ Automatic Heights
Top Height Reference:
☒ Floor/Landing
☐ Top Tread
☐ Ignore Subsection Boundaries
- ☒ Lock Top
☐ Lock Bottom

Section Number	Length	Width	Tread Depth	Treads	Bottom Height	Top Height	Riser Height	Winders
1	165"	39"	11"	15	7/8"	115"	7 1/8"	<input type="checkbox"/>

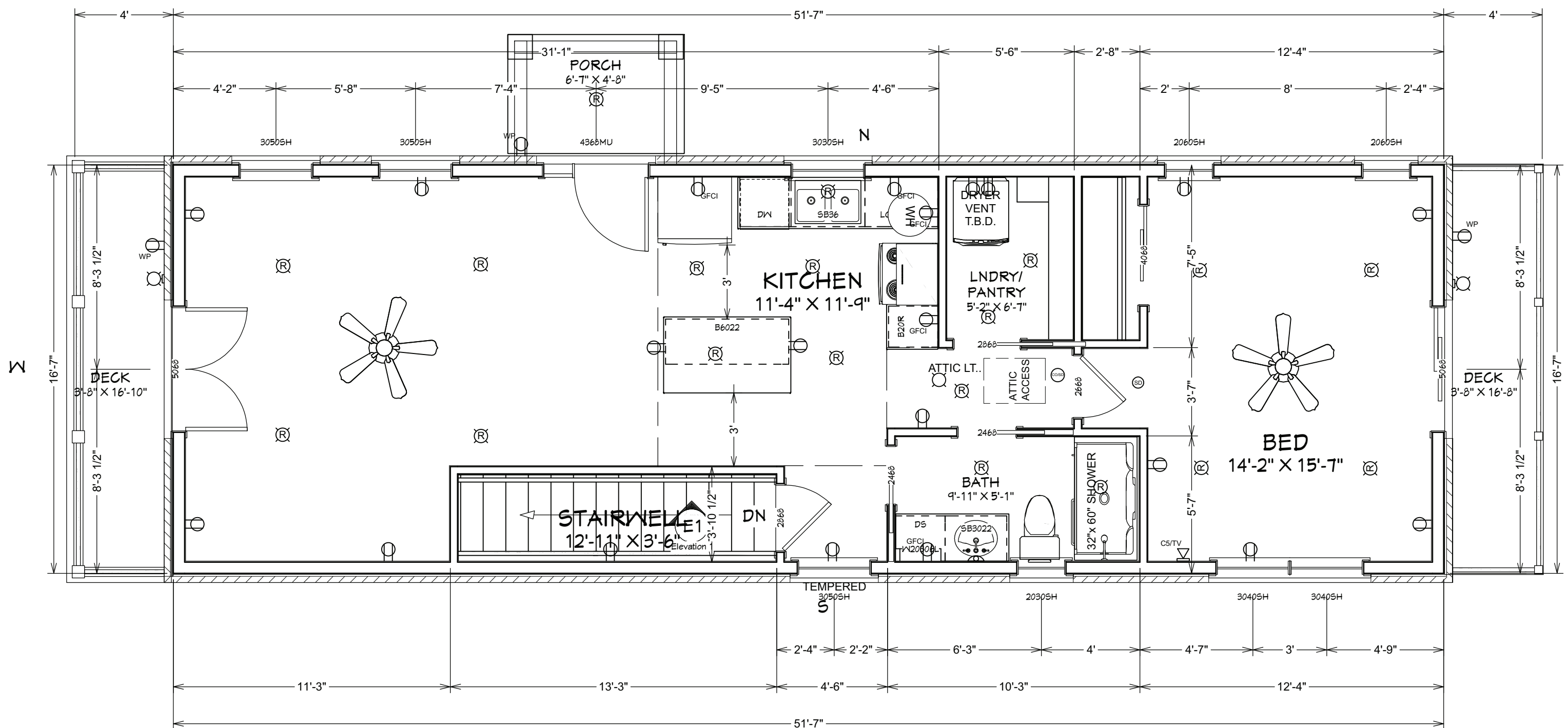


Elevation 1

*****ALL ELECTRICAL MUST BE ABOVE DFE*****
FINAL LOCATION OF ELECTRICAL OUTLETS AND FIXTURES TO DETERMINED
BY OWNER/ BUILDER IN COORDINATION WITH ELECTRICAL CONTRACTOR



1st Floor



2nd Floor

Material	Color	Finish	Texture	Notes
Concrete	Gray	Smooth	None	Foundation, Walls, Slabs
Brick	Red	Smooth	None	Exterior Walls
Block	Gray	Smooth	None	Interior Walls, Ceilings
Plaster	White	Smooth	None	Interior Walls, Ceilings
Paint	White	Smooth	None	Interior Walls, Ceilings
Tile	White	Smooth	None	Floors, Walls, Ceilings
Carpet	White	Smooth	None	Floors, Walls, Ceilings
Wood	White	Smooth	None	Floors, Walls, Ceilings
Staircase	White	Smooth	None	Floors, Walls, Ceilings
Roof	White	Smooth	None	Floors, Walls, Ceilings

1st Floor

LOCATION	SQFT
1st floor living (staircase)	65
2nd floor living	906
Total Living	971
Garage	823
East balcony	81
West balcony	81
Total	1956

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL
ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT
BE CONSTRUED AS A FINAL SET OF ENGINEERED
DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL
BE THE RESPONSIBILITY OF THE PURCHASER/OWNER
TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT,
ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL
CONTRACTOR, LICENSED TO PRACTICE IN THAT
PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE
PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY
INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL
TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS
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WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN
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DETERMINED BY THE PURCHASER/OWNER OR GENERAL
CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE
CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE
LOCATIONS FLOOD ZONE.

NOTES:

Garage floor level 4' above sidewalk level (85.20' above sea level per
topography drawing).

Garage floor drainage should be from East to West for the full
length of the garage yielding 8' ceiling height at East end of garage,
8'-6" ceiling at West end.

16" Floor truss system.

Living space should be 9' ceiling height.

1st floor level to have CMU walls

2nd Floor level 2x6" frame walls

Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

DESIGNER:
DIANE PITTS
DATE:
10/31/2022
SCALE:
1/4" = 1'-0"

JOB: HOHMAN CARRIAGE HOUSE
255 W BRAINERD STREET
BUILDER: BUILT2CODE- BARRY GRIZZARD
850-450-7633

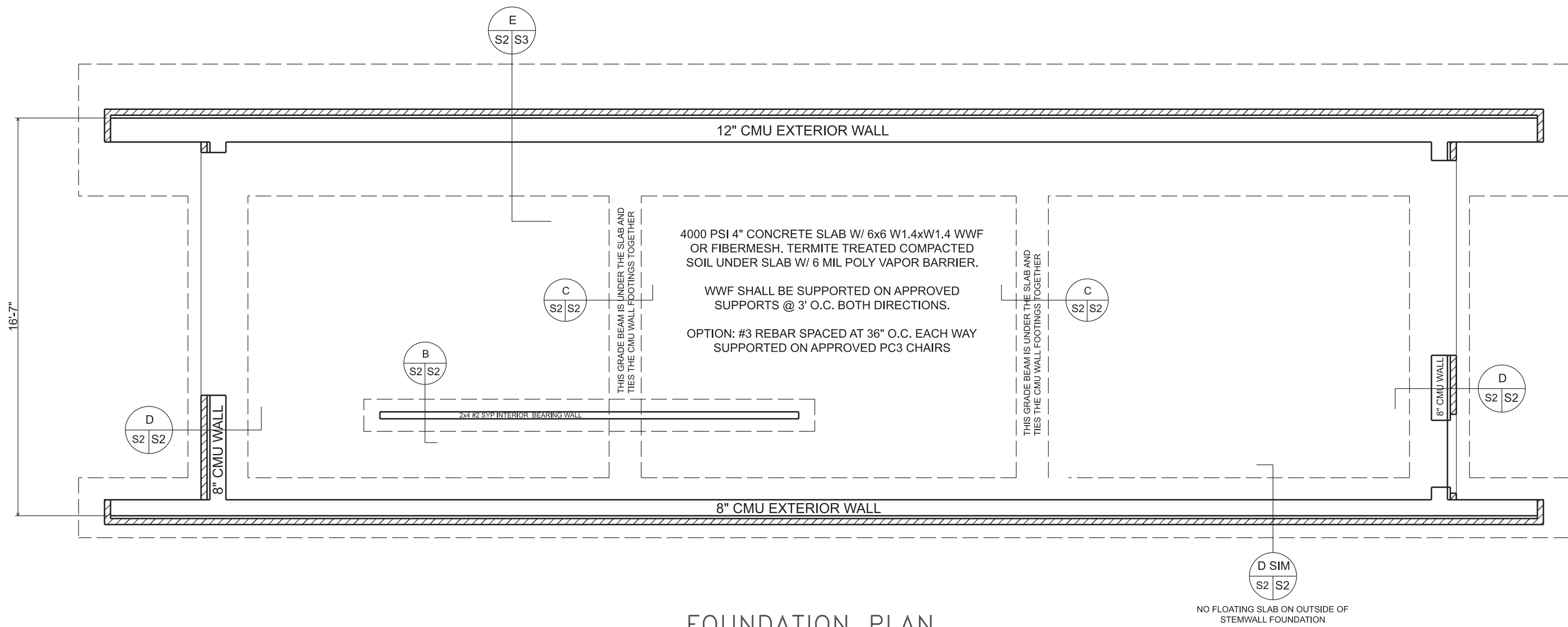
THIS HOME MEETS SECTION
601.4 OF FLORIDA BUILDING
CODE - MECHANICAL BY THE
USE OF AIR DUCTS (1 1/2" X
SUPPLY AIR) BEING INSTALLED
FROM EACH BEDROOM TO FREE
AIR OR TO THE RETURN AIR
CHAMBER

INFO RELATED TO THE
WINDLOADS
FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR I - 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE
COEFFICIENT +/- .18

DEANA A. SPENCER
ENGINEERING, INC.
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1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

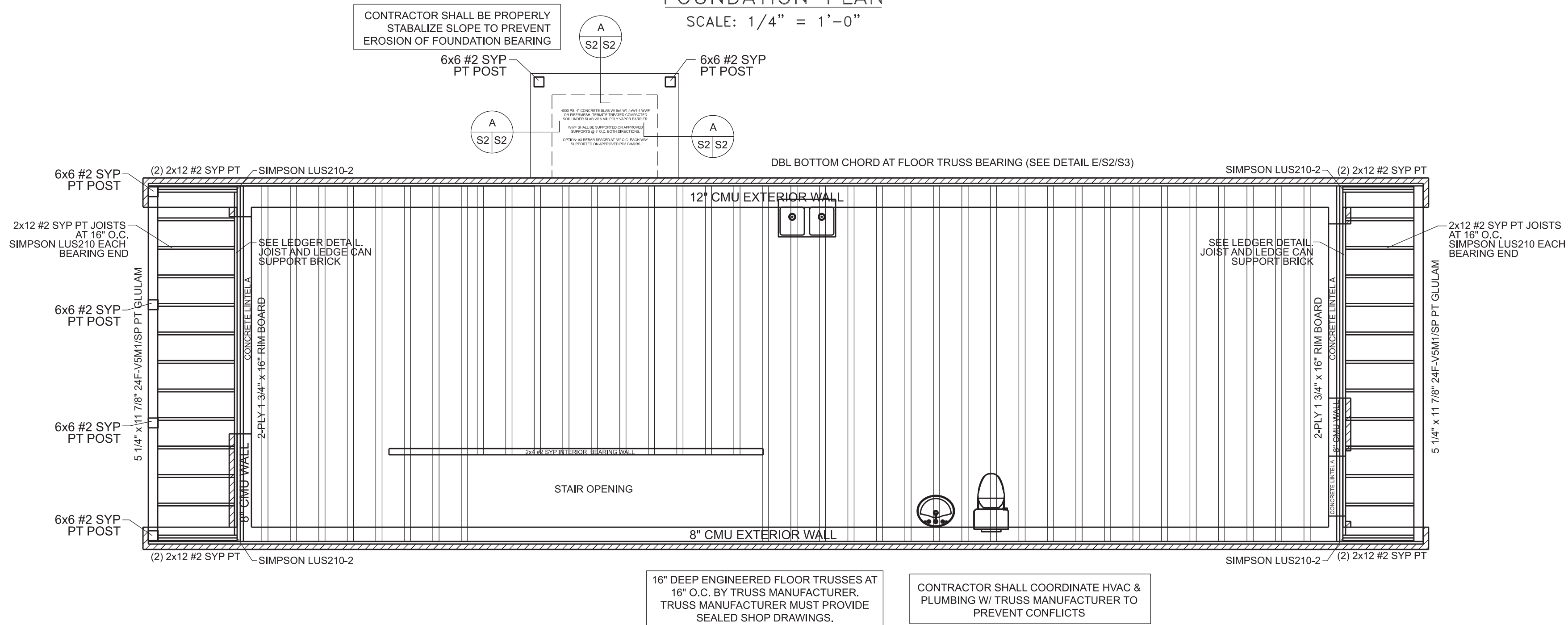
SHEET:
A2

WINDLOAD AND STRUCTURE
ONLY



FOUNDATION PLAN

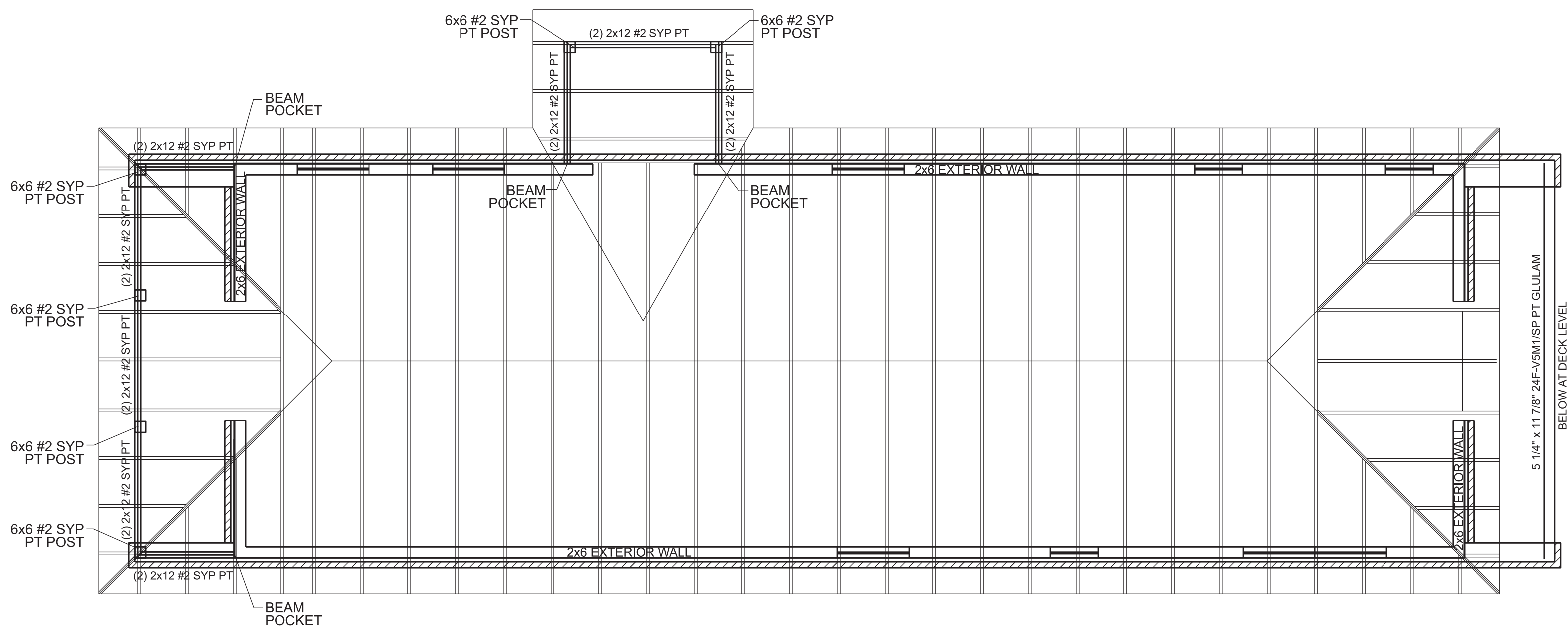
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16" DEEP FLOOR TRUSSES @ 16" O/C

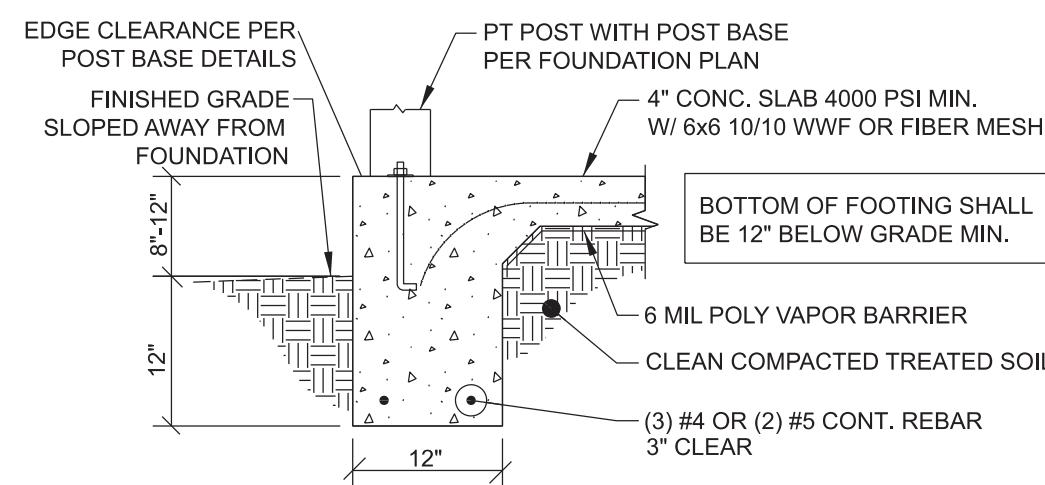
2ND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



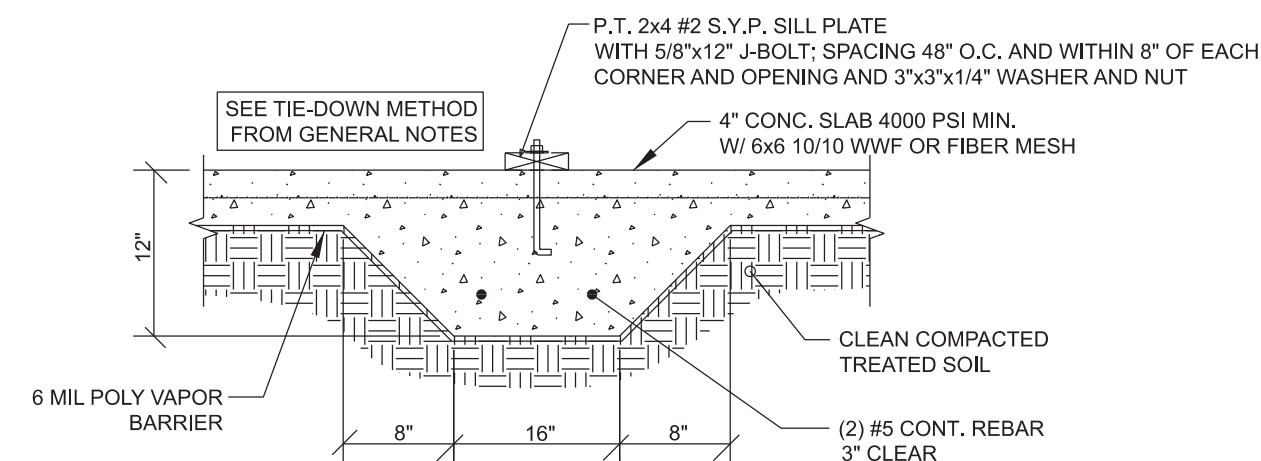
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



MONOLITHIC PORCH
FOOTING DETAIL

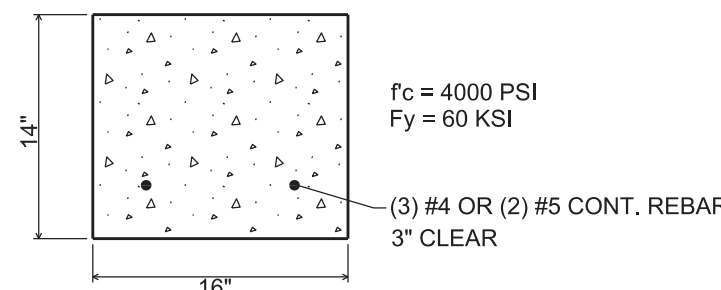
NOT TO SCALE



GRADE BEAM DETAIL

NOT TO SCALE

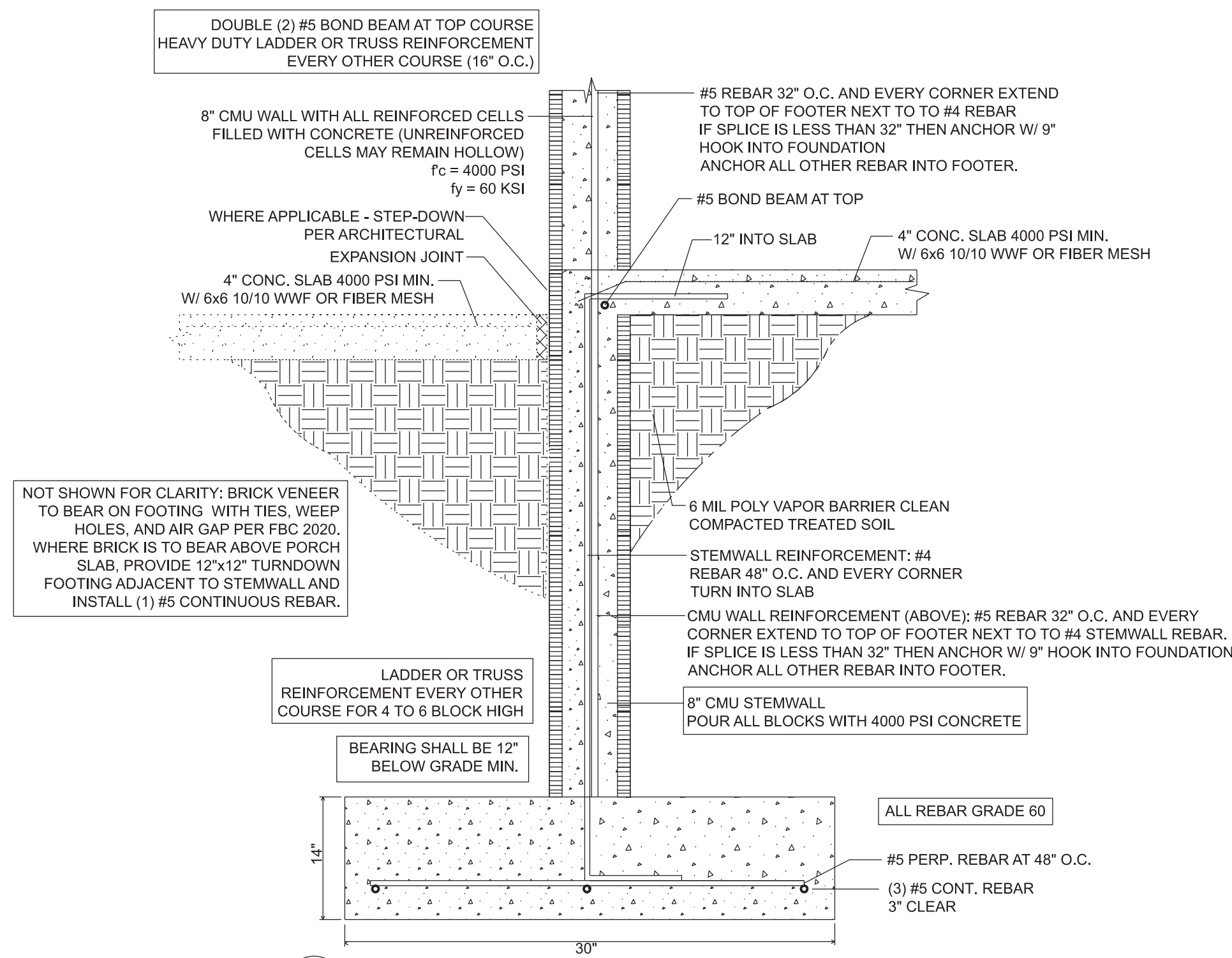
USE THIS DETAIL FOR ALL INTERIOR LOAD BEARING
WALLS REQUIRED BY TRUSS MANUFACTURER



THIS GRADE BEAM IS UNDER THE SLAB AND TIES THE
CMU WALL FOOTINGS TOGETHER

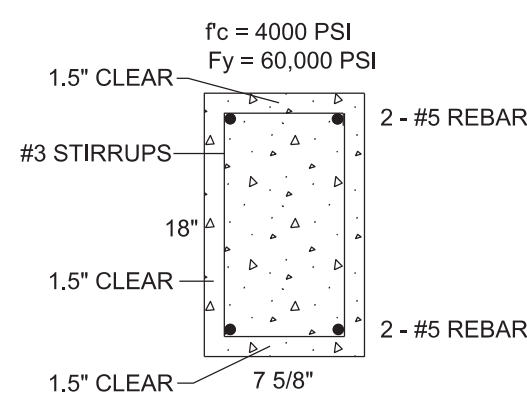
GRADE BEAM DETAIL

NOT TO SCALE



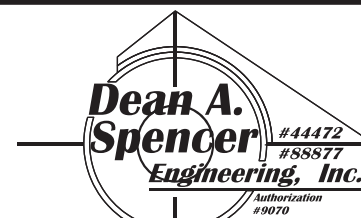
EXTERIOR FOOTING WITH
CMU WALL (1-6 BLOCK TALL)

NOT TO SCALE



CONCRETE LINTEL A
SECTION

NOT TO SCALE



DEAN A. SPENCER ENGINEERING, INC.
1197 TIGER TRACE BLVD
GULF BREEZE, FL 32563
850.932.5730 (voice)

DEAN A. SPENCER, PE
SECB (2006 TO MAR 2022)
FL #44472, CA #9070
AL #29262, CA #3467

MAXWELL M. SPENCER, PE
FL #85877

dean.spencer.pe@gmail.com

DRAWN BY: DAS
CHECKED BY: DAS

REVISIONS

DESCRIPTION

DATE

PROJECT TITLE:

Hohman Residence
255 W Brainerd Street
Pensacola, Florida
Escambia County

SHEET TITLE:

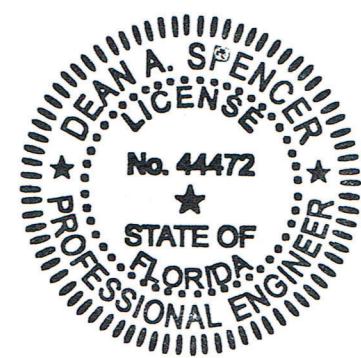
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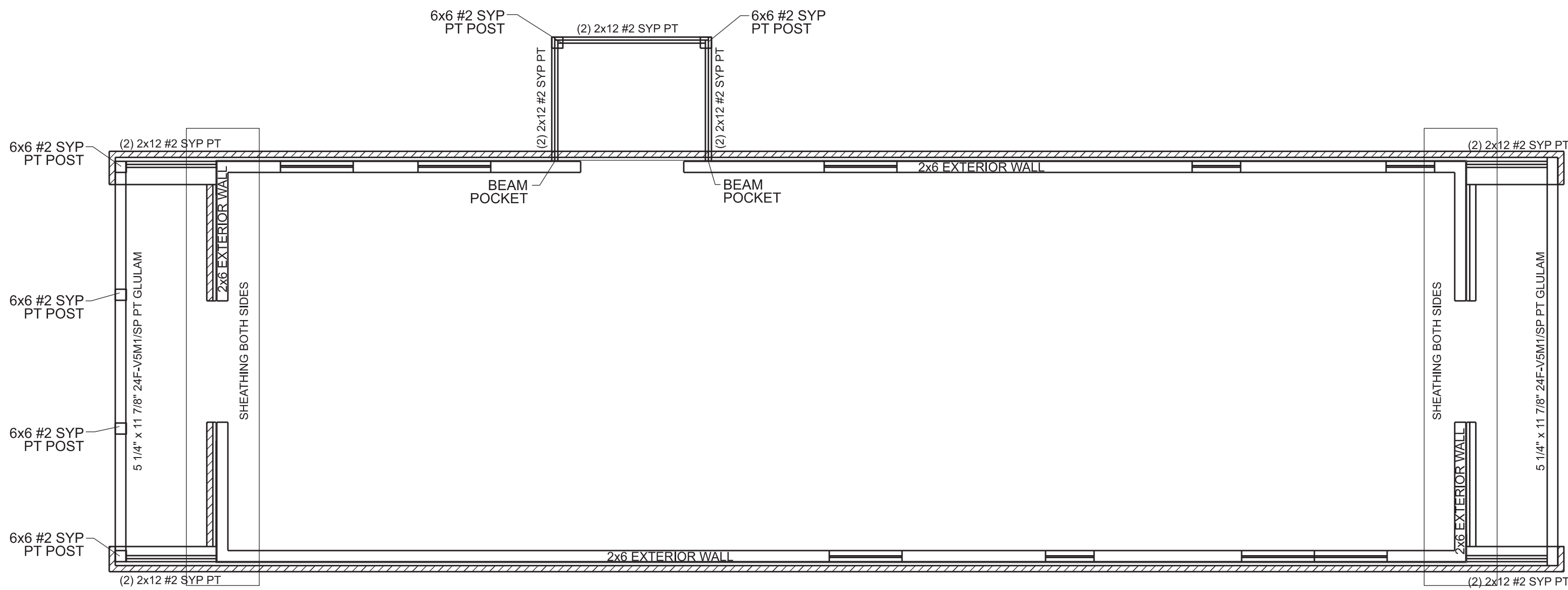
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10/27/2022

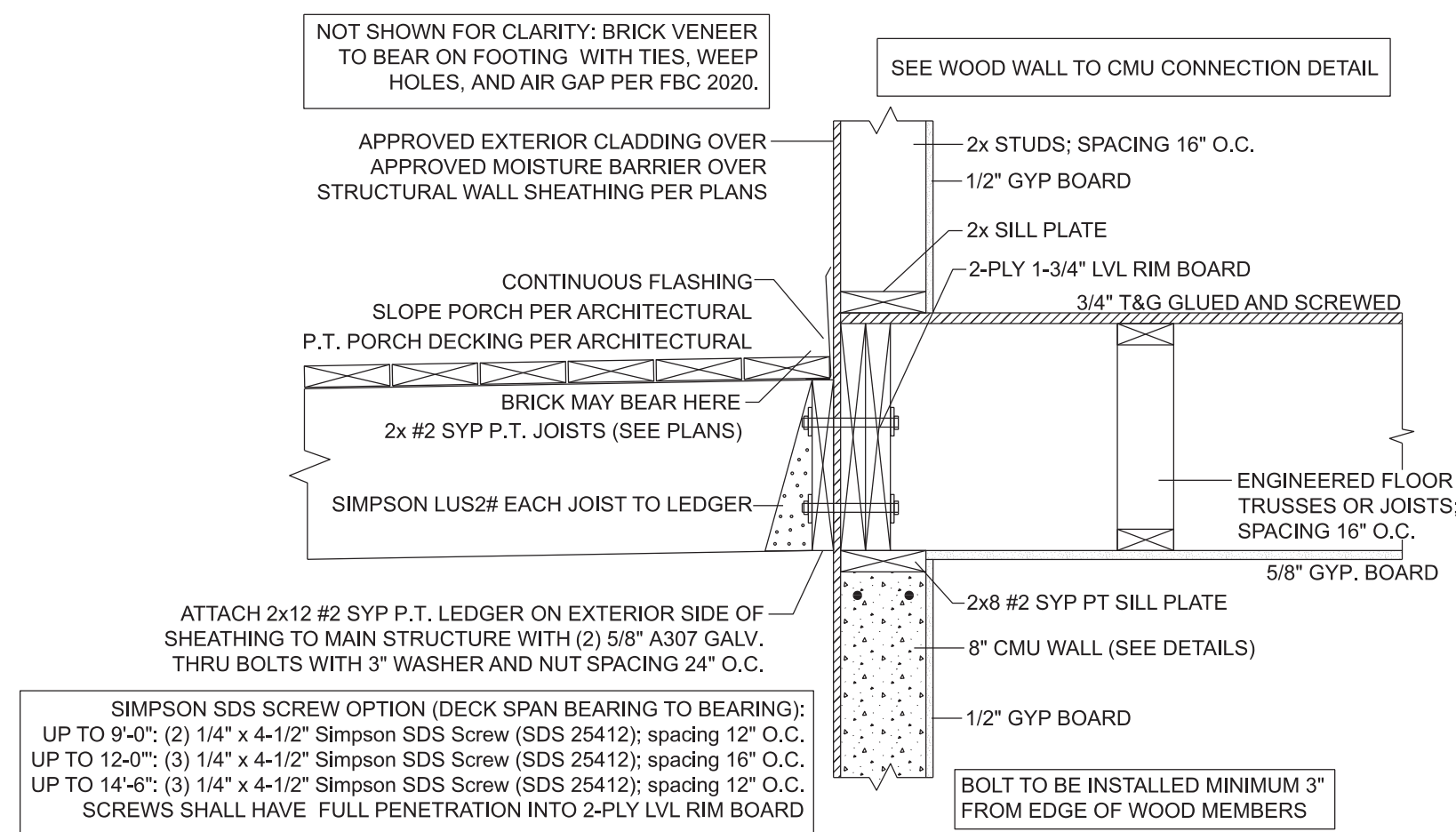
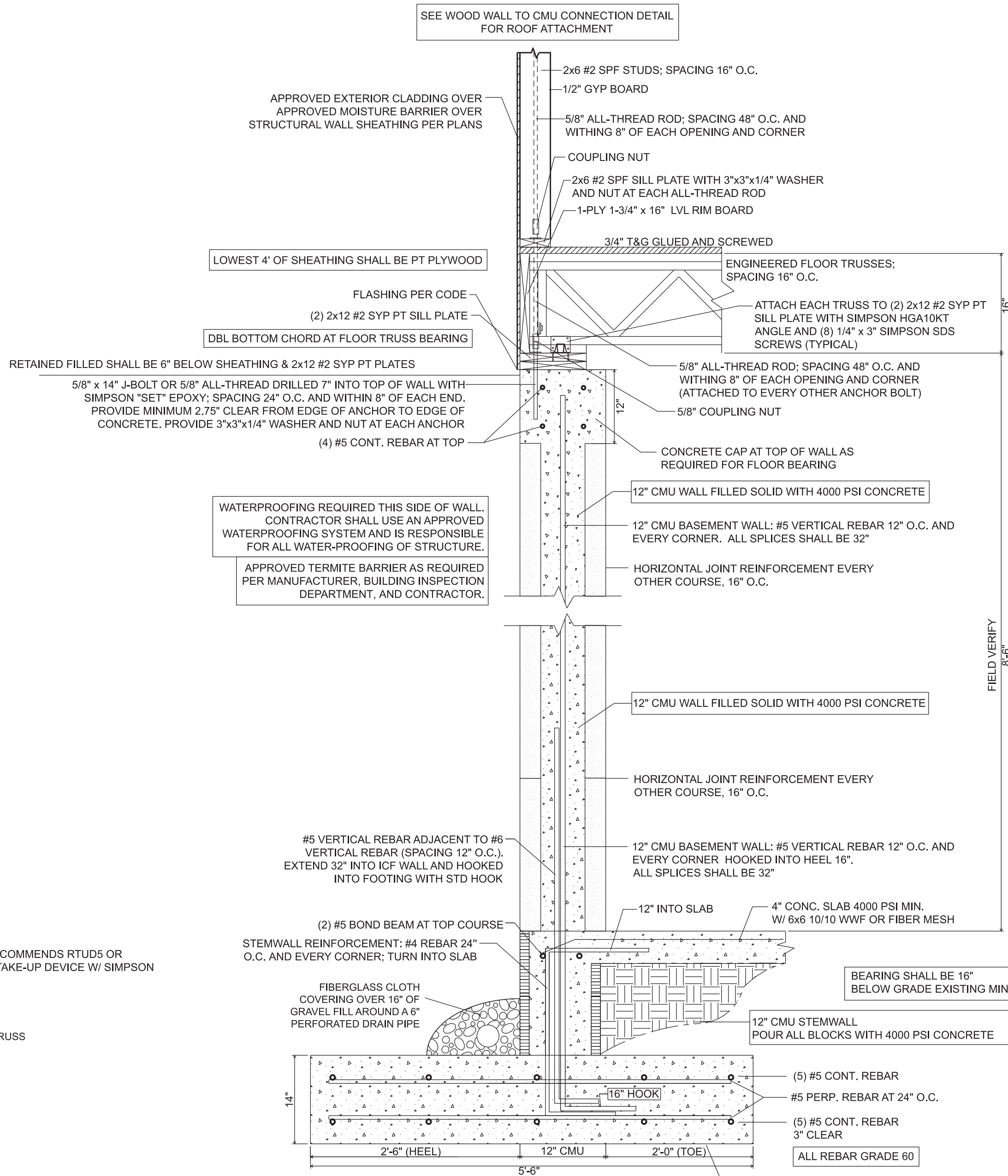
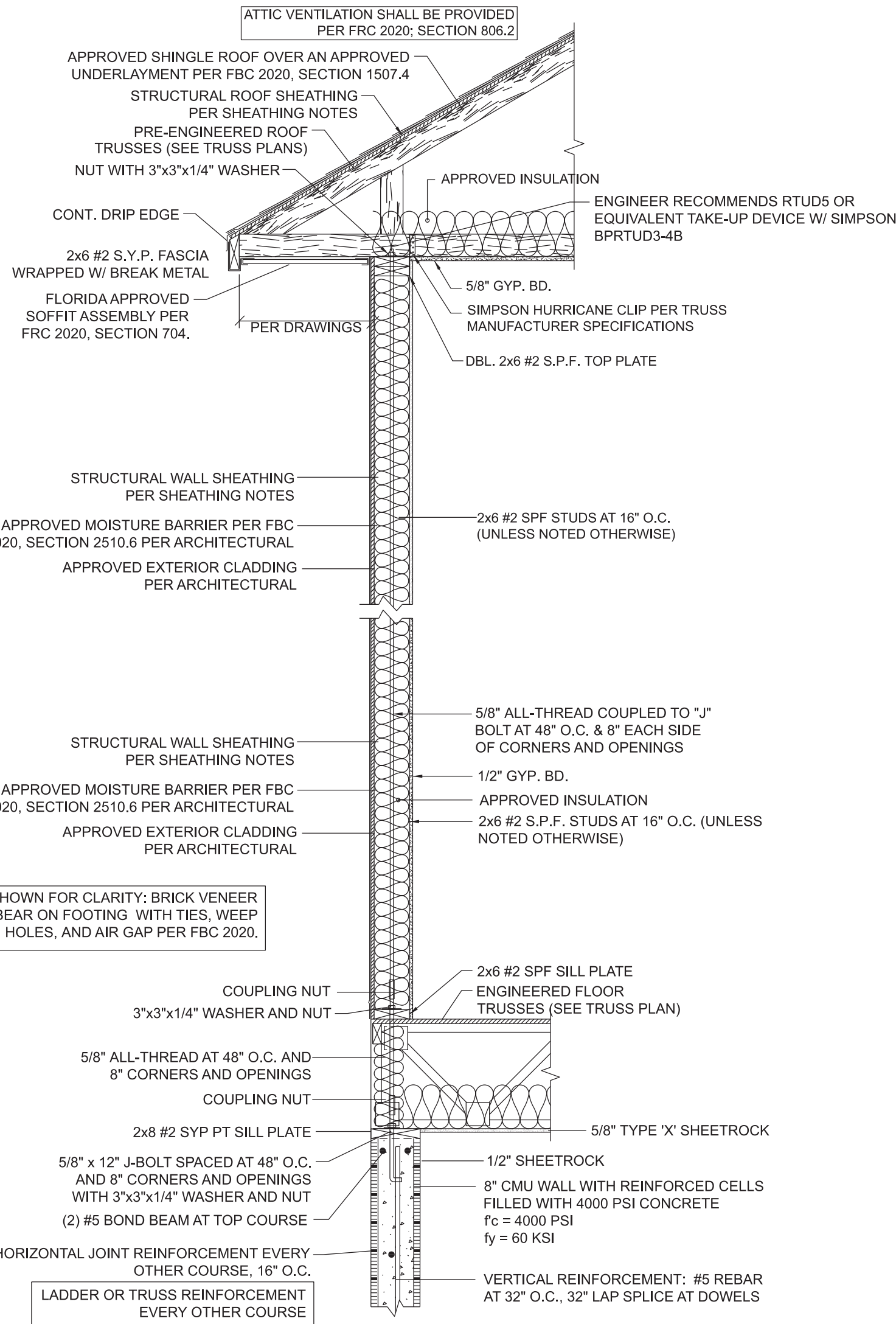
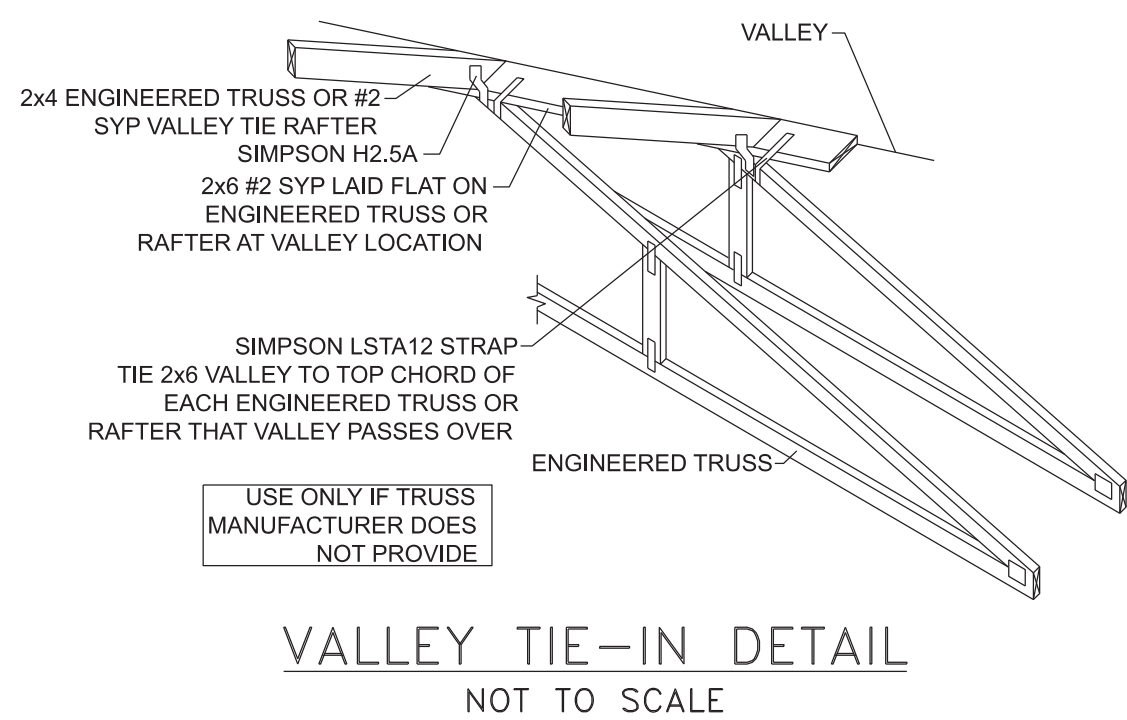
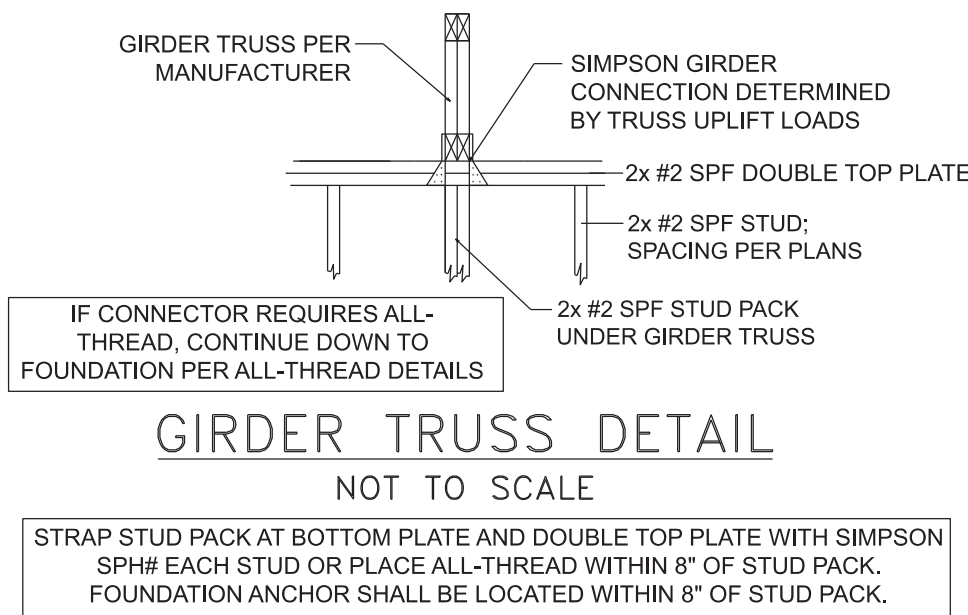
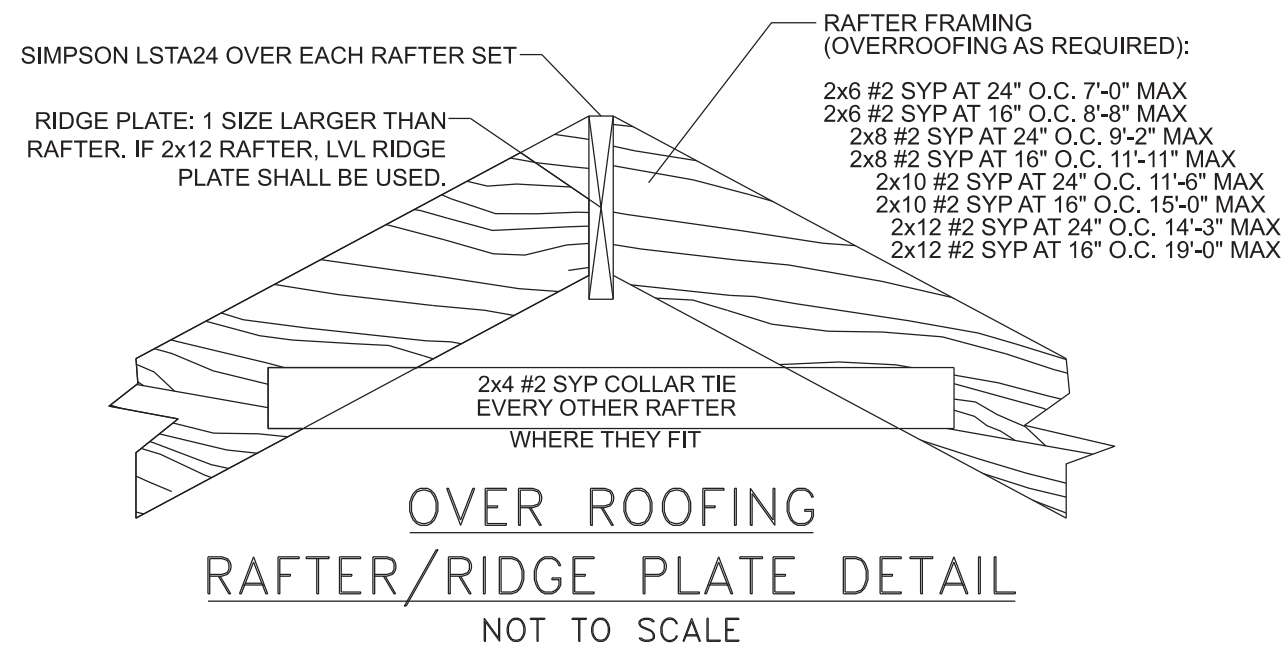
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S2

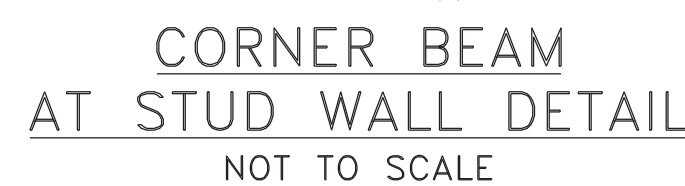




2ND FLOOR SHEARWALL PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
DATE	DESCRIPTION



SIMPSON CONNECTION FOR TRUSSES UPLIFT LOADS

ALL EXTERIOR WALLS SHALL BE BLOCKED AT MIDSPAN, OR AT SHEATHING BREAK.

DEAN A. SPENCER ENGINEERING, INC.
1197 TIGER TRACE BLVD
GULF BREEZE, FL 32563
850.932.8730 (Voice)

DEAN A. SPENCER, PE
SECB (2006 TO MAR 2022)
FL #44472, CA #9070
AL #29262, CA #3467

MAXWELL M. SPENCER, PE
FL #88877

dean.spencer.pe@gmail.com

DRAWN BY: DAS
CHECKED BY: DAS

REVISIONS

PROJECT TITLE:

Hohman Residence
255 W Brainerd Street
Pensacola, Florida
Escambia County

SHEET TITLE:

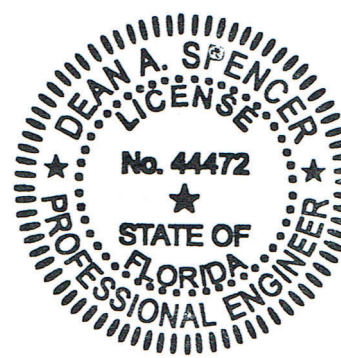
STRUCTURAL
NOTES/DETAILS

DATE:

10/27/2022

SHEET NUMBER:

S4





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00121

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

255 W. Brainerd Street
North Hill Preservation District / Zone PR-1AAA / City Council District 6
Conceptual Review for a New Accessory Dwelling Unit

BACKGROUND:

Dr. Daniel Hohman is requesting conceptual review for a new accessory dwelling unit over a garage. The drawings show a simple brick building to match the primary structure, and with a second-story entry porch on the north elevation. There will be two balconies on each side of the building and 2/2 windows on the front and rear. Since this is for conceptual review, a final review showing all materials and colors will be submitted at a following meeting.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)h. North Hill preservation district, New construction

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAH RM 802 = =
1009 = =

Site No. Es 489

Site Name Blount, F.M. House 830 = = Survey Date 8009 820 = =
Address of Site: 255 W. Brainard St. Pensacola, FL 32501 905 = =
Instruction for locating on SE corner of W. Brainard St. and N.
Barcelona St. 813 = =
Location: Belmont Tract 56 6-11 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Moore, Jack D. and Elizabeth ;
Address: 255 W. Brainard St.
Pensacola, FL 32501 902 = =
Type of Ownership private 848 = = Recording Date 832 = =
Recorder:
Name & Title: Gantzhorn, Alan; Hawley, Nancy ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use residence 838 = =
Check One Check One or More
☒ Excellent 863 = = ☒ Altered 858 = = Present Use residence 850 = =
☐ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning + 1951 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 20th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
☐ Zoning () 878 = = ☐ Transportation () 878 = =
☐ Development () 878 = = ☐ Fill () 878 = =
☐ Deterioration () 878 = = ☐ Dredge () 878 = =
☐ Borrowing () 878 = =
☐ Other (See Remarks Below): 878 = =

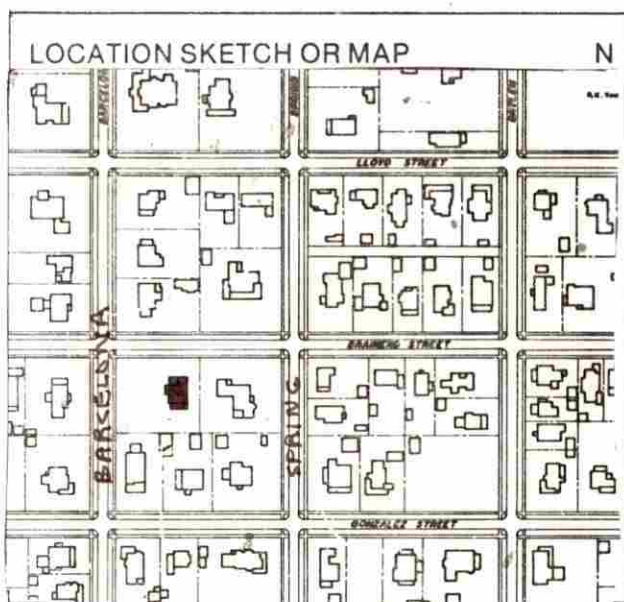
Areas of Significance: Architecture, Archaeology 910 = =

Significance:

This masonry vernacular structure was constructed on one of Pensacola's most important archaeological sites. The Queens redoubt of Ft. George, the explosion of which ended British hopes of defending Pensacola in 1781, stood on this site. The foundation of the house was laid in the crater caused by this explosion. Evidence of the breastworks can be seen in the surrounding yard.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Spindle; Gilbert D. (Jacksonville) 872 ==
 BUILDER unknown 874 ==
 STYLE AND/OR PERIOD masonry vernacular 964 ==
 PLAN TYPE irregular 966 ==
 EXTERIOR FABRIC(S) brick; common bond 854 ==
 STRUCTURAL SYSTEM(S) masonry 856 ==
 PORCHES s/l story hipped porch enclosed
 942 ==
 FOUNDATION: brick; continuous 942 ==
 ROOF TYPE: hipped 942 ==
 SECONDARY ROOF STRUCTURE(S): hipped 2nd story addition 942 ==
 CHIMNEY LOCATION: none 942 ==
 WINDOW TYPE: pivot, 12 light, metal #Jalousie, 1/1, metal 942 ==
 CHIMNEY: 882 ==
 ROOF SURFACING: composition shingle; butt 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 0 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola, 1970,
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude:
 ° ' " ° ' " 800 ==
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

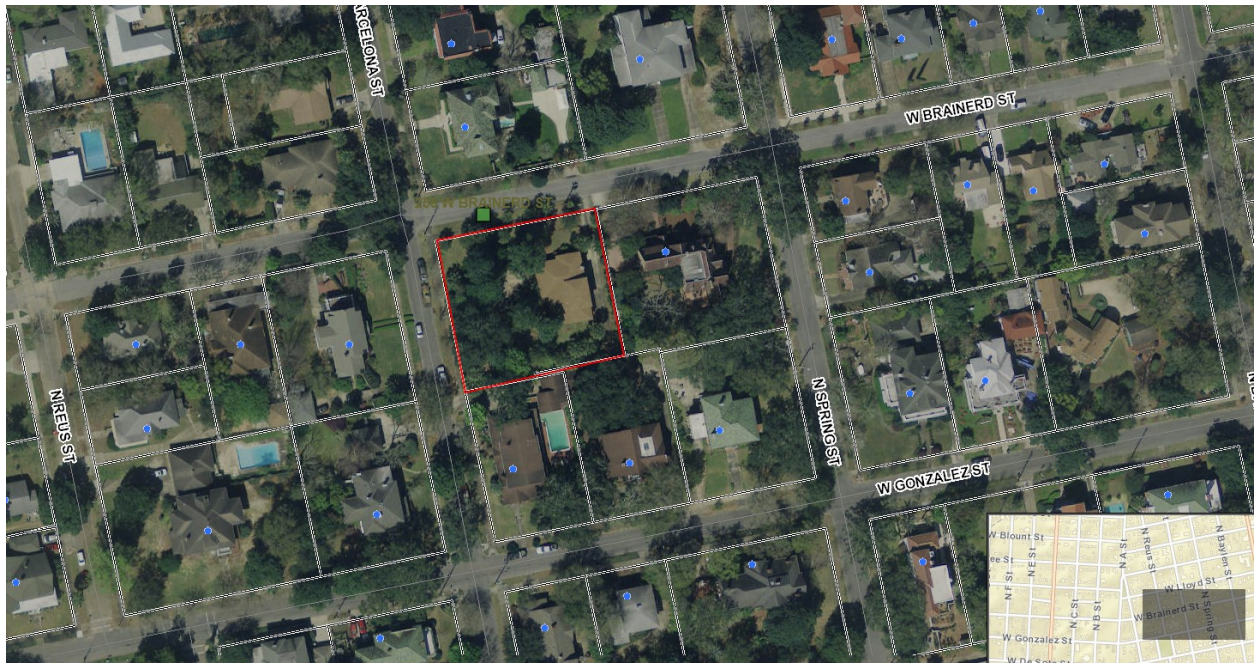
UTM Coordinates:

Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P80. 30. 35 860 ==

Contact Print

255 W. Brainerd Street





**Architectural Review Board Application
Full Board Review**

Application Date: 1/25/23

Project Address: 255 W Brainerd Dr. Pensacola, FL. 32501

Applicant: Dr. Daniel J. Hohman, CDR, USN(ret)

Applicant's Address: 255 W Brainerd Dr. Pensacola, FL. 32501

Email: danhohman@yahoo.com **Phone:** (617)308-4110

Property Owner: same

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

For conceptual review. See attached.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

1/25/23

Date

Site photographs for Variance application.





Photographs of primary structure for conceptual aesthetic review of accessory







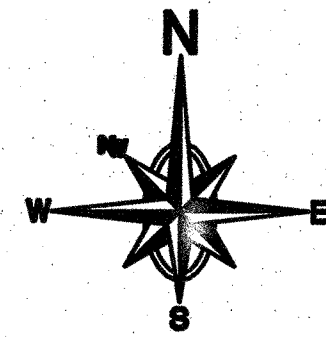
GENERAL NOTES:

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0403, LAMBERT PROJECTION AS ESTABLISHED ALONG THE WEST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 04 DEGREES 53 MINUTES 26 SECONDS WEST.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0940 S, REVISED SEPTEMBER 29, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-H-1.051 - 5J-H-1.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 412.021, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
15. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 104.03 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/91.

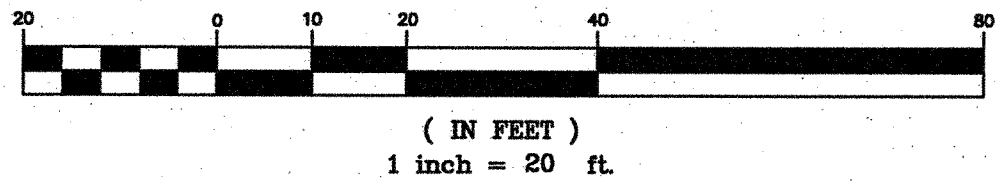
DENOTES:

- ① ~ 1/2" CAPPED IRON ROD, NUMBERED 1271 (PLACED)
- X ~ "X" SCRIBED IN CONCRETE, UNNUMBERED (PLACED)
- ② ~ 1/2" CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
- ③ ~ 1/2" CAPPED IRON ROD, NUMBERED 2449 (FOUND)
- ④ ~ 1/2" RED CAPPED IRON ROD, NUMBER ILLEGIBLE (FOUND)
- ⑤ ~ RAIL ROAD SPIKE, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.I. ~ POINT OF INTERSECTION
- O.R. ~ OFFICIAL RECORD

BOUNDARY SURVEY WITH IMPROVEMENTS OF A PORTION OF BLOCK 56, BELMONT TRACT CITY OF PENSACOLA ESCAMBIA COUNTY, FLORIDA



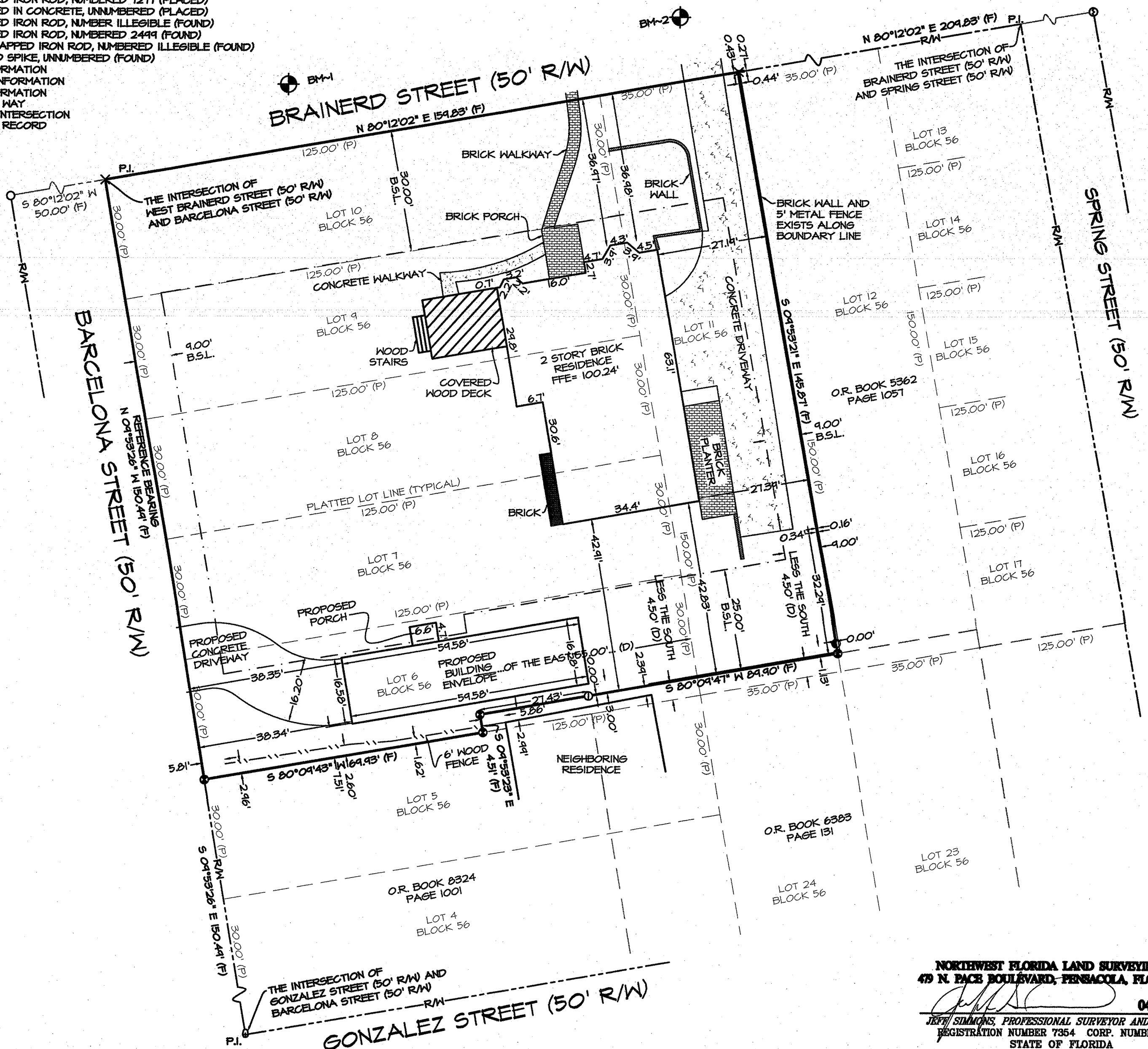
GRAPHIC SCALE



DESCRIPTION AS FURNISHED: O.R. BOOK 4416 PAGE 860 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA
LOTS 6 THROUGH 11, BLOCK 56, BELMONT TRACT, PENSACOLA (ESCAMBIA COUNTY) FLORIDA, ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, LESS THE SOUTH 4.50 FEET OF THE EAST 55.00 FEET OF LOT 6 AND THE SOUTH 4.50 FEET OF LOT 11, THEREOF

BENCHMARK DATA:

BM-1 NAIL AND DISK IN ASPHALT
ELEVATION= 84.19' (NAVD88)
BM-2 NAIL AND DISK IN ASPHALT
ELEVATION= 90.66' (NAVD88)



NORTHWEST FLORIDA LAND SURVEYING, INC.
479 N. PACE BOULEVARD, PENSACOLA, FLORIDA 32505
04/12/2022
JEFF SIMMONS, PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NUMBER 7354 CORP. NUMBER 7277
STATE OF FLORIDA

255 WEST BRAINERD STREET

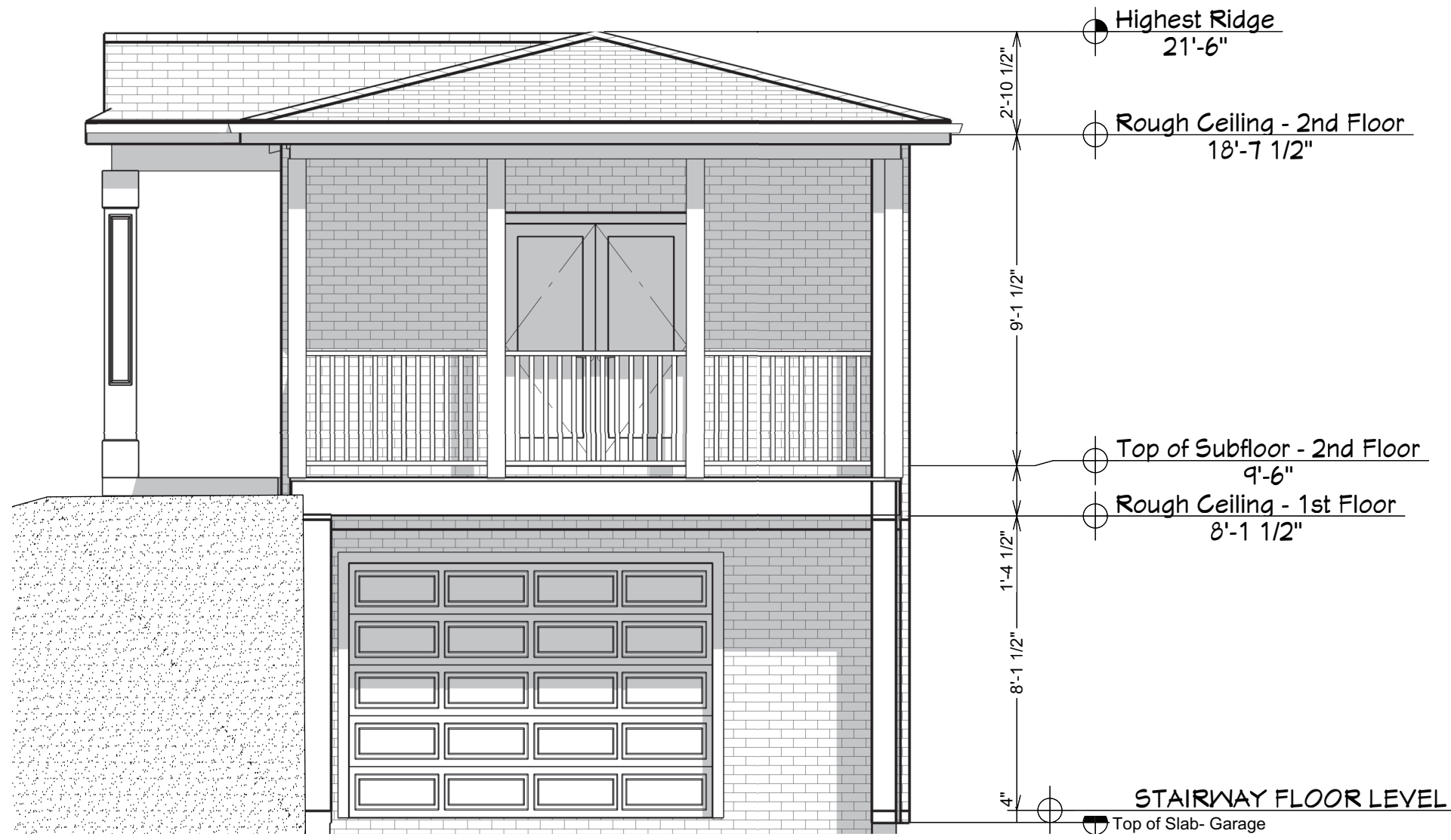
INDEX	SHEETS	PROJECT NO.	NO.	NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR				REVISIONS			
				NO.	DATE	APPR.					
25154-22	1	1	1	1.	4/26/22			ADD TOPOGRAPHY			
				2.	12/30/22			ADD PROPOSED BUILDING ENVELOPE			
				3.	1/20/23			ADD PROPOSED LAZY "S" CONCRETE DRIVEWAY			
				4.	1/25/23			ADD PROPOSED PORCH			

BOUNDARY SURVEY
WITH IMPROVEMENTS
OF A PORTION OF BLOCK 56, BELMONT TRACT
CITY OF PENSACOLA
ESCAMBIA COUNTY, FLORIDA
PREPARED FOR: DR. DAN HOHMAN
REQUESTED BY: B.D. GRIZZARD

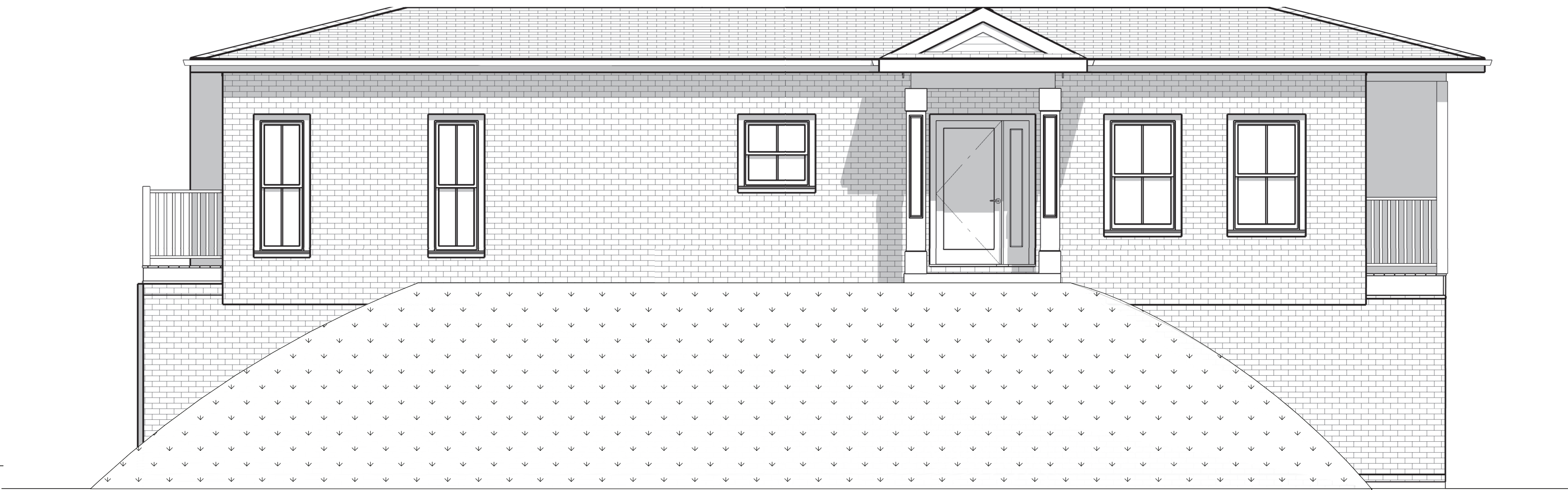


NORTHWEST FLORIDA LAND SURVEYING, INC.
A PROFESSIONAL SERVICE ORGANIZATION
479 N. Pace Blvd.
Pensacola, FL 32505
(904) 432-1008

SCALE: 1"=20'
DESIGNED BY: ADS
DRAWN BY: ADS
CHECKED BY: JAS
DATE: 04/12/2022
CREW CHIEF: AH
FIELD DATE: 03/31/22
FIELD BOOK: AHI
PAGE: 45



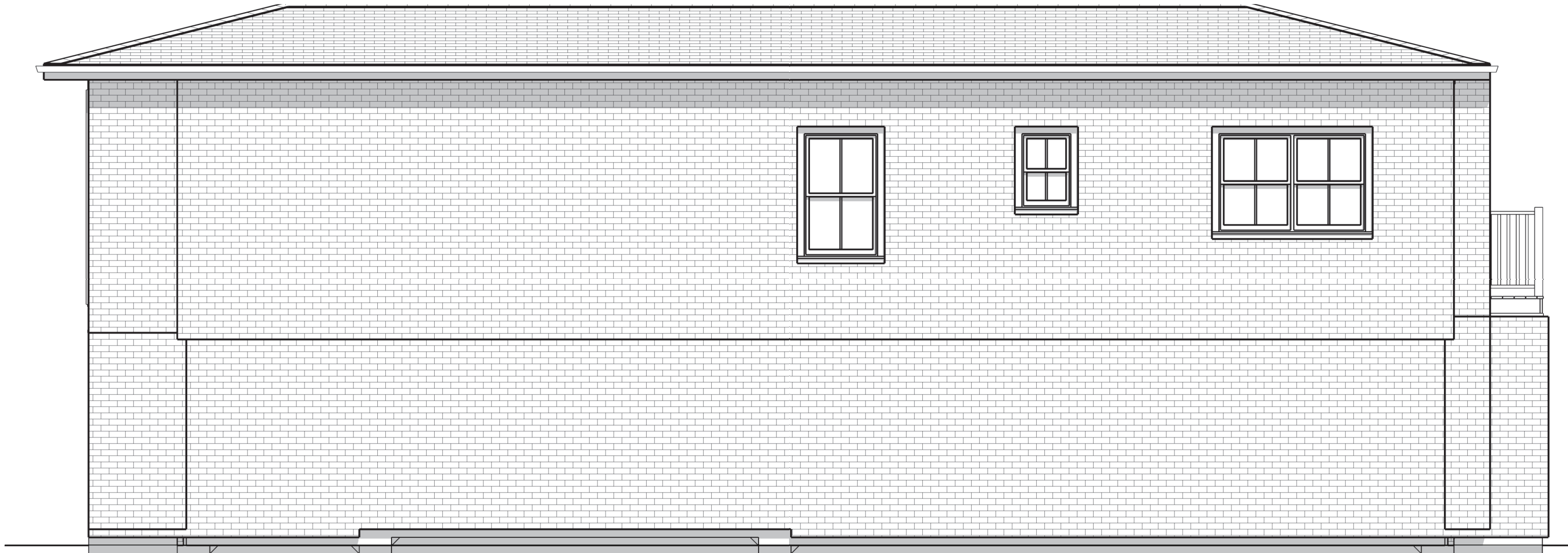
Exterior Elevation WEST



Exterior Elevation NORTH



Exterior Elevation EAST

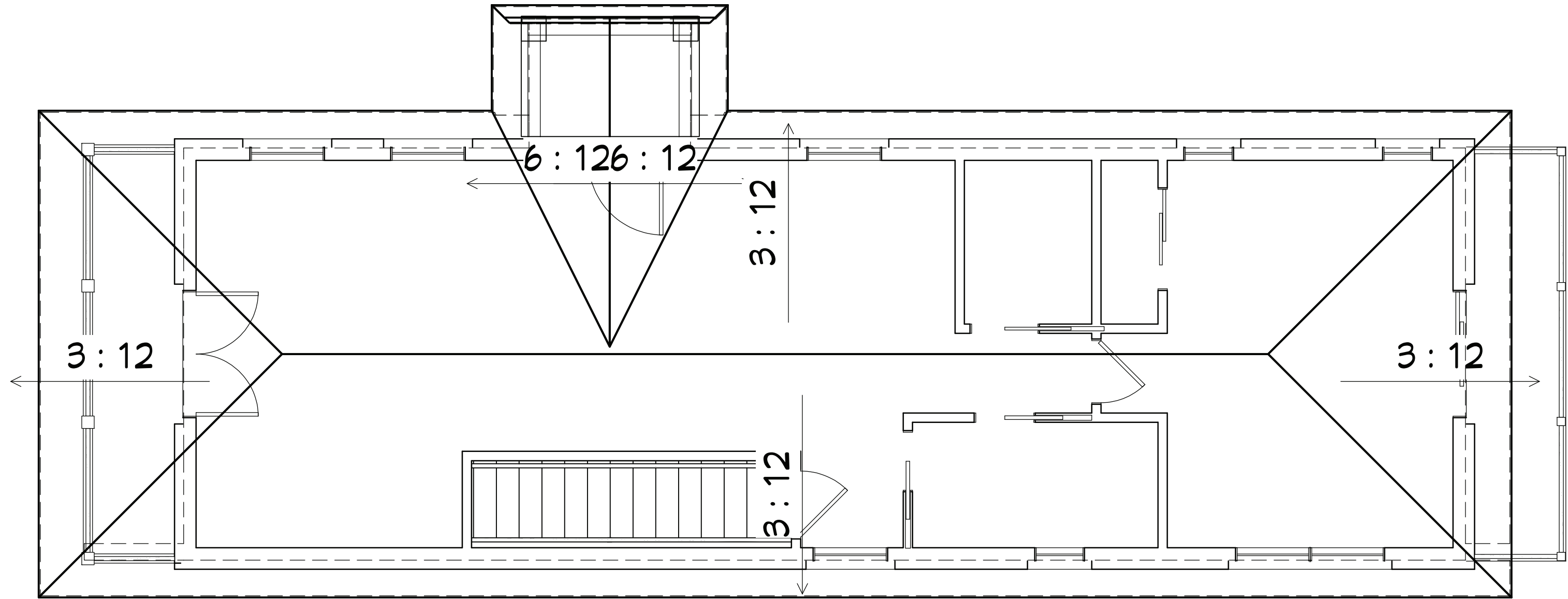
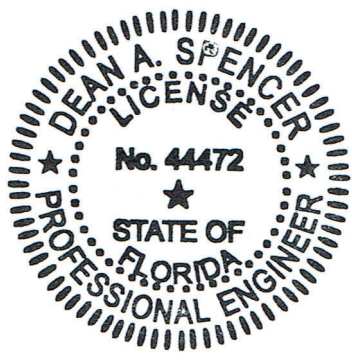


Exterior Elevation SOUTH

This item has been electronically signed and sealed by Dean A. Spencer, PE on 11/9/2022 using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

WINDLOAD & STRUCTURE ONLY!

Dean A Spencer Engineering, Inc.
FL PE #44472, CA #9070
1197 Tiger Trace Blvd
Gulf Breeze, FL 32563



Roof Plan View

LOCATION	SQFT
1st floor living (staircase)	65
2nd floor living	906
Total Living	971
Garage	823
East balcony	81
West balcony	81
Total	1956

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

DESIGNER: DIANE PITTS
DATE: 10/31/2022
SCALE: 1/4" = 1'-0"

JOB: HOHMAN CARRAIGE HOUSE
255 W BRAINERD STREET
BUILDER: BUILT2CODE- BARRY GRIZZARD
850-460-7633

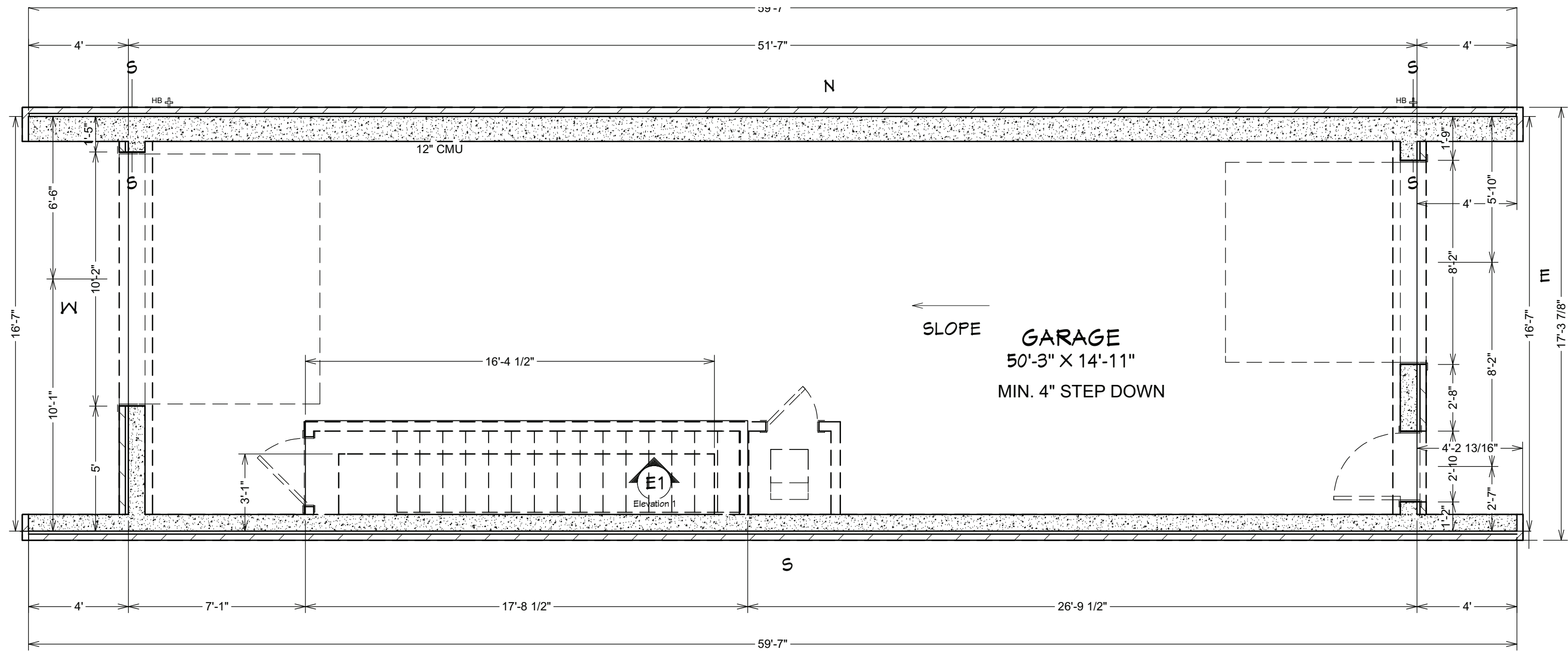
THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

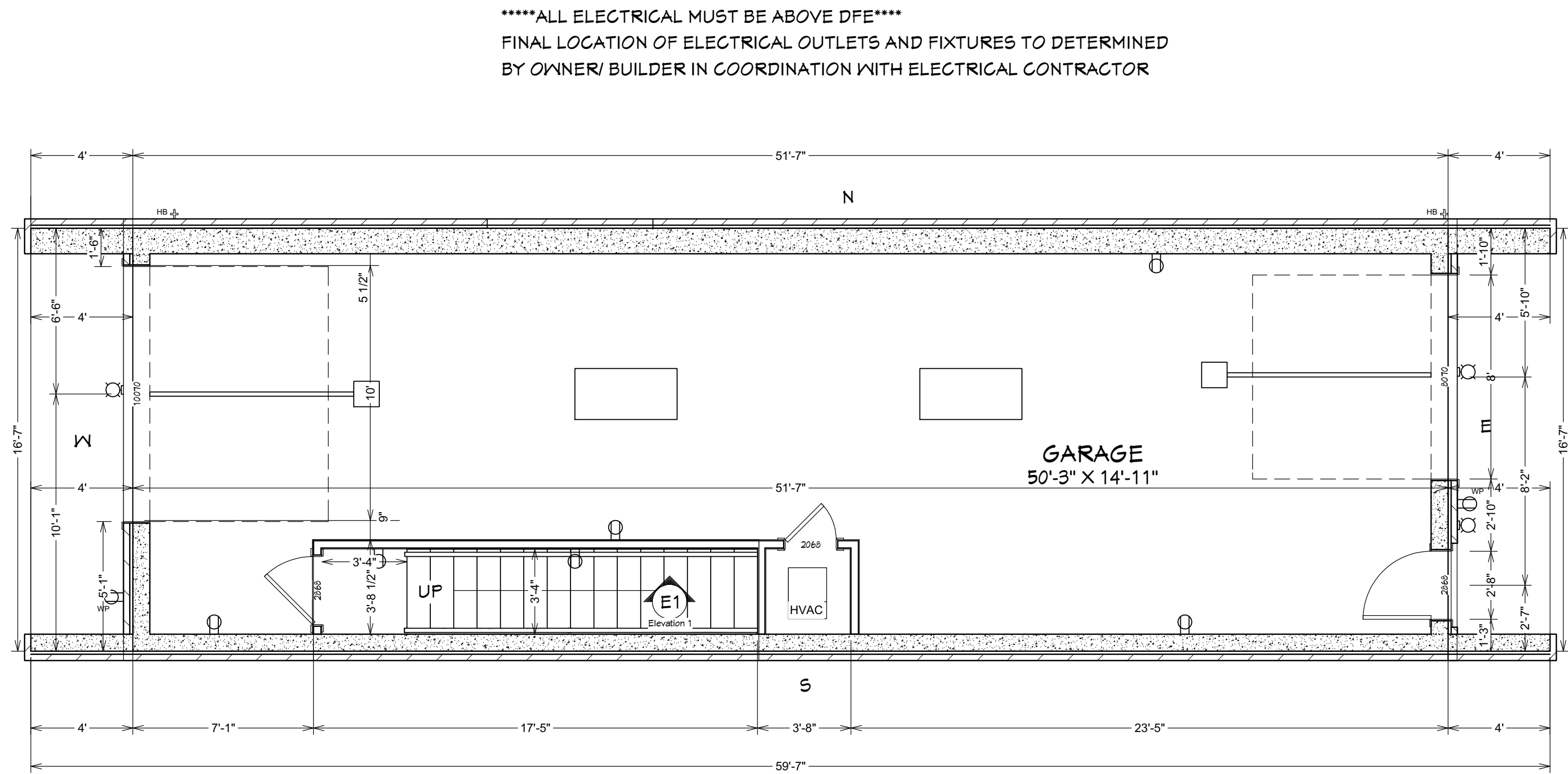
DEAN A. SPENCER ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL#88877
1197 Tiger Trace Blvd Gulf Breeze, FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:
A1

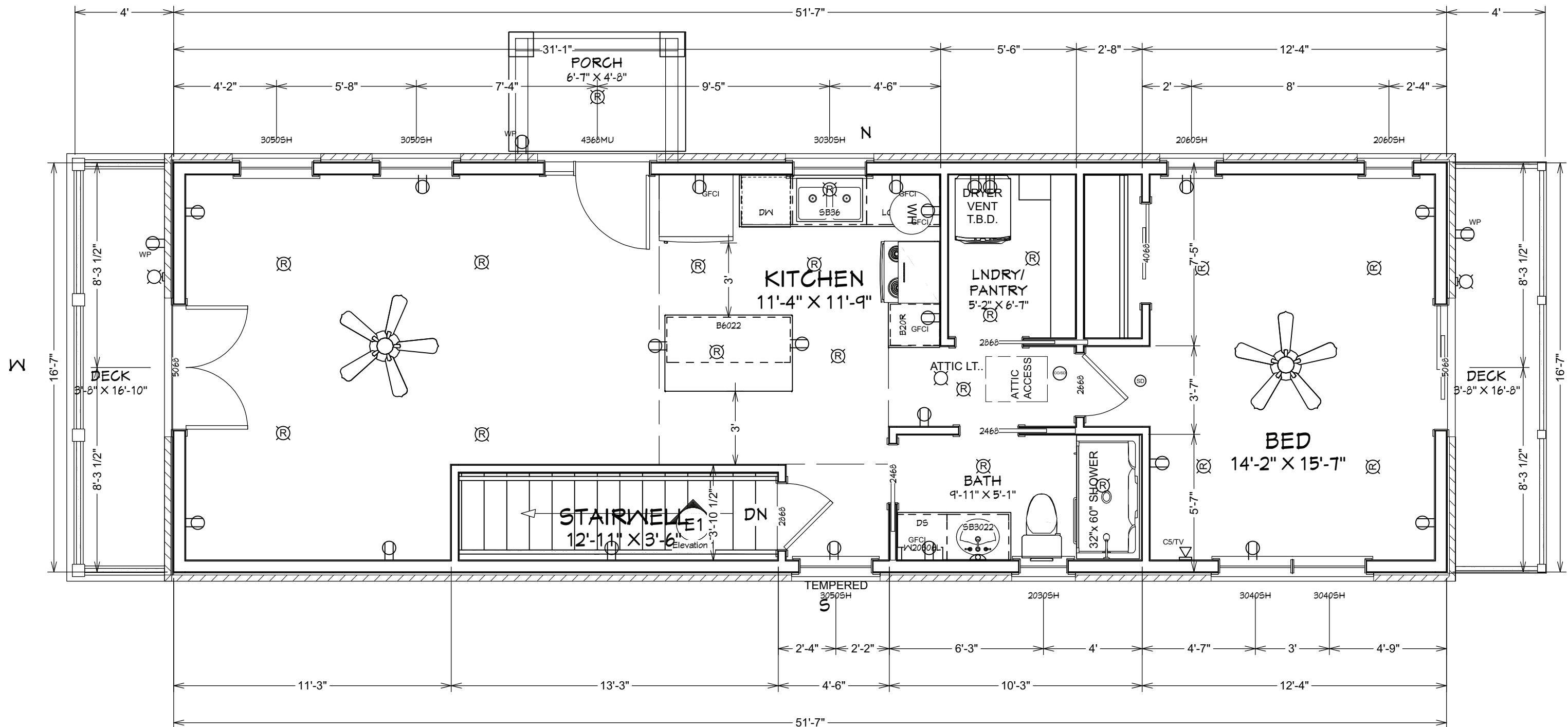
WINDLOAD AND STRUCTURE ONLY!



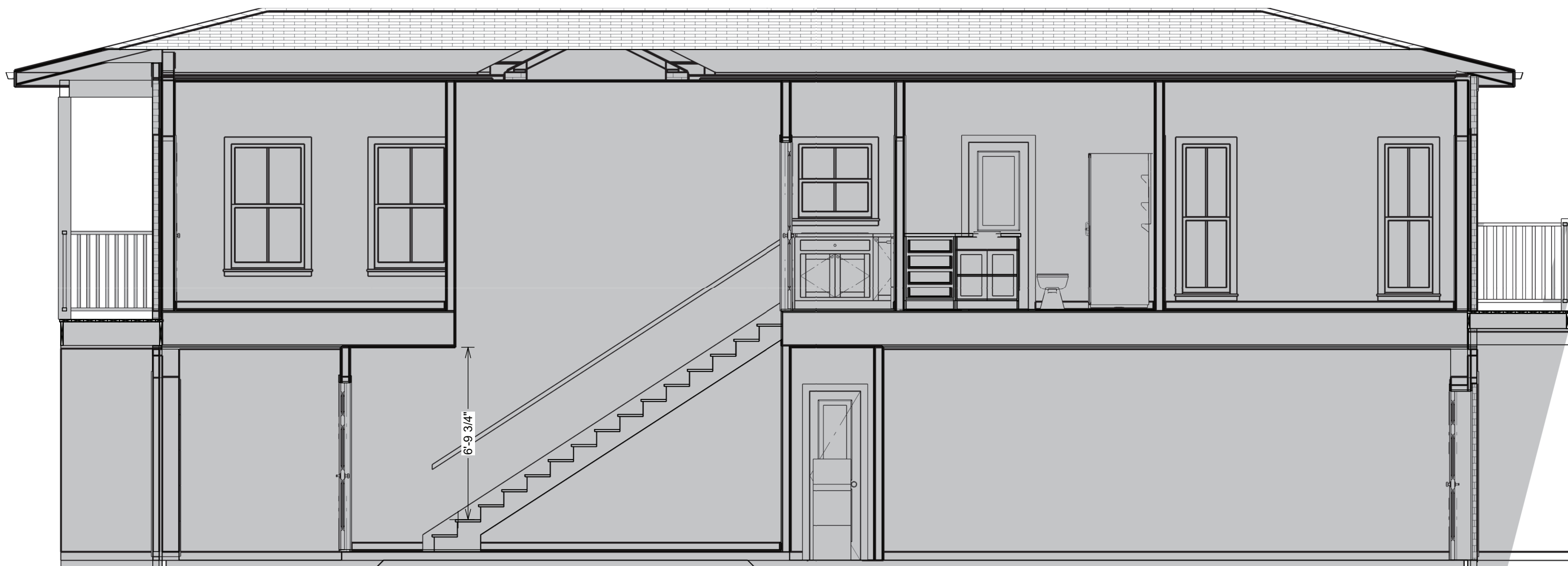
Foundation Dimension Plan
See S2 for Foundation Details



1st Floor



2nd Floor



Elevation 1

NOTES:

Garage floor level 4' above sidewalk level (85.20' above sea level per topography drawing).

Garage floor drainage should be from East to West for the full length of the garage yielding 8' ceiling height at East end of garage, 8'-6" ceiling at West end.

16" Floor truss system.

Living space should be 9' ceiling height.

1st floor level to have CMU walls

2nd Floor level 2x6" frame walls

LOCATION	SQFT
1st floor living (staircase)	65
2nd floor living	906
Total Living	971
Garage	823
East balcony	81
West balcony	81
Total	1956

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

Builder's CAD Services

Diane Pitts - Owner

1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

DESIGNER:
DIANE PITTS
DATE:
10/31/2022
SCALE:
1/4" = 1'-0"

JOB: HOHMAN CARRIAGE HOUSE
255 W BRAINERD STREET
BUILDER: BUILT2CODE- BARRY GRIZZARD
850-450-7633

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR I - 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

DEANA A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL#88877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:
A2

WINDLOAD AND STRUCTURE ONLY

1. TO THE BEST OF OUR KNOWLEDGE, STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE REQUIREMENTS OF CODES AND STANDARDS.
2. THIS STRUCTURE IS DESIGNED TO WITHSTAND ULTIMATE AND NOMINAL WINDSPEEDS AS SPECIFIED FLORIDA BUILDING CODE 2020 (7TH EDITION), SECTION 1609, AND WIND FORCES BY ASCE 7-16.
3. THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS. CONTACT DEAN A. SPENCER ENGINEERING PRIOR TO CONSTRUCTION IF CONFLICTS EXIST.
4. REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

- a) 5 PSF DEAD LOAD (DL) - NO STORAGE.
- b) 10 PSF LIVE LOAD (LL) - NO STORAGE.
- c) 10 PSF DEAD LOAD (DL) - LIGHT STORAGE.
- d) 20 PSF LIVE LOAD (LL) - LIGHT STORAGE.
- H) ENGINEERED ROOF TRUSS: 20 PSF DEAD LOAD (DL).
- I) ROOF LIVE LOAD: 20 PSF LIVE LOAD (Lr).
- J) CONCRETE SELF WEIGHT: 150 PCF DEAD LOAD (DL).

- 1) ULTIMATE WINDSPEED: 160 MPH (3-SECOND GUST)
- 2) NOMINAL WINDSPEED: 124 MPH
- 3) RISK CATEGORY: II
- 4) EXPOSURE CATEGORY: B
- 5) MEAN ROOF HEIGHT: 20'
- 6) ROOF SLOPE: 3/12
- 7) STRUCTURE IS FULLY ENCLOSED.
- 8) INTERNAL PRESSURE COEFFICIENT: (+/-) 0.18.
- 9) 'A' ZONE: = 3.0' IN ALL DIRECTIONS (SEE DIAGRAM C)

1) RAIN INTENSITY, i : 4.75 IN./HOUR.

A) EXTERIOR WALLS: 2x6 #2 SPRU

5) ABOVE EXTERIOR DECKS CONSTRUCTED AS FOLLOWS:

- A) 2x12 #2 SYP P.T. JOISTS; SPACING PER PLANS.
- B) SLOPE DECKS MINIMUM 1/8" / 12" TOWARDS EXTERIOR OF STRUCTURE.
- C) SLOPE WATER-PROOF DECKS MINIMUM 1/4" / 12" TOWARDS EXTERIOR OF STRUCTURE.

6) ROOF CONSTRUCTED AS FOLLOWS:

- A) ENGINEERED ROOF TRUSSES, #2 SYP MINIMUM, SPACING 24" O.C. (BY TRUSS MANUFACTURER).
- B) DECKING: SEE SHEATHING NOTES.
- C) SEE PLANS FOR ALL CONNECTORS AND NAIL PATTERN REQUIREMENTS.

1. STRUCTURAL DESIGN IS BASED FROM THE GEOTECHNICAL ENGINEERING REPORT PROVIDED BY:
LMJ GEOTECHNICAL ENGINEERING REPORT PROJECT NUMBER LMJ FILE #: 22-252 OF 8/18/2022.
2. CONTACT THE GEOTECHNICAL ENGINEERING FIRM SPECIFIED ABOVE DURING SITE PREPARATION AND
COMPACTION NECESSARY.
3. PREPARE SITE PER ALL SECTION 7.0 SPECIFICATIONS. ALL FILLING OPERATIONS SHOULD BE OBSERVED BY A
GEOTECHNICAL ENGINEER.
4. COMPACT ALL SOILS BENEATH FOOTINGS & SLAB PER LMJ GEOTECHNICAL REPORT.
5. COMPACTION SHALL BE FIELD CONTROLLED BY A LICENSED GEOTECHNICAL ENGINEER OR TESTING
LABORATORY.
6. FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF.
7. BOTTOM OF EACH FOOTING SHALL BE SET NO CLOSER THAN 24" TO NORMAL PERMANENT SEASONAL HIGH
GROUNDWATER (SHGW) LEVEL.
8. REPORT ANY UNUSUAL FIELD CONDITIONS TO ENGINEER OR RECORD (E.O.R.) AND GEOTECH ENGINEER OF
RECORD (G.E.R.) PRIOR TO CONSTRUCTION.

1. SLABS SHALL BE REINFORCED WITH ONE OF THE FOLLOWING:
 - A) FIBERMESH (0.75 - 1.3 LBS / CUBIC YARD OF CONCRETE).
 - B) W1.4XW1.4 / 6"x6" WWF.
 - C) #3 REBAR; SPACING 36" O.C. EACH DIRECTION.
2. REINFORCEMENT SHALL BE SUPPORTED ON APPROVED PC3 CHAIRS.
3. 6 MIL POLYETHYLENE SHEETING SHALL BE INSTALLED BETWEEN SOIL AND CONCRETE, UNLESS NOTED OTHERWISE.
4. MINIMUM SLAB COMPRESSIVE STRENGTH: 3000 PSI.
5. GRADE BEAM FOOTINGS AND MONOLITHIC STEP-DOWN FOOTINGS SHALL BE FORMED AND POURED WITH THE SLAB. FORMS SHALL BE USED TO CAST GRADE BEAM AND EXTERIOR FOUNDATION CONSTRUCTION TYPE.
6. IF GIVEN, MONOLITHIC FOOTING OPTION MAY ONLY BE USED IF F.F.E. DOES NOT EXCEED 12" ABOVE GRADE.
7. ALL POST-INSTALLED ANCHORS SHALL BE ONE OF THE FOLLOWING:
 - A) 5/8" AT 7" DRILLED 7" INTO FOUNDATION USING SIMPSON "AT" EPOXY OR EQUIVALENT
 - B) 5/8" x 8" SIMPSON TITEN HD ANCHOR

1. ALL CONCRETE SHALL MEET THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTHS IN 28 DAYS:
 - A) FOOTINGS: 4000 PSI
 - B) SLABS AND GRADE BEAMS: 4000 PSI
 - C) CAST-IN-PLACE WALLS: 4000 PSI
2. THE FOLLOWING REBAR CLEARANCES SHALL BE MET:
 - A) CAST PERMANENTLY AGAINST THE GROUND: "3"
 - B) #3-#5 REBAR EXPOSED TO WEATHER, OR IN CONTACT WITH THE GROUND: "1.5"
 - C) #6-#18 REBAR EXPOSED TO WEATHER, OR IN CONTACT WITH THE GROUND: "2"
 - D) #3-#11 REBAR WITHIN SLABS AND WALLS, NOT EXPOSED TO WEATHER, AND NOT IN CONTACT WITH GROUND: "3/4"
 - E) BEAMS AND COLUMNS NOT EXPOSED TO WEATHER, AND NOT IN CONTACT WITH GROUND: "1.5"
3. CEMENT SHALL CONFORM TO "SPECIFICATIONS OF PORTLAND CEMENT," ASTM C 150.
4. CONCRETE AGGREGATES SHALL CONFORM TO "SPECIFICATION FOR CONCRETE AGGREGATES," ASTM C 33.
5. MAXIMUM NOMINAL AGGREGATE SIZE OF SLABS SHALL NOT EXCEED 1/3 OF SLAB DEPTH.
6. WATER USED IN MIXING CONCRETE SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES DELETERIOUS TO CONCRETE OR REINFORCEMENT.
7. REINFORCEMENT SHALL BE DEFORMED REINFORCEMENT AND SHALL CONFORM TO "SPECIFICATION OF DEFORMED AN PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT," ASTM A 615.
8. AIR-ENTRAINING ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR AIR-ENTRAINING ADMIXTURES FOR CONCRETE," ASTM A 615.
9. WATER-REDUCING AND RETARDING ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE," ASTM A 615.
10. FLY ASH OR OTHER POZZOLANS USED AS ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE," ASTM C 494.
11. ALL HOOKS ARE STANDARD PER ACI 318-14, UNLESS NOTED OTHERWISE.
12. ALL LAP SPLICES SHALL BE 48 BAR DIAMETERS UNLESS NOTES OTHERWISE.
13. ALL REINFORCING STEEL SHALL BE GRADE 60.

1. ALL NAILS SHALL BE COMMON.
2. ALL HARDWARE SHALL BE INSTALLED PER ALL MANUFACTURERS SPECIFICATIONS.
3. ALL HARDWARE AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL (A304/A316) WHEN EXPOSED TO WATER AND WATER.
4. THREE RODS SHALL MEET ASTM A307 DUE TO A SPECIFICATION REQUIREMENTS OR BETTER.
5. STAINLESS STEEL THREADED RODS SHALL MEET A304 OR A316 SPECIFICATION REQUIREMENTS.
6. BOLTS SHALL MEET ASTM A307 SPECIFICATION REQUIREMENTS (UNLESS NOTED OTHERWISE).
7. WASHERS AND NUTS SHALL MEET ASTM A307 SPECIFICATIONS SHALL BE 3"x3"x1/4".
8. ALL WASHERS WITHIN HORIZONTAL CONNECTION SHALL BE 2"x2"x1/4" OR 2" DIA"x1/4".
9. ALL COUPLING NUTS SHALL MEET ASTM A563 GRADE A SPECIFICATION REQUIREMENTS OR BETTER.

1. ALL MASONRY WORK TO CONFORM TO TSMC 2002/602-16, ACI 530/531-1.16, AND ASCS 5/6-16.
2. CMU UNITS SHALL CONFORM TO ASTM C 90.
3. MASONRY BLOCK COMPRESSIVE STRENGTH: $f_m = 2000$ PSI
4. MORTAR SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A) EXTERIOR, ABOVE GRADE: TYPE N.
 - B) EXTERIOR, AT OR BELOW GRADE: TYPE S.
 - C) MORTAR SHALL BE IN ACCORDANCE WITH ASTM C 270.
 - D) CURE 24 HOURS MINIMUM CURE TIME PRIOR TO GROUT INSTALLATION.
5. GROUT SHALL MEET SPECIFICATIONS OF ASTM C 476.
 - A) MINIMUM COMPRESSIVE STRENGTH (f'_m) = 4000 PSI.
6. ALL REINFORCING STEEL SHALL BE GRADE 60.
7. ALL VERTICAL REINFORCEMENT SHALL BE CENTERED WITHIN THE CMU CELLS UNLESS NOTED OTHERWISE.
8. ALL HORIZONTAL REINFORCEMENT SHALL BE 2-3/8" CLEAR OR GREATER.
9. DOWEL ALL CMU REINFORCING IN FOOTING AND EXTEND INTO UPPERMOST BOND BEAM WITH 90 DEGREE HOOKS WITH A MINIMUM 8' LEG.
10. ALL CONCRETE MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
11. SEE DETAILS FOR TYPICAL WALL REINFORCING REQUIREMENTS WITH ADDITIONAL REQUIREMENTS BELOW:
 - A) PROVIDE FOUR FILLED CELLS OF TYPICAL REINFORCING AT INTERSECTIONS.
 - B) PROVIDE THREE FILLED CELLS OF TYPICAL REINFORCING AT CORNERS.
 - C) HORIZONTAL REINFORCING AS NOTED IN NOTE 12 IN ADDITION TO SPECIFIED BOND BEAMS AND LINTELS.
 - D) GROUT STOP IS A FIBERGLASS MESH CONFORMING TO ASTM D1668-73, TYPE 207.
12. STANDARD (9-GAGE) LADDER TYPE HORIZONTAL JOINT REINFORCEMENT SHALL BE INSTALLED EVERY OTHER COURSE FOR ALL CMU WALLS ABOVE GRADE AND ALL CMU FOUNDATION WALLS EXCEEDING 4 BLOCK IN HEIGHT. CORNERS SHALL USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISCONTINUOUS WITH MINIMUM OF 12".
13. PROVIDE (2) VERTICAL DOWELS EACH SIDE OF OPENINGS AND EXTEND TO TOP COURSE.
14. LINTEL BEAMS SHALL BE FORMED WITH SOLID BOTTOM LINTEL BLOCKS OR KNOCK-OUT BOND BEAM BLOCKS.

1. ALL WOOD MATERIALS IN CONTACT WITH CONCRETE, CMU BLOCK, OR IS EXPOSED TO ELEMENTS (WATER, SUNLIGHT, ETC.) SHALL BE PRESSURE TREATED.
2. DO NOT PAINT PRESSURE TREATED WOOD MATERIALS WHEN MOISTURE CONTENT IS ABOVE 19%.
3. ALL HORIZONTAL JOISTS SHALL BE 2" SOUTHERN YELLOW PINE (SYP) OR BETTER.
4. ALL EXTERIOR POSTS SHALL BE #2 SOUTHERN YELLOW PINE (SYP) OR BETTER, PRESSURE TREATED, UNLESS NOTED OTHERWISE.
5. STUDS SHALL BE FRAMED WITH #2 SPRUCE PINE-FIR (SPF), UNLESS SPECIFIED AS SOUTHERN YELLOW PINE MATERIAL.
6. #2 SOUTHERN YELLOW PINE (SYP) MAY REPLACE #2 SPRUCE PINE-FIR (SPF) WITHIN THE WALL SYSTEMS.
7. NOTCHES ON THE END OF JOISTS SHALL NOT EXCEED ONE FOURTH THE JOIST DEPTH, NOTCHING MAY NOT OCCUR WITHIN THE MIDDLE THIRD OF THE JOIST SPAN.
8. HOLES BORED THROUGH JOISTS SHALL NOT BE WITHIN 2" OF THE BOTTOM AND TOP OF THE JOIST. HOLES SHALL NOT EXCEED ONE THIRD OF THE JOIST DEPTH.
9. JOISTS SHALL BE SUPPORTED LATERALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF A JOIST ARE NAILED TO A HEADER, BAND, OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER MEANS, BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND THE FULL DEPTH OF THE JOIST.
10. ALL SAWN LUMBER HAS BEEN DESIGNED USING THE SPECIFIED MATERIAL STRESSES AND PROPERTIES AS SHOWN IN THE NDS 2015 DESIGN MANUAL.
11. ALL PLY-BUILT BEAMS SHALL BE JOINED PER MANUFACTURER'S SPECIFICATIONS, OR AS FOLLOWS:
 - a. PROVIDE 2" CLEAR TOP AND BOTTOM AND STAGGER 12" BETWEEN HEIGHT AND SIDES.
 - b. PROVIDE MINIMUM 3" CLEAR BETWEEN CONNECTORS.
 - c. (2) 2x12 COMMON NAILED (8' 1/4" x 3") EACH SIDE TOP AND BOTTOM; SPACING 6" O.C.
 - d. (3) (2) 12x COMMON NAILED (3' 1/4" x 3-1/4") EACH SIDE TOP AND BOTTOM; SPACING 5" O.C.
 - e. (4) 2x12 (UP TO 12' DEPTH); (3) 1/4" x 3-1/2" SIMPSON SDS SCREWS LOADED SIDE; SPACING 16" O.C.
 - f. 2-PLY LVL (UP TO 24" DEPTH); (3) 1/4" x 3-1/2" SIMPSON SDS SCREWS LOADED SIDE; SPACING 12" O.C.
 - g. 3-PLY LVL (UP TO 12" DEPTH); (3) 1/4" x 3-1/2" SIMPSON SDS SCREWS BOTH SIDES; SPACING 16" O.C.
 - h. 3-PLY LVL (UP TO 16" DEPTH); (3) 1/4" x 4-1/2" SIMPSON SDS SCREWS BOTH SIDES; SPACING 12" O.C.
 - i. 3-PLY LVL (UP TO 24" DEPTH); (3) 1/4" x 4-1/2" SIMPSON SDS SCREWS BOTH SIDES; SPACING 6" O.C.
 - j. 4-PLY LVL (UP TO 8" DEPTH); (3) 1/4" x 6" SIMPSON SDS SCREWS BOTH SIDES; SPACING 12" O.C.
 - k. 4-PLY LVL (UP TO 24" DEPTH); (3) 1/4" x 6" SIMPSON SDS SCREWS BOTH SIDES; SPACING 6" O.C.

NOTE: VARIOUS CONNECTORS MAY BE USED AT CONTRACTORS DISCRETION.
12. ONLY ONE MEMBER OF PLY-BUILT BEAMS MAY BE DESIGN PER SPAN, SPLICES SHALL OCCUR AT 1/4 SPANS.
13. VERTICAL BOLTS SHALL BE INSTALLED PER THE SPECIFIED DRAWINGS. DRILL GUIDES SHALL BE USED TO MINIMIZE WASTAGE. DRILLING SHALL BE THROUGH THE HOLE SHALL BE CENTERED WITHIN THE BEAM WIDTH, ALLOWABLE CAPACITIES ARE REDUCED BY APPROXIMATELY 17% WHERE VERTICAL HOLES ARE INSTALLED.

1. LVL BEAMS, GLULAM BEAMS, AND VERSALAM COLUMNS SHALL BE MANUFACTURED BY AN APA MEMBER MANUFACTURER AND SHALL MEET APA SPECIFICATIONS.
2. DO NOT STORE ENGINEERED WOOD PRODUCTS IN CONTACT WITH GROUND. STACK MEMBERS FLATWISE.
3. LVL BEAMS SHALL HAVE THE MINIMUM MATERIAL PROPERTIES AS FOLLOWS:
 - A) Fb = 2300 PSI
 - B) Fv = 285 PSI
 - C) Fc (PARALLEL) = 3200 PSI
 - D) Fc (PERP.) = 750 PSI
 - E) E = 2.1x10⁶ PSI
4. LVL BEAMS MAY BE TO BE PRESSURE TREATED WITHOUT APPROVAL FROM ENGINEER OF RECORD.
5. GLULAM BEAMS (PRESSURE TREATED) SHALL HAVE THE MINIMUM MATERIAL PROPERTIES AS FOLLOWS:
 - A) Fb = 2400 PSI
 - B) Fv = 300 PSI
 - C) Fc (PARALLEL) = 1650 PSI
 - D) Fc (PERP.) = 740 PSI
 - E) E = 1.8x10⁶ PSI
6. F DESIGN MATERIAL: 24F-V8 - 24F-1.8E - SOUTHERN PINE 24F-V5M1 (PRESSURE TREATED)
7. VERSALAM COLUMNS SHALL HAVE THE MINIMUM MATERIAL PROPERTIES AS FOLLOWS:
 - A) Fb = 2500 PSI
 - B) Fv = 1270 PSI
 - C) Fv = 190 PSI
 - D) Fc (PARALLEL) = 3000 PSI
 - E) Fcz (PERP.) = 450 PSI
 - F) Fcy (PERP.) = 750 PSI
 - G) E = 1.8x10⁶ PSI
 - H) Emin = 9.3x10⁵ PSI
 - I) DESIGN MATERIAL: VERSA-LAM COLUMN 1.8E-2750
8. LVL BEAMS MAY BE TRIMMED TO SIZE WITHOUT TAKING A REDUCTION IN THE ALLOWABLE MATERIAL PROPERTIES.
9. NOTCHES ON BOTTOM ENDS OF MEMBERS SHALL NOT EXCEED ONE TENTH THE MEMBER DEPTH.
10. HOLES BORED THROUGH JOISTS SHALL ONLY BE LOCATED WITHIN THE MIDDLE THIRD OF THE MEMBER DEPTH. HOLES MAY ONLY BE LOCATED WITHIN THE MIDDLE THIRD OF THE MEMBER SPAN. HOLES MAY NOT EXCEED 2" IN DIAMETER.
11. VERTICAL HOLES SHALL BE INSTALLED PER THE DESIGN DRAWINGS. DRILL GUIDES SHALL BE USED TO MINIMIZE 'WANDERING' AS IT PASSES THROUGH KNOTS. HOLE SHALL BE CENTERED WITHIN THE BEAM WIDTH. ALLOWABLE CAPACITIES ARE REDUCED BY APPROXIMATELY 18% WHERE VERTICAL HOLES ARE INSTALLED.

1. WOOD TRUSSES, CONNECTIONS, AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. TRUSS ENGINEER SHALL PROVIDE SEALED SHOP DRAWINGS OF ALL NECESSARY COMPONENTS OF THE TRUSS SYSTEM.
2. DESIGN OF TRUSS SYSTEM SHALL BE IN ACCORDANCE WITH AND SPECIFICATION 2002 - NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION.
3. TOP AND BOTTOM CHORDS SHALL BE PROVIDED WITH THE SHAPES AND CONFIGURATIONS INDICATED ON THE DESIGN DRAWINGS. ARRANGEMENT OF WEB MEMBERS SHALL BE AT THE DISCRETION OF THE TRUSS ENGINEER.
4. TRUSSES SHALL BE DESIGNED FOR THE DEAD LOAD OF THE TRUSSES AND BRACING, AS WELL AS THE LOAD SPECIFIED IN GENERAL NOTES.
5. ALL FLOOR SYSTEMS SHALL BE DESIGNED TO MEET AN ALLOWABLE DEFLECTION CRITERIA OF L/480 AND CHAIRS, UNLESS SPECIFIED OTHERWISE.
6. HOLES AND NOTCHES MAY NOT BE INSTALLED INTO ENGINEERED TRUSSES UNLESS SPECIFIED BY DESIGN ENGINEER.
7. ALL BRACING OF THE TRUSSES SHALL BE #2 SOUTHERN YELLOW PINE (SYP).
8. ALL COVERED PORCHES SHALL BE DECKED UNDERNEATH WITH 7/16" OSB OR 1/2" 4-PLY APA RATED PLYWOOD AND NAILED WITH 80 COMMON RINGSHANK NAILS. SPACING 4" EDGE AND 8" FIELD.
9. SOFFITS SHALL BE CONSTRUCTED PER FRC 2020, SECTION 7.04.

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE AND DESIGN DRAWINGS..
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING FLOOD ZONE AND BASE FLOOD ELEVATION REQUIREMENTS
3. CONTRACTOR IS RESPONSIBLE FOR ALL WATER-PROOFING, WEATHER-PROOFING AND FLASHING OF STRUCTURE
4. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD FOR ANY DISCREPANCIES.
5. CONTRACTOR SHALL VERIFY ALL ASSUMPTIONS AS SPECIFIED ON THESE DESIGN DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL HARDWARE IS INSTALLED PER INDUSTRY STANDARDS.
7. CONTRACTOR IS RESPONSIBLE FOR PROPER TERMITE TREATMENT OF SITE AND STRUCTURE.
8. CONTRACTOR HAS SOLE RESPONSIBILITY FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION
9. CONTRACTOR IS RESPONSIBLE WITH COMPLYING WITH ALL OSHA REGULATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND PERFORMANCE OF ALL SHORING AND BRACING OF STRUCTURE.

kd = 0.85; Internal Pressure Coefficient = +/-

MULTIPLY TABLES BY 0.6 TO ACHIEVE ASD PRESSURES

WHERE OFFSET WALL 'X' > 'a', ZONE 5 SHALL BE APPLIED TO CORNER

WALL SHEATHING: 7/16" OSB (SPAN RATING 24/16) OR 15/32" (SPAN RATING 32/16) APA RATED PLYWOOD.

A) SHEATHING SHALL BE NAILED TO WALL STUDS WITH 8d COMMON NAILS (.131" x 2-1/2") OR 8d BOX NAILS (.101" x 2-1/2"); SPACING 4" EDGE AND 8" FIELD, UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.

B) SHEATHING SHALL BE NAILED TO ROOF MEMBERS WITH 8d COMMON RINGSKANG NAILS (.131" x 2-1/2") OR 10d RINGSKANG NAILS (.12" x 3"). SPACING 3" EDGE AND 6" FIELD.

C) FULL HEIGHT WINDSTORM OSB PANELS AS THE TIE-DOWN SYSTEM MAY BE USED PER THE OPTION DETAILS IF PROVIDED.

D) BLOCKING REQUIREMENTS:

1) EXPOSURE B: WALLS WITH PLATE HEIGHTS OF 10'-1" OR TALLER SHALL BE BLOCKED AT MIDSPAN.

2) EXPOSURE C: WALLS WITH PLATE HEIGHTS OF 9'-1" OR TALLER SHALL BE BLOCKED AT MIDSPAN.

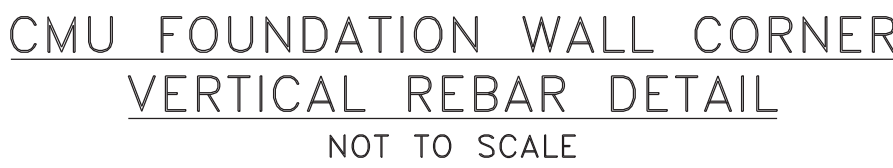
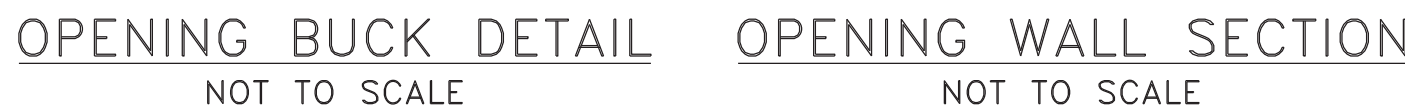
E) WHERE SPECIFIED, SHEATHING SHALL BE INSTALLED ON BOTH SIDES OF WALL PANELS. SHEATHING JOINTS SHALL BE STAGGERED EACH SIDE OF WALL, IF PANEL JOINT NOTED BE OR IS NOT STAGGERED, INCREASE STUD SIDE TO 3x OR (2) 2x.

F) PLYWOOD SHEATHING SHALL BE MINIMUM 4-PLY WITH MEETINGS THE SPECIFICATIONS ABOVE.

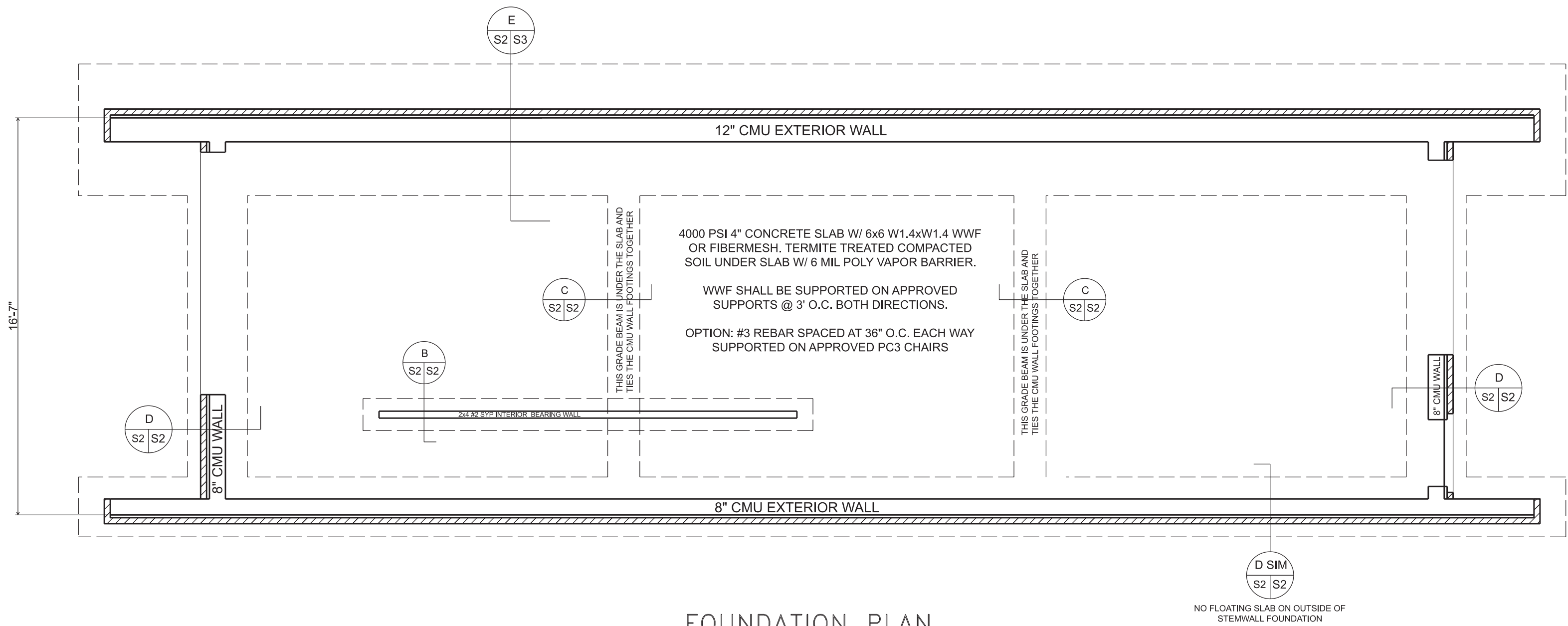
ROOF SHEATHING: 5/8" OSB (SPAN RATING 40/20) OR 19/32" (SPAN RATING 40/20) APA RATED PLYWOOD.

A) SHEATHING SHALL BE NAILED TO ROOF MEMBERS WITH 8d COMMON RINGSKANG NAILS (.131" x 2-1/2") OR 10d RINGSKANG NAILS (.12" x 3"). SPACING 3" EDGE AND 6" FIELD.

B) PLYWOOD SHEATHING SHALL BE MINIMUM 4-PLY WITH MEETINGS THE SPECIFICATIONS ABOVE.

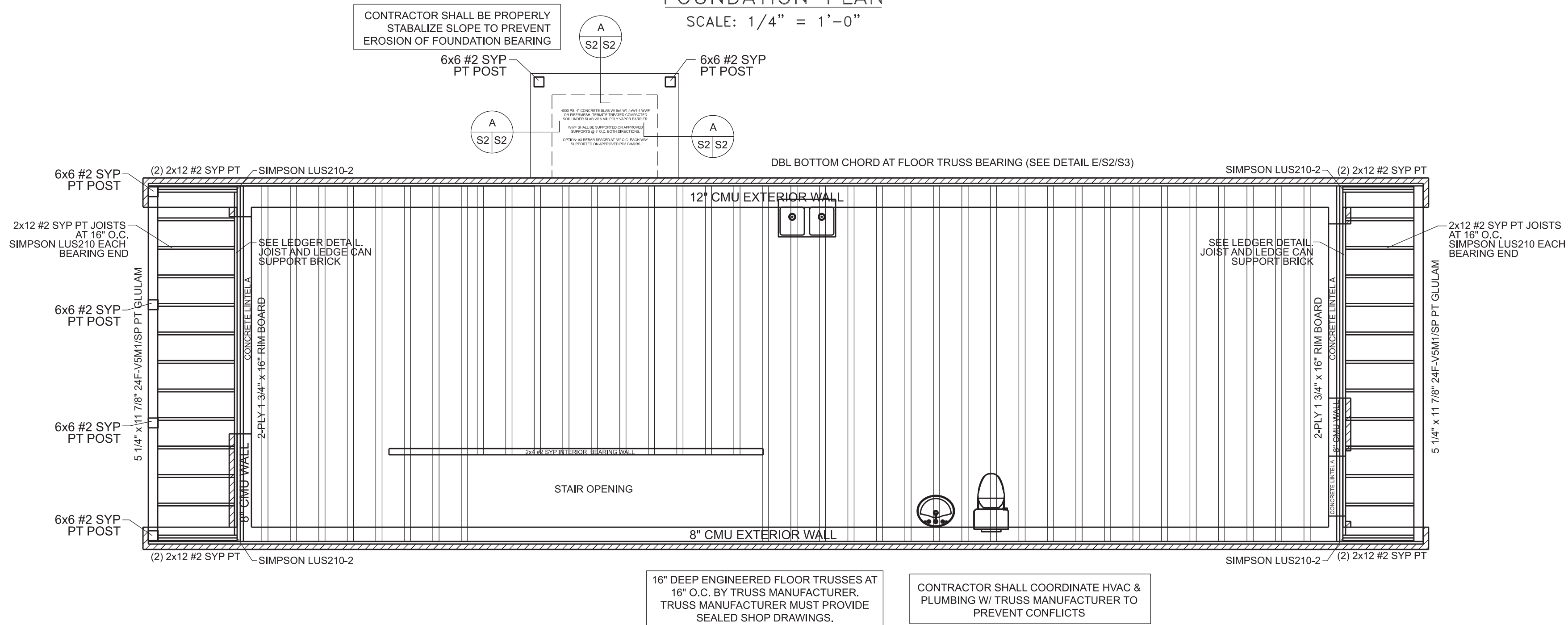


1405.4.2 MASONRY: FLASHING AND WEEP HOLES IN ANCHORED VENEER SHALL BE LOCATED IN THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB, AND OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, SHELF ANGLES AND LINTELS WHERE ANCHORED VENEERS ARE DESIGNED IN ACCORDANCE WITH SECTION 1405.6.



FOUNDATION PLAN

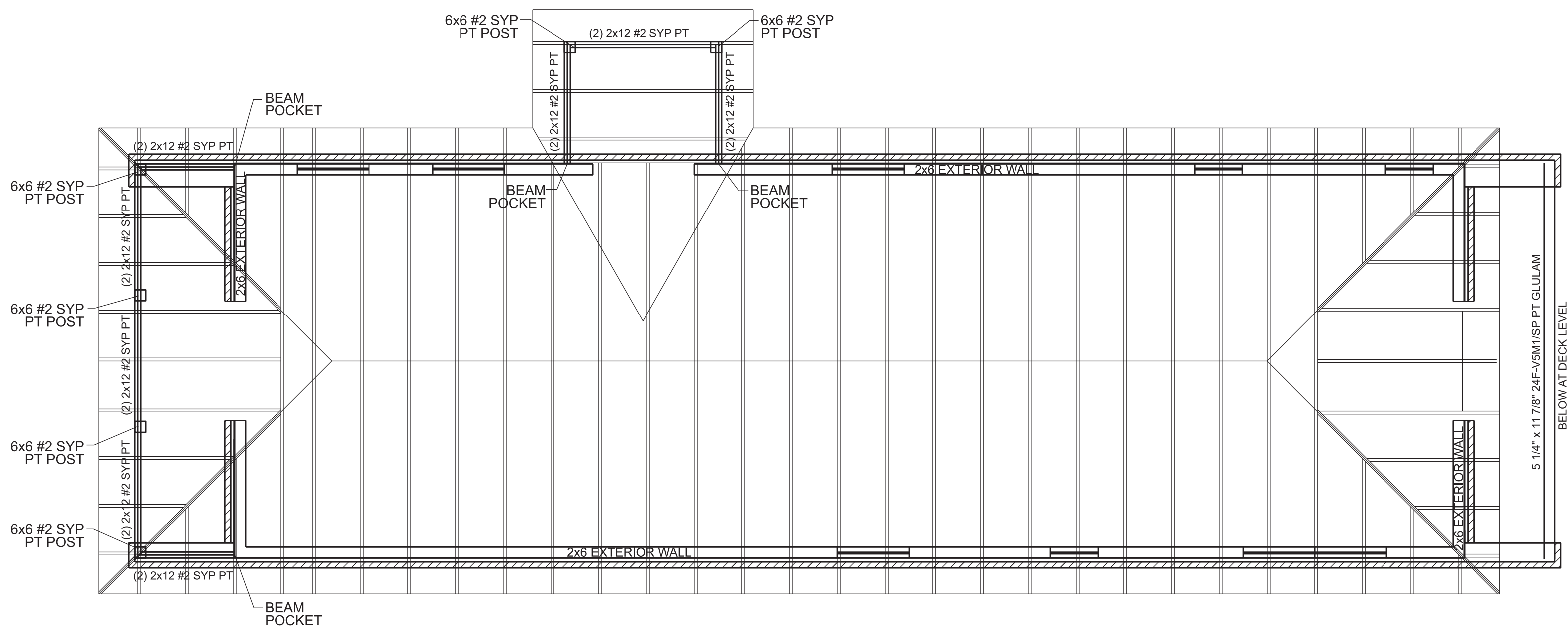
SCALE: 1/4" = 1'-0"



16" DEEP FLOOR TRUSSES @ 16" O/C

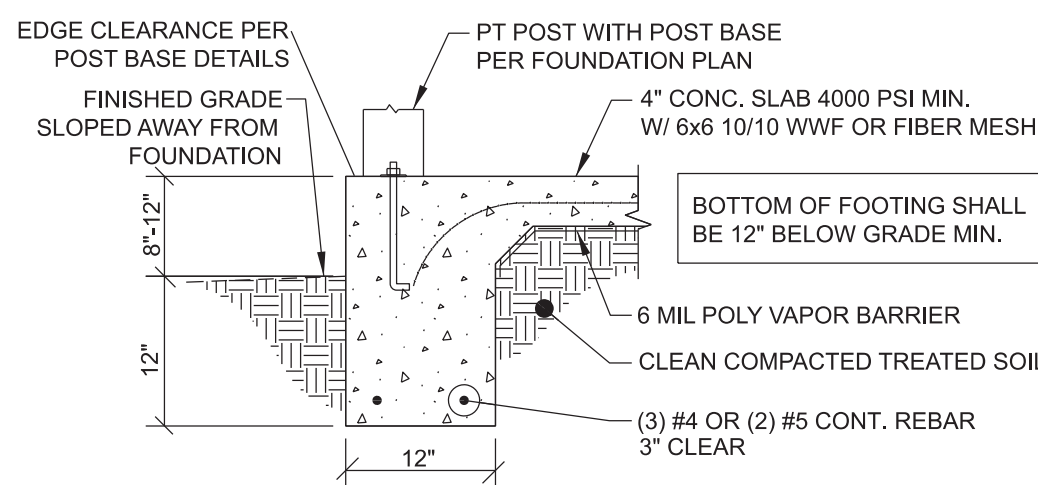
2ND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



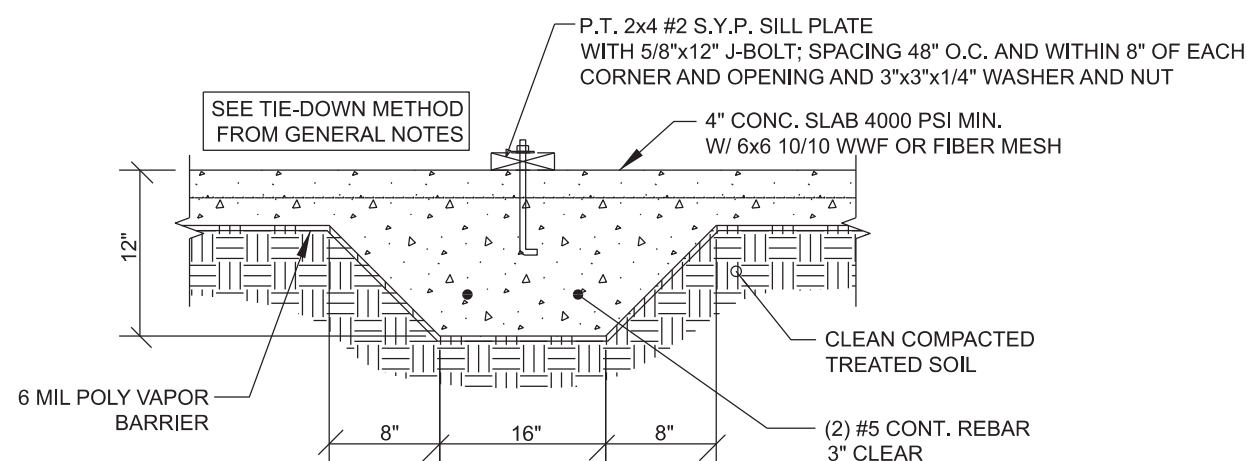
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



MONOLITHIC PORCH
FOOTING DETAIL

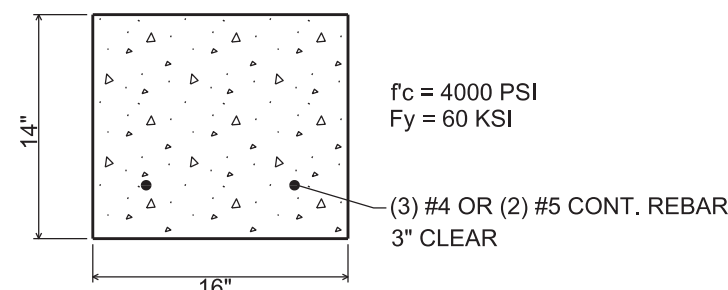
NOT TO SCALE



GRADE BEAM DETAIL

NOT TO SCALE

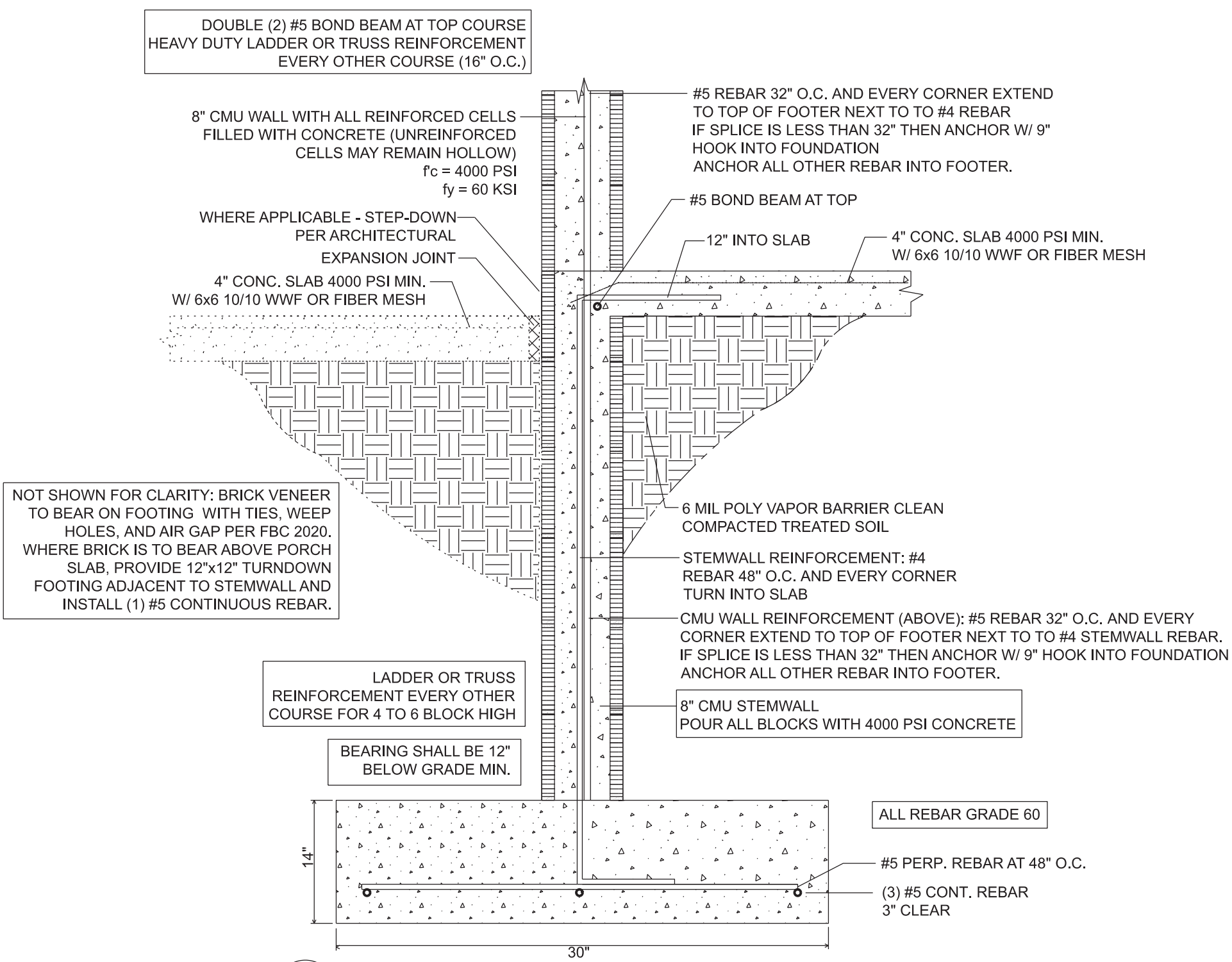
USE THIS DETAIL FOR ALL INTERIOR LOAD BEARING
WALLS REQUIRED BY TRUSS MANUFACTURER



THIS GRADE BEAM IS UNDER THE SLAB AND TIES THE
CMU WALL FOOTINGS TOGETHER

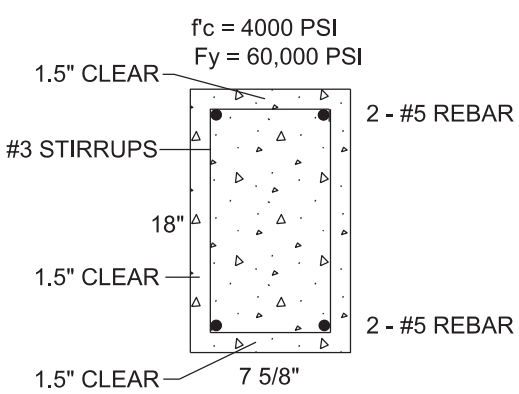
GRADE BEAM DETAIL

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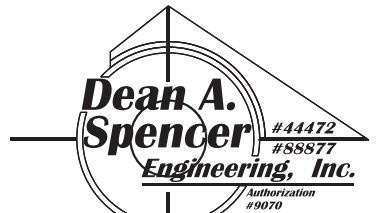
EXTERIOR FOOTING WITH
CMU WALL (1-6 BLOCK TALL)

NOT TO SCALE



CONCRETE LINTEL A
SECTION

NOT TO SCALE



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DRAWN BY: DAS
CHECKED BY: DAS

REVISIONS

DESCRIPTION

DATE

PROJECT TITLE:

Hohman Residence
255 W Brainerd Street
Pensacola, Florida
Escambia County

SHEET TITLE:

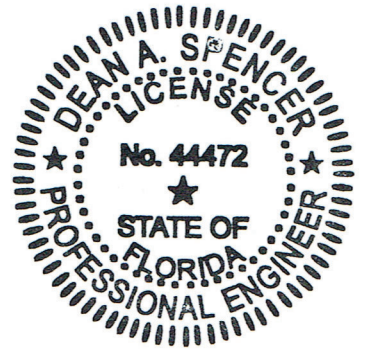
STRUCTURAL
NOTES/DETAILS

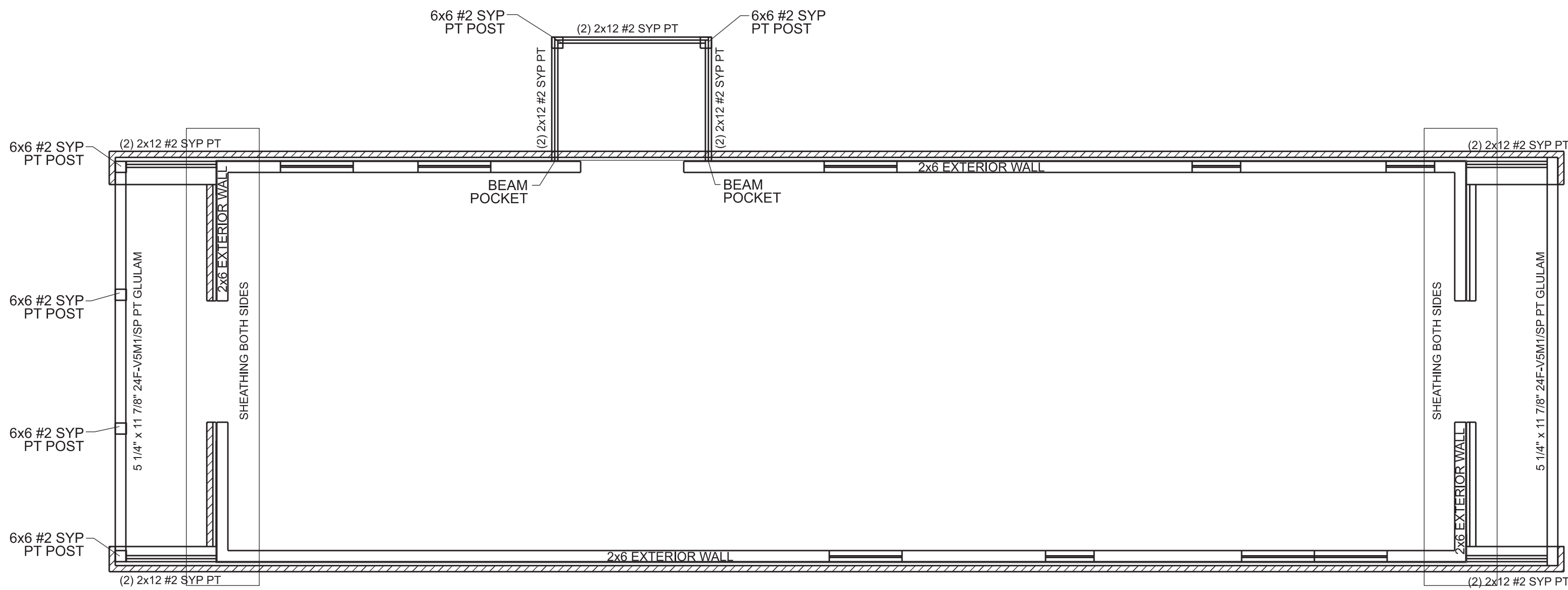
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10/27/2022

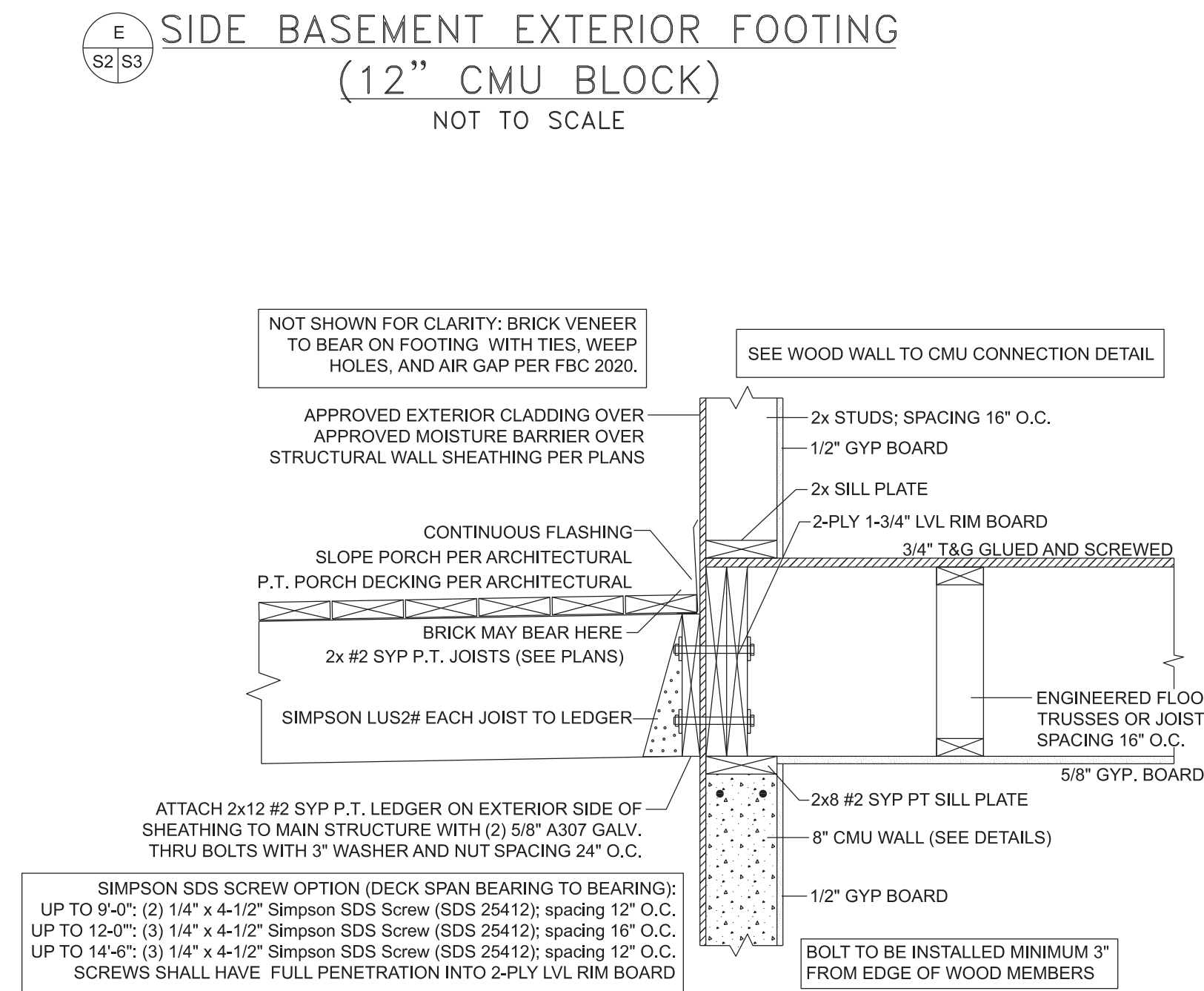
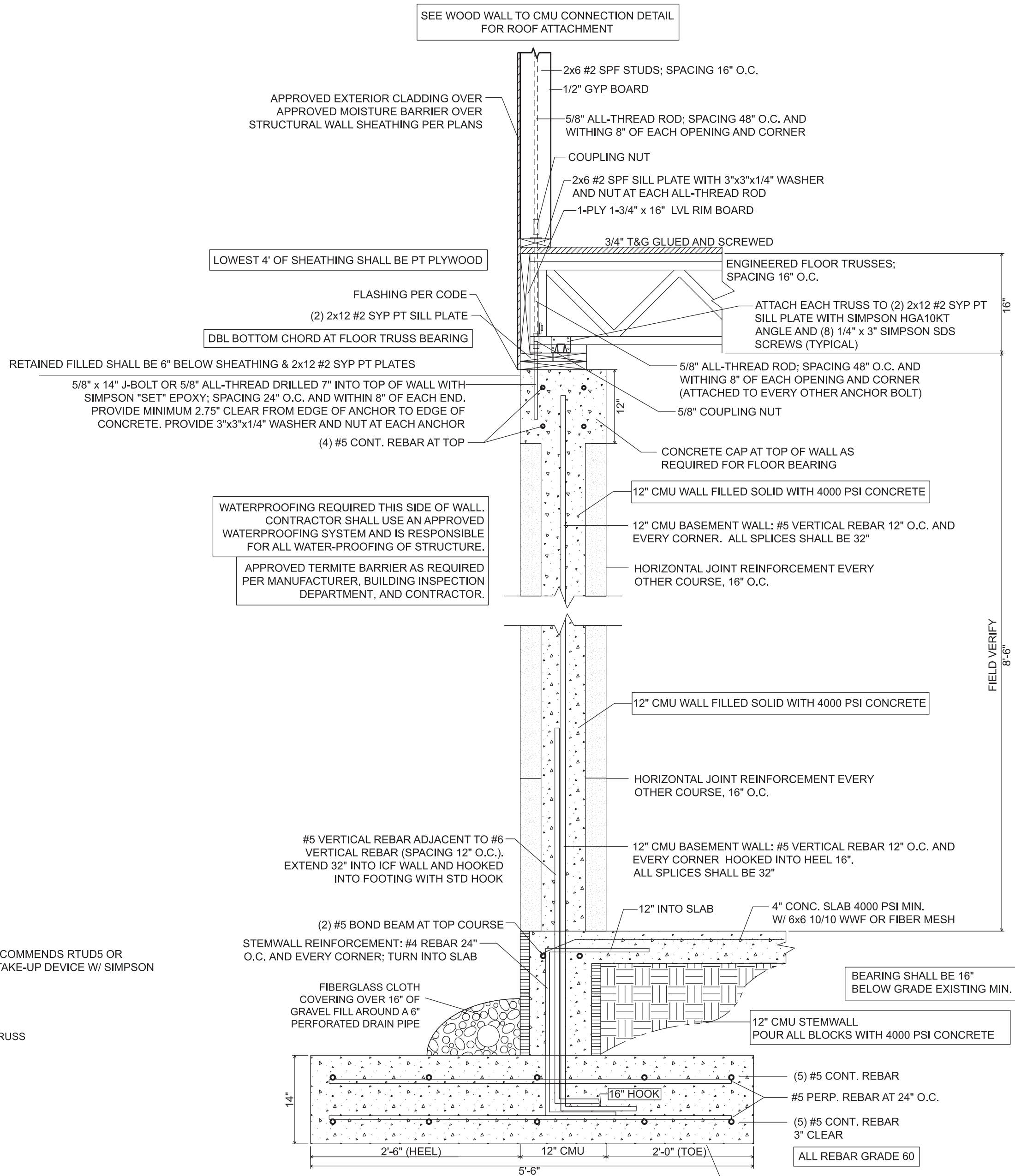
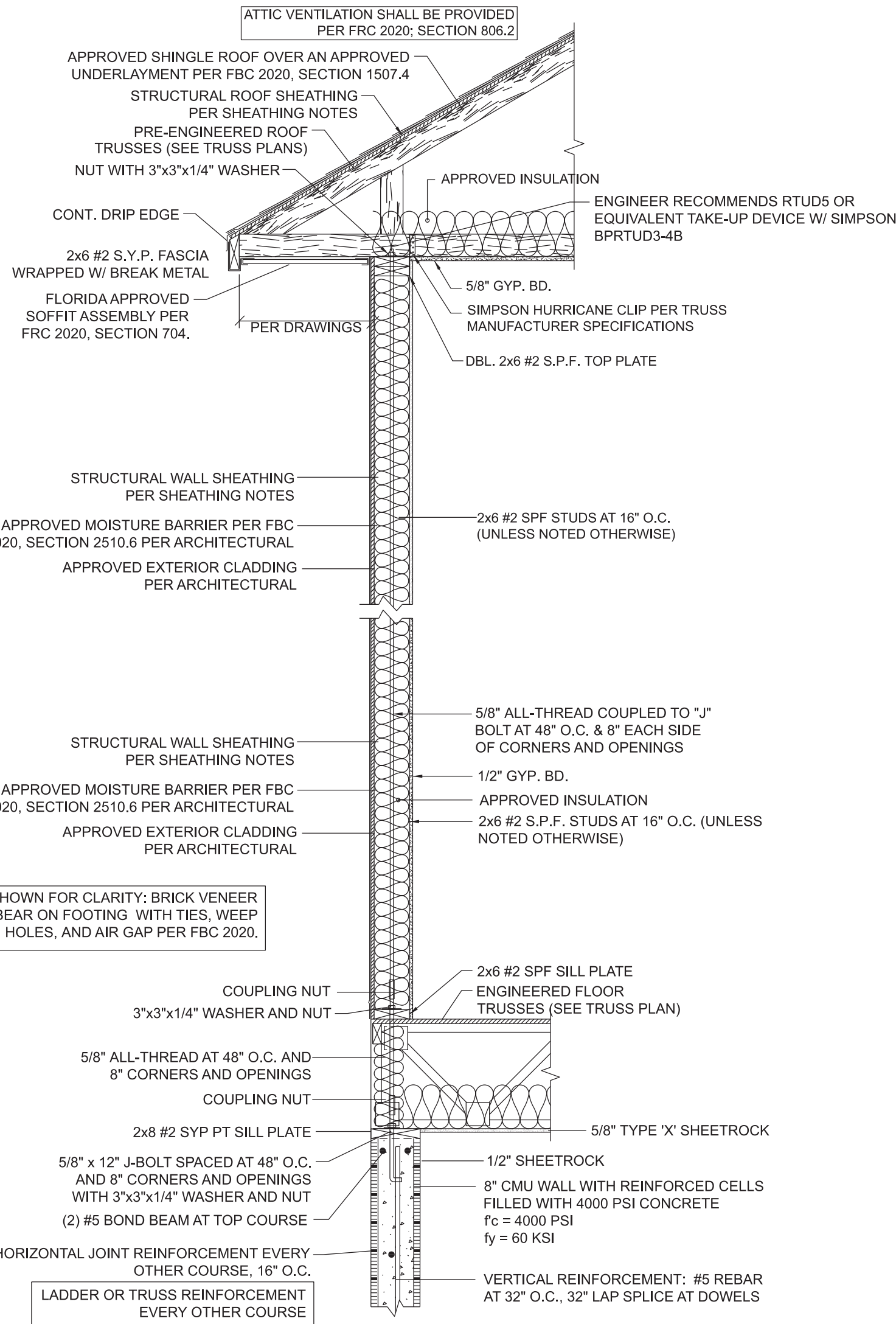
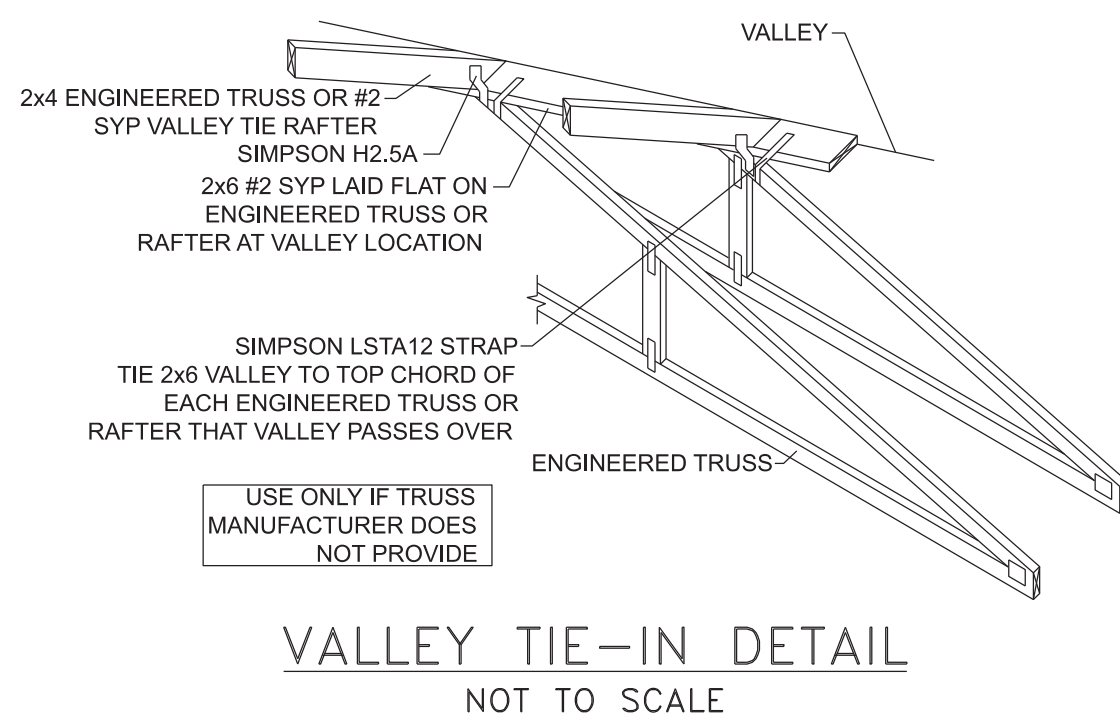
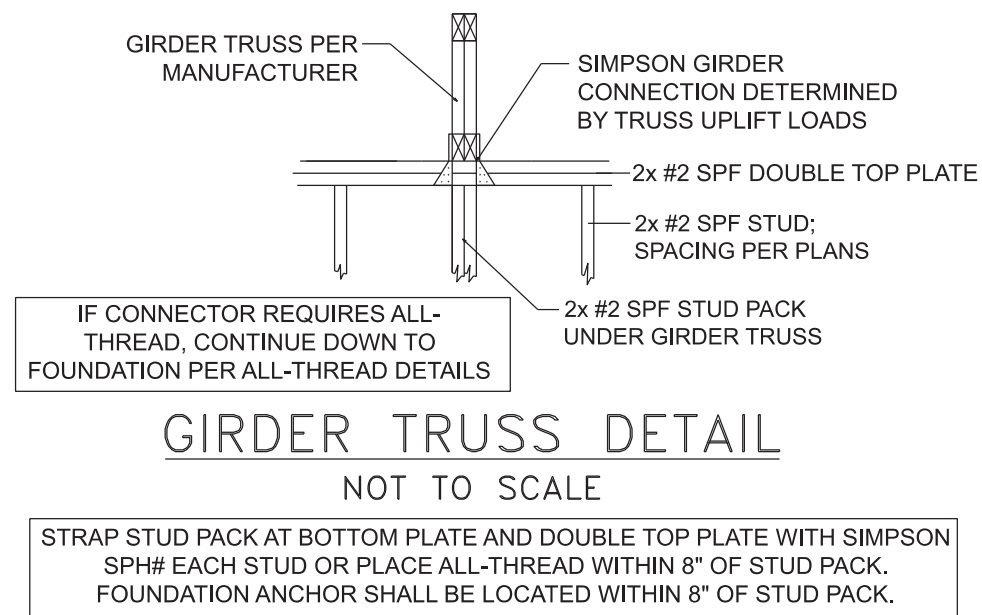
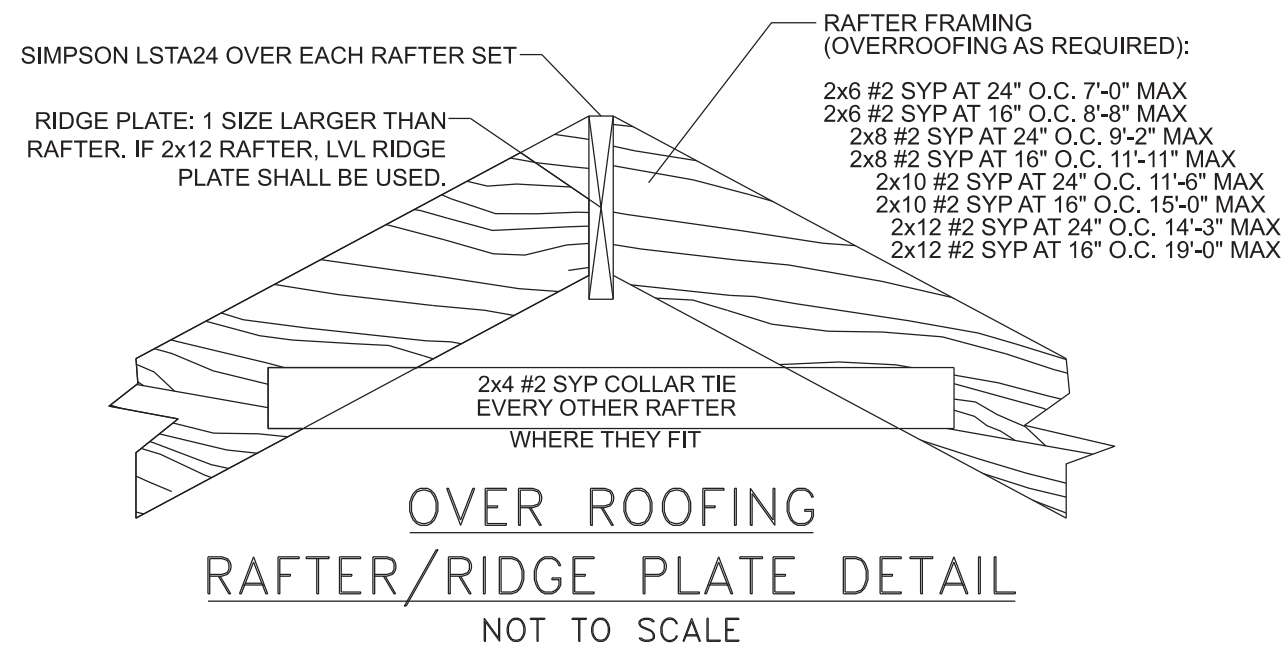
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S2

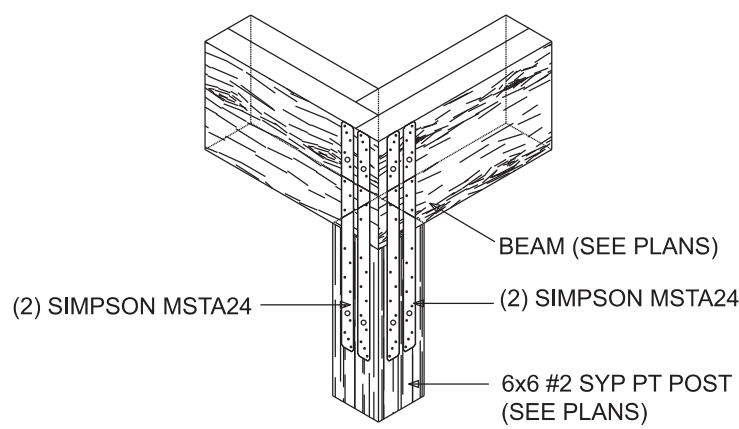




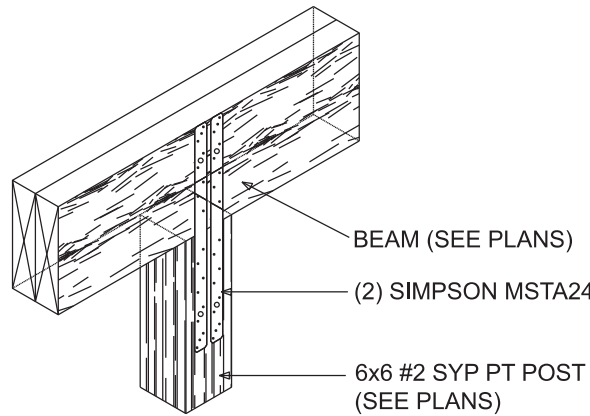
2ND FLOOR SHEARWALL PLAN
SCALE: 1/4" = 1'-0"



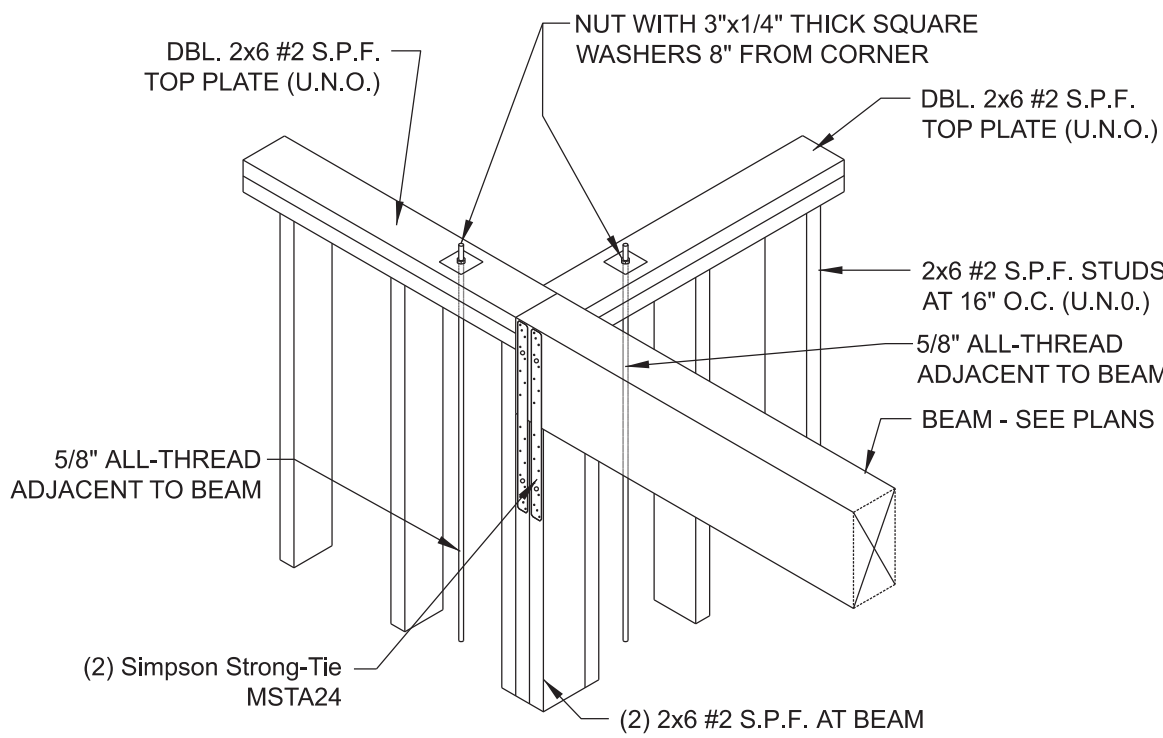
REVISIONS	
DESCRIPTION	DATE



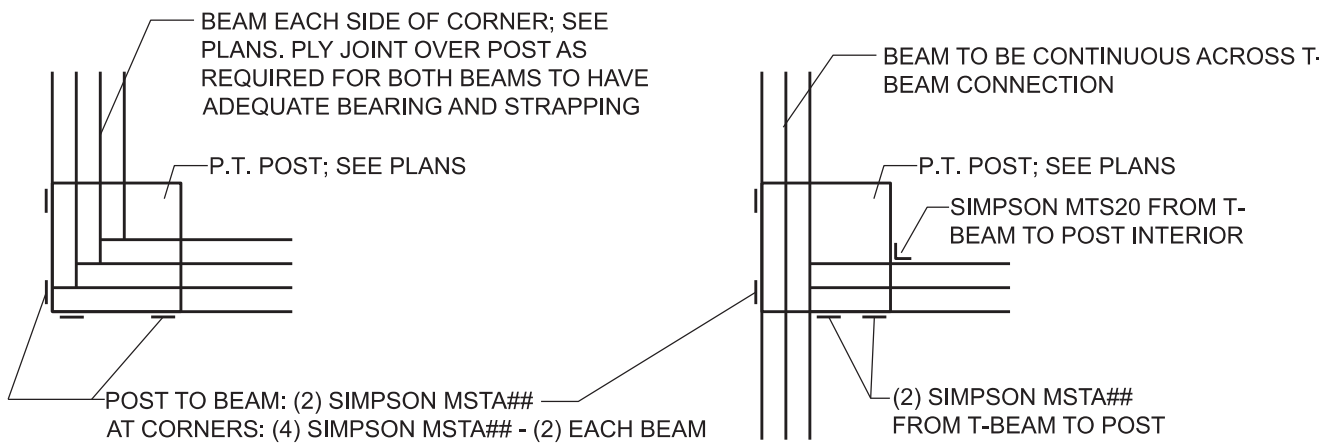
CORNER POST TO BEAM DETAIL
NOT TO SCALE



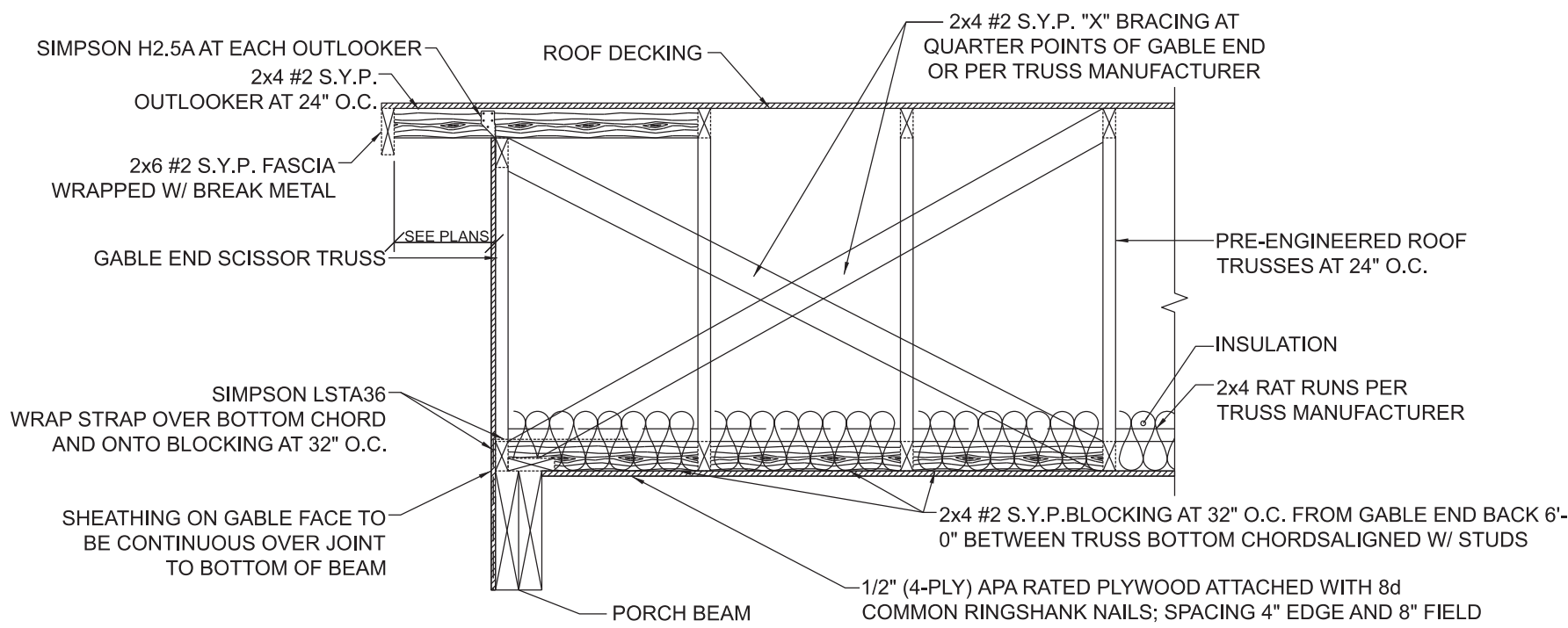
PORCH POST TO BEAM DETAIL
NOT TO SCALE



CORNER BEAM
AT STUD WALL DETAIL
NOT TO SCALE



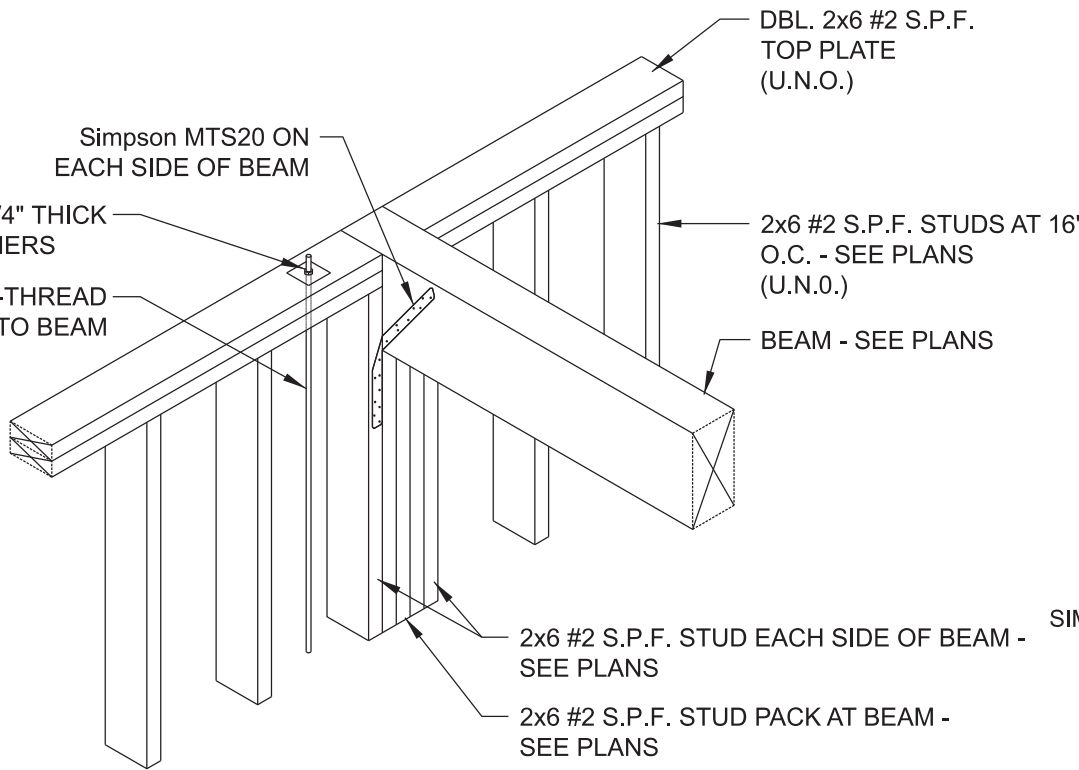
POST TO BEAM CONNECTION
DETAIL PLAN VIEW
NOT TO SCALE



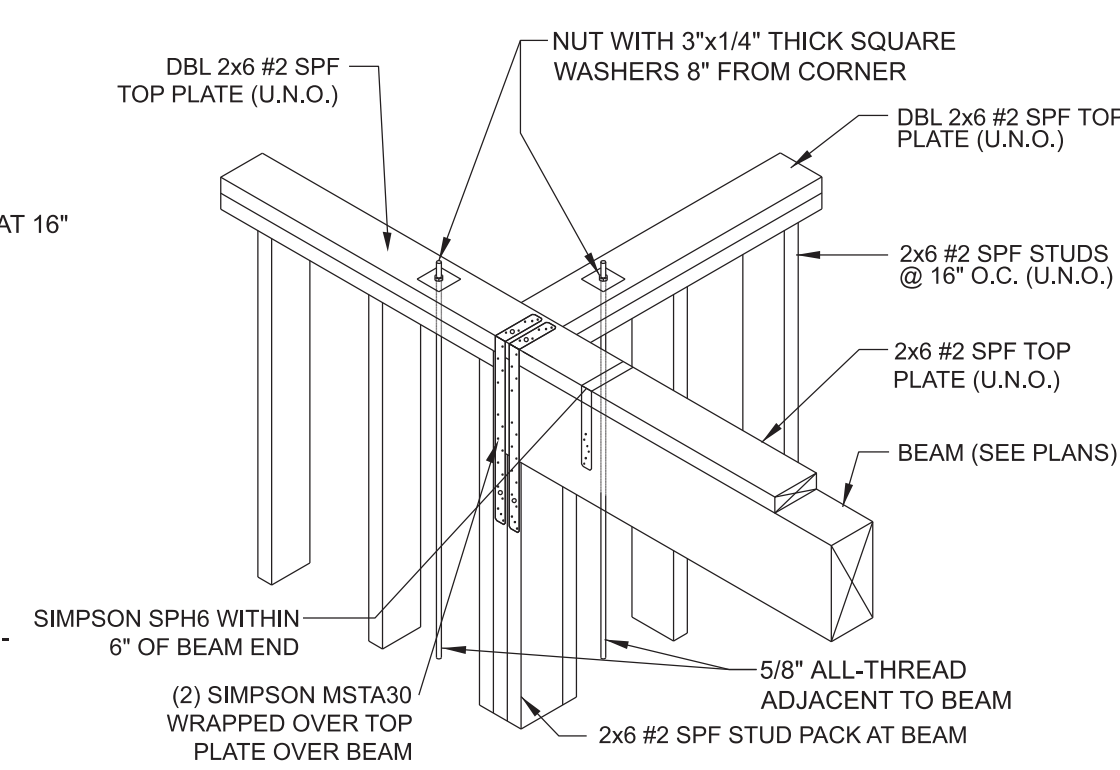
GABLE END CEILING DIAPHRAGM
OVER PORCH BEAM
NOT TO SCALE

TRUSS MANUFACTURER MAY SUBSTITUTE EQUIVALENT UPLIFT CONNECTORS	
UP TO UPLIFT LOAD OF 520 LBS	SIMPSON H2.5A
BETWEEN 520 LBS AND 1040 LBS	(2) SIMPSON H2.5A
BETWEEN 1040 LBS AND 3000 LBS	SIMPSON MGT/HDU4
BETWEEN 3000 LBS AND 6485 LBS	SIMPSON HGT-2

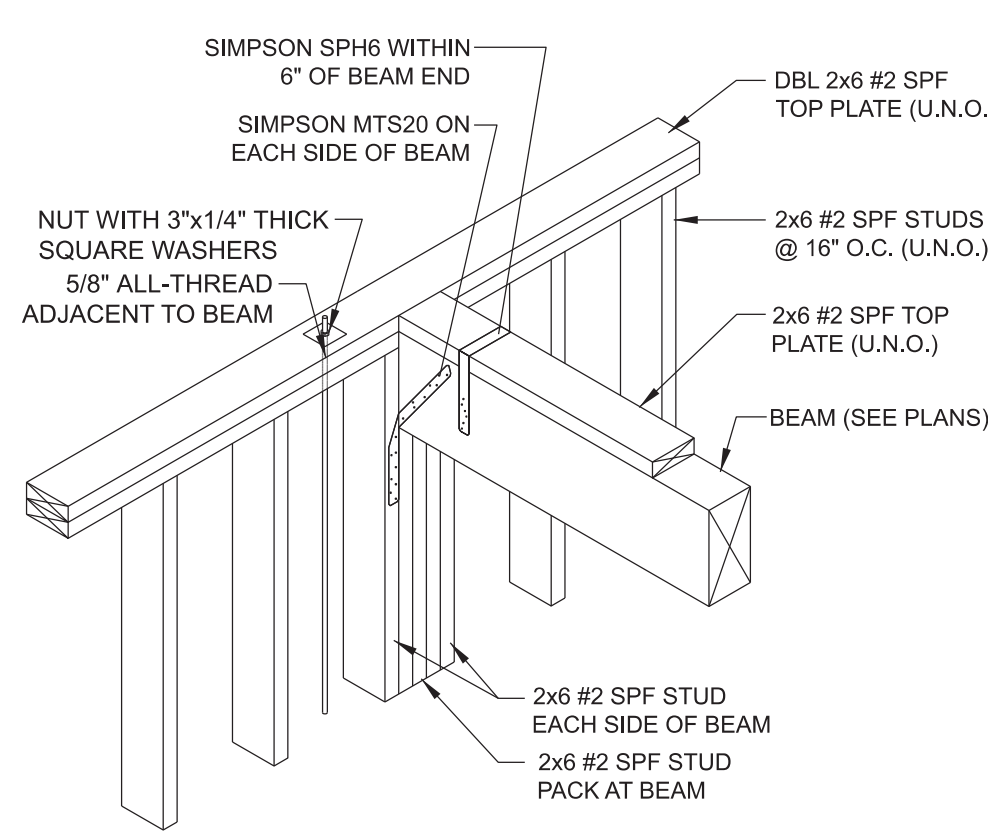
SIMPSON CONNECTION FOR
TRUSSES UPLIFT LOADS



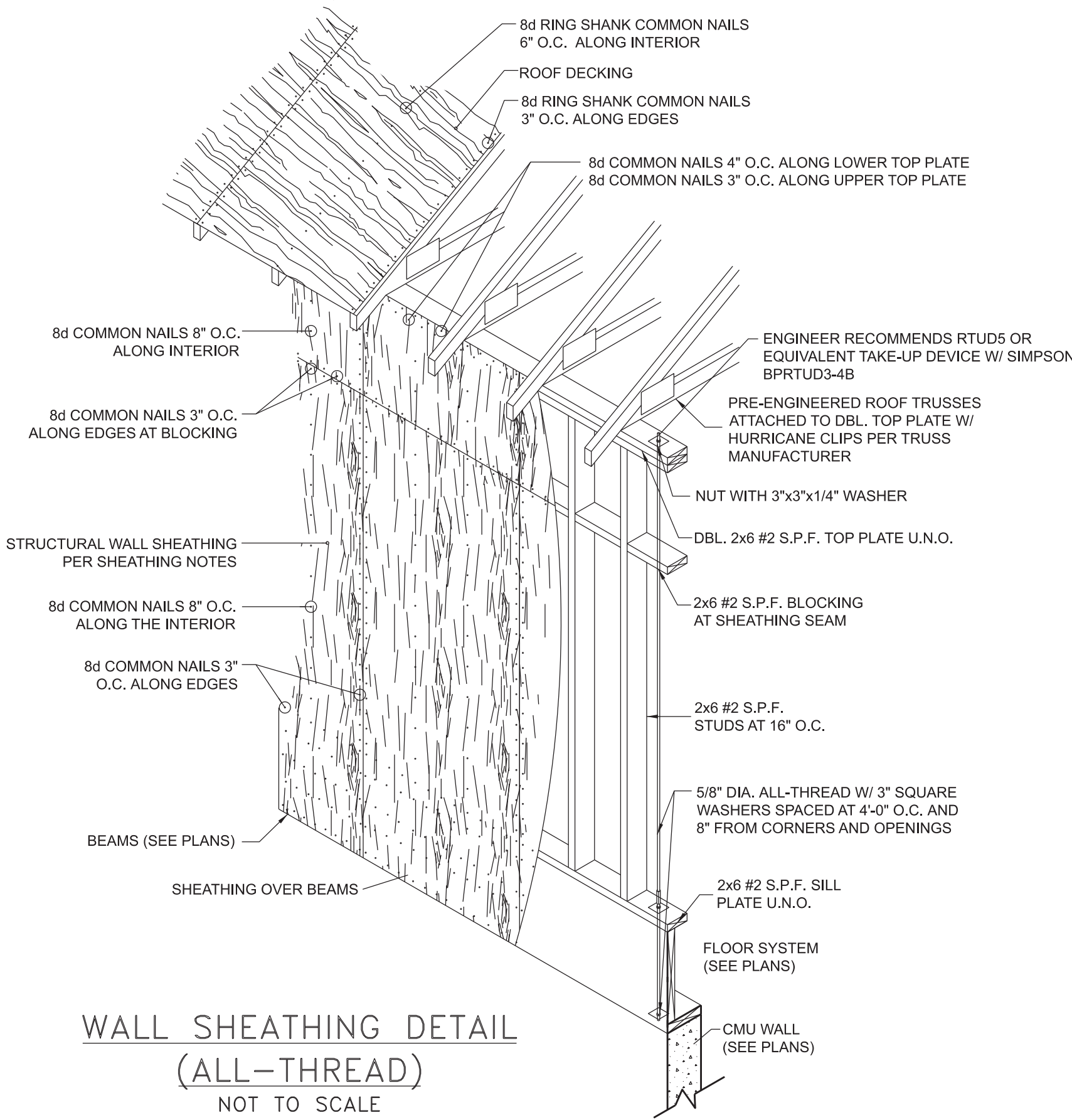
BEAM POCKET
AT STUD WALL DETAIL
NOT TO SCALE



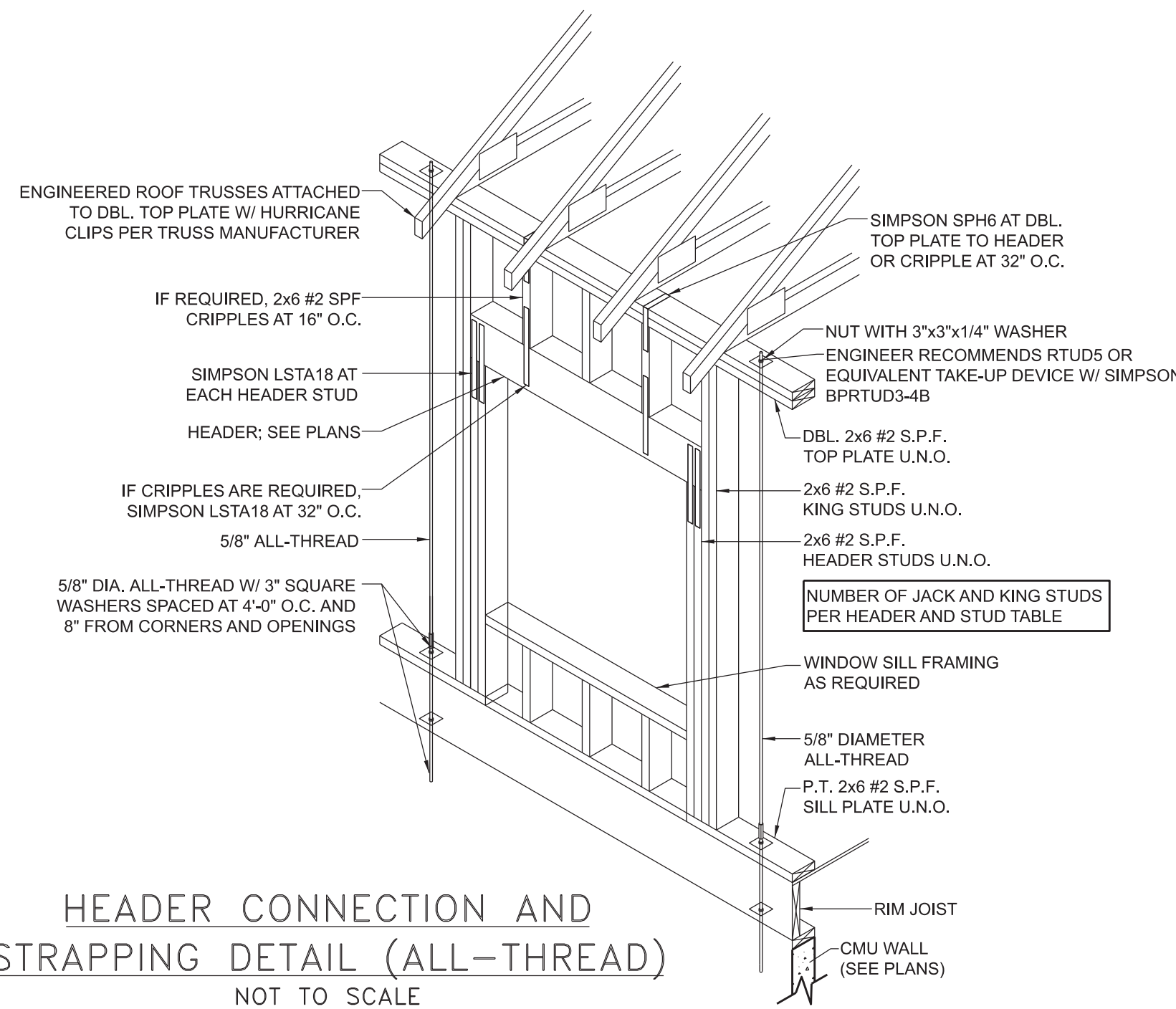
CORNER BEAM AT STUD
WALL DETAIL (OPTION)
NOT TO SCALE



BEAM POCKET AT STUD WALL
DETAIL (OPTION)
NOT TO SCALE

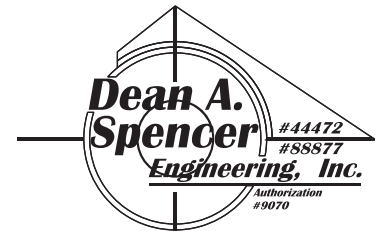


WALL SHEATHING DETAIL
(ALL-THREAD)
NOT TO SCALE



HEADER CONNECTION AND
STRAPPING DETAIL (ALL-THREAD)
NOT TO SCALE

ALL EXTERIOR WALLS SHALL BE BLOCKED AT MIDSPAN, OR AT SHEATHING BREAK.



DEAN A. SPENCER ENGINEERING, INC.
1197 TIGER TRACE BLVD
GULF BREEZE, FL 32563
850.932.8730 (Voice)

DEAN A. SPENCER, PE
SECB (2006 TO MAR 2022)
FL #44472, CA #9070
AL #29262, CA #3467

MAXWELL M. SPENCER, PE
FL #85877

dean.spencer.pe@gmail.com

DRAWN BY: DAS
CHECKED BY: DAS

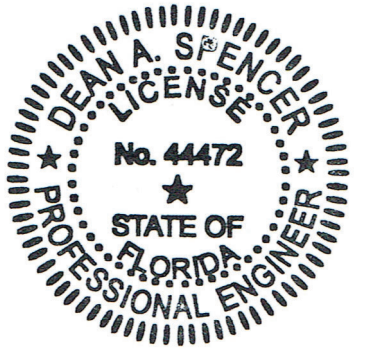
REVISIONS	
DATE	DESCRIPTION

PROJECT TITLE:
Hohman Residence
255 W Brainerd Street
Pensacola, Florida
Escambia County

SHEET TITLE:
**STRUCTURAL
NOTES/DETAILS**

DATE:
10/27/2022

SHEET NUMBER:
S4





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00136

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

315 W. Lee Street

North Hill Preservation District / Zone PR-1AAA / City Council District 6

Renovations and Additions to a Contributing Structure and New Accessory Structure

BACKGROUND:

Diosdado Perera, Walcott Adams Verneuille Architects, is seeking approval for exterior renovations and additions to a contributing structure and the addition of a new accessory structure. Work to the primary will include the addition of a western single-story wing and a new terrace, replacement of all windows and doors, new decorative railing, and application of a white mortar wash to the existing brick. Additionally, a new accessory structure will be constructed in the rear and all exterior materials have been designed to match the primary. Site work will include a new crushed gravel driveway, new entry columns to match those existing on the north street front, a new 6.5' tall privacy fence in the rear, and new interior hardscaping. All new windows and doors will be impact rated clad wood, garage doors will be insulated steel, and the new roof portions will be matching red clay flat tiles.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)d.2.ii.(a) and (b) North Hill Preservation District, Procedure for Review, Decisions

Sec. 12-3-10(2)f. NHPD, Alterations or additions to contributing structures

Sec. 12-3-10(2)h. NHPD, New construction



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES00828
Recorder #
Field Date 5 / 4 / 95
Form Date 7 / 5 / 95

Original
Update

DATE NAMES (addr. if none) CLEMENT HOUSE [MULT. LIST. #8]
SURVEY NORTH HILL [SURVEY #]
NATIONAL REGISTER CATEGORY building structure ☒ district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 315 W. LEE ST.
CROSS STREETS nearest/between BETW. N. BARCELONA AND N. REUS ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9010-006-172
SUBDIVISION NAME NORTH HILL BLOCK 172 LOT NO. 6-11
OWNERSHIP private-profit private-nonprofit ☒ private-indiv private-unspecified city county state federal unknown
NAME OF PUBLIC TRACT (e.g., park) BELMONT TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 25 RANGE 30W SECT. 26 1/4 1/4-1/4 IRREG. SECT.? ☒ y ☐ n
[UTM: ZONE 16 17 EASTING 0 NORTHING 0]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

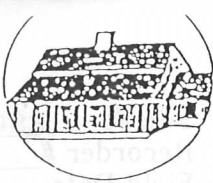
STYLE MASO EXTERIOR PLAN IRRE NO. STORIES 2
STRUCTURAL SYSTEMS MASO
FOUNDATION: Types CONT Materials BRIC
EXTERIOR FABRICS BRIC
ROOF: Types GAHP Materials SHCO
Secondary strucs. (dormers etc.) GA
CHIMNEY: No. 2 Materials BRIC LOCATIONS END EXTERIOR:
WINDOWS (types, materials, and placements) FRONT SLOPE
CASEMENT, 6, 8, & 20 LIGHT, METAL SHUTTERS

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations N/1 STORY, 1 BAY, METAL
Porch roof types AWNING
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: excellent ☒ good fair deteriorated ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial A residential institutional rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? ☒ y ☐ n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORY

CONSTRUCTION DATE 1937 CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES ☐ yes ☒ no Dates Orig. addr.
 ALTERATIONS ☒ yes ☐ no Dates Nature
 ADDITIONS ☐ yes ☐ no Dates Nature
 ORIGINAL USES (give dates) RESIDENCE
 INTERMEDIATE USES (give dates)
 PRESENT USES (give dates) RESIDENCE
 OWNERSHIP HISTORY (especially original owner) DANIEL P. AND BELINDA R.
MAHON (CURRENT)

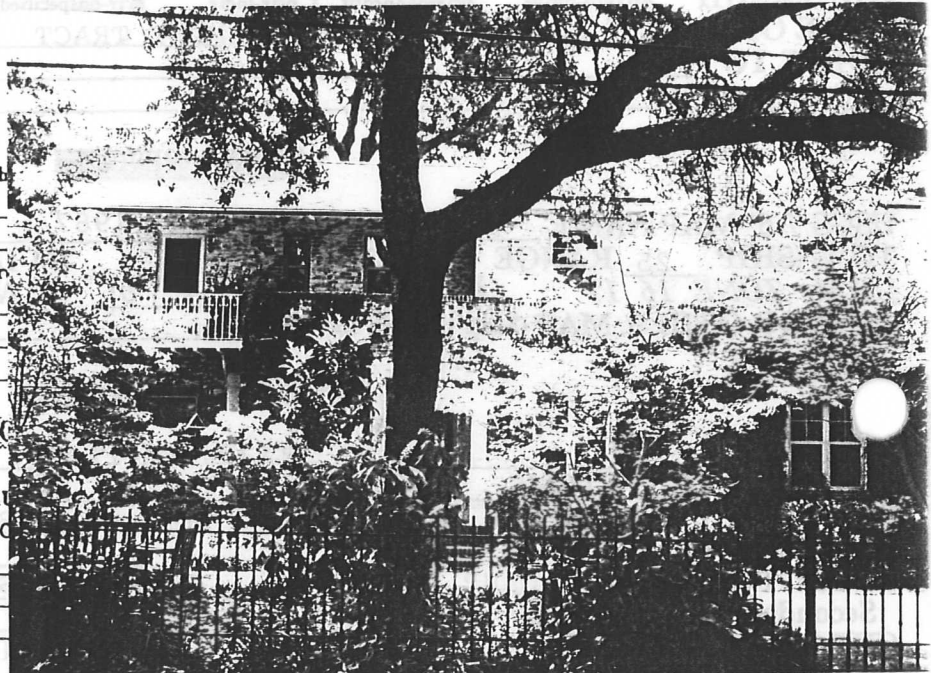
SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation?
 Individually elig. for Nat. Register?
 Potential contributor to NR district?

HISTORICAL ASSOCIATIONS (ethnic b)

EXPLANATION OF EVALUATION ()

BIBLIOGRAPHIC REFERENCES (At
 give FSF Manuscript Number, or loc)



PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R23, F11-12

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY*	y	n	pe	u	Date
		SHPO-NR ELIGIBILITY*	y	n	pe	u	Date
DELIST DATE		LOCAL DESIGNATION*					Date
		Local office					

* y=Yes; n=No; pe=Potentially Eligible; u=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

315 W. Lee Street





**Architectural Review Board Application
Full Board Review**

Application Date: 02-02-2023

Project Address: 315 W. Lee St. Pensacola, FL. 33501

Applicant: Walcott Adams Verneuille Architects

Applicant's Address: One South School St. Fairhope, AL 36532

Email: dio@wavarchitects.com **Phone:** 251-928-6041

Property Owner: Allison & Richard Buckley

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

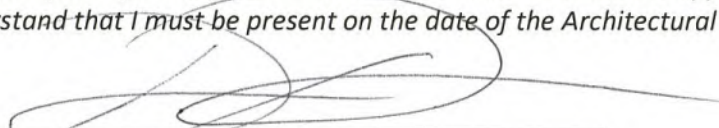
- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Extensive restoration and owner's suite addition to beautiful Art Deco residence from 1933. A pool house will also be added to the property.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

 02-02-2023

Applicant Signature Date

ARB Presentation
February 16, 2023



A Home Renovation & Addition to
M. J. Clement House

For Allison and Richard Buckley
315 West Lee Street
Pensacola, FL 32501

W

WALCOTT
ADAMS
VERNEUILLE

ARCHITECTURE|INTERIORS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
Copyright 2023 Walcott Adams Verneuille Architects, Inc.	

T1.1

Title

W

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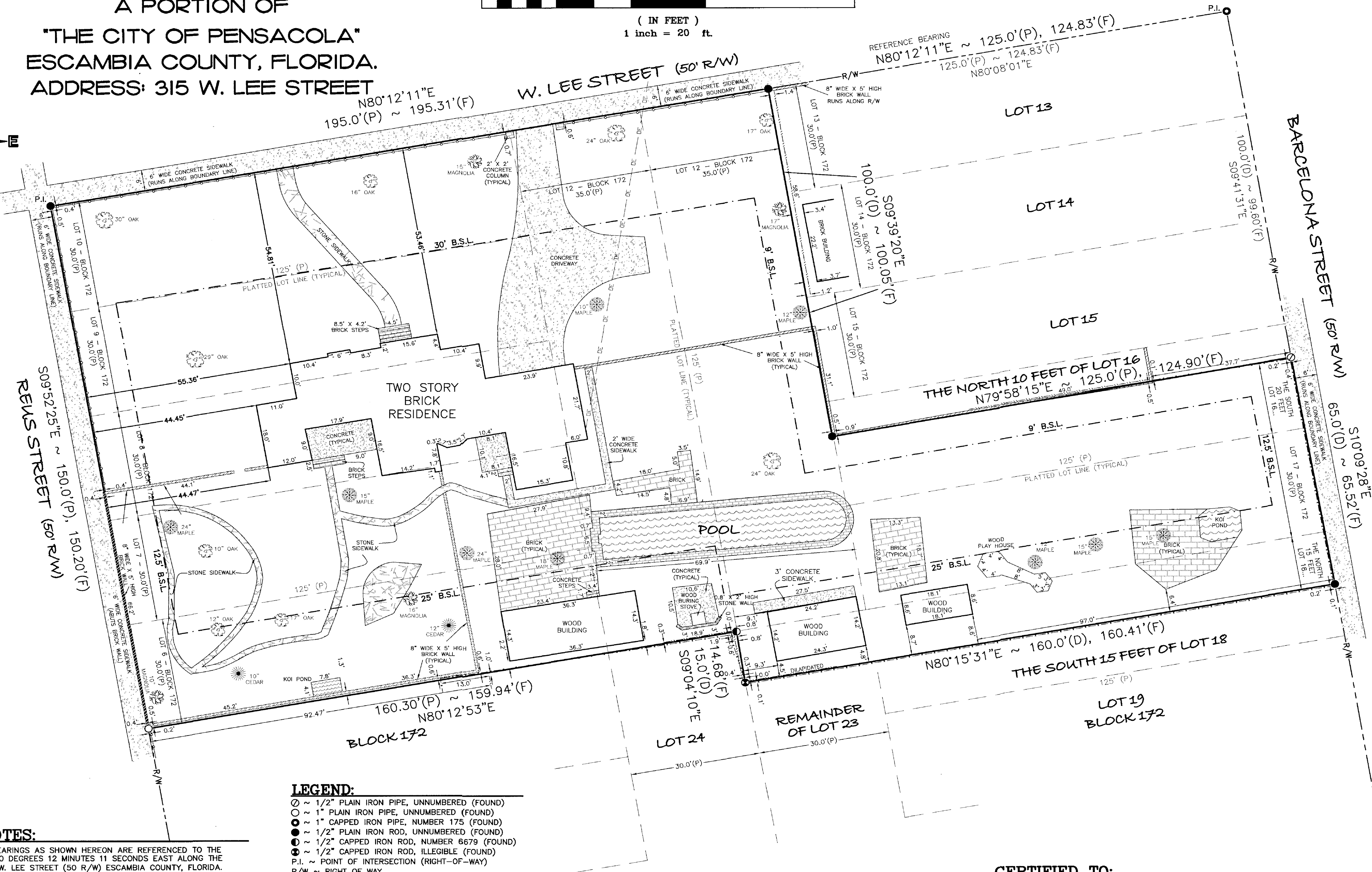
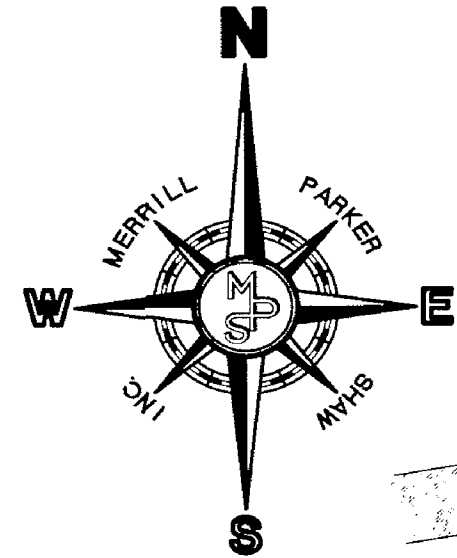
BOUNDARY SURVEY

A PORTION OF
"THE CITY OF PENSACOLA"
ESCAMBIA COUNTY, FLORIDA.
ADDRESS: 315 W. LEE STREET

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



LEGEND:

- 1/2" PLAIN IRON PIPE, UNNUMBERED (FOUND)
- 1" PLAIN IRON PIPE, UNNUMBERED (FOUND)
- 1" CAPPED IRON PIPE, NUMBER 175 (FOUND)
- 1/2" PLAIN IRON ROD, UNNUMBERED (FOUND)
- 1/2" CAPPED IRON ROD, NUMBER 6679 (FOUND)
- 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- P.I. ~ POINT OF INTERSECTION (RIGHT-OF-WAY)
- R/W ~ RIGHT OF WAY
- O.R. ~ OFFICIAL RECORDS
- (P) ~ PLATTED INFORMATION (CITY OF PENSACOLA)
- (F) ~ FIELD MEASUREMENT/ INFORMATION
- (D) ~ DEED / INFORMATION
- INDICATES NOT TO SCALE
- OVERHEAD ELECTRIC LINE
- 6" HIGH WOOD PRIVACY FENCE
- 8" HIGH WOOD PRIVACY FENCE
- 5" HIGH WOOD FENCE
- 4" HIGH WROUGHT IRON FENCE

SURVEYOR'S NOTES:

- THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 80 DEGREES 12 MINUTES 11 SECONDS EAST ALONG THE SOUTH RIGHT OF WAY LINE OF W. LEE STREET (50 R/W) ESCAMBIA COUNTY, FLORIDA.
- SOURCE OF INFORMATION: THE DEEDS OF RECORD OF ESCAMBIA COUNTY, FLORIDA; AND EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.
- ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
- THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.
- THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.
- THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.

DESCRIPTION: (O.R. BOOK 6921, AT PAGE 720)

LOTS 6 TO 12, INCLUSIVE, THE SOUTH 20 FEET OF LOT 16, ALL OF LOT 17, THE NORTH 15 FEET OF LOT 18, AND THE NORTH 15 FEET OF LOT 23, BLOCK 172, CLAPP TRACT, ACCORDING TO MAP OF THE CITY OF PENSACOLA, COPYRIGHT BY THOMAS C. WATSON IN 1906.

CERTIFIED TO:

RICHARD AND ALLISON BUCKLEY
SOUTHSTATE BANK, NA
FIRST AMERICAN TITLE INSURANCE COMPANY
BEGGS & LANE, RLLP
THAT THE SURVEY SHOWN HEREON MEETS THE FLORIDA STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN THE STATE OF FLORIDA, ACCORDING TO FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.051 AND 5J-17.052, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

MERRILL PARKER SHAW, INC.
4928 N. DAVIS HIGHWAY, PENSACOLA, FL. 32503

E. Wayne Parker 7/1/22
E. WAYNE PARKER, PROFESSIONAL LAND SURVEYOR
REGISTRATION NUMBER 3683 CORPORATE NUMBER 7174
STATE OF FLORIDA

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E. WAYNE PARKER, P.L.S. NO. 3683, CORPORATE NO. 7174, STATE OF FLORIDA

BOUNDARY SURVEY

MERRILL PARKER SHAW, INC.

PROFESSIONAL SURVEYING SERVICES

4928 N. DAVIS HWY. PH (850) 478-4923

PENSACOLA, FL 32503 FAX (850) 478-4924

FLORIDA CORPORATION NUMBER 7174

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR

REVISIONS:

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DATE

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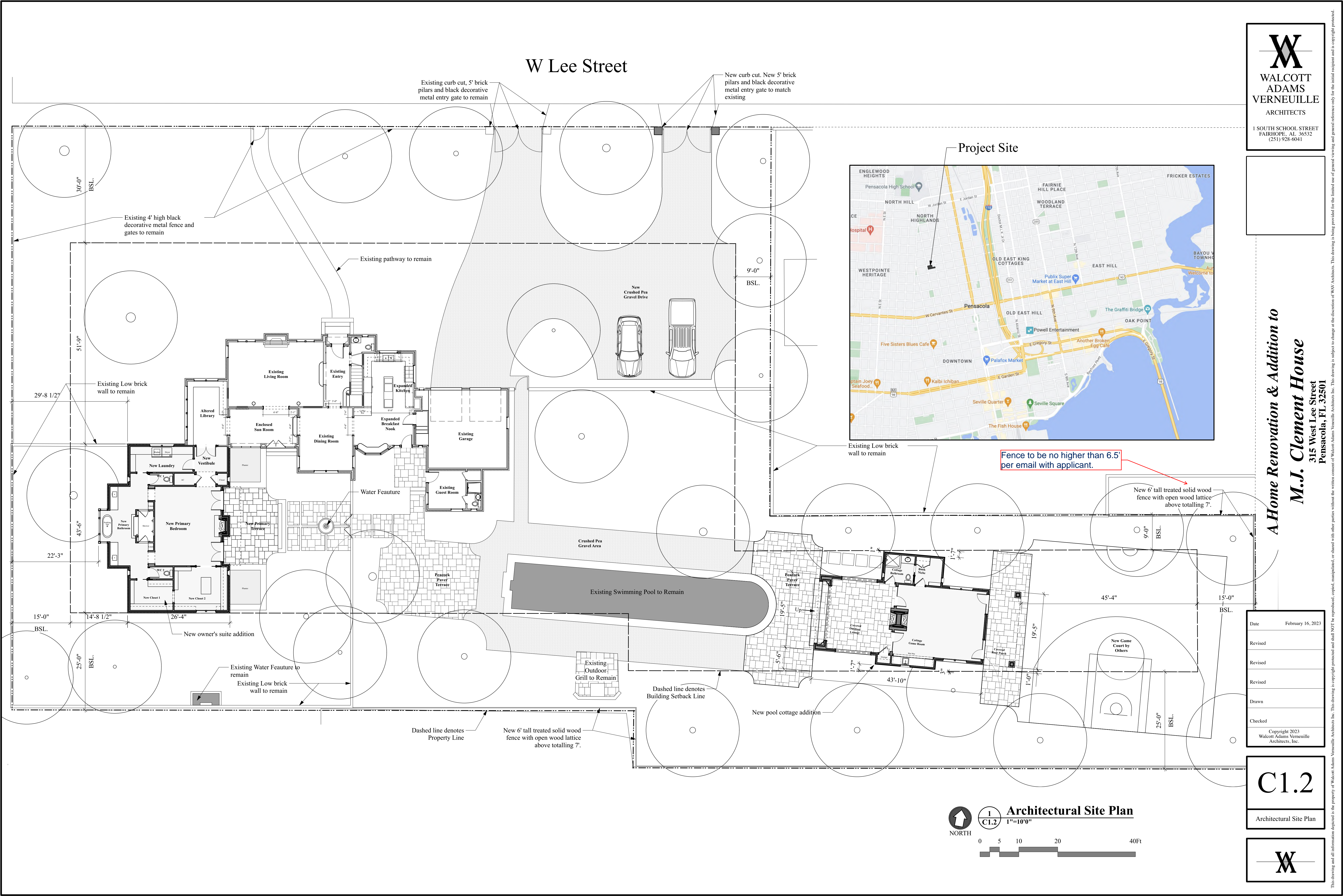
NO.

REVISIONS:

APPR.

DATE

NO.



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WALCOTT
ADAMS
VERNEUILLE
ARCHITECTS

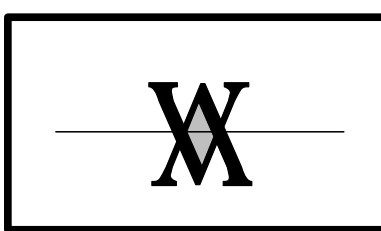
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
Copyright 2023 Walcott Adams Verneuille Architects, Inc.	

C1.2

Architectural Site Plan



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M. J. Clement
House (Lee Street
Elevation)

315 W. Lee St.



320 W. Lee St.



Project Site



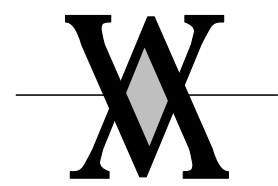
Partial Site Map



1325 N. Reus St.

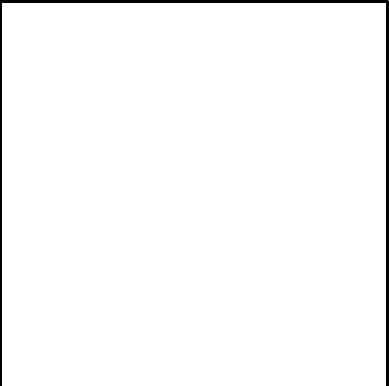


1401 N. Reus St.



WALCOTT
ADAMS
VERNEVILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

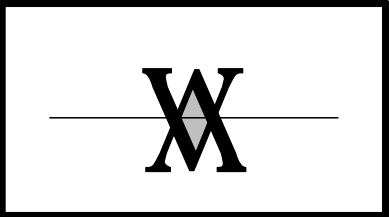


A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
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C1.3

Site Context Images



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1325 N. Barcelona St.



1401 N. Barcelona St.



 **Partial Site Map**

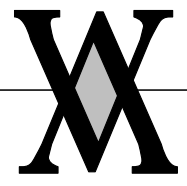
Project Site



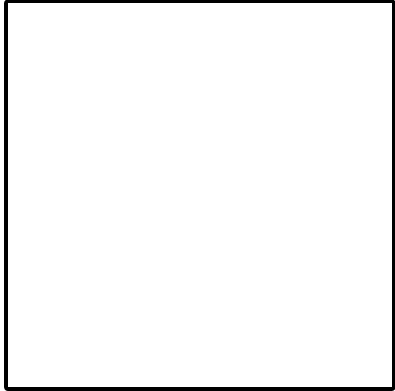
1310 N. Barcelona St.



1400 N. Barcelona St.



**WALCOTT
ADAMS
VERNEUILLE**
ARCHITECTS
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

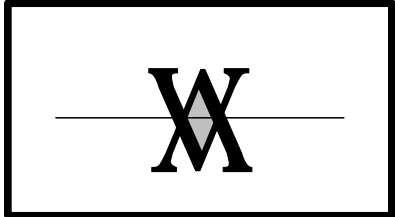


A Home Renovation & Addition to
M.J. Clement House
 315 West Lee Street
 Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
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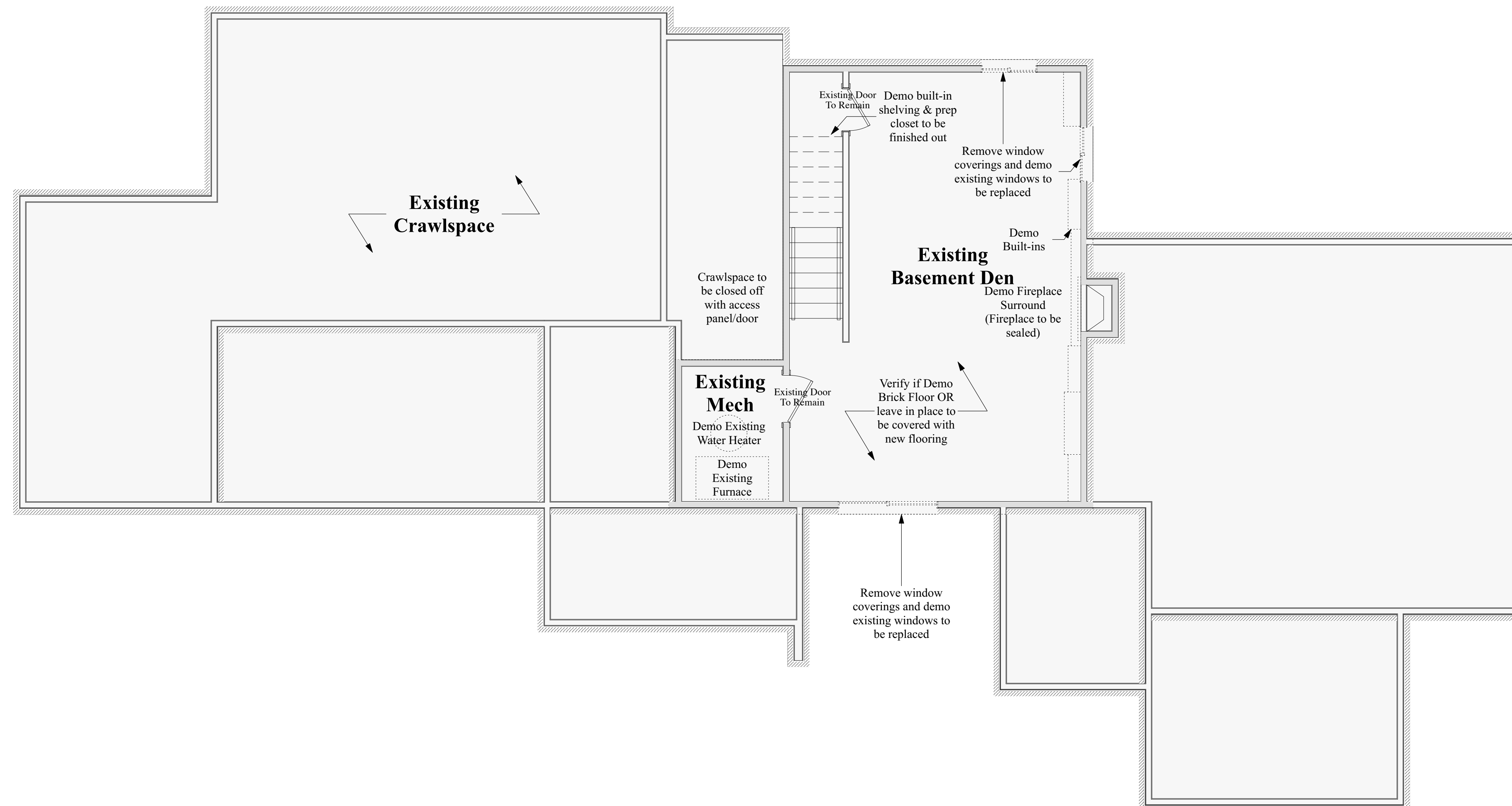
C1.4

Site Context Images



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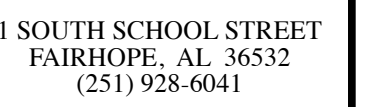
All windows and exterior doors to be removed. Ref floor plans to verify size of new impact units.



Existing Basement Demo

1/4"=1'-0"

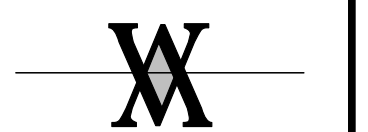
0 2 4 8 16Ft



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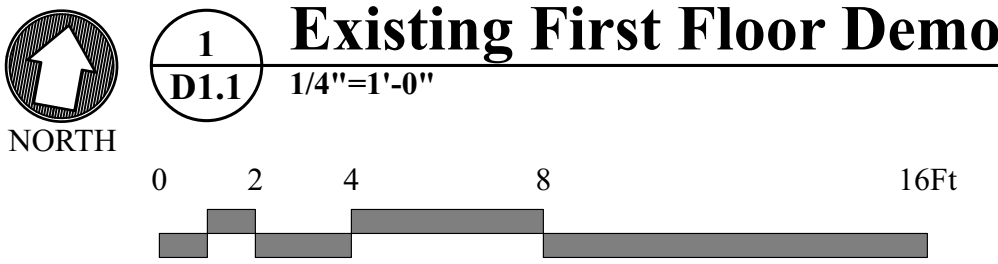
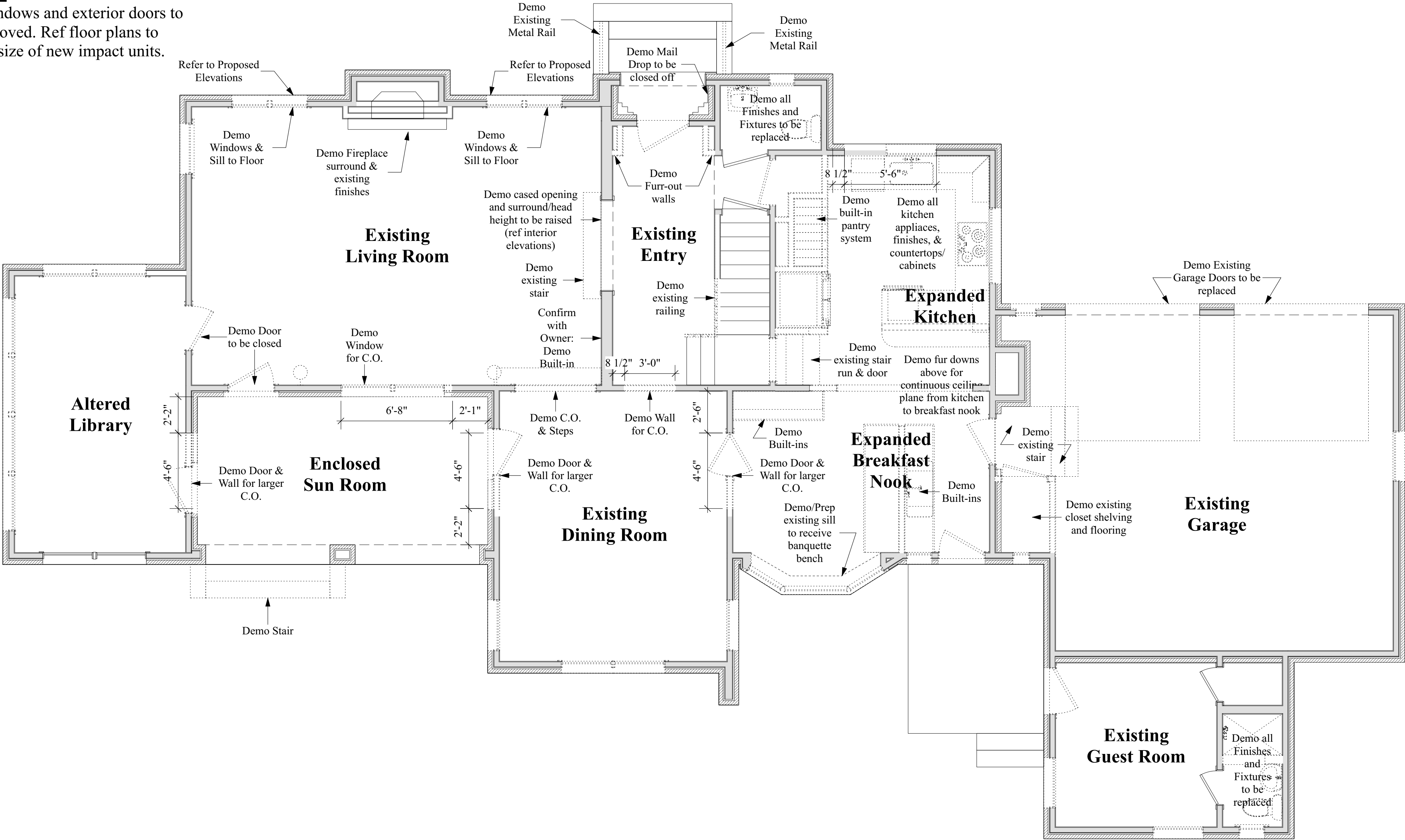
D1.0

Basement Demo



NOTE:

All windows and exterior doors to be removed. Ref floor plans to verify size of new impact units.



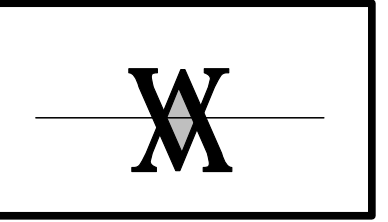
Existing First Floor Demo

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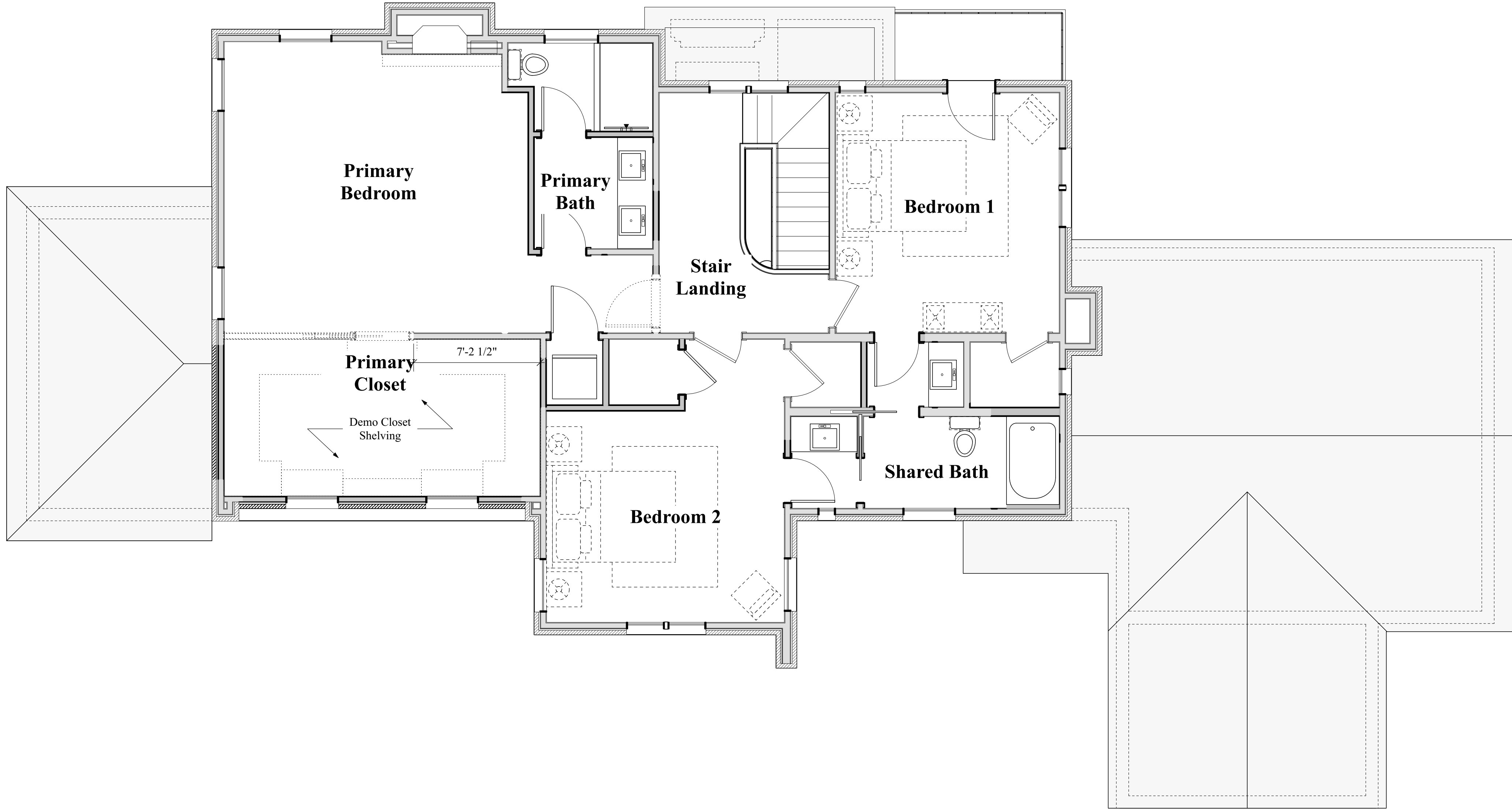
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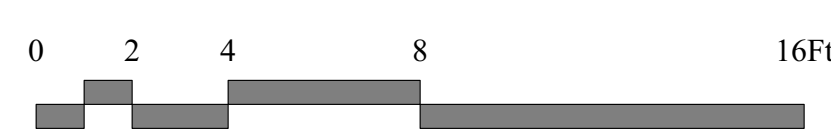
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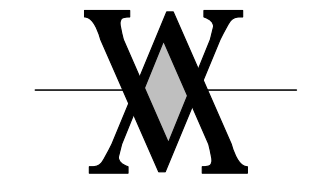
First Floor Demo



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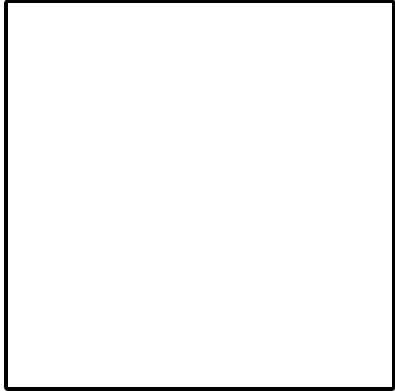


 NORTH

Existing Second Floor Demo
1
D1.2
1/4"=1'-0"



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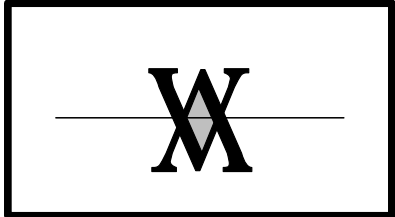


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Second Floor Demo



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FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"

W

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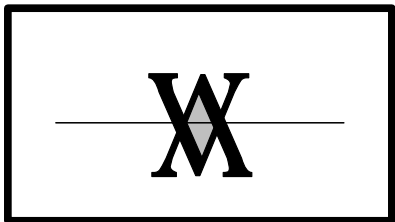
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D1.3

Existing Elevations



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FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"

W

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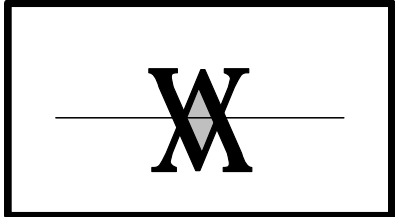
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Existing Elevations



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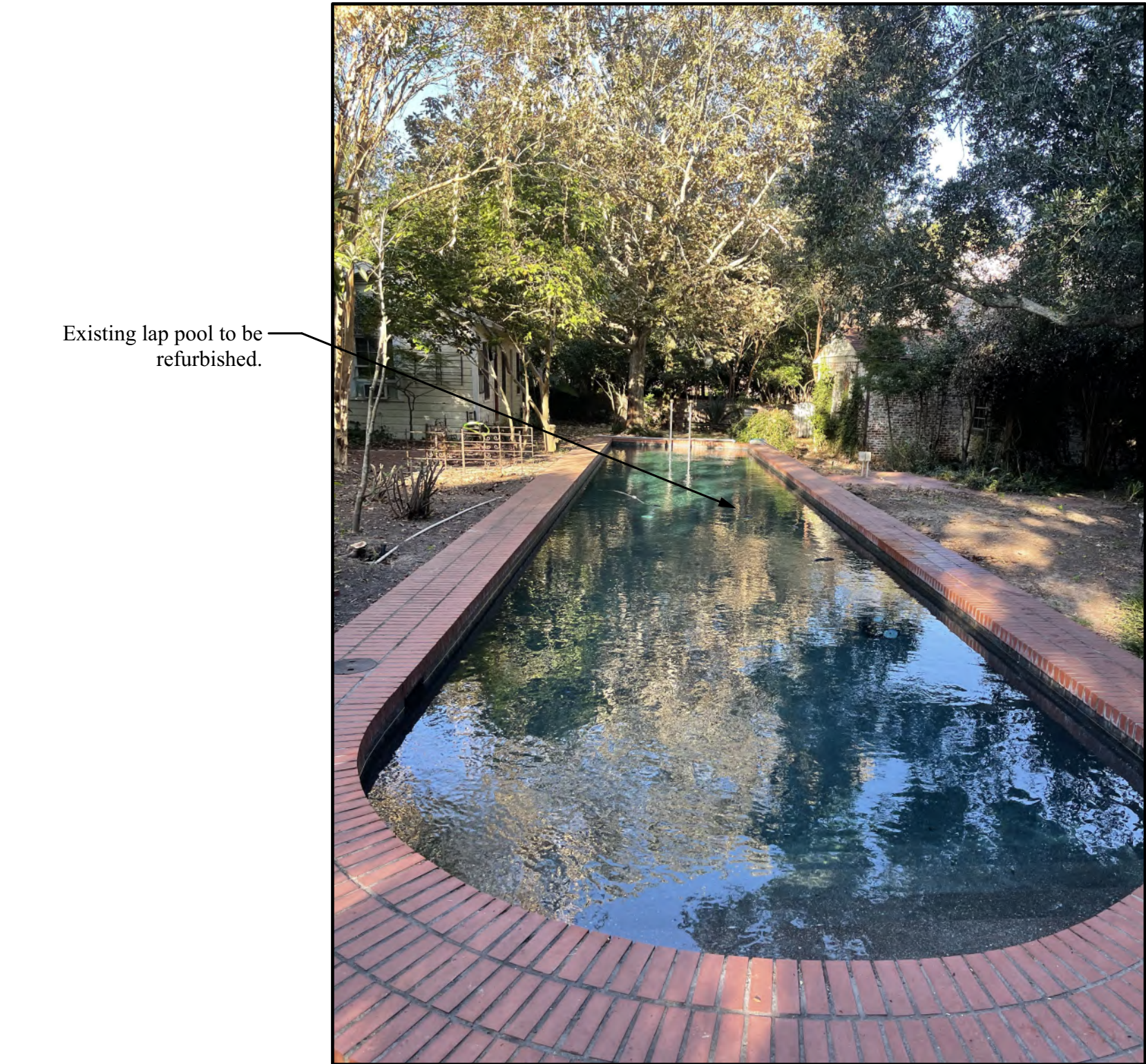
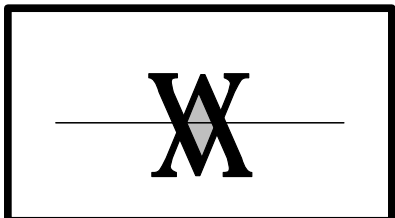


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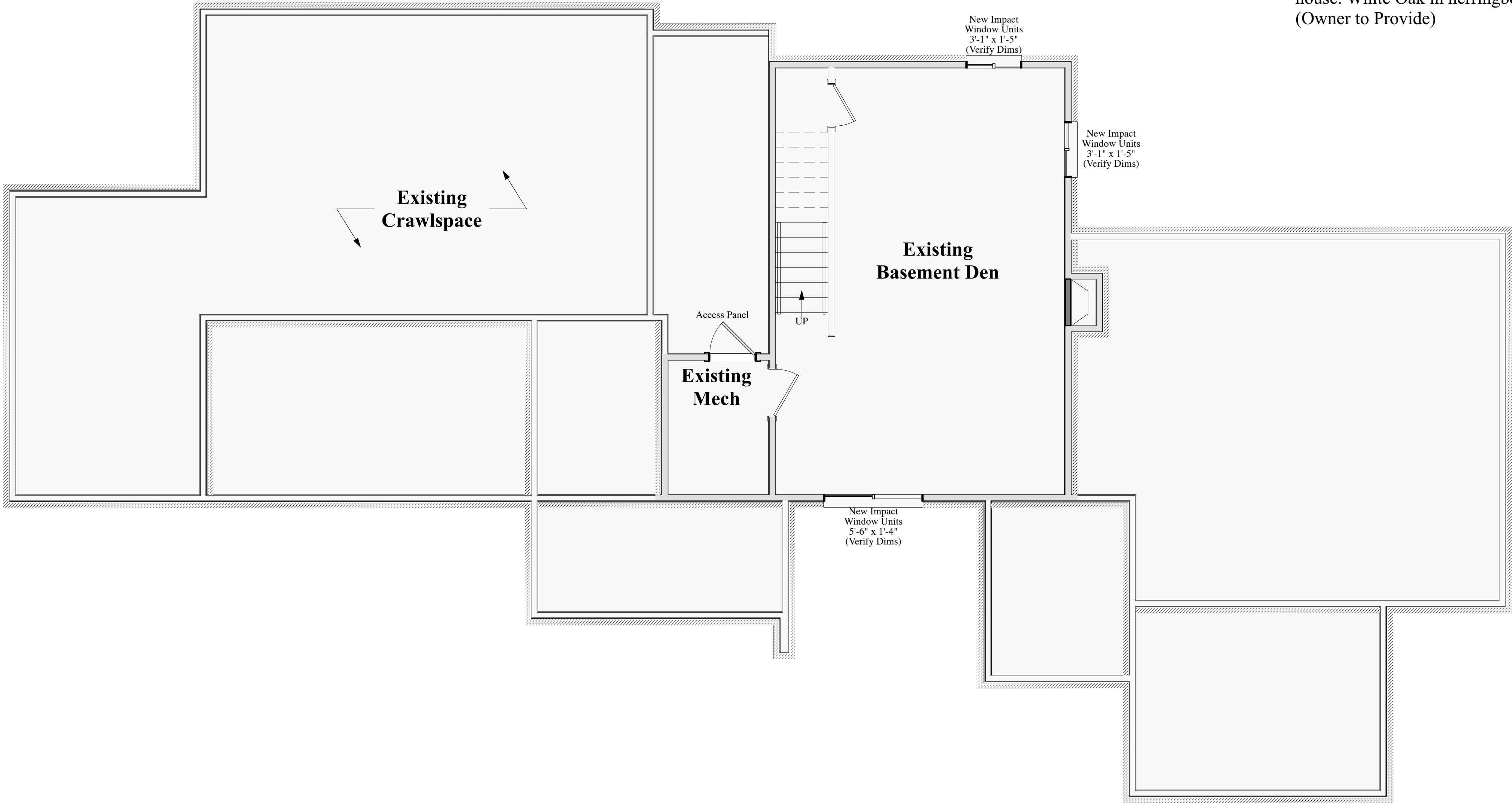
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D1.5
Existing Home Images

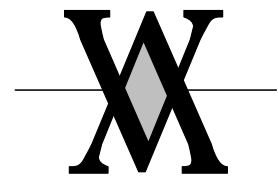


Square Footage - Main House	
BASEMENT	
Existing Living H/C	475 s.f.
FIRST FLOOR	
Existing Living H/C	1,832 s.f.
Proposed Living H/C	1,248 s.f.
New Total First Floor	<u>3,080 s.f.</u>
SECOND FLOOR	
Existing Living H/C	1,367 s.f.
New TOTAL H/C	<u>4,922 s.f.</u>



NOTE:
New wood floors throughout the entire house. White Oak in herringbone pattern (Owner to Provide)

 **1**
A1.0 **Proposed Basement Floor Plan**
1/4"=1'-0"
0 2 4 8 16Ft



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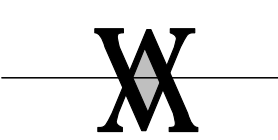
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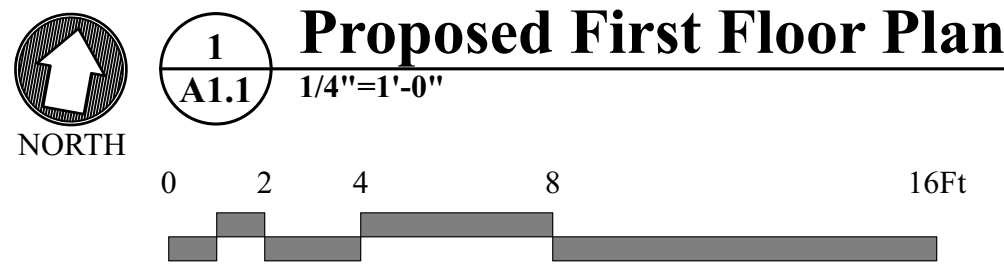
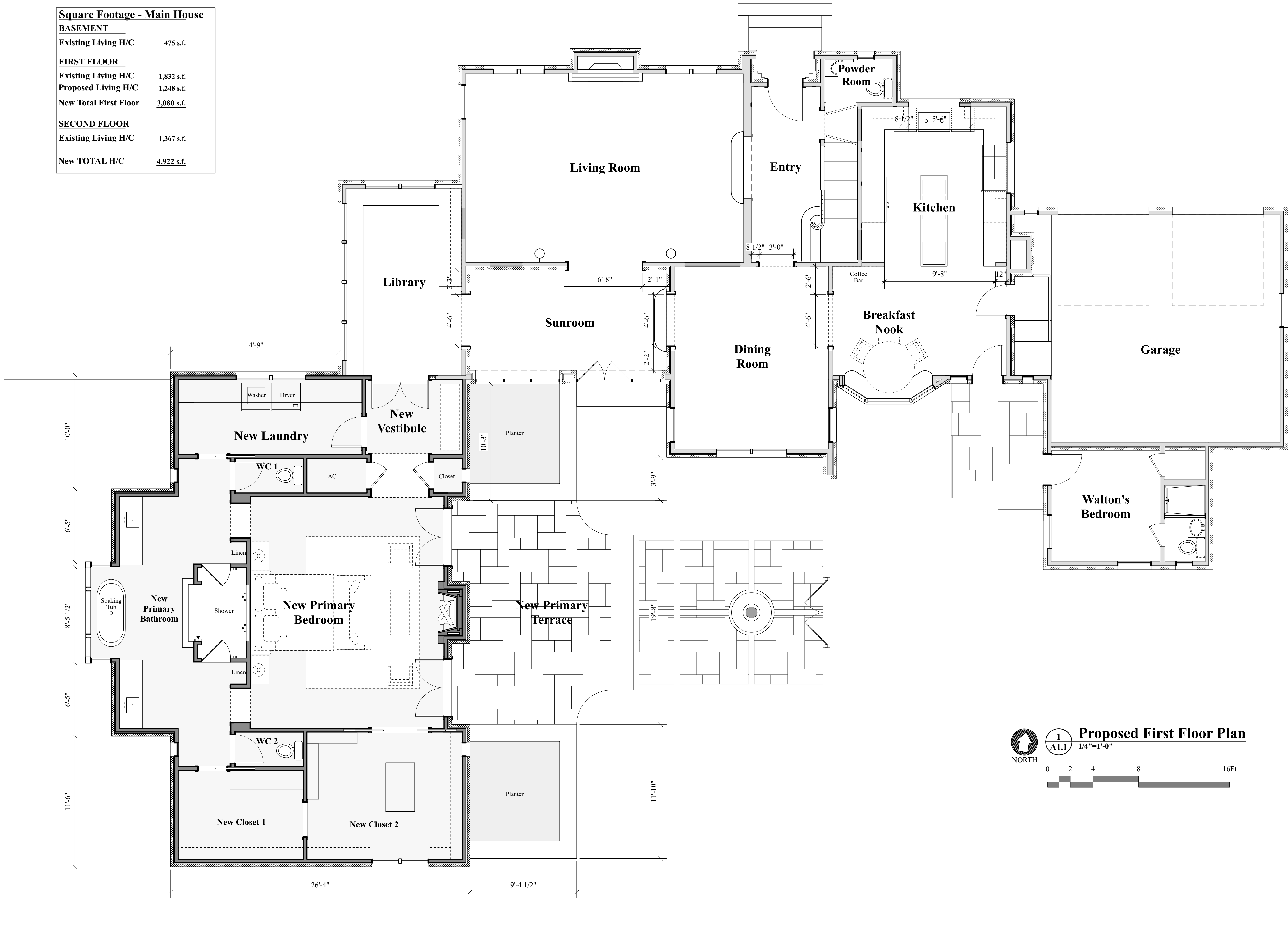
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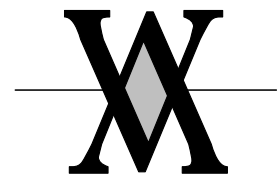
Proposed
Basement Plan



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Existing Living H/C	1,367 s.f.
New TOTAL H/C	<u>4,922 s.f.</u>





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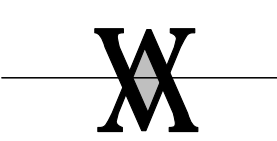
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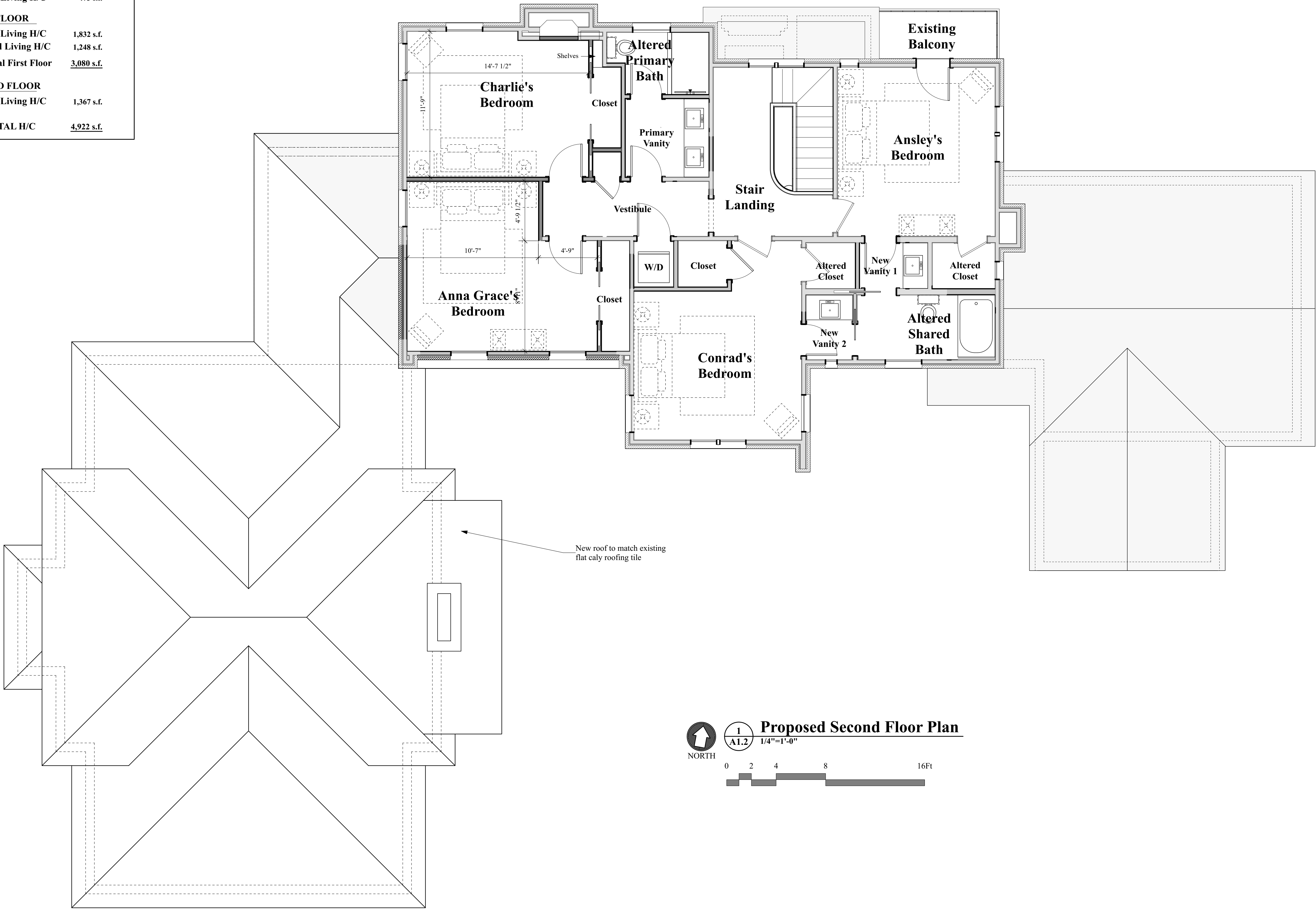
A1.1


Proposed First Floor
Plan

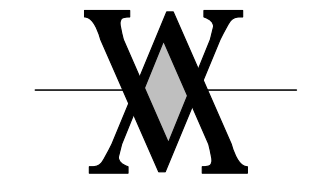


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SECOND FLOOR	
Existing Living H/C	1,367 s.f.
New TOTAL H/C	<u>4,922 s.f.</u>



 **1**
A1.2 Proposed Second Floor Plan
1/4"=1'-0"
0 2 4 8 16Ft



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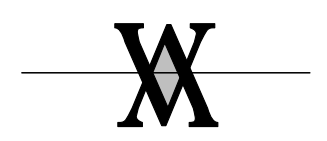
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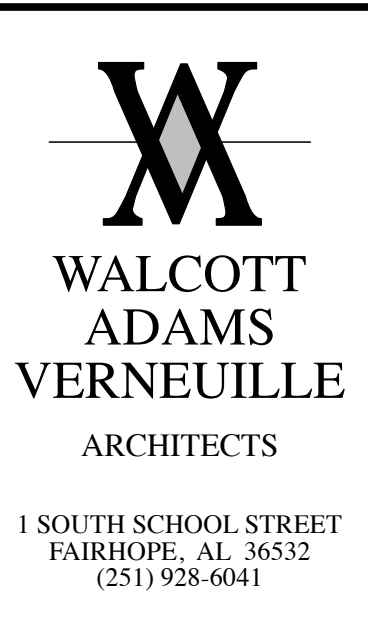
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A1.2

Proposed Second Floor
Plan



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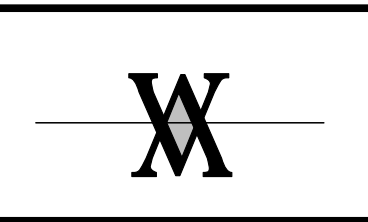
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A3.0

Historic References



Windows: Impact Rated Marvin Signature Aluminum Clad exterior with Wood interior



Exterior



Pebble Gray
Exterior Finish



Primed White
Interior Finish



Interior



Brickmold

All existing and proposed lap siding to be painted in color: OC-45 Swiss Coffee

HARDIE® PLANK LAP SIDING
SELECT CEDARMILL®
Our natural cedar look has a soft texture



THICKNESS:	0.312"	WIDTHS:	8.25"
LENGTH:	144" boards	EXPOSURES:	7"

Simulated Divided Lite with Spacer Bar (SDLS)



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

Garage Doors: Clopay Impact & insulated. Classic Steel Premium Series



LONG WITH RECTANGULAR GRILLES



ELEGANT LONG
3-LAYER DOORS



Site Fencing: Treated wood fence. 6' to top of solid panels and 7' to top of fence



Doors: Impact Rated Marvin Signature Aluminum Clad exterior with Wood interior



Exterior



Pebble Gray
Finish



Interior

Entry Door: Avoriaz French Collection by Belim



Light Oak

W

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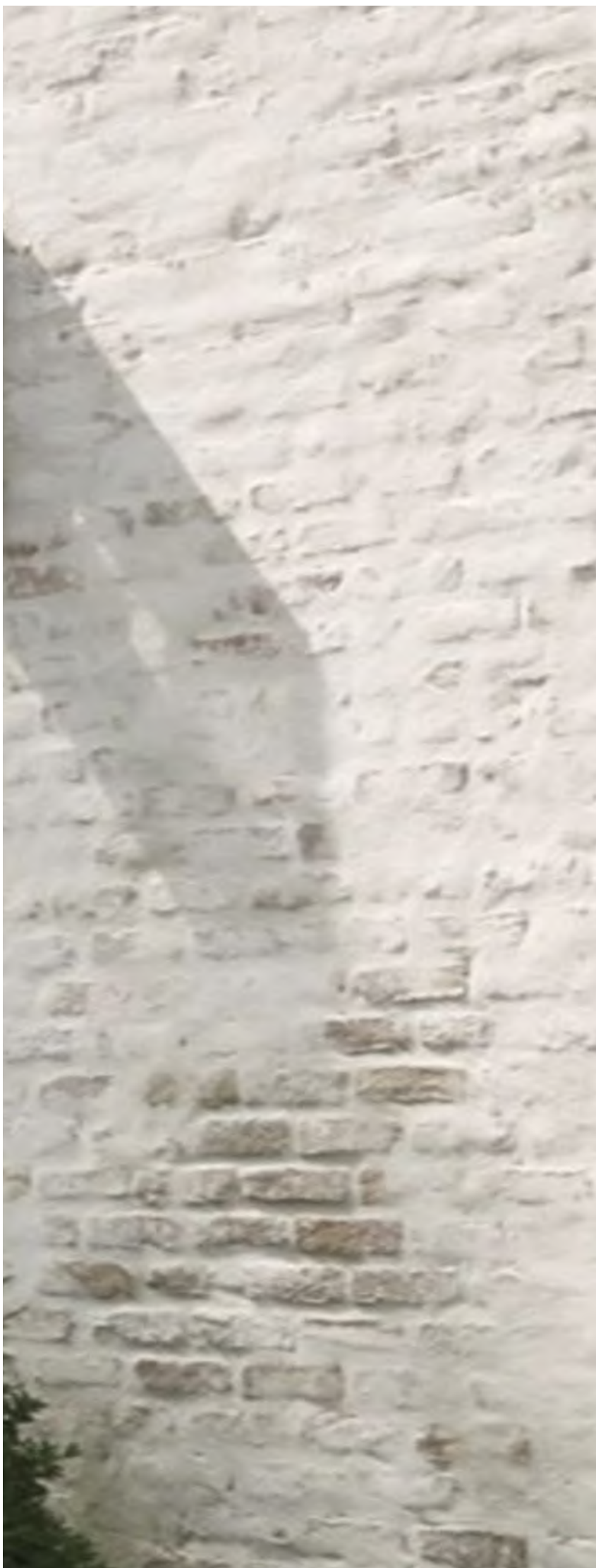
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Windows & Doors

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Brick Walls: Mortar Wash



Roofing: Red Clay flat tiles



(Image of Existing Roof)

Trim: Benjamin Moore OC-45



Swiss Coffee

Outdoor Lighting: Gas & Electrified versions of Flambeaux Colonial



Gutters & Downspouts: Copper



Railing: Painted metal - Black



Precast Stone: Ventura Cast Stone - Ogee



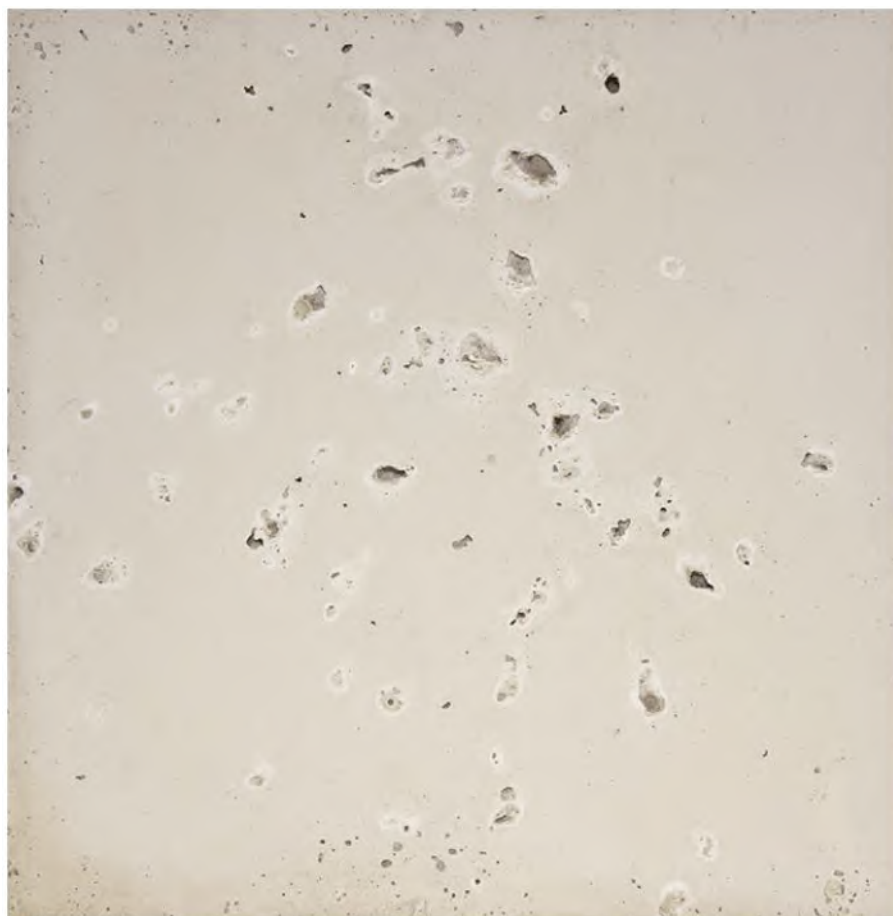
Water Feature:



Drives & Garden: Pea Gravel Kolorscape - Grey



Outdoor Pavers: Peacock Pavers in Champagne



Gate pilars: Existing 5' pillar to imitate at new gate location



W

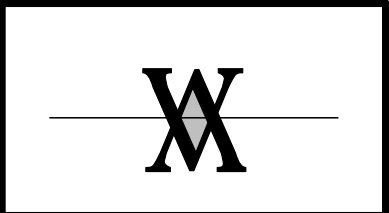
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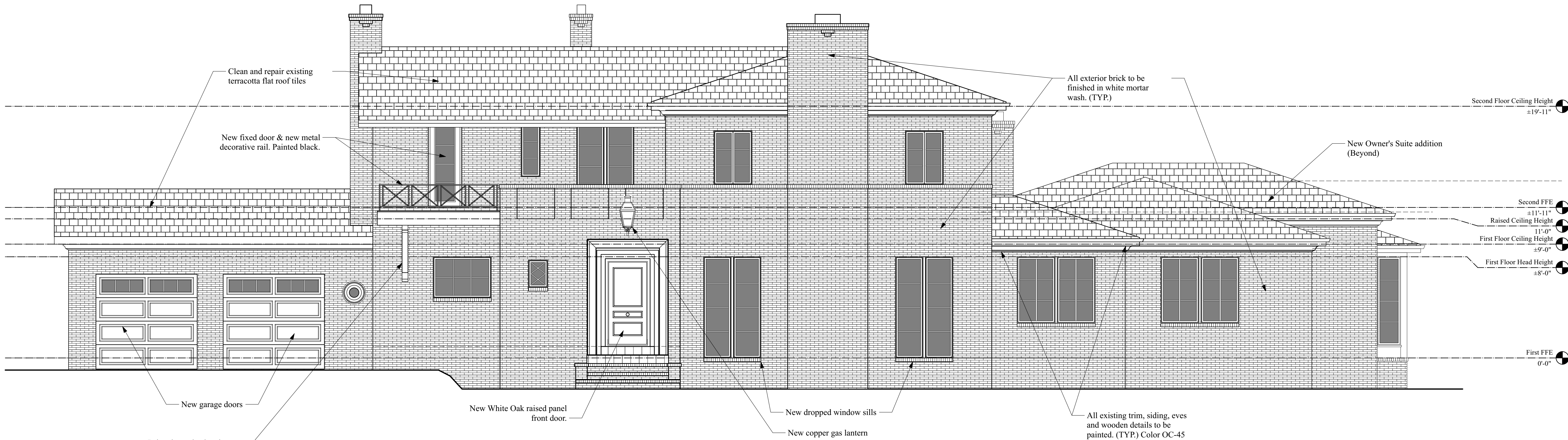
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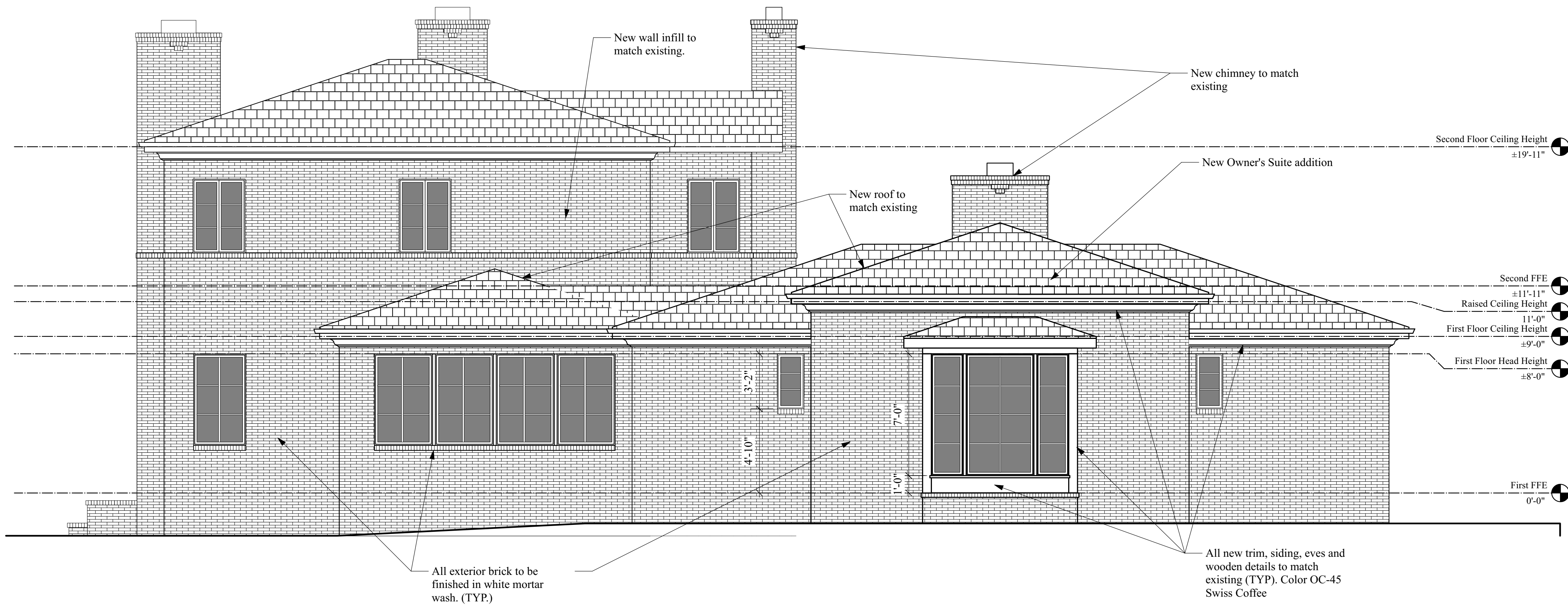
A3.2
Exterior Finishes



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1
A3.3 North - W. Lee St. Elevation



2
A3.3 West - N. Reus St. Elevation

W

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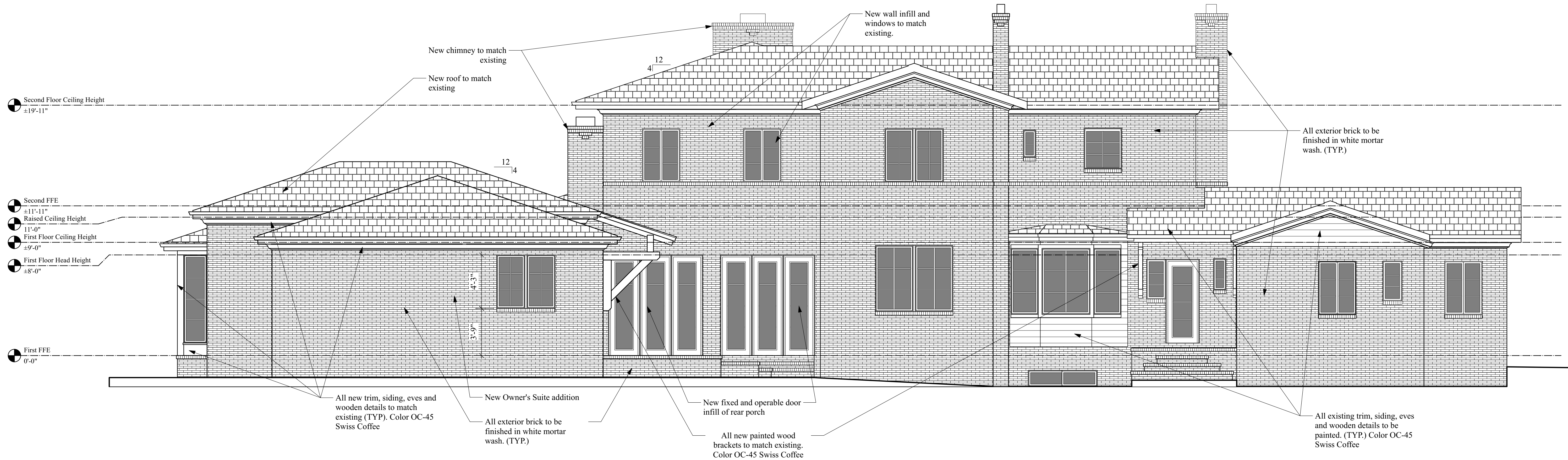
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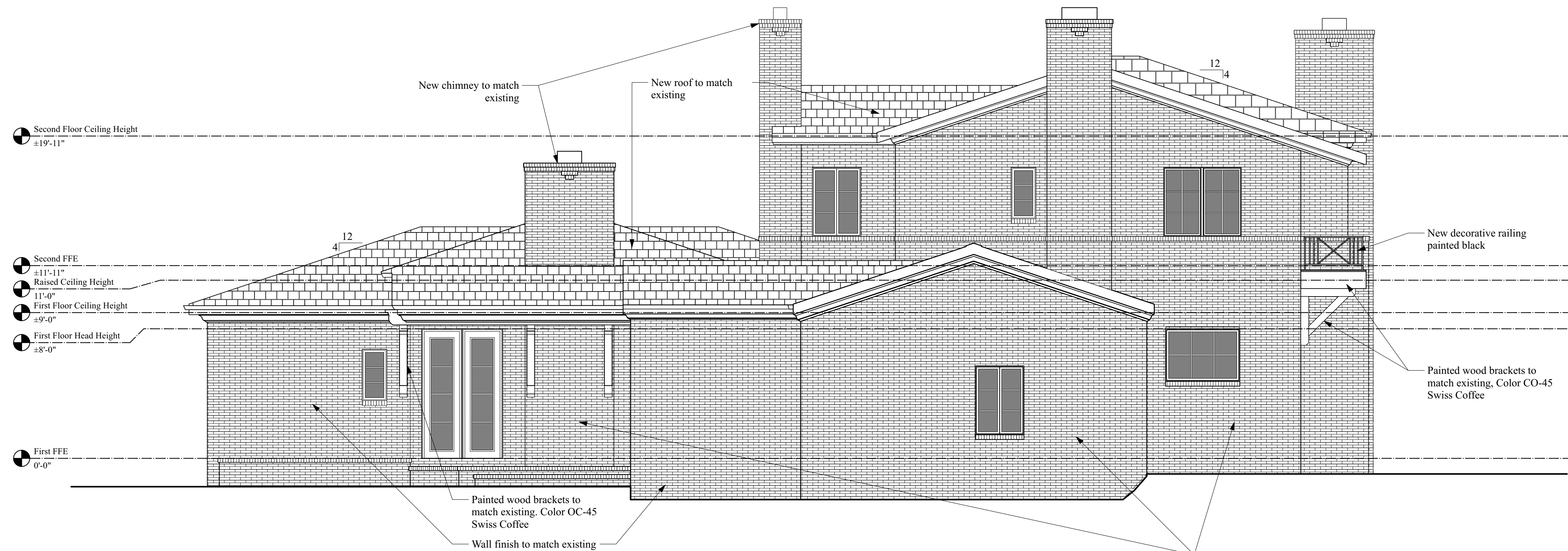
Proposed Elevations

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1
A3.4 South - Rear Yard Elevation



2
A3.4 East - Side Yard Elevation

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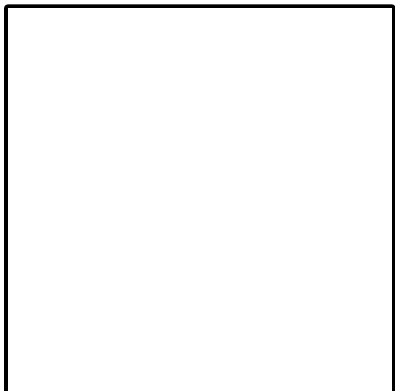
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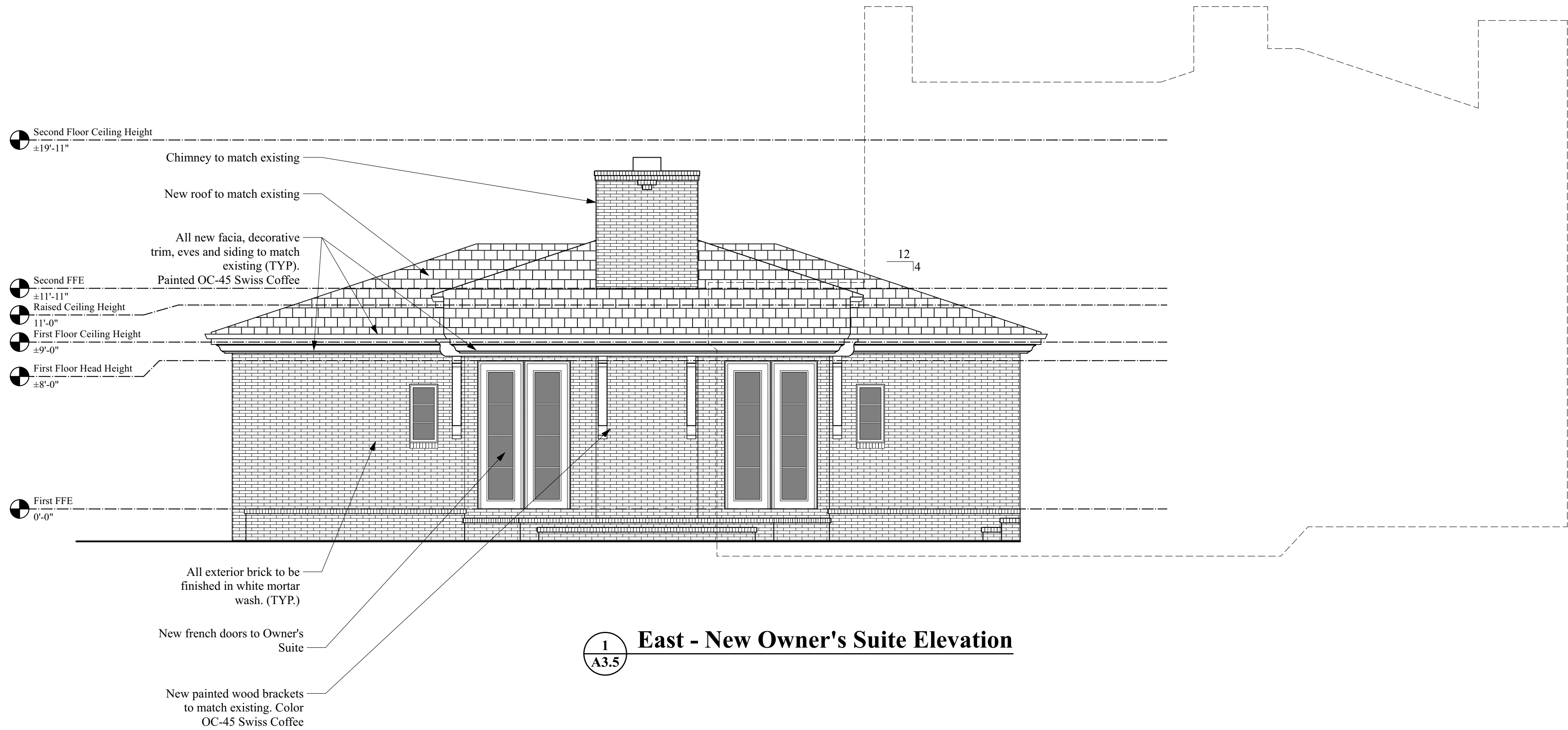
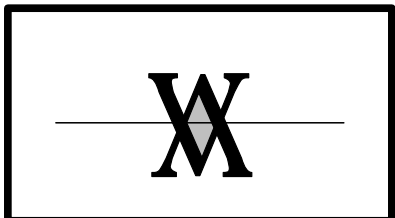
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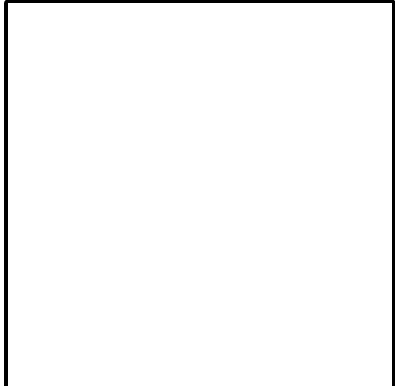
Proposed Elevations



1

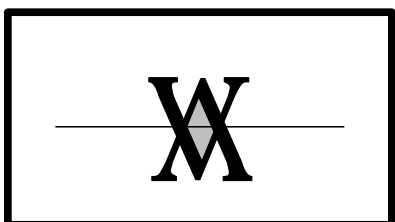
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East - New Owner's Suite Elevation

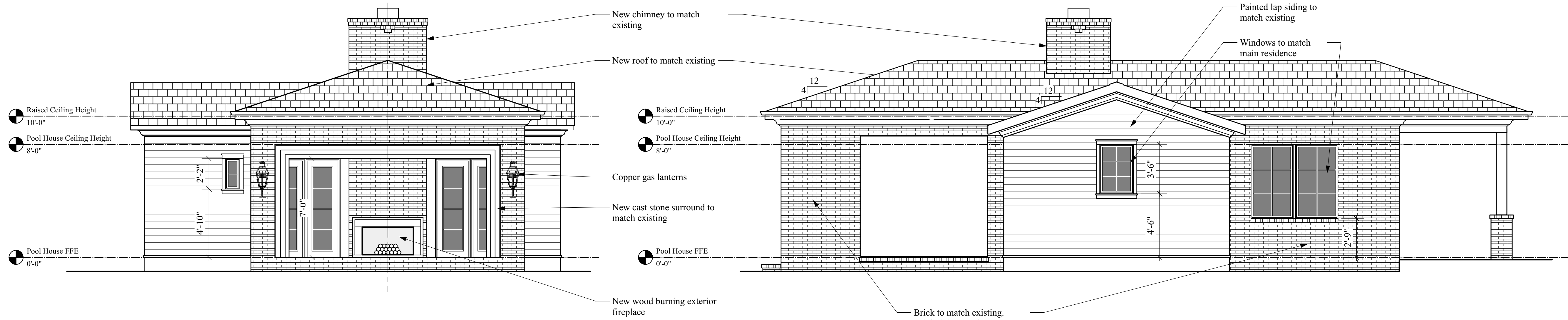


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A3.6
Proposed Elevations

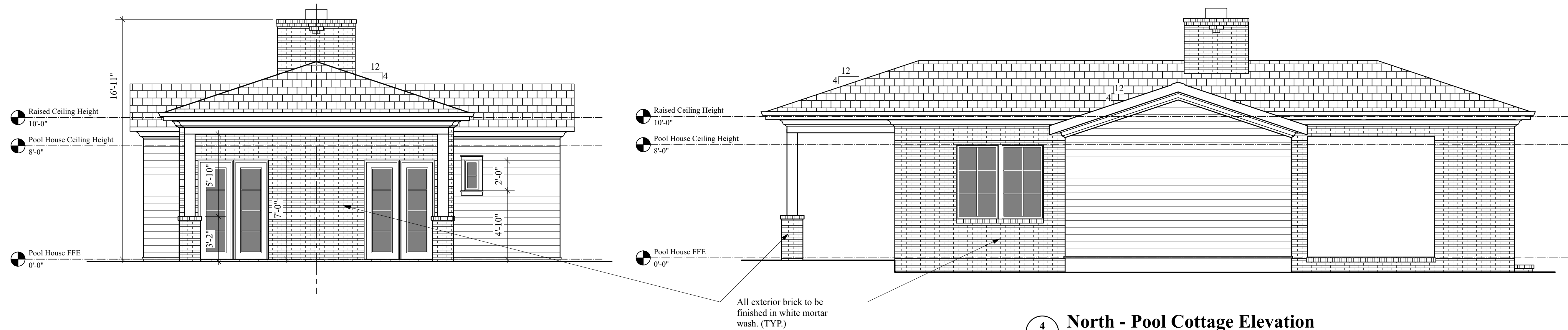


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1 West - Pool Cottage Elevation
A3.6

2 South - Pool Cottage Elevation
A3.6



3 East - Pool Cottage Elevation
A3.6

4 North - Pool Cottage Elevation
A3.6



North - W Lee Street Elevation



South - Rear Yard Elevation

W

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A Home Renovation & Addition to

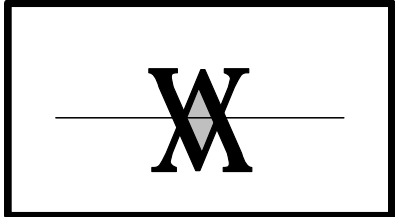
M.J. Clement House

315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
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A4.1

Building Elevations



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East - Side Yard Elevation



East - Owner's Wing Partial Elevation

W

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ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
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A4.2

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149



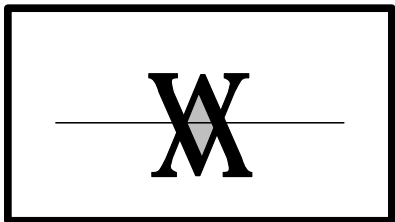
West - N Reus Street Elevation

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
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A4.3

Building Elevations



W
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West - Pool Cottage Elevation



East - Pool Cottage Elevation



South - Pool Cottage Elevation



North - Pool Cottage Elevation

W

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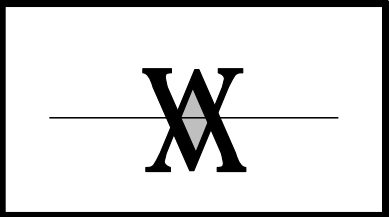
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

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Revised	
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A4.4

Building Elevations



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East - Courtyard Perspective



South - Courtyard Perspective



West - Pool Cottage Perspective



East - Pool Cottage Perspective

W

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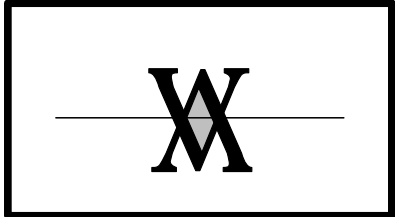
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to
M.J. Clement House
315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
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Revised	
Drawn	
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A4.5

Building Elevations



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Northwest - Aerial View



Southwest - Aerial View

W

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ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041

A Home Renovation & Addition to

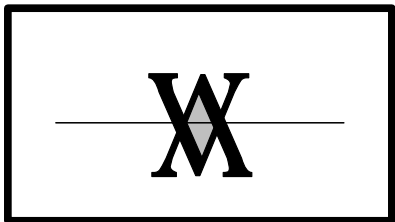
M.J. Clement House

315 West Lee Street
Pensacola, FL 32501

Date	February 16, 2023
Revised	
Revised	
Revised	
Drawn	
Checked	
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A4.6

Building Elevations



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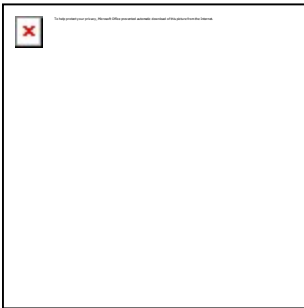
Gregg Harding

From: Diosdado Perera <dio@wavarchitects.com>
Sent: Thursday, February 2, 2023 8:09 AM
To: Gregg Harding; Adrienne Walker
Subject: [EXTERNAL] Window package for Buckley residence
Attachments: BUCKLEY RESIDENCE - MARVIN WINDOWS & DOORS - PHASE ONE PRELIMINARY.pdf;
BUCKLEY RESIDENCE - MARVIN WINDOWS & DOORS - PHASE TWO PRELIMINARY.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Good morning Gregg,

I forgot to attache the preliminary window package from our vendor in yesterday's email. Please note that this was done early one before we found the photographs showing what the original window actually looked like. So this quote is currently being redone to reflect the muntin patterns shown in our proposed elevations. We are also going with all casement windows. But the product and performance specs are all the same. I am having this redone and can get it to you as soon as I have it back. Thank you



DIOSDADO PERERA

Walcott Adams Verneuille Architects
One South School Street
Fairhope, AL 36532
Phone 251-928-6041 Fax 251-928-6045
www.wavarchitects.com

BUCKLEY RESIDENCE MARVIN WINDOWS & DOORS – PHASE ONE PRELIMINARY

Quote #: PPW8U7M

A Proposal for Window and Door Products prepared for:

Shipping Address:

BLUE WATER LUMBER LLC
600 WESTERN DR
MOBILE, AL 36607



JEFF HALL

BLUE WATER LUMBER LLC

PO BOX 1224

DAPHNE, AL 36526-1224

Phone: (251) 621-9633

Fax: (251) 621-9634

Email: jhall@bluewaterlumber.com

This report was generated on 1/20/2023 2:24:26 PM using the Marvin Order Management System, version 0003.50.01 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Featuring products from:



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 34	TOTAL UNIT QTY: 45	EXT NET PRICE: USD	99,646.61
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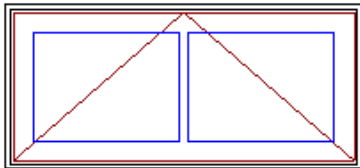
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	BASEMENT	Ultimate	Awning RO 38" X 17 1/2"	1,015.01	2	2,030.02
2	BASEMENT	Ultimate	Marvin Assembly RO 67" X 17 1/2"	1,982.96	1	1,982.96
3	LIVING ROOM	Ultimate	Marvin Assembly RO 55" X 96 1/2"	5,044.37	2	10,088.74
4	LIVING ROOM	Ultimate	Double Hung G2 RO 38" X 63 1/2"	1,967.96	1	1,967.96
5	LIBRARY	Ultimate	Marvin Assembly RO 75" X 63 1/2"	3,940.00	2	7,880.00
6	LIBRARY	Ultimate	Marvin Assembly RO 161" X 63 1/2"	8,442.78	1	8,442.78
7	DINING ROOM	Ultimate	Double Hung G2 RO 38" X 63 1/2"	1,967.96	2	3,935.92
8	DINING ROOM	Ultimate	Marvin Assembly RO 75" X 63 1/2"	3,940.00	1	3,940.00
9	BREAKFAST	Ultimate	Double Hung G2 RO 29" X 63 1/2"	1,748.30	2	3,496.60
10	BREAKFAST	Ultimate	Double Hung G2 RO 49" X 63 1/2"	2,530.73	1	2,530.73
11	BREAKFAST	Ultimate	Double Hung G2 RO 19" X 38 1/2"	1,132.36	1	1,132.36
12	LANDING	Ultimate	Direct Glaze Rectangle RO 13" X 30 1/2"	610.52	1	610.52
13	GUEST ROOM	Ultimate	Casement RO 37" X 51 1/2"	1,838.35	2	3,676.70
14	GUEST BATH	Ultimate	Double Hung G2 RO 19" X 39 1/2"	1,084.60	1	1,084.60
15	GARAGE	Ultimate	Double Hung G2 RO 37" X 51 1/2"	1,727.16	1	1,727.16
16	GARAGE	Ultimate	Direct Glaze Rectangle RO 13" X 39 1/2"	685.55	1	685.55
17	KITCHEN	Ultimate	Double Hung Picture G2 RO 56" X 39 1/2"	1,396.32	2	2,792.64
18	POWDER	Ultimate	Casement RO 19" X 26 1/2"	860.17	1	860.17
19	STAIR LANDING	Ultimate	Marvin Assembly RO 55" X 63 1/2"	3,359.50	1	3,359.50
20	PRIMARY BATH	Ultimate	Double Hung G2 RO 38" X 51 1/2"	1,743.53	1	1,743.53
21	PRIMARY BED	Ultimate	Casement RO 37" X 51 1/2"	1,838.35	3	5,515.05
22	PRIMARY CLOSET	Ultimate	Double Hung G2 RO 37" X 51 1/2"	1,727.16	2	3,454.32
23	BED 2	Ultimate	Casement RO 37" X 51 1/2"	1,838.35	2	3,676.70
24	BED 2	Ultimate	Marvin Assembly RO 55" X 51 1/2"	2,895.64	1	2,895.64

25	VANITY 2	Ultimate	Direct Glaze Rectangle RO 13" X 26 1/2"	576.40	1	576.40
26	SHARED BATH	Ultimate	Double Hung G2 RO 37" X 39 1/2"	1,457.71	1	1,457.71
27	CLOSET 1	Ultimate	Casement RO 19" X 26 1/2"	860.17	1	860.17
28	BED 1	Ultimate	Marvin Assembly RO 55" X 63 1/2"	3,359.50	1	3,359.50
29	BED 1	Ultimate	Double Hung G2 RO 19" X 51 1/2"	1,247.62	1	1,247.62
30	ENTRY DOOR	Non-Marvin	Materials ALLOWANCE FOR 3068 IMPACT MAHOGANY DOOR	3,500.00	1	3,500.00
31	BREAKFAST	Elevate	Inswing French Door CN 2868 RO 33 5/16" X 82 1/2"	3,020.02	1	3,020.02
32	GREAT ROOM	Elevate	Inswing French Door CN 2868 RO 33 5/16" X 82 1/2"	3,020.02	1	3,020.02
33	BED 1	Elevate	Inswing French Door CN 2868 RO 33 5/16" X 82 1/2"	3,020.02	1	3,020.02
34	DELIVERY	Non-Marvin	Labor DELIVERY	75.00	1	75.00

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: BASEMENT	Net Price:		1,015.01
Qty: 2		Ext. Net Price:	USD	2,030.02



As Viewed From The Exterior

FS 37" X 17"

RO 38" X 17 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.31

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.39

Condensation Resistance: 54

CPD Number: MAR-N-343-22616-00001

ENERGY STAR: S

Performance Grade

Licensee #1046

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG65 1219X1349 mm (48X53.13 in)

CW-PG65 DP +65/-65

FL35391

Stone White Clad Exterior
Primed Pine Interior
Ultimate Awning - Roto Operating
Frame Size 37" X 17"
Rough Opening 38" X 17 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W1H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh

4 9/16" Jamb

AL Nailing Fin

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: BASEMENT	Net Price:		1,982.96
Qty: 1		Ext. Net Price:	USD	1,982.96



As Viewed From The Exterior

FS 66" X 17"

RO 67" X 17 1/2"

Egress Information A1, A2

No Egress Information available.

Performance Information A1, A2

U-Factor: 0.31

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.39

Condensation Resistance: 54

CPD Number: MAR-N-343-22616-00001

ENERGY STAR: S

Performance Grade A1, A2

Licensee #1046

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG65 1219X1349 mm (48X53.13 in)

CW-PG65 DP +65/-65

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
67" X 17 1/2"

Unit: A1
Ultimate Awning - Roto Operating
Basic Frame 33" X 17"
Rough Opening 34" X 17 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W1H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip

FL35391

Performance Grade Mull

Licensee #1137

AAMA 450-10

LC-PG70 1197X1219 mm (47.13X48 in)

LC-PG70 DP 70

FL17797

Performance Grade Overall Assembly

CW-PG65 DP +65/-65

Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh

Unit: A2

Ultimate Awning - Roto Operating

Basic Frame 33" X 17"

Rough Opening 34" X 17 1/2"

Performance: StormPlus IZ3

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W1H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

White Weather Strip

Satin Taupe Folding Handle

Satin Taupe Multi - Point Lock

Stainless Steel Hardware

Aluminum Screen

Satin Taupe Surround

Bright View Mesh

Standard Mull Charge

4 9/16" Jambs

AL Nailing Fin

***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.

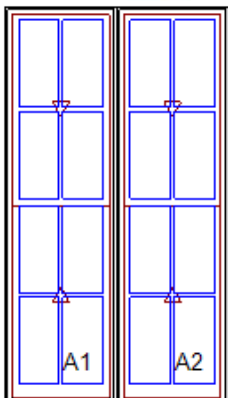
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #3	Mark Unit: LIVING ROOM	Net Price:		5,044.37
Qty: 2		Ext. Net Price:	USD	10,088.74

MARVIN 



As Viewed From The Exterior

FS 54" X 96"

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
55" X 96 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 27" X 96"

Rough Opening 28" X 96 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

RO 55" X 96 1/2"

Egress Information A1, A2

Width: 23 13/32" Height: 42 15/16"

Net Clear Opening: 6.98 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/I.S.2/A440-11

LC-PG65 1200X3035 mm (47.26X119.51 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Non-Tilt Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh

Unit: A2

Ultimate Double Hung G2

Basic Frame 27" X 96"

Rough Opening 28" X 96 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Non-Tilt Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

Standard Mull Charge

4 9/16" Jambs

AL Nailing Fin

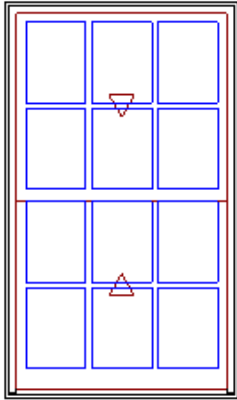
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Non-Certified mull: check with local code officials for project specific requirements.

***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: LIVING ROOM	Net Price:		1,967.96
Qty: 1		Ext. Net Price:	USD	1,967.96



As Viewed From The Exterior

FS 37" X 63"

RO 38" X 63 1/2"

Egress Information

Width: 33 13/32" Height: 26 7/16"

Net Clear Opening: 6.13 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

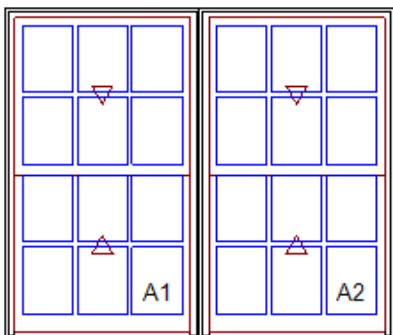
LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 37" X 63"
Rough Opening 38" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: LIBRARY	Net Price:		3,940.00
Qty: 2		Ext. Net Price:	USD	7,880.00



As Viewed From The Exterior

FS 74" X 63"

RO 75" X 63 1/2"

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
75" X 63 1/2"
Unit: A1
Ultimate Double Hung G2
Basic Frame 37" X 63"
Rough Opening 38" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless

Egress Information A1, A2

Width: 33 13/32" Height: 26 7/16"
Net Clear Opening: 6.13 SqFt

Performance Information A1, A2

U-Factor: 0.28
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.4
Condensation Resistance: 58
CPD Number: MAR-N-425-17541-00001
ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG65 1149X2019 mm (45.3X79.5 in)
LC-PG65 DP +65/-65
FL28289

Performance Grade Mull

Licensee #1127
AAMA 450-10
LC-65 1149X1613 mm (45.26X63.51 in)
LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh

Unit: A2

Ultimate Double Hung G2
Basic Frame 37" X 63"
Rough Opening 38" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh

Standard Mull Charge

4 9/16" Jambs

AL Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #6	Mark Unit: LIBRARY	Net Price:		8,442.78
Qty: 1		Ext. Net Price:	USD	8,442.78



As Viewed From The Exterior

FS 160" X 63"

RO 161" X 63 1/2"

Egress Information A1, A2, A3, A4

Width: 36 13/32" Height: 26 7/16"

Net Clear Opening: 6.68 SqFt

Performance Information A1, A2, A3, A4, A1

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2, A3, A4, A1

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Stone White Clad Exterior
Primed Pine Interior
4W1H - Rectangle Assembly
Assembly Rough Opening
161" X 63 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 40" X 63"

Rough Opening 41" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

***Sash Ship Loose

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

***Screen/Combo Ship Loose

Unit: A2

Ultimate Double Hung G2

Basic Frame 40" X 63"

Rough Opening 41" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

***Sash Ship Loose

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
***Screen/Combo Ship Loose

Unit: A3

Ultimate Double Hung G2
Basic Frame 40" X 63"
Rough Opening 41" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
***Sash Ship Loose
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
***Screen/Combo Ship Loose

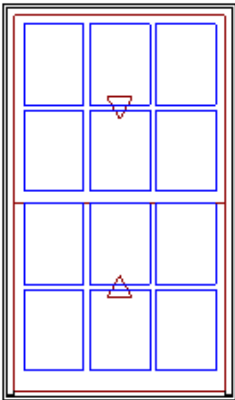
Unit: A4

Ultimate Double Hung G2
Basic Frame 40" X 63"
Rough Opening 41" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
***Sash Ship Loose
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior

IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
***Screen/Combo Ship Loose
Standard Mull Charge
4 9/16" Jamb
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #7	Mark Unit: DINING ROOM	Net Price:		1,967.96
Qty: 2		Ext. Net Price:	USD	3,935.92

MARVIN



As Viewed From The Exterior

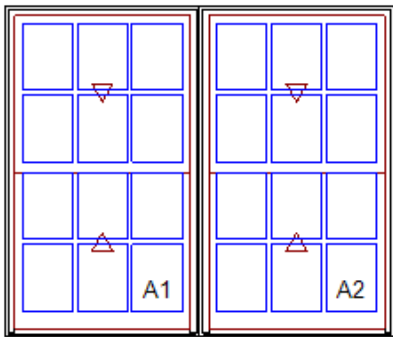
FS 37" X 63"
RO 38" X 63 1/2"
Egress Information
Width: 33 13/32" Height: 26 7/16"
Net Clear Opening: 6.13 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.4
Condensation Resistance: 58
CPD Number: MAR-N-425-17541-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1127
AAMA/WDMA/CSA/101/ I.S.2/A440-08

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 37" X 63"
Rough Opening 38" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh

LC-PG65 1149X2019 mm (45.3X79.5 in)
LC-PG65 DP +65/-65
FL28289

4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit: DINING ROOM	Net Price:		3,940.00
Qty: 1		Ext. Net Price:	USD	3,940.00



As Viewed From The Exterior

FS 74" X 63"

RO 75" X 63 1/2"

Egress Information A1, A2

Width: 33 13/32" Height: 26 7/16"

Net Clear Opening: 6.13 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
75" X 63 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 37" X 63"

Rough Opening 38" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

Unit: A2

Ultimate Double Hung G2

Basic Frame 37" X 63"

Rough Opening 38" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 3W2H

Stone White Clad Ext - Primed Pine Int

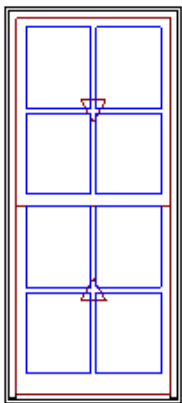
Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
Standard Mull Charge
4 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #9	Mark Unit: BREAKFAST	Net Price:		1,748.30
Qty: 2		Ext. Net Price:	USD	3,496.60

MARVIN 



As Viewed From The Exterior

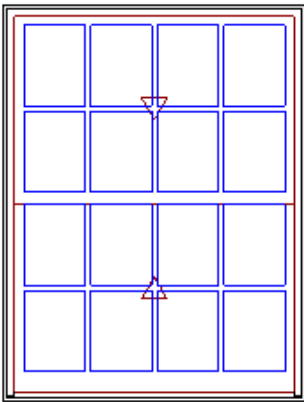
FS 28" X 63"
RO 29" X 63 1/2"
Egress Information
Width: 24 13/32" Height: 26 7/16"
Net Clear Opening: 4.48 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.4
Condensation Resistance: 58
CPD Number: MAR-N-425-17541-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1127

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 28" X 63"
Rough Opening 29" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround

AAMA/WDMA/CSA/101/1.S.2/A440-08
LC-PG65 1149X2019 mm (45.3X79.5 in)
LC-PG65 DP +65/-65
FL28289

Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #10	Mark Unit: BREAKFAST	Net Price:		2,530.73
Qty: 1		Ext. Net Price:	USD	2,530.73



As Viewed From The Exterior

FS 48" X 63"

RO 49" X 63 1/2"

Egress Information

Width: 44 13/32" Height: 26 9/64"

Net Clear Opening: 8.06 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/1.S.2/A440-08

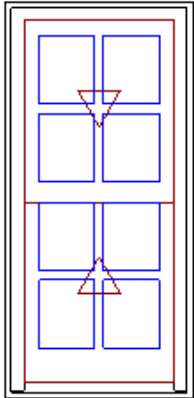
LC-PG65 1251X2731 mm (49.3X107.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 48" X 63"
Rough Opening 49" X 63 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 4W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 4W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #11	Mark Unit: BREAKFAST	Net Price:		1,132.36
Qty: 1		Ext. Net Price:	USD	1,132.36



As Viewed From The Exterior

FS 18" X 38"

RO 19" X 38 1/2"

Egress Information

Width: 14 13/32" Height: 13 15/16"

Net Clear Opening: 1.39 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

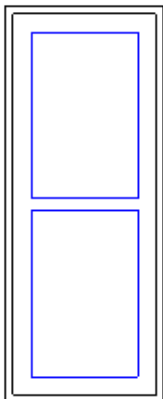
LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 18" X 38"
Rough Opening 19" X 38 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Tempered Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Tempered Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #12	Mark Unit: LANDING	Net Price:		610.52
Qty: 1		Ext. Net Price:	USD	610.52



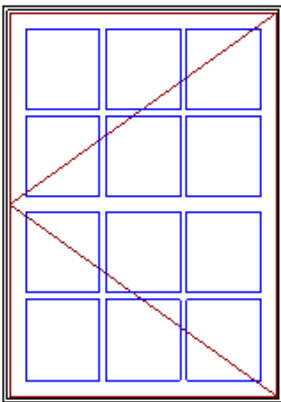
As Viewed From The Exterior

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 12" X 30"
Rough Opening 13" X 30 1/2"
Performance: StormPlus IZ3
IG
StormPlus Tempered Low E3
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

FS 12" X 30"
RO 13" X 30 1/2"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.31
Solar Heat Gain Coefficient: 0.22
Visible Light Transmittance: 0.48
Condensation Resistance: 52
CPD Number: MAR-N-419-15298-00001
ENERGY STAR: S
Performance Grade
Licensee #1118
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG55 1219X3048 mm (48X120 in)
CW-PG55 DP +55/-65
FL4781

Line #13	Mark Unit: GUEST ROOM	Net Price:		1,838.35
Qty: 2		Ext. Net Price:	USD	3,676.70

MARVIN 

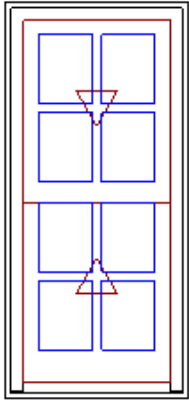


As Viewed From The Exterior

FS 36" X 51"
RO 37" X 51 1/2"
Egress Information
Width: 28 57/64" Height: 45 57/64"
Net Clear Opening: 9.21 SqFt
Performance Information
U-Factor: 0.33
Solar Heat Gain Coefficient: 0.16
Visible Light Transmittance: 0.35
Condensation Resistance: 53
CPD Number: MAR-N-342-41366-00001
ENERGY STAR: S
Performance Grade
Licensee #1025
AAMA/WDMA/CSA/101/I.S.2/A440-11
CW-PG65 914X2111 mm (36X83.13 in)
CW-PG65 DP +65/-65
FL31327

Stone White Clad Exterior
Primed Pine Interior
Ultimate Casement - Left Hand
Frame Size 36" X 51"
Standard CN Width 36
Rough Opening 37" X 51 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
1 15/16" Simulated Rail Rectangular
Standard 1.0:2.0
7/8" SDL - With Spacer Bar - Stainless
Top Cut 3W2H - Bottom Cut 3W2H
12 Rect Lites
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #14	Mark Unit: GUEST BATH	Net Price:		1,084.60
Qty: 1		Ext. Net Price:	USD	1,084.60



As Viewed From The Exterior

FS 18" X 39"

RO 19" X 39 1/2"

Egress Information

Width: 14 13/32" Height: 14 7/16"

Net Clear Opening: 1.44 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

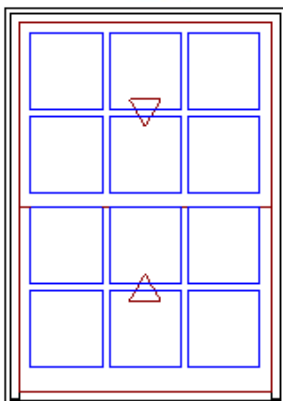
LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 18" X 39"
Rough Opening 19" X 39 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #15	Mark Unit: GARAGE	Net Price:		1,727.16
Qty: 1		Ext. Net Price:	USD	1,727.16



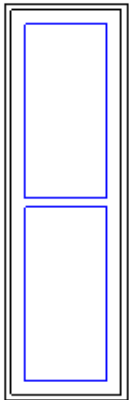
As Viewed From The Exterior

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 36" X 51"
Rough Opening 37" X 51 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior

FS 36" X 51"
RO 37" X 51 1/2"
Egress Information
Width: 32 13/32" Height: 20 7/16"
Net Clear Opening: 4.60 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.4
Condensation Resistance: 58
CPD Number: MAR-N-425-17541-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1127
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG65 1149X2019 mm (45.3X79.5 in)
LC-PG65 DP +65/-65
FL28289

Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #16	Mark Unit: GARAGE	Net Price:		685.55
Qty: 1		Ext. Net Price:	USD	685.55

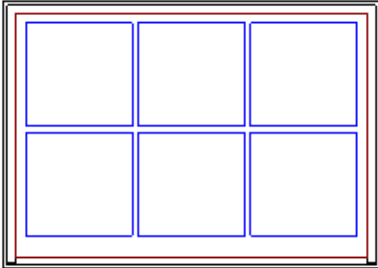


As Viewed From The Exterior

FS 12" X 39"
RO 13" X 39 1/2"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.31
Solar Heat Gain Coefficient: 0.22
Visible Light Transmittance: 0.48
Condensation Resistance: 52
CPD Number: MAR-N-419-15298-00001
ENERGY STAR: S
Performance Grade
Licensee #1118
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG55 1219X3048 mm (48X120 in)
CW-PG55 DP +55/-65
FL4781

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 12" X 39"
Rough Opening 13" X 39 1/2"
Performance: StormPlus IZ3
IG
StormPlus Tempered Low E3
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #17	Mark Unit: KITCHEN	Net Price:		1,396.32
Qty: 2		Ext. Net Price:	USD	2,792.64



As Viewed From The Exterior

FS 55" X 39"

RO 56" X 39 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.19

Visible Light Transmittance: 0.43

Condensation Resistance: 62

CPD Number: MAR-N-427-04445-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

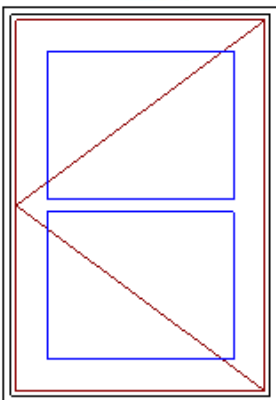
CW-PG50 1556X2629 mm (61.3X103.5 in)

CW-PG50 DP +50/-50

FL17635

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung Picture G2
Frame Size 55" X 39"
Rough Opening 56" X 39 1/2"
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
4 9/16" Jambos
AL Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Line #18	Mark Unit: POWDER	Net Price:		860.17
Qty: 1		Ext. Net Price:	USD	860.17



As Viewed From The Exterior

FS 18" X 26"

RO 19" X 26 1/2"

Egress Information

Width: 8 13/32" Height: 20 57/64"

Net Clear Opening: 1.22 SqFt

Performance Information

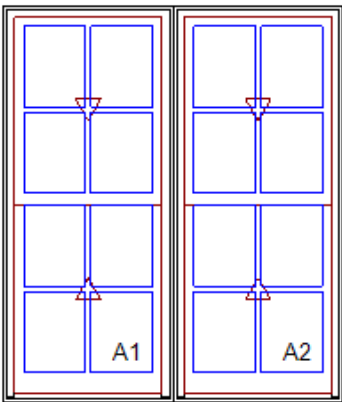
U-Factor: 0.33

Stone White Clad Exterior
Primed Pine Interior
Ultimate Casement - Left Hand
Frame Size 18" X 26"
Standard CN Width 18
Rough Opening 19" X 26 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh
4 9/16" Jambos
AL Nailing Fin
***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and

Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.38
Condensation Resistance: 53
CPD Number: MAR-N-342-41353-00001
ENERGY STAR: S
Performance Grade
Licensee #1025
AAMA/WDMA/CSA/101/I.S.2/A440-11
CW-PG65 914X2111 mm (36X83.13 in)
CW-PG65 DP +65/-65
FL31327

UCANF PO units with frame width less than 20".
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #19	Mark Unit: STAIR LANDING	Net Price:		3,359.50
Qty: 1		Ext. Net Price:	USD	3,359.50



As Viewed From The Exterior

FS 54" X 63"

RO 55" X 63 1/2"

Egress Information A1, A2

Width: 23 13/32" Height: 26 7/16"

Net Clear Opening: 4.30 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
55" X 63 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 27" X 63"

Rough Opening 28" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

Unit: A2

Ultimate Double Hung G2

Basic Frame 27" X 63"

Rough Opening 28" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

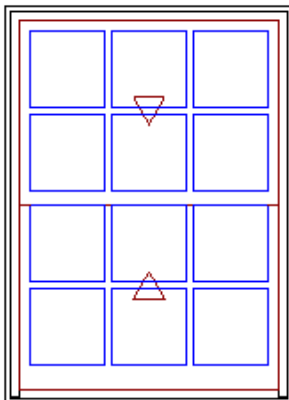
IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
Standard Mull Charge
4 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #20	Mark Unit: PRIMARY BATH	Net Price:		1,743.53
Qty: 1		Ext. Net Price:	USD	1,743.53

MARVIN 



As Viewed From The Exterior

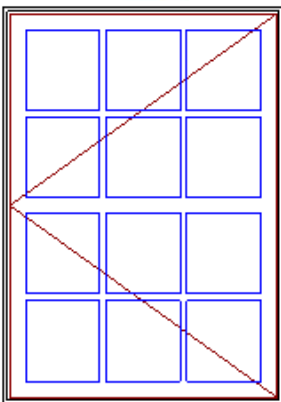
FS 37" X 51"
RO 38" X 51 1/2"
Egress Information
Width: 33 13/32" Height: 20 7/16"
Net Clear Opening: 4.74 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.18

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 37" X 51"
Rough Opening 38" X 51 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile

Visible Light Transmittance: 0.4
Condensation Resistance: 58
CPD Number: MAR-N-425-17541-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1127
AAMA/WDMA/CSA/101/I.S.2/A440-08
LC-PG65 1149X2019 mm (45.3X79.5 in)
LC-PG65 DP +65/-65
FL28289

White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #21	Mark Unit: PRIMARY BED	Net Price:		1,838.35
Qty: 3		Ext. Net Price:	USD	5,515.05

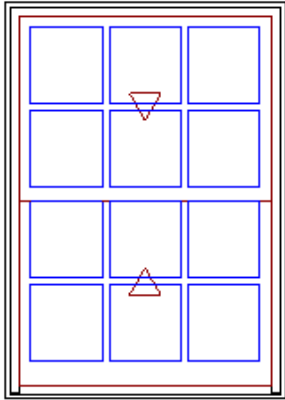


As Viewed From The Exterior

FS 36" X 51"
RO 37" X 51 1/2"
Egress Information
Width: 28 57/64" Height: 45 57/64"
Net Clear Opening: 9.21 SqFt
Performance Information
U-Factor: 0.33
Solar Heat Gain Coefficient: 0.16
Visible Light Transmittance: 0.35
Condensation Resistance: 53
CPD Number: MAR-N-342-41366-00001
ENERGY STAR: S
Performance Grade
Licensee #1025
AAMA/WDMA/CSA/101/I.S.2/A440-11
CW-PG65 914X2111 mm (36X83.13 in)
CW-PG65 DP +65/-65
FL31327

Stone White Clad Exterior
Primed Pine Interior
Ultimate Casement - Left Hand
Frame Size 36" X 51"
Standard CN Width 36
Rough Opening 37" X 51 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
1 15/16" Simulated Rail Rectangular
Standard 1.0:2.0
7/8" SDL - With Spacer Bar - Stainless
Top Cut 3W2H - Bottom Cut 3W2H
12 Rect Lites
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #22	Mark Unit: PRIMARY CLOSET	Net Price:		1,727.16
Qty: 2		Ext. Net Price:	USD	3,454.32



As Viewed From The Exterior

FS 36" X 51"

RO 37" X 51 1/2"

Egress Information

Width: 32 13/32" Height: 20 7/16"

Net Clear Opening: 4.60 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

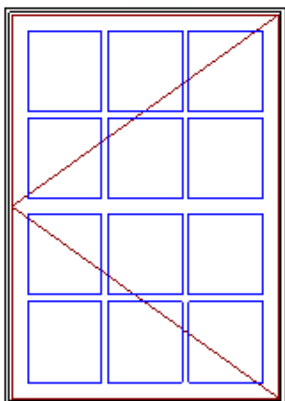
LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 36" X 51"
Rough Opening 37" X 51 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #23	Mark Unit: BED 2	Net Price:		1,838.35
Qty: 2		Ext. Net Price:	USD	3,676.70



As Viewed From The Exterior

Stone White Clad Exterior
Primed Pine Interior
Ultimate Casement - Left Hand
Frame Size 36" X 51"
Standard CN Width 36
Rough Opening 37" X 51 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
1 15/16" Simulated Rail Rectangular
Standard 1.0:2.0
7/8" SDL - With Spacer Bar - Stainless
Top Cut 3W2H - Bottom Cut 3W2H
12 Rect Lites
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile

FS 36" X 51"

RO 37" X 51 1/2"

Egress Information

Width: 28 57/64" Height: 45 57/64"

Net Clear Opening: 9.21 SqFt

Performance Information

U-Factor: 0.33

Solar Heat Gain Coefficient: 0.16

Visible Light Transmittance: 0.35

Condensation Resistance: 53

CPD Number: MAR-N-342-41366-00001

ENERGY STAR: S

Performance Grade

Licensee #1025

AAMA/WDMA/CSA/101/I.S.2/A440-11

CW-PG65 914X2111 mm (36X83.13 in)

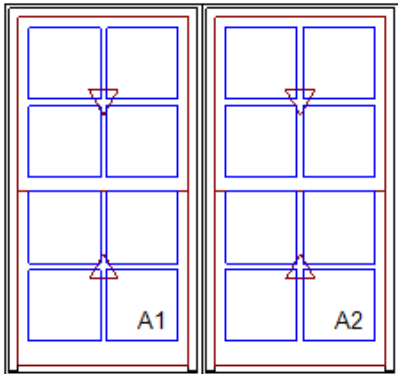
CW-PG65 DP +65/-65

FL31327

Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #24	Mark Unit: BED 2	Net Price:		2,895.64
Qty: 1		Ext. Net Price:	USD	2,895.64

MARVIN 



As Viewed From The Exterior

FS 54" X 51"

RO 55" X 51 1/2"

Egress Information A1, A2

Width: 23 13/32" Height: 20 7/16"

Net Clear Opening: 3.32 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
55" X 51 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 27" X 51"

Rough Opening 28" X 51 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Aluminum Screen

Stone White Surround

Bright View Mesh

Unit: A2

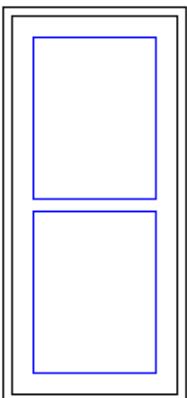
Ultimate Double Hung G2

Basic Frame 27" X 51"

Rough Opening 28" X 51 1/2"

Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
Standard Mull Charge
4 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #25	Mark Unit: VANITY 2	Net Price:		576.40
Qty: 1		Ext. Net Price:	USD	576.40



As Viewed From The Exterior

FS 12" X 26"

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 12" X 26"
Rough Opening 13" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Tempered Low E3
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

RO 13" X 26 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.31

Solar Heat Gain Coefficient: 0.22

Visible Light Transmittance: 0.48

Condensation Resistance: 52

CPD Number: MAR-N-419-15298-00001

ENERGY STAR: S

Performance Grade

Licensee #1118

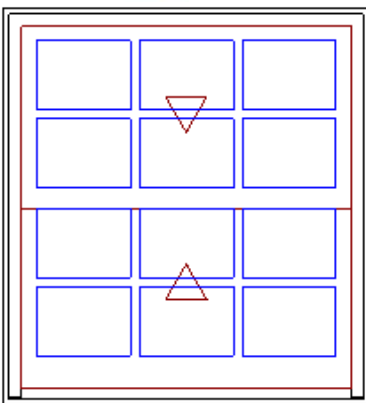
AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG55 1219X3048 mm (48X120 in)

CW-PG55 DP +55/-65

FL4781

Line #26	Mark Unit: SHARED BATH	Net Price:		1,457.71
Qty: 1		Ext. Net Price:	USD	1,457.71



As Viewed From The Exterior

FS 36" X 39"

RO 37" X 39 1/2"

Egress Information

Width: 32 13/32" Height: 14 7/16"

Net Clear Opening: 3.25 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

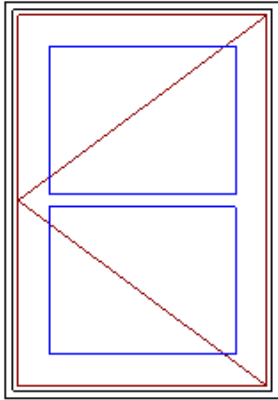
LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 36" X 39"
Rough Opening 37" X 39 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jambos
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #27	Mark Unit: CLOSET 1	Net Price:		860.17
Qty: 1		Ext. Net Price:	USD	860.17



As Viewed From The Exterior

FS 18" X 26"

RO 19" X 26 1/2"

Egress Information

Width: 8 13/32" Height: 20 57/64"

Net Clear Opening: 1.22 SqFt

Performance Information

U-Factor: 0.33

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.38

Condensation Resistance: 53

CPD Number: MAR-N-342-41353-00001

ENERGY STAR: S

Performance Grade

Licensee #1025

AAMA/WDMA/CSA/101/I.S.2/A440-11

CW-PG65 914X2111 mm (36X83.13 in)

CW-PG65 DP +65/-65

FL31327

Stone White Clad Exterior
Primed Pine Interior
Ultimate Casement - Left Hand
Frame Size 18" X 26"
Standard CN Width 18
Rough Opening 19" X 26 1/2"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Satin Taupe Folding Handle
Satin Taupe Multi - Point Lock
Stainless Steel Hardware
Aluminum Screen
Satin Taupe Surround
Bright View Mesh

4 9/16" Jamb

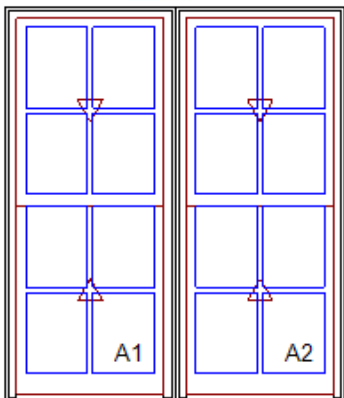
AL Nailing Fin

***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #28	Mark Unit: BED 1	Net Price:		3,359.50
Qty: 1		Ext. Net Price:	USD	3,359.50



As Viewed From The Exterior

FS 54" X 63"

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
55" X 63 1/2"

Unit: A1

Ultimate Double Hung G2

Basic Frame 27" X 63"

Rough Opening 28" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

RO 55" X 63 1/2"

Egress Information A1, A2

Width: 23 13/32" Height: 26 7/16"

Net Clear Opening: 4.30 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh

Unit: A2

Ultimate Double Hung G2

Basic Frame 27" X 63"

Rough Opening 28" X 63 1/2"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

Standard Mull Charge

4 9/16" Jambs

AL Nailing Fin

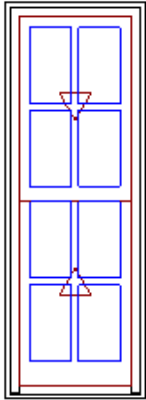
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #29	Mark Unit: BED 1	Net Price:		1,247.62
Qty: 1		Ext. Net Price:	USD	1,247.62



As Viewed From The Exterior

FS 18" X 51"

RO 19" X 51 1/2"

Egress Information

Width: 14 13/32" Height: 20 7/16"

Net Clear Opening: 2.04 SqFt

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

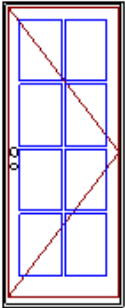
FL28289

Stone White Clad Exterior
Primed Pine Interior
Ultimate Double Hung G2
Frame Size 18" X 51"
Rough Opening 19" X 51 1/2"
Performance: StormPlus IZ3
Glass Add For All Sash/Panels
Top Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #30	Mark Unit: ENTRY DOOR	Net Price:		3,500.00
Qty: 1		Ext. Net Price:	USD	3,500.00

Materials ALLOWANCE FOR 3068 IMPACT MAHOGANY DOOR

Line #31	Mark Unit: BREAKFAST	Net Price:		3,020.02
Qty: 1		Ext. Net Price:	USD	3,020.02



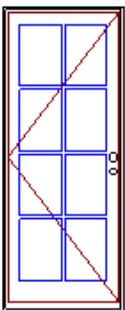
Active

As Viewed From The Exterior

CN 2868
FS 32 5/16" X 82"
RO 33 5/16" X 82 1/2"
Egress Information
Width: 27 11/16" Height: 79 1/32"
Net Clear Opening: 15.19 SqFt
Performance Information
U-Factor: 0.31
Solar Heat Gain Coefficient: 0.16
Visible Light Transmittance: 0.35
Condensation Resistance: 59
CPD Number: MAR-N-306-00816-00001
Performance Grade
Licensee #936
AAMA/WDMA/CSA/101/I.S.2/A440-08
LC-PG55 1803X2425 mm (71X95.5 in)
LC-PG55 DP +55/-65
FL10196

Stone White Exterior
White Interior
Elevate Inswing French Door 4 9/16" - X Right Hand
CN 2868
Rough Opening 33 5/16" X 82 1/2"
Performance: Impact Zone 3
Stone White Exterior
White Interior
IG
Impact Tempered Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W4H
Stone White Ext - White Int
Multi-Point Lock
Cambridge Handle Oil Rubbed Bronze PVD Keyed Exterior Primary Handle Set
Cambridge Handle Oil Rubbed Bronze PVD Interior Primary Handle Set
Keyed Alike - Keyed Alike Group 1
Oil Rubbed Bronze PVD Adjustable Hinges
Exterior Swinging Screen
Stone White Surround
Bright View Mesh
***Screen/Combo Ship Loose
PG Upgrade
Bronze Ultrex Sill / Black Weather Strip
4 9/16" Jambs
Nailing Fin
With Clips
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #32	Mark Unit: GREAT ROOM	Net Price:		3,020.02
Qty: 1		Ext. Net Price:	USD	3,020.02



Active

As Viewed From The Exterior

CN 2868

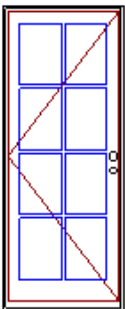
Stone White Exterior
White Interior
Elevate Inswing French Door 4 9/16" - X Left Hand
CN 2868
Rough Opening 33 5/16" X 82 1/2"
Performance: Impact Zone 3
Stone White Exterior
White Interior
IG
Impact Tempered Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W4H
Stone White Ext - White Int
Multi-Point Lock
Cambridge Handle Oil Rubbed Bronze PVD Keyed Exterior Primary Handle Set
Cambridge Handle Oil Rubbed Bronze PVD Interior Primary Handle Set
Keyed Alike - Keyed Alike Group 1
Oil Rubbed Bronze PVD Adjustable Hinges
Exterior Swinging Screen
Stone White Surround

FS 32 5/16" X 82"
RO 33 5/16" X 82 1/2"
Egress Information
Width: 27 11/16" Height: 79 1/32"
Net Clear Opening: 15.19 SqFt
Performance Information
U-Factor: 0.31
Solar Heat Gain Coefficient: 0.16
Visible Light Transmittance: 0.35
Condensation Resistance: 59
CPD Number: MAR-N-306-00816-00001
Performance Grade
Licensee #936
AAMA/WDMA/CSA/101/I.S.2/A440-08
LC-PG55 1803X2425 mm (71X95.5 in)
LC-PG55 DP +55/-65
FL10196

Bright View Mesh
***Screen/Combo Ship Loose
PG Upgrade
Bronze Ultrex Sill / Black Weather Strip
4 9/16" Jambs
Nailing Fin
With Clips
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #33	Mark Unit: BED 1	Net Price:		3,020.02
Qty: 1		Ext. Net Price:	USD	3,020.02

MARVIN 



Active



As Viewed From The Exterior

CN 2868
FS 32 5/16" X 82"
RO 33 5/16" X 82 1/2"
Egress Information
Width: 27 11/16" Height: 79 1/32"
Net Clear Opening: 15.19 SqFt
Performance Information
U-Factor: 0.31
Solar Heat Gain Coefficient: 0.16
Visible Light Transmittance: 0.35
Condensation Resistance: 59
CPD Number: MAR-N-306-00816-00001
Performance Grade
Licensee #936
AAMA/WDMA/CSA/101/I.S.2/A440-08
LC-PG55 1803X2425 mm (71X95.5 in)
LC-PG55 DP +55/-65
FL10196

Stone White Exterior
White Interior
Elevate Inswing French Door 4 9/16" - X Left Hand
CN 2868
Rough Opening 33 5/16" X 82 1/2"
Performance: Impact Zone 3
Stone White Exterior
White Interior
IG
Impact Tempered Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W4H
Stone White Ext - White Int
Multi-Point Lock
Cambridge Handle Oil Rubbed Bronze PVD Keyed Exterior Primary Handle Set
Cambridge Handle Oil Rubbed Bronze PVD Interior Primary Handle Set
Keyed Alike - Keyed Alike Group 1
Oil Rubbed Bronze PVD Adjustable Hinges
Exterior Swinging Screen
Stone White Surround
Bright View Mesh
***Screen/Combo Ship Loose
PG Upgrade
Bronze Ultrex Sill / Black Weather Strip
4 9/16" Jambs
Nailing Fin
With Clips
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

Line #34	Mark Unit: DELIVERY	Net Price:		75.00
Qty: 1		Ext. Net Price:	USD	75.00

Labor DELIVERY

Project Subtotal Net Price: USD	96,071.61
Non-Taxable Labor: USD	75.00
Non-Taxable Materials: USD	3,500.00
6.000% Sales Tax: USD	5,764.30
Project Total Net Price: USD	105,410.91

BUCKLEY RESIDENCE MARVIN WINDOWS & DOORS – PHASE TWO PRELIMINARY

Quote #: BBVDTHQ

A Proposal for Window and Door Products prepared for:

Shipping Address:

BLUE WATER LUMBER LLC
600 WESTERN DR
MOBILE, AL 36607



JEFF HALL

BLUE WATER LUMBER LLC

PO BOX 1224

DAPHNE, AL 36526-1224

Phone: (251) 621-9633

Fax: (251) 621-9634

Email: jhall@bluewaterlumber.com

This report was generated on 1/20/2023 2:43:52 PM using the Marvin Order Management System, version 0003.50.01 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Featuring products from:



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

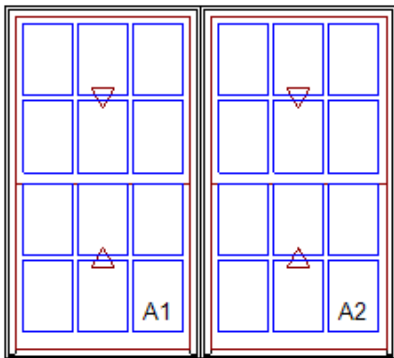
NUMBER OF LINES: 8	TOTAL UNIT QTY: 13	EXT NET PRICE: USD	23,823.94
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LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	LAUNDRY	Ultimate	Marvin Assembly RO 71 1/2" X 64"	3,594.82	1	3,594.82
2	WATER CLOSET	Ultimate	Direct Glaze Rectangle RO 16" X 26 1/2"	588.69	1	588.69
3	PRIMARY BATH	Ultimate	Direct Glaze Rectangle RO 16" X 26 1/2"	588.69	5	2,943.45
4	PRIMARY BATH	Ultimate	Marvin Assembly RO 97" X 26 1/2"	2,670.55	1	2,670.55
5	CLOSET 2	Ultimate	Marvin Assembly RO 61" X 59 5/8"	2,650.79	1	2,650.79
6	CLOSET 2	Ultimate	Direct Glaze Rectangle RO 16" X 26 1/2"	588.69	1	588.69
7	CLOSET	Ultimate	Direct Glaze Rectangle RO 16" X 26 1/2"	588.69	1	588.69
8	PRIMARY BED	Elevate	Outswing French Door CN 5068 RO 60" X 82 1/2"	5,099.13	2	10,198.26

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: LAUNDRY	Net Price:		3,594.82
Qty: 1		Ext. Net Price:	USD	3,594.82



As Viewed From The Exterior

FS 70 1/2" X 63 1/2"

RO 71 1/2" X 64"

Egress Information A1, A2

Width: 31 21/32" Height: 26 11/16"

Net Clear Opening: 5.87 SqFt

Performance Information A1, A2

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-425-17541-00001

ENERGY STAR: NC, SC, S

Performance Grade A1, A2

Licensee #1127

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG65 1149X2019 mm (45.3X79.5 in)

LC-PG65 DP +65/-65

FL28289

Performance Grade Mull

Licensee #1127

AAMA 450-10

LC-65 1149X1613 mm (45.26X63.51 in)

LC-65 DP 65

Performance Grade Overall Assembly

LC-65 DP

Stone White Clad Exterior
Primed Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
71 1/2" X 64"

Unit: A1

Ultimate Double Hung G2

CN 3028

Rough Opening 36 1/4" X 64"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Standard Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Standard Cut 3W2H

Stone White Clad Ext - Primed Pine Int

Ogee Interior Glazing Profile

White Interior Weather Strip Package

White Exterior Weather Strip Package

Satin Taupe Sash Lock

Satin Taupe Top Sash Strike Plate Assembly Color

Extruded Aluminum Screen

Stone White Surround

Bright View Mesh

Unit: A2

Ultimate Double Hung G2

CN 3028

Rough Opening 36 1/4" X 64"

Performance: StormPlus IZ3

Glass Add For All Sash/Panels

Top Sash

Stone White Clad Sash Exterior

Primed Pine Sash Interior

IG

StormPlus Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Standard Cut 3W2H

Stone White Clad Ext - Primed Pine Int

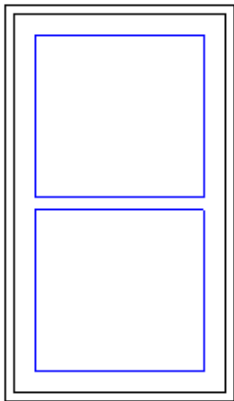
Ogee Interior Glazing Profile

Bottom Sash

Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Standard Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
Satin Taupe Sash Lock
Satin Taupe Top Sash Strike Plate Assembly Color
Extruded Aluminum Screen
Stone White Surround
Bright View Mesh
Standard Mull Charge
4 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: WATER CLOSET	Net Price:		588.69
Qty: 1		Ext. Net Price:	USD	588.69

MARVIN 



As Viewed From The Exterior

FS 15" X 26"

RO 16" X 26 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.26

Solar Heat Gain Coefficient: 0.21

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-419-15299-00001

ENERGY STAR: N, NC, SC, S

Performance Grade

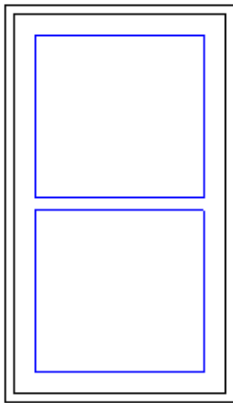
Licensee #1118

AAMA/WDMA/CSA/101/ I.S.2/A440-08

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 15" X 26"
Rough Opening 16" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

CW-PG55 1219X3048 mm (48X120 in)
CW-PG55 DP +55/-65
FL4781

Line #3	Mark Unit: PRIMARY BATH	Net Price:		588.69
Qty: 5		Ext. Net Price:	USD	2,943.45



As Viewed From The Exterior

FS 15" X 26"

RO 16" X 26 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.26

Solar Heat Gain Coefficient: 0.21

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-419-15299-00001

ENERGY STAR: N, NC, SC, S

Performance Grade

Licensee #1118

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG55 1219X3048 mm (48X120 in)

CW-PG55 DP +55/-65

FL4781

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 15" X 26"
Rough Opening 16" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jamb
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: PRIMARY BATH	Net Price:		2,670.55
Qty: 1		Ext. Net Price:	USD	2,670.55



As Viewed From The Exterior

FS 96" X 26"

RO 97" X 26 1/2"

Egress Information A1, A2, A3

No Egress Information available.

Performance Information A1, A2, A3

U-Factor: 0.26

Solar Heat Gain Coefficient: 0.21

Visible Light Transmittance: 0.48

Condensation Resistance: 56

Stone White Clad Exterior
Primed Pine Interior
3W1H - Rectangle Assembly
Assembly Rough Opening
97" X 26 1/2"
Unit: A1
Ultimate Direct Glaze Rectangle
Basic Frame 24" X 26"
Rough Opening 25" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 2W2H

CPD Number: MAR-N-419-15299-00001
ENERGY STAR: N, NC, SC, S
Performance Grade A1, A2, A3
Licensee #1118
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG55 1219X3048 mm (48X120 in)
CW-PG55 DP +55/-65
FL4781

Stone White Clad Ext - Primed Pine Int
Unit: A2
Ultimate Direct Glaze Rectangle
Basic Frame 48" X 26"
Rough Opening 49" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 4W2H
Stone White Clad Ext - Primed Pine Int

Unit: A3
Ultimate Direct Glaze Rectangle
Basic Frame 24" X 26"
Rough Opening 25" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 2W2H
Stone White Clad Ext - Primed Pine Int

Standard Mull Charge

4 9/16" Jambs

AL Nailing Fin

***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.

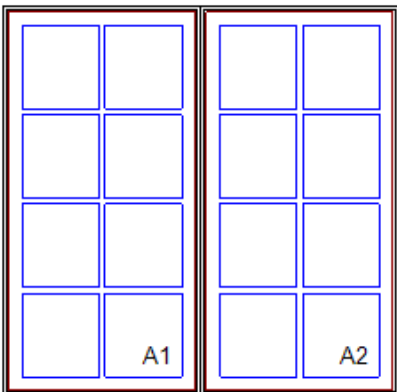
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Reference the installation instructions for StormPlus certification requirements.

***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: CLOSET 2	Net Price:		2,650.79
Qty: 1		Ext. Net Price:	USD	2,650.79

MARVIN 



As Viewed From The Exterior

FS 60" X 59 1/8"

RO 61" X 59 5/8"

Egress Information A1, A2

No Egress Information available.

Performance Information A1, A2

Stone White Clad Exterior
Bare Pine Interior
2W1H - Rectangle Assembly
Assembly Rough Opening
61" X 59 5/8"

Unit: A1
Ultimate Casement - Stationary
CN 3060
Rough Opening 31" X 59 5/8"
Frame Size 30" X 59 1/8"

Performance: StormPlus IZ3

Stone White Clad Sash Exterior

Bare Pine Sash Interior

IG - 3/4"

StormPlus Low E3 w/Argon

Black Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Black

Rectangular - Special Cut 2W4H

Stone White Clad Ext - Bare Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

White Weather Strip

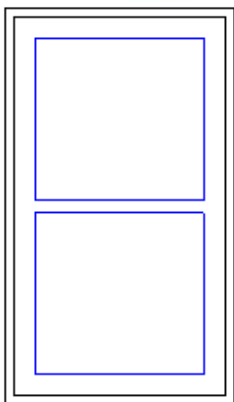
Solid Wood Covers

U-Factor: 0.33
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.38
Condensation Resistance: 53
CPD Number: MAR-N-342-41353-00001
ENERGY STAR: S
Performance Grade A1, A2
Licensee #1024
AAMA/WDMA/CSA/101/I.S.2/A440-11
CW-PG65 914X2111 mm (36X83.13 in)
CW-PG65 DP +65/-65
FL31327
Performance Grade Mull
Licensee #917
AAMA 450-10
CW-PG65 1372X2111 mm (54X83.12 in)
CW-PG65 DP 65
FL13150
Performance Grade Overall Assembly
CW-PG65 DP

Unit: A2
Ultimate Casement - Stationary
CN 3060
Rough Opening 31" X 59 5/8"
Frame Size 30" X 59 1/8"
Performance: StormPlus IZ3
Stone White Clad Sash Exterior
Bare Pine Sash Interior
IG - 3/4"
StormPlus Low E3 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 2W4H
Stone White Clad Ext - Bare Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers
Standard Mull Charge
4 9/16" Jambs
AL Nailing Fin
***Note: Mullions must be checked to ensure compliance with jobsite requirements for structural loading.
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Line #6	Mark Unit: CLOSET 2	Net Price:		588.69
Qty: 1		Ext. Net Price:	USD	588.69

MARVIN 



As Viewed From The Exterior

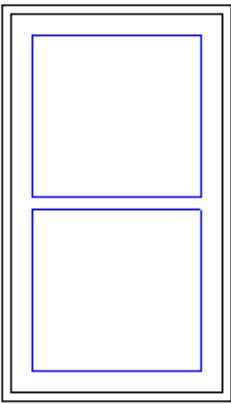
FS 15" X 26"
RO 16" X 26 1/2"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.26
Solar Heat Gain Coefficient: 0.21
Visible Light Transmittance: 0.48
Condensation Resistance: 56
CPD Number: MAR-N-419-15299-00001
ENERGY STAR: N, NC, SC, S

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 15" X 26"
Rough Opening 16" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int
4 9/16" Jambs
AL Nailing Fin
***Note: Reference the installation instructions for StormPlus certification requirements.
***Note: Unit Availability and Price is Subject to Change

Performance Grade

Licensee #1118
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG55 1219X3048 mm (48X120 in)
CW-PG55 DP +55/-65
FL4781

Line #7	Mark Unit: CLOSET	Net Price:		588.69
Qty: 1		Ext. Net Price:	USD	588.69



As Viewed From The Exterior

FS 15" X 26"

RO 16" X 26 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.26

Solar Heat Gain Coefficient: 0.21

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-419-15299-00001

ENERGY STAR: N, NC, SC, S

Performance Grade

Licensee #1118

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG55 1219X3048 mm (48X120 in)

CW-PG55 DP +55/-65

FL4781

Stone White Clad Exterior
Primed Pine Interior
Ultimate Direct Glaze Rectangle
Frame Size 15" X 26"
Rough Opening 16" X 26 1/2"
Performance: StormPlus IZ3
IG
StormPlus Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W2H
Stone White Clad Ext - Primed Pine Int

4 9/16" Jambs

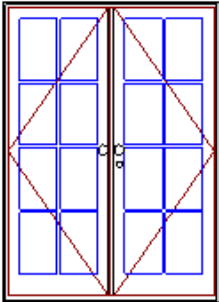
AL Nailing Fin

***Note: Reference the installation instructions for StormPlus certification requirements.

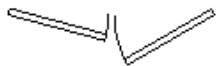
***Note: Unit Availability and Price is Subject to Change

Line #8 Qty: 2	Mark Unit: PRIMARY BED	Net Price: Ext. Net Price:	USD	5,099.13 10,198.26
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MARVIN 



Inactive Active



As Viewed From The Exterior

CN 5068

FS 59" X 82"

RO 60" X 82 1/2"

Egress Information

Width: 52 7/32" Height: 79 35/64"

Net Clear Opening: 28.84 SqFt

Performance Information

U-Factor: 0.31

Solar Heat Gain Coefficient: 0.17

Visible Light Transmittance: 0.35

Condensation Resistance: 59

CPD Number: MAR-N-331-00948-00001

Performance Grade

Licensee #863

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG55 1803X2082 mm (71X82 in)

LC-PG55 DP +55/-55

FL10196

Stone White Exterior
White Interior
Elevate Outswing French Door XX Left Hand
CN 5068
Rough Opening 60" X 82 1/2"
Performance: Impact Zone 3
Glass Add For All Panels

Left Panel

Stone White Exterior

White Interior

IG

Impact Tempered Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W4H

Stone White Ext - White Int

Right Panel

Stone White Exterior

White Interior

IG

Impact Tempered Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W4H

Stone White Ext - White Int

Multi-Point Lock

Cambridge Handle Oil Rubbed Bronze PVD Keyed Exterior Primary Handle Set

Cambridge Handle Oil Rubbed Bronze PVD Interior Primary Handle Set

Cambridge Handle Oil Rubbed Bronze PVD Exterior Secondary Handle Set

Cambridge Handle Oil Rubbed Bronze PVD Interior Secondary Handle Set

Keyed Alike - Keyed Alike Group 1

Oil Rubbed Bronze PVD Adjustable Hinges

Bronze Ultrex Sill / Black Weather Strip

4 9/16" Jambs

Nailing Fin

With Clips

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

***Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	23,823.94
6.000% Sales Tax: USD	1,429.44
Project Total Net Price: USD	25,253.38



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00135

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

25 W. Government Street
Palafox Historic Business District / Zone C-2A / City Council District 6
Final Review for Site Improvements and a New Entryway

BACKGROUND:

George Williams, Goodwyn Mill Cawood, is seeking final approval to remove one window and to add one exterior door on the south side of a contributing structure. The new entryway will include an accessible ramp with railings and a 5v-crimp canopy which will match the existing roofing, colors, and bracket details of the building. The canopy will be installed so that the existing soldier course brick will remain visible, and the ramp railing will also match existing metal rails on site. Likewise, the new metal door and transom will also match with applied exterior muntins.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)b. Palafox Historic Business District, Decision guidelines

25 W. Government Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: 25 W, Government Street

Applicant: George Williams, AIA (Goodwyn Mills Cawood)

Applicant's Address: 720 Bayfront Parkway

Email: george.williams@gmcnetwork.com **Phone:** 850-462-3038

Property Owner: Anglin Reicmann Armstrong

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

remove one window and add one exterior door on south side of building, Entry to include

accessible ramp and associated railings, and canopy over door.

Finishes (paint colors) to match existing as noted.

SW 7594

**CARRIAGE
DOOR**

**SW 7744
ZEUS**

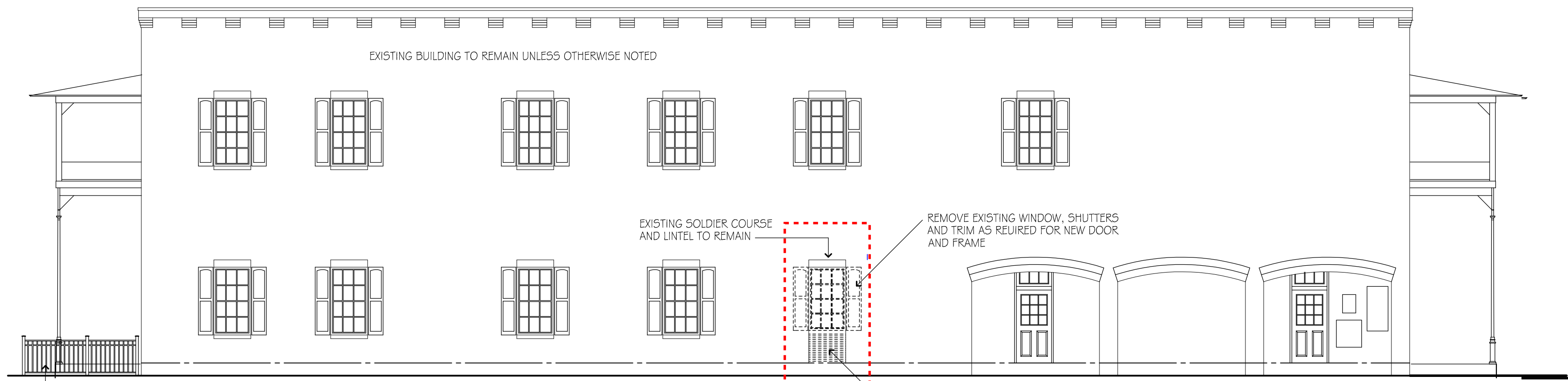
I, the Applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

26 January 2023

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



SOUTH ELEVATION - Existing
SCALE 1/8" = 1'-0"



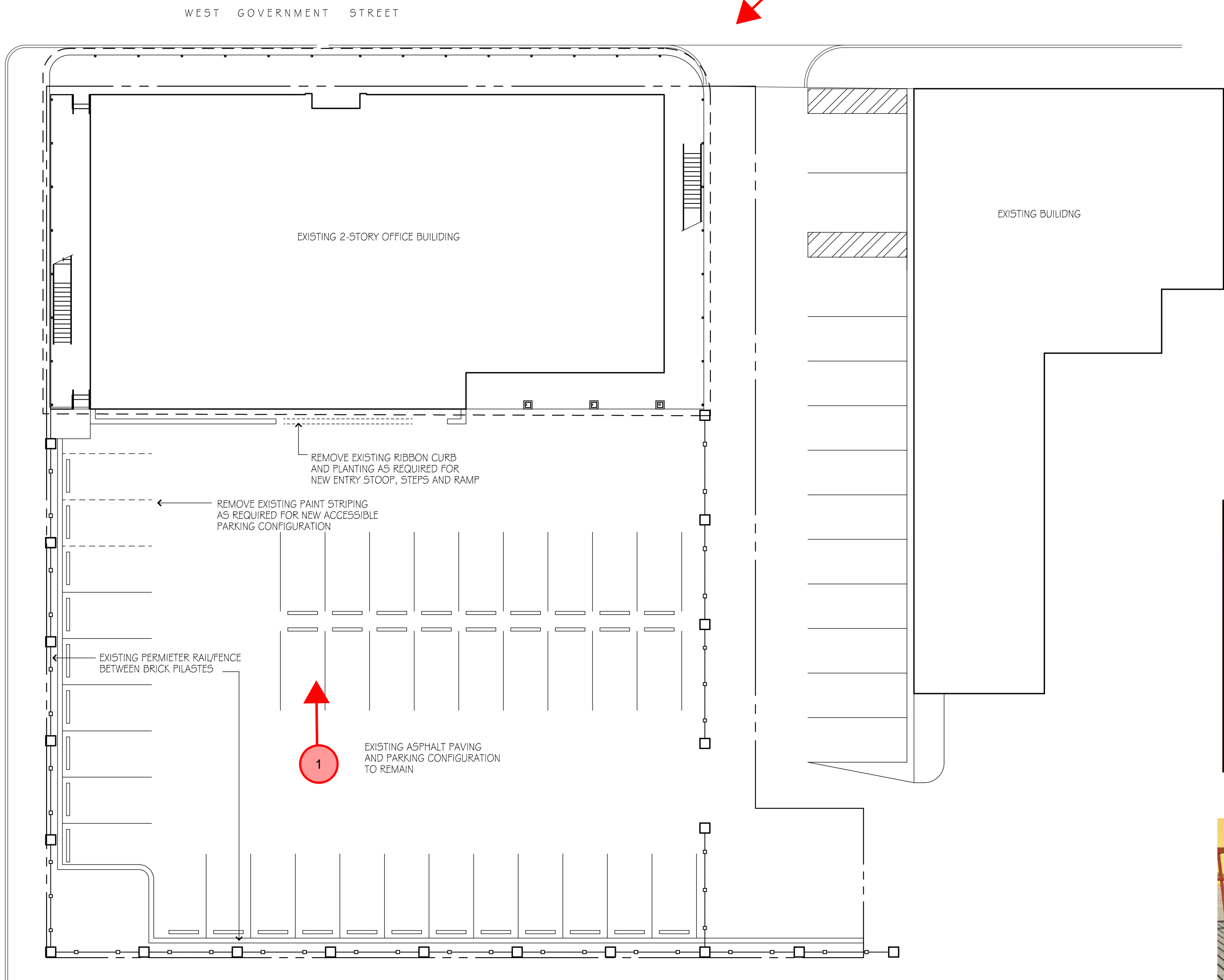
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3

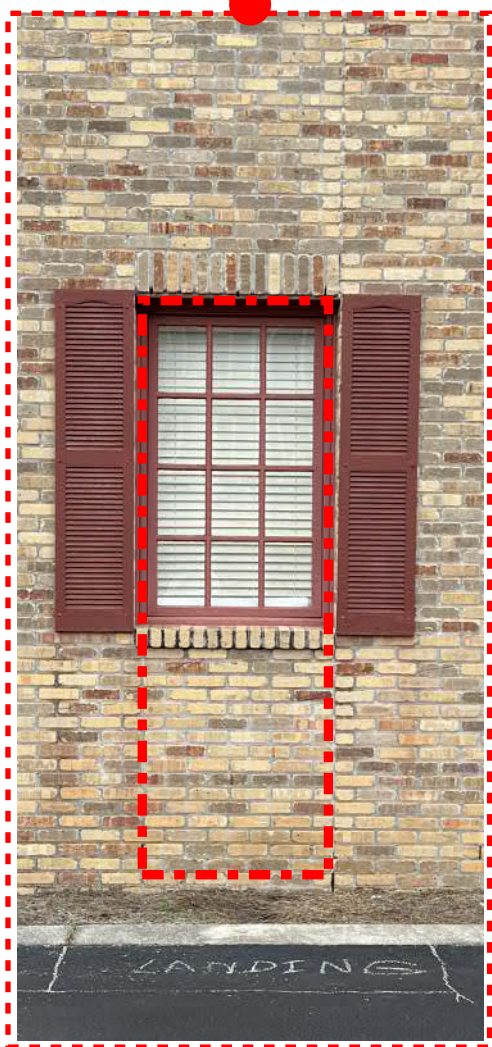
2

4

5



SITE PLAN- Existing
SCALE 1/16" = 1'-0"



2



5



EXISTING CORNER BRACKET TRELLAGE



EXISTING PERIMETER RAILING

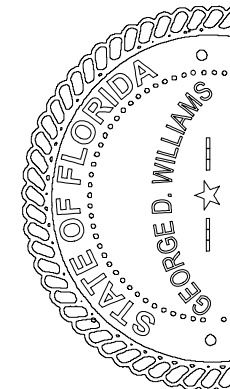
GMC

GOODWYN MILLS CAWOOD, LLC.
720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
G M C N E T W O R K . C O M
Gerald Steven Jarrigan -
Qualifying Agent
FL Architect AR 0009953

ISSUE	DATE
review	10-10-2022
ARB	01-17-2023
ARB 2	01-30-2023
DRAWN BY:	ges
CHECKED BY:	GDW

EXISTING BUILDING
ALTERATIONS
25 WEST GOVERNMENT STREET
PENSACOLA, FL

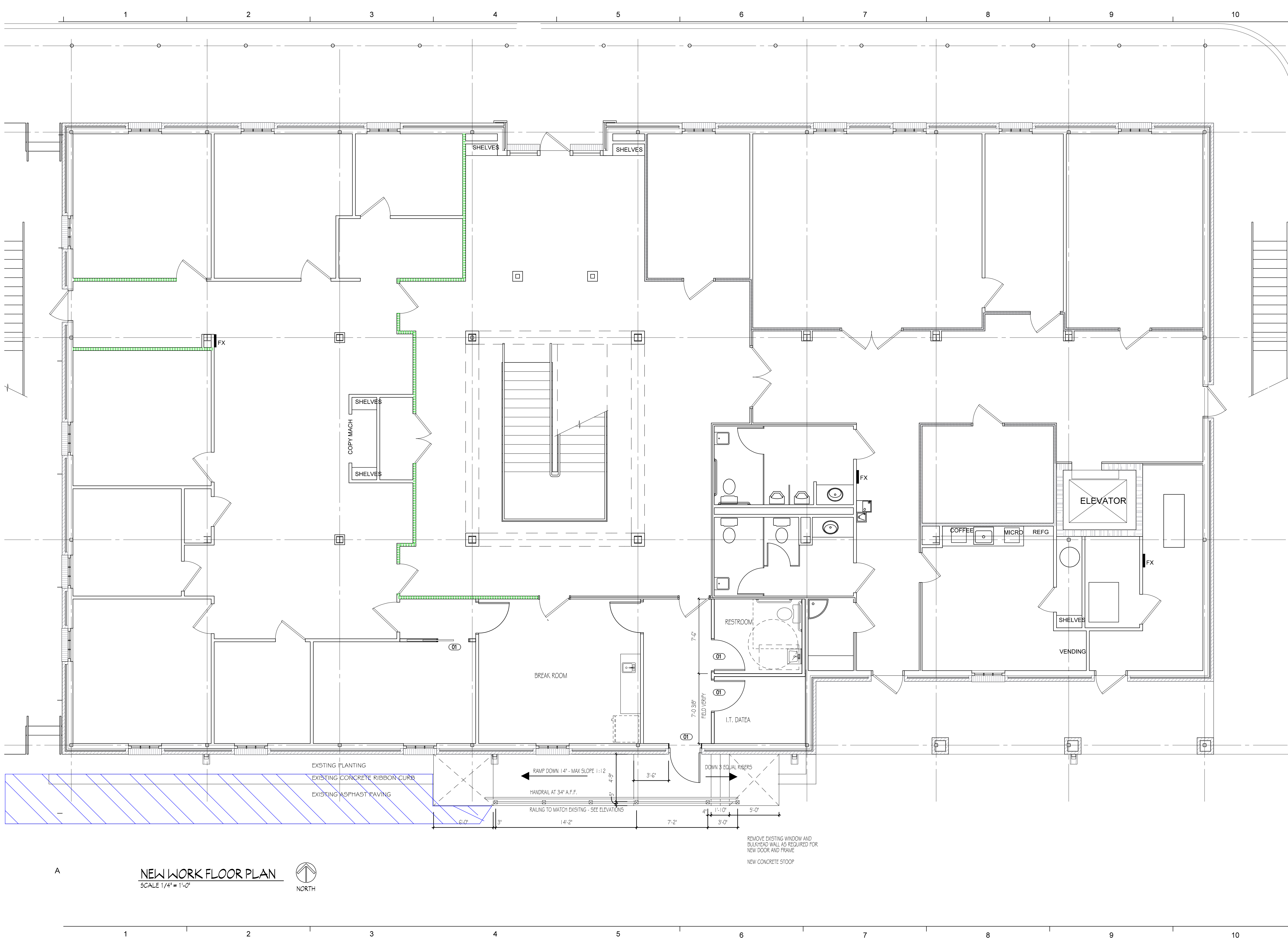
GMC Project # APEN 230001



GEORGE D. WILLIAMS
AR 0009434

EXISTING
SITE PLAN &
SOUTH ELEVATION

A001



A

NEW WORK FLOOR PLAN
SCALE 1/4" = 1'-0"



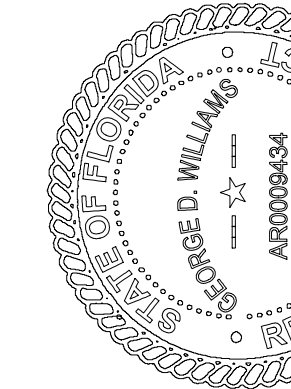
New Work Floor Plan

A100

EXISTING BUILDING ALTERATIONS
XXX BAYLEN STREET
PENSACOLA, FL

ISSUE DATE

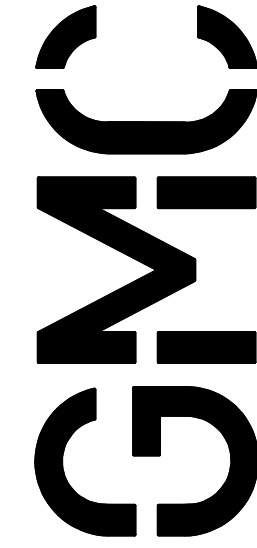
review	10-10-2022
LEASE AREA	11-22-2022
DRAWN BY:	geo
CHECKED BY:	GDW

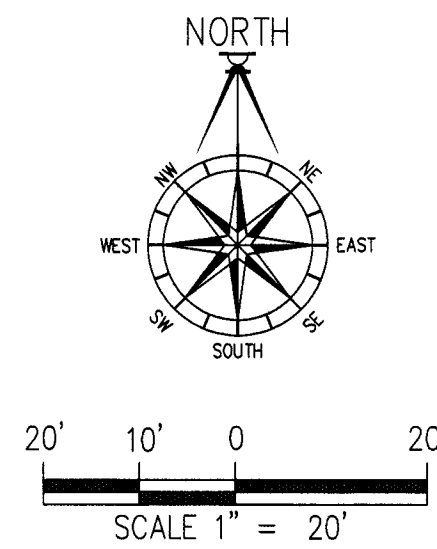


GEORGE D. WILLIAMS
AR 0009434

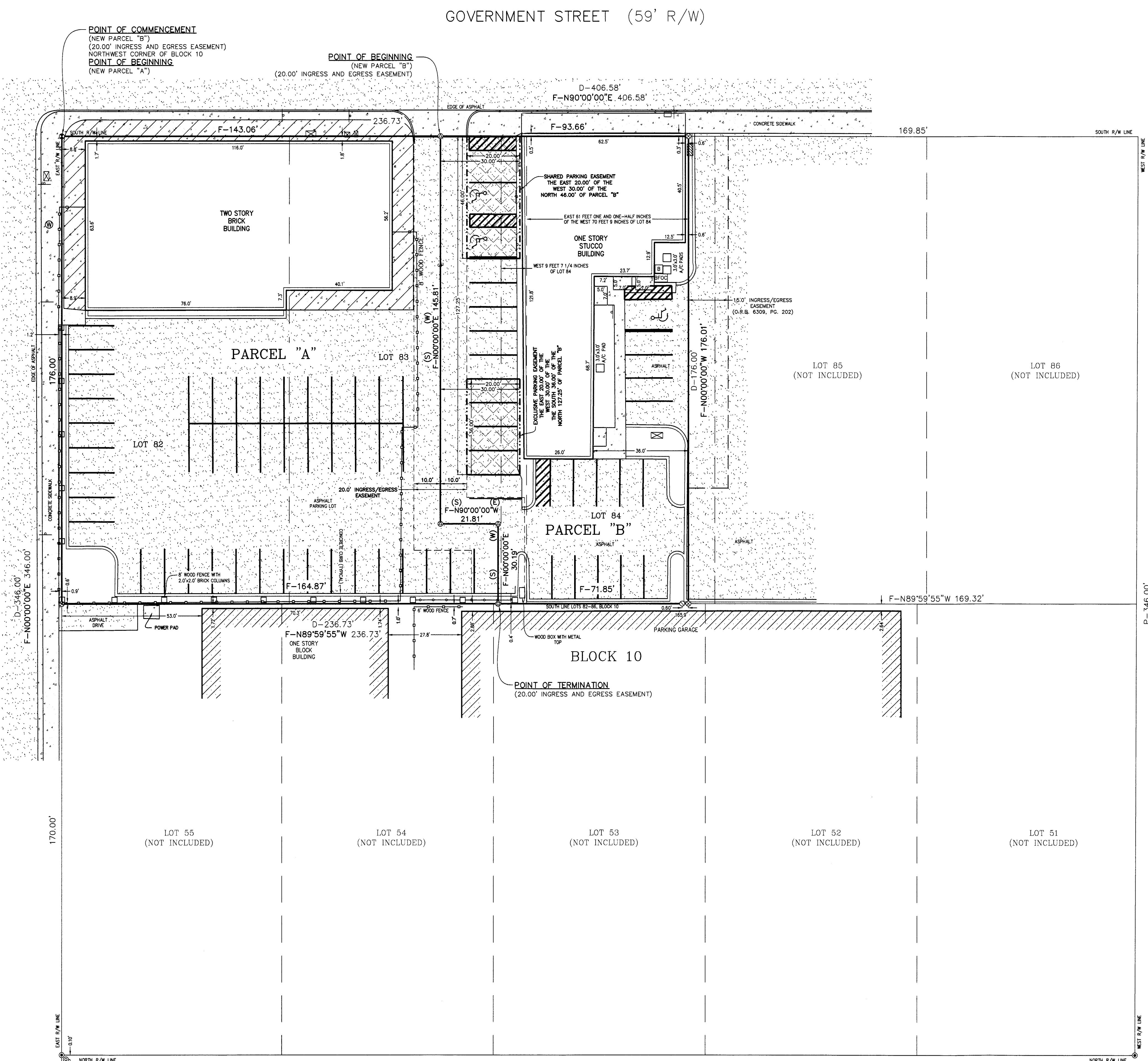
GMC Project # APEN XXXX

GOODWYN MILLS CAWOOD, LLC.
720 Bayfront Parkway, Suite 200
Pensacola, FL 32502
T 850 432 0706
G M C N E T W O R K . C O M
Gerald Steven Jernigan -
Qualifying Agent
FL Architect AR 0009953





BAYLEN STREET (53.5' R/W)



BASIS OF BEARINGS
(N90°00'00"E)
D-405.49' F-405.53'

ZARRAGOSSA STREET (37.87' R/W)

Certify To:
BFADM, LLC, a Florida limited liability company
Quayside Properties, LLC, a Florida limited liability company
Moorhead Real Estate Law Group
First American Title Insurance Company



PARENT TRACT DESCRIPTIONS:
(OFFICIAL RECORDS BOOK 5370, PAGE 994)
ALL OF LOTS 82 AND 83 AND THE WEST 9 FEET 7 1/4 INCHES OF LOT 84, BLOCK 10, OLD CITY TRACT, PENSACOLA, ESCAMBIA COUNTY, FLORIDA ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
(OFFICIAL RECORDS BOOK 4748, PAGE 148)
EAST 61 FEET ONE AND ONE-HALF INCHES OF THE WEST 70 FEET, 9 INCHES OF LOT 84, BLOCK 10, OLD CITY TRACT, ESCAMBIA COUNTY, FLORIDA.

NEW PARCEL "A" DESCRIPTION: (AS PREPARED BY UNDERSIGNED AT CLIENTS REQUEST)
A PORTION OF LOTS 82 AND 83, BLOCK 10, OLD CITY TRACT, PENSACOLA, ESCAMBIA COUNTY, FLORIDA ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE NORTHWEST CORNER OF SAID BLOCK 10, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF GOVERNMENT STREET (59' R/W), AND THE EAST RIGHT-OF-WAY LINE OF BAYLEN STREET (53.5' R/W); THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID GOVERNMENT STREET A DISTANCE OF 143.06 FEET;
THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 145.81 FEET;
THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 21.81 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 83;
THENCE RUN NORTH 89 DEGREES 59 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOTS 82 AND 83 A DISTANCE OF 164.07 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID BAYLEN STREET;
THENCE RUN NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 176.00 FEET TO THE POINT OF BEGINNING.
THE ABOVE DESCRIBED PARCEL OF LAND BEING SUBJECT TO A 20.00 FOOT WIDE INGRESS AND EGRESS EASEMENT, BEING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCE AT THE NORTHWEST CORNER OF SAID BLOCK 10, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF GOVERNMENT STREET (59' R/W), AND THE EAST RIGHT-OF-WAY LINE OF BAYLEN STREET (53.5' R/W); THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID GOVERNMENT STREET A DISTANCE OF 143.06 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT;
THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 145.81 FEET;
THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 21.81 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT.

NEW PARCEL "B" DESCRIPTION: (AS PREPARED BY UNDERSIGNED AT CLIENTS REQUEST)
A PORTION OF LOTS 83 AND 84, BLOCK 10, OLD CITY TRACT, PENSACOLA, ESCAMBIA COUNTY, FLORIDA ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF SAID BLOCK 10, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF GOVERNMENT STREET (59' R/W), AND THE EAST RIGHT-OF-WAY LINE OF BAYLEN STREET (53.5' R/W); THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID GOVERNMENT STREET A DISTANCE OF 143.06 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 93.66 FEET;
THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 176.01 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 84;
THENCE RUN NORTH 89 DEGREES 59 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOTS 83 AND 84 A DISTANCE OF 71.05 FEET;
THENCE DEPARTING SAID SOUTH LINE RUN NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 30.19 FEET;
THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 21.81 FEET;
THENCE RUN NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 145.81 FEET TO THE POINT OF BEGINNING.
THE ABOVE DESCRIBED PARCEL OF LAND BEING SUBJECT TO A 20.00 FOOT WIDE INGRESS AND EGRESS EASEMENT, BEING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCE AT THE NORTHWEST CORNER OF SAID BLOCK 10, SAID POINT ALSO BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF GOVERNMENT STREET (59' R/W), AND THE EAST RIGHT-OF-WAY LINE OF BAYLEN STREET (53.5' R/W); THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID GOVERNMENT STREET A DISTANCE OF 143.06 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT;
THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 145.81 FEET;
THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 21.81 FEET;
THENCE RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 30.19 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT.

SURVEYORS NOTES:
-THE MAP OF SURVEY AS SHOWN HEREON IS BOUNDARY SURVEYS WITH IMPROVEMENTS FOR WHICH PURPOSE IS TO DEFINE THE NEW PARCEL BOUNDARIES ON THE GROUND BY RETRACEMENT OF THE RECORD PARENT TRACT PLATTED LOTS AND BLOCK PER THE RECORDED MAP OF THE ABOVE REFERENCED OLD CITY TRACT, RECOVERY, AND/OR PLACEMENT OF MONUMENTATION OF SAID NEW PARCEL BOUNDARIES, AND ALSO, LOCATE HORIZONTALLY, DIMENSIONALLY MEASURED, FIXED, PERTINENT IMPROVEMENTS AND GRAPHICALLY DEPICT FIXED NON-PERTINENT IMPROVEMENTS TO SCALE, AND THEIR RELATIONSHIP TO THE BOUNDARY, PREPARED FOR THE CLIENT AS SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
-BASIS OF BEARINGS: NORTH AND THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF N90°00'00" E ALONG THE SOUTH R/W LINE OF GOVERNMENT STREET AS MONUMENTED.
-REFERENCE SOURCE: IN FIELD DATA GATHERING OF EXISTING PROJECT SITE FIELD MONUMENTATION: COPY OF CITY ATLAS SHEET NO. 74.
-ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE UNITED STATES STANDARD SURVEY FOOT.
-NO TITLE SEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WAS KJM LAND SURVEYING, LLC PROVIDED WITH SAME.
-NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAYS, AND/OR OWNERSHIPS WERE PROVIDED TO THIS SURVEYOR, EXCEPT AS SHOWN.
-NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN.
-UNLESS OTHERWISE NOTED RECORD AND MEASURED CALLS AGREE.
-THE SURVEY ERROR OF CLOSURE MEETS THE SURVEY STANDARDS OF PRACTICE.
-THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THE SUBJECT PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS MAP.
-ENCROACHMENTS ARE AS SHOWN.
-FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
-THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP NOR AN ENCROACHMENT OF FENCES, WALLS, ETC.
-THE CERTIFICATE OF AUTHORIZATION NUMBER FOR KJM LAND SURVEYING, LLC, IS L.B. 8298.
-THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS & MAPPERS IN CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
-IT IS OF THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCEL OF LAND SHOWN HEREON AS PER THE FLOOD INSURANCE RATE MAP INFORMATION IS AS FOLLOWS:
NFIP COMMUNITY NAME: CITY OF PENSACOLA
ZONE: X
ELEVATION: N/A
NFIP COMMUNITY NUMBER: 20082
PANEL NUMBER: 0203C 0390 G
AS DATED: 09/29/2008

LEGEND:				ABBREVIATIONS:			
⊗	FOUND 1/2" CAPPED IRON ROD LB #7107	PSM	PROFESSIONAL SURVEYOR	PSM	PROFESSIONAL SURVEYOR		
⊗	FOUND PLAIN "X" CUT IN CONCRETE	AND MAPPER		LB	LICENSED BUSINESS		
⊗	FOUND 1/2" CAPPED IRON ROD LB #7073			LS	LICENSED SURVEYOR		
⊗	FOUND 1/2" ALLOY CAPPED IRON ROD LB #0340			R/W	RIGHT-OF-WAY		
⊗	FOUND ILLEGIBLE 1/2" CAPPED IRON ROD	A/C	AIR CONDITIONER	D	DEED		
⊗	SET NAIL & DISK LB #8298	P	PLAT	F	FIELD		
⊗	SET 1/2" CAPPED IRON ROD LB #8298	NFIP	NATIONAL FLOOD INSURANCE PROGRAM	N/A	NOT APPLICABLE		
⊗	STORMWATER MANHOLE	Q	CENTERLINE	O.R.B.	OFFICIAL RECORDS BOOK		
⊗	CABLE BOX	PG	PAGE				
⊗	POWER BOX						
⊗	BURIED FIBER OPTIC CABLE BOX						
⊗	BELLSOUTH BOX						
⊗	ROAD SIGN						

ADDRESS: 25 WEST GOVERNMENT STREET			
REQUESTED BY: ANDREA BENNETT			
TYPE: BOUNDARY SURVEY WITH IMPROVEMENTS			
SECTION 46, TOWNSHIP- 2 - SOUTH, RANGE- 30 - WEST, ESCAMBIA COUNTY			
SCALE: 1" = 20'	FIELD BOOK	PAGE	CREW
DATE: 01/29/2008	S10	19-22	CB/GJ
NO:	DATE	RECORDS	FIELD DATE
1	12/17/19	BOUNDARY SURVEY WITH IMPROVEMENTS-F.B. #286, PG. 40-42-45/70-12/10/19-19P	01/26/08
2	01/22/20	ADDED PARKING EASEMENTS - JSP	KES
3	01/29/20	ADDED 15.00' INGRESS/EGRESS EASEMENT - JSP	
APPROVED BY: [Signature]			
MICHAEL WATTS, PSM #5458			
CORPORATE NO. LB 0006296			
STATE OF FLORIDA			
DRAWING NUMBER: 08-14258			



4061 CREIGHTON RD PENSACOLA, FL 32504
P| 850-494-7992 F| 850-969-1278

ESTIMATE

DATE: 9/19/2022
ESTIMATOR: ADAM

REFER TO THIS ESTIMATE
NUMBER WHEN ORDERING

10900

TO:

MATTAIR CONSTRUCTION CO.
57 S. COYLE STREET
PENSACOLA, FL 32501

SHIP TO:

25 W. GOVERNMENT

PROJECT:

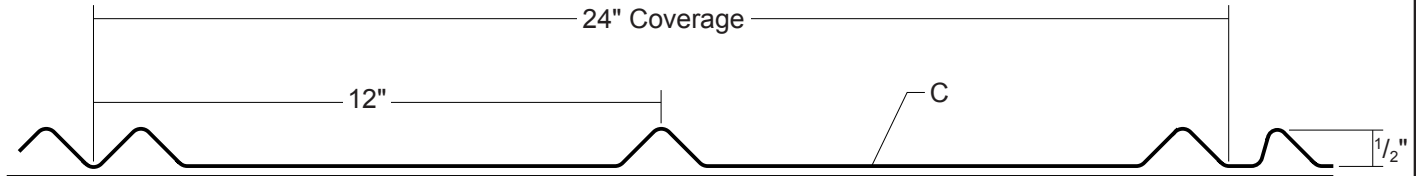
QTY	DESCRIPTION
1	F16 WELDED TRANSOM FRAME 38" X 100" OD GALV 14" JD
1	H16 2'10 X 6'8 HALF GLASS IMPACT RATED HOLLOW METAL DOOR
1	24 X 32 1" C/C IMPACT GLASS W/ BRONZE MUNTINS 7/8" 9 LITE
1	34 X 14 1" C/C IMPACT GLASS W/ BRONZE MUNTINS 7/8" 3 LITE
1	L-GT-118 - 100' GLAZING TAPE
3	BB1191 4.5 x 4.5 NRP US10B DARK BRONZE HINGE
1	ALX53PD SAT 613 ENTRY LOCK
1	B660P 613 DEADBOLT
1	4040XP Rw/PA TBSRT CLOSER
1	726C 17' WEATHERSEAL
1	750SN 36" SWEEP
1	810S 40" RAIN DRIP
1	520SV 36" MIL PANIC THRESHOLD 1/2" x 5"
	NOTES: LEAD TIME IS 11-12 WEEKS.

THIS QUOTE IS GUARANTEED FOR 30 DAYS FROM
ABOVE DATE UNLESS OTHERWISE STATED.

CREDIT CARD PAYMENTS: A PROCESSING FEE OF 3.5% WILL BE
CHARGED FOR ANY INVOICE OVER \$1000.

SUBTOTAL	\$4,430.00
SALES TAX (7.5%)	\$332.25
TOTAL	\$4,762.25

Metal Roofing Submittal for Approval



**ARCHITECTURAL
RESIDENTIAL
PANEL**

**DIRECT
FASTEN**

**24"
COVERAGE**

**MINIMUM
SLOPE
3:12**

**SOLID WOOD
SUBSTRATE**

PANEL OVERVIEW

- ▶ Finishes: MS Colorfast45® and Acrylic Coated Galvalume®
- ▶ Gauges: 26ga standard, 24ga optional
- ▶ 24" panel coverage, 1/2" rib height
- ▶ Exposed fastened panel, traditional "V" rib
- ▶ Applies over plywood substrate with 30 pound felt underlayment
- ▶ 3:12 slope minimum

FL 14645.2-R4
C2397-2
10.7.2020

installation per attached
current FL Prod Approval

TESTING

- ▶ UL 2218, Class 4 Impact Rating
- ▶ UL 790, Class A Fire Resistance Rating
- ▶ Florida Building Code Approved 9107.1, 8131.1, 10916.2
- ▶ Miami-Dade County Approved 08-0229.13
- ▶ UL 580, Class 90 Wind Uplift Construction #579 over 1/2" Plywood
- ▶ UL 580, Class 90 Wind Uplift Construction #453 over 5/8" Plywood
- ▶ Texas Windstorm Evaluation R-160



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00116

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

400 S. Jefferson Street
Pensacola Historic District / Zone HC-2 / City Council District 6
Final Review for Changes to the Courtyard at a Contributing Structure

BACKGROUND:

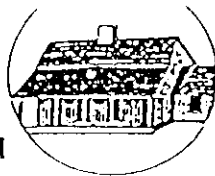
Carter Quina is seeking *final* approval for modifications to the courtyard and an addition of an entryway at the Pensacola Cultural Center. A conceptual review of this project was denied in November 2021, though nearly all of the discussion was focused on the rooftop addition which was later conceptually approved. For this application, a new wrought iron gate will be installed around the courtyard and a entry stoop with a new door and transom will be added. The stoop and entryway will be designed to match the existing in style and colors, and all new materials have been included in the drawings.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(a) Pensacola Historic District, Procedure for Review, Decisions

Sec. 12-3-10(1)f. PHD, Alterations to existing contributing structures



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

Site #8 ES01152
Recorder #
Field Date / /
Form Date / /

 Original
 x Update

SITE NAMES (addr. if none) Court of Records Bldg. [MULT. LIST. #8]
SURVEY Pensacola Historic District [SURVEY # 4758]
NATIONAL REGISTER CATEGORY building structure district site object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 400 South Jefferson Street
CROSS STREETS nearest/between Main and Zaragoza St.
NEAREST CITY/TOWN Pensacola IN CURRENT CITY LIMITS yes no
COUNTY Escambia TAX PARCEL #
SUBDIVISION NAME Old City Tract BLOCK Lettered LOT NO. E
OWNERSHIP private-profit priv-nonprofit priv-indiv priv-unspecified city county state federal unknown
NAME OF PUBLIC TRACT (e.g., park)
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087 D2 TF 024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? y n
[UTM: ZONE 16 17 EASTING NORTHING]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

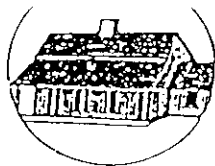
STYLE RENR ITRE EXTERIOR PLAN RECT NO. STORIES 3
STRUCTURAL SYSTEMS CONC
FOUNDATION: Types SLAB Materials CONC POCO
EXTERIOR FABRICS CONC
ROOF: Types FLAT Materials BUIL
Secondary strucs. (dormers etc.)
CHIMNEY: No. Materials LOCATIONS
WINDOWS (types, materials, and placements) DHS 1/1

MAIN ENTRANCE (stylistic details) recessed archway
PORCHES: #open #closed #incised Locations
Porch roof types
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: excellent good fair deteriorated ruinous
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) commercial residential institutional rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain; yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8

HISTORY

CONSTRUCTION DATE 1911 CIRCA ☒ yes ☐ no
 ARCHITECT: (last name first) UNKNOWN
 BUILDER: (last name first) UNKNOWN
 MOVES ☐ yes ☐ no Dates _____ Orig. addr. _____
 ALTERATIONS ☒ yes ☐ no Dates 1995 Nature Added story
 ADDITIONS ☐ yes ☐ no Dates _____ Nature _____
 ORIGINAL USES (give dates) Escambia County Jail
 INTERMEDIATE USES (give dates) _____
 PRESENT USES (give dates) OFFICE theatre
 OWNERSHIP HISTORY (especially original owner) Pensacola Little Theatre Escambia County

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? ☐ yes ☐ no ☐ insuff. info
 Individually elig. for Nat. Register? ☐ yes ☐ no ☐ insuff. info
 Potential contributor to NR district? ☐ yes ☐ no ☐ insuff. info

Local Designation Category

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.)

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available)

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg nos R1, F23

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

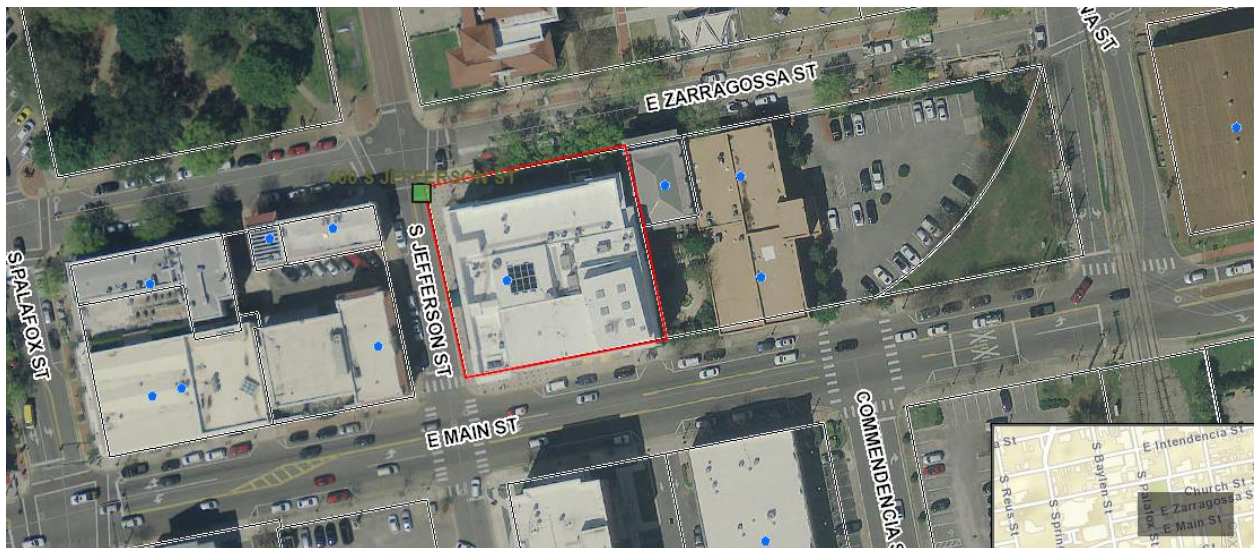
DHR USE ONLY		OFFICIAL EVALUATIONS				DHR USE ONLY	
NR DATE		KEEPER NR ELIGIBILITY	y	n	pe	u	Date
DELIST DATE		SHPO NR ELIGIBILITY	y	n	pe	u	Date
		LOCAL DESIGNATION					Date
		Local office					

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
 (2) LARGE SCALE STREET OR PLAT MAP
 (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



400 S. Jefferson Street



compromise; Mr. Quina suggested red glass, and Board Member Mead pointed out varied colors in glass were also common in churches. Board Member Ramos pointed out the Secretary of Interiors standard for rehabilitation would want the door to be replaced with another identical wood door. For the sake of the flooding issue, location of the building, and the overall preservation, it would be acceptable to change the material of the door but to maintain the same look. Advisor Pristera had an issue with the applied pattern as presented. He did like the compromise with the red film blocking out the corners, keeping the long rectangle of glass and octagon glass which would be a good middle ground for him, but the glass with the applied muntin pattern was too modern for this door. He explained it was a very iconic building, and the doors were a key piece. Mr. Quina advised the church would like a door with as much glass as the Board would allow. **Board Member Fogarty made a motion to approve the door with the modifications: red painted aluminum to infill the top left and right corners and two lower side panels so the only exposed glass is the center vertical column and the octagon. Board Member Mead offered an amendment to include the applied red interior infill at the top glass, and it was accepted. Board Member Mead seconded the motion.** Board Member Fogarty clarified that the colored glass would be more cost effective than the metal, and she was open to either of the options, and Board Member Mead was agreeable. **Chairperson Salter explained the motion was for either metal or glass infill panels of red on the two side vertical pieces and upper corners and applied red infill. The motion failed with Board Members Yee, Fogarty and Mead voting in favor, and Board Members Ramos, Courtney, and Salter dissenting.** Chairperson Salter confirmed that he could make a motion to approve a replacement door matching the same exact criteria of the existing using a different material, and staff agreed. Mr. Quina asked if it would be appropriate for them to request an approval for a replica made in hollow aluminum or an alternative material at this time. **Chairperson Salter made a motion to approve replacement doors for this project under the circumstances and criteria that those replacement doors match the existing in size, shape, window size and applied decoration same profile, but the door materials themselves due to maintenance issues may be of a hollow metal or other wood should that be decided. Regarding fiberglass, he clarified any material that maintains the solid flat visual of the existing, and that the final door returns with material and applied mullion for an abbreviated review. Board Member Courtney seconded the motion, and it carried 6 to 0.**

Item 9

400 S. Jefferson Street

PHD

Contributing Structure - Conceptual

HR-2

Action taken: Denied Without Prejudice.

Carter Quina is seeking conceptual approval for a new rooftop venue and new entry stoop to the existing courtyard and banner replacements on the south façade. Since this is for conceptual review, final review of the proposed alterations and additions will follow at a later date. Additional information and a virtual flyover presentation were provided to the Board.

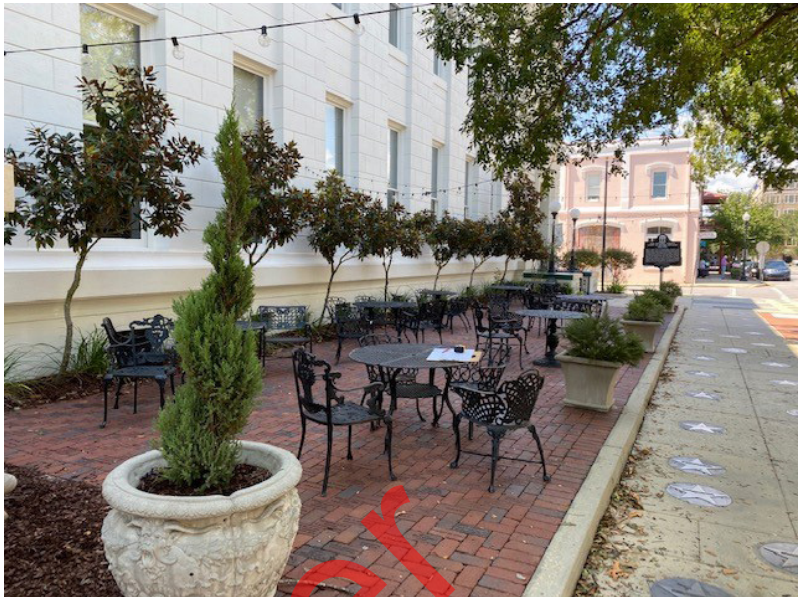
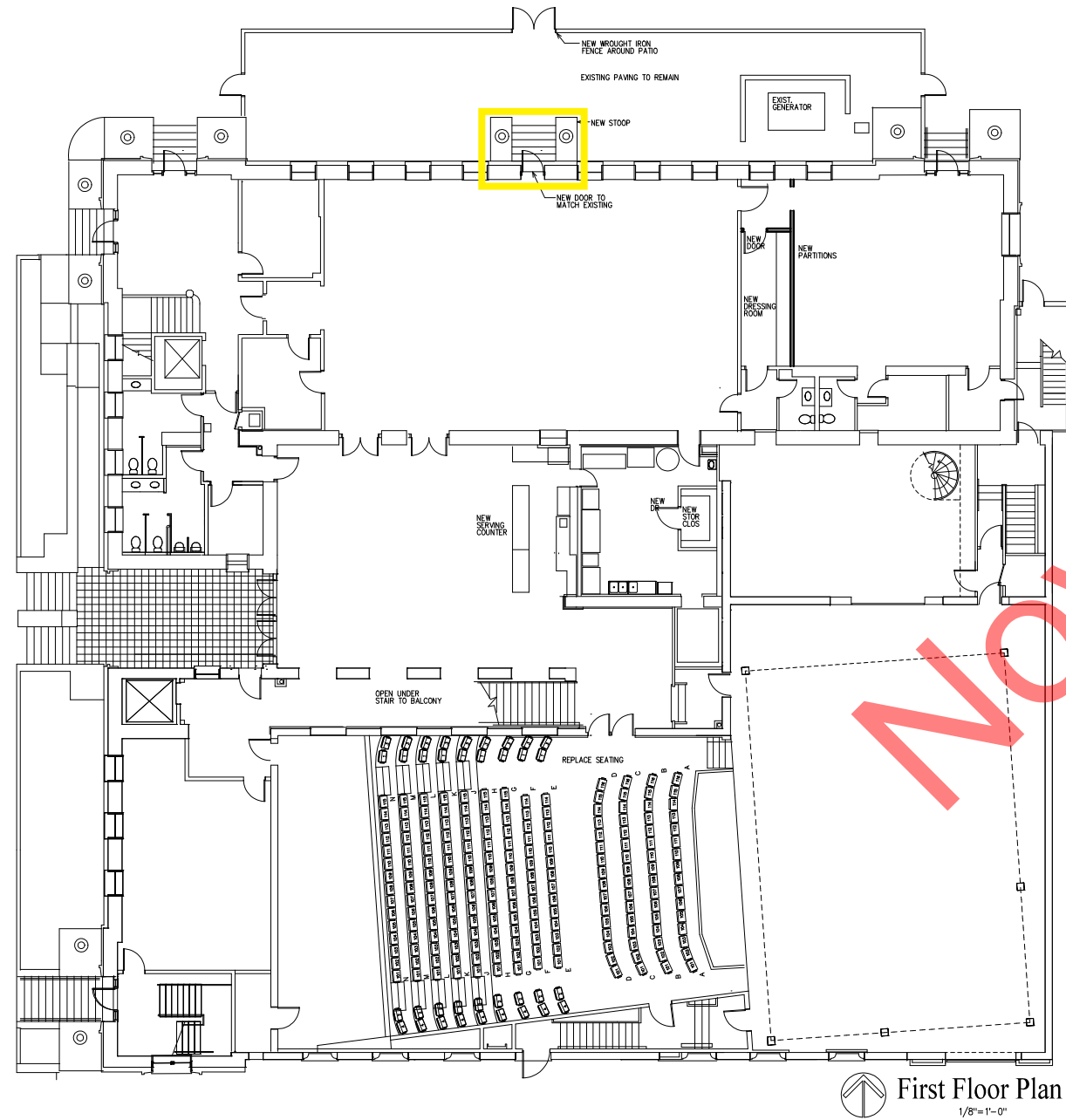
Mr. Quina presented to the Board and explained the building had been studied for adding a fourth floor. Since the building had magnificent views of Pensacola and the bay, there needed to be access to it. The only stairway was in the southwest corner, which looked like it was designed to proceed to another level; the building was allowed four stories with Type 2A construction and already had a penthouse above the theater. They planned to replace a bottom floor window with a door and a matching stoop and enliven the existing courtyard which would include a new wrought iron gated fence around the patio. They had done some feasibility and construction estimates, an unveiling, and they had a million-dollar donor. He explained with all the use, the building required interior renovations as well.

Chairperson Salter asked about the new proposed rooftop venue and the floor level element – was that as low as it could be. Mr. Quina advised it was since those were structural beams with the ceiling of the theater below. He explained the grid which held up all the stage operations. He also explained the service bar against the wall and the trellis and advised this would not be seen from the ground. Board Member Mead pointed out the banner posts preserved the balance; the penthouse was painted out to minimize its impact, but now we had something different. It was now differing from the established above parapet language; it was radically altering the sense of symmetry as between this element and that element above parapet, but more importantly, the façade on Jefferson Street. He did not know if there was any way to accomplish this without extending something further north to give that balance and catching some element of the ornament in the façade to pick up what was going to be seen in the rooflines. Breaking the symmetry on that prominent corner was problematic. Mr. Quina explained the key place was the stairs in the corner and the elevator opposite of the arch – both of those were already in place down to the foundation of the building. He also explained the building code considered this the 4th floor. He agreed glass could be a consideration. Board Member Ramos advised glass was used in Europe where the rooftop structure was lighter and more modern; if they went more modern, they could mimic the volume of the penthouse on the other side, creating a better balance. He felt the mansard in the corner threw off the balance on multiple facades. Mr. Quina considered the presentation more respectful and more fitting to the location.

Advisor Pristera had seen other buildings with the mansard roof, but if it continued to the corner, he would be more receptive to it. But, if it was glass, that would be more modern, and he felt downtown was going in a new direction with new development. It being a cultural center, the building could pull off the modern design. Most people would be approaching from the north, and symmetry might not be a problem. Mansard was more traditional, but modern glass could possibly make it read as a special feature. Board Member Fogarty wanted to consider something more modern which does not look like it was trying to match the existing – something that contrasts unlike something which disappears. She suggested something resembling the penthouse or plant material surrounding the exterior wall. She did not think the Board should be opposed to moving in a non-traditional direction. Mr. Quina agreed glass would be more expensive than metal but was glad to pursue a more contemporary design. Board Member Mead pointed out they would need to pull out an existing element such as the barrel vault on the Jefferson side.

Board Member Ramos was happy there was a client willing to develop a space like this; the challenge was for the architect to bring back something that addressed the balance and maybe more modern; the presentation today takes away from the existing contributing structure. Board Member Mead had no problem with changing the window to a door on the north side. Chairperson Salter's only concern was the introduction of the podiums and the new lights at the same level and suggested minimizing how they introduced the lights and the steps to not have them compete with the two corner elements. Regarding the rooftop, the cornice line of the building was such a strong and dominant element, he did not see the asymmetry as an issue. He agreed the proposed materials were appropriate for the current presentation but was intrigued by the possibility of introducing a totally different material and maybe something asymmetrical about this mass on the top as well. Mr. Quina asked if this item could be tabled, and Chairperson Salter advised the Board was not allowed to table an item and staff confirmed. Staff explained this was a conceptual review and could return as a conceptual review. **Board Member Mead made a motion to deny without prejudice for resubmission, seconded by Board Member Courtney. The motion then carried 5 to 1 with Chairperson Salter dissenting.**

Pensacola Cultural Center Resurgence
ARB Conceptual Approval November 2021



Existing Condition View above with Concept Sketch to the right.
Bottom rendering shows new canopy, entry and stoop to the existing courtyard.



**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

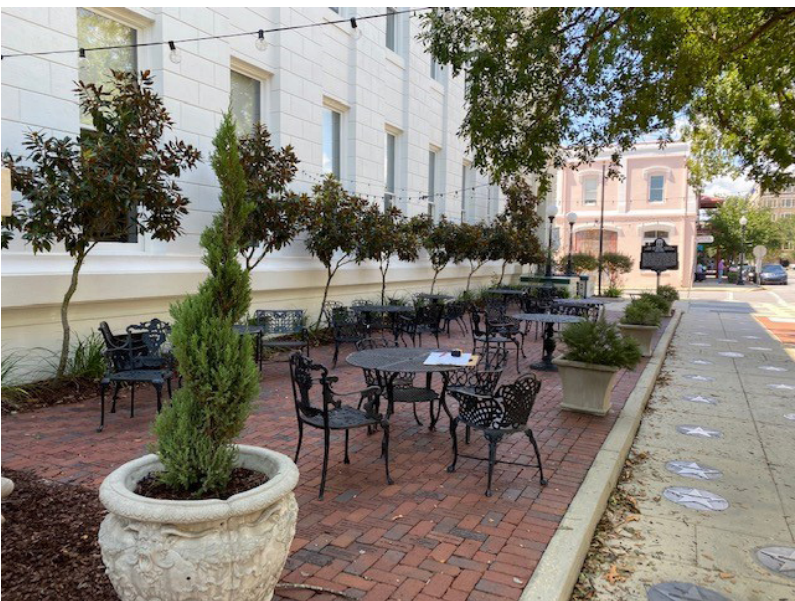
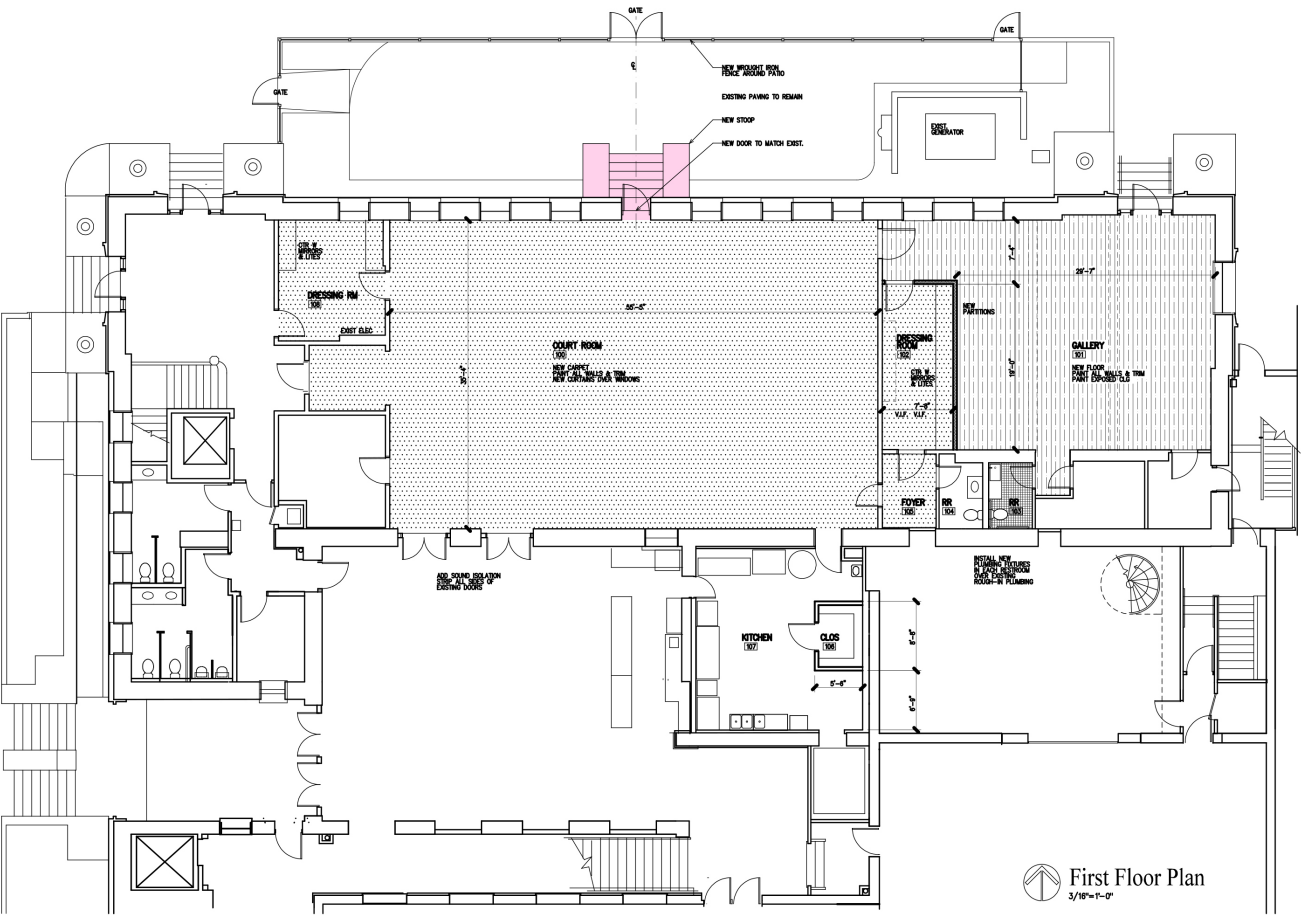
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

Clark Family Cultural Center

ARB Final Approval February 2023



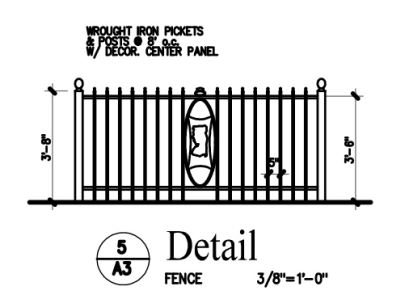
Existing Condition Views to the left and above. Existing storefront to be replicated without the sidelights at new entry. Bottom rendering shows new canopy, entry and stoop to the existing courtyard. This was granted Conceptual Approval.



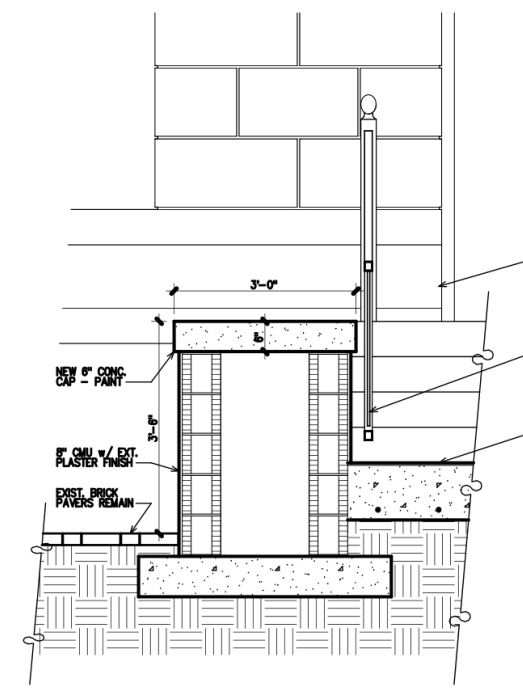
Final Rendering of new stoop, fence and landscaping.



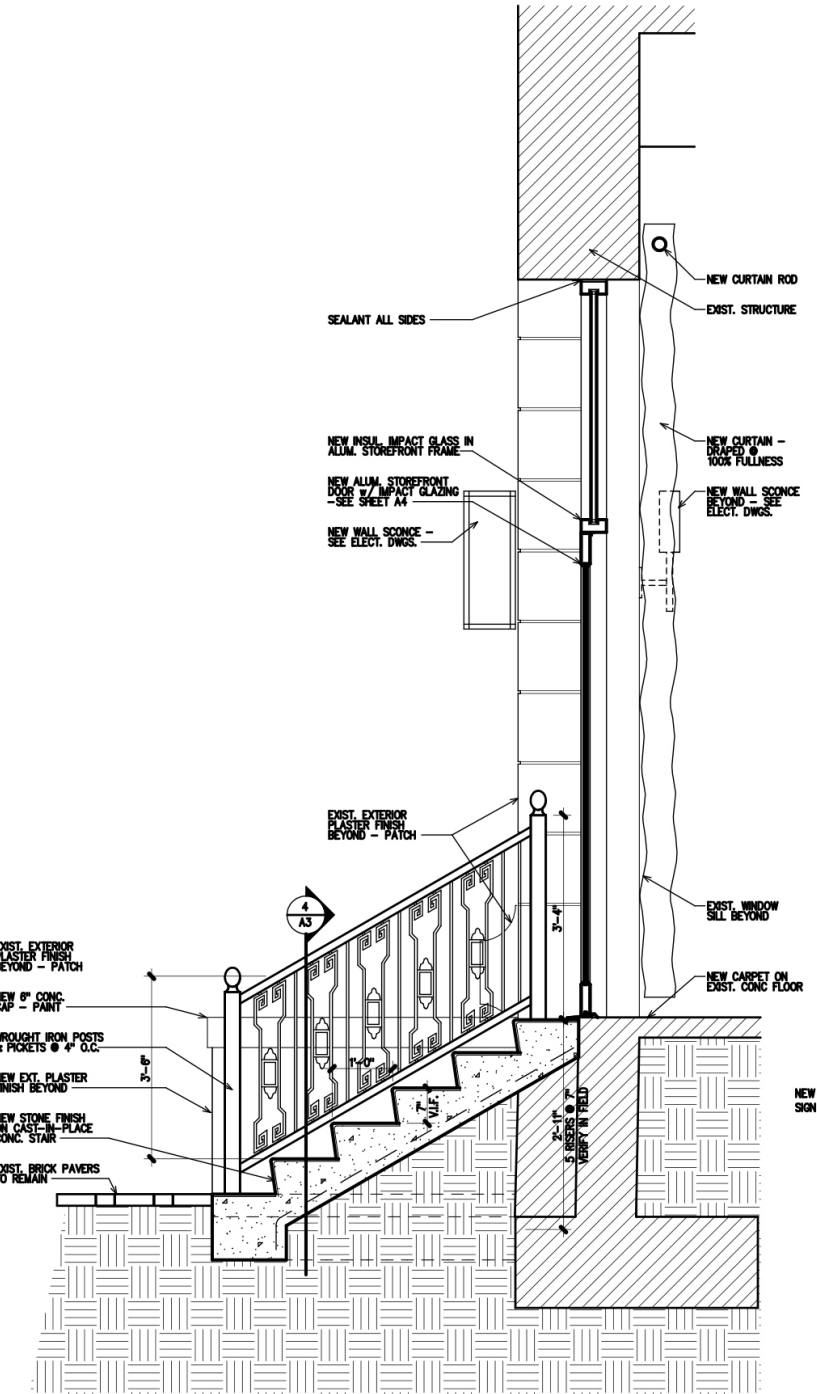
Contemporary Series Modernist Original Bracket
Bevolo wall sconce for each side of entry.



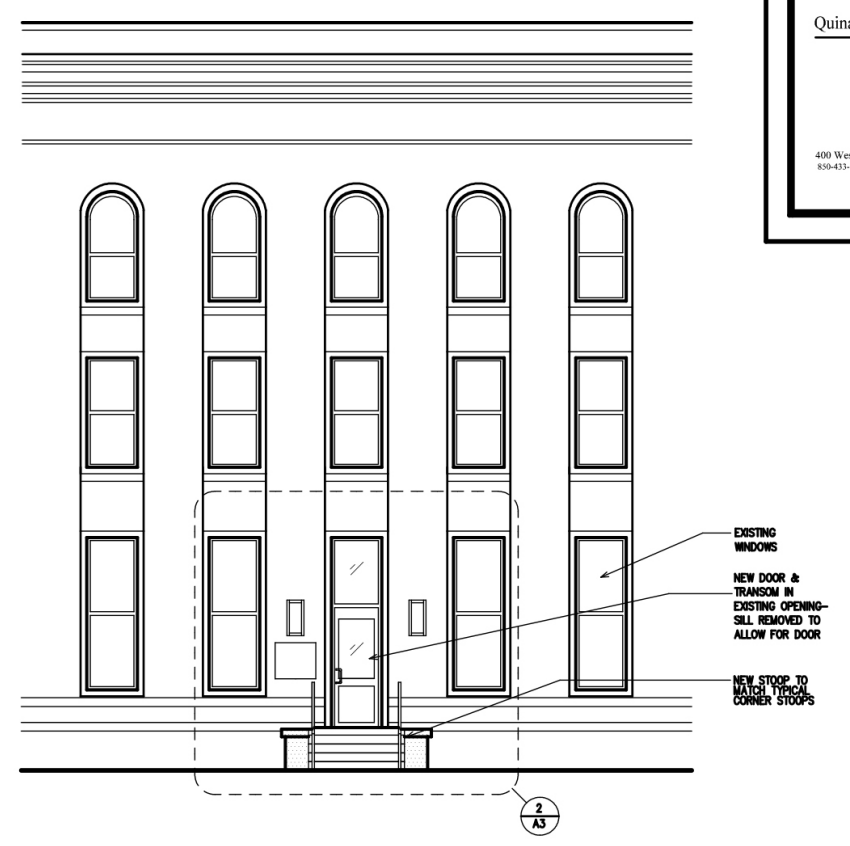
5 Detail
A3 FENCE 3/8"=1'-0"



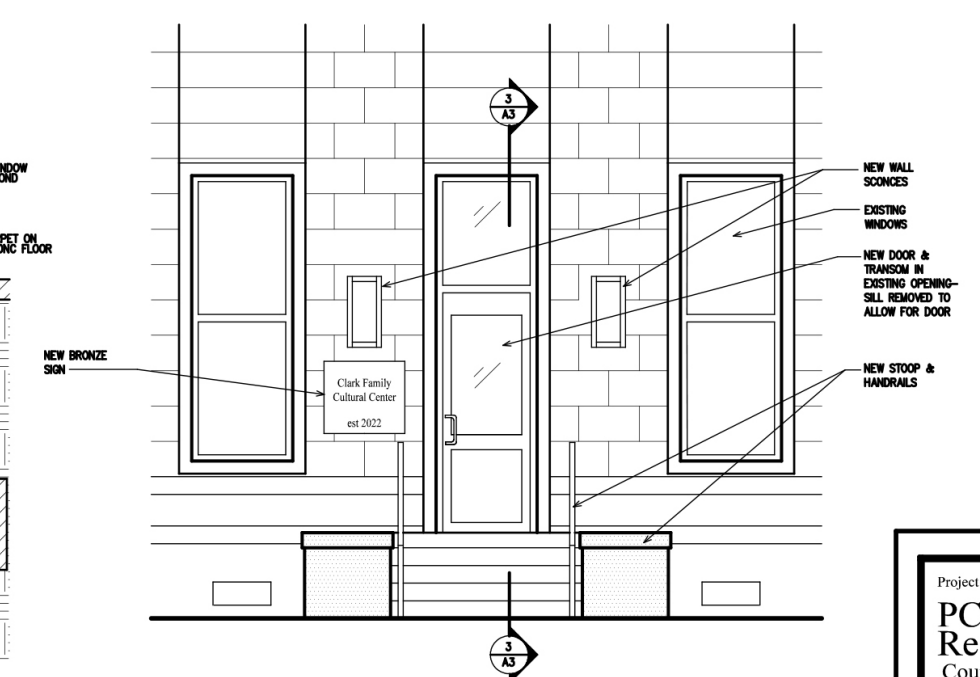
4 Stair Detail
A3 NEW STOOP 3/4"=1'-0"



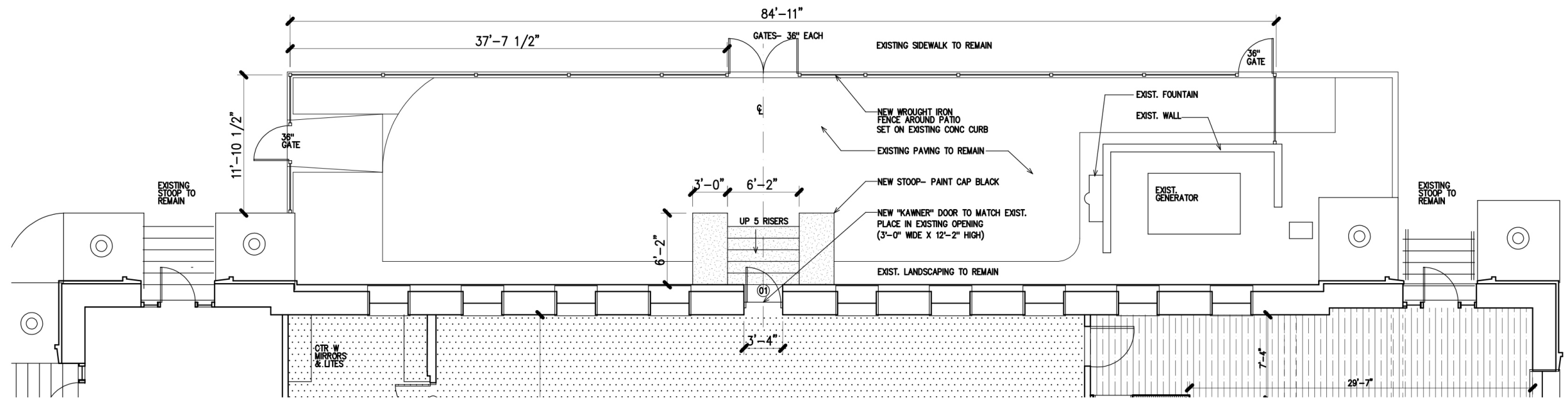
3 Wall Section
A3 NEW STOOP 3/4"=1'-0"



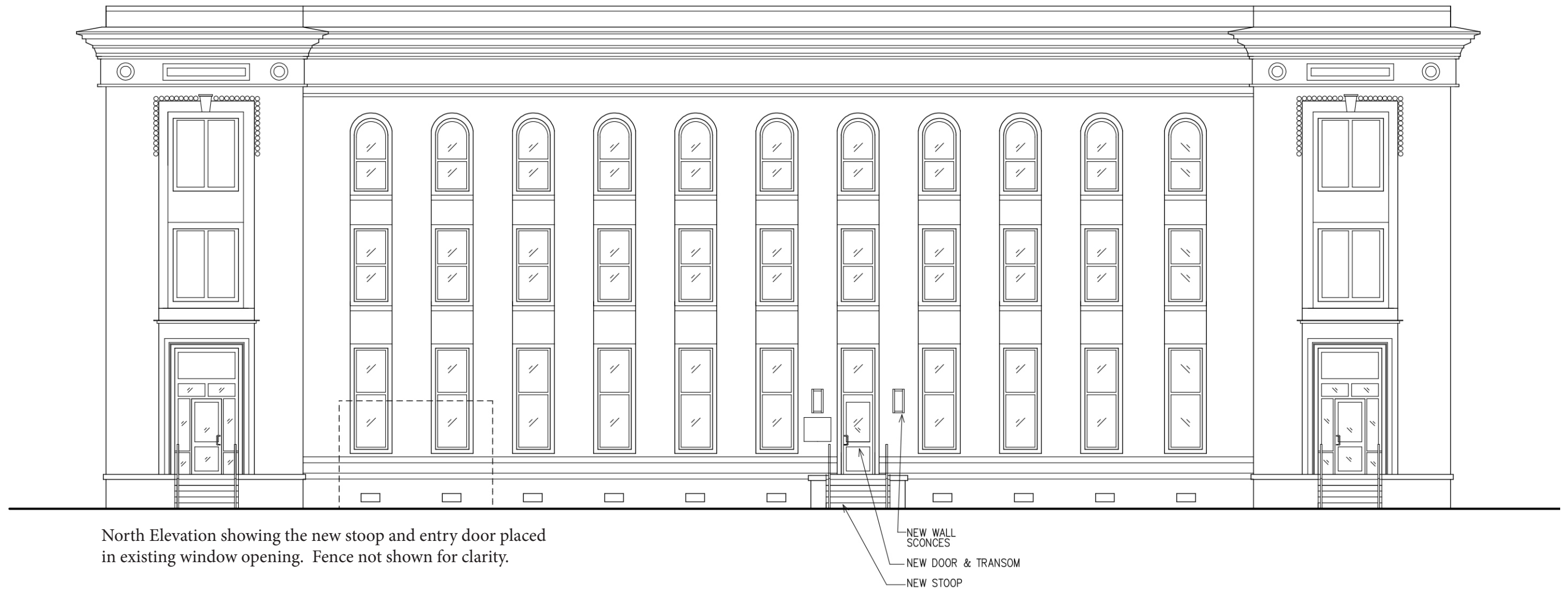
1 Partial North Elevation
A3 3/16"=1'-0"



2 Partial North Elevation
A3 3/8"=1'-0"



Partial Floor Plan showing courtyard with new fence, gates, and new stoop with entry door.



North Elevation showing the new stoop and entry door placed in existing window opening. Fence not shown for clarity.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00115

Architectural Review Board

2/16/2023

TO: Architectural Review Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 2/8/2023

SUBJECT:

211 N. Palafox Street
Palafox Historic Business District / Zone C-2A / City Council District 6
Final Review for Site Improvements and a New Structure

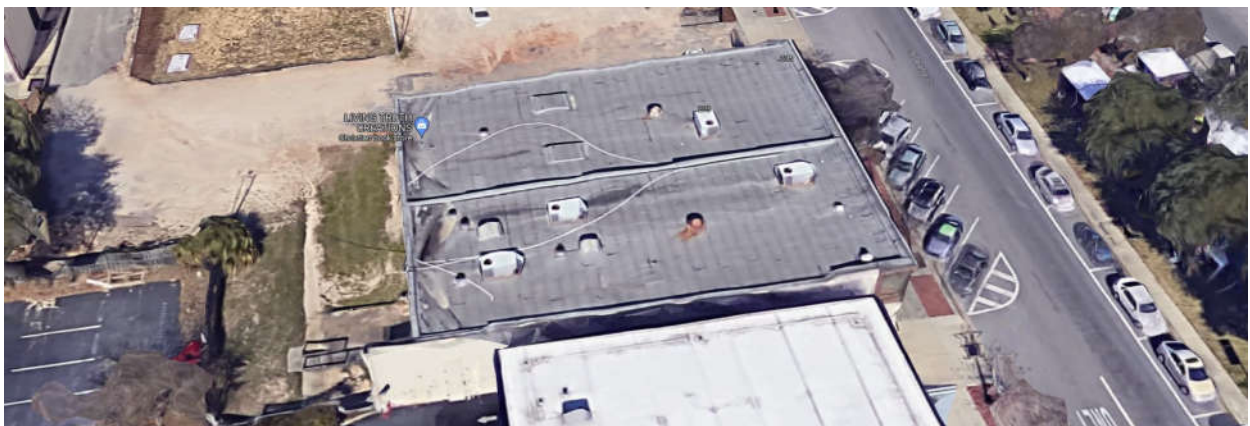
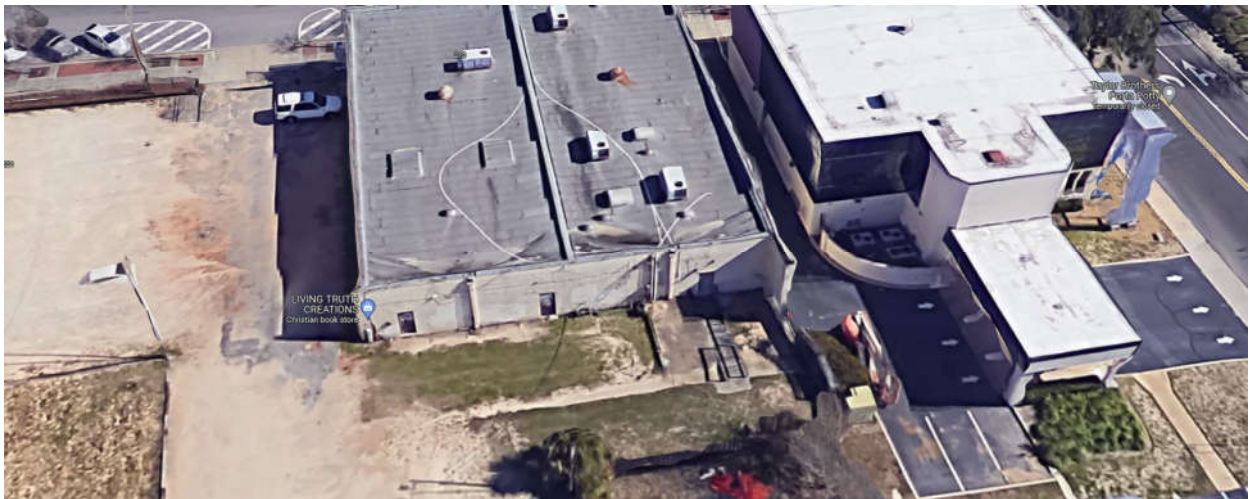
BACKGROUND:

Carter Quina and Jerry Pate Design are requesting *final* review for new site improvements and a new pavilion to a vacant space. The demolition of the existing building and conceptual plans were reviewed and approved in November 2022. The final review request includes new matching fencing, landscaping, a new pavilion, and recreational hardscapes and landscaping. The south wall of the Dennison Building is planned to remain, and the proposed pavilion will be designed to complement the surrounding structures at the school. Architectural plans and materials have been provided for the pavilion which will be the street front element. Additional information and materials have also been provided for the interior elements of the project.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)b. Palafox Historic Business District, Decision guidelines



4-0.

Item 15 211 N. Palafox Street PHBD / Zone C-2A, City Council District 6
Demolition of a Non-Contributing Structure

Action Taken: Approved as submitted.

Carter Quina is requesting approval to demolish a noncontributing structure. The building in question is the Dennison Building, which was built in 1923, but has been significantly altered along the west façade. The applicant has submitted an inspection report to speak to the building's condition as well as a report of the building's history. A conceptual review of what will replace the building will be considered in the next agenda item.

Staff confirmed that they had originally thought the building to be contributing, but after further research and after consulting UWF Historic Trust staff and the original National Register of Historic Places packet which the district is based on, the building was actually shown to be noncontributing. Mr. Fowler and Mr. Quina presented to the board. Chairperson Salter commended the application for the efforts that have been shown in terms of discussing how the building is completely deteriorated and the efforts that went into trying to find historic elements within the structure.

Board Member Ramos motioned to approve the demolition. Board Member McCorvey seconded, and it carried 4-0.

Item 16 211 N. Palafox Street PHBD / Zone C-2A, City Council District 6
Conceptual Review for a New Construction

Action Taken: Approved as submitted.

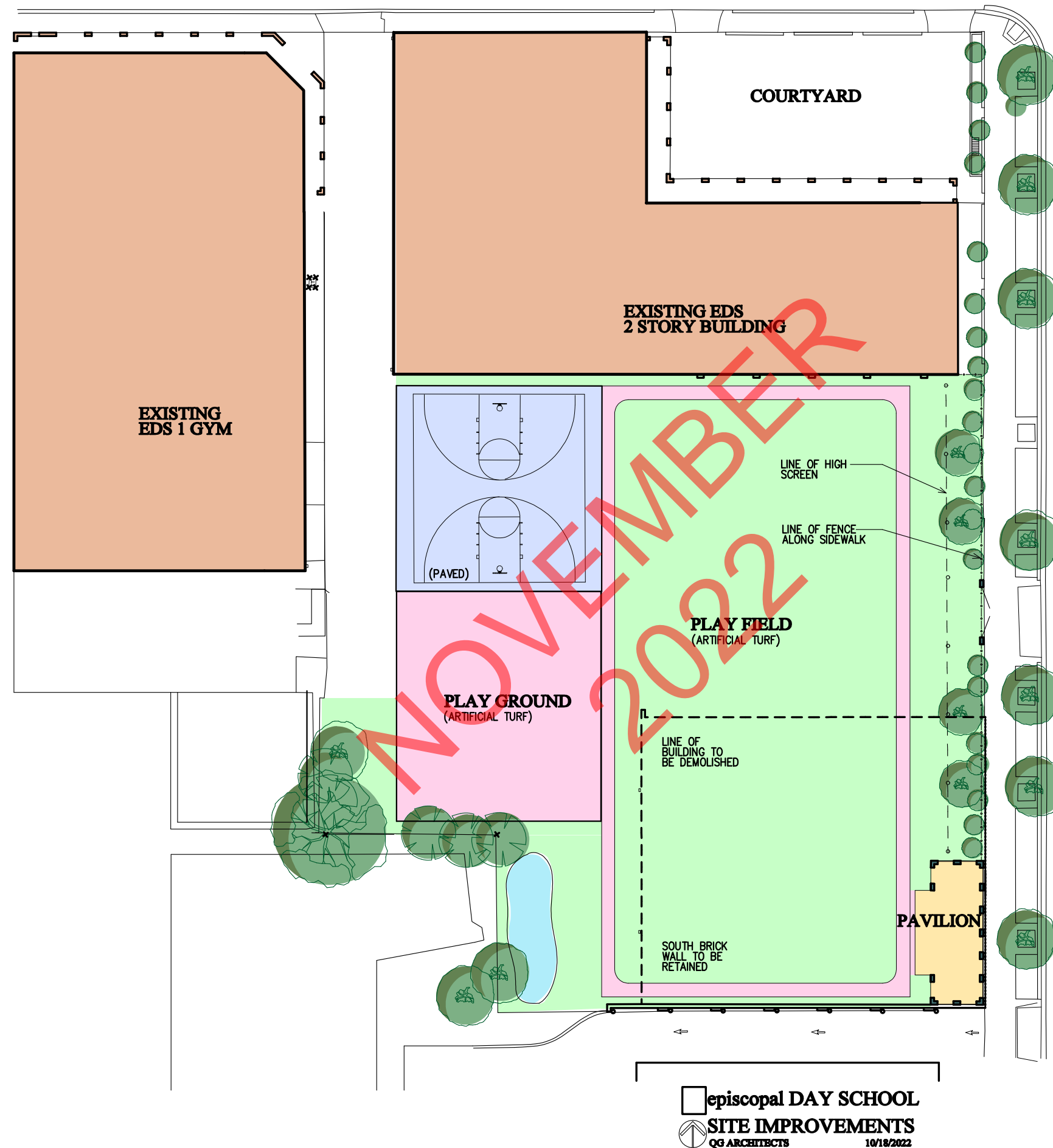
Carter Quina is requesting conceptual review for new site improvements where the Dennison Building currently sits. These include new fencing, landscaping, and a new pavilion. The south wall of the Dennison Building is planned to remain, and the proposed pavilion will be designed to complement the surrounding structures on the site. The applicant is also proposing to add interpretive panels along the street front which highlight the history of the site and of the Dennison Building before it was heavily modified. Those items, along with final plans and details on all materials will follow at a later date.

Mr. Quina presented to the board. Board Member Ramos asked if the track material is the same as the playground safe rubberized material and Mr. Quina confirmed that it was. Board Member Ramos commented that he is excited to see the interpretive panels. Mr. Quina clarified that the tall fencing bordering the playing field will be a nylon netting and that they will be testing different materials and colors. Chairperson Salter commented that he appreciates the historic markers, and it would work to enhance the history of north Palafox. He continued that he is concerned with the proposed design of the pavilion due to the Spanish style not being prevalent along this portion of Palafox Street. Mr. Quina clarified that he was keeping with the arcade design from the gym façade and the courtyard façade on the corner of Palafox Street and Wright Street. Board Member Fogarty commented that if the roof from the gym would be visible through the fence it may tie the pavilion style into the site. She did not mind the structure as proposed. Board Member Ramos stated that he also didn't mind the pavilion style.

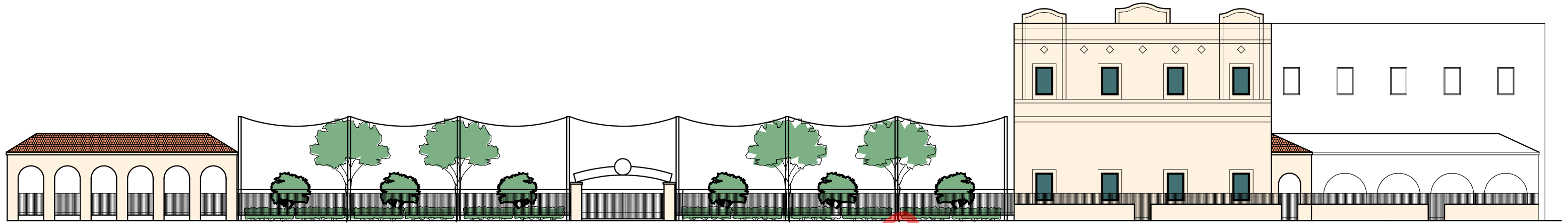
With no further discussion, **Board Member Fogarty motioned to approve the conceptual design as submitted. Board Member Ramos seconded, and it carried 4-0.**

Item 17 120 Church Street PHD / Zone HC-2, City Council District 6
Variance for Signage
Action Taken: Approved as submitted





SITE PLAN SHOWING
ENLARGED PLAY FIELD,
PAVILION, LANDSCAPING,
PLAYGROUND & POND.



PALAFOX ELEVATION



**RENDERING OF
PALAFOX STREET
SITE IMPROVE-
MENTS**



AERIAL VIEW OF SITE SHOWING NEW RECREATION FACILITY AND NEIGHBORING BUILDINGS.



STREET VIEW OF NEW PAVILION AND FENCING TREATMENT. PROPOSAL INCLUDES SIGNAGE DEPICTING HISTORY OF THE SITE.



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 1/25/23

Project Address: 211 North Palafox Street Pensacola, FL 32502

Applicant: Carter Quina - Quina Grundhoefer Architects

Applicant's Address: 400 West Romana Street Pensacola, FL 32502

Email: cquina@qgarchitects.com **Phone:** 850-433-5575

Property Owner: Episcopal Day School of Christ Church

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Final approval for site improvements, including playground, recreation field, pavilion and fencing.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



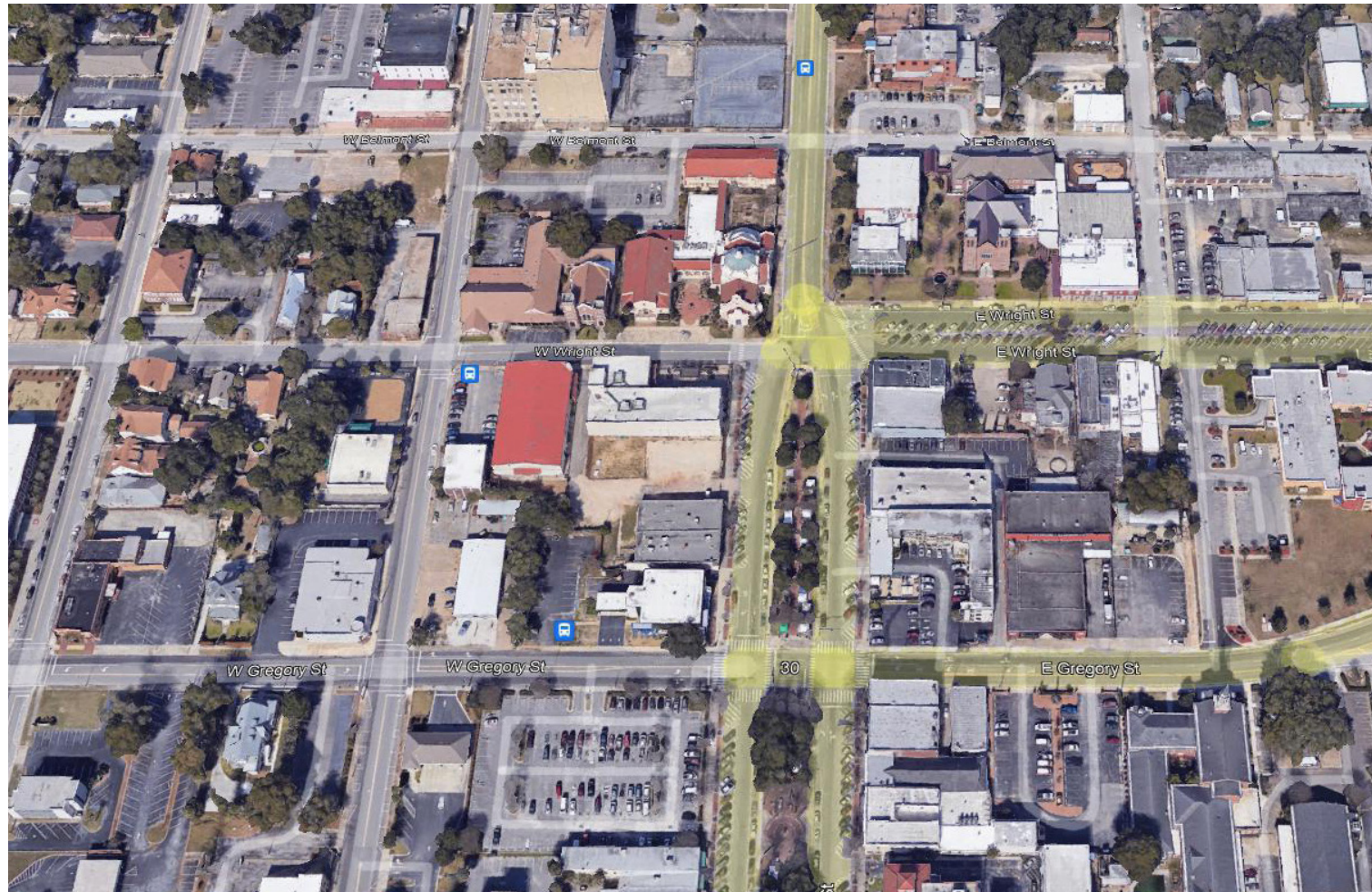
Applicant Signature

1/25/23

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



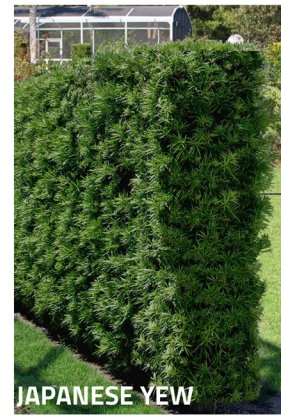


EXISTING AERIAL VIEW ABOVE
ESCAMBA HOTEL 1905 BELOW



AUTO DEALERSHIPS 1930s ABOVE
DETAIL VIEW OF N PALAFOX 1930s BELOW





JAPANESE YEW



BIG BLUE LIRIOPE



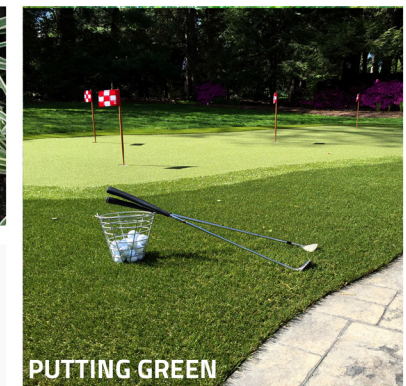
DWARF YAUPON HOLLY



PURPLE PIXIE LOROPETALUM



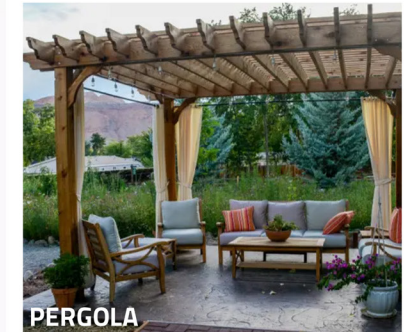
VARIEGATED FLAX LILY



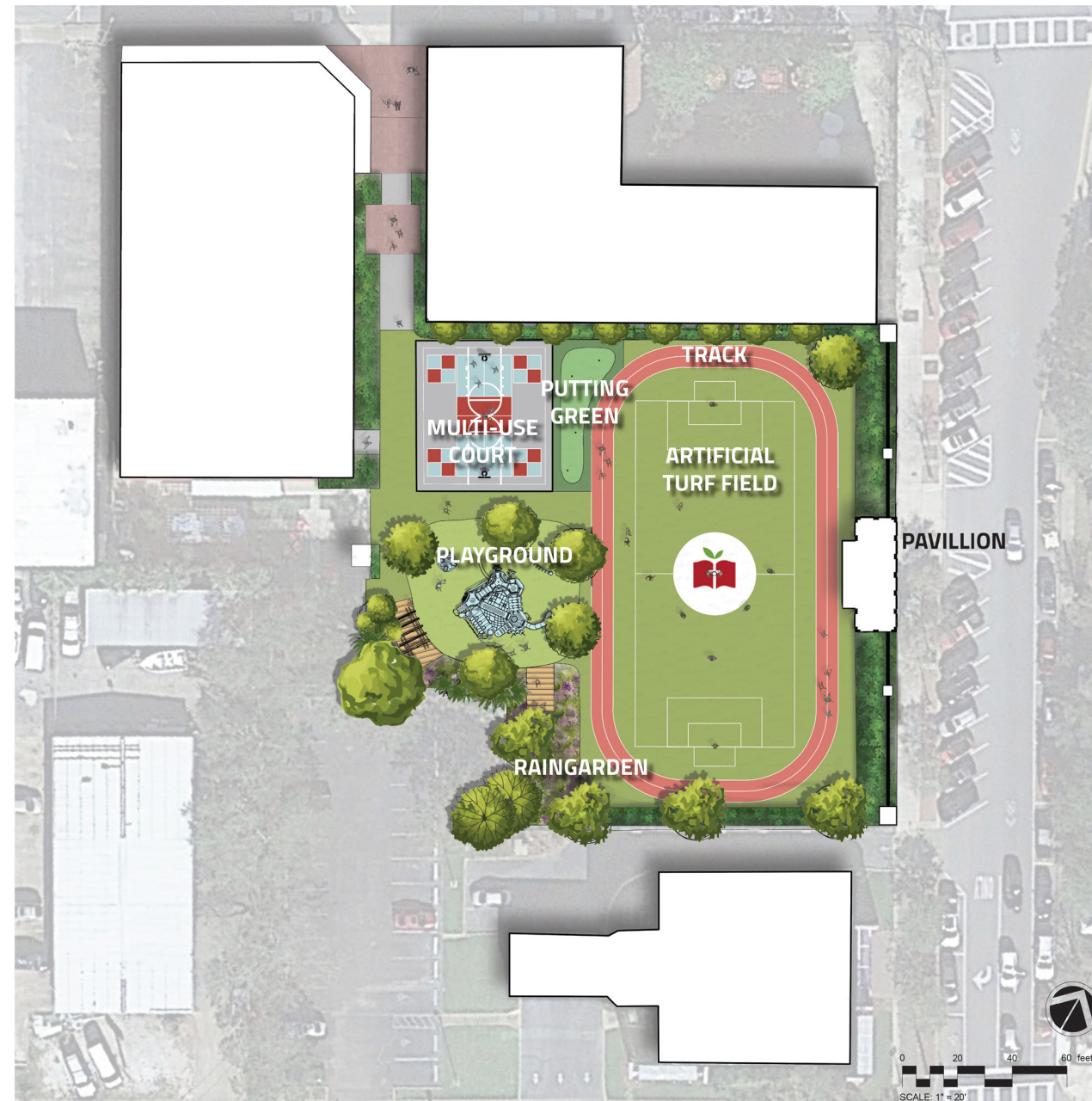
PUTTING GREEN



HEDRA PLAYGROUND



PERGOLA



ARTIFICIAL TURF FIELD



MULTI-USE COURT



TWO-LANE TRACK



OMNISPINNER



PEG BRIDGE



PAVILLION RENDERING



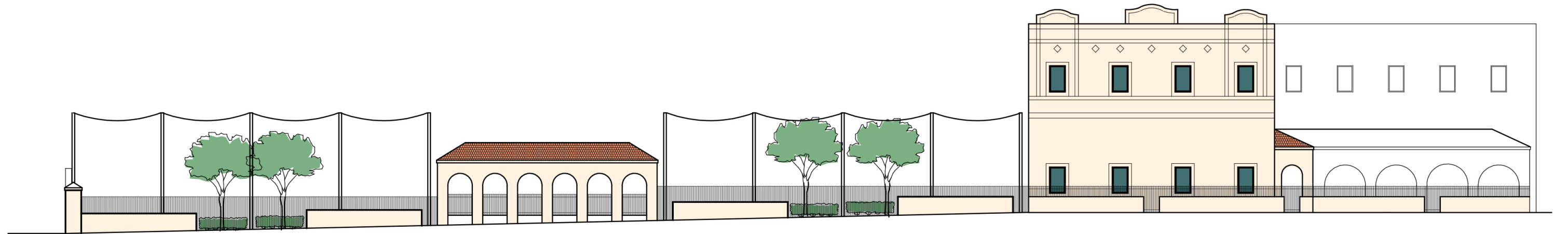
DECK OVER RAINGARDEN

EDS PLAYGROUND - CONCEPTUAL DESIGN

JANUARY 2023



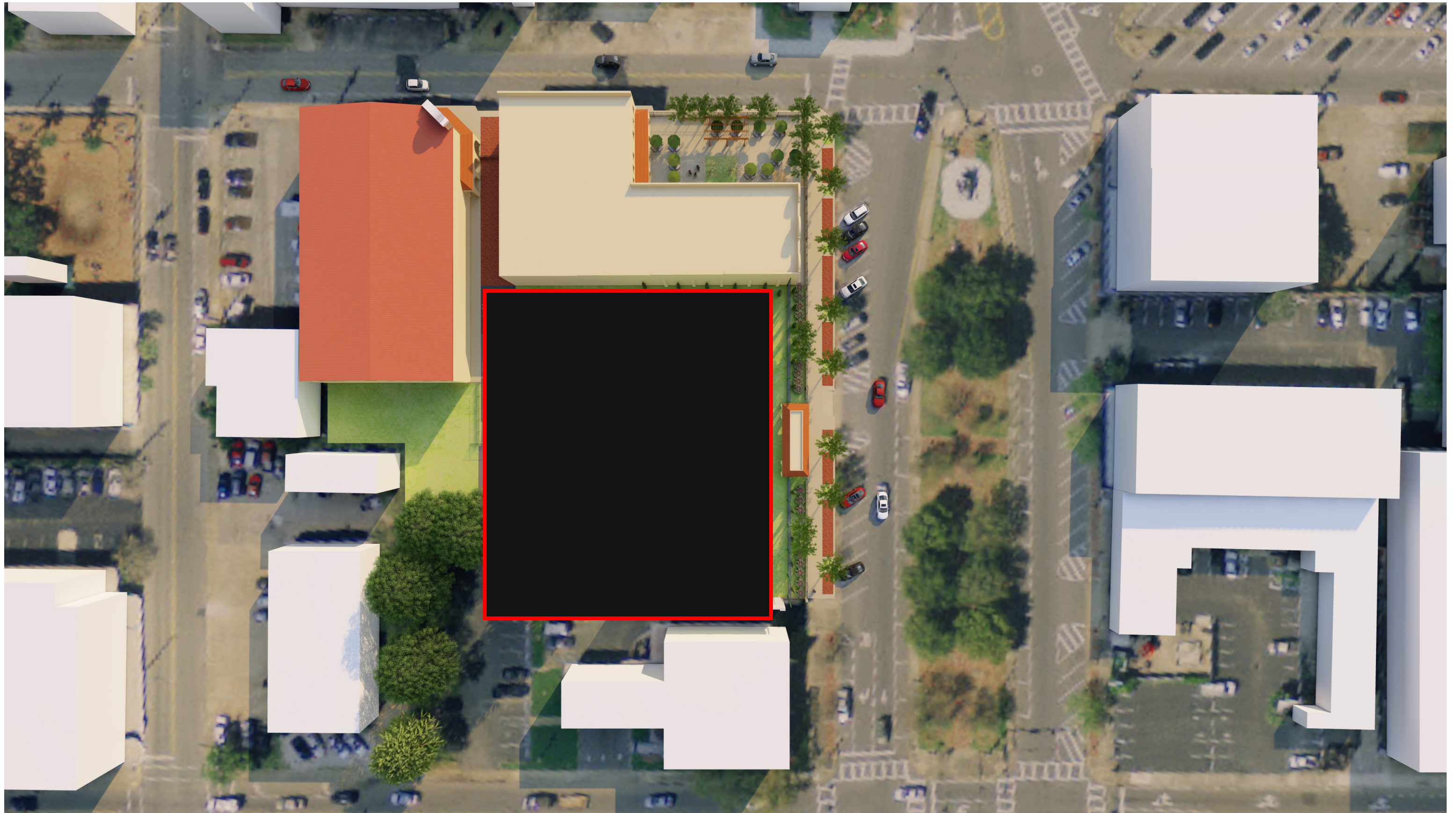
ADDITIONAL IMAGES OF ALL PLANTINGS TO BE BROUGHT TO MEETING.



PALAFOX ELEVATION



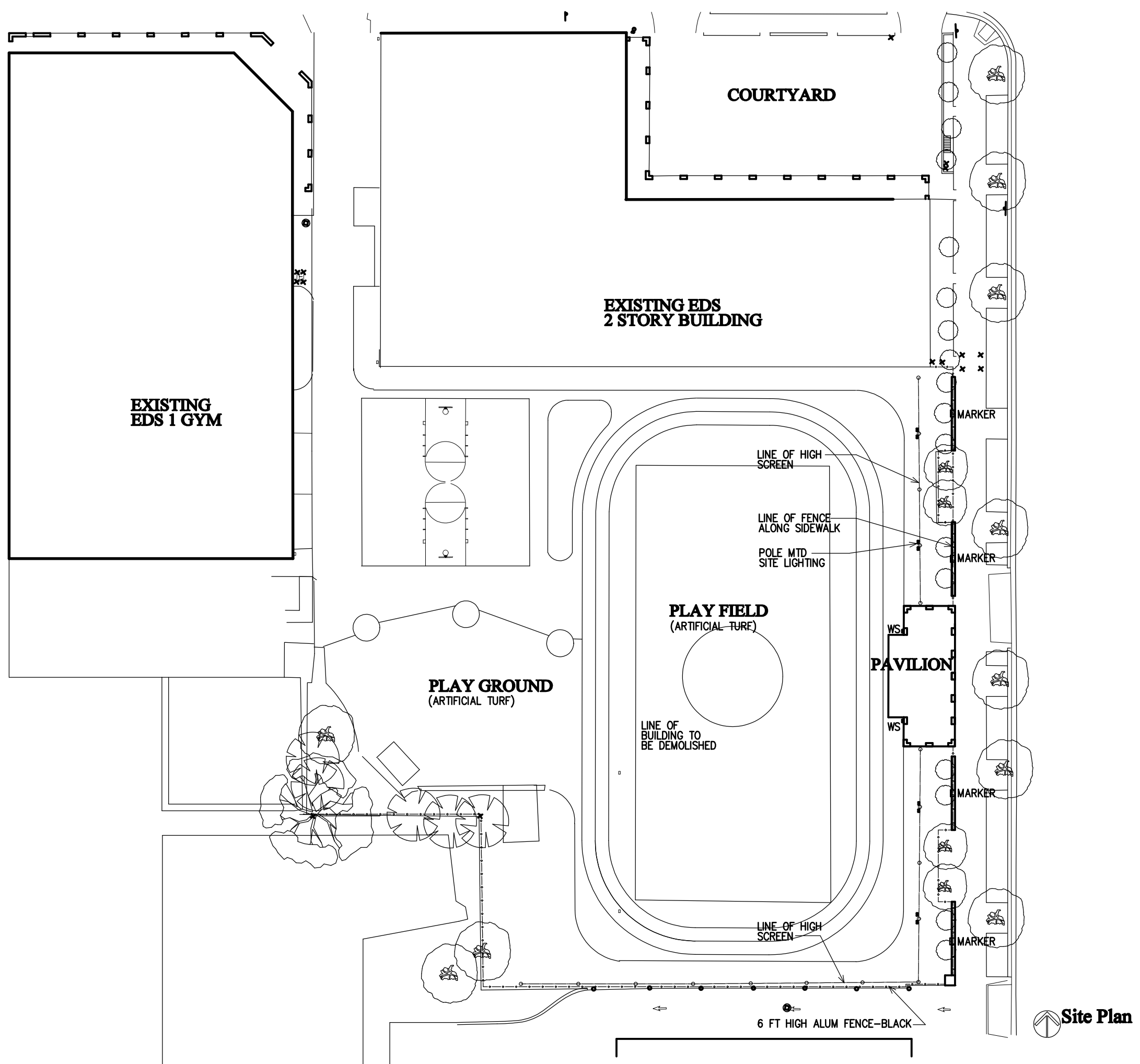
RENDERING OF
PALAFOX STREET
SITE IMPROVE-
MENTS

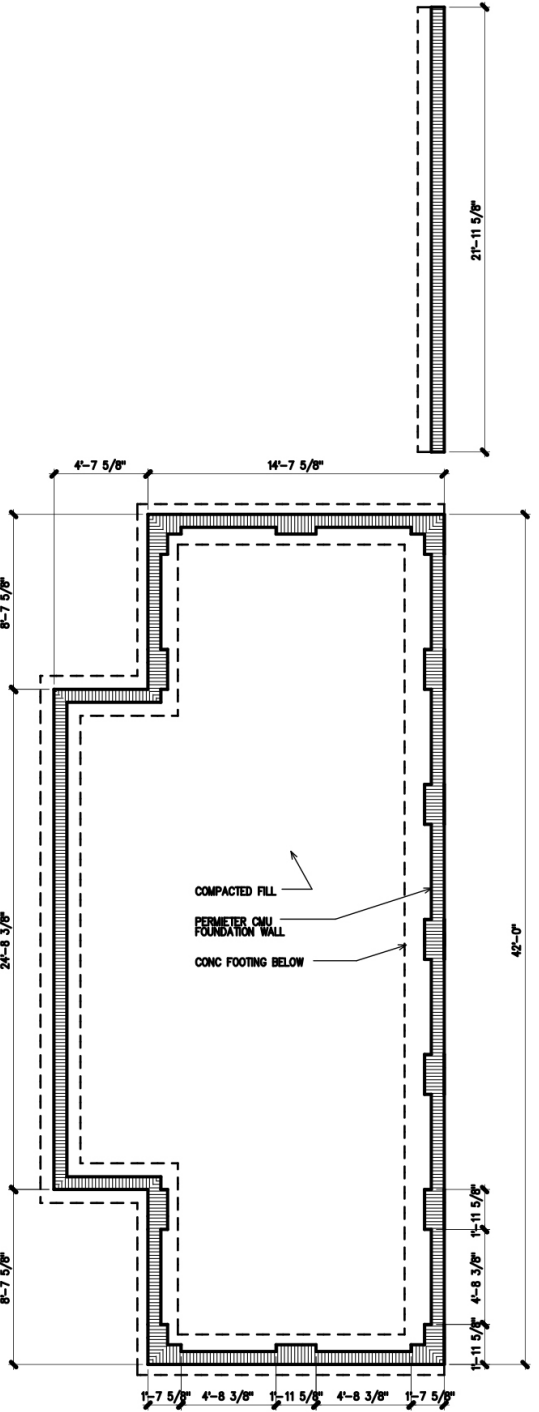
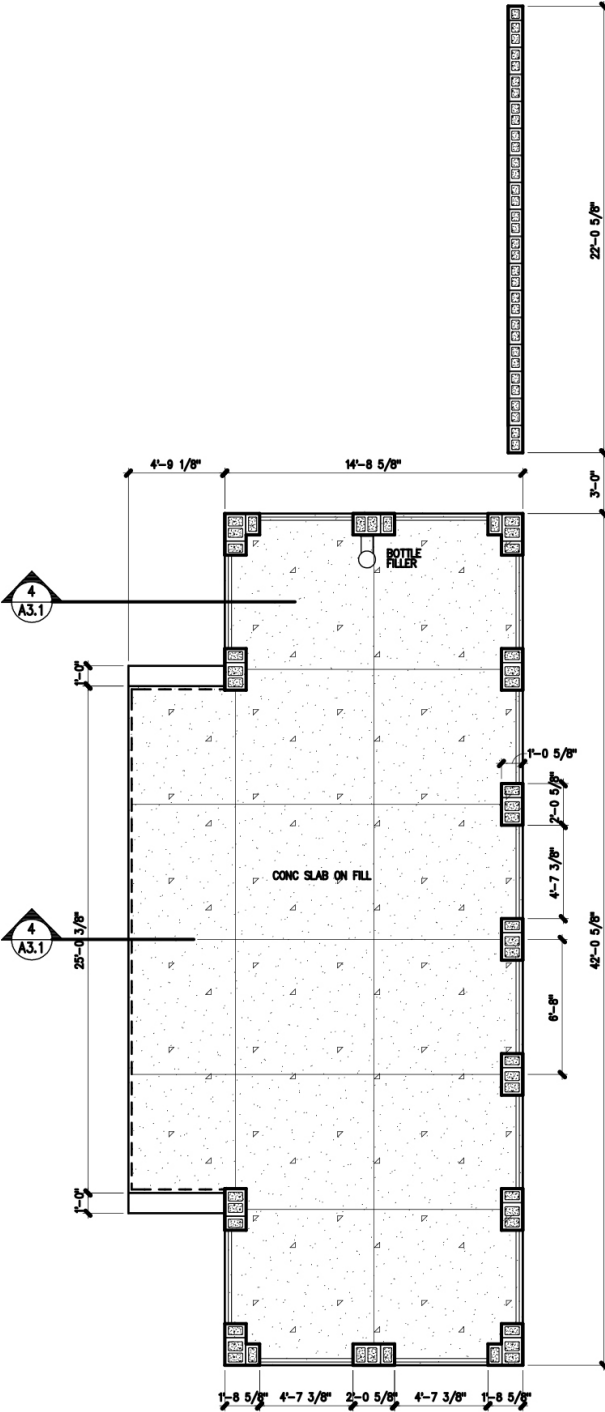
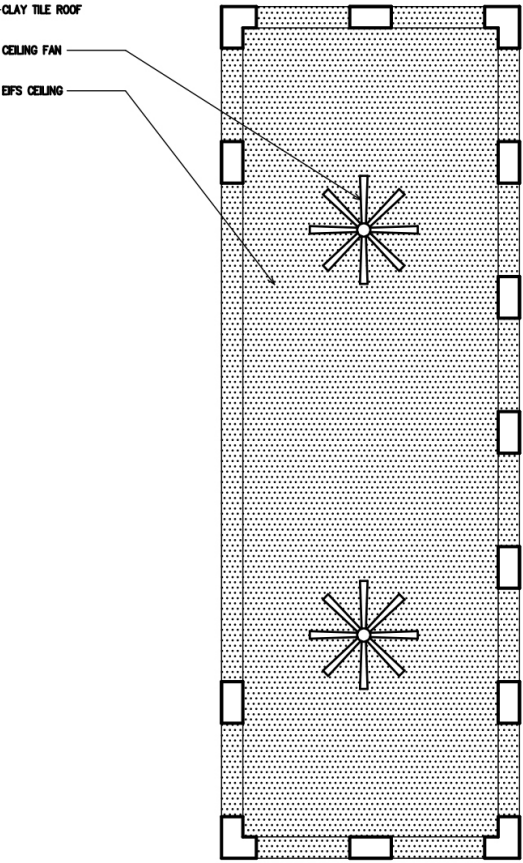
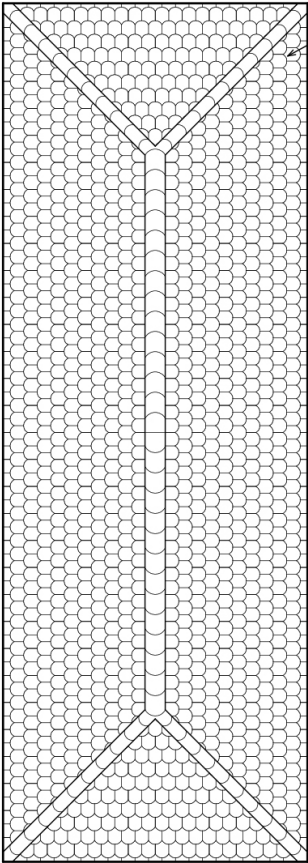


GRAPHIC TO SHOW PAVILION STRUCTURE ONLY AND HOW IT RELATES TO SURROUNDING BUILDINGS.



STREET VIEW OF NEW PAVILION AND FENCING TREATMENT. PROPOSAL INCLUDES SIGNAGE DEPICTING HISTORY OF THE SITE.





Roof Plan
1/4"=1'-0"

Reflected Ceiling Plan
1/4"=1'-0"

Floor Plan
1/4"=1'-0"

Foundation Plan
1/4"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Quina Grundhoefer Architects

400 West Romana Street
Pensacola, FL 32502
850-433-5575
qga@quingr.com

WALL LEGEND

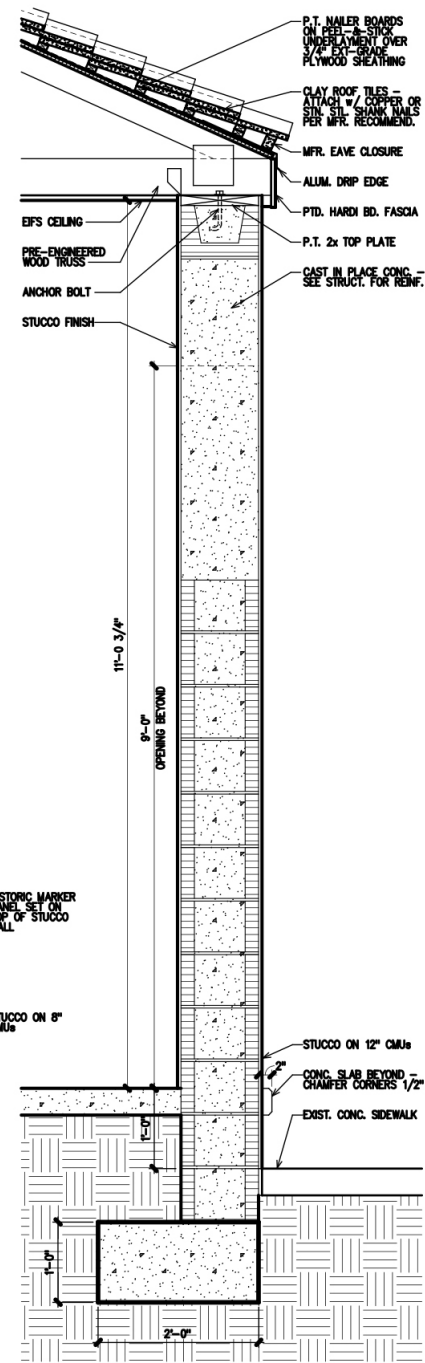
NEW 8" CMU WALL

Project
Episcopal
Day School
Pavillion
Pensacola, Florida

Date:
1-23-23
Project No.
2122

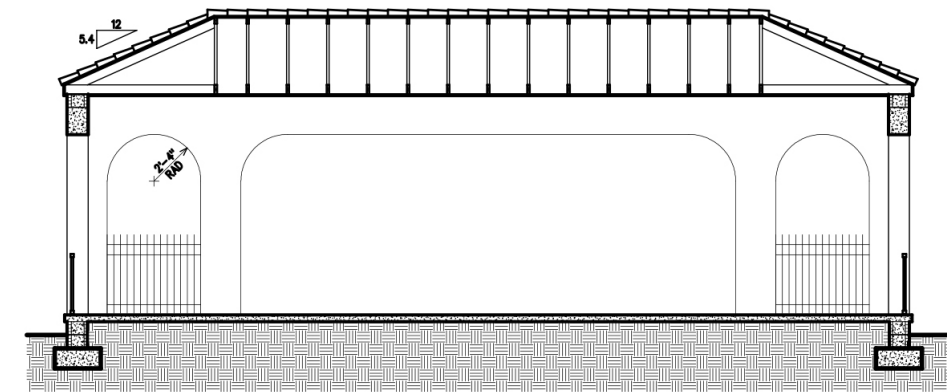
Sheet No.

A1.1

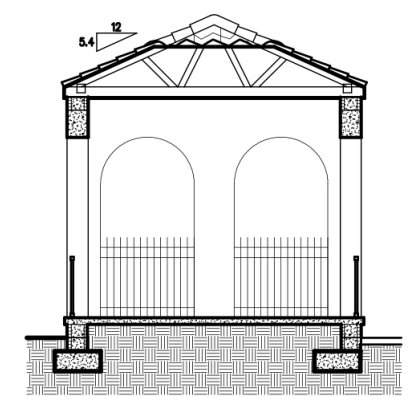


8 Wall Section
1"=1'-0"

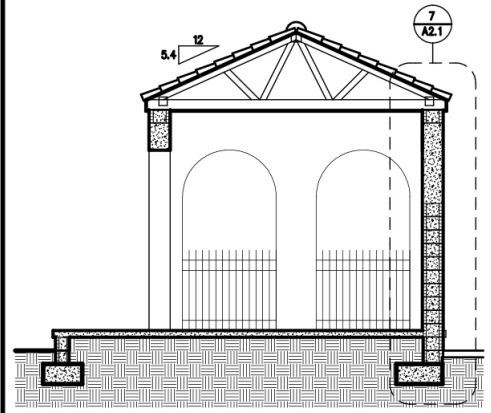
7 Wall Section
1"=1'-0"



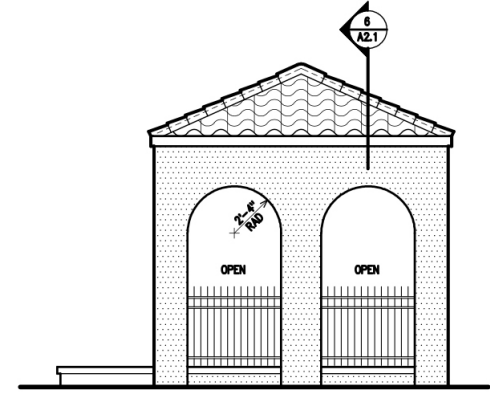
6 Section
1/4"=1'-0"



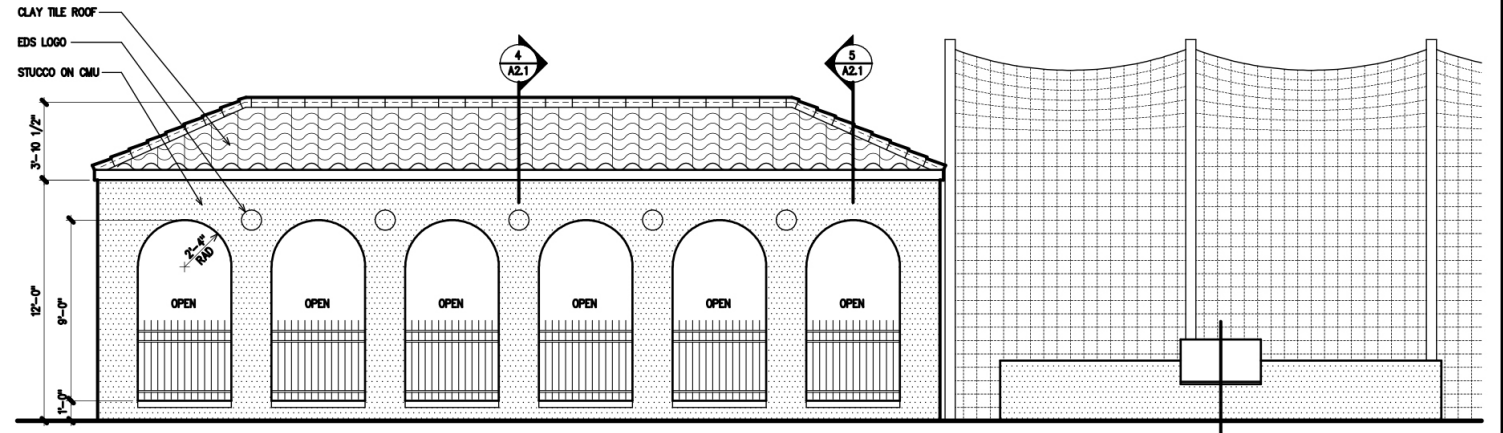
5 Section
1/4"=1'-0"



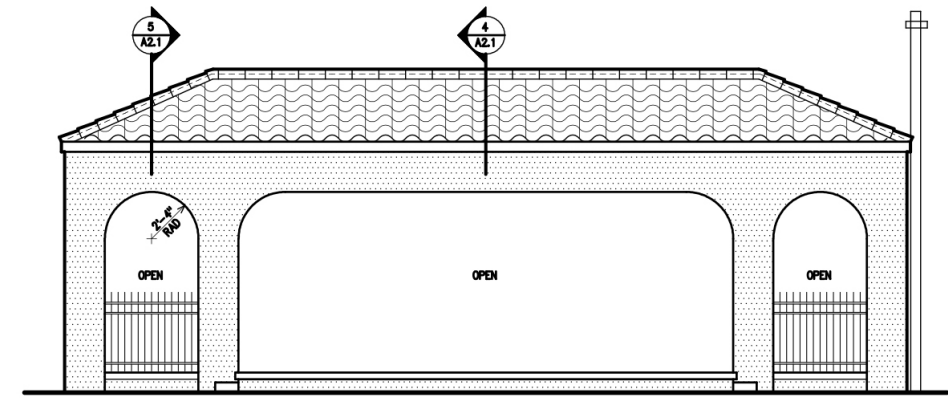
4 Section
1/4"=1'-0"



3 South Elevation
1/4"=1'-0"

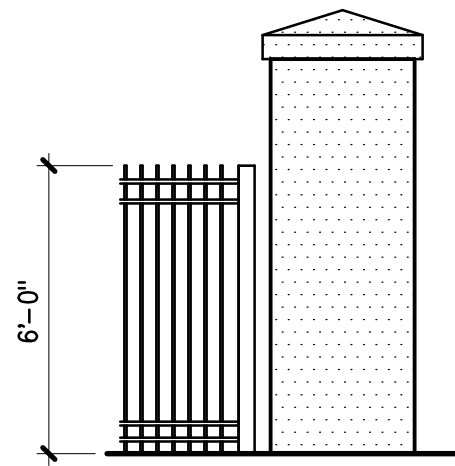


1 East Elevation
1/4"=1'-0"



2 West Elevation
1/4"=1'-0"

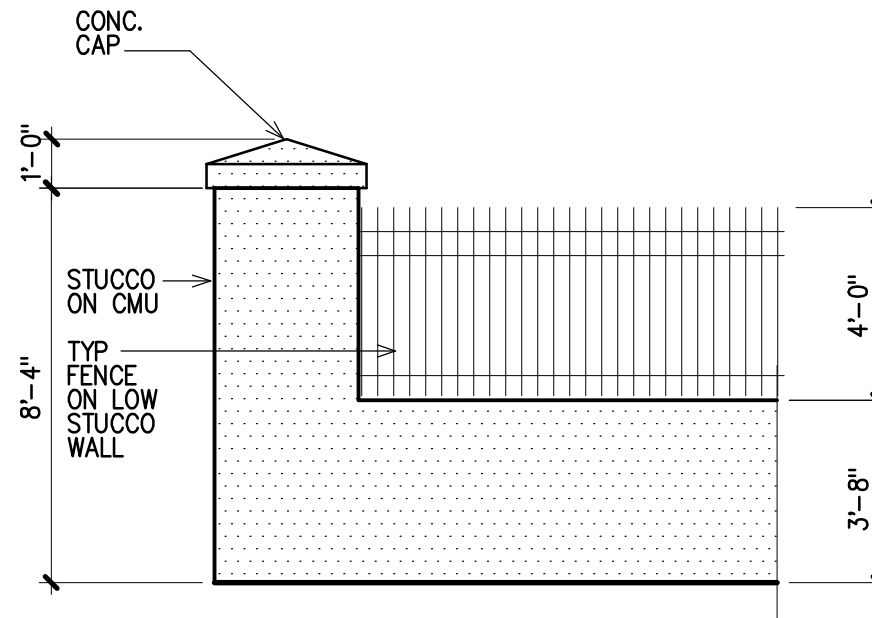
PRELIMINARY - NOT FOR CONSTRUCTION



2
A1.1

Elevation Detail

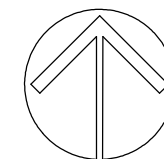
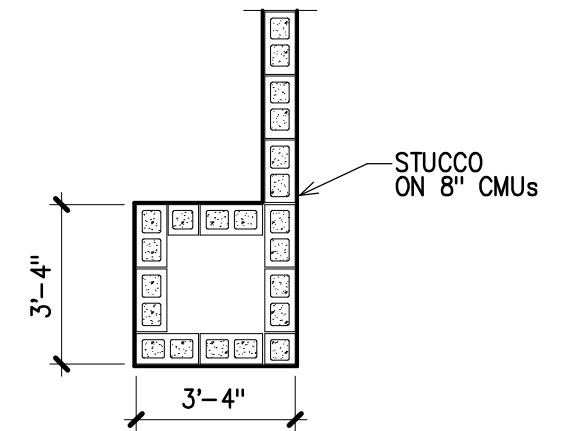
CORNER COLUMN SOUTH $1/4"=1'-0"$



1
A1.1

Elevation Detail

CORNER COLUMN EAST $1/4"=1'-0"$



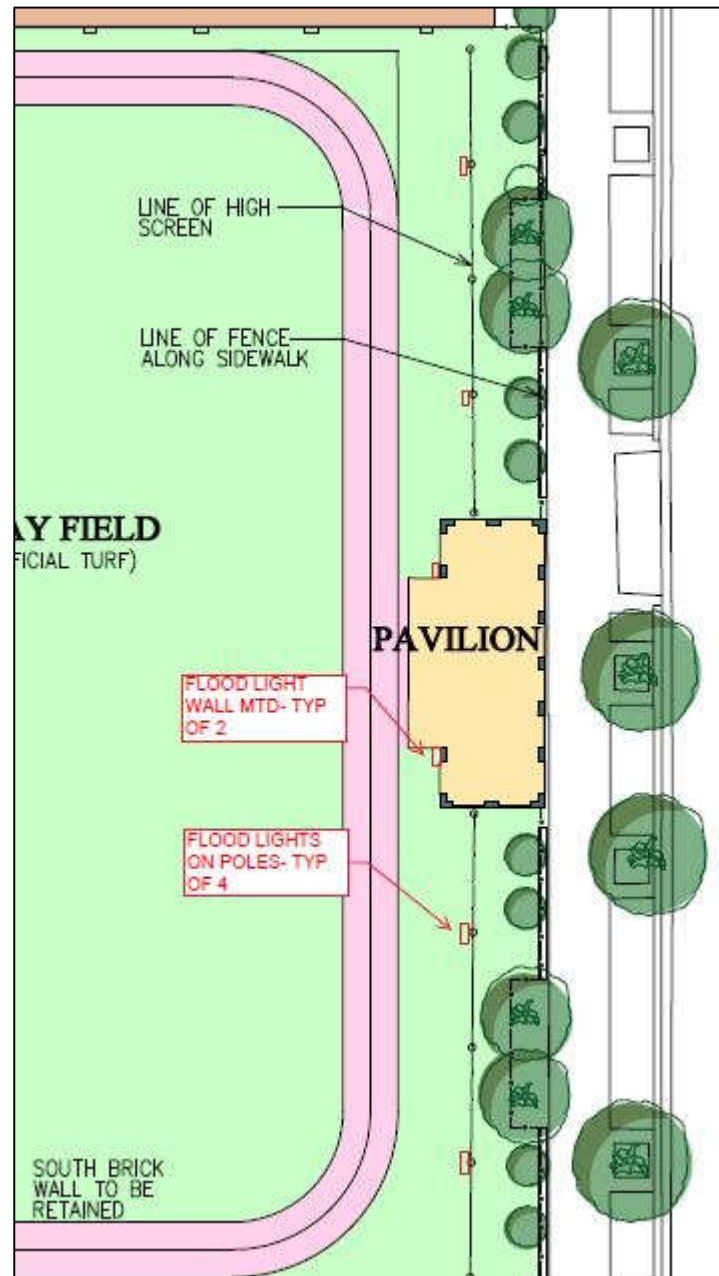
Plan Detail

$1/4"=1'-0"$

Flood light locations.

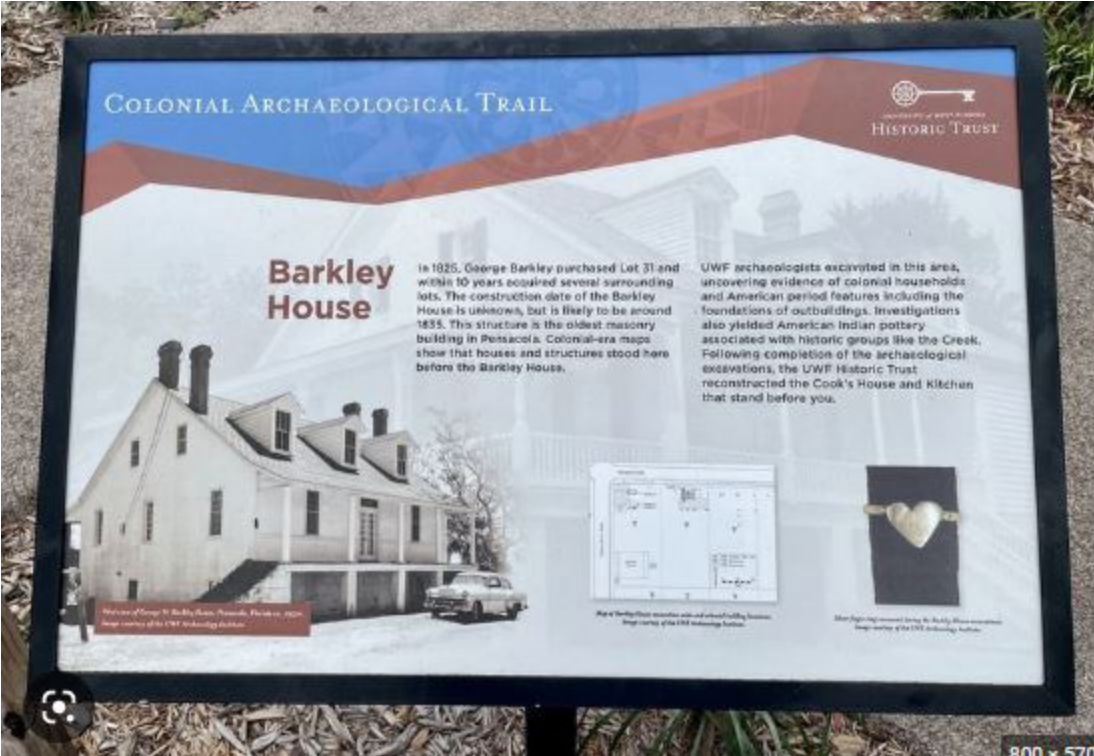
Greg, see attached lighting locations 4 on pole and 2 on the pavilion. I hope this is sufficient for you. We are sensitive about not wanting light shed into the public sidewalk.

Carter Quina, AIA





EDS Logo. Printed on plastic and mounted over stucco.



Sample of similar historic panel to be created and placed on low walls.



Ceiling fan with light kit to be used in Pavilion.

MINKA-AIRE F896-65-WHF Xtreme H2O 65 Inch Outdoor Ceiling Fan with DC Motor in Flat White Finish

Visit the MINKA-AIRE Store

★★★★★ 70 ratings

\$489⁹⁵

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Get a \$50 Gift Card: Pay \$439.95 ~~\$489.95~~ upon approval for the Amazon Rewards Visa Card. No annual fee.

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Color: Flat White

\$489.95

\$489.95

\$489.95

\$469.95

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ELKAY[®] SPECIFICATIONS

Elkay Outdoor ezH2O Single Arm Bottle Filling Station Wall Mount Non-Filtered Non-Refrigerated Freeze Resistant Model LK4405BFFRK

PRODUCT SPECIFICATIONS

Elkay Outdoor ezH2O[®] Single Arm Bottle Filling Station Wall Mount, Non-Filtered Non-Refrigerated Freeze Resistant. Features shall include 316 Stainless, Heavy Duty Vandal Resistant, Laminar Flow, Sealed Freeze Resistant. Mechanical Front Bubbler Button activation. Product shall be Wall Mount (On Wall), for Outdoor applications, serving 1 station(s). Unit shall be lead-free design which is certified to NSF/ANSI 61 & 372 (lead free) and meets Federal and State low-lead requirements.

Special Features:	316 Stainless, Heavy Duty Vandal Resistant, Laminar Flow, Sealed Freeze Resistant
Finish:	Beige (BGE), Black (BK), Blue (BLU), Brown (BRN), Evergreen (EVG), Gray (GRY), Orange (ORN), Powder Coat (12 Color Options), Purple (PUR), Red (RED), Terracotta (TER), White (WHT), Yellow (YLW)
Power:	No Electrical Required
Bubbler Style:	No Bubbler
Activation by:	Mechanical Front Bubbler Button
Mounting Type:	Wall Mount (On Wall)
Chilling Capacity:	Non-refrigerated
Dimensions (L x W x H):	10" x 19-1/8" x 32"
Approx. Shipping Weight:	63 lbs.
Installation Location:	Outdoor
No. of Stations Served:	1

**When used in non-temperature controlled environments, unit(s) must be adequately winterized and/or protected from extreme heat to prevent damage where climates dictate.

Special Note: Bottle Filler Stations-1, Choose from 12 color options

- Mechanically-Activated bubbler continues to supply water in event of service disruptions.
- Laminar flow provides clean fill with minimal splash.
- Base material constructed from marine-grade 316 stainless steel provides the ultimate corrosion protection from even the most corrosive elements.
- Sealed Freeze Resistant Valve System: Fully sealed freeze resistant system that minimizes chance of ground water contamination, and prevents drain water from mixing with fresh water. Designed for ground installation below the frost line.

Included with Product: Outdoor Bottle Filler, Freeze Resistant Valve

Ships in multiple boxes. AMERICAN PRIDE. A LIFETIME TRADITION. Like your family, the Elkay family has values and traditions that endure. For almost a century, Elkay has been a family-owned and operated company, providing thousands of jobs that support our families and communities.

PRODUCT COMPLIANCE
ADA & ICC A117.1
Buy American Act
GreenSpec[®]
NSF/ANSI 61 & 372 (lead free)

Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards. Installation may require additional components and/or construction features to be fully compliant. Consult the local Authority Having Jurisdiction if necessary.

[Installation Instructions \(PDF\)](#)

Warranty pertains to drinking water applications only. Non-drinking water applications are not covered under warranty.
[Warranty \(PDF\)](#)

PART: _____ QTY: _____

PROJECT: _____

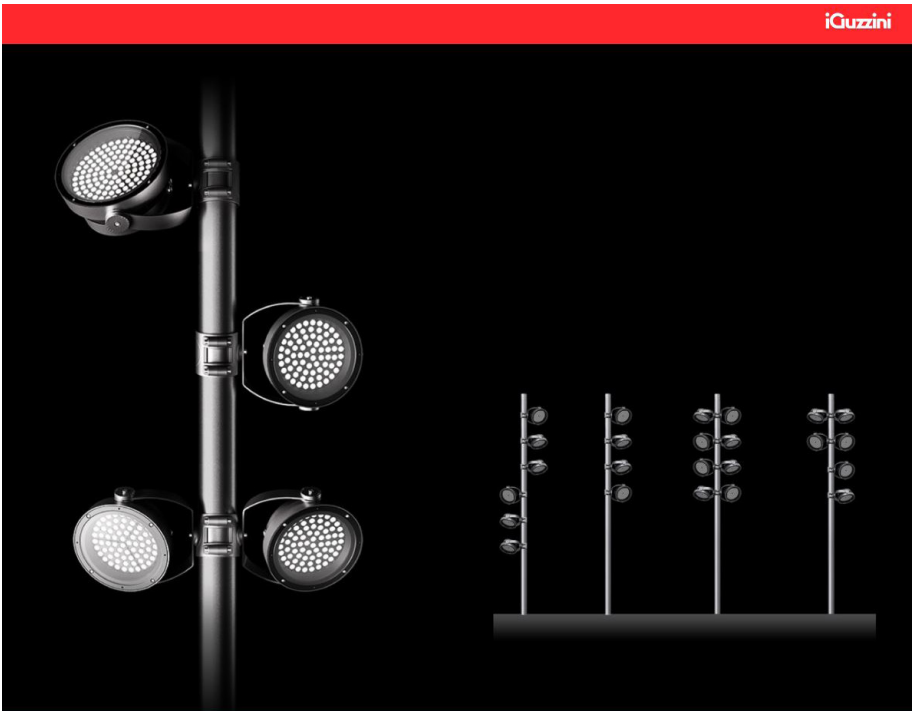
CONTACT: _____

DATE: _____

NOTES: _____

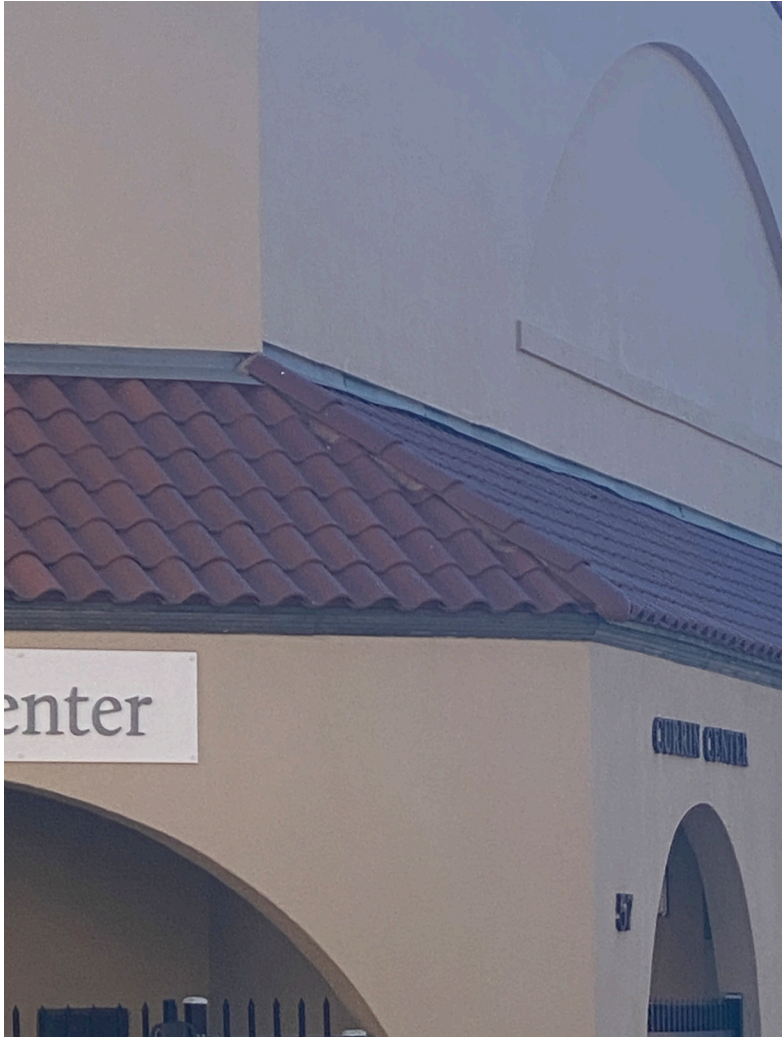
Above- Bottle filler to be used in Pavilion. Color White.

Below- Pole mounted Flood Lights by iGuzzini. Color Black.





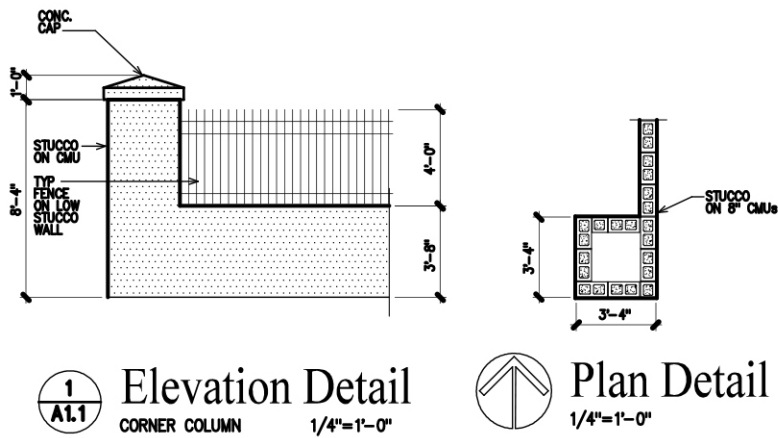
Actual fence to be replicated for all new fencing. Black color.



Existing clay tile to be replicated for Pavilion roof.



Existing stucco texture and color to be matched on new walls and Pavilion. The entire campus will have consistent color.



Corner wall detail. at south end. Each wall section is 22' long with a 3' spacing for full height fence.



Clay tile roof material.

LOT 3

29 WRIGHT STREET
1-STORY STUCCO
BUILDING

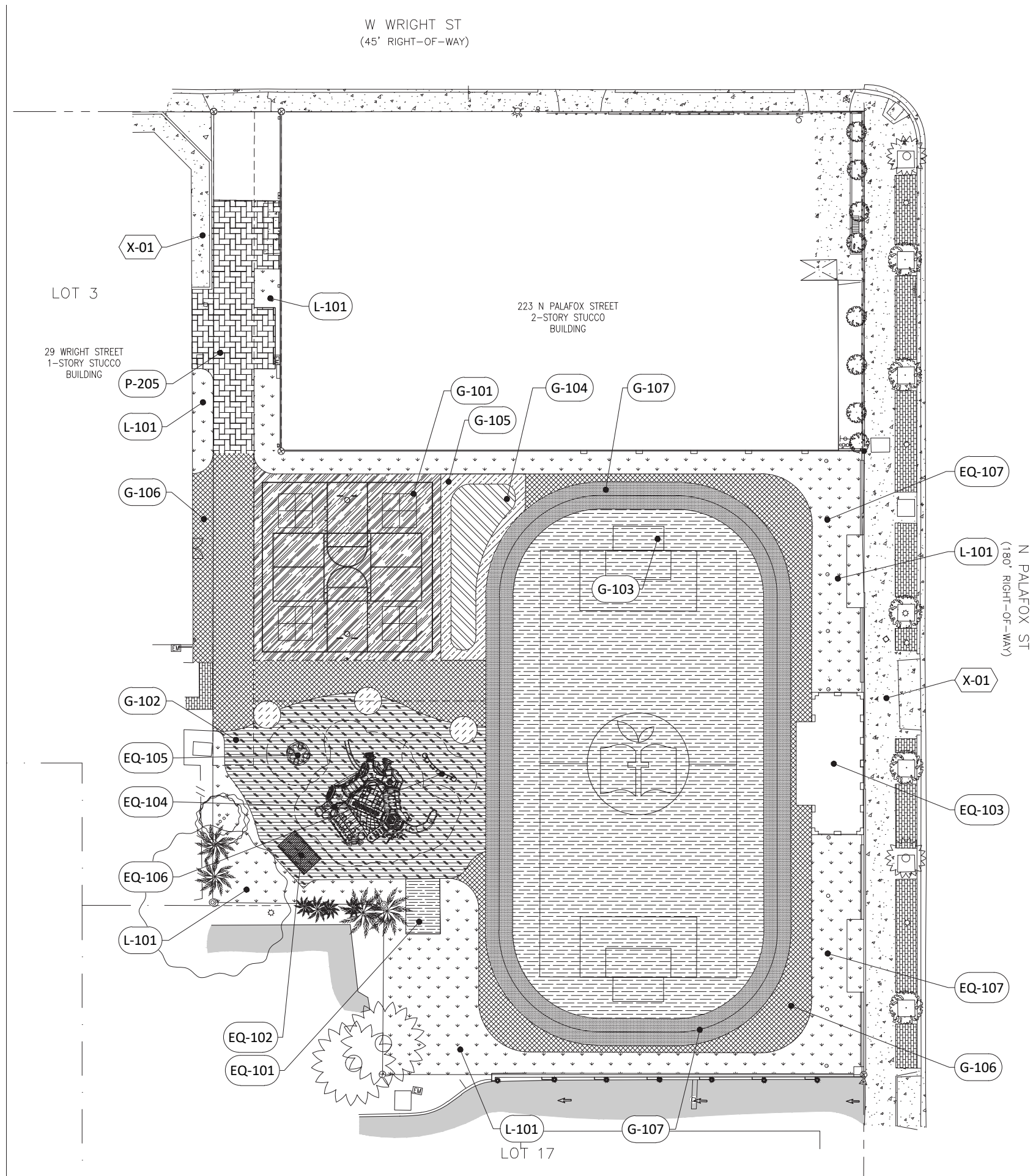
223 N PALAFOX STREET
2-STORY STUCCO
BUILDING

PAVILION -
SEE
ARCHITECTURE
PLANS

CENTER LOGO IN
CENTER
CIRCLE.

LOT 17

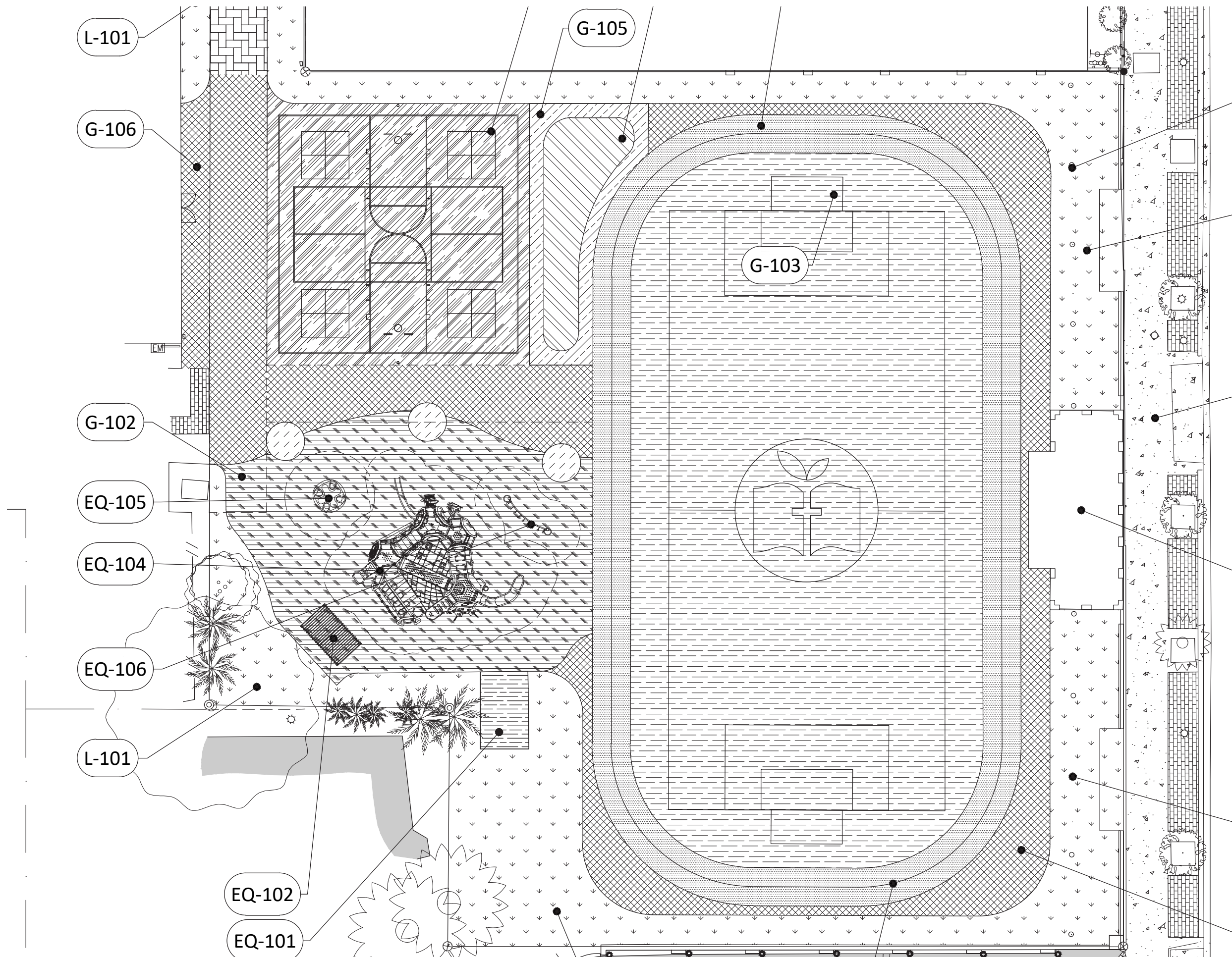
241



REFERENCE NOTES SCHEDULE

EQUIPMENT			
CODE	DESCRIPTION	QTY	DETAIL
EQ-101	BOARDWALK - SEE DETAILS		
EQ-102	PERGOLA - SEE DETAILS		
EQ-103	PAVILION - SEE ARCHITECTURE		
EQ-104	LANDSCAPE STRUCTURES - HEDRA - SEE SPECS & DETAILS		
EQ-105	LANDSCAPE STRUCTURES - OMNI SPINNER - SEE SPECS & DETAILS		
EQ-106	LANDSCAPE STRUCTURES - EXTREME PEG BRIDGE- SEE SPECS & DETAILS		
EQ-107	KWICKGOAL - SOCCER BACKSTOP NETTING - 7B101		
GENERAL SITEWORK			
CODE	DESCRIPTION	QTY	DETAIL
G-101	SPORTMASTER COURT SURFACING SYSTEM	3,042 SF	
G-102	PLAYGROUND GRASS ULTRA - ENVIROFILL INFILL - SAFETY FOAM PRO 2"	3,406 SF	
G-103	SPORTSGRASS EDGE XP - ENVIROFILL - FOREVERLAWN	10,540 SF	
G-104	GOLFGREENS EZPUTT - 40F SILICA SAND - FOREVERLAWN	516 SF	
G-105	GOLFGREENS FRINGE - 40F SILICA SAND - FOREVERLAWN	423 SF	
G-106	SELECT HD - ENVIROFILL INFILL - FOREVERLAWN	4,359 SF	
G-107	TRACK CONCRETE SUB-BASE, MONDOTRACK WS EMBOSSING - RED P30 - WHITE LINES	3,433 SF	
G-108	RUBBER MULCH - EPOXY BOUND - SEE SPECS	151 SF	
Planters			
CODE	DESCRIPTION	QTY	DETAIL
L-101	LANDSCAPE	6,658 SF	
Vehicular Paver			
CODE	DESCRIPTION	QTY	DETAIL
P-205	COCRETE PAVER - 4X8 - COLORMIX 32	1,327 SF	
Fencing			
CODE	DESCRIPTION	QTY	DETAIL
S-201	FENCE PER ARCHITECTURE	172 LF	
EXISTING			
CODE	DESCRIPTION	QTY	DETAIL
X-01	EXISTING CONCRETE		

Site Hardscape Plan by JP Design



Partial Site Hardscape Plan
by JP Design



HOLLAND STONE

SIMPLE SHAPE, TRADITIONAL
APPEAL WITH EXCEPTIONAL
STRENGTH AND DURABILITY

☑ FEATURES & BENEFITS

- Simple, elegant design and look
- Smooth surface with a standard chamfered edge
- Space bar width 1.5mm
- Time tested perennial favorite for pavements

COLOR MIX
32

🧱 SHAPES & SIZES

4 X 8 - 60MM



4 x 8 x 2 $\frac{3}{4}$

4 X 8 - 80MM



4 x 8 x 3 $\frac{1}{4}$

4 X 8 - 30MM



4 x 8 x 1 $\frac{1}{4}$

ECO HOLLAND - 80MM



4 x 8 x 3 $\frac{1}{4}$

ADA COMPLIANT - 60MM



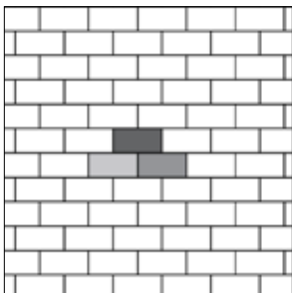
4 x 8 x 2 $\frac{3}{4}$

4 X 8 - 80MM

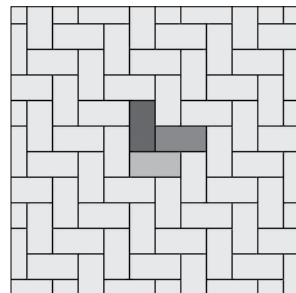


2 x 8 x 3 $\frac{1}{4}$

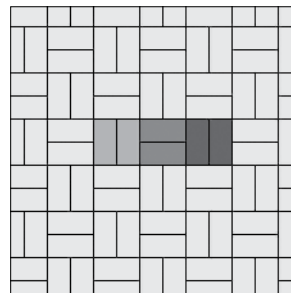
🧱 LAYING PATTERNS



RUNNING BOND PATTERN



HERRINGBONE PATTERN*



BASKET WEAVE PATTERN

Visit Belgard.com/Patterns for more options.

**recommended for driveways and vehicular applications.*

Contact your local Belgard® representative for color options and availability.

BELGARD® | PAVES
THE WAY™

For more info, visit Belgard.com

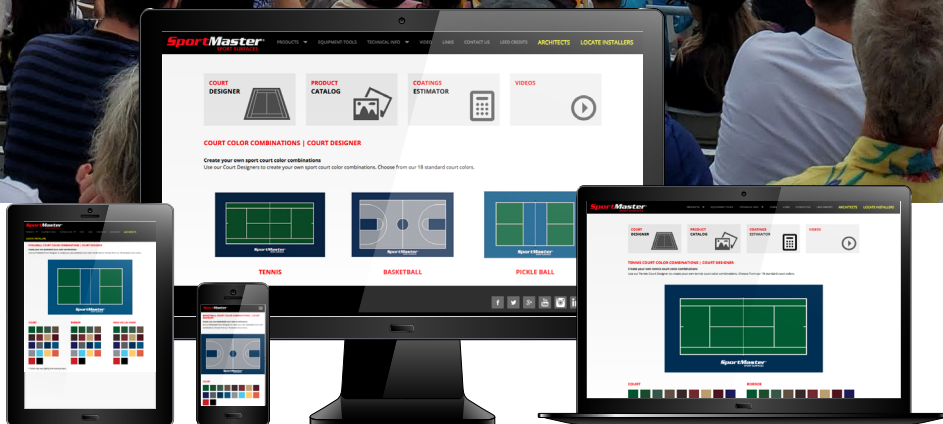
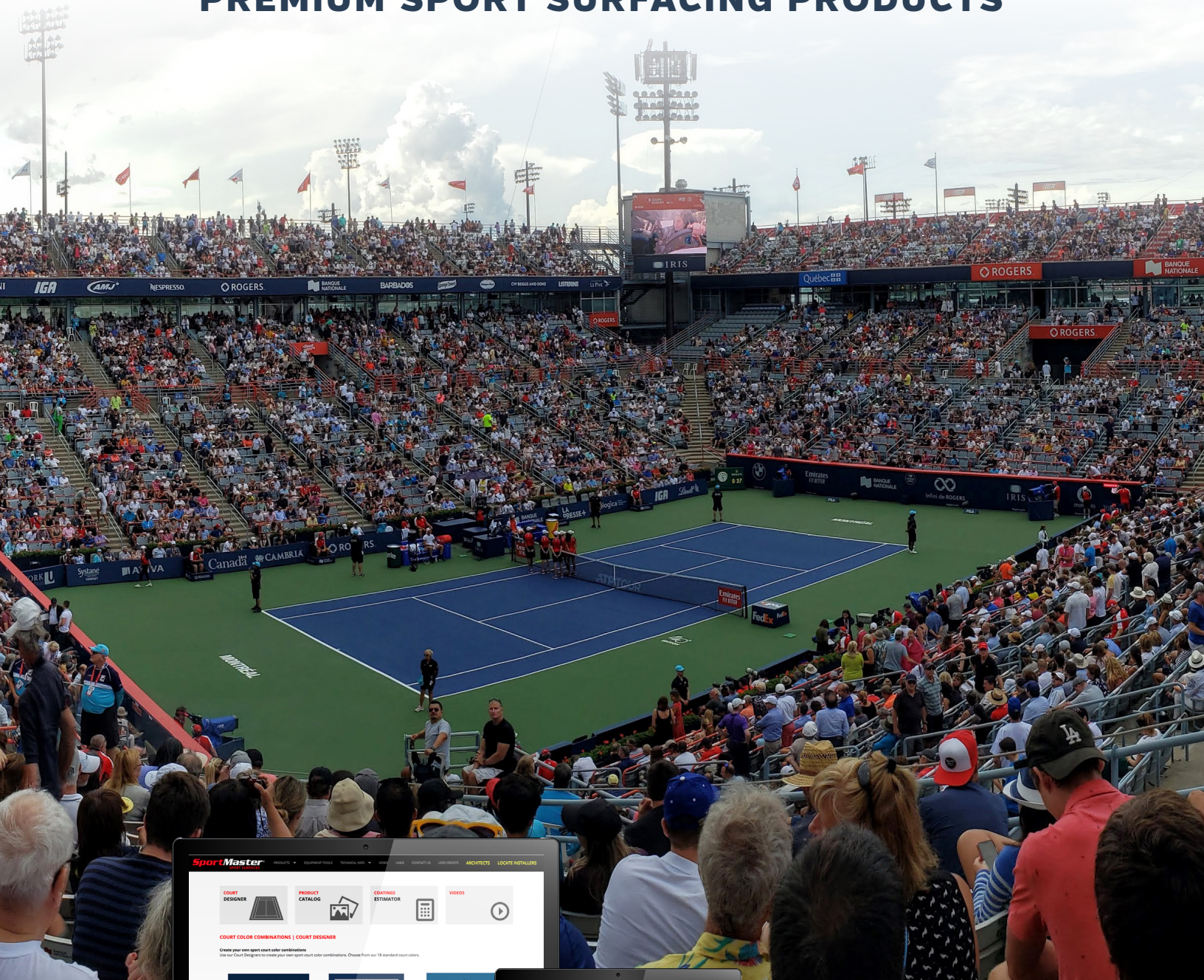
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SportMaster athletic & recreational surfacing systems are manufactured using industry-standard, 100% acrylic resins and vibrant fade-resistant pigments. Our products have been used by professional, recreational, and private court owners for nearly 50 years. Experienced installers are available throughout the United States & abroad.

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SPECIFICATION ASSISTANCE

Experienced SportMaster representatives are here to help with your project. Contact us for specification assistance or to find the best system to meet your needs and budget. Guide specifications are available for all of our surfacing systems, and free custom editing is available by request.

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Contact us for free referrals to qualified contractors throughout the United States and around the world. SportMaster is installed by experienced installers, and we offer training to new or existing contractors to ensure the highest brand standards.

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We produce a variety of sport surfacing products and systems. Here are a few of our specialties

- Tennis & Racquet Sports Courts
- Basketball & Netball Courts
- Pickleball Courts
- Multi-use game courts
- Roller hockey & Roller Sports
- Running Tracks & Walking Paths
- Playgrounds & Colorsapes



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COLORPLUS
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SYSTEM

ColorPlus Fusion is an expanded color chart, utilizing blends of the ColorPlus Pigment Dispersion system to achieve over 100 additional colors. Like the standard ColorPlus pigments, Fusion can be used in all of our surfacing systems. This opens up a whole new world of color choices and combinations.

To see the full expanded color chart, visit

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All Colors Available in all SportMaster® Systems when Using Colorplus™ Pigment Dispersion.



Dark Green



Light Green

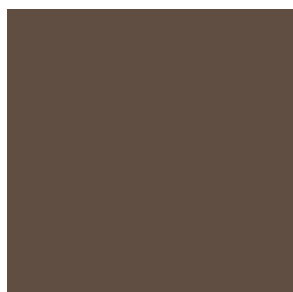
LEED credit (SRI = 31)*



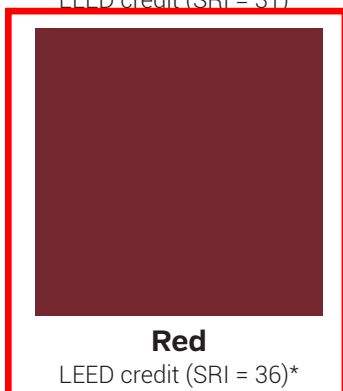
Forest Green



Blue



Beige



Red

LEED credit (SRI = 36)*



Light Blue



Sandstone

LEED credit (SRI = 46)*



Tournament Purple

Higher Cost Pigment



Maroon

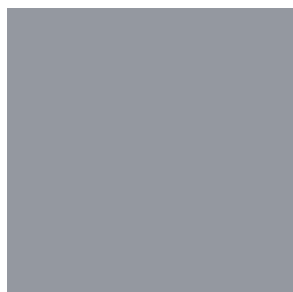


Gray



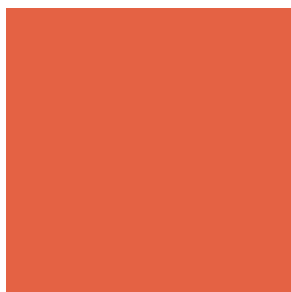
Ice Blue

LEED credit (SRI = 62)*



Dove Gray

LEED credit (SRI = 33)*



Orange

Higher Cost Pigment
May require additional coats



Yellow



Brite Red

LEED credit (SRI = 62)*
Higher Cost Pigment



Black

Don't see the color you're looking for?
Visit www.sportmaster.net/colorplusfusion

*Solar Reflectance Index (SRI) is the percentage of solar energy that is reflected by a surface. SportMaster® colors with an SRI of 29 or higher are indicated on the color chip card. These specific colors qualify for the LEED (Leadership in Energy and Environmental Design) program under Section SS Credit 7.1: Heat Island Effect: Non-Roof. For more information visit www.usgbc.org or contact a LEED accredited professional.

Chips on this card may vary slightly in color or finish from the actual product in the container, due to age, light, heat and printing process. C
samples based on SportMaster® products.

TENNIS



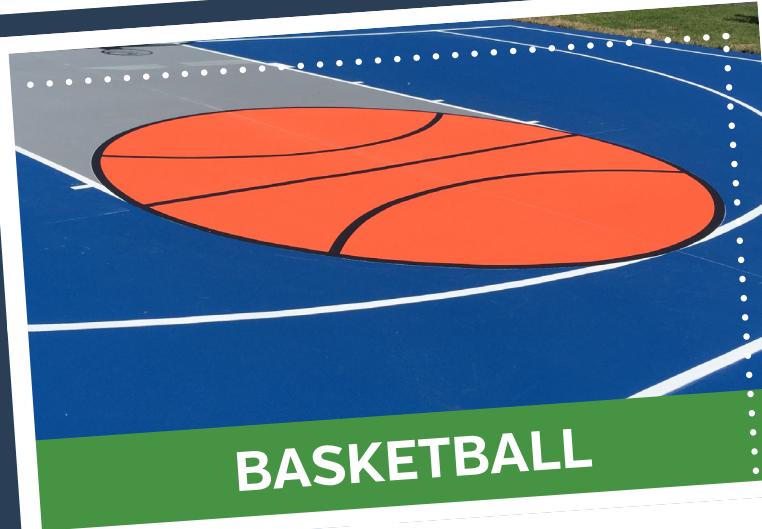
PICKLEBALL



MULTIPURPOSE



PLAYGROUNDS



BASKETBALL

ROLLER SPORTS



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SPORT SURFACES

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WHITE LINE PAINT

CMT-50

REVISED 12/19

USES

Line marking on tennis courts, basketball courts, pickleball courts, and other asphalt or concrete pavement surfaces.

COLOR

Available in white.

Product Data	
Type	Acrylic Emulsion
Pounds per gallon at 77°F	10.5 ± .5
% Non Volatile Material	49 ± 2
Odor	Ammonia
Flammability	Non-Flammable
Flash Point	None
Storage Life	One Year

SURFACE PREPARATION

Pavement surface must be cleaned entirely of dust, dirt, debris and all loose material. If using White Line Paint on a new, uncoated surface, allow adequate curing time before application.

MIXING PROCEDURES

White Line Paint can be rolled or brushed. To assure crisp lines, it is advisable to use a high quality tape to mask lines. Remove tape as soon as White Line Paint has dried. White Line Paint can be modified to match the exact texture of the court surface by adding silica sand.

IMPORTANT

Stir before using. Temperatures must be above 50°F both during application and for a period of at least 24 hours after application. Do not apply if rain is imminent or forecast. Keep from freezing. Close container when not in use. On outdoor concrete surfaces, assure adequate and functional perimeter drains as well as a sound vapor barrier beneath the slab.

DRYING TIME

Thirty to sixty (30 to 60) minutes under optimum drying conditions. Indoor applications are substantially affected by temperature and available ventilation and will dry more slowly.

COVERAGE

500 to 600 lineal feet of 2-inch line per gallon.

CAUTIONS

Do not store in direct sunlight or where temperatures exceed 100°F. Do not apply if rain is imminent or forecast. Keep from freezing. Close container when not in use. Refer to product Safety Data Sheet (SDS) for additional safety information and precautions.

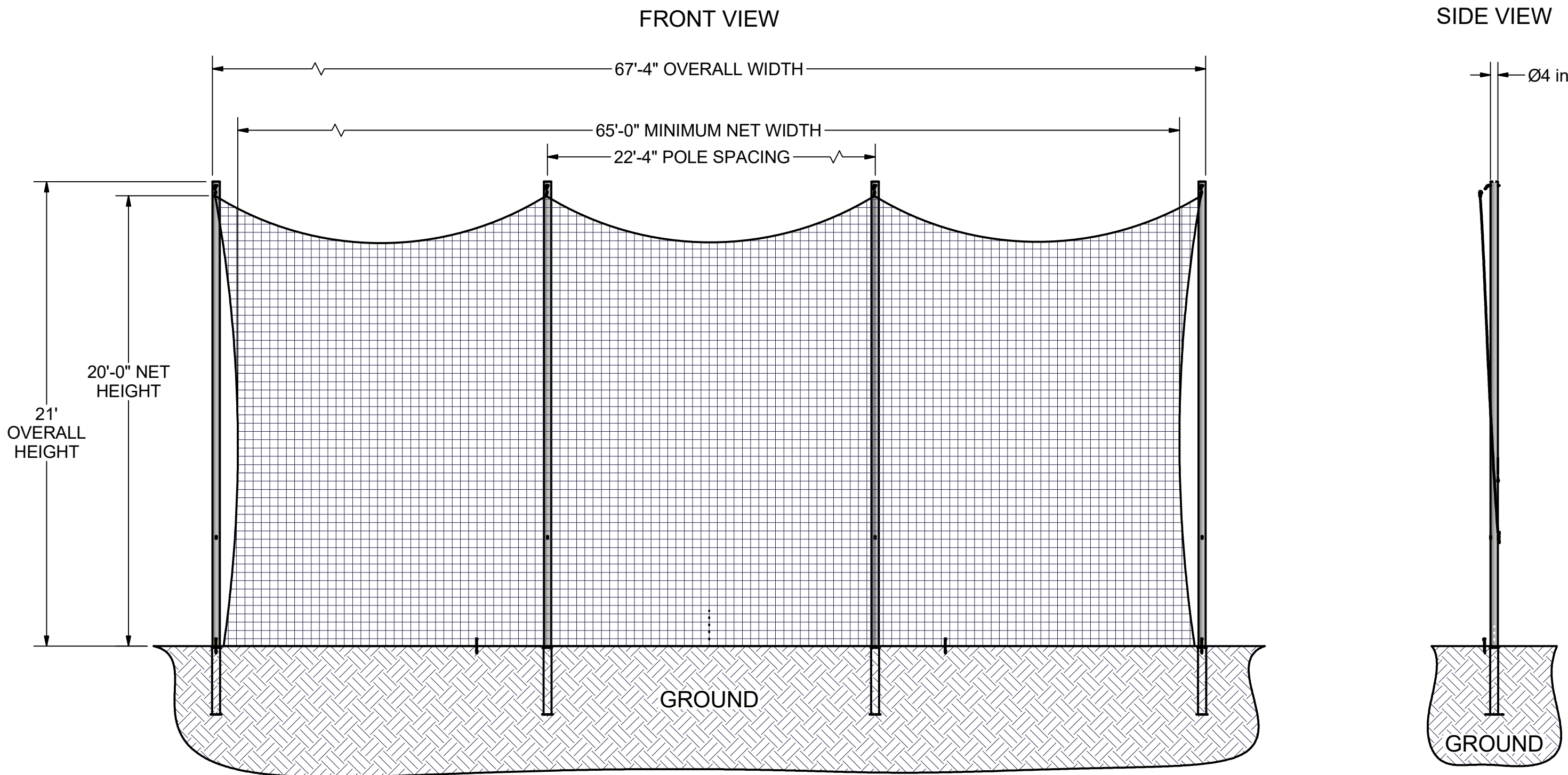
WARRANTY

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www.sportmaster.net

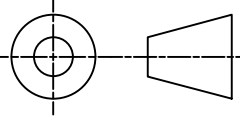



SPORTS NETTING ALONG PALAFOX TO REPLACE EXISTING

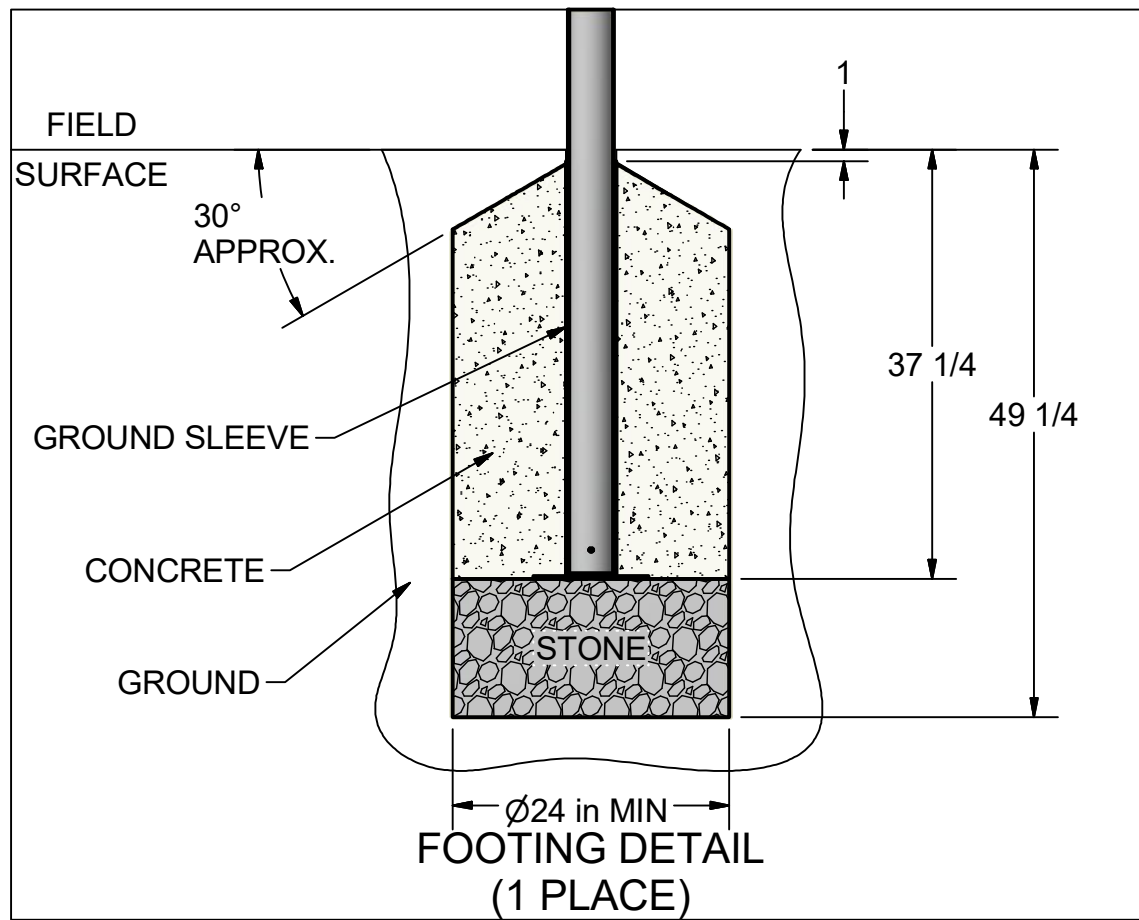
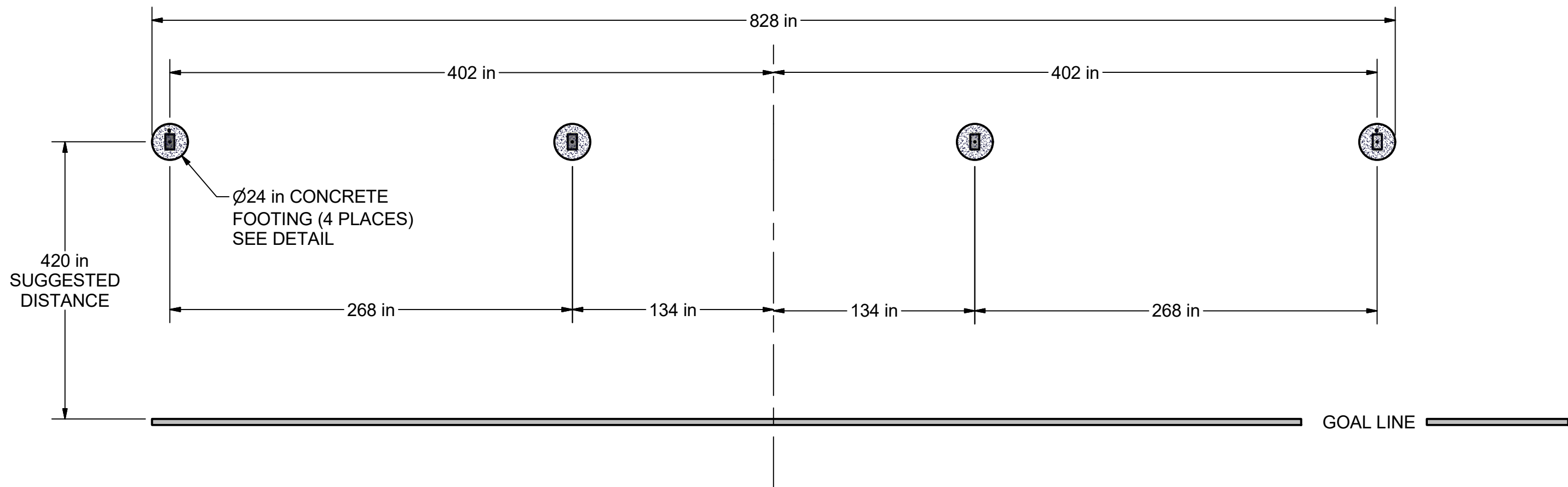
FEATURES:

- 1) ALUMINUM UPRIGHTS WITH HOIST SYSTEM FOR EASY NET HANDLING
- 2) ALUMINUM GROUND SLEEVES WITH CAPS
- 3) BRAIDED KNOTLESS HTPP NET - (20ft x 65ft - 3mm x 4" MESH)
- 4) GROUND PEGS TO HOLD NET ON GROUND DURING PLAY
- 5) ASSEMBLED WEIGHT:
 - UPRIGHTS: 43 LBS. EACH
 - NET: 21 LBS
 - TOTAL WITH NET: 193 LBS

Finish Info.

 <p>THIRD ANGLE PROJECTION</p>	 <p>140 Pacific Drive Quakertown, Pa. 18951</p>	
<p>DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED</p>	<p>Approved By:</p> <p>Date:</p>	<p>Part #:</p> <h1 style="text-align: center;">7B101</h1>
<p>This item is the confidential property of KWIK GOAL LTD. Reproduction or duplication without the express written consent of KWIK GOAL LTD. is strictly forbidden.</p>	<p>Drawn By: BRush</p> <p>Date: 9/4/2012</p>	
	<p>Sheet: 1 of 4</p> <p>Revision #: 9</p> <p>Cad File: 7B101.idw</p>	

OVERHEAD VIEW

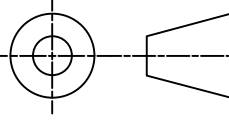



NOTES:

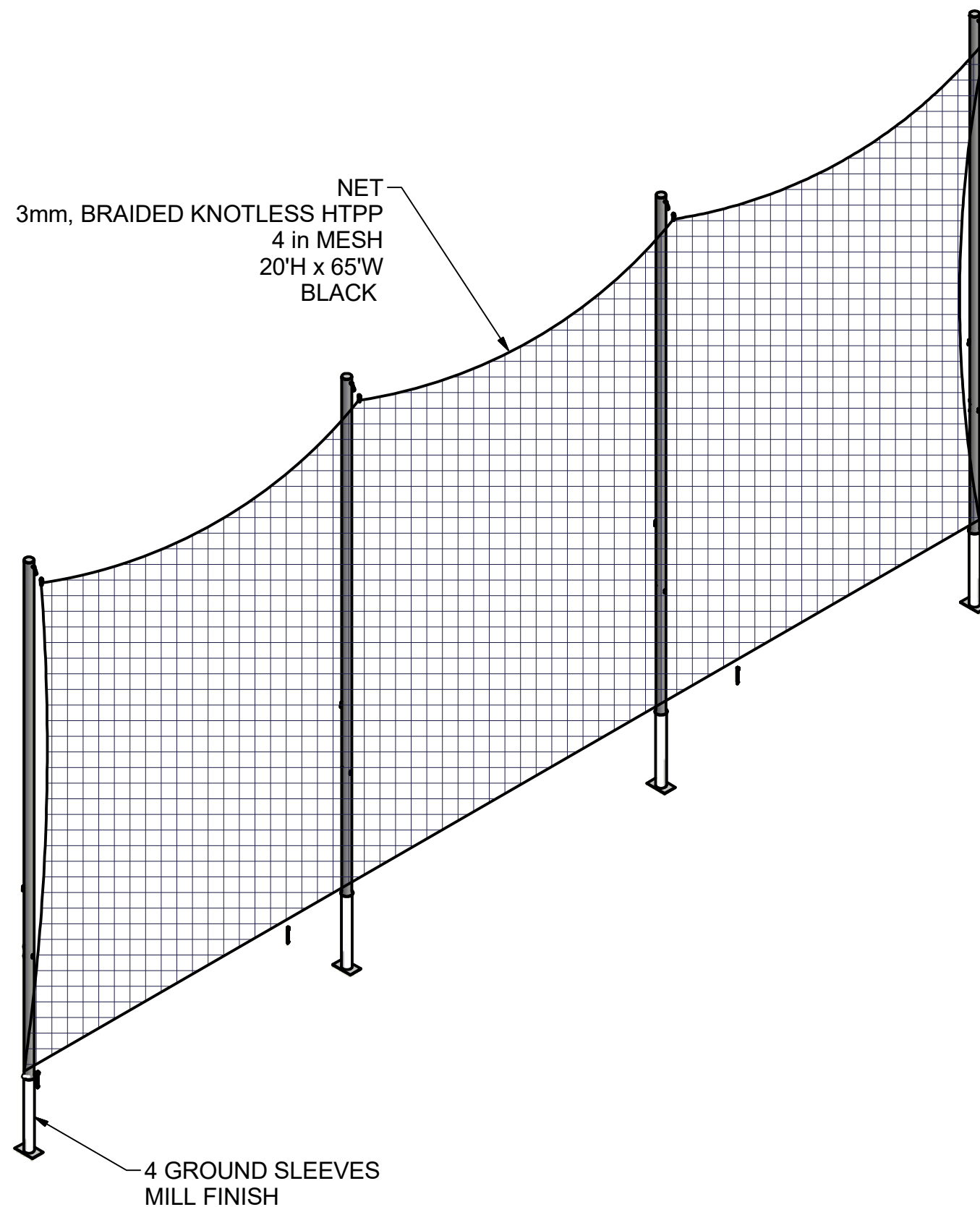
1) DIMENSIONS ARE FOR PLANNING PURPOSES. INSTALLATION MUST BE IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.

MATERIAL REQUIRED, BUT NOT SUPPLIED

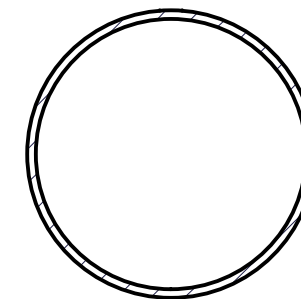
1.3 cubic yard - CONCRETE
0.5 cubic yard - CLEAN STONE (1/4" - 3/4")
ABOVE AMOUNTS ARE PER UNIT INSTALLATION

 THIRD ANGLE PROJECTION DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED This item is the confidential property of KWIK GOAL LTD. Reproduction or duplication without the express written consent of KWIK GOAL LTD. is strictly forbidden.	 140 Pacific Drive Quakertown, Pa. 18951	
	Approved By:	Part #: 7B101
	Date:	
	Drawn By: BRush Date: 9/4/2012 Sheet: 2 of 4 Revision #: 9 Cad File: 7B101.idw	Desc: 20'H x 65'L Soccer Backstop

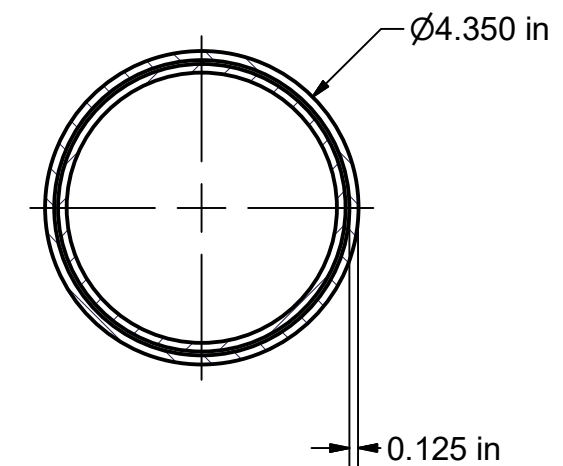
Finish Info.



MATERIAL DETAILS

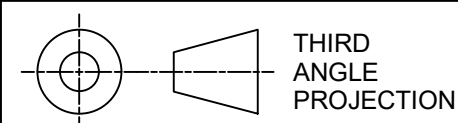


UPRIGHT
MATERIAL - ALUMINUM



GROUND SLEEVE
MATERIAL - ALUMINUM

Finish Info.



DIMENSIONS ARE IN INCHES
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Approved By:

Date:

Drawn By: BRush

Date: 9/4/2012

Sheet: 3 of 4

Revision #: 9

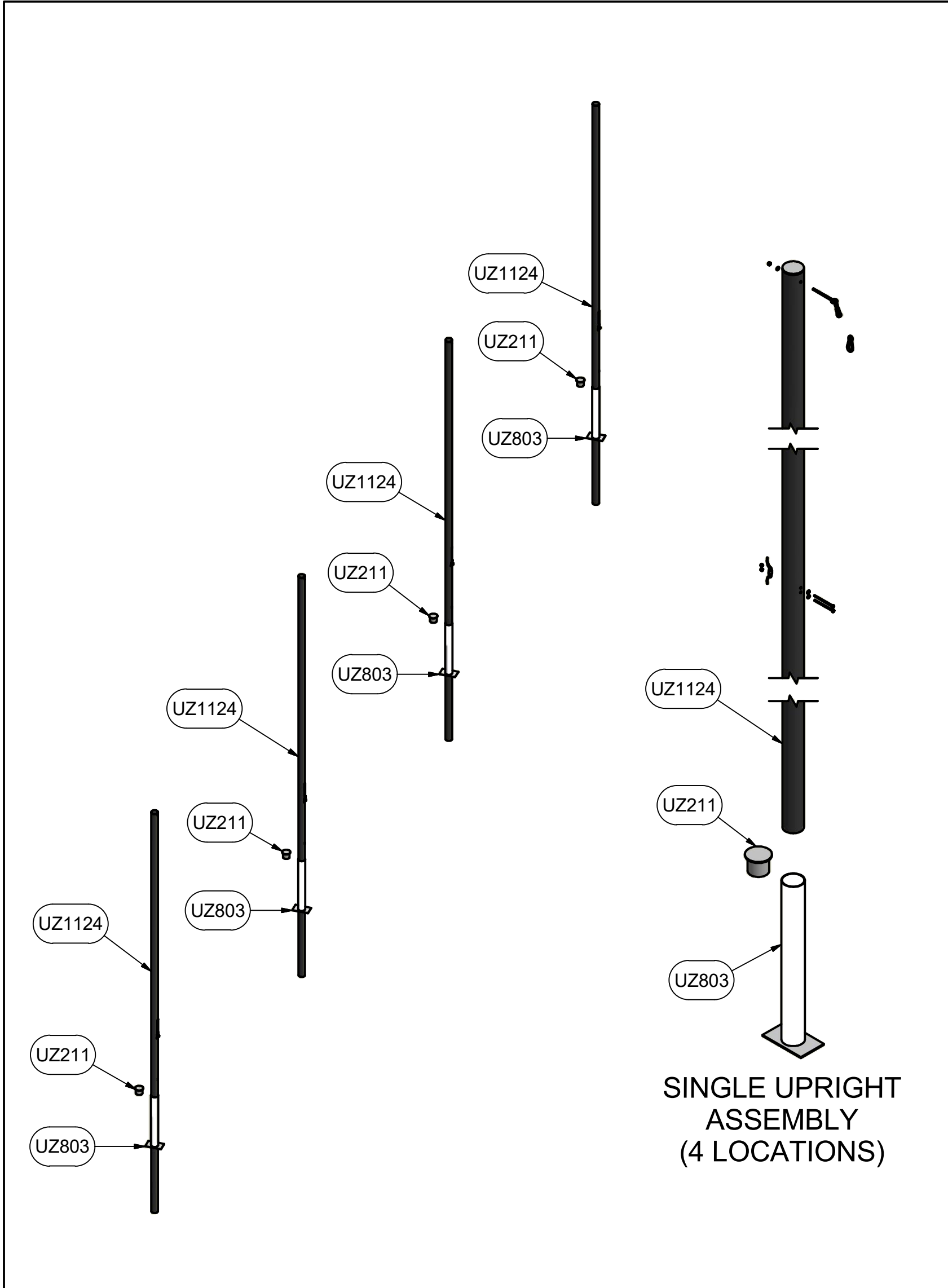
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Part #:

7B101

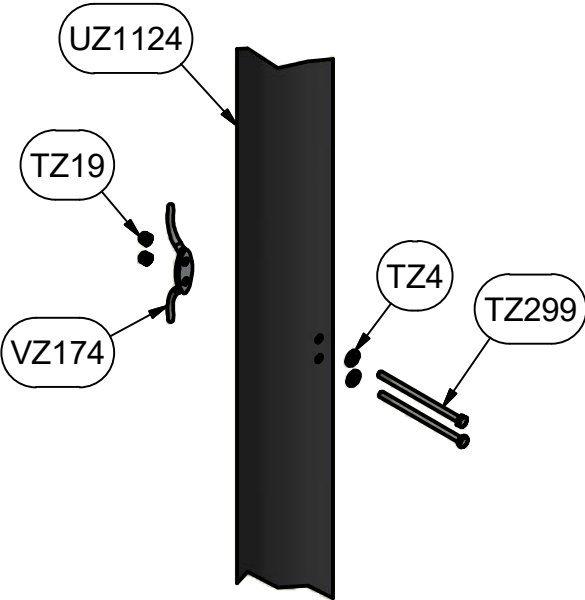
Desc:

20'H x 65'L Soccer Backstop

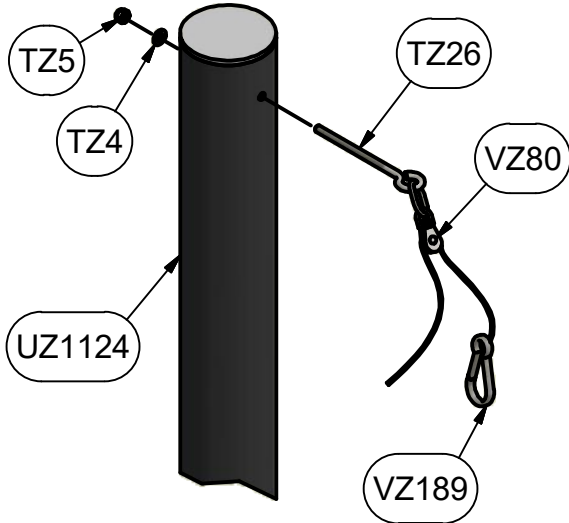


Finish Info.

Parts List		
Part #	Qty	Description
UZ1124	4	7B101 UPRIGHT
UZ211	4	GROUND SLEEVE CAP
UZ803	4	GROUND SLEEVE
VZ80	4	3/4" SWIVEL PULLEY
VZ641	4	BRAIDED ROPE, 38' LENGTH
VZ203	8	NET PEG
VZ189	4	5/16 SNAP LINK
VZ174	4	ROPE CLEAT
TZ5	4	5/16-18 LOCK NUT
TZ4	12	5/16 FLAT WASHER
TZ299	8	1/4-20 x 4 3/4 HEX BOLT
TZ26	4	5/16 x 5 EYEBOLT
TZ214	4	89-1/4 REPAIR LINK
TZ19	8	1/4-20 LOCK NUT
3B2866	1	NET, 3MM ROPE, 4" MESH

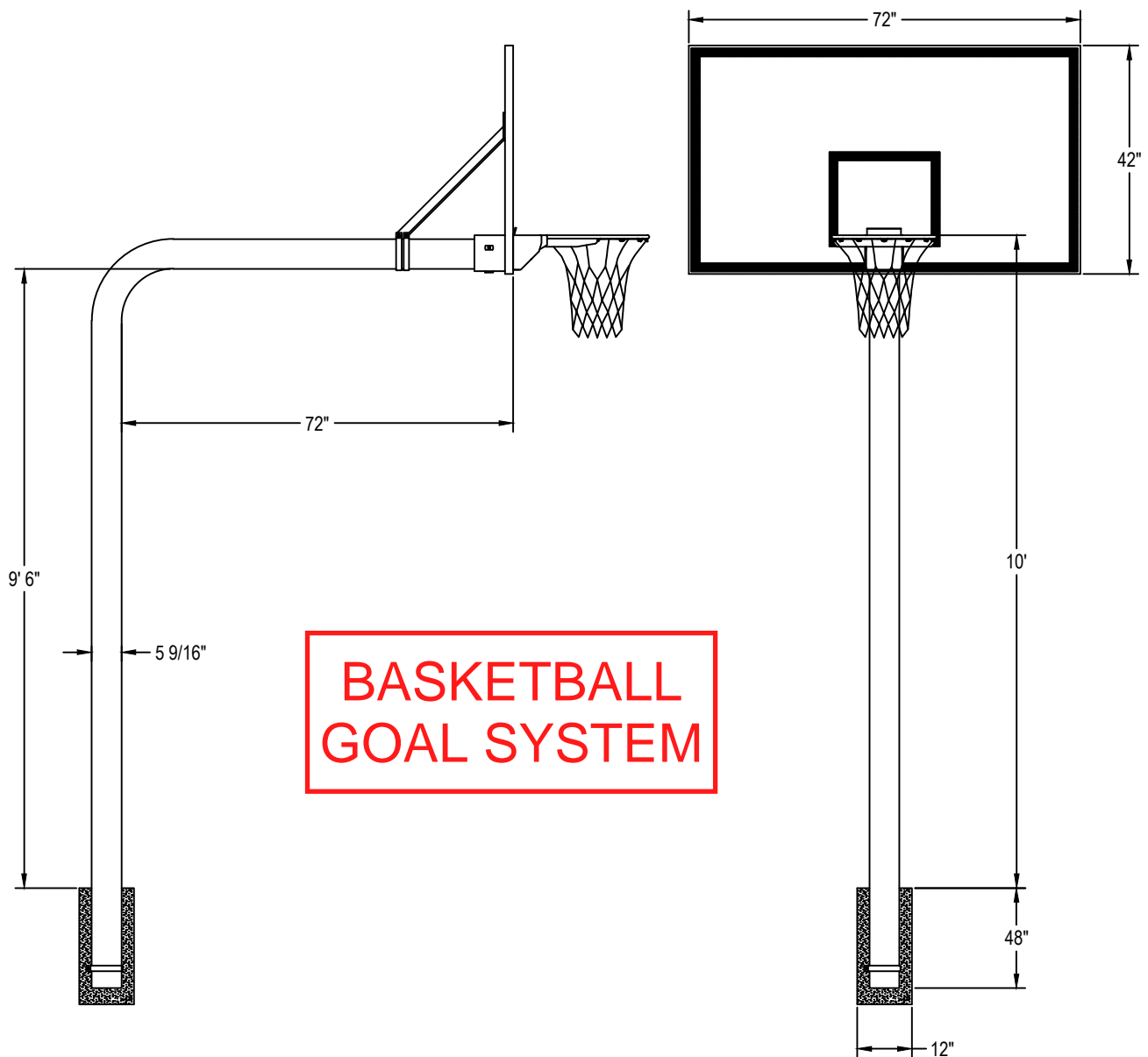


ROPE CLEAT
ASSEMBLY
(4 LOCATIONS)



PULLEY ASSEMBLY
(4 LOCATIONS)

 THIRD ANGLE PROJECTION	 140 Pacific Drive Quakertown, Pa. 18951	
	Approved By:	Part #:
DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED	Date:	7B101
	Drawn By: BRush	Desc: 20'H x 65'L Soccer Backstop
	Date: 9/4/2012	
	Sheet: 4 of 4	
	Revision #: 9	
This item is the confidential property of KWIK GOAL LTD. Reproduction or duplication without the express written consent of KWIK GOAL LTD. is strictly forbidden.	Cad File: 7B101.idw	



BASKETBALL GOAL SYSTEM

Pole shall be constructed of 5 9/16" outside diameter schedule 40 structural pipe and have a hot dipped galvanized finish. Design shall be a bent gooseneck style and allow for a 48" bury into the ground and a 72" extension from the front of the pole to the face of the backboard. Two 1 5/8" diameter, 13 ga. flow coated galvanized tubular braces shall support the top of the backboard and connect directly to the pole. Pole shall be designed so that the rim mounts directly to the horizontal pole section through the backboard to eliminate stress on the backboard during play. Pole systems without backboard support braces shall not be considered equal. Pole shall carry a limited lifetime warranty. Backboard shall be 42" x 72" and constructed of 1/2" clear unbreakable polycarbonate with a limited lifetime warranty. Polycarbonate shall be framed with aluminum extrusions with 7 ga. steel corner brackets and have a white border and shooters square. A tubular sub-frame shall be mounted to the rear of the backboard to provide support at the rim mounting location and provide threaded inserts for brace attachment on gooseneck playground systems. Backboard shall accept rims with 5" x 4" mounting pattern. Backboard shall carry a lifetime limited warranty. Rim shall be of a flexible type so as to absorb the player contact. Spring action shall be provided by a compression spring. Rim shall have a one-piece continuous wire net attachment system to accept nylon net (included). The rim shall be of an institutional quality with all structural components being no less than 3/16" thick. The ring shall be an official size 5/8" AISI 1018 cold drawn carbon steel and be supported by a 3/16" x 1 1/2" rim support that is welded around 180° of the bottom of the ring. A steel coverplate must enclose all internal mechanism. Rim shall be punched to mount on any front mount backboard, have a 1-year limited warranty and an orange powder coated finish. Mounting hardware shall be included. Rim shall be made in the USA. Installation to be completed in accordance with manufacturer's instructions. Do not scale drawings. Entire system shall weigh approximately 500#.



PRODUCT SPECIFICATION

PR74 MEGA-DUTY UNBREAKABLE POLYCARBONATE PLAYGROUND SYSTEM

REVISED 7/1/17



OMNI SPINNER - GRANITE COLOR



Episcopal Day School

DS 3039 • 1.24.2023





**EXTREME PEG BRIDGE
- SKY-LAGOON**



Episcopal Day School

DS 6201 • 1.24.2023





HEDRA - SKY, LAGOON,
GRANITE COLORS



Episcopal Day School

DS 6415 • 1.24.2023





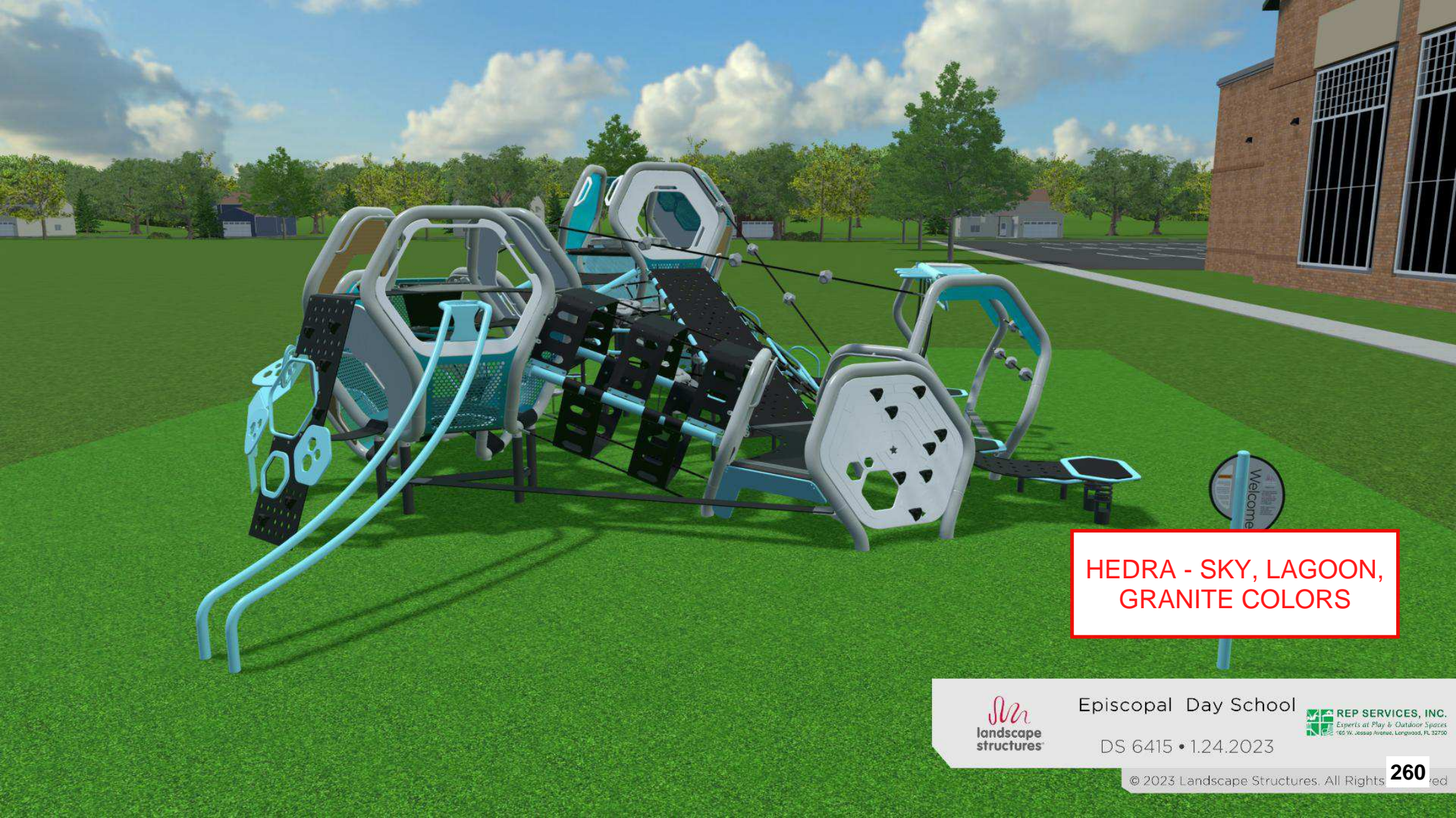
HEDRA - SKY, LAGOON,
GRANITE COLORS



Episcopal Day School

DS 6415 • 1.24.2023





**HEDRA - SKY, LAGOON,
GRANITE COLORS**



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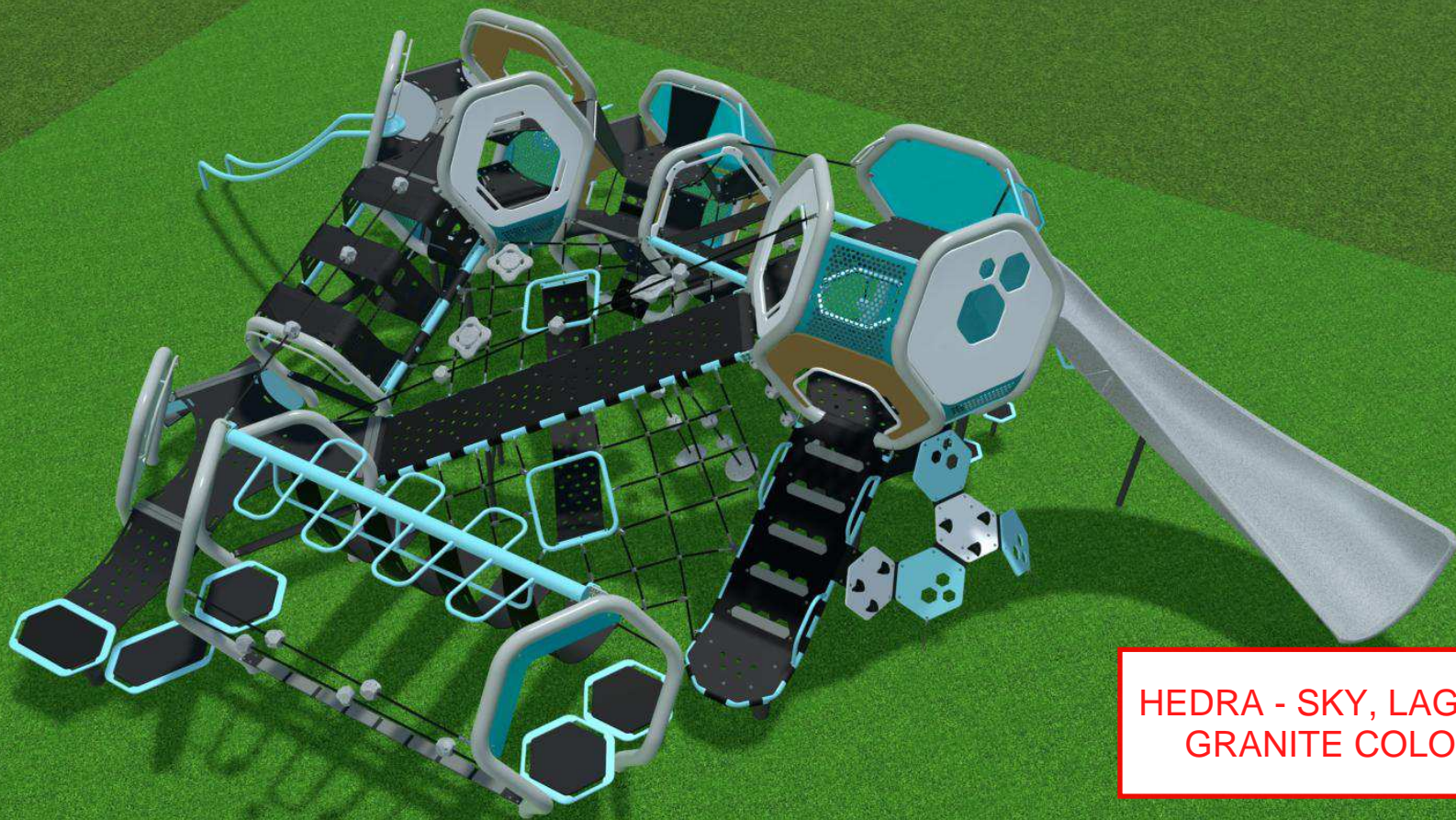
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GRANITE COLORS



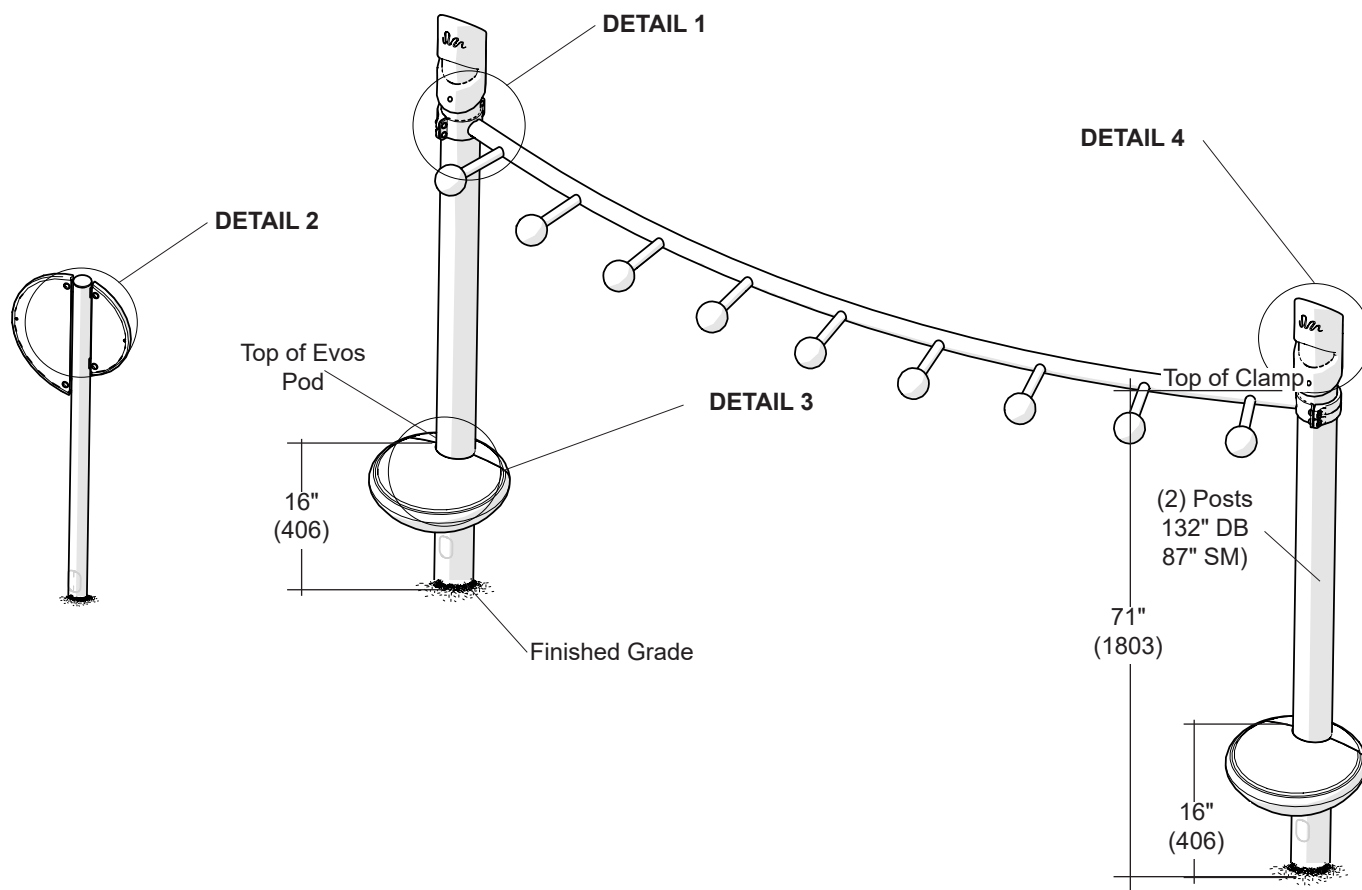
Episcopal Day School

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HEDRA - SKY, LAGOON,
GRANITE COLORS



Sports and Fitness®

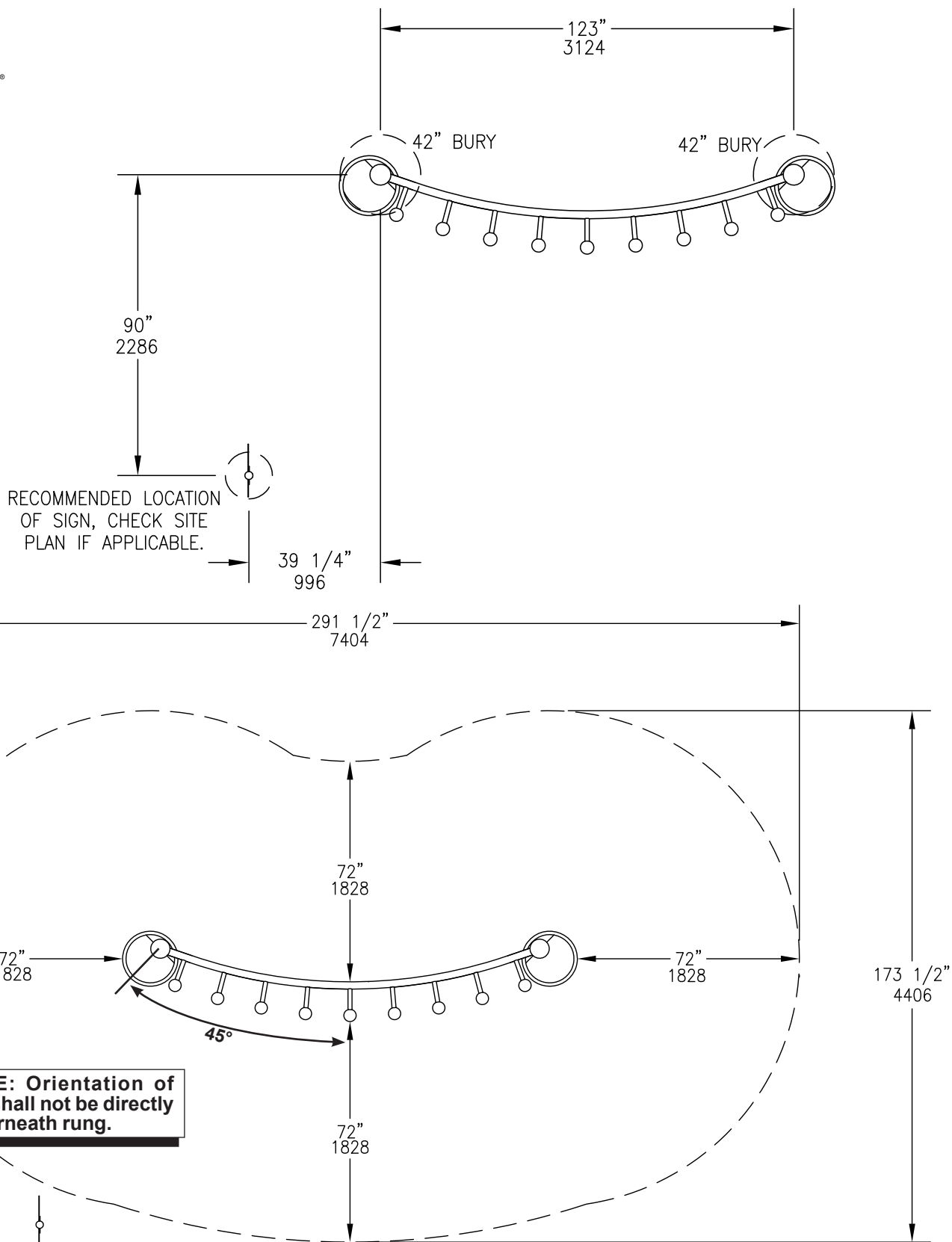
244195 FitCore™ Extreme Peg Bridge (5-12 Yrs)

601 7TH STREET SOUTH, DELANO, MINNESOTA 55328-8605 888-574-4678 LSI Install Help 888-438-6574 LSI Direct 763-972-5200 Int. FAX (763) 972-3185

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Sheet 1 of 6



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244195 FitCore™ Extreme Peg Bridge (5-12 Yrs)

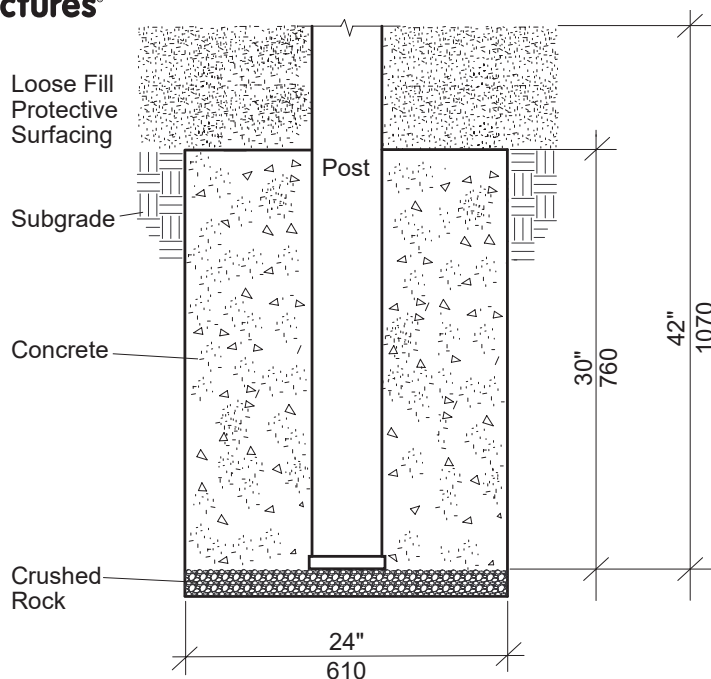
601 7TH STREET SOUTH, DELANO, MINNESOTA 55328-8605 888-574-4678 LSI Install Help 888-438-6574 LSI Direct 763-972-5200 Int. FAX (763) 972-3185

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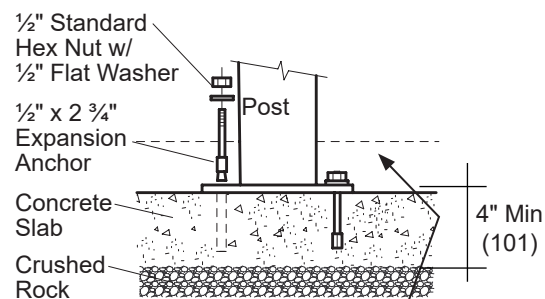
Document #27869300

Sheet 2 of 6

DETAIL DIRECT BURY

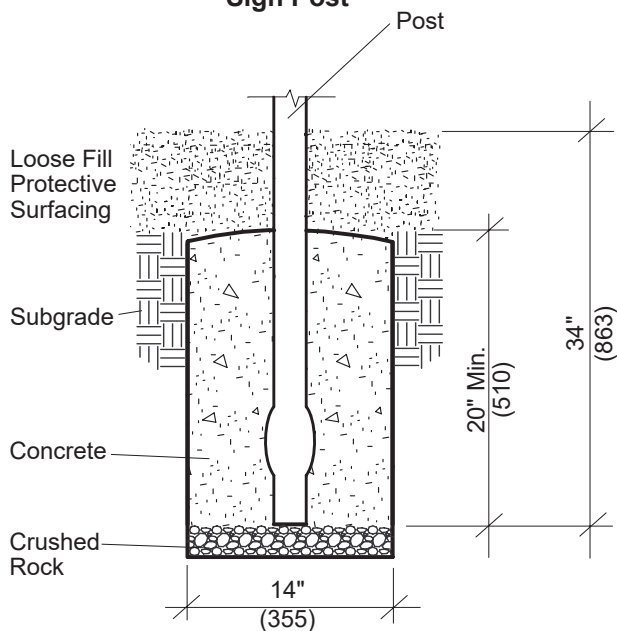


DETAIL SURFACE MOUNT



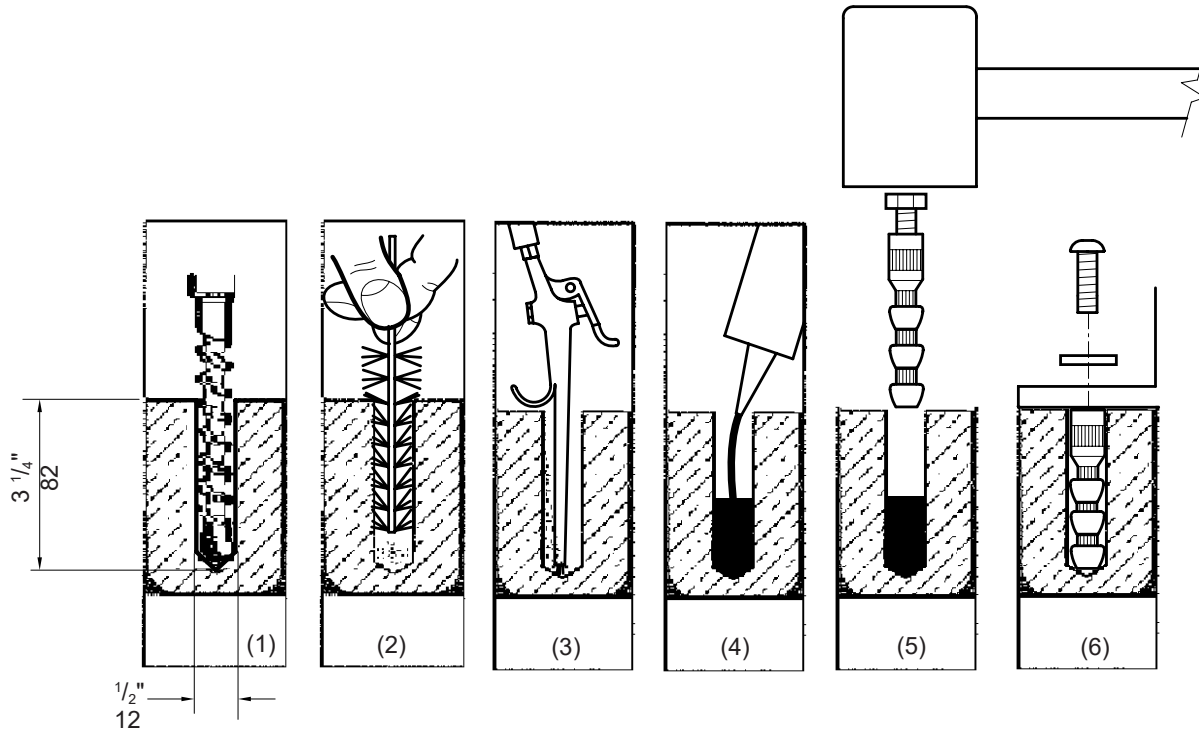
NOTE: Sufficient protective surfacing must cover hardware to satisfy fall height requirements.

DETAIL
DIRECT BURY
Sign Post



244195 FitCore™ Extreme Peg Bridge (5-12 Yrs)

INSTRUCTIONS FOR CHEMICAL ANCHOR INSTALLATION



- 1) Surfaces should be clean and free of moisture, grease and oil.
- 2) With equipment in final position, use a center punch to mark chemical anchor locations on concrete slab through holes in surface mount plates.
- 3) Move bench frame aside. Using a 1/2" diameter drill bit, drill holes to a depth of 3 1/4". Drill the holes perpendicular to the work surface. To assure full holding power, do not ream the holes or allow the drill to wobble (1). Verify hole depth after drilling.
- 4) Clean the holes using oil free, dry compressed air and a wire or stiff nylon brush. Dust and debris left in holes will significantly reduce the holding capacity of the anchor; several repetitions of brushing and blowing are required to obtain a properly cleaned holes. Compressed air nozzle should reach the bottom of hole. (2 & 3).
- 5) Insert resin into hole. Hole should be approximately half full of resin. (4)
- 6) Thread 3/8" x 1 3/4" hex head bolt into anchor. Hammer anchor into hole until flush with concrete surface. Remove 3/8" x 1 3/4" hex head bolt from anchor. (5) **NOTE:** A 2 1/2 pound mallet may be needed.
- 7) Allow resin to cure for the specified time. See chart for cure time.
- 8) Re-attach bench frame. Attach surface mount plate to anchors, using 3/8" x 1 1/4" BHCS w/Pin limited thread with 3/8" flat washers. (6)
- 9) Always wear safety glasses. Use only solid carbide tipped drill bits.

Minimum Cure Times Based On Ground Temperature.	
Temperature (°F)	Minimum Cure Time
68 and over	20 minutes
50-68	40 minutes
32-50	2 hours
23-32	24 hours

Sports and Fitness®

244195 FitCore™ Extreme Peg Bridge (5-12 Yrs)

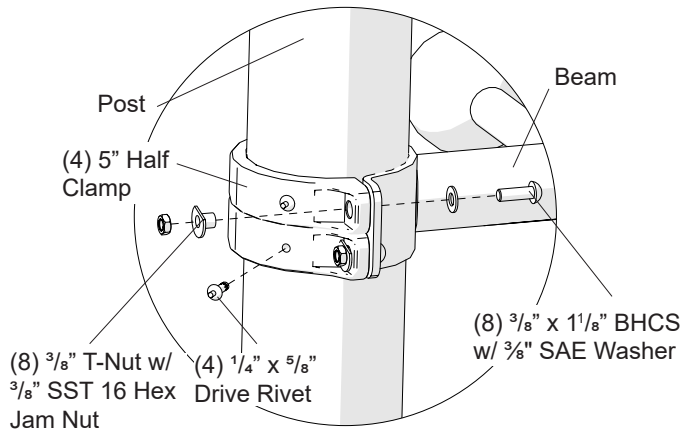
601 7TH STREET SOUTH, DELANO, MINNESOTA 55328-8605 888-574-4678 LSI Install Help 888-438-6574 LSI Direct 763-972-5200 Int. FAX (763) 972-3185

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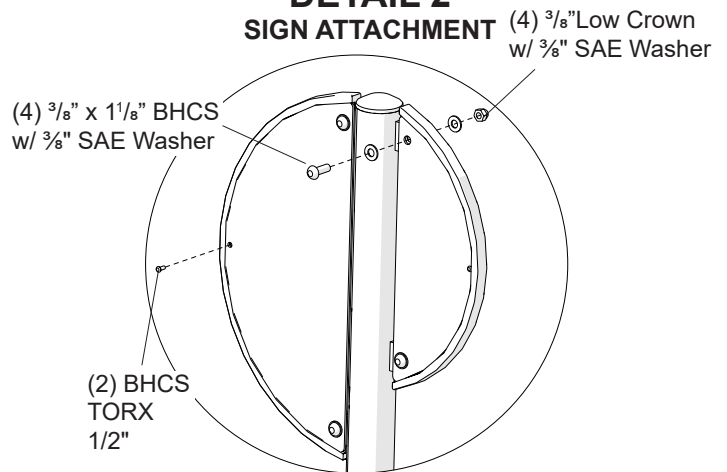
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Sheet 4 of 6

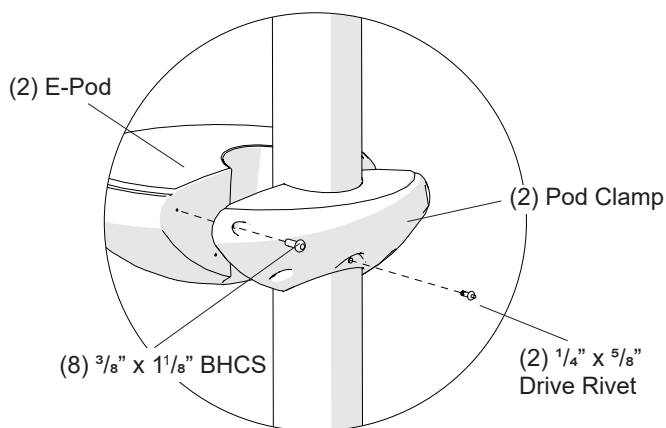
DETAIL 1 PEG BEAM ATTACHMENT



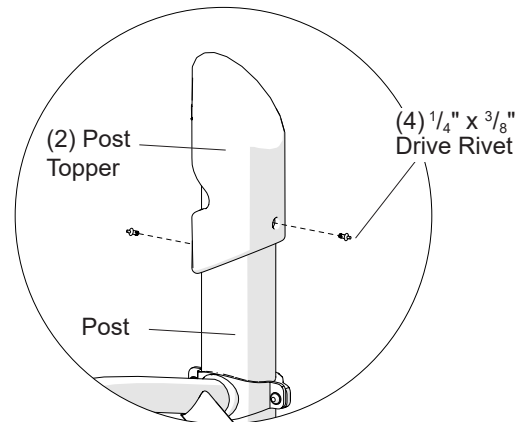
DETAIL 2 SIGN ATTACHMENT



DETAIL 3 EVOS STEP ATTACHMENT



DETAIL 4 CAP ATTACHMENT



Sports and Fitness®

244195 FitCore™ Extreme Peg Bridge (5-12 Yrs)

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Sheet 5 of 6

Part#	Description	Qty.
105327	Clamp Half 5" AL, Specify Color.....	4
154461	Evos Roto Post E-Pod, Specify Color.....	2
156806	Evos Post Pod Casting PNT, Specify Color.....	2
246891	Post Age App/Warn DB PNT, Specify Color.....	1
192691	Post Topper, Specify Color	2
193782	Welcome Sign Border Large, Black.....	1
193783	Welcome Sign Border Small, Black	1
243018	Monkey Pegs Wld, Specify Color.....	1
246544	Fitcore Post 132" DB, Specify Color.....	2
245250	Sign Fitcore Extreme Peg Bridge	1
245264	Sign Fitcore Extreme (5-12) Warning.....	1
246892	Post Age App/Warn SM PNT, Specify Color.....	1
244322	Fitcore Post 87" SM, Specify Color.....	2
206894	Epoxy Cartridge.....	1
213258	Hardware Package Age/Warning Sign	1
100198	BHCS 6LP 3/8" x 1-1/8" SST.....	4
100349	Nut L/C Cap 3/8"-16 SST	4
100365	Washer Flat SAE 3/8" SST	8
169413	Bit 1/4 6-LOBE T15 TAMP	1
168323	BHCS TORX #8 x 1/2", SST	2
156968	Hdw Pkg E-Pod Evos	2
100198	BHCS 6LP 3/8" x 1-1/8" SST.....	4
100610	Drive Rivet 1/4" x 3/8", AS	1
121348	Hardware Package 4-Hole SM (Sign Post)	1
100266	EXP Anchor 1/2" x 2 3/4" ZP	4
100322	Nut Hex STD 1/2" x 13", SST.....	4
100363	Washer Flat 1/2", SST	4
207241	Hardware Package Power-Ser Anchor 4-Hole.....	2
206892	Anchor Wej-It 3/8" x 16",SST.....	4
100209	Hex Cap 3/8" x 1 3/4",SST.....	1
100362	Washer Flat 3/8", SST	4
208324	BHCS 6LP LTHD 3/8" x 1 1/4" w/Patch, SST.....	4
278634	Hdw Pkg Fitcore Peg Bridge.....	1
100198	BHCS 6LP 3/8" x 1-1/8", SST.....	8
100351	Nut Mod-T 3/8" -16, SST.....	8
100365	Washer Flat SAE 3/8", SST.....	8
100610	Rivet 1/4" x 5/8"Drv As.....	4
100611	Rivet 1/4" x 3/8" Drv As.....	4
128296	Nut Hex Jam 3/8"-16, SST	8

DB= Direct Bury

SM= Surface Mount

Specifications

Fasteners: Primary fasteners shall be socketed and pinned tamperproof in design, stainless steel (SST) per ASTM F 879 unless otherwise indicated (see specific product installation/specifications).

Monkey Pegs: Weldment comprised of formed 2.375" (60,33 mm) O.D. RS40 (.130" - .140") (3,30 mm-3,56 mm) wall galvanized steel tubing, 3/8" (9,53 mm) thick SST plate. 1.315 O.D. RS20 Galvanized steel tubing, 1/4" HRPO steel, 10 G.A. (.135) HRPO steel, Finish: ProShield specify color.

Specifications are subject to change without notice.

Post: Manufactured from 5" (127mm) O.D. tubing with a wall thickness of .120" (3,04 mm) Finish: ProShield, color specified.

Post Topper: Rotationally molded from UV Stabilized Linear Low Density Polyethylene, Color Specified.

Half Clamp: Cast aluminum. Finish: ProShield®, color specified.

E-Pod: Rotationally molded from UV Stabilized Linear Low Density Polyethylene, Color Specified.

Pod Casting: Fabricated from sand cast alloy 356 in accordance with ASTM B26. Finish: ProShield®, color specified.

Sign Panel: Panel is fabricated from 1/8" (.125")(3,17 mm) aluminum plate, Finish: ProShield®, gray in color. (Sign) Digital image is transferred to a 1/8" (.125)(3,17 mm) ProShield® coated aluminum plate, then infused into the ProShield®.

Sign Border: Permalene, black in color.

Sign Post: Weldment comprised of 2.375 (.098" - .120") wall galvanized steel tubing, Plate exist of 1/4" HRPO steel plate and aluminum plate. Finish: ProShield®, color specified.

Installation Time: Approx. 4 person hours

Weight: DB 311 lbs.

SM 306 lbs.

Fall Height: 72" (1,82 m)

Concrete: 18 Cubic Feet (DB)

Installation Instructions

- 1) Dig Footing holes as shown.
- 2) Attach Peg Bridge posts to beams. Refer to detail 1.
- 3) Attach Sign to post. Refer to detail 2.
- 3) Attach Evos Post Pod. Refer to detail 3.
- 4) Attach post topper as shown in detail 4.
- 5) Install protective surfacing before users are allowed to play on the structures.

Installation Instructions - Sign

Direct Bury

- 1) Dig footing hole to depth and diameter shown.
- 2) Attach sign panels and borders to post as shown, using 3/8" x 1 1/8" BHCS with 3/8" SAE flat washers and 3/8" low crown cap nuts with 3/8" SAE flat washers. Attach signs to borders using #8 x 1 1/2" BHCS Torx.
- 3) Set sign assembly in footing hole and temporarily brace in plumb position.
- 4) Pour concrete footing. After concrete has cured, remove bracing.

Surface Mount

- 1) Attach sign panels and borders to post as shown, using 3/8" x 1 1/8" BHCS with 3/8" SAE flat washers and 3/8" low crown cap nuts with 3/8" SAE flat washers. Attach signs to borders using #8 x 1 1/2" BHCS Torx.
- 2) With sign in proper position, using a 1/2" masonry bit and hammer drill, drill 3" deep holes into concrete slab through holes in post plate. Tap 1/2" x 2 3/4" expansion anchors into holes and secure using 1/2" standard hex nuts with 1/2" flat washers.

PLAYGROUND MAINTENANCE

Hedra™

■ Fasteners 1

Tighten attachment fasteners. Replace if cracked, deformed or broken.

■ General Materials/Finishes 1

Refer to the General Cleaning/Freestanding Play Maintenance Sheet.

■ Permalene® Panels 1

Replace if cracked, embrittled, or seriously discolored. Scratches can be burnished away with a clean, blunt instrument.

■ Concrete Footing 1

Shovel away protective surfacing to inspect. Replace footing if it is severely cracked. Add protective surfacing if footing is not covered with at least 10" of material.

■ Chains 1

Replace chain if any link is 50% worn. Note wear on report.

■ Support Beam/Footers/Frames 1

Replace if welds are cracked or the unit is deformed or severely pitted with corrosion. (Area at the top of the footing is most vulnerable). Repair damaged powdercoating per instruction sheet.

■ Cables 1

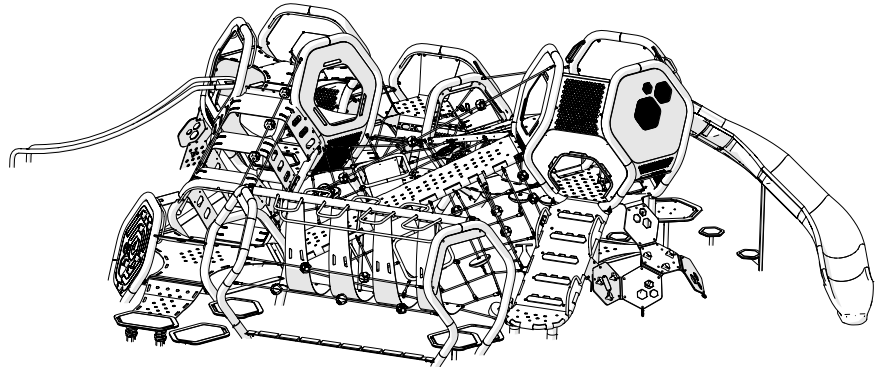
Replace if cables are cut or severely damaged.

■ Giggle Jiggler Ring 1

Replace if Giggle Jiggler Ring is cracked, embrittled or seriously discolored.

■ Slide (Poly) 1

Replace if cracked, embrittled or seriously discolored. Joints between sections must be tight.



■ Belt 1 ■ Bamboo Panels 1

Replace if belt is severely cut or deformed. Attachment of the belt must be secure. Replace belt if it is ripped or torn at bolt attachments.

■ Cable Ball Knots 1

Replace if cable ball knots are cracked, embrittled or seriously discolored.

■ Polycarbonate Panels 1

Rinse the sheets with lukewarm water. Remove dust and dirt with a soft non-abrasive cloth or sponge and a solution of mild soap and/or liquid detergent in water. A 50:50 solution of isopropyl alcohol and water also works well. Rinse thoroughly with lukewarm water. Replace if cracked, embrittled, or seriously discolored.

To remove light to moderate areas of mold, mildew, or dirt, a bleach/water solution mixed 3:1 of water to bleach can be used. Common deck wash solutions can also be used. Heavy cleaning requires 1:1 water /bleach mix ratio. If areas of the materials remain distressed due to heavy mold, mildew, or dirt, the materials surface will likely require sanding. Avoid Power Washing for unwanted scarring. If panel requires refinishing, please contact LSI for instructions. Replace if cracked, or embrittled.

■ Pods 2

Replace if pods are cracked, embrittled or seriously discolored.

PLAYGROUND MAINTENANCE

■ Fasteners 1

Tighten attachment fasteners. Replace if cracked, deformed or broken.

■ General Materials/Finishes 1

Refer to the General Cleaning/Free-standing Play Maintenance Sheet."

■ Shocks 1

The shaft should extend and retract smoothly. If there is evidence of fluid leakage or binds in the shock it needs to be replaced.

An Individual adult standing in place, is to spin the equipment for 60 seconds. If the number of revolutions exceeds 29, then inspect resitance assembly for wear or damage. replace damaged parts and/or shocks.

■ OmniSpin Spinner (Poly) 2

Replace if cracked, brittle or severely discolored.

■ Frame/Base (Powdercoated) 2

Replace if welds are cracked or the unit is deformed or pitted with rust. Repair damaged powdercoating per instruction sheet.

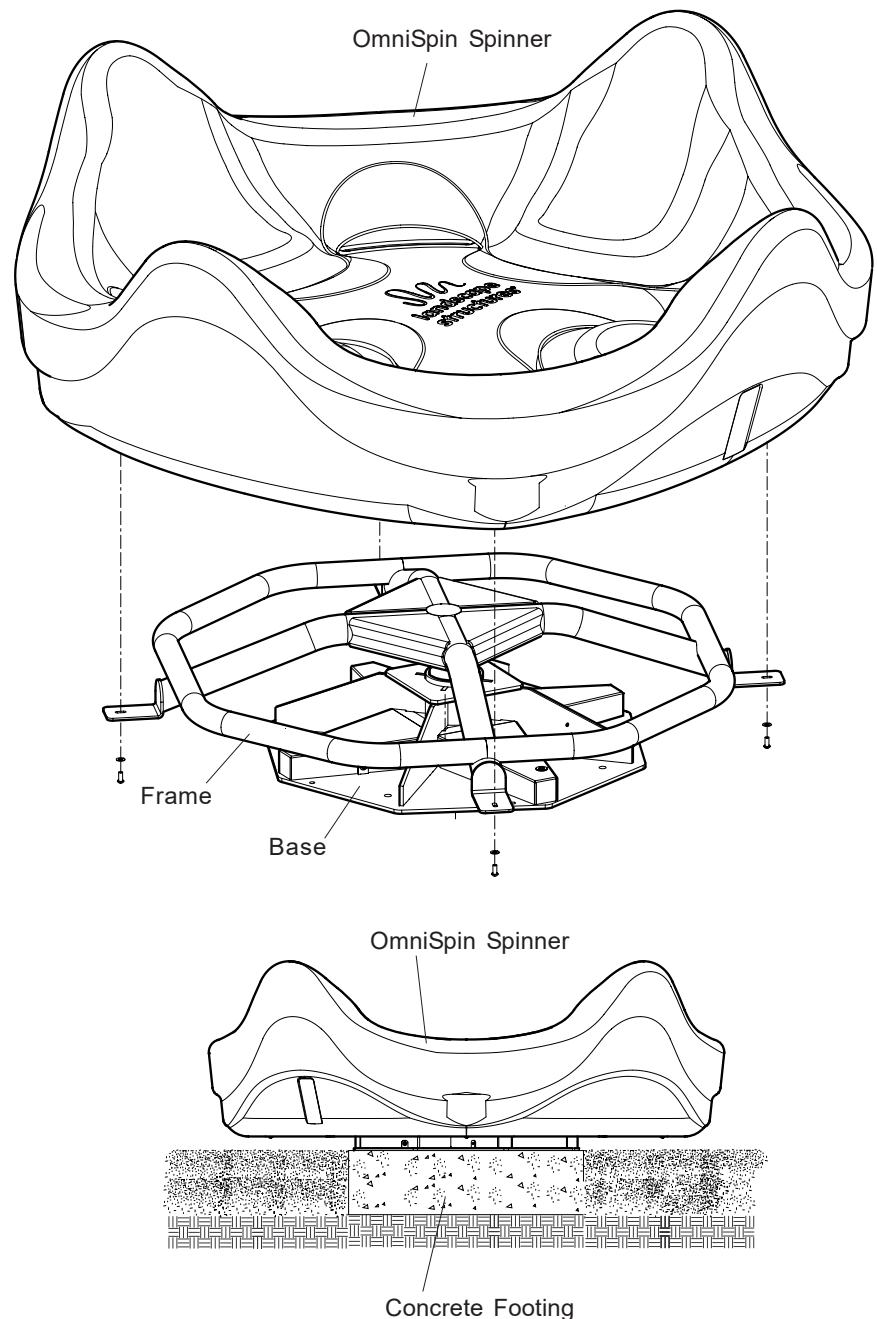
■ Bearings 5

With weight off bearing, check for play. If 50% of bearing is worn, replace bearing. Note wear on report.

■ Concrete Footing 10

Shovel away protective surfacing o inspect. Replace footing if it is severely cracked. Add protective surfacing if footing is not covered with at least 10" of material.

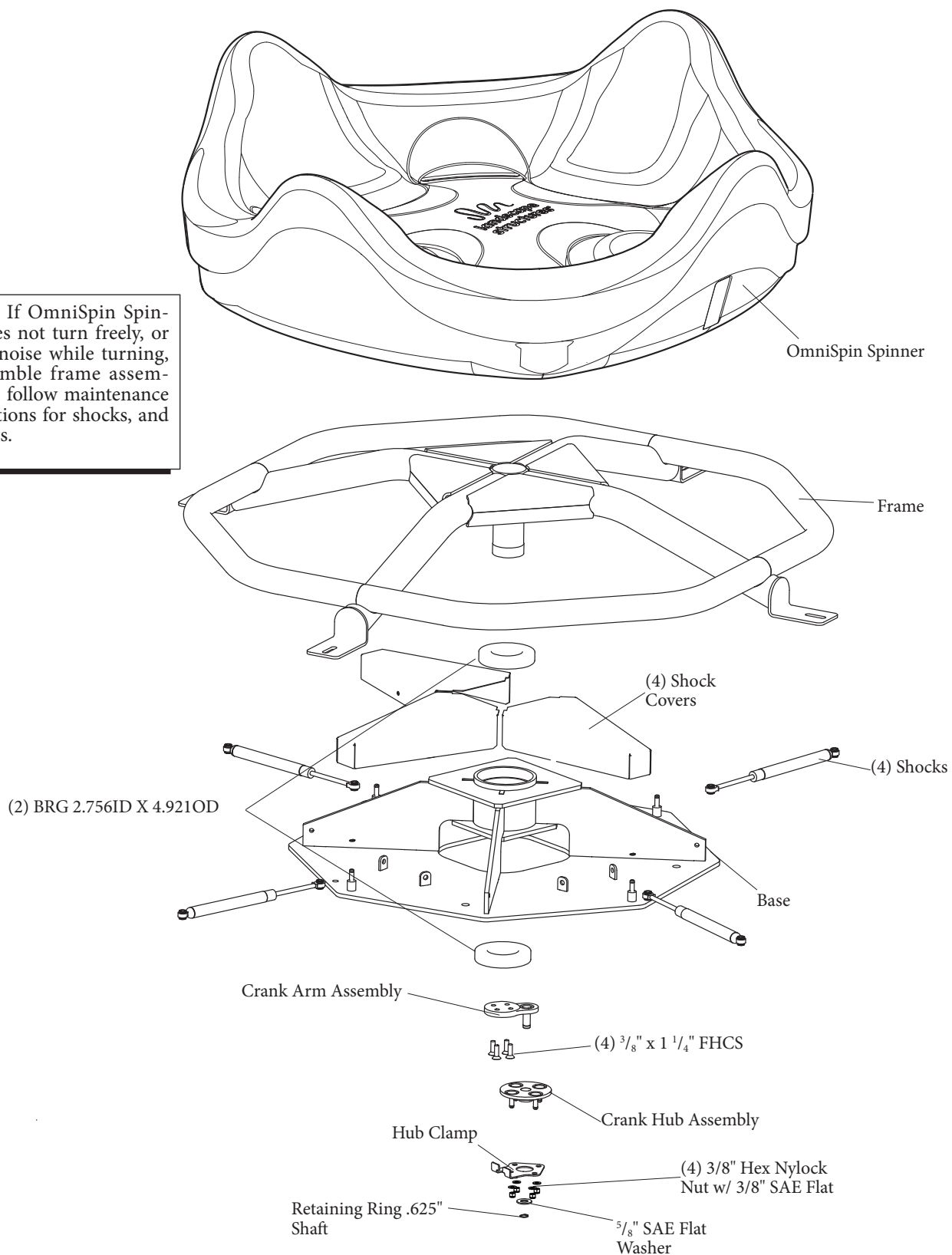
OmniSpin™ Spinner

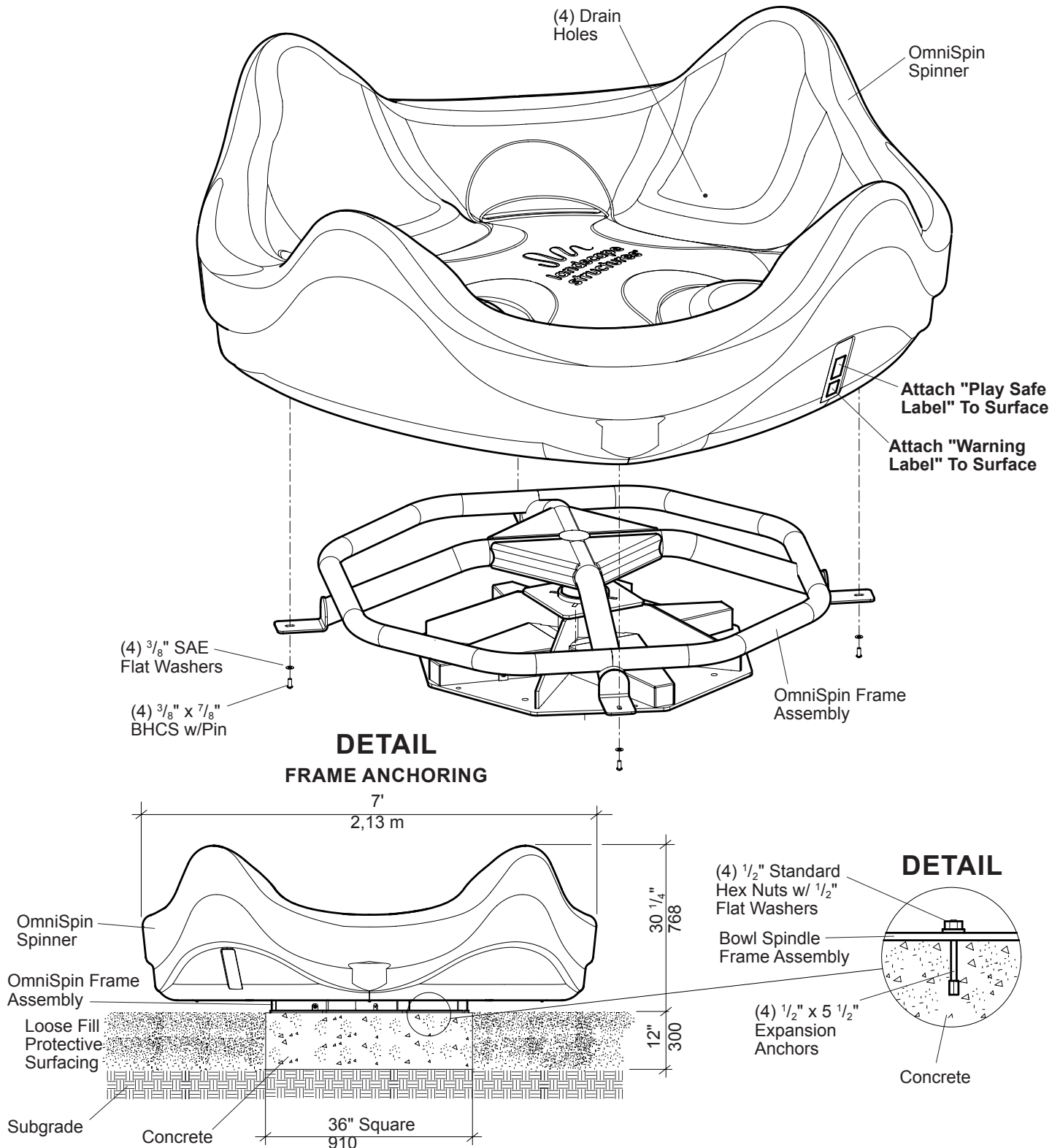


PLAYGROUND MAINTENANCE

OmniSpin™ Spinner

NOTE: If OmniSpin Spinner does not turn freely, or makes noise while turning, disassemble frame assembly and follow maintenance instructions for shocks, and bearings.





Parts List

Part#	Description	Qty.
171060	OmniSpin Spinner, Specify Color.....	1
171061	OmniSpin Spinner Frame Assy., Black.....	1
183892	OmniSpin Spinner Hardware Package	1
100196	$\frac{3}{8}$ " x $\frac{7}{8}$ " BHCS w/Pin, SST.....	4
100365	$\frac{3}{8}$ " SAE Flat Washer, SST.....	4
156846	Play Safe Label, 2-12 Years.....	1
183064	Warning Label	1

175599	4 Hole (SM) Hardware Package	1
100271	$\frac{1}{2}$ " x 5 $\frac{1}{2}$ " Expansion Anchor w/Nut/Washer	4

SM = Surface Mount

Specifications

OmniSpin Spinner: Rotationally molded from U.V. stabilized linear low density polyethylene, color specified.

OmniSpin Spinner

Frame Assembly: **(Frame)** Weldment comprised of 2.375" O.D. RS20 (.095"-.105" wall) galvanized steel tubing, 2.875" O.D. RS40 (.160"-.170" wall) galvanized steel tubing, $\frac{1}{4}$ " HR flat steel and 3 $\frac{1}{2}$ " O.D. CF steel bar. **(Base)** Weldment comprised of $\frac{3}{8}$ " HRPO sheet steel and $\frac{3}{16}$ " HRPO sheet steel. **(Shock Covers)** 16 GA (.060") HRPO sheet steel. **(Crank Arms & Pins)** Fabricated from stainless steel. **(Shocks)** Gas shocks with fixed bearings. Finish: ProShield®, black in color.

Fasteners: Primary fasteners shall be socketed and pinned tamperproof in design, stainless steel (SST) per ASTM F 879 unless otherwise indicated (see specific product installation/specifications).

Installation Time: **(Direct Bury)** Concrete Footing - 2 People approx. 3 hours

Assembly - 3 People 1 hour

Concrete: **(Direct Bury)** 9 cu. ft.

Weight: 499 lbs.

Actual Size: 7' x 7' (2,13 m x 2,13 m)

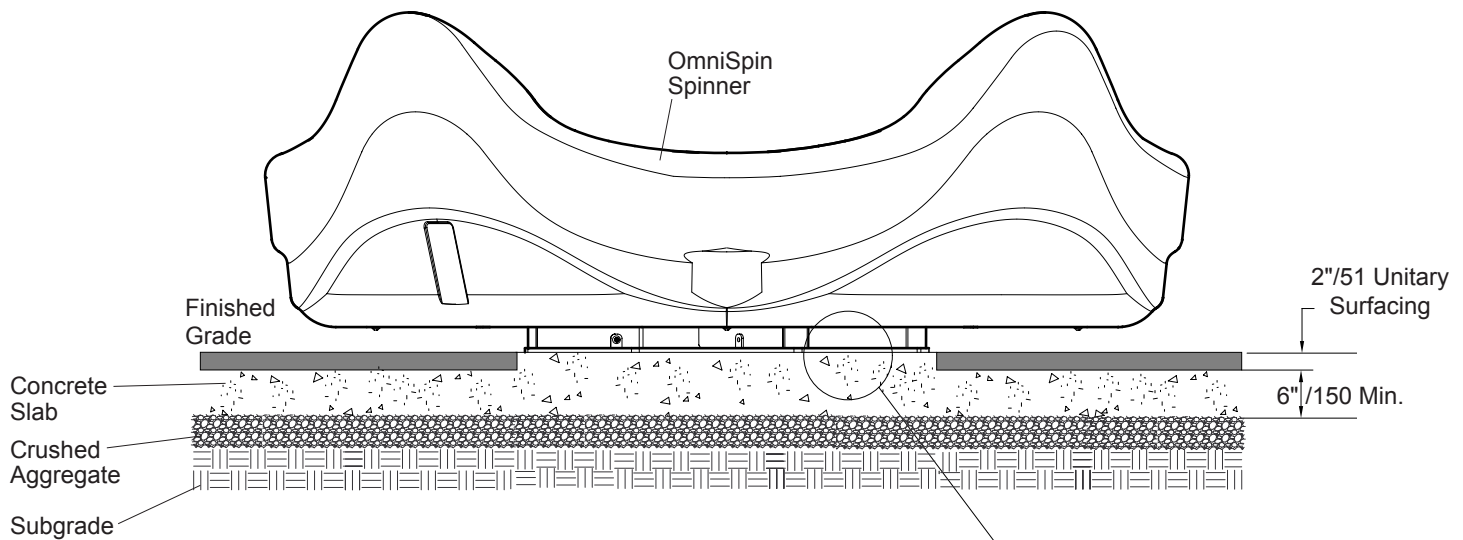
Area Required: 19' (5,79 m) Diameter ASTM

Fall Height: 18" (460 mm)

Installation Instructions

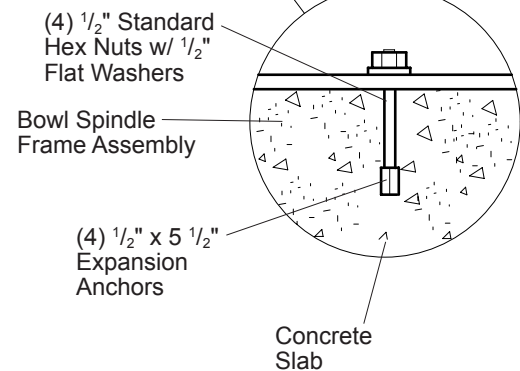
- 1) **(Direct Bury)** Build and pour concrete footing. Refer to Frame Anchoring Details. Allow concrete footing to cure for a minimum of 72 hours before continuing.
- 2) With OmniSpin Spinner frame in position, drill through 4 outside holes in OmniSpin Spinner frame 5 $\frac{1}{2}$ " deep into concrete slab, using $\frac{1}{2}$ " masonry bit and hammer drill. Refer to the Frame Anchoring Detail.
- 3) Tap $\frac{1}{2}$ " x 5 $\frac{1}{2}$ " expansion anchors into drilled holes and secure using $\frac{1}{2}$ " standard hex nuts with $\frac{1}{2}$ " flat washers. Refer to the Frame Anchoring Details.
- 4) Attach OmniSpin Spinner to OmniSpin Spinner frame, using $\frac{3}{8}$ " x $\frac{7}{8}$ " BHCS w/pin and $\frac{3}{8}$ " SAE flat washers.
- 5) Apply labels as shown.
- 6) Install protective surfacing before users are allowed to play on the component.

Unitary Surfacing



NOTE: When using unitary surfacing on crushed aggregate, refer to Frame Anchoring Detail for loose fill protective surfacing.

DETAIL



PLAYGROUND MAINTENANCE

Peg Bridge

■ Fasteners 1

Tighten attachment fasteners. Replace if cracked, deformed, or broken.

■ General Materials/Finishes 1

Refer to the General Cleaning/Repairing Instructions found in the Fitcore Extreme Maintenance Sheet.

■ Clamps (Powdercoated) 1

Replace if unit is deformed, broken, or severely pitted with corrosion. Repair damaged powdercoating per repair sheet.

■ Peg Bridge (Powdercoated) 2

Replace if welds are cracked, or the unit is deformed, or severely pitted with corrosion. Repair damaged powdercoating per repair sheet.

■ Pod Casting (Powdercoated) 2

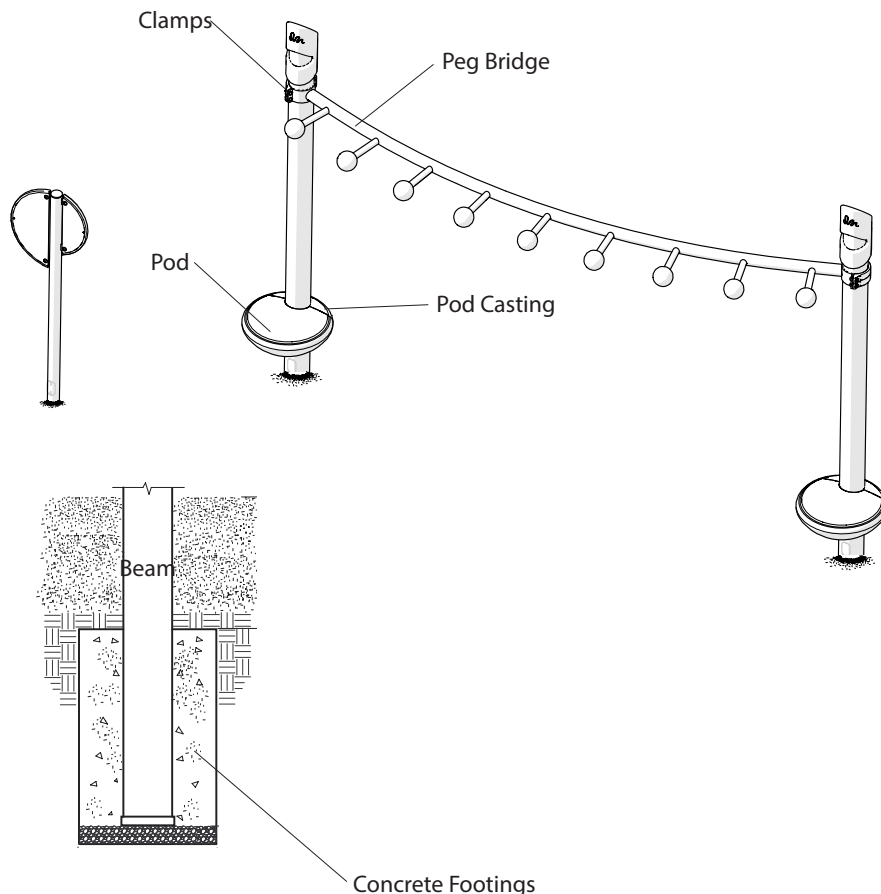
Replace if unit is deformed or severely pitted with rust. Repair damaged powdercoating per instruction sheet.

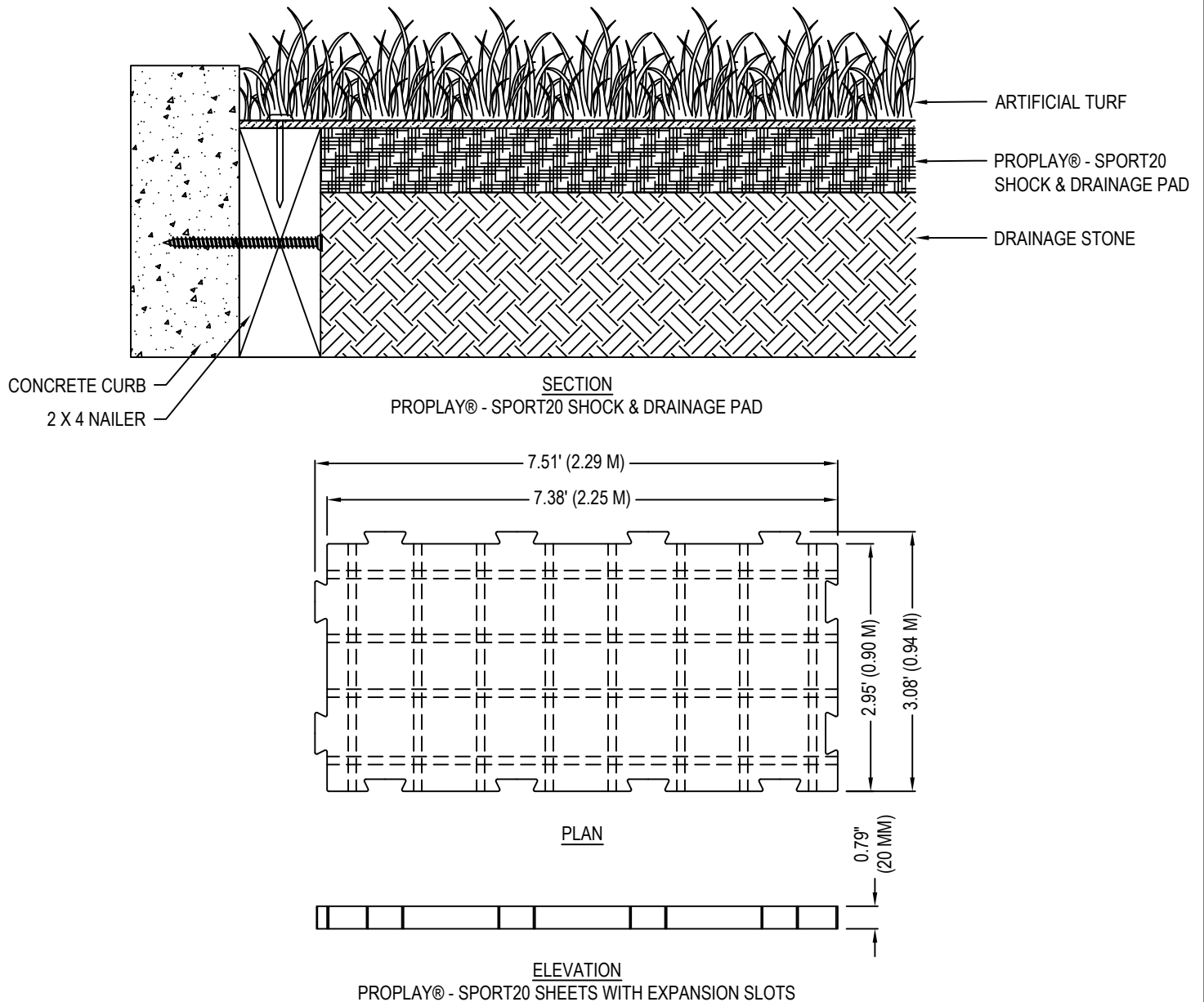
■ Pod 2

Replace if cracked, brittle or seriously discolored.

■ Concrete Footing 10

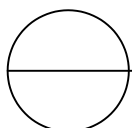
Shovel away protective surfacing and part of subsoil to inspect. Replace footing if it is cracked or not tight around post or subsoil. Add protective surfacing if footing is not covered with appropriate depth of material.





NOTES:

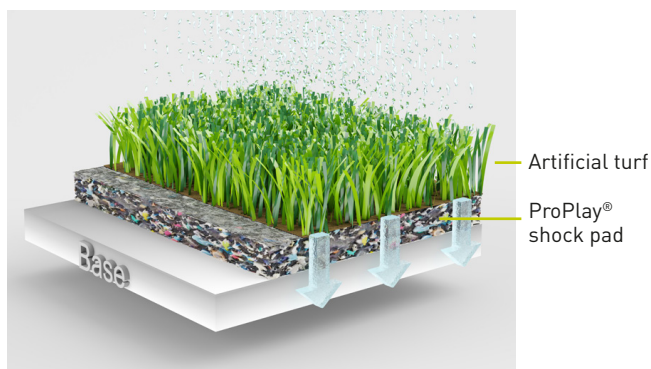
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 5407-001



PROPLAY[®] FOR SPORTS

PROPLAY[®]-SPORT20

GENERAL INFORMATION



Artificial turf system with ProPlay®-Sport shock pad



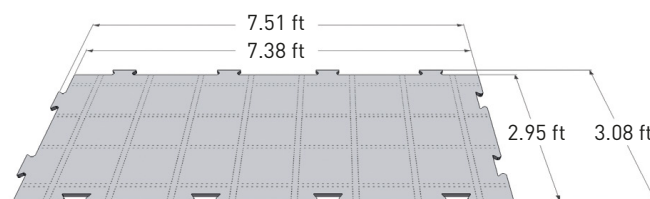
Puzzle shaped ProPlay® sheets with expansion slots

Product description

ProPlay®-Sport is a high performance shock and drainage pad, and the perfect basis of design for high-quality synthetic turf systems being utilized for sports fields, multi-use, and play areas.

ProPlay®-Sport is made of thermal bonded (closed-cell) cross-linked polyethylene foam (XLPE). This foam originates from production remnants and overruns and contains no contaminants.

ProPlay®-Sport20 is designed as a sport technical layer for synthetic turf sports fields. The product performs in all weather conditions and is renowned for its excellent water permeability. If desired it can be delivered with in-plane drainage channels (ProPlay®-Sport20D), offering superior lateral drainage when the artificial grass system is to be installed on an impermeable base.



Dimensions ProPlay®-Sport sheet

ENVIRONMENT, HEALTH AND SAFETY CREDENTIALS

Cross-linked polyolefins are chemically stable by nature. Any compounds contained in the material will not be released during the lifetime of the product. ProPlay® can be safely used for any synthetic turf system. The products do not leach chemicals that pose a risk for the environment and/or human health.

ProPlay®-Sport complies with:

- The state of California's Code of Regulations (CCR):
 - Title 22 'Social Security' - Division 4.5 'Environmental Health Standards for the Management of Hazardous Waste'.
 - Title 27 'Environmental Protection' - Division 4 'Office of Environmental Health Hazard Assessment' - Chapter 1 'Safe Drinking Water and Toxic Enforcement Act of 1986' (Proposition 65).
- The European Community:
 - Regulation No 1272/2008 of the European Parliament and of the Council on Classification, Labelling and Packaging of substances and mixtures (CLP).
 - Regulation (EC) No 1907/2006 of the European Parliament and of the Council on the Registration, Evaluation, Authorisation and Restriction of Chemicals (REACH).
- Toxicology requirements from STC Performance and Durability Guidelines for Shock Pads.

TECHNICAL DATA

Physical characteristics	Tolerance	ProPlay [®] Value	Unit	Standard
Thickness at 0.3 psi load	+/- 0.04	0.79	in	EN-ISO 9863-1
Mass per unit area	+/- 0.06	0.61	lb/ft ²	EN-ISO 9864

* As modified by Schmitz Foam Products

Strength characteristics	ProPlay [®] Value	Unit	Standard
Tensile strength	38	psi	ASTM D 3575 (EN 12230)
Compressive at 25% deflection	12	psi	ASTM D 3575
• Thickness after 72 hour recovery	0.79	in	-
Compressive at 50% deflection	49	psi	ASTM D 3575
• Thickness after 72 hour recovery	0.79	in	-

Field performance characteristics	ProPlay [®] Value	Unit	Standard
Impact attenuation (Gmax) in the field*	80-110	-	ASTM F 1936 / F 355-A

* Results will vary depending on the system and base.

Performance characteristics	ProPlay [®] Value	Unit	Standard
Water flow rate under 2 in (51 mm) hydraulic head	15	gpm/ft ²	ASTM D 4491 (EN ISO 11058)
• (resulting) Water permeability by permittivity	5.9	gpm/ft ²	ASTM D 4491 (EN ISO 11058)
In-plane water flow rate at 0.3 psi (2 kPa) load and 0.005 hydraulic gradient (0.5% slope)	0.05	gpm/ft	ASTM D 4716 (EN ISO 12958)
• (resulting) Hydraulic transmissivity [θ]	10	gpm/ft	ASTM D 4716 (EN ISO 12958)
Thermal conductivity [λ 10]	0.03	BTU/h.ft.°F	ASTM C 177 (EN 12667)
• (resulting) Thermal resistance [R-value]	2.3	h.ft ² .°F/BTU	ASTM C 177 (EN 12667)

INSTALLATION DISCLAIMER

- Installation of ProPlay®-Sport must be done under the code of good workmanship. Schmitz Foam Products LLC does not accept any liability for the design, or construction of any facilities, or actions of any parties employed, as a result of, or in connection with, any information provided in this document.
- It is recommended that the base is designed and approved by an architect or civil engineer, based on the geotechnical and meteorological conditions of the site and any (local) restrictions to the drainage discharge.
- Although ProPlay®-Sport can be installed on any kind of base, as long as the construction itself is strong enough to hold installation and maintenance equipment, it is advised that the base has a minimum undrained shear strength of at least 1044 lbf/ft² (BS 1377, part 7) or a minimum California Bearing Ratio of 5% (BS 1377, part 4) or equivalent.
- The planarity of the base should be within 3/8 in under a 10 ft straight edge.
- When a ProPlay®-Sport "D" variant (for lateral drainage) is applied, the slope of the surface of the base should be at least 0.5%, although 1.0% is better. When the surface of the base can rinse out, it is recommended to use a liner (foil or geotextile).
- One of the inherent properties of ProPlay®-Sport is the expansion/shrinkage under influence of temperature. To limit the impact of expansion/shrinkage during installation and to prevent shrinkage after completion of the installation, the ProPlay®-Sport Installation Manual must be followed in its entirety.
- ProPlay®-Sport is produced in a controlled environment, enabling to measure the sheet sizes in stable conditions. Therefore we can maintain a tolerance in sheet length of - 0.5% / +1.0% at a temperature of 68 °F. Please be aware that measuring the sheet size in different conditions can lead to different outcomes regarding the expansion/shrinkage properties.
- The textile of the ProPlay®-Sport should not be exposed to UV-radiation (i.e. daylight) for more than 1 month.
- It is advised to install the synthetic turf within 1 week after installation of the ProPlay®-Sport.
- The synthetic turf shall not be glued (or in any other way be attached) to the ProPlay®-Sport, since the ProPlay®-Sport needs to be able to expand/contract without any hampering.
- It is strongly recommended to stabilize the synthetic turf with at least 3.1 lbs/ft² of sand, or (preferably) to use a turf with a fiberglass reinforced backing.
- In any case, it is advised to fix the turf to the perimeter of the field (according to the guidelines of the turf supplier).
- During installation of the ProPlay®-Sport or after installation (when installing and filling the synthetic turf) it is allowed to drive over the ProPlay®-Sport with installation equipment/machines. The load (per tire) of the installation equipment shall be less than 40 psi for short time frames [e.g. driving over the surface]. Vehicles that are temporarily parked on the surface should have a load of less than 20 psi per tire.

GENERAL DISCLAIMER

- This ProPlay® product data sheet provides general product properties and is not related to specific sportfield and playground installation regulations. Relevant ProPlay® shock pad installation instructions can be found in the ProPlay® installation recommendation guide. Please note there are separate installation manual for ProPlay®-Sport and ProPlay® for Playgrounds products.
- The given information is based on (independent) measurements and (where possible) based on average values measured over a long and representative period. Additional information can be made available upon request.
- Great attention to the accuracy of this document was taken during its compilation. This publication supersedes and replaces all previous data sheets. Schmitz Foam Products LLC cannot, however, guarantee the total accuracy of the information included. If you have any doubts or further questions please do not hesitate to contact us by phone 517-781-6620.

Schmitz Foam Products LLC is the global supplier of ProPlay®, the perfect shock and drainage pad for high-quality artificial grass systems in sports and playgrounds.



Schmitz Foam Products LLC
188, Treat Ave
Coldwater MI 49036
T: 517-781-6620 • sales@schmitzfoam.com



www.schmitzfoam.com/en-us

LABORATORY TESTING PERFORMANCE EVALUATION



Project Information

SPORTS FIELD UNDER PADDING

Project Name	1.75_Envirofill_PP20_Aggregate Performance Evaluation		
Client Information	Schmitz Foam Products, LLC 188 Treat Avenue Coldwater, MI 49036		
Date	5/15/2020	Sample Received Date	4/29/2020
Report Status	Final	Job No.	95686/6057
Prepared by	Megan Illsley Laboratory Director		
Checked by	Jeffrey Gentile Director of Operations		

Notes:

1. This report has been prepared by Firefly Sports Testing with all reasonable skill, care and diligence within the terms of the contract with the Client and within the limitations of the resources devoted to it.
2. This report is confidential to the Client and Firefly Sports Testing accepts no responsibility whatsoever to third parties to whom this report, or any part thereof, is made known. Any such party relies upon the report at their own risk.
3. This report shall not be used for engineering or contractual purposes unless signed by the Author and the Checker and unless the report status is "Final."

Summary

Firefly Sports Testing was commissioned to perform laboratory testing for the following characteristics listed below.

Test Type	Test Method	Test Description
HIC	ASTM F3146-18	Standard Test Method for Impact Attenuation of Turf Playing Systems Designed for Rugby
Gmax	ASTM F355A-16	Standard Test Method for Impact Attenuation of Playing Surface Systems, and Materials Used for Athletics, Recreation and Play
AAA	ASTM F3189-17	Standard Test Method for Measuring Force Reduction, Vertical Deformation, and Energy Restitution of Synthetic Turf Systems Using the Advanced Artificial Athlete

Complete results and background information can be found in the subsequent sections of this report.



Unit D5•78 Londonderry Tpk•Hooksett•NH•03106
(603) 715-5453 • info@fireflysportstesting.com

Page 1 of 2



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General Information	2
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End of Report.....	2

General Information

System Name	1.75_Envirofill_PP20_Aggregate		
Carpet	1.75" Mono/Tape	Performance Infill	7 lbs/ft ² Envirofill
Shockpad	ProPlay 20	Stabilizing Infill	N/A
Air Temperature (°F)	73	Sub-Base	7" Aggregate
Surface Temperature (°F)	71	Humidity (%)	45

Results Tables

SET	DROP HEIGHT (m)	Drop 1 HIC	Drop 2 HIC	Drop 3 HIC	MAX HIC	CRITICAL FALL HEIGHT (m)
1	1.28	551	615	660	660	1.60
2	1.45	724	887	924	924	
3	1.60	846	1005	1029	1029	
4	1.75	970	969	1094	1094	

Force Reduction (%)	Vertical Deformation (mm)	Energy Restitution (%)	Gmax (g's)
66	8.8	34	90

End of Report



April 5, 2020

Schmitz Foam Products
188 Treat Ave.
Coldwater, MI 49036
517-781-6620

re: Statement of Sustainability

To Whom it Concerns:

Environmental awareness is a major focus for Schmitz Foam Products.

Since 1990 all Schmitz ProPlay® products have been manufactured from 100% recycled closed cell cross linked polyethylene foam remnants. These remnants are collected from foam manufacturers and fabricators in many different industries, serving to keep them out of the traditional waste stream of landfills and incinerators.

All Schmitz ProPlay® products can be collected at the end of their useful lifespan and 100% recycled into new ProPlay® shock pad. We do not practice “downcycling”.

An overview of our processes can be found at www.xperecycling.com.

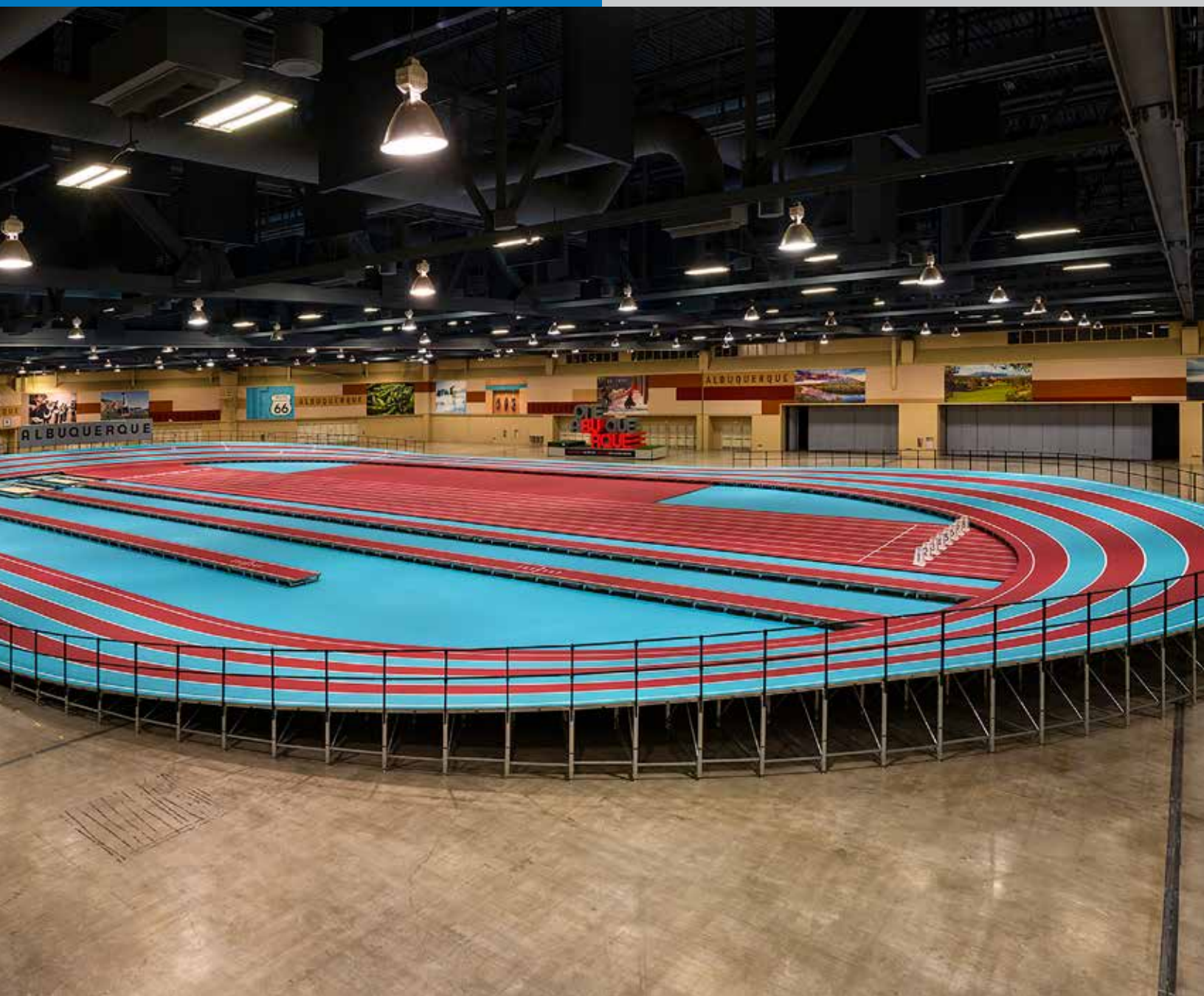
Sincerely,

Allen Hubbard

Allen Hubbard
National Sales Manager
Schmitz Foam Products
413-575-7993
a.hubbard@schmitzfoam.com

MONDOTRACK WS

RECORD BREAKING OLYMPIC SURFACE



MONDOTRACK WS

Mondotrack WS is a specially designed track surfacing for the optimal athletic performance for competitive events, including the prestigious Olympic Games.

MONDOTRACK WS



SPECIFICATIONS

Texture:	Mondotrack WS Embossing
Thickness:	17/32" (13.5 mm)
Roll Width:	3' 0" - 6' 0" (0.92 m - 1.83 m)
Roll Length:	49' 2" (15 m)*

COLORS**

	Red P30
	Mahogany P125
	Terracotta P121
	Gold P122
	Cognac P58
	Dark Green P14
	Green P10
	Lime P123
	Light Blue P85
	Medium Blue P18
	Purple P115
	Plum P124
	Medium Grey P31
	Dark Grey P06
	Anthracite P105

Printed in Canada - Revised 06/2021

KEY BENEFITS

- Olympic surface has 2-Phase Vulcanization™ process for dynamic elasticity, consistent response and excellent control over stride length
- Hexagonal layer has perfect combination of cushion, energy storage and return for better speed
- 3D Omni-Directional Tessellation for superb gripping in wet conditions.
- Improved comfort, safety and performance of the bottom layer with Diamond Air-Cell Patented Technology

EXPERIENCE

The track surface designed for the Olympic Games is constructed with the optimum blend of energy return and shock absorption making it the perfect platform for competition.

HEALTH & SAFETY

- GREENGUARD GOLD certified for better indoor air quality
- 100% recyclable
- IAAF certified
- Meets ADA requirements
- Granular-free for healthy waterways
- Heavy metal free and will not leach into the environment
- Excellent bacterial, microbial and fungal resistance properties



*Average length from production.

**Custom colors available; minimum quantity required.



Remarkable natural grass appearance.

A waterless, low-maintenance alternative to live grass.

Great for areas where natural grass is difficult to grow or maintain.

Exceptional resiliency and improved performance.

Designed for long-lasting installations in any climate.



8007 Beeson St.
Louisville, Ohio 44641
866.992.7876
foreverlawn.com

Natural Appearance for a Pristine Landscape

ForeverLawn® Select Synthetic Grass has taken realism to a new level. This innovative line of fine-bladed, lush synthetic grass features a tan thatch, multicolored blades, and Memory Fiber™ yarn that offers a remarkably realistic appearance and performance. Ideal for residential and commercial landscaping, Select Synthetic Grass offers resilient blades and dense construction. Built on the ForeverLawn proprietary platform, this beautiful grass product line is great for replicating a natural grass look and feel in any environment.



Select HD

Fresh cut
Bright



Unique Memory Fiber™ yarn.

Tan thatch zone.

Dual color green blades.

Proprietary seaming system.

Premium multilayered backing.

Comprised of recycled material from Project Yellowstone.**

Features BioCel™ turf backing with renewable and recycled materials.

**Project Yellowstone is an innovative recycling program with Yellowstone National Park and Universal Textile Technologies in which plastic bottles from the park are recycled and made into backings for premium carpet and artificial turf. Visit universal-textiles.com to learn more.



ForeverLawn
landscape

8007 Beeson St.
Louisville, Ohio 44641
866.992.7876
foreverlawn.com

Select Synthetic Grass has taken realism to a new level.

These innovative, fine-bladed synthetic grass products provide realistic, waterless alternatives to natural grass that reduce maintenance while offering a soft, lush, usable artificial grass surface.

COMPONENTS	Select HD
YARN TYPE	<ul style="list-style-type: none"> • Primary: Polyethylene monofilament Memory Fiber™ • Secondary: Heat set textured nylon monofilament
YARN COLOR	<ul style="list-style-type: none"> • Primary: Field/clover green • Secondary: Turf green/dark tan
YARN COUNT	<ul style="list-style-type: none"> • Primary: 10,800/6 • Secondary: 5,040/12
TUFTING CONSTRUCTION	<ul style="list-style-type: none"> • Dual yarn, same row
TUFTING GAUGE	<ul style="list-style-type: none"> • 3/8"
BLADE HEIGHT	<ul style="list-style-type: none"> • 1-3/4"²
FACE WEIGHT	<ul style="list-style-type: none"> • 50 oz.²
TOTAL PRODUCT WEIGHT	<ul style="list-style-type: none"> • 105 oz.²
BACKING	<ul style="list-style-type: none"> • Three-layer premium backing made with BioCel™ polyurethane and 100% recycled geotextile nonwoven fabric on a dual layer primary.
SEAMING	<ul style="list-style-type: none"> • Micromechanical bonding
INFILL ¹	<ul style="list-style-type: none"> • 0.5 pounds of rubber or 3.5 lbs. +/- of round-sand

¹ Recommended infill for normal installation. More or less can be used, and heavy traffic areas will perform better with higher infill levels.

² Product heights shown may have a variance of 1/8" and product weights shown may have a variance of 5%.

A PREMIUM GOLF EXPERIENCE

ForeverLawn offers superior GolfGreens products with expert design and installation services to create an exceptional golf experience in any environment.

PUTTING GREENS

Feel the premium surface beneath your feet. Appreciate the incredible realism. Experience the exhilaration of golf every day with a professionally installed putting green by ForeverLawn.

TEE LINES

Once your members practice on a high-performance tee line by ForeverLawn, nothing else will do. Exquisite design with natural performance. That's GolfGreens by ForeverLawn.

PORTABLE GOLF PRODUCTS

Why practice on inferior turf when you can have the best? Our portable golf products are crafted from the same professional quality synthetic turf as our installed greens and tee lines. No more cheap products that don't last. It's time for GolfGreens.



EXPERIENCE
GOLFGREENS

Homes.

Professional-quality greens, chipping, and hitting areas for practice and entertainment.

Resorts and businesses.

Provide upscale entertainment with premium golf amenities and synthetic courses.

Golf courses.

Durable, attractive synthetic tee lines and tee boxes that play like the real thing.

When performance and quality matter,
choose GolfGreens by ForeverLawn.



ForeverLawn

8007 Beeson St.
Louisville, Ohio 44641

866.992.7876 • golfgreens.com

COMPONENTS	True Putt 10/11	EZ Putt	Pro Putt & Chip	Pro Drive	Pure Shot	Fringe
YARN TYPE	Heat set textured diamond nylon monofilament	Heat set textured diamond nylon monofilament	Heat set textured diamond nylon monofilament	Heat set textured diamond nylon monofilament	Primary: Nylon monofilament Secondary: Textured nylon monofilament	Primary: Polyethylene monofilament Secondary: Heat set textured nylon monofilament
YARN COLOR	Turf Green	Turf Green	Turf Green	Turf Green	Primary: Verde/Lime/Tan Secondary: Field/Olive Green	Summer Green/ Turf Green
YARN COUNT	4200/8	4200/8	5200/8	7000/8	Primary: 8800/8 Secondary: 4950/9	Primary: 5000/4 Secondary: 4200/8
TUFTING CONSTRUCTION	Single yarn	Single yarn	Single yarn	Single yarn	Dual yarn, same row	Knitted
BLADE HEIGHT	3/8"*	1/2"*	7/8"*	1"*	1-3/8"*	7/8"*
TUFTING GAUGE	3/16"	3/16"	3/16"	3/16"	3/8"*	N/A
FACE WEIGHT	42 oz.*	34 oz.*	53 oz.*	120 oz.*	45 oz.*	65 oz.*
TOTAL PRODUCT WEIGHT	79 oz.*	91 oz.*	76 oz.*	147 oz.*	100 oz.*	120 oz.*
BACKING	Primary: 15 PP/18 PET pic woven (2) Secondary: Embossed rubber	Primary: 13/18 PET pic woven (2) Secondary: 3 mm foam	Primary: 13 pic woven (2) Secondary: BioCel™ polyurethane	Primary: 13 pic woven (2) Secondary: BioCel™ polyurethane	Three-layer premium backing including BioCel™ polyurethane and geotex non-woven fabric	BioCel™ polyurethane with nonwoven geotex laminate and latex precoat
SEAMING	Turf adhesive	Turf adhesive	Turf adhesive	Turf adhesive	Micromechanical bonding	Micromechanical bonding
INFILL	1-2 pounds of sand per square foot.	2-3 pounds of sand per square foot.	2-4 pounds of sand per square foot.	Sand suggested.	Approximately 3 pounds of rounded sand or Envirofill per square foot.	Optional. Add sand as needed.

*Product heights shown may have a variance of 1/8" and product weights shown may have a variance of 2%.



"The quality and realism of GolfGreens by ForeverLawn is as good as it gets. Their synthetic greens and hitting turf feel and play like real grass. There are a lot of flimsy products out there, but ForeverLawn got it right. This is the only brand I'll recommend to my friends. They are that good!"

Jimmy Hanlin, PGA Professional

SPORTSGRASS LINEUP



Choose the product that's an ideal fit for your particular field, sport, and needs.

PRODUCT BASED SYSTEMS

- More grass fibers.
- Heavy duty backing.
- Less infill.
- Nylon thatch.
- New technology.
- Designed for both indoor and outdoor use.

SportsGrass Edge

Edge XPS: 1 1/2" pile height, 45 oz., PE slit film, nylon thatch



Edge XP: 1 3/4" pile height, 48 oz., PE slit film, nylon thatch



Edge XPL: 2" pile height, 48 oz., PE slit film, nylon thatch



SportsGrass Max

1 7/8" pile height, 50 oz., PE slit film and monofilament blend, nylon thatch



SportsGrass Revolution

2" pile height, 55 oz., PE monofilament, nylon thatch



INFILL BASED SYSTEMS

- More infill.
- Fewer grass fibers.
- Thinner backing.
- Designed for outdoor use.

SportsGrass Rush

Rush XP: 2" pile height, 42 oz., PE slit film



Rush Pro: 1 7/8" pile height, 45 oz., PE slit film, nylon thatch



INDOOR SYSTEMS

- Very dense.
- Premium backing.
- Little to no infill.
- Designed for arenas and indoor facilities.
- May require use of a pad (ShockPro™ or other).

SportsGrass Arena

1" pile height, 58 oz., PE slit film, nylon thatch, antimicrobial



SportsGrass Trainer

7/8" pile height, 65 oz., PE monofilament, nylon thatch, antimicrobial



SportsGrass Drive

3/8" pile height, 47 oz., texturized nylon monofilament



SportsGrass Curve

1 3/8" pile height, 45 oz., nylon monofilament, nylon thatch



SportsGrass Agility

3/4" pile height, 48 oz., texturized PE monofilament (available w/ 5mm foam bac **289**®)

Product heights shown may have a variance of +/- 1/8" and product weights shown may have a variance of +/- 5%.



Playing at a higher level.

Technology

The leading edge technology in SportsGrass® is a great fit for your facility. The unique construction of our products creates a playing surface that is second to none. SportsGrass has a natural underfoot feel with great durability, proven safety, and terrific appearance. We offer a wide range of products designed to meet the needs of any facility.

Local Partnership

While we have expertise from across the country, the heart and soul of your SportsGrass team is right here in your community. With over 80 locations across the United States, this community connection creates pride of ownership in your project that is simply not available from other vendors. We take pride in what we do and provide a level of partnership and support that will exceed any and all expectations.

Premium Installations

Our experience and expertise has been developed over many years and millions of square feet of synthetic turf installations. We use an installation process that is focused on precision and excellence. The result is a field that is safe for your athletes with an unparalleled finish and a superior playing surface.

**Transform your facility,
outdoors or indoors, with a
SportsGrass solution tailored
to your needs.**

- Competition fields
- Practice facilities
- Indoor arenas
- Strength and conditioning
- General use