



City of Pensacola

Planning Board

Agenda - Final

Tuesday, April 11, 2023, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

QUORUM / CALL TO ORDER

APPROVAL OF MEETING MINUTES

1. [23-00281](#) PLANNING BOARD MEETING MINUTES FROM MARCH 25, 2023

Attachments: [Planning Board Minutes March 14, 2023](#)

REQUESTS

2. [23-00270](#) 17 S. 9TH AVENUE - GATEWAY REDEVELOPMENT DISTRICT -
AESTHETIC REVIEW APPLICATION
ZONE GRD-1

Attachments: [Images](#)
[Application Packet 3.14.2023](#)
[Review Comments Aesthetic Review 17 S. 9th Avenue](#)

OPEN FORUM

DISCUSSION

3. [23-00308](#) PROPOSED AMENDMENT TO THE LAND DEVELOPMENT CODE -
FOOD TRUCK COURTS

ADJOURNMENT

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00281

Planning Board

4/11/2023

TO: Planning Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 4/4/2023

CITY COUNCIL DISTRICT: ALL

SUBJECT:

Planning Board Meeting Minutes from March 25, 2023



MINUTES OF THE PLANNING BOARD

March 14, 2023

MEMBERS PRESENT: Chairperson Paul Ritz, Board Member Grundhoefer, Board Member Villegas, Board Member Sampson, Board Member Van Hoose

MEMBERS ABSENT: Vice Chairperson Larson, Board Member Powell

STAFF PRESENT: Planning & Zoning Manager Cannon, Assistant Planning & Zoning Manager Harding, Deputy City Administrator Forte, Help Desk Technician Russo, Development Services Director Morris, Executive Assistant Chwastyk

STAFF VIRTUAL: Development Services Coordinator Statler, Assistant City Attorney Lindsay

OTHERS PRESENT: Brett Orrell, Clint Geci, Joe Yohn, Dean Dalrymple

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from February 14, 2023
- **New Business:**
 - Request for Final Plat Approval – Girard Place Phase II – 302 W. Romana Street / Zone C-2 – Council District 7
 - Request for Final Plat Approval – Main Street Crossings – 555 S. 'G' Street / Zone C-3 – Council District 7
 - Open Forum
 - Discussion
 - Adjournment

Call to Order / Quorum Present

Chairperson Paul Ritz called the meeting to order at 2:00 pm with a quorum present and explained the procedures of the Board meeting including requirements for audience participation.

Approval of Meeting Minutes – Board Member Villegas made a motion to approve the February 14, 2023, minutes, seconded by Board Member Sampson, and it carried 5:0.

New Business –

Request for Final Plat Approval – Girard Place Phase II – 302 W. Romana Street / Zone C-2 – District 7

Assistant Planning & Zoning Manager, Harding introduced the request to approve final plat for Girard Place Phase II, which is located along South Reus Street near Garden Street in the C-2 zoning district of which three (3) parcels will be subdivided into twelve (12) lots to accommodate single-family attached residences that falls within the Dense Business Area (DBA) and the Governmental Center District (GCD). A standard of DBA is having a front yard maximum of 10 foot and the GCD is an overlay subject to Architectural Review Board (ARB) review. The preliminary plat was approved at the January 10, 2023 planning board meeting. This application has been routed through the various City departments and utility providers and all comments have been addressed. Additionally, the applicable City Council members have been notified and this item has been properly noticed. Brett Orell of Poly Surveying spoke on behalf of applicant, he stated they have addressed additional comments from the utilities companies and there are no changes to the plat itself. The architects and engineers are currently working on finalizing site drainage and there's no timeline currently. This item will go before City Council on April 13, 2023. Board Member Grundhoefer inquired if it had gone before the ARB, and the answer was, yes in March 2017. Assistant Planning & Zoning Manager, Harding stated, if there are any design or siting changes it could be addressed through an ARB abbreviated review. Brett Orell clarified the intended design of the buildings will be comparable to what's there now, there are no changes to be made. **Board Member Villegas made a motion to approve, seconded by Board Member Grundhoefer and it carried 5:0.**

Request for Final Plat Approval – Main Street Crossings – 555 S. 'G' Street / Zone C-3 – District 7

Assistant Planning & Zoning Manager, Harding introduced the request to approve the final plat for Main Street Crossings in which one (1) parcel will be subdivided into thirty-two (32) lots to accommodate townhomes. This property is in the C-3 Commercial zoning district and within the CRA Urban Design Overlay. The preliminary plat was approved at the December 13, 2022, planning board meeting. This application was routed through the various City departments and utility providers and all comments have been addressed. Additionally, the applicable City Council Member has been notified and this item has been properly noticed. Clint Geci of Geci and Associates stated nothing has changed and they are ready to move forward. Chairperson Ritz stated he's not sure if building has been torn down but this will be a much better project for this site. Board Member Grundhoefer inquired about the stormwater, Clint Geci informed the board the center parcel will be used for additional parking and the site would be raised for underground stormwater with underground chambers to accommodate stormwater. All access will be through H and I streets, all units will be accessed through the back, which is preferred and a requirement of the CRA Urban Design Overlay. Assistant Planning & Zoning Manager, Harding stated they have not seen vertical construction plans, but when they are submitted, they will be reviewed by city staff. A discussion then started explaining what the underground chambers are and how they work. Chairperson Ritz stated that if anyone saw Publix on Cervantes being built, they used the same product to address the stormwater there. **Board Member Villegas made a motion to approve, seconded by Board Member Van Hoose and it carried 5:0.**

Open Forum – none

Discussion – A discussion was had as to what types of items come before the Planning Board, future items going before council and items that have already been passed by Council.

Adjournment – With no further business, the Board adjourned at 2:38 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Gregg Harding".

Gregg Harding, RPA
Assistant Planning & Zoning Manager
Secretary of the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00270

Planning Board

4/11/2023

TO: Planning Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 3/14/2023

CITY COUNCIL DISTRICT: 6

SUBJECT:

17 S. 9th Avenue - Gateway Redevelopment District - Aesthetic Review Application
Zone GRD-1

BACKGROUND:

Dalrymple Sallis Architecture is requesting approval for the development of a new two-story single-family residence in the Aragon subdivision. The proposed design is consistent with the surrounding neighborhood and for a Type I Townhouse build along 9th Avenue. The plans show a primary structure with a pool and rear parking area, and the only setback requirements are along the rear property line. A front balcony is permitted to overhand the sidewalk up to 8 feet, and the applicants are required to receive final Aragon ARB approval prior to permitting. As far as the aesthetics, the building façade will include brick veneer with a recessed entryway, and all windows will be fixed solid vinyl without muntins. The balcony will have a painted steel frame with powder coated aluminum railing and the second story entrance will be covered with a aluminum awning.

This application has been routed through the various City departments and utility providers and all comments have been provided. Additionally, the applicable City Council Member has been notified and this item has been property noticed.

RECOMMENDED CODE SECTIONS

Sec. 12-3-12(2)d.2. Gateway review district, Decisions

https://library.municode.com/fl/pensacola/codes/code_of_ordinances?nodeId=PTIICOOR_TITXIILADECO_CH12-3ZODI_ARTIINGE_S12-3-12RELAUSD1

Final Plat Main Street Crossing_555 S. 'G' Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

***Planning Board Application
Request for Aesthetic Review***

Application Date: **03/10/2023**

Project Address: 17 S 9th Avenue

Applicant: Dalrymple Sallis Architecture

Applicant's Address: 503 E Government St

Email: dean@dalsal.com **Phone:** 850-470-6399

Property Owner: Olena Nall

**Redevelopment
District:**



Waterfront



Gateway



**South Palafox
Business**



**North 9th
Avenue**

** An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.*

Project specifics/description:

**A new two-story CMU single family residence. The structure provides a front
and rear balcony, pervious driveway, and CMU privacy fence.**

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

Applicant Signature

03/10/2023

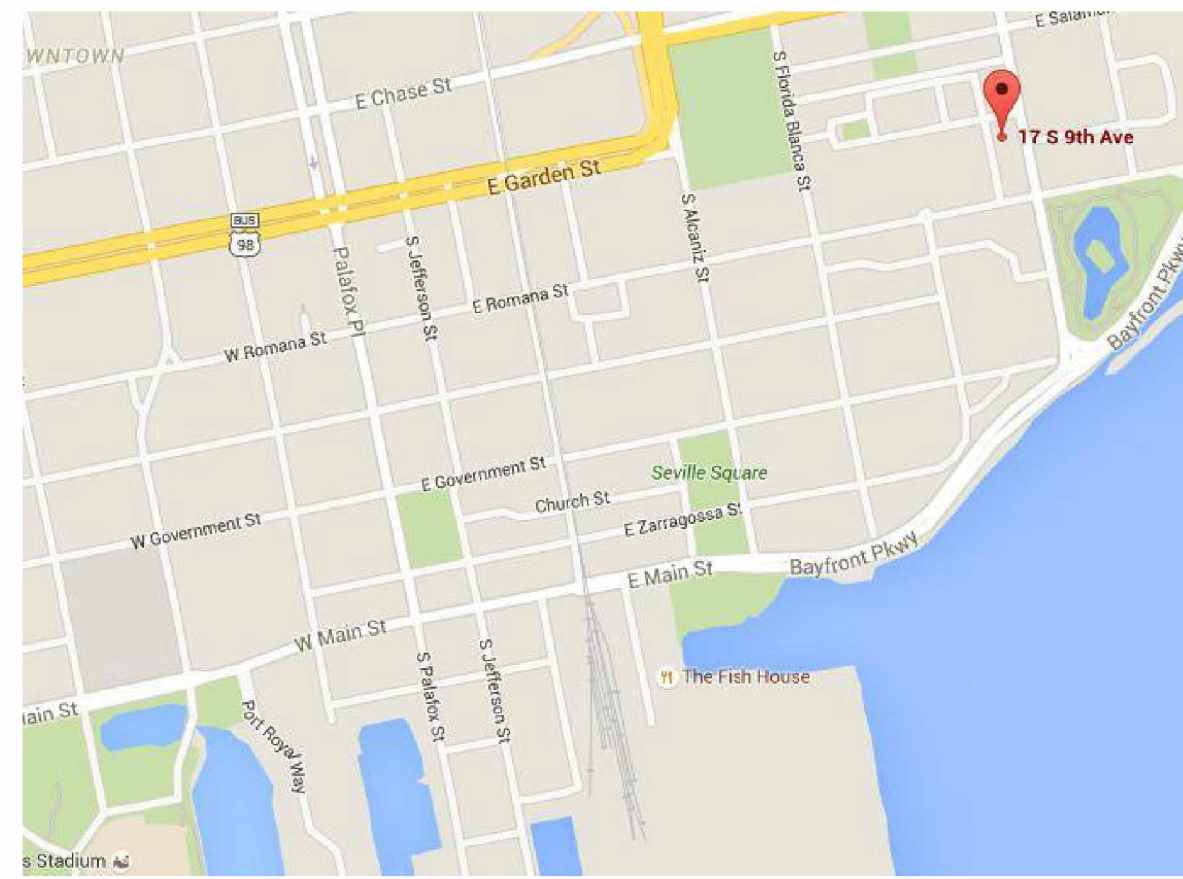
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

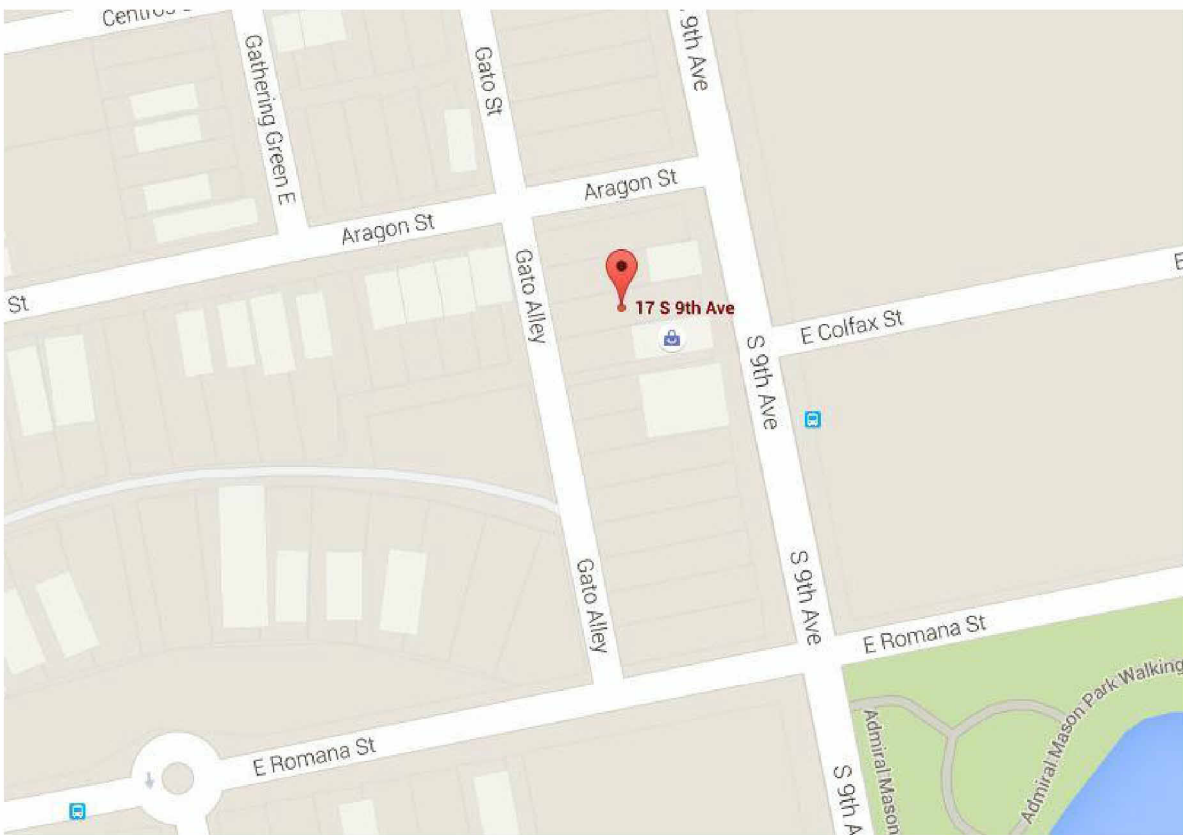
Nall Residence

SINGLE-FAMILY RESIDENCE IN ARAGON

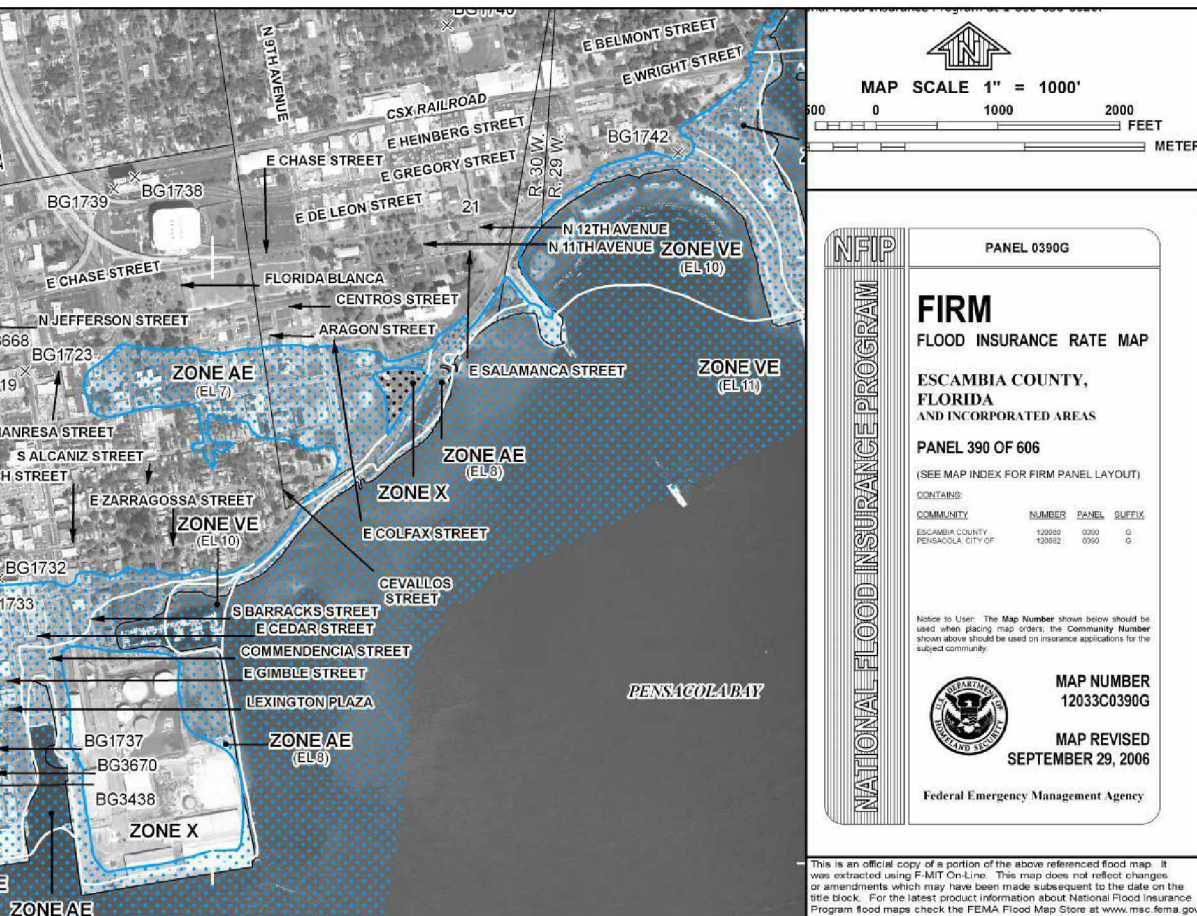
17 S 9th Avenue, Pensacola, FL



VICINITY MAP



SITE MAP



FEMA FLOOD MAP

BUILDING DATA

APPLICABLE CODES:
2020 FLORIDA BUILDING CODE, RESIDENTIAL

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: GRD-1

FLOOD ZONE: AE (ELEV. 7)

PHYSICAL PROPERTIES:
FIRST FLOOR CONDITIONED: 1,250 SF
SECOND FLOOR CONDITIONED: 1,250 SF
TOTAL CONDITIONED: 2,500 SF

BUILDING HEIGHT: 32'-0"
NO. OF STORIES: 2



1 VIEW FROM S. 9TH AVE.- FRONT

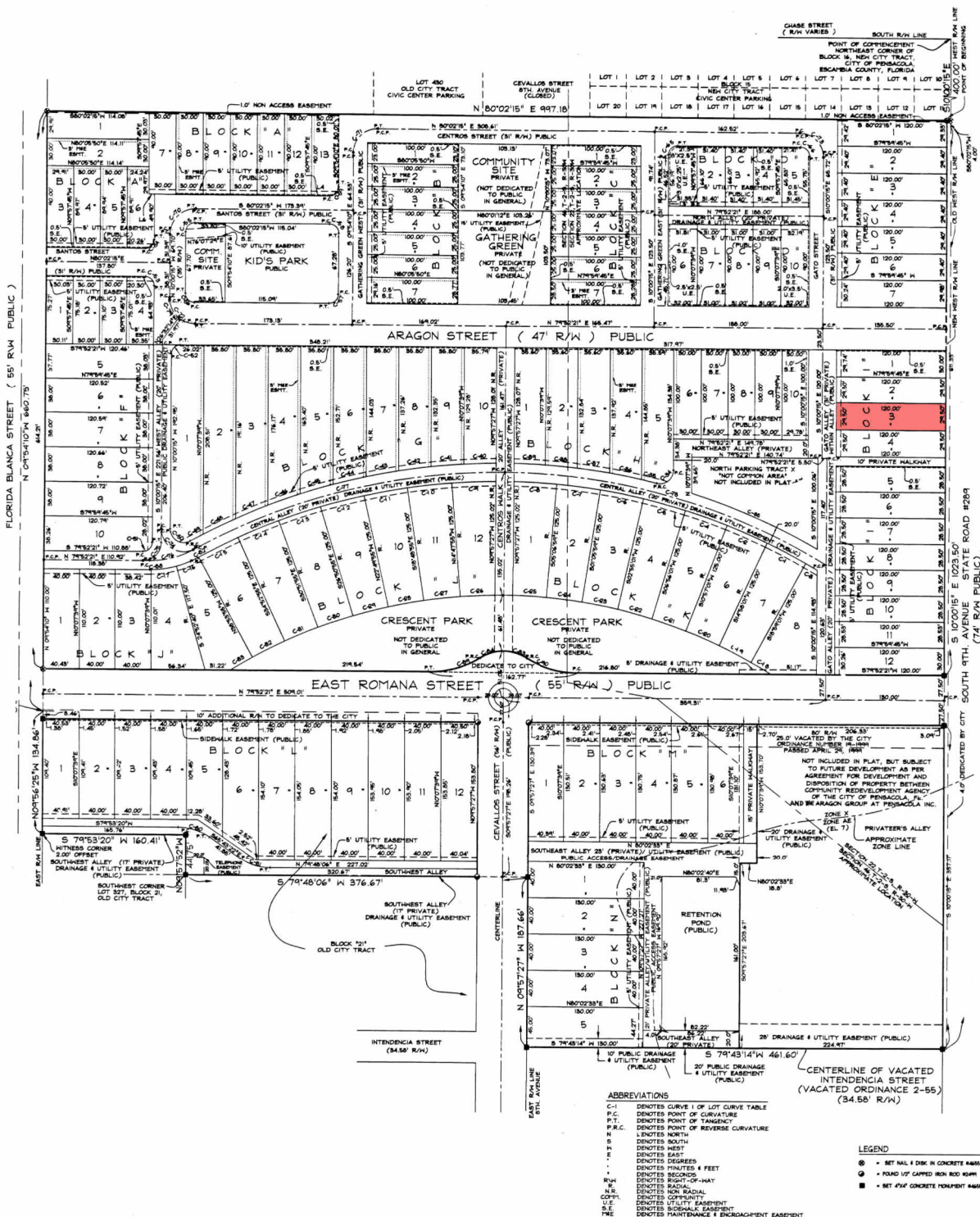


2 AERIAL VIEW FROM GATO ALLEY-REAR

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE EDITIONS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYS IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2020 FBC, RESIDENTIAL EDITION R301.2.1.2 FOR RESIDENTIAL WORK OR 2020 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
STRUCTURAL		
S001	STRUCTURAL NOTES AND DIAGRAMS	
S101	FOUNDATION & 2ND FLOOR FRAMING PLAN	
S102	ROOF FRAMING PLAN	
Architectural		
A001	SITE PLAN	
A101	FLOOR PLANS AND DETAILS	
A102	RCP/LIGHTING PLANS	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A302	WALL SECTIONS	
A501	ROOF PLAN & DETAILS	
A601	SCHEDULES AND DIAGRAMS	



503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

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CERTIFICATION

AARB
Preliminary

Nall Residence
17 S 9th Avenue, Pensacola, FL

DRAWN BY: SKG/KRD
CHECKED BY: EDD

ISSUE DATE:
03-10-2023

REVISIONS:
No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO:
22028

EXISTING CONDITIONS



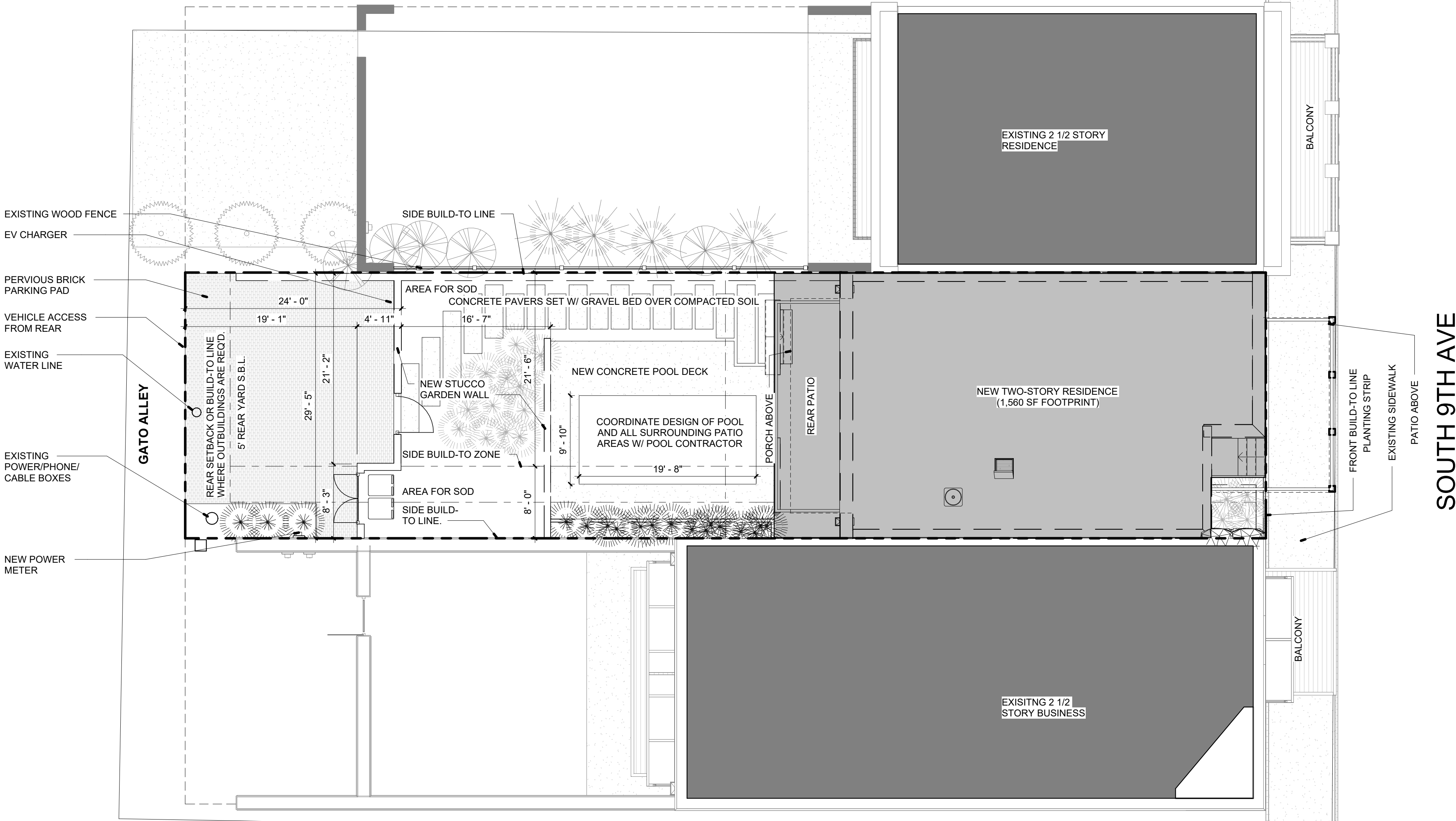
VIEW FROM S. 9TH AVENUE



VIEW FROM GATO ALLEY



VIEW FROM GATO ALLEY



1

ARCHITECTURAL SITE PLAN

1/8" = 1'-0"

LOT COVERAGE CALCULATIONS

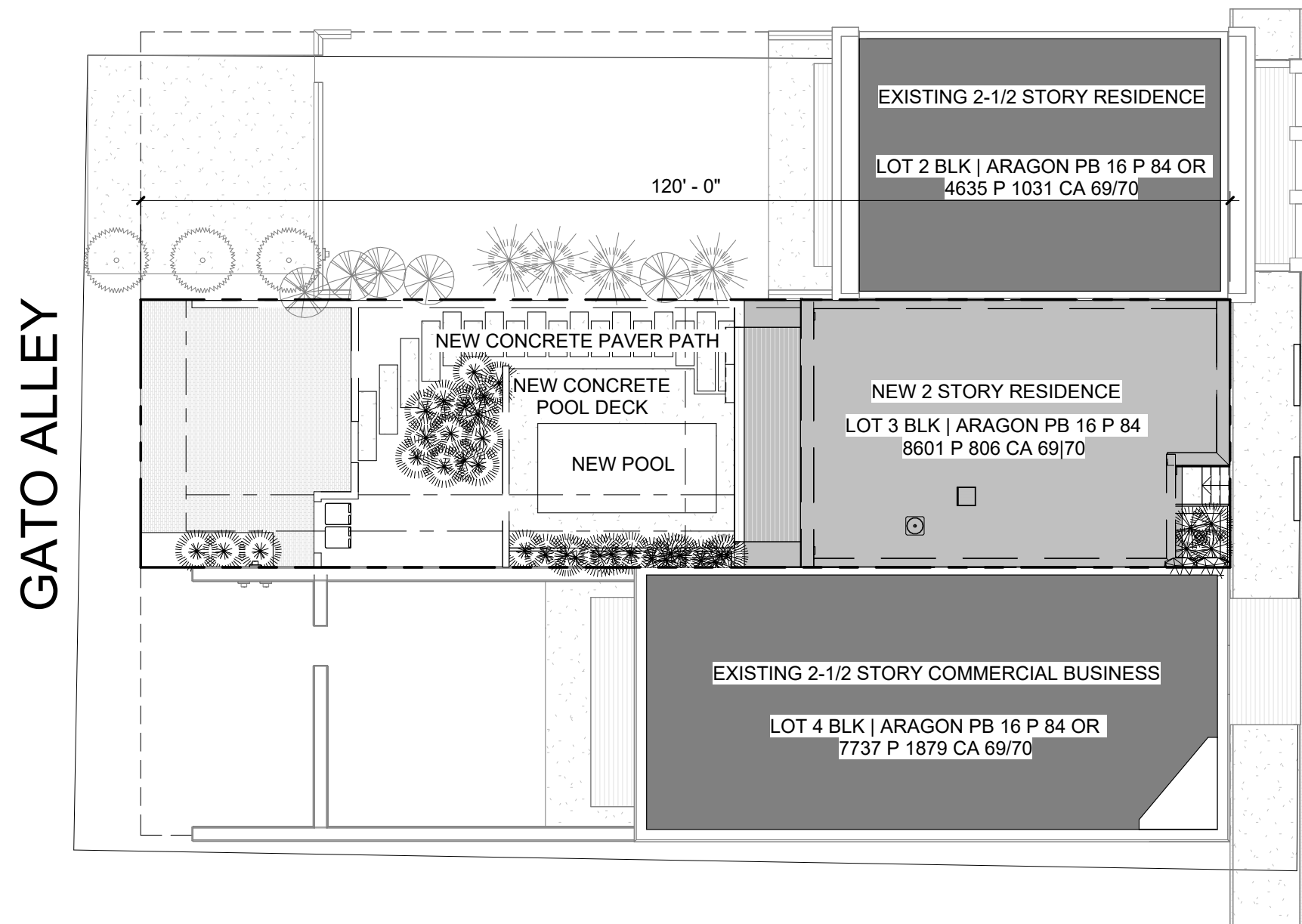
PROPOSED IMPERVIOUS AREA:		
DRIVE PERMEABLE PAVERS 555 SF x .65 =	361 SF	253 SF
CONCRETE PERMEABLE PAVERS 389 SF x .65 =	286 SF	
POOL DECK 286 x 1SF =	286 SF	
POOL: 193 x1 SF =	193 SF	

PROPOSED BUILDING FOOTPRINT: 1555 SF
TOTAL PROPOSED LOT COVERAGE: 2,499 SF (71%)

TOTAL LOT AREA: 3540 SF
MAXIMUM ALLOWABLE IMPERVIOUS AREA: 2655 SF OR 75%

SITE AREA

Name	Area	Lot Coverage
BUILDING FOOTPRINT	1555 SF	35%
REMAINING SITE	1985 SF	44%
DRIVE PERMEABLE PAVERS	555 SF	12%
CONCRETE PERMIABLE PAVERS	389 SF	9%



2

ARCHITECTURAL AREA PLAN

1/16" = 1'-0"



dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
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DRAWN BY: SKG/KRD
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REVISIONS No. Des. Date

SHEET TITLE:

SITE PLAN

SHEET NO:

A001

PROJECT NO: 22028



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CERTIFICATION

AARB
Preliminary

Nail Residence

17391 Avenue, Pensacola, FL

OWN BY:	CHECKED BY:
SKG/KRD	EDD

E DATE:
3-10-2023

DESIGNATIONS	
Des.	Date

ET TITLE:

FLOOR PLANS AND DETAILS

SET NO:

A101

PROJECT NO:
028



NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/INTERIOR ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.



TYPICAL MOUNTING HEIGHTS	
WALL SWITCHES	48"
RECEPTACLE OUTLETS (general)	18"
RECEPTACLE OUTLETS (kitchen, utility room, workbenches, etc.)	42", or 6" above countertop
BELLS, BUZZERS, CHIMES	96" when possible, or 6" below ceiling
TELEPHONE OUTLETS	18"
THERMOSTATS	48"
BED LIGHTS	72"
PUSH BUTTONS	48"
NOTE: COORDINATE OUTLET HEIGHT FOR APPLIANCES W/ ARCHITECTURAL FLOOR PLANS AND INTERIOR ELEVATIONS.	

ELECTRICAL LEGEND

- ⌀

DUPLEX
- ⌀240

240V
- \$

SWITCH
- \$D

DIMMER SWITCH
- \$3

3-WAY SWITCH
- \$3D

3-WAY DIMMER SWITCH
- (G)

IN-SINK GARBAGE DISPOSAL
- TV

CABLE TV
- [A]

DOORBELL ANNUNCIATOR
- [Grille]

EXHAUST FAN
- ◯

RECESSED LIGHT FIXTURE
- ⊕

PENDANT LIGHT FIXTURE
- STEP LIGHTING
- ◯
|
◯

WALL MOUNTED (SCONCE) LIGHT FIXTURE
- ⊗

CEILING FAN
- WP

WEATHER - PROOF
- GFCI

GROUND FAULT CIRCUIT INTERRUPTER
- SD

COMBINED SMOKE & CARBON MONOXIDE DETECTOR LISTED OR LABELED BY A NATIONAL RECOGNIZED TESTING LABORATORY. HARDWIRED TO BUILDING ELECTRICAL SYSTEM. INSTALL WITHIN 10'-0" OF ALL SLEEPING AREAS AND ENSURE EACH DEVICE HAS BATTERY BACK-UP.

ELECTRICAL NOTES

1.

CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- CONDUITS AND CONNECTIONS

1.

PROVIDE A 6'-0" MAXIMUM FLEXIBLE CONNECTION FROM EACH RECESSED LIGHTING FIXTURE TO JUNCTION BOX ABOVE CEILING.

2.

ALL SAFETY SWITCH DISCONNECTS LOCATIONS IN MECHANICAL ROOMS SHALL HAVE 3'-0" MIN. OF WORKING SPACE IN FRONT OF DISCONNECT; COORDINATE WITH MECHANICAL CONTRACTOR AND EQUIPMENT LOCATIONS.

3.

FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS).

4.

CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.

5.

CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.

6.

CONDUIT MATERIAL SHALL BE AS FOLLOWS:
A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
B) RISER FROM 36" BELOW GRADE - RIGID GALVANIZED STEEL.
C) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY)
D) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE.
E) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
F) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ELECTRICAL METALLIC TUBING. (DOES NOT APPLY ON RESIDENTIAL)
G) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB - INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.

CODES & EQUIPMENT

1.

ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.

2.

ELECTRICAL CONTRACTOR SHALL COORDINATE W/ LOCAL UTILITY CO. TO ENSURE THE OWNER HAS A COMPLETE AND OPERABLE SERVICE. E.C. WILL PAY ALL UTILITY CO. CHARGES AND FEES AND ALL INSPECTION AND PERMIT FEES.

3.

ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.

4.

THE LOADS SHOWN FOR APPLIANCES AND EQUIPMENT ARE BASED ON DESIGN INFORMATION. THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE NAMEPLATE VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED FOR APPLIANCE MODIFICATIONS BY THE CONTRACTOR.

5.

COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC. WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.

6.

VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SWITCHES.

7.

WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.

RECEPTACLES & SWITCHES

1.

ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE BOTTOM OF THE BOX.

2.

VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PRIOR TO ROUGH-IN.

3.

VERIFY ALL POWER/DATA/PHONE RECEPTACLE ELEVATIONS LOCATED 7" CENTER LINE OVER COUNTERTOP WITH ARCHITECTURAL DETAILS PRIOR TO ROUGH-IN.

4.

RECEPTACLES, SWITCHES AND COVER PLATES COLOR SHALL BE SELECTED BY THE OWNER FROM STANDARD COLORS.

5.

WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.

6.

IF FIRE ALARM SYSTEM INSTALLED, ALL FIRE ALARM CIRCUITS SHALL BE TERMINATED ON TERMINAL STRIPS. WIRE NUTS ARE PROHIBITED. ALL ANNUNCIATING AND INITIATING CIRCUITS ENTERING THE BUILDING AND AT THE FIRE ALARM PANEL SHALL BE PROVIDED WITH SUITABLE SURGE SUPPRESSORS.

7.

RECEPTACLE SPACING MUST BE PER NEC.

8.

ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.

9.

SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

2 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

1 GROUND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

ds

dalrymple | sallis
architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.daisal.com

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CERTIFICATION

AARB
Preliminary

Nall Residence
17 S 9th Avenue, Pensacola, FL

DRAWN BY: SAK/KRD
CHECKED BY: EDD

ISSUE DATE:
03-10-2023

REVISIONS
No. Des. Date

SHEET TITLE:

RCP/LIGHTING
PLANS

SHEET NO:

A102

PROJECT NO:
22028

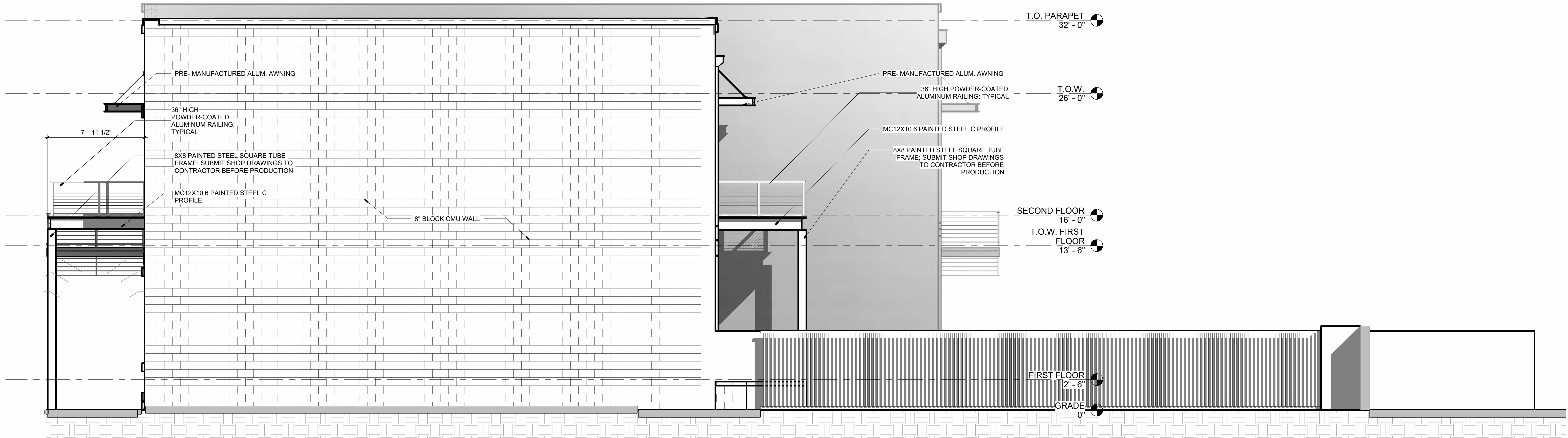
13



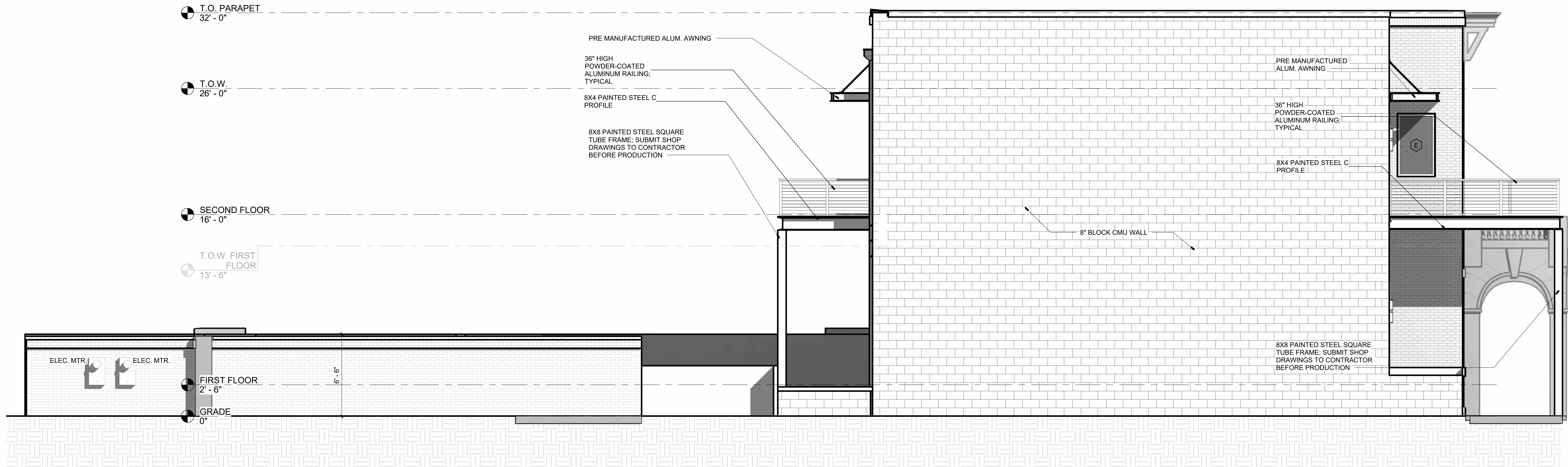
1 FRONT ELEVATION
1/4" = 1'-0"



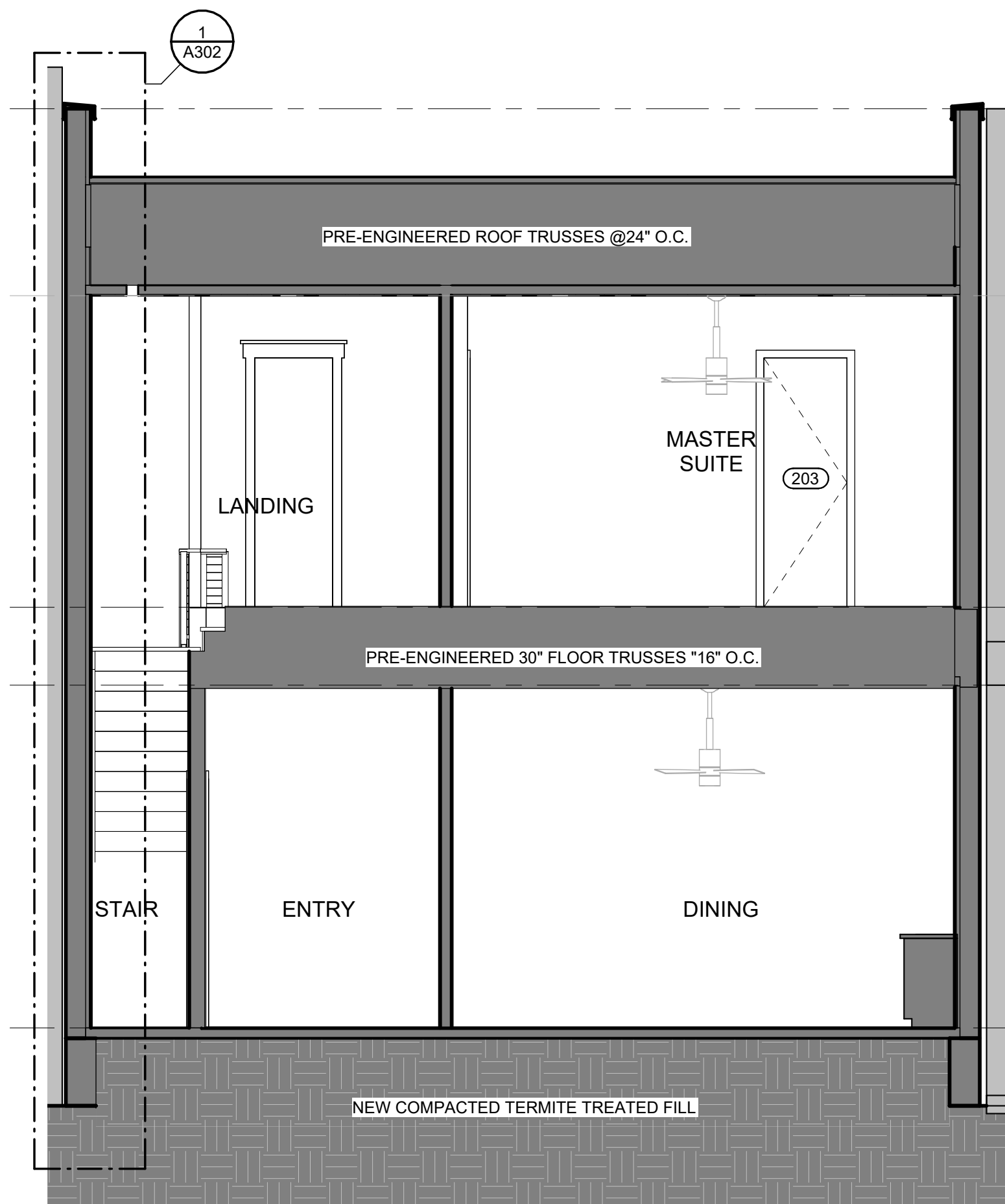
2 BACK ELEVATION
1/4" = 1'-0"



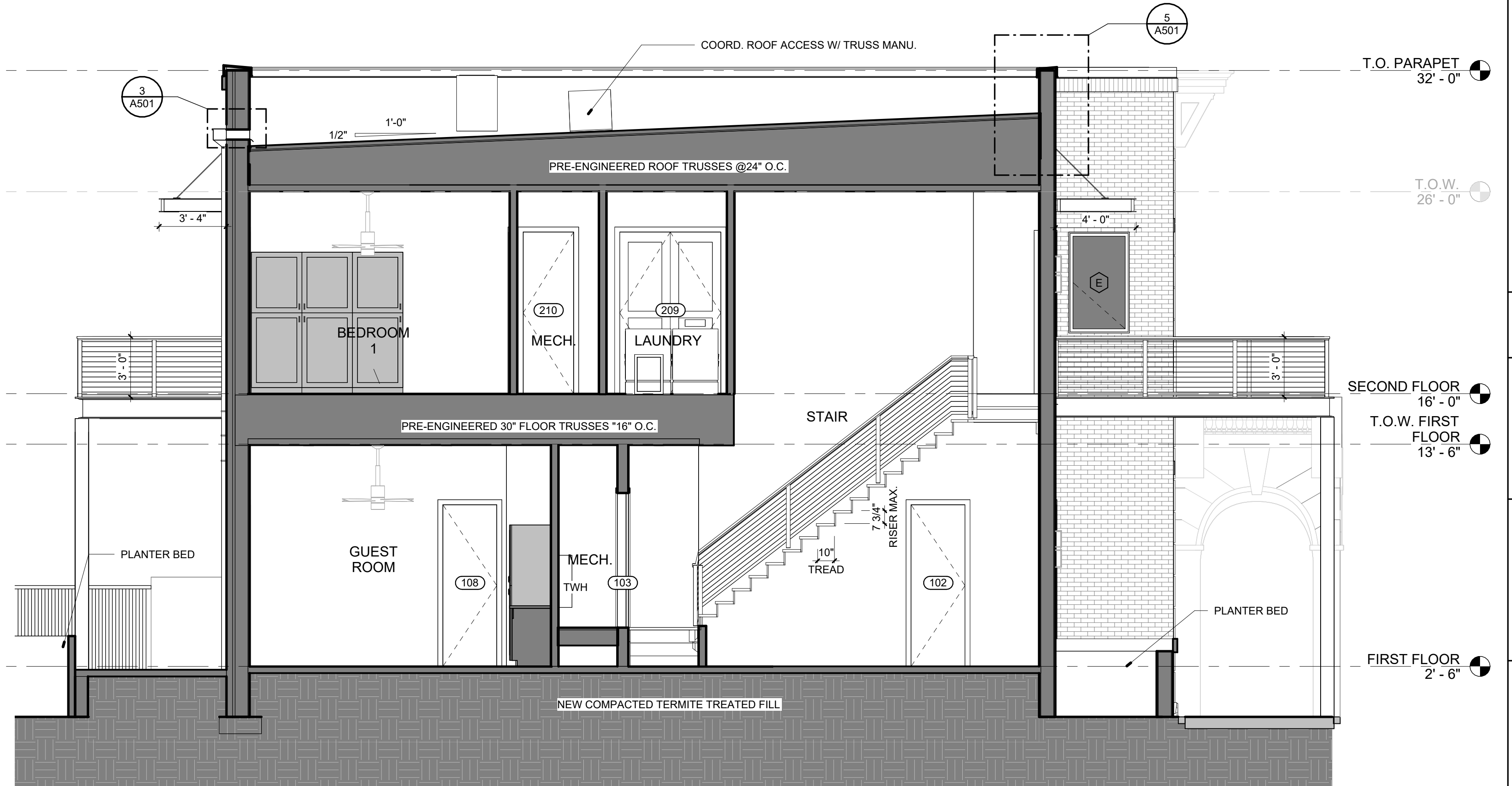
1 NORTH ELEVATION
1/4" = 1'-0"



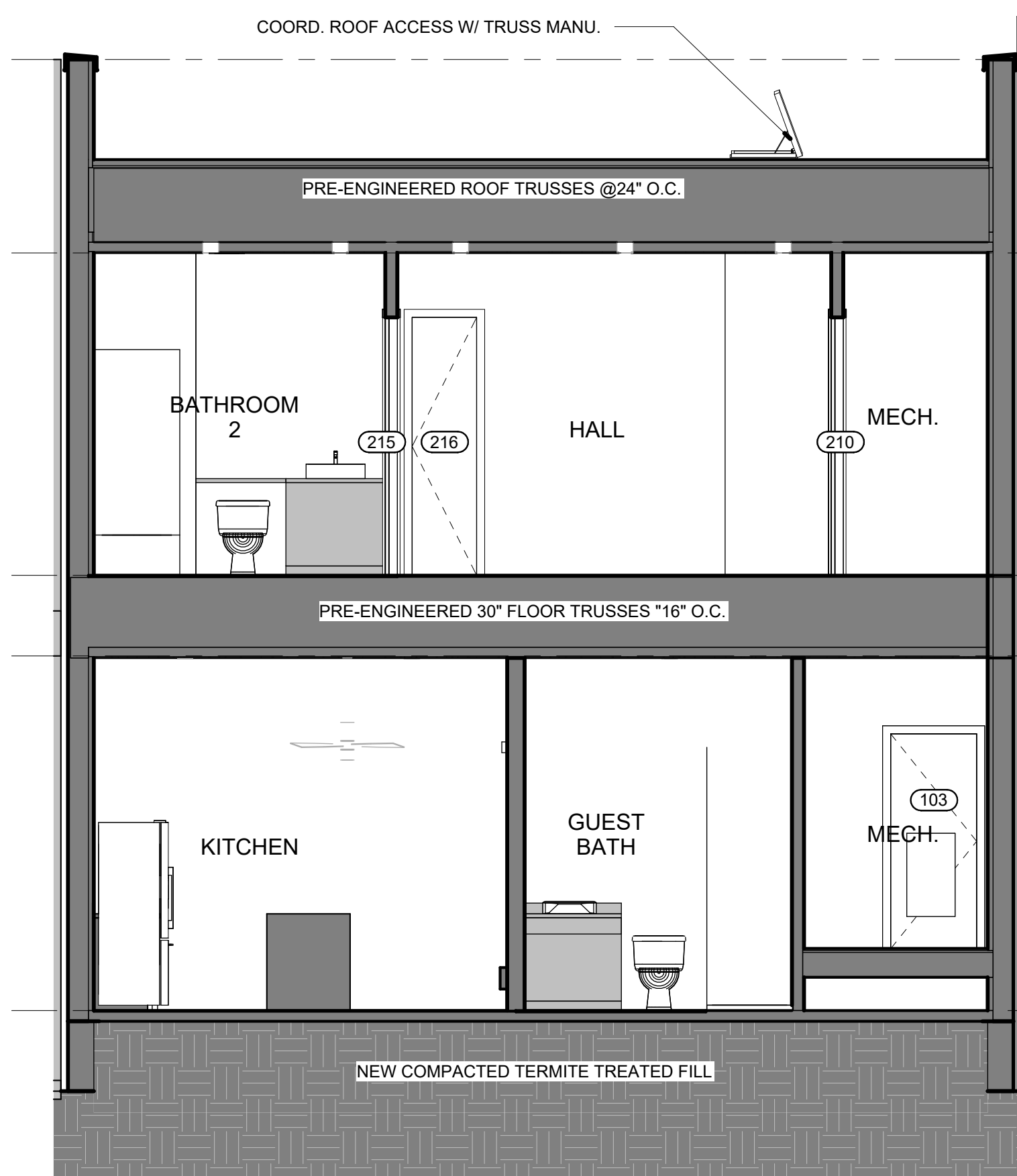
2 SOUTH ELEVATION
1/4" = 1'-0"



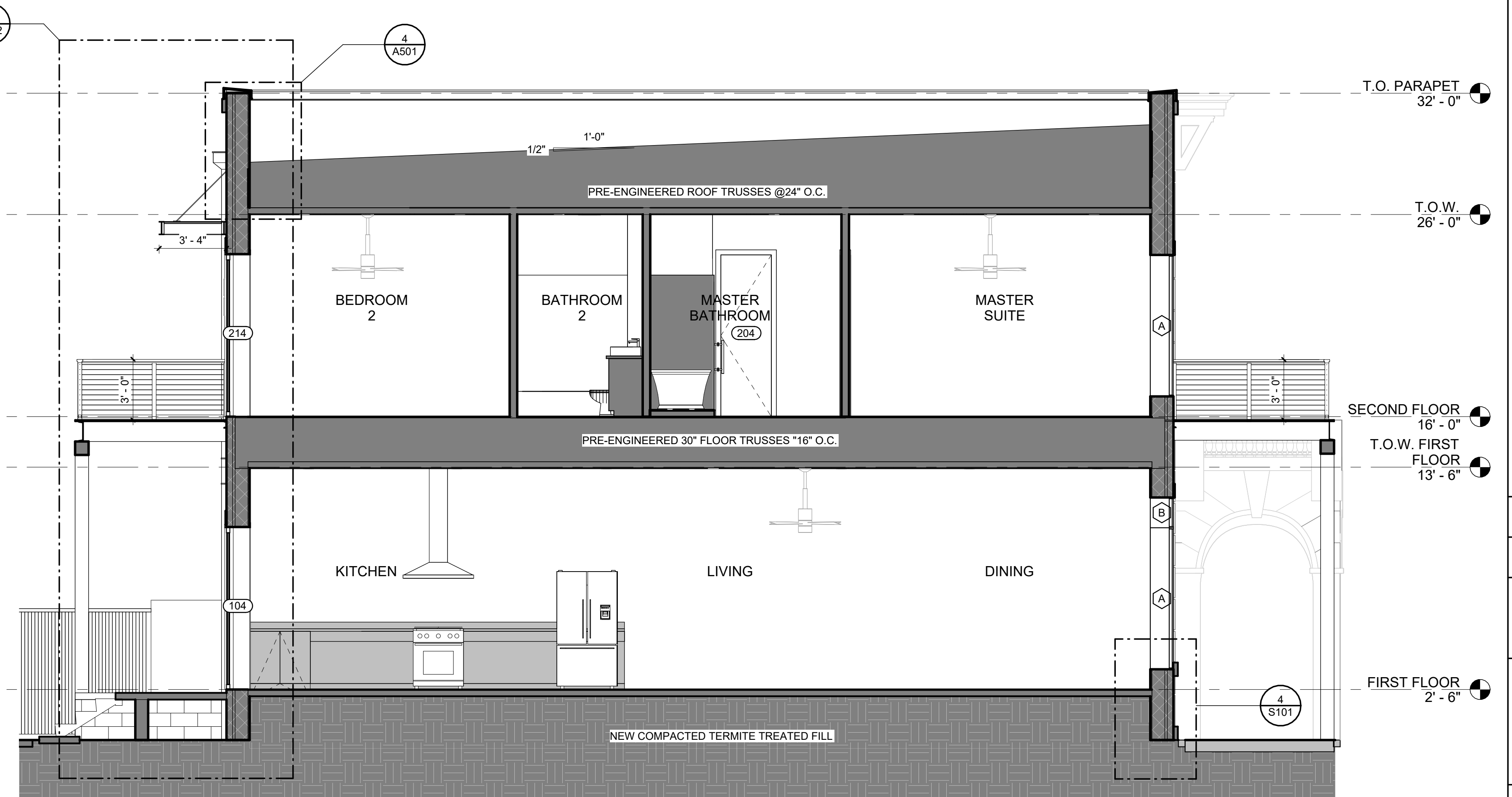
3 BUILDING SECTION 3
1/4" = 1'-0"



4 SECTION THROUGH STAIRS
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"



1 BUILDING SECTION 1
1/4" = 1'-0"



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f: 850-470-6397
www.dalsal.com

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CERTIFICATION

AARB
Preliminary

Nall Residence
17 S 9th Avenue, Pensacola, FL

DRAWN BY: KRD
CHECKED BY: EDD

ISSUE DATE:
03-10-2023

REVISIONS
No. Des. Date

SHEET TITLE:

BUILDING
SECTIONS

SHEET NO:

A301

PROJECT NO:
22028

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CERTIFICATION

AARB
preliminary

Nail Residence
17 S 9th Avenue, Pensacola, FL

OWN BY:	CHECKED BY:
SAK/KRD	EDD

DATE: 03-10-2023

DESIGNATIONS	
Des.	Date

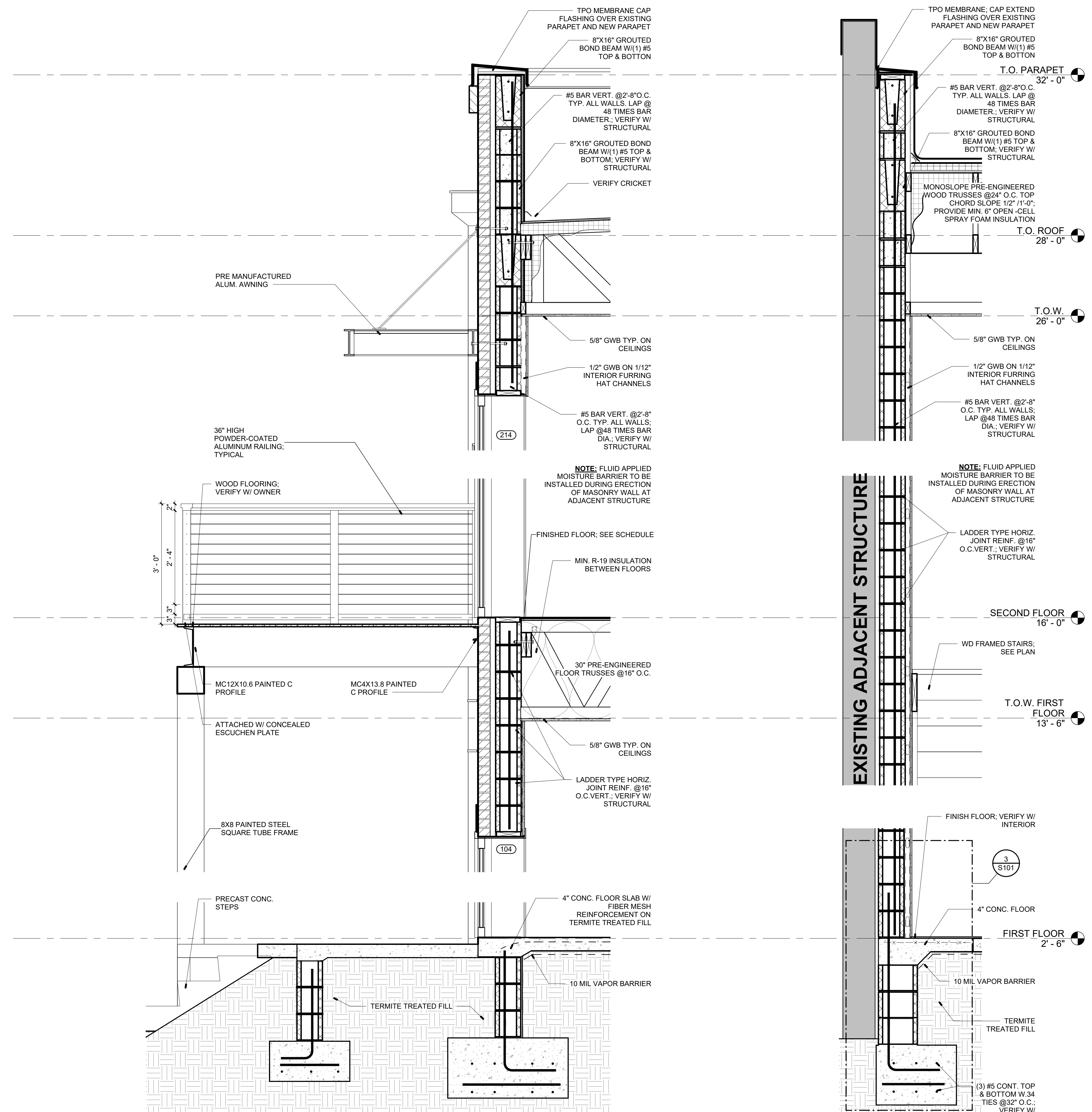
TITLE:

WALL SECTIONS

TEST NO:

A302

PROJECT NO:
028



2 WALL SECTION @ BRICK VENEER ON CMU
3/4" = 1'-0"

1 WALL SECTION @ STAIR & ZERO LINE
3/4" = 1'-0"



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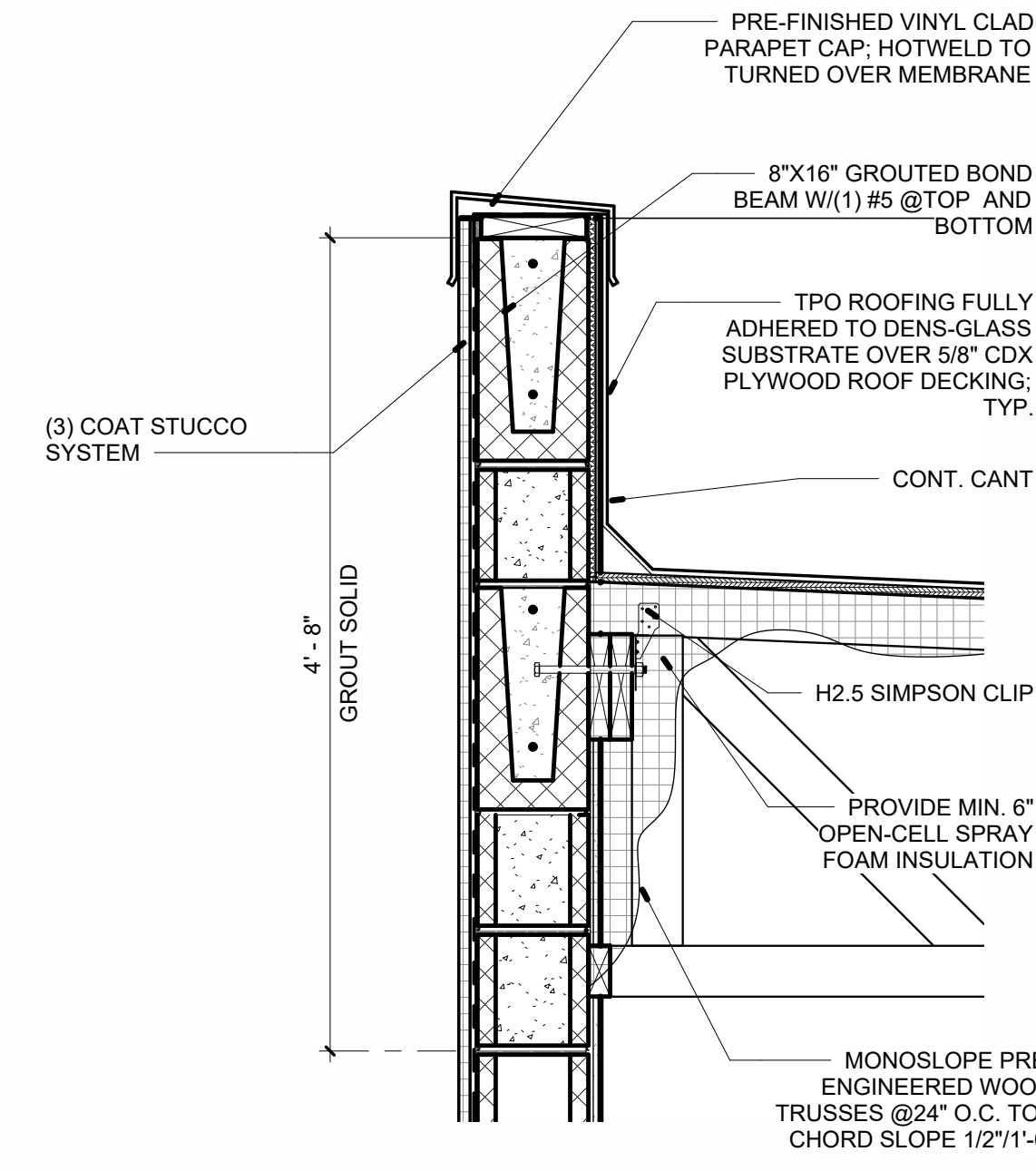
SHEET TITLE:

**ROOF PLAN &
DETAILS**

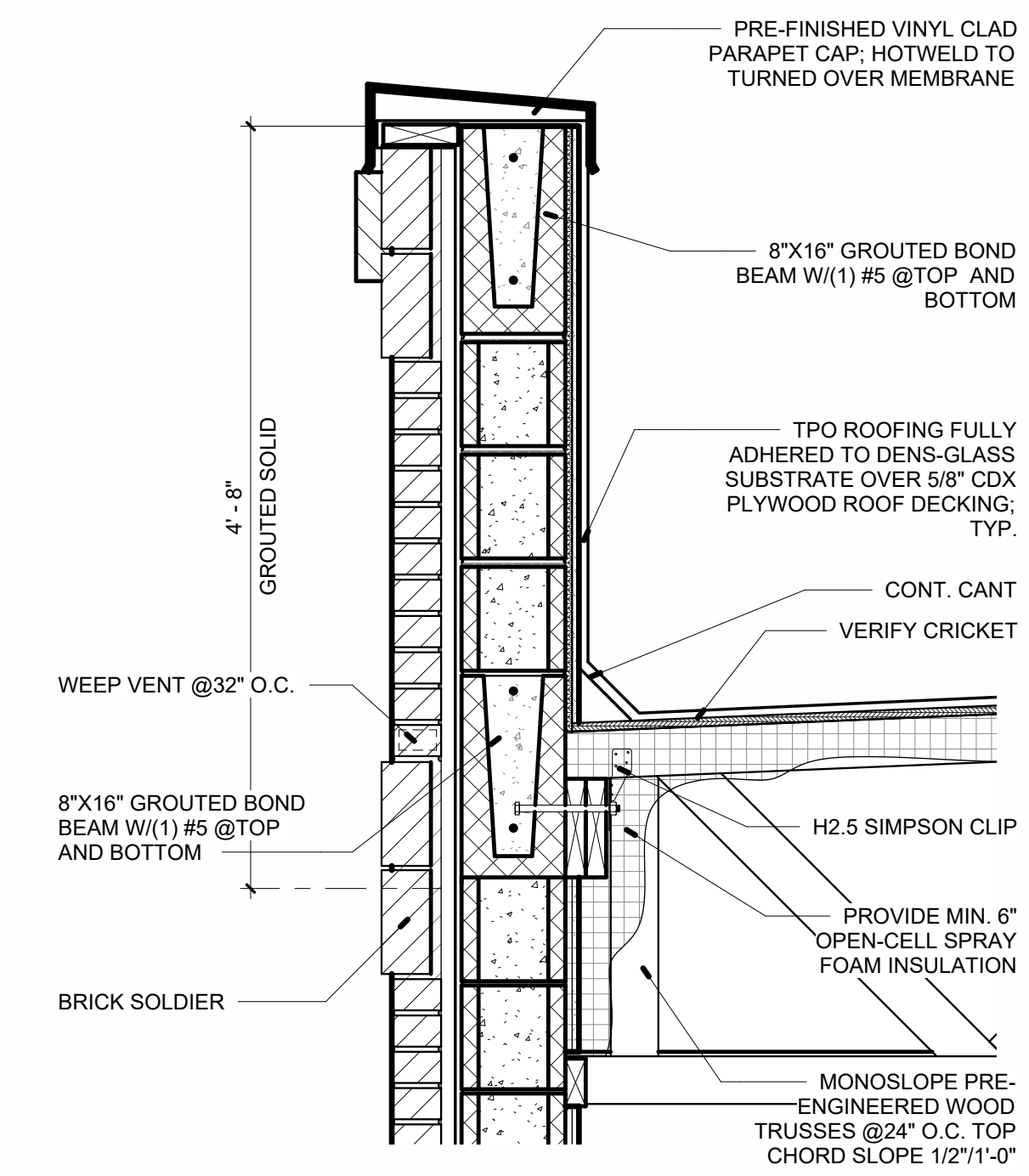
SHEET NO:

A501

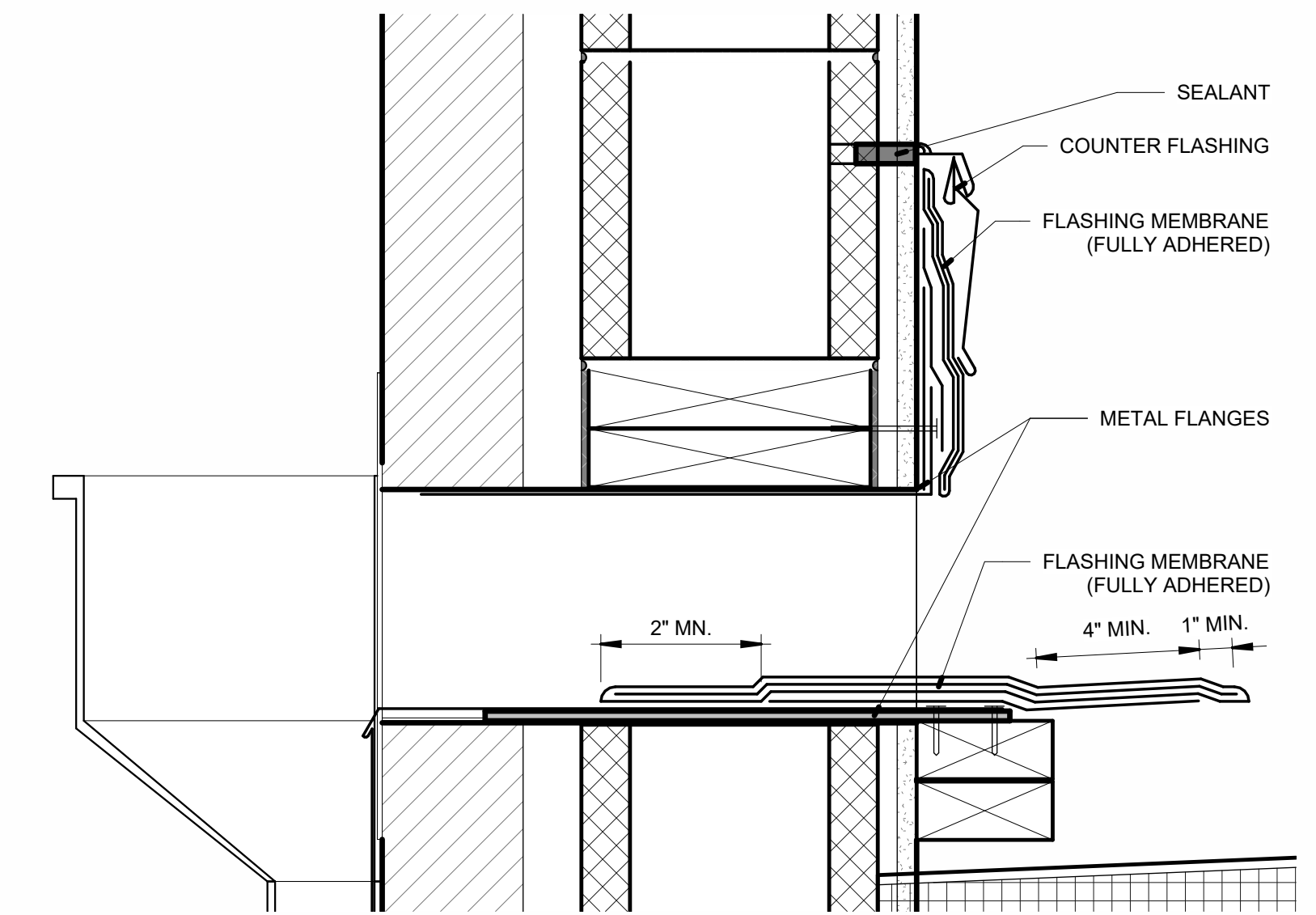
PROJECT NO:
22028



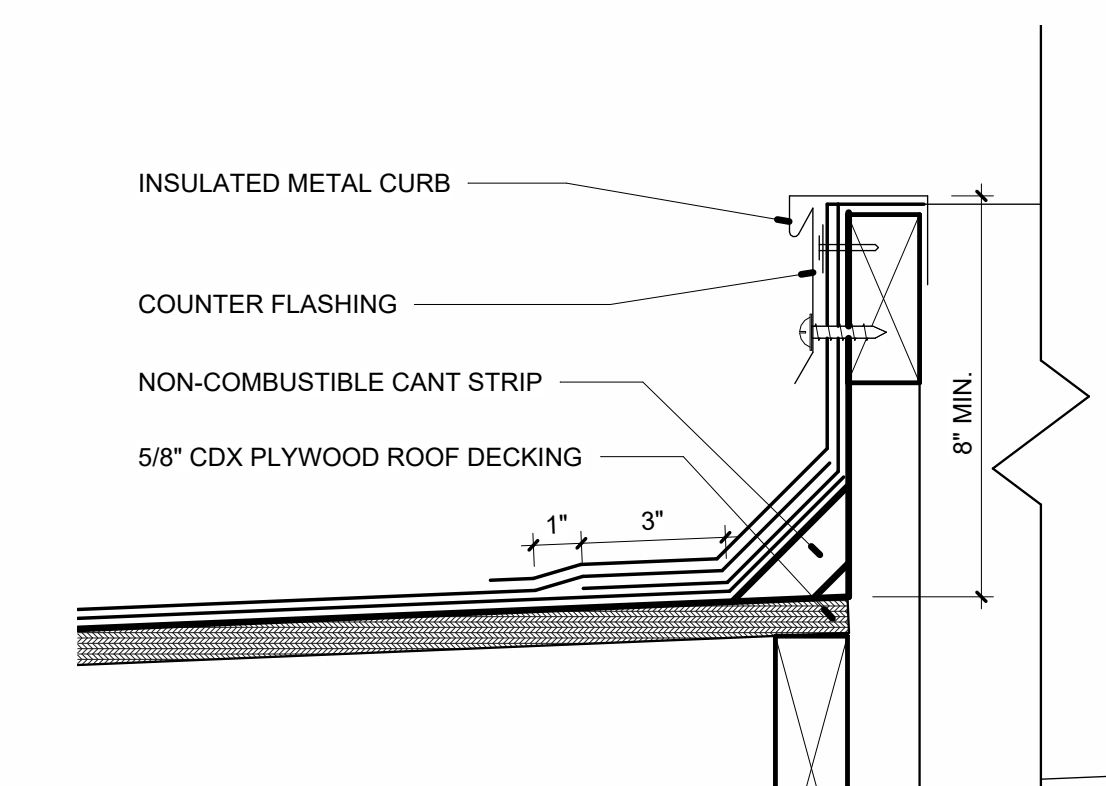
5 DETAIL @ STUCCO PARAPET
1" = 1'-0"



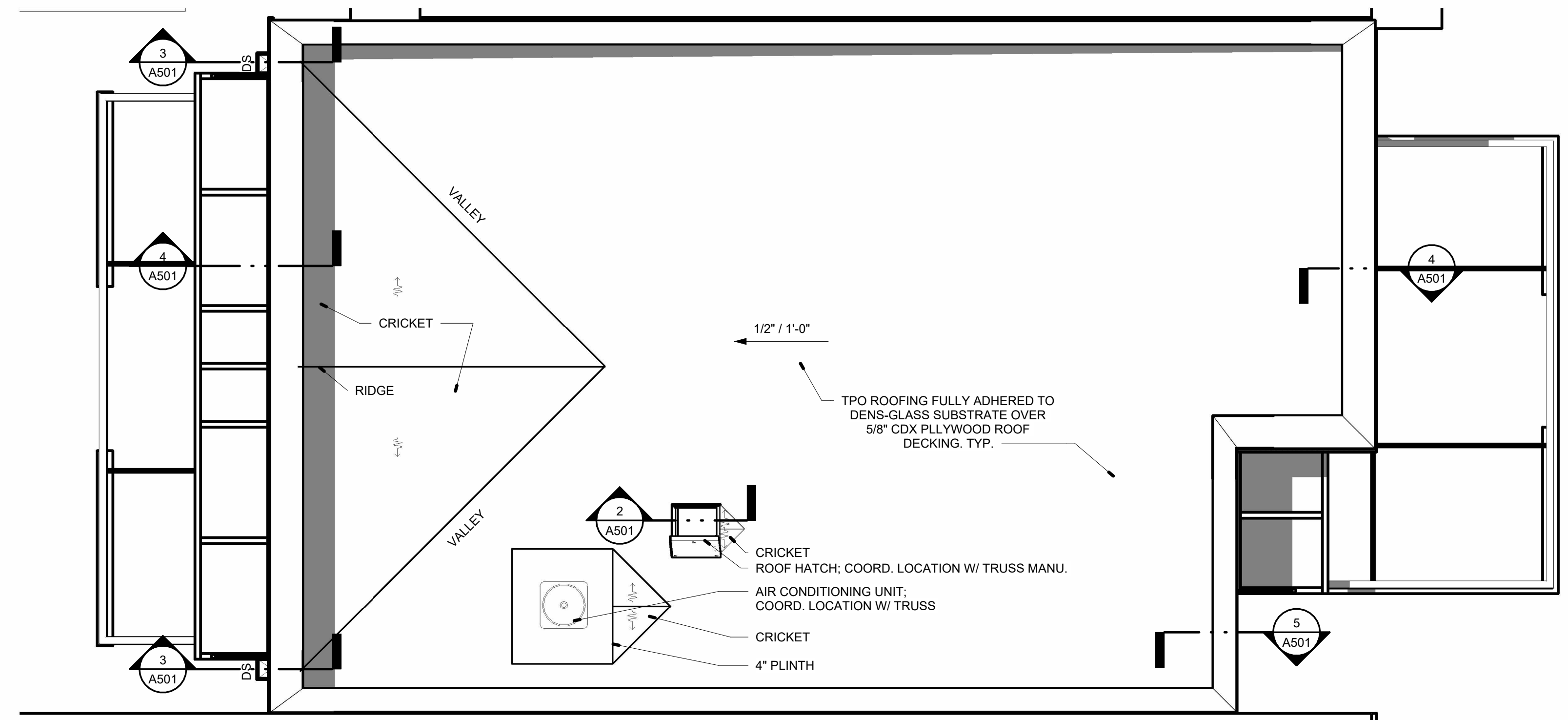
4 DETAIL @ BRICK PARAPET
1" = 1'-0"



3 DETAIL @ SCUPPER
3" = 1'-0"



2 DETAIL @ ROOF HATCH
3" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



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CERTIFICATION

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Nall Residence
17 S 9th Avenue, Pensacola, FL

DRAWN BY: SAK/KRD
CHECKED BY: EDD

ISSUE DATE: 03-10-2023

REVISIONS
No. Des. Date

SHEET TITLE:
SCHEDULES AND DIAGRAMS

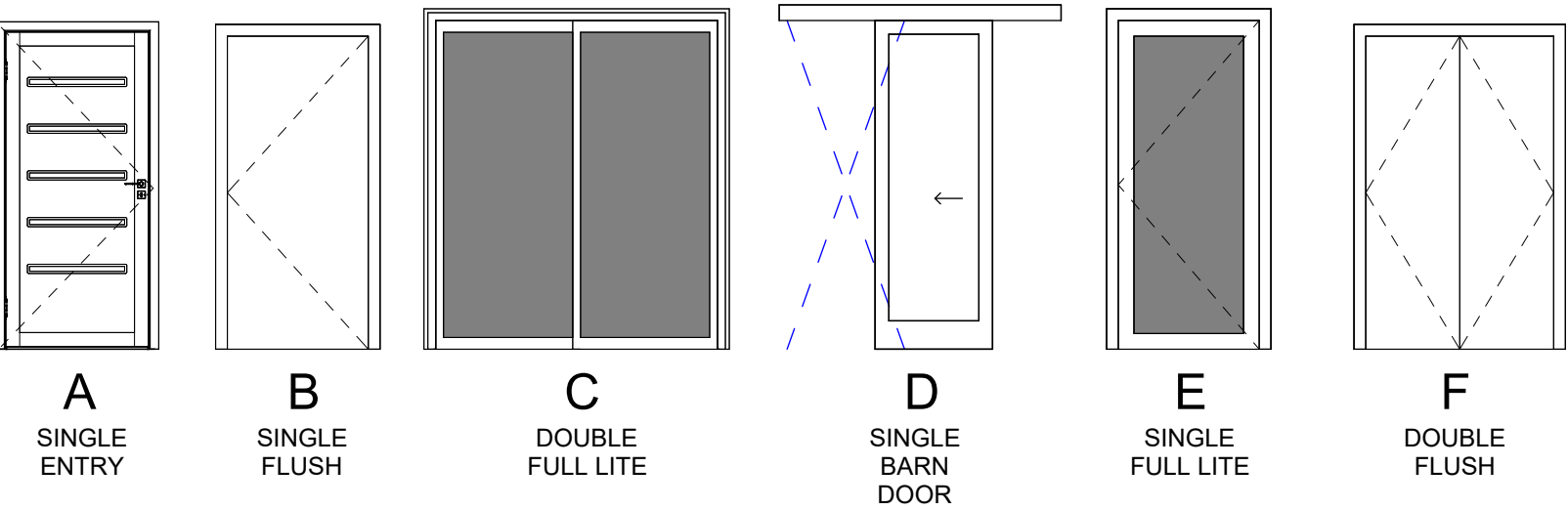
SHEET NO:

A601

PROJECT NO: 22028

DOOR SCHEDULE						
Mark	Type Mark	Width	Height	Door Material	Lockset	Comments
FIRST FLOOR						
101	A	3' - 0"	8' - 0"	ALUM/FBG	ENTRY	
102	B	2' - 8"	8' - 0"	WD	PASSAGE	
103	B	2' - 8"	6' - 8"	WD	PASSAGE	
104	C	6' - 0"	8' - 0"	ALUM/FBG	ENTRY	
105	D	3' - 0"	8' - 0"	WD	PASSAGE	BARN DOOR
106	B	2' - 8"	8' - 0"	WD	PASSAGE	
107	B	2' - 8"	8' - 0"	WD	PRIVACY	
108	B	2' - 8"	8' - 0"	WD	PRIVACY	
109	C	6' - 0"	8' - 0"	ALUM/FBG	ENTRY	
SECOND FLOOR						
201	E	3' - 0"	8' - 0"	ALUM/FBG	ENTRY	
202	B	2' - 8"	8' - 0"	WD	PRIVACY	
203	B	2' - 8"	8' - 0"	WD	PRIVACY	
204	B	2' - 6"	8' - 0"	WD	PRIVACY	
205	B	2' - 8"	8' - 0"	WD	PASSAGE	
209	F	5' - 0"	8' - 0"	WD	PASSAGE	
210	B	2' - 6"	8' - 0"	WD	PASSAGE	
211	B	2' - 8"	8' - 0"	WD	PRIVACY	
212	C	6' - 0"	8' - 0"	ALUM/FBG	ENTRY	
213	B	2' - 8"	8' - 0"	WD	PRIVACY	
214	C	6' - 0"	8' - 0"	ALUM/FBG	ENTRY	
215	B	2' - 8"	8' - 0"	WD	PRIVACY	
216	B	2' - 0"	8' - 0"	WD	PASSAGE	

DOOR TYPES

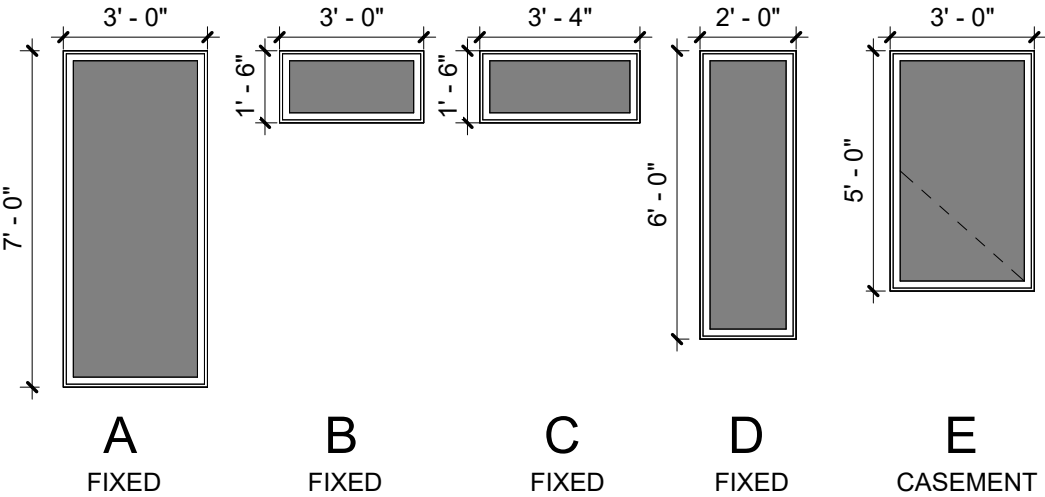


DOOR NOTES

- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- PROVIDE LEVER STYLE HARDWARE. TYP.
- WOOD DOORS TO BE SOLID CORE, PAINTED.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

WINDOW SCHEDULE				
Type Mark	Width	Height	Head Height	Comments
A	3' - 0"	7' - 0"	8' - 0"	
B	3' - 0"	1' - 6"	9' - 6"	
C	3' - 4"	1' - 6"	8' - 5"	
D	2' - 0"	6' - 0"	8' - 0"	
E	3' - 0"	5' - 0"	8' - 0"	

WINDOW TYPES



WINDOW NOTES

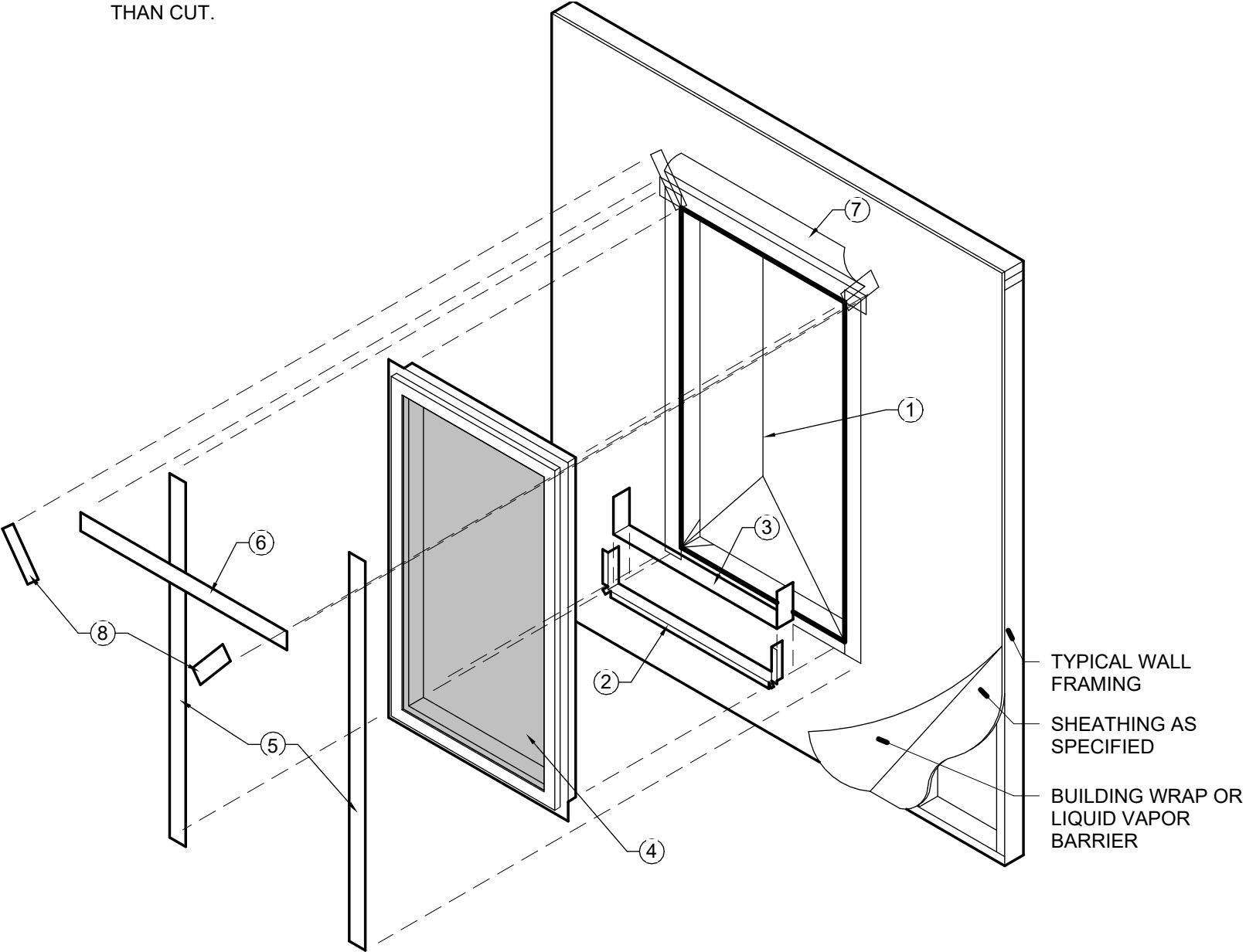
- ALL WINDOWS TO BE VINYL, IMPACT-RATED PRODUCT, ENSURE EXPOSURE CATEGORY AND WIND PRESSURES SHOWN ON STRUCTURAL ARE MET.
- ALL WINDOWS TO HAVE MIN. LOW-E GLASS COATING.

ABBREVIATION KEY

INTERIOR FINISHES	
CONC	CONCRETE
GW	GYP SUM WALL BOARD
LVT	LUXURY VINYL TILE
MRGWB	MOISTURE-RESISTANT GYP SUM WALL BOARD
RBR	RUBBER
TILE	TILE
WD	WOOD

FLASHING PROCESS FOR NEW WINDOWS

- IF LIQUID VAPOR BARRIER IS NOT USED, CUT BUILDING WRAP VAPOR BARRIER AS SHOWN. FOLD BOTTOM AND TOP SIDE FLAPS INTO OPENING AND FASTEN. TEMPORARILY HOLD TOP FLAP UP ABOVE OPENING. IF LIQUID VAPOR BARRIER IS USED, PAINT BARRIER INTO OPENING.
- PROVIDE SILL FLASHING TAPE OR ADDITIONAL LIQUID BARRIER THAT OVERHANGS OPENING 1" AND EXTENDS UP OPENING SIDES A MINIMUM OF 6".
- PROVIDE 2ND LAYER OF SILL FLASHING OR LIQUID BARRIER TO OVERLAP FIRST LAYER BY 1". DO NOT EXTEND SILL FLASHING PAST INTERIOR FACE OF FRAMING.
- INSTALL WINDOW FROM EXTERIOR OF BUILDING. PLUMB, SQUARE AND VERIFY OPERATION. FASTEN WINDOW IN OPENING WITH 2" GALVANIZED ROOFING NAILS AT 6" O.C.
- PROVIDE SIDE FLASHING TAPE OR ADDITIONAL LIQUID VAPOR BARRIER TO EXTEND 2" ABOVE TOP AND BOTTOM OF OPENING.
- PROVIDE TOP FLASHING TAPE OR LIQUID BARRIER TO EXTEND PAST EDGE OF SIDE FLASHING TAPE BY 1". DO NOT TAPE OR SEAL BOTTOM NAILING FIN.
- IF LIQUID VAPOR BARRIER IS NOT USED, FOLD DOWN TOP FLAP OF BUILDING WRAP VAPOR BARRIER.
- IF LIQUID VAPOR BARRIER IS USED, APPLY ADDITIONAL LAYER OF LIQUID VAPOR BARRIER ABOVE WINDOW.
- PROVIDE FLASHING TAPE/ADDITIONAL LIQUID VAPOR BARRIER AT DIAGONAL CUTS AT LEAST 1" LONGER THAN CUT.



1 WINDOW FLASHING DETAIL

1/2" = 1'-0"

Memorandum

Date: Tuesday, March 14, 2023

Recipient: Pensacola Planning Board

Project: **17 S. Ninth Avenue**
17 South 9th Avenue, Pensacola, FL
Lot 3, Block 1, (Type I - Townhouse)

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Brick	Boral Brick	Magnolia Bay Queen
Grout	Boral	Ivory buff
Stucco	Parex USA	Lariat 821L (57)
Stucco Trim	Parex USA	Lariat 821L (57)
Window	Jeld-Wen/ PGT	Chestnut Bronze
Entry Door	TBD	Bohemian Black (SW 6988)
Roof (parapet cap metal)	NA	Galvalume
Railing	NA	Bohemian Black (SW 6988)
Steel Tube	NA	Bohemian Black (SW 6988)
Gate	NA	Bohemian Black (SW 6988)

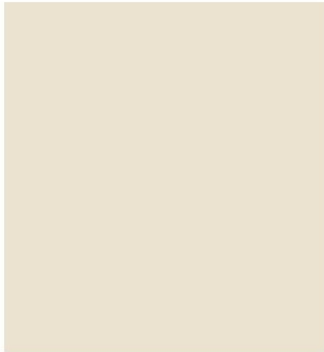
Brick. Boral Bricks. "Magnolia Bay Queen."



Grout. Boral. "ivory buff."

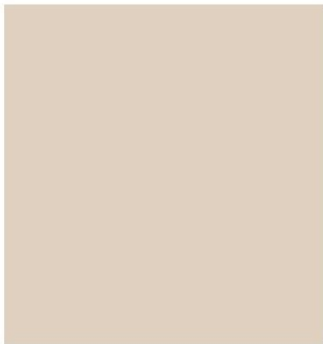


Stucco Wall. Parex USA. "Lariat 821L (57)."



Lariat
821L (57)

Parex USA. "Moondance 3027L (66)"



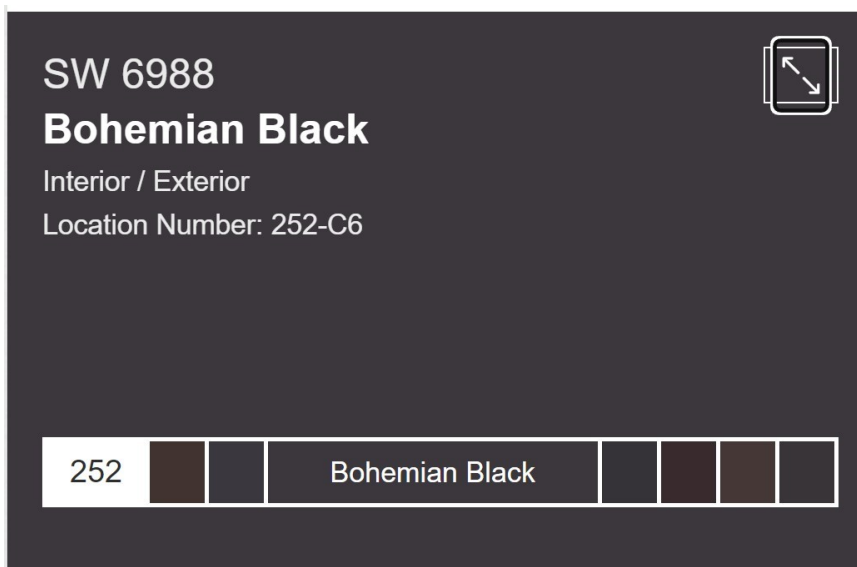
Moondance
3027L (66)

Window. Jeld-wen. Chestnut Bronze/ Bronze

Window. PGT. Bronze



Entry Door(Fiberglass), Gate, Railing, Steel Frames. Sherwin Williams. "Bohemian Black sw 6988."





Windows: JELD-WEN Vinyl Fixed Picture Window



Doors: Manuf. TBD



Doors: JELD-WEN Vinyl Full Lite Sliding Door



Doors: JELD-WEN Vinyl Full Lite



Railing: Powder coated alum. Horizontal railing, Manuf. TBD



Lighting: Dazuma LED Waterproof Wall Lamp



Awning: Architectural Canopies



Pool Pavers: Peacock Pavers



Driveway Pavers: Oldcastle Coastal Pavers



Roofing: White TPO; Manuf. TBD

Department:	Comments:
Planning	No comments or concerns.
FIRE	No comments received.
PW/E/Surveyor	No comments or concerns.
Inspection Svcs	No comments received.
Pensacola Energy	No comments received.
ECUA	No comments or concerns.
FPL	No comments received.
ATT	No comments received.
Legal	No comments received.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00308

Planning Board

4/11/2023

FOR DISCUSSION

TO: Planning Board Members

FROM: Gregg Harding, Assistant Planning & Zoning Division Manager

DATE: 4/4/2023

SUBJECT:

Proposed Amendment to the Land Development Code - Food Truck Courts

BACKGROUND:

The Mayor's Office has requested Planning Board to discuss a proposed ordinance allowing food truck courts as a commercial land use.