



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, June 15, 2023, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [23-00458](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES

Sponsors: D.C. Reeves

Attachments: [5-18-23 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [23-00459](#) 1401 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY
COUNCIL DISTRICT 6
CHANGE OF SIDING ON A NON-CONTRIBUTING STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Images](#)
[Application and Materials 6-5-23](#)

3. [23-00460](#) 1414 N. BAYLEN STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA / CITY
COUNCIL DISTRICT 6
NEW ACCESSORY STRUCTURE FOR A NON-CONTRIBUTING
STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Images](#)
[Application and Materials 6-7-2023](#)

4. [23-00461](#) 613 E. ROMANA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HR-2 / CITY COUNCIL
DISTRICT 6
NEW CONSTRUCTION OF A PRIMARY AND ACCESSORY
STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Images](#)
 [Application and Materials 6-5-23](#)
5. [23-00462](#) 410 S. FLORIDA BLANCA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / CITY COUNCIL
DISTRICT 6
NEW ACCESSIBLE RAMP FOR A CONTRIBUTING STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Florida Master Site File Form](#)
 [Images](#)
 [Application and Materials 6-7-23](#)
6. [23-00463](#) 29 S. DEVILLIERS STREET
GOVERNMENTAL CENTER DISTRICT / ZONE C-2 / CITY COUNCIL
DISTRICT 7
ADDITION TO AN EXISTING STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Images](#)
 [Application and Materials 6-5-23](#)
7. [23-00472](#) 101 E. ROMANA STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2 & C-2A / CITY
COUNCIL DISTRICT 6
CHANGE OF PAINT AT A NON-CONTRIBUTING STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Images](#)
 [Abbreviated Review Referred to Full Board](#)
 [Renderings 6-8-2023](#)

8. [23-00464](#) 811 E. BELMONT STREET
 OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-2 / CITY
 COUNCIL DISTRICT 6
 EXTERIOR RENOVATION ON A CONTRIBUTING STRUCTURE

Sponsors: D.C. Reeves

Attachments: [Florida Master Site File Form](#)
 [Images](#)
 [Application and Materials 6-7-23](#)

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00458

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

Architectural Review Board meeting minutes

BACKGROUND:

Architectural Review Board meeting minutes from May 18, 2023.



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

May 18, 2023

MEMBERS PRESENT: Chairperson Salter, Board Member Mead, Board Member Courtney, Board Member Yee, Board Member Fogarty, Board Member Ramos, Advisor Pristera

MEMBERS ABSENT: Board Member McCorvey

STAFF PRESENT: Assistant Planning & Zoning Division Manager Harding, Digital Media Specialist Russo, Cultural Resources Coordinator Walker, Assistant City Attorney Lindsay

STAFF VIRTUAL: Development Services Director Morris, Planning and Zoning Division Manager Cannon

OTHERS PRESENT:

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Board Member Mead asked for clarification to Item 2 (30 S. Spring Street) from the April 2023 meeting. Board Member Mead noted the motion references full divided lites with the internal spacer bars, which should be full simulated divided lites. Chairperson Salter noted that the motion was based on the terminology of the product that was presented. Board Member Mead acknowledged and said the motion specifically referenced the Chair's comments about the specific product terminology, but he wanted to make sure the record was clear. Assistant Planning & Zoning Division Manager Harding stated a note will be made in the minutes and the discussion was that what Andersen calls divided lites is not really divided lites (Andersen full divided lites are actually the equivalent of simulated divided lites with most window manufacturers).

Board Member Fogarty made a motion to approve with the clarification to the motion of Item 2 (30 S. Spring Street) regarding the intent of requiring *simulated* divided lites and not *true* divided lites. The motion was seconded by Board Member Mead, and it carried 6-0.

OPEN FORUM

NEW BUSINESS

Item 2 603 E. Government Street PHD / Zone SSD, City Council District 6
Garage Extension on a Non-Contributing Structure
Action Taken: Approved with modification.

Flynn Built is seeking approval to extend the existing garage on the front elevation. The proposal includes matching the smooth Hardie Plank lap siding painted to match the existing canary yellow color, a carriage style garage door painted maroon to match the existing shutters, matching the existing asphalt shingles; reusing the two existing exterior doors; and adding one LED flood light.

Bobby Dawson represented the project. Board Member Mead noted he had difficulty visualizing the roof line over the garage extension. Mr. Dawson noted that the design looks weird, but it supposed to be very smooth. The transition is supposed to be sleek and clean to keep with the current model of the homes in the area. Board Member Mead noted it was not clear why the transition didn't go down to a hip eave on the left elevation. Board Member Mead asked for clarification if it was a hip projection out of the lower shed roof. Mr. Dawson answered yes. Board Member Yee asked if the existing shed roof is stick framed or trusses. Mr. Dawson answered stick framed. Board Member Yee agreed with Board Member Mead that it would be nicer looking if the existing shed roof became a hip as a part of the new design as opposed to just continuing the shed and having a hip project off it. Board Member Mead noted that in a conventional subdivision this wouldn't be as visible, but this is the interior court for all of those homes, so it is a second face of the home. Board Member Fogarty asked for clarification from Board Member Mead if the roof covering over the new doorway should be a shed roof. Board Member Mead noted yes, that is appropriate.

Chairperson Salter noted that he does not have a major issue with the roof line, but he is concerned with the proposed flood lights. Mr. Dawson noted that the back of the house already has a flood light and there is no reason why it can't be reused. Chairperson Salter stated that just because the existing flood light is there, does not mean that it is appropriate. This is not a fixture utilized in an approved way in the district. Though this is an SSD and not all regulations apply, it is supposed to blend in and match the existing of the historic district. In Chairperson Salter's opinion, this is not an appropriate fixture and the existing light fixtures under the porch are more appropriate and traditional. Board Member Mead noted that wash lighting does not add to security and a better approach is up or down lighting which will illuminate the structures. Board Member Courtney echoed Board Member Mead's sentiments about security lights and the disruption they can cause for neighbors. Mr. Dawson asked for clarification if the board was stating that the light is unnecessary or if they need to choose a more appropriate light. Board Member Courtney answered a more appropriate light with a downward design would be better.

Board Member Mead made the motion to approve with modification of the lighting selection to be submitted for abbreviated review in light of the comments. Board Member Ramos seconded the motion and it carried 6-0.

Item 3 1400 N. Spring Street NHPD / Zone PR-1AAA, City Council District 6
New Accessory Garage Unit and Covered Porch at a Non-Contributing Structure
Action Taken: Approved as submitted with modification.

Nick Redhead is seeking approval for a new accessory two-car garage unit with a covered roof connecting to a new patio covering off the existing primary structure and replacing the existing concrete driveway with pavers. The new one-story accessory garage will have two garage doors, two entrance doors, and six vinyl windows with simulated divided lites. The siding will be wood lap siding, painted white to match the existing, and the roofing material will be asphalt shingles to match the existing primary structure.

Jason Stuart represented the project. Chairperson Salter asked for clarification on the particular window product. Mr. Stuart answered the Jeld-Wen V4500 series. Chairperson Salter asked staff if the V4500 had been approved in the district previously and the answer was yes. Board Member Mead asked staff for a reminder on the board's scope of review for non-contributing structures in North Hill Preservation District, with a focus on the driveway. Assistant Planning and Zoning Division Manager Harding answered that non-contributing structures are generally required to complement the surrounding district and meant to complement contributing structures in the area. Board Member Mead noted that the existing single load drive services a double load garage and the single load drive branches into double ribbon drives that have been infilled with concrete. The form of the original ribbon drives have been favored in this district and is an existing element of this parcel. Board Member Mead noted that the element of the double ribbon drive could be preserved closer to the street and the infill of pavers around the ribbons would accomplish the objective of more hardscaping for vehicles and it would be consistent with paving around the deck area. It would preserve this element of the existing hardscape and preserve the single to double drives. Chairperson Salter stated that North Hill provided comments with no objections to the request.

Board Member Mead made the motion to approve the project as submitted with modification to reconfigure the double ribbon drives and with the paving between the ribbons and a configuration similar to that of original ribbon drives and to accept the window package as submitted.

Board Member Ramos asked for clarification if the intent was to keep the existing width of the curb cut the same and use the existing ribbons that are there, infill with brick, and expanding and curving for the double loaded driveway. Board Member Mead clarified he was referring to keeping the single load or at least minimizing any additional curb cut would be important, and no, the portions he's referring to cannot be reused because they're going to be covered up by the body the building. The street-ward portion should be simply configured in the same manner as the double ribbon drive and put the pavers between the ribbons, so you still have a single load entry with a double load service at the garage face. Board Member Ramos noted it would expand into a double load but asked for clarification that when it expands into a double load, is it brick paver or concrete. Board Member Mead noted that the ribbon would be concrete, and the infill would be brick paver.

Board Member Ramos seconded the motion.

Assistant Planning and Zoning Division Manager Harding noted that the work will have to start after the curb cut once it is on private property. The City Engineer has strict guidelines for curb cuts, so it will be concrete at first and then the aesthetic portion will start.

Board Member Mead asked to amend the motion for submission of the revised driveway plan for abbreviated review. Board Member Ramos accepted the amendment to the motion, and it carried 6-0.

Item 4 400 E. Intendencia Street PHD / Zone HR-1, City Council District 6
Exterior Alterations at a Contributing Structure

Action Taken: Approved as submitted with options.

Bob Cleveland is seeking approval to infill an existing rear door and match with 1x6 wood siding, painted to match the existing color. The applicant is also proposing wood railing on the front porch with decorative spindles painted white.

Bob Cleveland and Jason Stuart represented the project. Mr. Cleveland clarified that the reason for infilling the door is to accommodate interior, bathroom modifications. Board Member Courtney asked for clarification about the proposed railing. Mr. Cleveland noted that the back of the house has a straight picket, but the board may prefer a more decorative picket and he would also prefer it. Board Member Courtney asked for clarification about the height of the shutter dog on the far left side. Mr. Cleveland did not know the height, but the drawing in the application will return the pickets outside of the shutter dog. Board Member Courtney noted she has a similar situation and added a catch to the top handrail to keep the shutter open and could this be an option in this case. Mr. Cleveland noted that adding a post to return the railing will solve the issue and bushes would hide the post. Mr. Stuart noted the post will be on the edge of the deck instead of on the deck.

Advisor Pristera noted he prefers the more decorative railing on the front and the scrollwork type is more appropriate. Board Member Courtney asked Advisor Pristera for a solution with encountering the shutter dog. Mr. Stuart noted he has measured, and the rail will be outside of the shutter. The shutter dog is at the edge of the existing porch deck, so the post will be on the outside edge of the deck. Board Member Courtney asked if the partial post was still necessary with the decorative panels to stay outside of the shutter dog. Mr. Cleveland and Mr. Stuart confirmed yes. Board Member Courtney asked the board for another solution that would be better than the post. Board Member Yee asked for clarification on how the new railing is connected. Mr. Stuart noted that the railing will fasten onto the face of the fascia on the deck. Board Member Yee asked if it was possible to mount the new post three inches off the face of the siding of the house, in front of the shutter so that there is still enough clearance for the shutter to be operable. Mr. Cleveland noted he would prefer to run the railing from the existing column back to the house and if it meets board approval, he will bring the shutter out and rest it against the railing much like what Board Member Courtney suggested.

Board Member Ramos asked the height of the porch off the ground and the height of the window sill from the porch. Mr. Cleveland noted the porch is 24 inches from the ground and the sill is probably 24 inches off the deck. Mr. Stuart noted the sill is probably 28-30 inches off the deck. Board Member Ramos noted if the code doesn't require a railing, a lower railing could be installed. Mr. Cleveland stated this was originally a safety issue for young grandchildren, but prefers the option to return to the house and rest the shutter dog against the rail. Or the option for the extra post on the outside of the deck would also work and that post would match the posts on the steps.

Board Member Yee noted that on street view there are houses with railings on the front but not the side of the porch, which is a possibility. Chairperson Salter noted that either option would be appropriate, and his preference would be no railing or to keep the rail in line with the existing column and either style is appropriate, and have the shutter slightly open. Mr. Cleveland noted that either of those options are acceptable as the homeowner. Board Member Yee asked if the board must provide clear direction or if the applicant can be given the option to do either. Chairperson Salter stated the motion could be made to accommodate either option.

Board Member Yee made a motion to approve the application with the applicant given the option of either no railing or centering the new railing on the existing posts, with regard to the style it is also at the applicant's discretion since the board seemed agreeable to either option. Board Member Mead seconded the motion and it carried 6-0.

**Item 5 400 BLK E. LaRua Street OEHPD / Zone OEHC-1, City Council District 6
New Construction of a Primary and Accessory Structure**

Action Taken: Approved with abbreviated review required.

Peter Manis is requesting approval to construct a new, one-story single-family dwelling with a detached garage. The proposed structures will have smooth Hardie Plank board and batten siding, single hung vinyl windows with a two over one grid pattern with simulated divided lites, hurricane rated colonial shutters on the front porch only, and smooth standing seam metal roofs on both structures. The applicant is proposing a flat top wood fence on the east, north, and west perimeters and the driveway will be composed of permeable pavers with a black powder coated aluminum gate.

Cassandra Manis represented the project. Board Member Mead asked for clarification on the bathroom side façade windows and sought more consistency. The smaller window on the left elevation is less obtrusive and fits better. The horizontal windows on the right elevation seem too long and need to be broken into two elements or have a mullion element in them which will match the split mullions in the sash windows. The windows should be of similar size across the façade for consistency. Ms. Manis asked if the largest fixed window on the right elevation should be smaller to match the other windows on that façade. Board Member stated it is preferable. Board Member Ramos asked for clarification on the far right window of the right elevation, that if it should match the window over the kitchen sink or should all three of the smaller windows on the right elevation match. Chairperson Salter noted that the horizontal windows are the biggest indicator of new construction and when there is an elevation with so many horizontal windows, it becomes a dominate aspect of the elevation. The board encourages applicants to add something to make the windows feel more vertical, either reduce in width or increase in height toward a square proportion or break them up into two square windows or add trim below the window and change the siding to look like a fake shutter with a transom window above. Chairperson Salter noted that the three windows on the right elevation need to be more consistent with a vertical element to add division and a vertical feel. Adjusting the windows will help the house fit in with the historic nature of the area.

Ms. Manis noted that possible railing was depicted for the front porch, but the preference is no railing unless code requires it. Ms. Manis would like to have it considered in case it is necessary. Board Member Mead asked for the terrain elevation change and Ms. Manis answered it is negative slope from the back of the lot to the front. The property to the left was roughly 1-1.5 inches off from requiring railing per code. Board Member Mead noted the board is usually concerned with the height of the foundation profile, but if that base is fading into slope at the rear, it is much less of a concern and the base reveal can be adjusted at the back.

Board Member Mead made a motion to approve the application as submitted with submission for abbreviated review of altered window profiles for the horizontal windows on both facades to more of a square or gang squares profile, consistent with the comments and the prior applications and those required that the Chair referenced and that accommodation be made for diminishing the foundation reveal at the rear if necessary to accommodate a height below the elevation of the porch at the front that would require railing. Board Member Fogarty

seconded the motion.

Ms. Manis asked for clarification on the treatment for addressing the fact the rear elevation is four inches and the front elevation is roughly 30 inches. Board Member Mead clarified that it is fine if the rear foundation reveal diminishes to four inches, if that is what is needed to get below 30 inches on the front. Or the if the foundation remains as depicted, the rail is fine too. Board Member Ramos asked if the board was approving the railing that is in the package. Board Member Mead noted yes, approved as submitted. Board Member Ramos asked if the board had approved a rail with that profile in the past in that district. Assistant Planning and Zoning Division Manager Harding noted yes the board has approved a similar rail in the past and typically the wrought iron look has been approved in all the districts and it depends on the architecture. Board Member Ramos noted that the motion is clarified rather than amended. Board Member Mead noted that both the right and left elevations should be submitted for abbreviated review in regard to the horizontal windows.

The clarified motion carried 6-0.

Item 6 21 E. Garden Street PHBD / Zone C-2A, City Council District 6
Renovation of a Non-Contributing Structure
Action Taken: Approved.

John Mascia is seeking approval to renovate a non-contributing drive thru bank facility into a drive thru and pick up restaurant. The proposal includes painting the exterior; removing the bank ATM machine, an awning, and an access panel to be infilled with brick veneer wall to match the existing; removing one curb; and replacing the existing drive thru window.

Steve Del Gallo represented the project as the building manager. Board Member Mead asked staff for clarification on what historic district this property falls in and the scope of the board's review on things like colors and the like. Assistant Planning and Zoning Division Manager Harding noted it is Palafox Historic Business District and since paint colors are included as part of the overall permitted work or requested work, the board does have review authority on colors; however, colors in the Palafox Historic Business District do not have to follow historical palettes. Board Member Mead asked the applicant if the signage and coloring in the application represent what is being proposed or is it an example. Mr. Del Gallo noted that the application included an image of an existing facility in Boston and the orange color is on brand and the existing structure is fairly close to the proposed gray color. Board Member Mead asked if the signage was also being reviewed for approval. Mr. Del Gallo stated no, there will be no signage on the structure itself. There is an existing monument sign from Wells Fargo on Jefferson Street that will be used. Assistant Planning and Zoning Division Manager Harding noted that all signage will come back for abbreviated review. The existing monument sign is one of a few internally illuminated signs, which is now prohibited; however, since it is existing non-conforming, it has traditionally been allowed to change out the face but the second the structure is altered, it becomes non-conforming and it must be taken down. Based on discussions with the applicant, just the face will be changed out.

Board Member Mead asked if there will be changes to the lighting. Mr. Del Gallo stated no, the canopy is lit and there are parking lot lights, so it is sufficiently lit at night. Board Member Fogarty asked about the multiple drive thru lanes and if they will be utilized. Mr. Del Gallo noted that the structure will not be modified and the one island is being removed because it is narrow and difficult to maneuver up to the window. There is no plan to change any of the other drive thru lanes. Mr. Del Gallo clarified that the plan is to enter from Jefferson Street and loop around into the drive thru, and

the plan is to close off the Brue Street access.

Board Member Yee made a motion to approve. Board Member Mead seconded the motion and it carried 6-0.

**Item 67 23 W. Cervantes Street
Renovation of a Non-Contributing Structure
Action Taken: Approved.**

NHPD / Zone PC-1, City Council District 6

Jordan Yee is seeking approval to renovate a non-contributing vacant service station for a new business. The proposal includes enlarging one of two existing doors in the west brick elevation, the second door being infilled; installing a new egress door in the east brick elevation; replacement of existing fluorescent canopy lighting with new low profile LED lighting; replacing the existing shingle roof with a new shingle roof; painting the existing metal siding and trim; and painting the existing brick. The existing aluminum storefront will remain.

Jordan Yee represented the project and noted that the applicant has interacted with the North Hill Neighborhood Association, and they seem to be positive with the adaptive reuse and appreciate the minimal changes to the exterior, isolated to painting the structure and swapping out the under-canopy lights. The old fluorescent tube lights are likely inoperable, and the new fixtures are similar in proportion. Chairperson Salter noted the North Hill Preservation Association provided comments with no objections. Board Member Fogarty asked for clarification on where parking would occur. Mr. Yee stated that the applicant had a pre-app meeting with FDOT and it was requested that one of the Cervantes Street curb cuts be closed, but it is not clear which one. The applicant is not proposing any changes to pavement. The conditional use application included a site plan that indicates the dumpster location on the southwest corner of the building where the door is being infilled. There is a 30-foot rear yard, and the new dumpster pad will be in the rear grass area. A striping plan will make use of the existing pavement.

Assistant Planning and Zoning Division Manager Harding noted that restaurants are not allowed by right in the PC-1 zoning district, so the applicant is seeking a conditional use that is going to the Planning Board in June and if approval is recommended, will go on to City Council. While in PC-1 this structure is also in the downtown CRA and because this is proposed to be an eating and drinking establishment, there is a 100% parking reduction. If there will be parking, as part of the permitting process a striping plan will be required.

Board Member Mead asked for clarification about restaurants not being allowed in PC-1 zoning district. Assistant Planning and Zoning Division Manager Harding answered that restaurants are only allowed in PC-1 as a conditional use, so it must go to Planning Board and City Council to be allowed. Board Member Mead noted that Hopkins House was a restaurant that once operated right across the street in PC-1, so the proposal for this restaurant is replacing something that was lost and not adding a use that was never there before. Assistant Planning and Zoning Division Manager Harding noted this fact will be included in the minutes and the goal of coming before ARB prior to the Planning Board was the ability to include the ARB minutes as a part of the Planning Board packet that will go to City Council. The ARB's comments will be in support or opposition to the project when Planning Board considers the conditional use request.

Board Member Mead asked if the intent was to use the roll up doors. Mr. Yee noted they are the existing roll up doors and imagines they will be open on nice days. Board Member Mead asked about

the high roofline of the canopy and will it be problematic with rain. Mr. Yee had not discussed this with the applicant and perhaps in the future this may be addressed but it is not part of the current proposal. Board Member Mead asked about outdoor dining furniture and if it will remain in place during operational hours. Mr. Yee answered the building owner will ultimately decide, but it would be a good idea to secure it with a cable and lock. Board Member Mead clarified that there is an architectural element to stored furniture being left in view, especially if glommed together and cabled up, which is not as aesthetically pleasing. If the furniture is left in the configuration and not stored away, there is a potential for attracting nuisance that would be a concern to the neighborhood. Board Member Mead would like to see attention to this question on both counts, how it is viewed when not operating and how the furniture will be stored or configured.

Chairperson Salter addressed the painting of the brick, noting that this is a non-contributing structure and the brick is not a key architectural feature. In this instance, painting the brick and giving a consistent, modern feel is probably a key aspect in its revitalization. Chairperson Salter does not have an issue with painting the brick for this project. Advisor Pristera reiterated that this project and the past project show that there are people interested in these smaller, funkier buildings. The Trailways building could potentially be used like this and it is a hot property right now, and small businesses and restaurants could make a good use for it. Advisor Pristera wanted to reinforce that they don't have to be demolished and he is glad to see that this one has a new life to it. Board Member Mead asked if the curb islands and curbs against the building have steel reinforcement and what is the plan for those in terms of color. Mr. Yee answered yes, they are reinforced with steel and the plans indicate that the curbs will be painted the gray color that was proposed in the packet.

Board Member Fogarty made a motion to approve. Board Member Courtney seconded, and the motion carried 6-0.

Cultural Resources Coordinator Walker noted that in considering feedback from recent applicants, the hard copy submission requirement has been reduced from ten hard copies to eight.

ADJOURNMENT

With no further business, the meeting adjourned at 3:23 p.m.

Respectfully Submitted,



Cultural Resources Coordinator Walker
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00459

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

1401 N. Barcelona Street
North Hill Preservation District / Zone PR-1AAA / City Council District 6
Change of Siding on a Non-Contributing Structure

BACKGROUND:

Elizabeth Jasperson is seeking approval to replace all plywood siding with Hardie Plank smooth vertical siding to match the existing board and batten with 16-inch boards on center with 1.5 inch battens, painted in the color Nomadic Desert from the Sherwin Williams HGTV American Heritage collection.

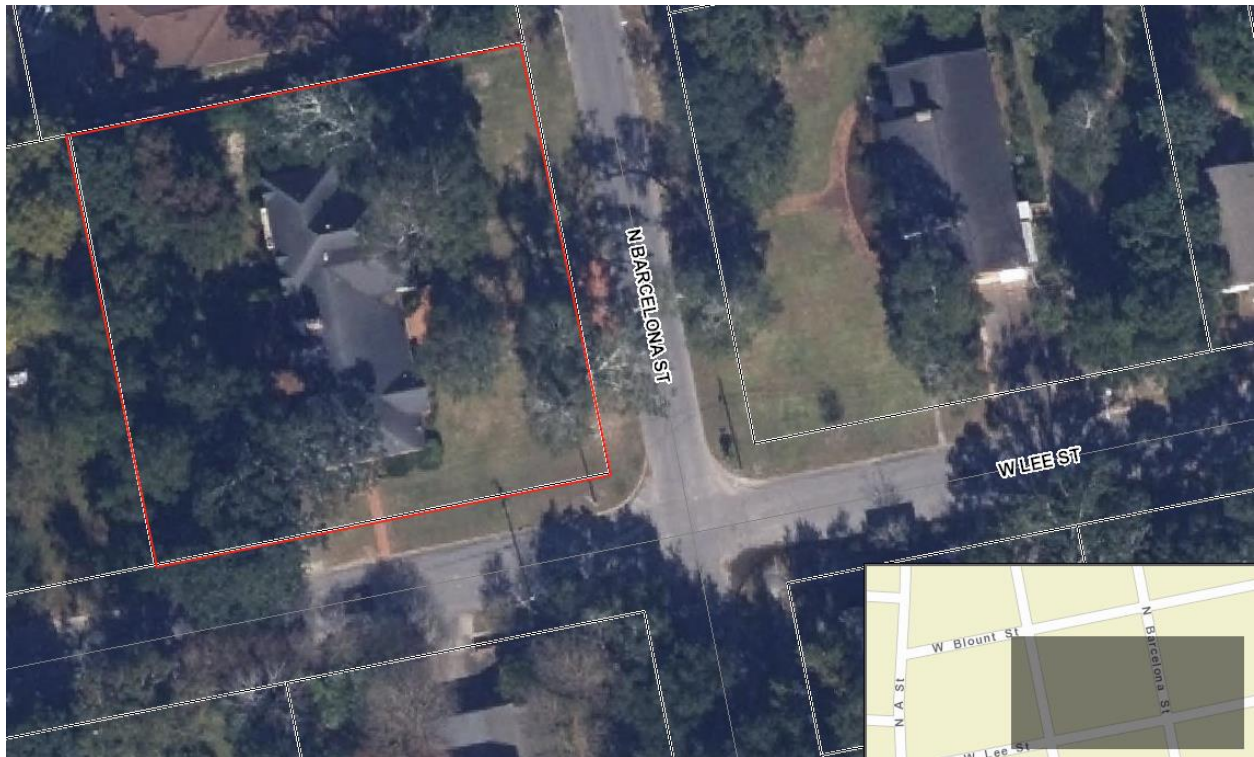
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)e.5. NHPD; Paint colors

Sec. 12-3-10(2)g. NHPD; Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.

1401 N. Barcelona Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 5/15/2023

Project Address: 1401 N Barcelona St Pensacola FL 32501

Applicant: Elizabeth Jasperson / Your Local Construction, LLC- Dustin Vaughn

Applicant's Address: 917 Rio Vista Dr Pensacola Beach FL 32561

Email: elizabethwwms@yahoo.com **Phone:** 850-287-4892

Property Owner: Elizabeth W Jasperson

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Replace all plywood with Hardie Vertical Smooth Plank to the exact specifications on Boards and Battens 16 from the center with 1.5 Inch battens. Repaint exact color .

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

5/15/2023

Date

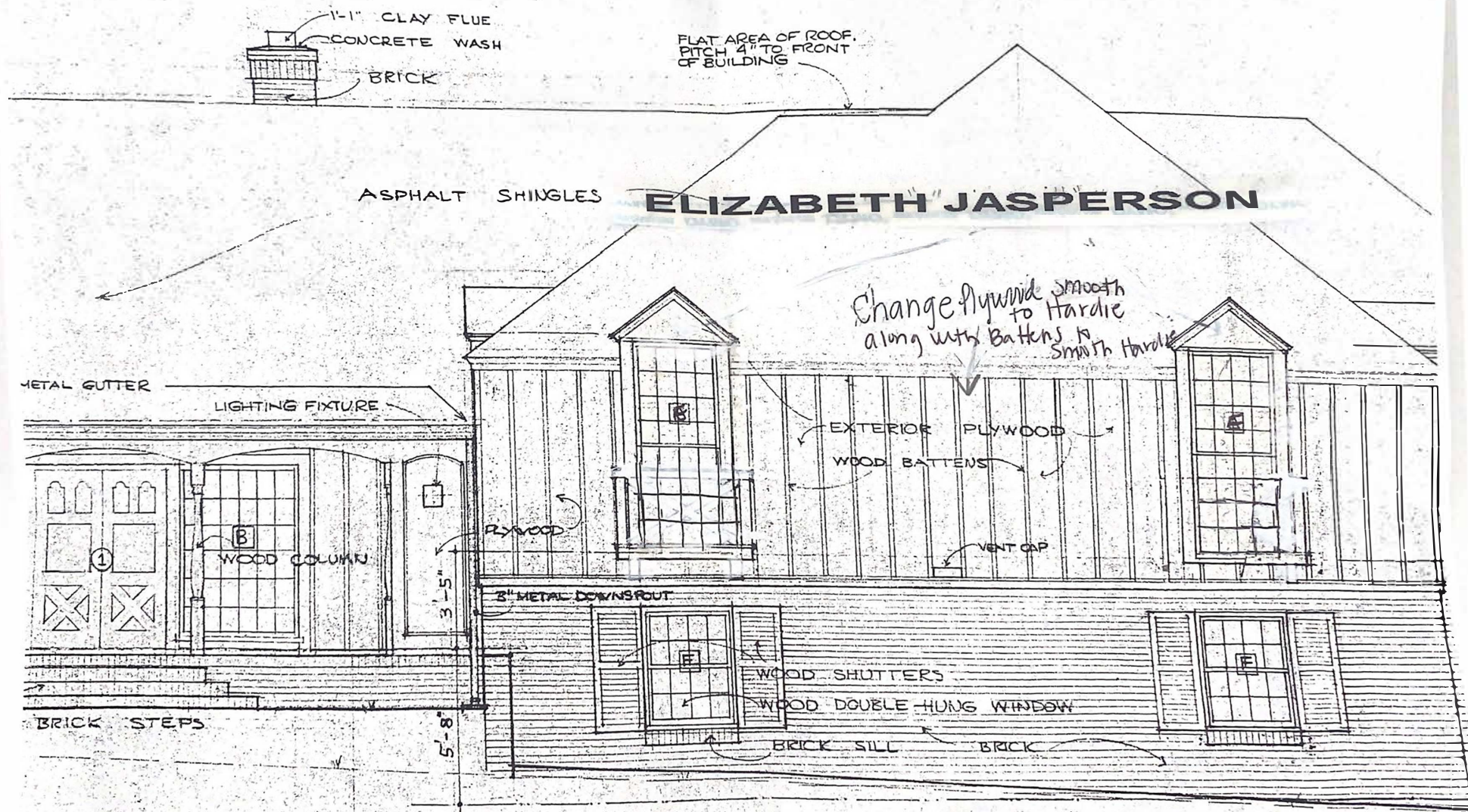






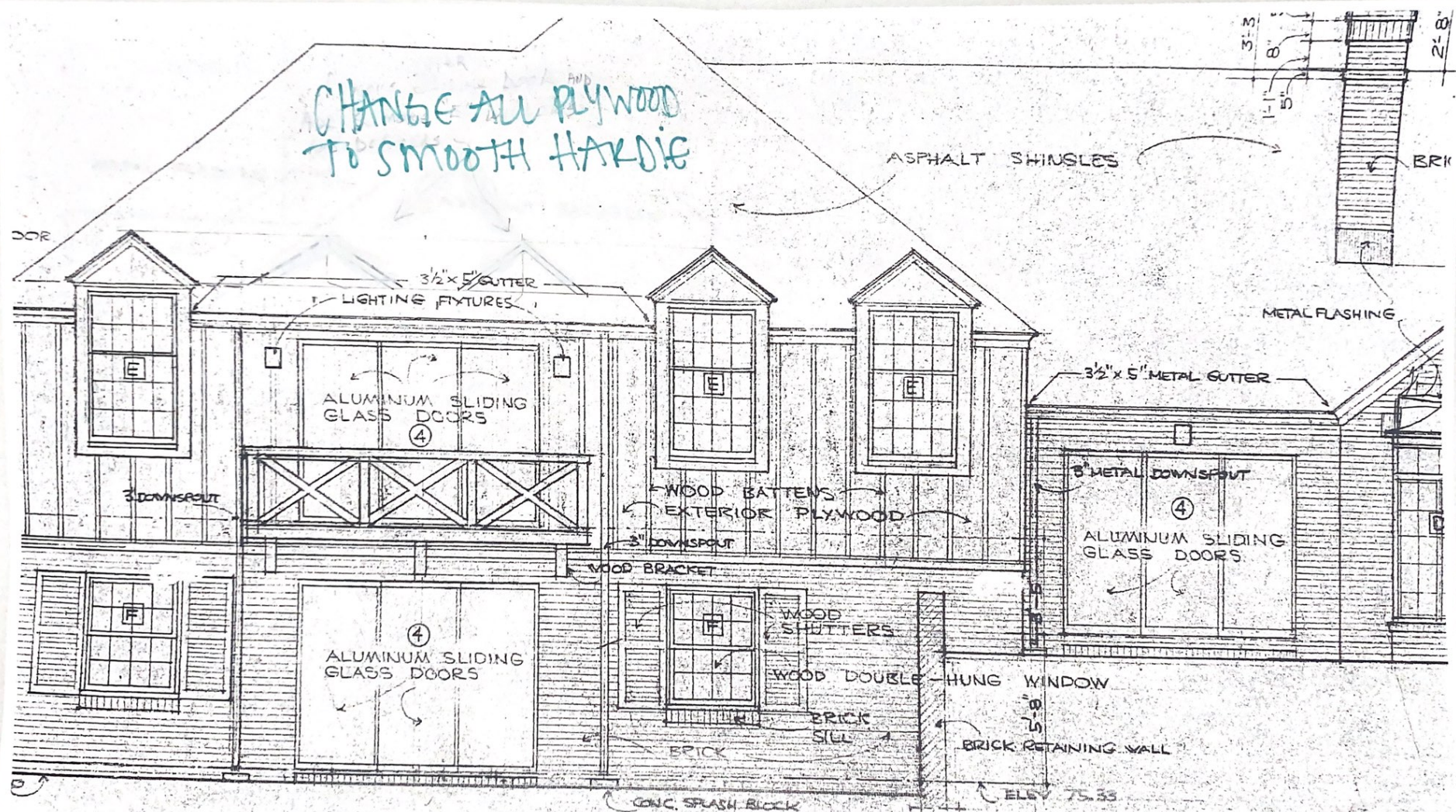






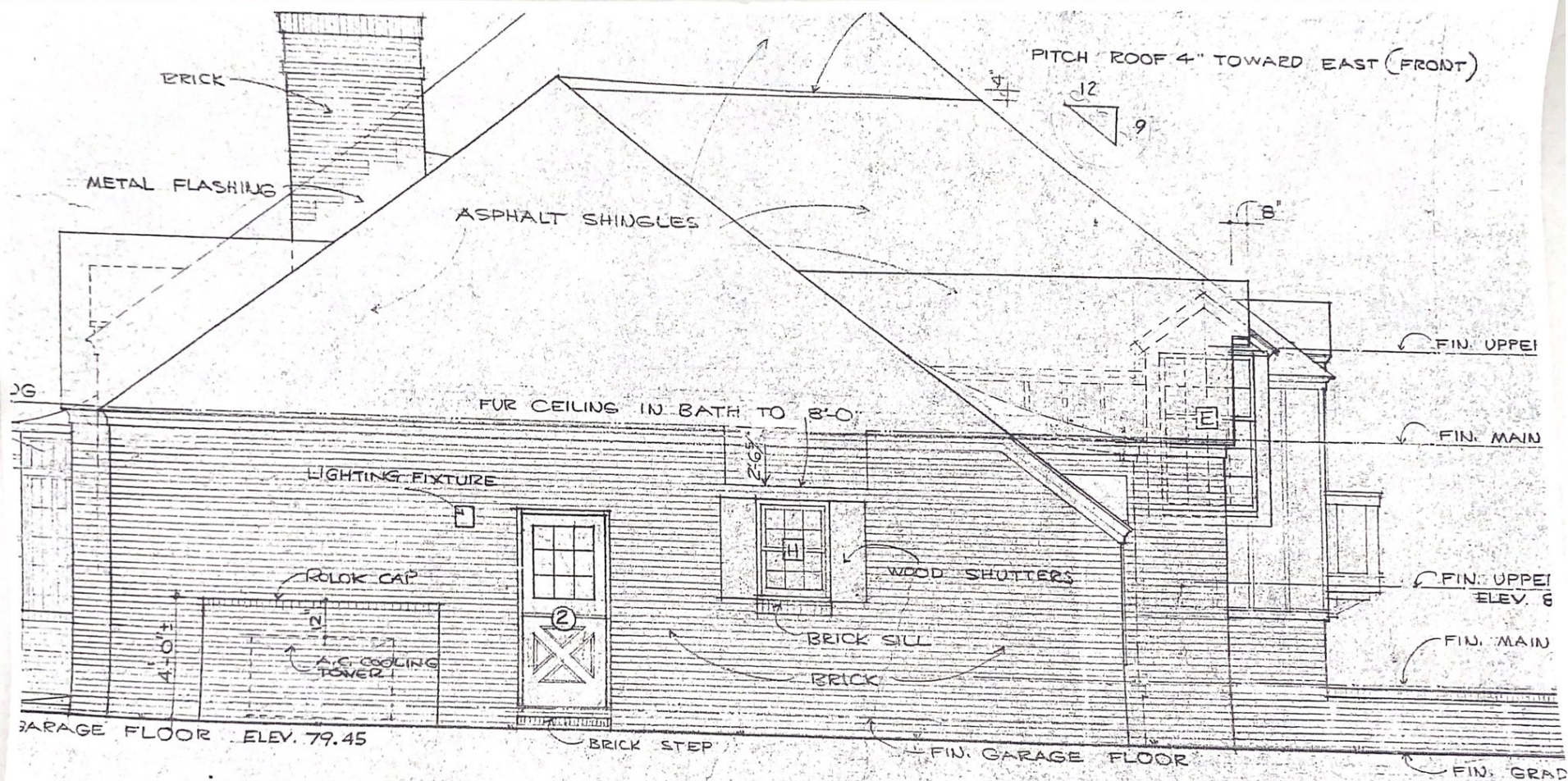
A C T F I E U L T





FINISH GRADES TO PITCH AWAY FROM
BUILDING AT MINIMUM SLOPE OF 1:20

WEST ELEVATION
SCALE 1/4" = 1'-0"



S O U T H E L E V A T I O N
SCALE 1/4" = 1'-0"

NOTE: FINISH GRADES TO BE
BUILDING AT MINIMUM



HARDIE® PANEL VERTICAL SIDING

SMOOTH

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS:	0.312"	
LENGTH:	108"	120"
WIDTHS:	48"	48"
	96"	
	48"	




Nomadic Desert

HGSW6107 Previously: HGSW3146

Color Collections

AMERICAN HERITAGE

Color Information 

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00460

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

1414 N. Baylen Street
North Hill Preservation District / Zone PR-1AAA / City Council District 6
New Accessory Structure for a Non-Contributing Structure

BACKGROUND:

Tuff Shed, Inc. is seeking approval to install an 8 x 8 ft. portable prefabricated shed on the ground surface with a shed floor. The shed will have a single door; vertical, engineered wood siding; and a dimensional shingle roof.

Please find attached all relevant documentation for your review.

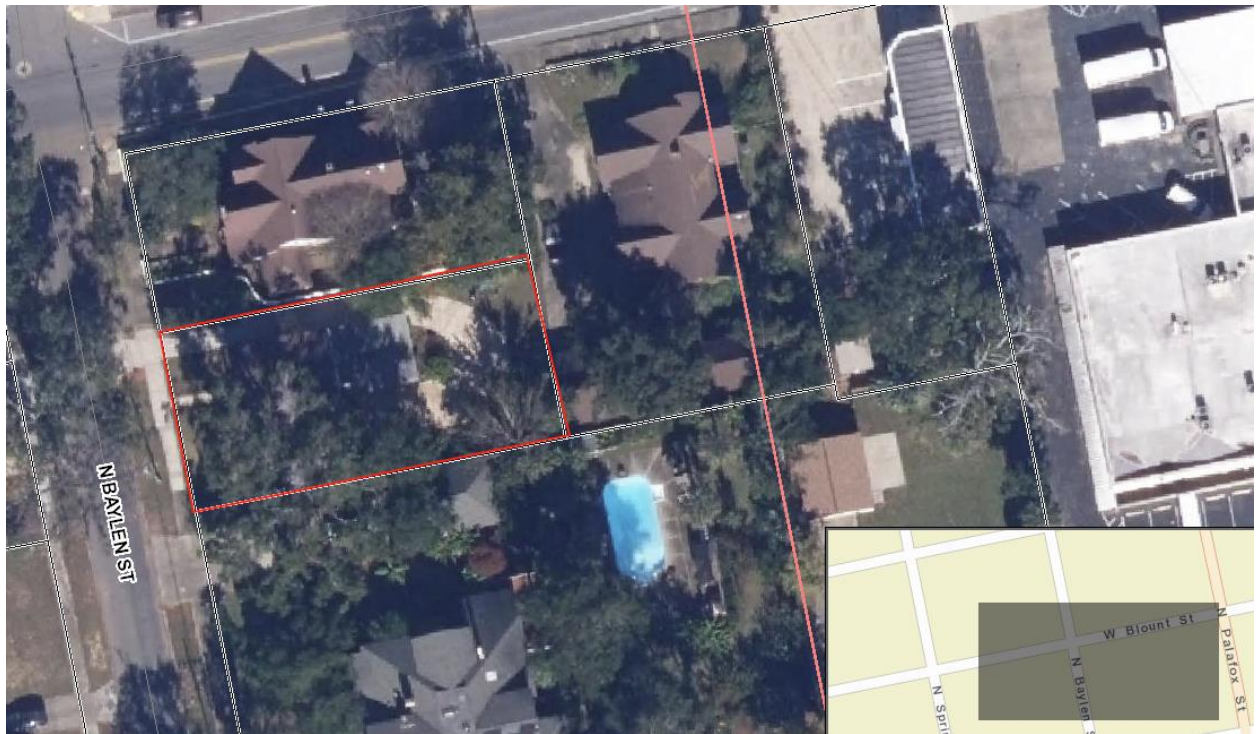
RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)e.5. NHPD; Paint colors

Sec. 12-3-10(2)g. NHPD; Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.

Sec. 12-3-10(2)h. NHPD; Regulations for new construction and additions to existing structures in the North Hill preservation district.

1414 N. Baylen Street



**Architectural Review Board Application
Full Board Review**

Application Date: 05.23.2023

Project Address: 1414 North Baylen Street Pensacola, FL 32501

Applicant: Tuff Shed, INC / Savannah Hudson

Applicant's Address: 3450 Armour Ave Mobile, AL 36617

Email: licenses@tuffshed.com Phone: 251-244-4537

Property Owner: Chris Turnage

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

NO MEPF. Install of a 8x8 portable prefabricated shed on dirt with shed floor.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

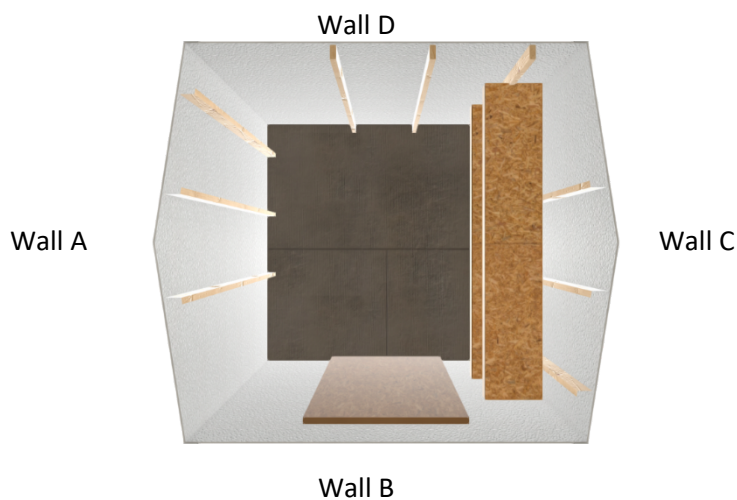
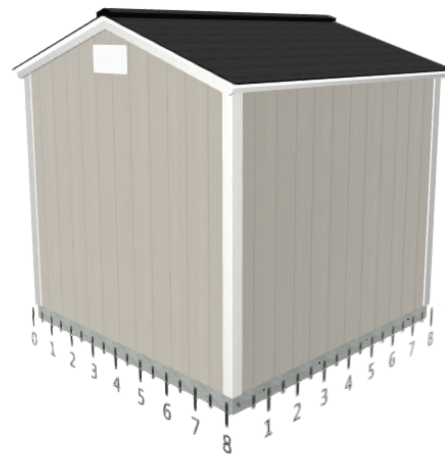
Savannah Hudson
Applicant Signature

05.23.2023
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



Cris Turnage
1414 North Baylen Street
Pensacola FL 32501
Q-2181251



Base Details

Building Size & Style

Premier Ranch - 8' wide by 8' long

Door

4' x 6'2" Single Shed Door, Left Hinge Placement

Paint Selection

Base: Ghost Writer, Trim: Delicate White

Roof Selection

Charcoal Dimensional Premium Shingle

Drip Edge

White

Is a permit required for this job?

Yes

Who is pulling the permit?

Tuff Shed

Options Details

High Wind

High Wind - Retail

Roof

8 Lin Ft Ridge Vent

Floor and Foundation

4 Ea Shed Anchor into Dirt - Auger or MR88

Interior

16 Lin Ft Shelving - 16" deep

Vents

2 Ea 16"x8" Wall Vent - White

Shelving Locations

Shelving on Side C at 39", 60".

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Dirt/Gravel

DocuSigned by:

Cristal R. Turnage

Signature:

Date: 5/17/2023

B521C9B6201649D...

UNINHABITED UTILITY SHED UP TO 12' WIDE x UP TO 24' LONG
SR600, TR700, PR

NOTES:

1. BUILDING CODE: FLORIDA BUILDING CODE, 7th EDITION (2020)
BUILDINGS ARE NOT FOR HIGH-VELOCITY HURRICANE ZONES (HVHZ)

2. DESIGN LOADING:

WIND SPEED: $V_{ult} = 165$
 $V_{asd} = 128$

EXPOSURE: C

ROOF LIVE LOAD: 20 PSF

ROOF DEAD LOAD: 10 PSF

FLOOR LIVE LOAD: MIN. 50 PSF (SEE NOTE 5, DETAIL 1, SHEET 3)

RISK CATEGORY: I

COMPONENT AND CLADDING: ROOF: 21/-33 PSF (ZONE 1)
WIND PRESSURE (psf) (ASD VALUES) 21/-57 PSF (ZONE 2)
(BASED ON 10 SQ FT) 21/-84 PSF (ZONE 3)

WALL: 36/-39 PSF (ZONE 4)
36/-48 PSF (ZONE 5)

HEADER NAILING:

HEADER TO STUD - 4-16d END NAIL DOUBLED HEADER

- 16d @ 16" STAGGERED FACE NAIL

NAILING:

REFER TO SHEET 2 FOR WALL AND ROOF SHEATHING NAILING.

MAX WALL HEIGHT FOR EACH SHED:

SR600 - 5'-8¼" (68¼")

TR700 - 6'-8¼" (80¼")

PR - 6'-8¼" (80¼")

SHED SIZE CHART				
WIDTH	PITCH	SIDEWALL HEIGHT	OVERALL HEIGHT	MID-ROOF HEIGHT
6'	4/12	5'-8¼"	7'-5 ¹³ / ₁₆ "	6'-11 ¹ / ₈ "
8'	4/12	5'-8¼"	7'-9 ¹ / ₁₆ "	7'-1 ¹ / ₁₆ "
10'	4/12	5'-8¼"	8'-1 ⁹ / ₁₆ "	7'-3 ¹ / ₁₆ "
12'	4/12	5'-8¼"	8'-5 ¹ / ₂ "	7'-5"
6'	4/12	6'-8¼"	8'-5 ¹³ / ₁₆ "	7'-11 ¹ / ₈ "
8'	4/12	6'-8¼"	8'-9 ¹ / ₁₆ "	8'-1 ¹ / ₁₆ "
10'	4/12	6'-8¼"	9'-1 ⁹ / ₁₆ "	8'-3 ¹ / ₁₆ "
12'	4/12	6'-8¼"	9'-5 ¹ / ₂ "	8'-5"

ROOF SHEATHING (⅞" OSB)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-18'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
8'	8'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
10'	10'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.
12'	12'-24'	8d NAILS @ 12" O.C	8d NAILS @ 4" O.C.

NOTES:

1. USE 8d COMMON OR GALVANIZED BOX NAILS.

⅜" SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
SIDEWALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

⅜" SMARTSIDE NAILING REQUIREMENTS FOR SR600, TR700, AND PR			
END WALL NAILING (MIN. 2'-0" RETURN EACH END)			
WIDTH	LENGTH	FIELD NAILING	EDGE NAILING
6'	6'-20'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
8'	8'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
10'	10'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.
12'	12'-24'	8d NAILS @ 6" O.C.	8d NAILS @ 3" O.C.

SIDING TABLE NOTES:

1. NAILING IS FOR ⅜" SMARTSIDE PANEL OR ⅜" SMARTSIDE WITH FOIL BACKER.

2. MINIMUM 2'-0" RETURN FROM EACH END OF EACH WALL.

3. NO SINGLE OPENING GREATER THAN 8'-0"

4. * 6' WIDE X 6'-9' LENGTH BUILDINGS ARE BASED ON 3-SIDED DIAPHRAGM. THE END WALL OPPOSITE OF THE OPENING MUST BE FULLY SHEATHED, IN THE 3-SIDED DIAPHRAGM CASES. THE END WALL WITH THE OPENING DOES NOT HAVE A MIN. RETURN WALL ON EACH SIDE OF THE OPENING.

5. USE COMMON OR GALVANIZED BOX NAILS.

6. ON THESE BUILDINGS 6' X 10' THE 3' DOOR IN THE END WALL WILL NEED TO BE OFF SET. THERE WILL BE A 2' PANEL ON ONE SIDE AND A 1' PANEL ON THE OTHER SIDE OF THE DOOR.

7. BUILDING SIZES BELOW REQUIRE SHEATHING ON BOTH SIDES OF WALL WITH OPENING (⅞" OSB ON INSIDE OF WALL):

6'X10' WITH 3' OF OPENING ON END WALL WITH 2' OF SHEAR (SEE NOTE 6)

8'X16'-24' WITH 3' OF OPENING ON END WALL WITH 5' OF SHEAR

8'X14'-22' WITH 4' OF OPENING ON END WALL WITH 4' OF SHEAR

10'X20'-24' WITH 3' OF OPENING ON END WALL WITH 7' OF SHEAR

10'X18'-24' WITH 4' OF OPENING ON END WALL WITH 6' OF SHEAR

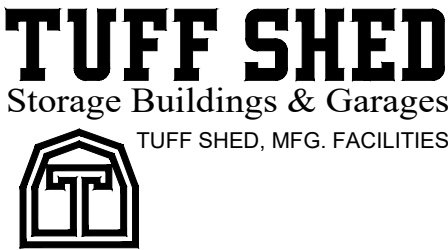
10'X12'-24' WITH 6' OF OPENING ON END WALL WITH 4' OF SHEAR

12'X18'-24' WITH 6' OF OPENING ON END WALL WITH 6' OF SHEAR

12'X14'-24' WITH 8' OF OPENING ON END WALL WITH 4' OF SHEAR

8. NO OPENINGS ARE ALLOWED ON THE END WALLS OF 6' WIDE BUILDINGS LONGER THAN 14'. THE ENDWALL OF 6' WIDE X 10'-14' LONG BUILDINGS MAY HAVE A SINGLE 2' OPENING CENTERED ON THE WALL.

FL PRODUCT APPROVALS			
PRODUCT TYPE	MANUFACTURER	MODEL	FL PRODUCT #
SIDING (PANEL)	LP BUILDING SOLUTIONS	SIDING	FL9190.3
SIDING (LAP)	JAMES HARDIE BUILDING PRODUCTS, INC	LAP	FL10477.1
SIDING (CEMENT)	JAMES HARDIE BUILDING PRODUCTS, INC	CEMENT STUCCO	FL13223.2
IMPACT SLIDING WINDOW	ECO IMPACT SLIDER	IMPACT SLIDER	NOA 19-0219.08
SLIDING WINDOW	TAFCO CORPORATION	SLIDER	FL20743.1
TUFF SHED DOUBLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.1
TUFF SHED DOUBLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.2
TUFF SHED SINGLE DOOR	TUFF SHED, INC.	SHED DOOR	FL22202.3
TUFF SHED SINGLE DOOR (HVHZ)	TUFF SHED, INC.	SHED DOOR	FL22202.4
STEEL DOOR INSWING	JELD-WEN	6 PANEL/3068	FL11136.1
STEEL DOOR OUTSWING	JELD-WEN	6 PANEL/3068	FL11136.2
FULL LITE DOOR	JELD-WEN	EXTERIOR DOOR	FL17454.1
9 LITE DOOR INSWING	JELD-WEN	EXTERIOR DOOR	FL12509.2
9 LITE DOOR OUTSWING	JELD-WEN	EXTERIOR DOOR	FL12509.4
FLOOD VENTS	FLOOD SOLUTIONS	FOUNDATION	FL17588.1
RIDGE VENTS	GAF COBRA RIDGE RUNNER	RIDGE VENT	NOA 17-0822.06
RIDGE VENTS	GAF COBRA RIGID VENT3	RIDGE VENT	FL6267.1
IMPACT RESISTANT OVERHEAD GARAGE DOOR	OVERHEAD DOOR CORP	GARAGE DOOR	FL14170.6
ROOF UNDERLAYMENT	GAF	FELTBUSTER	FL18686.1
ASPHALT SHINGLES	GAF	SHINGLES	FL10124.1
METAL ROOFING	MARLYN METALS, INC	MAR-RIB	FL8993



Order #. _____

Customer: _____

Site Address: _____

Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____

P.O. # _____

Drawn By: PK

Date: 6/21/21

Checked By: _____

Date: _____

Scale: N.T.S.

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TUFF SHED, INC.
ENGINEERING DEPARTMENT

RICHARD J. WILLS, P.E.
RWILLS@TUFFSHED.COM
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

TITLE

PROJECT NOTES

NAILING REQUIREMENTS

FBC, 7th EDITION (2020)

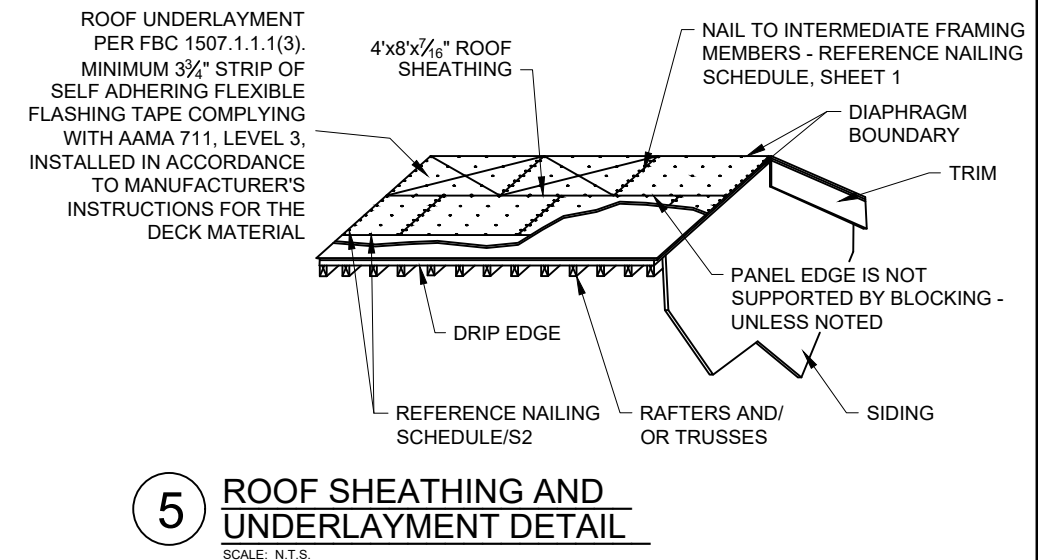
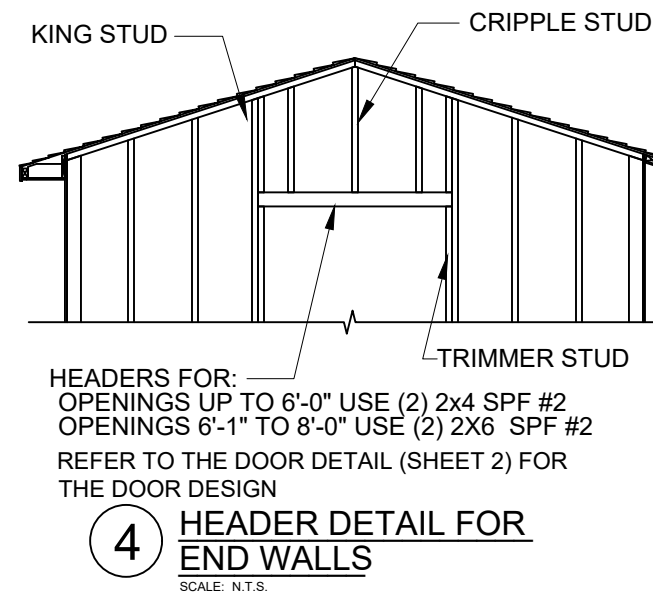
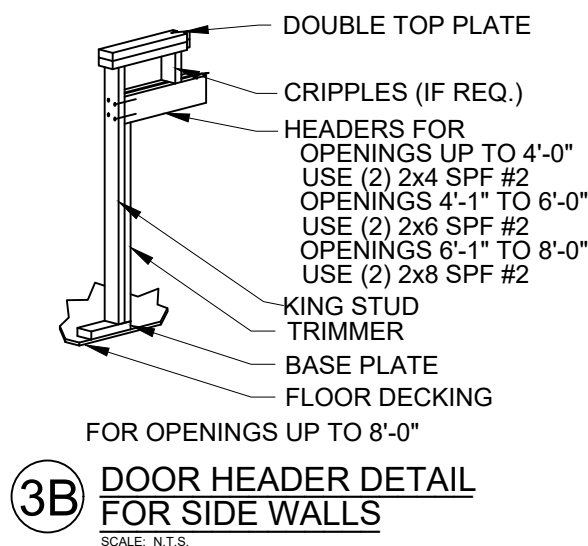
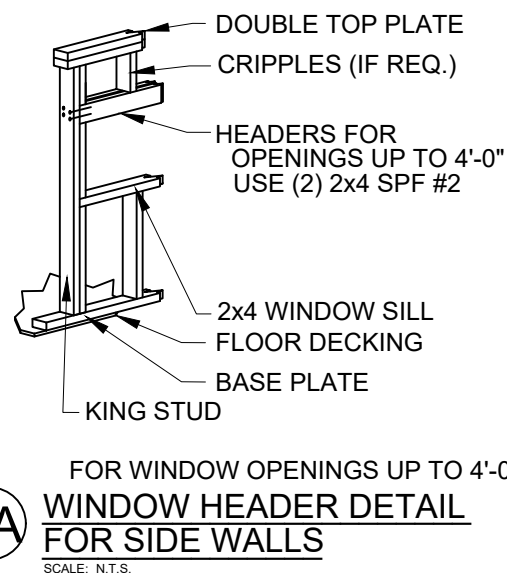
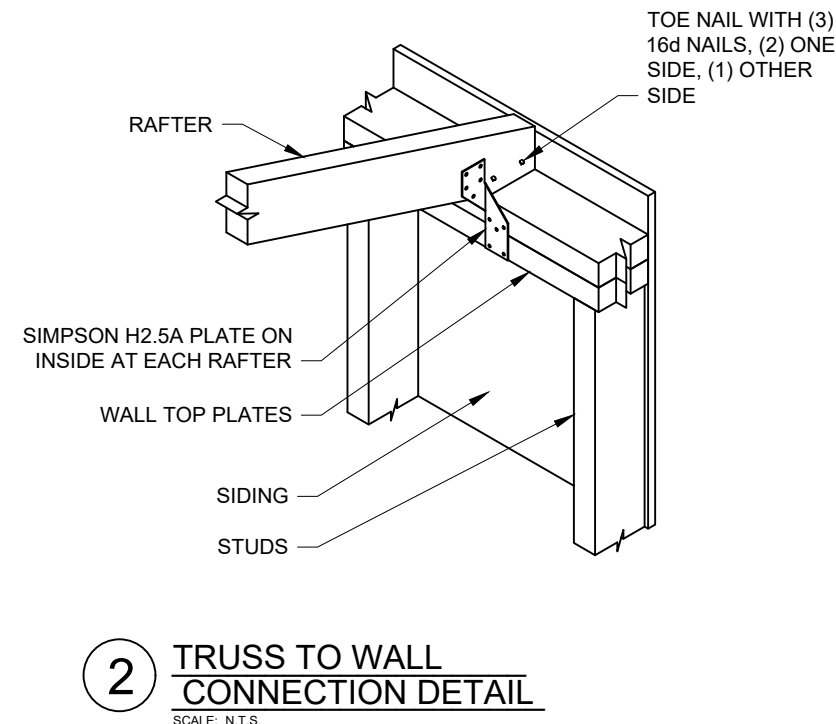
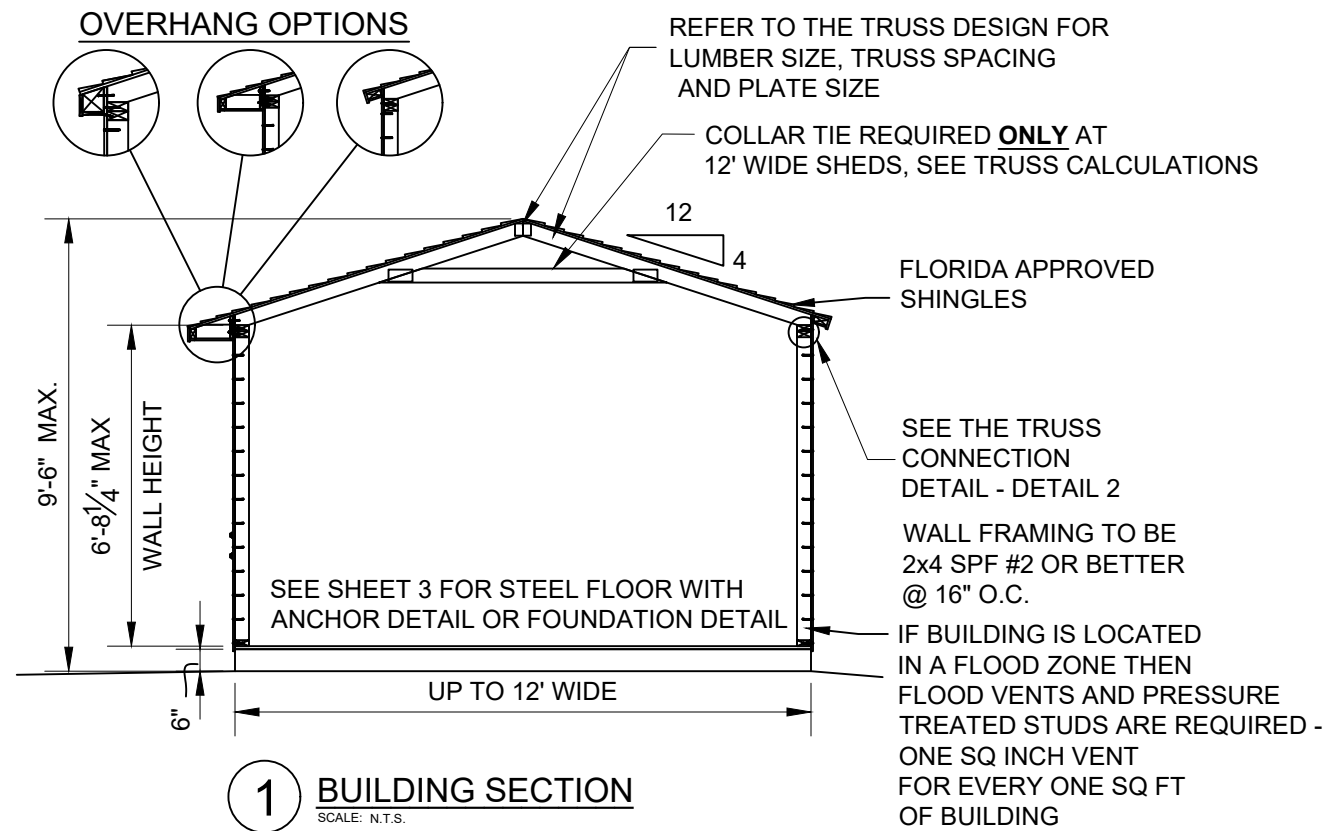
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DRAWING NO.
FL-PR-SR-TR-01

REV. LEVEL 01

SHEET 1

PAGE 1 OF 4



Order #. _____

Customer: _____

Site Address: _____

Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____

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TITLE

BUILDING SECTIONS

HEADER FRAMING DETAILS

FBC, 7th EDITION (2020)

162C

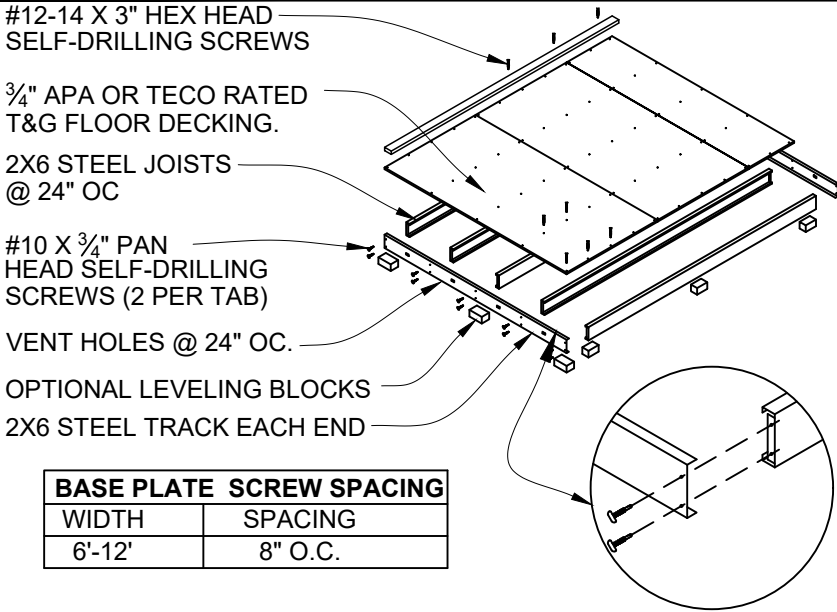
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FL-PR-SR-TR-01

REV. LEVEL 01

SHEET 2

PAGE 2 OF 4

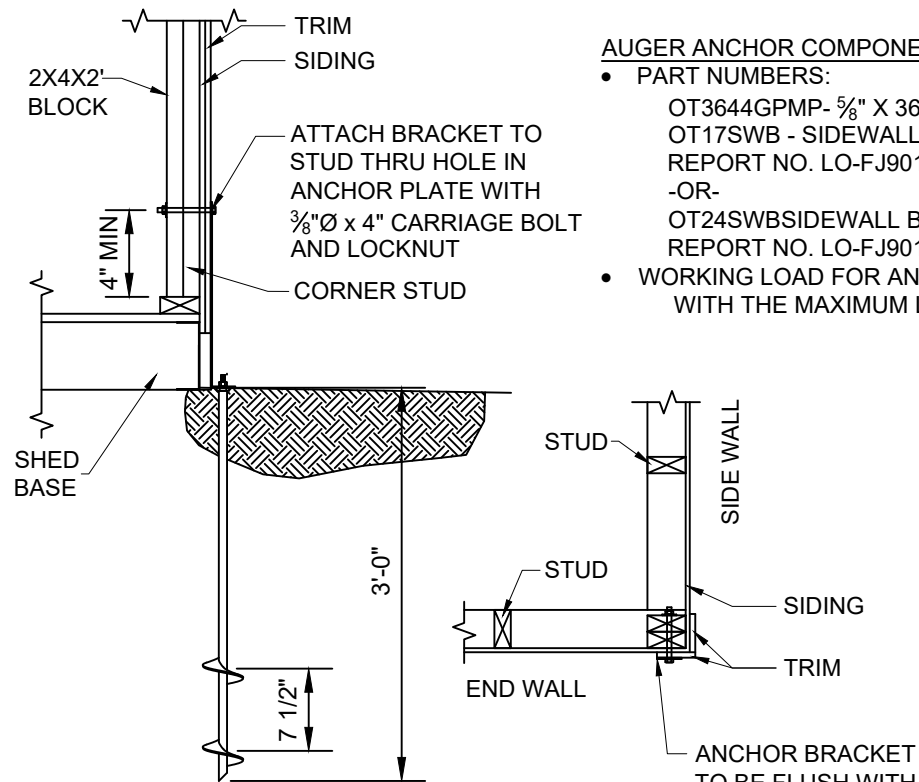


1. STEEL SHED FOUNDATION:
600T125-054 - 16 GAUGE STEEL TRACKS G140 ZINC COATED
600S137-054 - 16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C.
(SUPPLIER: ALLIED STUDCO (JOIST: 600S137-054 / TRACK: 600T125-054) ICC ER-4943P.
2. 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
3. FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1 5/8" ZINC PLATED SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
4. FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #12-14 X 3" GALVANIZED SELF-DRILLING SCREWS. REFERENCE SPACING CHART.
5. ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
6. USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING:
SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16".
BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM.
BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

1 OPTIONAL STEEL SHED BASE DETAIL

SCALE: N.T.S.



AUGER ANCHOR COMPONENTS BY OLIVER TECHNOLOGIES

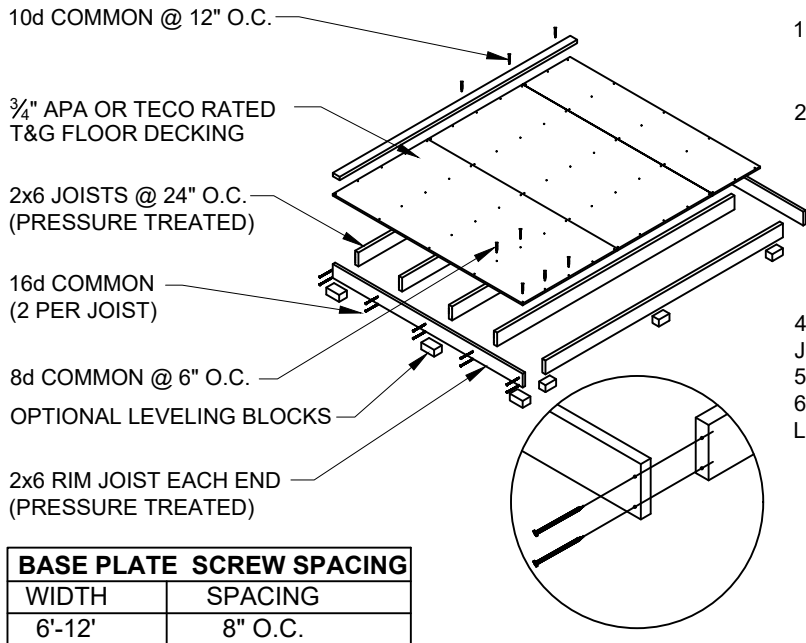
- PART NUMBERS:
OT3644GPMP- 5/8" X 36" (36" IMBED) GALVANIZED AUGER
OT17SWB - SIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-A
-OR-
OT24SWBSIDEWALL BRACKET FOR USE WITH THRU BOLTS
REPORT NO. LO-FJ90129-B
- WORKING LOAD FOR ANCHOR SYSTEM IS 3,150 LBS WITH THE MAXIMUM LOAD OF 5,080 LBS

AUGER ANCHORS		
WIDTH	LENGTH	# OF ANCHORS
6'	6'-20'	4 ANCHORS
8'	8'-20'	4 ANCHORS
8'	22'-24'	6 ANCHORS
10'	10'-16'	4 ANCHORS
10'	18'-24'	6 ANCHORS
12'	12'-14'	4 ANCHORS
12'	16'-22'	6 ANCHORS
12'	24'	8 ANCHORS

4-ANCHORS PROVIDE (1) AT EA. CORNER OF THE BUILDING.
6-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EA. SIDE WALL.
8-ANCHORS PROVIDE (1) AT EA. CORNERS OF THE BUILDING AND (1) AT THE CENTER OF EACH WALL.

3 OPTIONAL AUGER ANCHOR DETAIL

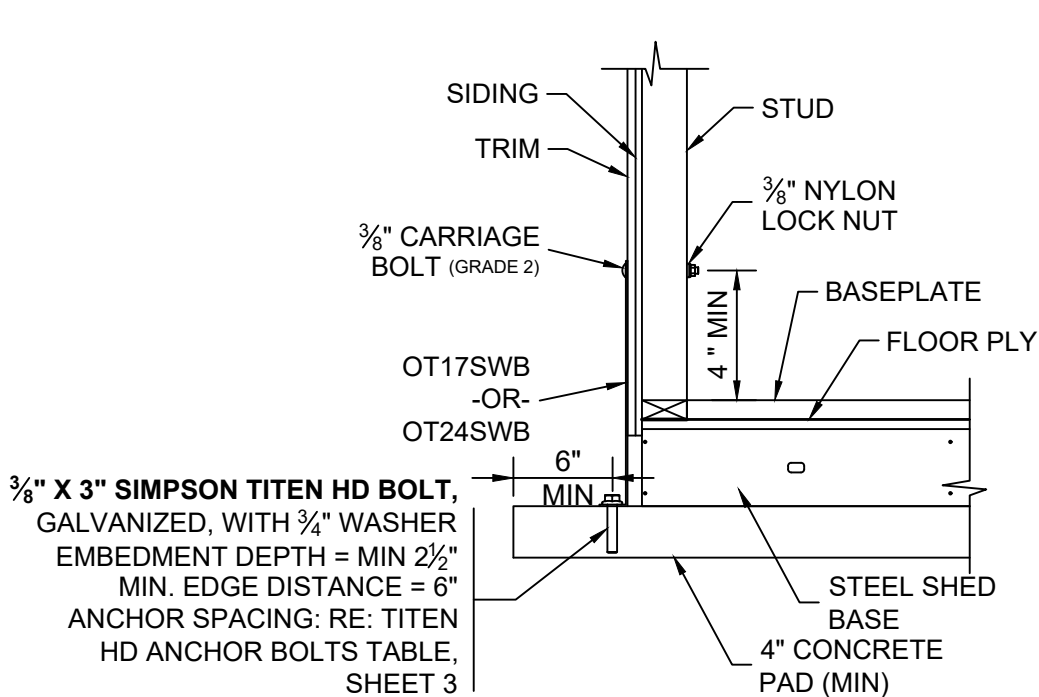
SCALE: N.T.S.



BASE PLATE SCREW SPACING	
WIDTH	SPACING
6'-12'	8" O.C.

2 OPTIONAL WOOD SHED BASE DETAIL

SCALE: N.T.S.



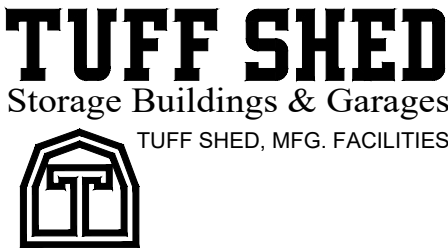
TITEN HD ANCHOR BOLTS (INTO CONCRETE) RE: DETAIL 3 SHEET 3

WIDTH	LENGTH	QTY
6'	6'-10'	4
6'	12'-20'	6
8'	8'-16'	6
8'	18'-24'	8
10'	10'-16'	6
10'	18'-20'	8
10'	22'-24'	10
12'	12'-18'	8
12'	20'-22'	10
12'	24'	12

- NOTES:
1. ANCHORS TO BE SIMPSON TITEN HD ANCHORS. ANCHORS MAY BE GALVANIZED OR STAINLESS STEEL.
 2. PROVIDE (1) ANCHOR AT EA. CORNER OF THE BUILDING. THE REMAINING ANCHORS EQUALLY SPACED ALONG THE LENGTH OF THE BUILDING. (1/2 THE REMAINING ANCHORS ON EA. LENGTH SIDE EQUALLY SPACED).

4 OPTIONAL SIDEWALL BRACKET DETAIL

SCALE: N.T.S.



Order #.	_____
Customer:	_____
Site Address:	_____
Building Size:	WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

P.O. #	_____
Drawn By:	PK
Date:	6/21/21
Checked By:	_____
Date:	_____
Scale:	N.T.S.

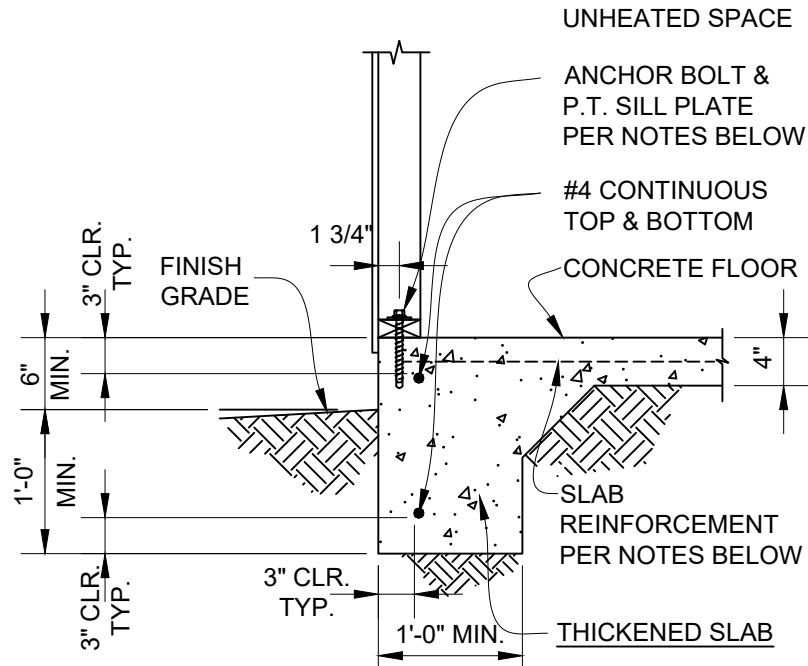
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DETAILS
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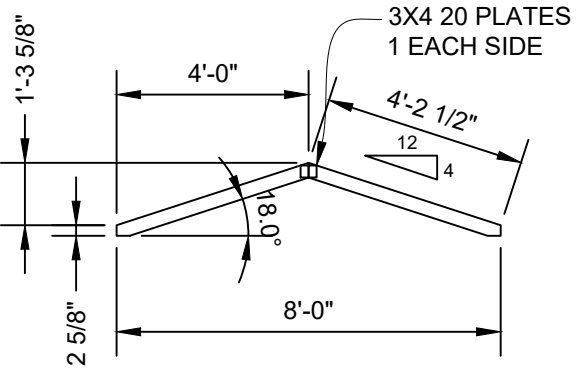
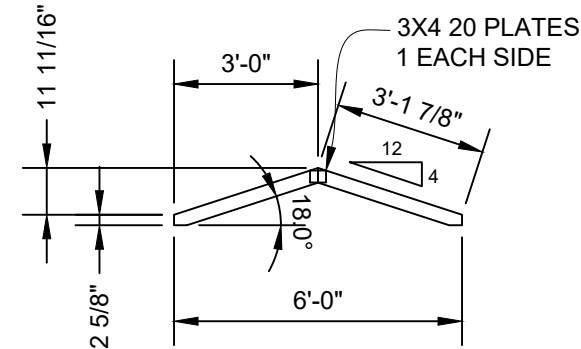
DRAWING NO.	FL-PR-SR-TR-01
REV. LEVEL	01
SHEET	3
PAGE	3 OF 4



- CONTINUOUS FOOTING NOTES
1. TOP OF SLAB TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE WWF 6X6 W1.4xW1.4 . LOCATE AT MID-DEPTH OF SLAB.
-OR-
SLAB REINFORCEMENT SHALL BE FIBERMESH 150 OR BLENDED FIBERMESH150. FIBERMESH SHOULD BE DISPERSED UNIFORMLY THROUGH CONCRETE W/ MIN. 1 POUND PER CUBIC YARD OF CONCRETE.
 2. ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
 3. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPETENT SOIL, OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1000 PSF AT 12" BELOW GRADE.
 4. CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH, $f_c = 2500$ PSI.
 5. REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 38 BAR DIAMETERS OR 24" MINIMUM, WHICHEVER IS LARGER.
 6. SEISMIC DESIGN CATEGORY: A
 - A. ATTACH PRESSURE TREATED SOLE PLATE TO THE FOOTING USING $\frac{1}{2}$ "Ø X 8" LONG SIMPSON TITEN HD ANCHOR WITH WASHERS.
 - B. EXPANSION BOLTS SHALL BE EMBEDDED AT LEAST 5" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6' OC.
 - C. THERE SHALL BE A MINIMUM OF 2 BOLTS PER SOLE PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF EACH PIECE.

NOTE: FOR BUILDINGS 18' AND LONGER OR ANY BUILDING DESIGNED AS A 3-SIDED DIAPHRAGM, ADD SIMPSON SSTB16 ANCHORS AND HDU2 HOLD DOWNS AT EACH CORNER OF THE END WALLS. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.

1 **OPTIONAL CONCRETE FOUNDATION DETAIL**
SCALE: N.T.S.



DESIGN LOADS:
TOP CHORD LIVE LOAD = 20 PSF
TOP CHORD DEAD LOAD = 10 PSF
COLLAR TIE DEAD LOAD = 5 PSF

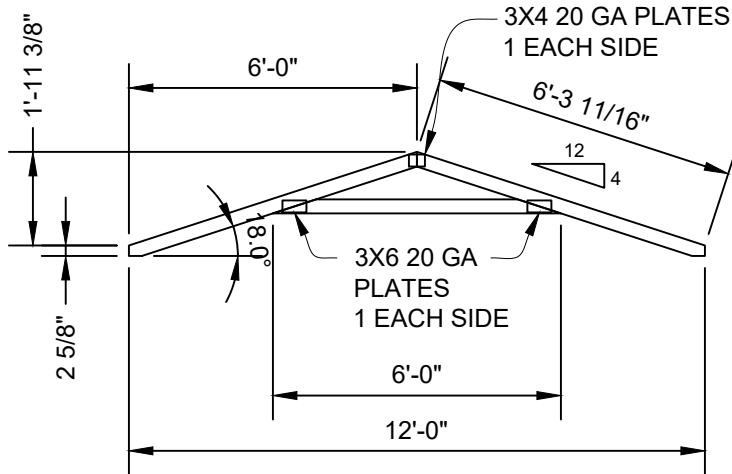
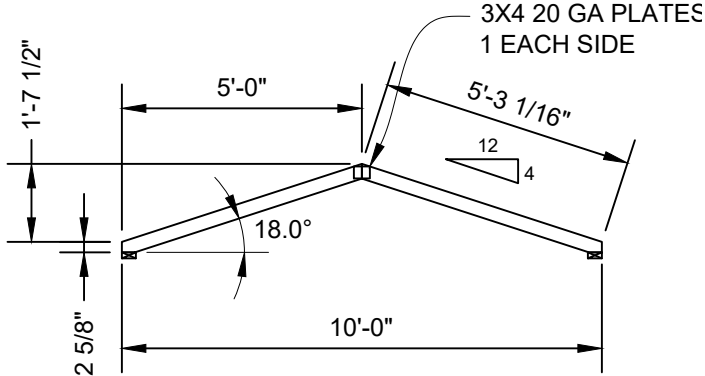
MAXIMUM DEFLECTION (12 FT. SPAN)
VERT LL: 0.06 in.
VERT TL: 0.08 in.

NOTES:
FBC, 7th EDITION (2020)
ANSI/TPI 1-2014
TRUSSES TO BE SPACED @ 24" OC
MATERIAL TO BE 2X4 SPRUCE PINE FIR GRADE #2 OR BETTER
PLATES ARE TO BE PRESSED IN THE WOOD PER TPI.

REP MEMBER INCREASE: YES
LUMBER D.O.L.: 1.25

WIND:
ASCE 7-16, 162 mph, Exposure C, D.O.L.=1.60

PLATES ARE MANUFACTURED BY EAGLE METAL PRODUCTS,
ICC-ES #ESR-1082.



6' SPAN
REACTIONS:
MAX. VERTICAL: 180 LBS.
MAX. UPLIFT: -195 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 12FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

8' SPAN
REACTIONS:
MAX. VERTICAL: 240 LBS.
MAX. UPLIFT: -245 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 14FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

10' SPAN
REACTIONS:
MAX. VERTICAL: 300 LBS.
MAX. UPLIFT: -310 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 20FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

12' SPAN
REACTIONS:
MAX. VERTICAL: 390 LBS.
MAX. UPLIFT: -400 LBS.

NOTE:
TRUSS MAY BE USED ON BUILDING LENGTHS UP TO 24FT UNLESS CEILING JOIST OR OTHER TENSION TIE IS PROVIDED.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING THIS TRUSS ARE TO DO SO IN ACCORDANCE TO THE RECOMMENDATIONS OF THE LATEST VERSION OF THE BCSI.

TUFF SHED

Storage Buildings & Garages

TUFF SHED, MFG. FACILITIES

8524 EAST COLONIAL DRIVE
ORLANDO, FL 32817
(888) 788-TUFF
STORE 520

Order #.	
Customer:	
Site Address:	
Building Size:	WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

P.O. #	
Drawn By:	PK
Date:	6/21/21
Checked By:	
Date:	
Scale:	N.T.S.

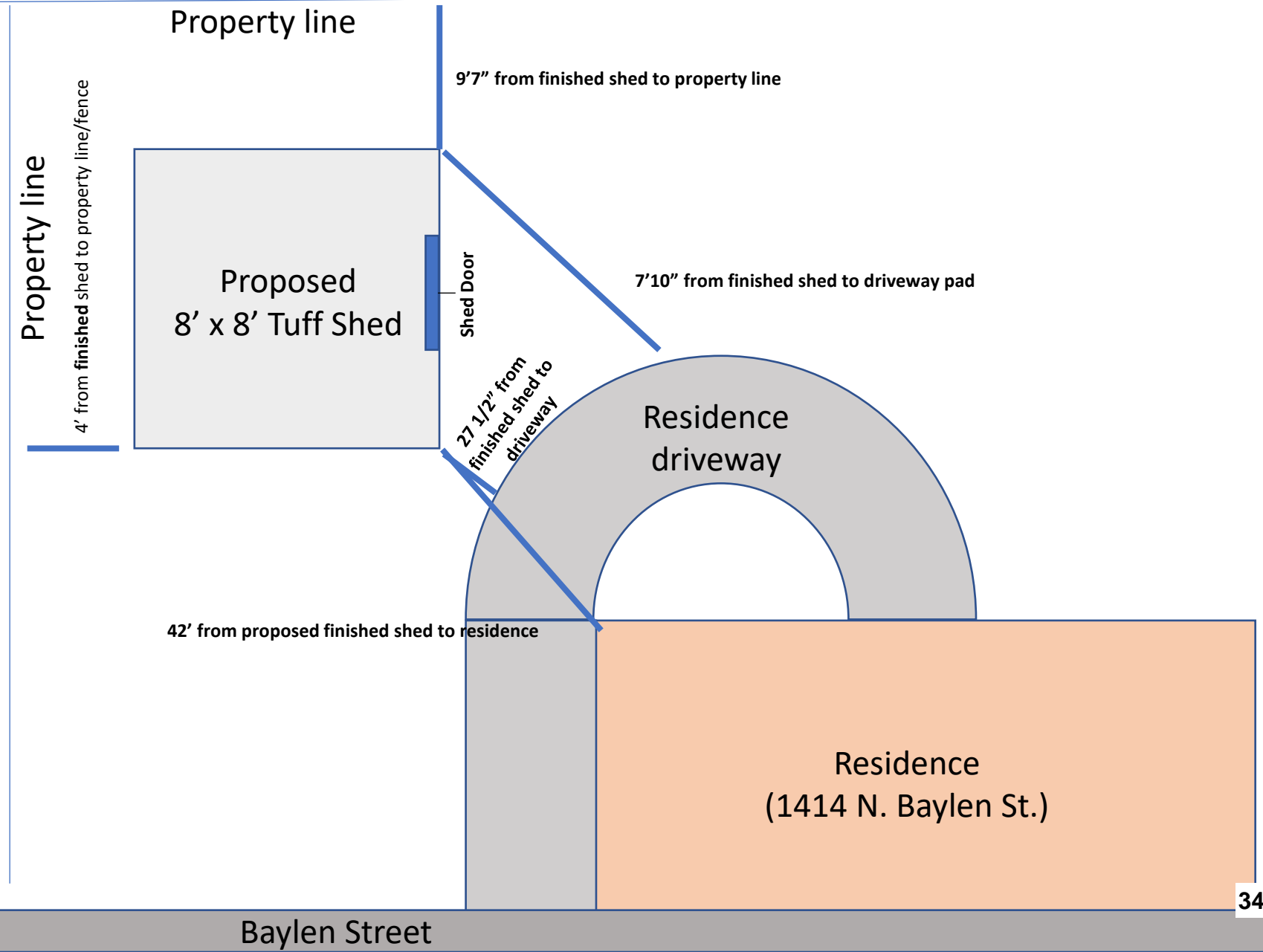
THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD

TUFF SHED, INC.
ENGINEERING DEPARTMENT

RICHARD J. WILLS, P.E.
RWILLS@TUFFSHED.COM
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-8833 EXT. 96315

TITLE	
TRUSS DETAILS	
FBC, 7th EDITION (2020)	
162C	

DRAWING NO.	FL-PR-SR-TR-01
REV. LEVEL	01
SHEET	4
PAGE	4 OF 4





From: [Savannah Hudson](#)
Sent: Friday, May 26, 2023 3:14 PM
To: [Adrianne Walker](#)
Cc: [Gregg Harding](#)
Subject: Re: [EXTERNAL] 1414 North Baylen Street Pensacola, FL 32501 / ARB Application

The vertical siding is staying.

The roof pitch of primary home is unknown.

Max floor elevation is 4". Customer is responsible for any coverings such as plants, lattice, or stones around the bottom of the shed once we receive a passed final building inspection.

Photo is attached as to what the customer is willing to do.



Savannah Hudson

Tuff Shed, Inc. - Permit Technician

Factory 600 - Mobile, AL

Direct: 251-244-4537

From: Adrianne Walker <AWalker@cityofpensacola.com>
Sent: Thursday, May 25, 2023 10:23 AM
To: Savannah Hudson <shudson2@TUFFSHED.com>
Cc: Gregg Harding <GHarding@cityofpensacola.com>
Subject: RE: [EXTERNAL] 1414 North Baylen Street Pensacola, FL 32501 / ARB Application



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00461

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

613 E. Romana Street
Pensacola Historic District / Zone HR-2 / City Council District 6
New Construction of a Primary and Accessory Structure

BACKGROUND:

Christy Cabassa is seeking approval for a new two-story, wood pile supported primary structure and accessory garage with a second-story apartment. The finished floor elevation of the residence will be at 12 feet above sea level. The residence will have a true stucco exterior painted in the color Snowbound and trim in the color Touch of Grey, a vented Hardie board crawlspace, and an architectural asphalt shingle roof. The proposed windows are Windsor Pinnacle black metal wood clad with true divided lites, the front door is custom stained wood with impact glass, and the garage doors are Haas eight-panel insulated steel 2000 series painted in the color Touch of Grey. The project includes hardscaping with pavers, a Hardie board or pressure treated fence and landscape wall, and exterior lighting. This residence is in the brick structures district, Type II Cottage section of Aragon in a Coastal Caribbean style and has been approved by the Aragon ARB.

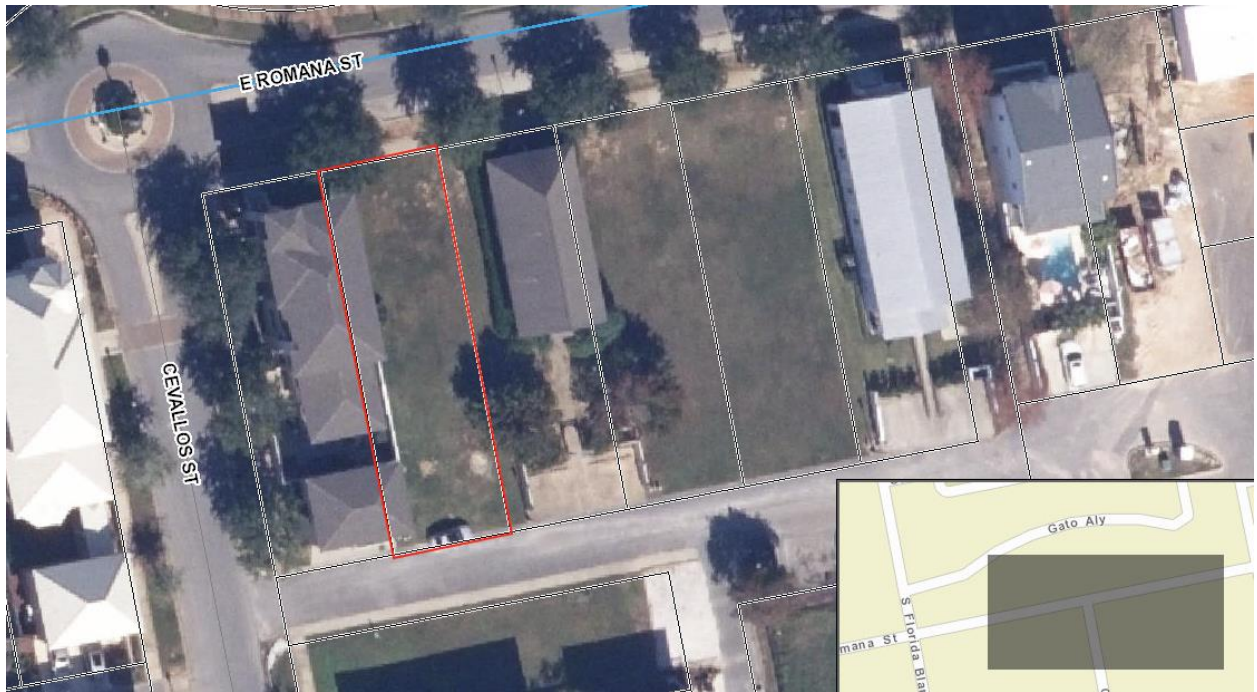
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)e. Historic zoning districts: HR-1, HR-2 and HC-2; Regulations and guidelines for any development within the historic zoning districts.

Sec. 12-3-10(1)h. New construction in the historic district.

613 E. Romana Street



**Architectural Review Board Application
Full Board Review**

City of
Pensacola
*America's First Settlement
And Most Historic City*



Application Date: May 12, 2023

Project Address: 613 Romana Street

Applicant: Christy Cabassa, Architect for Ashley and Brian Keigley

Applicant's Address: 1189 Mary Lou Lane Gulf Breeze, Florida 32563

Email: christy931@mchsi.com **Phone:** 850-712-5788

Property Owner: Brian and Ashley Keigley 850-454-6299 keigley@gmail.com

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

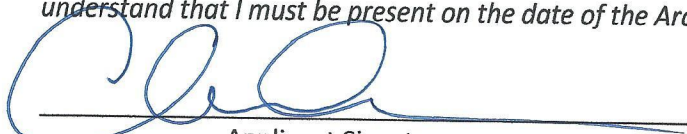
- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The project is for a new 2 story, wood pile supported house and Garage with an apartment. The house is in an AE flood zone with a preliminary flood zone of AE 9' with a 3' free board. The FFE was set at 12' for the preliminary flood zone. The exterior shall be true stucco with a vented Hardi crawlspace and architectural asphalt shingles. The house is in the brick structures district and the style is Coastal Caribbean variant as approved by the Aragon ARB. the house is 3304 sf and the garage is 700sf. There is a courtyard and small pool.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

MAY 12 2023
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Architectural Review Board Application
Full Board Review



Application Date: May 12, 2023

Project Address: 613 Romana Street
Applicant: Christy Cabassa, Architect for Ashley and Brian Keigley
Applicant's Address: 1189 Mary Lou Lane Gulf Breeze, Florida 32563
Email: christy931@mchsi.com Phone: 850-712-5788
Property Owner: Brian and Ashley Keigley 850-454-6299 keigley@gmail.com
District: ☒ PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

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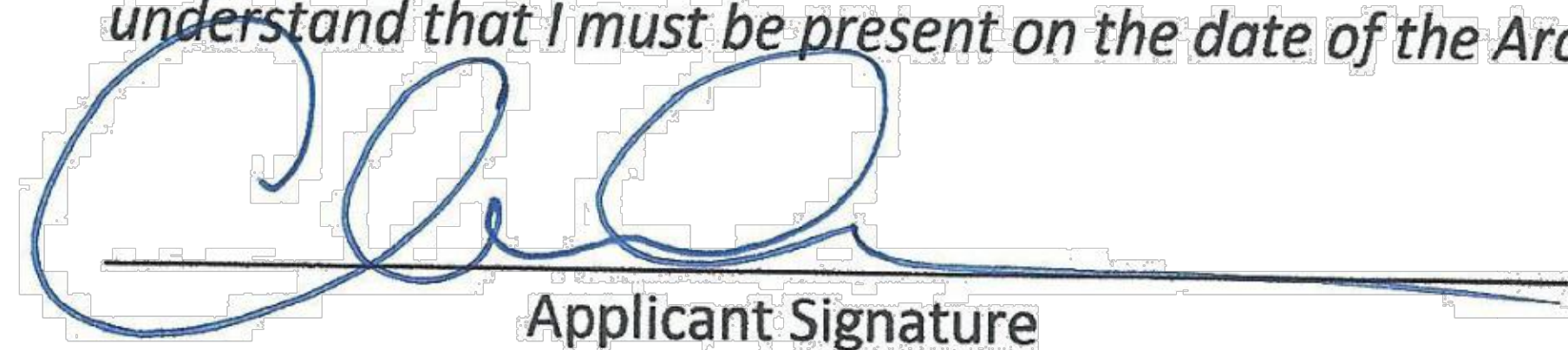
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Applicant Signature


Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Keigley Residence Aragon

613 East Romana Lot 2 Block M

Type II Cottage HR-2



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

City ARB Submittal
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

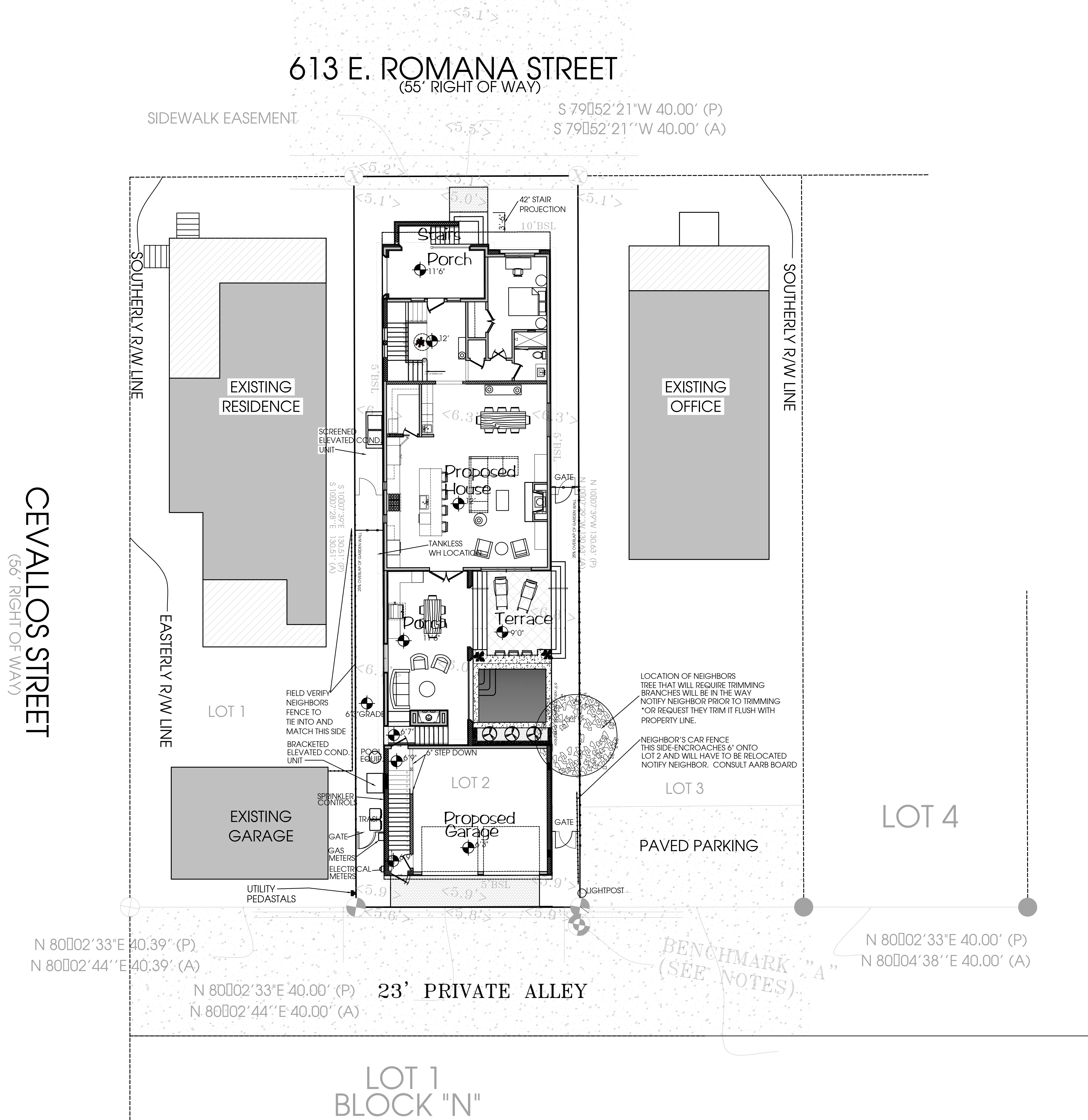
PROJECT NO.


DATE :

SHEET TITLE :

SHEET NO. :

Application





Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

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REVISIONS :

City ARB Submittal
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Area Siteplan

SHEET NO. :

AS1-1



1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
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REVISIONS :

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May 12, 2023

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PROJECT NO.

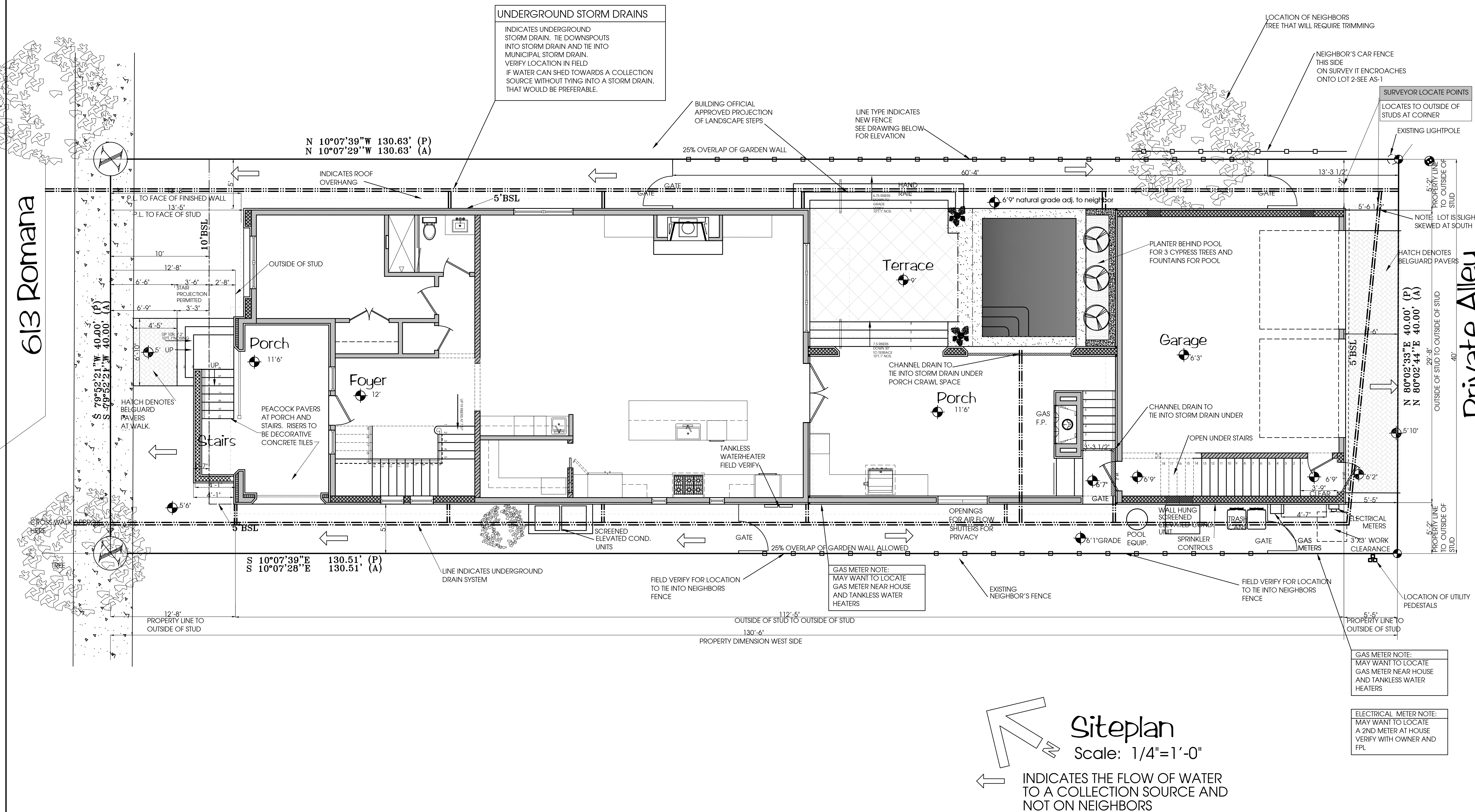
DATE : _____

SHEET TITLE :

Siteplan

SHEET NO. :

AS1-2



FEMA Note

Electrical Meter Note

Lot Coverage Calculations

House Calculations

NOTE: 12' WILL BE THE NEW FEMA REQUIREMENT ON THE NEW FLOODMAPS TO BE ADOPTED IN 2023 OR IN THE NEAR FUTURE. THE PRELIMINARY FLOODMAP IS AE9' WITH 3' FREEBOARD.

IF HOUSE IS CONSTRUCTED AFTER
PRELIMINARY FLOODMAP IS ADOPTED
WITH A REQD. 12' FOR FLOOD,
THEN ELECTRICAL METER
SHALL BE LOCATED ON THE REAR PORCH
IF CURRENT LOCATION IS NOT ACCEPTABLE.

LOT SIZE 5200SF
3900 SF IMPERVIOUS ALLOWED
3782 SF IMPERVIOUS ACTUAL
1300SF PERVIOUS REQUIRED
1418 SF PERVIOUS ACTUAL
73% IMPERVIOUS
27% PERVIOUS

GROUND FLOOR 1567 SF GROSS
GROUND FLOOR 1439 SF NET
SECOND FLOOR 1737 SF GROSS
SECOND FLOOR 1611 SF NET
174 SF GROSS FRONT PORCH
496 SF GROSS BACK PORCH
500 SF TERRACE AND POOL
46 SF FRONT STAIRS
700 SF GROSS GARAGE GROSS FOOTPRINT/GROUND LEVEL
700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

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REVISIONS :

City ARB Submittal
May 12, 2023

DRAWN BY : C/C

CHECKED BY : C/C

PROJECT NO.

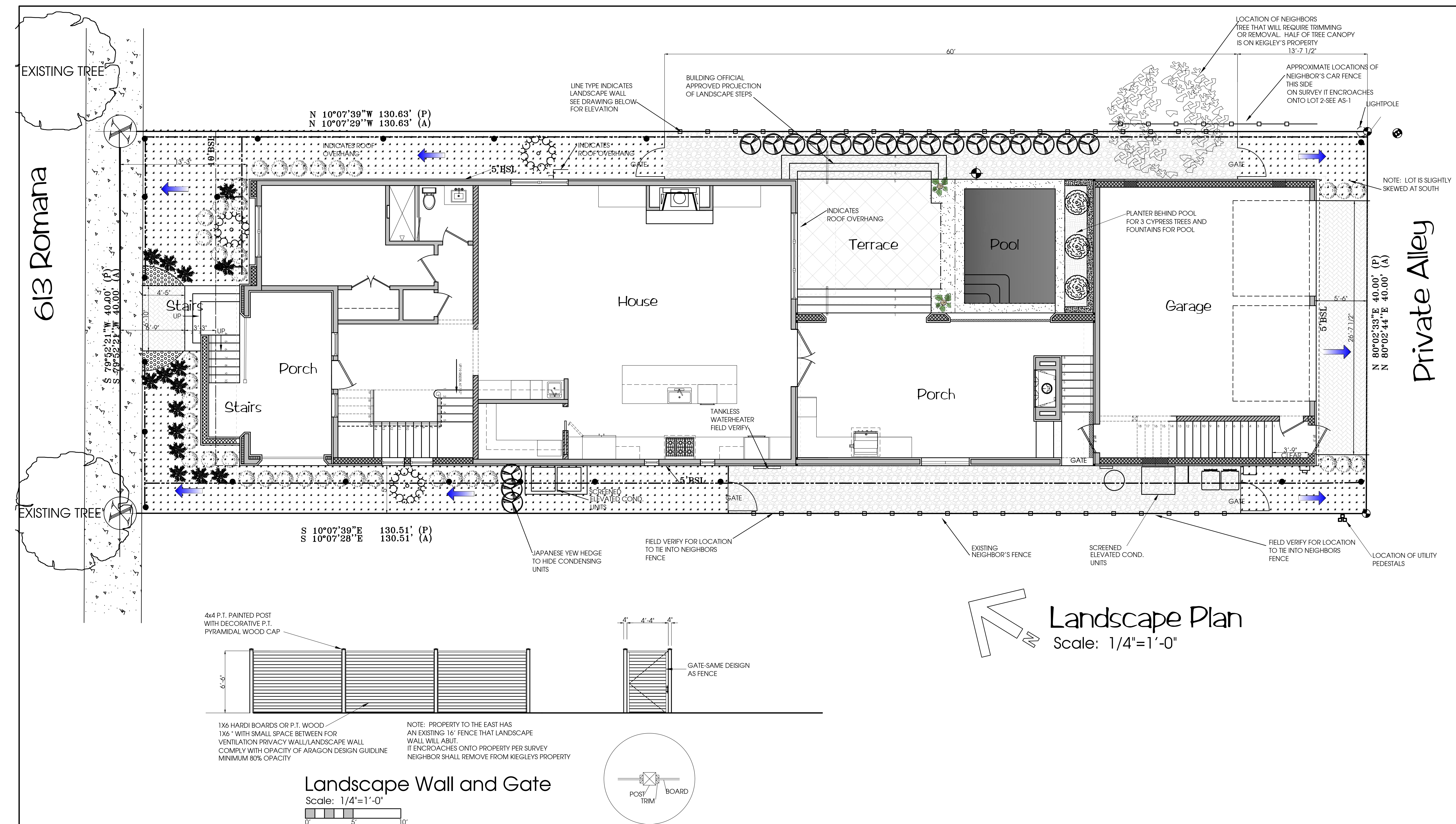
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SHEET TITLE :

Landscape

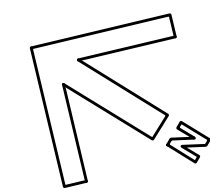
SHEET NO. :

AS1-3

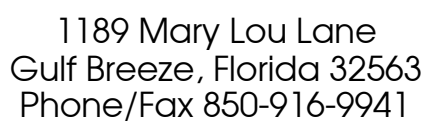


LEGEND





Scale $1/4" = 1'-0"$



PROJECT – LOCATION :

613 East Roman
Lot 2 Block M

Type II
Cottage
HR-2

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REVISIONS :

City ARB Submittal

May 12, 2023

DRAWN BY : C/C

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

Ground Floorplans

SHEET NO. :

A1-1

FLOOR PLAN NOTES

1. DOOR CASING DIMENSIONS
DOORS HAVE BEEN LOCATED TO ALLOW FOR CASING AND PAINTED SHEETROCK.
LOCATE SWITCHES AND OUTLETS SO THEY CLEAR CASING.
2. ACCESSORIES
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF TOILET PAPER HOLDERS,
TOWEL HOLDERS AND HOOKS.
3. SHELVING AND RODS
PROVIDE AN ADEQUATE ALLOWANCE FOR SELECTION OF WOOD SHELVING AND METAL
RODS IN CLOSETS.
4. POCKET DOOR FRAMING
VERIFY POCKET DOOR LOCATIONS AND REQUIRED FRAMING. IF CONFLICTS, CONSULT OWNER/
ARCHITECT. 6" WALLS ARE SHOWN FOR POCKET DOORS.
Provide quality doors and hardware.
5. CONFLICTS IN THE FIELD
WHEN THERE IS A CONFLICT IN THE FIELD WITH THE DRAWINGS, CONTRACTOR AND/OR SUB
SHALL IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR RESOLUTION.
6. BLOCKING
PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, SHELVING, TV MOUNTS,
BARN DOOR SLIDING DOORS, ETC.
7. SHOWER DRAINS
VERIFY WITH OWNER IF ROUND STANDARD DRAIN OR LINEAR DRAINS ARE REQUIRED AT SHOWERS
8. GARAGE SEPARATION REQUIREMENTS:
Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal.
Wall between house and garage shall also be 1 hour rated Type X floodproof material-5/8"
Certainteed GlassRoc or Equal.

9. DOOR FROM GARAGE RATINGS
Door from garage to guesthouse stairs shall be 20 minute rated fiberglass.
All material in garage is required to be floodproof to comply with FEMA AE requirements.

10. FLOODVENTS
- Floodvents are required 1 square inch of vent per 1 square foot of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com. Engineered FEMA Compliant Flood Vent or Equal. Prior to construction verify size and quantity and manufacturer to make sure block openings are sufficient and that quantity and size will comply with required 1 square inch per 1 square foot of Gross Area (to include walls). Bottom of vent shall be no greater than 12" above the finish floor elevation. Vents are shown on elevations. Coordinate with structural plans.

House and Porches are 2783 sf - 2783 si required for floodvents for house.
Enclosed garage space is 700 sf which includes the outer walls. 700 si required for floodvents.

11. CRAWLSPACE VENTS
At elevated foundation provide Crawl space vents to comply with Florida Residential code.
1 sf of opening per 150sf of enclosed.
House and Porches, Terraces and pool are 2783 sf / 150 sf = 19 sf required x 144si/sf = 2736 si

An access door to all space enclosed is shown on west elevations. Vents shall be provided continuously at foundation walls to allow the flow of air. In addition in these areas there shall be 1 square inch per 1 square foot of floodvents to meet the Flood requirement. Open crawl space vents may count towards the Floodvent calculation. Engineered Floodvents cannot count towards crawl space as they are not open for the flow of air.

*FEMA requirements for flood are greater than the crawlspace. Therefore use 2783 si for venting required.

HOUSE CALCULATIONS

GROUND FLOOR 1567SF GROSS
GROUND FLOOR 1439 SF NET




SECOND FLOOR 1737 SF GROSS
SECOND FLOOR 1611 SF NET

174 SF GROSS FRONT PORCH

46 SF FRONT STAIRS


700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

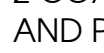
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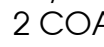
-  DOOR IDENTIFICATION
-  WINDOW IDENTIFICATION
-  HOSEBIB LOCATION

WALL LEGEND

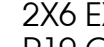
VERIFY WITH STRUCTURAL WALLS REQUIRED
TO BE SHEAR WALLS WITH PLYWOOD.


-  **EXTERIOR WALL-6" STUDS**
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH R19 BLOWN IN BATS OR MINERAL WOOL AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS.

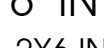
 **EXTERIOR WALL-6" STUDS & (4" STUD FURRED OUT)**
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH W/ 2X4 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.


 **EXTERIOR WALL-6" STUDS & (8" STUD FURRED OUT)**
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH W/ 2X8 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING 2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS AND PER INDUSTRY STANDARDS.


 **EXTERIOR WALL-6" STUDS**
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH SIDE AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATION AND PER INDUSTRY STANDARDS..

 **EXTERIOR WALL-8" STUDS**
2X6 EXTERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH R19 OR BETTER ISO-RYNE INSULATION AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..

 **4" INTERIOR STUD**
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.

 **6" INTERIOR STUD ALIGN WITH GROUND FLOOR EXTERIOR WALL**
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.

 **6" INTERIOR STUD (for pocket door and/or structure)**
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD EACH SIDE.

 **EXTERIOR STAIR WALL-8" STUDS (SEE STRUCTURAL)**
2X8 P.T. EXTERIOR STUDS WITH DUROCK, 2 COATS WRB. WITH TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMMENDATIONS. AND PER INDUSTRY STANDARDS..



Christina Lee Cabassa
ARCHITECT

Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

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THE ARCHITECT.

REVISIONS :

City ARB Submittal

May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

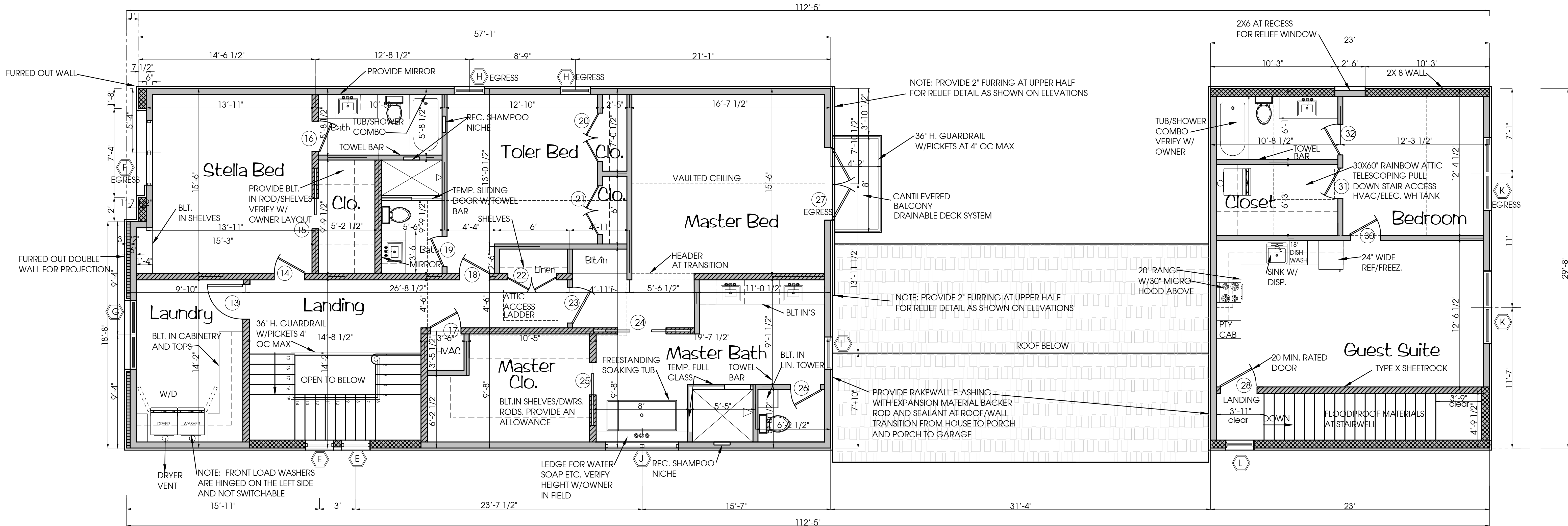
DATE :

SHEET TITLE :

Second
Floorplans

SHEET NO. :

A1-2



Second Floor Plan
Scale 1/4"=1'-0"

FLOOR PLAN NOTES

1. DOOR CASING DIMENSIONS
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TOWEL HOLDERS AND HOOKS.

3. SHELVING AND RODS
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8. GARAGE SEPARATION REQUIREMENTS:
Garage ceiling shall be 1 hour Type X Floodproof Material. 5/8" Certainteed GlassRoc or equal.
Wall between house and garage shall also be 1 hour rated. Type X floodproof material-5/8"
Certainteed GlassRoc or Equal.
9. DOOR FROM GARAGE RATINGS
Door from garage to guesthouse stairs shall be shall be 20 minute rated fiberglass.
All material in garage is required to be floodproof to comply with FEMA AE requirements..

10. FLOODVENTS
Floodvents are required 1 square inch of vent per 1 square foot
of enclosed space. See plans for locations. Manufacturer shall be CrawlSpaceDoors.com
Engineered FEMA Compliant Flood Vent or Equal. Prior to construction verify size and quantity
and manufacturer to make sure block openings are sufficient and that quantity and size will
comply with required 1 square inch per 1 square foot of Gross Area (to include walls).
Bottom of vent shall be no greater than 12" above the finish floor elevation.
Vents are shown on elevations . Coordinate with structural plans.

House and Porches are 2783 sf - 2783 si required for floodvents for house.
Enclosed garage space is 700 sf which includes the outer walls. 700 si required for floodvents.

11. CRAWLSPACE VENTS
At elevated foundation provide Crawl space vents to comply with Florida Residential code.
1 sf of opening per 150sf of enclosed.
House and Porches, Terraces and pool are 2783 sf /150 sf =19 sf required x 144si/sf = 2736 si

An access door to all spaces enclosed is shown on west elevations. Vents shall be provided continuously at
foundation walls to allow the flow of air. In addition in these areas there shall be 1 square inch per
1 square foot of floodvents to meet the Flood requirement. Open crawl space vents may count
towards the Floodvent calculation. Engineered Floodvents cannot count towards crawl space
as they are not open for the flow of air.

*FEMA requirements for flood are greated than the crawlspace. Therefore use 2783 si for venting required.

HOUSE CALCULATIONS

GROUND FLOOR 1567SF GROSS
GROUND FLOOR 1439 SF NET

SECOND FLOOR 1737 SF GROSS
SECOND FLOOR 1611 SF NET

174 SF GROSS FRONT PORCH
496 SF GROSS BACK PORCH

500 SF TERRACE AND POOL
46 SF FRONT STAIRS

700 SF GROSS GARAGE GROSS FOOTPRINT/GROUND LEVEL
700 SF GROSS GARAGE GROSS FOOTPRINT/UPSTAIRS

LEGEND

- X

DOOR IDENTIFICATION
- X

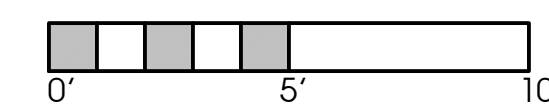
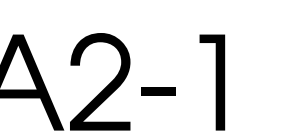
WINDOW IDENTIFICATION
- HB

HOSEBIB LOCATION

WALL LEGEND

VERIFY WITH STRUCTURAL WALLS REQUIRED
TO BE SHEAR WALLS WITH PLYWOOD.

- EXTERIOR WALL-6" STUDS
2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH
R19 BLOWN IN BATTS OR MINERAL WOOL AND TRUE STUCCO SYSTEM.
INSTALL STUCCO AS PER MANUFACTURER'S RECOMENDATIONS.
AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (4" STUD FURRED OUT)
2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH
W/ 2X4 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING
2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS
AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS & (8" STUD FURRED OUT)
2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, 2 COATS WRB. WITH
W/ 2X8 P.T. EXT. STUD TO FURR OUT WALL THICKNESS WITH PLYWOOD SHEATHING
2 COATS WRB AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MFR. RECOMMENDATIONS
AND PER INDUSTRY STANDARDS.
- EXTERIOR WALL-6" STUDS
2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, EACH
SIDE AND TRUE STUCCO SYSTEM. INSTALL STUCCO AS PER MANUFACTURER'S RECOMENDATIONS.
AND PER INDUSTRY STANDARDS.,
- EXTERIOR WALL-8" STUDS
2X6 EXERIOR STUDS WITH EXT. PLYWOOD SHEATHING, VAPOR BARRIER, WITH
R19 OR BETTER ISONYNE INULSATION AND TRUE STUCCO SYSTEM.
INSTALL STUCCO AS PER MANUFACTURER'S RECOMENDATIONS.
AND PER INDUSTRY STANDARDS.,
- 4" INTERIOR STUD
2X4 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD
EACH SIDE.
- 6" INTERIOR STUD ALIGN WITH GROUND FLOOR EXTERIOR WALL
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD
EACH SIDE.
- 6" INTERIOR STUD (for pocket door and/or structure)
2X6 INTERIOR STUD WITH ACOUSTICAL BATT INSULATION AND 1/2" GYPSUM WALL BOARD
EACH SIDE.
- EXTERIOR STAIR WALL-8" STUDS (SEE STRUCTURAL)
2X8 P.T. EXERIOR STUDS WITH DUROCK, 2 COATS WRB. WITH
TRUE STUCCO SYSTEM.
INSTALL STUCCO AS PER MANUFACTURER'S RECOMENDATIONS.
AND PER INDUSTRY STANDARDS.,



EXTERIOR LIGHTING: ST. JAMES WINNIPEG COPPER OUTDOOR LIGHTING AND
CHANDELIER: COLOR: DARK BRONZE

SHEET NO. :



Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT - LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

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REVISIONS :

City ARB Submittal
May 12, 2023

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CHECKED BY : CLC

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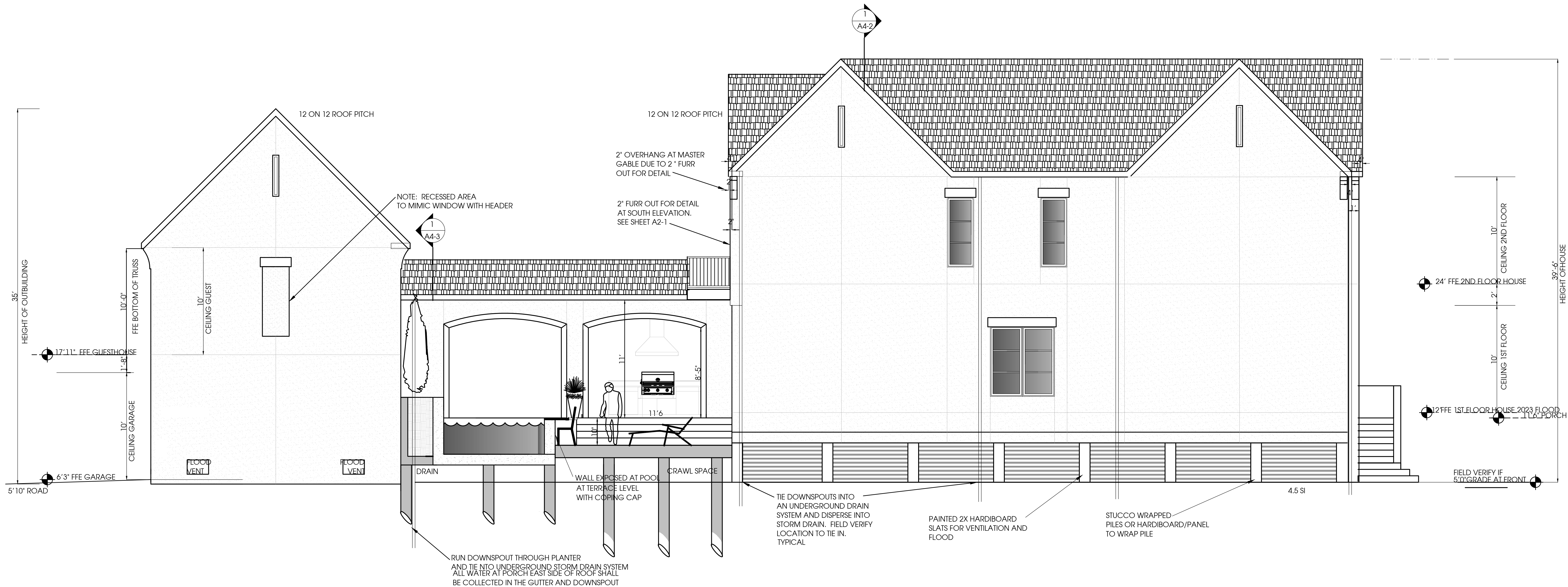
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SHEET TITLE :

Elevations

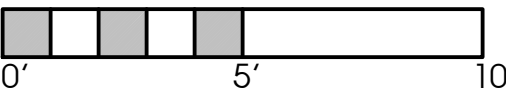
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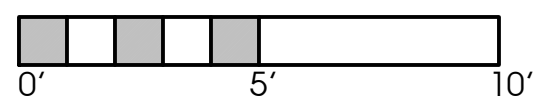
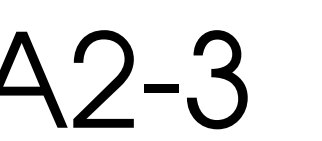
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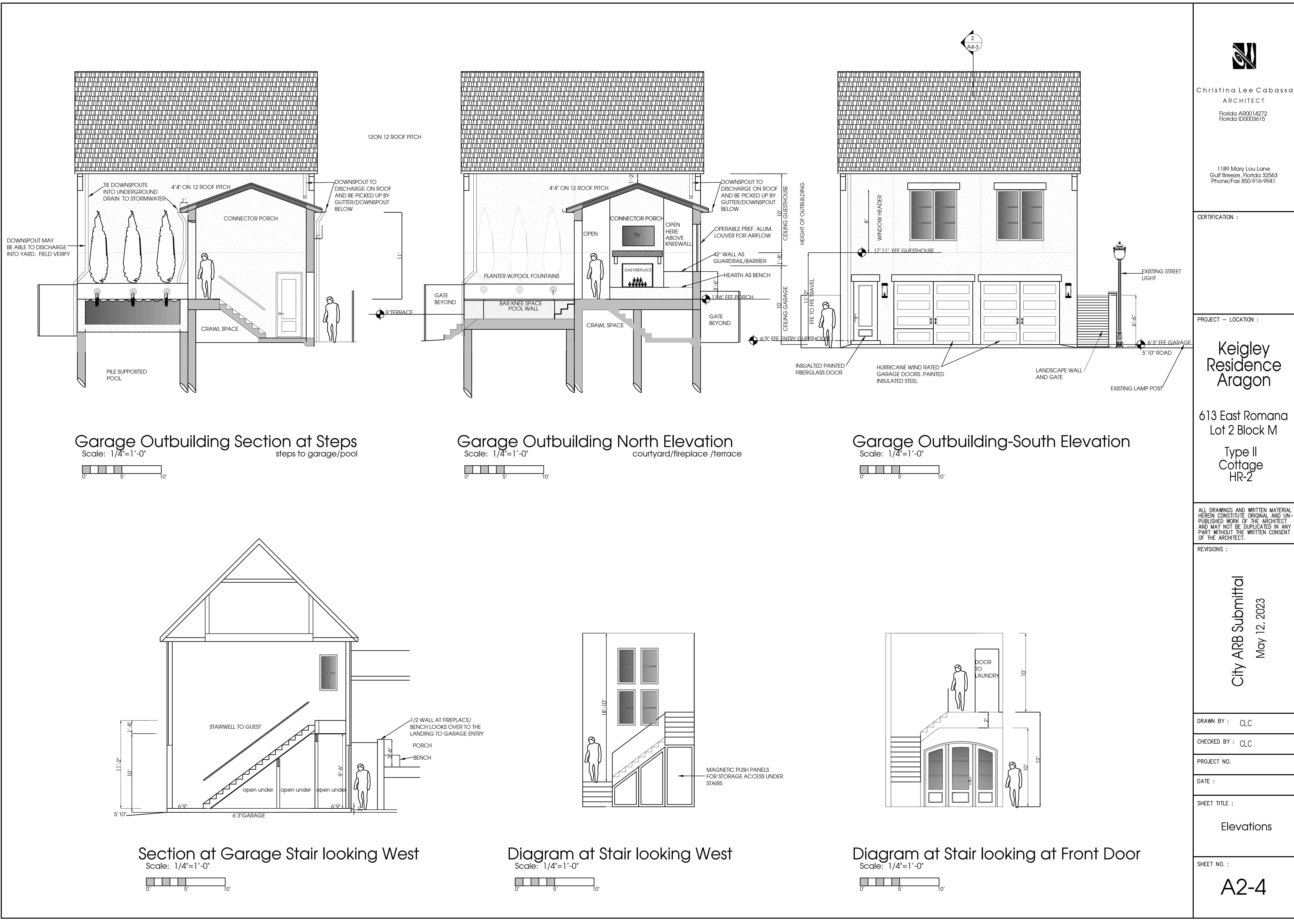


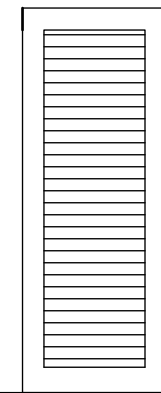
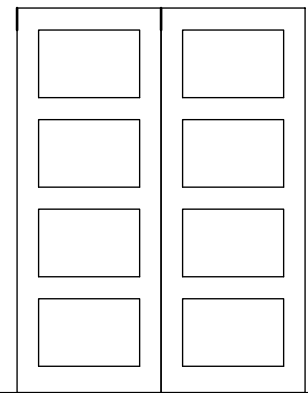
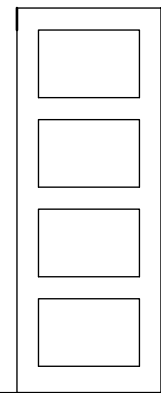
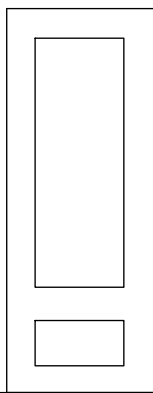
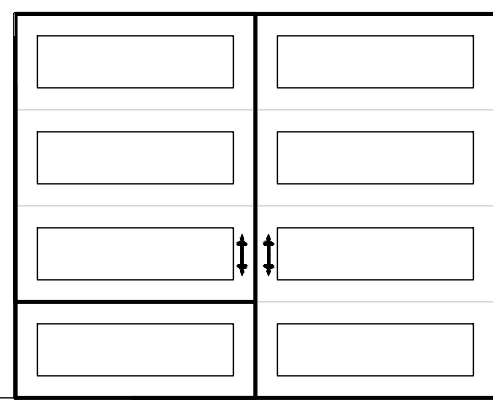
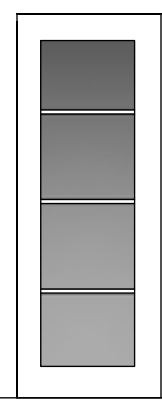
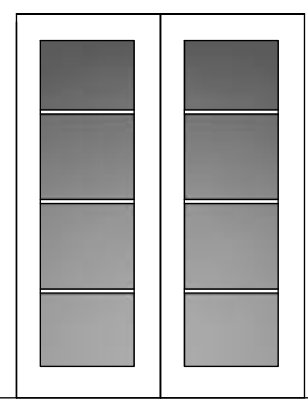
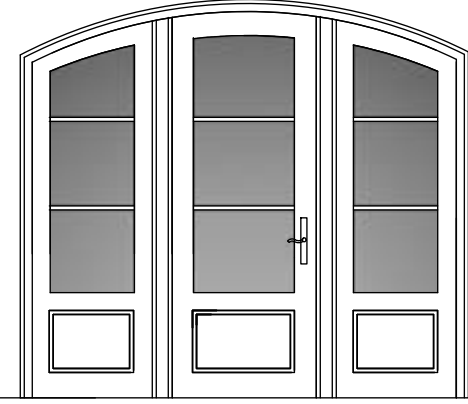
East Elevation

Scale: 1/4"=1'-0"









DOOR NOTES

1. Provide weatherstripping at all doors all sides at exterior doors.
2. Provide floor or wall stops at all door locations. Owner to select style.
3. Provide allowance for nice latchsets/locksets. Entek hardware or equal. Lever style hardware
4. Owner shall select species on inside face of metal clad doors to be stained
5. Garage door style shown. Impact rated/wind rated Haas Garage door. Insulated steel, painted. 2000 Series.
6. All glass in doors shall be tempered at interior doors where applicable.
7. All exterior door hardware shall be stainless steel such as hinges and butts.
8. Provide sills and flashing at all doors to prevent water intrusion. Seal.
9. Interior doors shall be solid core masonite, painted.
10. Verify prior to ordering with framing that door sizes shown will fit.
11. Doors from Garage to house/guest quarters are required to be 20 min. to comply with the Florida Residential Building Code.
12. Provide Parex Weatherseal at all door rough openings and Dow 795 sealants. Install as per manufacturer's instructions. Provide flashing at all doors per mfr. instructions.
13. Door sizes shown are for doors only, they do not include the frame. Verify with door supplier for required rough openings.

DOOR SCHEDULE

DOOR MARK	ROOM LOCATION	TYPE/LOCKSET	TYPE	SIZE	MATERIAL	COMMENTS
FIRST FLOOR						
1	FOYER	ENTRY	A	36"X8' W/SIDELITES	STAINED WOOD/IMPACT GLASS	ARCH TO MATCH HOUSE ARCH
2	HVAC	PASSAGE	H	30"X8'	LOUVERED	VERIFY W/HVAC SUB
3	OFFICE	PRIVACY	F	34"X8'	SCM PAINTED	
4	CLOSET	PASSAGE	G	PR 24"X8'	SCM PAINTED	
5	BATH (ADA)	PRIVACY	F	32"X8'	SCM PAINTED	
6	PANTRY	POCKET/PASSAGE	F	30"X8'	SCM PAINTED	
7	KITCHEN	ENTRY	B	PR 36"X8'	METAL CLAD/IMPACT GLASS	
8	GARAGE	ENTRY	E	36"X8'	INSULATED FIBERGLASS	
9	GARAGE	ENTRY	E	36"X8'	INSULATED FIBERGLASS	
10	GARAGE	ENTRY	E	30"X8'	INSULATED FIBERGLASS-20 MINUTE RATED	20 MINUTE RATED
11	GARAGE	OVERHEAD	D	9"WIDE BY 8' HIGH	INSULATED STEEL/MEET WIND CODE	
12	GARAGE	OVERHEAD	D	9"WIDE BY 8' HIGH	INSULATED STEEL/MEET WIND CODE	
SECOND FLOOR						
13	LAUNDRY	PASSAGE	F	34"X8'	SCM PAINTED	
14	STELLA BEDROOM	PRIVACY	F	30"X8'	SCM PAINTED	
15	CLOSET	POCKET PASSAGE	F	30"X8'	SCM PAINTED	
16	STELLA BATH	PRIVACY	F	30"X8'	SCM PAINTED	
17	HVAC	PASSAGE	F OR H	30"X8'	SCM PAINTED	VERIFY W/HVAC SUB IF LOUVERED DOOR REQUIRED
18	TOLER BEDROOM	PRIVACY	F	30"X8'	SCM PAINTED	
19	TOLER BATH	PRIVACY	F	30"X8'	SCM PAINTED	
20	CLOSET	PASSAGE	G	PR 24"X8'	SCM PAINTED	
21	CLOSET	PASSAGE	G	PR 24"X8'	SCM PAINTED	
22	LINENS	PASSAGE	G	PR 24"X8'	SCM PAINTED	
23	MASTER BEDROOM	PRIVACY	F	36"X8'	SCM PAINTED	
24	MASTER BATH	POCKET/PRIVACY	G	PR 24"X8'	SCM PAINTED	
25	MASTER CLOSET	POCKET/PRIVACY	F	32"X8'	SCM PAINTED	
26	MASTER TOILET	PRIVACY	F	30"X8'	SCM PAINTED	
27	MASTER BEDROOM	ENTRY	B	PR 36"X8'	METAL CLAD/IMPACT GLASS	
28	GUEST SUITE ENTRY	ENTRY	F	36"X8'	SCM PAINTED-RATED (OR INSULATED FIBERGLASS)	
29	NOT USED					
30	GUEST BEDROOM	PRIVACY	F	30"X8'	SCM PAINTED	
31	GUEST CLOSET	PRIVACY	F	30"X8'	SCM PAINTED	
32	GUEST BATH	PRIVACY	F	30"X8'	SCM PAINTED	

Christina Lee Cabassa
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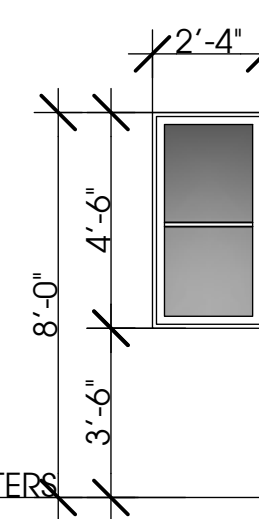
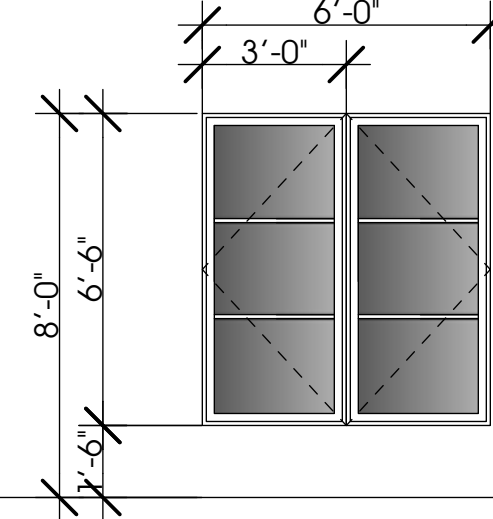
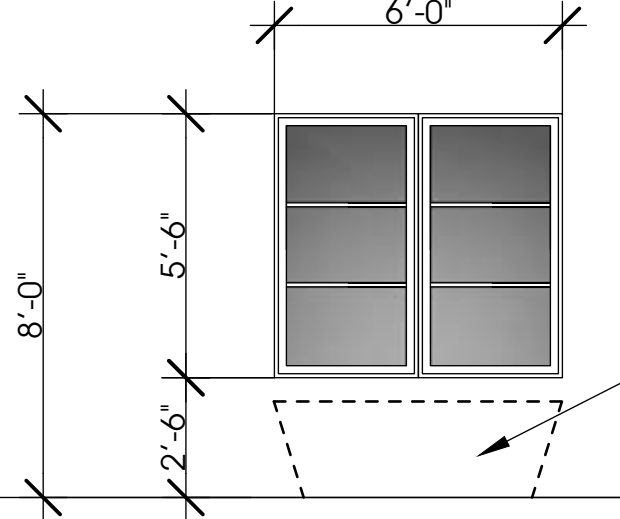
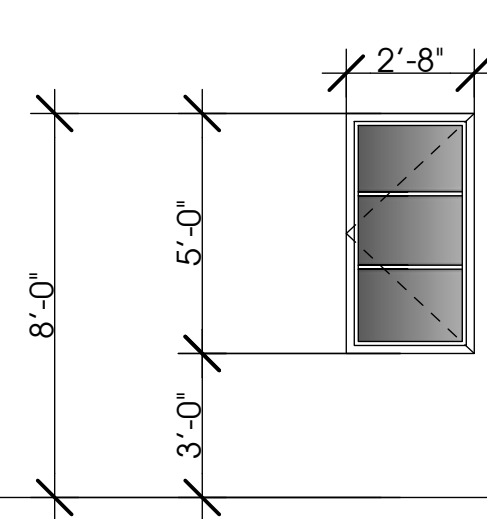
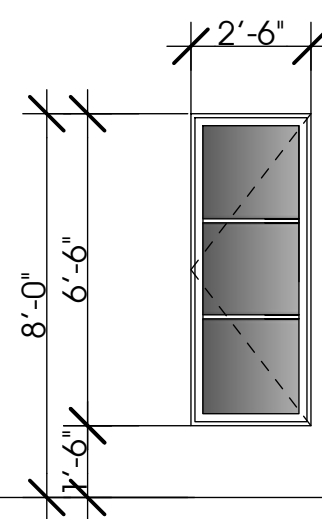
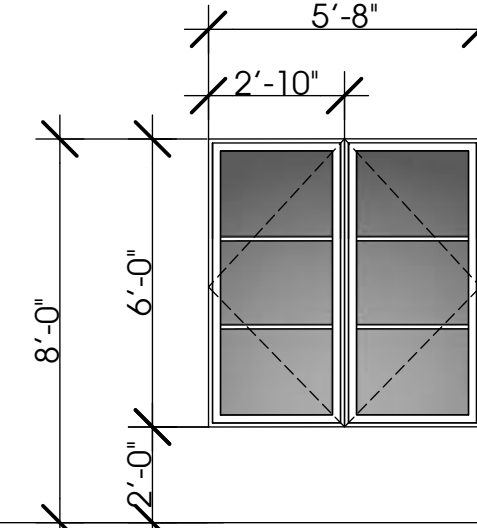
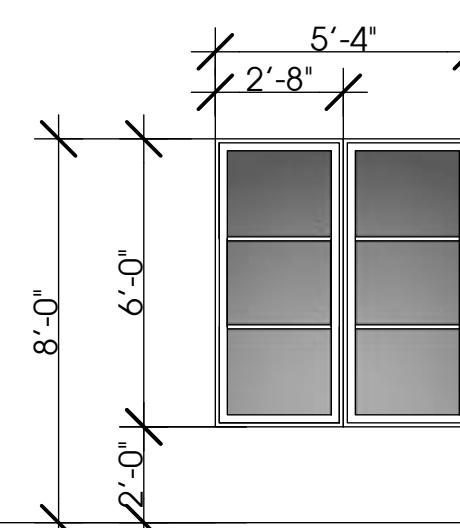
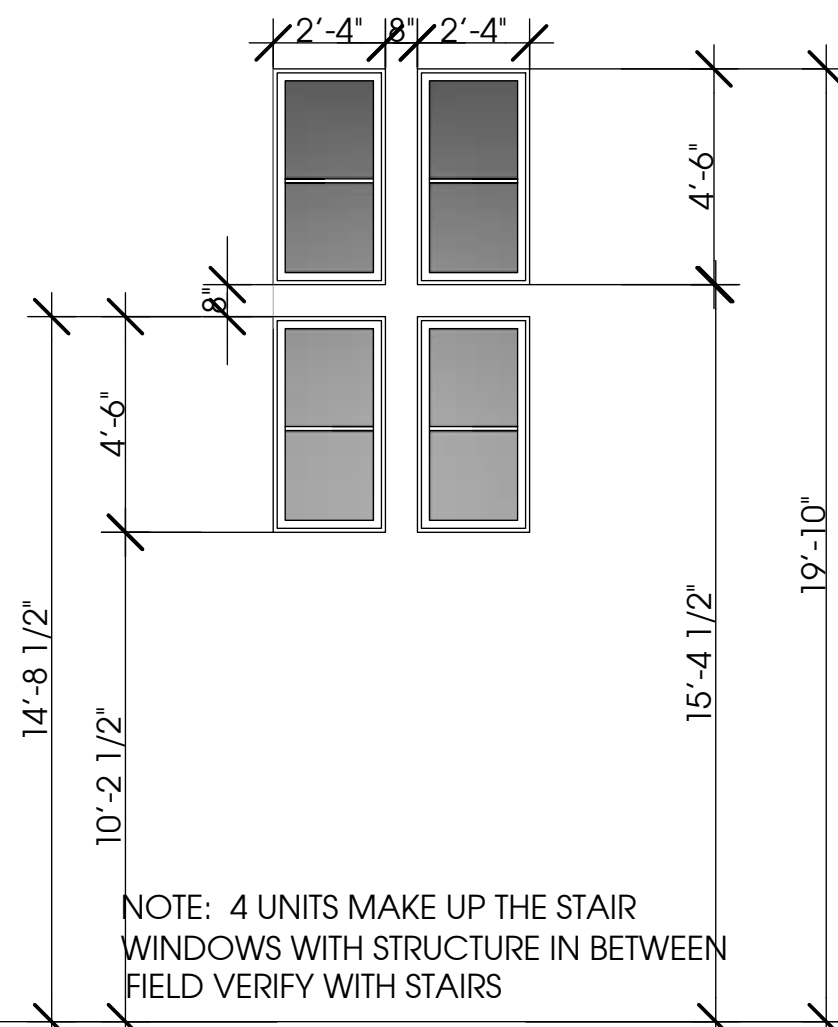
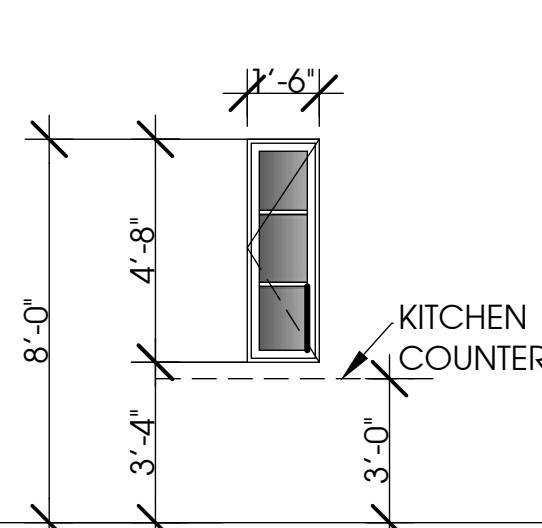
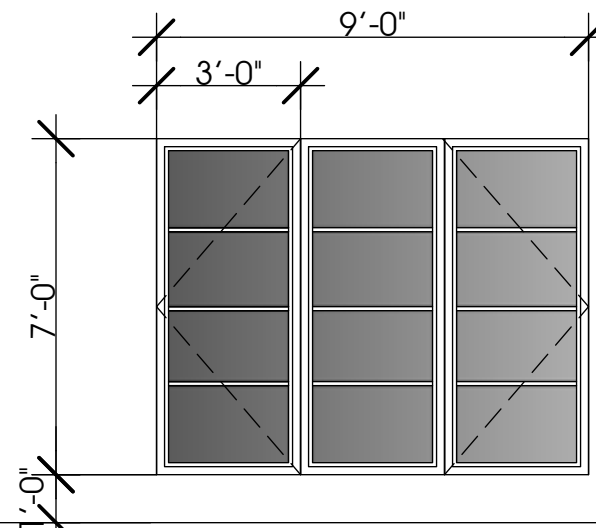
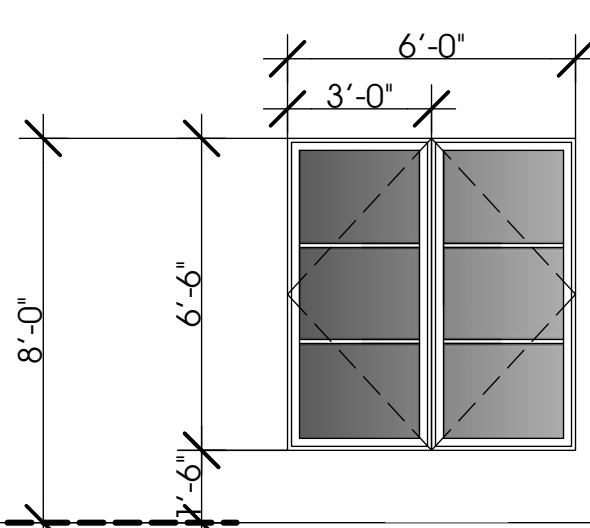
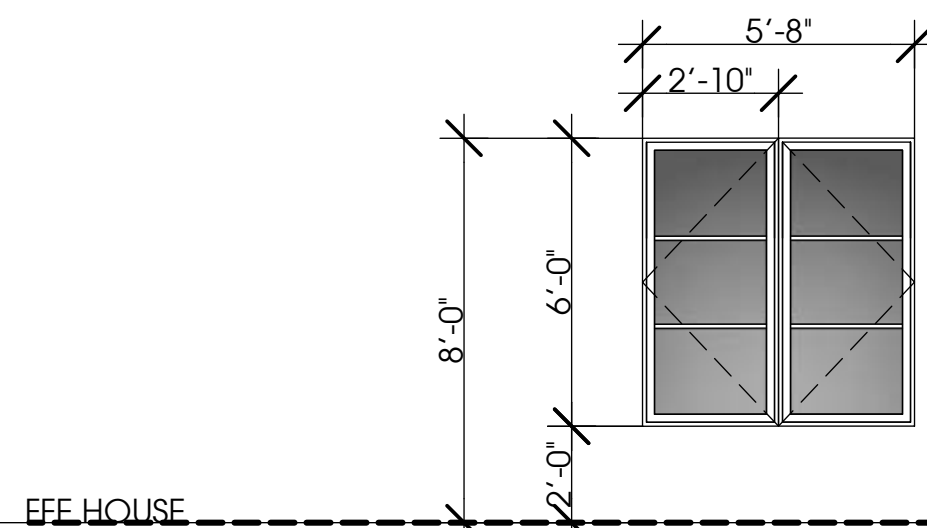
DATE :

SHEET TITLE :

Door & Window Schedules

SHEET NO. :

WINDOW TYPES



WINDOW NOTES

1. PROVIDE SUPPORT MULLION AND TRIM STRIP FOR MULLED WINDOWS.
2. GLASS SHALL BE IMPACT RESISTANT WITH LOW E COATING ON THE 3RD FACE
3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS-VERIFY W/OWNER.
4. WINDOWS SHALL BE SELECTED BY OWNER FOR EACH LOCATION
5. WINDOWS SHALL COMPLY W/312.2 WINDOW FALL PROTECTION.
6. PROVIDE FLASHING AT ALL WINDOWS AND PROVIDE BACKERDOD & SEALANT TO PREVENT WATER INTRUSION. SEE NOTES T1/T2 FOR FLASHING
7. SIZES ARE SHOWN TO HELP W/PRICING. PRICE STANDARD SIZES AS CLOSE TO SIZES SHOWN AS POSSIBLE. OWNER TO APPROVE ALL WINDOW STYLES AND MANUFACTURER.
8. WINDOWS: WINDOW Pinnacle METAL CLAD WINDOWS W/ APPLIED DIVIDED LITE.
9. ALL WINDOW UNITS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS. UNITS SHALL BE MADE THAT REQUIRE STRUCTURAL REVISIONS, BOTH OWNER AND ARCHITECT SHALL BE ADVISED.
10. WINDOW SILL HEIGHTS ARE SHOWN. VERIFY WITH OWNER/ARCHITECT DURING FRAMING IF DISCREPANCIES
11. PROVIDE PAREX WEATHERSEAL AT ALL WINDOWS ROUGH OPENINGS WITH DOW 795 SEALANTS.
12. CONTRACTOR, OWNER AND WINDOW SUPPLIER SHALL MEET AND REVIEW ALL WINDOWS, WINDOW TYPES, HARDWARE FINISH, OPERATOR TYPE FOR OPENING, SIDE FOR CRANK AND HINGE PRIOR TO ORDERING AND TO VERIFY COLOR



Site Looking South



Site Looking East



Site Looking West



Site Looking North



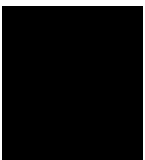
Improved Property to the East/Office



Improved Property to the West/Residence



East Neighbors Tree encroaching which will have to be trimmed or removed. Car wall is encroaching onto Keigley's property as indicated on the survey



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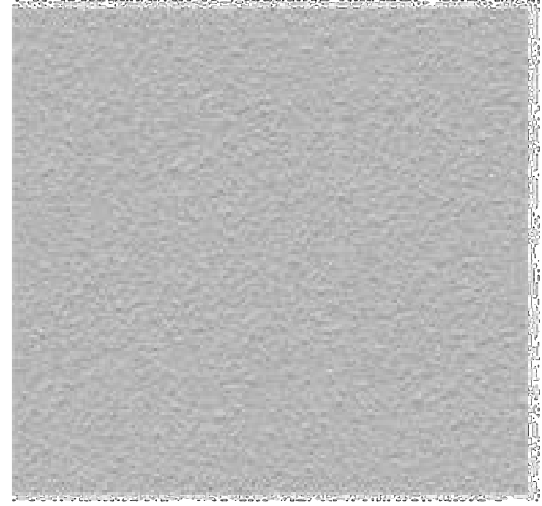
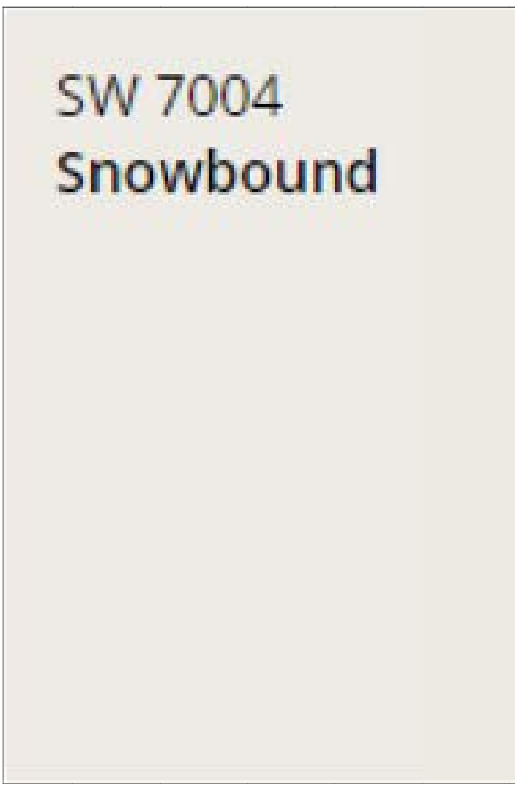

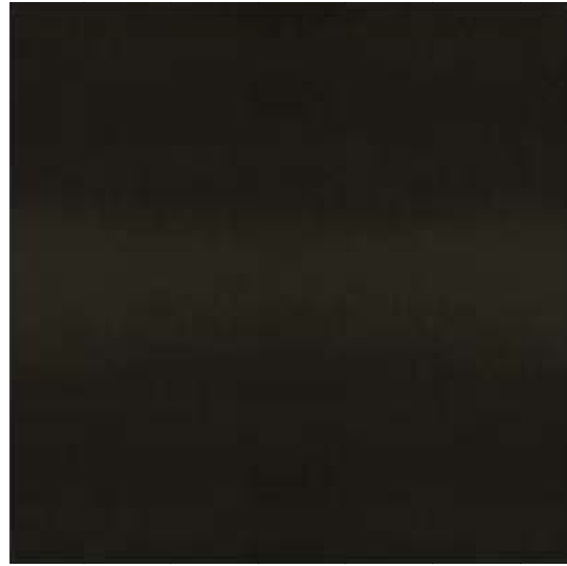



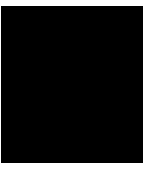








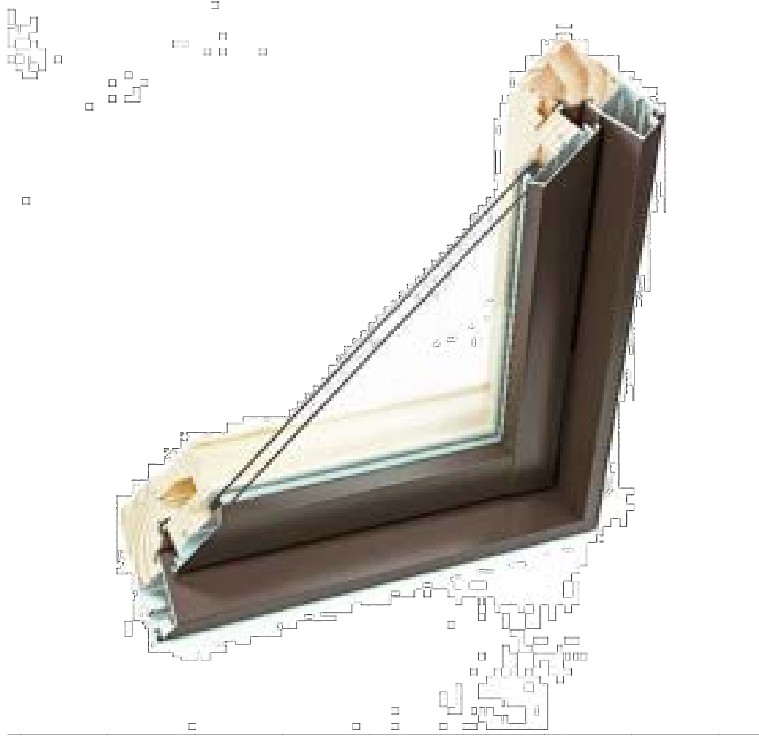



PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

Site Photos

<div>Keigley ARB Selections 613 Romana Aragon</div> <div>Wall Surface and Paint Colors</div> <div><div><div>Stucco Finish Sand Fine (not color)</div></div><div><div>SW 7004 Snowbound</div></div><div><div>SW 9549 Touch of Grey</div><div>Emerald® Designer Edition™</div></div></div> <div><div>Stucco Finish</div><div>House Color</div><div>Trim Color & Garage Door</div></div>	<div>Exterior Lighting</div> <div></div> <div>St. James The Winnipeg Copper Outdoor Lantern & Chandelier Wall Sconce & Front Door Lantern (In Dark Bronze)</div>	<div>Front Door -Custom built</div> <div></div> <div><div>Style of Front door(no vertical mullions)</div><div>Color of Wood Finish</div></div>	<div></div> <div>Christina Lee Cabassa ARCHITECT</div> <div>Florida AR0014272 Florida ID0003615</div> <div>1189 Mary Lou Lane Gulf Breeze, Florida 32563 Phone/Fax 850-916-9941</div> <div>CERTIFICATION :</div> <div>PROJECT — LOCATION :</div> <div>Keigley Residence Aragon</div> <div>613 East Romana Lot 2 Block M</div> <div>Type II Cottage HR-2</div> <div>ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL AND UN- PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</div> <div>REVISIONS :</div> <div>City ARB Submittal May 12, 2023</div> <div>DRAWN BY : CLC</div> <div>CHECKED BY : CLC</div> <div>PROJECT NO.</div> <div>DATE :</div> <div>SHEET TITLE :</div> <div>SHEET NO. : PRODUCTS 1</div>
<div>Railing Color & Example</div> <div><div></div><div><div>Railing Paint Color</div><div>Railing Style-Prefinished Aluminum</div></div></div>	<div>House Numbers (In Dark Bronze)</div> <div></div> <div><div>Number Style</div><div>Color: Dark Bronze</div></div>	<div>Back Yard French Doors</div> <div></div> <div><div>Windsor Pinnacle Metal Clad Doors Mullions 5/8" Putty TDL</div><div>Color: Black</div></div>	
<div>Windows</div> <div></div> <div><div>Windsor Pinnacle Metal Clad w/applied mullions both sides</div><div>Style of window Casement 5/8" Putty TDL</div><div>Color: Black</div></div>	<div>Garage Doors</div> <div></div> <div><div>Haas 2000 Series Insulated Steel Doors 8 panel</div><div>Paint color</div></div>	<div>Roof Material</div> <div></div> <div>Atlas Manufacturer Architectural Asphalt Shingle Color: Pewter</div>	

Porch Ceilings



Ceiling Style



Ceiling Wood Color and Stain
Weather washed Coating

Exterior Pavers Porches & Backyard



Peacock Pavers Style



Color: Rice White

Front Stair Riser Tile Example



Concrete Decorative Tile at Riser



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CERTIFICATION :

Gutter and Downspout Style



Ogee Style gutter



Color: White

Landscape Fence style

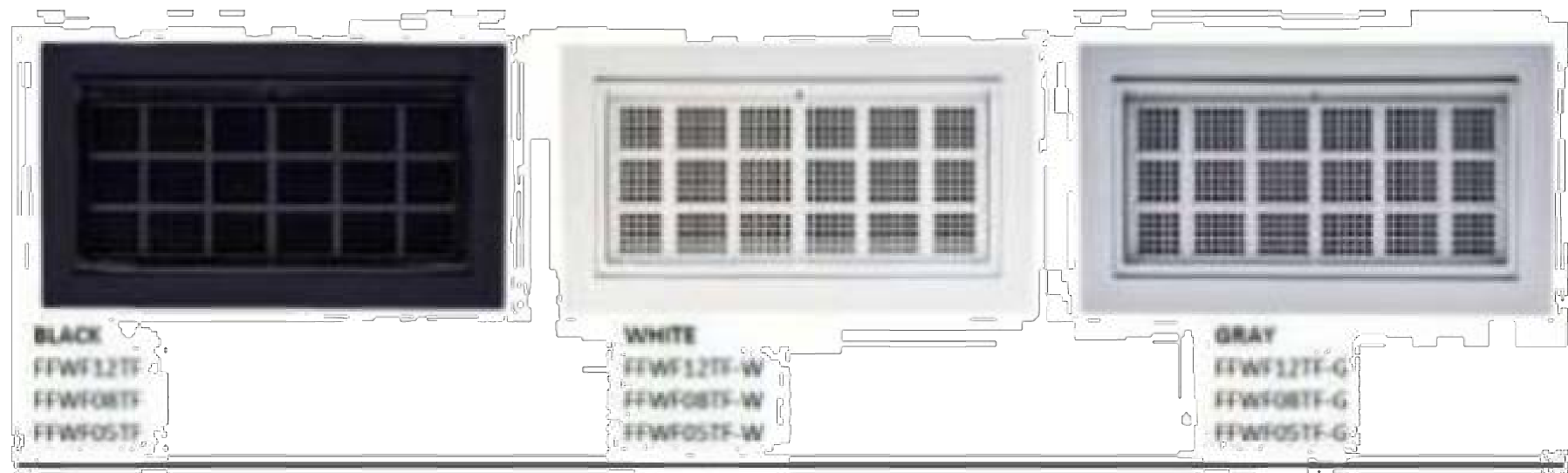


Style of Fence



Color of Fence

Floodvents Venting



FEMA Approved for Floodvents at Garage

Color: White

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REVISIONS :

City ARB Submittal
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

PRODUCTS 2

Pavers at sidewalk and Driveway

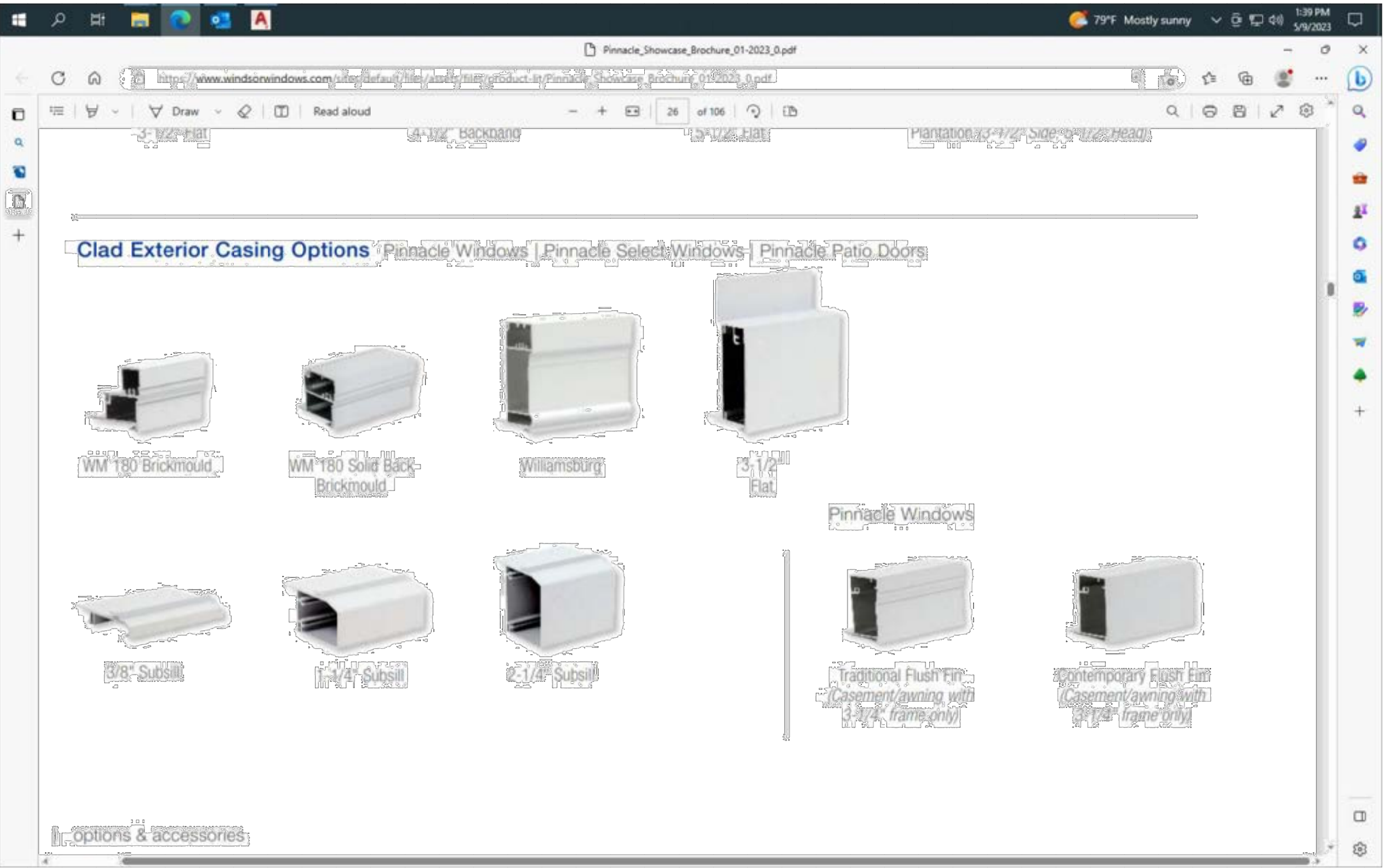


Belguard Holland Pavers



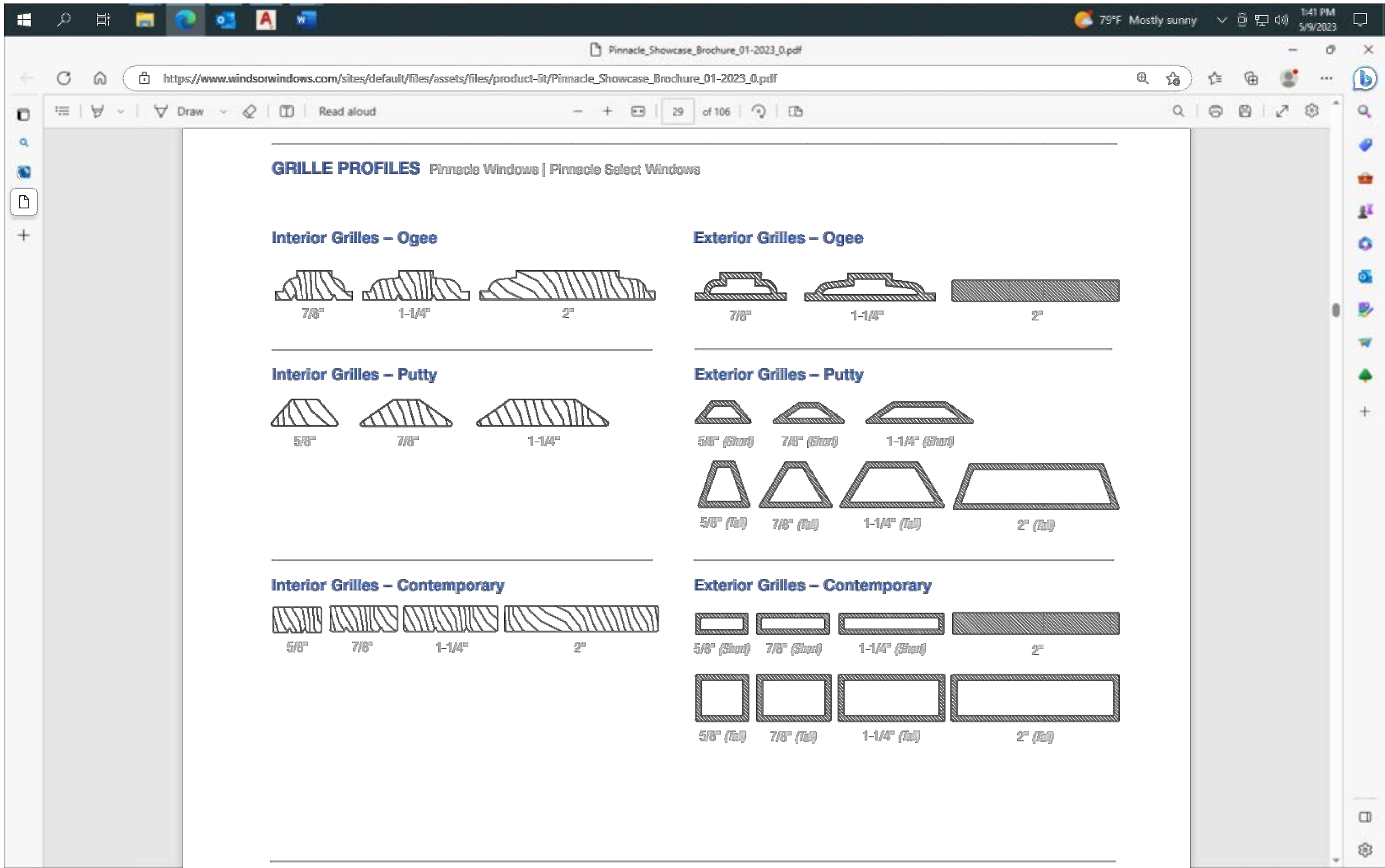
Color: Slate

WINDOW EXTERIOR CASING



EXTERIOR CASING IS TRADITIONAL FLUSH FIN

WINDOW AND BACK DOOR GRILL PROFILE



Grille Profile is 5/8" Putty



Pinnacle Swinging Patio Door

Features and Benefits

- Stainless steel multi-point locking hardware option for added security
- Integral structural astragal allows for doors up to 12 feet wide to be placed in a single frame, which decreases the potential for air and water infiltration
- "Easy Adjust" hinge system for effortless operation and correction after installation
- Wept sill system to eliminate water infiltration
- Dual-seal frame weatherstripping at panel face and edge improves air and thermal performance
- Taller sill provides excellent water performance and design pressure ratings
- Foam-backed glazing bead prevents paint and stain from bleeding
- Active stiles constructed of an LVL core material for added strength and stability
- Panel exterior matches Pinnacle product line with consistent depth from glass to face of the panel for a clean, complementary appearance
- Panels available in traditional French or contemporary narrow stile
- Low clearance (ADA-approved) sill options
- In-swing and out-swing options available
- 1/2 and 3/4 lite available with flat or split panel option
- Seg-top available

Sizes

- Five standard heights: 6'8", 6'10", 8'0", 9'0" and 10'0" (9'0" and 10'0" doors available in French panels only)
- Custom sizes available



www.windsorwindows.com



www.windsorwindows.com

Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Interior stop glazed with silicone sealant
- Custom and special glass types available

Exterior Trim

- Clad doors available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; primed doors available with WM 180 brickmould, WM 180 brickmould with flange, Williamsburg, 3-1/2" flat, 4-1/2" backband, 5-1/2" flat or plantation casing
- All prime door trims are cellular PVC

Grilles

- Windsor Divided Lite (WDL) = simulated divided lite
 - 7/8" and 1-1/4" Perimeter Grille
 - 3-4" and 1" Prolified Inner Grille
 - 13/16" Flat Inner Grille
 - 7/8" and 1-1/4" Ogee WDL
 - 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
 - 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
 - 3-3/8" Simulated Mid Rail
- Standard and custom grille patterns available

Weatherstripping

- Rigid, weatherable PVC or urethane foam encased in polyethylene film
- In-swing and out-swing doors feature bottom heavy-duty, self-adjusting sweep

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad doors available in heavy-duty extruded aluminum cladding; primed doors offer an assortment of traditional cellular PVC trim options

Clad Colors

- All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments
- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

- Classic or contemporary handle available in white, brushed chrome, polished chrome, satin nickel, antique nickel, brass, antique brass, faux bronze, oil rubbed bronze and black; Euro handle available in satin nickel and black

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



Pinnacle Select Impact Casement & Awning

Features and Benefits

- Clear Select Pine, Douglas Fir or Natural Alder interior
- Constructed with 2-5/16" wide stiles and rails that add structural stability and provide a more massive architectural appearance
- Robust 2-3/16" thick sash adds dimension and strength
- Double mortise and tenon sash joints fastened with screws for strength and stability
- Select casement and awning available in two styles
 - Operating: standard crank
 - Push-out: lever handle
- Retractable screens available on operating and push-out products; pull bar, cartridge case and frame of screen produced from same wood species as window



- Full-width extension jambs standard
- Push-out hardware consists of an easy-to-operate lever with cam rollers and keepers; this mechanism provides a multi-point locking system that is standard*



www.windsorwindows.com

- Push-outs equipped with adjustable friction hinges and lock rollers in both casement and awning
- Friction device on larger push-out awning maintains sash opening
- Operating casement uses adjustable hinges
- Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- Meets and exceeds building codes for extreme coastal environment conditions
- Laminated glass dampens sounds from traffic, neighbors and the outdoors
- Preserve protective film standard

Sizes

Available in hundreds of standard and custom sizes

Glazing

- Glazed with tape and structural glazing sealant
- Cardinal Sea-Storm® LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glass utilizes annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units with optional SGP inner layer; fixed units feature SGP inner layer

Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" sub sill available

Grilles

- Windsor Divided Lite (WDL) = simulated divided lite
 - 7/8" and 1-1/4" Perimeter Grille (NOT available on radius casements)
 - 7/8" and 1-1/4" Stick Grille
 - 3/4" and 1" Prolified Inner Grille
 - 13/16" Flat Inner Grille
 - 7/8" and 1-1/4" Ogee WDL
 - 5/8", 7/8", 1-1/4" and 2" Tall and Short Putty WDL

- 5/8", 7/8", 1-1/4" and 2" Tall and Short Contemporary WDL
- 2" Simulated Check Rail
- Standard and custom grille patterns available

Finishes

- Interior – Available in Clear Select Pine, Douglas Fir or Natural Alder
 - Primed: white or black
 - Painted: white, black or gray
 - Stained: 9 color options
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame

Clad Colors

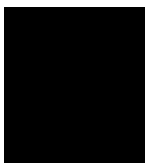
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- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

Hardware

- Encore folding nesting crank and cover by Truth® available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass. Push-out available in white, black, faux bronze, satin nickel or oil rubbed bronze
- Units come standard with Seacoast upgraded hinges and locking hardware

Performance Ratings

For current performance ratings, visit our website at windsorwindows.com and click on "Professional Information" in the menu bar



Christina Lee Cabassa
ARCHITECT

Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley
Residence
Aragon

613 East Romana
Lot 2 Block M

Type II
Cottage
HR-2

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

City ARB Submittal

May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

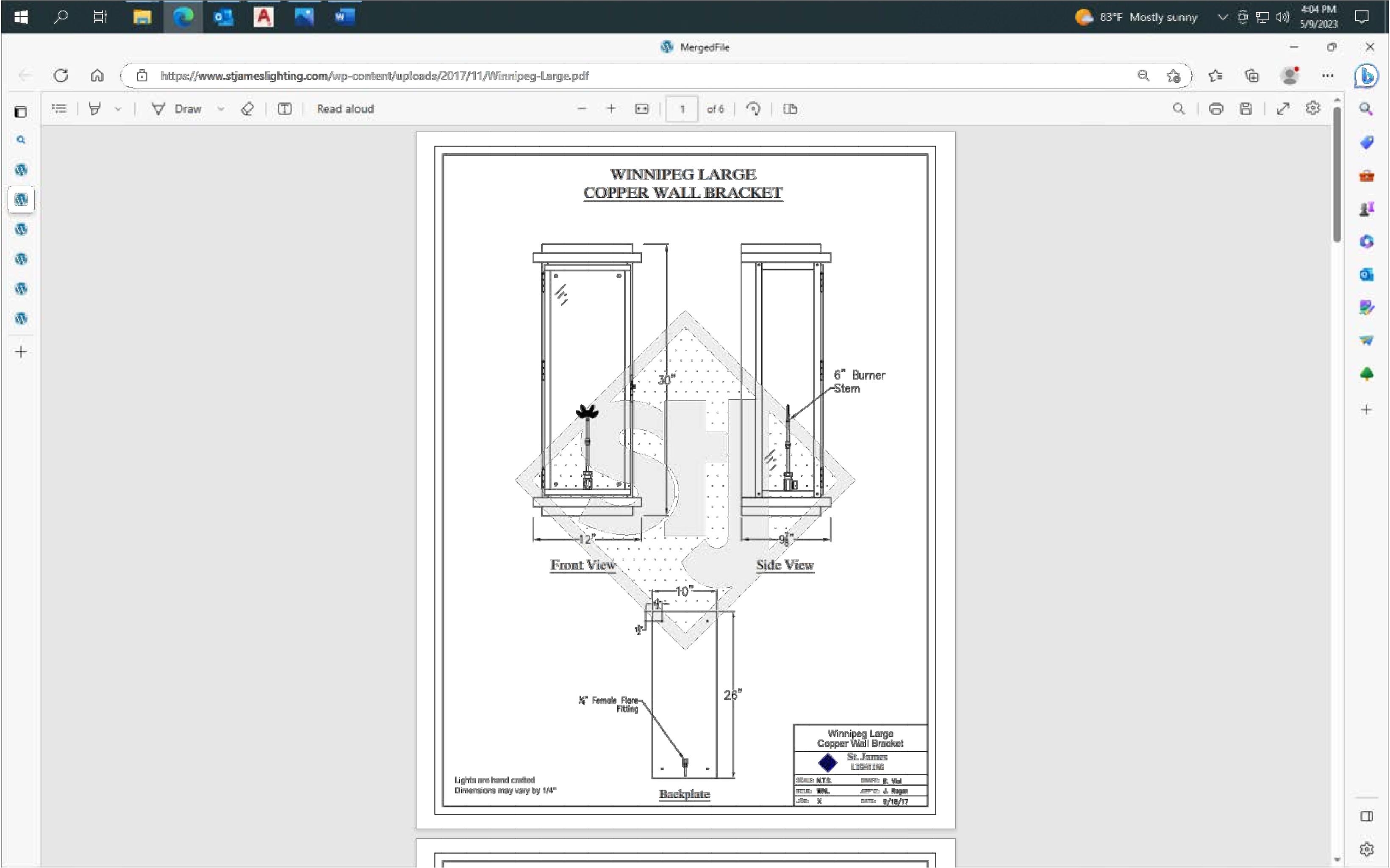
DATE :

SHEET TITLE :

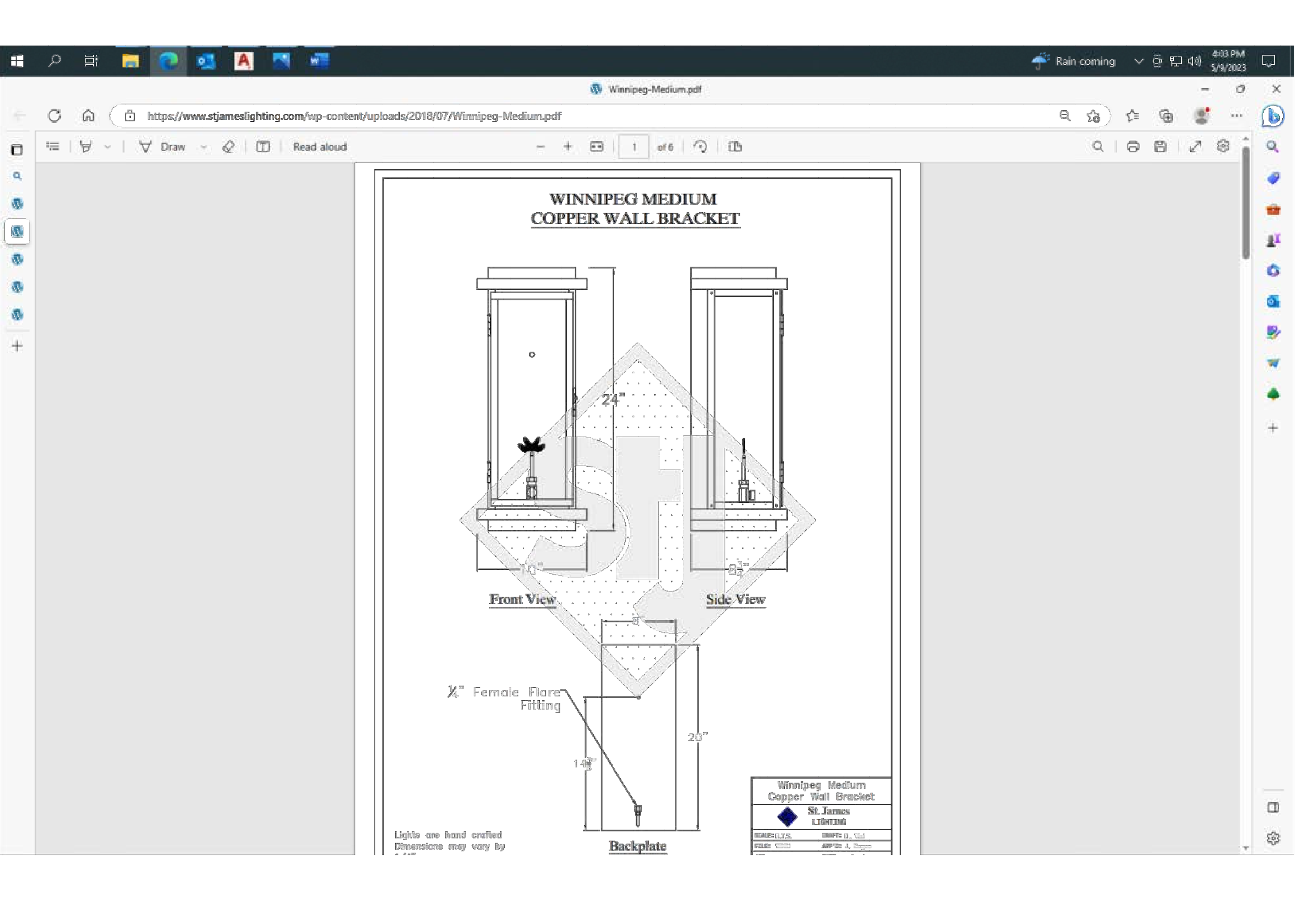
SHEET NO. :

Manufacturer 1

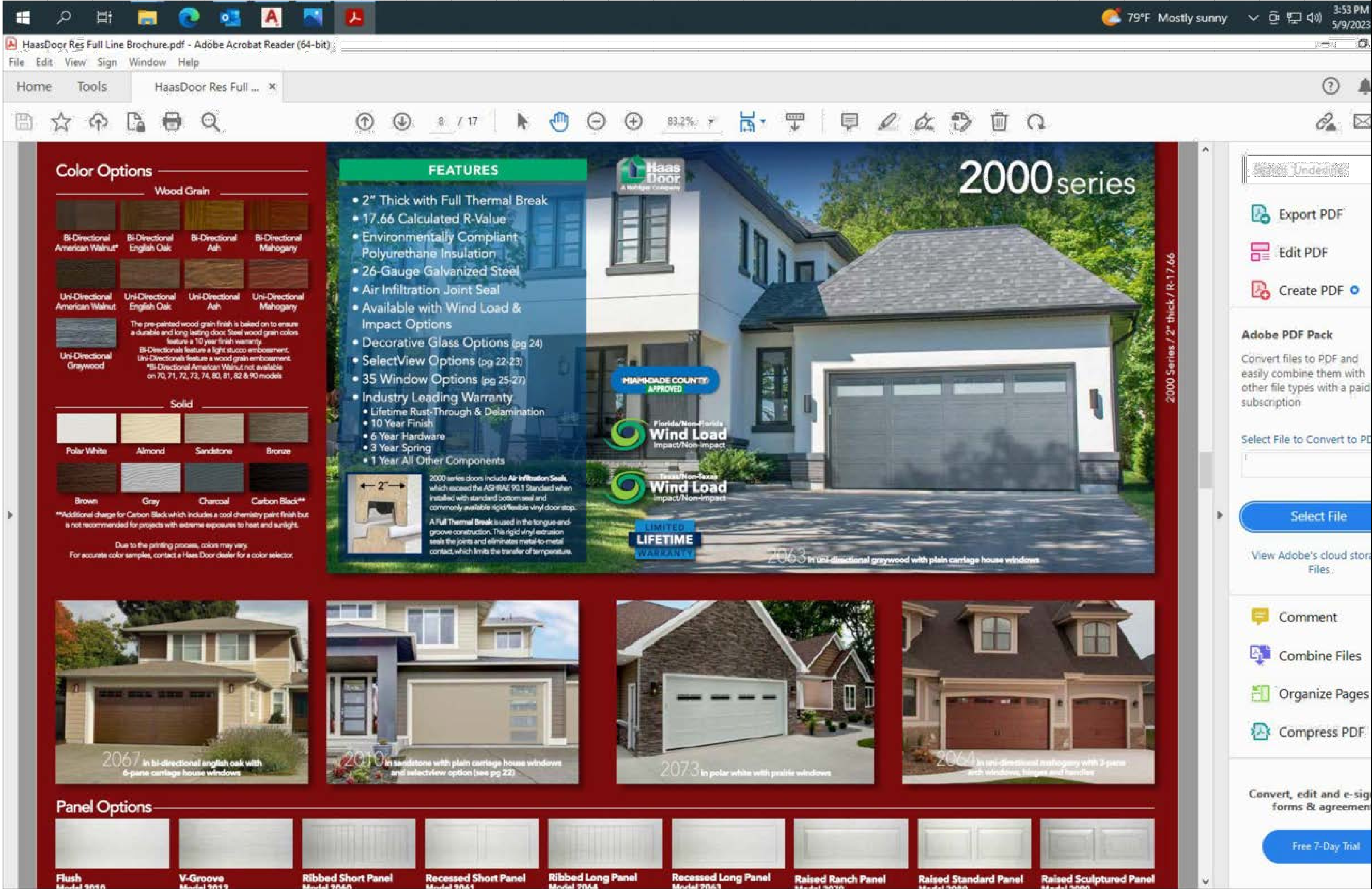
FRONT LIGHT



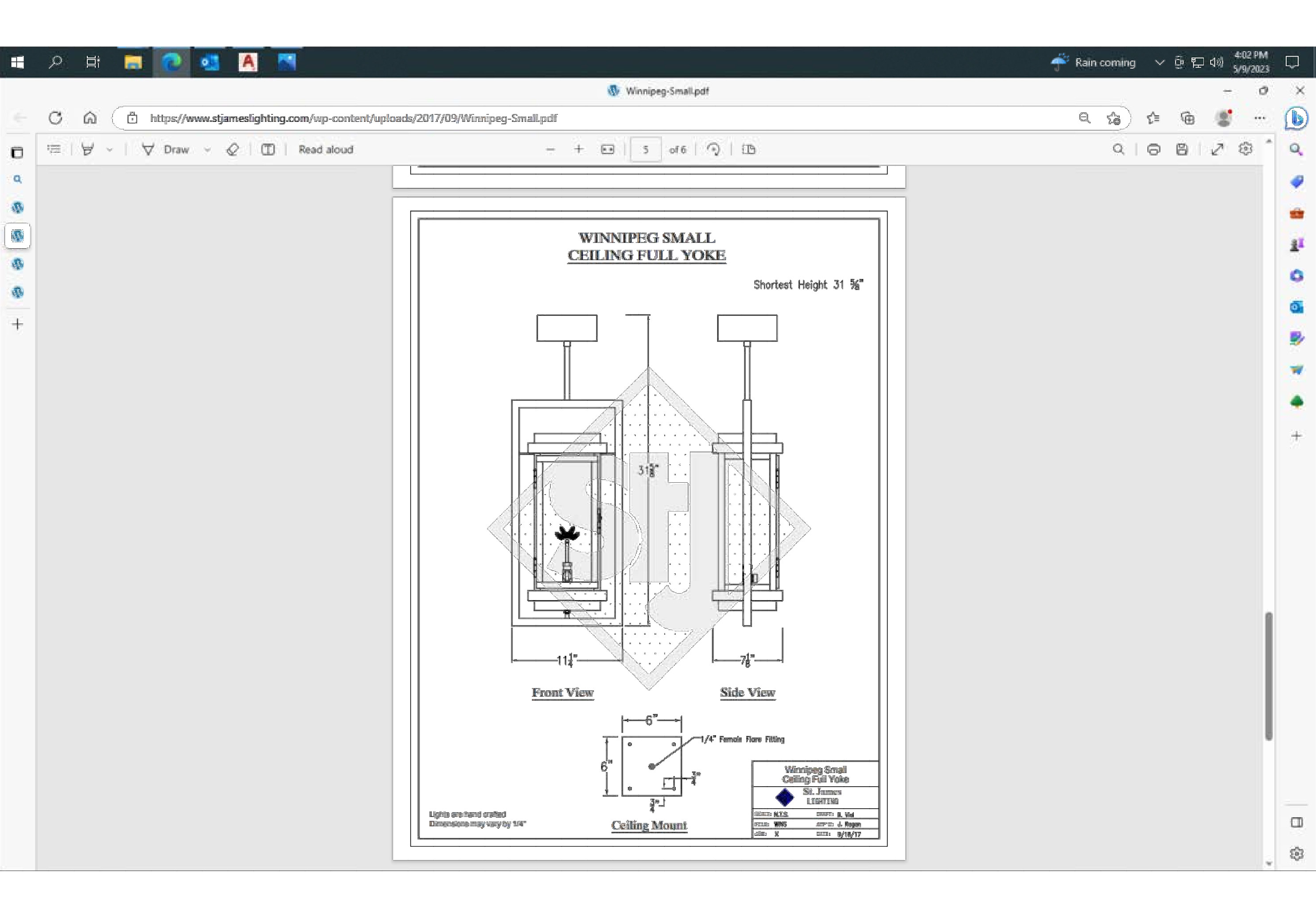
GARAGE LIGHTS



GARAGE DOOR SPECS



FRONT PORCH YOKE LIGHT




Christina Lee Cabassa
ARCHITECT
Florida AR0014272
Florida ID0003615

1189 Mary Lou Lane
Gulf Breeze, Florida 32563
Phone/Fax 850-916-9941

CERTIFICATION :

PROJECT – LOCATION :

Keigley
Residence
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613 East Romana
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REVISIONS :

City ARB Submittal
May 12, 2023

DRAWN BY : CLC

CHECKED BY : CLC

PROJECT NO.

DATE :

SHEET TITLE :

SHEET NO. :

Manufacturer 2

Adrianne Walker

From: Adrianne Walker
Sent: Tuesday, May 9, 2023 11:36 AM
To: Christy Cabassa; Gregg Harding
Cc: Ashley Keigley; 'Brian Keigley'
Subject: RE: [EXTERNAL] FW: Keigley Construction Document Review

Hi Christy,

The Aragon ARB email correspondence should suffice, and I can include it in your packet as a memo.

The City ARB will require the same information for a complete packet e.g. product information for windows and doors/garage door, window/door schedule, etc. and it probably wouldn't hurt to increase the size of the some of the material imagery just for detail sake. I also suggest including product information/ a brochure for all exterior light fixtures as well.

You are correct, the June 15 ARB meeting deadline for submission is May 25. Providing the complete pdf application ahead of the deadline is always helpful so there is time to review for any last-minute additions. Please let me know if you have any questions.

Thanks,
Adrianne

Adrianne Walker, RPA
Cultural Resources Coordinator
Visit us at <http://cityofpensacola.com>
[222 W Main St.](#)
[Pensacola, FL 32502](#)
Office: 850.435.1671
awalker@cityofpensacola.com



Tell us how we are doing by completing this short [survey](#).

Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: Christy Cabassa <christy931@mchsi.com>
Sent: Tuesday, May 9, 2023 8:34 AM

To: Gregg Harding <GHarding@cityofpensacola.com>; Adrienne Walker <AWalker@cityofpensacola.com>

Cc: Ashley Keigley <akeigley@gmail.com>; 'Brian Keigley' <keigley@gmail.com>

Subject: [EXTERNAL] FW: Keigley Construction Document Review

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Gregg and Adrienne

Good Morning!!

Before I submit my final documents on an Aragon project I wanted to be sure this email approval from Aragon ARB would suffice.

See below.

I had the metal clad windows called out and doors on the drawings and on this ARB selections document.

I have attached to make sure this is what you all will be looking for as well for the material selections.

I hope to submit by Friday or Monday May 15th. I believe the deadline is May 25 for the June 15th meeting.

Can you please confirm?



Christy Cabassa, Architect

1189 Mary Lou Lane phone 850-712-5788 + Gulf Breeze, FL 32563 + email: christy931@mchsi.com

Florida Registered Architect AR0014272

Florida Licensed Interior Designer ID0003615

From: Michael Crawford <michael@caldwell-assoc.com>

Sent: Friday, May 5, 2023 9:44 AM

To: Christy Cabassa <christy931@mchsi.com>

Cc: 'Brian Keigley' <keigley@gmail.com>; Ashley Keigley <akeigley@gmail.com>; kelly.wieczorek@gmcnetwork.com;

Michelle MacNeil <michellemacneil22@gmail.com>; Nora Bailey <norabailey52@gmail.com>; Susan Moody <susan@professionalassociationmanagers.com>

Subject: RE: Keigley Construction Document Review

Christy – your Construction Document Review application has been approved with the following comments:

1. Please indicate the product line (which determines material composition) of your Windsor windows – they have several that are clad.
2. Please indicate product line of the Haas garage doors – there are 8 different series. Note the carriage style doors are encouraged.
3. PDF packaged worked great – thank you.
4. Please follow up with verification of FEMA minimum flood elevation and if any modifications to the approved plans should be required.
5. Note that this is in the ARB jurisdiction and will need to be presented for approval before its board.

Good luck on your new home.

Michael Crawford

AIA, LEED AP, CPTED

(850) 439.3237

michael@caldwell-assoc.com

caldwell-assoc.com



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00462

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

410 S. Florida Blanca Street
Pensacola Historic District / Zone HC-1 / City Council District 6
New Accessible Ramp for a Contributing Structure

BACKGROUND:

Carter Quina is seeking approval for a wood accessible ramp connecting to an existing raised porch. The Barkley House is a contributing structure, but the raised porch and restroom/kitchen addition are modern reconstructions. The wood ramp, guard rail, and post caps will be painted white to match the existing with an aluminum brushed grab rail and a paver landing to match existing.

Please find attached all relevant documentation for your review.

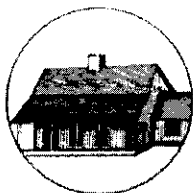
RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1) b. Historic and preservation land use district, Historic zoning districts: HR-1, HR-2, HC-1, and HC-2, Character of the district.

Sec. 12-3-10(1)e.8. Paint colors.

Sec. 12-3-10(1)f.11. Restoration, rehabilitation, alterations or additions to existing contributing structures in the historic district, Accessibility ramps and outdoor stairs.

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site # **ES00128**
 Field Date 9-9-1997
 Form Date 9-9-1997
 Recorder # _____

Site Name(s) (address if none) BARKLEY HOUSE Multiple Listing (DHR only) _____
 Survey Project Name FLORIDA FOLK ARCHITECTURE SURVEY Survey # (DHR only) 21411
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 410 Direction S Street Name FLORIDA BLANCA Street Type Street Suffix Direction S
 Address: _____
 Cross Streets (nearest / between) ZARAGOZA AND FLORIDA BLANCA STREET
 USGS 7.5 Map Name PENSACOLA USGS Date 1987 Plat or Other Map TAX ASSESSORS, PENSACOLA
 City / Town (within 3 miles) Pensacola In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 46 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # STATE-OWNED Landgrant OLD CITY TRACT; SITE OF SPANISH COLONIA
 Subdivision Name PENSACOLA HISTORIC DISTR Block 6 Lot 31
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting Northing
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1821 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1825 To (year): 1966
 Current Use Boardinghouse From (year): 1930 To (year): 1940
 Other Use Community center From (year): 1985 To (year): _____
 Moves: ☐ yes ☐ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1950 Nature 1972; 1988; REHAB UNDER DIRECTION HPPB
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): N/A Builder (last name first): BARKLEY, CHARLES
 Ownership History (especially original owner, dates, profession, etc.) BUILT BY CHARLES BARKLEY, ANGLO SHIP CAPTAIN FOR FRENCH WIFE CLARA GARNIER OF NEW ORLEANS, COMBINES ENGLISH AND FRENCH HOUSE CHARACTERISTICS.
 Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style French Colonial Exterior Plan Rectangular Number of Stories 3
 Exterior Fabric(s) 1. Drop siding 2. Glazed masonry 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Wood shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Gable dormer 2. _____
 Windows (types, materials, etc.) TRIPLE HUNG SASH; WOOD MULTI-PANE
 Distinguishing Architectural Features (exterior or interior ornaments) TURNED WOOD BALUSTERS, DEEPLY CURVED TURNED COLUMNS

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) NONE REMAINING. NOW MUSEUM SETTING. ONCE HAD A COMPLEX OF SEVERAL UTILITARIAN BUILDINGS OF SIMILAR DESIGN ATTACHED WITH A RAISED WALKWAY.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)				

DESCRIPTION (continued)

Chimney: No. 4 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Braced wood frame 2. Brick 3. Masonry - General
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Brick 2. Stucco
 Main Entrance (stylistic details) MULTI PANE FRENCH DOORS

Porch Descriptions (types, locations, roof types, etc.) THREE OPEN PORCHES AND TWO INCISED PORCHES. SOUTH, EAST AND WEST FACADES. APRON PORCH ON WEST; WRAP AROUND PORCH TO SOUTH, INCISED PORCH ON EAST.

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource RARE EXAMPLE OF A RAISED HIGH HOUSE MORE OFTEN FOUND IN THE MISSISSIPPI RIVER VALLEY. MIGHT ALSO BE IDENTIFIED AS AN AMERICAN COTTAGE BECAUSE OF THE CENTER HALLWAY, UNUSUAL IN A CREOLE HOUSE OF THIS PERIOD.

Archaeological Remains JUDY BENSE OF UWF EXCAVATED AN HIST. ARCH. LOG CABIN SITE ON THE ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☒ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☒ plat maps
☐ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☐ historic photos ☒ interior inspection ☐ HABS/HAER record search
☐ other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☐ no ☒ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) SOLE REMAINING COLONIAL CREOLE HIGH HOUSE. SIGNIFICANT FOR HISTORIC AND ARCH. ASSOCIATIONS.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Architecture 3. Maritime history 5. Community planning & development
 2. Ethnic heritage 4. Local 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field maps Maintaining organization Historic Pensacola Preservation Board
 Document description SANBORN MAPS; LOCAL SITE FILES File or accession #'s BY ADDRESS
 2) Document type Photographs Maintaining organization Historic Pensacola Preservation Board
 Document description PHOTO FILES BY ADDRESS File or accession #'s BY ADDRESS

RECORDER INFORMATION

Recorder Name DR. DIANA GODWIN Affiliation University of Central FL
 Recorder Contact Information 2086 LAS VEGAS TRAIL, NAVARRE, FL (850) 939-3001
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

410 S. Florida Blanca



410 S. Florida Blanca Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 5/23/2023

Project Address: 410 South Florida Blanca Street Pensacola, FL 32502

Applicant: Carter Quina

Applicant's Address: 400 West Romana Street Pensacola, FL 32502

Email: CQUINA@QGARCHITECTS.COM **Phone:** 850-433-5575

Property Owner: UWF Historic Trust

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

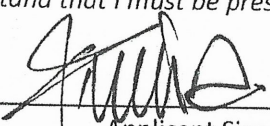
- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Installation of accessible ramp.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

5/23/2023

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Barkley House Accessible Ramp Addition

University of West Florida Historic Truste

410 S Florida Blanca Street



Aerial view of Barkley House from the east. The proposed new accessible ramp will be placed north and east of the existing Kitchen which was added to the Barkley House in 2008 to accomodate Restrooms. Zarraggossa Street is to the right and S Florida Blanca Street is beyond.



View of S Florida Blanca Elevation. The new ramp will be located beyond the stair shown on the left. The existing oak tree will remain.



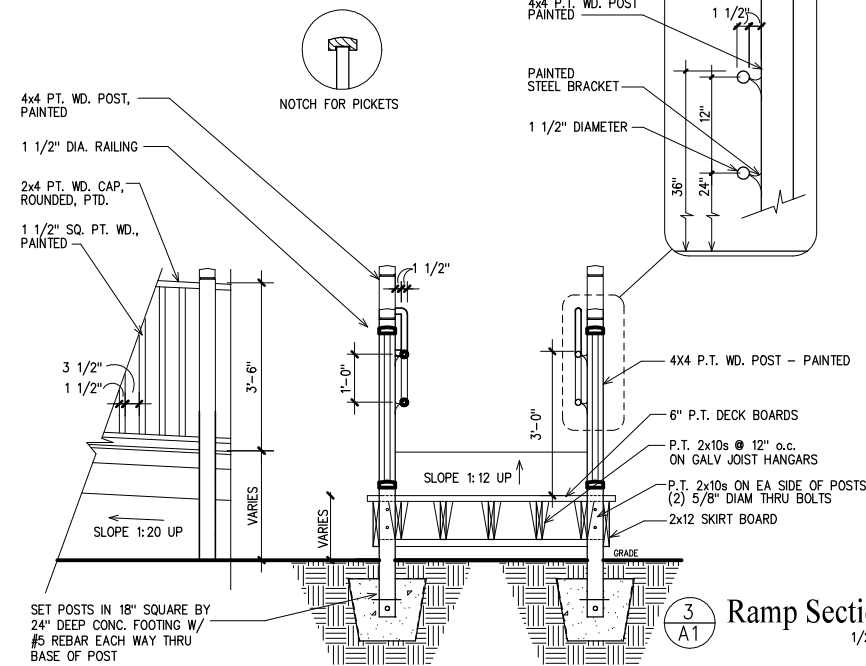
View of the South Elevation. The proposed ramp will have no effect on this primary view.



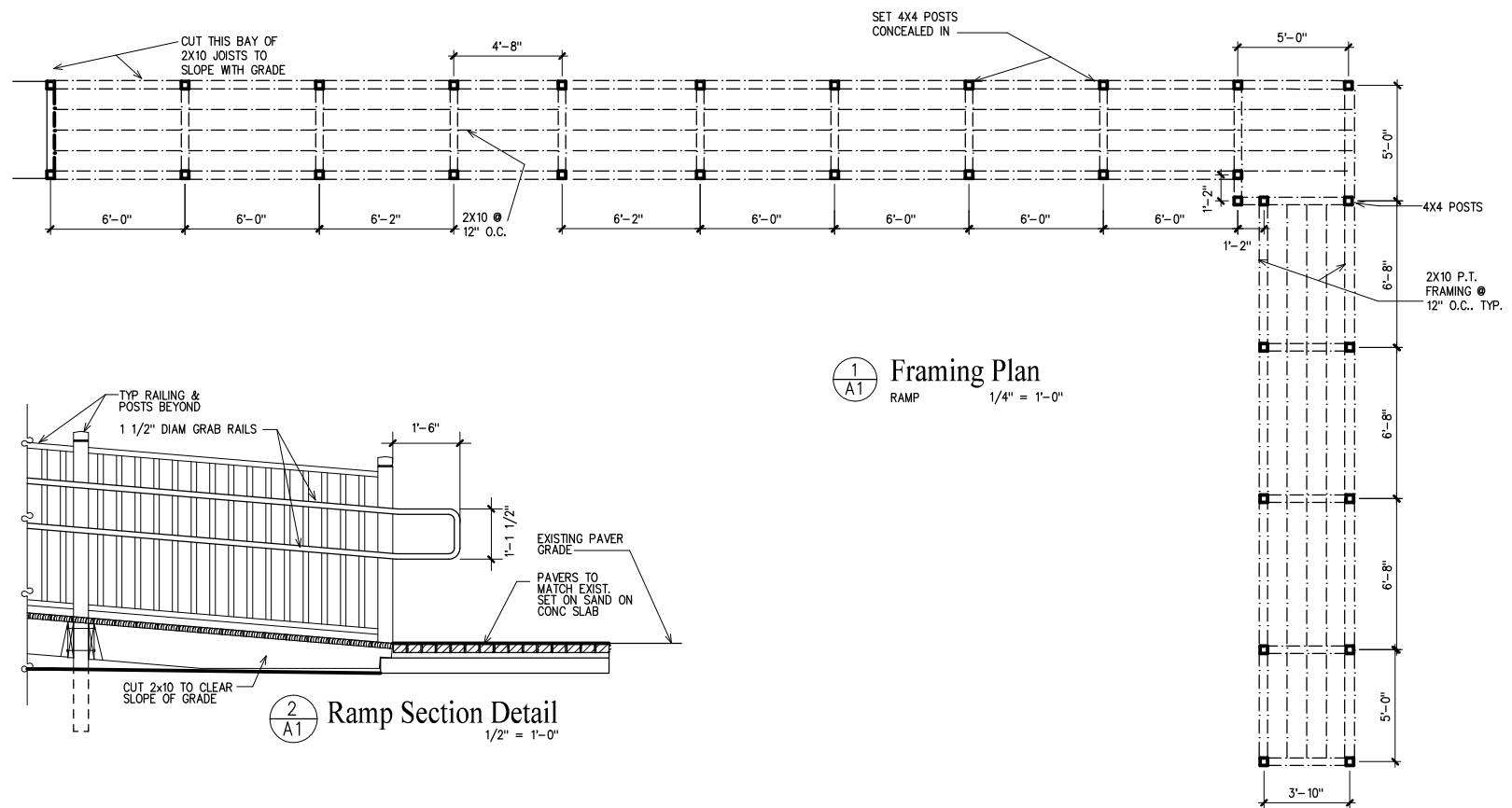
View of the north elevation of the Kitchen and the Barkley House.



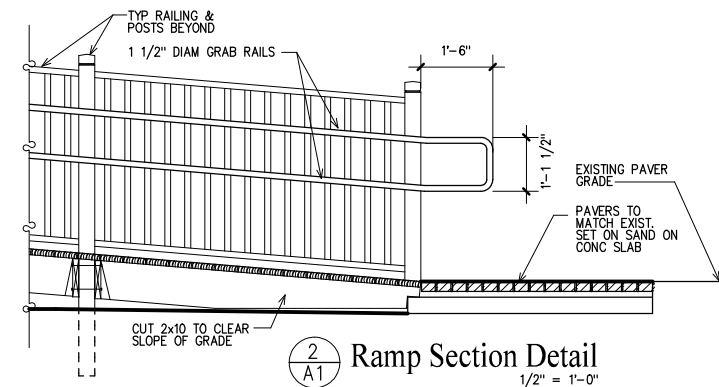
View of the east elevation of the Kitchen used for Restrooms.



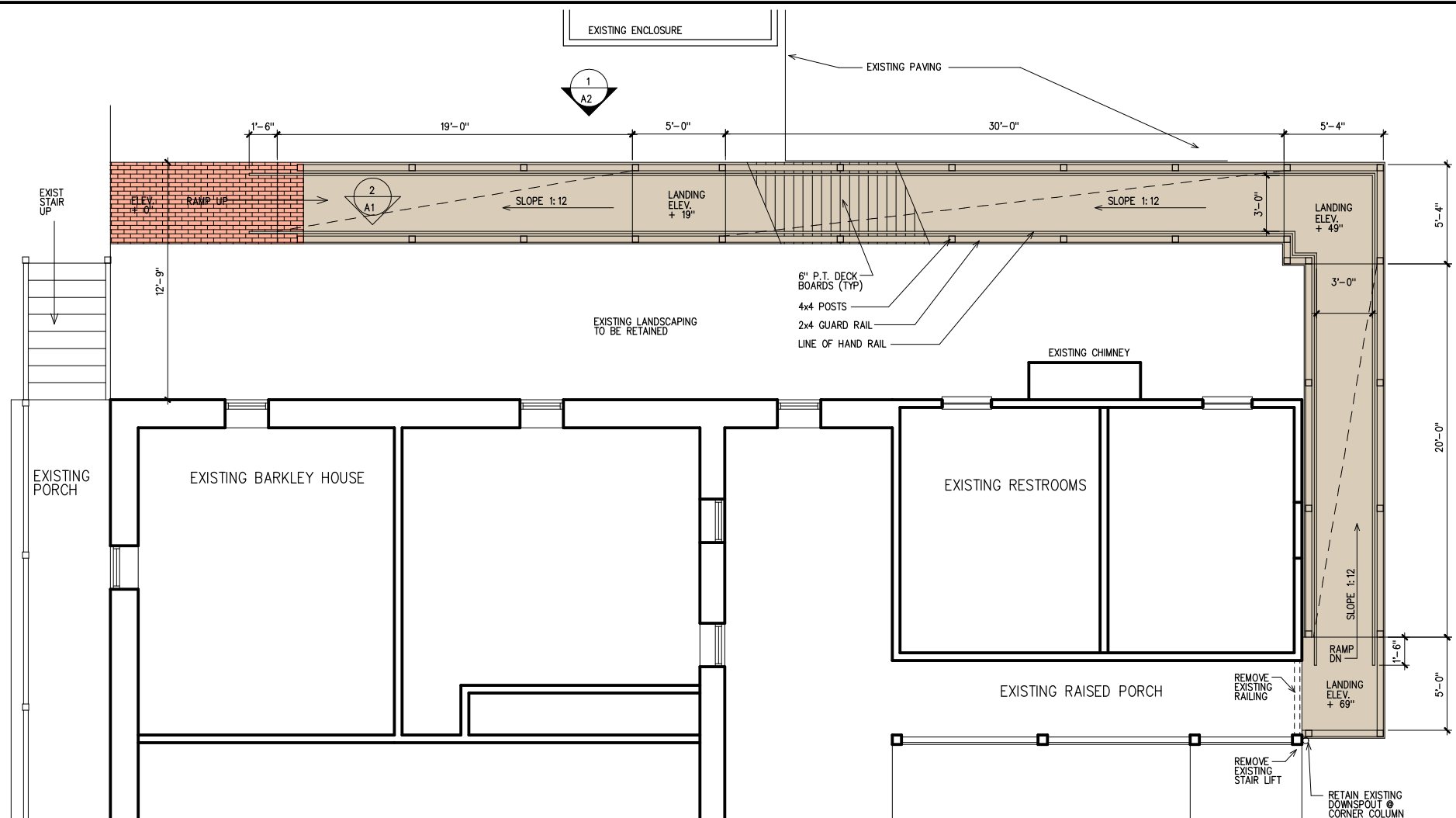
1 Ramp Section Detail
1/2" = 1'-0"



1 Framing Plan
1/4" = 1'-0"



2 Ramp Section Detail
1/2" = 1'-0"



Ramp Plan
1/4" = 1'-0"

ALL RAMP
COMPONENTS
TO BE PAINTED
WHITE TO
MATCH THE
EXISTING

Project
**Barkely House
Ramp**

UWF Historic Trust

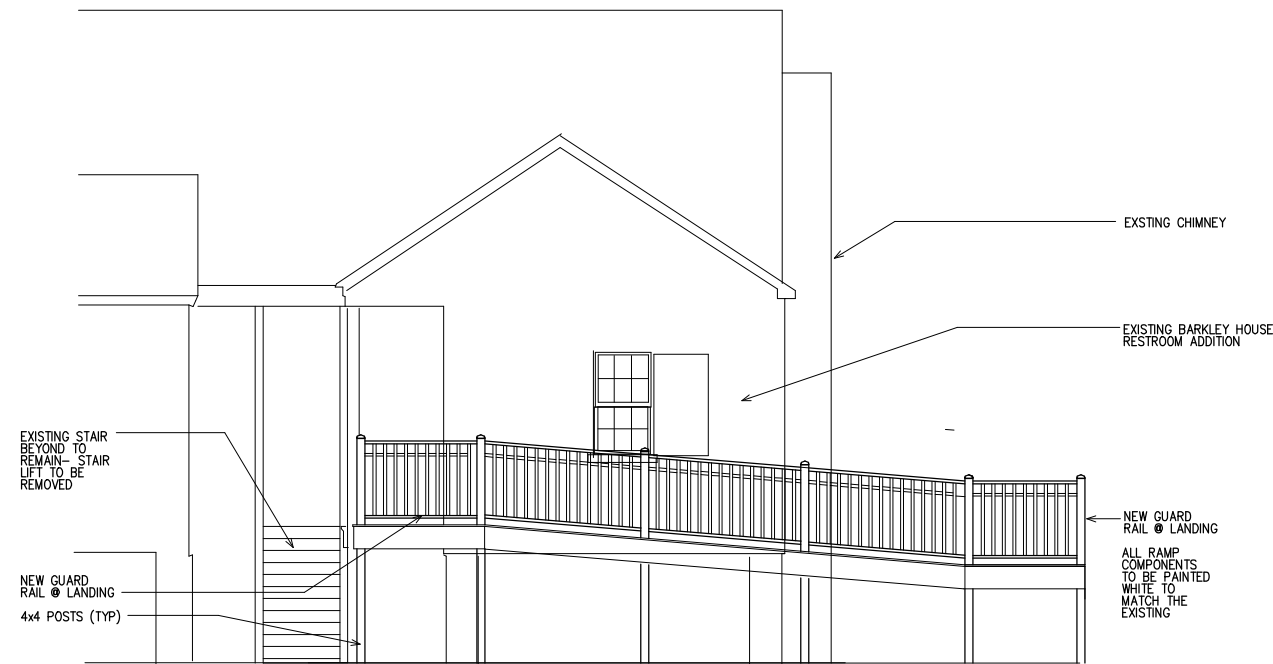
Pensacola, Florida

Date:
04-18-23

Project No.
2023B

Sheet No.

A1 68



2
A2 Partial East Elevation

1/4"=1'-0"



1
A2 North Elevation

1/4"=1'-0"

Waddell (Brand Rating: 4.2/5) ⓘ

4 in. x 4 in. Black Pyramid Post Cap with Pine Base

★★★★★ (5) ✓ Questions & Answers (4)











City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00463

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

29 S. DeVilliers Street
Governmental Center District / Zone C-2 / City Council District 7
Addition to an Existing Structure

BACKGROUND:

Carter Quina is seeking approval for a 280-sf. addition to an existing structure. The proposed addition will match an existing addition including a galvanized corrugated metal roof, matching wood shutters, 30-inch exposure cedar shingle siding painted to match, new masonry piers with painted stucco and painted metal crawl spaces to match, two existing windows will be relocated, and one, new single hung wood window with true divided lite will be installed.

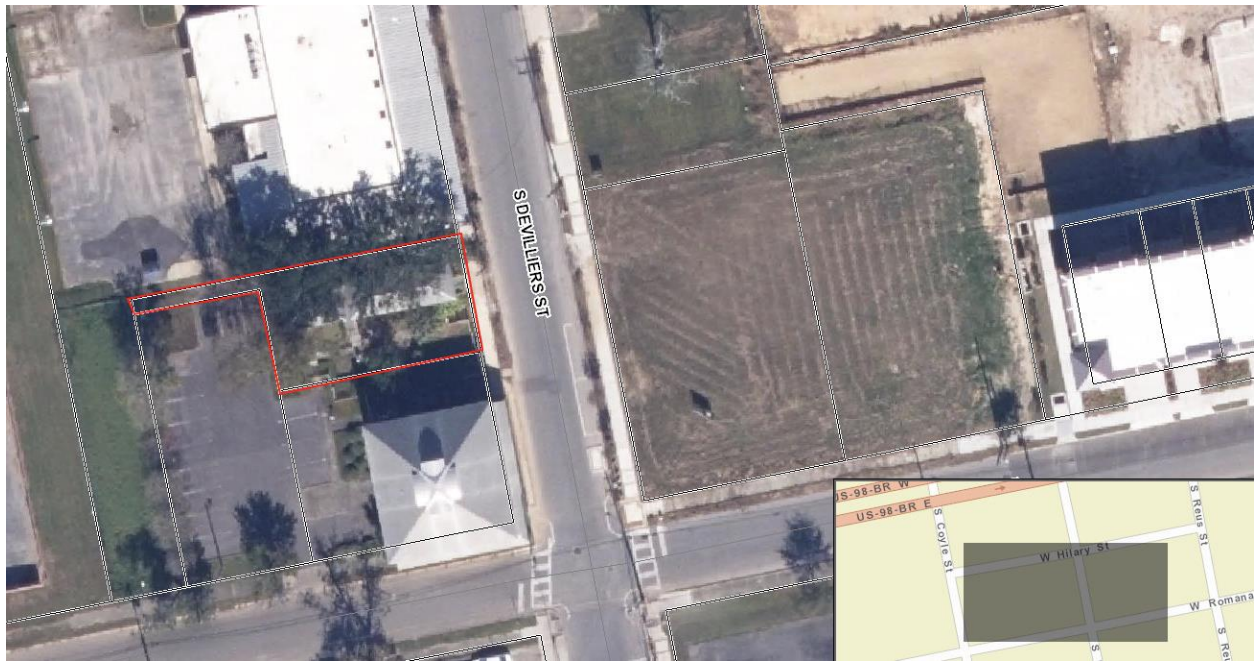
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-28(b) Governmental Center District, Procedure for review of plans

Sec. 12-3-28(c) Governmental Center District, Decisions

29 S. DeVilliers Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 3/23/2023

Project Address: 29 South DeVilliers Street Pensacola, FL 32502

Applicant: Carter Quina

Applicant's Address: 400 West Romana Street Pensacola, FL 32502

Email: CQUINA@QGARCHITECTS.COM **Phone:** 850-433-5575

Property Owner: Quina Group Ltd.

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

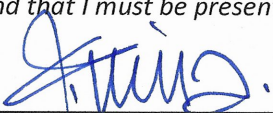
- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Addition to existing structure.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

3/23/2023
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Addition of the Casita 29 S DeVilliers Street



Aerial view of 29 S DeVilliers showing Architects office to the left and office building to the right. Pink shows approximate location of the addition.



Existing street view from DeVilliers.



Photo to the left shows the existing 2002 addition to the original Railroad Flat. The recessed entry divides the old and new.



Photo to the left shows the existing condition and the rendering below shows the new addition to the 2002 addition. All the materials and details of the 2023 addition will match the 2002 materials. Two existing windows will be relocated and one new window will be installed.





Ultimate Wood Single Hung

The Ultimate Wood Single Hung window is a classic style with an operating bottom sash and stationary top sash. Flexible design options like wood species and stains assist with historical accuracy.

- Multiple design options and woods available to match historical aesthetics and design requirements
- Fits openings up to 4 feet wide by 8 feet high
- Also available as a round top, single hung, stationary transom, or picture window



Find Marvin products in your area and request a price quote. Connect with a dealer near you to get started.

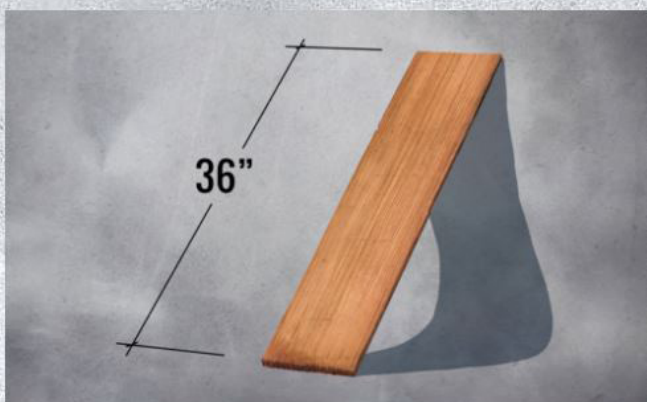
New window to be Marvin wood true divided lite with impact glass, single hung. Wood shutters to match existing.

New roof to be galvanized, corrugated metal matching the existing roof.

New siding to be 30" exposure cedar shakes, painted to match existing.

12 ft. Corrugated Galvanized Steel 29-Gauge Roof Panel

★★★★★ (81) Questions & Answers (45)



Images © 2006-2023 Custom Shingles

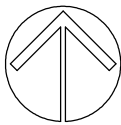
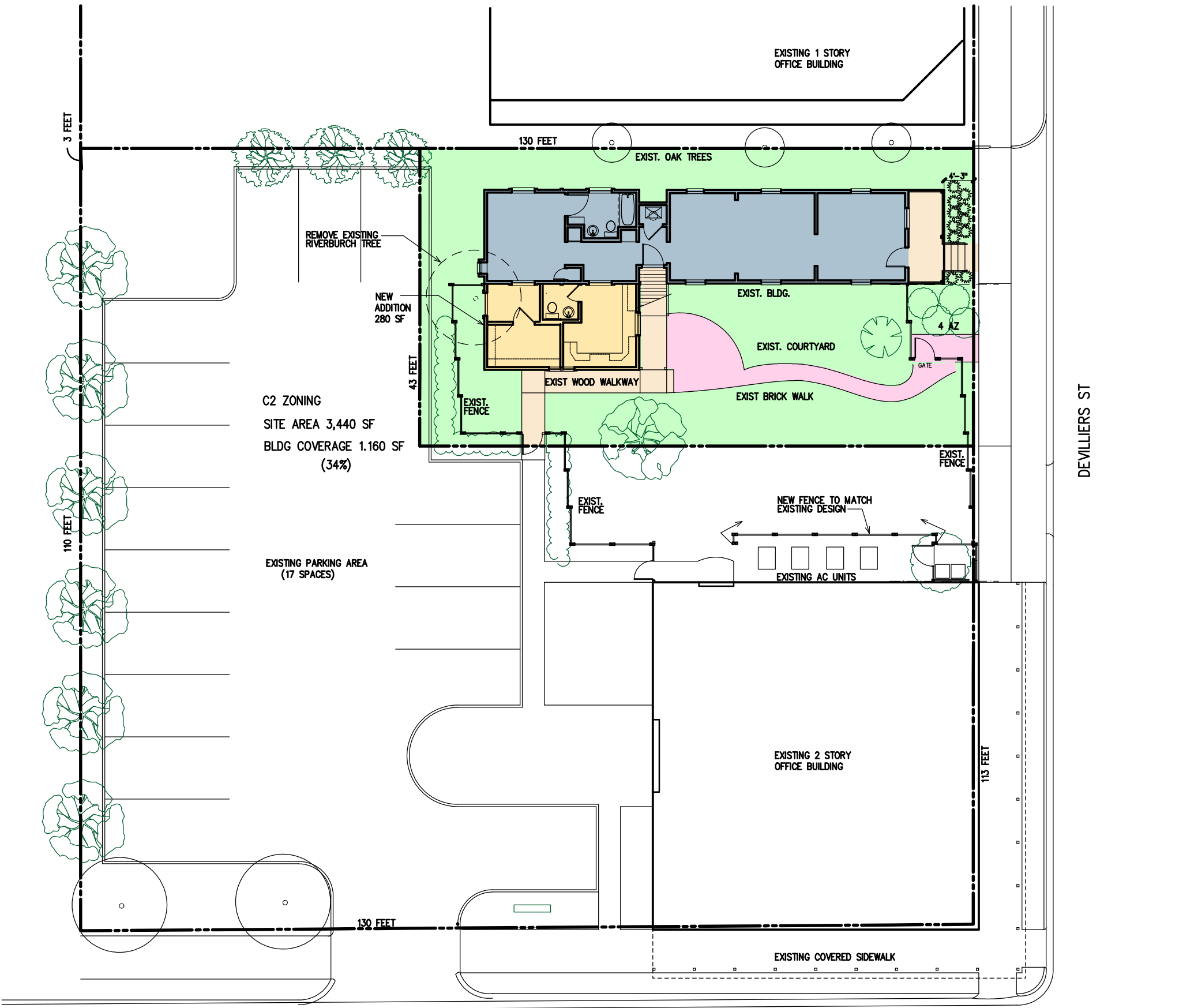
36" Handsplit Shakes

Shakes are a more rustic alternative to shingles that are notable for having one hand-split face. This gives them the rough outer appearance characteristic of traditional ranch homes, but suitable for luxury cottages and a wide range of other applications. Unlike shingles, their irregular sizing requires the use of a felt interlay for weather and moisture resistance.

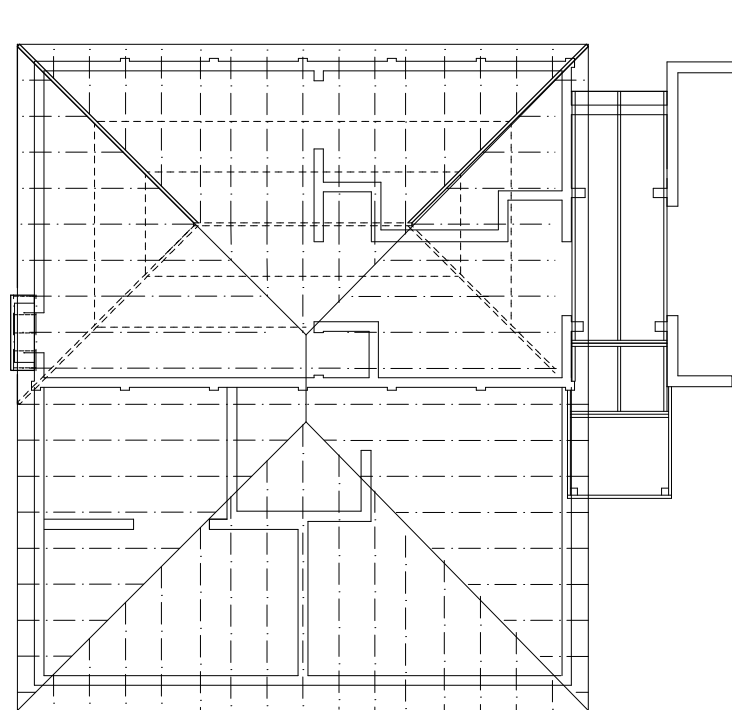
Custom Shingles manufactures a 36" Cedar shake for use on heritage properties and other specialized projects. Longer than our standard shake, it offers a wide range of possibilities for customization while still delivering the quality you expect from our products.

Addition to The Casita

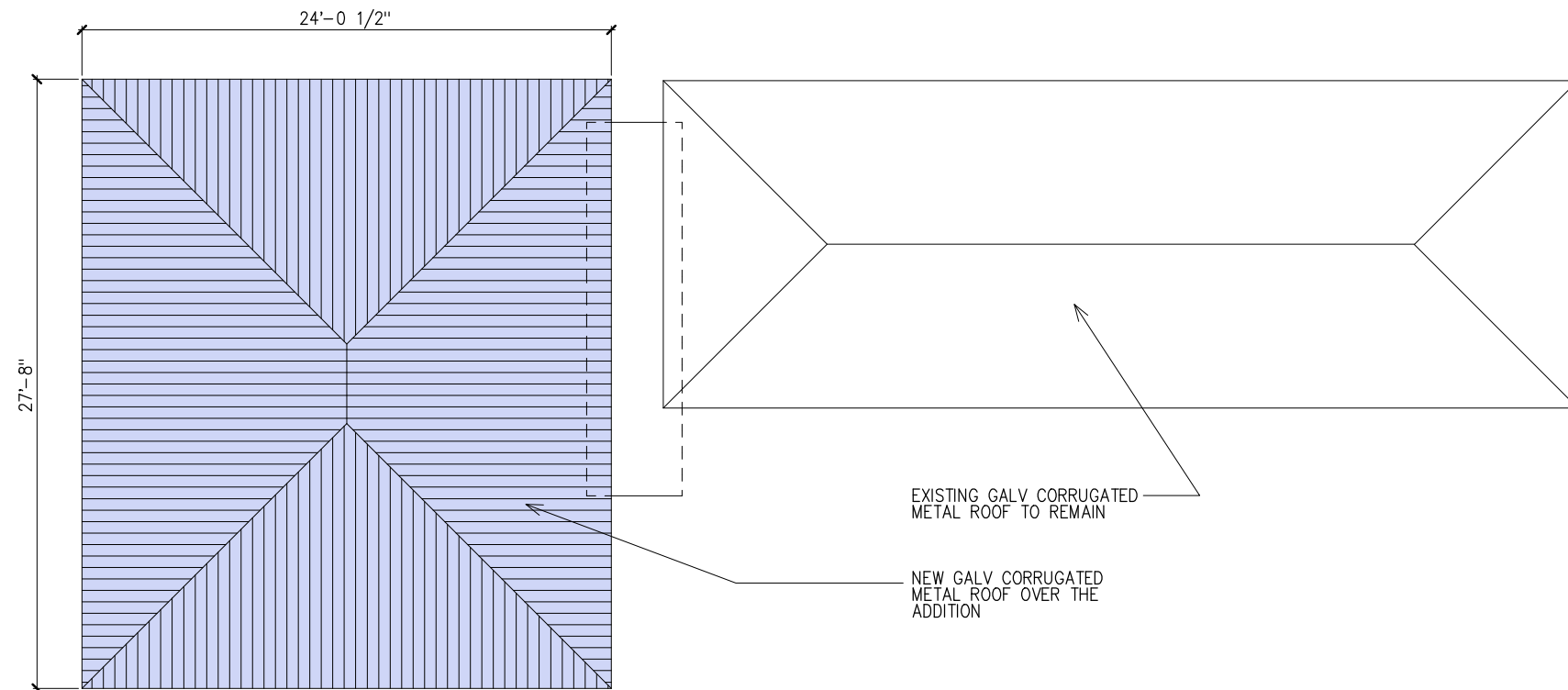
29 S DeVilliers



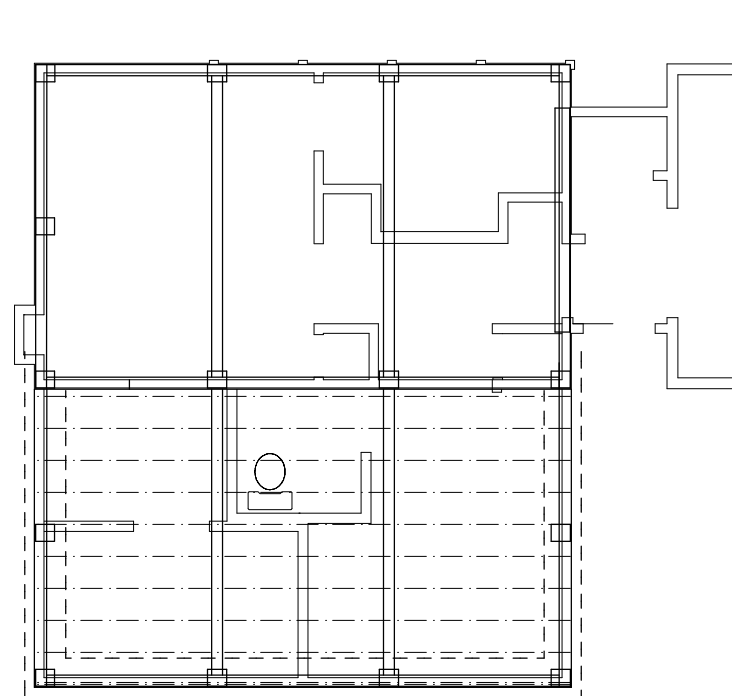
SITE PLAN
1" = 10'-0"



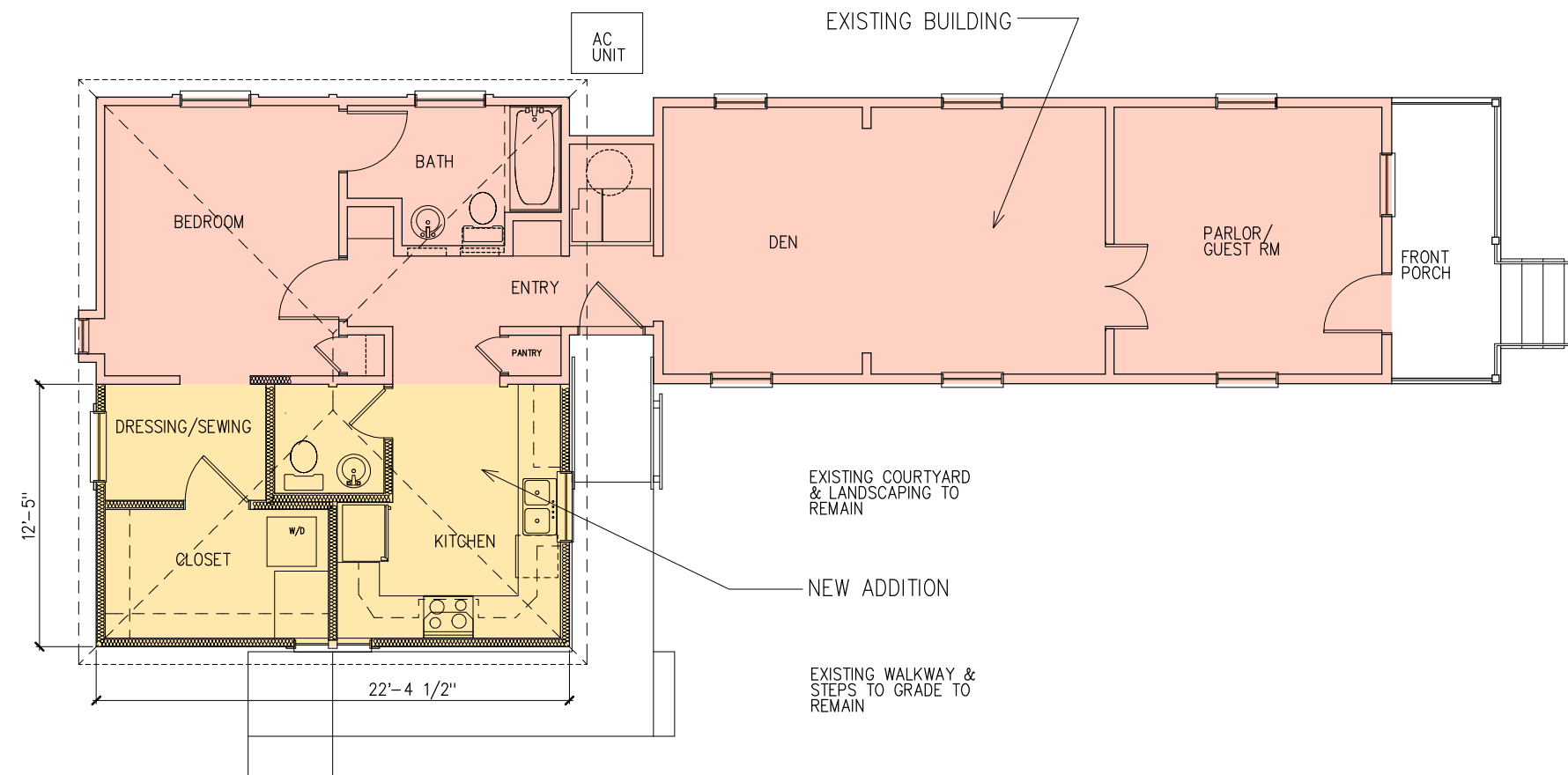
2 ROOF FRAMING PLAN
3/8" = 1'-0"



1 ROOF PLAN
3/8" = 1'-0"



3 FLOOR FRAMING PLAN
3/8" = 1'-0"



FLOOR PLAN
1/4" = 1'-0" 813 sf (1,093 SF)



EXISTING NORTH ELEVATION SHOWN FOR REFERENCE. NO WORK ON THIS FACADE

1
A1

NORTH ELEVATION

3/8" = 1'-0"

GALVANIZED, CORRUGATED METAL
ROOF ON PEEL & STICK ON
5/8" PLYWOOD DECKMETAL ROOF TO MATCH THE
EXISTING ROOFNEW WOOD SHUTTERS TO
MATCH EXISTING
SHERWIN WILLIAMS
GREENNEW WOOD
TRUE DIVIDED
LT WINDOW
W/ IMPACT
GLASSPTD. CEDAR SHINGLES
SHERWIN WILLIAMS
SEDONA CLAY
NUMBER: SW 2313PTD. WOOD TRIM
SHERWIN WILLIAMS
COLOR: COLONY BUFF
NUMBER: SW 2207

SLOPE 1:20

EXISTING SOUTH ELEVATION SHOWN FOR REFERENCE. NO WORK ON THIS FACADE

2
A1

SOUTH ELEVATION

3/8" = 1'-0"

1 | 2-17-03 | GENERAL

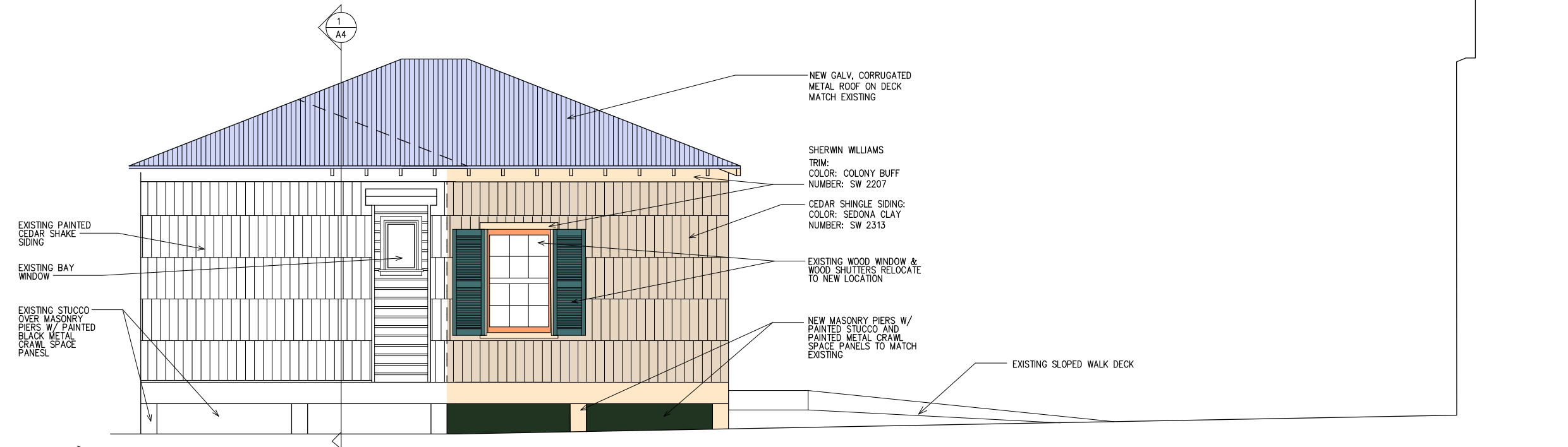
Project
**La Casita
de QGR**

Pensacola, Florida

Date:
12-19-02
Project No.
0502

Sheet No.

A82



1
A2
WEST ELEVATION
3/8" = 1'-0"



2
A2
EAST ELEVATION
3/8" = 1'-0"



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00472

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/9/2023

SUBJECT:

101 E. Romana Street
Palafox Historic Business District / Zone C-2 & C-2A / City Council District 6
Change of Paint at a Non-Contributing Structure

BACKGROUND:

David Hunt is requesting approval to change the exterior paint colors at 101 E. Romana Street. The scope includes using Sherwin Williams products to paint the upper body of the structure in Whitetail, the lower body in Keystone Grey, the wall cap and corbels in Enduring Bronze, and the railings in Tricorn Black. An abbreviated review application for this project was referred to the full board in June 2023.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(e)(3) PHBD, Procedure for review and submission of development plan, Review and approval by the architectural review board.

Sec. 12-3-27(f)(1) PHBD, Architectural review of proposed exterior development, General considerations.

101 E. Romana Street



**Architectural Review Board Application
Abbreviated Review**

Application Date: 5/30/23

Project Address: 101 E Romana St. Pensacola, FL 32502
Applicant: David Hunt as agent for the Owner
Applicant's Address: 101 E Romana St. Pensacola, FL 32502
Email: david.hunt@LiveBH.com **Phone:** 678.859.5501
Property Owner: Pensacola Southtowne Owner LLC 67% Int Beaumont Pensacola Southtowne Owner LLC 33% Int

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐
(If different from Applicant)

There is a \$25 Application Fee for the following project types:

- ☒ **Change of Paint Color(s)** **Body:** Upper: Whitetail/Lower: Keystone Grey
Trim: Doors: Enduring Bronze/Metal: Tricorn Black
Accent: Keystone Grey
- ☐ **New/Replacement Sign(s)** **Sign Type:** All Sherwin Williams
Dimensions: Doors and railings will be Tricorn Black to match existing
- ☐ **Minor Deviation to an Approved Project / Change of Roofing Material / Fence Solar Panels** **Colors:** _____
Description: _____

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

Adrianna J. Walker 5/31/2023
ARB Secretary Signature **Date**

This request was reviewed and approved by the following members of the Architectural Review Board:

[Signature] 6/7/23 **Comments:** New colors are approved
Architect Signature / Date

[Signature] 6-7-23 **Comments:** ★ send to Full-Board
UWFHT Representative Signature / Date need more information for all elevations. Scale of project should have full Board Review

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



- 1: Wall cap-Enduring Bronze
- 2: Upper Body-Whitetail
- 3: Corbels-Enduring Bronze
- 4: Lower Body-Keystone



SW 7103 Whitetail

SW 7103

SW 6385

SW 7012

SW 9180


SW 7568

SW 7531

SW

SW 7103

Whitetail

FULL DETAILS 

This bright white with its yellow undertone pairs nicely with a cool brown like Cocoa Whip. Create an inviting oasis in your kitchen or other communal space.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



504 Keystone Gray

SW 7029

SW 7030

SW 7031

SW 7504


SW 7032

SW 7033

SW 7034

SW 7504

Keystone Gray

FULL DETAILS 

This warm stone gray welcomes you into its snug embrace. Consider this warm neutral as a solid, inviting choice for living rooms and bathrooms.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



SHERWIN-WILLIAMS.

What can we help you find?



0 - \$0.00

Paints & Supplies

Find Color

Project Center

For Pros

Special Offers

SW 7055 Enduring Bronze

SW 7050

SW 7051

SW 7052

SW 9172


SW 7053

SW 7054

SW 7055

SW 7055

Enduring Bronze

FULL DETAILS 

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



SHERWIN-WILLIAMS.

What can we help you find?



0 - \$0.00

Paints & Supplies

Find Color

Project Center

For Pros

Special Offers

SW 6258 Tricorn Black



SW 6258

SW 6990

SW 6991

SW 6992

SW 6993

SW 6994

SW 7069

Expert Pick

SW 6258

Tricorn Black

FULL DETAILS ▾

Smarten up your space with this trendy, never-boring black. Pair it with white for a classic contrast. Since it's a true black, it works with any undertone.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint

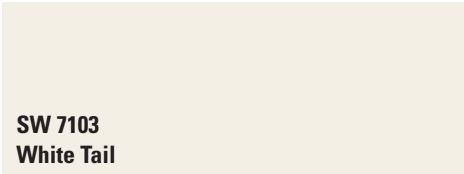
Southtowne Pensacola - ORIGINAL IMAGE



Madison Woods

(850) 530-7307 • Madison.M.Woods@sherwin.com

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.
Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. © 2022 The Sherwin-Williams Company. CMD 23-03-0106 (01/2023)



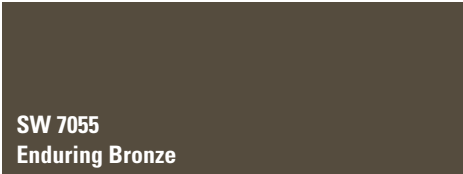
SW 7103
White Tail

Upper Body 1



SW 7504
Keystone Grray

Lower Body 2



SW 7055
Enduring Bronze

Doors, Top Trim



SW 6258
Tricorn Black

Metal Railing, Fence

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.
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Southtowne Pensacola - ORIGINAL IMAGE



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SW 7103
White Tail

Upper Body 1, Stucco

SW 7504
Keystone Grray

Lower Body 2

SW 7055
Enduring Bronze

Doors, Top Trim

SW 6258
Tricorn Black

Metal Railing, Fence, Corbel

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SW 7103
White Tail

Upper Body 1

SW 7504
Keystone Grray

Lower Body 2

SW 7055
Enduring Bronze

Doors, Top Trim

SW 6258
Tricorn Black

Metal Railing, Fence

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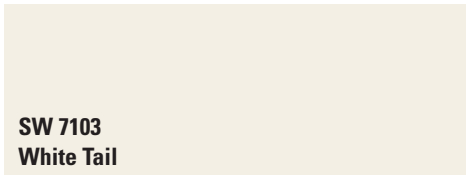
Southtowne Pensacola - ORIGINAL IMAGE



Madison Woods

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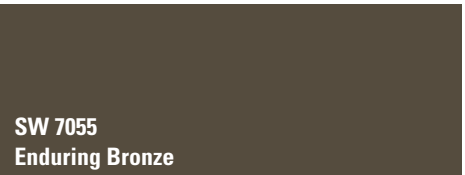
SW 7103
White Tail

Upper Body 1, Stucco



SW 7504
Keystone Grray

Lower Body 2



SW 7055
Enduring Bronze

Doors, Top Trim



SW 6258
Tricorn Black

Metal Railing, Fence, Corbel



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00464

Architectural Review Board

6/15/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 6/8/2023

SUBJECT:

811 E. Belmont Street
Old East Hill Preservation District / Zone OEHC-2 / City Council District 6
Exterior Renovation on a Contributing Structure

BACKGROUND:

Jordan Yee is seeking approval to renovate a vacant duplex that is a contributing structure in Old East Hill. The project includes painting the exterior, removing and replacing an addition on the rear, replacing the existing asbestos tile siding with wood lap siding, addition of four new window openings, a new front door opening, a smooth 5v-crimp metal roof, and all new windows and doors. The proposed front windows are aluminum clad single hung, the side windows are vinyl single hung, the proposed front door is wood, and the rear doors are vinyl.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)e.3. OEHPD; Procedure for review of plans; Decisions.

Sec. 12-3-10(3)g. OEHPD; Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.

Page 1
☒ original
☐ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02160**
Recorder # _____

SITE NAME Alexander Roulhac, House
HISTORIC CONTEXTS Spanish American War
NAT. REGISTER CATEGORY district
OTHER NAMES OR MSF NOS none
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 811 East Belmont St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood; S. side of E. Belmont
St. between N. 8th Ave. and N. 9th Ave.
SUBDIVISION New City Tract BLOCK NO 60 LOT NO 4
PLAT OR OTHER MAP county appraisers atlas sheet #68
TOWNSHIP 2S RANGE 30W SECTION 22 1/4 1/4-1/4
IRREGULAR SEC? x y n LAND GRANT _____
USGS 7.5' MAP _____
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1903 CIRCA C RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR rectangular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 0 PORCHES 2 DORMERS 0
STRUCTURAL SYSTEM(S) balloon wood framing
EXTERIOR FABRIC(S) asbestos shingles
FOUNDATION: TYPE pier MATLS brick
INFILL none
PORCHES n/porch/3 s"x4" columns-3/4- 1/4 6"x4" rectangular wood/2/N
ROOF: TYPE gable SURFACING composition shingles
SECONDARY STRUCS. shed, gable, porch
CHIMNEY: NO 2 MTLS brick,brick/plaster LOCNS N:center, ridge; S:center, ridge
WINDOWS dhs, 1/1 wood
EXTERIOR ORNAMENT wood jigsaw cut trim in columns on porch & in porch column corner
CONDITION fair SURROUNDINGS residential [decorative cornice
NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings; oaks, pecans

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

AREAS OF SIGNIFICANCE

local community development
Social History

ELIGIBLE FOR NAT. REGISTER?	<u>y</u>	<u>n</u>	<u>likely</u>	need info	<u>insf</u>	<u>inf</u>
SIGNIF. AS PART OF DISTRICT?	<u>xy</u>	<u>n</u>	<u>likely</u>	need info	<u>insf</u>	<u>inf</u>
SIGNIFICANT AT LOCAL LEVEL?	<u>xy</u>	<u>n</u>	<u>likely</u>	need info	<u>insf</u>	<u>inf</u>

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

* * *DHR USE ONLY* * * * * DHR USE ONLY * *

DATE LISTED ON NR _____

KEEPER DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____

SHPO EVALUATION OF ELIGIBILITY(DATE): -YES _____ -NO _____

LOCAL DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____

OFFICE _____

* * *DHR USE ONLY* * * * * DHR USE ONLY * *

RECORDER INFORMATION: NAME F Richard M T L Brosnahan
DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Historic Pensacola Preservation Board
NEGATIVE NUMBERS 91N118WEH (frames 5-6)

P H O T O G R A P H

Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.

M A P
Street/plat map, not
USGS

Belmont

9th Ave.

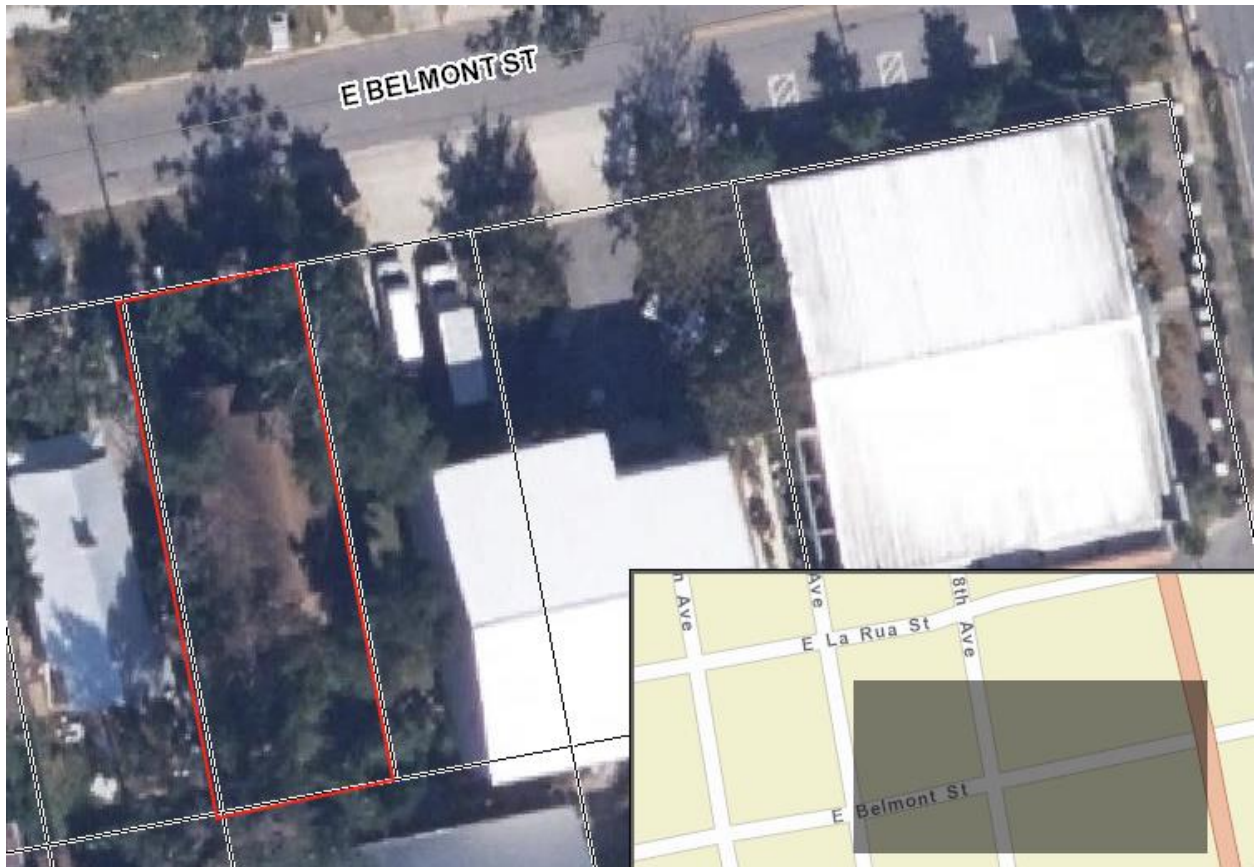
REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

ES 2160





811 E. Belmont Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

RENOVATION TO 811 E BELMONT

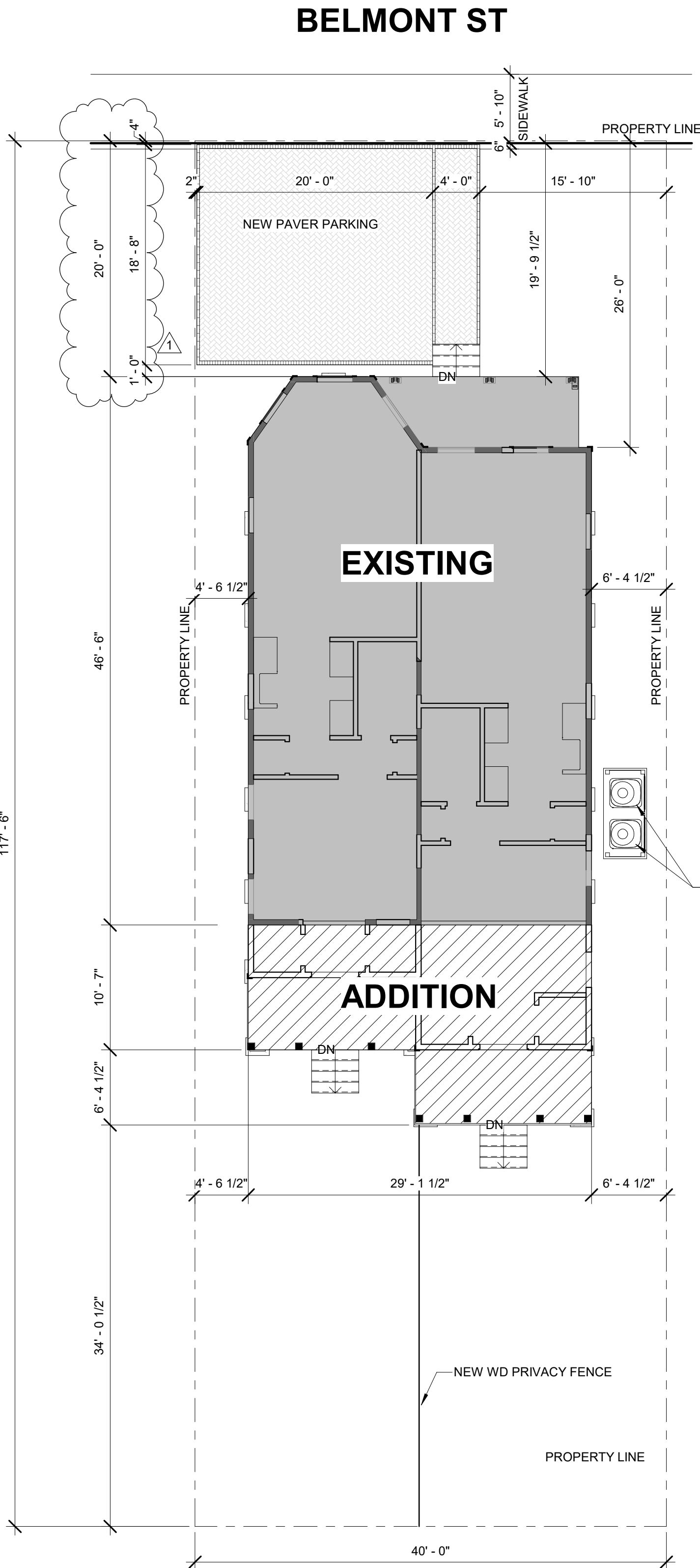
INDEX OF DRAWINGS	
SHEET #	DESCRIPTION
A-1	COVER SHEET
A-2	FLOOR PLANS
A-3	EXTERIOR ELEVATIONS
D-1	DEMOLITION SCOPE
D-2	EXISTING PHOTOS

Design

pP

places for PEOPLE

PLACES FOR PEOPLE
DESIGN, LLC
1904 E. LEONARD ST.
PENSACOLA, FL 32503
(850) 380-8020 | AR#96913



PROPERTY INFORMATION

ADDRESS
811 E. BELMONT STREET
PENSACOLA, FLORIDA 32501
CITY OF PENSACOLA

SCOPE OF WORK
INTERIOR RENOVATION

ZONING
PARCEL ID 00-0S-00-9025-004-060
ZONING OLD EAST HILL PRESERVATION RETAIL COMMERCIAL
OEHC-2
TIFCD URBAN CORE CRA
SETBACK N/A

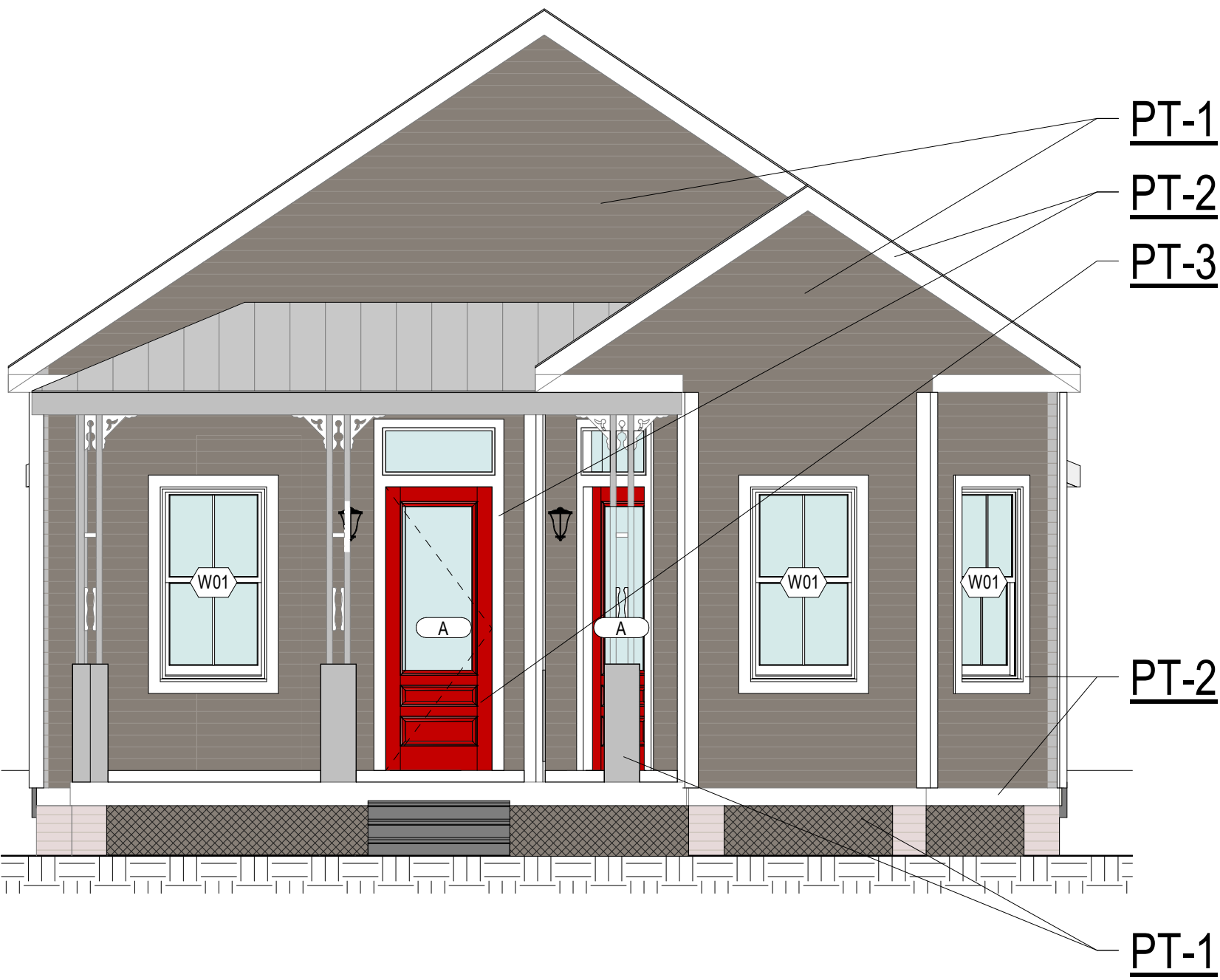
GENERAL NOTES

THE PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATIONS OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



EXTERIOR PAINT COLORS

PT-1

EXTERIOR WALLS
PRATT & LAMBERT "RUBIDOUX"

PT-2

EXTERIOR TRIM
SHERWIN WILLIAMS "PURE WHITE"

PT-3

EXTERIOR DOORS
PPG "LITTLE RED RED"

2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

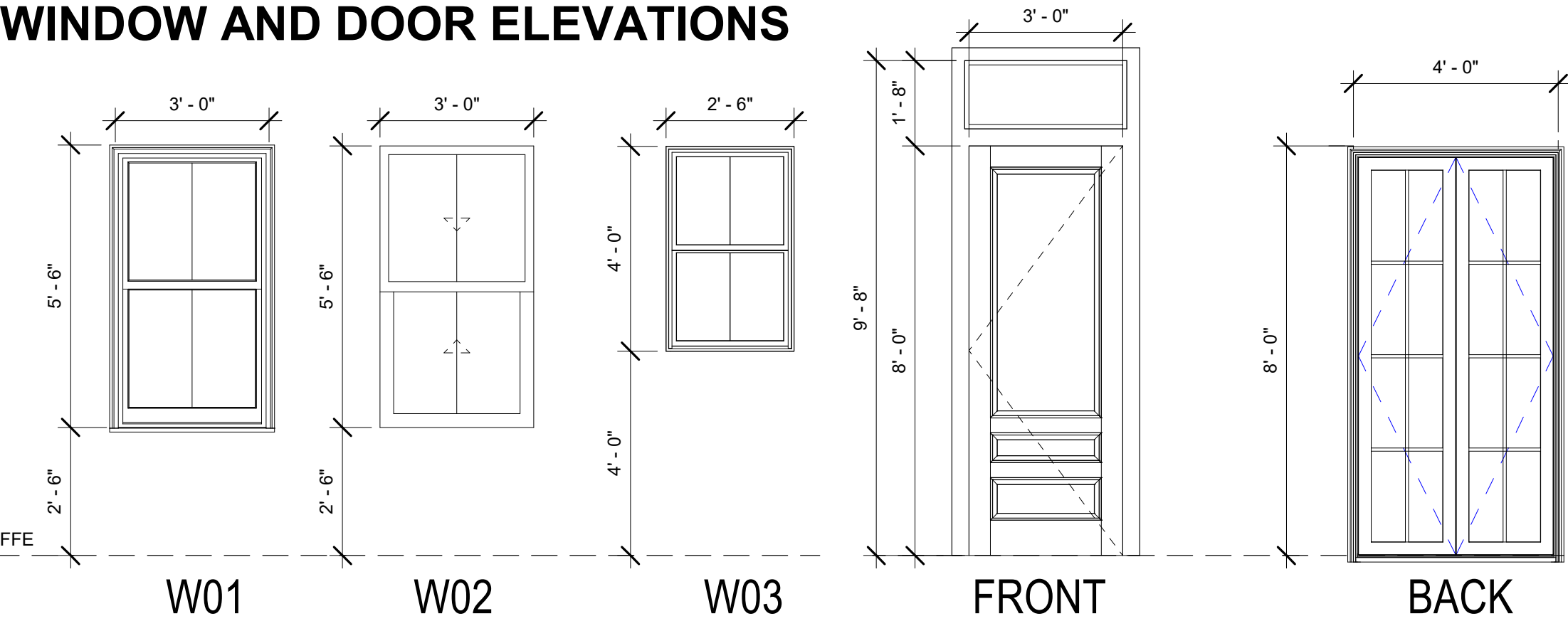
ROOFING

METAL ROOF PANELS
MRF BAKER METAL WORKS
MODEL 5V PANEL
GA 26 GA
FINISH GALVALUME
FL PRODUCT # 10094

EXTERIOR LIGHTING

WALL SCONCE
SEAGULL LIGHTING
BULB LED
MATERIAL CAST ALUMINUM
HEIGHT 12"
FINISH BLACK

WINDOW AND DOOR ELEVATIONS



ARB SUBMITTAL (24 MAY 2023)

811 E BELMONT RENOVATION

COVER SHEET

A-1

No.	Description	Date
1	UPDATE PER SURVEY	6/7/2023

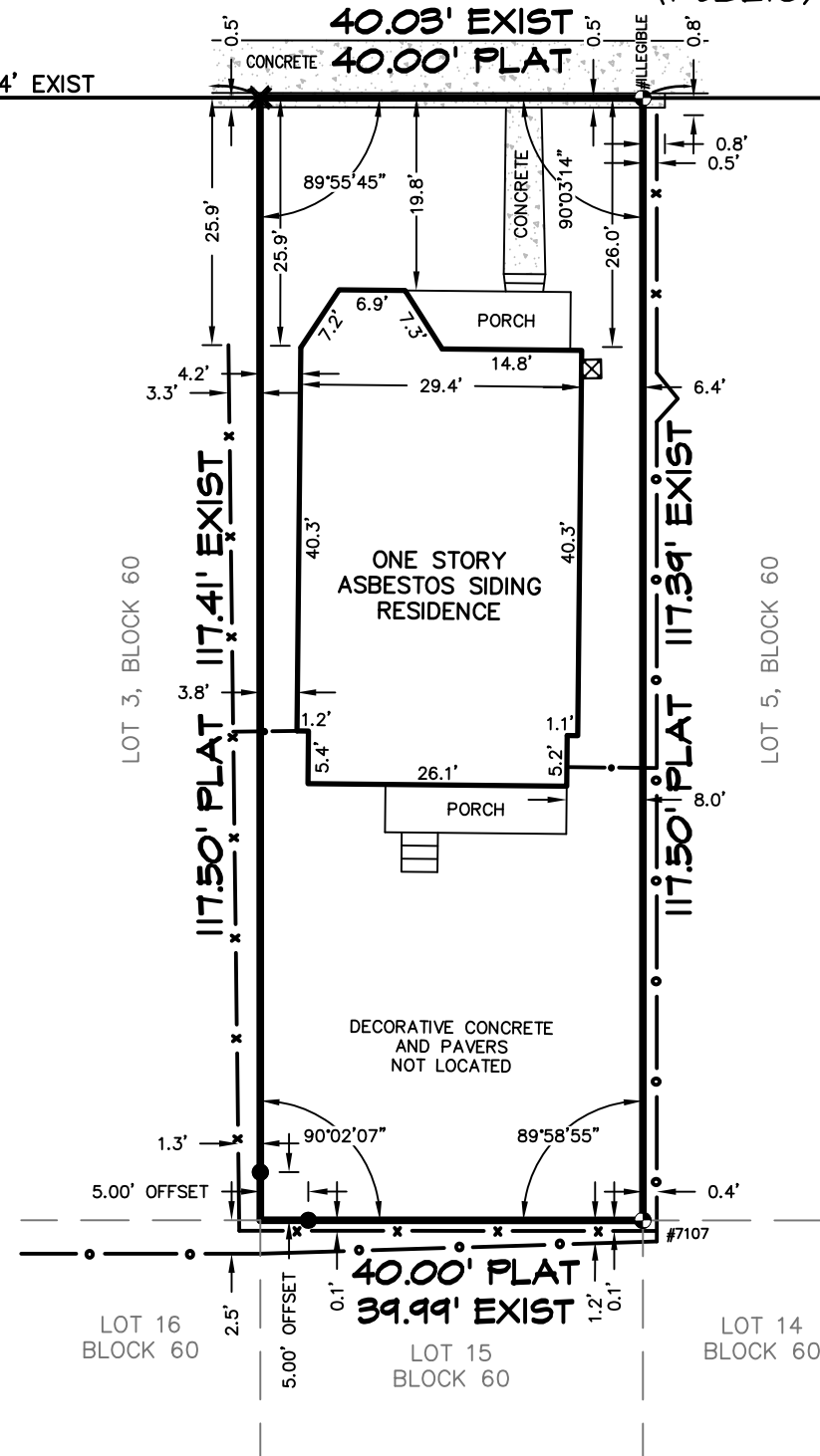
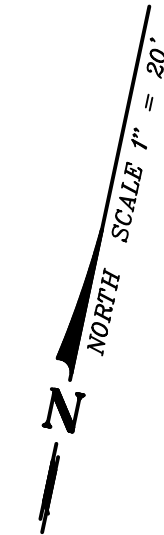
NOT FOR
CONSTRUCTION

PROJECT NUMBER	22003
DATE	24 MAY 2023
DRAWN BY	HEC
CHECKED BY	JMY

As indicated

SCALE

8TH AVENUE 80' R/W
(PUBLIC)



A BOUNDARY SURVEY AND LOCATION OF IMPROVEMENTS

LEGEND:

- R/W Right of way
- 1/2" Capped iron rod set #7073
- ⊙ 1/2" Capped iron rod found #noted
- x "X" cut in concrete
- o — Wood fence
- x — Chain link fence

SURVEYOR'S NOTES:

1. Subject to setbacks, easements and restrictions of record.
2. This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
3. This survey does not reflect or determine ownership.
4. This property may be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
5. Sub-surface improvements, if any, not located.

STREET ADDRESS: 811 East Belmont Street

LEGAL DESCRIPTION:

Lot 4, Block 60, New City Tract, City of Pensacola, Escambia County, Florida according to map of said City copyrighted by Thomas C. Watson in 1906.

9TH AVENUE 70' R/W
(PUBLIC)

CITY ATLAS #678; PUBLIC RECORDS; MAP OF PENSACOLA
BY T.C. WATSON (1906); SURVEYS BY THIS FIRM

Measurements made in accordance with United States Standards.

Bearing Reference N.A.

**PITTMAN, AND
GLAZE AND
ASSOCIATES, INC.**
LAND SURVEYORS
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone: (850) 434-6666
Fax: (850) 434-6661
Email: pgsurvey@bellsouth.net

NOT VALID
WITHOUT
SEAL AND
SIGNATURE

SHEET
1 OF
1



File No. B-13355
Job No. 38827-20
Scale 1" = 20'
Date of Survey 8-20-2020
Date of Plat 8-20-2020
Date of Revision
FB 1718 PG 39-41
FB PG
Encroachments

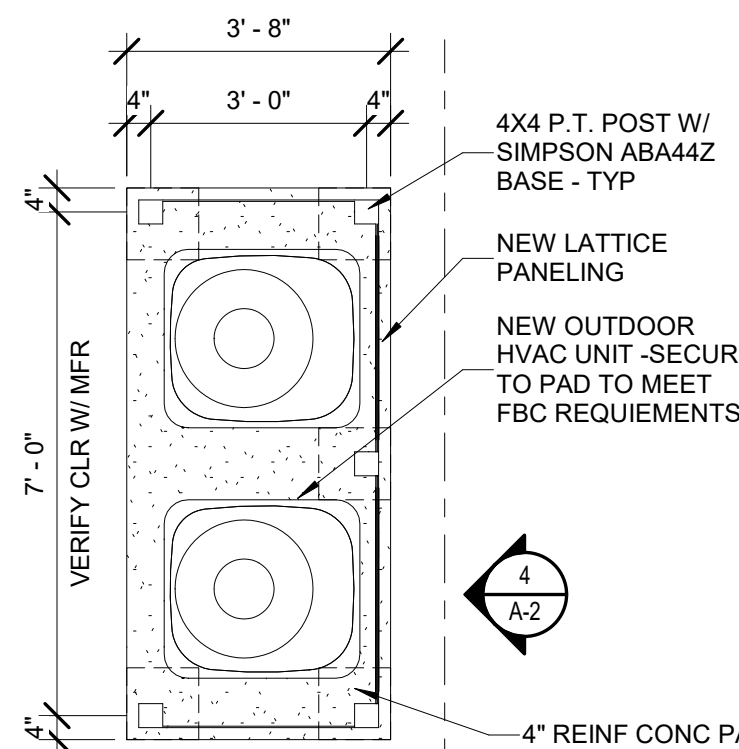
Drawn By FMJ
Checked By DDG

Ordered By MR. MARK CHASTAIN Elevation Reference
I hereby certify that this survey was made under my responsible charge
and meets the Standards of Practice as set forth by the Florida Board of
Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and
5J-17.052, pursuant to Section 472.027 Florida Statutes. **LB No. 7073**
David D. Glaze, PSM #5605 ☐ **Walter J. Glaze, PSM #6190**
This survey is valid only if it contains the original seal and original signature of the signing surveyor.

WINDOW SCHEDULE								
MARK	WIDTH	HEIGHT	DESCRIPTION	GLAZING	SILL HEIGHT	MFR *	MODEL *	QTY
W01	36"	66"	ALUM CLAD DBL HUNG	IMPACT	2' - 6"	SIERRA PACIFIC		3
W02	36"	66"	VINYL SINGLE HUNG	IMPACT	2' - 6"	PGT	SH5500	6
W03	30"	48"	VINYL SINGLE HUNG	IMPACT	4' - 0"	PGT	SH5500	2

WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL



NEW LATTICE PANELING

NEW OUTDOOR HVAC UNIT BEYOND

3'-0"

4X4 P.T. POST W/ SIMPSON ABA44Z BASE - TYP

3'-0"

4" REINF CONC PAD. VERIFY EQUIP CLR W/ MFR

MECH. SCREEN

NOT FOR
CONSTRUCTION

ARB SUBMITTAL (24 MAY 2023)

PROJECT NUMBER
DATE
DRAWN BY
CHECKED BY
SCALE

As indicated

SCALE

811 E BELMONT RENOVATION

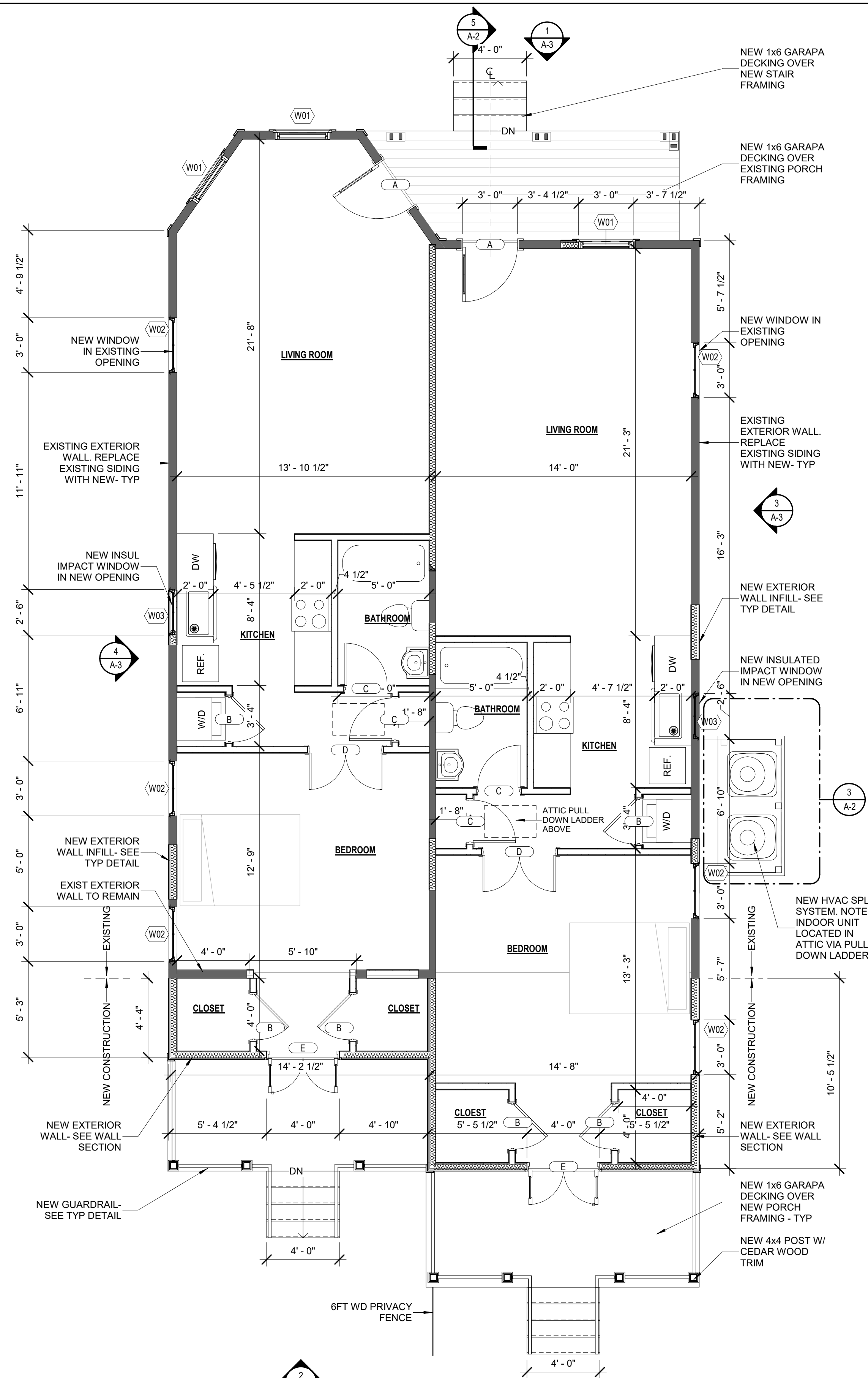
FLOOR PLANS

A-2

5/31/2023 9:53:32 AM



SCALE: 1/4" = 1'-0'



1 FIRST FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



NOT FOR
CONSTRUCTION

As indicatedSCALE

SCALE

ARB SUBMITTAL (24 MAY 2023)

811 E BELMONT RENOVATION

EXTERIOR ELEVATIONS

A-3

5/31/2023 10:18:32 AM

EXTERIOR FINISH NOTES

1. REPLACE EXISTING SIDING WITH NEW HORIZONTAL LAP SIDING ON 5/8" CDX FL/WOOD/OSB.
2. SLOPE AWAY FROM SHEDDOW AND WINDOW TRIM COLORS ROOFING TO BE NEW GALVALUME 5 CRIMP METAL PANELS (26 GA) OVER HIGH TEMP SELF-ADHERING WATERPROOFING MEMBRANE ON ROOF FRAMING
4. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

- ### GRADING NOTES

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

DETAIL

1'-0"

8"

REPLACE DAMAGED WOOD FASCIA AND DECORATIVE TRIM AS REQUIRED. ALL NEW WORK TO MATCH STYLE OF ORIGINAL HOUSE - TYP

PLATE 1
10' - 8"

10' - 8"

LEVEL 01
0"

GRADE
-3' - 0"

1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

2 EAST ELEVATION

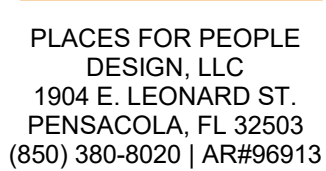
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

4 WEST ELEVATION

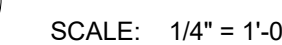
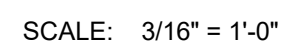
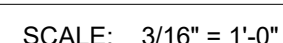
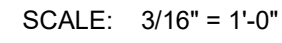
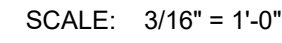
SCALE: 1/4" = 1'-0"



NOT FOR
CONSTRUCTION

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO PERFORMING ANY DEMOLITION OR NEW CONSTRUCTION.
2. PROTECT ANY AND ALL ITEMS WHICH ARE TO REMAIN OR TO BE ALTERED. THE DEMOLITION SHALL BE INCLUSIVE OF ALL ITEMS THAT MAY BE REMOVED IN THE COURSE OF THE PROJECT. THE A/E RESERVES THE RIGHT TO INCLUDE ADDITIONAL DEMOLITION NOTES DISCOVERED DURING CONSTRUCTION.
3. CONTRACTOR TO REASONABLY TO DISPOSE OF ALL HAZARDOUS CONTAINING MATERIALS IN COMPLIANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO PERFORMING ANY DEMOLITION OR NEW CONSTRUCTION.
2. PROTECT ANY AND ALL ITEMS WHICH ARE TO REMAIN OR TO BE ALTERED. THE DEMOLITION SHALL BE INCLUSIVE OF ALL ITEMS THAT MAY BE REMOVED IN THE COURSE OF THE PROJECT. THE A/E RESERVES THE RIGHT TO INCLUDE ADDITIONAL DEMOLITION NOTES DISCOVERED DURING CONSTRUCTION.
3. CONTRACTOR TO REASONABLY TO DISPOSE OF ALL HAZARDOUS CONTAINING MATERIALS IN COMPLIANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.



[illegible]

NOT FOR
CONSTRUCTION

ARB SUBMITTAL (24 MAY 2023)

PROJECT NUMBER
DATE
DRAWN BY
CHECKED BY

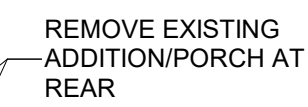
SCALE

811 E BELMONT RENOVATION

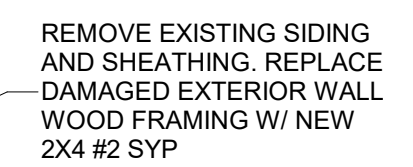
EXISTING PHOTOS

D-2

5/31/2023 9:53:36 AM



SOUTH ELEVATION



— REMOVE EXIST AWNING

— REMOVE WD SILL
AND FREESTANDING
SUPPORT

—RELOCATE IN WALL-
INSTALL FREEZE
RESISTANT HOSE BIB

REMOVE WOOD
PANELING TO EXPOSE
ORIGINAL BRICK PIER
FOUNDATION

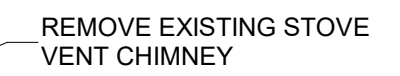
REMOVE EXISTING
RAILING

NORTH ELEVATION



REMOVE EXISTING
— ADDITION/PORCH AT
REAR

REMOVE EXISTING SIDING
AND SHEATHING. REPLACE
DAMAGED EXTERIOR WALL
WOOD FRAMING W/ NEW
2X4 #2 SYP



REMOVE EXISTING SIDING
AND SHEATHING. REPLACE
DAMAGED EXTERIOR WALL
WOOD FRAMING W/ NEW
2X4 #2 SYP

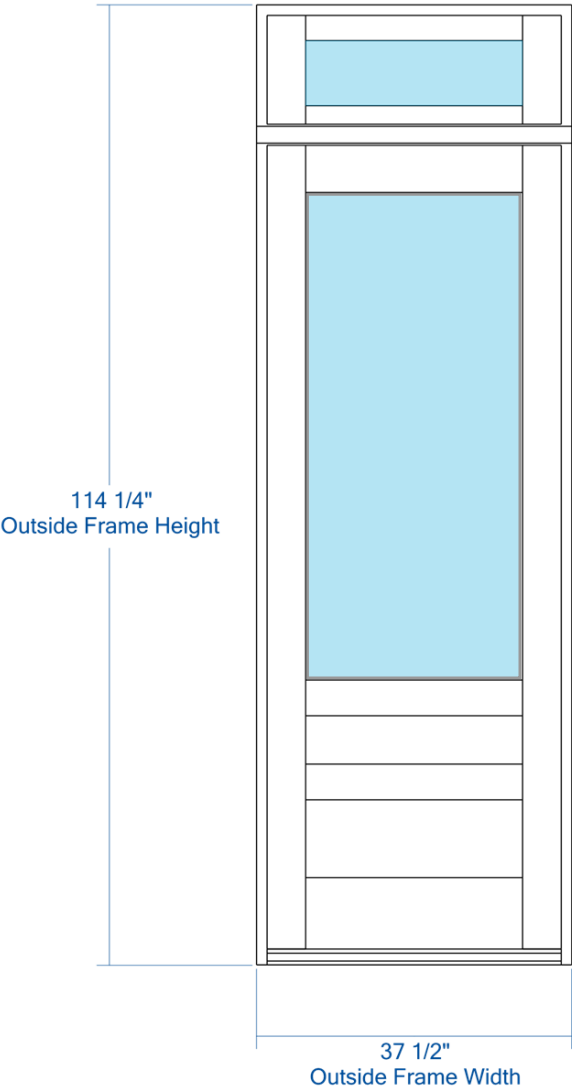
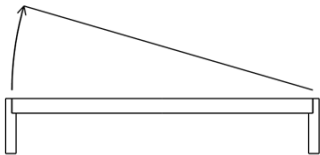
REMOVE EXISTING WINDOW

REMOVE EXISTING
ADDITION/PORCH AT
REAR

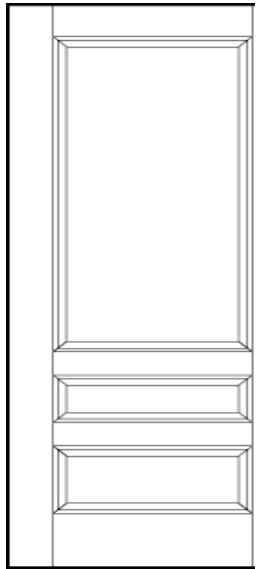
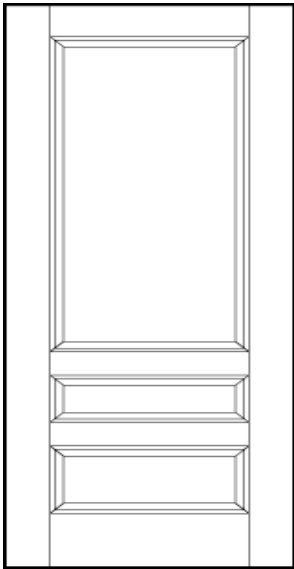
REMOVE WOOD
PANELING TO
— EXPOSE ORIGINAL
BRICK PIER
FOUNDATION

WEST ELEVATION

Entry Door Details



Door Style	Sticking	Panel	Material	Glass / Insert	Product Type
TS3130	SS	C	Resilient Engineered Wood		Entry System



TS3130

Coastal French Country Craftsman Cape Cod Traditional Modern Farmhouse Mediterranean

Application: Exterior

Available Type: [RESERVE](#) [RESILIENT](#)

Series: TruStile (TS) Series

Thickness: 1-3/4" , 2-1/4"

[Design Your Door](#)

[View Interior Door](#)

[Where to Buy](#)

[Chat](#)

TruStile Resilient™ Exterior Wood Door Construction



The Resilient Wood Entry System sets the tone of quality for the whole home using the most durable painted construction without sacrificing any design options.

- Engineered with resilient Accoya®, an acetylated wood product, which brings unprecedented reliability and durability to wood.
- Tricoya® top layers provide exceptional stability, durability and paintability, for outdoor applications.
- Most configurations delivered pre-hung with a prem finish, ready to paint to match your design.

[Chat](#)

BILL TO:
SHIP TO:
Phone
Email
Phone
Fax

QUOTE #	PO #	QUOTE NAME	PROJECT	JOB NAME	CUSTOMER PO #
1690205		Mark Chastain	811 E Belmont		

LINE #	LINE TYPE	DESCRIPTION	QTY	U/M	NET PRICE	EXTENDED
100-1	WindowAndDoor	PK- 356				

MARCH 2ND, 2023 PRICEBOOK

H3 FeelSafe Double Hung Windows Double Hung Operating 35.5 x 65.5

Custom: Frame Width = 35.5, Frame Height = 65.5, Sash Split = 50/50, Screen Width = 33.1875, Screen Height = 63.4375

Complete Unit, CoreGuard Plus

Frame = White 001, Clad Finish = AAMA 2604, Primed Interior, White, Pine Interior, Frame

Jamb Flush, Visible Interior Vinyl Profile:Beige

Sash = White 001, Sash-Panel Clad Finish = AAMA 2604, Primed Interior, White

FeelSafe Insulated Low-E, Type LL, Argon Gas, Black Cardinal IG Spacer

Full Screen Applied, Standard Screen, White 001, AAMA 2604, Fiberglass Mesh

Applied Hdwe, Standard Lock, Hdwe = White, Concealed Jambliner, 2-Locks

SDL, Equal, Putty, 7/8", Exterior = White 001, Primed Interior, White, Pine Interior, w/ Shadow

Bar, Shadow Bar Color = Dark Bronze Anodized, 2W1H, Grille Type Custom

Jamb = 4-9/16"

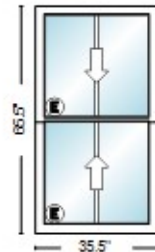
Integral Rigid Vinyl Nailing Fin, Aluminum Drip Cap No/Leg Shipped Separately

U-Factor = 0.29, SHGC = 0.32, CR = 54, VT = 0.47, AI = <0.30/<1.5, CPD =

SIE-N-135-05081-00004, Energy Star Region = NC, GapFill1 = ARG, Can ER = 21, W m 2k = 1.65

PG50, Wind Zone = WZ-3, FBC = FL21907, TDI = WIN-2300

Unit 1: Glass Width = 30.375, Glass Height = 29.8125, Sash Width = 32.125, Sash Height = 31.8125


W01

Rough Opening: 36" X 66"
Overall Unit Size: 35.5" X 65.5"
Room Location: Living Room

EASTBURN

WINDOW & DOOR

Eastburn Customer Quote

Last Modified Date: 05/31/2023 07:44:26

PO#:

Job Name: 811 E Belmont

Job Address:

Quote # 7526151

Sales Person: Todd Snowden

ShipTo: EASTBURN WINDOW & DOOR

Account#: A30381

2620 HOLLYWOOD AVE
PENSACOLA, FL 32505
Phone# Fax#

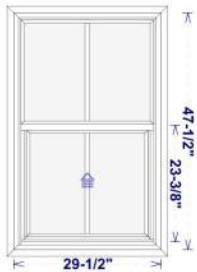
013415-1

Customer Mark Chastain

Account #

Phone# Fax#

Line #	Item Description	Quantity	Line Pricing	
0001 (1.00)	SH5500 VINYL SINGLE HUNG 5500	Ordered: 2.00	Sell Price	Ext Price
Configuration: 29.5X47.5X.,2640,STD,1-3/8" NAIL FIN,W,EQUAL,7/8 LIG,CL,ES,7/8" TDL,1V0H/1V0H,DBL,SWEEP,1816K-BOXED,CMFRT LFT HNDL				



W03

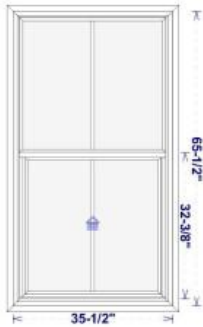
Certification Type: FPA
Vent Configuration: EQUAL
Size Selection: NOMINAL
Size Ref: ACTUAL
Rough Masonry: 31 1/4 X 48 1/2
Egress Opening: 25 1/4 X 19 1/8 (3.3482 SQFT)
Balance Type: CONSTANT
Interlayer Type: PVB090
Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN)
Glass Color: CL - CLEAR
Argon Gas: NONE
Grid Type: SDLT0875 - 7/8" Traditional SDL
Grid Location: UNIT
Summary Bottom: 2A1D LITES (1V0H BARS)
Screen Type: 1816K - 1816 Charcoal
Vent Latch: N
Lock Type: SWEEP - Sweep Latch
Comfort Lift: Y
Lock Quantity: 2.0000
Acc Glass Breakage: N
Vent Ht: 23.3930
CAR#: EVAL REPORT
NegativeDesignPressure: 50.0000
EnergyStar: NONE
UF: 0.3300
VT: 0.4800

Frame Type: 1.375FIN
Window Style: STD
Size Code: 2640.0000
Actual Size: 29 1/2 X 47 1/2
Wood Frame Opening: 29 3/4 X 47 3/4
Frame Color: W - White
Glass Family: LI - Laminated Insulating
Glass Makeup: LIA207AA5
Does unit need to meet Turtle Code: NO
Low E: ENERGY SHIELD
Privacy Glass: NONE - NONE
Grid Style: U.COL.LITES
Summary Top: 2A1D LITES (1V0H BARS)
Reinf. Upgrade: NONE - None
Screen Frame Type: ROLLFORM
WOCD: N
Upgrade Hardware Finish: N
Lift Rail: N
Boxing Options: BS - Box Screen
Decralite: N
Prep for Mull: N
PositiveDesignPressure: 50.0000
PANumber: FL1435
CondensationResistance: 55.0000
SolarHeatGainCoeff: 0.2800
VTCOG: 0.7100

Location: Kitchen

Notes: W3

0002 (2.00)	SH5500 VINYL SINGLE HUNG 5500	Ordered: 4.00	Sell Price	Ext Price
Configuration: 35.5X65.5X.,3056,STD,1-3/8" NAIL FIN,W,EQUAL,7/8 LIG,CL,ES,7/8" TDL,1V0H/1V0H,DBL,SWEEP,1816K-BOXED,CMFRT LFT HNDL				



W02

Certification Type: FPA
Vent Configuration: EQUAL
Size Selection: NOMINAL
Size Ref: ACTUAL
Rough Masonry: 37 1/4 X 66 1/2
Egress Opening: 31 1/4 X 28 1/8 (6.097 SQFT)
Balance Type: CONSTANT
Interlayer Type: PVB090
Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN
Glass Color: CL - CLEAR
Argon Gas: NONE
Grid Type: SDLT0875 - 7/8" Traditional SDL
Grid Location: UNIT
Summary Bottom: 2A1D LITES (1V0H BARS)
Screen Type: 1816K - 1816 Charcoal
Vent Latch: N
Lock Type: SWEEP - Sweep Latch
Comfort Lift: Y
Lock Quantity: 2.0000
Acc Glass Breakage: N
Vent Ht: 32.3930
CAR#: EVAL REPORT
NegativeDesignPressure: 50.0000
EnergyStar: NONE
UF: 0.3300
VT: 0.4800

Frame Type: 1.375FIN
Window Style: STD
Size Code: 3056.0000
Actual Size: 35 1/2 X 65 1/2
Wood Frame Opening: 35 3/4 X 65 3/4
Frame Color: W - White
Glass Family: LI - Laminated Insulating
Glass Makeup: LIA207AA5
Does unit need to meet Turtle Code: NO
Low E: ENERGY SHIELD
Privacy Glass: NONE - NONE
Grid Style: U.COL.LITES
Summary Top: 2A1D LITES (1V0H BARS)
Reinf. Upgrade: NONE - None
Screen Frame Type: ROLLFORM
WOCD: N
Upgrade Hardware Finish: N
Lift Rail: N
Boxing Options: BS - Box Screen
Decralite: N
Prep for Mull: N
PositiveDesignPressure: 50.0000
PANumber: FL1435
CondensationResistance: 55.0000
SolarHeatGainCoeff: 0.2800
VTCOG: 0.7100

Location: Bedrooms

Notes: W2

0003
(3.00)

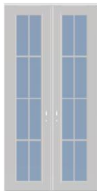
FD5555 FRENCH DOOR SERIES 5555

Ordered:
2.00

Sell Price

Ext Price

Configuration: 47.75X95.75,4080,W,CL,L6,1-3/16 TLIG,NONE,7/8" TDL,1V3H/1V3H,OUTSWING,1.375EXTERIOR,XX,ACT R
PANEL/INACT L,DUMMY,N,KD FRM,LIT211AA5



E

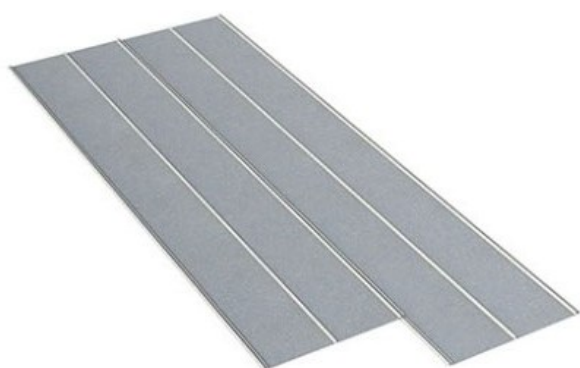
Certification Type: FPA
Size Selection: NOMINAL
Actual Size: 47 3/4 X 95 3/4
Opening Size: 48 X 96
Door Swing: OUTSWING
Primary Panel: RIGHT
Door Glass: 1 3/16" IG (1/8TMP-11/16 AIR-5/16
Glass Color: CL - CLEAR
Low E: ENERGY SHIELD
Privacy Glass: NONE - NONE
Grid Style: U.COL.LITES
Inactive Hardware Prep: DUMMY
Send Inactive Lock: Y
Hardware Style: 800LVR
Hinge Color: BSS - Brushed Stainless Steel
5/8 Add-on Flange: N
Acc Glass Breakage: N
Decralite: N
PositiveDesignPressure: 50.0000
PANumber: FL-331
CondensationResistance: 60.0000
SolarHeatGainCoeff: 0.2100
VTCOG: 0.7100

Assembly Type: XX
Size Code: 4080.0000
Assembly Sz: 47 3/4 x 95 3/4
Frame Color: W - White
Threshold Type: 1.375EXTERIOR
Glass Family: LI - Laminated Insulating
Does unit need to meet Turtle Code: NO
Door Glass Color: CLEAR
Argon Gas: NONE
Grid Type: SDLT0875 - 7/8" Traditional SDL
Grid Summary Door: 2A4D LITES (1V3H BARS)
Send Primary Lock: Y
Hardware Color: SNKPVD - Satin Nickel PVD
Keyed Hardware Alike: N
Anchor Group: A.FD5555
Boxing Options: N - None
KD: Y
CAR#: EVAL REPORT
NegativeDesignPressure: 50.0000
EnergyStar: NONE
UF: 0.3300
VT: 0.3500

Location: Doors E

Notes:

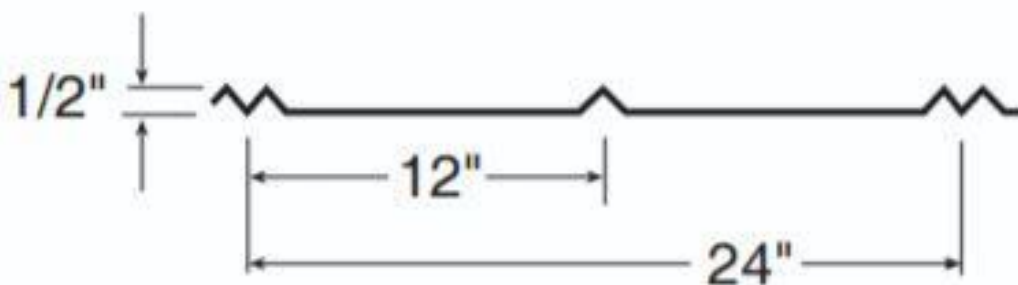
ROOFING



5-V

METAL ROOF PANELS

MRF	BAKER METAL WORKS
MODEL	5V PANEL
GA	26 GA
FINISH	GALVALUME
FL PRODUCT #	10094



5-V PANEL

The 5-V Panel has a beautiful and simple design. It's no wonder it's been a popular panel choice for many generations. The aesthetic value of this panel design has given rise to its popularity, especially in coastal homes. Many customers have

used it as accent panels in non-structural designs as well. This panel provides 2' of coverage per panel width & can be



custom cut to any length. 5-V panels are only available in 26 gauge Galvalume.

INSTALLATION SPECIFICATIONS

[Click here to download installation specifications.](#)

THE SOUTH'S METAL ROOFING
HEADQUARTERS.

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Visual Comfort Studio 8414201EN3-12 Perrywood Black LED Exterior Extra Small Lamp Sconce

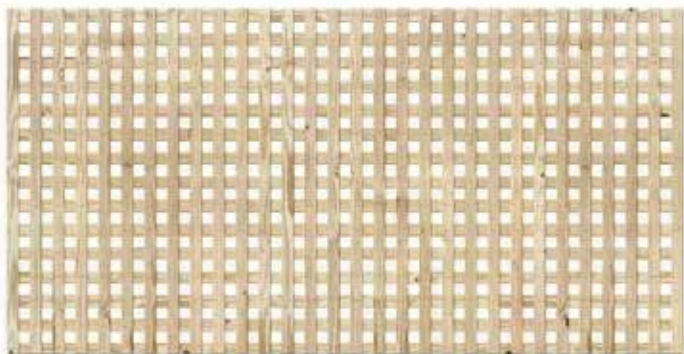
by **Visual Comfort Studio** Item# VCS-8414201EN3-12

Product Specification

- Black Finish
- Water Shade
- Measures 6.5 inches wide, 12 inches tall, 7.875 inches deep
- Wet rated
- Uses 1 9.5w Replaceable LED bulb(s) (included)
- 800 Lumens
- Color Temperature: 3000K
- CRI: 90
- Title 24 Compliant
- ENERGY STAR Certified
- A product of Generation Lighting
- A Sea Gull Lighting product



LATTICE PANELING
SQUARE WOOD PRIVACY LATTICE



WOOD SIDING
1X6 WOOD LAP SIDING W/ 4" EXPOSURE



811 E BELMONT RENOVATION
07 JUN 2023
PRODUCT DATA

PARKING PAVER
BELGARD CATALINE GRANA, SLATE COLOR



PORCH DECKING
1X6 GARAPA



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