



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, August 17, 2023, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [23-00592](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES

Attachments: [7-20-23 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [23-00593](#) 506 E. GADSDEN STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-2 / CITY
COUNCIL DISTRICT 6
EXTERIOR IMPROVEMENTS TO A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File form](#)
[Images](#)
[Application Packet 8-4-23](#)

3. [23-00594](#) 516 N. ALCANIZ STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1 / CITY
COUNCIL DISTRICT 6
RENOVATION OF A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File form](#)
[Images](#)
[Application Packet 8-4-23](#)

4. [23-00595](#) 49 W. INTENDENCIA STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A / CITY
COUNCIL DISTRICT 6
EXTERIOR IMPROVEMENTS TO PARKING GARAGE FACADES
- Attachments: [Images](#)
 [Application Packet 8-4-23](#)
5. [23-00596](#) 330 S. JEFFERSON STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-2 / CITY COUNCIL
DISTRICT 6
DUMPSTER ENCLOSURE AT A CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File form](#)
 [Images](#)
 [Application Packet 8-9-23](#)
6. [23-00604](#) 1501 E. LAKEVIEW AVENUE
EAST HILL / ZONE R-1AA / CITY COUNCIL DISTRICT 6
HISTORIC STRUCTURE DEMOLITION REVIEW
- Attachments: [Florida Master Site File form](#)
 [Images](#)
 [Historic Structure Demolition Application](#)
7. [23-00597](#) 110 E. GARDEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A / CITY
COUNCIL DISTRICT 6
CONCEPTUAL REVIEW FOR A NEW MIXED-USE DEVELOPMENT
- Attachments: [Images](#)
 [Application Packet 8-4-23](#)

ADJOURNMENT

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If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00592

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

Architectural Review Board meeting minutes

BACKGROUND:

Architectural Review Board meeting minutes from July 20, 2023.



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

July 20, 2023

MEMBERS PRESENT: Chairperson Salter, Board Member Mead, Board Member Ramos, Board Member Yee, Board Member Fogarty, Board Member McCorvey, Advisor Pristera

MEMBERS ABSENT: Board Member Courtney

STAFF PRESENT: Assistant Planning & Zoning Division Manager Harding, Digital Media Specialist Russo, Cultural Resources Coordinator Walker

STAFF VIRTUAL: Development Services Director Morris, Assistant City Attorney Lindsay, Planning & Zoning Division Manager Cannon

OTHERS PRESENT: James Martin, Phil Christensen, Helen Counsell, Cheryl Russell, Susan Johnson, Jay Baner, Michelle Gourley, Stan Albright, Todd Benson, Andrew Guarisco

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Board Member Fogarty made a motion to approve the June 15, 2023, minutes, seconded by Board Member Mead, and it carried 6-0.

OPEN FORUM

NEW BUSINESS

**Item 2 410 E. Intendencia Street PHD / Zone Hr-1 & HR-2, City Council
District 6**

Backyard Landscape Improvements at a Non-Contributing Structure

Action Taken: Approved with abbreviated review required.

James Martin with Gulfside Landscaping is seeking approval for backyard improvements including installation of a 12 x 20 ft. gunite pool, paver hardscaping, and landscaping between the primary

222 West Main Street, Pensacola, Florida 32502
www.cityofpensacola.com

residence and detached garage, in addition to expanding the existing concrete driveway along the unnamed thoroughfare north of the property.

James Martin presented to the board. Chairperson Salter noted that the rear driveway is being widened by about 10 feet which will take up most of the width of the driveway. That is not typically seen in Pensacola Historic District, but it is a unique circumstance being off the private access drive and that is not out of the ordinary for that area. If the board chooses to approve this, it will be a little atypical for the district but not for that particular area. Chairperson Salter asked for clarification on the intent of the 40 low-voltage spotlights. Mr. Martin answered that there will be two spotlights under each of the five olive trees to illuminate the canopy, totaling 20 spotlights and the illumination will end at the canopy of the tree. The other ten spotlights will illuminate a solid green wall of Podocarpus, dense evergreen foliage, on both sides of the property lines. The lighting will most likely go off between 10 p.m. and midnight, per the clients. These are not bright like what you see on commercial buildings. Chairperson Salter asked about the height of the canopy. Mr. Martin answered there is a dense evergreen foliage along the property line with olive trees in front of that. There is four to five feet of clear trunk before the canopy begins, so the light will shine just up into the canopy of the tree. There will be no light pollution to cross the property lines. The spotlights will not be at a 45-degree angle, but closer to a 70 to 80 degree angle to illuminate the frontage of the Podocarpus. Chairperson Salter asked for the height of the olive trees. Mr. Martin answered that olive trees are a heritage tree and can live for a very long time. The canopy is cut back every ten years or so to allow new vegetation and they will be maintained at around 12 to 16 feet tall. The illumination will not be that high, but more like halfway up into the canopy. There is no intent to impact any of the neighbors with lighting. In an effort to show good faith, the Podocarpus illumination could be reduced since that is where a light infiltration problem may arise.

Board Member Ramos asked how many lumens the spotlight emits. Mr. Martin noted the wattage is equivalent to a 25-to-30-watt bulb and that is why two per tree were proposed. Board Member Ramos noted that knowing the lumens would help determine how far up the light will go when pointed up. Mr. Martin reiterated that the spotlights are low voltage and not like halogen lighting. Mr. Martin noted that 1,000 spotlights were used on Fred Levin's property and there was no light pollution. He noted that the proposed spotlights are 250 lumens. Chairperson Salter asked the height of the existing fence. Mr. Martin answered roughly 4.5 feet. Advisor Pristera noted that up lighting has been seen on other projects and the goal is to not have it spill onto neighboring properties. Historically this lighting did not exist, so it is a modern light that people are adding. Since it is in the backyard, Advisor Pristera is not concerned. Board Member Mead noted that this type of lighting can provide a moonlight effect and gives a sense of lighting for security purposes.

Board Member Ramos made the motion to approve the application as submitted with the exception that a cut sheet or technical information be provided for the spotlight in question. Board Member Fogarty seconded the motion and it carried 6-0.

Item 3 427 E. Intendencia Street Units 1 & 2 PHD / Zone HR-1, City Council
District 6
Replacement windows at a Non-Contributing Structure
Action Taken: Approved

Susan Johnson is seeking approval to replace four single hung wood windows on the second story gable ends of Units 1 and 2 that are damaged due to wood rot. The applicant is proposing Pella

Architect Series aluminum-clad single hung one over one wood windows.

Susan Johnson presented to the board as the homeowner. Ms. Johnson confirmed that the proposed product is a clad-wood window.

Board Member Yee made the motion to approve the application.

Board Member Ramos asked for clarification on the color. Ms. Johnson answered that she has a board-for-board approval for siding repairs and will be submitting a future abbreviated review application for exterior paint colors.

Board Member Mead seconded the motion and it carried 6-0.

**Item 4 105 Calle de Santiago Court PHD / Zone HR-1, City Council District 6
Replacement Siding and Exterior Paint at a Non-Contributing Structure**

Action Taken: Approved as submitted.

David Gilbert Exteriors Inc. is seeking approval to remove wood lap siding on the sides and rear of the structure and replace with 7" exposure Hardie smooth lap siding. The front siding will be left intact. The applicant is proposing to paint all brick and all siding with Sherwin Williams Cascade Green and the front door will be painted white to match the existing trim.

David Gilbert and Michelle Gourley presented to the board. Ms. Gourley distributed updated paint colors to the board and addressed the intent to paint the 1970s brick to look more like the other houses around downtown. Chairperson Salter asked for clarification on the paint colors. Ms. Gourley answered that the balcony, columns, and railings will remain white. Ms. Gourley proposed two different Benjamin Moore color schemes: Stratton Blue for the door, Hancock Green for the siding and brick, Ice Mist for the trim, and a darker green shade for the shutters or a second option to use the existing Midnight Blue to repaint the shutters and Edgecomb Gray for the siding and brick. Ms. Gourley asked if the board would be open to approving both, allowing the applicant to choose between the two.

Chairperson Salter noted that painting brick is usually dependent on whether or not the brick is intended to be part of the architectural intent of the building. Usually there is some variation in color or a pattern in coloring. This brick has variation in color and there is at least one other house with painted brick in the area. With this being a non-contributing structure, Chairperson Salter is not against painting the brick and either color selection would be appropriate. Board Member Mead seconded the Chair's comments and had no objections to either of the paint plans, including the painting of the brick. Board Member Mead encouraged the applicant to hue a little bit away from the green because there is green next door and the variegation in colors and patterns is what makes the neighborhood nice. Ms. Gourley noted that the bottom story of the next-door structure is covered in ivy. Board Member Ramos asked about the 7-inch exposure for the replacement siding and if it matches the front siding which is being left intact. Mr. Gilbert answered the front has a completely different profile, which is flat.

Board Member Mead made a motion to approve with allowing the applicant selection between the approaches and including the paint of the brick if she so desires. Board Member Fogarty seconded the motion and it carried 6-0.

Item 5 436 Bayfront Parkway PHD / Zone HC-1, City Council District 6
Exterior Alterations at a Non-Contributing Structure

Action Taken: Approved with abbreviated review required.

Stan Albright with SWA Construction is seeking approval for exterior alterations at a non-contributing structure. The applicant is proposing to replace all five front windows with single hung vinyl windows with grilles-between-the-glass, the front door will be replaced with a mahogany door with two over three true divided lites, the second-story French door will be infilled and replaced with the same mahogany door as the front, siding is to be replaced with Hardie smooth lap siding, and the front elevation will be painted Sherwin Williams' Classic Light Buff.

Stan Albright presented to the board. Chairperson Salter asked for clarification about the proposed four over four divided lites versus the existing one over one pattern. Mr. Albright answered that the property owner wanted a New Orleans look, that is why they went with a three-quarter lite mahogany door, and they wanted four over four windows to mimic that. They thought the six over six would be too much. Chairperson Salter asked if the muntins would be simulated divided lite. Mr. Albright answered, as shown, the grilles are between the glass, but the homeowner was made aware that they need to be simulated divided lites and they are going to change the windows to a Jeld-Wen wood clad with simulated divided lite of the same size with a white exterior. The American Craftsman window is no longer being proposed. Chairperson Salter asked about the series of Jeld-Wen window that is being proposed. Mr. Albright answered not the high end but the next line down which is aluminum clad with a wood interior. Board Member Yee asked for clarification on the scope of work and Mr. Albright noted that just the front façade is receiving work and the rear will be left alone. The front façade will be painted Light Buff and the trim will remain white.

Board Member Ramos made a motion to approve the application with the exception that the Jeld-Wen product information be submitted for abbreviated review. Board Member McCorvey seconded the motion.

Board Member Mead asked about the divot in the end wing of the brick at the front. Mr. Albright noted that was damage from Hurricane Sally and has since been repaired.

The motion carried 6-0.

Item 6 308 W. Government Street GCD / Zone C-2 / City Council District 7
Rear Deck Installation at an Existing Structure

Action Taken: Approved as submitted.

James Baynes is seeking approval for a 22 x 12 ft. wood deck constructed of pressure treated lumber with a CMU block foundation and 5V crimp galvalume metal roof. The deck is partially constructed and received a stop work order requiring the applicant to obtain ARB approval and proper permits before work can resume. The deck in its final form will be at least 3 ft. from the west property line to comply with Florida Building code.

James Baynes presented to the board as the homeowner. Chairperson Salter asked about the section detail that shows 1 x 4 slats running between the rafters and how the roof will be finished out. Mr. Baynes answered that furring strips will be used to attach the roof structure. Chairperson Salter asked if what is depicted will remain the same and the columns will not be covered. Mr. Baynes answered yes, it will remain the same. Board Member Mead noted that the detail on the built up pillars works well. Board Member Mead asked about the use of the outbuilding next to the deck. Mr.

Baynes noted it is for lawn equipment. Board Member Mead noted that it should conform to what is being proposed if the applicant chooses to alter it in the future.

Board Member Fogarty made a motion to approve the application as submitted. Board Member Mead seconded, and the motion carried 6-0.

Item 7 112 W. Gregory Street PHBD / Zone C-2A, City Council District 6
Change of Windows at a Contributing Structure

Action Taken: Approved with an abbreviated review required.

Windows Plus is seeking approval at a contributing residential structure for the installation of eighteen Marvin Elevate Series double hung fiberglass one over one windows to replace non-operable, one over one wood windows. The windows have already been installed without a permit or ARB approval, resulting in a stop work order. The applicant is also seeking approval for five vinyl single hung windows with no divided lites and two fiberglass single entry doors with no divided lites that were installed on the accessory dwelling unit without ARB approval.

Todd Benson from Windows Plus represented the project. Chairman Salter asked for clarification that the proposed window for the primary structure is a fiberglass window. Mr. Benson answered yes. Board Member Mead asked staff if the window depictions in the PowerPoint presentation were from before the installation or the proposed windows that have already been installed. Cultural Resources Coordinator Walker answered the photographs in the application are from pre-installation. Board Member Mead asked if there are images as installed. Board Member Ramos noted that the Florida Master Site File form notes that the structure had DHS one over one, three over one wood, and four over four arched. Mr. Benson noted that the three over one and arch windows have not been replaced. Board Member Mead requested that future post-installation projects have images depicting the work that has been undertaken for an in situ view. Mr. Benson brought a sample of the window that was installed. Chairman Salter noted that the product is a fiberglass structural window with wood trim on the interior, it is not what he would classify as a wood window. From Chairperson Salter's perspective, the main house is a contributing structure in the Palafox Historic Business District, governed by Sec. 12-3-27(4)b. which requires the same materials be used for any replacement or repairs on public streets or right of ways. Chairperson Salter's interpretation is that the proposed window would be fine on every other elevation except the street front and the ordinance prevents the window to be used on the front elevation because it is not a wood window. On this particular project, based on the ordinance, the proposed window is high quality and appropriate for the rest of the structure.

Board Member Mead agreed with the interpretation of the code. Advisor Pristera noted that he talked to the applicant early in the process and verified that all windows had been replaced except the dormer window. The previous windows were one piece of glass. Mr. Benson noted the prior owner removed the top and bottom sash and left the main frame with a solid piece of glass inset. Advisor Pristera stated what was there previously was inappropriate and that restoring to one over one was the focus and not the material. While these aren't code compliant on the front, they do aesthetically bring it back to what it would have looked like. Board Member Mead asked about the dormer windows having divided lites, which questions if the one over one style is correct. Board Member Yee asked if the dormer windows were original. Mr. Benson said the owner plans to address the dormer at a later date and that the Palladian window appears to be original. Mr. Benson stated that clad windows have problems after installation, but the fiberglass would not and that from the street view it would be difficult to see the difference.

Chairman Salter asked if the brand of vinyl windows on the accessory structure had been seen by the board before. Staff answered no. Chairman Salter asked if the accessory structure would be considered contributing. Cultural Resources Coordinator stated that images were requested but not provided, and that it was built in 1952. While it is 50 years or older, accessory structures are typically considered non-contributing. Board Member Mead asked for the sill depth on the fiberglass windows. Mr. Benson stated 5 1/4 inch and the example that was brought to the meeting demonstrates a pocket install method. Board Member Mead asked if they are slipped into the rough opening and Mr. Benson answered they are slipped into the original, main frame and screwed into the jambs instead of the flange, so the exterior and interior trim remain intact. Board Member Mead asked staff if any other middle ground existed from a code perspective. Cultural Resources Coordinator noted that Palafox Historic Business District does not have a lot of detail for requirements or materials for windows, other than the street frontage requirements outlined by Chairman Salter.

Board Member Ramos asked staff if the board were to require the applicant to install the historically appropriate windows on the front façade, are there any means of appeal that the applicant can pursue. Assistant Planning & Zoning Division Manager Harding answered that applicants can appeal a board decision, both approval or denial. If the decision adversely affects the applicant or the applicant thinks that it did, they have the option to appeal to City Council within 15 days. Board Member Mead asked about the grounds for appeal. Assistant Planning & Zoning Division Manager Harding answered that any decision by the board can be appealed, both regular agenda items and variances. The code does allow the board to make variances, not variances in the sense of amendments or changes to the code, but it does allow variances to materials, colors, and things like that in the event there is a hardship or unique circumstances. Variance, in that sense, is not a quasi-judicial matter, it just means that there is latitude if there is hardship to a case.

Board Member Yee asked for clarification on whether or not there was an application or permit prior to the windows being installed. Cultural Resources Coordinator Walker answered there was a permit for the accessory dwelling unit that received a stop work order, but there was no permit for the window installation on the primary structure. Board Member Yee noted that the installed window was a decent product and an improvement from what was there, but the situation is not ideal. Mr. Benson noted that they intended to obtain ARB approval, but the windows came in sooner and were installed. Board Member Yee asked if a variation in materials will set a precedent. Cultural Resources Walker answered that it might set a precedent for future applicants because other projects and approvals are often referenced, but it is made clear that applications are treated on a case by case basis and each property is unique. Assistant Planning & Zoning Division Manager Harding added that if there are unique circumstances, the board has been good in the past about citing those circumstances in the motion. Chairperson Salter noted that, in this instance, the original wood windows were not present, the sashes had been removed. In replacing those with another window, a double hung window that closely represents the original, an argument could be made per code Sec. 12-3-27(f)(2)a. that the proposed window is not negatively affecting the architectural integrity of the building but improving it. Assistant Planning & Zoning Division Manager Harding noted that there are past examples of non-original aluminum windows in Old East Hill being replaced with quality vinyl windows, in those cases the board cited that the original windows were not present. Chairperson Salter noted the primary decorative element of the façade with regard to the windows is the Palladian-type windows at the high dormer which appear to be original and have not been replaced.

Advisor Pristera noted that it being in Palafox Historic Business District helps in terms of materials since it is primarily a commercial district. Board Member Mead stated his secondary concern, that should be reflected in the motion, is the problem with compliance and the fact the windows are

already installed. Board Member Mead noted that this should be denied, and the motion should have an appropriate statement that if the variation was proposed prior to installation the board could have seriously considered it, and that can be taken up by the City Council if the applicant chooses to appeal it. The non-compliance is significant. Advisor Pristera asked staff if there are any other penalties aside from the stop work order. Assistant Planning & Zoning Division Manager Harding answered yes, the applicant will receive a quad fee for every permit where work occurred without a permit. Mr. Benson noted that is where the applicant will pay for the mistake. Board Member Mead noted that the owner is responsible as well and not just the contractor and the board cannot be made to make excuses for everything that comes before the board just because that is what is asked for. Mr. Benson stated that it was his responsibility to pull permits and he spoke to the homeowner and agreed that whatever the board determined, needed to be done. Mr. Benson stated there is a lot going on with permitting on that property and the owner has not been able to turn utilities on. Cultural Resources Coordinator noted that the stop work order will remain until ARB approval is obtained.

Board Member Ramos asked how many front windows will need to be replaced, the answer being seven. Board Member Yee asked about the window types noted on the Florida Master Site File form. Several older photographs indicate one over one windows except for the Palladian windows.

Chairperson Salter stated in his opinion, leaving aside whether construction has been done and the state of the current structure, just reviewing the application as it stands based on the ordinance, the windows that have been submitted are appropriate for the structure with the exception of the street façade which the ordinance would require to be of the original material or a material that would be consistent with what would be original to the structure. Even though this is a replacement of a non-original window, and is restoring the visual character, taking into account the Palladian windows and front dormer appear to be wood, that would reinforce the need to maintain the material and the architectural and aesthetic nature of the front elevation. In regard to the rest of the building, what has been proposed would be appropriate.

Chairperson Salter leaned toward approving what was proposed with the exception of the front elevation windows and those would need to be changed to an appropriate, historic wood window and that statement is based on the board's discussion and the way the ordinance is written.

Board Member Mead made a motion to move to the effect of what Chairperson Salter stated. Board Member Ramos requested to amend the motion to state that the applicant submit a detail of how the new front windows would be installed in the current openings to make sure the correct recess is provided. Assistant Planning & Zoning Division Manager Harding recommended that, if the item is appealed, a finding of fact be provided and the Palafox Historic Business District Sec. 12-3-27(f)2.a. would be sufficient. Board Member Mead stated that the Chairman's summation adequately captured the intent of the code provision and amended motion to make that citation. Board Member Mead also accepted the amendment from Board Member Ramos. Chairperson Salter seconded the motion and it carried 6-0.

**Item 8 113 S. Alcaniz Street PHD / Zone HC-1, City Council District 6
Backyard Landscape Improvements at a Contributing Structure
Action Taken: Approved with option for abbreviated review.**

Phil Christensen is seeking approval to install a 20 x 11 ft. fiberglass plunge pool in the fenced-in rear of the property. The proposed pool is white fiberglass with a blue upper edge detail and will be

surrounded by three feet of concrete. A three-foot walkway composed of gray river rock will extend from the edge of the existing deck to the fence on the north side of the rear yard.

Phil Christensen presented to the board as the homeowner. Chairperson Salter asked if all the pool equipment will be behind the existing fence. Mr. Christensen answered yes in the southwest corner, but there is an alternative option to place the pool equipment behind an existing tree in the northwest corner if space permits. Mr. Christensen stated that the hot tub might be incorporated into the pool area and if so, that can be resubmitted if needed.

Board Member Mead made a motion to approve and to permit a variation in the plan to combine the hot tub and pool in a condensed footprint to be submitted for an abbreviated review if they select that option. Board Member Fogarty seconded the motion and it carried 6-0.

Item 9 1200 N. Barcelona Street NHPD / Zone PR-1AAA, City Council District 6
Replacement Garage Doors at a Contributing Structure
Action Taken: Approved.

Adrian and Cheryl Russell are seeking approval to replace three existing wood garage doors due to wood rot and lack of security. The applicants are proposing Amarr Classica premium steel carriage house garage doors in the Corona Closed Square panel style with Thames-design clear glass windows with stamped steel hardware in style Blue Ridge. The garage doors will be painted to match the existing.

Cheryl Russell presented to the board as the homeowner. Chairperson Salter asked staff and/or the advisor if the accessory structure was built at the same time as the primary. Advisor Pristera answered based on the accessory structure's detail it was likely constructed around the same time or shortly thereafter. Chairperson Salter noted that the North Hill Preservation Association had no objections to the request and commended the homeowners on the choice of new materials, style, and color to closely match the existing. Board Member Mead noted what is proposed is very much in keeping with the originals and it appears the originals folded back at one time. Mrs. Russell noted that a 2000 proposal to insert the windows was located in the UWF Historic Trust archives. Chairperson Salter asked staff if similar doors have been approved in the district and staff answered yes. Advisor Pristera asked if there is anything in the code that addresses garage door materials. Staff answered that the code does not have anything specific, but the ARB is usually more concerned with the design such as carriage style rather than the material, but steel has been approved in the past. Assistant Planning & Zoning Division Manager Harding noted that the city is in the process of assessing the land development code and the revised code could include updates for the historic districts.

Board Member Yee made a motion to approve. Board Member Mead seconded the motion and it carried 6-0.

Item 10 410 S. Florida Blanca Street PHD / HC-1 / City Council District 6
New Accessible Ramp for a Contributing Structure
Action Taken: Approved.

Carter Quina is seeking approval for a wood accessible ramp connecting to an existing raised porch. The Barkley House is a contributing structure, but the raised porch and restroom/kitchen addition are modern reconstructions. This project was reviewed at the June 2023 ARB meeting where it was denied without prejudice. The applicant is proposing an alternative path from what was reviewed in

June that reduces the span of ramp located on the north side of the building, as well as a second option. The posts and skirt boards will be painted white, deck boards will be painted grey, and the railing will be a code compliant steel grid, all to match the existing color scheme.

Andrew Guarisco presented to the board on behalf of Quina Grundhoefer Architects. Mr. Guarisco provided a primary design for consideration and an alternative option with a switch back. The railing details were updated to match the existing addition's rail style with code compliant steel. Chairperson Salter asked if the preferred option is the simple L-shaped ramp with the top landing being closer to the existing kitchen which reduced the linear span along the north elevation. Mr. Guarisco answered yes, that is the preferred option. Chairperson Salter stated that everything has been addressed from the previous meeting and the new proposed railing style that matches the existing on the addition is complementary. Board Member Mead asked if the distance along the north side is effectively the same for either option. Mr. Guarisco answered yes, and the L-shaped scheme is preferred because it helps to unify the primary entrance. This allows all visitors to have the same, dignified entry. Board Member Mead agreed with Chairperson Salter on his comments. Board Member Ramos noted that the switch back option provides closer access to the accessible parking but the unified entrance is also a nice approach. Board Member Ramos asked if there is a paved connection between the accessible parking and the proposed L-shaped ramp. Mr. Guarisco answered yes.

Board Member Mead made a motion to approve the option for the L-shape without the switch back and the railing form that is closest in form to the existing renovated portions with the rail and webbing approach. Board Member Ramos seconded the motion, and it carried 6-0.

Chairperson Salter noted that the applicant for Item 11 had approached his employer to potentially work on the project with ongoing negotiations, therefore Chairperson Salter recused himself from the item with a signed form and Board Member Mead assumed role as Vice-Chair.

Item 11 101 S. Palafox Street PHBD / Zone C-2A, City Council District 6
Conceptual Approval for Development of a Contributing Structure
Action Taken: Approved with comments.

SMP Architecture is seeking conceptual approval for the development of a 159-room hotel and attached multi-level 161 space parking garage that incorporates a contributing structure. The project includes repurposing a contributing structure to include a second-story bar and event venue with a roof terrace, a two-story addition with a porte cochere and upper-story meeting space and terrace, a seven-level parking garage with a rooftop pool deck and fitness space, and a nine-floor hotel space with a total building height of 136 feet. This proposal requires demolition of a non-contributing structure, but the applicants are not seeking demolition approval at this time.

Brian Spencer and William Brantley with SMP Architecture presented to the board. The applicants provided additional handouts illustrating the setbacks for building height and precedent images of examples of similar juxtaposition of historic and contemporary architecture. Advisor Pristera provided evidence for a Palafox Mall concept in the 1970s from Garden to Government Streets. The concept had a closed street with a pedestrian thoroughfare covered by an awning. Ultimately the mall concept was not executed but the corner structure at this property was restored and a modern, one-story building was added for the post office. When Sears expanded, they demolished the back portion of the corner building. Vice-Chair Mead noted the existing fountain in front of the post office used to be a horse watering fountain on Garden Street. Assistant Planning & Zoning Division Manager Harding noted that the current location in front of the post office is the fourth location of that fountain. Mr.

Brantley noted that the hill at the top of Palafox Street by First Baptist Church might be a good location for the fountain. Vice-Chair Mead stated the fountain is a significant feature and deserves due prominence.

Mr. Spencer noted that a demolition request will have to be requested in the future for the one-story building and today's request is only for conceptual approval of the hotel development. Mr. Brantley provided an overview of the height and setback requirements for the property. Buildings can be constructed up to 100 feet in height at the property line and for every one-foot setback from the property line, an additional three feet is granted up to 150 feet. The existing two-story structure on the corner and the addition to the south as well as the parking structure and pool deck are within the 100-foot height limit. The hotel tower is set back 10 feet on the south and the north end is set back 7 feet 4 inches and the very top is set back again for an extra story. The square footprint is intentional to match the scale of the Thiesen building and Seville Tower. The parking garage has a speed ramp, so all levels are flat, not sloped, to allow a nice façade on Romana Street. In plan, the proposal engages with the activity and vibrancy of South Palafox Street with the continuous balcony, the Palafox Terrace that is centered on the entrance and porte cochere. A historic mural is being proposed inside the porte cochere, which is envisioned to be very pedestrian friendly. There will not be a sidewalk step-up but instead a change in paving pattern and the Pensacola art wall will serve as a means of egress. Inspiration was drawn from the Thiesen building, hotel San Carlos, Mediterranean influences, and Spanish influence from the Saenger Theater. There is an intentional break between the historic post office building and the new, two-story addition to get a sense of the older building. Mr. Spencer noted that no colors have been introduced in the conceptual proposal and a palette would be proposed in the future.

Mr. Derek Salter spoke as a member of the public and a resident of Pensacola. Mr. Salter noted it is exciting to see something of this scale to be proposed in downtown Pensacola and SMP Architecture has given a lot of consideration to the historic nature of downtown and the effect of this project on the city. Mr. Salter asked the applicant and board to consider the vehicular entry off Palafox Street, identified as the porte cochere. Palafox is the major pedestrian thoroughfare of downtown and this is not an element that is seen a lot in Pensacola. On Palafox there is only one other mid-block commercial access point, at 200 S. Palafox Street. The consideration of the hazard and impact of the porte cochere on the pedestrian activities along Palafox is something that warrants further discussion. The impact of the new structure on the existing historic building is also a concern. The existing two-story building on the corner is already a section of what it used to be. The proposed location and footprint of the hotel tower overlaps the existing structure by quite a bit. The concern is the need for significant structural alteration to the existing structure or the inboard exterior walls. Consideration should be given to the effect of the architectural integrity of what is left of that structure. The ordinance for the Palafox Historic Business District states that in the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building. Aesthetically, the way it is proposed it may not be a very large impact, but Mr. Salter questioned what is the impact of the overall value of the building with regards to how much of that structure is affected by the current proposed location of the tower.

Mr. Spencer and Mr. Brantley addressed Mr. Salter's concerns to the board. Mr. Spencer noted that images were not included on how the historic brick facades would be preserved. Bracing is typically used to protect historic buildings and the existing floor level of the corner building will need to be replaced. The south wall has been altered over time, yet the goal is to preserve the south wall as much as possible. Vice-Chair Mead asked about the treatment for the arched portico on the rear of

the two-story corner structure. Mr. Brantley noted that it was added later, and it would be nice if it could be preserved, but a structural engineer's opinion is needed. Mr. Spencer noted his comparative travels and experiences with pedestrian-based areas. Mr. Brantley added that the porte cochere is being treated like an architectural entrance with nice pavers and will have a great pedestrian feel, not unlike the wine bar entrance across the street. All discussion thus far is that the garage will be valet only, so the porte cochere will be entrance only and the exit will be on Romana Street.

Advisor Pristera noted that he met with the applicant prior to the presentation, and he appreciates the hotel tower being set back. Building preservation has been a concern over the last few years and it was anticipated that the corner building would likely be demolished for a bigger development and this project preserves the building while also incorporating a new development. The existing corner building will be maintained due to the development. The project respects Palafox and honors the historic building and adds something else to Pensacola. Advisor Pristera noted that the south side of the building is not depicted and that would need to be brought back in the future with other pedestrian-level views of the area. Vice-Chair Mead asked about the age of the rear arch. Advisor Pristera answered it was unlikely to be present in the 1920s but is there by the 1950s.

Board Member Fogarty noted it is a beautiful project and appreciates that the historic building will be the hotel lobby. It has some great elements and attention to detail. Board Member Ramos stated that the port cochere on Palafox is a necessity for that building type and what is proposed is an eloquent solution and acts as a main entrance on the floor level. The articulation of the parking garage is very well done and the terrace mimicking the Saenger was a nice connection for the entire street. Board Member McCorvey noted this project is appreciated since Pensacola is growing and it will be a nice addition to the downtown. There is concern with the porte cochere and traffic being backed up from people driving in. Mr. Spencer noted that the porte cochere was deliberately made one way with the valet on the west side, so there will not be a stacked problem to create a traffic jam on Palafox. It is wide enough for several guests to arrive simultaneously with the valet at the end with an exceptionally large capacity.

Board Member Yee noted it is an exciting project with a well-done application package. The preservation of the corner is important, and Board Member Yee is not as concerned with the structural integrity of the existing building. Vice-Chair Mead echoed the other board member's statements. Vice-Chair Mead asked about the join between the corner building and new development to the south and the continuity of line between the two. It breaks the symmetry with the ovolo treatment on the other corner. Both buildings are symmetrical, but the symmetry is inverted with projected cornices and indented corners. It would be nice to maintain that distinction, especially along the façade rather than carrying the continuity of that line over, since it looks like that corner should have continued between the two buildings, but it doesn't. These are very different buildings in character and that difference should be made clear, treating the corners the same. Vice-Chair Mead asked about the indentations on the north façade of the parking garage being pulled in and suggested that they be consistent with the main structure. Mr. Brantley answered the size of the mechanical equipment is unknown which will be located there, and the higher portion is screening that equipment. Vice-Chair suggested keeping the indents at the corners but matching the front facades. Vice-Chair Mead asked about the stair tower for the parking garage since it will be visible from Palafox and it would be appropriate to give it a similar treatment and to keep things integrated with similar form. There is some broken symmetry on the front and there are nice panels on the stair tower and front to do something vertically that would speak to each other, maybe a mosaic or something with tile treatment that is a permanent architectural feature.

Assistant Planning & Zoning Division Manager Harding noted that staff will look at the land development code and issue some comments about parking and other aspects before the applicant comes back to the board.

Board Member Fogarty made a motion to approve the application for conceptual review, taking into consideration all of the comments that had been made.

Board Member Ramos noted that in reference to Vice-Chair Meads comments about the stair tower, Board Member Ramos likes the hierarchy of things and how there is less detail in the background because it is a less important structure. Board Member Ramos appreciates that it is simpler and it does not need to be too intricate and take away from the main prize which is the corner, historic building.

Board Member Fogarty accepted Board Member Ramos' comments. Board Member Ramos seconded the motion and it carried 5-0.

ADJOURNMENT

With no further business, the meeting adjourned at 4:51 p.m.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Adrienne F. Walker".

Cultural Resources Coordinator Walker
Secretary to the Board

ARB Comments

North Hill Preservation Association

July 19, 2023

The North Hill Architectural Review and Assistance Committee (ARAAC) reviewed the one item pertaining to North Hill which is on the ARB agenda for July. The committee had the following comments:

Item 9	1200 N. Barcelona Street	North Hill Preservation District
Contributing Structure		

Adrian and Cheryl Russell are requesting approval to replace three existing wood garage doors due to wood rot and lack of security. The applicants are proposing Amarr Classica premium steel carriage house garage doors in the Cortona Closed Square panel style with Thames-design clear glass windows with stamped steel hardware in style Blue Ridge. The garage doors will be painted to match the existing.

1. We have no objections to this request.
2. We commend the homeowners on their choice of new materials, styles, and color to so closely match the existing.

.

Respectfully submitted,

North Hill Architectural Review and Assistance Committee (ARAAC):

Deborah Hart, member North Hill Preservation Assoc.; ARAAC Chairperson

Hannah Domoslay-Paul, member NHPA Board of Directors

Lisa Bradley, member NHPA Board of Directors

Bobbi Godwin, member North Hill Preservation Association

Rhonda Brach, member North Hill Preservation Association

Kathy McKean, member North Hill Preservation Association

Lee Hansen, member North Hill Preservation Association

Carrie Webster, member North Hill Preservation Association

Diane Walker, member North Hill Preservation Association

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Kathy McKean, member North Hill Preservation Association

Lee Hansen, member North Hill Preservation Association

Carrie Webster, member North Hill Preservation Association

Diane Walker, member North Hill Preservation Association

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME Salter, Derek		NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Architectural Review Board	
MAILING ADDRESS 40 S. Palafox Place, Suite 201		THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF:	
CITY Pensacola	COUNTY Escambia	<input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY	
DATE ON WHICH VOTE OCCURRED July 20, 2023		NAME OF POLITICAL SUBDIVISION: NA	
		MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTIVE	

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Derek Salter, hereby disclose that on July 20, 20 23 :

(a) A measure came or will come before my agency which (check one or more)

- ☐ inured to my special private gain or loss;
- ☒ inured to the special gain or loss of my business associate, DAG ARCHITECTS INC ;
- ☐ inured to the special gain or loss of my relative, _____ ;
- ☐ inured to the special gain or loss of _____, by
whom I am retained; or
- ☐ inured to the special gain or loss of _____, which
is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

Agenda Item 11- 101 S. Palafox Street

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

7.20.2023
Date Filed


Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00593

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

506 E. Gadsden Street
Old East Hill Preservation District / Zone OEHC-2 / City Council District 6
Exterior Improvements to a Contributing Structure

BACKGROUND:

Wally Nowicki is seeking approval for exterior improvements to a contributing structure that was relocated from 710 N. Davis Highway to the current location at 506 E. Gadsden Street. The applicant is proposing to add a brick element to the existing concrete staircase, removing aluminum siding to reveal original wood lap siding that will be repaired in-kind as needed, and relocating an original wood window from the interior of the house to the front exterior.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)e.3. Old East Hill preservation district; Decisions.

Sec. 12-3-10(3)g. OEHPD; Restoration, rehabilitation, alterations or additions to existing contributing structures in Old East Hill preservation district.

Page 1
x original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02050**
Recorder # _____

SITE NAME William L. Barrineau, House
HISTORIC CONTEXTS Depression/New Deal
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 710 North Davis St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, E. side of N. Davis St.
between E. Cervantes St. and E. Gasden St.
SUBDIVISION East King Tract BLOCK NO 15 LOT NO 21
PLAT OR OTHER MAP county appraiser's atlas sheet #67
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? x y n LAND GRANT _____
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L unknown
BUILDER: F _____ M _____ L unknown
CONST DATE 1932 CIRCA c RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) residence-private
PRESENT USES(S) residence-private

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR rectangular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 0 PORCHES 2 DORMERS 0
STRUCTURAL SYSTEM(S) platform framing
EXTERIOR FABRIC(S) vinyl siding -
FOUNDATION: TYPE pier MATLS brick
INFILL brick on porch - none on sided
PORCHES w/porch/wrought iron columns/1/e. W&N/screened porch/0/
ROOF: TYPE gable SURFACING composition shingles
SECONDARY STRUCS. shed
CHIMNEY: NO 0 MTLS n/a LOCNS n/a
WINDOWS DHS, 6/1; 6 light fan light over door; front door has 6 light
EXTERIOR ORNAMENT none observed
CONDITION good SURROUNDINGS residential/commercial
NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y x n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

AREAS OF SIGNIFICANCE local community development
social history

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

RECORDER INFORMATION: NAME F Richard M T. L Brosnahan
DATE: MO 8YR 92 AFFILIATION Historic Pensacola Preservation Board

NEGATIVE NUMBERS 91N113 WEH (Frames 25-26)

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I
I      M      A      P
I  Street/plat map, not
I      USGS

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[illegible]

CERVANTES

DAVIS



23



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PENSACOLA, FLA.

30087-D2-TF-024

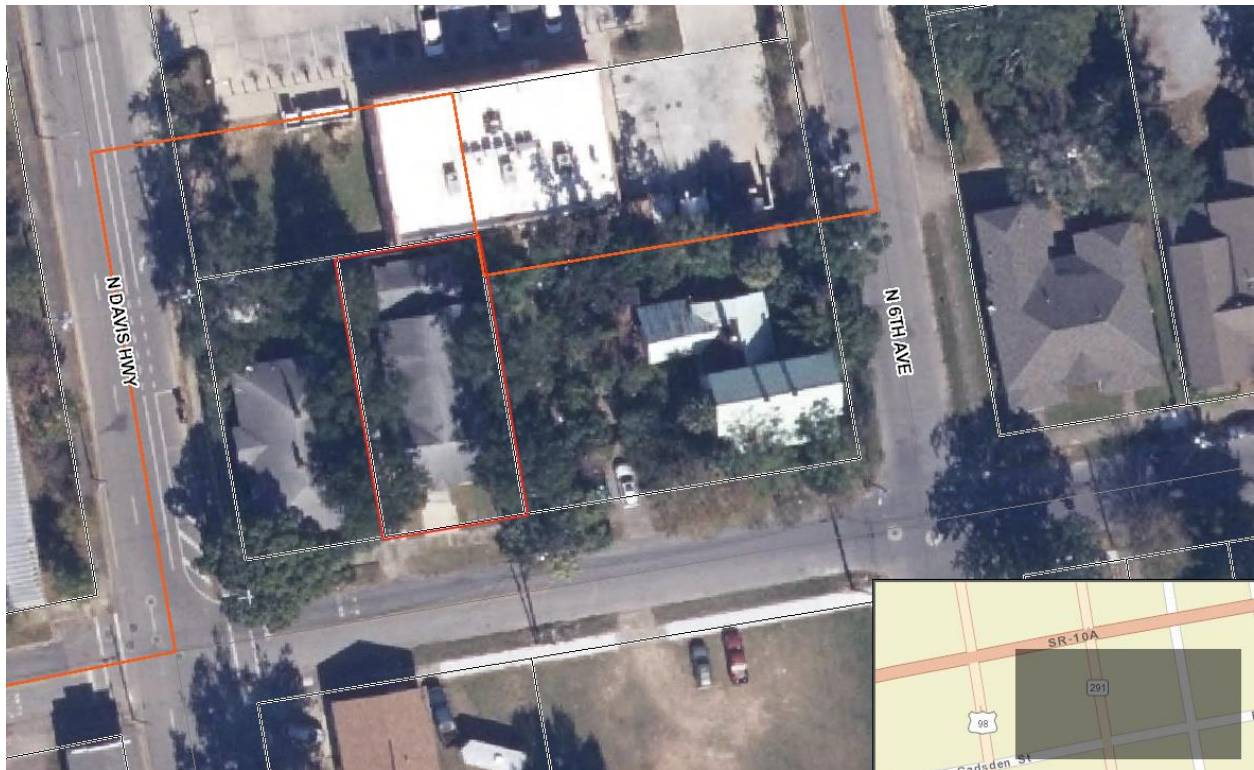
1970

Revised 1987

DMA 3544 1 NW-Series



506 E. Gadsden Street





City of
Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 07/26/2023

Project Address: 506 E Gadsden Street

Applicant: Wally Nowicki

Applicant's Address: 119 W Strong St Pensacola FL 32501

Email: caretakerofthecastle@gmail.com **Phone:** (850) 508-0681

Property Owner: Wally Nowicki

District: ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

A. Concrete staircase for front entry to the house. A concrete staircase was previously poured by a local mason. The existing structure is not attached to the house and will be encased along the sides with decorative brick such as noticed in the pictures attached. Red brick with a grey mortar will be used.

B. On the front of building all aluminum siding to be removed down to the original lap siding. The sheathing underneath will existing lap siding will be replaced and any damaged or non existent lap siding will be replace with original lap siding.

C. On the front left side of the building an original wood window to the house will be used to replace existing window. The existing window is of a trailer park design that is not consistent with any architectural detail of the house. This original to the house window that will be used is the same style as the original windows on the front right side of the building.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Wally P. Nowicki
Applicant Signature

07/26/2023

Date

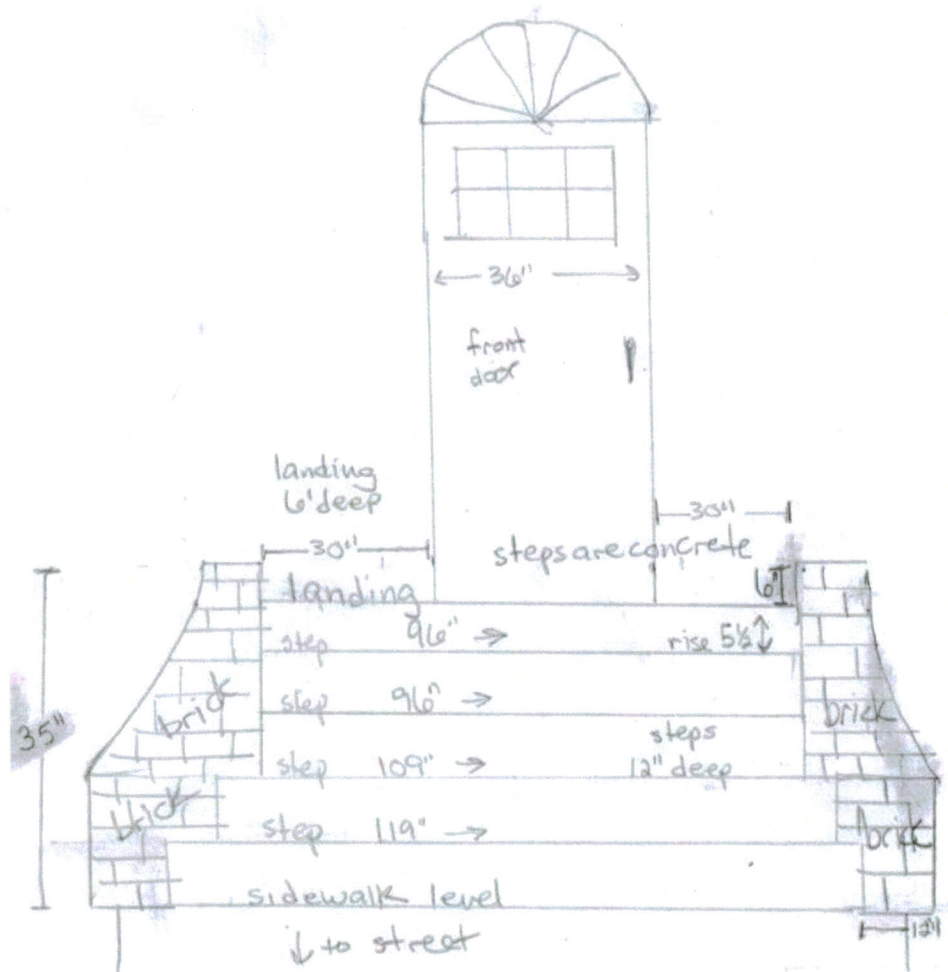


Remove mismatched green and white aluminum siding from front of house and repair/replace the lap boards beneath, leaving the front of house lap board as original to the house.

Replace window above on the left (1) with window below on the right (3). It is exact match for existing window above right (2). Window below left is a better view of the window above right, with the awning out of the way. Then all windows on the front of the house would match.



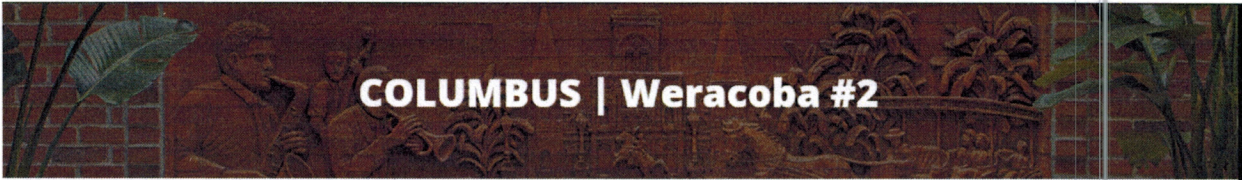
506 E Gadsden St. Old East Hill



Steps will be concrete with brick sides. The lower brick side is shown below left (a), our sides will be 6" higher than the landing, and the concrete steps below right (b) are another example of the curved sides, only they are taller, while ours will be only 6" higher than the steps.



Both of these examples are from North Hill, Strong St and Baylen St.



COLUMBUS | Weracoba #2



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00594

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

516 N. Alcaniz Street
Old East Hill Preservation District / Zone OEHC-1 / City Council District 6
Renovation of a Contributing Structure

BACKGROUND:

Shawn Kessler is seeking approval for exterior alterations at a contributing structure. This project received a stop work order in October 2022 for unpermitted exterior alterations that also did not receive ARB approval. The proposal includes a replacement rear addition, new Ply Gem single hung vinyl windows throughout, changing the front window composition from one picture window to two smaller openings, replacement wood siding on the front and smooth cement board siding on the sides and rear, lattice covering the foundation to match existing, tongue and groove pine boards for the porch and gable end soffits, and wood replacement porch pillars to match the existing. The roof replacement was previously approved through a board-for-board application, the door selection will require board review, and the paint selection will be submitted for an abbreviated review.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)e.3. Old East Hill Preservation District; Procedure for review of plans; Decisions.
Sec. 12-3-10(3)f. OEHPD; Regulations and guidelines for any development within the Old East Hill preservation district.
Sec. 12-3-10(3)g.1-2 OEHPD; Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.

Page 1
X original
— update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES **02027**
Recorder # _____

SITE NAME Miles N. Mathews, Jr. House
HISTORIC CONTEXTS Depression/New Deal
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO **3226**
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 516 North Alcaniz St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, E. side of N. Alcaniz
St. between E. Jackson St. and E. LaRua St.
SUBDIVISION East King Tract BLOCK NO 23 LOT NO 80
PLAT OR OTHER MAP county appraiser's atlas sheet #68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? x Y n LAND GRANT
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L Unknown
BUILDER: F _____ M _____ L Unknown
CONST DATE 1933 CIRCAC _____ RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) residence-private
PRESENT USES(S) residence-private

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR rectantular
INTERIOR _____
NO.: STORIES 1 OUTBLDGS 0 PORCHES 1 DORMERS 0
STRUCTURAL SYSTEM(S) ballon wood framing
EXTERIOR FABRIC(S) drop siding
FOUNDATION: TYPE pier MATLS brick
INFILL none
PORCHES w/porch/3/4 wood columns w/slanted sides 1/4 brick/1/w
ROOF: TYPE gable SURFACING composition shingles
SECONDARY STRUCS. gable, shed
CHIMNEY: NO 1 MTLS brick LOCNS E: offset, lateral
WINDOWS SHS, 1/1 aluminum; DHS, 4/1; fixed, 1; fixed 2/2
EXTERIOR ORNAMENT wood decorative wood beams under gable
CONDITION good SURROUNDINGS residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y x n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

local community development
social history

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? y n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

* * *DHR USE ONLY* * * * * DHR USE ONLY *

DATE LISTED ON NR _____

* KEEPER DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____

* SHPO EVALUATION OF ELIGIBILITY(DATE): -YES _____ -NO _____

* LOCAL DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____

* OFFICE _____

* * *DHR USE ONLY* * * * * DHR USE ONLY *

RECORDER INFORMATION: NAME F Richard M T L Brosnahan
DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
 LOCATION OF NEGATIVES Historic Pensacola Preservation Board
 NEGATIVE NUMBERS 91N114WEH (Frames 35-36)

P H O T O G R A P H


Attach a B/W photographic print here with plastic clip. Label the print itself with at least: the FMSF site number (survey number or site name if not available), direction and date of photograph. Prints larger than contact size are preferable.

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M A P
street/plat map, not
USGS

JACKSON

ALCANIZ



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

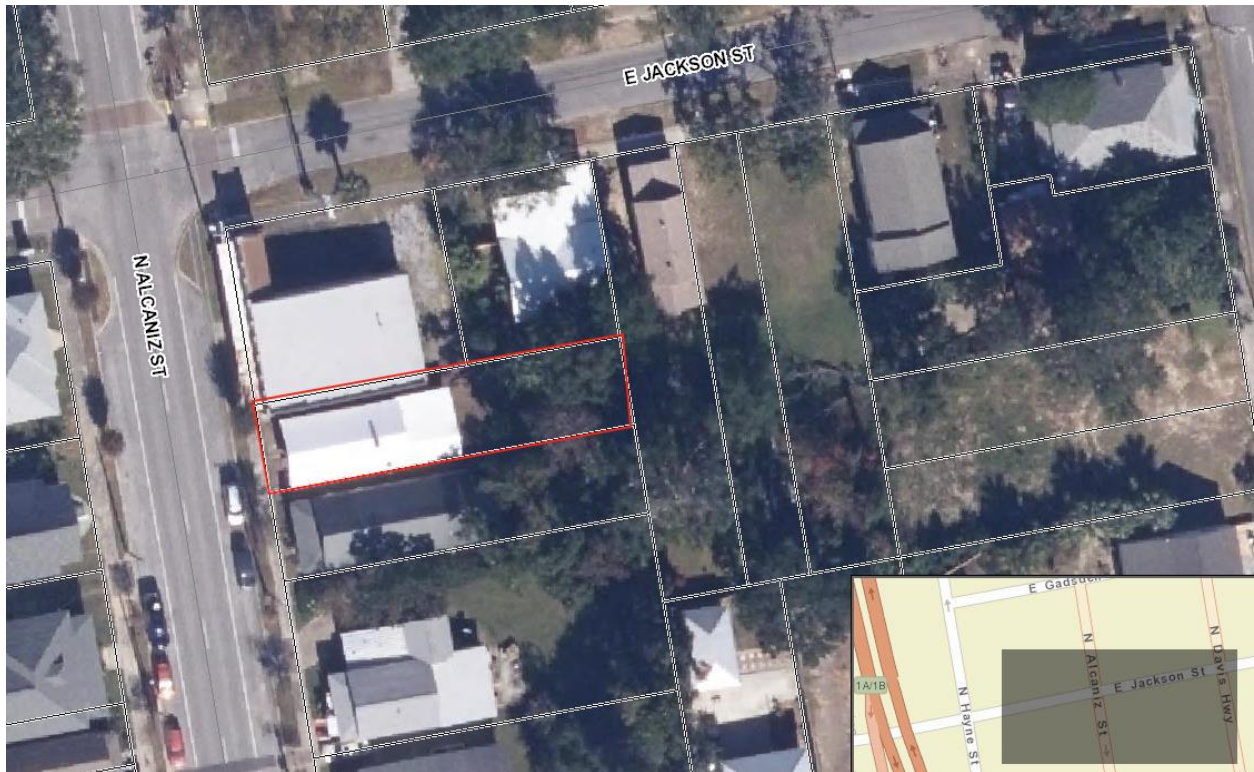


PENSACOLA, FLA.
30087-DA-TF-024
1770
Revised 1987
DMA 3544 1 NW-Series

207
CES



516 N. Alcaniz Street



**Architectural Review Board Application
Full Board Review**

Application Date: 7/14/23

Project Address: 516 N Alcaniz Pensacola FL 32502
Applicant: Shawn Kessler
Applicant's Address: 516 N Alcaniz Pensacola FL 32502
Email: kessininvest7@gmail.com **Phone:** 702-982-2800
Property Owner: Ashley Cipko

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Rehab existing building to approved plans.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

7/14/23

Date

516 N Alcaniz Pensacola FL 32502 Remodel Worksheet

- **Window-** We will have vinyl windows from Builders First Source. Windows will be grid-less with two panes of glass. Please refer to the paperwork provided. You can also refer to the plans. All sizes and locations are depicted.
 - Per the plans we submitted we will be taking the large picture window and replacing this with two windows.
- **Doors-**TBD (We usually get our doors from BMO and they are standard exterior door with window on the top) Doors- include product information including materials, color, glass type, hardware, etc.
- **Siding-**Will be Nichiha Cement Board siding FL Code #12875.1, 8 ¼ Lap siding Siding and trim- include product information on material, color, exposure, etc. Smooth profile with an exposure to match the existing. We will be putting wood on the front façade and Hardie on the sides and rear. We will try to find a siding that is similar to the siding that is currently on the house.
- **Lattice-**We plan to put lattice around the house on the bottom to make the bottom of the foundation look nicer. This is what was on the house when we bought it. Please refer to picture provided.
- **Roofing-** IKO Cambridge-Charcoal Grey FL Code#30310.1, Tri-Built self- adhered underlayment FL Code#34539.1. Shingle will be the same on the existing house that were approved.
- **Paint-** Paint will be TBD (Sherwin Williams Paint will be used) We usually use neutral colors, White, beige, blue etc..
- Front Porch, we will replace existing porch support pillars with new wood to look like the current pillars. We will use tongue and groove pine boards on the existing porch ceiling, these boards will be polyurethane for protection to keep the natural look of the pine. We will replace any bad rotted wood with new pine to look exactly like it looks now. We will replace old siding on the front porch with like materials. On the A-Frame on the outside (main facade) with tongue and groove boards to match the porch ceiling.



Example

NICHIHA Savannah Smooth Cement Board Primed Lap Siding - 6-1/4" x 112" FL - code # 12875.1 and trim



Example

This siding will be used on the Left Side, Right Side, & Rear of House per the plans.



(Existing) Left Side of House



(Existing) Right Side of House



(Existing) Rear of House



(Existing) Front Exterior



(Arrows) depict placement of pine tongue & groove



(Example)

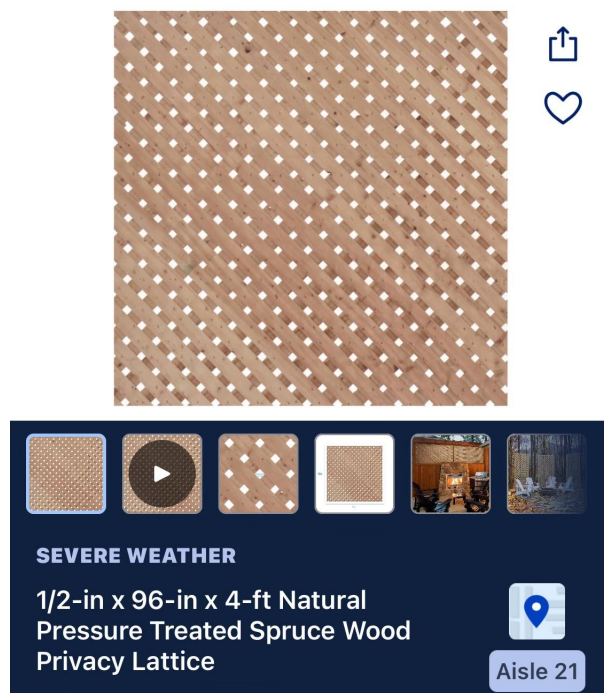


(Example)

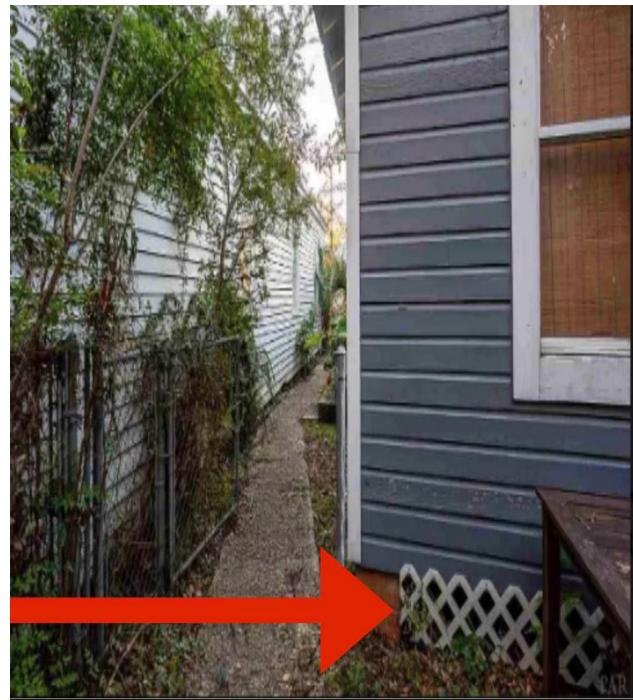
Tongue & Groove Pine Boards on Front Porch Ceiling will be placed over orig. Wood. We will also be incorporating Tongue & Groove Pine Boards in the A-Frame front facade. Please see sample pictures above.

*Note: These pictures above are examples only, this is not subject property.

Lattice to be used to cover up foundation on sides and rear of the house.



(Example)



(Existing) Lattice
(on left, right, & rear of the house will cover foundation)

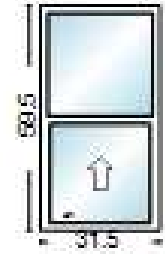
BILL TO:

SHIP TO:

LANDMARK DEVELOPMENT

QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
6658769	3/2/2022	Load Date Not Set	Quote Not Ordered	Tanya Blanchard
JOB NAME	CUSTOMER PO#	BUILDING/LOT #	CONTACT	

LineItem #	Description	Net Price	Extended
1-1	Rough Opening: 32 X 60, Frame: 31.5 X 59.5	\$308.44	\$616.88
Qty: 2	Wrapping - Clear Opening Calculations 26.875 X 26.625, Clear Opening Area: 4.97		
Room Location:	Product Unit 1:1500 Brickmould Single Hung		
None Assigned	Dimensions Traditional (1/2" under Call Size), Call Size 2-8 5-0, Frame Size 31.5 X 59.5, Equal		
Note:	Color Exterior = White, Interior = White		
	Unit Type Brickmould, Non-Drywall Glazed, Nailing Fin		
	Unit Performance H-LC50 (DP +55/-55), Florida Approval # 16103, No Thermal Requirement, U-Factor = 0.35, SHGC = 0.22, VLT = 0.42, CPD = PWG-M-170-00139-00001, STC Rating = 26		
	Glass Unit 1: LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 13/16"		
	Unit 1 Lower, 1 Upper: Annealed		
	Hardware Standard Flush Mount, White, 2 Locks, Standard (Inverted Block and Tackle)		
	Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"		



LineItem #	Description	Net Price	Extended
1-2	Unit 1 Screen, Call Size: 2-8 5-0, Screen Color: White, Screen Width: 27.5	\$19.21	\$38.42
	Screen Height: 28.25		

Qty: 2

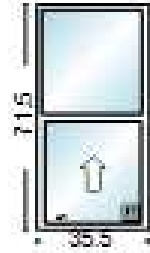
Room Location:

None Assigned

Note:

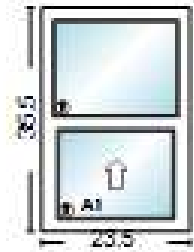
QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
6658769	3/2/2022	Load Date Not Set	Quote Not Ordered	Tanya Blanchard
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT

LineItem #	Description	Net Price	Extended
2-1	Rough Opening: 36 X 72, Frame: 35.5 X 71.5 Wrapping - Clear Opening Calculations 30.875 X 32.625, Clear Opening Area: 7 Product Unit 1:1500 Brickmould Single Hung Dimensions Traditional (1/2" under Call Size), Call Size 3-0 6-0, Frame Size 35.5 X 71.5, Equal Color Exterior = White, Interior = White Unit Type Brickmould, Non-Drywall Glazed, Nailing Fin Unit Performance H-LC50 (DP +50/-50), Florida Approval # 16103, No Thermal Requirement, U-Factor = 0.35, SHGC = 0.22, VLT = 0.42, CPD = PWG-M-170-00139-00001, STC Rating = 26 Glass Unit 1: LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 13/16" Unit 1 Lower, 1 Upper: Annealed Hardware Standard Flush Mount, White, 2 Locks, Standard (Inverted Block and Tackle) Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"	\$334.99	\$669.98



LineItem #	Description	Net Price	Extended
2-2	Unit 1 Screen, Call Size: 3-0 6-0, Screen Color: White, Screen Width: 31.5 Screen Height: 34.25	\$25.95	\$51.90

LineItem #	Description	Net Price	Extended
3-1	Rough Opening: 24 X 36, Frame: 23.5 X 35.5 Wrapping - Clear Opening Calculations 18.875 X 14.625, Clear Opening Area: 1.92 Product Unit 1:1500 Brickmould Single Hung Dimensions Traditional (1/2" under Call Size), Call Size 2-0 3-0, Frame Size 23.5 X 35.5, Equal Color Exterior = White, Interior = White Unit Type Brickmould, Non-Drywall Glazed, Nailing Fin Unit Performance H-LC50 (DP +55/-55), Florida Approval # 16103, No Thermal Requirement, U-Factor = 0.35, SHGC = 0.22, VLT = 0.42, CPD = PWG-M-170-00140-00001, STC Rating = 27 Glass Unit 1: LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 7/8" Unit 1 Lower, 1 Upper: Tempered Hardware Standard Flush Mount, White, 1 Lock, Standard (Inverted Block and Tackle) Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"	\$268.86	\$268.86



QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
6658769	3/2/2022	Load Date Not Set	Quote Not Ordered	Tanya Blanchard
JOB NAME		CUSTOMER PO#	BUILDING/LOT #	CONTACT

LineItem #	Description	Net Price	Extended
3-2	Unit 1 Screen, Call Size: 2-0 3-0, Screen Color: White, Screen Width: 19.5 Screen Height: 16.25	\$17.29	\$17.29

Qty: 1

Room Location:

None Assigned

Note:

LineItem #	Description	Net Price	Extended
4-1	Rough Opening: 24 X 24, Frame: 23.5 X 23.5	\$156.22	\$312.44

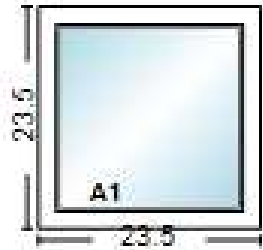
Qty: 2

Room Location:

None Assigned

Note:

Product Unit 1:1500 Brickmould Rectangle
Dimensions Traditional (1/2" under Call Size), Call Size 2-0 2-0, Frame Size 23.5 X 23.5
Color Exterior = White, Interior = White
Unit Type Brickmould, Matching Window Type = Triple Slider, Nailing Fin
Unit Performance FW-LC55 (DP +55/-55), Florida Approval # 16104, No Thermal Requirement, U-Factor = 0.33, SHGC = 0.24, VLT = 0.46, CPD = PWG-M-167-00139-00001, STC Rating = 24
Glass LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 13/16", Annealed
Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"



LineItem #	Description	Net Price	Extended
5-1	Rough Opening: 32 X 60, Frame: 31.5 X 59.5	\$308.44	\$925.32

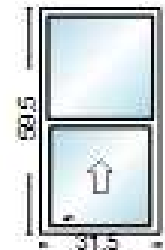
Qty: 3

Room Location:

None Assigned

Note:

Wrapping - Clear Opening Calculations 26.875 X 26.625, Clear Opening Area: 4.97
Product Unit 1:1500 Brickmould Single Hung
Dimensions Traditional (1/2" under Call Size), Call Size 2-8 5-0, Frame Size 31.5 X 59.5, Equal
Color Exterior = White, Interior = White
Unit Type Brickmould, Non-Drywall Glazed, Nailing Fin
Unit Performance H-LC50 (DP +55/-55), Florida Approval # 16103, No Thermal Requirement, U-Factor = 0.35, SHGC = 0.22, VLT = 0.42, CPD = PWG-M-170-00139-00001, STC Rating = 26
Glass Unit 1: LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 13/16"
Unit 1 Lower, 1 Upper: Annealed
Hardware Standard Flush Mount, White, 2 Locks, Standard (Inverted Block and Tackle)
Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"



QUOTE #	QUOTE DATE	LOAD DATE	SHIP DATE	QUOTED BY
6658769	3/2/2022	Load Date Not Set	Quote Not Ordered	Tanya Blanchard
JOB NAME	CUSTOMER PO#	BUILDING/LOT #	CONTACT	

LineItem #	Description	Net Price	Extended
5-2	Unit 1 Screen, Call Size: 2-8 5-0, Screen Color: White, Screen Width: 27.5 Screen Height: 28.25	\$19.21	\$57.63

Qty: 3

Room Location:

None Assigned

Note:

LineItem #	Description	Net Price	Extended
6-1	Rough Opening: 48 X 12, Frame: 47.5 X 11.5	\$182.70	\$182.70

Qty: 1

Room Location:

None Assigned

Note:

Product Unit 1:1500 Brickmould Rectangle
Dimensions Traditional (1/2" under Call Size), Call Size 4-0 1-0, Frame Size 47.5 X 11.5
Color Exterior = White, Interior = White
Unit Type Brickmould, Matching Window Type = Triple Slider, Nailing Fin
Unit Performance FW-LC55 (DP +55/-55), Florida Approval # 16104, No Thermal Requirement, U-Factor = 0.33, SHGC = 0.24, VLT = 0.46, CPD = PWG-M-167-00139-00001, STC Rating = 24
Glass LE-SC (Low-E SC), Warm Edge (WE), Metal, Double Glazed, 13/16", Annealed
Wrapping - Frame Options Integral J-Channel, Nail Fin Setback 1 3/8"



Total Unit Quantity: 19

PROJECT	QUOTE
Unassigned Project	Unassigned Quote
NOTES	
Order:	
Delivery:	
Job Comment:	

SUB-TOTAL:	\$3,141.42
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$0.00
TOTAL:	\$3,141.42

CUSTOMER SIGNATURE _____ DATE _____

FLORIDA BUILDING CODE 2020

DESIGN CRITERIA:

1. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7).
3. BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ACI 530/560.1-13).
4. NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

1. DEAD AND LIVE LOADS PER ASCE 7
2. WIND LOAD AS PER ASCE 7
3. FLOOD ZONE: ZONE "X"

DESIGN MATERIAL STRENGTHS (UNLESS OTHERWISE NOTED):

1. STRUCTURAL STEEL = 36 KSI (MINIMUM)
2. CONCRETE REINFORCING BARS = GRADE 60 (ASTM A-615)
3. CONCRETE = 2,500 PSI @ 28 DAYS
4. BOLTS = GRADE A325
5. THREADED ROD = GRADE A307 (SAE 1018)
6. ANCHOR BOLTS = GRADE F1554
7. LATERAL SOIL BEARING CAPACITY = 400 PSF/FT
8. VERTICAL SOIL BEARING CAPACITY = 1,500 PSF

GENERAL NOTES:

1. THE DESIGN CONTAINED IN THIS DRAWING APPLIES ONLY TO THE ADDRESS SHOWN IN THE TITLE BLOCK. INSTALLATION AT ANY OTHER LOCATION MUST BE APPROVED IN WRITING BY THE ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
3. NO CHANGES OR DEVIATIONS FROM THESE PLANS SHALL BE AUTHORIZED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER FOR ANY MODIFICATIONS OR ALTERATIONS TO THE DESIGN CONTAINED IN THIS DRAWING. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE ENGINEER, THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CORRECTIONAL COSTS.
4. APPROVAL BY THE INSPECTOR DOES NOT IMPLY APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
5. ALL CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH OSHA.
6. ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATIONS INSURANCE, AND CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES OR STANDARDS.
8. RECOMMEND ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO, METALS, PLASTICS AND WOODS, BE INSPECTED BY A LICENSED STRUCTURAL ENGINEER EVERY TWO YEARS TO ENSURE MEMBERS MAINTAIN ORIGINAL DESIGN STRUCTURAL INTEGRITY.

GENERAL FASTENER NOTES:

1. NAILS SHALL BE CORROSION-RESISTANT.
2. METAL OR PLASTIC CAP NAILS SHALL HAVE A WASHER HEAD DIAMETER OF NOT LESS THAN 1 INCH WITH A THICKNESS OF AL LEAST 32-GAUGE SHEET METAL.

GENERAL FLASHING NOTES:

1. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

DISCLAIMER:

IF THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND OTHER SPECIFIC NOTES ON THESE PLANS, THE SPECIFIC NOTES SHALL PREVAIL.

GENERAL ASPHALT SHINGLE NOTES:

1. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
2. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER.
3. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, MINIMUM 12 GAGE (0.105 INCH) SHANK WITH A MINIMUM 3/8" DIAMETER HEAD.
4. FASTENERS SHALL BE OF LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4" INTO THE ROOF SHEATHING. WHERE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.
5. SATURATED FELT UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12)

- TWO LAYERS REQUIRED.
- 19-INCH WIDE STRIP PARALLEL TO AND STARTING AT EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE.
- 36-INCH WIDE STRIP OVERLAPPING SUCCESSIVE SHEETS 19 INCHES.
- FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE ONE ROW A MAXIMUM OF 12" O.C.
- FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.

6. SATURATED FELT UNDERLAYMENT (ROOF SLOPE ≥ 4:12).

- ONE LAYER REQUIRED.
- APPLY IN SHINGLE FASHION.
- INSTALL STARTING FROM THE EAVE AND LAPPED 2- INCHES.
- FASTEN WITH 1-INCH ROUND PLASTIC CAP NAILS.
- FASTENER SPACING IN THE FIELD OF THE SHEET SHALL BE TWO STAGGERED ROWS WITH A MAXIMUM FASTENER SPACING OF 12" O.C.
- FASTENER SPACING AT THE OVERLAPS SHALL BE ONE ROW WITH A MAXIMUM FASTENER SPACING OF 6" O.C.

7. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT (ALL ROOF SLOPES).

- AS AN ALTERNATIVE TO SATURATED FELT UNDERLAYMENT, THE ENTIRE ROOF DECK MAY BE COVERED WITH AN APPROVED SELF-ADHERING UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

8. DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES.

- OVERLAP SHALL BE A MINIMUM OF 3".
- EAVE DRIP EDGES SHALL EXTEND 1/2" BELOW SHEATHING AND EXTEND BACK ON THE ROOF A MINIMUM OF 2".
- DRIP EDGE AT EAVES SHALL BE PERMITTED TO BE INSTALLED EITHER OVER OR UNDER THE UNDERLAYMENT. IF INSTALLED OVER THE UNDERLAYMENT, THERE SHALL BE A MINIMUM 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.
- DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4" O.C.

FOUNDATION NOTES:

- ALL NEW CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318.
- SLUMP FOR NEW CONCRETE SHALL NOT EXCEED 4 INCHES.
- SPLICES IN REINFORCING BARS SHALL BE NOT LESS THAN 20".
- FOOTING REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS.
- STEEL REINFORCEMENT IN CONCRETE THAT WILL BE PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#5 BARS OR SMALLER) THAT WILL BE EXPOSED TO WEATHER SHALL HAVE A MINIMUM 1.5" OF CONCRETE COVER.
- STEEL REINFORCEMENT (#11 BARS OR SMALLER) THAT WILL NOT BE EXPOSED TO WEATHER OR GROUND SHALL HAVE A MINIMUM 1" OF CONCRETE COVER.
- VAPOR BARRIER SHALL BE MINIMUM 6 MIL POLYETHYLENE WITH JOINTS LAPPED 6 INCHES AND SEALED.
- CONCRETE = 2,500 psi @ 28 DAYS.

FLORIDA PRODUCT APPROVAL			
PRODUCT	ITEM	TYPE	APPROVAL NUMBER
WINDOWS	EXTERIOR WINDOWS	STATE	PROVIDED BY CONTRACTOR
DOORS	EXTERIOR DOORS	STATE	PROVIDED BY CONTRACTOR
SIMPSON STRONG-TIE	H1 / H2.5A / SP1 / SP4	STATE	FL10456
SIMPSON STRONG-TIE	LSTA / MSTA	STATE	FL10852 / FL13872
SIMPSON STRONG-TIE	LTS / MTS / HTS	STATE	FL10852 / FL13872
SIMPSON STRONG-TIE	SDWC15600	STATE	FL15895
SIMPSON STRONG-TIE	H10A / H10A-2	STATE	FL11478
SIMPSON STRONG-TIE	HGA10KT	STATE	FL11470 / FL11478
SIMPSON STRONG-TIE	H16 / H16-2 / LGT / MGT	STATE	FL11470
SIMPSON STRONG-TIE	GBC	STATE	FL10861
SIMPSON STRONG-TIE	HH4 / HH6	STATE	FL10446
SIMPSON STRONG-TIE	HGT	STATE	FL10456 / FL10866
J-BOLTS			ASTM F1554
THREADED ROD			ASTM A307 (SAE 1018)
NUTS			ASTM A563
WASHERS			ASTM F463

CUSTOM DESIGN PLANS
FOR:
LANDMARK DEVELOPMENT GROUP, LLC
516 N. ALCANIZ STREET
PENSACOLA, FL 32501

Basic Building Structural Information

This table was prepared using Windload Calculator Plus Software available from www.windloads.com

Floor and Roof Live Loads

Attics: 20 psf w/ storage, 10 psf w/o storage
Habitable Attics, Bedroom: 30 psf
All Other Rooms: 40 psf
Garage: 40 psf
Roofs: 20 psf
(Balcony and Deck live loads are 150% of the adjacent space served.)

Wind Design Data

Ultimate Wind Speed: 160 mph Nominal Wind Speed: 124 mph
Risk Category: II Wind Exposure: B
Enclosure Classification: Enclosed End Zone Width (a): 4.00 ft.
Internal Pressure Coefficient: 0.18 Roof Geometry: Gable
Roof Slope: 6.0 in 12 (26.6°) Mean Roof Height: 16 ft.
(The Nominal Wind speed was used to determine the Component and Cladding design pressures.)
(This Building is in a Wind-Borne Debris Region, and all exterior glazed openings shall be protected from wind-borne debris.)

Components and Cladding

(Calculated Using ASCE 7-16, Chapter 30)

Roof Zone 1: +16.0 psf max., -35.1 psf min.
Roof Zone 2e: +16.0 psf max., -35.1 psf min.
Roof Zone 2n: +16.0 psf max., -56.0 psf min.
Roof Zone 2r: +16.0 psf max., -56.0 psf min.
Roof Zone 3e: +16.0 psf max., -56.0 psf min.
Roof Zone 3r: +16.0 psf max., -72.2 psf min.
Overhang at Roof Zone 1: -41.8 psf min.
Overhang at Roof Zone 2e: -41.8 psf min.
Overhang at Roof Zone 2n: -62.7 psf min.
Overhang at Roof Zone 2r: -62.7 psf min.
Overhang at Roof Zone 3e: -75.2 psf min.
Overhang at Roof Zone 3r: -87.1 psf min.
Wall Zone 4: +24.7 psf max., -26.8 psf min.
Wall Zone 5: +24.7 psf max., -33.0 psf min.

SCOPE OF WORK:

IT IS THE INTENT OF THE OWNER TO BUILD A NEW RESIDENCE AT 516 N. ALCANIZ STREET IN PENSACOLA, FLORIDA. THE PLANS CONTAINED HEREIN INCLUDE THE OVERALL DESIGN AND STRUCTURAL REQUIREMENTS OF THE NEW RESIDENCE INCLUDING WIND LOADING.

SITE PREPARATION:

- A GEOTECHNICAL SOIL REPORT WAS NOT FURNISHED FOR THIS PROJECT. CONTRACTOR SHALL VERIFY ASSUMED SOIL CONDITIONS WITH GEOTECHNICAL ENGINEER FOR MINIMUM 1,500 psf.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD.
- ALL FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS MAXIMUM AND TO 95% MODIFIED PROCTOR DENSITY.

ROOF COMPONENTS COMPLIANCE STANDARDS

UNDERLAYMENT (ROOF SLOPE = 2:12 - 4:12) ———— ASTM D 4869 TYPE II -OR- TYPE IV
UNDERLAYMENT (ROOF SLOPE ≥ 4:12) ———— ASTM D 4869 TYPE IV
SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET ———— ASTM D 1970
NAILS ———— ASTM F 1667
WOOD SCREWS ———— ANSI/ASME B 18.6.1
CORROSION RESISTANCE (FASTENERS) ———— ASTM A 641 CLASS I
CORROSION RESISTANCE (CLIPS) ———— 0.90 OZ/FT² ———— ASTM A 90/A 90M

1-3 COMPONENTS & CLADDING ZONES

NOT TO SCALE

1-1 WIND DESIGN & LOADING DATA

NOT TO SCALE

STEP 1: CUT HOUSE WRAP AT A 45 DEGREE ANGLE AT THE TOP CORNERS.

STEP 2: CUT HOUSE WRAP BACK FROM EDGE OF WINDOW ROUGH OPENING APPROXIMATELY 2 1/2".

STEP 3: CUT HOUSE WRAP LEVEL AT SILL.

STEP 4: INSTALL WOODEN TAPERED WINDOW SILL PAN PITCHED OUT.

STEP 5: INSTALL SILL PAN WITH PEEL AND STICK WINDOW FLASHING TAPE OVER PITCHED WOODEN SILL, ENSURING NO SPLITTING AT CORNERS, AND A FLEXED RADIUS AT THE CORNERS. THIS INSTALLS OVER HOUSE WRAP AT SILL. USE A ROLLER TO ENSURE PROPER BOND.

STEP 6: CAULK WINDOW FLANGE (IF REQUIRED PER MFG. SPECIFICATIONS) AND INSTALL WINDOW.

STEP 7: ENSURE WINDOW IS LEVEL AND PLUMB AND FASTEN WINDOW PER MANUFACTURERS SPECIFICATIONS.

STEP 8: INSTALL PEEL AND STICK WINDOW FLASHING TAPE AT SIDE WINDOW FLANGES. THIS SHOULD OVERLAP THE WINDOW FLANGE, FASTEN TO THE SHEATHING, AND OVERLAP THE SIDE WINDOW FLASHING. USE A ROLLER TO ENSURE PROPER BOND.

STEP 9: INSTALL PEEL AND STICK WINDOW FLASHING TAPE AT TOP WINDOW FLANGE. THIS SHOULD OVERLAP THE WINDOW FLANGE, FASTEN TO THE SHEATHING, AND OVERLAP THE SIDE WINDOW FLASHING. USE A ROLLER TO ENSURE PROPER BOND.

STEP 10: PUT SEALANT AT THE TOP OF THE WINDOW THEN INSTALL A METAL DRIP CAP. INSTALL A SECOND LAYER OF PEEL AND STICK WINDOW FLASHING OVER THE DRIP CAP.

STEP 11: TAPE HOUSE WRAP TO DRIP CAP SKIPPING TO ALLOW DRAINAGE GAPS. TAPE 45 DEGREE ANGLE CUTS LAST.

HOUSE WRAP TOP LAYER

SECOND LAYER OF PEEL AND STICK WINDOW FLASHING OVER METAL DRIP CAP.

METAL DRIP CAP OVER FIRST LAYER OF PEEL AND STICK WINDOW FLASHING, SEALANT AT WINDOW.

FIRST LAYER OF PEEL AND STICK WINDOW FLASHING INSTALLED OVER WINDOW FLANGE.

SEALANT AT WINDOW FLANGE (IF MANUFACTURER REQUIRES OR RECOMMENDS.)

FLANGED WINDOW INSTALLED PER MANUFACTURERS SPECIFICATIONS.

SEALANT AT WINDOW FLANGE (IF MANUFACTURER REQUIRES OR RECOMMENDS.)

PEEL AND STICK WINDOW SILL PAN TUCKED TIGHTLY INTO CORNERS AND FLEXED AROUND CORNERS. THIS OVERLAPS HOUSE WRAP.

WOODEN PITCHED WINDOW SILL SLOPED OUT FOR DRAINAGE.

HOUSE WRAP CUT LEVEL AT WINDOW SILL.

SEALANT AT WINDOW FLANGE (IF MANUFACTURER REQUIRES OR RECOMMENDS.)

FLANGED WINDOW INSTALLED PER MANUFACTURERS SPECIFICATIONS.

PEEL AND STICK WINDOW FLASHING INSTALLED TO WINDOW FLANGE, EXTERIOR WALL SHEATHING, AND HOUSE WRAP. THIS CREATES THE FULLY ADHERED SYSTEM.

HOUSE WRAP CUT BACK 2-1/2" TO ALLOW FOR A FULLY ADHERED SYSTEM.

516 N. ALCANIZ STREET
(60' R/W)

1-2 SITE LAYOUT

SCALE: 1/8" = 1'-0"

1-3 SITE PREPARATION

NOT TO SCALE

1-4 FOUNDATION LAYOUT

NOT TO SCALE

1-5 ROOF FLASHING DETAIL

NOT TO SCALE

1-6 ROOF FLASHING DETAIL

NOT TO SCALE

1-7 ROOF FLASHING DETAIL

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1-8 ROOF FLASHING DETAIL

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1-260 ROOF FLASHING DETAIL

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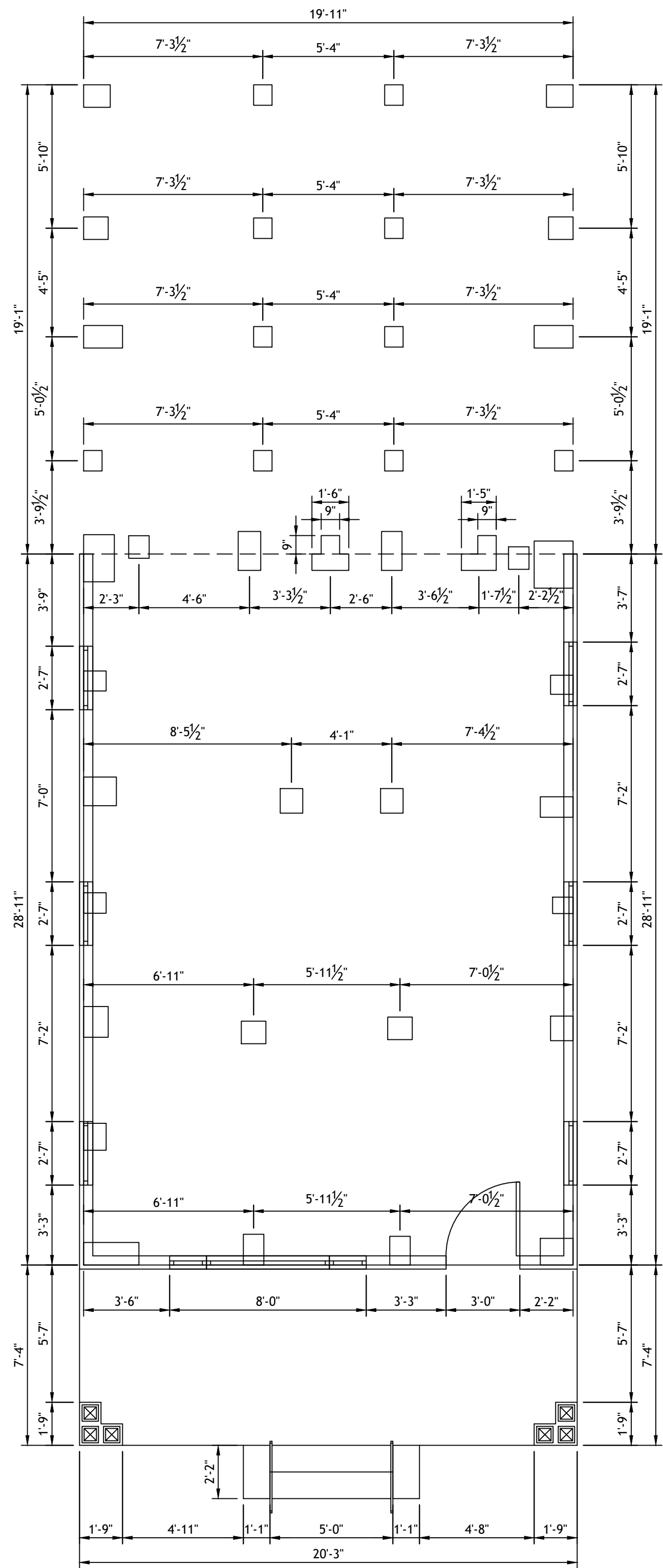
1-261 ROOF FLASHING DETAIL

NOT TO SCALE

1-262 ROOF FLASHING DETAIL

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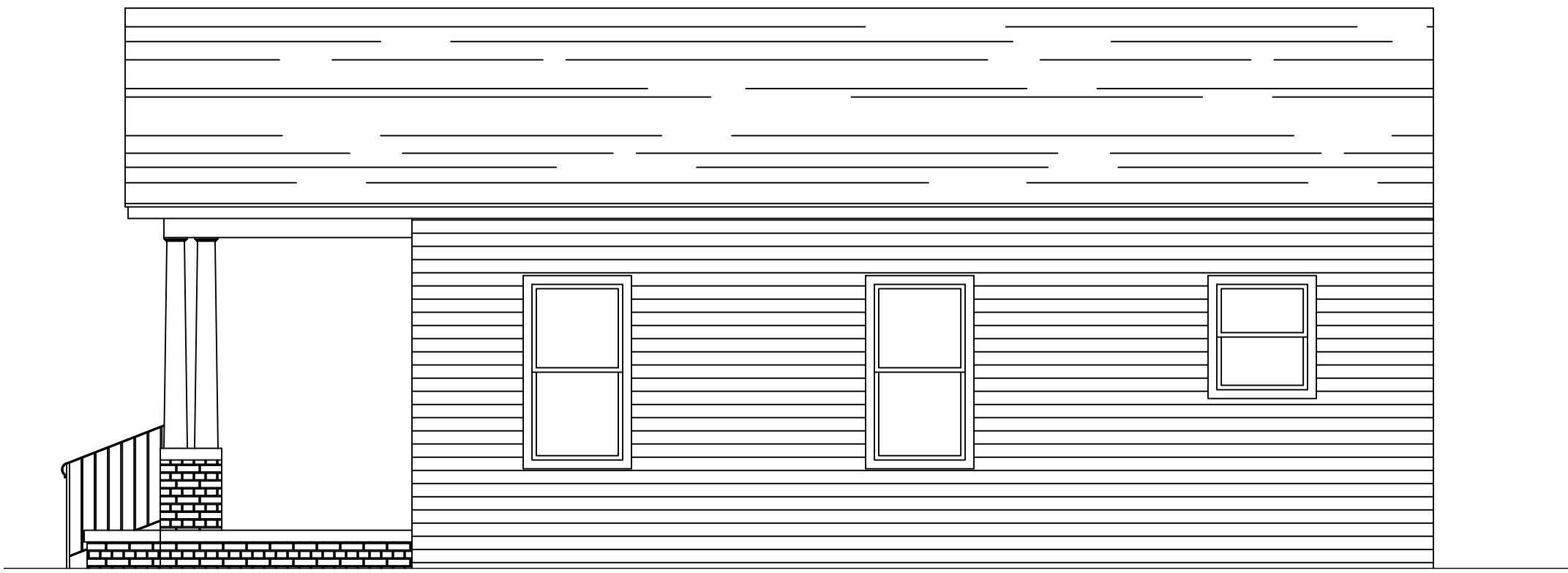
2-1 EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



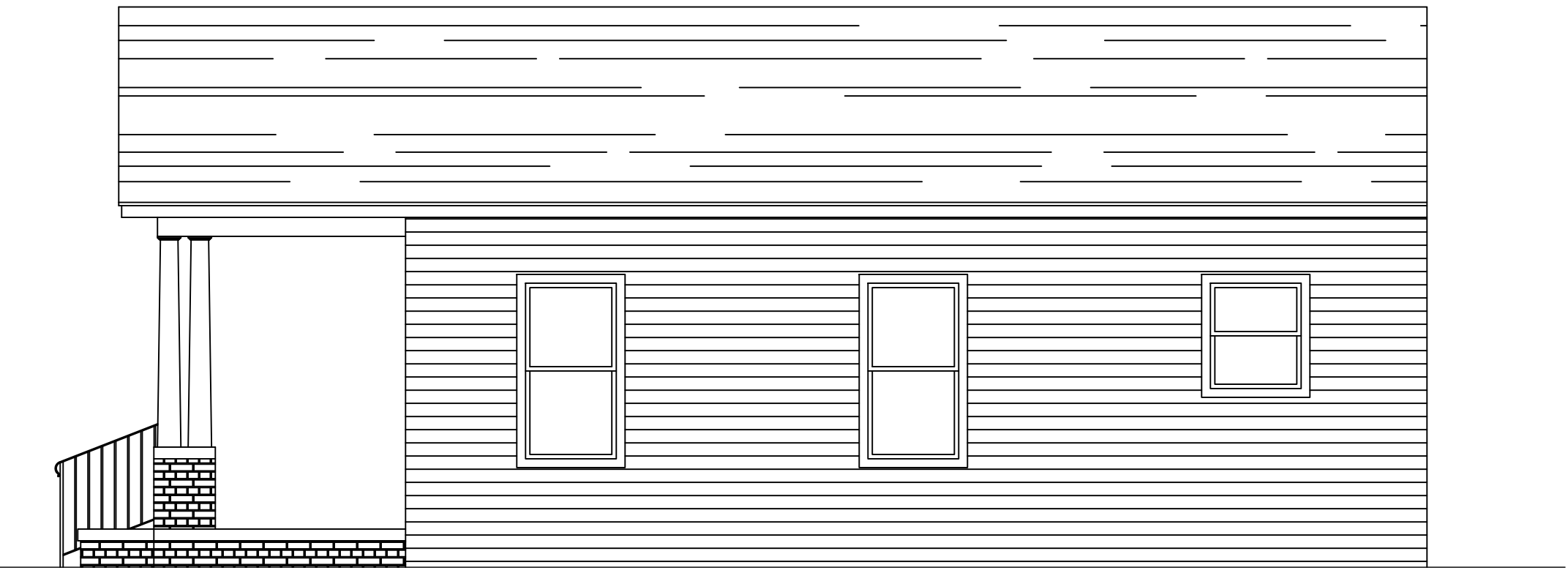
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SCALE: 1/4" = 1'-0"

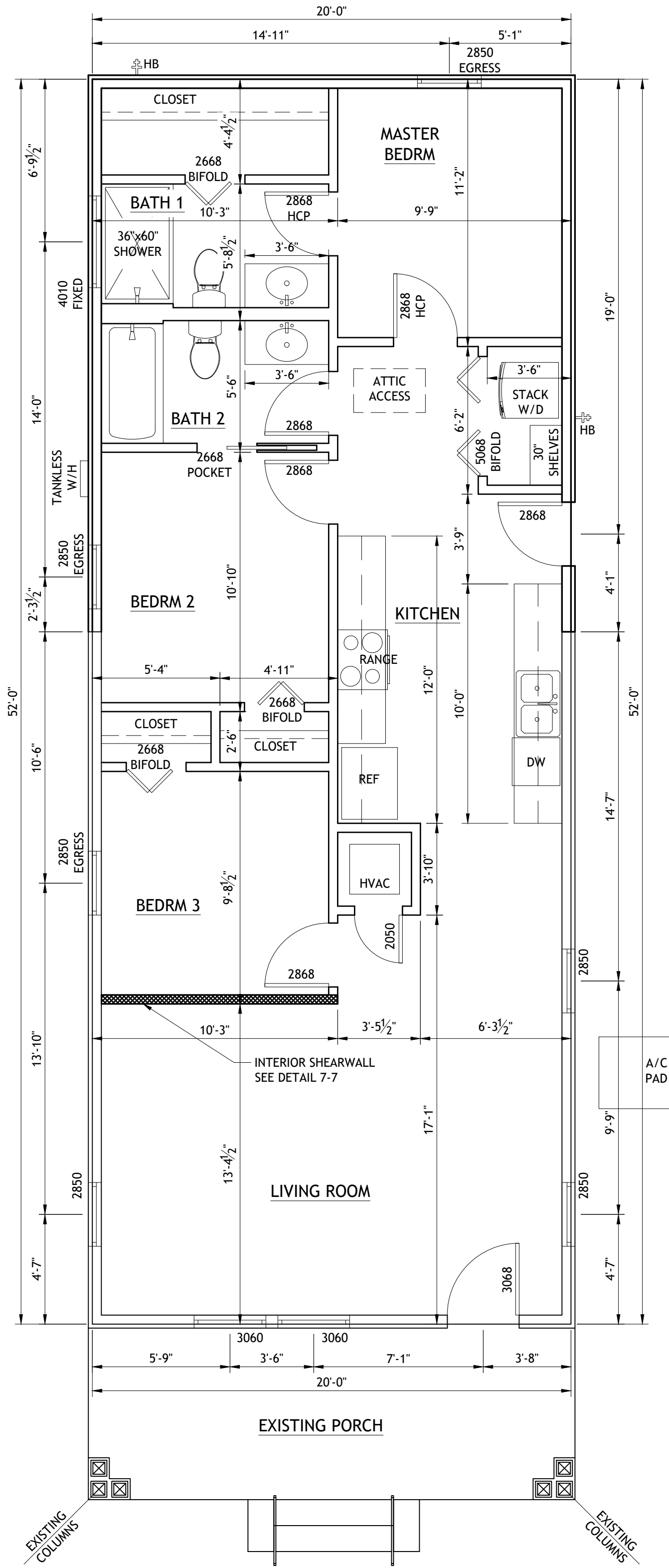


2-3 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

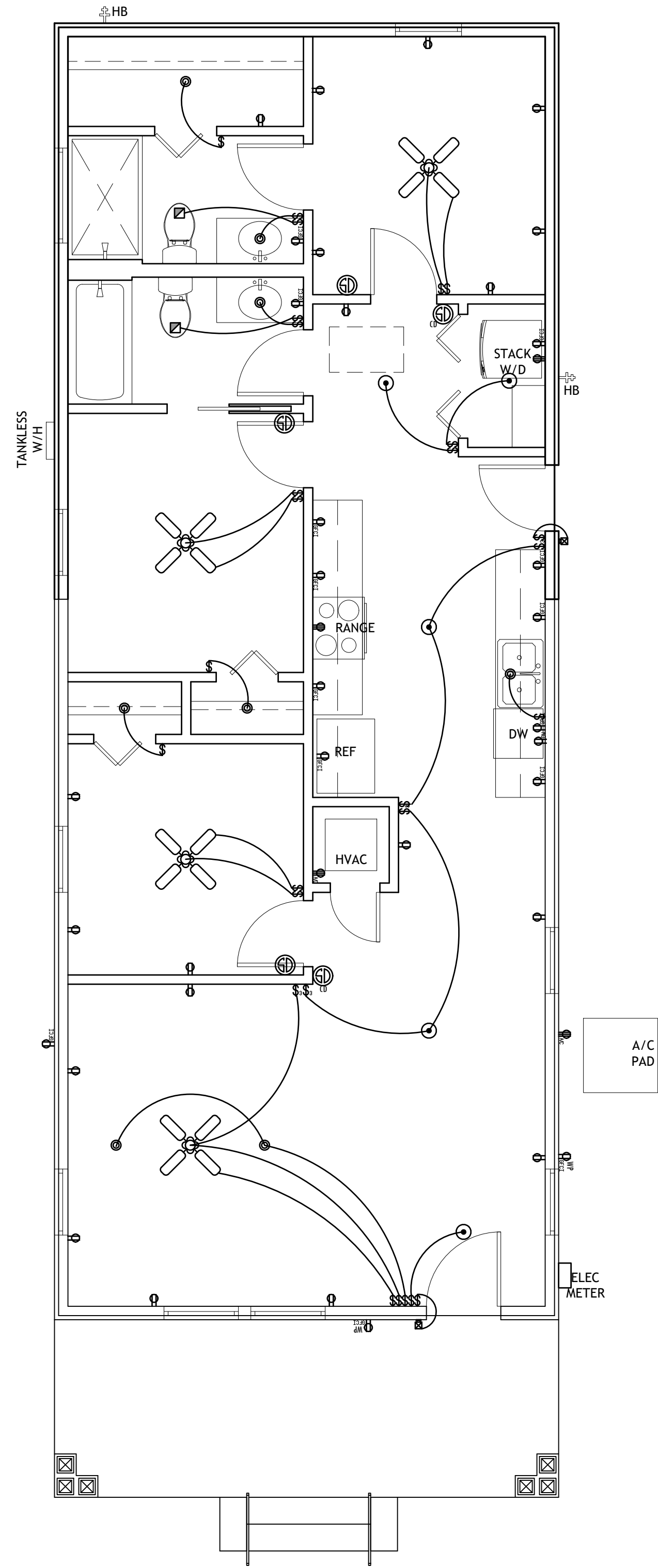


2-4 EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

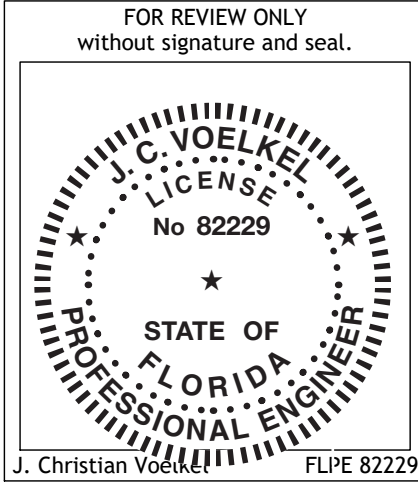




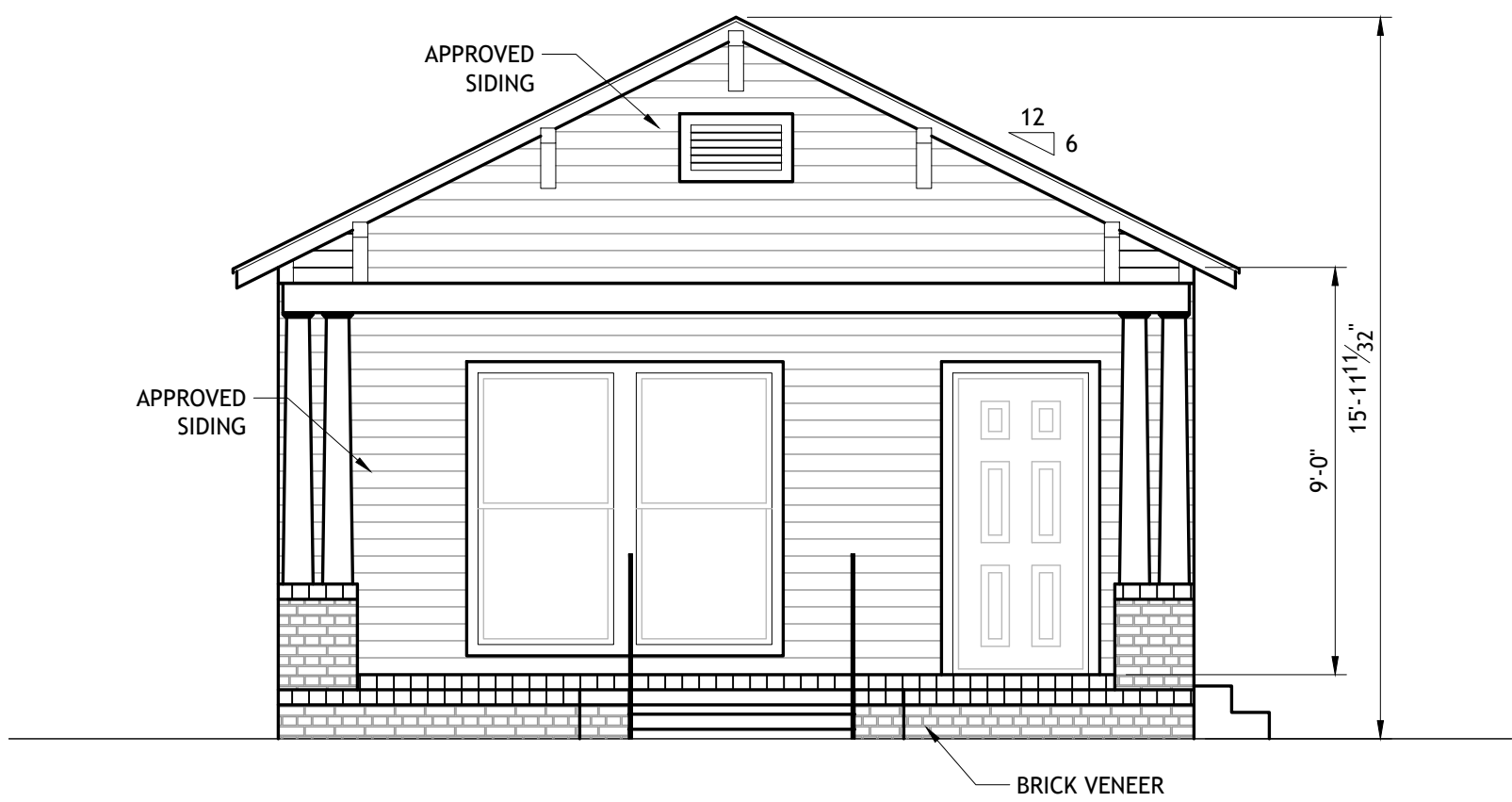
AREAS:	
CONDITIONED SPACE:	1,040 S.F.
FRONT PORCH:	146 S.F.



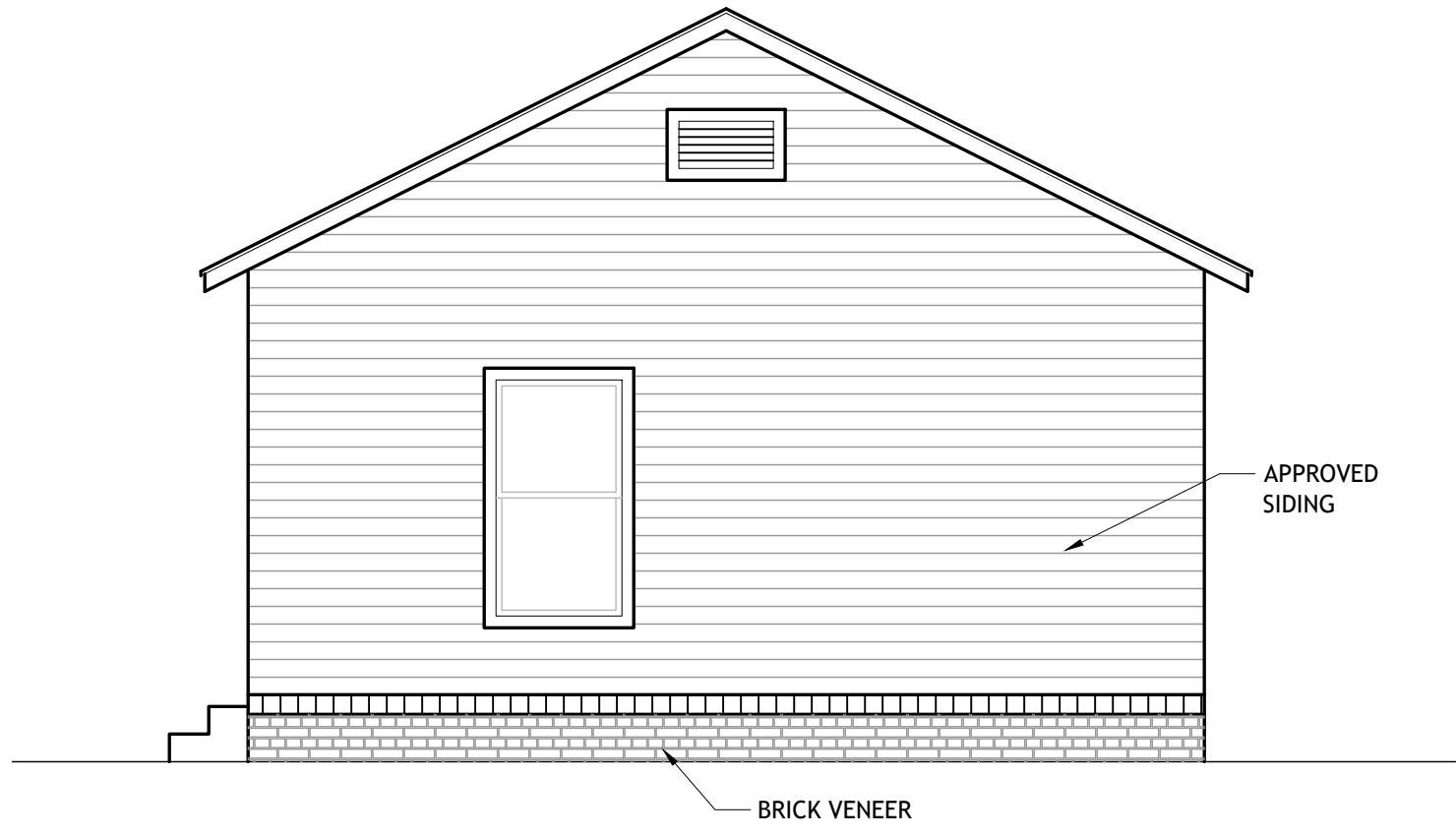
Revision	Date



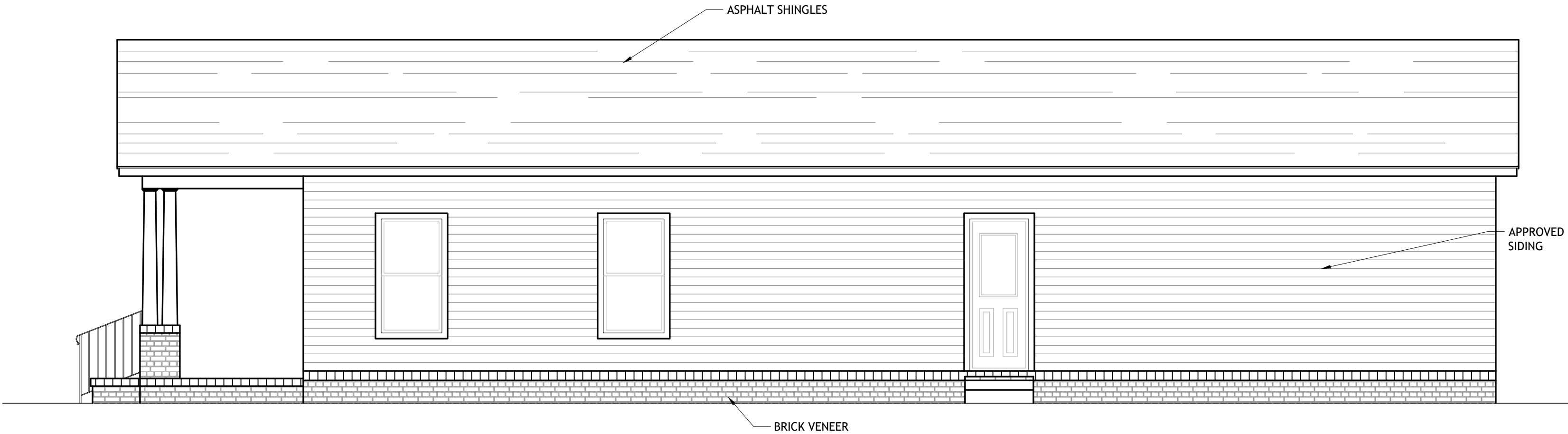
Designed By: JCV / DLK
Checked By: JCV
Project #: 000-221103



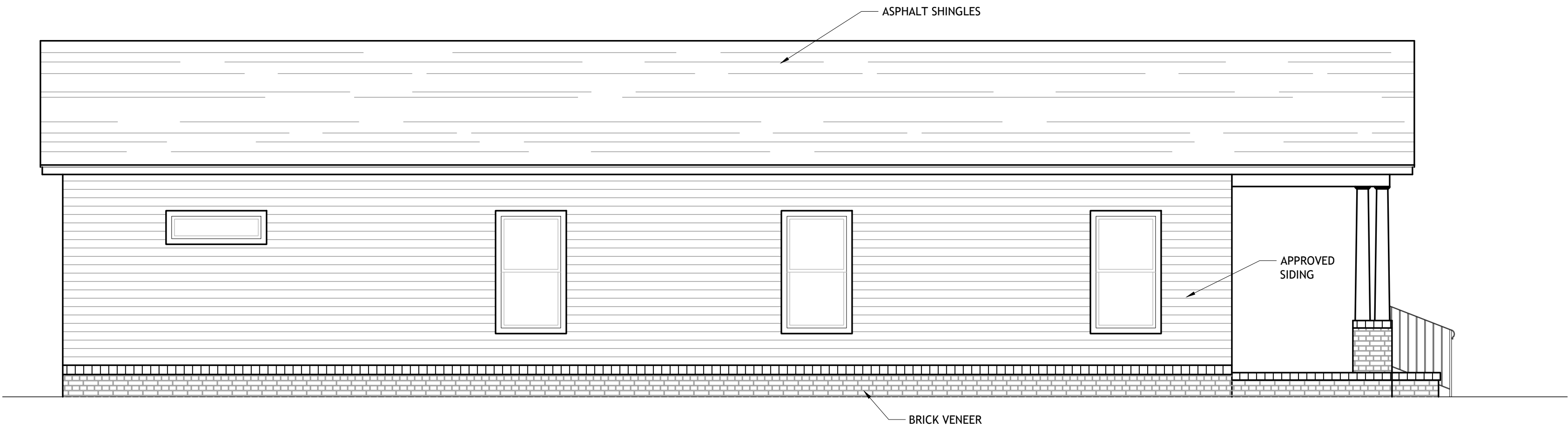
4-1 FRONT ELEVATION
SCALE: 3/4" = 1'-0"



4-2 REAR ELEVATION
SCALE: 3/4" = 1'-0"



4-3 RIGHT SIDE ELEVATION
SCALE: 3/4" = 1'-0"



4-4 LEFT SIDE ELEVATION
SCALE: 3/4" = 1'-0"

Title:

CUSTOM RESIDENTIAL DESIGN FOR
LANDMARK DEVELOPMENT GROUP, LLC
516 N. ALCANIZ STREET
PENSACOLA, FL 32501
Prepared for: LANDMARK DEVELOPMENT GROUP, LLC

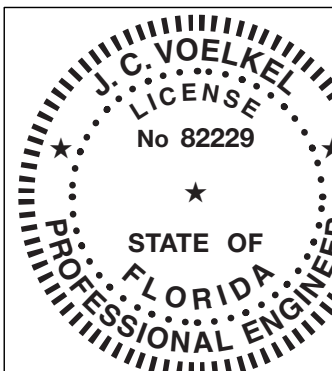


103 Bay Bridge D. Gulf Breeze, FL 32561
Office: (850) 288-0333
www.VoelkelEngineering.com
FL CA: 35353

Date

Revision

FOR REVIEW ONLY
without signature and seal.

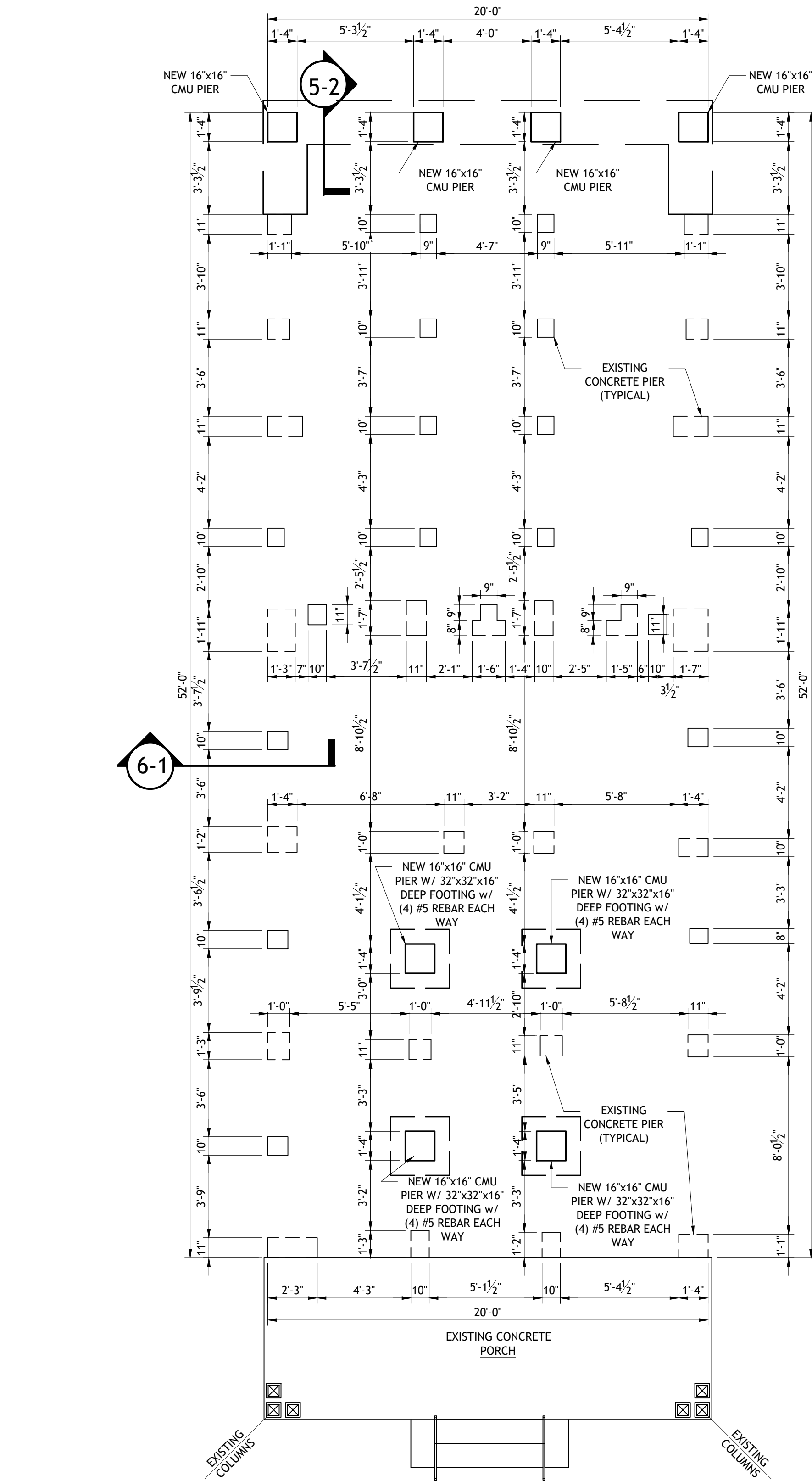


J. Christian Voelkel FLPE 82229

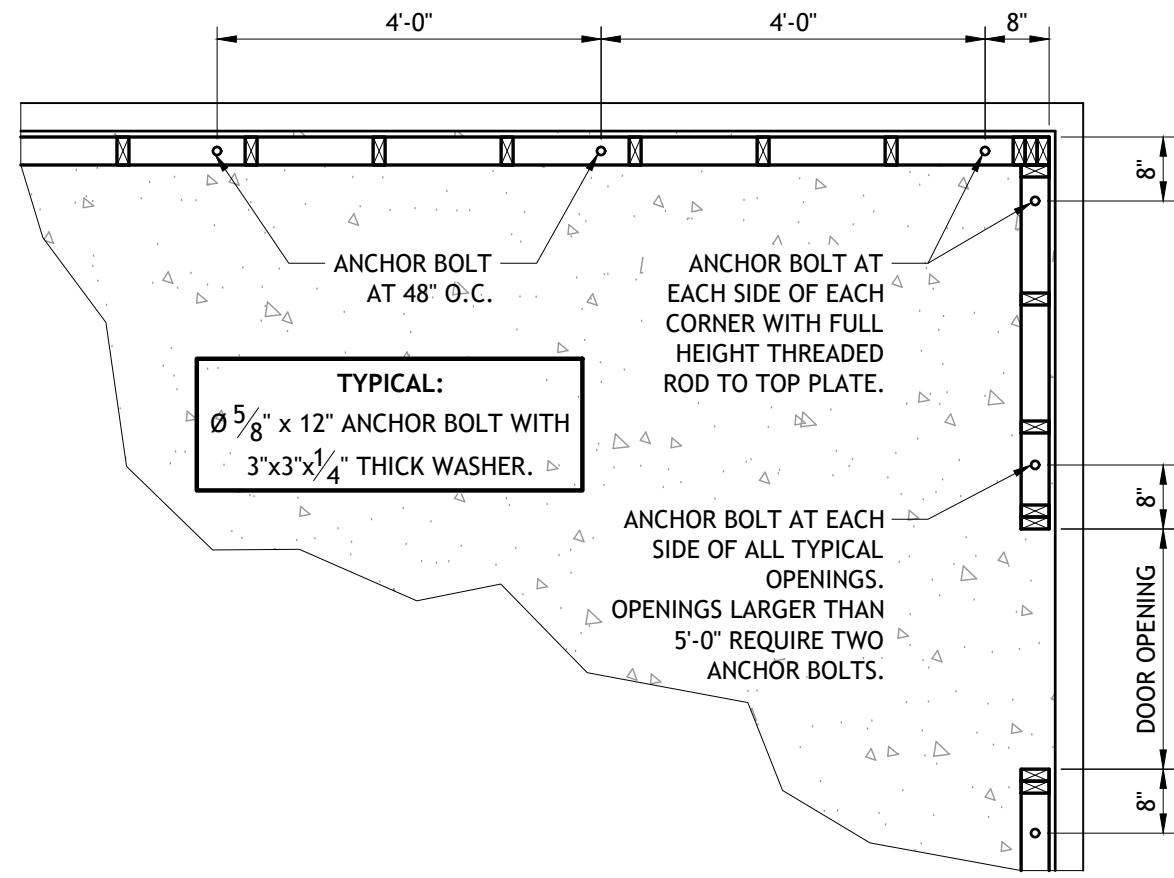
Designed By: JCV / DLK
Checked By: JCV
Project #: 000-221103

Scale: As Noted

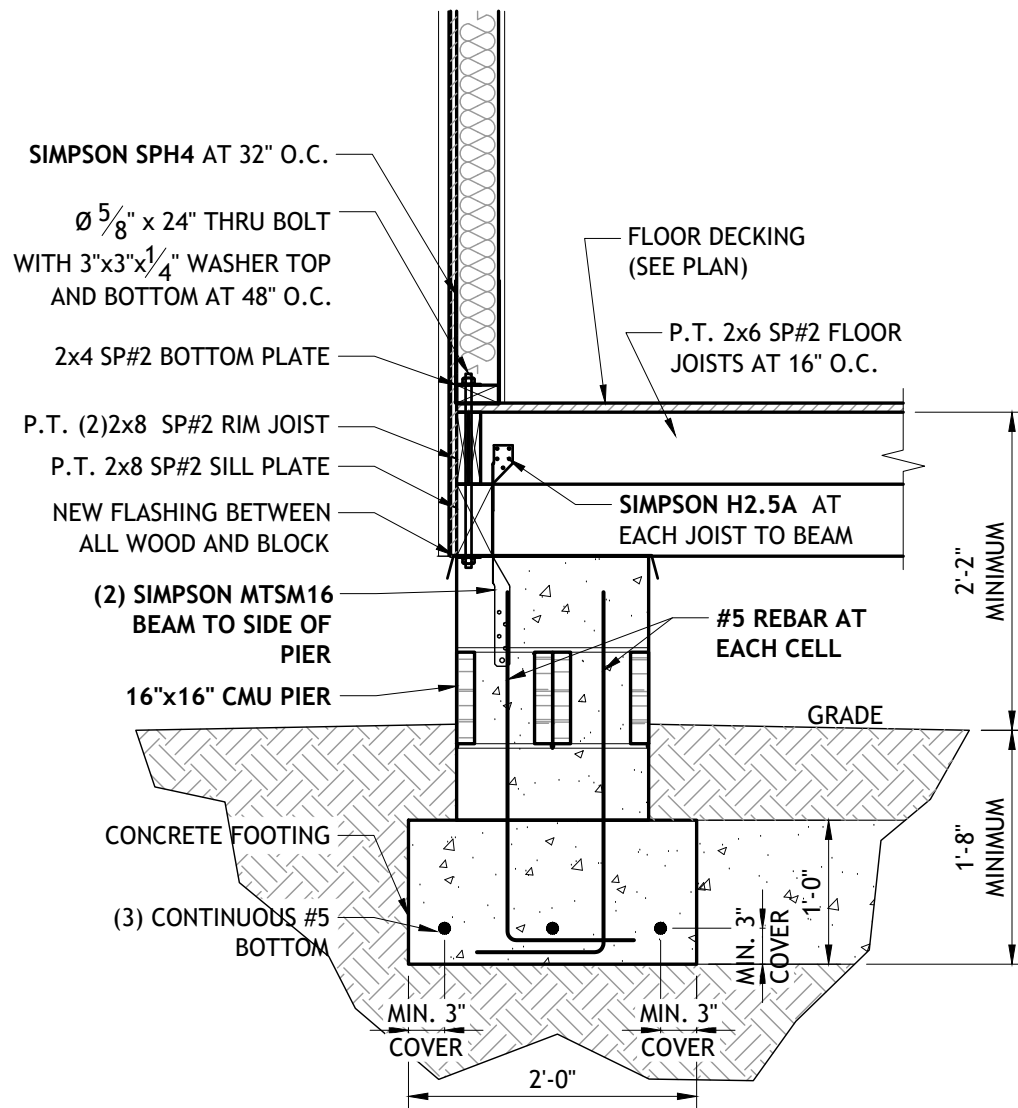
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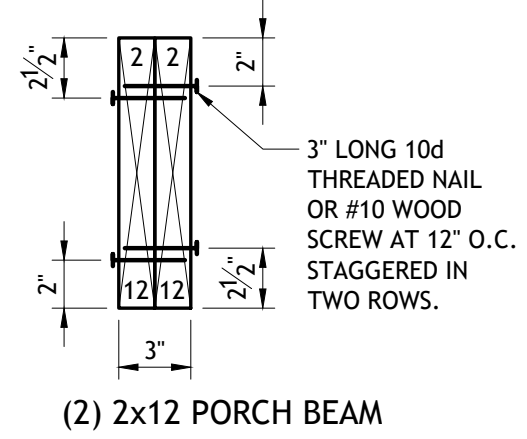
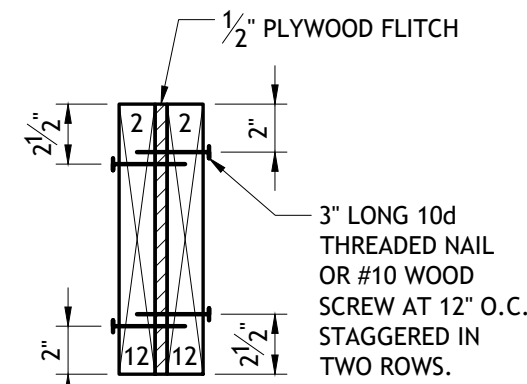
5-1 FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



5-4 TYPICAL ANCHOR BOLT LAYOUT
SCALE: 1/2" = 1'-0"

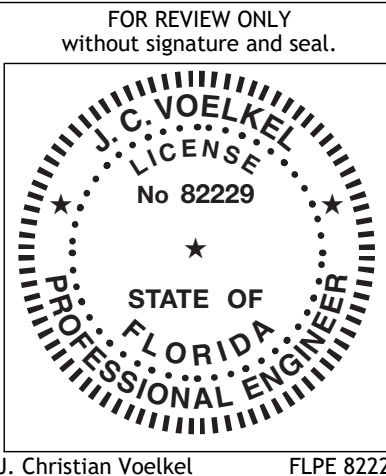


5-2 NEW FOOTING DETAIL
SCALE: 3/4" = 1'-0"

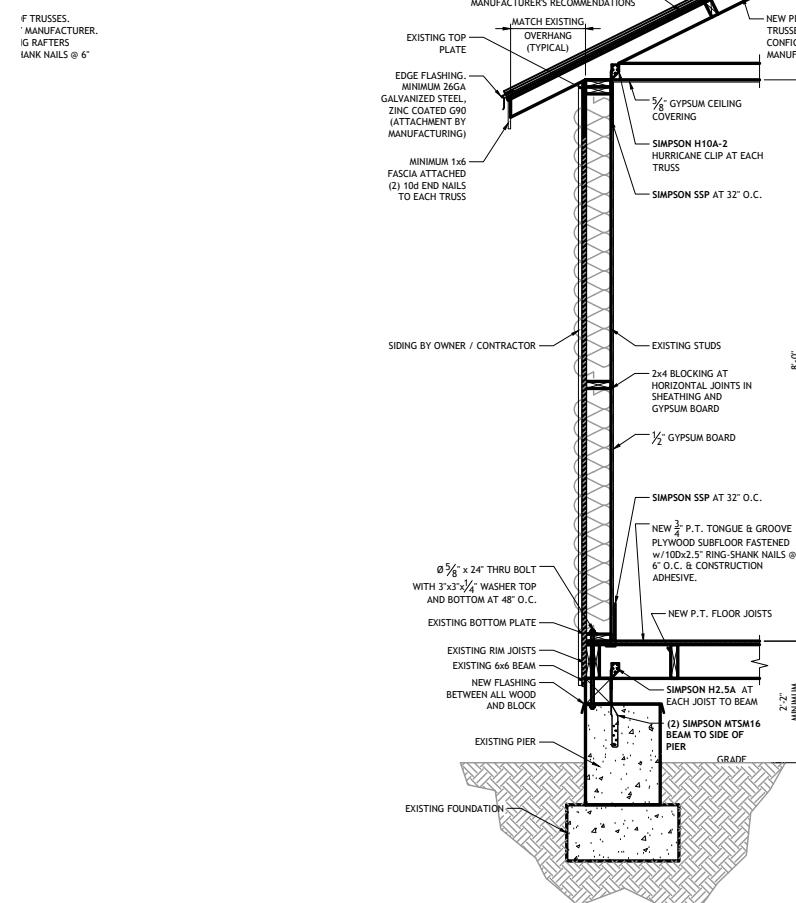


5-3 BEAM / HEADER DETAILS
SCALE: 1 1/2" = 1'-0"

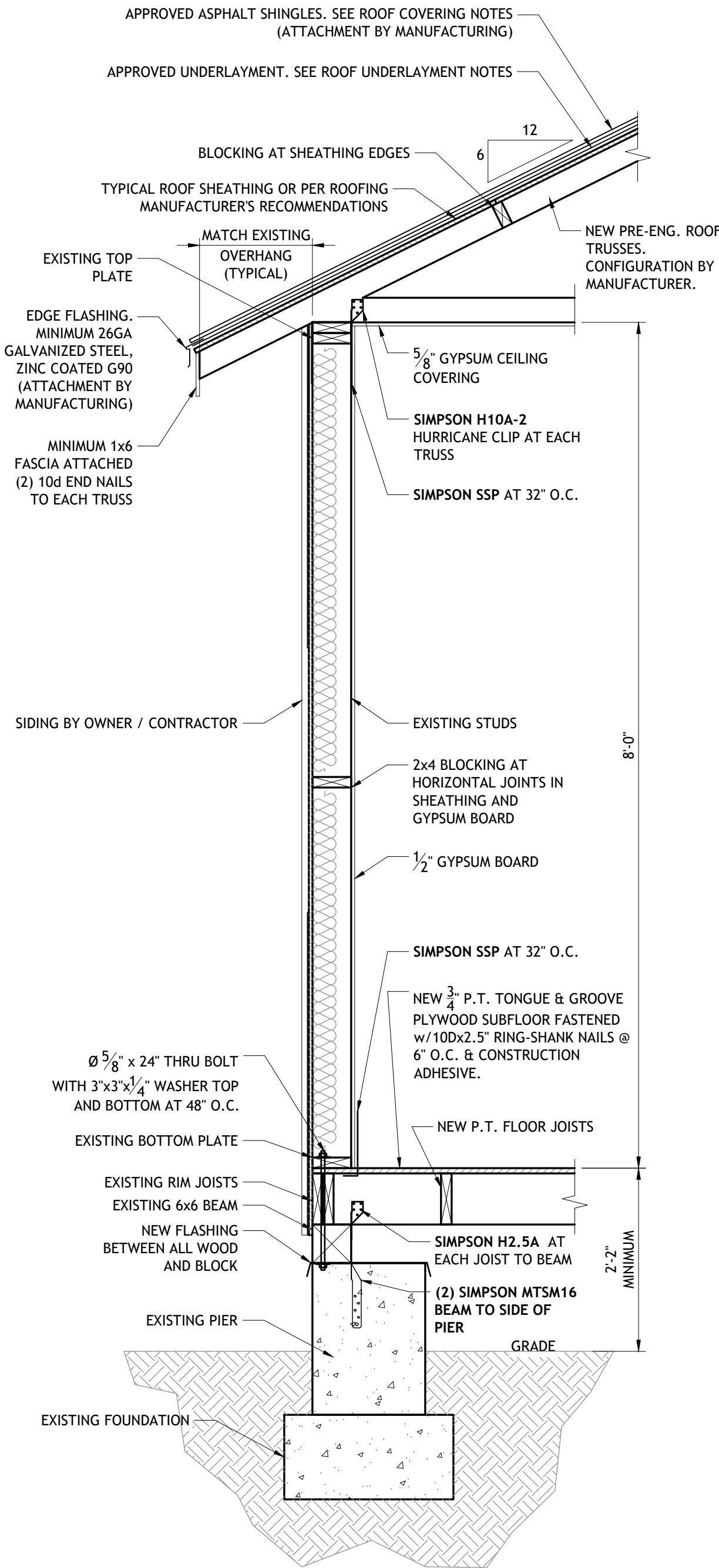
Revision	Date



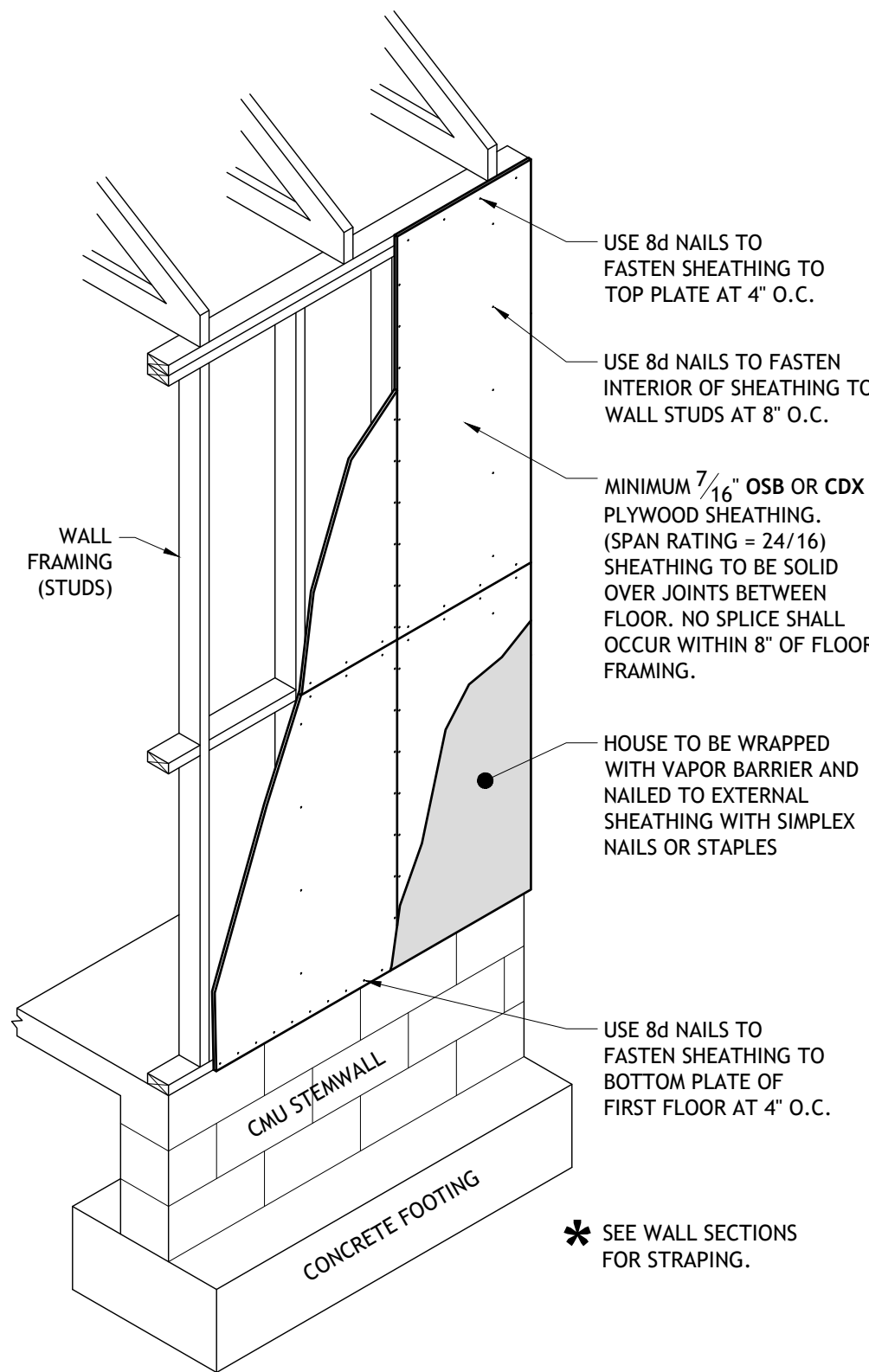
Designed By: JCV / DLK
Checked By: JCV
Project #: 000-221103



7-1
TYPICAL SOLID
WALL SECTION
SCALE: 3/4" = 1'-0"



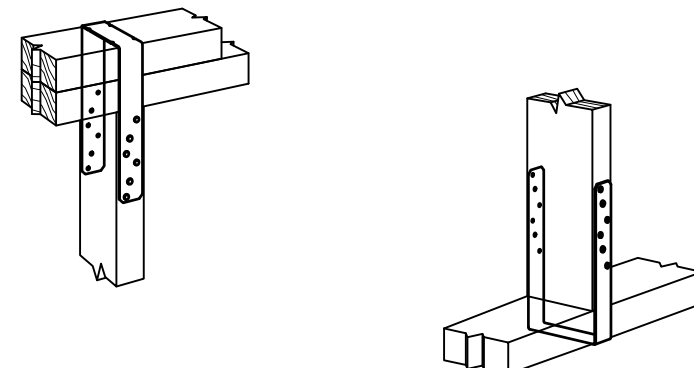
7-3
ROOF SHEATHING DETAIL
NOT TO SCALE



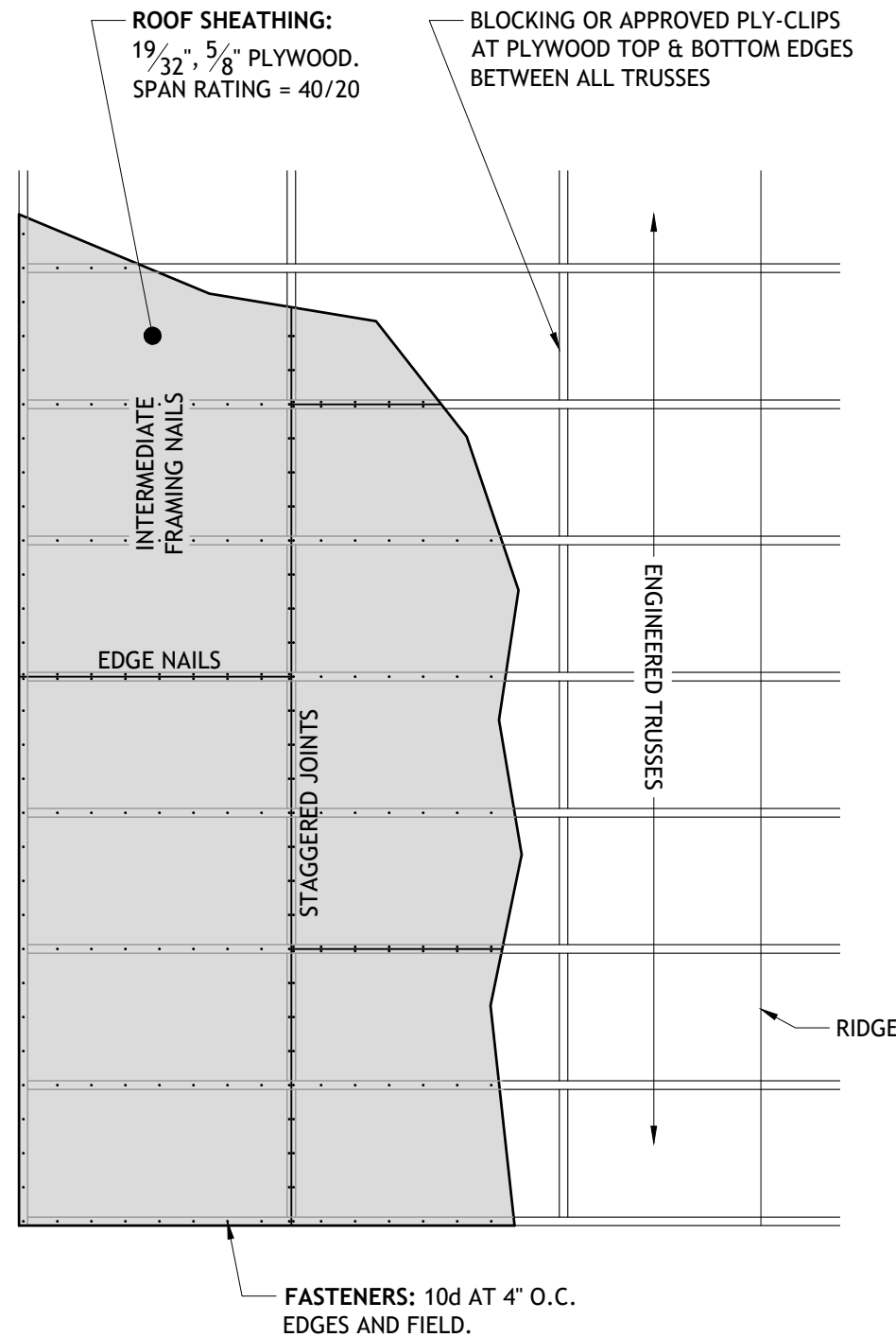
7-4
VERTICAL WALL SHEATHING DETAIL
NOT TO SCALE

SPH4 & SPH6 (FL10456 & FL13872) FASTENERS:
• (6) 10D x 1 1/2" NAILS AT STUD.

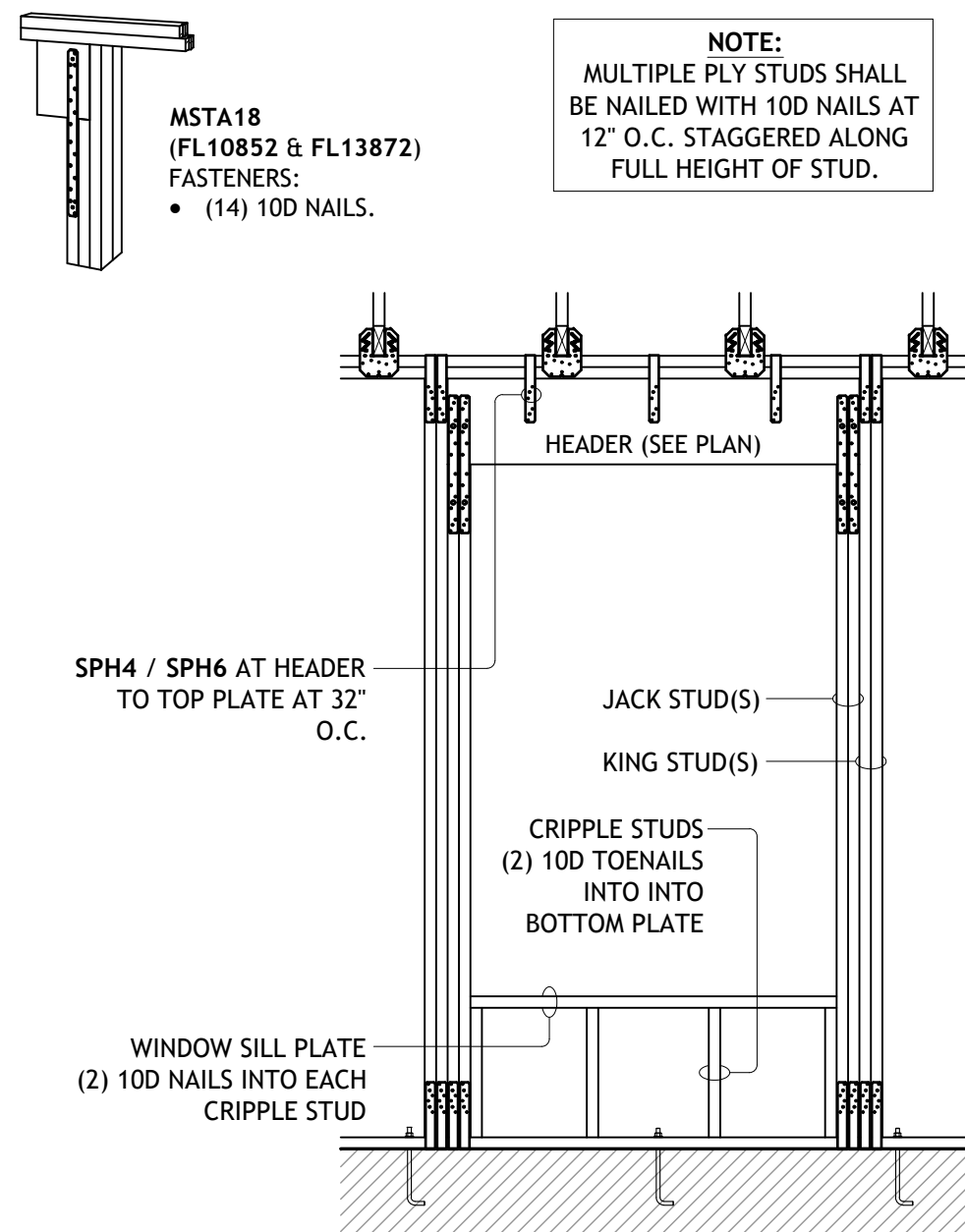
NOTE:
ALL SPH STRAPS TO BE ON SAME STUD TOP AND BOTTOM.



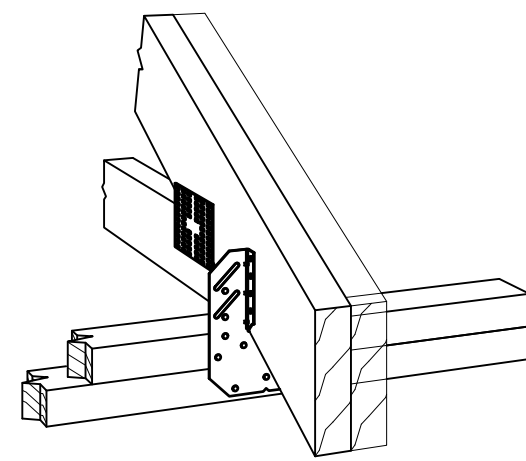
7-9
STUD TO PLATE DETAILS
NOT TO SCALE



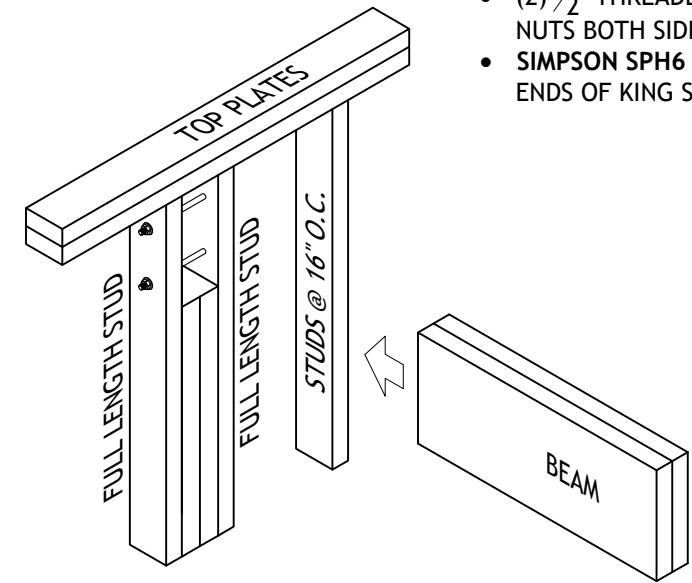
7-3
ROOF SHEATHING DETAIL
NOT TO SCALE



7-5
STANDARD OPENING DETAIL
NOT TO SCALE



7-6
STANDARD TRUSS ANCHOR DETAIL
NOT TO SCALE



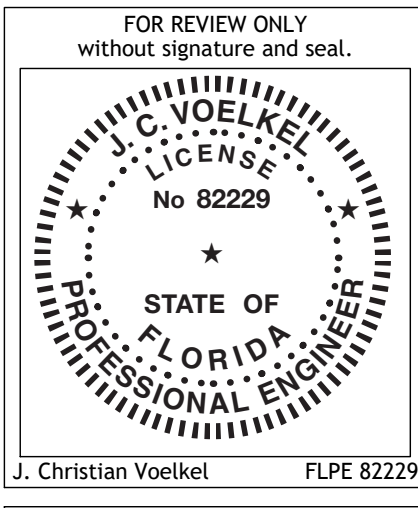
7-10
BEAM TO WALL CONNECTION DETAILS
NOT TO SCALE

TYPICAL FASTENER SCHEDULE		
CONNECTION	FASTENING	LOCATION
JOIST TO SILL OR GIRDER	3-8D COMMON	TOENAIL
BRIDGING TO JOIST	2-8D COMMON	TOENAIL EACH END
SOLE PLATE TO JOIST OR BLOCKING	16D @ 16" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3-16D @ 16" O.C.	BRACED WALL PANELS
TOP PLATE TO STUD	2-16D COMMON	END NAIL
STUD TO SOLE PLATE	4-8D COMMON	TOENAIL
DOUBLE STUDS	2-16D COMMON	END NAIL
DOUBLE TOP PLATES	16D @ 24" O.C.	FACE NAIL
	8-16D COMMON	TYPICAL FACE NAIL
	3-8D COMMON	LAP SPLICE
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3-8D COMMON	TOENAIL
BLOCKING BETWEEN STUDS	2-16D COMMON	TOENAIL
RIM JOIST TO TOP PLATE	8D @ 6" O.C.	TOENAIL
TOP PLATES, LAPS, AND INTERSECTIONS	2-16D COMMON	FACE NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. ALONG EDGE
CEILING JOISTS TO PLATE	3-8D COMMON	TOENAIL
CONTINUOUS HEADER TO STUD	4-8D COMMON	TOENAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3-16D COMMON	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS	3-16D COMMON	FACE NAIL
RAFTER TO PLATE	3-8D COMMON	TOENAIL
1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8D COMMON	FACE NAIL
1x8 SHEATHING TO EACH BEARING	3-8D COMMON	FACE NAIL
WIDER THAN 1x8 SHEATHING TO EACH BEARING	3-8D COMMON	FACE NAIL
BUILT-UP CORNER STUDS	16D COMMON	24" O.C.
BUILT-UP GIRDER AND BEAMS	20D COMMON @ 32" O.C. 2-20D COMMON	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES. FACE NAIL AT ENDS AND AT EACH SPLICE.
2" PLANKS	16D COMMON	AT EACH BEARING
COLLAR TIE TO RAFTER	3-10D COMMON	FACE NAIL
JACK RAFTER TO HIP	3-10D COMMON	TOENAIL
ROOF RAFTER TO 2x_ RIDGE BEAM	2-16D COMMON	TOENAIL
JOIST TO BAND JOIST	3-16D COMMON	FACE NAIL
LEDGER STRIP	3-16D COMMON	FACE NAIL AT EACH JOIST

AREA	CONNECTION	FASTENING	LOCATION
INTERIOR WALL SHEATHING	1/2" GYPSUM BOARD	#6 x 1.25" SCREWS AT 8" O.C. #6 x 1.25" SCREWS AT 12" O.C.	EDGES FIELD
INTERIOR CEILING SHEATHING	5/8" GYPSUM BOARD	#6 x 1.25" SCREWS AT 8" O.C. #6 x 1.25" SCREWS AT 12" O.C.	EDGES FIELD

NOTE:
1/2" GYPSUM BOARD APPROVED FOR CEILING INSTALLATION IF IT IS RATED BY THE MANUFACTURER AS SAG-RESISTANT.

Date	
Revision	



Designed By: JCV / DLK
Checked By: JCV
Project #: 000-221103



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00595

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

49 W. Intendencia Street
Palafox Historic Business District / Zone C-2A / City Council District 6
Exterior Improvements to Parking Garage Facades

BACKGROUND:

Escambia County Facilities Department is seeking approval to remove stucco and non-structural metal studs from the north and west sides of the Escambia County Government Complex Parking Garage that were damaged during Hurricane Sally. The applicant is proposing to paint the north and west sides with Sherwin Williams Practical Beige to match the existing concrete.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)a. Palafox Historic Business District; Architectural review of proposed exterior development; Decision guidelines.

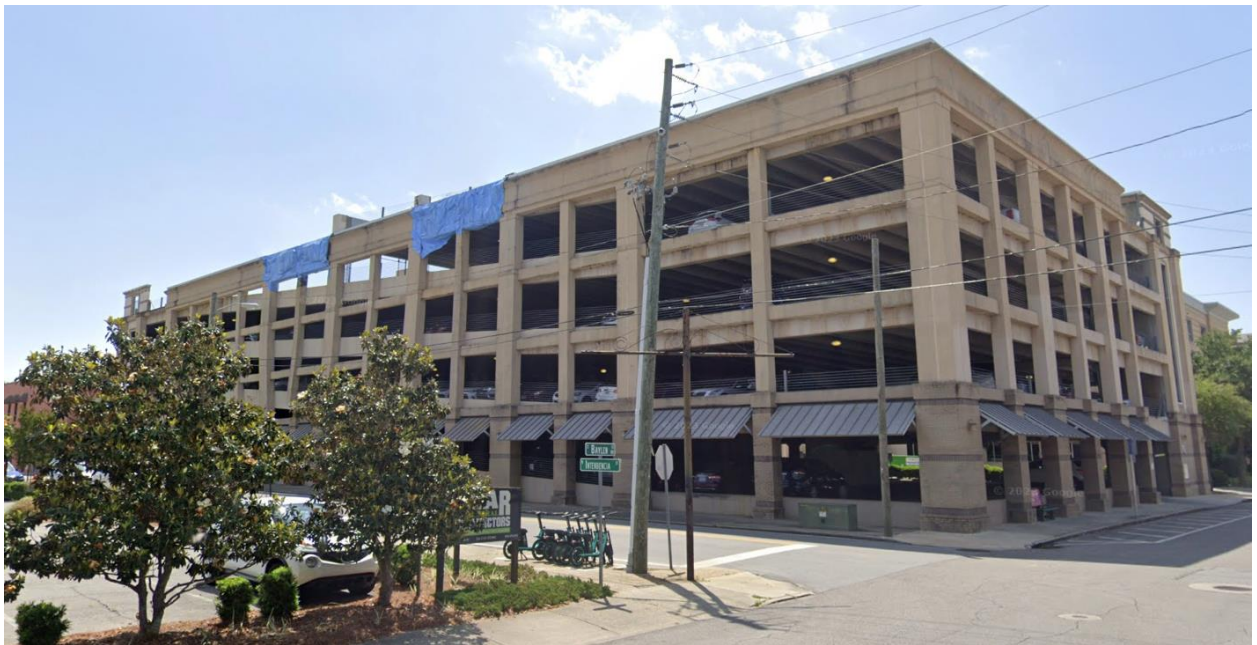
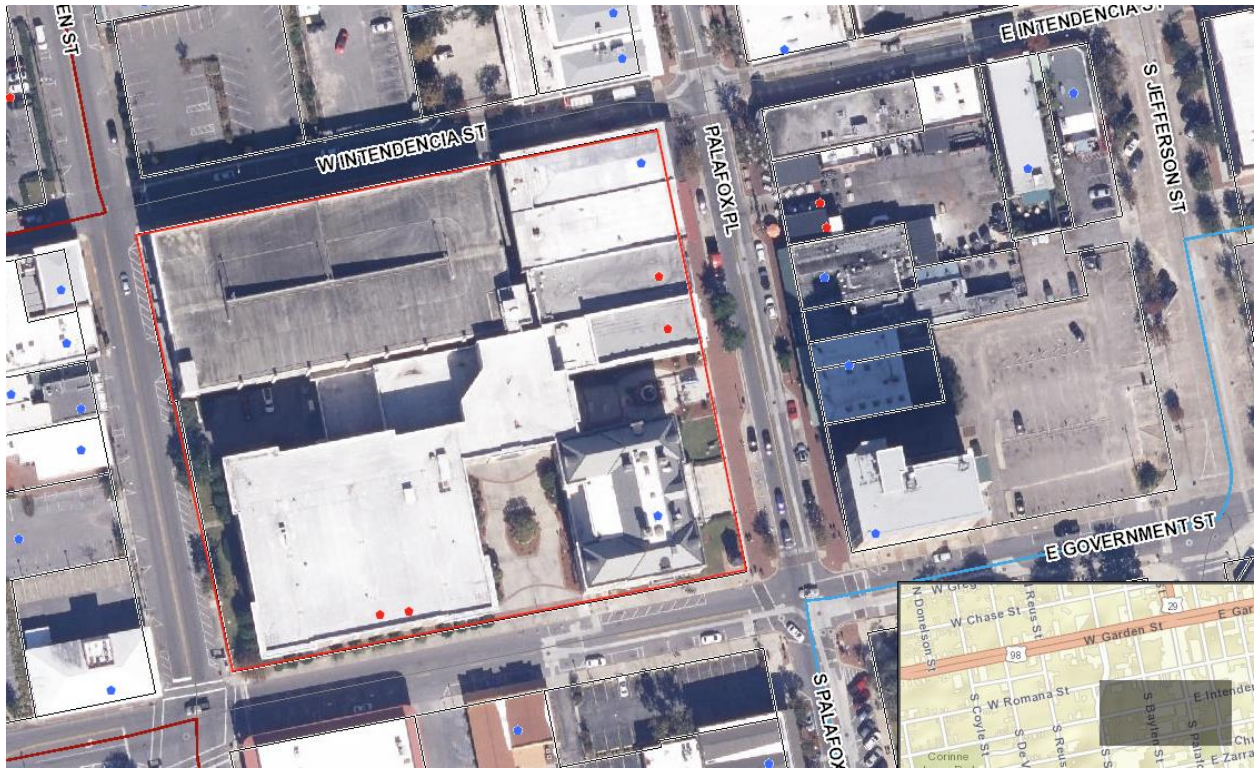
Sec. 12-3-27(f)(4)b. PHBD; Architectural review of proposed exterior development; Board review standards; Building fronts, rears, and side abutting streets and public areas.

Sec. 12-3-27(f)(4)e. PHBD; Architectural review of proposed exterior development; Board review standards; Exterior walls.

Sec. 12-3-27(g)(1) PHBD; District rehabilitation, repair and maintenance guidelines; Building fronts, rears, and side abutting streets and public areas.

Sec. 12-3-27(g)(4) PHBD; District rehabilitation, repair and maintenance guidelines; Exterior walls.

49 W. Intendencia Street



Architectural Review Board Application
Full Board Review



Application Date: July 24, 2023

Project Address: 49 Intendencia Street

Applicant: Escambia County Facilities Department

Applicant's Address: 100 E. Blount Street, Pensacola, FL 32501

Email: mebush@myescambia.com **Phone:** 850-595-3450

Property Owner: Escambia County Board of County Commissioners

(If different from Applicant)

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eight (8) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The Escambia County Government Complex Parking Garage located at the southeast corner of Intendencia and Baylen received damages during Hurricane Sally that exposed the northern parapet wall and allowed water to penetrate the area between the metal studs supporting the facade. While the contractor was removing the stucco to complete the repairs, he discovered the damages were far more extensive than just repairing the stucco facade and replacing the parapet cap.

Upon further investigation, it was determined the damages were throughout the entire north and west sides, the only sides with the non-structural facade and stucco.

The County is in the process of obtaining a contract to remove the stucco and non-structural metal studs supporting it.

To match other parking garages in the area, the County is requesting approval to not replace the stucco facade and instead paint the exterior to match the remaining concrete structure.

Facade paint color will be Practical Beige (SW 6100) by Sherwin Williams

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Digitally signed by Elizabeth Bush
Date: 2023.07.24 17:12:51 -05'00'

Applicant Signature

July 24, 2023

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521





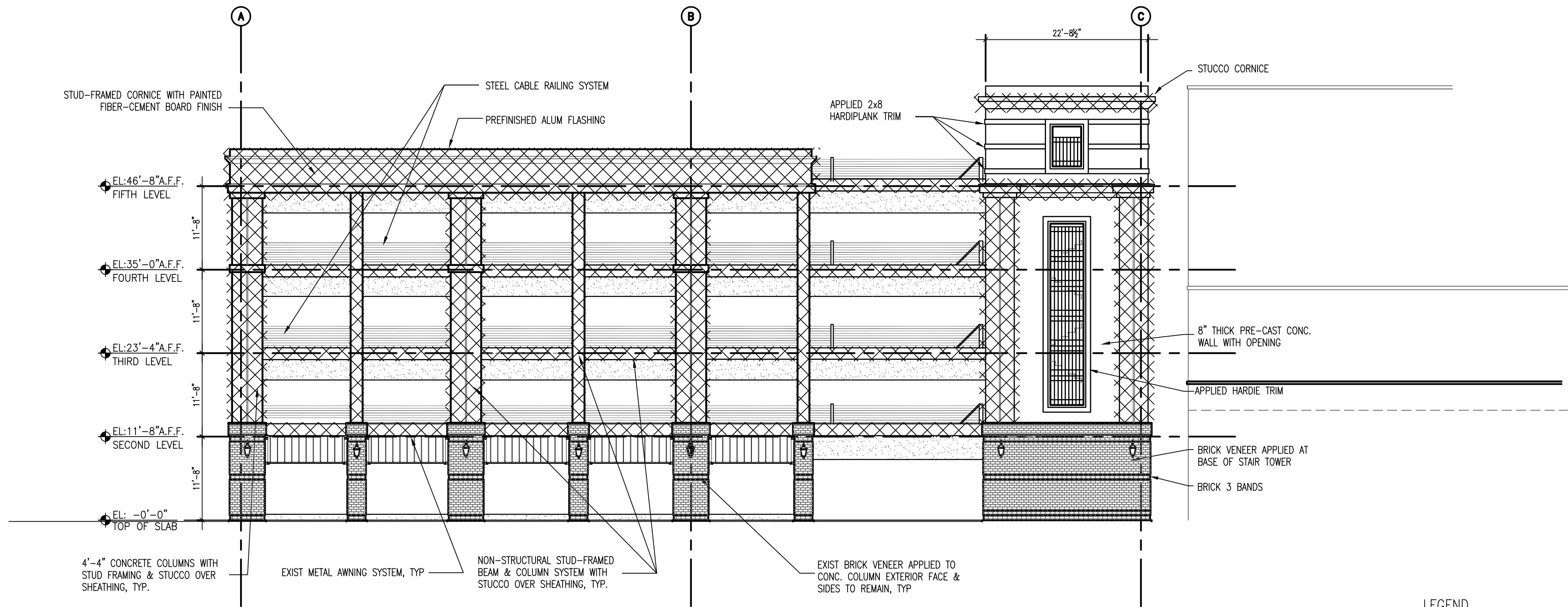










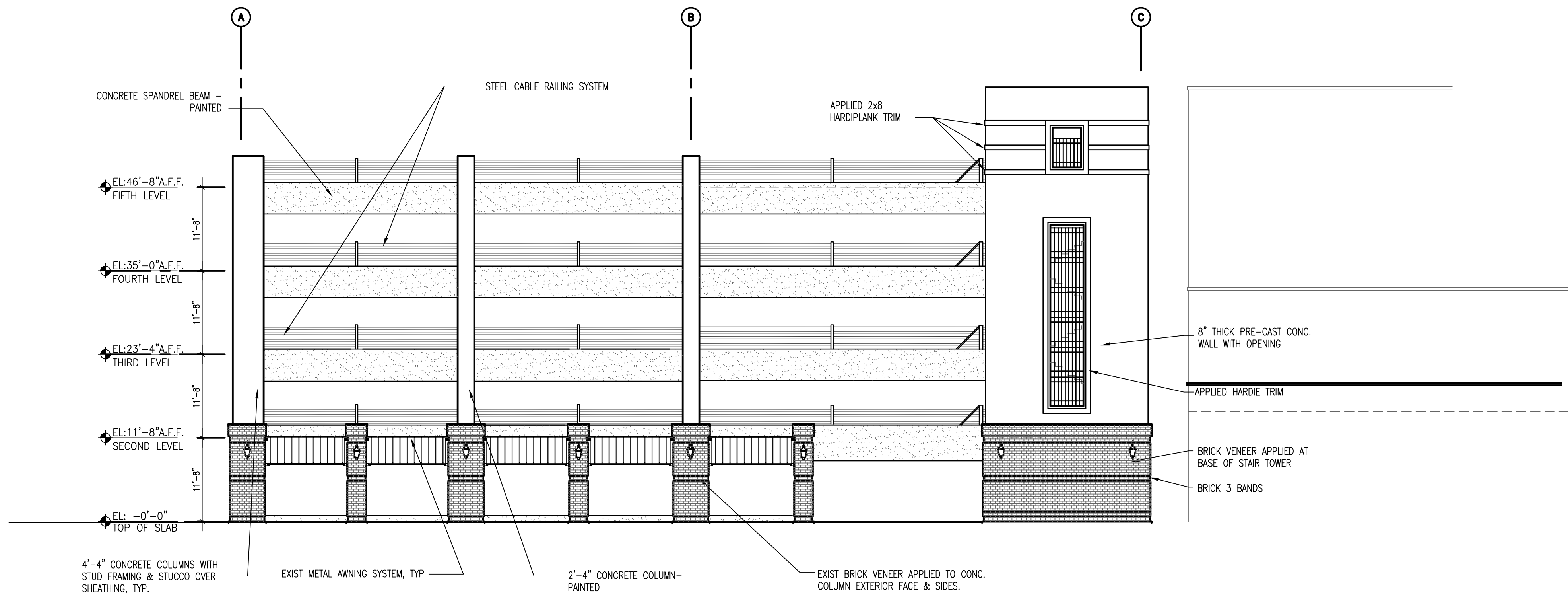


1 EXISTING WEST ELEVATION — DEMOLITION
SCALE : 3/32"=1'-0"

LEGEND



INDICATES EXTENTS OF DEMOLITION OF STUCCO FINISH AND SUPPORT FRAMING



2 WEST ELEVATION — PROPOSED
SCALE : 3/32"=1'-0"

GOVERNMENT PARKING
GARAGE FACADE
FOR
ESCAMBIA COUNTY, FLORIDA

DATE	REV.	REVISION DESCRIPTION
MAY 2023	MJT	
	MJT	
	MJT	
	MJT	
	LJD	

THIS DRAWING IS
NOT FOR
CONSTRUCTION

SHEET TITLE:
WEST
ELEVATIONS

SHEET NUMBER:

S2



SHERWIN-WILLIAMS.

What can we help you find?



0 - \$0.00

Paints & Supplies

Find Color

Project Center

For Pros

Special Offers

Colors > SW 6100 Practical Beige

SW 6099

SW 6100

SW 6101

SW 9093

SW 6102

SW 6103

SW 6104

SW 6100

Practical Beige

FULL DETAILS ▾

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint

↑ UPLOAD A PHOTO



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00596

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

330 S. Jefferson Street
Pensacola Historic District / Zone HC-2 / City Council District 6
Dumpster Enclosure at a Contributing Structure

BACKGROUND:

The UWF Historic Trust is seeking approval for a new brick enclosure located in a small parking lot behind the Museum of History. The dumpster enclosure will be constructed of matching yellow brick walls capped with cast stone with metal privacy gates. The proposed site work will include removing a section of the curb along Church Street and the removal of one Drake Elm.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2. Pensacola Historic District; Decisions.

Sec. 12-3-10(1)e.5. PHD; Regulations and guidelines for any development within the historic zoning districts; Screening.



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

File # ES01150A
Field Date 10-30-2014
Form Date 10-30-2014
Recorder #

Minimum Acceptable Level of Documentation
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Address (address if none) Old City Hall **Multiple Listing (DHR only)** _____
Survey Project Name Pensacola Historic District **Survey # (DHR only)** _____
National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 330 **Direction** S **Street Name** Jefferson **Street Type** Street **Suffix Direction** _____
Address 330 S Jefferson Street
Cross Streets (nearest/between) Between Church and Zaragoza
USGS 7.5 Map Name PENSACOLA **USGS Date** 2012 **Plat or Other Map** _____
City/Town (within 3 miles) Pensacola **In City Limits?** ☒ yes ☐ no ☐ unknown **County** Escambia
Township 2S **Range** 30W **Section** 46 **1/4 section:** ☐ NW ☒ SW ☐ SE ☐ NE **Irregular-name:** _____
Tax Parcel # 9004-002-003 **Landgrant** _____
Subdivision Name Pensacola Historic Distr **Block** _____ **Lot** 4
UTM Coordinates: Zone ☒ 16 ☐ 17 **Easting** **North**
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) Old City

HISTORY

Construction Year: 1907 ☐ approximately ☐ year listed or earlier ☐ year listed or later
Original Use Municipal building **From (year):** 1908 **To (year):** 1985
Current Use Museum/Gallery/Planetarium **From (year):** 1988 **To (year):** _____
Other Use _____ **From (year):** _____ **To (year):** _____
Materials: ☐ yes ☒ no ☐ unknown **Date:** _____ **Original address:** _____
Alterations: ☐ yes ☐ no ☒ unknown **Date:** _____ **Notes:** _____
Additions: ☐ yes ☐ no ☒ unknown **Date:** _____ **Notes:** _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.) City of Pensacola (original), State of Florida (current)

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown **Describe** Architectural Review Board

DESCRIPTION

Style Mediterranean Revival **Exterior Plan** Irregular **Number of Stories** 3
Exterior Fabric(s) 1. Brick 2. Stone 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Spanish tile 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Hip dormer 2. _____
Windows (types, materials, etc.) DHS, 1/1, Wood
Distinguishing Architectural Features (exterior or interior ornaments) Bracketed soffits, two large towers, Mediterranean detailing

Auxiliary Photographs/Drawings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ **SHPO - Appears to meet criteria for NR listing:** ☐ yes ☐ no ☐ insufficient info **Date** _____ **Init.** _____
KEEPER - Determined eligible: ☐ yes ☐ no **Date** _____
Owner Objection ☐ **NR Criteria for Evaluation:** ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Brick 2. Wood frame 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Brick 2. Concrete, Generic
 Main Entrance (stylistic details) Double panel and glass doors with arched glass transom and glass sidelights

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Prominently located across from Plaza Ferdinand VII, this Mediterranean Revival building has bracketed eaves, towers, tile roof, and decorative metal and some work.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☒ Sanborn maps
☐ FL State Archives/photo collection ☒ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☒ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☐ other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) UWF Historic Trust Archives

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☒ yes ☐ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Played a key roll in the development of Pensacola and has become an icon of the downtown. The building was saved from destruction and now houses the collection of T.T. Wentworth, Jr. who was a collector of historical and everyday objects.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Architecture 3. _____ 5. _____
 2. Local 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Photographs Maintaining organization University of West Florida
 Document description pre-construction, post-construction File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Ross Pristera

Affiliation University of West Florida

Recorder Contact Information P.O. Box 12866, Pensacola, FL 32591 / 850-595-5985 / RPristera@uwf.edu
 (address / phone / fax / e-mail)

Required Attachments

- **USGS 7.5 MAP WITH STRUCTURE LOCATION PINPOINTED IN RED**
- **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
- **PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE**

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1000 x 1200 pixels, 24-bit color, jpeg or gif.

FMSF# ES01150A Field Date: 10/30/2014

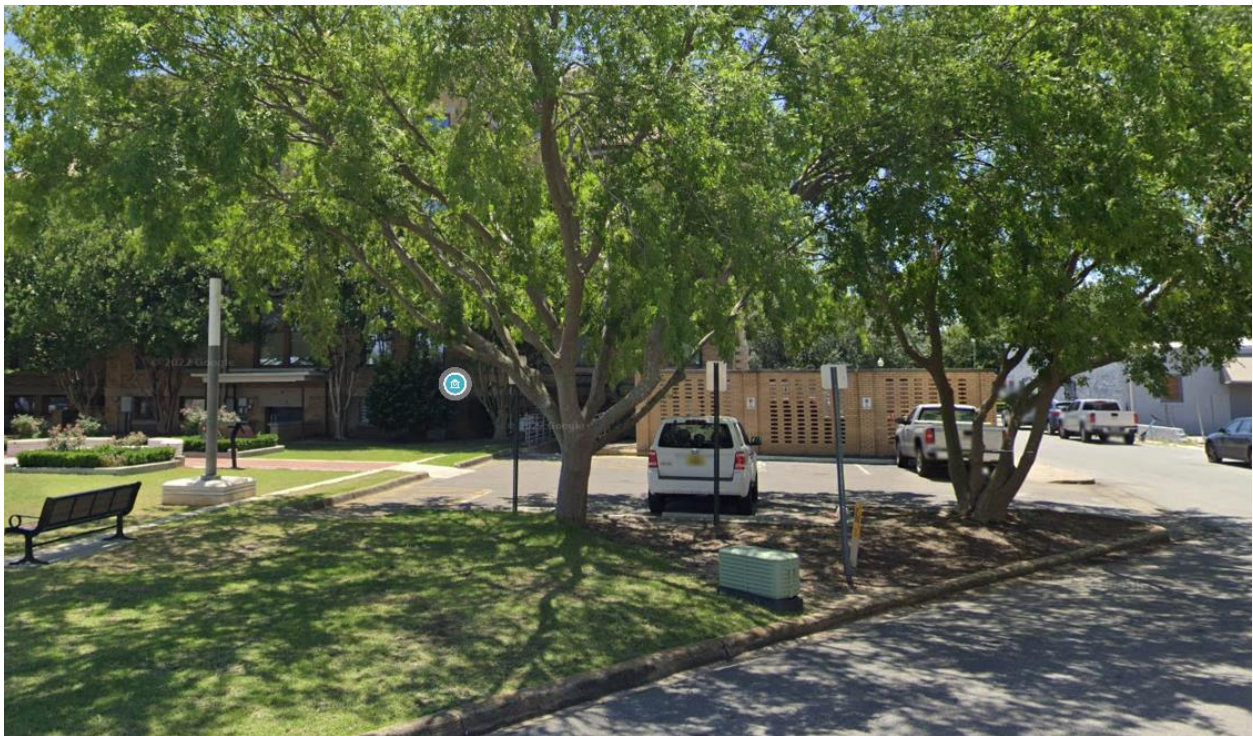




FMSF# ES01150A
Field Date: 10-30-2014



330 S. Jefferson Street



**Architectural Review Board Application
Full Board Review**

Application Date: 7/27/23

Project Address: 330 S Jefferson Street
Applicant: UWF Historic Trust
Applicant's Address: 120 Church Street, Pensacola, FL 32502
Email: rpristera@uwf.edu **Phone:** 850-595-5985
Property Owner: UWF Historic Trust

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

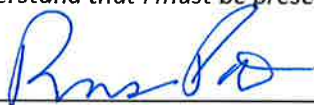
- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Relocate two dumpsters to a new brick enclosure located in a small parking lot behind the
Museum of History. The enclosure will completely hid the dumpsters with matching yellow brick
walls capped with cast stone and metal privacy gates. A section of the parking lot curb along
Church Street will be removed so the garbage truck can access the dumpsters. One Drake Elm
will be removed for this curb cut, leaving the second healthier Drake Elm to shade the parking lot.
~~The dumpsters are currently highly visible and got pushed into the side of the Bowden Building.~~
These are shared dumpsters with STOA and the Historic Trust.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

7/27/23

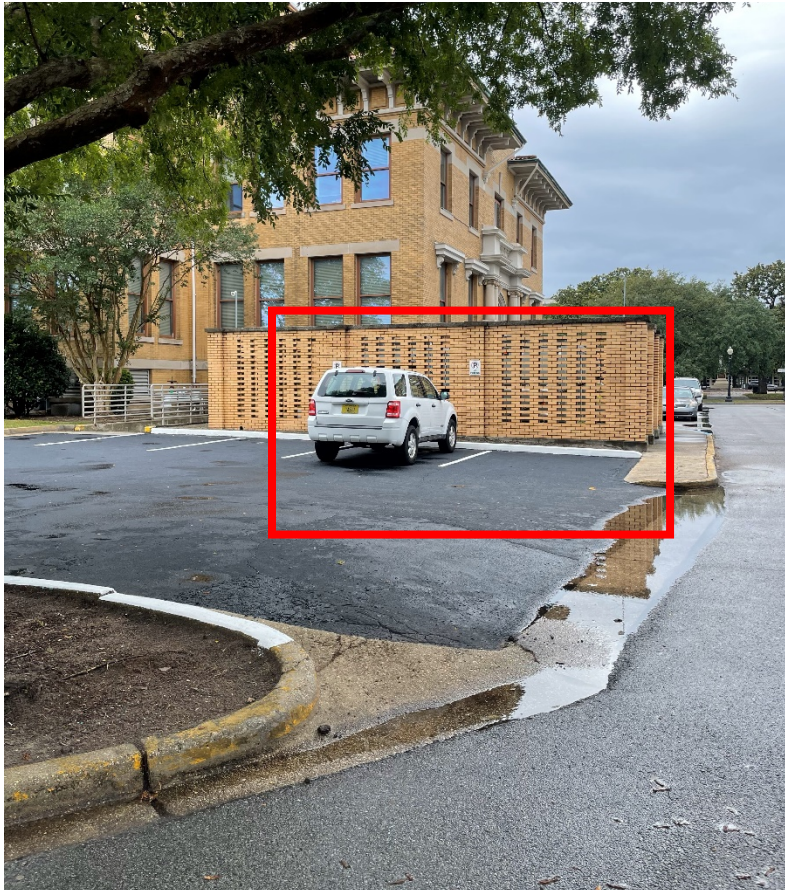
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Existing location of dumpsters



Proposed location of dumpster enclosure with two dumpsters





Region of curb and one tree to be removed to allow for forward approach of truck for pickup



Exterior face of new walls to be same brick color to match existing

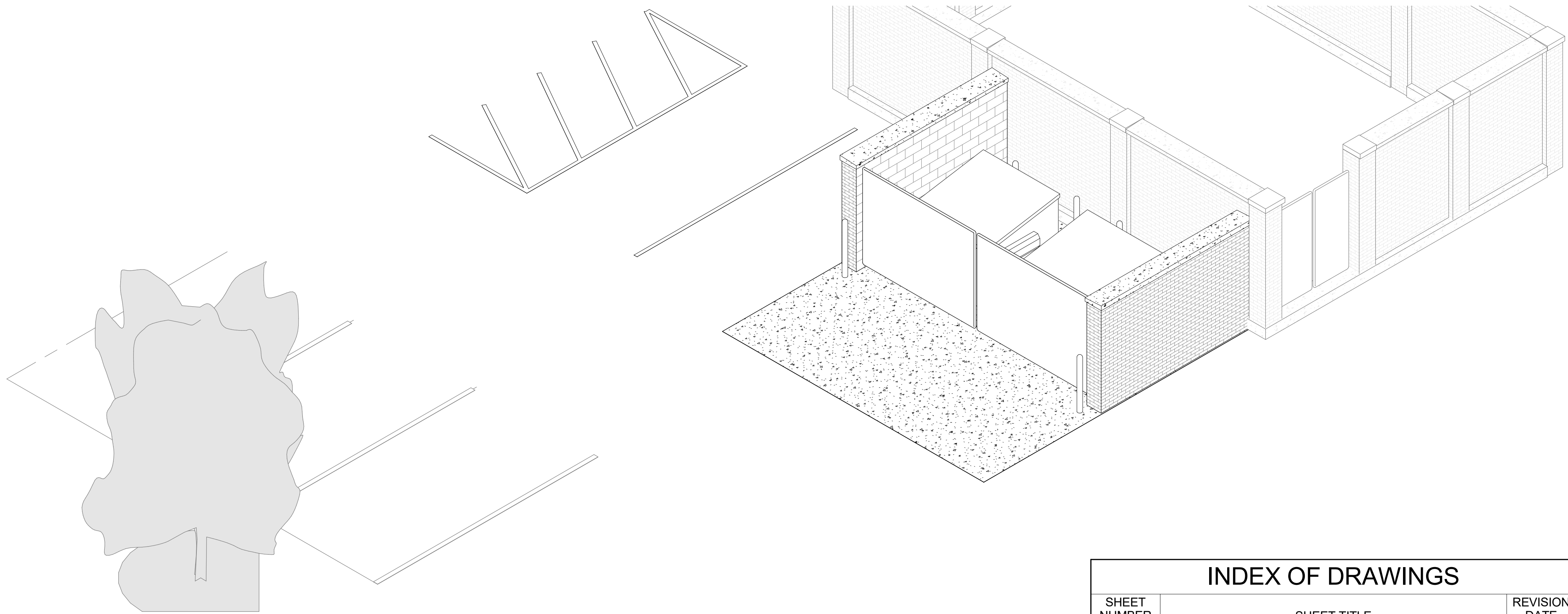


12345- G-001-
C:\Users\NCamera\Documents\Local Projects\23048 UWF_PMoH Dumpster Enclosure_NCamera_STOAArchitects.rvt
7/31/2023 3:05:51 PM

UWF HISTORIC TRUST PENSACOLA MUSEUM OF HISTORY DUMPSTER ENCLOSURE

CHURCH STREET, PENSACOLA, FLORIDA

PARCEL: 9004-2-3



PROPOSAL DESIGN

INDEX OF DRAWINGS		
SHEET NUMBER	SHEET TITLE	REVISION DATE
GENERAL		
G-001	COVER SHEET	
ARCHITECTURAL		
AD100	ARCHITECTURAL DEMOLITION SITE PLAN	
A-100	ARCHITECTURAL SITE PLAN	
A-101	DUMPSTER ENCLOSURE PLAN & ELEVATIONS	
A-501	ARCHITECTURAL DETAILS	
TOTAL SHEETS: 5		



STOA ARCHITECTS
121 EAST GOVERNMENT STREET
PENSACOLA, FLORIDA 32513
PHONE: (850) 432-1912
POC: MICHAEL WERNER JR.

ISSUE DATE: 07/27/2023		
REVISIONS		
#	DESCRIPTION	DATE

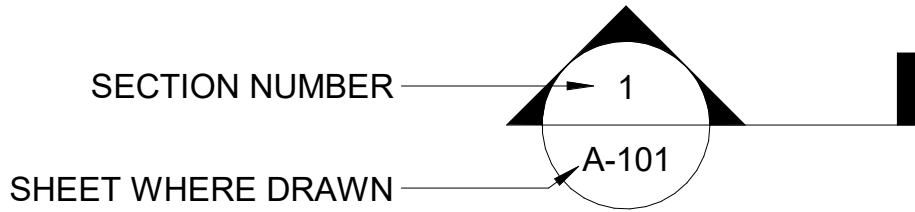


121 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 432-1912
FL. LIC. AA0003564

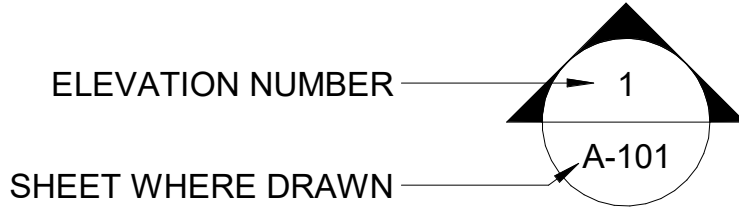
Consultant

Seal

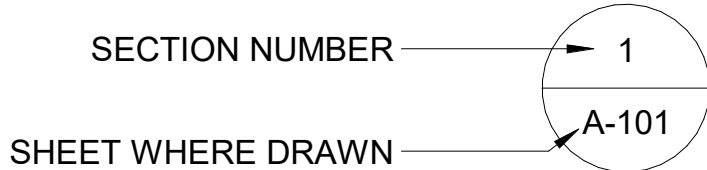
SYMBOLS



SYMBOL WHERE SECTION IS TAKEN



SYMBOL WHERE ELEVATION IS TAKEN



TITLE WHERE SECTION OR ELEVATION IS SHOWN

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT, AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. ARCHITECTURAL PLANS, DETAILS AND SECTIONS ON THE DRAWINGS SHOW DESIGN INTENT AND GENERAL REQUIREMENTS FOR CONSTRUCTION. THE CONTRACTOR MUST REVIEW THE FULL CONTENT OF THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR DEFICIENCIES.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF "TYPICAL DETAILS" SHALL BE RESOLVED BY THE ARCHITECT.
- DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- REFER TO THE ENGINEERING DRAWINGS FOR THE DETAILED DESIGN OF ENGINEERED SYSTEMS, OF WHICH PORTIONS MAY BE SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY.
- ALL DIMENSIONS ON THE FLOOR PLANS ARE FROM FACE OF CMU WALLS OR EDGE OF CONCRETE, U.N.O.
- PROVIDE ADDITIONAL SUPPORT AS NECESSARY FOR ANY WALL MOUNTED ITEMS.

PENSACOLA MUSEUM OF HISTORY
DUMPSTER ENCLOSURE
CHURCH STREET, PENSACOLA, FLORIDA
COVER SHEET

DRAWN BY: AE/NC
DESIGNED BY: MW
CHECKED BY: MW
PROJECT NO: 23048

SHEET NUMBER

G-001

AD100-
C:\Users\NCamera\Documents\Local Projects\23048 UWF_PMoH Dumpster Enclosure_NCamera_STOAArchitects.rvt
7/31/2023 3:05:50 PM

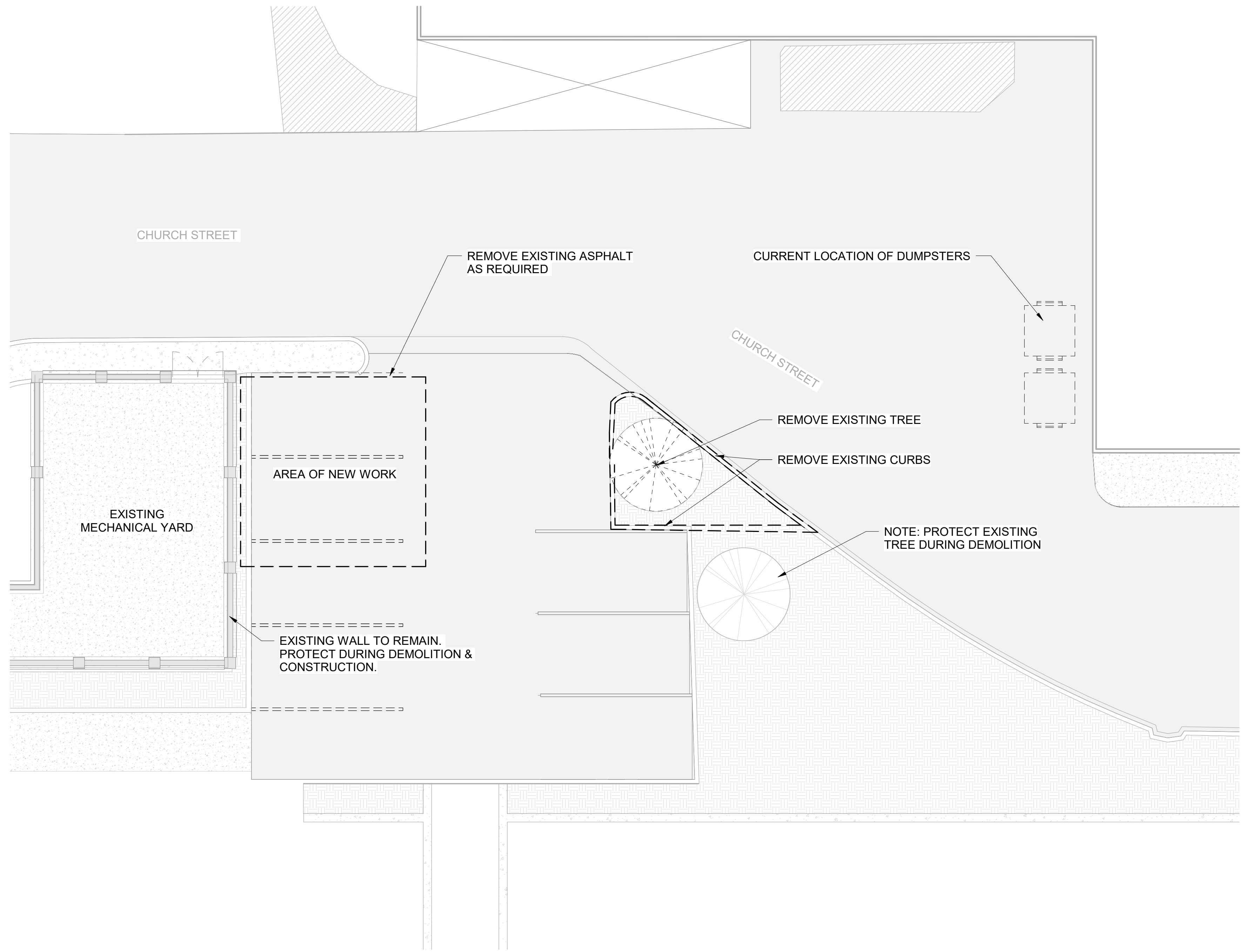


1

ARCHITECTURAL DEMOLITION SITE PLAN

8' 4' 0' 8' 16'

SCALE: 1/8" = 1'-0"



LEGEND

- EXISTING ELEMENT TO BE REMOVED / DEMOLISHED
- EXISTING ELEMENT TO REMAIN
- █ EXISTING WALL TO REMAIN

ISSUE DATE: 07/27/2023

REVISIONS		
#	DESCRIPTION	DATE

STOA
Architects

121 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 432-1912
FL. LIC. AA0003564

Consultant

Seal

PENSACOLA MUSEUM OF HISTORY DUMPSTER ENCLOSURE CHURCH STREET, PENSACOLA, FLORIDA ARCHITECTURAL DEMOLITION SITE PLAN

DRAWN BY: AE/NC
DESIGNED BY: MW
CHECKED BY: MW
PROJECT NO: 23048

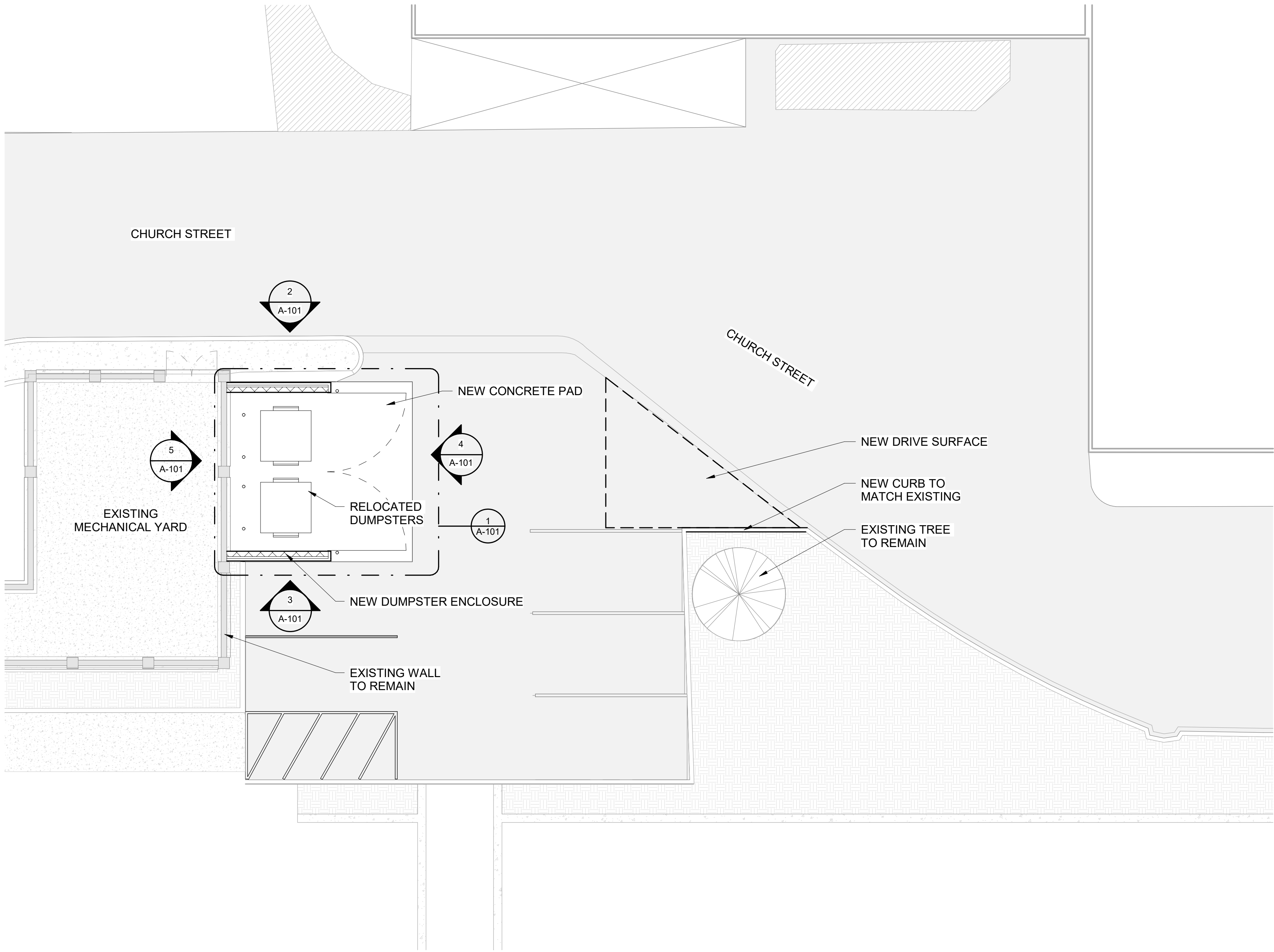
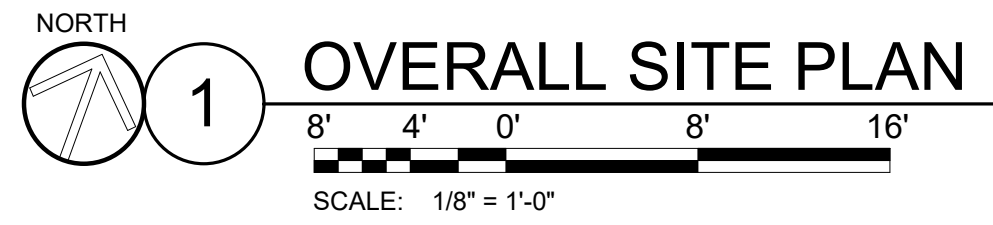
SHEET NUMBER

AD100

A-100- C:\Users\NCamera\Documents\Local Projects\23048 UWF_PMoH Dumpster Enclosure_NCamera_STOAArchitects.rvt 7/31/2023 3:05:47 PM

A-100-

STOA #23048



LEGEND

- NEW ELEMENT
- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING ELEMENT TO REMAIN

ISSUE DATE: 07/27/2023

REVISIONS

#	DESCRIPTION	DATE

STOA
Architects

121 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 432-1912
FL. LIC. AA0003664

Consultant

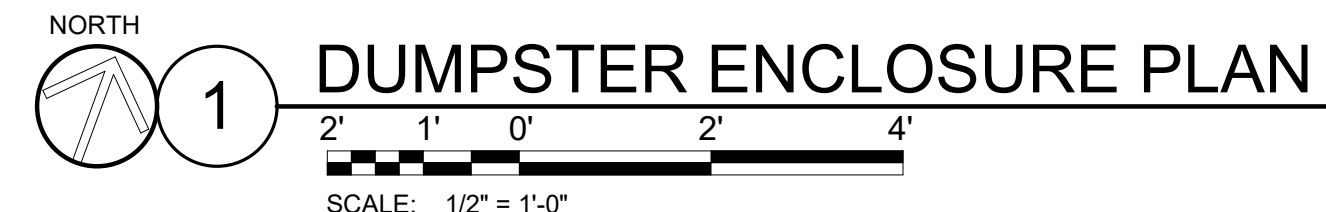
Seal

PENSACOLA MUSEUM OF HISTORY DUMPSTER ENCLOSURE CHURCH STREET, PENSACOLA, FLORIDA ARCHITECTURAL SITE PLAN

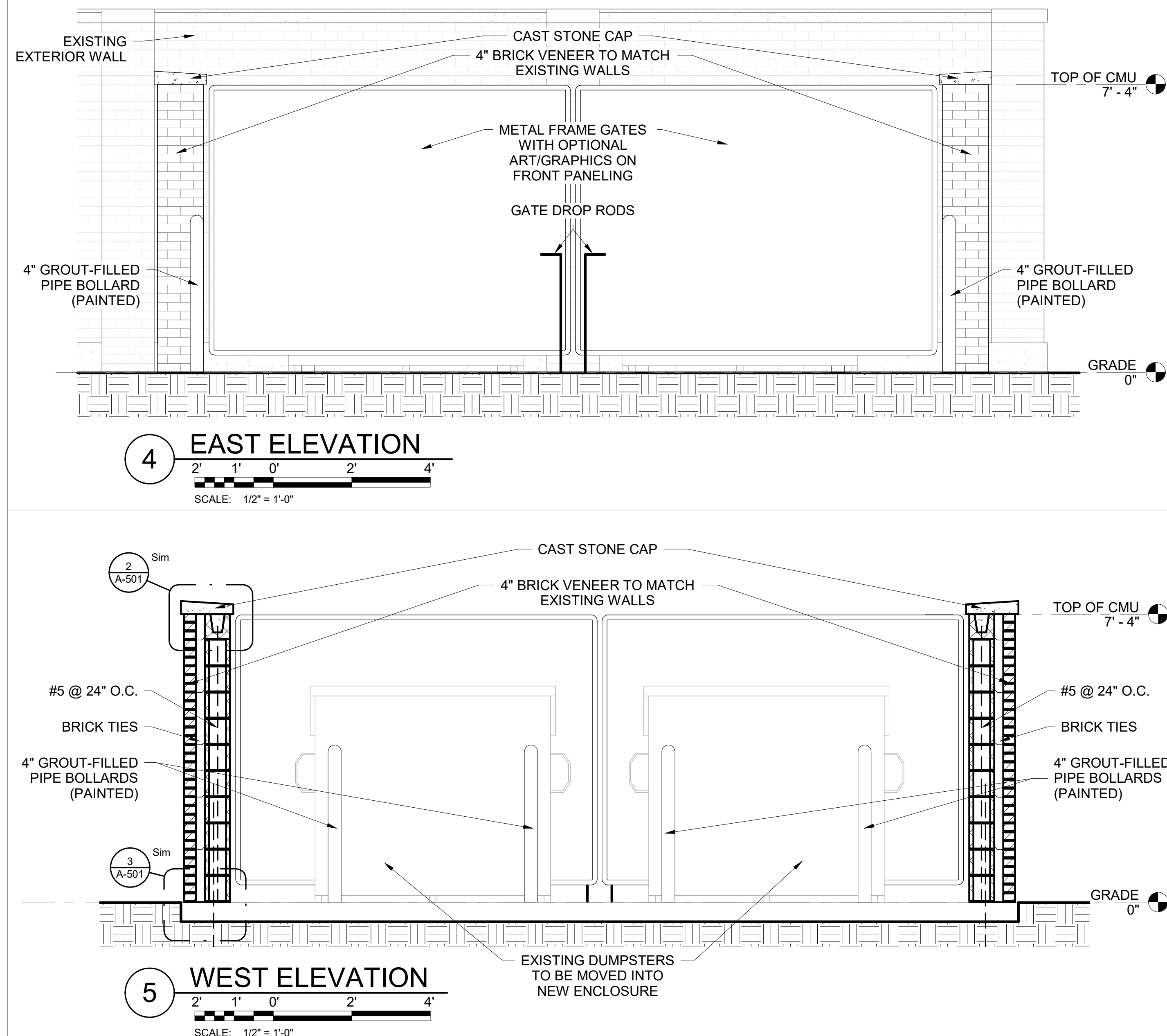
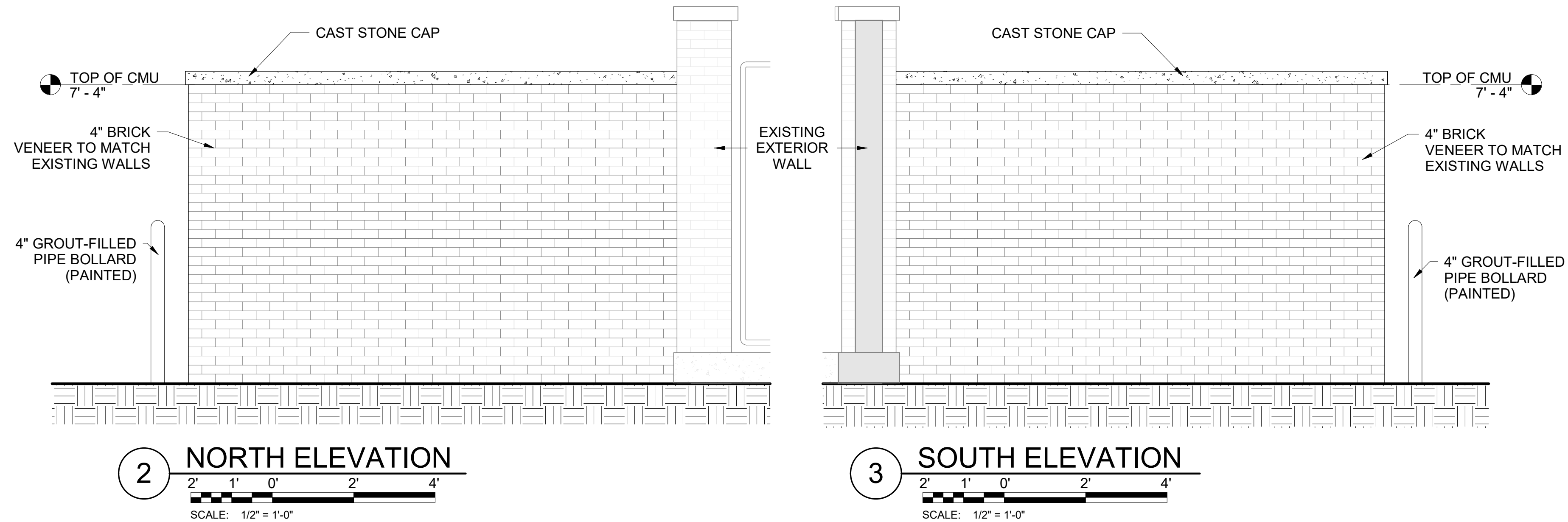
DRAWN BY: AE/NC
DESIGNED BY: MW
CHECKED BY: MW
PROJECT NO: 23048

SHEET NUMBER

A-100



**NOTE: CONTROL JOINTS @
5' - 0" O.C. MAX BOTH WAYS**

[illegible]STOA
Architects

121 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 432-1912
FL. LIC. AA0003564

Consultant

Seal

**PENSACOLA MUSEUM OF HISTORY
DUMPSTER ENCLOSURE**

CHURCH STREET, PENSACOLA, FLORIDA

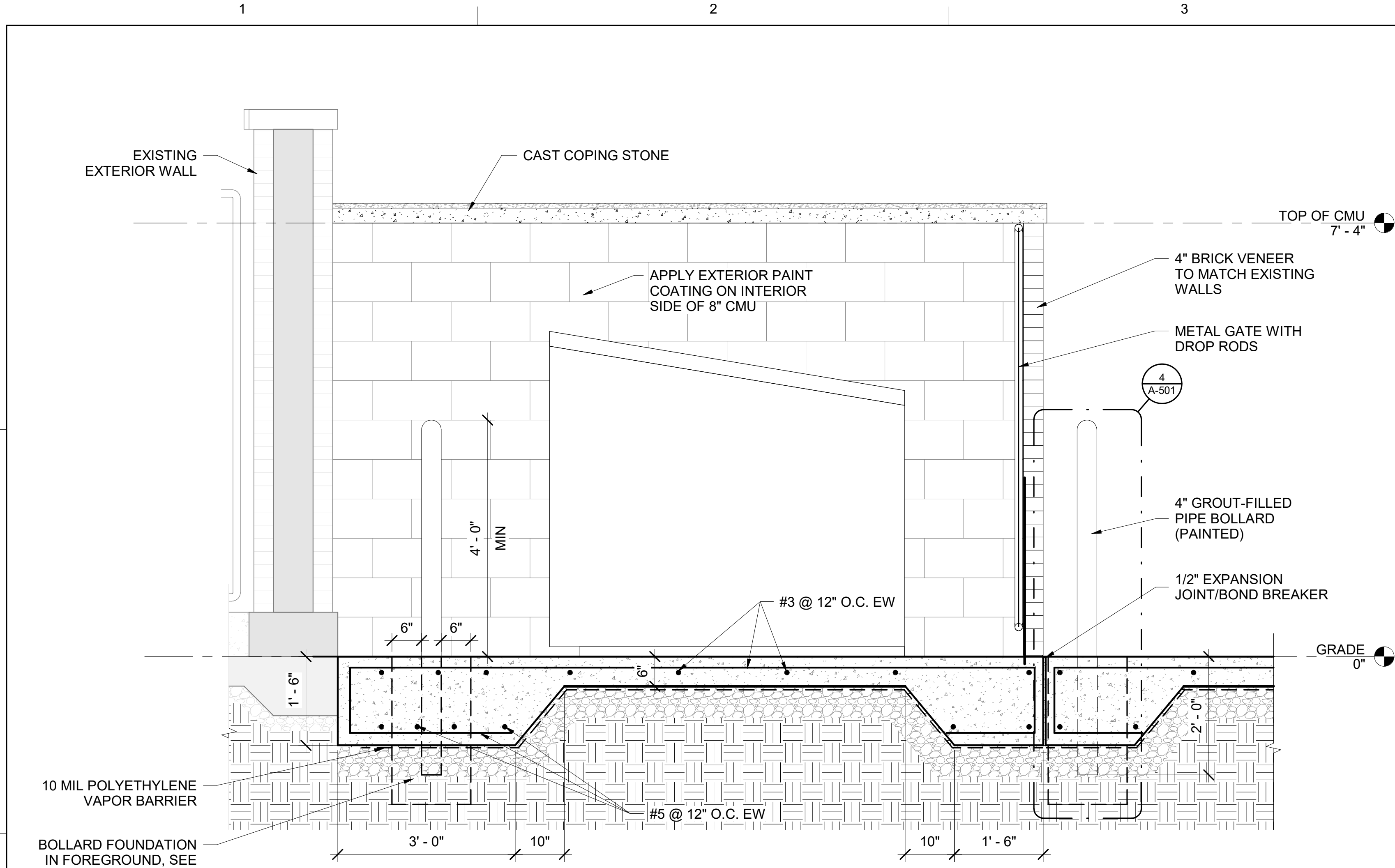
DUMPSTER ENCLOSURE PLAN & ELEVATIONS

DRAWN BY:	AE/NC
DESIGNED BY:	MW
CHECKED BY:	MW
PROJECT NO:	23048

SHEET NUMBER

A-101

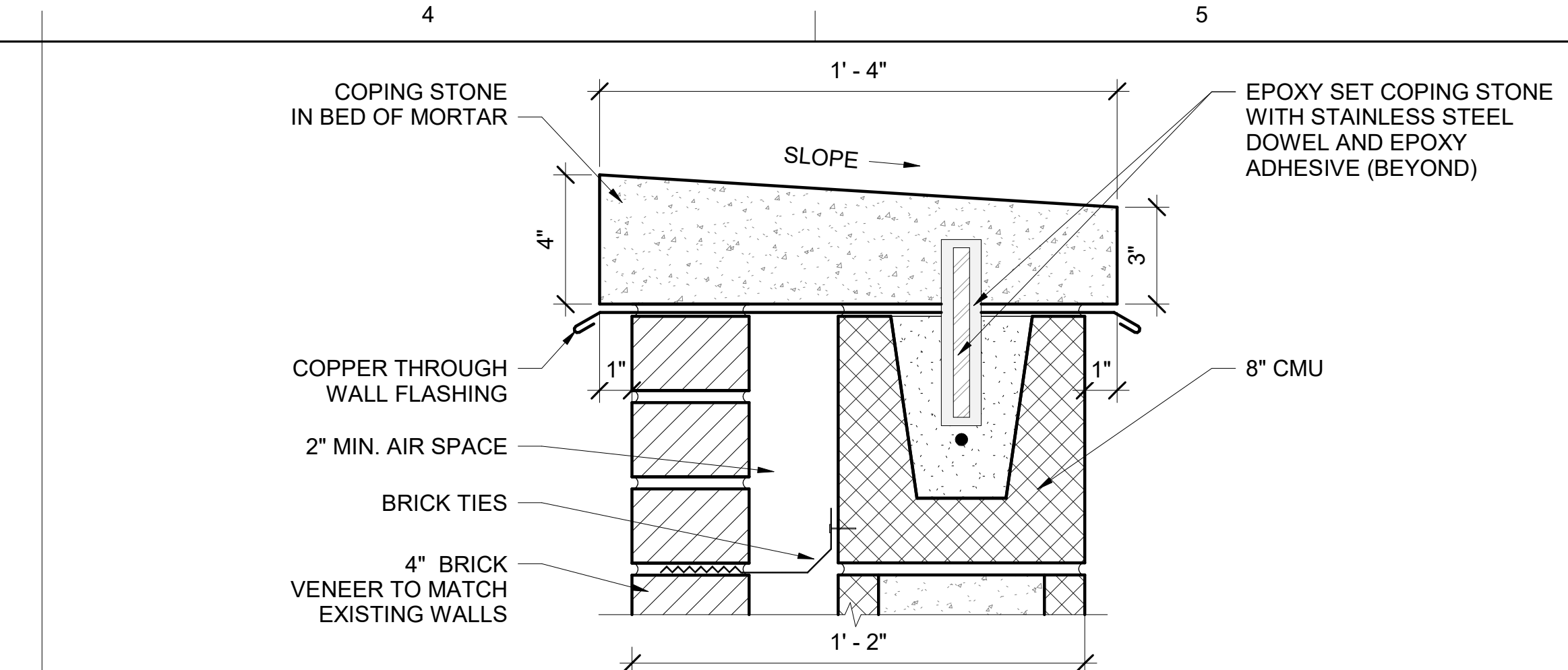
A-501-
C:\Users\NCamera\Documents\Local Projects\23048 UWF_PMoH Dumpster Enclosure_NCamera_STOAArchitects.rvt
7/31/2023 3:05:50 PM



1 DUMPSTER ENCLOSURE SECTION

1' 6" 0' 1' 2'

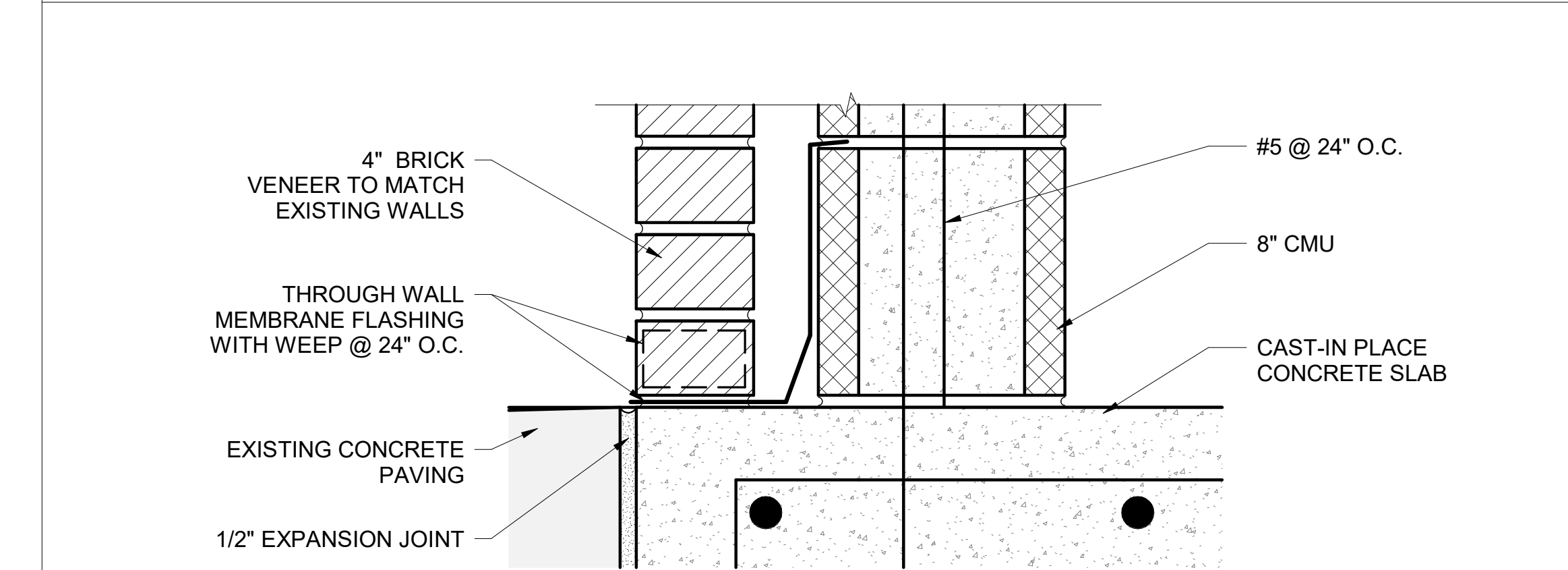
SCALE: 3/4" = 1'-0"



2 CAST STONE CAP DETAIL

3" 1-1/2" 0' 3" 6"

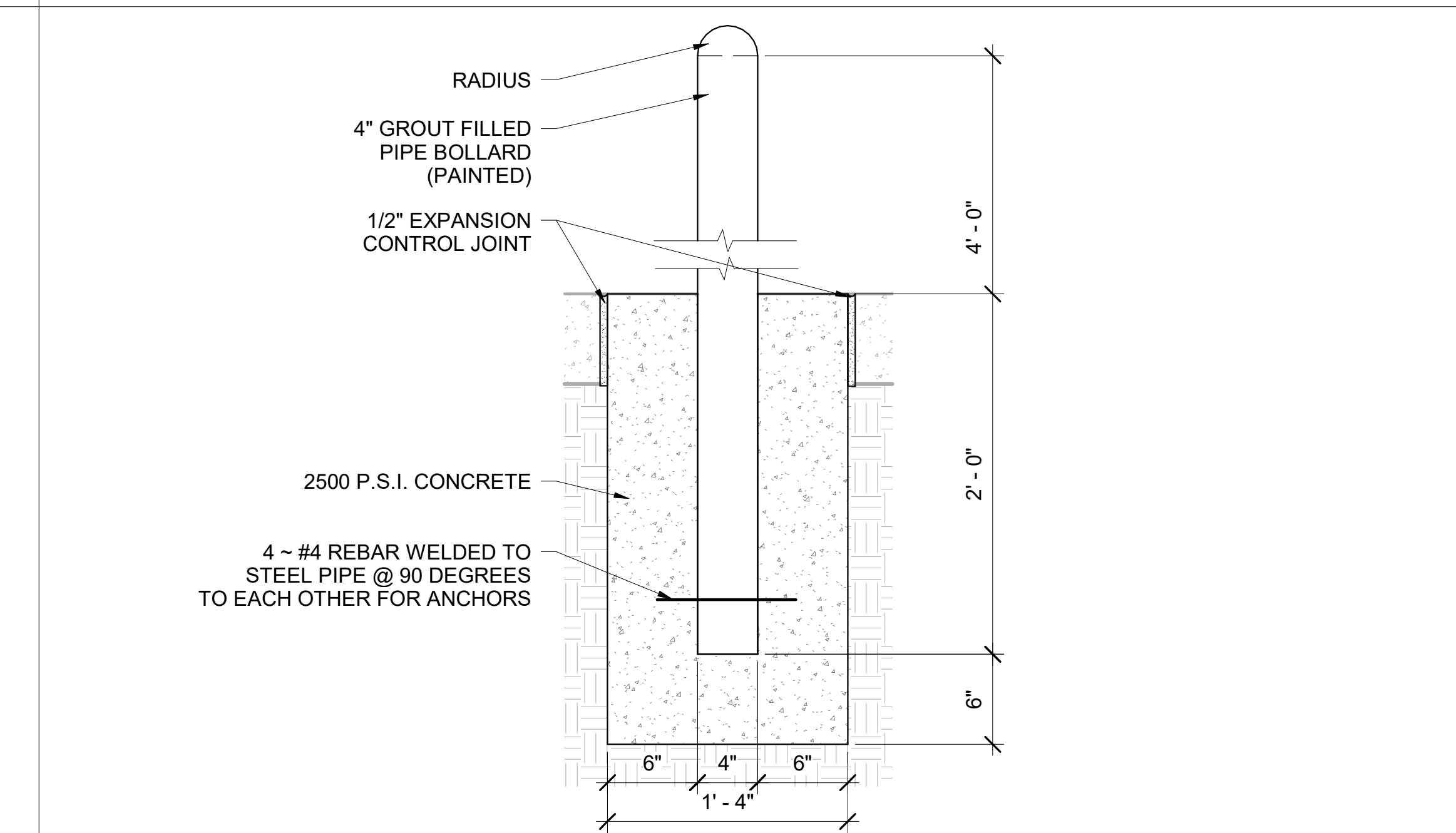
SCALE: 3" = 1'-0"



3 DUMPSTER ENCLOSURE WALL DETAIL

3" 1-1/2" 0' 3" 6"

SCALE: 3" = 1'-0"



4 TYPICAL BOLLARD DETAIL

6" 3" 0' 6" 1'

SCALE: 1 1/2" = 1'-0"

ISSUE DATE: 07/27/2023		
REVISIONS		
#	DESCRIPTION	DATE

STOA
Architects

121 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 432-1912
FL. LIC. AA0003564

Consultant

Seal

**PENSACOLA MUSEUM OF HISTORY
DUMPSTER ENCLOSURE**

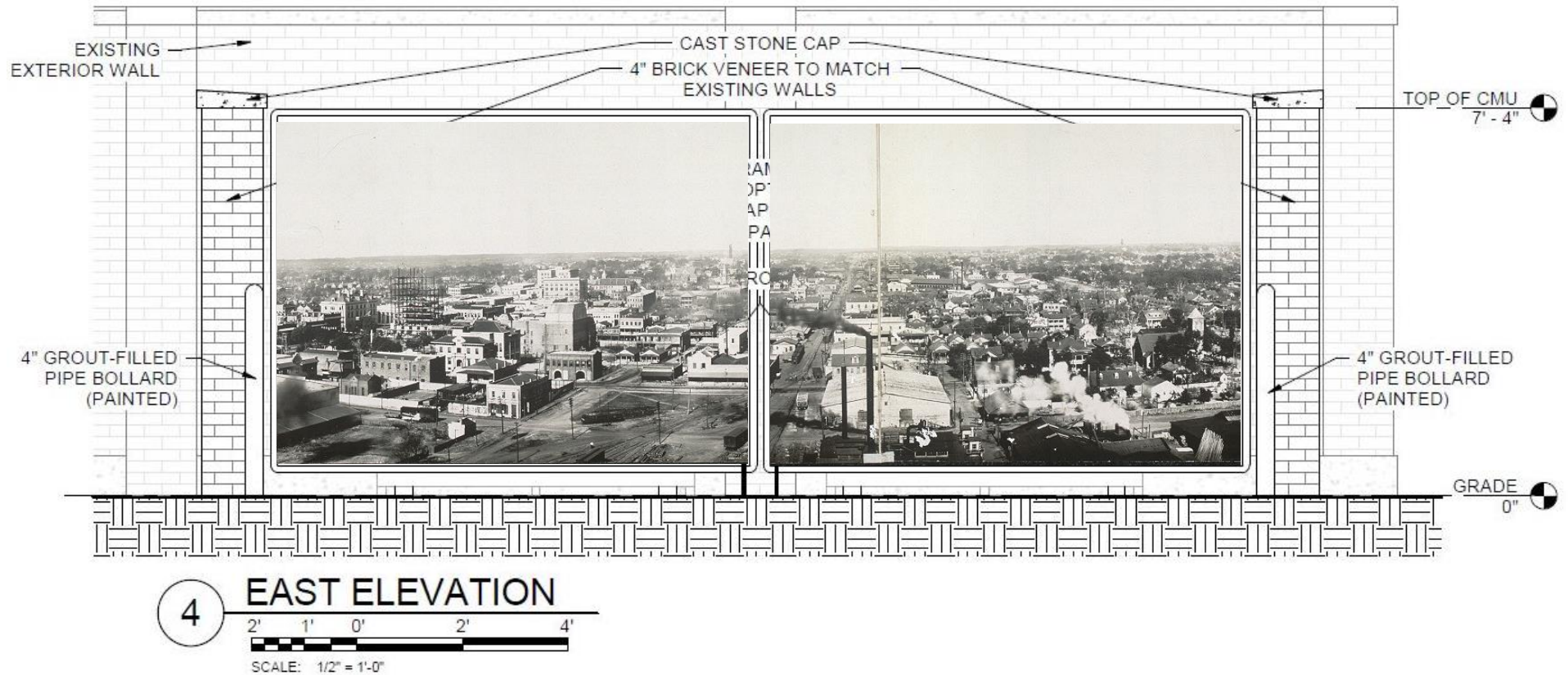
CHURCH STREET, PENSACOLA, FLORIDA

ARCHITECTURAL DETAILS

DRAWN BY: AE/NC
DESIGNED BY: MW
CHECKED BY: MW
PROJECT NO: 23048

SHEET NUMBER

A-501



1909 Panorama
Image printed on vinyl, stretched over frameless metal frame, same material and detailing as large building murals/images



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00604

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

1501 E. Lakeview Avenue
East Hill / Zone R-1AA / City Council District 6
Historic Structure Demolition Review

BACKGROUND:

Per the City of Pensacola's Historic Building Demolition Review Ordinance, the referenced structure has been found to be potentially significant in regard to its architecture as well as its association with the lives of persons potentially significant in our local past. Per the ordinance, the Board is tasked with determining whether or not this structure meets the criteria for listing in the National Register of Historic Places. If eligible and deemed historically significant by those criteria, the Board must also determine if the building is subject to a demolition delay of no more than 60 days. To determine that a historically significant building is subject to a demolition delay, the Board must find that in the interest of the public it is preferable that the building be preserved or rehabilitated rather than demolished.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-11-5(5) Historic Building Demolition Review Ordinance (
https://library.municode.com/fl/pensacola/codes/code_of_ordinances?nodeId=PTIICOOR_TITXII LADECO_CH12-11ADEN_S12-11-5BUPE)

Sec. 12-11-5(5)e.3. Criteria for determining significance

Sec. 12-11-5(5)e.4. Criteria for determination that building is subject to demolition delay

Es 861

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
FD-503 (Rev. 5-6-62)

FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM 802 ==
1009 ==

Site No. 9025-001-231
Site Name 1501 E. Lakeview Ave. 830 == Survey Date 8011 820 ==
Address of Site: 1501 E. Lakeview Ave. 905 ==
Instruction for locating 813 ==
Location: New City Tract 231 1, 2 & 3; N 25 1/2' 18-20 868 ==
County: Escambia 808 ==
Owner of Site: Name: Duncan, William P. & Gloria D.
Address: 1501 E. Lakeview Ave.
Pensacola, Fl. 32503 902 ==
Type of Ownership private 848 == Recording Date 8011 832 ==
Recorder:
Name & Title: Hawley, Nancy; Wells, Merrily
Address: HPPB

Condition of Site: Integrity of Site: Original Use residence 818 ==
838 ==
Check One Check One or More
Excellent 863 == ☒ Altered 858 ==
☒ Good 863 == ☐ Unaltered 858 ==
Fair 863 == ☒ Original Site 858 ==
Deteriorated 863 == ☐ Restored () (Date:) 858 ==
☐ Moved () (Date:) 858 ==

NR Classification Category: Building 916 ==
Threats to Site:

Check One or More
Zoning () 878 == ☐ Transportation () 878 ==
Development () 878 == ☐ Fill () 878 ==
Deterioration () 878 == ☐ Dredge () 878 ==
Borrowing () 878 ==
Other (See Remarks Below): 878 ==

Areas of Significance: Architecture 910 ==

Significance: An interesting example of frame vernacular architecture characteristic of popular styles in Pensacola. Built in about 1920, it was the home of James K. McCaskill, who was the assistant superintendant of the L&N railroad.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

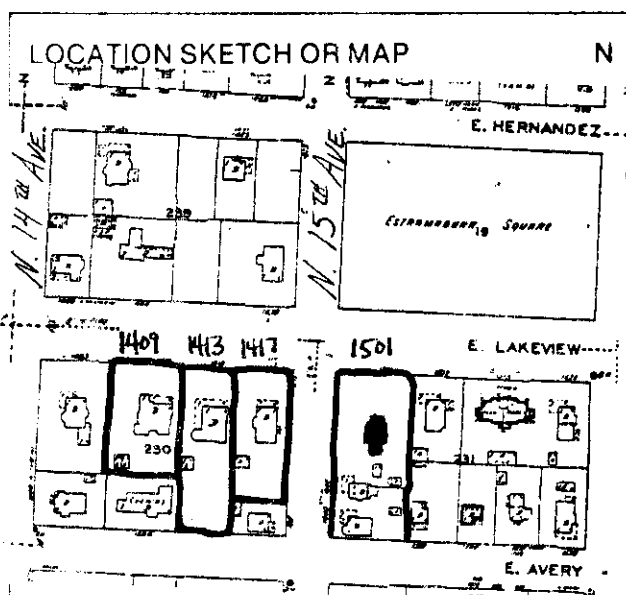
ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Frame Vernacular 964 ==
 PLAN TYPE T-shape 966 ==
 EXTERIOR FABRIC(S) Wood: novelty siding 854 ==
 STRUCTURAL SYSTEM(S) Wood Frame 856 ==
 PORCHES n/3-bay

FOUNDATION: Pier; brick 942 ==
 ROOF TYPE: hipped 942 ==
 SECONDARY ROOF STRUCTURE(S): gable-on-hip 942 ==
 CHIMNEY LOCATION: 942 ==
 WINDOW TYPE: DHS, 3/1, wood; DHS, 9/1, wood 942 ==
 CHIMNEY: 882 ==
 ROOF SURFACING: composition shingles 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS 954 ==

Map Reference (incl. scale & date) USGS 7.5 min., Pensacola, 1970 809 ==

Latitude and Longitude: 800 ==

Site Size (Approx. Acreage of Property): LT 1 833 ==



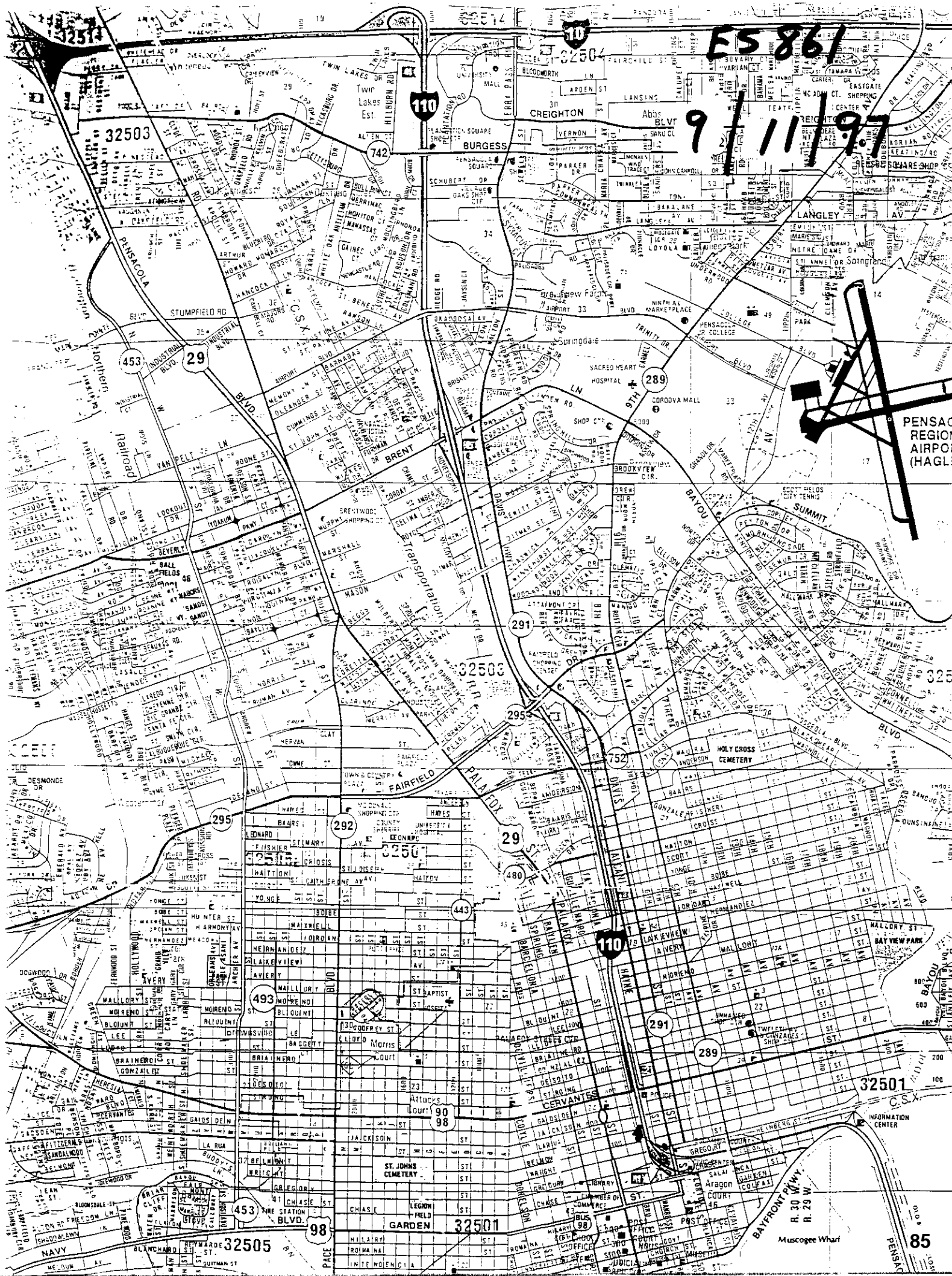
Township	Range	Section
2S	30W	22

UTM Coordinates:

Zone Easting Northing

Photographic Records Numbers HPPB P.80.19-J.18 860 ==

Contact Print



ES 861

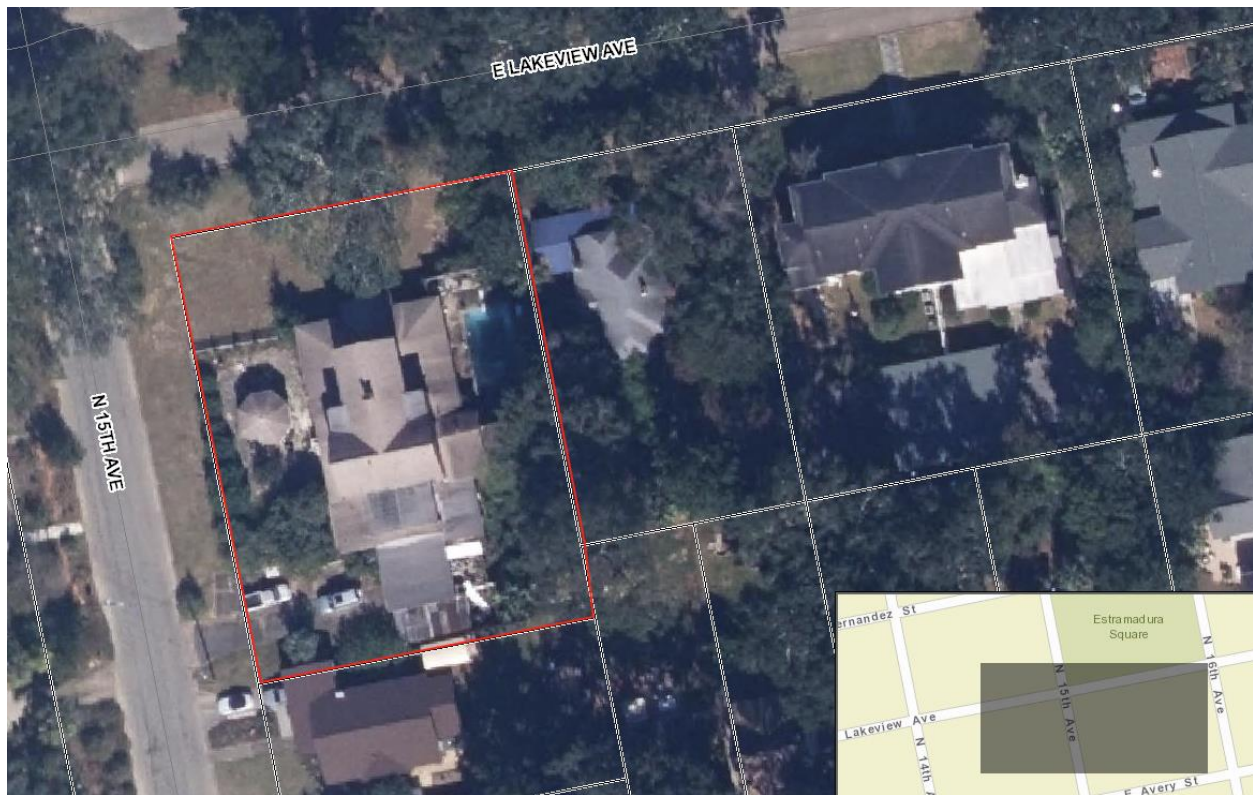
9/11/97

PENSACOLA
REGION
AIRPORT
(HAGLER)

85



1501 E. Lakeview Avenue









**Architectural Review Board Application
Abbreviated Review for Historic Structure
Demolition**

Application Date: 7-26-23

Project Address: 1501 E Lakeview
Applicant: George Sitten
Applicant's Address: 2520 Yates Ave Pensacola FL
Email: GSitten.SCH@gmail.com Phone: 850-554-0757
Signature of Property Owner or Agent: [Signature]
(If different from Applicant)

(Office Use)

Construction Year: 1927 zone R-1AA
Current Use: vacant residential
Ownership History: Rodgers et al. (1993-2023), Wayland et al. & Abernethy (1986-1993), Wilkins et al. (1985-1986), Avesian et al. (1983-1985), Parnham et al. (?-1983)
Meets NRHP criteria: _____
Notes: materials- wood frame, vinyl siding, asphalt shingles, wood windows

Historical significance determination based on National Register of Historic Places criteria (see Sec. 12-11-5(E)(3). If applicable, provide photographs of all elevations and a completed FMSF Historical Structures Form.

This request was reviewed by the following member of Planning Staff.

Adrianne F. Walker

ARB Secretary Signature

7/27/2023

Date

This request was reviewed by the following members of the Architectural Review Board:

Comments: _____

Architect Signature / Date

[Signature] 8-7-23

UWFHT Representative Signature / Date

Comments: send to full Board for Review
Potential to meet NR criteria A-D
for Architecture and Person of Significance

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



Chris Jones Escambia County Property Appraiser


Real Estate Search

Tangible Property Search

Sale List

Nav. Mode ☒ Account ☐ Parcel ID

Printer Friendly Version

General Information	
Parcel ID:	000S009025001231
Account:	141933000
Owners:	RODGERS LAWRENCE R RODGERS LORA W
Mail:	1501 E LAKEVIEW AVE PENSACOLA, FL 32503
Situs:	1501 E LAKEVIEW AVE 32503
Use Code:	SINGLE FAMILY RESID 
Taxing Authority:	PENSACOLA CITY LIMITS
Tax Inquiry:	Open Tax Inquiry Window
Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector	

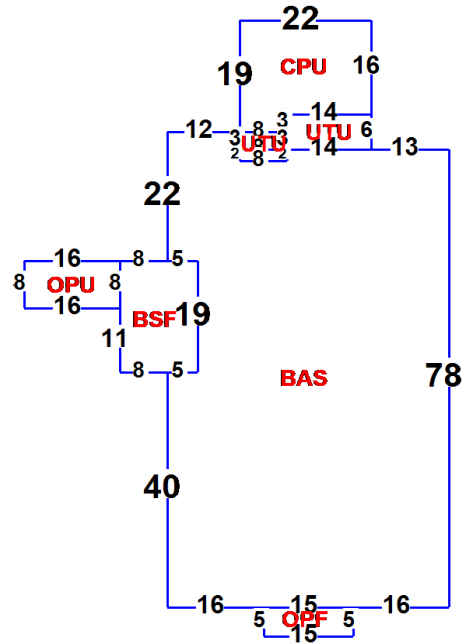
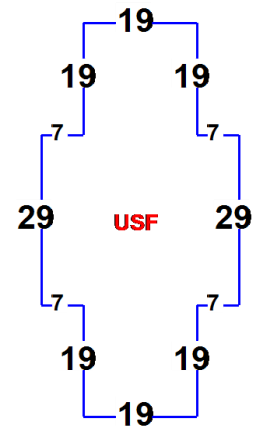
Assessments				
Year	Land	Imprv	Total	Cap Val
2022	\$205,071	\$438,760	\$643,831	\$183,331
2021	\$205,071	\$362,490	\$567,561	\$177,992
2020	\$205,071	\$325,565	\$530,636	\$175,535
Disclaimer				
Tax Estimator				
File for New Homestead Exemption Online				
Report Storm Damage				

Sales Data						2022 Certified Roll Exemptions	
Sale Date	Book	Page	Value	Type	Official Records (New Window)	HOMESTEAD EXEMPTION,VETERANS	
08/1993	3417	876	\$130,000	WD		Legal Description	
04/1986	2206	80	\$113,300	WD		LTS 1 2 3 AND N 25 1/2 FT OF LTS 18 19 20 BLK 231 NEW CITY TRACT OR 3417 P 876 CA 38	
09/1985	2113	613	\$90,000	WD			
12/1983	1846	279	\$128,000	WD		Extra Features	
Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller						GAZEBO	
						POOL	
						UTILITY BLDG	

Parcel Information	Launch Interactive Map
Section Map Id: CA038 Approx. Acreage: 0.4353 Zoned: R-1AA R-1AA Evacuation & Flood Information Open Report View Florida Department of Environmental Protection(DEP) Data	
Buildings Address:1501 E LAKEVIEW AVE, Year Built: 1927, Effective Year: 1955, PA Building ID#: 21839	

Structural Elements

DECOR/MILLWORK-ABOVE AVERAGE
DWELLING UNITS-1
EXTERIOR WALL-VINYL SIDING
FLOOR COVER-CARPET
FOUNDATION-WOOD/SUB FLOOR
HEAT/AIR-CENTRAL H/AC
INTERIOR WALL-DRYWALL-DECORAT
INTERIOR WALL-DRYWALL-PLASTER
NO. PLUMBING FIXTURES-13
NO. STORIES-2
ROOF COVER-COMPOSITION SHG
ROOF FRAMING-GABL/HIP HI PTC
STORY HEIGHT-0
STRUCTURAL FRAME-WOOD FRAME



Areas - 6236 Total SF

BASE AREA - 3607
BASE SEMI FIN - 247
CARPORT UNF - 376
OPEN PORCH FIN - 75
OPEN PORCH UNF - 128
UPPER STORY FIN - 1679
UTILITY UNF - 124

Images

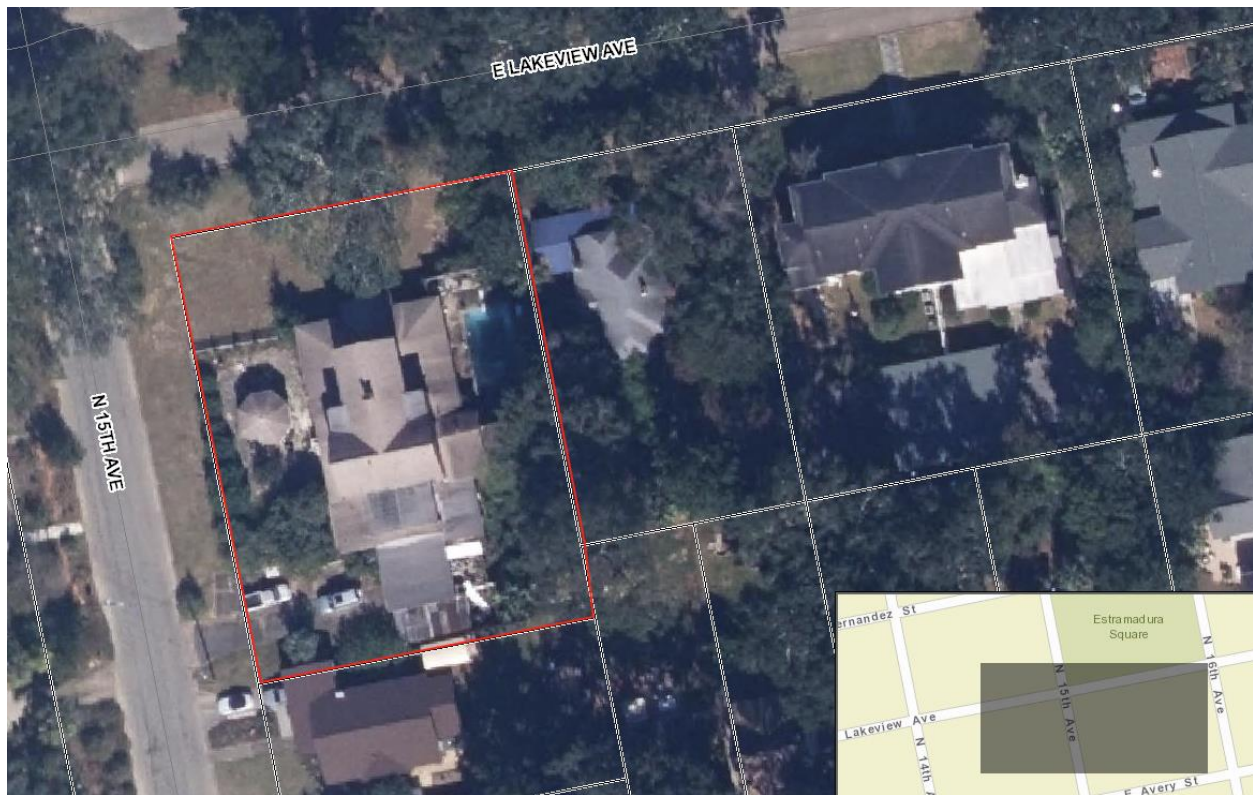


7/23/2015 12:00:00 AM

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Last Updated:07/27/2023 (tc.3042)

1501 E. Lakeview Avenue









City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 23-00597

Architectural Review Board

8/17/2023

TO: Architectural Review Board Members

FROM: Adrienne Walker, Cultural Resources Coordinator

DATE: 8/10/2023

SUBJECT:

110 E. Garden Street
Palafox Historic Business District / Zone C-2A / City Council District 6
Conceptual Review for a New Mixed-Use Development

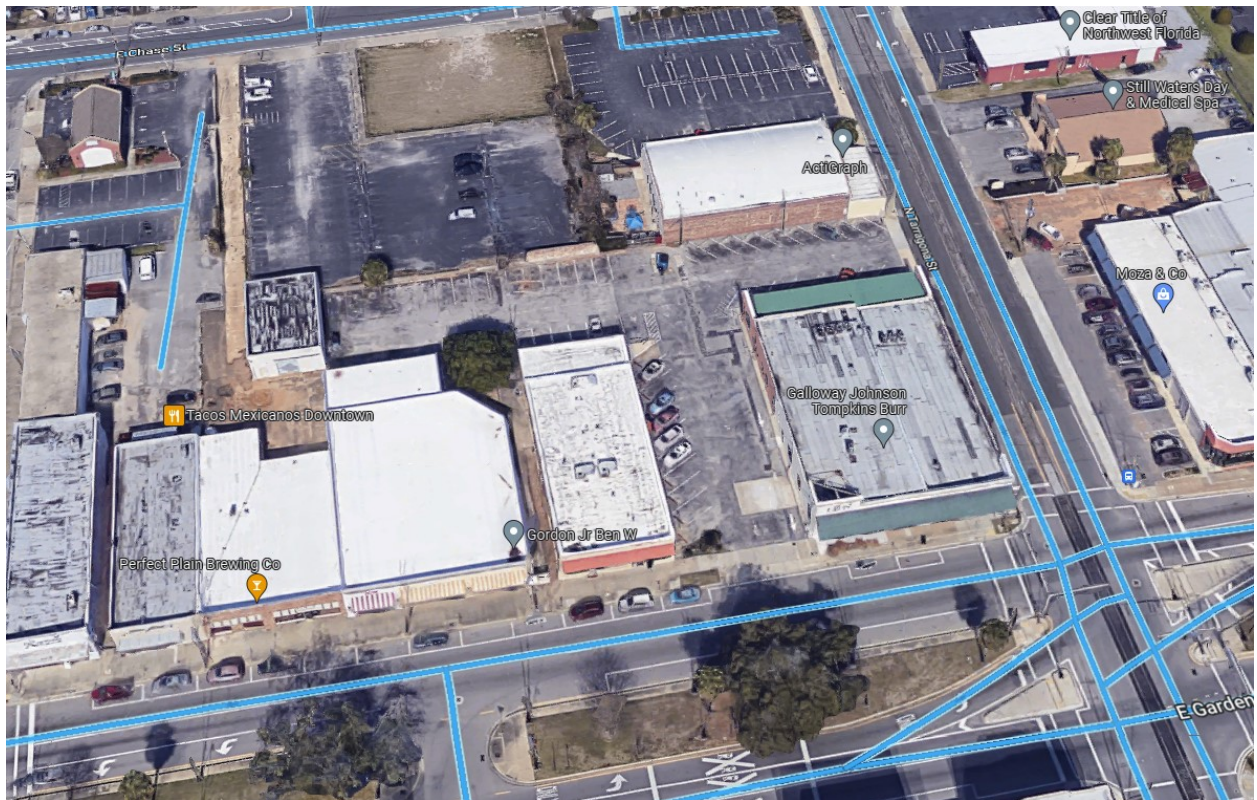
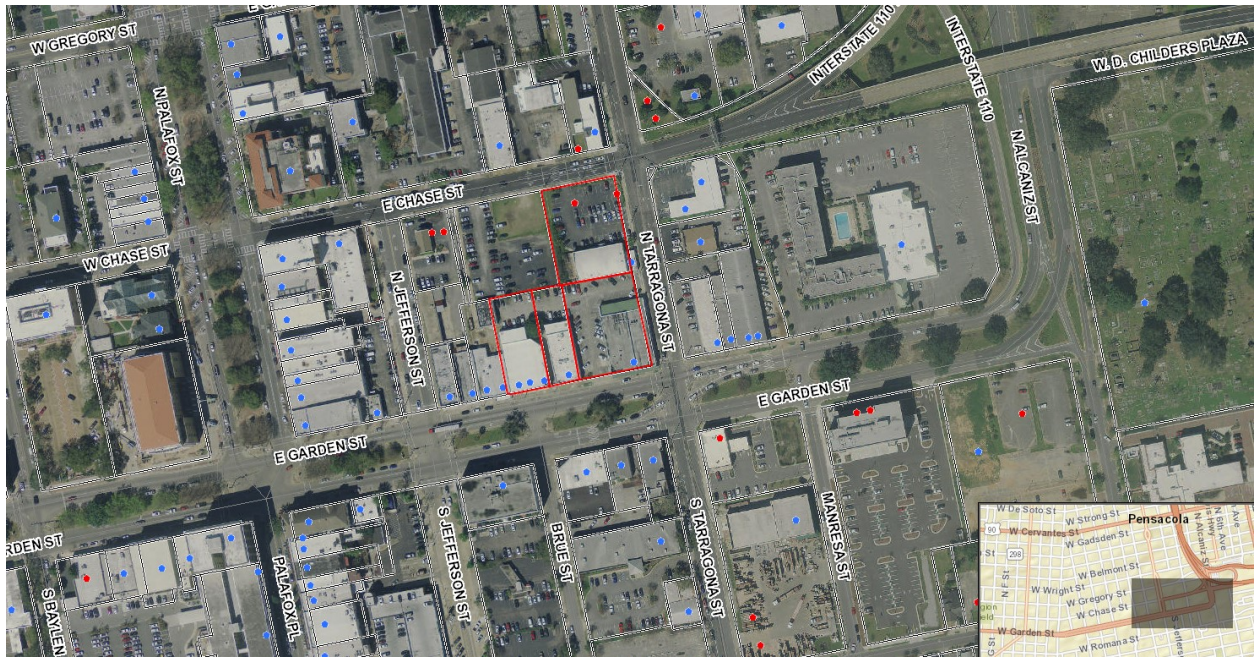
BACKGROUND:

STOA Group is seeking conceptual approval for a new six-story mixed-use building with parking, retail, and amenities. This project was reviewed at the November 2022 ARB meeting where demolition of the existing structures was approved and the conceptual approval for the new development was denied without prejudice. The proposed development includes parking on two levels, approximately 12,000 sf. of retail space at street level, amenities at levels one and two, and approximately 242 residential units on the upper four levels that surround two internal courtyards with amenities and pool access at level three.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)b. Palafox Historic Business District; Decision guidelines.
Sec. 12-3-27(f)(3) PHBD; Recommendation for changes.





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Reapplication Date: 07/27/2023

Application Date: 10/27/2022

Project Address: 110 East Garden Street

Applicant: STOA Group

Applicant's Address: 210 E. Morris Avenue, Suite 200 Hammond, LA 70403

Email: pbailey@stoagroup.com **Phone:** 225.414.1100

Property Owner: STOA Group

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

*****CONCEPTUAL REVIEW*****

~~Demolition of (4) existing structures at: 90,94,100 East Garden Street (one building), 102 and 118~~

~~East Garden Street and 17 North Tarragona Street~~ Approved by ARB at 11/17/2022 Meeting

New construction of a 6-story building w/ parking, retail and amenities located at podium levels.

4-stories of residential units with amenities above.

Resubmitting to ARB to respond to comments brought up at 11/17/2022 meeting

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

07/27/2023

Date

Planning Services

222 W. Main Street * Pensacola, Florida 32502

(850) 435-1670

Mobile: 850-435-1670 * Pensacola, Florida 32502



July 28, 2023

City of Pensacola
Members of the Architectural Review Board

Re: Request for Demolition Permit and
Conceptual Approval of Replacement
110 East Garden Street

Board Members,

STOA Group, the developer of the proposed project, is requesting conceptual approval of the design for 110 East Garden Street to accompany the demolition permit for existing contributing structures approved by the Architectural Review Board in the November 2022 meeting. This approval will allow us to move forward with the proposed six-story mixed-use building which sits on a 1.98-acre site. The building includes parking on two levels, approximately 12,000 sf of retail space at street level, amenities at levels one and two, and approximately 242 residential units on the upper 4 levels. The residential units surround two internal courtyards with amenities and a pool, accessed at level three.

The building structure will be a concrete podium at levels one and two with wood frame construction at levels three through six. The renderings provided illustrate the views both pedestrian and vehicular traffic will experience along East Garden, North Tarragona, and East Chase streets. Exterior materials and façade design are informed by the surrounding downtown area.

In response to the discussion at the November 2022 board meeting, we would like to point out several of the improvements we have made to the building:

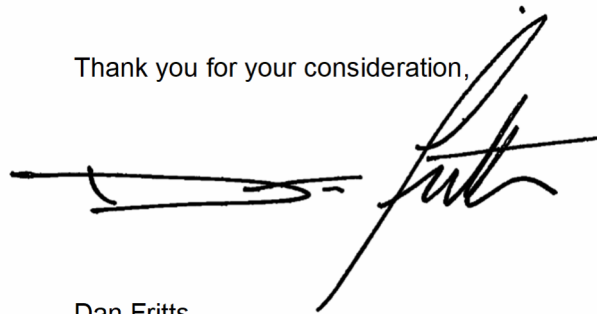
- Along Garden Street, we divided the retail facade into smaller units that better reflect the rhythm and pattern of the typical commercial streets in the district. Adding canopies and street elements help break the scale of the building down to human scale. We also varied the materials more in the upper residential portion to help reduce the feel of the overall scale of the building.
- At the Garden/Tarragona corner we stepped the enclosure back to allow more flow around the building and the possibility of a seating area if a restaurant or café were to be the tenant.
- Along Tarragona we set the building back to allow for a wider sidewalk. In addition to the potential café space at the Garden Street corner, we activated the facade by bringing our leasing and residential entry to the street. Similarly, we are adding co-working, small retail, or office space to the Chase/Tarragona corner. Having active program elements at the NE and SE corners will bring more life to this portion of Tarragona. In between the two corner elements, we pulled the parking garage back to allow the sidewalks to come

in under the building, which in turn allows for a landscape buffer along the street. This colonnade will create a unique pedestrian experience with planting and lighting.

- Per the previous discussion, we have greatly reduced the impact of the parking garage on the elevations. The garage entry, which aligns with an existing turning lane on Garden, now relates better to the rhythm of openings in the commercial base along Garden. Along Tarragona, the garage screened openings, are recessed from the street facade and have a planting bed in front of them. Along Chase, the openings match the scale of the commercial openings that we have along Garden. With these changes the garage becomes part of the rhythm and design of the overall building.
- We added brick detailing to the West facade as requested in the last meeting. We have kept this simple given our understanding that most of the NW corner will eventually be covered by a multi-level parking garage serving the hotel and that there are existing buildings to remain along the SW corner. We are still showing the potential for two murals to help with views down Garden and Chase streets.

We feel the revisions to the design reflect the intent of our previous conversation and we look forward to discussing this with you at our presentation.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Dan Fritts', with a long horizontal line extending to the left.

Dan Fritts

Mr. Fritz and Mr. MacInerney presented to the board. Chairperson Salter ask Assistant Planning & Zoning Division Manager Harding for the demolition criteria and he clarified demolition is considered in cases of economic hardship or unusual and compelling circumstances. The criteria for the board to consider are as follows: 1- historic/architectural significances of the structure, 2- importance of the structure to the integrity of the historic district, 3- difficulty or impossibility of reproducing such a structure through its design, structure, material, or unique location, 4- whether the structures are last remaining of their kind in the historic district, 5- whether there are future plans to reuse if demolition is approve and how those plans will affect the overall surrounding area (architecturally, archaeologically, historically, socially, culturally, aesthetically, and environmentally), 6- whether reasonable measures can be taken to protect or preserve the existing structure. Staff further clarified that no demolition permits may be issued until the final plans of the new structure(s) are approved. Chairperson Salter asked staff whether it would be appropriate for the board to look at the proposed plans of the new structure prior to deciding on the demolition since some criteria is dependent on the proposed plans of reusing the properties. Assistant Planning & Zoning Division Manager Harding agreed that looking at the proposed plans first would be appropriate if the board wished to do that. Advisor Pristera asked for clarification as to how these buildings are determined to be contributing and staff clarified that it is driven by the most recent records on file with the state Division of Historical Resources and if the structure is significant to the district. He further stated that the state's records do not list the subject structures as independently significant on their own merits but that they are significant to the district. He suggested a review of the original National Register application to see if the structures were originally considered contributing when the district was created. Chairperson Salter asked the board if anyone had an issue with looking at the proposed plans before the demolition and no one had issue. Board Member Ramos commented that as the buildings stand now, he has no issue with the demolition. Board Member Fogarty asked Advisor Pristera whether there were any significant aspects of these buildings that should be noted. Advisor Pristera replied that nothing was found to be significant. The board moved to the next item.

Item 14 110 E. Garden Street PHBD / Zone C-2A, City Council District 6
Conceptual Review for a New Mixed-Use Development

Action Taken: Denied without prejudice

STOA Group is seeking conceptual approval for a new six-story mixed-use building with parking, retail, and amenities. The current plans show a zero-lot line development where retail space will be provided at the ground level, parking on floors one and two, and residential units on floors three through six. The primary façade elements will be masonry with metal awnings along Garden and Tarragona. The conceptual west elevation will tie into the future developments to the west with murals and masonry relief. Since this is for conceptual review, a final review will be required at a later date. Mr. Fritz and Mr. MacInerney presented to the board. Mr. Fritz commented that the overall project is open to however the city would like the structure to contribute to the district and they are open to any and all suggestions. Chairperson Salter commented he does not think this proposed project would not have a significant impact on the area, just weighing what is there versus what is proposed. Mr. Fritz spoke on the overall project details. Chairperson Salter commented his concerns on the size and mass of the structure and how it is right up to the sidewalk. He further mentioned Southtowne Apartments on Romana Street and how they incorporated a large structure into downtown while also stepping it back from the sidewalk with various landscaping and walkway details. He thought the large structure of the proposed project in addition to the disguised parking garage façade will have a negative effect of the sidewalk. The garage openings, especially the Garden Street entrance, have

become the dominating features of those facades and re-working those elements were recommended. Mr. Fritz noted that the garage entrance came to his attention the other day and he was already planning to re-visit that feature of the building. He further commented that pulling back the parking on Tarragona Street would be difficult due to the parking plans and pulling back would cause them to lose almost an entire row of parking. Chairperson Salter replied that the applicant has the opportunity to create a rhythm or pattern that could be a compromise to the pedestrian experience. He further questioned the disguising of the parking garage to look like a store front and commented that the false storefront façade might not be an appropriate option for this project and to possibly look at different materials for that space. Mr. Fitz stated that they will explore other options for that. With regard to the west and north elevations, Chairperson Salter suggested that instead of using a cmu smooth surface, he recommended a veneer façade such as brick or something that would match the rest of the building. Board Member Fogarty echoed Chairperson Salter's comments about the false store front garage screening. She further commented that she liked the overall look of it. Mr. Fritz asked if the board had any suggestions on the Tarragona façade instead of the store front imitation. Board Member Ramos commented that these were good ideas but recommended to pick similar materials that are seen elsewhere downtown, but no specific style is strictly preferred. He further commented that his concerns greatly reflected Chairperson Salter's previously stated comments, and that he appreciated the effort that has been put into this development plan. He continued to say that it breaks the scale of Garden Street, and the parking garage entrance obstructs the flow of the street view. He recommended a different location to the parking garage. Mr. Belsinger responded that FDOT gave suggestions to the placement of the parking garage entrance and that guided the development decision. Mr. MacInerney further commented that the position of the garage entry/exit lines up with the Garden Street turn way and they placed it there to give the option of turning both ways. Board Member Ramos further commented that he understood the development team's concerns, but he looked forward to seeing what they can develop to make the pedestrian experience more fulfilling. He lastly echoed Chairperson Salter's comment about the mural façade working as their own feature and not depending solely on the mural. Chairperson Salter asked staff if the conceptual design needed to be approved before the demolition can be approved. Staff confirmed that the developer only has to present conceptual construction plans in order for staff to consider approving a demolition, but that final approval of construction-ready plans would be required for a demolition permit to be pulled for contributing structures.

With no further discussion, the board revisited the previous review item for the demolition of contributing structures.

Board Member Ramos motioned to approve the demolition of the existing structures. Board Member Fogarty seconded, and it carried 4-0.

With the demolition of the contributing structures approved, the board continued with the current item. **Chairperson Salter offered a motion of denial without prejudice, simply because there were a lot of factors that were needed to be addressed. He further commented that he believes the project will get there eventually, but based on the application versus what was discussed, he does not believe there is enough to grant conceptual approval. Conceptual approval implies a general acceptance of the project as presented. Board Member Ramos seconded the motion and commented that it is a great project, and he is excited to see what the applicants can develop from the board's comments. He hoped that when the applicants do come back, that the full board be present so there can be a full conversation.** He asked if the intention was to come back with another conceptual review, or for final, and the applicants preferred to come with another conceptual review, though they would need to consult with their clients. **The motion carried**

4-0.

Item 15 211 N. Palafox Street PHBD / Zone C-2A, City Council District 6
Demolition of a Non-Contributing Structure

Action Taken: Approved as submitted.

Carter Quina is requesting approval to demolish a noncontributing structure. The building in question is the Dennison Building, which was built in 1923, but has been significantly altered along the west façade. The applicant has submitted an inspection report to speak to the building's condition as well as a report of the building's history. A conceptual review of what will replace the building will be considered in the next agenda item.

Staff confirmed that they had originally thought the building to be contributing, but after further research and after consulting UWF Historic Trust staff and the original National Register of Historic Places packet which the district is based on, the building was actually shown to be noncontributing. Mr. Fowler and Mr. Quina presented to the board. Chairperson Salter commended the application for the efforts that have been shown in terms of discussing how the building is completely deteriorated and the efforts that went into trying to find historic elements within the structure.

Board Member Ramos motioned to approve the demolition. Board Member McCorvey seconded, and it carried 4-0.

Item 16 211 N. Palafox Street PHBD / Zone C-2A, City Council District 6
Conceptual Review for a New Construction

Action Taken: Approved as submitted.

Carter Quina is requesting conceptual review for new site improvements where the Dennison Building currently sits. These include new fencing, landscaping, and a new pavilion. The south wall of the Dennison Building is planned to remain, and the proposed pavilion will be designed to complement the surrounding structures on the site. The applicant is also proposing to add interpretive panels along the street front which highlight the history of the site and of the Dennison Building before it was heavily modified. Those items, along with final plans and details on all materials will follow at a later date.

Mr. Quina presented to the board. Board Member Ramos asked if the track material is the same as the playground safe rubberized material and Mr. Quina confirmed that it was. Board Member Ramos commented that he is excited to see the interpretive panels. Mr. Quina clarified that the tall fencing bordering the playing field will be a nylon netting and that they will be testing different materials and colors. Chairperson Salter commented that he appreciates the historic markers, and it would work to enhance the history of north Palafox. He continued that he is concerned with the proposed design of the pavilion due to the Spanish style not being prevalent along this portion of Palafox Street. Mr. Quina clarified that he was keeping with the arcade design from the gym façade and the courtyard façade on the corner of Palafox Street and Wright Street. Board Member Fogarty commented that if the roof from the gym would be visible through the fence it may tie the pavilion style into the site. She did not mind the structure as proposed. Board Member Ramos stated that he also didn't mind the pavilion style.

With no further discussion, **Board Member Fogarty motioned to approve the conceptual design as submitted. Board Member Ramos seconded, and it carried 4-0.**

Item 17 120 Church Street PHD / Zone HC-2, City Council District 6
Variance for Signage
Action Taken: Approved as submitted



PRESENT DAY AERIAL VIEW

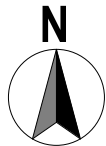
THE HEIGHTS AT EAST GARDEN DISTRICT

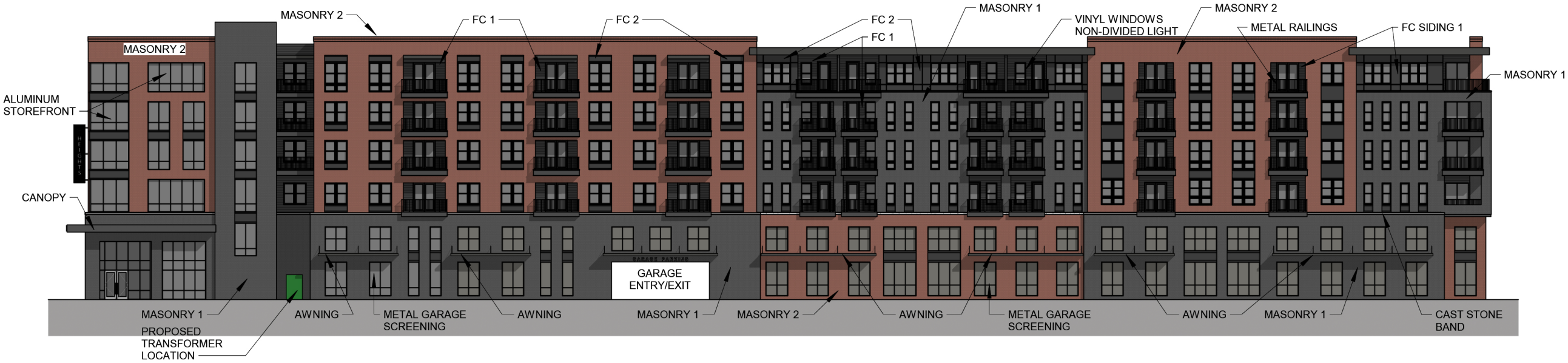
EXISTING CONDITIONS - AERIAL

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023

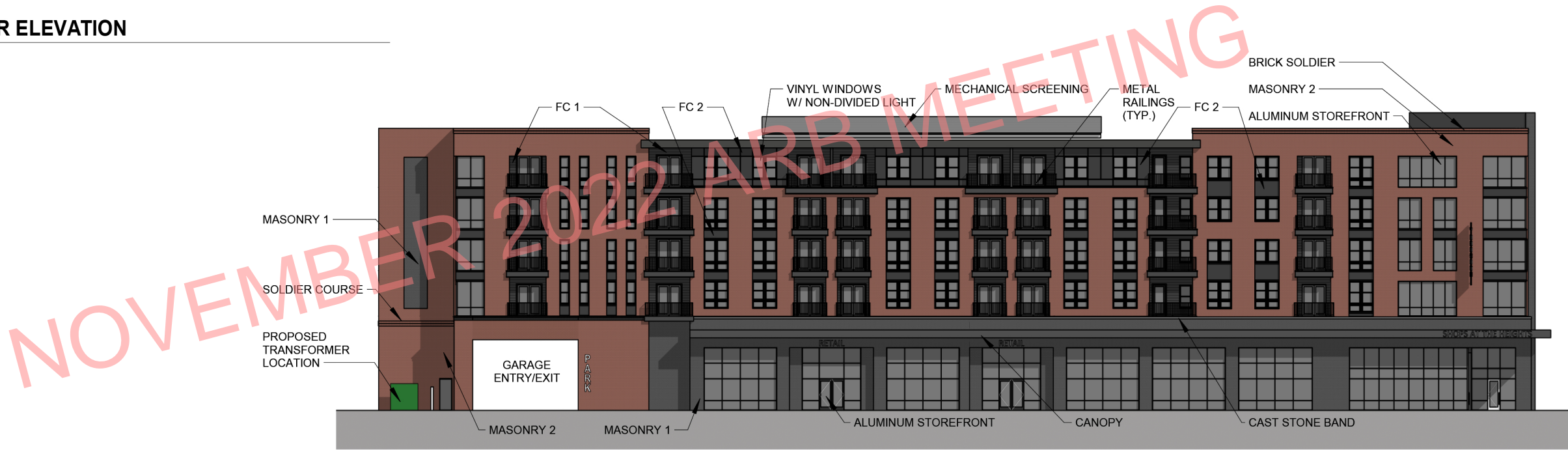


THE HEIGHTS AT EAST GARDEN
DISTRICT
PROPOSED SITE PLAN



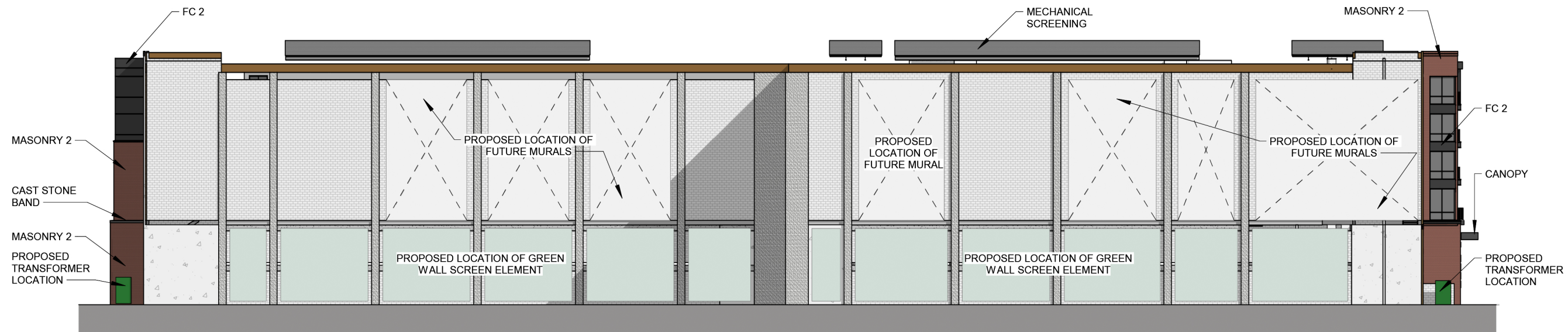


1 EAST OVERALL EXTERIOR ELEVATION
SCALE: 1/32" = 1'-0"



2 SOUTH OVERALL EXTERIOR ELEVATION
SCALE: 1/32" = 1'-0"

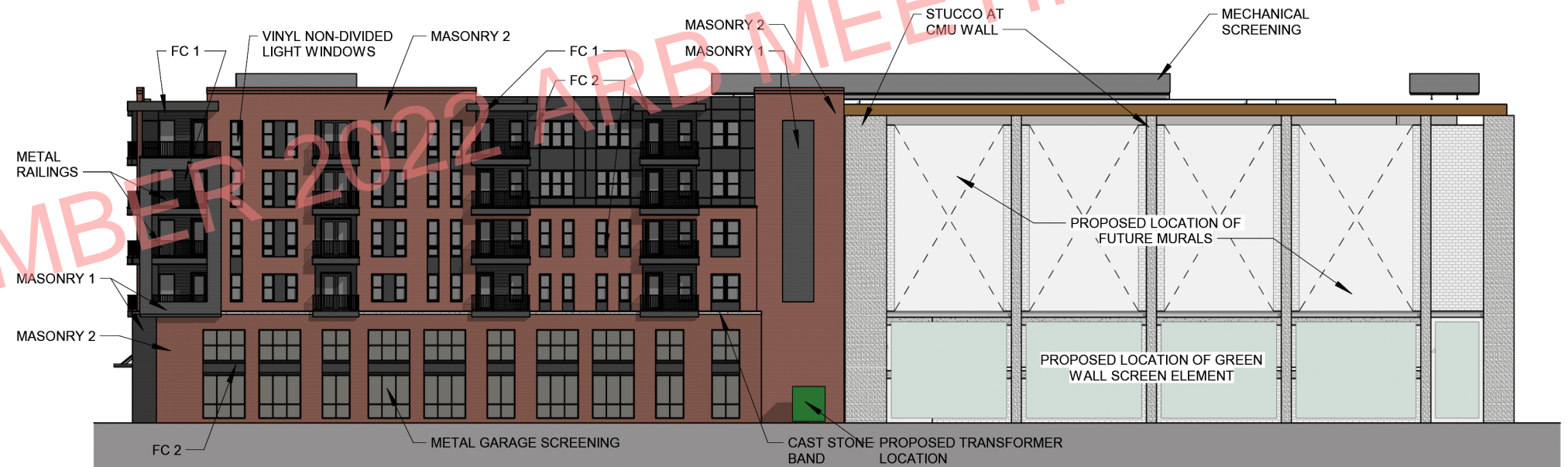
**THE HEIGHTS AT EAST GARDEN
DISTRICT
OVERALL ELEVATIONS**



1

WEST OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"



2

NORTH OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"

THE HEIGHTS AT EAST GARDEN DISTRICT OVERALL ELEVATIONS



SHEET NUMBER
A207



**THE HEIGHTS AT EAST GARDEN
DISTRICT**
RENDERING - SE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB SUBMISSION
ISSUE DATE: 10/27/2022



**THE HEIGHTS AT EAST GARDEN
DISTRICT**
RENDERING - NE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB SUBMISSION
ISSUE DATE: 10/27/2022



**THE HEIGHTS AT EAST GARDEN
DISTRICT**

RENDERING - GARDEN STREET VIEW

PROJECT NO: 22052
PROJECT STATUS: ARB SUBMISSION
ISSUE DATE: 10/27/2022



NORTHEAST AERIAL VIEW

THE HEIGHTS AT EAST GARDEN DISTRICT

AERIAL VIEW - NE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB SUBMISSION
ISSUE DATE: 10/27/2022



SOUTHEAST AERIAL VIEW

**THE HEIGHTS AT EAST GARDEN
DISTRICT**
AERIAL VIEW - SE CORNER



PROJECT NO: 22052
PROJECT STATUS: ARB SUBMISSION
ISSUE DATE: 10/27/2022

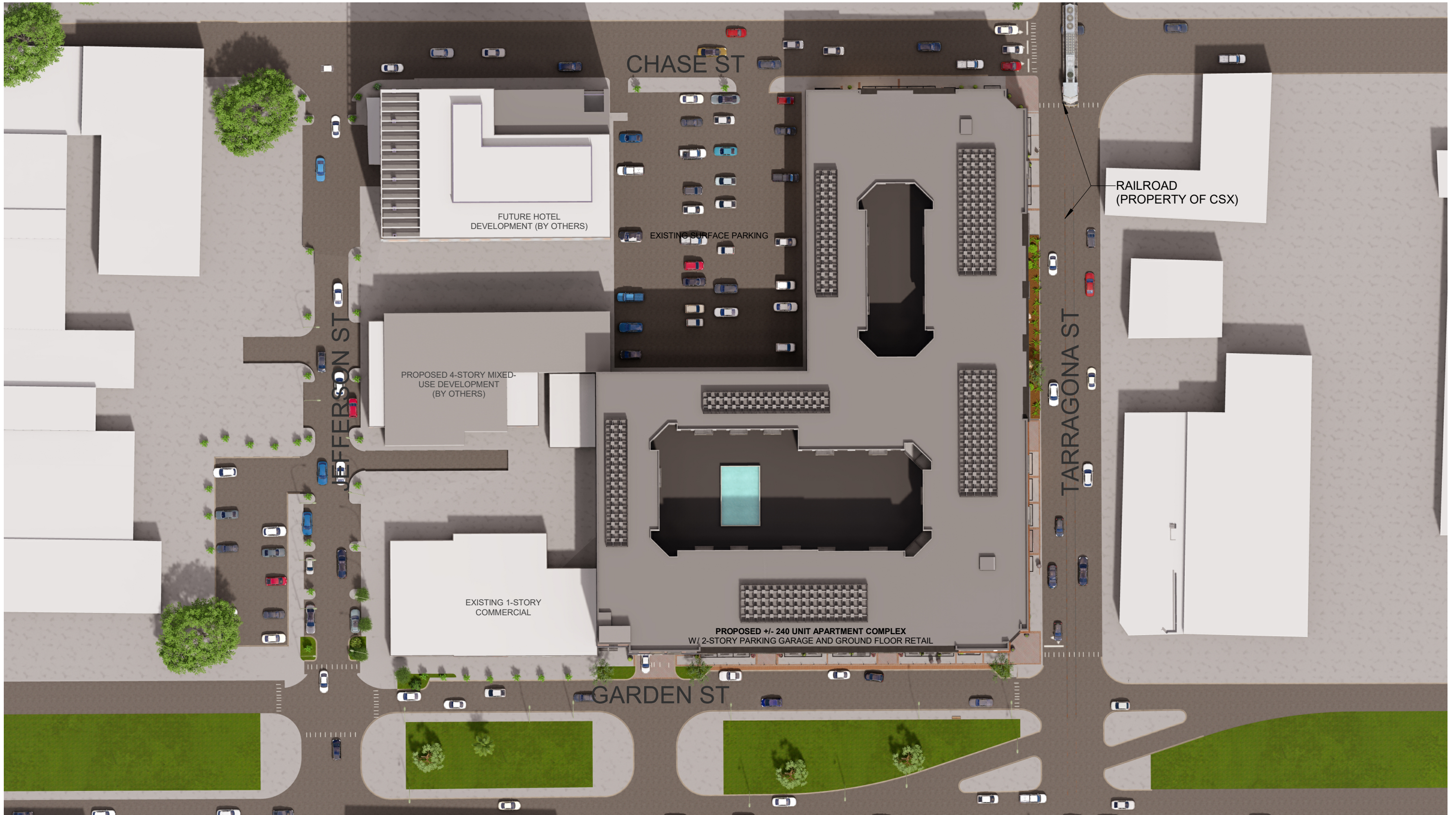


SHEET NUMBER
A212

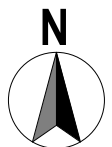
PRELIMINARY NEW CONSTRUCTION APPROVAL | MIXED USE RESIDENTIAL AND RETAIL DEVELOPMENT

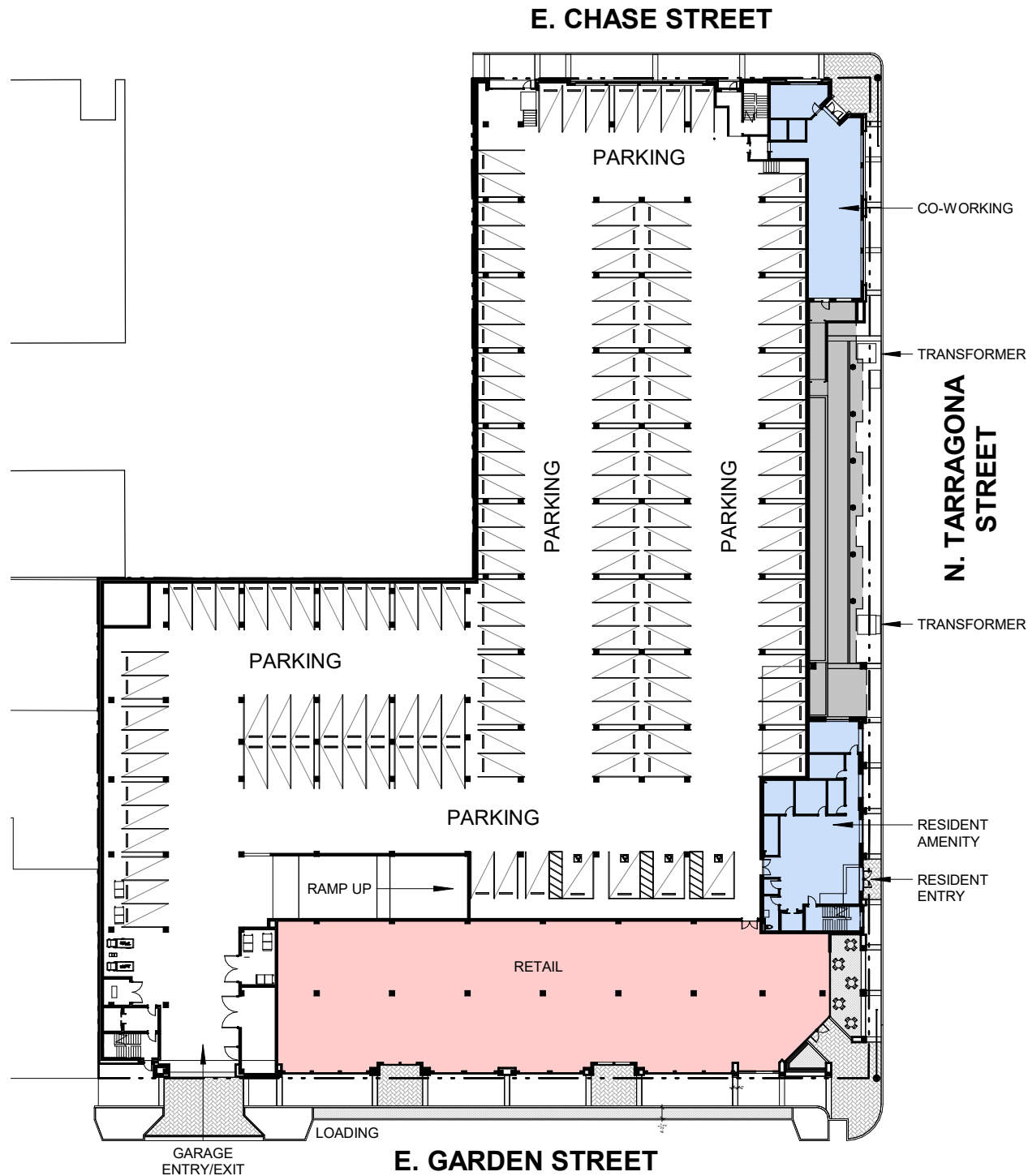
THE HEIGHTS AT EAST GARDEN
DISTRICT

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023



**THE HEIGHTS AT EAST GARDEN
DISTRICT**
PROPOSED SITE PLAN

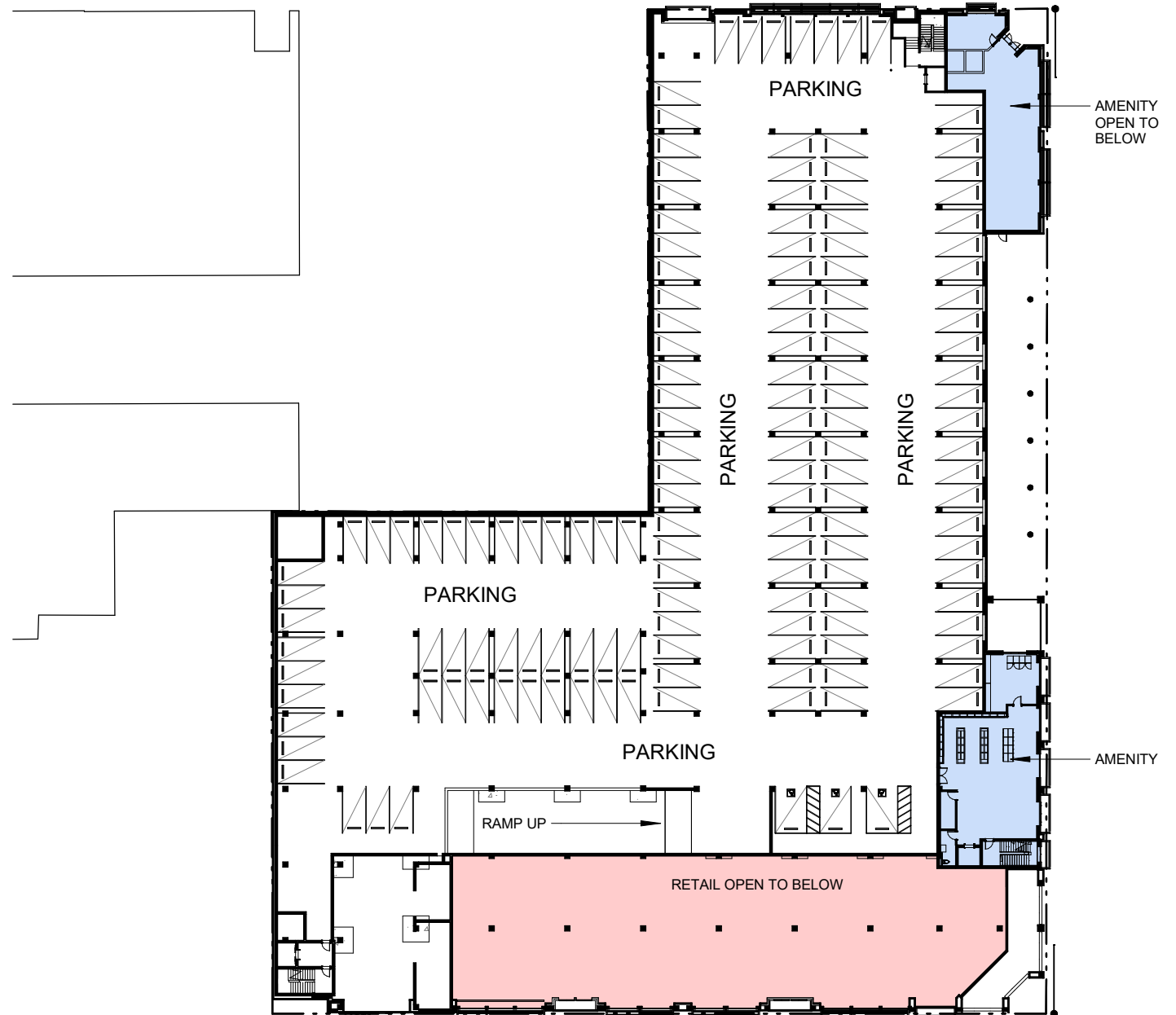




1

FLOOR PLAN - LEVEL 1

SCALE: 1" = 60'-0"



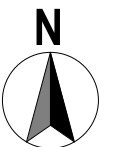
2

FLOOR PLAN - LEVEL 2

SCALE: 1" = 60'-0"

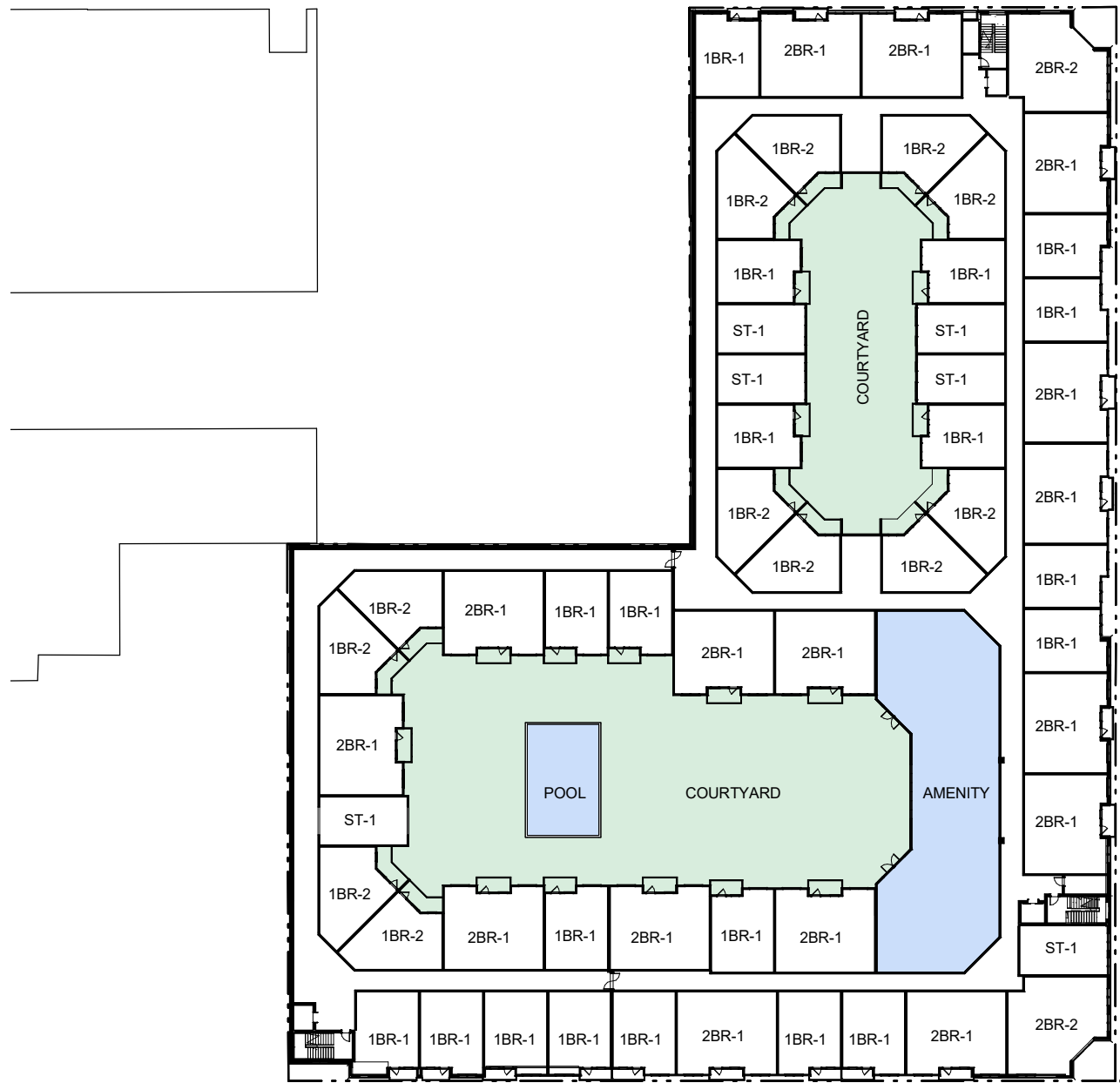
THE HEIGHTS AT EAST GARDEN DISTRICT FLOOR PLANS

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023

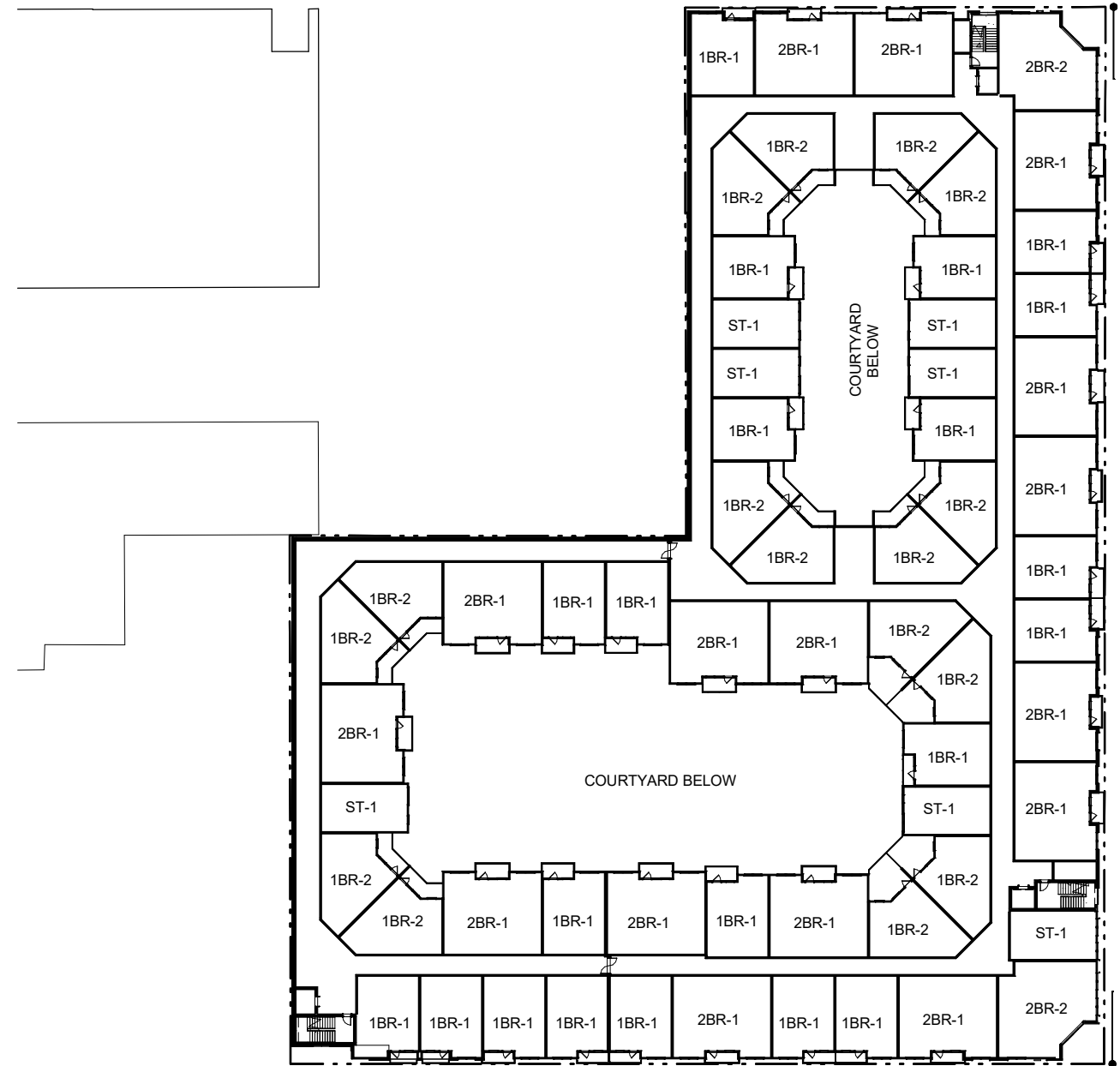


SHEET NUMBER

A202

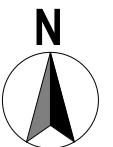


1 FLOOR PLAN - LEVEL 3
SCALE: 1" = 60'-0"



2 FLOOR PLAN - LEVELS 4/5/6
SCALE: 1" = 60'-0"

THE HEIGHTS AT EAST GARDEN DISTRICT FLOOR PLANS



UNIT MATRIX - 1B						
	STUDIO		1 BEDROOM		2 BEDROOM	
	ST-1	ST-2	1BR-1	1BR-2	2BR-1	2BR-2
UNIT NET AREA	545	526	636	693	1,027	1,061
UNIT GROSS AREA	582	566	677	740	1,082	1,117
TYP. BALCONY AREA	-	-	39	70	41	-
DEFINITIONS	UNIT NET AREA - THE AREA OF A UNIT THAT IS BOUNDED BY THE INSIDE FINISHED SURFACE OF THE PERIMETER WALLS OF THAT UNIT. UNIT NET AREA EXCLUDES BALCONIES AND INCLUDES UNFINISHED OR UNCONDITIONED SPACES, SUCH AS ATTACHED STORAGE CLOSETS.					
	UNIT GROSS AREA - THE AREA OF A UNIT BOUNDED BY THE CENTERLINE OF DEMISING WALLS, OUTSIDE FACE OF SHEATHING AT EXTERIOR WALLS, AND THE EXTERIOR FACE OF STUD OF A WALL BETWEEN THE UNIT AND AN ADJACENT COMMON AREA.					
	BALCONY AREA - MEASURED FROM EXTERIOR FACE OF EXTERIOR WALL TO EDGE OF BALCONY OR PATIO. NOTE THAT AREAS INDICATED ABOVE ARE FOR TYPICAL CONDITIONS ONLY AND MAY VARY ACROSS INDIVIDUAL UNITS.					

BLDG TYPE	LEVEL	ST-1	ST-2	1BR-1	1BR-2	2BR-1	2BR-2	
110 EAST GARDEN ST	1	-	-	-	-	-	-	-
	2	-	-	-	-	-	-	-
	3	6	-	20	12	16	2	56
	4	7	-	21	16	16	2	62
	5	7	-	21	16	16	2	62
	6	7	-	21	16	16	2	62
BLDG TOTAL		27	-	83	60	64	8	242
# OF BLDGS	1							
TOTAL		27	-	83	60	64	8	242

Parking

Units
Retail

Amount	Spaces	Prov.	Garage	Remote	total	
242 Units	278.3	100%	279	0	279	
12000 SF	16	100%	16	0	16	
Subtotal	294.3		295	0	295	

Total Needed

*Residential does not have required parking in this district

1st
2nd
Grade

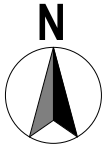
Required*			Garage Total
SPACES	HC	Total	
146	4	150	298
145	3	148	
7	0	7	
298	7	305	Total

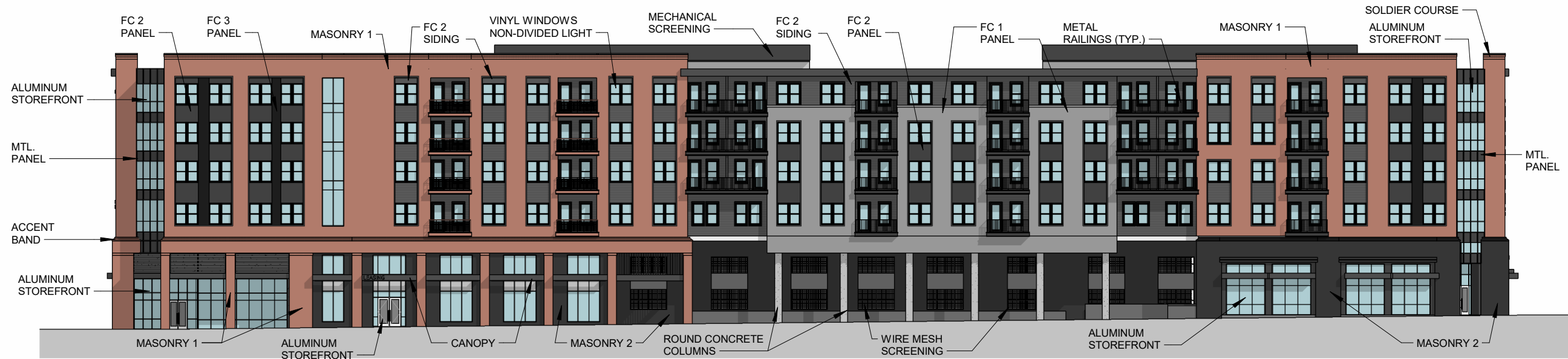
Assumptions

- 1. Business district is a 60% reduction, rather than 60% of total.
- 2. Residential Parking Set at 1.15 spaces per unit

Acc. Parking Req.	
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
>500	2%

THE HEIGHTS AT EAST GARDEN DISTRICT
PROJECT STATS

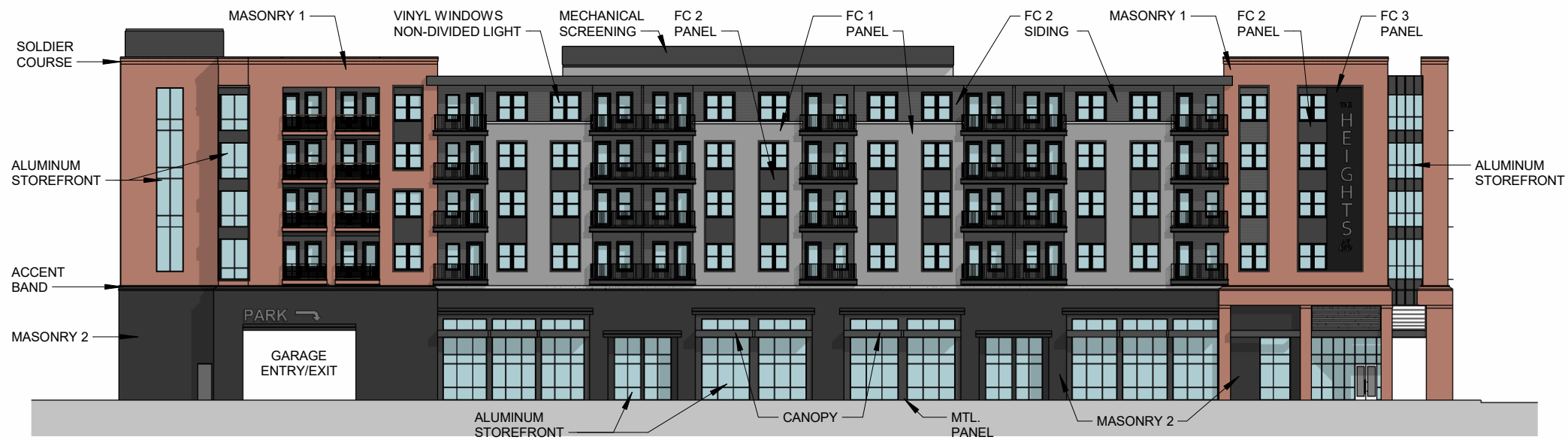




1

EAST OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"

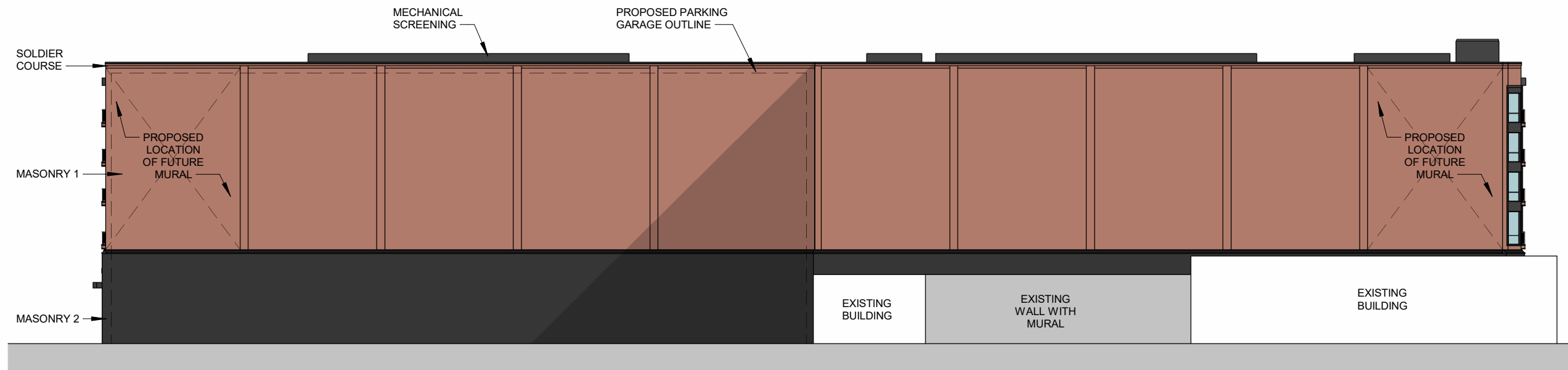


2

SOUTH OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"

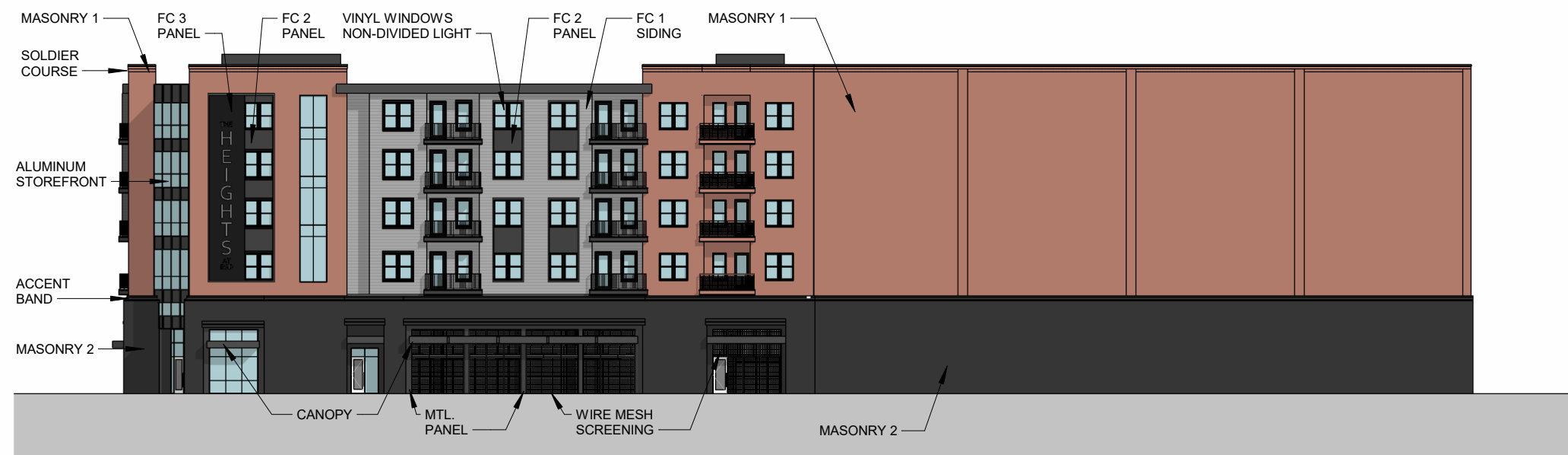
THE HEIGHTS AT EAST GARDEN DISTRICT OVERALL ELEVATIONS



1

WEST OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"

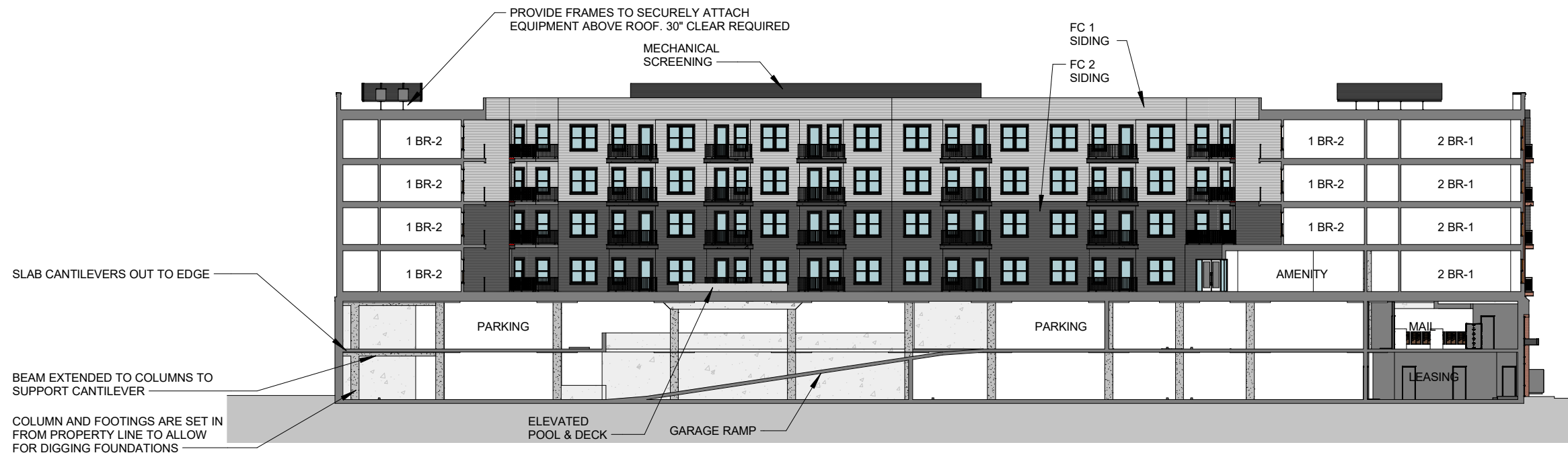


2

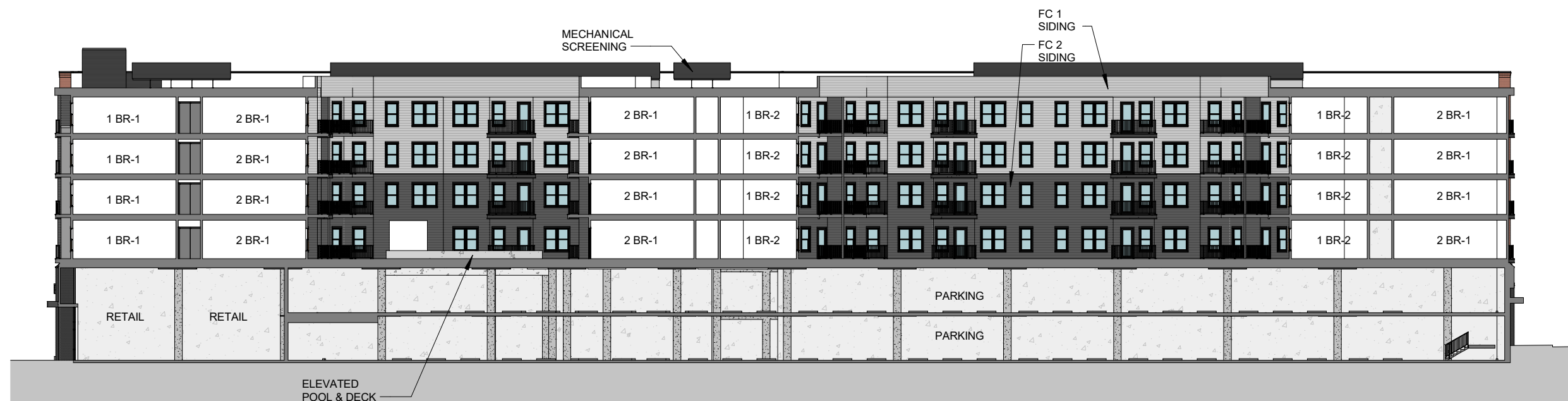
NORTH OVERALL EXTERIOR ELEVATION

SCALE: 1/32" = 1'-0"

THE HEIGHTS AT EAST GARDEN DISTRICT OVERALL ELEVATIONS



1 EAST - WEST SECTION THROUGH SOUTH COURTYARD
SCALE: 1/32" = 1'-0"



2 NORTH - SOUTH SECTION THROUGH COURTYARDS
SCALE: 1/32" = 1'-0"

THE HEIGHTS AT EAST GARDEN DISTRICT BUILDING SECTIONS

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023



**THE HEIGHTS AT EAST GARDEN
DISTRICT**
RENDERING - SE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023



THE HEIGHTS AT EAST GARDEN DISTRICT

RENDERING - GARDEN STREET VIEW

PROJECT NO: 22052
 PROJECT STATUS: ARB PRELIM SUBMITTAL II
 ISSUE DATE: 07/27/2023



THE HEIGHTS AT EAST GARDEN DISTRICT

RENDERING - NE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023



THE HEIGHTS AT EAST GARDEN DISTRICT

RENDERING - CHASE STREET VIEW

PROJECT NO: 22052
 PROJECT STATUS: ARB PRELIM SUBMITTAL II
 ISSUE DATE: 07/27/2023



NORTHEAST AERIAL VIEW

THE HEIGHTS AT EAST GARDEN DISTRICT

AERIAL VIEW - NE CORNER

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023



SOUTHEAST AERIAL VIEW

THE HEIGHTS AT EAST GARDEN DISTRICT

AERIAL VIEW - SE CORNER

FIFTH DIMENSION
ARCHITECTURE + INTERIORS LLC

stoagroup

PROJECT NO: 22052
PROJECT STATUS: ARB PRELIM SUBMITTAL II
ISSUE DATE: 07/27/2023

0 4' 8' 16' 32'
GRAPHIC SCALE: 1/16" = 1'-0"



SHEET NUMBER
A213