

City of Pensacola

Planning Board

Agenda

Tue	sday, Septeml	ber 14, 2021, 2:00 PM	Hagler-Mason Conference Room, 2nd Floor
(QUORUM / CAL	L TO ORDER	
APF	PROVAL OF I	MEETING MINUTES	
1.	<u>21-00750</u>	MINUTES FOR THE AUGUST 10,	2021 PLANNING BOARD MEETING
	Attachments:	Planning Board Minutes August	<u>10 2021</u>
REC	QUESTS		
2.	<u>21-00789</u>	REPEAL OF SECTION 12-3-65 - F PROHIBITED - OF THE CODE OF	
	Attachments:	Sec. 12-3-65 Parking for certa	in uses prohibited Proposed Amer
3.	<u>21-00742</u>	REQUEST FOR FUTURE LAND L FOR 1717 N. PALAFOX STREET	JSE AND ZONING MAP AMENDMENT
	Attachments:	Rezoning and FLUM Application	<u>1717 N. Palafox Street</u>
		<u>Review Comments 1717 N Pala</u>	fox Street
		<u>Current FLU</u>	
		<u>Current Zoning</u>	
		Proposed FLU	
		Proposed Zoning	
4.	<u>21-00743</u>	REQUEST FOR NON-RESIDENT ZONE - 518 WYNNEHURST STR	
	Attachments:	Nonresidential Parking in a Resi	idential Zone Application
		Section 12-3-93	
5.	<u>21-00747</u>	REQUEST FOR AESTHETIC REV DE LUNA REPAIRS	/IEW - 900 S. PALAFOX ST PLAZA
	Attachments:	<u>Plaza De Luna Repairs Applicat</u>	ion
		<u>900 S. Palafox St. Aesthetic Rev</u>	<u>view</u>

Planning Board		Agenda	September 14, 2021
6.	<u>21-00749</u>	AMENDMENT TO THE LAND DEVELOPMENT CODE (L 12-3.9 - REGULATIONS FOR THE NORTH HILL PRESE ZONING DISTRICTS - PR-2 MINIMUM LOT SIZE REQUI	RVATION
	Attachments:	<u>Sec12_3_1. Establishment_of_future_land_use_an</u> <u>PR-2 Table 12-3.9 Building Standards</u>	<u>d zoning di</u>
		<u>NHPD Parcels Zoning</u> <u>NHPD Parcels</u>	

OPEN FORUM

DISCUSSION

ADJOURNMENT

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



Memorandum

File #: 21-00750

Planning Board

9/14/2021

SUBJECT:

Minutes for the August 10, 2021 Planning Board Meeting



MINUTES OF THE PLANNING BOARD August 10, 2021

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Larson, Board Member Grundhoefer, Board Member Powell, Board Member Van Hoose, Board Member Villegas

- **MEMBERS ABSENT:** Board Member Sampson
- **STAFF PRESENT:** Assistant Planning Director Cannon, Historic Preservation Planner Harding, Assistant City Clerk Tice, Assistant City Attorney Lindsay, Senior Planner Statler, Capital Improvements Forte, Network Engineer Johnston, Help Desk Technician Russo
- **STAFF VIRTUAL:** Planning Director Morris
- **OTHERS PRESENT:** Jack & Cheri Sparks, Michelle MacNeil, Laurie Flynn Tankersley, Dickie & Jo Heckler, Clint Geci, Kevin Hagen

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from July 13, 2021.
 New Business:
- 525 Aragon Street Aesthetic Review Gateway Review District
- Request for License to Use Right-of-Way 1154 North 12th Avenue
- Request to Recommend a New Zoning District and Future Land Use Category for the Voluntary Annexation of One (1) Parcel Owned by AMR at Pensacola, Inc.
- Amendment to the Land Development Code (LDC) Allowing Density Transfer
- Open Forum
- Discussion
- Adjournment

Call to Order / Quorum Present

Chairperson Ritz called the meeting to order at 2:15 pm with a quorum present. Assistant City Clerk Tice swore in Board members Van Hoose, Villegas, Ritz, Larson and Grundhoefer. Board Member Larson nominated Board Member Ritz for Chairperson, seconded by Board Member Grundhoefer, and it carried 5 to 0; Board Member Grundhoefer nominated Board Member Larson for Vice Chairperson, seconded by Board Member Van Hoose, and it carried 5 to 0.

Chairperson Ritz explained the procedures of the Board meeting including requirements for audience participation.

<u>Approval of Meeting Minutes</u> - Board Member Larson made a motion to approve the July 13, 2021 minutes, seconded by Board Member Grundhoefer, and it carried 5 to 0.

New Business -

3. 525 Aragon Street – Aesthetic Review – Gateway Review District

Michelle MacNeil, Architect, is requesting approval for a new 2-story single-family residence with a detached garage and courtyard located at 525 Aragon Street. The structure provides a front and rear balcony as well as a pergola and patio/pool area between the residence and the detached garage. The Aragon Architectural Review Board approval letter was furnished to the Board. Staff clarified that Aragon was located within the Gateway Review District (GRD) and therefore reviewed by this Board.

Ms. MacNeil presented to the Board and explained this was a side-yard house in Aragon, and the client was hoping to build a principal building toward the front of the site and an outbuilding in the rear. Chairperson Ritz noted the comments from Mr. Crawford supporting the project and had nothing to add except that it was an aesthetically pleasing house. Board Member Grundhoefer agreed and made a motion to approve, seconded by Board Member Larson, and it carried 5 to 0.

4. Request for License to Use Right-of-Way – 1154 North 12th Avenue

(Board Member Powell was sworn in and joined the Board.)

Dickie Heckler is requesting approval for a License to Use (LTU) for eleven additional parking spaces within the Right-of-Way at 1154 North 12th Avenue. The additional parking being requested is in conjunction with a proposed new restaurant and includes an easement for a future City sidewalk.

Chairperson Ritz clarified the LTU would actually be on Brainerd Street. Mr. Geci presented to the Board and stated the previous use was a salon, but the current owner was converting the site to a restaurant which triggered an LTU for parking. They proposed gravel parking and addressed concerns of the Engineering Department. Chairperson Ritz explained that the applicants were requesting to use the LTU exclusively for their benefit to say they were their parking spaces, and they could control them, however, the City would still own the property. He pointed out other LTUs within that area and he had no issues with the LTU on Brainerd. He explained the Board's purview was to weigh the merits of an LTU on this parcel and not get in to the details of their site plans or parking count for this project and this meeting. He explained the City had been hesitant to have any LTU on the 12th Avenue thoroughfare.

Board Member Van Hoose verified that the LTU would change the parking lot from grass to gravel with wheel stops. Mr. Geci advised the change was to make it a more permanent parking area. Chairperson Ritz advised this item was in a C-1 zone as opposed to residential. Mr. Geci stated anything new that they proposed would require a permanent surface, and it was requested to be gravel. He stated if they could keep it as grass, they would entertain that, but Engineering had requested it be gravel. Chairperson Ritz stated anything allowed by the City for that size parking lot would be allowed since the Board could not change the LDC for parking lot design. Staff advised the Board was giving the applicant a recommendation for permission to go forward and apply to use this land since

it was City right-of-way. A recommendation could include working with Engineering for some alternative other than gravel alone. Assistant City Attorney Lindsay stated the Board's recommendations were welcome and could be considered. Staff advised Section 12.4.3(2)(b) stated parking lots with ten or less parking spaces may be surfaced with alternative surface materials which included crushed stone, gravel, or other suitable materials. Chairperson Ritz advised the Board's recommendation would be forwarded to Council to accept, reject, or modify. Mr. Geci indicated the Engineering comments involved delineating the parking slots with treated timbers. Staff advised Engineering was making sure the easement was properly recorded for pedestrian ingress, egress and conveyed to the City – there was an easement on this in case the City desired to have a sidewalk in the future. Board Member Villegas did not have a problem with the gravel but was concerned with extra gravel and areas having water runoff. Chairperson Ritz stated when going for construction permits, that issue would be reviewed by City staff since this Board did not Mr. Geci explained the stormwater threshold had been review stormwater issues. reviewed, and they were below the threshold for impervious surface.

Ms. Sparks, owner of the property next door, advised her building was formerly doctors' offices. She now has five clinicians and mental health counselors who see clients in this building. She was concerned when the effect of COVID goes away, crowded parking will return with the new project becoming a restaurant. She asked if she was allowed designated parking in front of her business and how many tables and staff would there be in the new business. Chairperson Ritz offered that the parking along 12th Avenue does not have LTUs, and she could not place signs along 12th Avenue. The number of tables in the restaurant belonged in the permitting process in determining tables to parking spaces. The Board's purview was to determine if the LTU was appropriate for Brainerd Street. Since her business had no parking, she relied on City right-of-way parking, and it was in a neighborhood where that occurred frequently. Staff clarified that since the parking spaces on 12th Avenue were adjacent to the applicants property, they would be allowed to count those spaces toward the required parking requirement, and the LTU was necessary to meet the LDC parking requirements. The LTU spaces could be controlled, but they would not be able to claim the 12th Avenue spaces for their use only.

Mr. Sparks asked about speaking to this item after the meeting, and Chairperson Ritz stated the only time this Board would discuss this item was during this meeting. The Board would make a recommendation, and the item would proceed to Council for consideration.

Mr. Heckler, co-owner of the 1154 property, stated the City indicated they had to pave, rock, or shell the LTU parking area as well as insure it; they were happy to comply and appreciated the opportunity to be in East Hill.

Board Member Grundhoefer made a motion to approve the LTU with the recommendation to Council that they work with City Engineering to allow for grass parking in lieu of gravel. Chairperson Ritz clarified the motion was to approve the LTU with the direction to ask the City Engineering staff to look into allowing grass in place of the gravel parking. Staff advised the previously stated Section12.4.3(2)(b) referred to parking lots. Chairperson Ritz indicated the way the City applied this section, if the LTU were approved, it would become a parking lot. The motion was seconded by Board Member Powell and carried 6 to 0.

5. Request to Recommend a New Zoning District and Future Land Use Category for the Voluntary Annexation of One (1) Parcel owned by AMR at Pensacola, Inc.

AMR at Pensacola, Inc. officially requested Annexation into the City of Pensacola on June 1, 2021. The requested parcel is located on the southeast corner of the intersection of West Blount Street with North Pace Boulevard which is in an unincorporated portion of Escambia County. The proposed area for annexation is on the west border of the City and is referred to as "AMR Annexation Area."

The AMR Annexation Area is contiguous to the City and encompasses approximately forty-four-hundredths (0.44) acres. Staff advised the request was simultaneously going before Council for 2nd reading, and the zoning and future land use goal was to be as compatible with the surrounding area as possible (the City area). R-2 zoning regulations Section 12-3-6 – Residential/office land use district, were read to the Board.

Chairperson Ritz stated he believed the intent was to build tiny homes for affordable housing on this site. It was determined this item would go as a recommendation to Council.

Mr. Hagen, President of the Board of Directors for AMR at Pensacola, Inc., advised they were gifted this property from Baptist Hospital, and their intent was to build eight (8) tiny homes. The R-2 designation made sense and worked with their plans. He advised with the annexation zoning established, they would be ready to proceed after the 2nd reading from Council. Staff confirmed the Board was solely approving the zoning district, and annexation was proceeding in Council; after annexation was complete and zoning in place, the applicants were set to move forward with their site planning. The Board's focus was on the compatibility of the surrounding zoning which was R-2 and office. Planning Director Morris clarified that the City's LDC already allows for tiny homes not by a specific reference but through our cumulative zoning and density allowances. Inspections submitted the appendix to the Building Code and Council approved it. That allows for tiny homes under the Building Code. State Statute requires that we bring annexed property under the City zoning or future lane use districts.

Board Member Van Hoose wanted to make clear that the Board was voting to determine zoning for land currently in the county. Assistant City Attorney Lindsay advised the Board was making a recommendation of a zoning designation for land that is to be annexed; Council would make the final determination.

Board Member Grundhoefer recommended R-2 as appropriate zoning, seconded by Board Member Larson, and it carried 6 to 0.

6. Amendment to the Land Development Code (LDC) – Allowing Density Transfer

Staff stated the Board approved Amendments to the Comprehensive Plan to provide for density transfers between parcels as an additional means to provide flexibility within areas where redevelopment and/or affordable housing was desirable. Per Objective FLU 1.8 and 1.8.3, density transfers shall be a direct transfer of unutilized density from a donor site to a receiving site, subject to the City's land development and density transfer regulations. A draft of what was approved in July 2019 was given to the Board. When changes are made to the Comprehensive Plan which sets the vision for the City, those changes are reviewed by the Department of Economic Opportunity (DEO) for the State. At that time, the DEO had asked for more specifics in the Comprehensive Plan amendments; the LDC amendments mirror what was approved in the Comprehensive Plan. In order to implement the FLU in the Comprehensive Plan, you must also update the LDC. Chairperson Ritz explained that a landowner might have a parcel that might be undesirable, and they want to take the available residential units on that property and transfer them to a piece of property which may be more desirable – the donor piece gives

up its units to the receiver piece. The Board had approved the Comprehensive Plan language and was now including that language into the LDC to become codified. Board Member Grundhoefer questioned the recent Density Bonus only going before the Building and Inspections Department. Assistant Planning Director Cannon explained that was because of the green building design which was approved by that department. The language states that "all density bonuses and density transfers shall be approved by the City Planning Board." Appeals would proceed to the Council. Green Building Design proceeds to the Building and Inspections Department. Board Member Villegas inquired about the process for the sites to transfer. Staff advised it there were 35 dwelling units per acre, you can get a 10% density transfer which would add 3.5 more units if you demonstrate you have superior site design. The goal is to incentivize someone to come forward with a high-quality product. It would also promote a more compact and better design. Chairperson Ritz indicated the City was primarily built out, but there might be places people felt were underutilized and should have that density elsewhere. He explained that Council has asked that the Board itemize the rationale for approval or disapproval of these transfers. This applies to Medium Density Residential and greater and does not take away from the Low Density Residential. Board Member Grundhoefer pointed out the language stated approved for superior buildings and site design and preservation of archaeology and environmentally sensitive lands - listing all of the above criteria.

Vice Chairperson Larson made a motion to approve, second by Board Member Grundhoefer, and it carried 6 to 0.

Open Forum -

Discussion – Vice Chairperson Larson welcomed the new members and was glad to see such a diverse group serving on the Board.

<u>Adjournment</u> - With no further business, Chairperson Ritz thanked the Board and adjourned the meeting at 3:20 pm.

Respectfully Submitted,

Cynthia Cannon, AICP Assistant Planning Director Secretary to the Board



Memorandum

File #: 21-00789	Planning Board	9/14/2021

TO: Planning Board Members

FROM: Cynthia Cannon, AICP, Assistant Planning Director

DATE: 9/10/2021

SUBJECT:

REPEAL OF SECTION 12-3-65 - PARKING FOR CERTAIN USES PROHIBITED - OF THE CODE OF THE CITY OF PENSACOLA

BACKGROUND:

On September 9, 2021 City Council referred to the Planning Board a proposed repeal of Section 12-3-65 - Parking for certain uses prohibited - of the Land Development Code. Currently within City code, there are two (2) duplicative sections; 11-2-24 and 12-3-65 - Parking for certain uses prohibited.

At the same meeting, City Council approved an ordinance on first reading that, upon adoption, will amend Section 11-2-24 of the City Code to add clarity to the language regulating "parking for certain uses". As the temporary parking of vehicles, and associated mobile activities is not related to zoning and is not the actual development of land, Chapter 11 "Traffic and Vehicles" is the more appropriate location for these requirements. In order to remove the duplicative language, and avoid creating conflict between the two Code sections, it is necessary to repeal Section 12-3-65.

Sec. 12-3-65. Parking for certain uses prohibited.

No person shall park a vehicle upon any street, right-of-way, vacant lot or parking lot for the principal purpose of:

- (1) Displaying such vehicle for sale;
- (2) Washing, greasing or repairing such vehicle, except repairs necessitated by an emergency;
- (3) Displaying advertising;
- (4) Selling merchandise from such vehicle except in a duly established marketplace or when so authorized or licensed under the ordinances of this municipality; or
- (5) Storage for more than 24 hours.

(Code 1986, § 12-2-42; Ord. No. 9-96, § 11, 1-25-1996; Ord. No. 04-06, § 1, 2-9-2006)

Created: 2021-07-01 13:40:00 [EST]



Memorandum

File #: 21-00742	Planning Board	9/14/2021
то:	Planning Board Members	
FROM:	Cynthia Cannon, AICP, Assistant Planning Director	
DATE:	9/7/2021	

SUBJECT:

Request for Future Land Use and Zoning Map Amendment for 1717 N. Palafox Street

BACKGROUND:

Donald and Linda Lindsey, Trustees, are requesting a Future Land Use Map (FLUM) and Zoning Map Amendment for the property located at 1717 N. Palafox Street and identified by parcel number 00-0S-00-9010 -001-101. The property is currently zoned R-1AAA, Low-Density Residential Zoning District and the existing Future Land Use (FLU) designation is LDR, Low Density Residential. The applicant is proposing to amend the zoning district to R-1A, Medium Density Zoning District and the FLU to MDR, Medium Density Residential.

Existing Zoning	Proposed Zoning	Existing FLU	Proposed FLU	Total Acreage
R-1AAA	R-1A	LDR	MDR	.74

- R-1AAA (*existing* zoning) The low density residential land use district is established for the purpose of providing and preserving areas of single-family, low intensity development at a maximum density of 4.8 dwelling units per acre in areas deemed suitable because of compatibility with existing development and/or the environmental character of the areas.
- R-1A (*proposed* zoning). The medium-density residential land use district is established for the purpose of providing a mixture of one- and two-family dwellings with a maximum density of 17.4 dwelling units per acre. Recognizing that, for the most part, these zoning districts are located in older areas of the city, the zoning regulations are intended to promote infill development which is in character with the density, intensity and scale of the existing neighborhoods.
- LDR (<u>existing</u> FLU) 5 or fewer residential dwelling units per acre.

• MDR (*proposed* FLU) 18 or fewer residential dwelling units per acre.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.

Conventional Rezoning Application Fee: \$2,500.00 Rehearing/Rescheduling (Planning Board): \$250.00 Rehearing/Rescheduling (City Council): \$750.00 Applicant Information: Name: Olde City Developers, LLC Address: 212 West Intendencia St, Pensacola, FL 32502	Email: cliberis@liberislaw.com
Conventional Rezoning (<10 acress \$3,500.00 Application Fee: \$2,500.00 \$3,500.00 Rehearing/Rescheduling (Planning Board): \$250.00 \$250.00 Rehearing/Rescheduling (City Council): \$750.00 \$750.00 Applicant Information: \$750.00 Name: Olde City Developers, LLC Address: 212 West Intendencia St, Pensacola, FL 32502 Phone: 850-438-9647 Fax: Fax: 850-433-5409 Featorial formation: Owner Name: Donald R. & Linda B. Lindsey, Trustees Location/Address: Westerly portion of 1717 North Palafox S Parcel ID:	s) □ (≥ 10 acres) \$3,500.00 \$250.00 \$1,000.00 Date: August 9, 2021 Date: August 9, 2021 Bmail: cliberis@liberislaw.com Phone: 850 712-7000 Phone: 8
Name: Olde City Developers, LLC Address: 212 West Intendencia St, Pensacola, FL 32502 Phone: 850-438-9647 Fax: 850-438-9647 Fax: 850-433-5409 Property Information: Owner Name: Donald R. & Linda B. Lindsey, Trustees Location/Address: Westerly portion of 1717 North Palafox S Parcel ID: - - Zoning Classification: Existing R-1AAA Future Land Use Classification: Existing LDR Reason Rezoning Requested:	Email: cliberis@liberislaw.com Phone: 850 712-7000 St. See (survey) Acres/Square Feet: Proposed R-1A
Phone: 850-438-9647 Fax: 850-433-5409 Fax: Property Information: Owner Name: Donald R. & Linda B. Lindsey, Trustees Location/Address: Westerly portion of 1717 North Palafox S Parcel ID: - - Zoning Classification: Existing R-1AAA Future Land Use Classification: Existing LDR Reason Rezoning Requested:	Email: cliberis@liberislaw.com 850_712-7000 Phone:850_712-7000 St. See (survey) Acres/Square Feet: Proposed_R-1A
Property Information: Owner Name: Donald R. & Linda B. Lindsey, Trustees Location/Address: Westerly portion of 1717 North Palafox S Parcel ID:	850 712-7000 Acres/Square Feet: Proposed R-1A
Owner Name: Donald R. & Linda B. Lindsey, Trustees Location/Address: Westerly portion of 1717 North Palafox S Parcel ID:	St. See (survey) Acres/Square Feet: Proposed_R-1A
Parcel ID:	Acres/Square Feet: Proposed_R-1A
Zoning Classification: Existing R-1AAA Future Land Use Classification: Existing LDR Reason Rezoning Requested:	Proposed R-1A
Zoning Classification: Existing R-1AAA Future Land Use Classification: Existing LDR Reason Rezoning Requested:	Proposed R-1A
Future Land Use Classification: Existing LDR Reason Rezoning Requested:	Proposed MDR
Reason Rezoning Requested:	· · · · · · · · · · · · · · · · · · ·
Required Attachments: (A) Full legal description of property (from deed (B) General location map with property to be rez	
The above information, together with all other answers and information provi in the subject application, and all other attachments thereto, is accurate and co and beneficial of this day of <u>Bocusigned by:</u> Applicant Signature	ided by me (us) as petitioner (s)/applicant (s) omplete to the best of my (our) knowledge
Applicant Name (Print) Owner Name (Print)	
Sworn to and subscribed to before me this day of	, 20
Name: C	Commission Expires:
FOR OFFICE USE ONLY	
ncil District: Date Received:	Case Number:
e Postcards mailed:Planning Board Date:	Recommendation:
nmittee Date: Council Date:	

PROJECT OVERVIEW

This application seeks to rezone and change the Future Land Use on seven (8) lots located at the northeast corner of Mallory and Baylen Streets. The eight lots were the combination of three separate purchases. The first purchase consisted of lot 1 thru 5 and lot 30 as depicted on survey job 20-12852-S-1 dated August 11, 2020. The second purchase consists of only lot 29 and identified as job 20-12851-S-1 also dated August 11, 2020 and the third purchase added lot 28 for a total of eight lots. The attached survey identifies all as lots 1,2,3,4,5,28,29, and 30 block 101. Taken together, the three purchases represent those areas that are comprised as lots 1,2,3,4,5,28,29 and 30 that make up the combined descriptions in the application request.

These 8 lots are currently zoned as R-AAA and the application requests a change to R-1A. Combined with the Future Land Use change from LDR to MDR creates a transitional zone effect comprised of the surrounding and existing R-1AAA zoned properties to the north, west and south of the site together with Low Density Future Land Use designated properties located west of the site.

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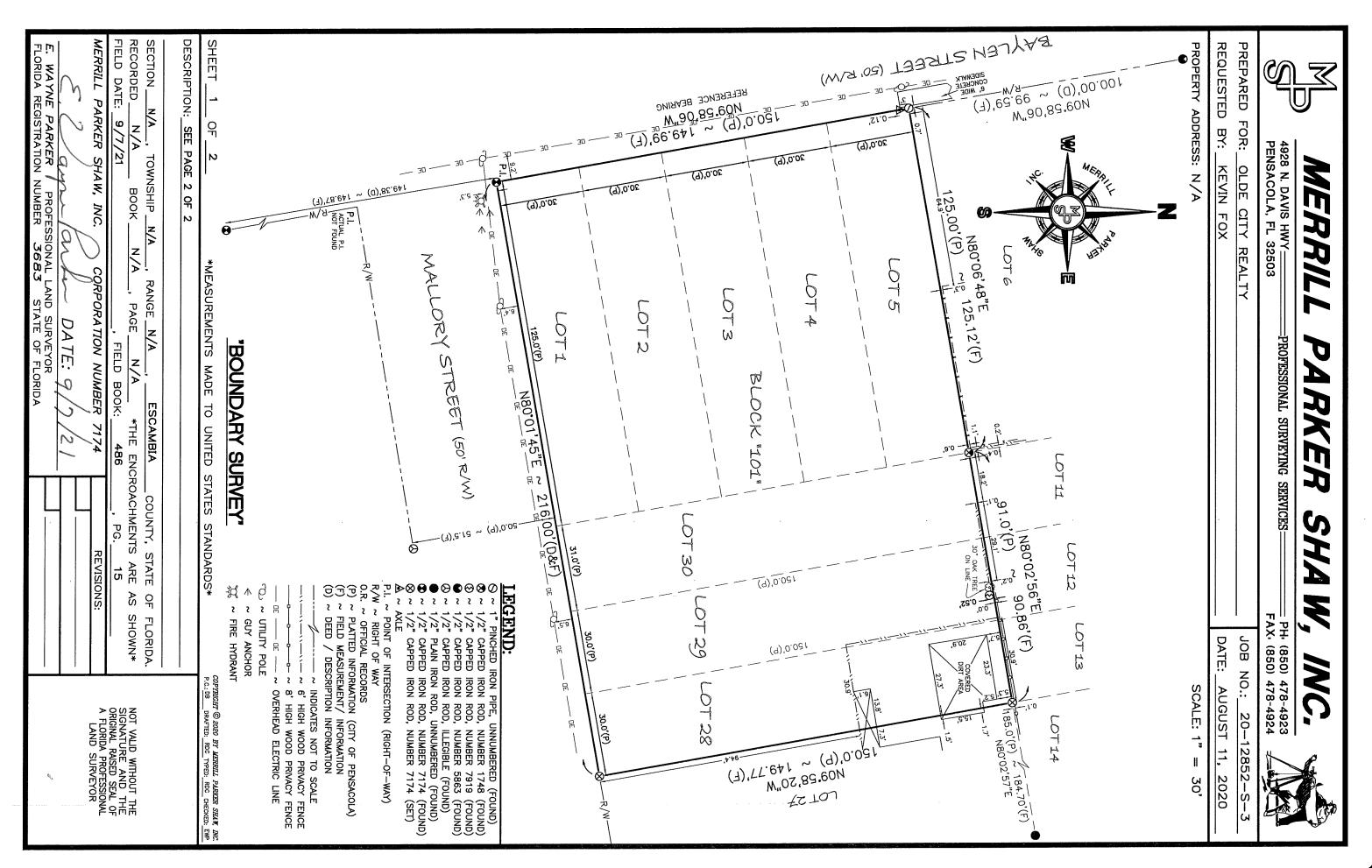
Phone: (850) 478-4923 • Fax: (850) 478-4924 4928 N. Davis Hwy. • Pensacola, FL 32503



DESCRIPTION:

LOTS 1-5 AND LOTS 28-30, ALL IN BLOCK 101, BELMONT TRACT, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.

Merrill Parker Shaw, Inc. Professional Surveying Services 4928 North Davis Highway Pensacola, FL 32503 Phone: (850) 478-4923 Fax: (850) 478-4924



LOTS 1 TO 5, INCLUSIVE, AND LOTS 28 TO 30, INCLUSIVE, BLOCK 101, EAST KING TRACT, BELMONT NUMBERING, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906.	
SURVEYOR'S NOTES: 1.) THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 09 DEGREES 58 MINUTES 06 SECONDS WEST ALONG THE EAST RIGHT OF WAY LINE OF BAYLEN STREET (50' R/W, THE CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA.	
2.) SOURCE OF INFORMATION: THE DEEDS OF RECORD; THE RECORD MAP OF "THE CITY OF PENSACOLA" COPYRIGHTED BY THOMAS C. WATSON IN 1906; AND EXISTING FIELD MONUMENTATION.	
3.) NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.	
4.) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED. 5.) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE	
FOUNDATIONS. 6.) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.	
2	
6.) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.	
CERTIFIED TO: OLDE CITY DEVELOPERS, LLC	
THAT THE SURVEY SHOWN HEREON MEETS THE FLORIDA STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL	
SURVEYORS & MAPPERS IN THE STATE OF FLORIDA, ACCORDING TO FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.051 AND 5J-17.052, PURSUANT TO CHAPTER 472.027, FLORIDA STATUES.	
SHEET 2 OF 2 *MEASUREMENTS MADE TO UNITED STATES STANDARDS*	COPYRIGHT © 2020 BY MERRILL PARKER SHAT, INC. P.C.: DB DRAFTED: ROC TYPED: ROC CHECKED: EMP
DESCRIPTION: SEE ABOVE	
SECTION <u>N/A</u> , TOWNSHIP <u>N/A</u> , RANGE <u>N/A</u> , <u>ESCAMBIA</u> COUNTY, STATE OF FLORIDA. RECORDED <u>N/A</u> BOOK <u>N/A</u> , PAGE <u>N/A</u> *THE ENCROACHMENTS ARE AS SHOWN* FIELD DATE: 9/7/21, FIELD BOOK: <u>486</u> , PG. <u>15</u>	NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF
MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174 REVISIONS:	A FLUKIDA PROFESSIONAL LAND SURVEYOR
E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA	

DESCRIPTION:

Vacant Land Cottant

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Florida Realtors

	(Bale and Purchase: Donals R's Linda B Tructices ("Beller") (the "parties") agree to sell and buy on the terms and conditions specified below the property ("Property") described as: Address:
	1	Address:
	1	egal Description: 1 To a na a provide to 1737 N Palafox address not vet assigned
		Legal Description: LTS 1,23,4,5 (dimensions of 150' FF on Baylen x 125' deep, 18750 sqft, 440000) Lots 30 (dimensions 30' FFx150' Disc, 4800 st ft, \$32,580)
		SEC/TWP //RNGofCounty, Florida. Real Property ID No.:
		Including all improvements existing on the Property and the following additional property:
2		Purchase Price: (U.S. (Urrange)
		Escrow Agent's Manager Marganie to Escrow Agent' named below and held in escrow by:
		Escrow Agent's Address: 212 Wintendencie St
		Escrow Agent's Phone: (850) 438-9647
		Escrow Agent's Contact Person: Escrow Agent's Address: Escrow Agent's Address: Escrow Agent's Phone: Escrow Agent's Phone: (850) 438-9647 Escrow Agent's Email: Closings@ilberislaw.com
		(=) (indel deposit (30 il leit plank) (Check if anniheshis)
		will be delivered to Escrow Agent within days (3 days if left blank)
		(b) Additional deposit will be delivered to Escrow Agent (Check if applicable)
		within 60 days (10 days if left blank) after Effective Date
		within 60 days (10 days if left blank) after Effective Date within days (3 days if left blank) after expiration of Feasibility Study Period \$
		(c) rotal Financing (see Faragraph o) (express as a collar amount or percentage)
		(d) Other:\$\$\$\$\$\$
		to be paid at closing by wire transfer or other Collected funds
		(f) (Complete only if purchase price will be determined based on a per unit cost instead of a fixed price.) The unit used to determine the purchase price is 1 lot 1 acre 1 square foot 1 other (specify);
		prorating areas of less than a full unit. The purchase price will be \$ per unit based on a
		calculation of total area of the Property as certified to Seller and Suver by a Florida licensed surveyor in
		accordance with Paragraph 8(c). The following rights of way and other areas will be excluded from the calculation:
	3.	Time for Acceptance; Effective Date: Unless this offer is signed by Seller and Buyer and an executed copy delivered to all parties on or beforeJuly 9, 2020Uigadier will be withdrawn and Buyer's deposit, if any, will be returned. The time for acceptance of any counter-offer will be 3 days after the date the counter-offer is a days after the date the co
		delivered to all parties on or beforeJuly 9, 2020 unpdder will be withdrawn and Buyer's deposit, if
		delivered. The "Effective Date" of this contract is the date any while is days after the date the counter-offer delivered. The "Effective Date" of this contract is the date any while the last one of the Seller and Buyer ha
		signed or initialed and delivered this offer or the final counter-offer.
	4.	Closing Date: This transaction will close on see paragraph 23 ("Closing Date"), unless specifically
		extended by other provisions of this contract. The Closing Date will prevail over all other time periods including, t
		not limited to, Financing and Feasibility Study periods. However, if the Closing Date occurs on a Saturday,
		Sunday, or national legal holiday, it will extend to 5:00 p.m. (where the Property is located) of the next business day. In the event insurance underwriting is suspended on Closing Date and Buyer is unable to obtain property
		insurance, Buyer may postpone closing for up to 5 days after the insurance underwriting suspension is lifted. If
		this transaction does not close for any reason, Buyer will immediately return all Seller provided documents and other items.
	<u>8</u> .	Extension of Closing Date: If Paragraph 6(b) is checked and Closing Funds from Buyer's lender(s) are not
	*1	available on Closing Date due to Consumer Financial Protection Bureau Closing Disclosure delivery requirement

Buyer (1/1/) with and Selier (26B acknowledge receipt of a copy of this page, which is 1 of 8 pages,

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M.	FloridaRealtors
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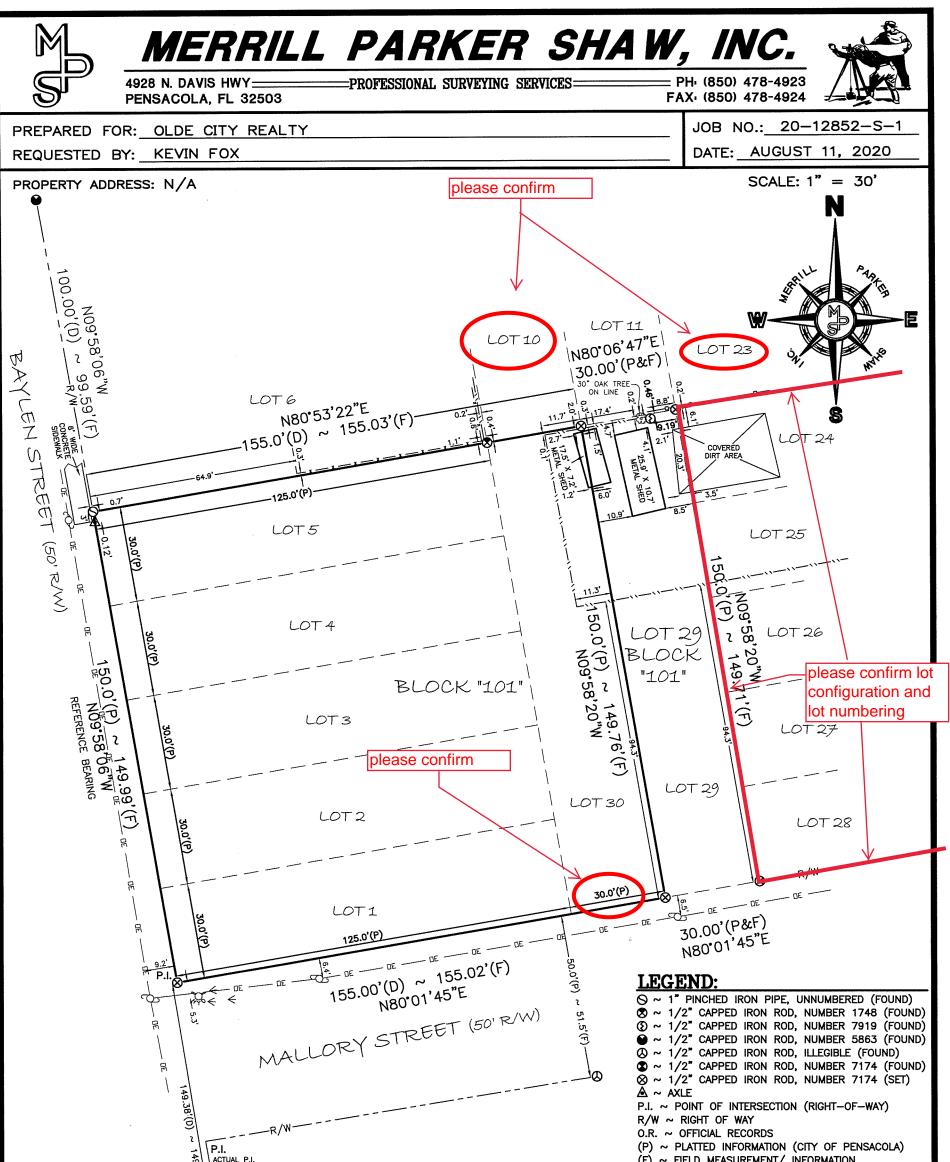
Vacant Land Comment 1. Sale and Purchase DovaVT ("Seller") 1* Olde City Devlopers LLC ("Buyer") 2* and (the "parties") agree to sell and buy on the terms and conditions specified below the property ("Property") 3 described as: 4 Adjacent to 1737 N Palafox address not yet assigned Address: 5* Legal Description; LTS 1,23,4,5 (dimensions of 150' FF on Baylen x 125' deep, 18750 sqft, Lots 30 (dimensions 30' FFx150' Deep, 4500 sq ft, \$32,580) 6* 7 8 9 10 County, Florida. Real Property ID No.: SEC ___/TWP /___/RNG ____ of _____ 11* including all improvements existing on the Property and the following additional property: 12* 13 Purchase Price: (U.S. currency) \$ 14* 2. All deposits will be made payable to "Escrow Agent" named below and held in escrow by: 15 Liberis Law Firm PA Escrow Agent's Name: 16* Escrow Agent's Contact Person: 17* 212 W Intendencia St Escrow Agent's Address: 18* (850) 438-9647 Escrow Agent's Phone: 19* closings@liberislaw.com Escrow Agent's Email: 20* (a) Initial deposit (\$0 if left blank) (Check if applicable) 21 □ accompanies offer 22* will be delivered to Escrow Agent within _____ days (3 days if left blank) 23* 24* (b) Additional deposit will be delivered to Escrow Agent (Check if applicable) 25 🗵 within 60 days (10 days if left blank) after Effective Date 26* □ within days (3 days if left blank) after expiration of Feasibility Study Period \$_ 27* (c) Total Financing (see Paragraph 6) (express as a dollar amount or percentage) 28* (d) Other:\$ 29* (e) Balance to close (not including Buyer's closing costs, prepaid items, and prorations) 30 to be paid at closing by wire transfer or other Collected funds 31* (f) [] (Complete only if purchase price will be determined based on a per unit cost instead of a fixed price.) The 32* unit used to determine the purchase price is \Box lot \Box acre \Box square foot \Box other (specify); 33* prorating areas of less than a full unit. The purchase price will be \$_ _ per unit based on a 34* calculation of total area of the Property as certified to Seller and Suyer by a Florida licensed surveyor in 35 accordance with Paragraph 8(c). The following rights of way and other areas will be excluded from the 36 calculation: 37* Time for Acceptance: Effective Date: Unless this offer is signed by Seller and Buyer and an executed copy 38 delivered to all parties on or before July 9, 2020 delivered to all parties on or before ______ July 9, 2020 _____ the offer will be withdrawn and Buyer's deposit, if any, will be returned. The time for acceptance of any counter-offer will be 3 days after the date the counter-offer is 391 40 delivered. The "Effective Date" of this contract is the date ontwinich the last one of the Seller and Buyer has 41 signed or initialed and delivered this offer or the final counter-offer. 42 Closing Date: This transaction will close on _____ see paragraph 23 ("Closing Date"), unless specifically 4. 43 extended by other provisions of this contract. The Closing Date will prevail over all other time periods including, but 44 not limited to, Financing and Feasibility Study periods. However, if the Closing Date occurs on a Saturday, 45 Sunday, or national legal holiday, it will extend to 5:00 p.m. (where the Property is located) of the next business 46 day. In the event insurance underwriting is suspended on Closing Date and Buyer is unable to obtain property 47 insurance, Buver may postpone closing for up to 5 days after the insurance underwriting suspension is lifted. If 48 this transaction does not close for any reason, Buyer will immediately return all Seller provided documents and 49 other items. 50 5. Extension of Closing Date: If Paragraph 6(b) is checked and Closing Funds from Buyer's lender(s) are not 51 available on Closing Date due to Consumer Financial Protection Bureau Closing Disclosure delivery requirements 52 ्रे (265) acknowledge receipt of a copy of this page, which is 1 of 8 pages. Buyer (M/) (©2020 Florida Realtors® VAC-13 Rev 2/20

Serial#: 049478-600159-4236990

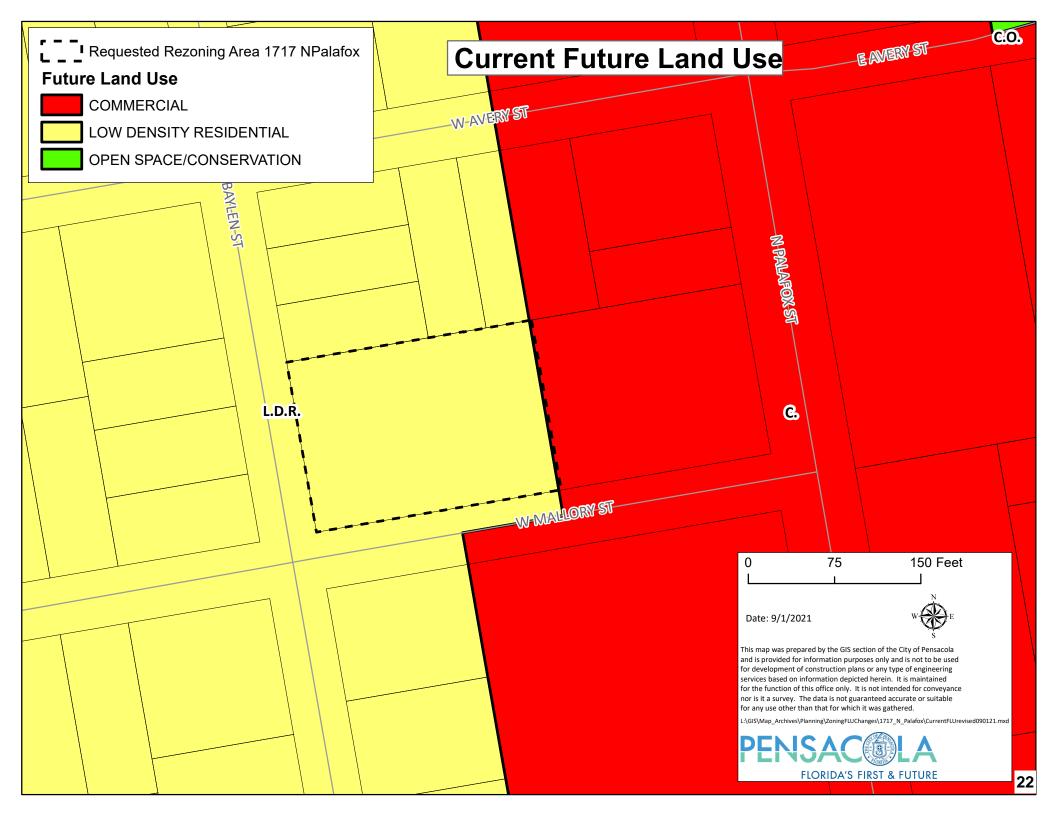
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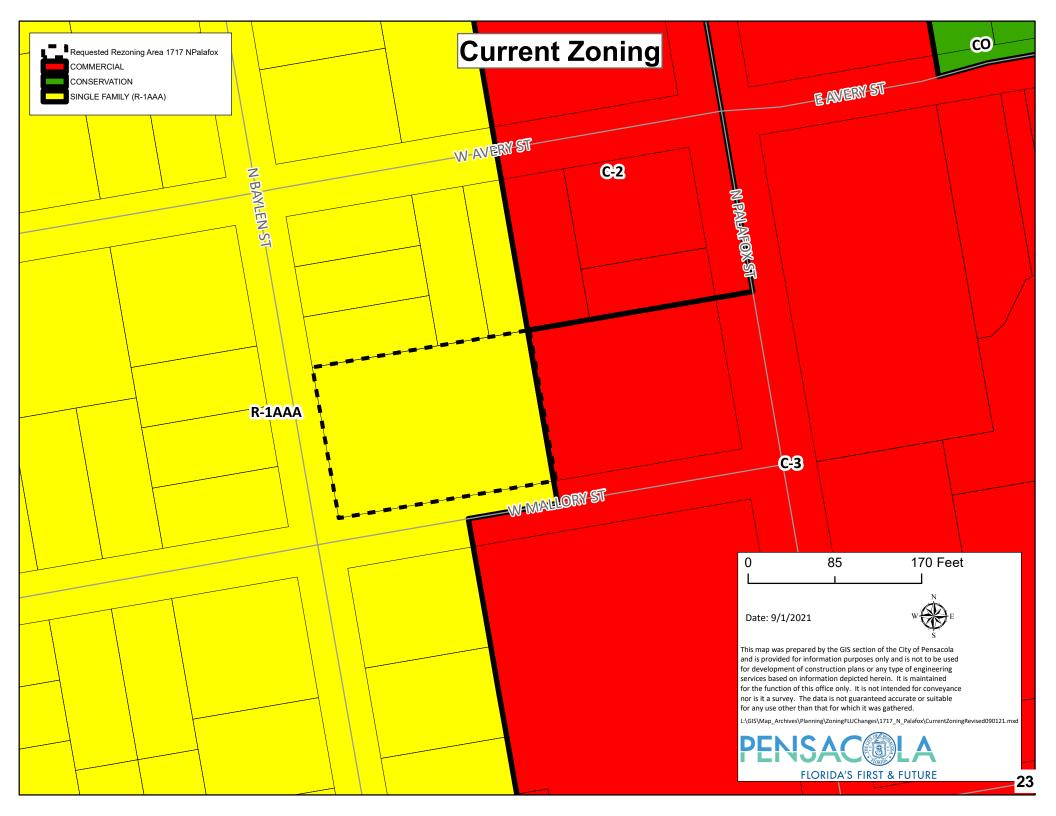
Review Routing Project: Rezoning 1717 N Palafox St

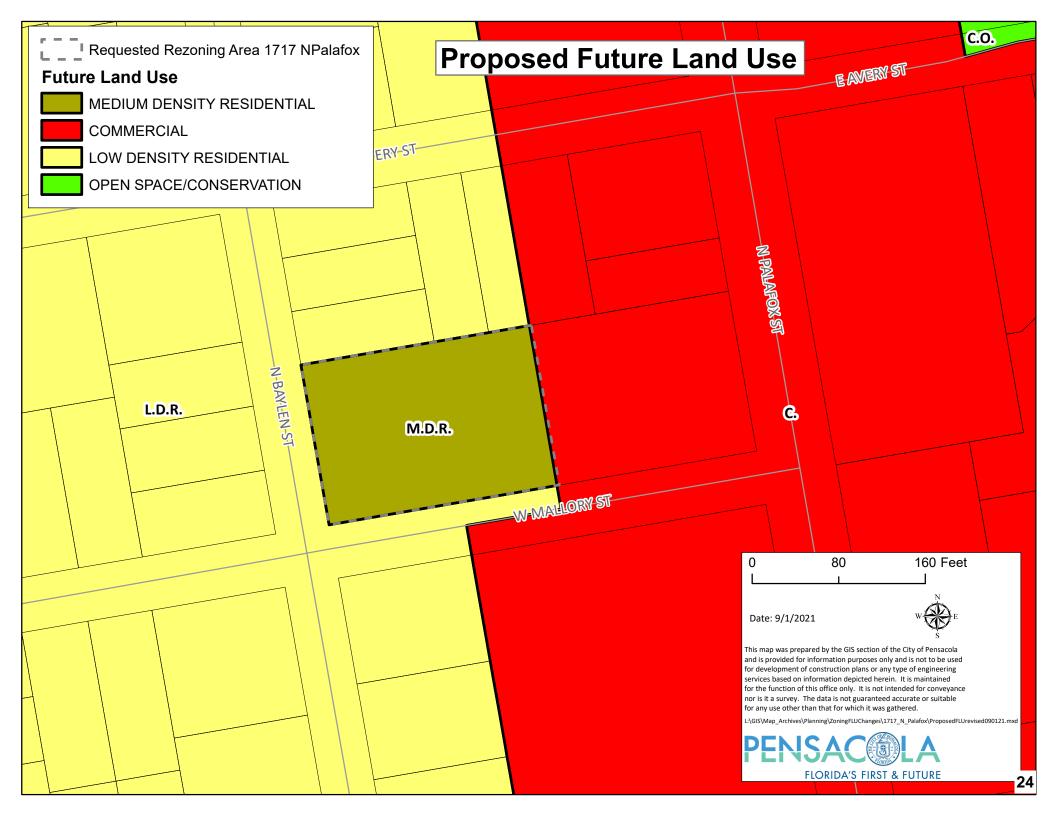
Department:	Comments:
FIRE	No comments
PW/E	No concerns.
InspSvcs	No comments
ESP	No comments
ECUA	No comments
GPW	No objections
ATT	No comments
Surveyor	See attached
Planning	No comments
Traffic	No concerns.

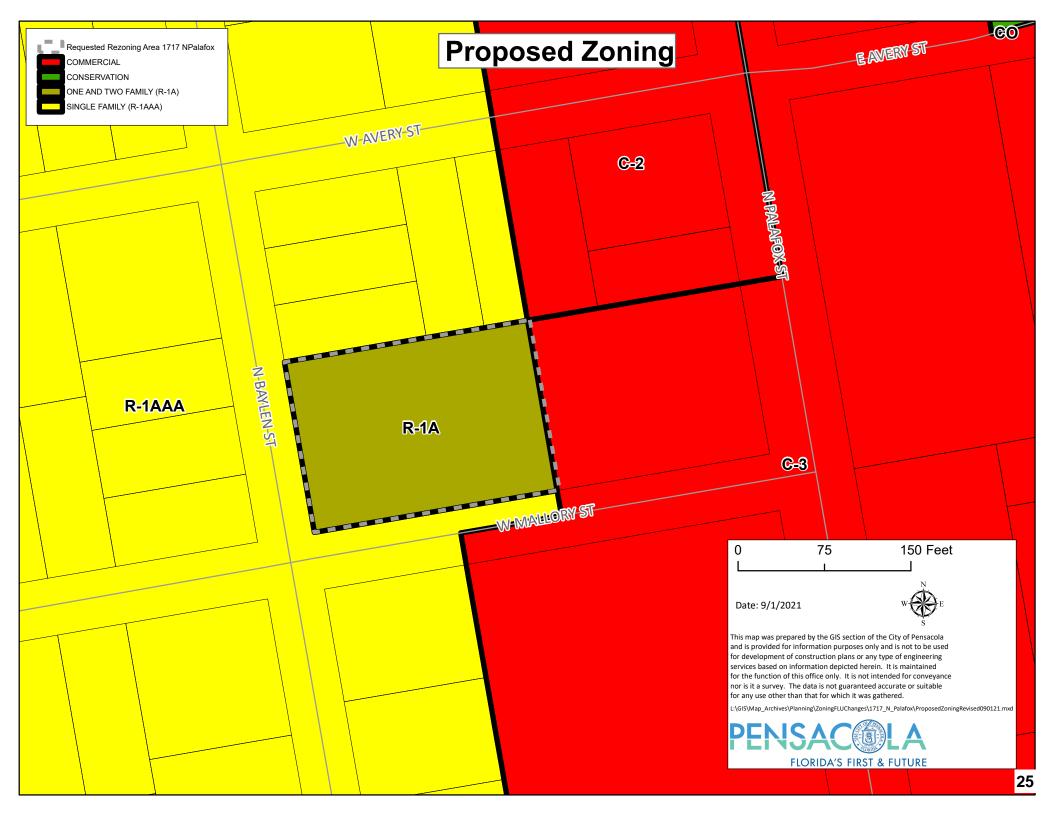


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SHEET OF *MEASUREMENTS MADE TO UNITED	- ۲۱ - ش	COPYRICHT © 2020 BY MERRILL PARKER SHAW, INC. P.C.: DB DRAFTED: RDC TYPED: RDC CHECKED: EWP
DESCRIPTION: SEE PAGE 2 OF 2 AS PER THE RECORD MAP OF "THE CITY OF PENSACOLA" COPYRIGHT SECTION N/A , TOWNSHIP N/A , TOWNSHIP N/A , RANGE N/A RECORDED N/A BOOK N/A , PAGE N/A FIELD DATE: 8/6/20	COUNTY, STATE OF FLORIDA.	NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF
MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174 E. Corporation NUMBER 7174 DATE: 8/12/20 E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION NUMBER 3683 STATE OF FLORIDA	REVISIONS:	A FLORIDA PROFESSIONAL LAND SURVEYOR











Memorandum

File #: 21-00743	Planning Board 9/14/202	
то:	Planning Board Members	
FROM:	Cynthia Cannon, AICP, Assistant Planning Director	
DATE:	9/7/2021	

SUBJECT:

Request for Non-residential Parking in a Residential Zone - 518 Wynnehurst Street

BACKGROUND:

C.R. Quint Higdon is requesting the use of non-residential parking in a residential zone for the property located at 518 Wynnehurst Street, which is zoned R-1AAA. If the request is approved the subject parcel would serve as an accessory use to the future medical office building at 4304 Davis Hwy, which is zoned C-3.

Per Section 12-3-93. Accessory off-street facilities serving nonresidential uses of property in R-2, PR-2, R-NC, R-NCB C-1, PC-1, C-2, C-3 or SSD zones may be permitted in R-1AAA, PR-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2 or PR-2 zoning districts where such property is contiguous to such commercial zoned area or is separated therefrom by an alley, and may be authorized by the planning board, subject to the conditions stated in the attachments.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.

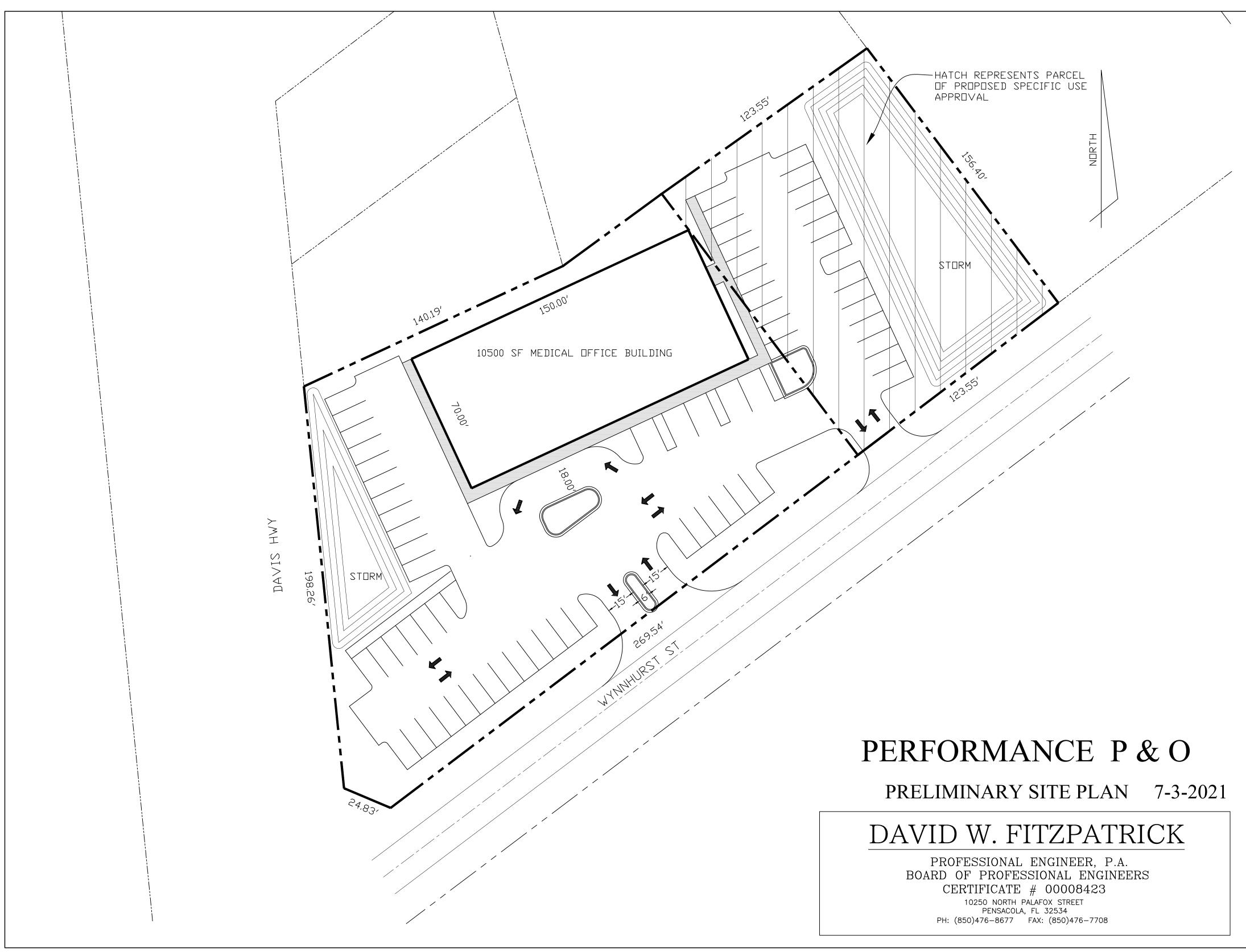


APPLICATION FOR SITE PLAN APPROVAL

Please Check Application Type and Required Fees:

Site Plan "A"		Site Plan "B"	
Conditional Use		Conservation district (CO)	
Special Planned Development		Airport district – all private, non-aviation rela	ated development in
Major Revisions to SSD's		the ARZ zone and all developments except si	ngle-family in an
Exception to the 4,000 sq. ft. maximum area for a commercial use		approved subdivision in the ATZ-1 and AZT	
in an R-NC district		Waterfront Redevelopment district (WRD)	
Site Plan "A" Fees:	E	South Palafox Business district (SPBD)	
Preliminary	Fee:\$1,500.00	Interstate Corridor district (IC)	
Final	Fee:\$1,500.00	Multi-family developments over 35' high wit Buildings over 45' high in the R-2, R-NC and	
Preliminary & Final	Fee:\$2,000.00	Site Plan "B" Fees:	I C-1 districts
Review Board Rehearing/Rescheduling	Fee:\$250.00	Preliminary	Fee:\$1,500.00
City Council Rehearing/Rescheduling <i>Fee:\$750.00</i>		Final	Fee:\$1,500.00
Site Plan "C"		Preliminary & Final	Fee: \$2,000.00
Non-residential Parking in a Residential Zone		Review Board Rehearing/Rescheduling	Fee:\$250.00
Site Plan "C" Fees:		City Council Rehearing/Rescheduling	Fee: \$750.00
Application	Fee:\$1,500.00	City Coulon Renearing/Rescheduling	Fee:\$750.00
Appeal to City Council	Fee: \$250.00	APPLICATION DEADLINE IS 30 CALENDAL	R DAVS PRIOR
Appear to city council	1'00.5250.00	TO THE PLANNING BOARD MEETING	N DATS I KIOK
Applicant Information: PERFORMANC			
Name: C.R. "QUINT" HIGD	-	Date: 8-2-21	
Address: 3010 N. 12-12	AVE		
Phone: 850 982 6499 Fa	x: 850 60	1 6674 Email: quint@per	formancepo.
Property Information:			
Dwner Name: SASSER UNDER	ONTRAG	Phone:	
ocation/Address: 4304 DAVIS HW	1 2 5	518 WYNNEHURST ST.	
Parcel ID: <u>4 9 - 1 5 - 3 0 - 9</u>	101-0	<u>0</u> <u>-</u> <u>0</u> <u>4</u> <u>1</u> Square Feet/Acres:	1 ACRE
egal Description: <u>Please attach a full legal des</u>			5 ACRE
Purpose of site plan approval: NEW OF	ALE FOR	PERFORMANCE PROSTHETISS	- OPHONES
	6.1		
		fees does not entitle me to approval of this sit y resubmissions based on non-compliance wit	
			in City subdivision
navor acveropment requirements with result in	one-halt (1/ / +h/		v of the or light
oning regulations and understand that I must b	one-half $(1/2)$ the	e initial application fee. I have reviewed a cop	y of the applicable
oning regulations and understand that I must b	e present on the d	ate of the Planning Board and City Council med	y of the applicable eting.
oning regulations and understand that I must b	e present on the d	ate of the Planning Board and City Council mee	y of the applicable eting.
Signature of Applicant	one-half (1/2) the present on the d	ate of the Planning Board and City Council med 8-2-21 Date	y of the applicable sting.

Signature of Applicant (Owner of Property or Official Representative of Owner)





Sec. 12-3-93. - Nonresidential parking in R-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2, PR-1AAA and PR-2 zoning districts.

- (a) General conditions. Accessory off-street parking facilities serving nonresidential uses of property in R-2, PR-2, R-NC, R-NCB C-1, PC-1, C-2, C-3 or SSD zones may be permitted in R-1AAA, PR-1AAA, R-1AA, R-1A, R-ZL, R-2A, R-2 or PR-2 zoning districts where such property is contiguous to such commercial zoned area or is separated therefrom by an alley, and may be authorized by the planning board, subject to the following conditions:
 - (1) The parking lot shall be accessory to, and for use in connection with one or more existing nonresidential establishments located in adjoining districts or in connection with one or more existing professional or institutional office buildings or institutions. In the event that the use of the professional or institutional office building or institution or other nonresidential establishment changes or is abandoned for a period of not less than 180 days after the special use is approved, said approval will terminate automatically. This provision is in no way intended to prohibit the property owner from applying for approval for the changed use pursuant to applicable provisions of this Code.
 - (2) Said parking lot shall be used solely for the parking of vehicles. These vehicles shall be those of the customers and employees of the adjacent business.
 - (3) No commercial repair work or service of any kind shall be conducted on said parking lot.
 - (4) Parking lot plans are to be reviewed and approved by the city engineer. The city engineer shall base his or her approval of the plans upon sound engineering principles as well as the safety and general welfare of the citizens of the city.
 - (5) No sign of any kind other than signs designating entrances, exits, and conditions of use shall be maintained on said parking lot, and said sign shall not exceed 20 square feet in area.
 - (6) Said parking lot shall not encroach more than 150 feet into the residential zone.
 - (7) In addition to the foregoing requirements such parking lots shall conform to section 12-4-1 and chapter 12-6.
- (b) Review and approval process. All applications for nonresidential parking in residential zones shall comply with regulations established in <u>section 12-3-120</u>.

(Code 1986, § 12-2-64; Ord. No. 29-93, § 22, 11-18-1993; Ord. No. 3-94, § 7, 1-13-1994)

Sec. 12-4-1. - Off-street parking spaces requirements.

Off-street parking is required in all zoning districts, except as provided below. The following off-street parking is required by this chapter:

- (1) General provisions.
 - a. Area calculations based on gross square footage.
 - b. Where the required number of parking spaces results in a fraction, the number of spaces required shall be construed to be the next whole number.
 - c. Where parking spaces are required based on number of employees or students/clients, the number of employees must reflect the largest shift and the number of students/clients must reflect the maximum capacity allowed.
 - d. For multiple land use developments, additional parking spaces will be required for each different land use and/or accessory use.
 - e. Handicapped parking spaces are required as a percentage of total required parking spaces for all developments other than single-family, duplex or zero-lot-line residential.
 - f. With respect to any parking lot that is required to be paved, the number of parking spaces required may be reduced by one, if the developer provides a bicycle rack or similar device that offers a secure parking area for at least five bicycles.
 - g. The number of off-street parking spaces provided for buildings constructed prior to October 13, 1994, shall be deemed in compliance with the requirements of this Code, for as long as the same land use is maintained within the same building footprint. Effective October 13, 1994, off-street parking requirements set forth in subsection (2) of this section shall be required for the following development or redevelopment activities except as specifically exempted in subsections (1) it through k of this section:
 - 1. New construction.
 - 2. Construction of an addition to an existing building. Whenever a building is enlarged or increased in floor area, number of dwelling units, seating capacity, intensity, density or in any manner so as to create a need for a greater number of parking spaces than currently existing, such additional spaces must be provided in accordance with subsection (2) of this section. The required number of additional parking spaces must be provided concurrently with the building enlargement. In the event that additional parking spaces are required, and the resulting number of spaces required for the whole building (existing and new) exceeds ten spaces, the entire parking lot shall comply with the provisions of <u>section 12-4-3</u>.
 - 3. A change in land use in an existing building or portion of a building. Whenever a land use is changed to another land use requiring a greater number of parking spaces than that existing, such additional spaces must be provided in accordance with subsection

Pensacola, FL Code of Ordinances

(2) of this section. The required number of additional parking spaces must be provided concurrently with the change in land use. In the event that additional parking spaces are required as a result of a change in land use for buildings constructed prior to October 13, 1994, the entire number of required parking spaces for the new land use must be provided in accordance with subsection (2) of this section. In the event that additional parking spaces are required for the new land use exceeds ten spaces, the entire parking lot shall comply with the provisions of section 12-4-3.

- h. Except as provided in subsections (4) and (5) of this section, all required parking spaces must be located on the same lot or parcel with the building or use served or on an adjacent lot or parcel owned or leased by the same owner of the building site for which the parking is required. If the required parking is provided on an adjacent property separated from the common boundary by a street, appropriate measures shall be undertaken to provide pedestrian safety. Such measures include, but are not limited to, pedestrian crosswalk, pedestrian crossing with automated traffic control, pedestrian overpass, and underground pedestrian tunnel.
- i. Off-street parking is not required in the HC-1 and HC-2 districts (see <u>section 12-3-10(1)</u>e.7.iii).
- j. Off-street parking is not required in the dense business area for residential land uses.
- k. New construction of buildings within the South Palafox business district that do not exceed 40 feet in height, or the renovation or change in land use of existing buildings that do not exceed 40 feet in height are exempt from the off-street parking requirements (see also section 12-3-13(4)f).
- I. New construction of buildings within the C-2A district that do not exceed 40 feet in height and 5,000 square feet in total floor area, or the renovation or change in land use of existing buildings that do not exceed 40 feet in height and 5,000 square feet in total floor area are exempt from the off-street parking requirements.
- (2) *Parking requirements for specific land uses.* The following list of requirements shall apply for any land use that is permitted or that is granted a conditional use within any zoning district.

Amusement center	1 space/250 s.f.
Art gallery	1 space/500 s.f.
Auditorium	1 space/50 s.f. of assembly area
Bank	1 space/300 s.f.

Barbershop/beauty parlor	2 spaces/chair
Bed and breakfast	1 space for owner/manager plus 1 space/ sleeping room
Billiard hall	2 spaces/table
Boarding house	1 space for owner/manager plus 1 space/ sleeping room
Bowling alley	3 spaces/lane plus spaces required for accessory uses
Car wash	
Full-service	2 spaces/washing stall
Self-service	2 stacking spaces and 1 drying space per wash stall
Child care facility	1 space/300 s.f.
Church	1 space/4 fixed seats
Note: On-street parking within 500 feet of the building, except in residential districts, may be used towards fulfilling this requirement.	
Cocktail bar	1 space/75 s.f.
Community center	1 space/300 s.f.
Community residential home	1 space/2 beds

Cocktail bar	1 space/75 s.f.
Community center	1 space/300 s.f.
Community residential home	1 space/2 beds
Convenience store	1 space/200 s.f. plus accessory uses
Dormitory/fraternity/sorority residence	1 space/2 beds

Pensacola, FL Code of Ordinances	
Dry-cleaning shop	1 space/500 s.f.
Funeral parlor/mortuary	1 space/200 s.f.
Game room	1 space/250 s.f.
Garage, repair	1 space/200 s.f.
Gas station	1 space/200 s.f.
Greenhouse	1 space/1,000 s.f. of lot area
Group home	1 space/2 beds
Gymnasium	1 space/50 s.f. of assembly area
Health spa	1 space/200 s.f.
Hospital	1.5 spaces/bed
Hotel	1 space/room
Industrial	1 space/500 s.f.
Kennel	1 space/1,000 s.f.
Laundromat	1 space/2 washing machines
Library	1 space/250 s.f.
Note: on-street parking within 500 feet of the building, except in residential districts, may be used toward this requirement.	
Lodging house	1 space for owner/manager plus 1 space/sleeping room
Manufacturing	1 space/500 s.f.

Marina	1 space/4 boat slips	
Miniature golf course	1 space/hole	
Mini-warehouse	4 spaces/1,000 s.f. of office	
Motel	1 space/room	
Museum	1 space/300 s.f.	
Nightclub	1 space/75 s.f.	
Nursery	1 space/1,000 s.f. of lot area	
Nursing home	1 space/2 beds	
Office		
General office	1 space/300 s.f.	
Accessory office unit	1 space/300 s.f.	
Government office	1 space/500 s.f.	
Note: On-street parking within 500 feet of the building, except in residential districts, may be used towards this requirement for non-employee parking only. In any event, one off-street parking space shall be required for each employee in the building.		
Medical/dental office	1 space/200 s.f.	

Medical/dental office	1 space/200 s.f.
Open air market	1 space/300 s.f.
Printing or publishing firm	1 space/300 s.f.
Private club	1 space/100 s.f.
Racquetball club	1 space/court

35 5/11

Radio or television station	1 space/300 s.f.	
Repair shop	1 space/300 s.f.	
Residential		
Single-family, duplex and accessory residential unit	1 space/unit (public street) 2 spaces/unit (private street)	
Multifamily, townhouse, manufactured home unit	1 space/unit	
Rest home	1 space/2 beds	
Restaurant		
Drive-in only	1 space/100 s.f.	
Drive-through only	1 space/100 s.f.	
Sit-down only	1 space/100 s.f. (including outdoor dining areas)	
Combination drive-through/sit-down	1 space/100 s.f. (including outdoor dining and/or activity areas)	
Retail sales/rental		
Boat	1 space/500 s.f.	
Carpet	1 space/500 s.f.	
Furniture	1 space/500 s.f.	
Garment	1 space/300 s.f.	
General	1 space/300 s.f.	

-//2021	
Grocery store	1 space/300 s.f.
Hardware	1 space/500 s.f.
Home improvement	1 space/500 s.f.
Lumber and building materials	1 space/600 s.f.
Machinery and equipment	1 space/600 s.f.
School	
Business or trade	1 space/2 employees plus 1 space/200 s.f.
High school, college or junior college	1 space/2 employees plus 1 space/10 students
Kindergarten, elementary and middle/junior high school	1 space/2 employees plus 1 space/classroom
Self-service storage facility	4 spaces/1,000 s.f. of office plus 1 space/employee
Shopping center	1 space/300 s.f.
Skating rink	1 space/5 rated patron capacity
Stadium	1 space/5 seats
Studio	1 space/300 s.f.
Tavern	1 space/75 s.f.
Tennis club	1 space/court
Theater	1 space/6 seats

Vehicle sales/rental	1 space/400 s.f. sales area
Veterinary clinic or hospital	1 space/300 s.f
Video arcade	1 space/300 s.f.
Warehousing	1 space/2,000 s.f.
Wholesale establishment	1 space/1,000 s.f.

- (3) *All other uses.* Any use not covered by this chapter shall require one parking space for each 300 square feet of gross floor area in the building.
- (4) *Off-site parking.* The off-street parking requirements set forth in subsection (2) of this section may be provided off-site through a shared parking facility or leased parking facility.
 - a. Off-site parking may be provided as specified below:
 - Shared use parking facility shared by uses that have different principal operating hours. The schedule of operation of all such land uses shall provide that none of the uses sharing the facilities normally require off-street parking facilities at the same time as other uses sharing them. The total number of required off-street parking spaces shall be determined by the combined peak hour parking requirement for all uses sharing the facility.
 - 2. Off-site parking spaces that are leased on an annual basis from a private owner or public agency.
 - 3. Off-site parking spaces located on a site owned and controlled by the owner/developer of the building site for which the off-street parking is required.
 - 4. When a portion or all of the required off-street parking is provided pursuant to one of the options specified above in subsections (4)a through c of this section a written agreement shall be drawn in a form satisfactory to the city attorney and executed by all parties concerned assuring the continued availability of the off-site parking facilities for the use they are intended to serve. Such written agreement shall be required as a prerequisite for the approval of a building permit for the new development or redevelopment proposed for which the parking is required. Such written agreement shall be reviewed annually as a condition for renewal of a business license required in <u>chapter 7-2</u>. If a written agreement securing the number of parking

spaces is not provided as part of the annual business license certification, the license may be revoked by the city unless the required off-street parking is otherwise provided.

- 5. When a portion or all of the required off-street parking is provided pursuant to one of the options specified above in subsections (4)a through c of this section a sign directing business patrons to the off-street parking shall be required and shall be placed in a clearly visible location in accordance with the provisions of <u>section 12-5-</u> <u>4(g)(3)</u>.
- 6. Off-site parking provided for businesses within the Brownsville Business Core must be located within the city limits.
- Downtown Pensacola parking reductions described in Table 12.3-1 shall apply only to the community redevelopment agency's boundaries, as defined in Resolution No. 13-84.

Educational	25%
Lodging	35%
Office	30%
Eating/drinking establishments	100%
Indoor amusement	40%
Services	50%
College	50%
Places of worship	50%
Indoor recreation	50%
Apparel/furniture	50%
Retail < 5,000 s.f.	60%

TABLE 12.3-1. DOWNTOWN PENSACOLA CRA PARKING REDUCTIONS

Community services	75%
Single-family and multifamily	Only 1 space/unit required

- b. Approval of off-site parking will be based upon consideration of the following factors:
 - 1. The location of the business and the proposed off-site parking;
 - 2. The number of off-site parking spaces proposed;
 - 3. Intended users of the proposed off-site parking (i.e. employees, patrons or both);
 - 4. The distance of the proposed off-site parking measured along the shortest legal pedestrian route (i.e. along public sidewalks, crosswalks) from the nearest lot line of the building site for which the off-site parking is proposed to the nearest lot line of the off-site parking;
 - 5. Pedestrian safety;
 - 6. Nature of the business proposing the off-site parking;
 - 7. Potential conflicts/overlaps in any off-site shared parking arrangement;
 - 8. Recommendation of city attorney regarding the form of the written agreement specified in subsection (4)a.4 of this section.
- (5) The number of required parking spaces for the geographic areas and zoning districts identified in subsection (4) of this section may be reduced by the number of on-street parking spaces provided in accordance with the following criteria:
 - a. The on-street parking space must be located between the extended property lines of the property requesting the reduction. If a parking space straddles two properties owned by different property owners each property may count the space towards the required parking. Where the right-of-way contains a median and parking is provided along the median, the property owner requesting the reduction may include those spaces provided they are located between the extended property lines and the centerline of the median.
 - b. The on-street parking spaces must remain open for use by the public.
- (6) New construction, additions to existing buildings and changes in land use of existing buildings within the dense business area resulting in an increase of parking requirements may comply with the parking requirements through an in-lieu payment approved by the city council.
 - a. All funds collected through the in-lieu payment process shall be utilized for the express purpose of parking capital improvement projects within the dense business area.
 - b. The in-lieu payment will be calculated by the mayor and approved by the city council in accordance with the following formula:

Pensacola, FL Code of Ordinances

In-lieu parking payment = (total spaces required to meet code - on-site spaces - approved off-site spaces - approved on-street parking spaces) × (in-lieu fee)

The in-lieu fee shall be based upon the cost of construction for parking spaces considering such factors as land acquisition, design fees, engineering, financing, construction, inspection, and other relevant factors.

(Code 1986, § 12-3-1; Ord. No. 6-93, § 21, 3-25-1993; Ord. No. 29-93, § 26, 11-18-1993; Ord. No. 44-94, § 6, 10-13-1994; Ord. No. 33-95, § 9, 8-10-1995; Ord. No. 8-99, § 7, 2-11-1999; Ord. No. 44-99, § 3, 11-18-1999; Ord. No. 6-02, § 2, 1-24-2002; Ord. No. 05-06, § 1, 2-9-2006; Ord. No. 16-10, § 212, 9-9-2010; Ord. No. 39-13, § 1, 11-14-2013; Ord. No. 12-14, § 1, 3-27-2014)

Sec. 12-6-2. - Applicability.

- (a) *Zoning districts.* The provisions of this chapter shall be applicable within the following zoning districts:
 - (1) Residential districts.
 - a. R-1AAAAA through R-1A districts.
 - b. R-ZL (zero lot line dwelling district).
 - c. R-2A and R-2B (multiple-family).
 - (2) Mixed residential districts.
 - a. R-2 (residential/office).
 - b. R-NC (residential/neighborhood commercial).
 - (3) Commercial districts.
 - a. C-1 (local commercial).
 - b. C-2 (general commercial).
 - c. R-C (residential commercial).
 - d. C-3 (general commercial and limited industry).
 - (4) Industrial districts.
 - a. M-1 (wholesale/light industry).
 - b. M-2 (light industry).
 - (5) *Other districts.* The provisions of this chapter shall also be used as guidelines in reviewing site plans in site specific zoning and development (SSD) amendment applications, airport transition zone (ATZ-1 and ATZ-2) districts and in applications for special planned developments.
- (b) Public institutional uses and churches. The provisions of this chapter shall be applicable to public institutional uses and churches. Public institutional uses and churches located in R-1AAAAA through R-1A zones shall not be exempt from the provisions of this chapter. In addition, these uses shall conform with the requirements of subsection <u>12-6-3</u>(1) and all other sections of this title applicable to the R-ZL, R-2A, R-2B and R-2 zones.
- (c) Exemptions. All single-family and duplex uses are exempt from the provisions of this chapter, except as provided for in section 12-3-56 (buffer yards), subsection (d) (heritage trees), section 12-<u>6-6(4)</u> (new subdivisions) and section 12-6-7(5) (heritage tree removal mitigation). The C-2A downtown retail commercial district is exempt from the provisions of this chapter, except as provided for in subsections <u>12-6-6(1)</u>, (5), (6), and (7). All healthcare related uses of property owned or controlled by an entity which is licensed as an acute care hospital under F.S. ch. 395, owned or controlled by a parent company of an entity which is licensed as an acute care hospital under F.S. ch. 395 are exempt from the provisions of this chapter, except as provided for in

Pensacola, FL Code of Ordinances

section 12-6-3 and subsection 12-6-6(1), (3), (5), (6), and (7). In conjunction with the development of any such healthcare related use, a payment of \$5,000.00 per acre of new developed impervious surface area shall be made to the tree planting trust fund. The designated clear zone areas around the Pensacola Regional Airport and any other area identified by the airport manager and approved by the city council as critical to aircraft operations shall be exempt from this chapter.

- (d) Heritage trees. A protected tree identified by species in Appendix A of this chapter which is four times the minimum diameter breast height (DBH) or greater. Heritage trees are protected in all the zoning districts listed in this section 12-6-2, and for all land uses and are considered natural resources. Removal, cutting or pruning of heritage trees on proposed development sites may be permitted upon approval of a landscape and tree protection plan (section <u>12-6-4</u>). Removal, cutting or pruning of heritage trees on developed property may be authorized per <u>section 12-6-7</u>. A permit will be required for removal or pruning of a heritage tree in all zoning districts listed in this <u>section 12-6-2</u>, and for all land uses, including single-family or duplex as set out in <u>section 12-6-7</u>.
- (e) *DBH.* All tree measurements shall be taken at diameter breast height (DBH), which is the diameter of the tree at four and one-half feet (54 inches) above ground. If the tree has a bump or branch at four and one-half feet above ground then DBH shall be measured immediately below the bump or branch. If the tree is growing vertically on a slope, DBH shall be measured from the midpoint of the trunk along the slope. If the tree is leaning, DBH shall be measured from the midpoint of the lean. If the tree forks below or near DBH the tree shall be measured at the narrowest part of the main stem below the fork. If the tree splits into more than one trunk close to ground level, DBH shall be determined by measuring each of the trunks separately and then taking the square root of the sum of all squared stem DBHs.
- (f) City-designated arborist. All references to the city's designated arborist shall be construed to mean the mayor's designee who is charged with administering and enforcing the provisions contained within this chapter, who shall have successfully completed the International Society of Arboriculture (ISA)'s Tree Risk Assessment Qualification (TRAQ), which qualifies a tree professional to use a standardized, systematic process for assessing risks presented by trees.
- (g) Notwithstanding any other provision of this chapter, the mitigation cost to a residential property owner (single-family and duplex uses) where the property is already developed shall not exceed \$1,000.00; provided, however, no mitigation cost shall be charged where statutorily prohibited. Mitigation costs for residential property owners on property being developed shall be assessed in accordance with section 12-6-6(2)e.
- (h) Prior to pruning or removal of any tree(s), any permit issued under this chapter must be posted promptly upon receipt, in the manner prescribed in <u>section 12-6-4</u>(4), in a conspicuous place on the property where the tree(s) is located.

(Code 1986, § 12-6-2; Ord. No. 50-00, § 5, 10-26-2000; Ord. No. 31-09, § 1, 9-10-2009; Ord. No. 31-09, § 1, 9-10-2009; Ord. No. 04-21, § 1, 2-25-2021)



Memorandum

File #: 21-00747	Planning Board	9/14/2021
то:	Planning Board Members	
FROM:	Cynthia Cannon, AICP, Assistant Planning Director	
DATE:	9/7/2021	

SUBJECT:

Request for Aesthetic Review - 900 S. Palafox St. - Plaza de Luna Repairs

BACKGROUND:

Plaza de Luna is located at 900 S. Palafox Street within the Waterfront Redevelopment District - WRD. This site experienced major damage from Hurricane Sally in September 2020. The damage to the park features included sidewalks, handrails, lighting, splash pad equipment and other minor features. The proposed improvements will replace the damaged features with the same or similar material.

The City proposes to relocate the underground splash pad equipment to a new pump house building located adjacent to the DeLuna Café for better protection from future storms. The pump building will be approximately 11' X 17' and shall have similar brick as the adjacent café.

This request has been routed through the various City departments and utility providers. Those comments are attached for your review.



Waterfront Review Board P.O. Box 12910 Pensacola, Florida 32521

RE: Plaza de Luna Repairs – Redevelopment Application

August 4, 2021

220 West Garden Street Suite 700 Pensacola FL 32502 United States of America

T +1 (850) 484 6011 F +1 (850) 484 8199 mottmac.com/americas Dear Planning Board:

Mott MacDonald was tasked in developing construction plans for the repairs to Plaza de Luna for the City of Pensacola. Hurricane Sally's high winds and flooding caused damage throughout the park. As part of the repairs, the City wants to relocate the underground splash pad equipment to a new pump house building. The pump house building will provide better protection of the splash pad equipment during extreme events. The brick will be similar in color and style as the brick used at DeLuna Café. This letter includes the application, site photos, and construction plans.

Please contact me if you have any questions.

Sincerely, Mott MacDonald

the the y

Kevin Morgan, PE Project Manager

Review Board Application



			Application Date:	
Project Address:				
Applicant:				
Applicant's Address:				
Email:			Phone:	
Property Owner:				
Redevelopment District:	Waterfront	Gateway	South Palafox Business	North 9th Avenue

* An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

Applicant Signature

Date

Planning Services 222 W. Main Street * Pensacola, Florida 32502 (850) 435-1670 Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Site Photos



Photo 1: Existing splash pad equipment vaults

Photo 2: Existing splash pad equipment





Photo 3: Proposed location of the pump house building from the street

Photo 4: Proposed location of the pump house building looking north





Photo 5: DeLuna Café adjacent to the pump house building

Construction Plans

CITY OF PENSACOLA, FLORIDA

MAYOR -



VICINTY MAP



M

Engineers Surveyors Architects AA - C0000035 EB - 0000155 LB - 0006783

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This document is issued for the party which commisioned it and for specific purposed connected with the captioned project only. It should not be relied upon by any other party or used for any other purpose We accept no responsibility for the consequences of this document being relied upon by any other party, or being used for any other purpose, or containing any error or omission which is due to an error or omission in data supplied to us by other parties.

GROVER C. ROBINSON, IV



AUGUST 2021

PLAZA DE LUNA DESIGN

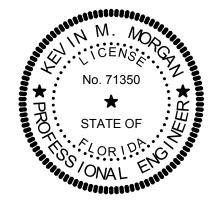
ISSUE FOR BID



Mott MacDonald 220 W. Garden St., Suite 700 Pensacola, FL 32502 United States of America T +1 (850) 484-6011 www.mottmac.com/americas

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

CERTIFICATE OF AUTHORIZATION: EB-0000155 KEVIN M. MORGAN, P.E. NO. 71350

ON THE DATE ADJACENT TO THE SEAL

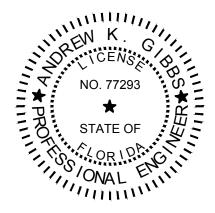
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Mott MacDonald Florida, LLC. 220 West Garden Street Pensacola, FL 32502

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

SHEET NO.	SHEET DESCRIPTION
G-001	COVER SHEET
C-001 C-002 C-003 C-004 C-005 C-006 C-007 C-008 C-009 C-010	DRAWING INDEX AND GENERAL CIVIL NOTES GENERAL CIVIL NOTES PROPOSED DEMOLITION PLAN PROPOSED DEMOLITION PLAN PROPOSED EROSION CONTROL PLAN PROPOSED LAYOUT PLAN PROPOSED MARKINGS AND AMENITIES PLAN CIVIL DETAILS CIVIL DETAILS EROSION CONTROL DETAILS

ELECTRICAL



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

CERTIFICATE OF AUTHORIZATION: EB-0000155 ANDREW K. GIBBS, P.E. NO, 77293

ON THE DATE ADJACENT TO THE SEAL

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ELECTRICAL LEGEND, ABBREVIATIONS & NOTES 1 of 2

ELECTRICAL LEGEND, ABBREVIATIONS & NOTES 2 of 2

PROPOSED FOUNTAIN CONTROL ROOM ELECTRICAL PLANS

SHEET DESCRIPTION

ONE-LINE DIAGRAM

ELECTRICAL PLAN

ELECTRICAL DETAILS ELECTRICAL DETAILS

ELECTRICAL SCHEDULES

ELECTRICAL DEMOLITION PLAN

SHEET NO.

E-001	
E-002	
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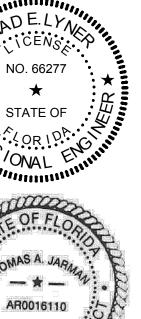
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SHEET NO.





ARCHITECTURAL



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

CERTIFICATE OF AUTHORIZATION: EB-0000155 CHAD E. LYNER, P.E. NO. 66277

ON THE DATE ADJACENT TO THE SEAL & BY

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

CERTIFICATE OF AUTHORIZATION: AA-C0000035 THOMAS A. JARMAN, A.R. NO. AR0016110

ON THE DATE ADJACENT TO THE SEAL

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Mott MacDonald Florida, LLC. 220 West Garden Street Pensacola, FL 32502

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

SHEET DESCRIPTION

LEGENDS AND ABBREVIATIONS CODE SUMMARY, FLOOR PLAN & LIFE SAFETY PLAN GENERAL NOTES (1 OF 2) GENERAL NOTES (2 OF 2) SITE PLAN PLANS ELEVATIONS SECTIONS CONCRETE DETAILS MASONRY DETAILS

IRRIGATION

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STEVE DANA, LA NO. 6667043

ON THE DATE ADJACENT TO THE SEAL

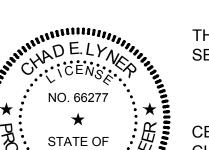
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Jerry Pate Turf & Irrigation 301 Schubert Drive Pensacola, FL 32504

THE ABOVE NAMED LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

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2	G-002 -	SIGNATURE SHEET
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45	F4.00 -	MECHANICAL SCHEMATIC
46 47	F4.10 -	INSTALLATION DETAILS
47	F4.20 - F5.00 -	NOTES FLOW SCHEMATIC

GENERAL NOTES:

- THE TECHNICAL SPECIFICATIONS.
- TRAFFIC CONTROL DEVICES (MUTCD).
- APPLICABLE PAY ITEM.
- REPRESENTATIVE IS REQUIRED.

- COMPLIANCE.

© Mott MacDonald

1. THE CONTRACTOR AND ALL SUBCONTRACTORS, HEREINAFTER REFERRED TO AS "CONTRACTOR". SHALL HAVE SOMEONE TO RECEIVE CALLS AND DISPATCH PROPER PERSONNEL AND EQUIPMENT ON A TWENTY-FOUR (24) HOUR BASIS FOR EMERGENCIES.

2. THE CONTRACTOR SHALL NOTIFY THE CITY OF PENSACOLA (ALSO REFERRED TO AS "CITY" AND "OWNER") 48 HOURS PRIOR TO CONSTRUCTION.

3. REGULAR HOURS OF WORK SHALL BE FROM 8:00AM-5:00PM, MONDAY THROUGH SATURDAY OR AS DIRECTED BY THE CITY. WORK TIME FRAMES MUST BE APPROVED BY THE CITY 48 HOURS IN ADVANCE OF CONSTRUCTION. CONTRACTOR REQUESTED CHANGES TO WORK HOURS MUST BE APPROVED BY THE CITY.

4. ANY NECESSARY PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CONDITIONS AND STIPULATIONS OF THE CONSTRUCTION PERMITS AND THE APPROVALS ISSUED BY THE CITY SHALL BE COMPLIED WITH IN EVERY DETAIL. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY AND THE CITY'S REPRESENTATIVE.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, ALL APPROVED PERMITS. AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES. ALL MATERIALS, TESTING AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT VERSIONS OF CITY OF PENSACOLA CODES AND REQUIREMENTS AND TO

6. ANY REFERENCE TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, DIVISION 1, GENERAL REQUIREMENTS AND COVENANTS, SHALL BE EXCLUDED AND NOT APPLICABLE TO ANY SPECIFICATION REFERRED HEREIN OR OTHERWISE LISTED IN THESE PLANS OR RELATED DOCUMENTS.

7. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT PROPOSED FEATURES IN COMPLIANCE WITH THE CURRENT VERSIONS OF CITY CODES, THE FLORIDA BUILDING CODE (FBC), THE FLORIDA FIRE PREVENTION CODE (FFPC), AND THE MANUAL ON UNIFORM

8. THE CONTRACTOR IS DIRECTED TO PERFORM A SITE INSPECTION PRIOR TO BID AND BECOME ACQUAINTED WITH ALL EXISTING FACILITIES AND CONDITIONS IN ORDER TO INCLUDE ANY REASONABLE BID CONTINGENCIES.

WHEN THE CONTRACT DOES NOT INCLUDE A PAY ITEM FOR A REQUIRED EFFORT. PERFORMANCE OF SUCH EFFORT IS CONSIDERED INCIDENTAL (LABOR AND MATERIAL) TO THE MAIN EFFORT. PAYMENT FOR SUCH ITEM SHALL BE INCLUDED IN THE MOST

10. THE CONTRACTOR, AT HIS EXPENSE, MAY TAKE ADDITIONAL TEST BORINGS AND EXPLORATORY INVESTIGATIONS PRIOR TO BIDDING AND DURING THE LIFE OF THE CONTRACT. ADVANCE COORDINATION WITH THE CITY AND DESIGN CITY'S

11. ALL DIMENSIONS SHOWN ARE COMPACTED DIMENSIONS. DRAWING GEOMETRY, INCLUDING ALL DIMENSIONS GIVEN, IS APPROXIMATE AND DOES NOT PURPORT TO BE ABSOLUTELY CORRECT. CONTRACTOR IS DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS DEEMED NECESSARY TO ASSESS THE ACTUAL CONDITIONS WHICH WILL BE ENCOUNTERED. UPON WHICH THEIR BIDS SHALL BE BASED. THE DIMENSIONS OF SPECIFIED AND FURNISHED PRODUCTS AND MATERIALS TAKE PRECEDENCE OVER DIMENSIONS AND NOTES SHOWN ON THE DRAWINGS.

12. THE CONTRACTOR IS ADVISED NOT TO SCALE FROM DRAWINGS. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

13. THE CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES (SIZE, MATERIAL OF CONSTRUCTION, ELEVATION, ETC.) PRIOR TO CONSTRUCTION. IN NO CASE SHALL THE CONTRACTOR RECEIVE ADDITIONAL COMPENSATION TO FINAL GRADES AND LINES ADJUSTMENTS MADE DUE TO THE LOCATION OF EXISTING UTILITIES.

14. THE LOCATIONS OF PROPOSED UTILITIES AND STRUCTURES SHOWN ARE APPROXIMATE. FINAL PROJECT LOCATION MAY REQUIRE FIELD ADJUSTMENT BY THE CITY'S REPRESENTATIVE UPON THE CONTRACTOR'S VERIFICATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED IMPROVEMENTS. ANY DEVIATION FROM THE PRESCRIBED ALIGNMENT NECESSARY TO AVOID CONFLICTS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE CITY OR CITY'S REPRESENTATIVE.

15. NO DIRECT PAYMENT SHALL BE MADE FOR EXTRA BURY ON THIS PROJECT.

16. THE CONTRACTOR AND FOREMAN ASSIGNED TO THIS PROJECT SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING WORK.

17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH THE OSHA SAFETY STANDARDS AND TO ABIDE BY THEM.

18. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PERFORM ANY INSPECTION OR TESTING REQUIRED TO SECURE AND/OR MAINTAIN PERMIT

19. CONTRACTOR TO MAINTAIN PEDESTRIAN AND SUPPLY ACCESS TO THE JACO'S BAYFRONT BAR AND GRILLE, DELUNA'S CAFE, AND RESTROOMS FACILITIES AT ALL TIMES. MAINTAIN VEHICLE ACCESS TO THE UNDERGROUND TANKS PART OF THE MARIANA AT ALL TIMES.

SITE WORK AND DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL NOTIFY THE CITY TWO (2) FULL BUSINE COMMENCING CONSTRUCTION. THE CONTRACTOR WILL BE RESP COORDINATION OF ALL CONSTRUCTION SCHEDULES. ALL COST CONTRACTOR FOR ANY COORDINATION EFFORTS WILL BE INCIDI ITEMS.
- 2. ACCESS TO THE PROJECT SITE SHALL BE DETERMINED BY THE PROPOSED CONSTRUCTION INGRESS/EGRESS AND PROPOSED EQUIPMENT LAY-DOWN/STAGING AREA LOCATIONS SHALL BE AP LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF IMPLEMENTATIO SHALL SECURE THE WORK ZONE AREA FROM THE PUBLIC USING FENCING.
- 3. IF APPROVED ON SITE, THE LAY-DOWN AREA SHALL BE COMPLET TEMPORARY 6' CHAIN-LINK CONSTRUCTION FENCING WITH LOCK SEDIMENT/EROSION CONTROL MEASURES, AS NECESSARY, AND NEAT AND UNIFORM MANNER AT ALL TIMES, AS DETERMINED BY MATERIALS AND EQUIPMENT DIRECTLY REQUIRED TO FACILITATI PROGRESS OF THE PROJECT CONSTRUCTION SHALL BE STORED AT ANY GIVEN TIME.
- 4. CONTRACTOR SHALL RESTORE ALL LAY-DOWN/STAGING AREAS CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCL SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THA MORE THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRA RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS TH TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE. LOCATE AND PROTECT ANY IRRIGATION SYSTEMS IN THE STAGIN DAMAGE AT NO COST TO THE CITY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSE OPERATIONS TO ANY EXISTING FACILITIES TO REMAIN. PROPERT ARE TO REMAIN IN PLACE ARE TO BE CAREFULLY PROTECTED AI DISPLACED UNLESS NOTED.
- 6. CONTRACTOR SHALL HAUL AWAY ALL DEBRIS AND DISPOSE OF (RESPONSIBLE MANNER. REMOVAL OF ALL DEBRIS (INCLUDING BU TREES, SHRUBS, VEGETATION, CONCRETE, GRAVEL, CONSTRUC SEDIMENTATION DEPOSITS IN CHANNEL, ETC.) SHALL BE SUBSID GRUBBING.
- 7. BURNING SHALL NOT BE PERMITTED ON SITE OR WITHIN CITY LIM
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING MAT LEAK, OR FALL FROM TRUCKS HAULING MATERIAL TO OR AWAY INCLUDING MATERIAL FALLING FROM TIRES. SWEEPING AND CLE REQUIRED DUE TO THE ABOVE SHALL BE THE RESPONSIBILITY O CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY FINES DUI
- 9. CONTRACTOR SHALL COORDINATE WITH THE CITY PRIOR TO TH OF ANY TREES. CONTRACTOR TO PROVIDE TEMPORARY PROTEC REMAIN. FOR ANY TREE SHOWN TO REMAIN THAT IS DAMAGED B FORCES. THE CONTRACTOR SHALL PAY THE CITY THE SUM OF \$1 DIAMETER OF TREE THAT IS DAMAGED.
- 10. TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMA THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE. CI REQUIRED FOR WORK THAT MAY BE REQUIRED WITHIN THE DRIP TREE.
- 11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WAT WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS, SUCH RE-GRADING, AND RE-PLANTING AS REQUIRED TO ESTABLISH GR FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED AND CONTINUE MAINTENANCE UNTIL ACCEPTED. REMOVE ANY PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST AND GRASSING IN BID.
- 12. CONTRACTOR SHALL SAW CUT ANY REQUIRED PAVEMENT REMC
- 13. ANY DAMAGE TO STREET SURFACING OR DRIVEWAYS CAUSED E OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO OF SUCH REPAIRS SHALL BE SUBJECT TO APPROVAL OF THE CIT AND SURFACING DUE TO NORMAL USE OF STREET SURFACE SHA AS DAMAGE.
- 14. ALL ASPECTS OF THE PROPOSED CONSTRUCTION SHALL BE COM REQUESTING A FINAL INSPECTION FROM THE CITY.
- 15. ALL SIDEWALK SHALL MEET ADA STANDARDS.

ESS DAYS PRIOR TO PONSIBLE FOR THE S INCURRED BY THE ENTAL TO EXISTING PAY								
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TRAFFIC CONTROL NOTES:

- 1. THE CONTRACTOR SHALL MAINTAIN TRAFFIC DURING CONSTRUCTION ON ALL STATE, COUNTY, CITY, AND PRIVATE ROADS IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. AND WITH ALL PERMIT REQUIREMENTS.
- 2. ALL SIGNS, BARRICADES, MARKERS, TRAFFIC CONTROL AND WARNING DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AT NO ADDITIONAL COST TO THE CITY.
- 3. EXISTING STREETS AND DRIVES SHALL BE MAINTAINED TO LOCAL TRAFFIC AND PROPERTY OWNERS DURING ALL STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THROUGH TRAFFIC ON EXISTING STREETS AT ALL TIMES.
- 4. NO MATERIAL OR EQUIPMENT STAGING WILL BE ALLOWED WITHIN THE ROAD.
- 5. TEMPORARY CLOSURE OF SOME OF THE PARKING SPACES WILL BE ALLOWED WITH 48 HOUR NOTIFICATION TO THE CITY .

SURVEYING NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE OR RELOCATE ALL BENCHMARKS (VERTICAL CONTROL) AS NEEDED DURING CONSTRUCTION. ALL PUBLIC OR PRIVATE CORNER MONUMENTATION SHALL BE PROTECTED. IF A PUBLIC OR PRIVATE CORNER MONUMENTATION IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE OR DESIGNEE IMMEDIATELY. ANY CITY OF PENSACOLA HARN/GPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL 2 BE PROTECTED.
- 2. IF A HARN/GPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS ARE DISTURBED OR DESTROYED THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE MONUMENTS AND HAVE THE MONUMENTS POSITION DETERMINED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER USING GUIDELINES AS ESTABLISHED BY NATIONAL GEODETIC SURVEY FOR BLUE BOOKING AND APPROVAL
- 3. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO 4. THE CONTRACTOR WILL ENSURE THAT SEDIMENT AND EROSION CONTROL FEATURES ARE REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS WHICH MAY BE DISTURBED BY CONSTRUCTION. RESTORATION OF PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION SHALL BE DONE AT NO ADDITIONAL COST TO THE CITY.
- 4. ANY NGVD-29 AND/OR NAVD 1988 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE. THE CONTRACTOR IS TO NOTIFY THE CITY'S **REPRESENTATIVE WHO SHOULD NOTIFY:**

GEODETIC INFORMATION CENTER MARK MAINTENANCE CENTER N/CG-162 6001 EXECUTIVE BOULEVARD ROCKVILLE, MARYLAND 20852 TELEPHONE: (301) 443-8319

UTILITY NOTES:

- 1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES.
- 2. THE CONTRACTOR IS ADVISED THAT EXISTING OVERHEAD AND UNDERGROUND UTILITIES SUCH AS (BUT NOT LIMITED TO) ELECTRICAL LINES AND POLES, TELEPHONE CABLES, TELEVISION CABLES, GAS LINES, WATER LINES, AND SANITARY SEWERS MAY EXIST IN THE CONSTRUCTION LIMITS WHERE THE PROPOSED IMPROVEMENTS ARE REQUIRED. UTILITY FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE LOCATIONS (NOT SCALEABLE) AND DO NOT INCLUDE SERVICE LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING & PROTECTING EXISTING UTILITIES DURING THE PERFORMANCE OF WORK TO BE INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES, PROBE OR EXPOSE THEM BY HAND EXCAVATION, AND FOLLOW ALL APPLICABLE OSHA REGULATIONS AT NO COST TO THE OWNER. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING, AND PROTECTING THESE FEATURES.
- 3. UTILITIES ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. NECESSARY REPAIRS SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS AND SHALL BE PERFORMED TO THE SATISFACTION OF UTILITY OWNERS.
- 4. THE CONTRACTOR SHALL NOTIFY SUNSHINE 811, TWO (2) FULL BUSINESS DAYS IN ADVANCE OF ANY DIGGING RELATED TO THIS PROJECT AND ADHERE TO THE CURRENT 811 PROCESS.
- 5. UTILITIES LABELED TO BE RELOCATED OR ADJUSTED BY OTHERS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITIES AS REQUIRED IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS 10 DAYS IN ADVANCE OF INTENT TO START WORK IN A SPECIFIC AREA.
- 6. ALL CABLE DAMAGE MUST BE REPORTED TO THE AT&T FLORIDA REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.
- ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE EXECUTION OF WORK UNDER THIS CONTRACT SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR INCREASE TO CONTRACT TIME. THE CITY DOES NOT ASSUME OR IMPLY ANY LIABILITY FOR THE LOCATION, PROTECTION, AND/OR REPAIR OF ANY EXISTING UTILITIES THAT MAY OCCUPY JOINT RIGHT-OF-WAY OR OTHERWISE CONFLICT WITH THE CONSTRUCTION OF THE WORK TO BE INSTALLED UNDER THIS CONTRACT.
- 8. THERE SHALL BE NO DIRECT PAYMENT FOR LOCATING, EXPOSING, AND BRACING EXISTING UTILITY LINES WHERE REQUIRED. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING IN AREAS NEAR UTILITIES
- 9. THE CITY DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT & PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.

- TRAFFIC.

EROSION CONTROL NOTES:

- EDITION).

REGULATORY AND PERMITTING REQUIREMENTS:

- SPECIFICATIONS.

PAY ITEM NOTES:

- THE MARIANA AT ALL TIMES.

- ASSOCIATED PAY ITEM.

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10. PROVIDE MATTING OVER ALL BURIED PIPELINES TO PROTECT UTILITIES FROM CONSTRUCTION

11. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ACCEPTABLE MEANS AND METHODS, AS NECESSARY TO PLACE AND COMPLETELY BACKFILL TO FINISHED GRADE IN A WATER FREE EXCAVATION. IF REQUIRED. THE MEANS AND METHODS OF DE-WATERING ANY EXCAVATION SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE (INCLUDING FDEP CHAPTER 62-621).

1. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL AREAS OF DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. TEMPORARY SOD SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. PERMANENT VEGETATION SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5-FOOT HORIZONTAL TO 1-FOOT VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. AND INSPECTED AT LEAST WEEKLY AND AFTER EACH 1/4" RAINFALL EVENT AT A MINIMUM.

THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE AND COMPLY WITH A STORM WATER POLLUTION PREVENTION PLAN AND PERFORM CONSTRUCTION IN COMPLIANCE WITH THE REQUIREMENTS OF THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST

3. THE CONTRACTOR SHALL USE SEDIMENT AND EROSION CONTROL MEANS/DEVICES INCLUDING BUT NOT LIMITED TO HAY BALES AND SILT FENCES TO PREVENT EROSION AND SEDIMENT TRANSPORT OUTSIDE THE LIMITS OF CONSTRUCTION.

INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT AND UNTIL FINAL PROJECT SITE STABILIZATION IS ESTABLISHED. THE CONTRACTOR WILL ENSURE THAT EROSION CONTROL IS IMPLEMENTED AND MAINTAINED FOR ALL DITCHES, STEEP SLOPES, STORM WATER INLETS AND OTHER ENVIRONMENTAL AND AESTHETIC AREAS ADJACENT TO THE PROJECT. IMPROPER CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATIONS.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT NO MILLET GRASS OR SEED BE USED FOR SODDING PURPOSE, WHATSOEVER. SHOULD ANY MILLET GRASS OR SEED BE PLACED, IT MUST BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE.

6. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE CITY FOR SITE REVIEW OF: SEDIMENT/EROSION CONTROL DEVICES PRIOR TO CONSTRUCTION; UNDERGROUND FEATURES PRIOR TO BURIAL; AND THE FINAL INSPECTION OF THE PROJECT UPON COMPLETION.

7. THE CONTRACTOR IS ADVISED THAT EROSION CONTROL MEASURES SPECIFIED HEREIN ARE TO BE CONSIDERED MINIMUM INSTALLATION REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ADDITIONAL MEASURES AS NECESSARY TO PREVENT EROSION AND MAINTAIN SEDIMENT ON SITE AT ALL TIMES.

1. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE 'AS-BUILT' DRAWINGS OF ALL WORK. INCLUDING DIMENSIONS. ELEVATIONS. GRADING. ETC. THE DRAWINGS SHALL BE PREPARED BY A LICENSED SURVEYOR AND PROVIDED TO THE CITY FOR VERIFICATION AND APPROVAL AT LEAST ONE WEEK PRIOR TO REQUESTING FINAL INSPECTION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE

THE CONTRACTOR'S COST FOR COORDINATION WITH THE CITY, UTILITIES AND OTHER AGENCIES SHALL BE INCLUDED IN THE MOBILIZATION PAY ITEM.

2. MAINTENANCE OF TRAFFIC PAY ITEM SHALL INCLUDE ALL ITEMS NECESSARY TO PROVIDE A SAFE WORK ZONE AND SHOULD INCLUDE ALL NECESSARY ITEMS REQUIRED FOR TRAFFIC CONTROL.THE MAINTENANCE OF TRAFFIC PAY ITEM SHALL REQUIRE ALL ITEMS NECESSARY TO SECURE THE CONSTRUCTION SITE FROM THE PUBLIC USE INCLUDING 6' CHAIN-LINK AROUND, SIGNAGE, AND OTHER TRAFFIC CONTROL DEVICES. CONTRACTOR TO MAINTAIN PEDESTRIAN AND SUPPLY ACCESS TO THE JACO'S BAYFRONT BAR AND GRILLE, DELUNA'S CAFE, AND RESTROOMS FACILITIES AT ALL TIMES. MAINTAIN VEHICLE ACCESS TO THE UNDERGROUND TANKS PART OF

3. EROSION CONTROL PAY ITEM SHALL INCLUDE ALL ITEMS NECESSARY TO PREVENT SITE SOILS FROM BEING DISCHARGED OFFSITE AND MAY INCLUDE. BUT NOT LIMITED TO SILT FENCE. FLOATING TURBIDITY BARRIER, MULCH, HAY, STRAW, TEMPORARY SODDING, ETC.

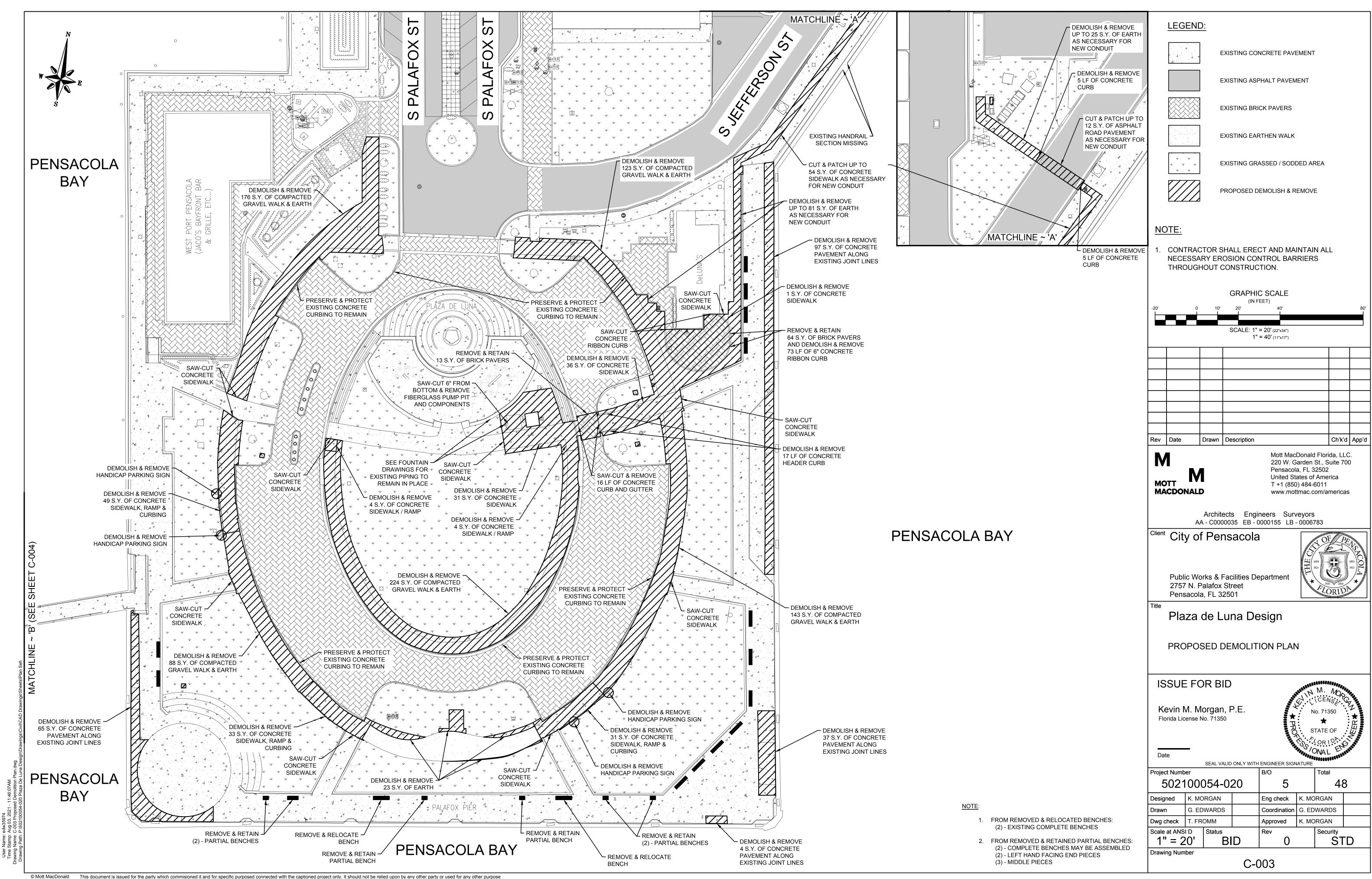
4. ALL REQUIRED PERMITS (CITY, BUILDING, ELECTRICAL, UTILITIES, HEALTH DEPARTMENT, ETC), PERMIT FEES, UTILITY CONNECTION FEES, ASSOCIATED WITH THE CONSTRUCTION OF THE PARTICULAR PAY ITEM SHALL BE INCLUDED IN THE COST OF THE ASSOCIATED PAY ITEM.

5. ANY TESTING AND COORDINATION REQUIRED SHALL BE INCLUDED IN THE COST OF THE

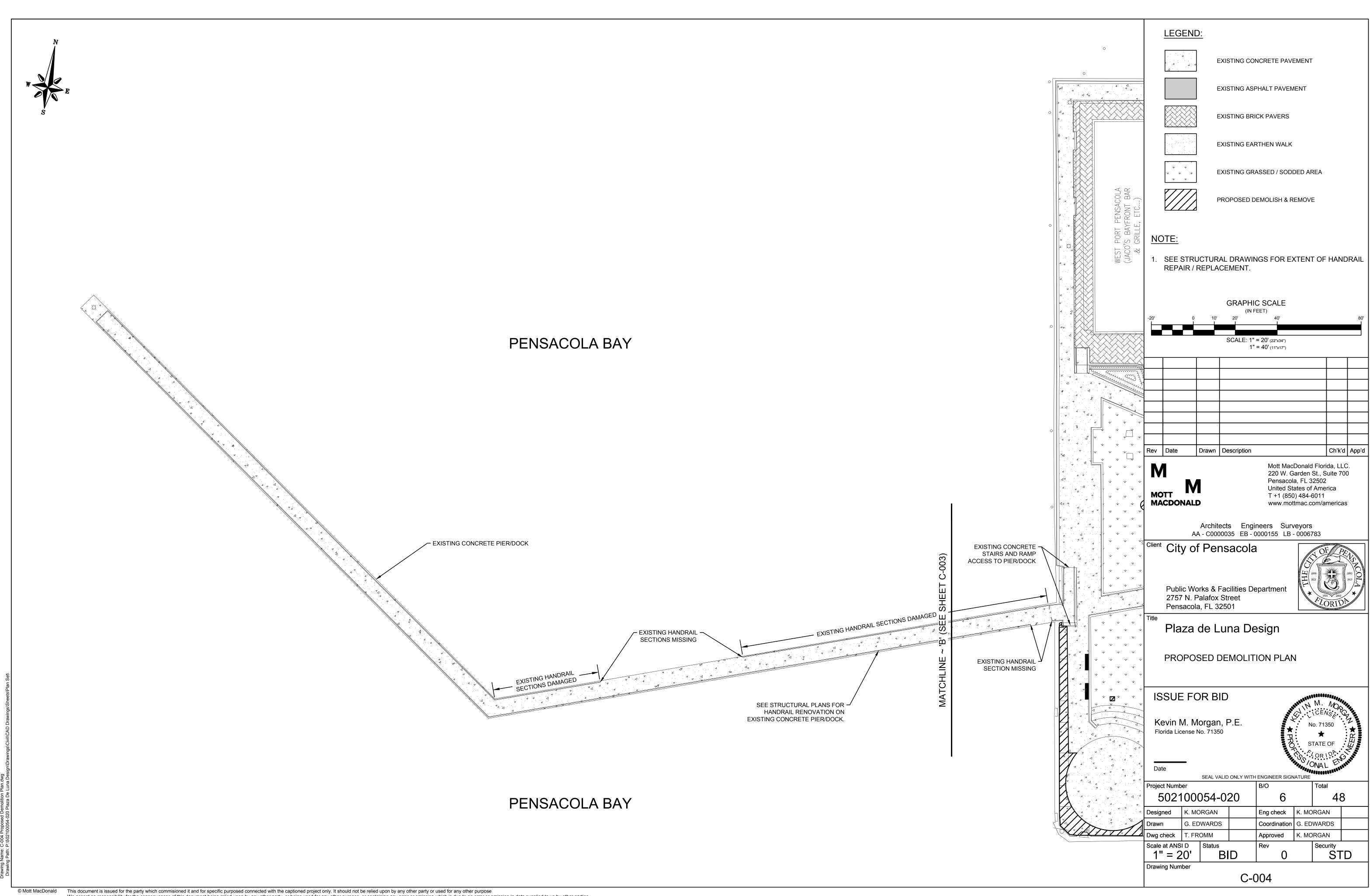
6. DEMOLITION/CLEARING & GRUBBING SHALL INCLUDE ALL ITEMS NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THESE ITEMS MAY INCLUDE REMOVAL OF ASPHALT PAVEMENT, REMOVAL OF CONCRETE, SAW CUTTING, LIGHTING, SPLASH PAD EQUIPMENT AND VAULT REMOVAL, CRUSHED GRANITE REMOVAL, TREE REMOVAL, TREE TRIMMING, SOD, FENCE REMOVAL, UTILITIES AND OTHER MISCELLANEOUS ITEMS. THIS PAY ITEM SHALL INCLUDE THE REMOVAL OF THE SECTION OF GUARDRAIL IN THE WATER AND DISPOSING OF THE GUARDRAIL. THE TEMPORARY GATE AT THE ENTRANCE TO THE BREAKWATER SHALL BE REMOVED AND DELIVERED TO PUBLIC WORKS AS PART OF THIS PAY ITEM.

7. CONTRACTOR REQUIRED TO MEET ALL CITY AND UTILITY REQUIREMENTS FOR PERMITS, INSPECTIONS, DOCUMENTATION, AND OTHER MISCELLANEOUS REQUIREMENTS. ALL COST ASSOCIATED WITH THESE TASK SHALL BE INCLUDED IN THE COST OF THAT PARTICULAR BID ITEM.

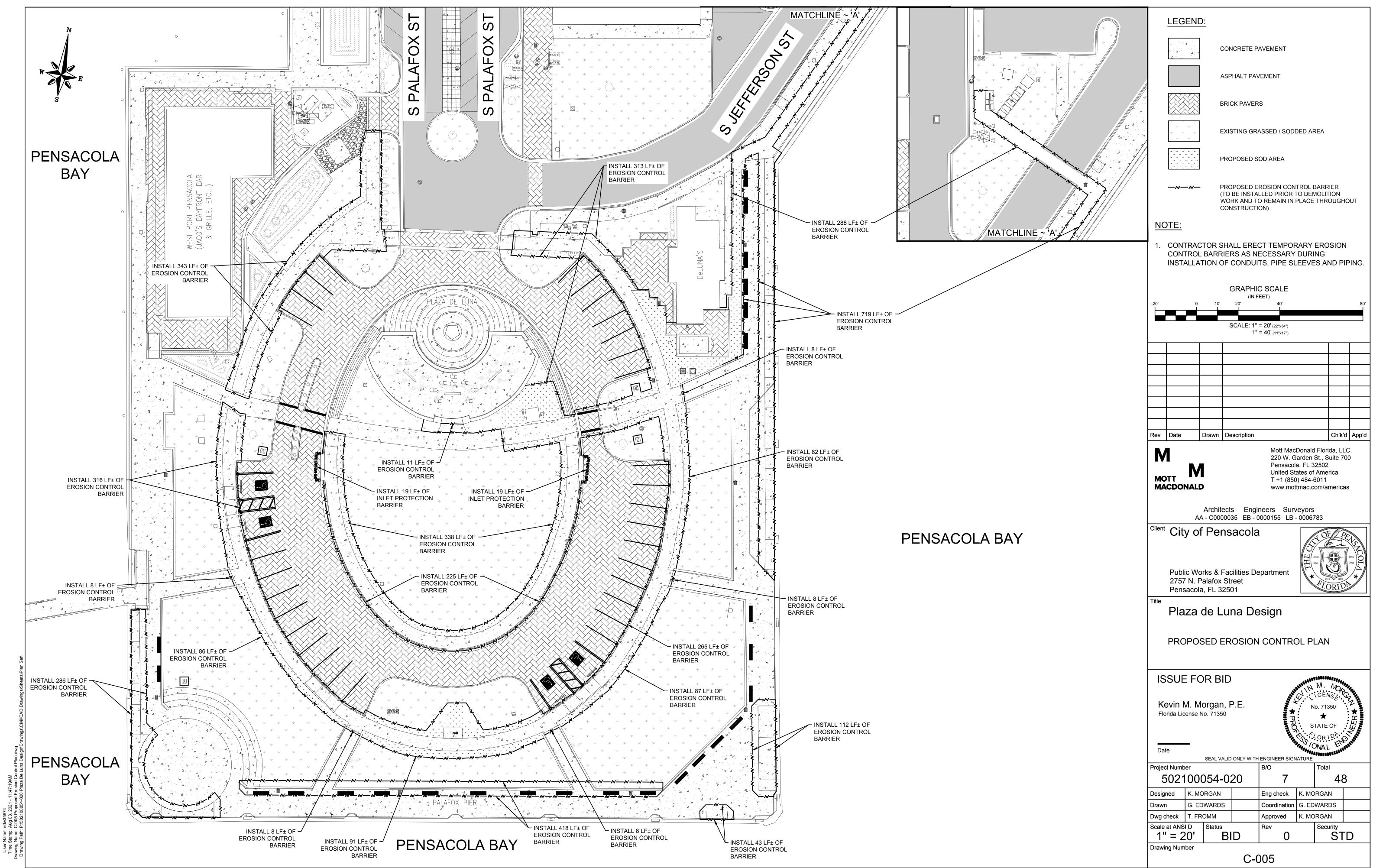
	THE ELECTRICAL SERVICE AND LIGHTING PAY I TO PROVIDE A FULLY OPERATIONAL POWER SE OTHER SYSTEMS EXISTING AND PROPOSED. TH TO TRENCHING, BORING, WIRING, CONDUIT, PEI THE EXISTING ELECTRICAL WILL NEED TO BE RI THE EXISTING ELECTRICAL FEATURES (LIGHT P DURING CONSTRUCTION IT IS DETERMINED THA TO SERVICE THE FACILITIES PER CODE THEN A ALL POWER SERVICE SHALL BE ROUTED UNDEF COORDINATION WITH THE UTILITY COMPANY'S S ITEM. THE COST TO REMOVE, PATCH, OR REINS CURB, SOD AREAS, BASE, STABILIZATION, EART ELECTRICAL SERVICE AND LIGHTING INSTALLAT PAY ITEM.	RVICE TO THE PL IE PAY ITEM SHAL RMITS, SLEEVING EWIRED TO THE F OLES, ELECTRICA AT REWIRING OR I DEDUCTIVE CHAI RGROUND FOR AL SHALL BE INCLUD STALL THE BRICK	JMP HOUSE, LIGHTING, AN L INCLUDE BUT NOT BE L AND ETC. IT IS ASSUMED PROPOSED BREAKER PAN AL OUTLETS, SPLASH PAD NEW CONDUIT IS NOT REC NGE ORDER WILL BE PERI L LOCATIONS. ANY DED IN THE COST OF THIS PAVERS, ROADWAY, SIDE OTHER AREA DISTURBED	ND ANY LIMITED D THAT IEL FROM D, ETC). IF QUIRED FORMED. PAY EWALKS, BY THE						
9.	COST FOR DEWATERING, IF REQUIRED SHALL B	E INCLUDED IN T	HE ASSOCIATED PAY ITEN	M.						
	EARTHWORK SHALL BE LUMP SUM AND INCLUD AND PROPOSED SPLASH PAD VAULTS CONSTRI GRADING, BUILDINGS AND ANOTHER OTHER CC OR EXCAVATION. CRUSH GRANITE SHALL NOT E MATERIAL.	JCTION OR DEMO	OLITION, SIDEWALKS, SITE TIVITY REQUIRING EMBAN	IKMENT						
	THE CONCRETE SIDEWALK PAY ITEMS SHALL IN JOINTS, RAMPS, REBAR, DOWLING, COLOR, TEX NECESSARY TO CONSTRUCT THE SIDEWALK AS THE EXISTING COLOR AND TEXTURE OF THE CO CONSTRUCTED AS PART OF THE SIDEWALK PAY	TURE, AND ANY (PER PLANS. COL NCRETE AREAS.	OTHER MATERIAL OR LABO OR AND TEXTURE SHALL	OR MATCH						
12.	STRIPING/PAVEMENT MARKINGS PAY ITEMS SH	ALL BE THERMOP	LASTIC.							
	THE WATER FOUNTAIN PAY ITEM SHALL INCLUD PIPING, CONCRETE FOUNDATION, AND ALL ITEM FOUNTAIN.		•	•						
	BRICK PAVER PAY ITEM SHALL IS LUMP SUM PA NECESSARY TO REMOVE, REPLACE, AND REINS SHALL INCLUDE ANY SAWCUTTING, STABILIZATI AND ANY OTHER MATERIALS/LABOR REQUIRED ALSO INCLUDES THE CONTRACTOR NEATLY ST FOR THE CITY TO PICKUP. ANY NEW BRICK PAVI AND COLOR.	TALL THE EXISTI ON, BASE, SAND TO REINSTALL TH ACKING ANY EXT	NG OR NEW BRICK PAVER , CONCRETE, NEW BRICK HE BRICK PAVERS. THIS P. RA WHOLE BRICK PAVERS	RS. THIS PAVERS, AY ITEM S ONSITE						
	BRICK WALL REPAIR PAY ITEM SHALL INCLUDE A REPAIR/REPLACE/REGROUT THE DAMAGED BR MODIFICATIONS DUE TO THE WALL LIGHTING IN THE ELECTRICAL AND LIGHTING PAY ITEM.	ICK WALL AS NOT	ED ON THE PLANS. ANY B	RICK						
	THE STATUE REPAIR PAY ITEM SHALL INCLUDE REMOVE AND REPAIR THE STATUE OF DON TRIS SHALL INCLUDE REPLACEMENT OF THE MISSING MATCH THE SAME MATERIAL COLOR, STYLE, AN	STAN DE LUNA AS G GRANITE PANEI	NOTED IN THE PLANS. TH	HIS HALL	Rev Date	Drawn Des	Mott Mac	Donald Flor Garden St., S).
	GUARDRAIL REPAIR PAY ITEM SHALL INCLUDE A REMOVE, REPLACE, AND REINSTALL EXISTING A ALL MATERIALS NECESSARY TO THE CONNECT CONCRETE, OR ANY OTHER ITEMS AS NOTED IN	ND NEW GUARD	RAIL. THIS PAY ITEM INCLU	JDES	MOTT MACDON		United S T +1 (85	la, FL 32502 tates of Ame 0) 484-6011 ttmac.com/a	erica	;
	THE IRRIGATION PAY ITEM SHALL INCLUDE ALL REQUIRED FOR A FULLY OPERATIONAL IRRIGAT LIMITED TO HEADS, PIPNG, BORING PIPE, SAWC ELECTRICAL.THE COST TO PATCH THE BRICK PA AND ANY OTHER AREA DISTURBED BY THE IRRI OF THIS PAY ITEM.	TION SYSTEM. THI UTTING, TRENCH AVERS, ROADWA	S ITEM MAY INCLUDE BUT ING, SLEEVES, AND Y, SIDEWALKS, CURB, SOE	D AREAS,	^{Client} City	Architects AA - C000003	35 EB-0000155 LB		PE	185 AC
	PUMP BUILDING PAY ITEM SHALL INCLUDE THE PLUMBING, LIGHTING, FOUNDATION, GEOTECHN STAIRS, AND ANY OTHER ITEMS NECESSARY TO BUILDING AS DEPICTED ON THE PLANS.	ICIAL TESTING, S	OIL/TERMITE BOND, DOOF	RS,	2757 1	Works & Fac N. Palafox Str cola, FL 3250		HL + FU	DRIDA	1913 +
20.	SPLASH PAD PAY ITEM SHALL INCLUDE ALL PIPI EQUIPMENT, PERMITS, AND ANY OTHER MATER CONNECT THE SPLASH PAD EQUIPMENT FROM SPLASH PAD BUILDING. THIS PAY ITEM IS LUMP SPLASH PAD FACILITY. THE COST TO REMOVE, I ROADWAY, SIDEWALKS, CURB, SOD AREAS, BAS AREA DISTURBED BY THIS PAY ITEM SHALL BE I	IAL/LABOR REQUI THE EXISTING UN SUM AND SHALL PATCH, OR REINS SE, STABILIZATION	RED TO RELOCATE AND IDERGROUND VAULT TO T PROVIDE A FULLY OPERA STALL THE BRICK PAVERS N, EARTHWORK,OR ANY O	TIONAL , DTHER		a de Lur	na Design NOTES			
21.	AS-BUILT SURVEY SHALL BE PROVIDED BY CON REVIEW AND APPROVAL PRIOR TO FINAL PAYOL		JBMITTED TO THE EOR/CI	TY FOR	ISSUE	FOR BID				
	THE COST FOR ANY ADDITIONAL CURB AND GU OF THE HANDICAP RAMPS SHALL BE INCLUDED	TTER ASSOCIATE		CTION	Kevin M	. Morgan, P	P.E.	No. 71	MO VS \$ 350	*****
	SOD ALLOWANCE PAY IS FOR SODDING AREA N CONTRACTOR WILL ONLY BE PAID FOR SOD THI				Date	SEAL VALID		-	ENG	MER NEER
					Project Number	00054-02	20 ^{B/O} 4	Tota	48	
]		(. MORGAN	Eng check	K. MORGA		
	EXIST. LIGHT POLE	GEND	EXIST. METAL FENCE (AS	SPFCIFIFN		G. EDWARDS	Coordination			
			LAUT. WEINE I LINUL (AS		Scale at ANSI [Approved Rev	K. MORGA	urity	
	PROPOSED DEMOLITION AREA	/x//x//x/	PROPOSED SILT FENCE		NTS Drawing Number		D 0		STE)
~	PROPOSED CONCRETE AREA					.	C-002			



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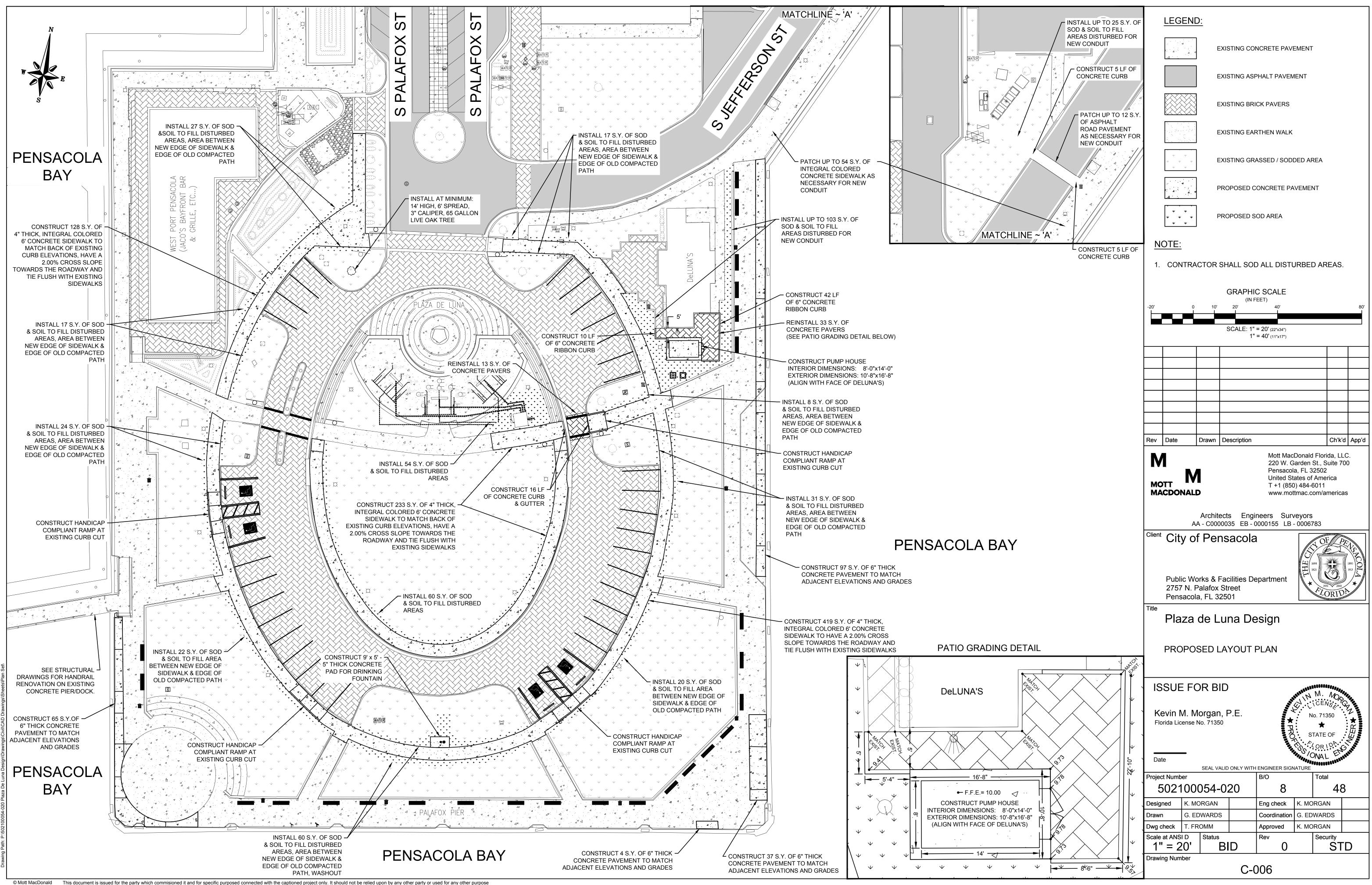


User Name: edw35974 Time Stamp: Aug 03, 2021 - 11:46:41AM Drawing Name: C-004 Proposed Demolition PI Drawing Path: P:\502100054-020 Plaza De L



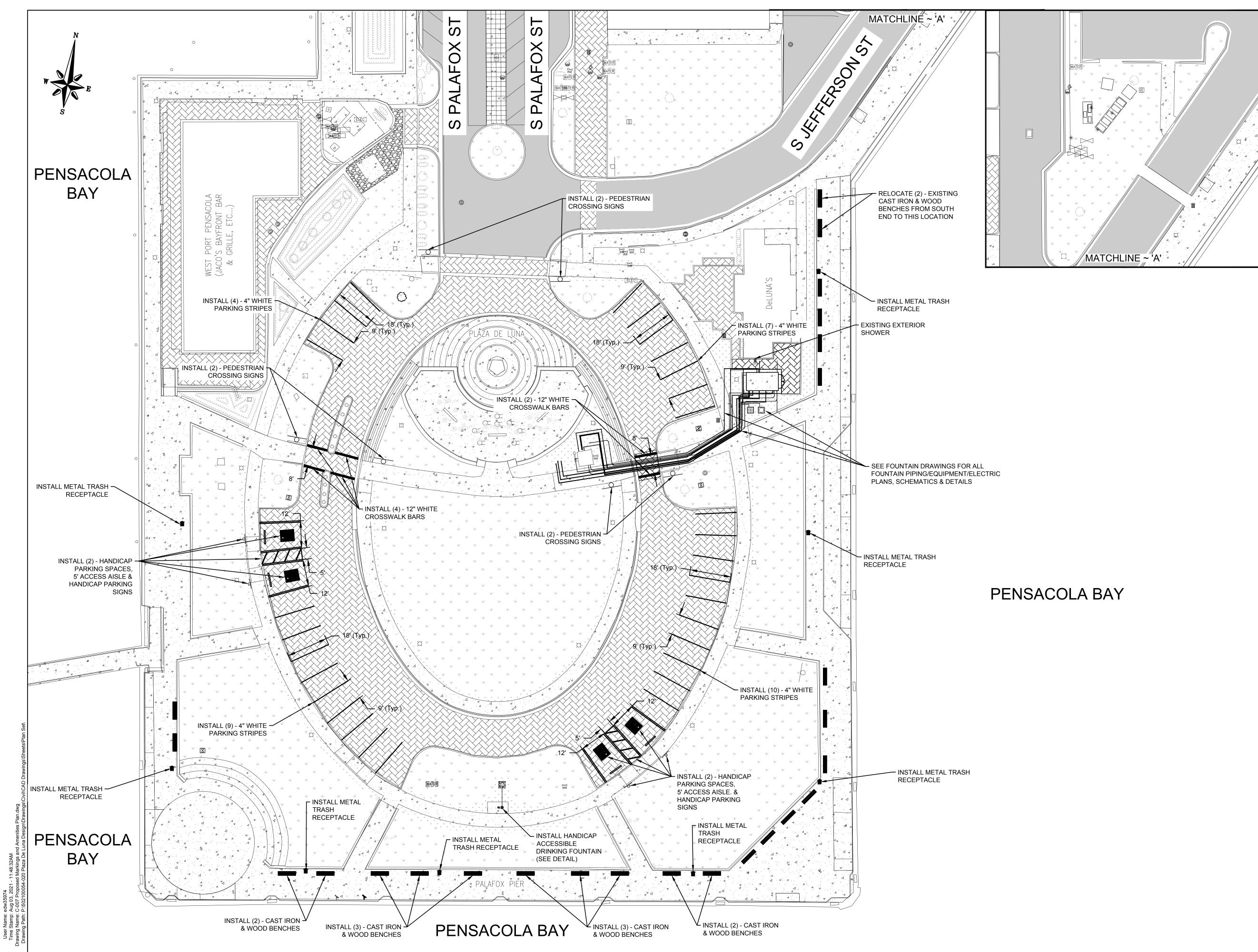
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001				•			
Designed	K. MO	RGAN		Eng check	K. MC	RGAN	
Drawn	G. ED	WARDS		Coordination	G. ED	WARDS	
Dwg check	T. FROMM			Approved	K. MORGAN		
Scale at ANSI D Sta 1" = 20'		Status B	D	Rev O		Security ST	D
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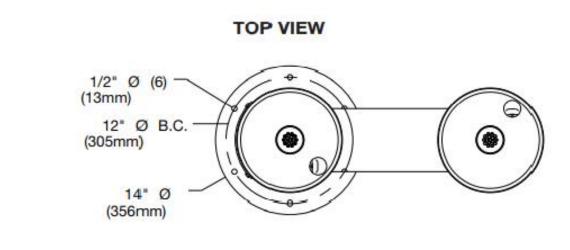
User Name: edw35974 Time Stamp: Aug 03, 2021 - 11:47:56 Irawing Name: C-006 Proposed Layout Drawing Path: P:\502100054-020 Plaz.

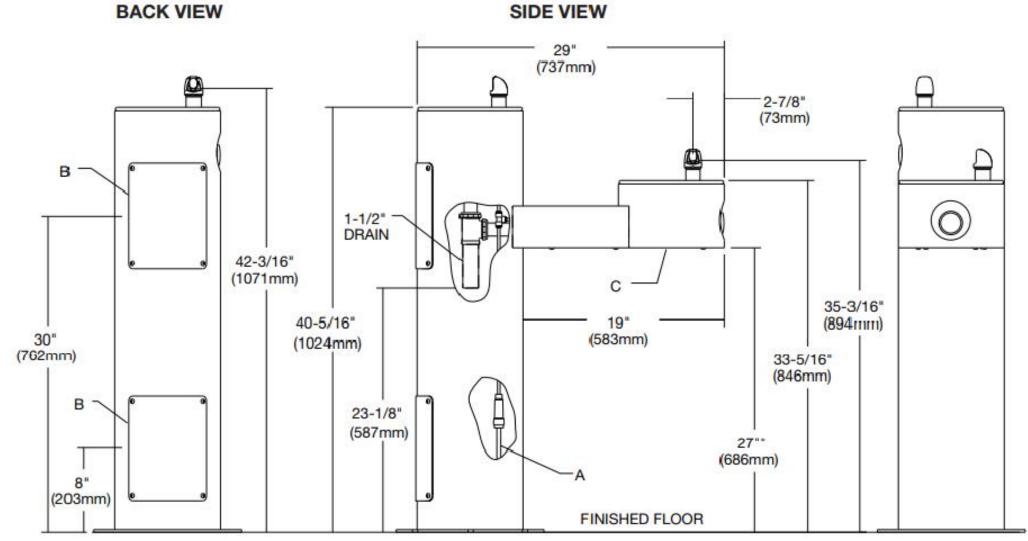


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LEGEND: EXISTING CONCRETE PAVEMENT EXISTING ASPHALT PAVEMENT EXISTING BRICK PAVERS EXISTING EARTHEN WALK EXISTING GRASSED / SODDED AREA PROPOSED CONCRETE PAVEMENT PROPOSED SOD AREA NOTE: 1. ALL STRIPING / MARKINGS SHALL BE THERMOPLASTIC. **GRAPHIC SCALE** SCALE: 1" = 20' (22"x34") 1" = 40' (11"x17") Rev Date Ch'k'd App'd Drawn Description Mott MacDonald Florida, LLC. Μ 220 W. Garden St., Suite 700 Pensacola, FL 32502 United States of America MOTT T +1 (850) 484-6011 MACDONALD www.mottmac.com/americas Architects Engineers Surveyors AA - C0000035 EB - 0000155 LB - 0006783 Client City of Pensacola Public Works & Facilities Department 2757 N. Palafox Street Pensacola, FL 32501 Title Plaza de Luna Design PROPOSED MARKINGS AND AMENITIES PLAN **ISSUE FOR BID** Kevin M. Morgan, P.E. No. 7135 Florida License No. 71350 STATE Date SEAL VALID ONLY WITH ENGINEER SIGNATURE Project Number Total B/O 502100054-020 48 Ο Designed K. MORGAN Eng check K. MORGAN G. EDWARDS Coordination G. EDWARDS Drawn Dwg check T. FROMM K. MORGAN Approved Scale at ANSI D Status Security Rev BID 1" = 20' ŚTD Drawing Number C-007



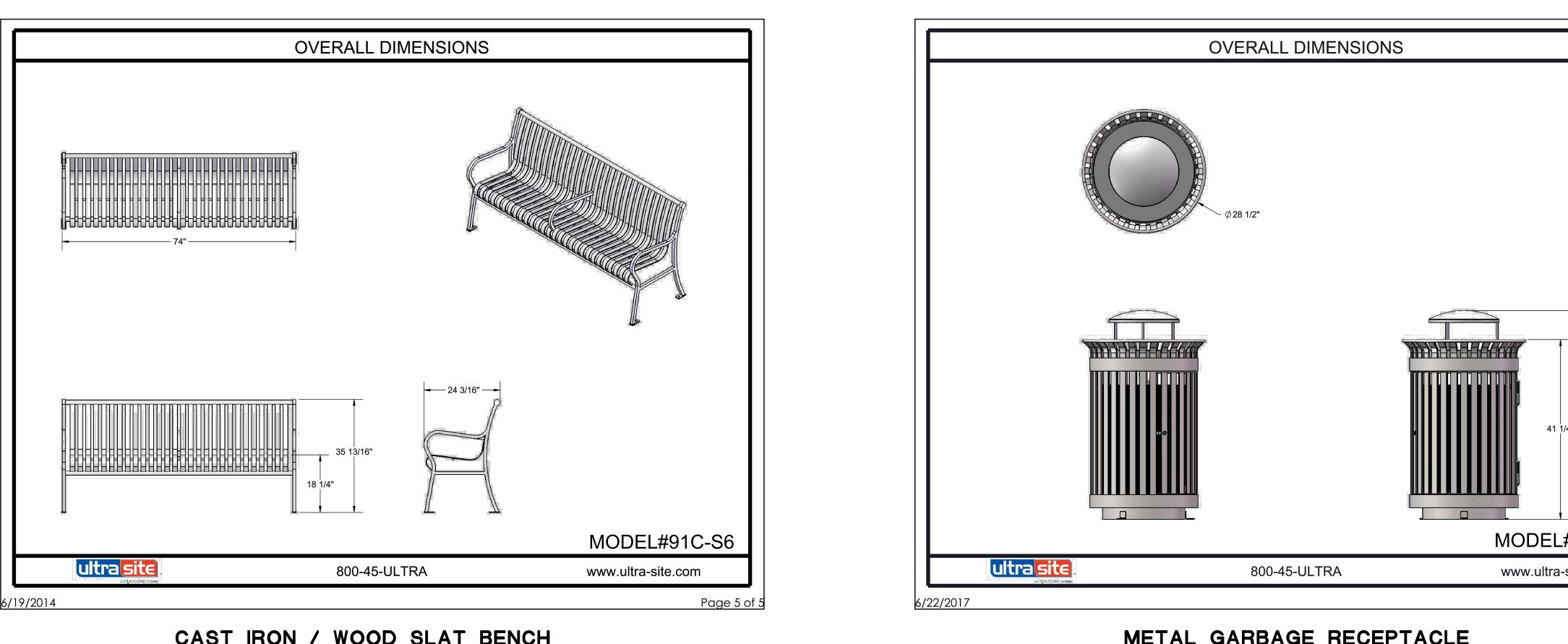


LEGEND

A = 3/8" O.D. UNPLATED COPPER TUBE CONNECT - SHUT OFF VALVE BY OTHERS.

B = ACCESS PANEL (8" X 10") C = REMOVABLE BOTTOM COVER.

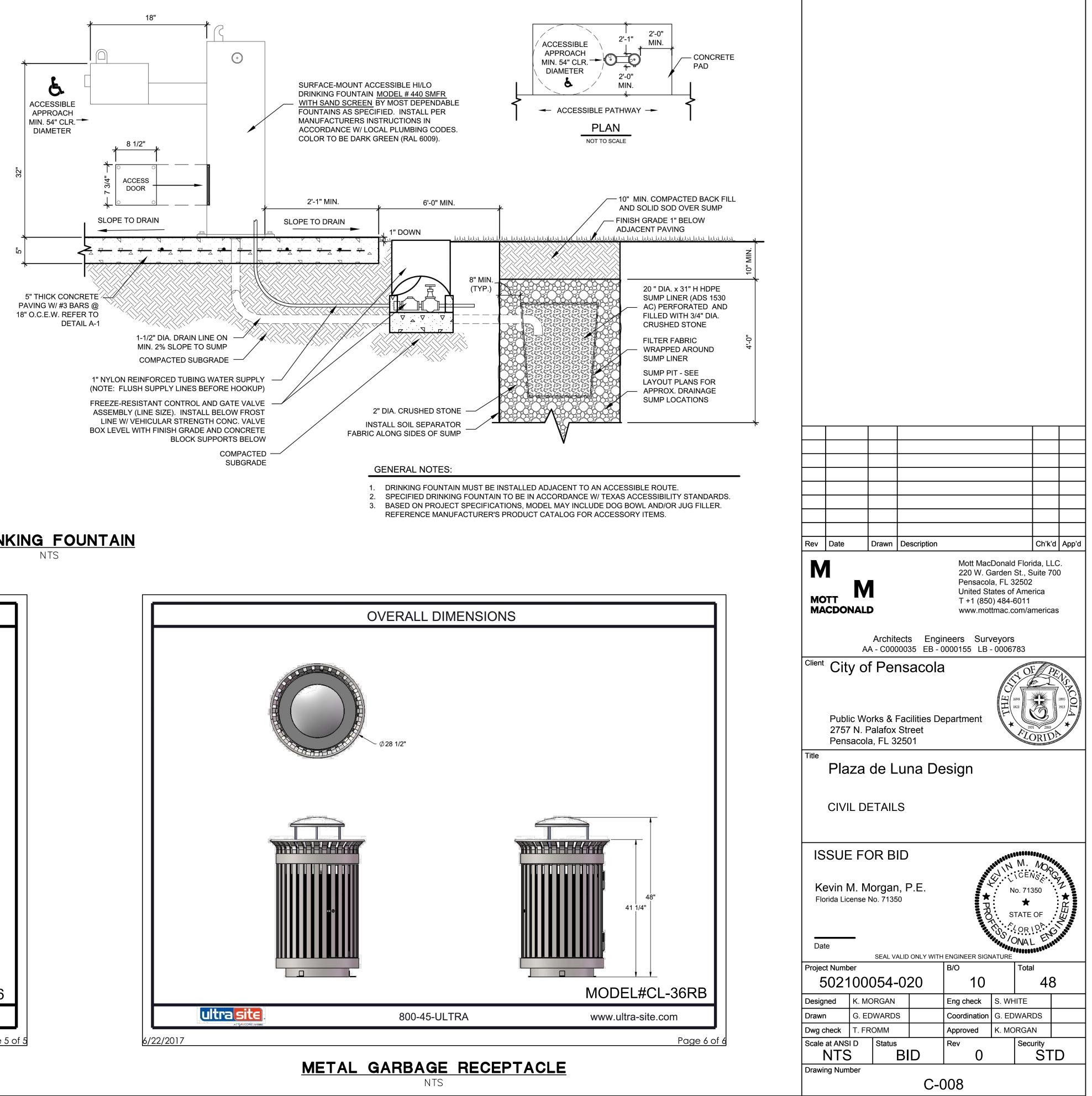
*ADA Requirement



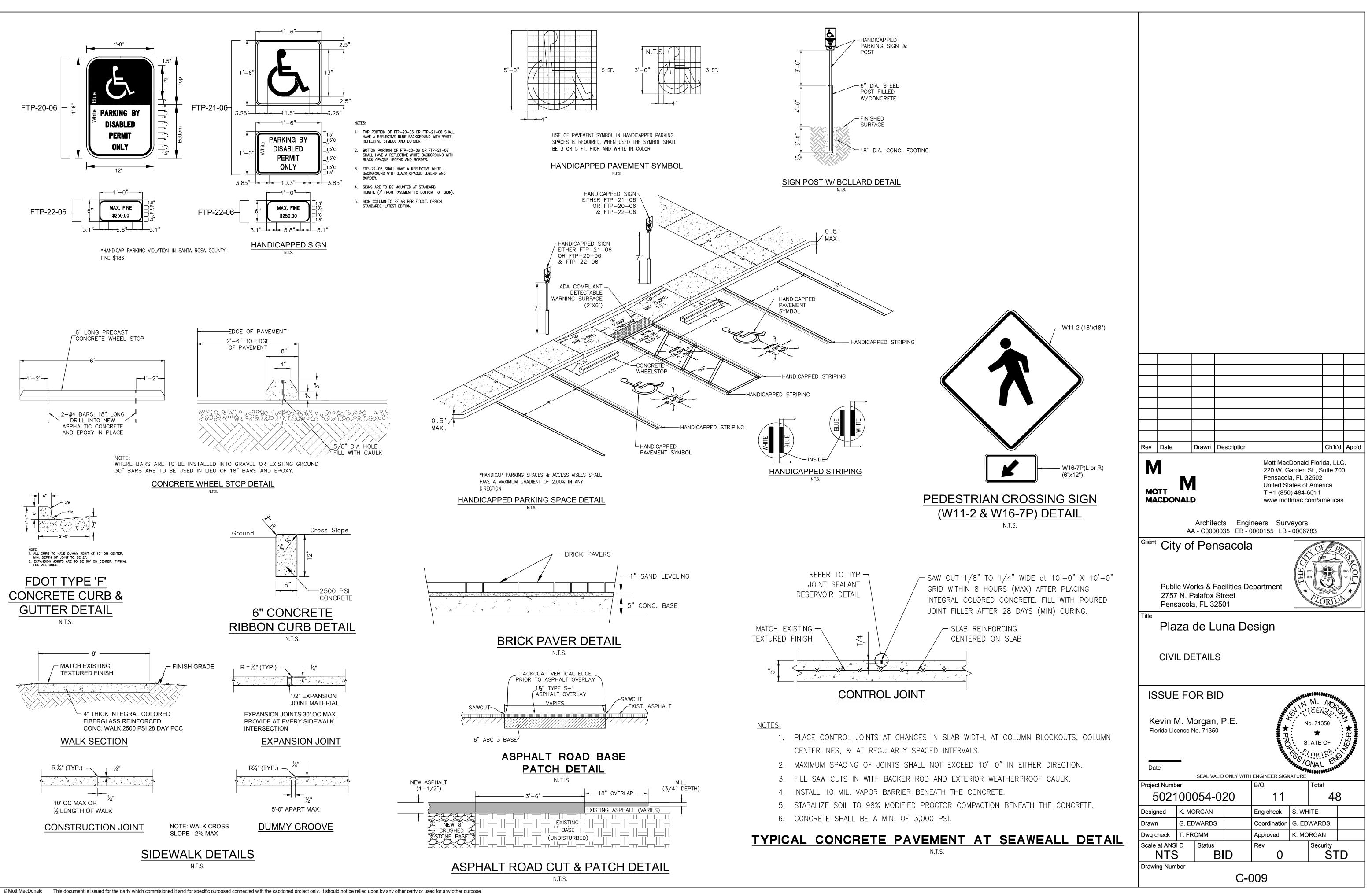
CAST IRON / WOOD SLAT BENCH NTS

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User Name: edw35974 Time Stamp: Aug 03, 2021 - 11:49:2: awing Name: C-009 Civil Details.dwg Drawing Path: P:\502100054-020 Plaz

EROSION CONTROL NOTES:

SEDIMENT AND EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. TEMPORARY SEED & MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. PERMANENT VEGETATION SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5-FOOT HORIZONTAL TO 1-FOOT VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE, AND INSPECTED AT LEAST WEEKLY AND AFTER EACH 1/4" RAINFALL EVENT AT A MINIMUM.

2. THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE AND COMPLY WITH A STORM WATER POLLUTION PREVENTION PLAN AND PERFORM CONSTRUCTION IN COMPLIANCE WITH THE REQUIREMENTS OF THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION).

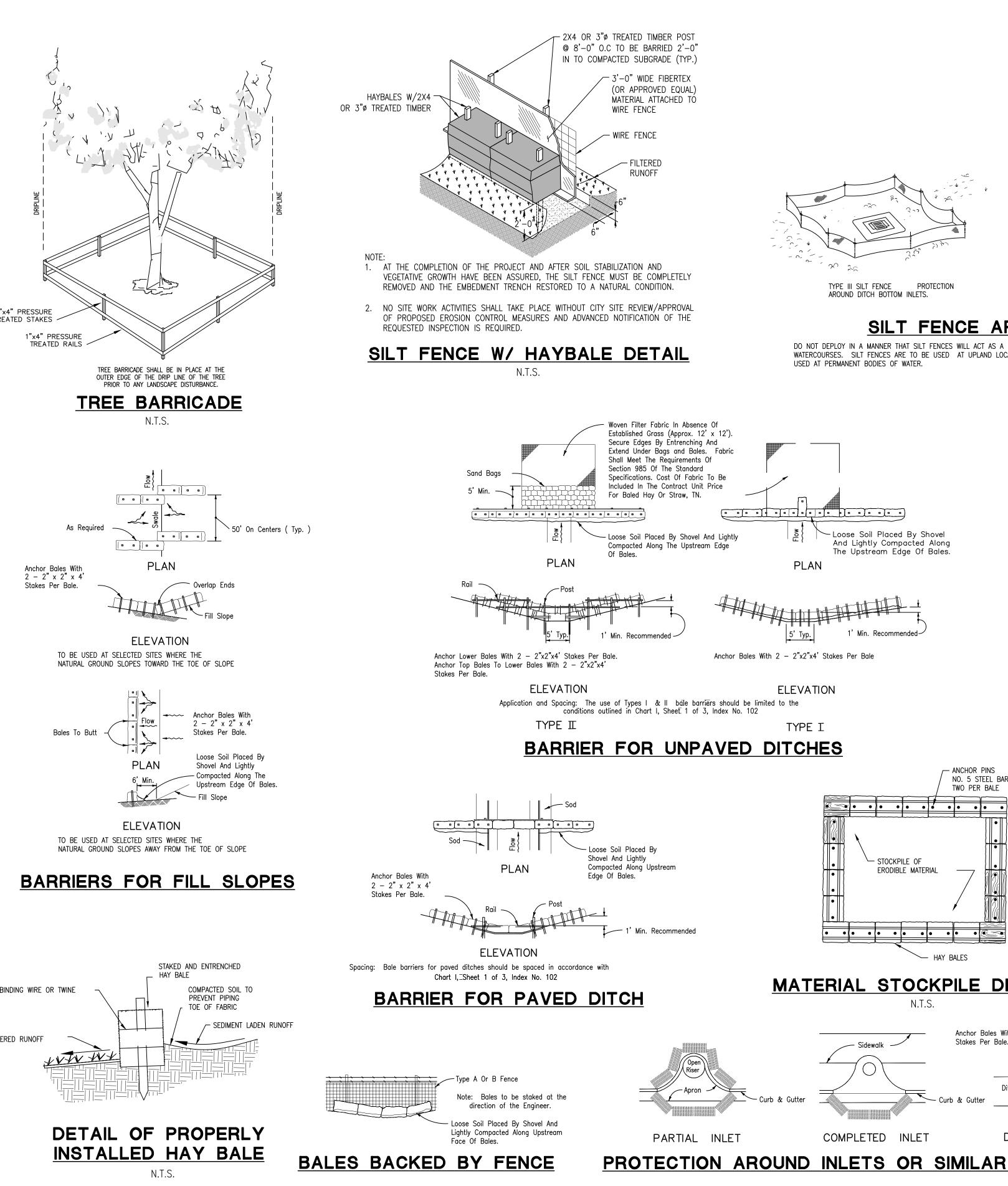
3. THE CONTRACTOR SHALL USE SEDIMENT AND EROSION CONTROL MEANS/DEVICES INCLUDING BUT NOT LIMITED TO HAY BALES AND SILT FENCES TO PREVENT EROSION AND SEDIMENT TRANSPORT OUTSIDE THE LIMITS OF CONSTRUCTION.

4. THE CONTRACTOR WILL ENSURE THAT SEDIMENT AND EROSION CONTROL FEATURES ARE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT AND UNTIL FINAL PROJECT SITE STABILIZATION IS ESTABLISHED. THE CONTRACTOR WILL ENSURE THAT EROSION CONTROL IS IMPLEMENTED AND MAINTAINED FOR ALL WETLANDS, DITCHES, STEEP SLOPES, STORM WATER INLETS AND OTHER ENVIRONMENTAL AND AESTHETIC AREAS ADJACENT TO THE PROJECT. IMPROPER CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATIONS.

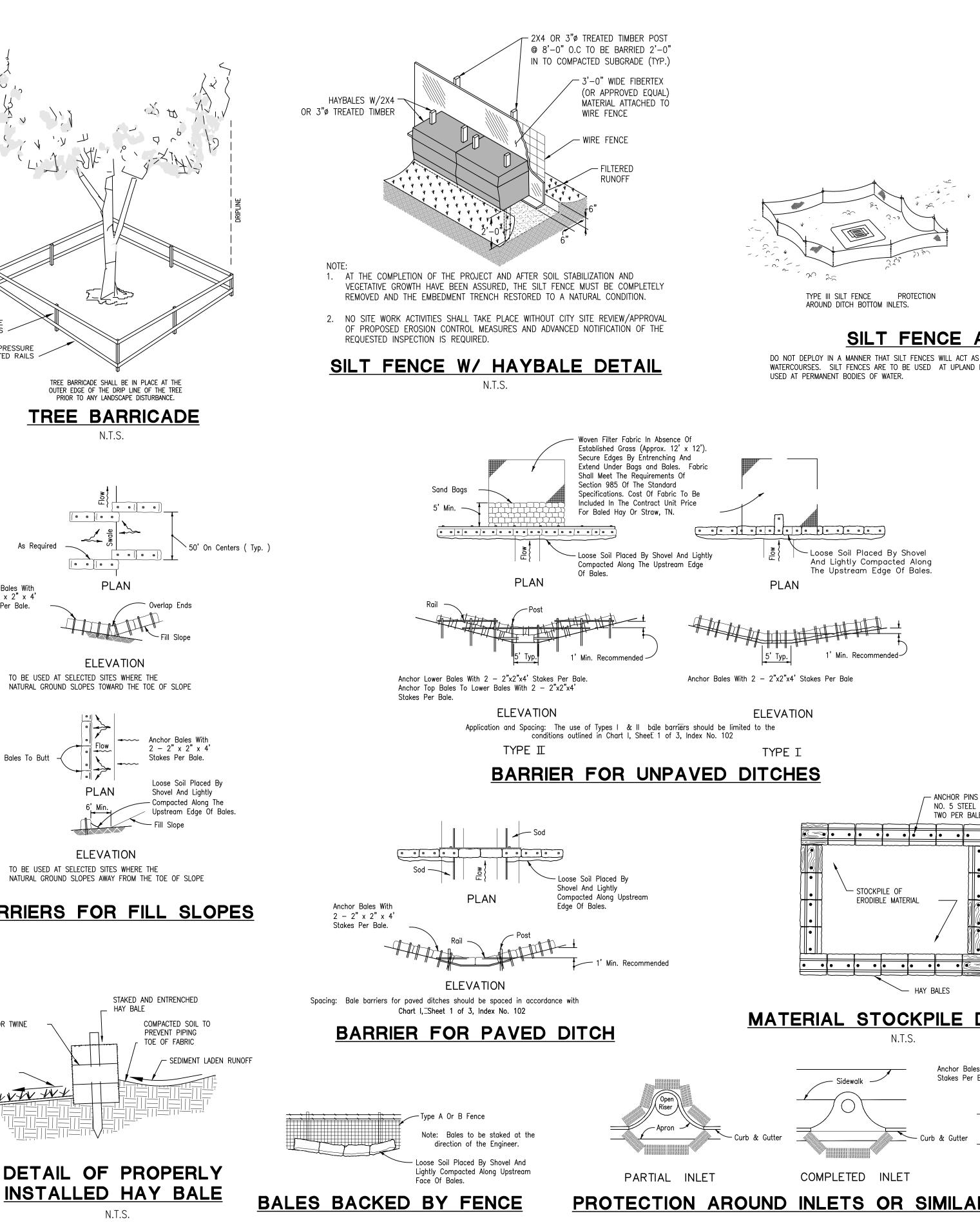
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT NO MILLET GRASS OR SEED BE USED FOR SEEDING & MULCHING OR SODDING PURPOSE, WHATSOEVER. SHOULD ANY MILLET GRASS OR SEED BE PLACED, IT MUST BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE.

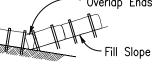
6. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE CITY FOR SITE REVIEW OF: SEDIMENT/EROSION CONTROL DEVICES PRIOR TO CONSTRUCTION; UNDERGROUND FEATURES PRIOR TO BURIAL; AND THE FINAL INSPECTION OF THE PROJECT UPON COMPLETION.

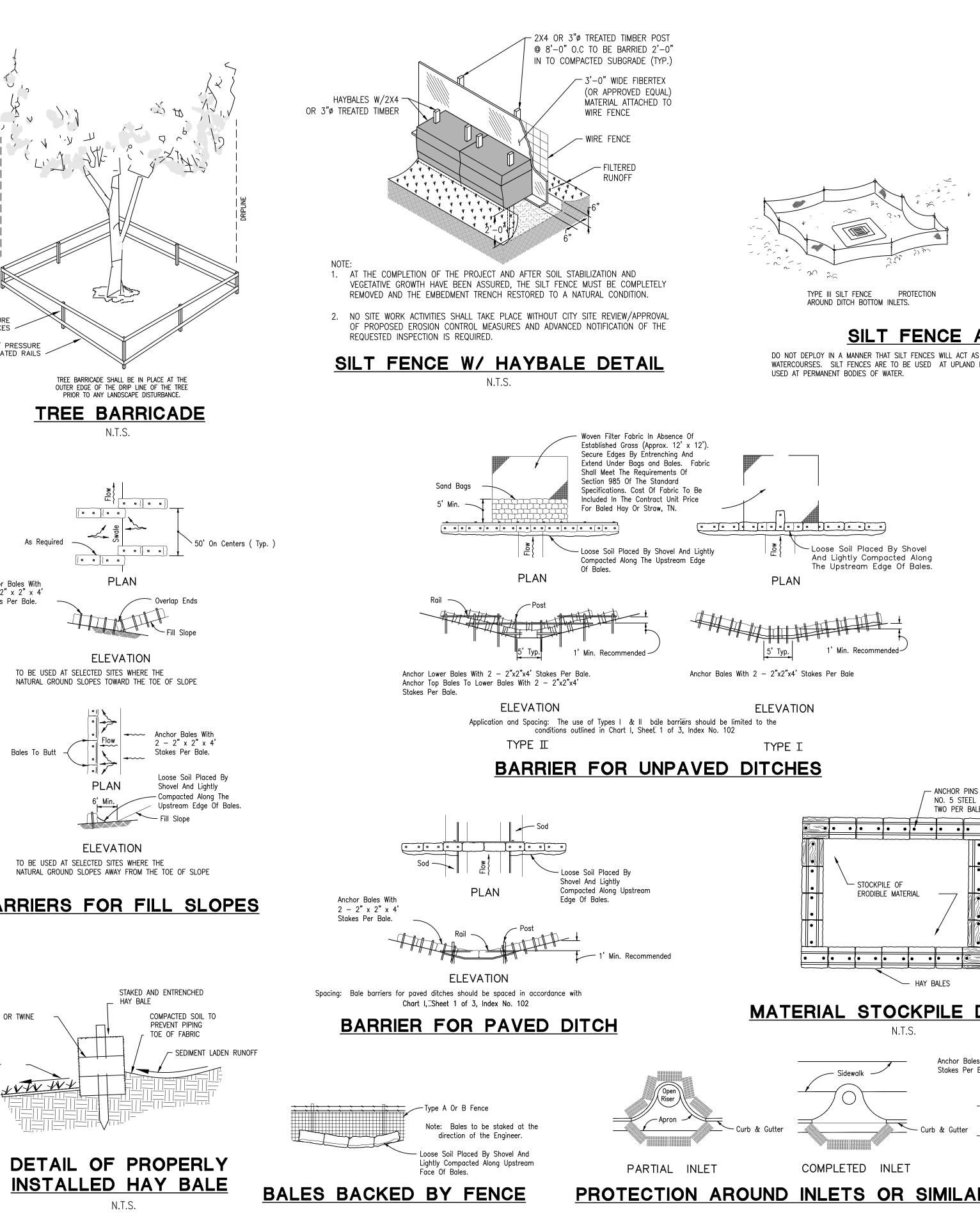
7 THE CONTRACTOR IS ADVISED THAT EROSION CONTROL MEASURES SPECIFIED HEREIN ARE TO BE CONSIDERED MINIMUM INSTALLATION REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ADDITIONAL MEASURES AS NECESSARY TO PREVENT EROSION AND MAINTAIN SEDIMENT ON SITE AT ALL TIMES.

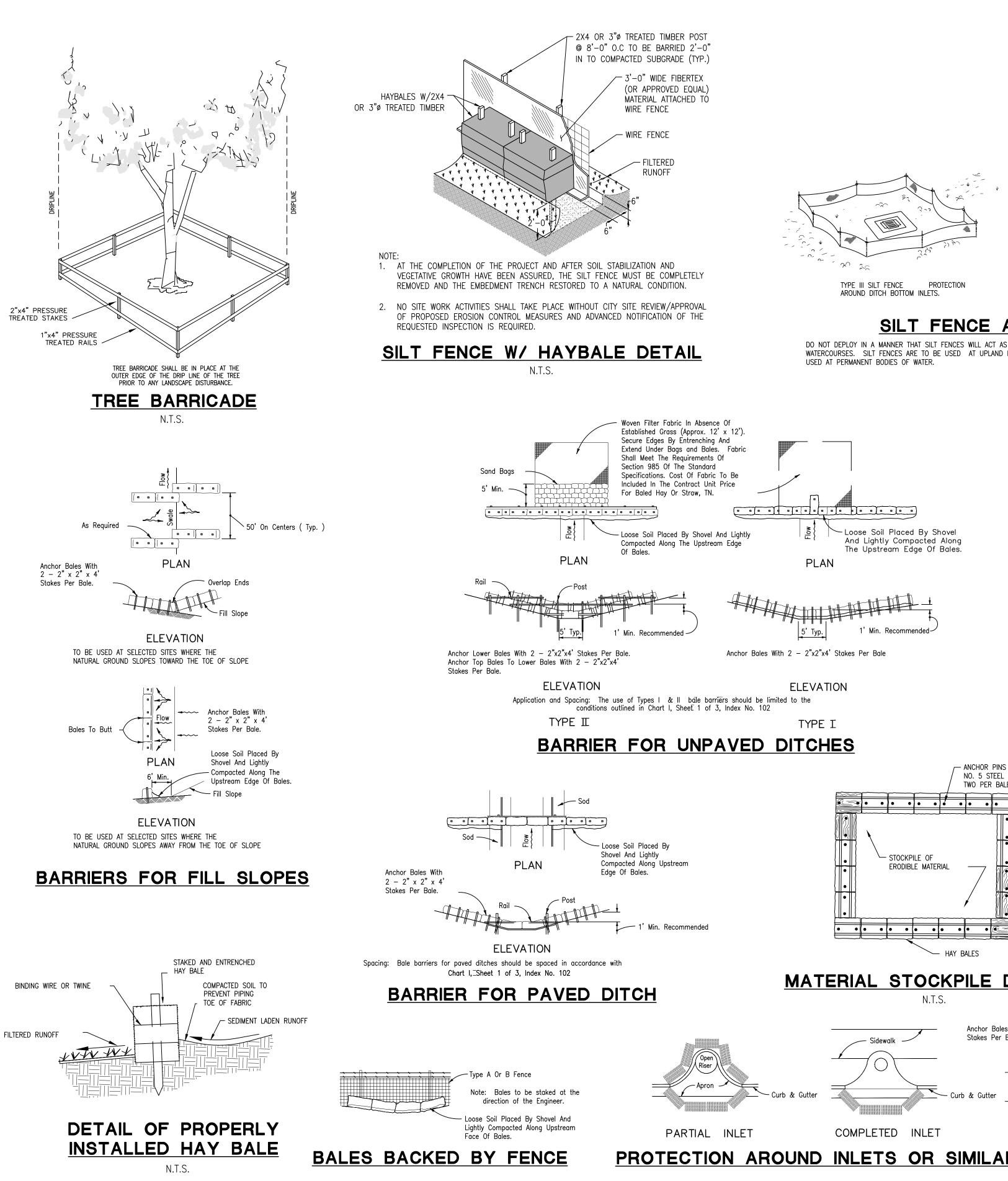








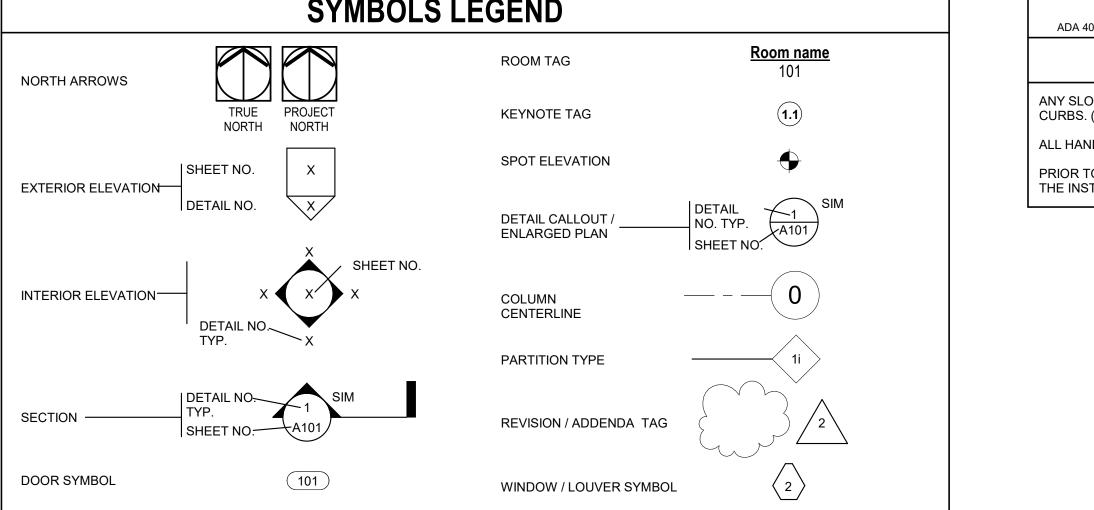




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SILT FLOW						
TYPE III SILT FENCE						
PPLICATIONS						
DAM ACROSS PERMANENT FLOWING						
CATIONS AND TURBIDITY BARRIERS						
	Rev Date	Drawn	Description		Ch'k	'd App'd
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			D		M M MO	
	Kevin	M. Morgan	. P.E.		No. 71350	J.Z.
	Florida Lie	cense No. 7135	0		★	★ ℃
<u>ETAIL</u>				RO	STATE OF	NEE.
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′ith 2 − 2" × 2" × 4'	Date	SEAL VA		H ENGINEER SIGN	NATURE	•-
е.	Project Num		000	B/O	Total	
		100054-	U2U	12	48	5
Ditch	Designed	K. MORGAN		Eng check	S. WHITE	
	Drawn Dwg check	G. EDWARDS	>	Coordination Approved	G. EDWARDS	
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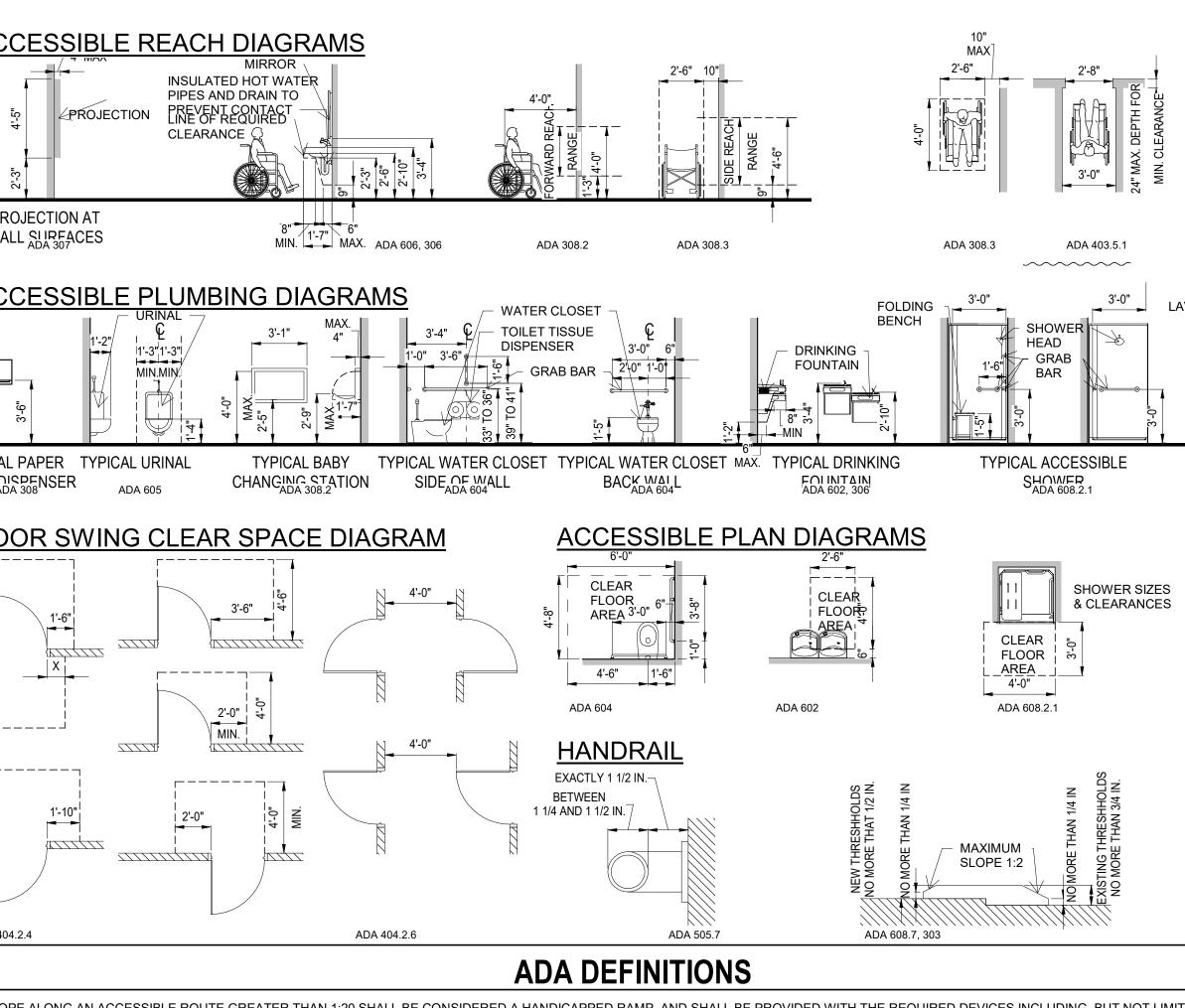
	SCHEDULE	SCHED	GAUGE	GA	ABOVE FINISHED FLOOR	A.F.F.
	SECTION SHEET	SECT SHT	GALVANIZED GYPSUM WALLBOARD	GALV GWB	ACOUSTICAL TILE ADJACENT	A.C.T. ADJ
<u> </u>	SIMILAR	SIM	GYPSUM	GYP	ADJUSTABLE	ADJ ADJT
	SKYLIGHT	SK	HANDICAP	HC	ALTERNATE	ALT
	SPEAKER	SPKR	HARDWARE	HDW	ALUMINUM	ALUM
	SPECIFICATIONS	SPEC	HEATING / VENTILATION / AC	HVAC	ANODIZED	ANOD
	STAINLESS STEEL STANDARD	S.S. STD	HOLLOW METAL	HM	BEARING	BRG
	STATION	STA	HORIZONTAL HOSE BIBB	HORIZ HB	BENCH MARK	B.M.
	STEEL	STL	HOUR	HR	BLOCKING	BLKG
	STORAGE	STOR			BOARD BOTTOM	BD BTM
	STRUCTURAL SUSPENDED CEILING	STRUCT SUSP CL	INSULATION	INSUL	BOLLOW	BTW
	SQUARE FEET	SUSF CL S.F.	INCH INTERIOR	IN INT	CAST IN PLACE	CIP
					CEILING	CLG
	TELEPHONE	TEL		MFR	CLOSET	CLOS
	THICK TONGUE AND GROOVE	THK T&G	MASONRY OPENING MATERIAL	M.O. MAT	CLEAN OUT	CO
	TOP AND BOTTOM	T/B	MAXIMUM	MAX	CLEAR COLUMN	CLR COL
Α	TOP OF CONCRETE	T.O.C.	MECHANICAL	MECH	CONCRETE	CONC
/	TOP OF MASONRY	T.O.M.	METAL	MTL	CONCRETE MASONRY UNIT	CMU
	TOP OF STEEL TOP OF WALL	T.O.S. T.O.W.	MINIMUM MISCELLANEOUS	MIN MISC	CONTINUOUS	CONT
	TYPICAL	TYP	MOUNTED	MTD		CJ
			MULLION	MUL	CORNER GUARD CONTRACTOR FURNISHED	CG CFCI
	UNLESS OTHERWISE NOTED	U.N.O.	NOMINAL	NOM	CONTRACTOR INSTALLED	
	UNDERWRITERS LABORATORIES	UL	NORTH	N		
			NOT IN CONTRACT	NIC	DETAIL DIAGONAL	DTL DIAG
	VAPOR BARRIER VINYL COMPOSITION TILE	VB VCT	NOT TO SCALE	NTS	DIAMETER	DIAG
	VINTE COMPOSITION TILE	VERT	NUMBER	NO	DIMENSION	DIM
TYP	VENT THROUGH ROOF	VTR	ON CENTER OPENING	O.C. OPNG	DOWNSPOUT	D.S.
TOWE				OPNG	DRAIN DRINKING FOUNTAIN	D D.F.
	WALL HYDRANT	WH	OPPOSITE HAND	OPP.HAND	DRINKING FOONTAIN	D.F.
	WATER CLOSET	WC	OVER HEAD	O.H.	ELECTRICAL PANELBOARD	EP
	WATERPROOFING WEIGHT	WP WT	OWNER FURNISHED	OFCI	ELECTRIC WATER COOLER	EWC
	WEIGHT WELDED WIRE FABRIC	WWF	CONTRACTOR INSTALLED OWNER FURNISHED	OFOI	ELEVATION	EL
	WINDOW	WIN	OWNER INSTALLED	0101	EQUAL	EQ
5	WITH	W/	PLASTIC LAMINATE	P. LAM	EXHAUST FAN EXISTING	EF EXIST
5'-0"	WITHOUT WOOD	W/O WD	PARTITION	PART.	EXPANSION JOINT	E.J.
	WOOD	VVD	PRECAST CONCRETE PLATE	PC PL		
555			PLATE		FIELD VERIFY	F.V.
			POURED IN PLACE	PIP	FACE OF CONCRETE FACE OF FINISH	F.O.C. F.O.F.
5			PREFABRICATED	PREFAB	FACE OF FINISH FACE OF MASONRY	г.О.г. F.O.M.
4'-0"			POST TENSIONED CONCRETE	PTC	FACE OF STUD	F.O.S.
			PRESSURE TREATED POLYVINYL CHLORIDE	P.T. PVC	FACE OF WALL	F.O.W.
			RADIUS	RAD.	FINISH	FIN
			REQUIRED	REQ.	FINISH FLOOR FIRE EXTINGUISHER CABINET	FIN. FLR. F.E.C.
			ROOF DRAIN	R.D.	FIRE ALARM	FA
, ⊺			ROUGH OPENING	R.O.	FIRE HOSE CABINET	F.H.C.
4'-0"			RIGHT OF WAY	R.O.W.		FH
			ROOM REFERENCE	RM REF	FLOOR FOOTING	FL FTG
<u></u>			REVISION	REV.	FOUNDATION	FDN
			-		FLOOR DRAIN	FD



GENERAL NOTES

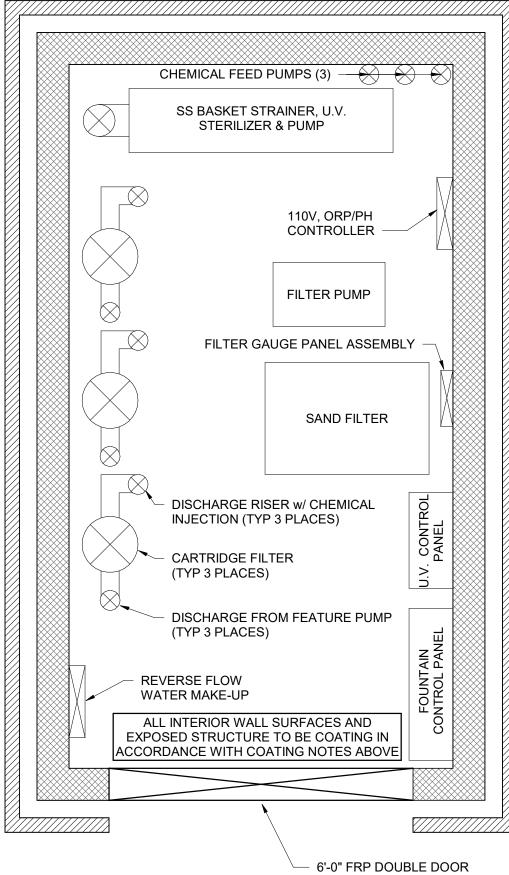
- ALL WORK MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN STRICT ACCORDANCE WITH, AND SHALL CONFORM WITH, ALL FEDERAL, STATE AND LOCAL CODE ORDINANCES, RULES AND REGULATIONS, TO THE PUBLISHED SPECIFICATIONS AND RECOMMENDED PRACTICES OF THE MANUFACTURERS AND THE APPROPRIATE APPLICABLE STANDARDS, WHERE SUCH CODES, RULES AND REGULATIONS ARE AT VARIANCE WITH THE PLANS AND NOTES, SAID CODES, RULES AND REGULATIONS, ETC. SHALL TAKE PRECEDENCE OVER THE PLANS AND NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS NECESSARY TO PERFORM ALL WORK AND SERVICES HEREIN NOTED OR INDICATED ON THE DRAWINGS
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER / OWNER PRIOR TO STARTING CONSTRUCTION. COMMENCEMENT OF THE WORK BY THE CONTRACTOR SHALL IMPLY HIS ACCEPTANCE OF ALL EXISTING CONDITIONS.
- ALL WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST, OR DISTURBANCE TO OCCUPANTS, ADJACENT SITES OR BUILDINGS. ALL INGRESS/EGRESS ROUTES AND PARKING AREAS TO BE SWEPT CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE GENERAL PUBLIC AND CONSTRUCTION WORKERS IN AND AROUND THE CONSTRUCTION SITE. ADEQUATE BARRIERS SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE INGRESS AND EGRESS OF PREMISES. FIRE EXITS SHALL AT NO TIME BE BLOCKED.
- DETAILS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYP." IMPLY ALL CONDITIONS TREATED SIMILARLY.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.

- 8. THE CONTRACTOR SHALL FULLY FAMILI WILL BE PERFORMED AND COMPARE TH CONTRACTOR OF HIS OBLIGATION TO F DOCUMENTS AND TO COMPLETE THE CO OUT OF HIS WORK, SHALL EMPLOY SUC THE WORK OF ANY OTHER TRADES.
- 9. SHOULD DISCREPANCIES OCCUR BETWI CODES, STANDARDS, RULES, REGULATI
- 10. UNLESS STATED OTHERWISE, ALL WORK CONTRACTOR PER TERMS OF CONTRAC
- 11. REFER TO CIVIL, STRUCTURAL, MECHAN TO ACCOMMODATE NEW CONSTRUCTIO SHALL BE THE CONTRACTORS RESPONS CONSULTANT'S WORK AND BRING ANY D IMPROPERLY INSTALLED WORK SHALL E CONSULTANTS, OR THE OWNER.
- 12. SIZE OF MECHANICAL AND ELECTRICAL E RESPECTIVE EQUIPMENT MANUFACTURE
- 13. CONTRACTOR SHALL PROVIDE AND INST INSTALLATION OF ALL CASEWORK, TOIL ELECTRICAL EQUIPMENT AND DEVICES.



ABBREVIATIONS THIS LIST IS NOT ALL INCLUSVE	ADA STANDARDS	
ABBCKEVIALIUNS THE LATE NOT ALL NULLIST AFF, AC, ACOUSTICAL THE CONSTRUCTION OF ADDRESS OF ACTION		Image: marked state state Image: marked state Image: marked state Image: marked st
EXTERIOR ELEVATION SHEET NO. X SPOT ELEVATION DETAIL NO. X X DETAIL CALLOUT / INO. TYP. INTERIOR ELEVATION X X X DETAIL CALLOUT / ENLARGED PLAN DETAIL NO. TYP. SIM INTERIOR ELEVATION X X X DETAIL NO. X X COLUMN CENTERLINE O O PARTITION TYPE 11 11 SECTION TYP. A101 NOOR SYMBOL 101 WINDOW / LOUVER SYMBOL 2	PRIOR TO INSTALLATION NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN THE REQUIRED MOUNTING HEIGHT AND OTHER EQUIPMENT OR MATERIAL. IF NOTIFICATION IS NOT MADE AND INSTALLATION PROCEEDS, THE INSTALLER SHALL REMOVE, PATCH ADJACENT FINISHES, AND REINSTALL OR REPLACE THE UNIT AT HIS COST WHERE DIRECTED BY THE ARCHITECT.	MOTT Image: Solution of America Telephone: (850) 484-6011 www.mottmac.com/americas Architects Engineers Surveyors AA - C000035 EB - 0000155 LB - 0006783 Client City of Pensacola Image: Solution of Control of Contr
GENERAL NOTES		LEGENDS AND ABBREVIATIONS
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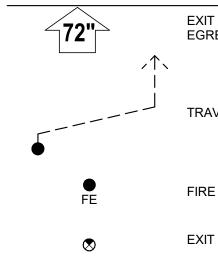
GE	NERAL NOTES	COATING NOTES
1. 2. 3. 4. 5.	CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND INFORM THE A/E IF THERE ARE ANY DISCREPANCIES BEFORE PROCEEDING TO DO WORK OR PURCHASE ORDERS. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK. ARCHITECTURAL PLANS BASED ON TOP OF CONCRETE FOR THE GROUND FLOOR 0'-0" = 10.0' NGVD (COORDINATE WITH CIVIL DRAWINGS) SEE LIFE SAFETY PLAN FOR LOCATIONS AND TYPES OF RATED WALL ASSEMBLIES, FIRE EXTINGUISHERS, AND MEANS OF EGRESS. DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR	 INTERIOR CONCRETE SURFACES AND MASONRY SUBSTRATES: BLOCK FILLER - SERIES 130 ENVIROFILL, AS REQUIRED TO CREATE A PINHOLE FREE SURFACE. INTERMEDIATE COAT - TNEMEC SERIES 113 OR 114 TNEME-TUFCOAT, 4.0 TO 6.0 MILS DFT. FINISH - TNEMEC SERIES 297 ENVIRO-GLAZE, 2.0 TO 3.0 MILS DFT. TOTAL DRY FIL THICKNESS: 8.0 TO 12.0 MILS (NOT INCLUDING BLOCK FILLER) TOTAL COATS: THREE (3) INTERIOR WOOD SUBSTRATES: A. PRIME COAT: TNEMEC SERIES 10-99W TNEMEC PRIMER APPLIED AT 1.0 TO 2.0 MILS DFT. INTERMEDIATE COAT: TNEMEC SERIES 1028 OR 1029 ENDURATONE APPLIED AT 2.0 TO 3.0 MILS DFT. FINISH: TNEMEC SERIES 1028 OR 1029 ENDURATONE APPLIED AT 2.0 TO 3.0 MILS DFT. D. TOTAL DRY FILM THICKNESS: 5.0 TO 8.0 MILS DFT.
6.	NOT THEY ARE KEYED IN AT EACH LOCATION. METHOD FOR DIMENSIONING WALLS AND OPENINGS: - MASONRY WALLS: FACE TO FACE UNLESS OTHERWISE NOTED	
DO	OR NOTES	
1.	PROVIDE DOOR HARDWARE ALLOWANCE (\$600 PER DOOR). REFER TO SPECIFICATION 01200.	
2.	CONTRACTOR IS REQUIRED TO COORDINATE FINAL HDW REQUIREMENTS WITH OWNER, ARCHITECT & G.C.'s SELECTED HARDWARE VENDOR/SUB.	
3.	SEE SPECIFICATION SECTION 08710 FOR GENERAL BASIS OF DESIGN HARDWARE REQUIREMENTS.	
4.	DOOR VENDOR/MFR TO VERIFY ALL DOOR SIZES, ROUGH OPENINGS, ETC. PRIOR TO ORDERING. THE ARCHITECT IS TO BE NOTIFIED OF ANY DESIGN CONFLICTS.	
5.	PROVIDE THE FOLLOWING: <u>HARDWARE SET</u> BUTTS: 3 PAIR LOCKSET: STORAGE FUNCTION SURFACE BOLT: 2 EACH RAIN DRIP: 1 EACH GASKETING: 1 EACH THRESHOLD: 1 EACH 12" SQ VENTS: 2 EACH	



REFER TO DOOR NOTES ABOVE

1 FLOOR PLAN 1/2" = 1'-0"

LIFE SAFETY L



APPLICABLE CO

OCCUPANCY C

CONSTRUCTION

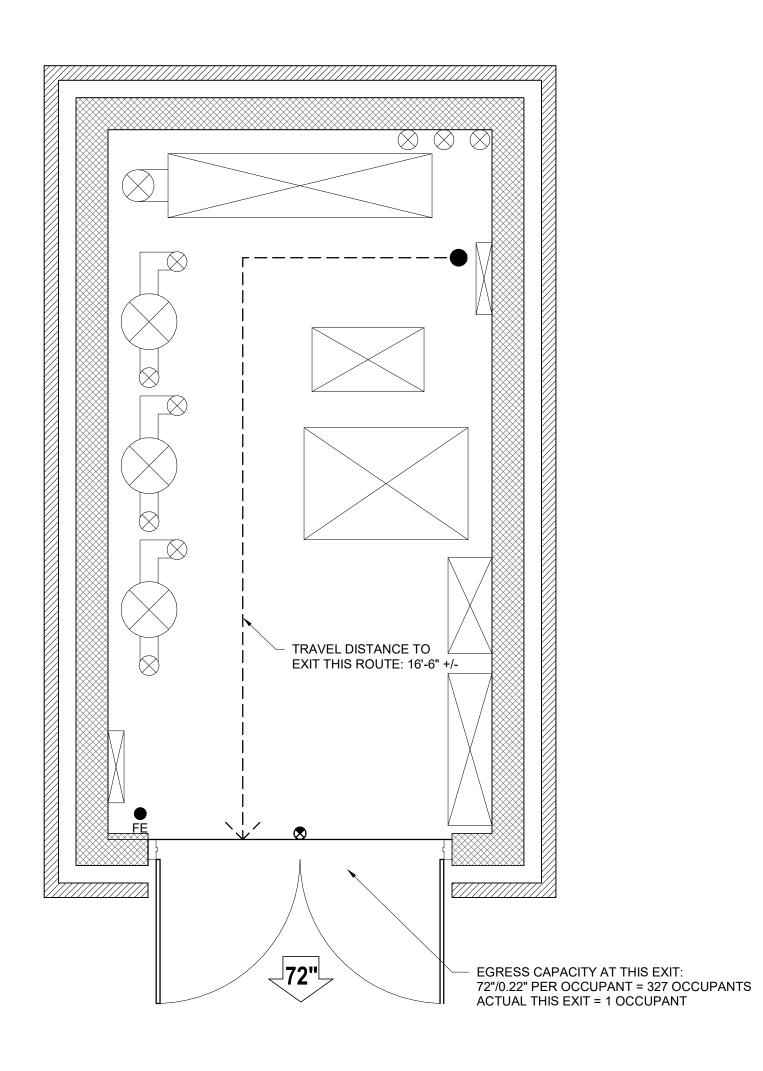
FBC: TYPE V-B NON-SPRINKLER ALLOWABLE AREA (FBC TABLE S ALLOWABLE HEIGHT (FBC TABLI ALLOWABLE NO. OF STORIES (F TOTAL AREA ALLOWED = 9,000 S TOTAL AREA PROVIDED = <u>118 SF</u>

FIRE RESISTAN

FBC TABLES 601 AND 602

STRUCTURAL FRAME: BEARING WALLS INTERIOR: BEARING WALLS EXTERIOR: NON BEARING WALLS INTERIOR NON BEARING WALLS EXTERIOF 5' SEPARATION 5' TO 10' 10' TO 30' OVER 30' FLOOR ASSEMBLIES: ROOF ASSEMBLIES:

LIFE SAFETY IN



2 LIFE SAFETY PLAN 1/2" = 1'-0"

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LIFE SAFETY		
\frown	EXIT - WITH CLEAR	_
72 "	EGRESS WIDTH	
/↑、		
	TRAVEL DISTANCE TO AN EXIT	
• -		
•	FIRE EXTINGUISHER	
FE		
\odot	EXIT LIGHT	
APPLICABLE	ECODES	
BUILDING CODE: FIRE PREVENTION CODE		
LIFE SAFETY CODE: MECHANICAL CODE: PLUMBING CODE:	2018 NFPA 101 2020 FBC; MECHANICAL 2020 FBC; PLUMBING	
ELECTRICAL CODE: ACCESSIBILITY CODE:	NATIONAL ELECTRICAL CODE 2017 2020 FBC; ACCESSIBILITY	
ENERGY CODE:	2020 FBC; ENERGY	
	Y CLASSIFICATIONS	_
FBC 2020: GROUP U - UT	ILITY AND MISCELLANEOUS	
CONSTRUCT	ION TYPE	
- BC: TYPE V-B NON-SPRIN ALLOWABLE AREA (FBC TA		
ALLOWABLE HEIGHT (FBC ALLOWABLE NO. OF STOR	TABLE 504.3): 40'-0" > <u>14'-6"+/-</u> IES (FBC TABLE 504.4): 1 STORY	
TOTAL AREA ALLOWED = 9 TOTAL AREA PROVIDED =		
FIRE RESIST		
BC TABLES 601 AND 602		
STRUCTURAL FRAME:	0 HR	
BEARING WALLS INTERIOF BEARING WALLS EXTERIO	R: 0 HR	
NON BEARING WALLS INTE NON BEARING WALLS EXT 5' SEPARATION		
5' TO 10' 10' TO 30'	1 HR 0 HR	Rev Date Drawn Description Ch'k'd App'd
OVER 30' FLOOR ASSEMBLIES:	0 HR 0 HR	Mott MacDonald, Florida, LLC 220 West Garden Street
	FLOOR AREA PER OCCUPANT	MOTT IVI United States of America Telephone: (850) 484-6011
OCCUPANTS:		MACDONALD www.mottmac.com/americas Architects Engineers Surveyors
MECHANICAL - 118 SF / 3 OCCUPANT LOAD FOR N	300 SF=1 OCCUPANTSIEW AREAS:1 OCCUPANTS	Architects Engineers Surveyors AA - C000035 EB - 0000155 LB - 0006783
TOTAL OCCUPANT LOAD): <u>1 PERSONS</u>	Client OF Dependence OF PETE
	FBC NFPA (Table 8-2.3.2)	City of Pensacola
LEVEL:C CORRIDOR WIDTH: 44" M EXIT DOOR WIDTH: 32" C	1IN.	$ \begin{array}{c} H_{1821} \\ I_{821} I_{1913} Q $
EGRESS WIDTH REQUIR		Public Works & Facilities Department 2757 N. Palafox Street
1 PERSONS X 0.22 = 0.22	" REQ. <u>72" PROVIDED</u>	Pensacola, FL 32501
TOTAL NUMBER OF EXIT 1 REQ. <u>1 PROVID</u>		Plaza de Luna Design
<u>TRAVEL DISTANCES:</u> TRAVEL DISTANCE: 75' M	IAX	
PROVIDED: 16'-6" +/-		
		CODE SUMMARY, FLOOR PLAN & LIFE
		SAFETY PLAN
		CENST TT
		Project Engineer: Chad E. Lyner ★ No. 66277 ★ Florida Certification No.: 66277 ★
		VALID ONLY WITH
		DATE
		Project Number B/O Total 502100054-020
		Designed WW Eng Check
		Designed WW Englished Drawn WW Coordination
		Dwg Check CEL Approved T.JARMAN
		Scale at ANSI D Status Rev Security BID Image: Status Image: Status Image: Status
		Drawing Number
		A-002

<u>GENERAL</u>

- 1. TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE 7TH EDITION FLORIDA BUILDING CODE (2020).
- 2. THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
- 3. COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, OSHA, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- 4. ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE PLANS AND SPECIFICATIONS ARE ISSUED FOR BIDDING.
- 5. REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT/ ENGINEER. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
- 6. ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT / ENGINEER.
- 7. PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- 8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- 9. DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- 10. REFER TO ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
- 11. DETAILS LABELED "TYPICAL DETAILS" OR "TYP" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT / ENGINEER.
- 12. BUILDING DESIGN LOADS AND CRITERIA:

12. DU	ILDING DESIGN LOADS AND GRITERIA.	
Α.	MINIMUM FLOOR LIVE LOADS	
	- GROUND FLOOR	125 PSF
В.	ROOF	
	-LIVE LOAD	20 PSF
	-WIND UPLIFT	REFER TO A7
C.	WIND CRITERIA (FBC),	
	REFER TO GENERAL NOTE 13, BELOW	
	-ULTIMATE WIND SPEED	163 MPH
	-NOMINAL WIND SPEED	126 MPH
	-EXPOSURE	D
	-RISK CATEGORY	III
	-ENCLOSURE CLASSIFICATION	ENCLOSED
Ε.	SEISMIC CRITERIA	
	-IMPORTANCE FACTOR:	1.25
	-SPECTRAL RESPONSE COEFFICIENTS	
	-Ss:	0.079
	-S1:	0.054
	-S _{DS:}	0.085
	-S _{D1} :	0.087
	-SITE CLASS:	D
	-SEISMIC DESIGN CATEGORY:	В
	-SEISMIC - FORCE - RESISTING SYSTEM:	ORDINARY REINFORCED MASONRY SHEAR WALLS
	-RESPONSE MODIFICATION FACTOR:	R=2.0
	-ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

- 13. ALL WIND FORCES SHALL BE DETERMINED ACCORDING TO THE PROVISIONS OF THE FBC USING THE MINIMUM WIND CRITERIA STATED IN NOTE 12, ABOVE. INCLUDE ALL APPROPRIATE SHAPE, HEIGHT, AND GUST FACTORS FOR THE MAIN WIND FORCE. RESISTING SYSTEM AND COMPONENTS AND CLADDING. TO CALCULATE THE MAXIMUM NET UPLIFT, USE 60% OF THE SUPERIMPOSED DEAD LOADS.
- 14. CONTRACTOR SHALL PROVIDE ALL CODE REQUIRED PRODUCT APPROVAL NUMBERS TO THE GOVERNING BUILDING AGENCY. REFER TO WIND UPLIFT DIAGRAM & WIND LOADING CRITERIA FOR REQUIRED WIND LOADS. SIGNED & SEALED CALCULATIONS SHALL BE SUBMITTED FOR ALL PRODUCTS AS REQUIRED BY THE PRODUCT APPROVAL DOCUMENTATION.
- 15. "REF" IS THE ABBREVIATION FOR REFERENCE. WHEN PLACED NEXT TO A DIMENSION OR ELEVATION IT INDICATES THAT THE DIMENSION OR ELEVATION HAS BEEN DETERMINED FROM OTHER SOURCES SUCH AS EXISTING DRAWINGS. THE CORRECTNESS OF REFERENCE DATA IS NOT VERIFIED. THE CONTRACTOR SHALL VERIFY THE CORRECTNESS OF ALL REFERENCED DATA INDEPENDENTLY.

SHOP DRAWING SUBMITTAL

- 1. THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF THE SPECIFICATIONS.
- 2. REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. RESPONSIBILITY FOR THE CORRECTNESS OF DIMENSIONS, DETAILS, QUANTITIES, AND SAFETY DURING FABRICATION AND CONSTRUCTION SHALL REMAIN WITH THE CONTRACTOR.
- 3. CORRECTIONS AND/OR COMMENTS MADE ON THE SHOP DRAWINGS DURING REVIEW DO NOT IMPLY THAT ALL ERRORS AND OMISSIONS HAVE BEEN CORRECTED, NOR DOES IT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 4. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.
- 5. SHOP DRAWINGS WILL NOT BE REVIEWED UNLESS THEY ARE STAMPED "APPROVED" OR "APPROVED AS NOTED" BY THE GENERAL CONTRACTOR OR CONTRACTION MANAGER, WHICHEVER IS APPLICABLE.
- 6. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS TO THE CONTRACT DOCUMENTS AND OBTAIN ENGINEER'S WRITTEN APPROVAL BEFORE PROCEEDING.
- 7. IN ACCORDANCE WITH THE SPECIFICATIONS SUBMIT SHOP DRAWINGS CONSISTENT WITH THE FOLLOWING CRITERIA: A. ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER REQUIRES A
- MINIMUM OF 10 WORKING DAYS TO REVIEW AN AVERAGE SUBMITTAL AFTER RECEIPT OF THEM. B. SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
- C. SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.
- 8. ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL.

- 11. RESPONSIBILITIES OF DETAILERS AND FABRICATORS: A. GENERAL
- B. CONCRETE REINFORCING DETAILER
 - PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BENDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
 - CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, A CONTROL JOINTS, EXPANSION JOINTS, LINTELS, CONCRETE BOND BEAMS,
 - AND PILASTERS.
 - CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
 - CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS MUST BE CLEARLY SHOWN.

 - AND BAR SUPPORTS.
 - CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.
- 12. FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, REFER TO "SHOP DRAWING REQUIRING ENGINEERING INPUT BY SPECIALTY ENGINEER" GENERAL NOTE SECTION.

SOIL PREPARATION AND COMPACTION:

- 1. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD SHALL BE FOLLOWED.
- 2. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTING LABORATORY. A REPORT BEARING THE SIGNATURE AND EMBOSSED SEAL OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE THE PROJECT IS LOCATED WHO CONTROLLED AND TESTED THE SOIL COMPACTION SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD AS AN INDICATION THAT THE REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
- 3. EXCAVATE EXISTING SOIL TO BOTTOM OF FOOTINGS. ALL DELETERIOUS MATERIAL MUST BE COMPLETELY REMOVED.
- OPERATIONS.
- 5. SOIL COMPACTION, FILL, AND ITS REPLACEMENT SHALL BE FIELD CONTROLLED BY THE TESTING AGENCY OR GEOTECHNICAL ENGINEER OF RECORD. THE TESTING AGENCY SHALL RANDOMLY SELECT ALL TEST LOCATIONS.
- 6. THE CONTRACTOR SHALL DETERMINE WHETHER DE-WATERING WILL BE REQUIRED BASED ON ACTUAL GROUND WATER CONDITIONS AT THE TIME OF CONSTRUCTION.

SHALLOW FOUNDATIONS

- 1. ALLOWABLE BEARING PRESSURE: 1500 PSF
- 2. SOIL COMPACTION BENEATH THE FOUNDATIONS AND SLAB SHALL BE 98% MODIFIED PROCTOR
- 3. DO NOT EXCAVATE FOR ANY PURPOSE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOOTING OR FOUNDATION UNLESS SUCH FOOTING OR FOUNDATION IS FIRST PROPERLY PROTECTED AGAINST SETTLEMENT.
- 4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ACCUMULATED WATER FROM EXCAVATION AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS. THE CONTRACTOR SHALL FIELD VERIFY GROUND WATER DEPTHS PRIOR TO CONSTRUCTION.
- 6. ANY ANCILLARY DEWATERING DISCHARGE SHALL BE REMOVED FROM THE SITE PER LOCAL CITY AND COUNTY ORDINANCES.

SLABS ON GRADE:

- SPECIFICATIONS.
- 2. CHAIR WIRE FABRIC DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.
 - 3. USE 10 MIL. POLYETHYLENE SHEETING BETWEEN SOIL AND CONCRETE SLAB, UNLESS OTHERWISE NOTED.

 - 4. PLACE CONTROL JOINTS AS INDICATED IN THE STANDARD DETAILS IN ALL FLOATING SLABS ON GRADE. DO NOT EXCEED A 1.5 TO 1 WIDTH TO LENGTH RATIO. CONTRACTOR SHALL SUBMIT A CONTROL JOINT LAYOUT FOR ENGINEER'S REVIEW.
 - 5. RECESS SLABS ON GRADE FOR FLOOR FINISHES PER ARCHITECTURAL DRAWINGS.

- 9. DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.
- 10. SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED.

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- SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.

 CLEARLY SHOW ELEVATION, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS. - CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS,

4. ALL EXISTING UTILITIES AND ORGANICS (INCLUDING STUMPS AND ROOTS) SHALL BE COMPLETELY REMOVED PRIOR TO FILL

- 1. PREPARE SUBGRADE AS PER THE RECOMMENDATION OUTLINED IN THE GEOTECHNICAL REPORT INCLUDED IN THE
- 6. FOR 6" THICK SLABS ON GRADE REINFORCE WITH 6X6 W2.9xW2.9. WELDED WIRE FABRIC SHALL BE SUPPLIED IN SHEETS, NOT ROLLS.

REINFORCED CONCRETE:

1. USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI-316 AND 301 AND PRO ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH IN 28 D

FOOTINGS AND SLABS:	4000 PS
CMU FILL:	3000 PS
ALL OTHER CONCRETE:	4000 PS

- PROVIDE CURRENT (MAXIMUM 1 YEAR OLD) STATISTICAL DATA FOR EACH CONCRETE MIX DESIGN SUBMI
- 2. WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE US SUPERPLASTICIZING (N.R.W.R.) ADMIXTURE, ASTM C494 TYPE F. SLUMP AFTER ADDITION OF SUPERPLAST
- 3. IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK. USE A MINIMUM 4-INCH PUMP ENGINEER. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END. TAKE CONCRETE AT DISCHARGE END.
- 4. PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318 CH. 6.4 AND SUBMIT SHOP DRAWINGS S OF CONCRETE PLACEMENT FOR STRUCTURAL ENGINEER'S REVIEW. PROVIDE KEY WAYS AND ADEQUAT JOINTS.
- 5. PROVIDE REINFORCING STEEL ERECTOR WITH A SET OF STRUCTURAL PLANS FOR FIELD USE. INSPECT STRUCTURAL PLANS.
- 6. USE ASTM A-615 GR. 60 FOR ALL REINFORCING STEEL, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WIT ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPLICE FOR CONTINUOUS BAR BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MID SPAN UNLESS OTHERWISE SPECIFIED. HOOK BARS AND ALL BARS IN WALLS, UNLESS OTHERWISE NOTED.
- 7. PLACE REINFORCING STEEL SUCH THAT BARS ADJACENT TO CONCRETE SURFACES AND COLD JOINTS REQUIREMENTS, BUT DO NOT EXCEED THOSE REQUIREMENTS. USE THE FOLLOWING CLEAR COVER OVE

	BOTTOM	TOP
FOOTINGS, GRADE BEAMS, AND TURNDOWN SLABS	3"	3"
SLABS ON GRADE	2"	1 1/2"

- 8. HORIZONTAL BARS SHALL BE MADE CONTINUOUS WITH HOOKS AROUND CORNERS.
- 9. USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SU SPLICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHAL SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES.
- 10. SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY, UNLESS APPROVED BY ENGINEER.
- 11. SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATING REINFORCING STEEL. STRUCTURAL DRAWINGS FOR USE AS SHOP DRAWINGS.
- 12. PROVIDE CLASS 'B' LAP SPLICE AT SUPPORTS AND HOOK DISCONTINUOUS ENDS AT THE FAR FACE OF SU OTHERWISE NOTED.
- 13. REINFORCING PLACED IN LOCATIONS WHERE PROPER COVER CANNOT BE ACHIEVED SHALL BE HOT DIPF ASTM A767 WITH 2 OUNCES OF ZINC COATING PER SQUARE FOOT OF SURFACE AREA MINIMUM.

14. ALL EXPOSED CONCRETE AND GROUT EDGES SHALL HAVE 3/4", 45° CHAMFER UNLESS OTHERWISE NOTE

MISCELLANEOUS STEEL

- 1. FOR MISCELLANEOUS STEEL NOT SHOWN ON STRUCTURAL DRAWINGS, REFER TO ARCHITECTURAL AND
- 2. EDGE ANGLES, CLIP ANGLES, PLATES, BARS, AND OTHER MISCELLANEOUS ROLLED SHAPES SHALL BE AS UNLESS OTHERWISE NOTED AND SHALL BE GALVANIZED.
- 3. THE PROVISIONS OF THE ABOVE STRUCTURAL STEEL SECTION SHALL ALSO APPLY TO MISCELLANEOUS

STEEL FASTENERS AND HARDWARE

- 1. FASTENERS IN CONTACT WITH ACQ TREATED LUMBER SHALL EITHER BE TYPE 304/316 STAINLESS STEEL GALVANIZED ACCORDING TO ASTM A153 WITH 2 OUNCES OF ZINC COATING PER SQUARE FOOT MINIMUM WATERPROOF MEMBRANE. INDOOR VISUALLY EXPOSED FASTENERS SHALL BE PAINTED AND FINISHED I ARCHITECTURAL SPECIFICATIONS.
- 2. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE. DO NOT MIX HOT-DIPF STAINLESS STEEL.
- 3. ALL NON-STAINLESS STEEL PLATES AND SHAPES SHALL BE ASTM A-36, UNLESS OTHERWISE NOTED.
- 4. BOLTS AND LAG SCREWS SHALL COMPLY WITH THE REQUIREMENTS OF ANSI/ASME STANDARD B18.2.1 GI SHALL PREFERABLY BE DOME HEAD TIMBER BOLTS.
- 5. WASHERS SHALL BE PROVIDED UNDER BOLT AND LAG SCREW HEADS AND NUTS THAT ARE IN CONTACT \ OMITTED UNDER HEADS OF SPECIAL TIMBER BOLTS OR DOME HEAD BOLTS WHEN THE SIZE AND STRENG DEVELOP CONNECTION STRENGTH WITHOUT WOOD CRUSHING.

OPORTION CONCRETE IN DAYS AS FOLLOWS:									
1ITTED.									
SE CONCRETE CONTAINING A STICIZER SHALL BE 7" ±1".									
P, UNLESS PRE-APPROVED BY									
E SAMPLES FOR CYLINDER TESTING									
SHOWING LOCATIONS AND DIRECTION									
TE DOWELS IN ALL CONSTRUCTION									
REINFORCING STEEL PLACING FROM									
"MANUAL OF STANDARD PRACTICE". TH BAR SUPPORTS AND SPACERS IN									
RS, UNLESS OTHERWISE NOTED. LAP DISCONTINUOUS ENDS OF ALL TOP									
DISCONTINUOUS ENDS OF ALL TOP									
MEET MINIMUM CLEAR COVER									
ER REINFORCING:									
) ES									
JPPLY IN FLAT SHEETS ONLY. LAP LL BE NOT LESS THAN TWICE THE									
. DO NOT REPRODUCE THE									
SUPPORTS FOR ALL BEAMS UNLESS									
OFFORTS FOR ALL BEAMS UNLESS									
PPED GALVANIZED ACCORDING TO									
ED.									
	Rev	Da	te	Drawn		Description		Ch'k	'd App'd
D MECHANICAL DRAWINGS.								ald, Florida	
STM A-36 STRUCTURAL STEEL,		M				Suite	e 700	rden Stree lorida 3250	
STEEL.		ютт	-			Unite	ed States	of America 350) 484-60	а
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ANCHORS AND REINFORCING STEEL: . SUBSTITUTION OF ANCHORS SPECIFIED BELOW FOR CAST-IN-PLACE EMBEDDED ANCHORS SHALL BE PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD. ALLOWABLE WORKING LOADS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS, BUT NOT MORE THAN ACCEPTED BY APPROVING AGENCY. NO INCREASE FOR WIND OR SEISMIC LOADS IS PERMITTED. 3. PROVIDE A MINIMUM OF TWO FASTENERS PER CONNECTION. I. INSTALL AND MAINTAIN A MINIMUM EMBEDMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, OR AS SPECIFIED ON DRAWING, WHICHEVER IS GREATER, BUT WITH AN EMBEDMENT OF NOT LESS THAN 6 BOLT-DIAMETERS. UNLESS NOTED, ANCHOR SPACING AND ANCHOR EDGE DISTANCE SHALL BE ACCORDING TO THE MANUFACTURER'S MOST CURRENT PUBLICATION IN ORDER TO DEVELOP MAXIMUM WORKING LOADS. 6. DO NOT EXCEED MANUFACTURER'S MAXIMUM RECOMMENDED TIGHTENING TORQUE. ALL ANCHORS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND UNDER MANUFACTURER CERTIFIED SUPERVISION IN ORDER TO DEVELOP THE MOST CURRENT PUBLISHED WORKING LOADS. 8. EXPANSION ANCHORS: USE WEDGE-TYPE EXPANSION ANCHORS SUCH AS HILTI KWIK BOLT III OR ENGINEERED APPROVED EQUIVALENT. 9. ADHESIVE ANCHORING SYSTEMS: A. USE AN EPOXY OR POLYESTER RESIN ADHESIVE SUCH AS HILTI RE 500, SIMPSON SET OR ACCEPTED ALTERNATE. B. DIAMETER OF HOLE SHALL BE AS RECOMMENDED BY MANUFACTURE FOR THE PARTICULAR PRODUCT SPECIFIED IN THE DRAWINGS. C. ALL EPOXIED ANCHORING SHALL BE OBSERVED BY A MANUFACTURER'S AUTHORIZED REPRESENTATIVE OR SHALL BE TESTED AFTER INSTALLATION AT CONTRACTOR'S EXPENSE. A MINIMUM OF 10% OF EACH DAY'S APPLICATIONS AND NO LESS THAN 2 SHALL BE TESTED BY APPLYING A TENSION LOAD OF 3000 POUNDS TO THE EMBEDDED ANCHOR. IF A TEST APPLICATION FAILS, ALL APPLICATIONS FOR

10. POWDER ACTUATED FASTENERS: USE POWDER ACTUATED FASTENING SYSTEMS SUCH AS HILTI, RED HEAD, RAMSET, OR AN ACCEPTED ALTERNATE HAVING ICBO, OR SBCCI APPROVAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, BUT NOT LESS THAN 1 1/8" INCHES IN CONCRETE, UNLESS OTHERWISE NOTED.

THAT DAY SHALL BE TESTED. TESTING PROCEDURES AND RESULTS SHALL BE SUBMITTED AND APPROVED BY ENGINEER.

CONCRETE MASONRY UNITS:

- 1. ALL MASONRY DESIGN SHALL CONFORM TO ACI 530 AND 530.1.
- REINFORCED MASONRY WALL DESIGN IS BASED ON INSPECTED MASONRY AS REQUIRED BY ACI 530.1 SPECIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A QUALITY CONTROL AND INSPECTION PROGRAM TO INSURE THAT ALL MASONRY WALL CONSTRUCTION IS IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. REFER TO SPECIFICATION FOR THE MINIMUM REQUIREMENTS FOR THIS PROGRAM.
- ALL MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE6/TMS602)" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONSTRUCT REINFORCED AND UNREINFORCED MASONRY AS NOTED ON THE PLANS AND DETAILS AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE "REINFORCED UNIT MASONRY" SPECIFICATION.
- USE CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. PROVIDE F'M OF 1500 PSI (UNIT STRENGTH 1900 PSI) FOR ALL REINFORCED MASONRY WALLS. PERFORM COMPRESSIVE STRENGTH COMPLIANCE BY PRISM TEST METHOD. USE ONLY MASONRY UNITS THAT ARE A MIN. OF 50% SOLID. REFER TO THE SPECIFICATIONS FOR TESTING FREQUENCIES.
- USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270. USE FULL-BEDDED JOINTS FOR ALL MASONRY UNITS. REMOVE MORTAR PROTRUDING INTO CELL CAVITIES THAT ARE TO BE REINFORCED AND GROUTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR TO CURE BEFORE PLACING GROUT. REFER TO THE SPECIFICATIONS FOR TESTING REQUIREMENTS.
- USE ALL GROUT CONFIRMING TO ASTM C-476 WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, TESTED IN ACCORDANCE WITH ASTM C1019. AGGREGATE TO CONFORM TO ASTM C404 FOR COARSE GROUT AND SLUMP OF 8" TO 11". TEST SAMPLES FOR COMPRESSIVE STRENGTH. REFER TO THE SPECIFICATION FOR TESTING REQUIREMENTS.
- 8. REFER TO THE MASONRY DETAILS FOR REINFORCING REQUIREMENTS.
- 9. FOR UNREINFORCED WALLS USE STANDARD TRUSS-TYPE MASONRY HORIZONTAL REINFORCING IN EVERY OTHER COURSE OF MASONRY; EXTEND INTO TIE COLUMNS.
- 10. USE ASTM A-615 GRADE 60 REINFORCING STEEL.
- 11. IN HIGH-LIFT GROUTING USE A MAX. LIFT OF 5'-0" WITH MIN. HALF HOUR MAX. ONE HOUR BETWEEN LIFTS. VIBRATE EACH LIFT AND RECONSOLIDATE PREVIOUS LIFT AFTER PLACING NEXT LIFT.
- 12. WHERE ANCHOR BOLTS ARE SET IN MASONRY WALL, FILL BLOCK CELLS WITH GROUT FOR BOLTED COURSE, ONE COURSE ABOVE AND TWO COURSES BELOW ANCHOR ELEVATION.
- 13. USE PRESSURE-TREATED WOOD FOR ALL WOOD IN CONTACT WITH MASONRY.
- 14. UNLESS OTHERWISE NOTED, PROVIDE LINTELS OR HEADERS OVER ALL MASONRY OPENINGS NOT FLUSH WITH STRUCTURAL FRAME. LINTELS OR HEADERS TO BEAR MINIMUM 16 INCHES EACH SIDE OF OPENING. REFER TO TYPICAL DETAILS.
- 15. FOR WALLS REQUIRING A FIRE RESISTANCE RATING, PROVIDE TO THE ARCHITECT A CERTIFICATION INDICATING THAT THE MANUFACTURER OF THE CONCRETE MASONRY UNITS HAS COMPLIED WITH ALL THE REQUIREMENTS OF THE UL LISTINGS AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS.

16. COORDINATE WITH THE ARCH DRAWINGS FOR MASONRY LAYOUT & LOCATIONS OF OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

AB	ANCHOR BOLT	DWG	DRAWING	LDG	LANDING	REV	REVISION
ABBREV	ABBREVIATION	EA	EACH	LT WT	LIGHT WEIGHT	SCHED	SCHEDULE
ADD	ADDITIVE	EF	EACH FACE	LLH	LONG LEG HORIZONTAL	SP, SP'S	SPACE/SPACES
ADD'L	ADDITIONAL	ES	EACH SIDE	LLV	LONG LEG VERTICAL	SPECS	SPECIFICATIONS
ALT	ALTERNATE/ALTERNATIVE	EW	EACH WAY	LP	LOW POINT	SLV	SHORT LEG VERTICAL
ALUM	ALUMINUM	ELEC	ELECTRICAL	MAX	MAXIMUM	SIM	SIMILAR
ACI	AMERICAN CONCRETE INSTITUTE	ENGR	ENGINEER	MID	MIDDLE	STD	STANDARD
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EQ SP	EQUAL SPACED	MANUF	MANUFACTURER	STIFF	STIFFENER
AISI	AMERICAN IRON AND STEEL INSTITUTE	EL:	ELEVATION	MIN	MINIMUM	STRUCT	STRUCTURAL
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	EJ	EXPANSION JOINT	MATL	MATERIAL	SYM	SYMMETRICAL
AWS	AMERICAN WELDING SOCIETY	EXIST	EXISTING	MECH	MECHANICAL	THD	THREAD/THREADED
ARCH	ARCHITECTURAL	EXP	EXPANSION	MISC	MISCELLANEOUS	ТНК	THICK
BM	BEAM	EXT	EXTERIOR	MPH	MILES PER HOUR	Τ/	TOP OF
BRG	BEARING	FD	FLOOR DRAIN	MTL	METAL	TD	TURN DOWN SLAB
BLK	BLOCK	FDN	FOUNDATION	NS	NEAR SIDE	T&B	TOP AND BOTTOM
3/	BOTTOM OF	FF	FINISH FLOOR	NIC	NOT IN CONTACT	TS	THICKENED SLAB
BLDG	BUILDING	FIN FL	FINISH FLOOR	NTS	NOT TO SCALE	TYP	TYPICAL
BTWN	BETWEEN	FS	FAR SIDE	NO., #	NUMBER	TS	TUBE STEEL
ВОТ	BOTTOM	FTG	FOOTING	OC	ON CENTER	UON	UNLESS OTHERWISE NO
CIP	CAST IN PLACE	GA	GAGE/GAUGE	OD	OUTSIDE DIAMETER	VERT	VERTICAL
СТОС	CENTER TO CENTER	GALV	GALVANIZE	OF	OUTSIDE FACE	VIF	VERIFY IN FIELD
CLR	CLEAR/CLEARANCE	HORIZ	HORIZONTAL	OPNG	OPENING	WWF	WELDED WIRE FABRIC
COL	COLUMN	HP	HIGH POINT	PLY	PLYWOOD	W	WIDE FLANGE
CONC	CONCRETE	HT	HEIGHT	PC	PRECAST	w/	WITH
CMU	CONCRETE MASONRY UNIT	ID	INSIDE DIAMETER	PREFAB	PREFABRICATED	w/o	WITHOUT
CONT	CONTINUOUS	IF	INSIDE FACE	PROJ	PROJECTION	WP	WORK POINT
CONN	CONNECTION	JT	JOINT	REF	REFERENCE	@	AT
CJ	CONSTRUCTION JOINT	JST	JOIST	REINF	REINFORCING	Ĉ	CHANNEL
DET	DETAIL	KWY	KEYWAy	REQ'D	REQUIRED	К	KIP (1,000 LBS)
DIM	DIMENSION	LBS	POUNDS	RW	RETAINING WALL	Sx	SECTION MODULUS

- ASSOCIATION.

- PRESERVATIVE TREATMENT

TEMPORARY BRACING:

REFERENCE DATUM & FLOOD DATA:

1. DESIGN AND CONSTRUCT IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND THE AMERICAN PLYWOOD

2. WOOD SHALL BE NO. 2 SOUTHERN PINE OR BETTER MATCHING THE SIZES SHOWN ON THE PLANS, TYP U.O.N.

3. WOOD ATTACHED DIRECTLY TO CONCRETE OR MASONRY OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED.

4. PLYWOOD SHALL BE APA RATED STRUCTURAL 1 SHEATHING EXTERIOR, MATCHING THE THICKNESS SHOWN ON THE PLANS.

5. CONNECTORS SHALL BE SIMPSON OR ENGINEER APPROVED EQUAL. CONNECTORS CALLED OUT ON PLANS ARE SIMPSON MODEL NUMBERS. INSTALL CONNECTORS ACCORDING TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS USING THE MAXIMUM NUMBER OF CONNECTORS U.O.N.

6. USE FBC, CURRENT CODE, APPROVED NAILING SCHEDULES WHERE NAILING INFORMATION IS NOT PROVIDED.

7. REFER TO STEEL FASTENERS/HARDWARE AND PRESERVATIVE TREATMENT NOTES FOR ADDITIONAL INFORMATION.

1. TO THE EXTENT POSSIBLE, ALL WOOD SHALL BE CUT, DRILLED, AND COMPLETELY FABRICATED PRIOR TO PRESSURE TREATMENT. WHEN FIELD FABRICATION OF WOOD IS REQUIRED OR IF WOOD IS DAMAGED, ALL CUTS, BORE HOLES, AND DAMAGE SHALL BE IMMEDIATELY FIELD TREATED WITH WOOD PRESERVATIVE IN ACCORDANCE WITH AWPA STANDARDS.

2. ALL WOOD ATTACHED DIRECTLY TO CONCRETE, CMU, OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED WITH ALKALINE COPPER QUAT (ACQ) AT THE RATE OF 0.25 LBS/CU FT.

3. ALL LUMBER SHALL BE TREATED IN ACCORDANCE WITH THE REQUIREMENTS OF AWPA STANDARDS AND ASTM D1760.

4. TREATED MATERIAL SHALL BE FREE OF EXCESS PRESERVATIVE ON THE WOOD SURFACE. THE TREATING PROCESS SHALL INCLUDE AN EXPANSION BATH, STEAMING AND/OR DRIPPING TO ENSURE THAT PRESERVATIVE WILL NOT BLEED.

5. TREATED WOOD SHALL BE INSPECTED AND CERTIFIED IN ACCORDANCE WITH AWPA STANDARDS.

1. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION.

2. THE CONTRACTOR SHALL RETAIN AT THE CONTRACTOR'S EXPENSE A REGISTERED STRUCTURAL ENGINEER LICENSED IN THE STATE OF THE PROJECT TO DESIGN AND INSPECT ALL TEMPORARY SHORING & BRACING. SIGNED, SEALED & DATED DESIGN CALCULATIONS SHALL BE SUBMITTED FOR REVIEW WHEN REQUESTED.

1. PLANS BASED ON FINISHED FLOOR ELEVATION 0'-0" = 10.00' NGVD. (COORDINATE WITH CIVIL DRAWINGS).

2. PROJECT IS LOCATED IN FLOOD ZONE AE (ELEVATION 7 FEET).

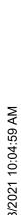
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LONG LEG HORIZONTAL	SP, SP'S	SPACE/SPACES		
LONG LEG VERTICAL	SPECS	SPECIFICATIONS	±	PLUS OR MIN
LOW POINT	SLV	SHORT LEG VERTICAL		
MAXIMUM	SIM	SIMILAR	₽, CL	CENTERLINE
MIDDLE	STD	STANDARD		
MANUFACTURER	STIFF	STIFFENER	Ø , DIA	DIAMETER
MINIMUM	STRUCT	STRUCTURAL		
MATERIAL	SYM	SYMMETRICAL	$ $ \bullet	ELEVATION
MECHANICAL	THD	THREAD/THREADED	Ρ, P.	
MISCELLANEOUS	ТНК	THICK	^{'L} , PL	PLATE
MILES PER HOUR	Τ/	TOP OF		
METAL	TD	TURN DOWN SLAB		
NEAR SIDE	T&B	TOP AND BOTTOM		
NOT IN CONTACT	TS	THICKENED SLAB		
NOT TO SCALE	TYP	TYPICAL		
NUMBER	TS	TUBE STEEL		
ON CENTER	UON	UNLESS OTHERWISE NOTED		
OUTSIDE DIAMETER	VERT	VERTICAL		
OUTSIDE FACE	VIF	VERIFY IN FIELD		
OPENING	WWF	WELDED WIRE FABRIC		
PLYWOOD	W	WIDE FLANGE		
PRECAST	w/	WITH		
PREFABRICATED	w/o	WITHOUT		
PROJECTION	WP	WORK POINT		
REFERENCE	@ C	AT		
REINFORCING		CHANNEL		
REQUIRED	K	KIP (1,000 LBS)		
RETAINING WALL	Sx	SECTION MODULUS		

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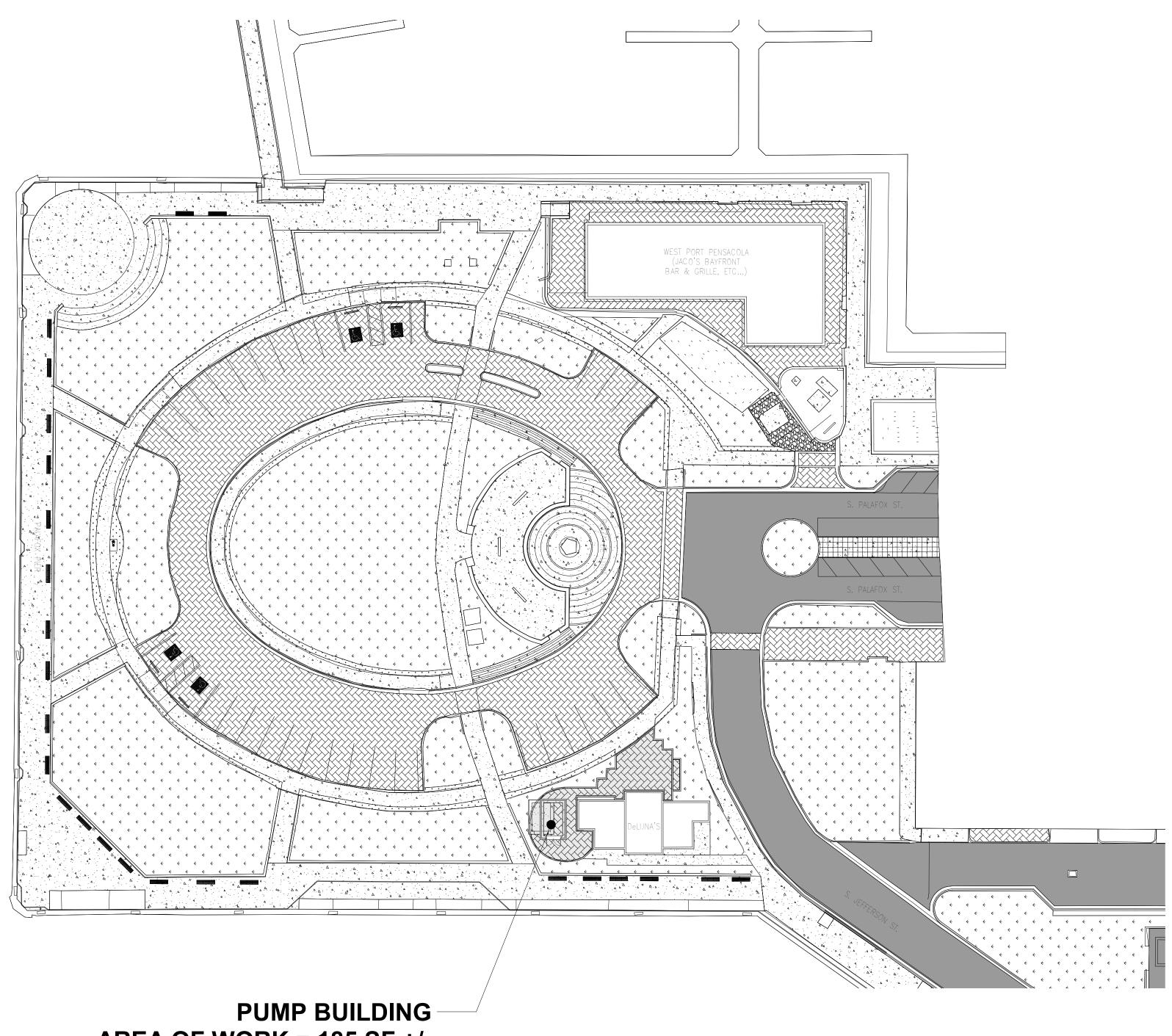
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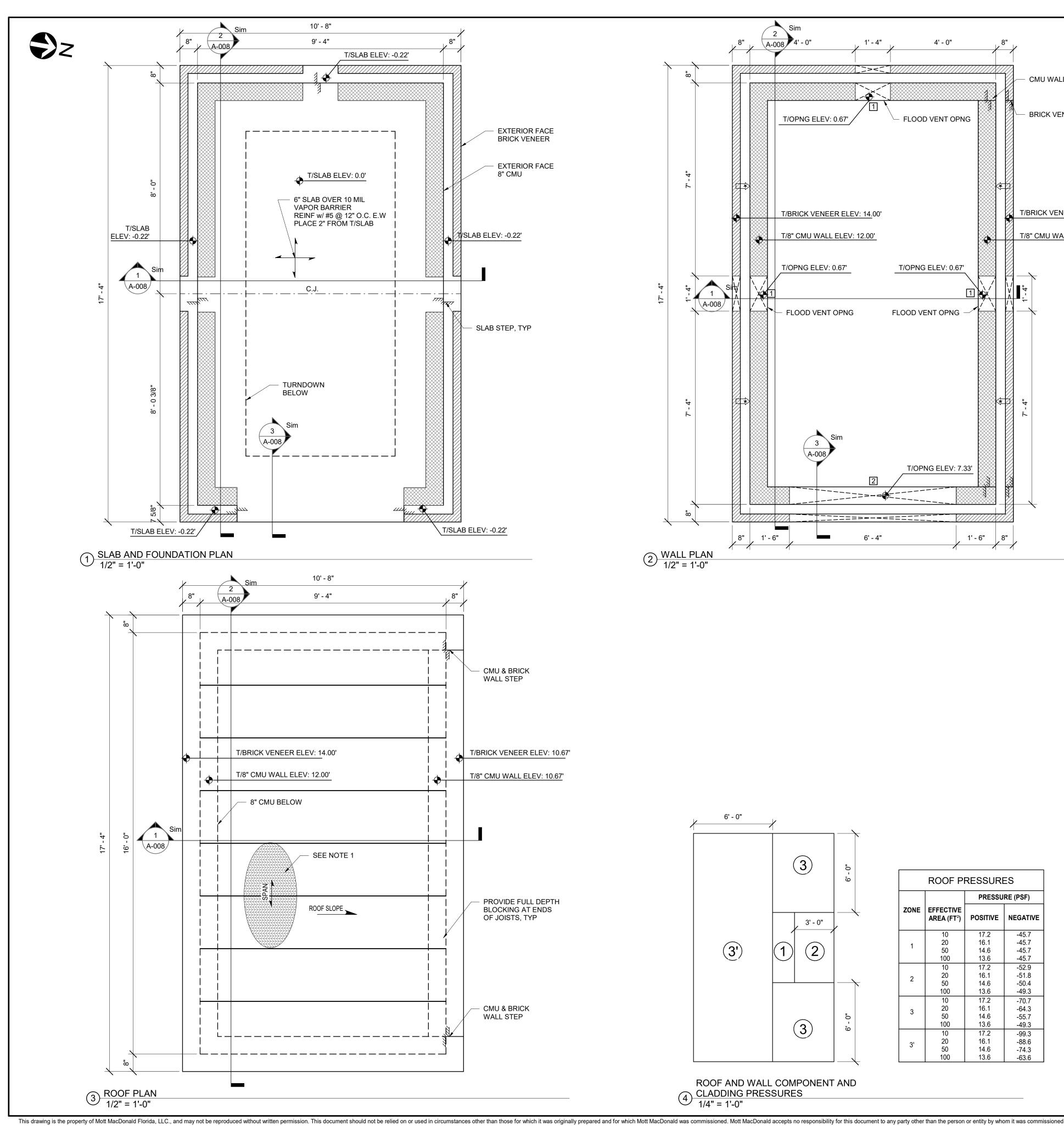
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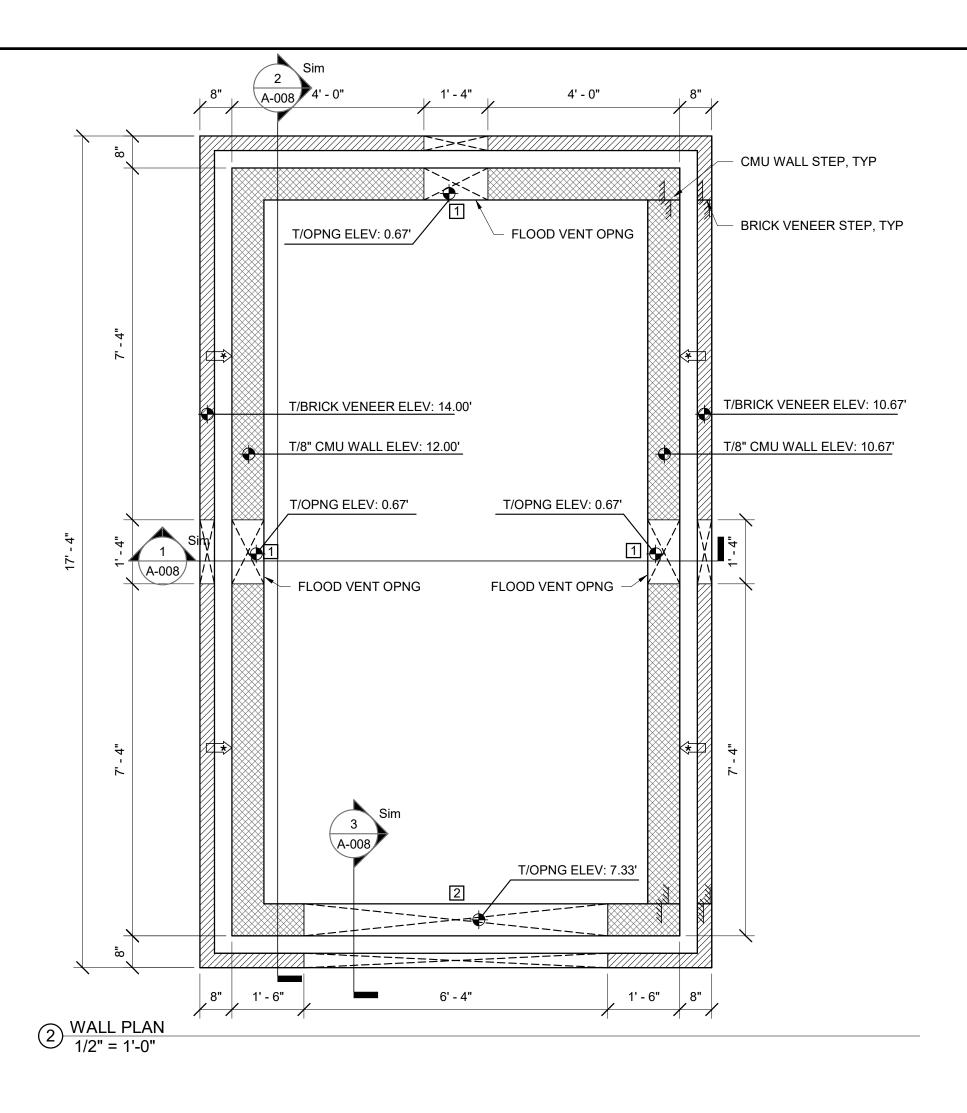
AREA OF WORK = 185 SF +/-

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NOTES

1	ROOF SHALL BE STANDING SEAM METAL ROOF (
	MEMBRANE ON 5/8" APA RATED STRUCTURAL 1
	PLYWOOD, PLYWOOD DECKING SHALL BE ATTAC
	AT 6" O.C. AT EDGES AND INTERMEDIATE SUPPO

- SHEATHING SHALL BE BLOCKED. ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH 2. MASONRY SHALL BE PRESSURE TREATED. REFER TO GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- COORDINATE FLOOR AND WALL OPENINGS WITH OTHER DISCIPLINES. REFER TO A-009 FOR ADDITIONAL CONCRETE NOTES AND DETAILS.
- REFER TO A-010 FOR ADDITIONAL MASONRY NOTES AND DETAILS.

<u>LEGEND</u>

	DENOTES 8" CMU WALL. REFER TO A-010.
	DENOTES 4" EXTERIOR BRICK VENEER.
	DENOTES WALL CONTROL JOINTS. REFER TO A-
_C.J	DENOTES SLAB CONTROL JOINT. REFER TO A-00

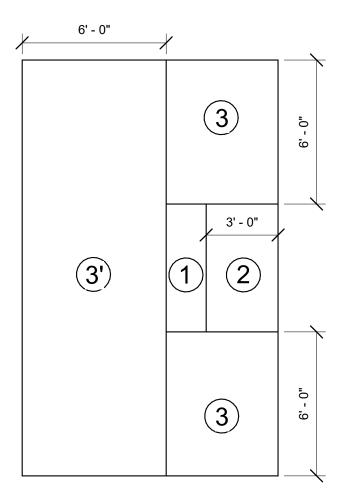


WALL PRESSURES									
ZONE	EFFECTIVE	WALL PRES	SURE (PSF)	PARAPET PRESSU					
	AREA (FT ²)	POSITIVE	NEGATIVE	POSITIVE	NE				
	10	38.6	-41.8	38.6					
4	50	34.6	-37.9	-					
7	200	31.2	-34.4	-					
	500	28.9	-32.2	-					
	10	38.6	-51.4	38.6					
5	50	34.6	-43.5	-					
	200	31.2	-36.7	-					
	500	28.9	-32.2	-					

NOTES:

1. WALL SECTION 5 EXTENDS FROM THE BUILDING CORNERS A DISTANCE OF 3'-0". WALL SECTION 4 IS THE REMAINDER OF THE WALL.

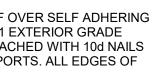
2. THE WIND PRESSURES SHOWN IN THE TABLES ARE ALLOWABLE PRESSURES AND SHALL NOT BE REDUCED ANY FURTHER. THE 0.6 LOAD FACTOR HAS ALREADY BEEN APPLIED TO THE WIND PRESSURES SHOWN IN THE TABLES.



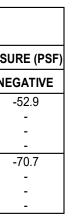
ROOF AND WALL COMPONENT AND CLADDING PRESSURES 1/4" = 1'-0"

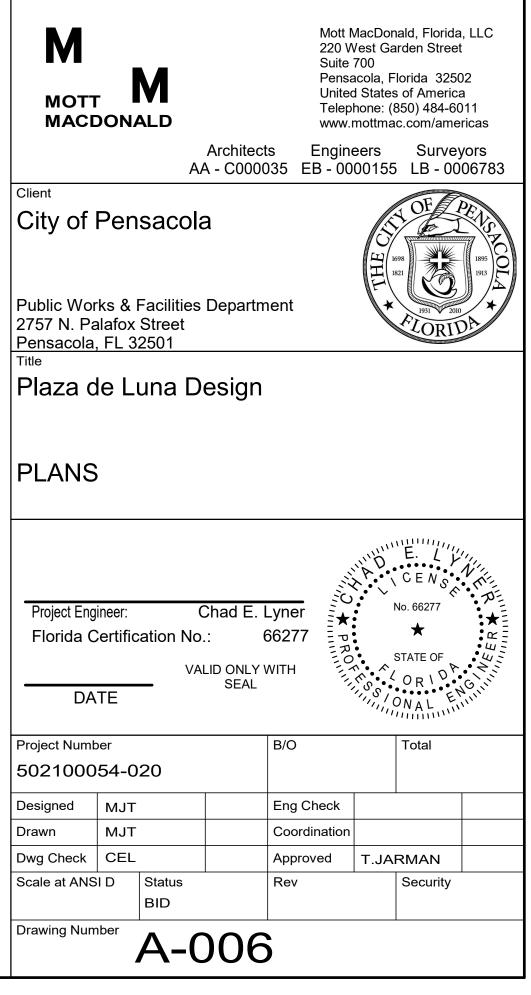
ROOF PRESSURES							
		PRESSURE (PSF)					
ZONE	EFFECTIVE AREA (FT ²)	POSITIVE	NEGATIVE				
1	10	17.2	-45.7				
	20	16.1	-45.7				
	50	14.6	-45.7				
	100	13.6	-45.7				
2	10	17.2	-52.9				
	20	16.1	-51.8				
	50	14.6	-50.4				
	100	13.6	-49.3				
3	10	17.2	-70.7				
	20	16.1	-64.3				
	50	14.6	-55.7				
	100	13.6	-49.3				
3'	10	17.2	-99.3				
	20	16.1	-88.6				
	50	14.6	-74.3				
	100	13.6	-63.6				

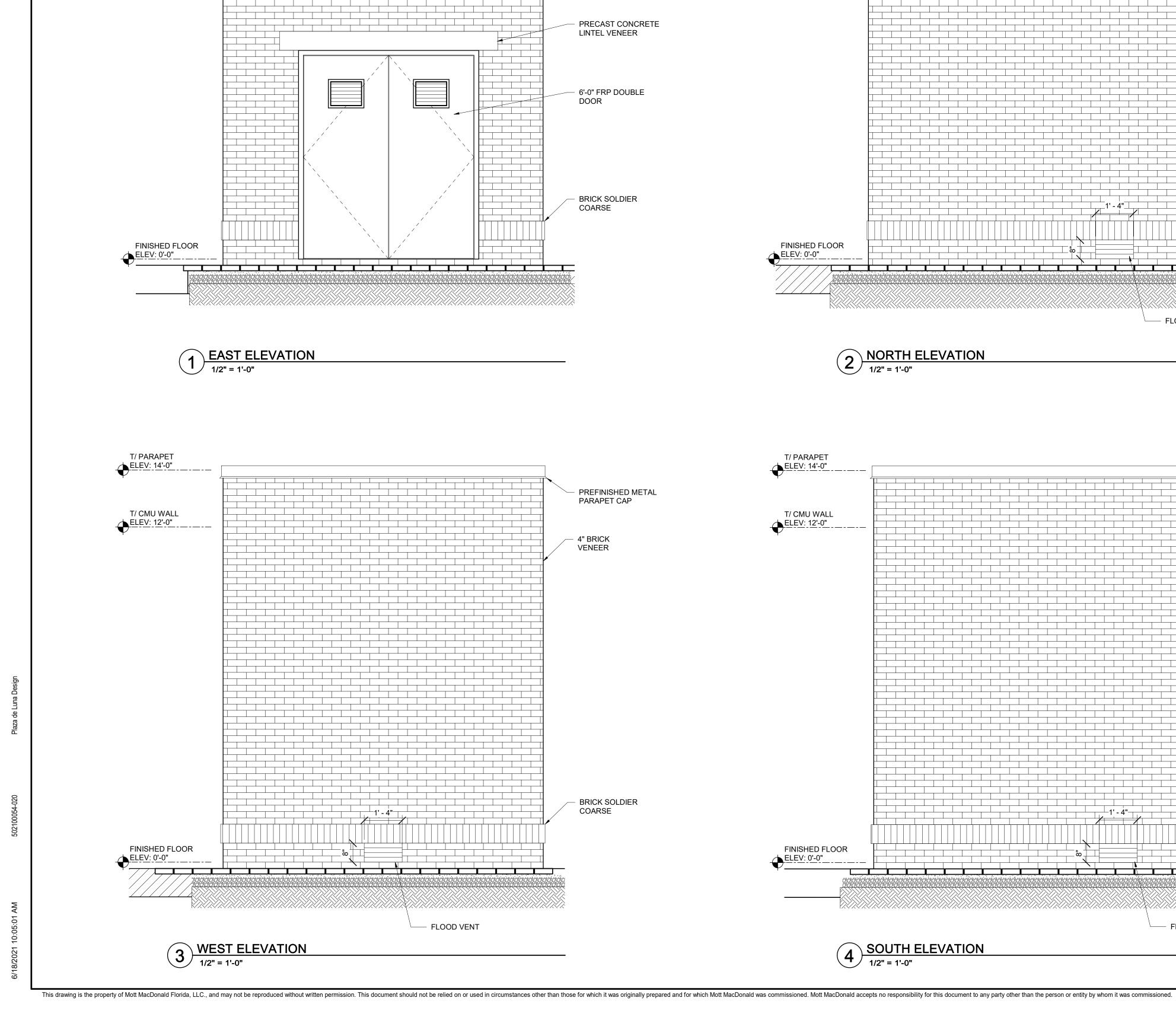
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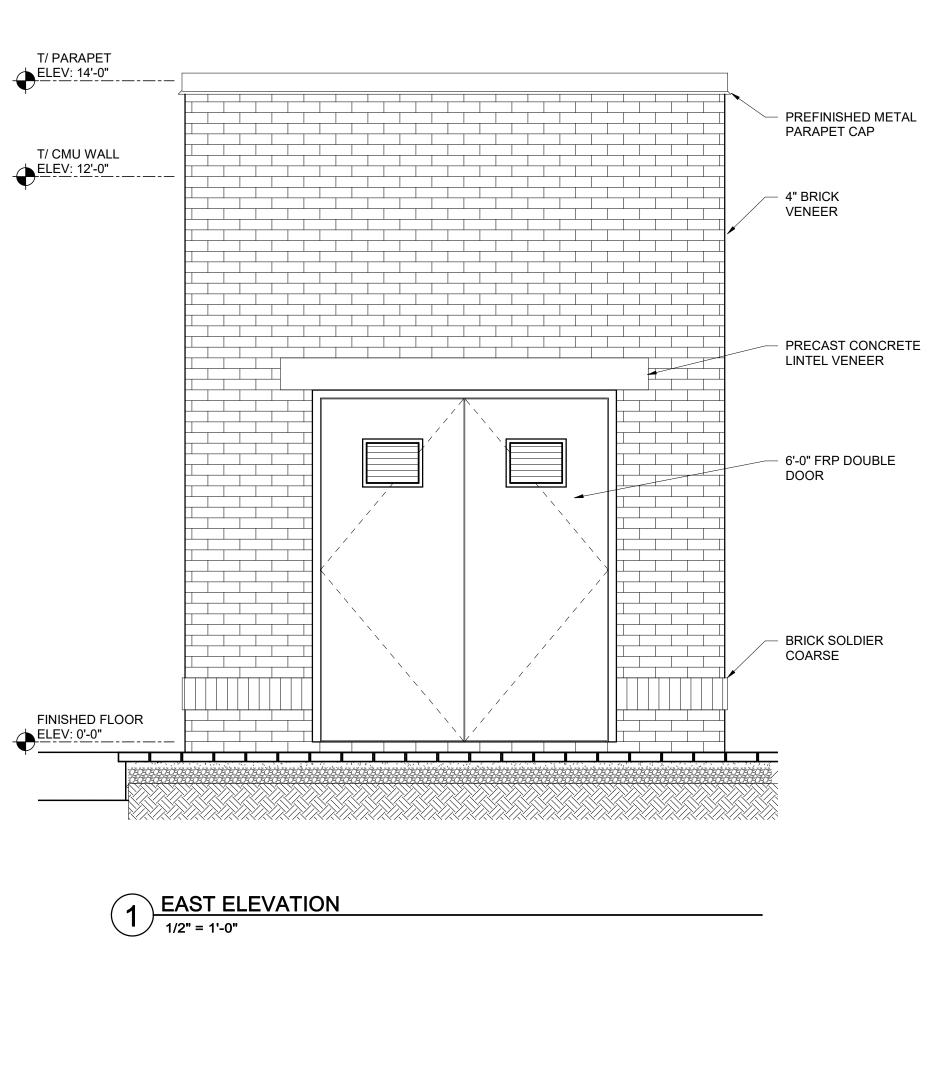


A-010. 009







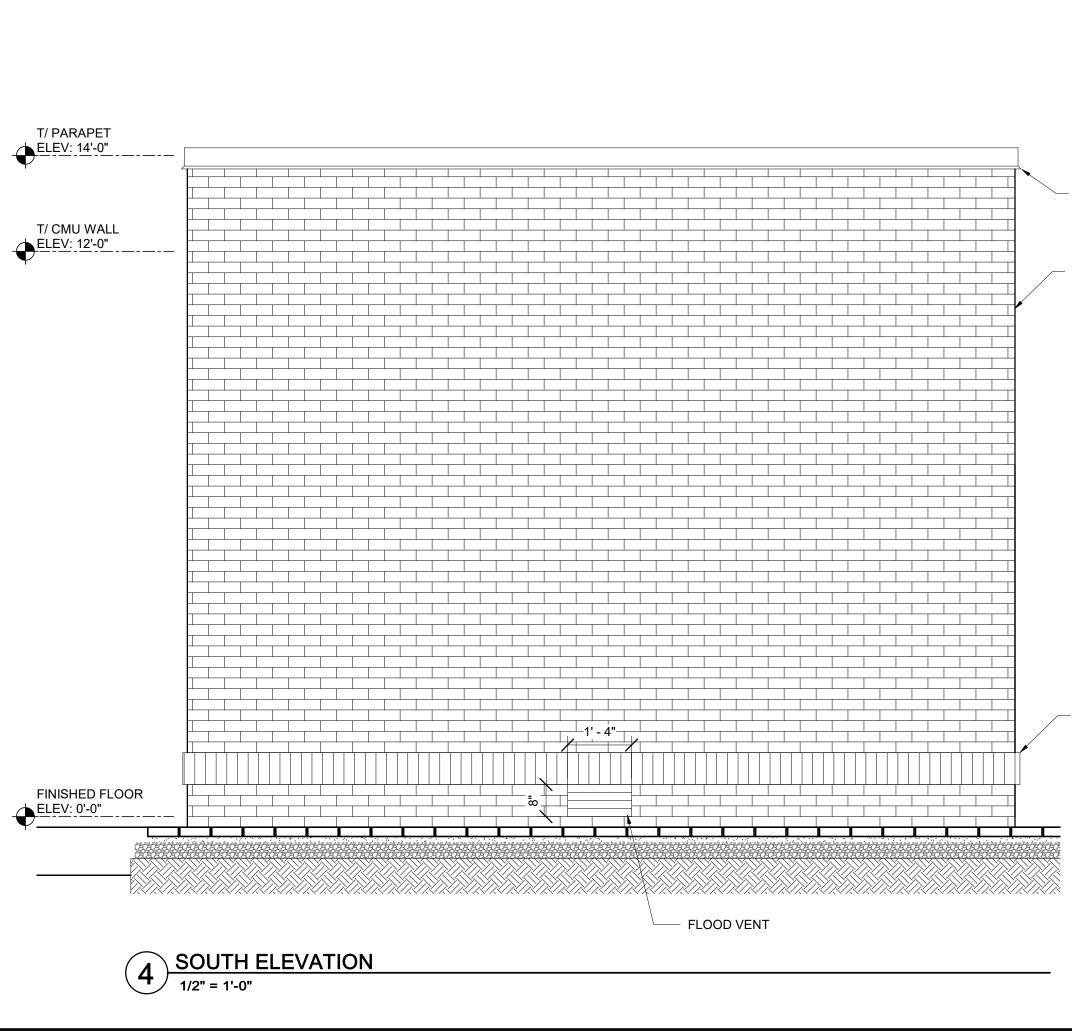


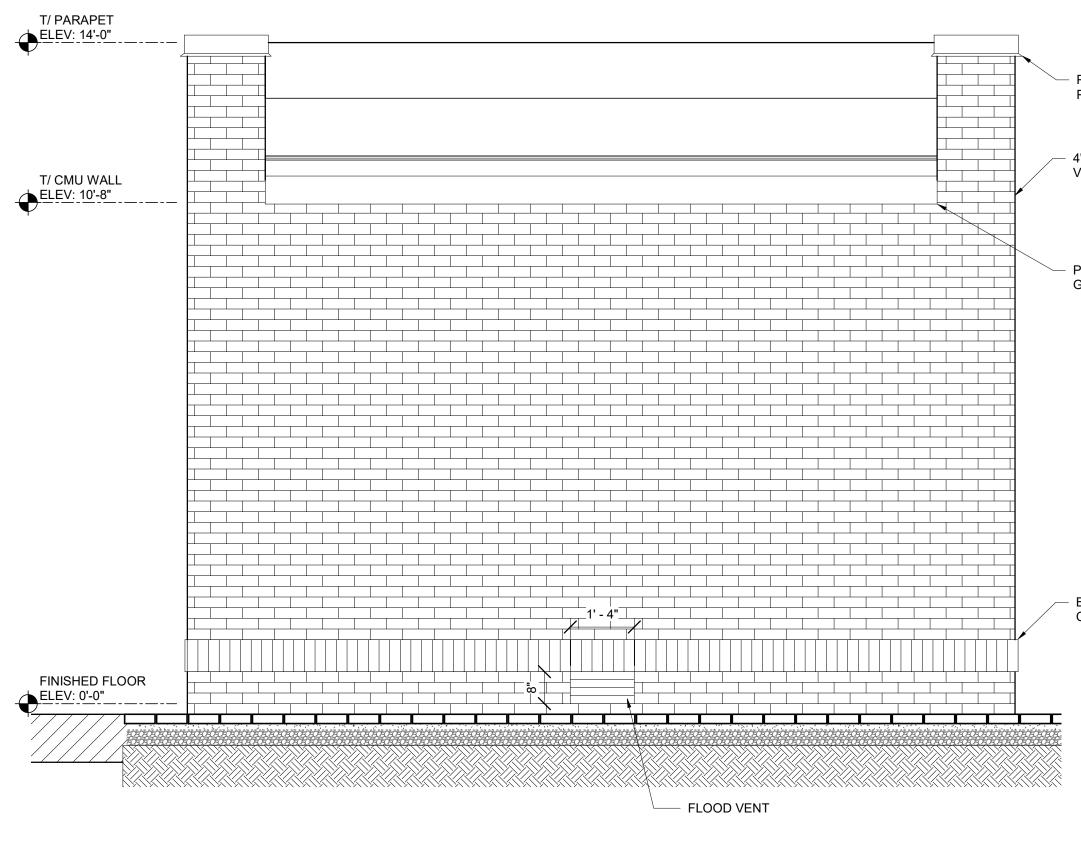
PREFINISHED METAL
 PARAPET CAP

BRICK SOLDIER

COARSE

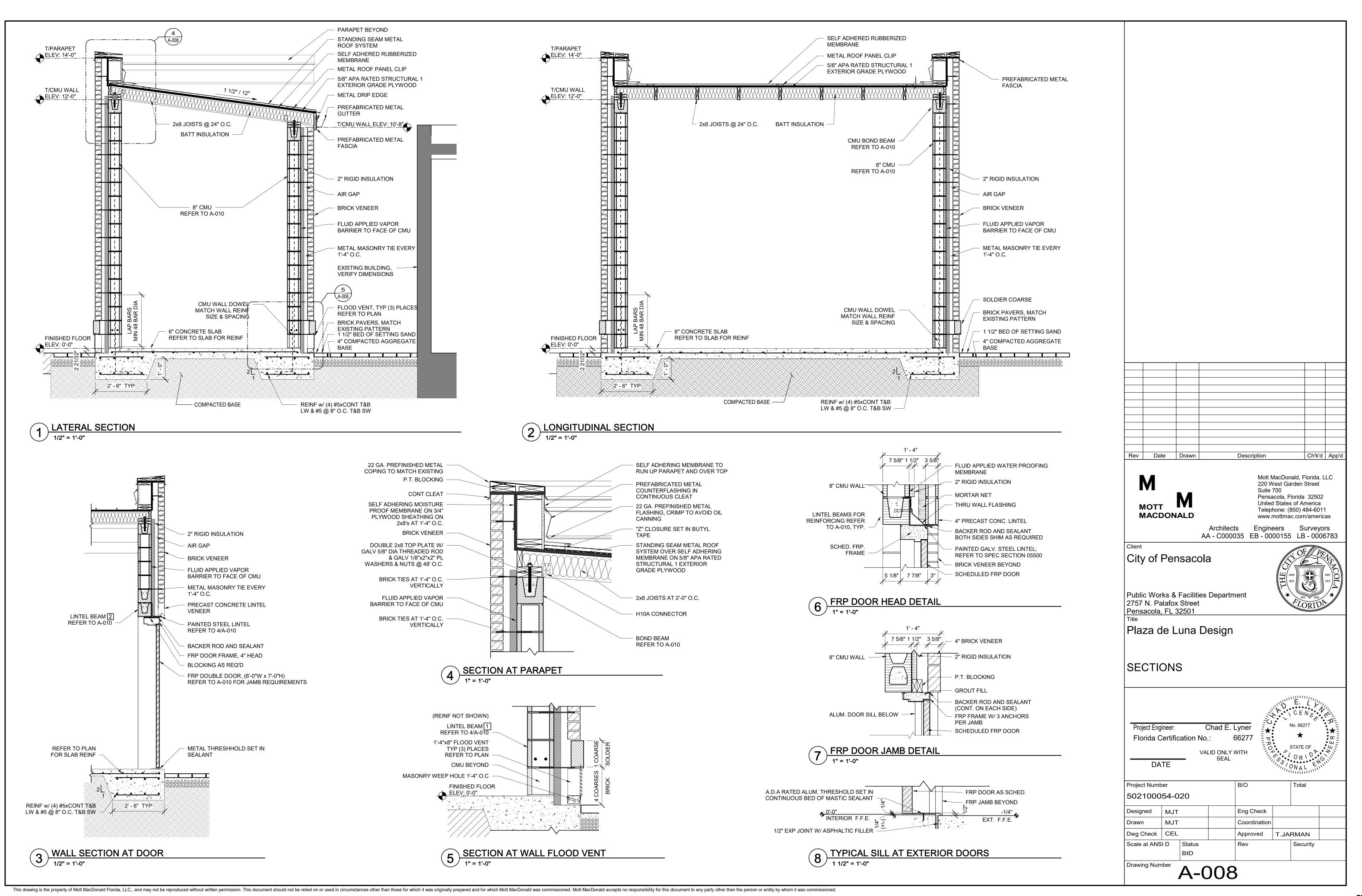
/ 4" BRICK VENEER





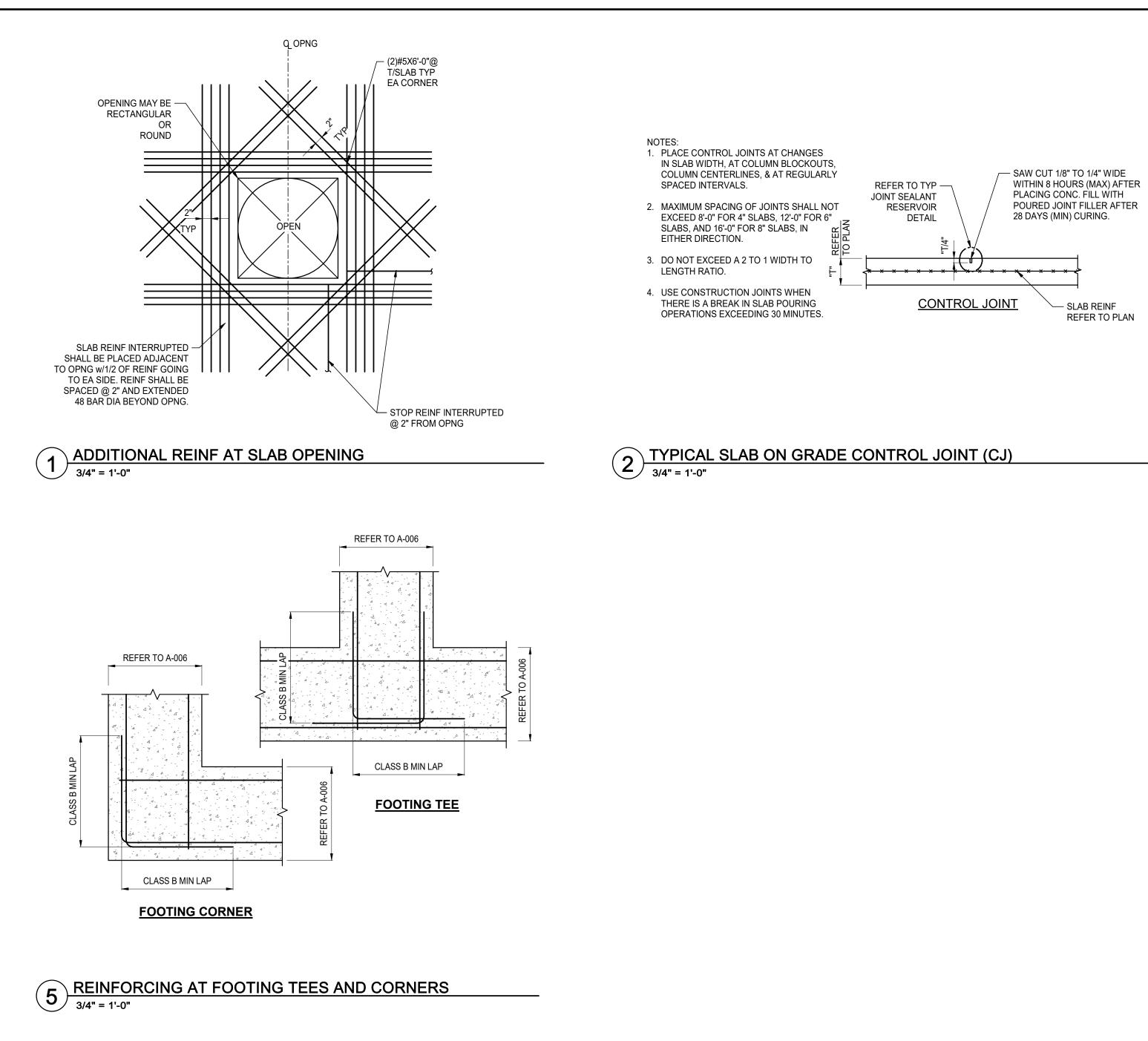
2 NORTH ELEVATION 1/2" = 1'-0"

PREFINISHED METAL PARAPET CAP									
" BRICK ENEER									
REFABRICATED METAL SUTTER SYSTEM									
BRICK SOLDIER COARSE									
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				Diawii		Description Mott I	I MacDonald, F		
				Μ		Suite Pensa United	acola, Florida d States of Ar	32502 nerica	
PREFINISHED METAL PARAPET CAP		IOTT IACDO			Architect	www. ts Engin	hone: (850) 4 mottmac.com eers Su	/america urveyor	as rs
	Client					035 EB-00	00155 LB	- 0006	5783
4" BRICK VENEER	City	/ of P	'er	isaco	DIa		HH 1698 1821		1895 1913
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BRICK SOLDIER COARSE		DAT	E	_	VALID ONLY SEAL	WITH	STATE		N, NE
		t Numbe)20		B/O	Tota		
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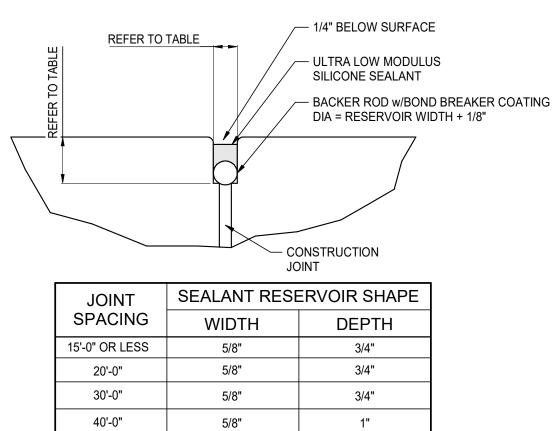


Plaza de Luna Design

A 502100



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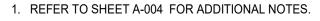
<u>NOTE:</u> SEALANT MATERIAL SHALL BE A FIELD MOLDED SEALANT OF ONE OF THE FOLLOWING TYPES: 1. HOT APPLIED THERMOPLASTIC ASPHALT - RUBBER COMPOUNDS MEETING ASTM 1190.

2. HOT POURED ELASTOMERIC TYPE SEALANTS - MEETING ASTM D3406.

3. COLD APPLIED, MASTIC SINGLE OR MULTIPLE - COMPONENT SEALANTS MEETING ASTM D1850.



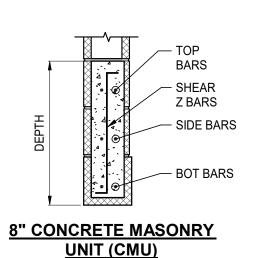
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			Architect				
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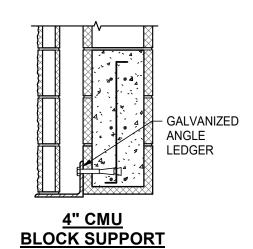


- 2. DOWEL ALL CMU REINFORCEMENT IN FOOTINGS AND EXTEND INTO UPPERMOST BOND BEAM WITH 90 DEGREE HOOKS.
- 3. FILL ALL CELLS CONTAINING REINFORCEMENT AND ADDITIONAL CELLS AS INDICATED WITH 3,000 PSI PEA GRAVEL CONCRETE.
- 4. PROVIDE FOUR (4) FILLED CELLS OF TYPICAL WALL REINFORCING AT INTERSECTIONS, (3) FILLED CELLS OF TYPICAL WALL REINFORCING AT CORNERS, AND TWO (2) FILLED CELLS OF TYPICAL WALL REINFORCING AT EACH SIDE OF OPENINGS AND ENDS OF WALLS. PROVIDE (5) FILLED CELLS OF TYPICAL WALL REINFORCING AT CORNERS OF STAIRWELL AND ELEVATOR WALLS, UNLESS OTHERWISE NOTED.
- 5. FOR REINFORCEMENT ADJACENT TO INTERIOR CMU WALL OPENINGS, COORDINATE WITH JAMB SCHEDULE SHOWN ON THIS SHEET.
- 6. ALL CONCRETE MASONRY UNITS SHALL BE PLACED IN RUNNING BOND.
- 7. TYPICAL 8" CMU WALL REINFORCEMENT:
- A. REINFORCE WITH VERTICAL BARS: #5 @ 32" ON CENTER WITH ADDITIONAL REINFORCING AS INDICATED
- IN NOTE 4. B. PROVIDE 8" CMU BOND BEAM WITH (2)#5 CONTINUOUS REINFORCING BARS AT TOP OF ALL WALLS AND
- AT ROOF. C. PLACE THE REINFORCING IN THE CENTER OF THE WALL, UNLESS OTHERWISE NOTED.
- 8. HORIZONTAL JOINT REINFORCING IN ALL BLOCK WALLS SHALL BE STANDARD (9GA SIDE AND CROSS RODS) LADDER TYPE WALL REINFORCING @ 16". ALL WALLS PERPENDICULAR TO EXTERIOR WALLS SHALL HAVE ADDITIONAL PREFABRICATED "T" OR "L" JOINT REINFORCING AS INDICATE IN TYPICAL CMU DETAILS.

TYPICAL CMU WALL REINFORCING NOTES







LINTEL BEAM SCHEDULE								
DESIGNATION			SIZE	REINFORCING				
			(WIDTH x DEPTH)	TOP BARS	BOT BARS	SIDE BARS	SH	
	1		8"x8" CMU	-	(2)#5	-		
	2		8"x16" CMU	(2)#5	(2)#5	-		
	3		8"x24" CMU	(2)#5	(2)#5	(2)#5		
	4		8"x32" CMU	(2)#5	(2)#5	(4)#5		

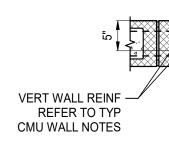
LINTEL NOTES:

- 1. PROVIDE 16" MINIMUM BEARING FOR CMU AND CONCRETE LINTELS.
- 2. SHORE LINTELS UNTIL WALL ABOVE IS COMPLETED AND ALL CELLS ARE FILLED.
- 3. EXTEND TOP & BOT REINF 48 BAR DIA MIN. BEYOND JAMB @ EACH END OR TERMINATE W/STD HOOK.
- 4. ANGLE LEDGER SHALL BE L8x6x1/2" LLH GALV w/3/4"DIA BOLTS @ 16" O.C. IN CMU BOND BEAMS. MAXIMUM SUPPORTED BRICK OR 4" BLOCK HEIGHT SHALL BE 15'-0".
- 5. BOTTOM BLOCK SHALL BE SOLID FACE LINTEL BLOCK WHEN FINISH BLOCK IS EXPOSED.

4 TYPICAL LINTEL SCHEDULE 3/4" = 1'-0"

8" & 12" EXTERIOR CMU JAMB SCHEDULE				
OPENING SIZE "W"	JAMB WIDTH & REINF			
3'-4"	8" w/(2) #5 EA CELL			
<u><</u> 7'-4"	16" w/(2) #5 EA CELL			
<u><</u> 11'-8"	24" w/(2) #5 EA CELL			

8" INTERIOR CMU JAMB SCHEDULE				
OPENING SIZE "W"	JAMB WIDTH & REINF			
3'-4"	8" w/(1) #5 EA CELL			
<u><</u> 7'-4"	16" w/(1) #5 EA CELL			
<u><</u> 11'-8"	16" w/(2) #5 EA CELL			

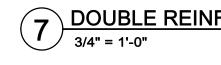


NOTE:

1. REFER TO DETAIL 7 FOR REINF PLACEMENT IN DOUBLE REINFORCED CELLS ((2) BARS EA CELL).

- 2. REFER TO CMU WALL NOTES FOR TYPICAL REINFORCING
- 3. APPLIES TO ALL OPENINGS INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, LOUVERS, DUCT PENETRATIONS, ETC.

NOTE: DOUBLE REINF WALLS ARE INDICATED BY CALLING FOR (2)BARS @ TYP SPACING.

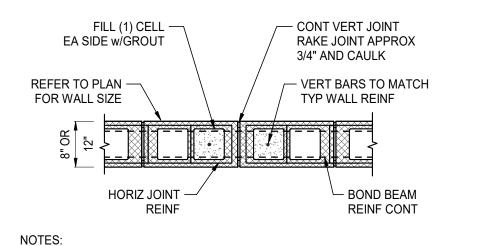


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6 TYPICAL CMU JAMB SCHEDULE 3/4" = 1'-0"

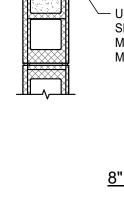


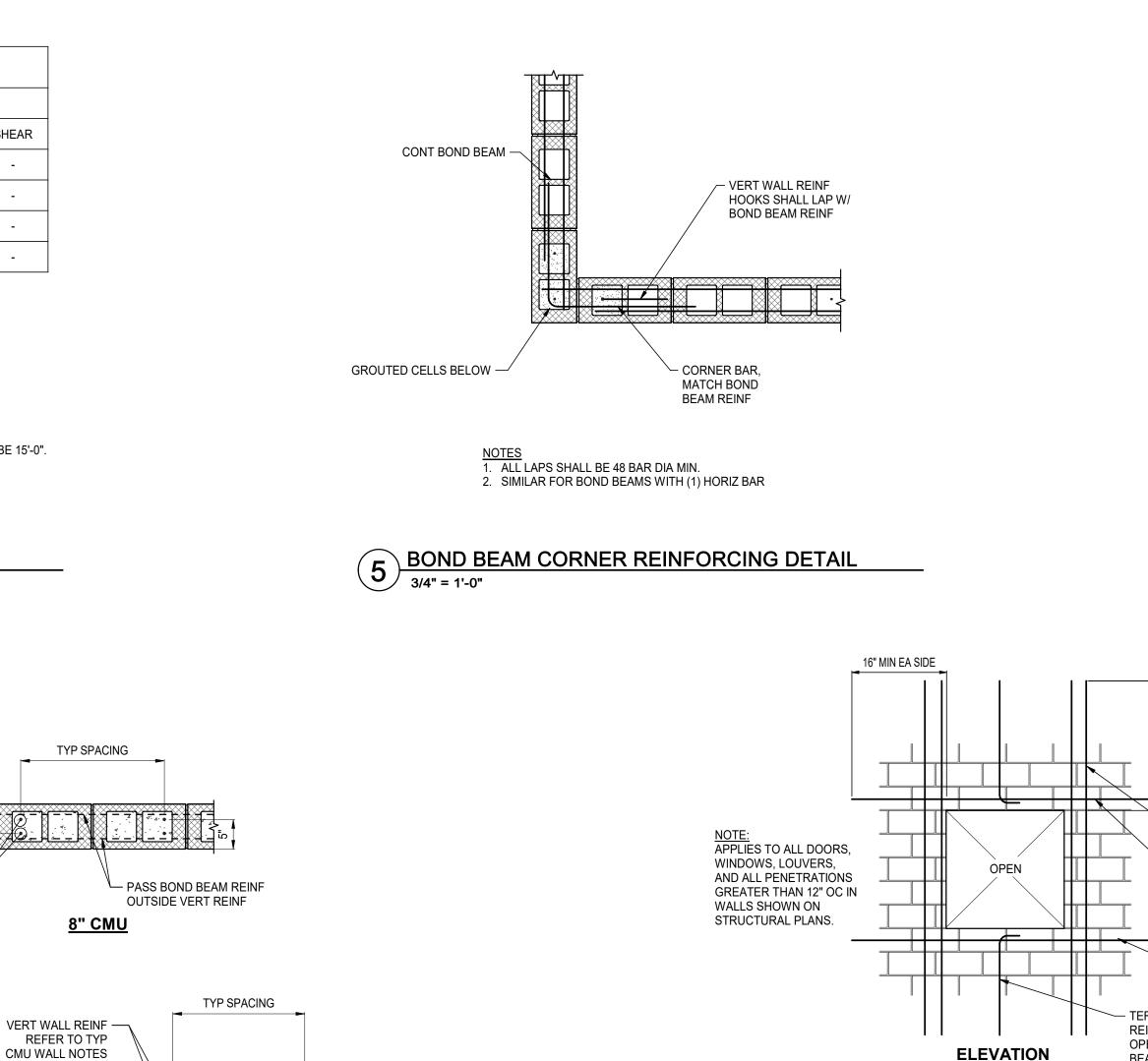
- 9. GROUT STOP SHALL BE A FIBERGLASS MESH CONFORMING TO ASTM STANDARD D1668-73, TYPE 207.
- 10. SPLICE ALL BARS 48 BAR DIAMETER, UNLESS OTHERWISE NOTED.
- 11. USE (1) TOP & BOTTOM CORNER BAR (MATCH TYPICAL REINFORCING) WITH 48 BAR DIAMETER LONG LEGS EACH WAY IN ALL BOND BEAM CORNERS & INTERSECTIONS. PLACE AT EXTERIOR FACE, UNLESS OTHERWISE NOTED.
- 12. THE LOWEST VERTICAL BAR IN ALL BLOCK WALLS SHALL HOOK 90 DEGREES INTO THE FOOTING OR SLAB WITH A MINIMUM 8" LEG UNLESS THE VERTICAL REINFORCING PASSES THRU THE SLAB TO A CONTINUOUS WALL BELOW.
- 13. THE HIGHEST VERTICAL BAR IN ALL BLOCK WALLS SHALL HOOK 90 DEGREES INTO THE UPPERMOST BOND BEAM WITH A MINIMUM 8" LEG UNLESS THE VERTICAL REINFORCING PASSES THRU THE SLAB TO A CONTINUOUS WALL ABOVE. IF THE WALL IS CAPPED WITH A SLAB, EXTEND 90 DEGREE HOOKS INTO THE SLAB AND LAP WITH THE VERTICAL WALL REINFORCING.
- 14. REFER TO DETAILS 8 FOR ADDITIONAL REINFORCING AT WALL OPENINGS. OPENINGS LESS THAN 8"x8" OR 8" DIAMETER SHALL BE EXEMPT FROM THIS REQUIREMENT PROVIDED THAT ANY PORTION OF OPENING IS NOT LOCATED WITHIN A REINFORCED CELL.
- 15. CONDUIT PLACED IN REINFORCED CELLS SHALL BE LIMITED TO (1) CONDUIT PER REINFORCED OR FILLED CELL. MAXIMUM CONDUIT SIZE SHALL NOT EXCEED 1" OUTSIDE DIAMETER.

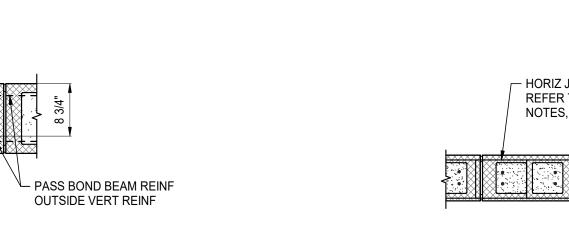


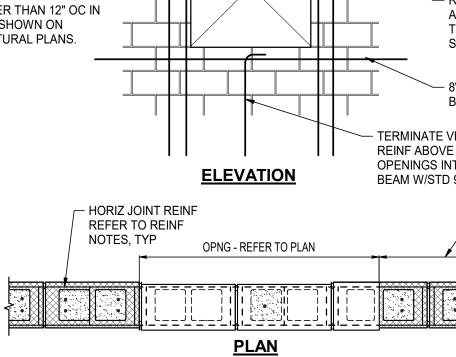
- 1. CMU CONTROL JOINTS ARE NOT TO EXCEED 24', TYP U.O.N.
- 2. THE JOINTS SHALL BE LOCATED A MIN OF 24" FROM DOOR OR WINDOW OPENINGS TO MISS LINTELS.
- 3. THE TYP HORIZONTAL JOINT REINF SHALL BE TERMINATED 2" FROM EACH SIDE OF JOINT. ALL BOND BEAM REINF SHALL CONTINUE THRU THE JOINT.
- 4. WALL SEGMENTS THAT EXCEED 24' AND DO NOT CONTAIN CONTROL JOINTS MUST BE REINFORCED WITH TYP HORIZ BOND BEAMS SPACED AT 5'-0" MAX VERT.











DOUBLE REINF CMU WALL DETAIL (ECUA OFFICE)

<u>12" CMU</u>

) SQUARE OPENING IN MASONARY WALL 3/4" = 1'-0" 8

(3) VERT REINF & GROUTED CELLS AT ALL WALL CORNERS. REFER TO NOTES FOR SIZE. USE PREFABRICATED "L" JOINT REINF SHAPES AT CORNERS. PROVIDE 3'-0" MIN LENGTHS EACH LEG. LAP AND MATCH SPACING OF TYP JOINT REINF	
<u>8" CMU</u>	
3 TYPICAL CMU WALL CORNERS 3/4" = 1'-0"	
	Rev Date Drawn Description Ch'k'd App'd
48 BAR DIA EA SIDE	Mott MacDonald, Florida, LLC 220 West Garden Street Suite 700 Pensacola, Florida 32502 United States of America Telephone: (850) 484-6011 www.mottmac.com/americas Architects AA - C000035 EB - 0000155 LB - 0006783 Client City of Pensacola Public Works & Facilities Department 2757 N. Palafox Street Pensacola, FL 32501
VERT REINF CELLS EA SIDE REFER TO JAMB SCHEDULE REQUIRED LINTEL BEAM ABOVE OPENING, REFER TO S-5, S-15 AND	Title Plaza de Luna Design MASONRY DETAILS
SCHEDULE 8" DEEP BOND BEAM BELOW OPENING TERMINATE VERT REINF ABOVE AND BELOW OPENINGS INTO BOND BEAM W/STD 90° HOOK JAMB EA SIDE OF OPNG, REFER TO JAMB SCHED FOR WIDTH & REINF.	Project Engineer: Chad E. Lyner Florida Certification No.: 66277 VALID ONLY WITH DATE
	Project Number B/O Total 502100054-020 Designed MJT Eng Check Drawn MJT Coordination
WALL	Drawn MJT Coordination Dwg Check CEL Approved T.JARMAN Scale at ANSI D Status Rev Security Drawing Number Output Output Output
	A-010

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NATIONAL ELECTRIC SAFETY CODE, N.F.P.A., O.S.H.A. REGULATIONS AND ALL OTHER EXISTING CODES AND REGULATIONS OF AUTHORITIES WHICH HAVE JURISDICTION.
- 2. THE CONTRACT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND NOT EVERY DETAIL OR CONDUIT IS SHOWN. EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING ANY MATERIAL, OR PERFORMING ANY WORK. ANY DEPARTURE FROM CONCEPT SHOWN ON THE CONTRACT DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ALL ELECTRICAL EQUIPMENT SHOWN ON THE DRAWINGS AND/OR REQUIRED FOR THE FULL INTEGRITY OF THE CONTRACT SHALL BE FURNISHED, INSTALLED AND CONNECTED BY THE CONTRACTOR, EXCEPT WHERE EQUIPMENT SHOWN IS IDENTIFIED AS "EXISTING" OR OTHERWISE NOTED ON THE DRAWINGS.
- 3. UNLESS OTHERWISE NOTED, EQUIPMENT AND MATERIALS TO BE PROVIDED SHALL BEAR LISTING AND LABELING BY A NATIONALLY RECOGNIZED TESTING AGENCY WHERE SUCH STANDARD HAD BEEN ESTABLISHED FOR THAT TYPE OF EQUIPMENT/MATERIAL.
- 4. THE CONTRACTOR SHALL SUBMIT DETAILED EQUIPMENT LAYOUT PLANS, SECTIONS, AND MOUNTING DETAILS SHOWING PROPOSED LOCATION OF ALL EQUIPMENT AND REQUIRED WORKING/SERVICE CLEARANCES PRIOR TO INSTALLATION.
- 5. CONTRACTOR SHALL VISIT THE PROJECT SITE AND EXAMINE AND CONFIRM EXISTING CONDITIONS. ALL CHANGES SHALL BE PRESENTED DURING SHOP DRAWING SUBMITTALS FOR ENGINEER'S APPROVAL.
- 6. CONDUITS SHALL CONTAIN AN INSULATED GROUND WIRE BONDED TO ENCLOSURES AND SIZED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC, IF SIZE IS NOT SHOWN ON THE CONTRACT DRAWINGS.
- 7. THE CONTRACTOR SHALL PROVIDE CONDUIT FITTINGS, CONNECTORS, CLAMPS, HARDWARE, HANGERS, AND SUPPORTS AS NECESSARY FOR A COMPLETE INSTALLATION.
- 8. THE CONTRACTOR SHALL PROVIDE TAGS FOR EQUIPMENT, CONDUITS, AND CABLES THAT ARE INSTALLED UNDER THIS CONTRACT. TAG IDENTIFICATIONS SHALL BE IN ACCORDANCE WITH CONTRACT DRAWINGS. TAGS FOR CONDUITS SHALL BE AS DESCRIBED IN SPECIFICATIONS.
- 9. UNUSED OPENINGS IN CONDUITS, BOXES, DISCONNECT SWITCHES, CABINETS, AND PANEL BOARDS SHALL BE CAPPED OR PLUGGED.
- 10. UPDATE EXISTING PANELBOARD DIRECTORIES TO REFLECT THE CIRCUITING IN EXISTING PANELBOARDS AFFECTED BY THIS ALTERATION.
- 11. CONTRACTOR SHALL PROVIDE THE NECESSARY MATERIALS, LABOR AND ATTENDANCE FOR THE OPERATION OF TEMPORARY LIGHT AND CONSTRUCTION POWER AS REQUIRED DURING WORKING HOURS FOR THE ENTIRE CONSTRUCTION PERIOD.
- 12. CONTRACTOR SHALL MAINTAIN CONTINUITY OF ANY EXISTING CIRCUITS AFFECTED BY THIS ALTERATION. RECONNECT ALL ALTERED OR REROUTED WORK TO ITS FULLY FUNCTIONAL STATE PRIOR TO ALTERATION.
- 13. PROVIDE ALL NECESSARY TEMPORARY WIRING TO MAINTAIN EXISTING INSTALLATIONS WHICH MUST REMAIN IN SERVICE DURING CONSTRUCTION PERIOD.
- 14. ALL BRANCH CIRCUITS OVER 75 FEET IN LENGTH SHALL BE RUN WITH #10 CONDUCTOR, UNLESS OTHERWISE NOTED.
- 15. SCHEDULE ALL DISCONNECTION AND INTERRUPTIONS OF ELECTRICAL SERVICE, COMMUNICATIONS AND SUPERVISORY SYSTEMS WITH THE OWNER AND ENGINEER.
- 16. CONTRACTORS SHALL FOLLOW ALL OWNER SITE SAFETY WORK PROCESSES AND PROCEDURES, FOR EXAMPLE, WORK PERMITS, SAFETY TASK ANALYSIES, LOCKOUT TAGOUT (LOTO), LOCK, TAG AND TRY, AND RED TAG, ETC.
- 17. CONTRACTORS SHALL COORDINATE ALL WORK ACTIVITIES WITH OPERATIONS, MAINTENANCE, AND OTHER CONTRACTORS.

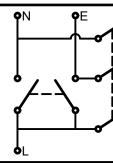
ABBREVIATIONS

ABBK	<u>=VIATIONS</u>	<u>ABB</u>	<u> </u>
A OR AMP		PVC	POLYV
ACT AF	ABOVE COUNTER TOP (6") AMP FRAME	PWR R&R	POWE REMO
AFF	ABOVE FINISHED FLOOR	R	RELOC
AHU AIC	AIR HANDLING UNIT AMPERE INTERRUPTING CAPACITY	RE RECEPT	RELOC RECEP
AM	AMMETER	REF	REFER
APPROX AS	APPROXIMATELY AMMETER SELECTION SWITCH	RGS RMS	RIGID (ROOT
ASYM	ASYMMETRICAL	SE	SERVI
AT	AMP TRIP AUTOMATIC TRANSFER	SF SH	SEAL F
ATC	CONTROLLER	SN SS	STAIN
ATS	AUTOMATIC TRANSFER SWITCH	SPD	SURGE
AUX AWG	AUXILIARY AMERICAN WIRE GAUGE	SW SWBD	SWITC SWITC
BC	BARE COPPER	SYM	SYMM
BLDG C	BUILDING CONDUIT	TEL TWIS	TELEP TWIST
C, CDT	CONDUIT	TWOS	TWIST
C, /C	CONDUCTOR CIRCUIT BREAKER	TYP UG	
CB CKT	CIRCUIT	UL	UNDEF
CLF	CURRENT LIMITING FUSE	UV	ULTRA
CO COL	COMPANY COLUMN	V VA	VOLTS
CNTL	CONTROL	VAC	VOLTS
CSLD	CONTINUOUS STATISTICAL LEAK DETECTION	VDC VFD	VOLTS VARIA
СТ	CURRENT TRANSFORMER	VM	VOLTM
Cu D	CABLE DEPTH	VMS W	VOLTM WATT
DIA	DIAMETER	W/	WITH
	DISCONNECT SWITCH	W/O	WITHO
DWG(S) ELEC	DRAWING(S) ELECTRIC, ELECTRICAL	WM WP	WATTN
EM	EMERGENCY	XFMR	TRANS
EMT ESTOP	ELECTRICAL METALLIC TUBING EMERGENCY STOP		
EX, EXIST.			
EXP	EXPLOSION PROOF EXHAUST FAN		
EF EG	EQUIPMENT GROUND		
EGC	EQUIPMENT GROUND CONDUCTOR		
ETC EXIST	ET CETERA EXISTING		
F	FUSE		
FCR FL, FLR	FLOAT CONTROL RELAY FLOOR		
FT	FEET		
G OR GND	GROUND GAUGE		
GA GALV	GALVANIZED		
GEC	GROUNDING ELECTRODE CONDUCT	FOR	
GEN GF	GENERATOR GROUND FAULT		
GFCI	GROUND FAULT CIRCUIT INTERRUP	т	
gfi H-O-A	GROUND FAULT INTERRUPTING HAND-OFF-AUTOMATIC		
HP	HORSEPOWER		
HVAC IG	HEATING, VENTILATION & AIR ISOLATED GROUND		
ISBR	INTRINSICALLY SAFE BARRIER RELA	λY	
IMC	INTERMEDIATE METAL CONDUIT		
IN IR	INCH INFRARED		
ISCA	INSTANTANEOUS SHORT CIRCUIT A	VAILABLE	
JB OR J kVA	JUNCTION BOX KILOVOLT - AMPS		
kW	KILOWATTS		
kWH L	KILOWATT-HOUR LENGTH		
LA	LIGHTNING ARRESTOR		
LFMC LTG	LIQUIDTIGHT FLEXIBLE METAL CONI	JUIT	
MAX	MAXIMUM		
MCB OR MB MCC	MAIN CIRCUIT BREAKER MOTOR CONTROL CENTER		
MECH	MECHANICAL		
MER	MECHANICAL EQUIPMENT ROOM		
MFR MH OR MTG	MANUFACTURER MOUNTING HEIGHT		
MIN	MINIMUM		
MLO MTD	MAIN LUGS ONLY MOUNTED		
Ν	NEUTRAL		
NC NEC	NORMALLY CLOSED NATIONAL ELECTRICAL CODE		
NEMA	NATIONAL ELECTRICAL MFRS ASSO	CIATION	
	NON-FUSIBLE		
NFPA No.	NATIONAL FIRE PROTECTION ASSO NUMBER		
NO	NORMALLY OPEN		
NTS O.C.	NOT TO SCALE ON CENTER		
OCPD	OVERCURRENT PROTECTIVE DEVIC	E	
O/F OHE	OVERFILL OVERHEAD ELECTRICAL		
OSHA	OCCUPATIONAL SAFETY &		
Р	HEALTH ADMINISTRATION POLE		
PERM	PERMANENT		
PFC	POWER FACTOR CAPACITOR PHASE		
PH, Ø PLC	PHASE PROGRAMMABLE LOGIC CONTROLL	ER	
PNL PR	PANEL PAIR		
ΓŇ			

ABBREVIATIONS

_	
	POLYVINYLCHLORIDE CONDUIT
	POWER
	REMOVE AND RELOCATE
	RELOCATE
	RELOCATED
РΤ	RECEPTACLE
	REFERENCE
	RIGID GALVANIZED STEEL
	ROOT MEAN SQUARE
	SERVICE ENTRANCE
	SEAL FITTING
	SHIELDED
	STAINLESS STEEL
	SURGE PROTECTION DEVICE
	SWITCH
	SWITCHBOARD
	SYMMETRICAL
	TELEPHONE
	TWISTED INDIVIDUAL SHIELD
	TWISTED OUTER SHIELD
	TYPICAL
	UNDERGROUND
	UNDERWRITER'S LABORATORIES
	ULTRAVIOLET
	VOLTS
	VOLT AMPS
	VOLTS ALTERNATING CURRENT
	VOLTS DIRECT CURRENT
	VARIABLE FREQUENCY DRIVE
	VOLTMETER
	VOLTMETER SELECTOR SWITCH
	WATT
	WITH
	WITHOUT
	WATTMETER
	WEATHER PROOF
	TRANSFORMER





User Name: ers44516 Time Stamp: Jun 18, 2021 - 11:36:50AM awing Name: E-001 Legend abbreviations and notes.dwg rawing Path: \\USPENSHVFPS01\Projects\502100054-020 Plaza De Luna Desigr

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ONE-LINE	DIAGRAM	<u>ONE-LIP</u>	<u>NE DIAGRAM</u>	ONE-LINE D		
Υ	CONNECTION TO ELECTRICAL UTILITY. VOLTAGE, PHASES AS INDICATED	¢ z z	FUSE - 'XX' INDICATES TRIP RATING IN AMPS - 'Z' INDICATES CLASSIFICATION (IF SPECIFIED)		INDUC -'WW' -'XX' II	
M	UTILITY METER		ANGLED BRACKETS INDICATE DRAWOUT DEVICE		SYNC -'WW'	
G XX kW YY V	GENERATOR - 'XX' DESIGNATES POWER RATING - 'YY' DESIGNATES VOLTAGE	XX	PROTECTIVE RELAY, METERING, OR INTERLOCKING DEVICE. 'XX' DESIGNATIONS:	K WW XX HP	-'XX' II	
E ^{X:Y} z	CURRENT TRANSFORMER (CT). 'X:Y' INDICATES RATIO 'Z' INDICATES QUANTITY (1 PER PHASE UNLESS OTHERWISE INDICATED)		A: AMMETER V: VOLTMETER PF: POWER FACTOR K: KIRK KEY INTERLOCK I: ELECTRICAL INTERLOCK 25: SYNCHRONISM CHECK 27: UNDER VOLTAGE	× +	PANEI - 'X' IN	
$\mathbf{M}_{(Z)}^{X:Y}$	POTENTIAL TRANSFORMER (PT). 'X:Y' INDICATES RATIO 'Z' INDICATES QUANTITY (1 PER PHASE UNLESS OTHERWISE INDICATED)		 46: CURRENT UNBALANCE 47: PHASE-SEQUENCE VOLTAGE 50: INSTANTANEOUS OVERCURRENT 51: TIME OVERCURRENT 52: AC CIRCUIT BREAKER 	UPS SPD	UNINT	
XFMR XX kVA YY-ZZV R%	TWO WINDING TRANSFORMER, PHASES AS DETERMINED BY OCPD -'Z' INDICATES % IMPEDANCE ANSI STANDARD IF NOT SPECIFIED -'WW' INDICATES STRUCTURE DESIGNATION		 55: POWER FACTOR 59: OVER VOLTAGE 64: GROUND PROTECTIVE RELAY 81: FREQUENCY 86: LOCKING OUT RELAY * SPECIFIC MINIMUM FUNCTIONS TO BE LISTED BY ANSI/IEEE DEVICE NUMBERS 	• • <u></u> ı 'xx'	LIGHT - 'XX' IC D S	
-	-'XX' INDICATES POWER RATING -'YY' INDICATES PRIMARY VOLTAGE -'QQ' INDICATES SECONDARY VOLTAGE WINDINGS AS INDICATED -'☆' INDICATES DELTA CONNECTION -'☆' INDICATES WYE CONNECTION	<u></u> +×	FULL VOLTAGE NON REVERSING CONTACTOR 'X' DESIGNATES NEMA SIZE OR: BC: BYPASS CONTACTOR OC: OUTPUT ISOLATION CONTACTOR IC: INPUT ISOLATION CONTACTOR		EART LINE ('Z' DE	
XX kVA	WITH GROUNDED NEUTRAL		LIGHTING CONTACTOR -'XX' DESIGNATES AMPERE RATING -'Y DESIGNATES NUMBER OF POLES		CAPA - 'XX'	
YY-ZZV Z% XFMR:W XX kVA YY-ZZV	THREE WINDING TRANSFORMER -'W' INDICATES STRUCTURE DESIGNATION -'XX' INDICATES POWER RATING (BY WINDING)	×xa/y	LIGHTING CONTACTOR -'XX' DESIGNATES AMPERE RATING -'Y DESIGNATES NUMBER OF POLES	Z ZZ	RESIS - 'ZZ' I	
Z%	-'YY' INDICATES VOLTAGE RATING (BY WINDING) -'Z' INDICATES IMPEDANCE (BY WINDING) -'▲' INDICATES DELTA CONNECTION -' ' INDICATES WYE CONNECTION ¥ WITH GROUNDED NEUTRAL	۲×	MOTOR OVERLOAD. RATED FOR DEVICE PROTECTING. CLASS 20 UNLESS OTHERWISE INDICATED. -'X' DESIGNATES TYPE: T-THERMAL E-ELECTRONIC.		MISCE SUCH RATIN ELEC ⁻ INDIC	
N Q OE WTS XXA Y	TRANSFER SWITCH - 'W' INDICATES A: AUTOMATIC M: MANUAL - 'XX' INDICATES RATING IN AMPS	F R R X	FULL VOLTAGE REVERSING CONTACTOR -'X' DESIGNATES NEMA SIZE. -'F' INDICATES FORWARD CONTACTOR. -'R' INDICATES REVERSING CONTACTOR.		WITHI SAME PANE PORT	
XXA/Y Y	- 'Y' INDICATES NUMBER OF POLES BYPASS ISOLATION TRANSFER SWITCH -'XX' INDICATES AMPERE RATING -'Y' INDICATES NUMBER OF POLES	н <u>⊢</u> г_х	TWO SPEED STARTER -'X' DESIGNATES NEMA SIZE. -'H' INDICATES HIGH SPEED CONTACTOR. -'L' INDICATES LOW SPEED CONTACTOR.	••• Y	-'Y' DE 3: 3 4: 4	
	- T INDICATES NOWBER OF FOLES	X Y%	REDUCED VOLTAGE AUTOTRANSFORMER -'X' DESIGNATES NEMA SIZE. -'Y' INDICATES TAP PERCENTAGE.			
∑ XXA/Y Y	SWITCH -'XX' INDICATES AMPERE RATING -'Y' INDICATES NUMBER OF POLES	VFD XXA	VARIABLE FREQUENCY DRIVE. -'XX' INDICATES MINIMUM AMP RATING (IF NOT SPECIFIED, VFD TO MATCH HORSEPOWER RATING OF MOTOR SUPPLIED).			
52 XXAT YYAF	MEDIUM & HIGH VOLTAGE CIRCUIT BREAKER - 'XX' INDICATES TRIP RATING IN AMPS - 'YY' INDICATES FRAME RATING	RVSS XXA	REDUCED VOLTAGE SOFT START. -'XX' INDICATES MINIMUM AMP RATING (IF NOT SPECIFIED, RVSS TO MATCH HORSEPOWER RATING OF MOTOR SUPPLIED).			
XXAT/W YYAF Z	LOW VOLTAGE MOLDED CASE CIRCUIT BREAKER. - 'XX' INDICATES TRIP RATING IN AMPS (IF TRIP INTEGRAL) - 'YY' INDICATES FRAME RATING, ID SPECIFIED		NON-FUSED DISCONNECT SWITCH - 'XX' DESIGNATES AMPERE RATING OF DISCONNECT. - 'Y' DESIGNATES NUMBER OF POLES			
	 - 'W' INDICATES NUMBER OF POLES (3 UNLESS OTHERWISE NOTED) - 'Z' DESIGNATES TYPE: BLANK: THERMAL MAGNETIC LSI: ELECTRONIC TRIP MCP: MOTOR CIRCUIT PROTECTOR GFI: GROUND FAULT INTERRUPTING 	XXA/Y	FUSED DISCONNECT SWITCH - 'XX' DESIGNATES AMPERE RATING OF FUSE. DISCONNECT AMPERE RATING TO BE EQUAL TO FUSE RATING OR THE NEXT LARGEST TRADE SIZE. - 'Y' DESIGNATES NUMBER OF POLES			

	_						
IAGRAM							
DUCTION MOTOR /W' INDICATES EQUIPMENT DESIGNATION. X' INDICATES HORSEPOWER RATING.							
NCHRONOUS MOTOR W' INDICATES EQUIPMENT DESIGNATION. X' INDICATES HORSEPOWER RATING.							
NELBOARD (' INDICATES STRUCTURE DESIGNATION.							
IINTERRUPTIBLE POWER SUPPLY.							
IRGE SUPPRESSION DEVICE.							
GHTNING ARRESTORS (X' INDICATES IC: INTERMEDIATE CLASS DC: DISTRIBUTION CLASS SC: STATION CLASS							
ARTH GROUND							
IE OR LOAD REACTOR. DESIGNATES % IMPEDANCE.							
APACITOR (X' INDICATES kVAR RATING	┝┯						
SISTOR ZZ' INDICATES IMPEDANCE IN OHMS	Ħ						
SCELLANEOUS ELECTRICAL EQUIPMENT, ICH AS PANEL, ETC. EQUIPMENT TYPE AND ITINGS TO BE INDICATED.	Ħ					╡	
ECTRICAL EQUIPMENT BOUNDARY. DICATES MULTIPLE DEVICES ENCLOSED THIN BORDER ARE LOCATED WITHIN THE .ME ENCLOSURE, OR MOUNTED TO SAME .NEL RACK.	Rev Date	Drawn	Description		Donald Floric		App'd
ORTABLE POWER CONNECTION X' INDICATES AMPERE RATING ' DESIGNATES TYPE: 3: 3 WIRE + GROUND	MOTT MACDO			Pensacol United St T +1 (850	a, FL 32502 ates of Amer 0) 484-6011 ttmac.com/an	ica	
4: 4 WIRE + GROUND		Archit AA - C000		neers Surv 0000155 LB			
	^{Client} Ci	ty of Per	nsacola	à	OF VOF	PEN	
		lic Works & l 7 N. Palafox		epartment	HHL + 1931	1895 1913 2010	ACOLA *
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	Date	 SEAL V/	ALID ONLY WITH	I ENGINEER SIGN			
	Project Num			^{в/О} 28	Total	47	
	Designed	M. KERR		Eng check	F. WELLS		
	Drawn Dwg check	H. ERSKINE A. GIBBS		Coordination Approved	M. KERR A. GIBBS	+	
	Scale at ANS	SI D Status		Rev	Secu		
	NO SC Drawing Nur		BID	0		STD)

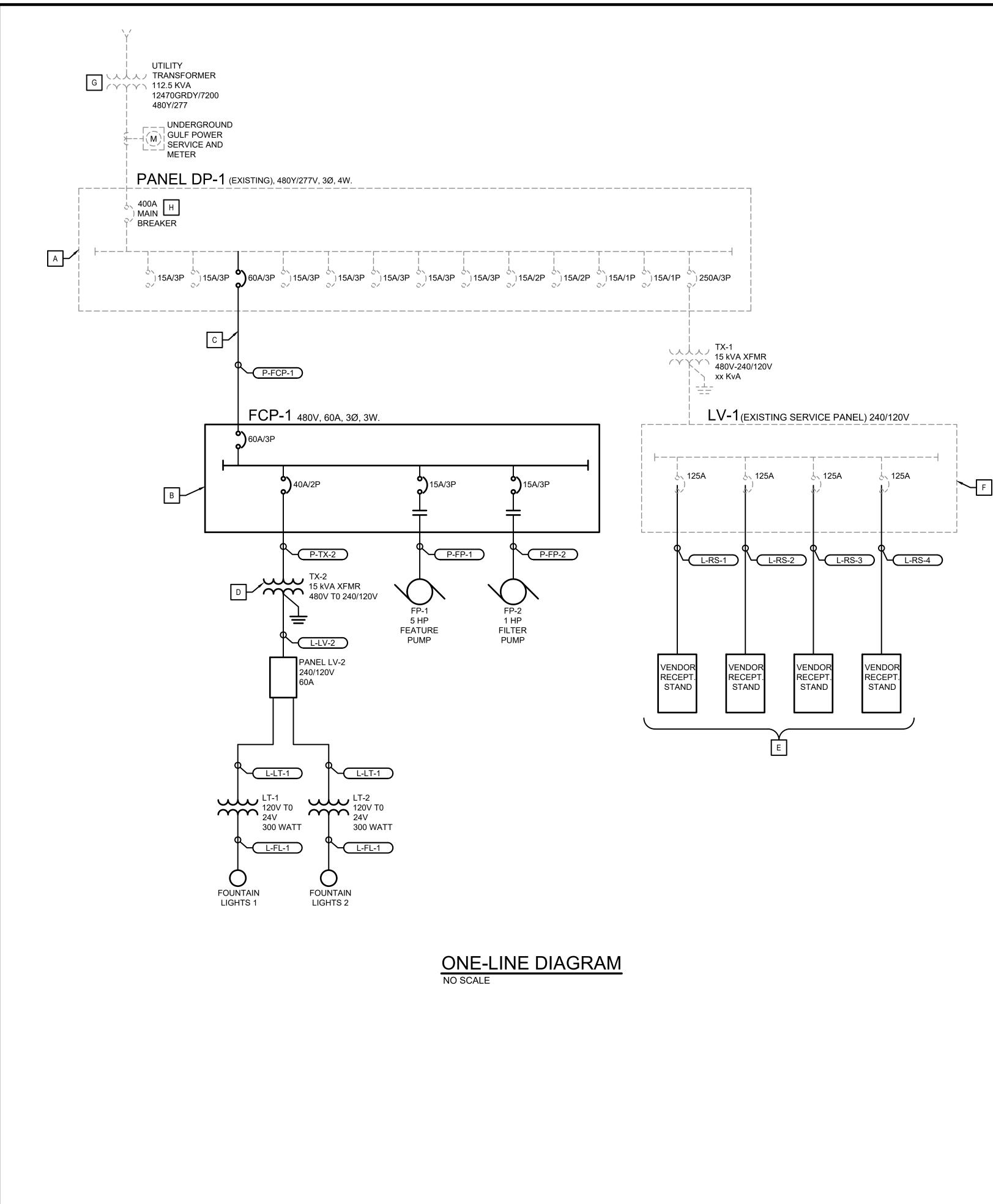
E-001

LIGHTIN	NG	RACEWAY	<u>(S</u>	<u>ELEM</u>
	CEILING MOUNTED FIXTURE. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	OHE OHE	OVERHEAD ELECTRICAL CONDUIT RUN CONCEALED ABOVE CEILING OR IN	•
XX	FIXTURE PROVIDING EMERGENCY ILLUMINATION. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		WALLS CONDUIT RUN BELOW GRADE OR IN SLAB	— 0.
O _{xx}	CEILING MOUNTED DOWNLIGHTING FIXTURE. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		CONDUIT RUN EXPOSED PARALLEL OR PERPENDICUL TO BUILDING LINES	AR
	SURFACE MOUNT OR SUSPENDED FIXTURE INDUSTRIAL		HOMERUN TO PANELBOARD ANY CIRCUIT WITHOUT FURTHER DESIGNATION 2#12, 1#12 GRD. MINIMUM CONDUIT SIZE SHALL BE 3/4"	
	XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	\sim	FLEXIBLE CONDUIT	— •
_хО хШ	WALL MOUNTED FIXTURE. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	•	CONDUIT TURNING DOWN	—•
			CONDUIT CAPPED	
$-\Theta \cdot \Theta_{XX}$	TRACK LIGHTING. LENGTH AND NUMBER OF FIXTURES AS INDICATED ON PLANS. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		EXPLOSIONPROOF CONDUIT SEAL	
		 N 	CONDUIT EXPANSION FITTING	
H _{xx}	TWIN HEAD EMERGENCY BATTERY UNIT. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	НН	HAND HOLE (SIZE PER NEC)	$\frac{1}{2}$
	CEILING MOUNTED REMOTE BATTERY HEADS.	МН	MAN HOLE (SIZE PER NEC)	- 7
V _{xx}	AIMING AS INDICATED. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	РВ	PULL BOX (DRAWN TO SCALE ON PLANS)	
			CABLE TRAY (DRAWN TO SCALE ON PLANS)	
	WALL MOUNTED REMOTE BATTERY HEADS. AIMING AS INDICATED. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		CONCRETE ENCASED DUCT BANK T BELOW GRADE	ж р
↓ ● ↓ ××	EXIT SIGN; CEILING MOUNTED; ARROWS AS INDICATED. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		CABLE TAG. DESIGNATIONS: FOR 'W': H - POWER (>5kVAC)	(
¥ € H	EXIT SIGN; WALL MOUNTED; ARROWS AS INDICATED. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.	<u>د (۳-۲۲۲۲)</u>	M - POWER (601-4999VAC) P - POWER (241-600VAC) L - POWER (51-240VAC) D - DC POWER	÷
⊽⊉ᢆ⊽	EXIT SIGN WITH EMERGENCY HEADS; ARROWS AS INDICATED. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE.		C - CONTROL (TO A STARTER) I - INSTRUMENTATION (TO A PLC) E - EMERGENCY SHUT DOWN F - FIBER OPTIC COMMUNICATIONS O - OTHER COMMUNICATIONS	<u>_</u>
	POLE MOUNTED LIGHT FIXTURE. 'XX' DESIGNATES FIXTURE TYPE AS SPECIFIED ON LIGHTING FIXTURE SCHEDULE. ONLY SINGLE FIXTURE SHOWN.		FOR 'XXXX': EQUIPMENT REFERENCE FOR 'YY': ALPHANUMERIC SUFFIX AS NEEDED	5 0
\$ ^{xx}	WALL SWITCH. 'XX' DESIGNATES: NO SUBSCRIPT DENOTES SINGLE POLE 3 - 3 WAY SWITCH 4 - 4 WAY SWITCH D - DIMMER K - KEY OPERATED L - WITH PILOT LIGHT M - MOTOR RATED O - OCCUPANCY MOTION SENSOR W/OVERRIDE T - TIMER	GROUNDIN	RACEWAY TAG. DESIGNATIONS: FOR 'XXX': ELECTRICAL SHEET REFERENCE FOR 'YY': SEQUENTIAL REFERENCE IG & LIGHTNING PROTECTIO	 (<u>N</u>
	AS - DENOTES OCCUPANCY OVERRIDE CR - CORROSION RESISTANT EP - EXPLOSION PROOF	•	CONNECTION TO GROUND GRID. MECHANICAL OR	(
	TS - TIME SWITCH WP - WEATHERPROOF	•	CADWELD CONNECTION AS NOTED.	—•
	LIGHTING CONTROL POWER PACK	© ©	GROUND ROD. GROUND TEST STATION.	•
	CEILING MOUNTED SENSOR.	8	GROUND ANODE.	_ o
	'X' DESIGNATES SENSOR AS SPECIFIED IN THE SENSOR SCHEDULE.	0	VEHICLE GROUNDING STATION.	
⊗H	WALL MOUNTED OCCUPANCY SENSOR. 'X' DESIGNATES SENSOR AS SPECIFIED IN THE SENSOR SCHEDULE.	G	GROUNDING GRID OR COUNTERPOISE SYSTEM CONDUCTOR.	 •
		Ο	LIGHTING PROTECTION AIR TERMINAL.	 &
ALL DEVICE	S/PLATES TO BE IN OWNERS CHOICE OF COLORS.	*	LIGHTNING PROTECTION DISSIPATION AIR TERMINAL	— •
		<u> </u>	LIGHTNING PROTECTION SYSTEM CONDUCTOR.	 &
		ŧ	LIGHTNING PROTECTION SYSTEM DOWN CONDUCTO	R. — •

EL	EMENTA	ARY WIRING SCHEMATICS	OUTLETS	S AND RECEPTACLES	ELEMEN	TARY WIRI
	- ^ -	PRESSURE SWITCH - NORMALLY OPEN.	** ⊕	DUPLEX RECEPTACLE, MOUNT 18" AFF UNLESS	0	KEY SWITCH
		PRESSURE SWITCH - NORMALLY CLOSED.	××	OTHERWISE NOTED. QUADPLEX RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED.	RTM	NON RESETTABLE F
	~ } ~	DIFFERENTIAL PRESSURE SWITCH - NORMALLY OPEN.	××⊖-	SINGLE OUTLET RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED.	- ⁺ 1- ⁻ -	BATTERY - VOLUME AS INDICATED.
LAR	- J -	DIFFERENTIAL PRESSURE SWITCH - NORMALLY CLOSED	×× ⊘-	SPECIAL PURPOSE RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED.		
		TIME DELAY SWITCH - TIMER ON DELAY (CLOSES AFTER TIMER EXPIRES).		FOR ALL RECEPTACLES, 'XX' DESIGNATES: AC - INSTALL 6" ABOVE COUNTER / BACKSPLASH (GFI REQUIRED).		FULL WAVE RECTIF
	⊸ , 7 , •	TIMER DELAY SWITCH - TIMER OFF DELAY (OPENS AFTER TIMER EXPIRES).		CLG - CEILING MOUNT CR - CORROSION RESISTANT EP - EXPLOSION PROOF GF - GROUND FAULT	_ Č _	HORN ELEMENT.
	~ ~	VIBRATION SWITCH - NORMALLY OPEN		MULTI-RECEPTACLE ASSEMBLY WITH	R	EXTERNALLY MOUN
		VIBRATION SWITCH - NORMALLY CLOSED		RECEPTACLES AS INDICATED.		EXTERNALLTWOON
		PANEL MOUNTED INDICATOR LIGHT "X" INDICATES COLOR:	(J)		<u>FIRE AL</u>	<u>ARM</u>
		A - AMBER G - GREEN	φ	FLOOR MOUNTED DUPLEX RECEPTACLE.	EVAC	VOICE EVACUATION
		R - RED W - WHITE B - BLUE	$\Phi \nabla$	FLOOR MOUNTED BOX POWER AND TELCOM RECEPTACLES.	FAA	FIRE ALARM ANNUN
			ALL DEVICES/I	PLATES TO BE IN OWNERS CHOICE OF COLORS.	FACP	FIRE ALARM CONTR
	<u>ק (×)</u>	PANEL MOUNTED INDICATOR LIGHT 'PUSH TO TEST' TYPE.			F	FIRE ALARM MANUA
	U	"X" INDICATES COLOR: A - AMBER G - GREEN	<u>COMM</u>	UNICATIONS	(s)	FIRE ALARM SMOKE
		R - RED W - WHITE	∇	WALL MOUNTED DATA OUTLET. 18" AFF UNLESS OTHERWISE NOTED.	H	HEAT DETECTOR
		B - BLUE	∇^{\times}	FLOOR MOUNTED DATA OUTLET. 'X' DESIGNATES:		FIRE ALARM DUCT S
х тв# С		EXTERNALLY MOUNTED DEVICE. DASHED LINE INDICATES WIRING EXTERNAL TO PANEL.		F - FLUSH S - SURFACE	Ē	FIRE ALARM STROB MOUNTED
		TERMINAL BLOCK.	¥	WALL MOUNTED TELEPHONE OUTLET. 18" AFF UNLESS OTHERWISE NOTED.	Ē	FIRE ALARM SPEAK
	TB#	"X" INDICATES TERMINAL NUMBER. "#" INDICATES TERMINAL BLOCK NUMBER	×	FLOOR MOUNTED TELEPHONE OUTLET. 'X' DESIGNATES:		HORN UNIT ONLY
		PHOTOCELL.		F - FLUSH S - SURFACE	STFA	FIRE ALARM STROB
		SELECTOR SWITCH.	V	WALL MOUNTED TELEPHONE/DATA COMBINATION OU 18" AFF UNLESS OTHERWISE NOTED.		FIRE ALARM RELAY
		"X" INDICATES SWITCH POSITION. TOTAL DIGITS PER LINE INDICATES NUMBER OF SWITCH POSITIONS (THREE SHOWN).	×	FLOOR MOUNTED TELEPHONE/DATA COMBINATION	FE	FIRE EXTINGUISHEF
				OUTLET. 'X' DESIGNATES: F - FLUSH	PS	LOW PRESSURE SW
	_ ~ _~	MOMENTARY PUSH BUTTON - NORMALLY OPEN		S - SURFACE	TS	FIRE ALARM TAMPE
	 ^	MOMENTARY PUSH BUTTON - NORMALLY CLOSED EMERGENCY SHUTDOWN/STOP - NORMALLY CLOSED	B	BLUE INDICATOR LIGHT FOR EMERGENCY CALL BOX.	ТВ	FIRE ALARM TELEPH
		COIL CONTACTS.	С	EMERGENCY CALL BOX.	SP WP	MASS NOTIFICATIO SPEAKER/STROBE I
		VOLTAGE AS INDICATED ON SCHEMATICS "X" DESIGNATES: C - CONTROL RELAY	L	LANE USE SIGNAL. 18" X 18" LED TYPE WITH GREEN "†" AND RED "X".		COMBINATION (WEA
		LC - LIGHTING CONTACTOR M - MOTOR CONTACTOR T - TIME DELAY RELAY	×	CCTV CAMERA. MOUNTING AS INDICATED ON PLANS.	SPT	MASS NOTIFICATION SPEAKER/STROBE CEILING MOUNTED
<u>N</u>	-(-)	SOLENOID COIL.		'X' DESIGNATES: F - FIXED TYPE PTZ - PAN TILT ZOOM	SP	MASS NOTIFICATION
	━┥┝━╴	NORMALLY OPEN CONTACT.		ETHERNET ADAPTER		
	⊸∤∕⊷	NORMALLY CLOSED CONTACT.				
		LIMIT SWITCH - NORMALLY OPEN.		CELLULAR MODEM		
		LIMIT SWITCH - NORMALLY CLOSED.	HVAC			
		LIMIT SWITCH - NORMALLY OPEN, HELD CLOSED.				
		LIMIT SWITCH - NORMALLY CLOSED, HELD OPEN.		THERMOSTAT AMBIENT TEMPERATURE TRANSMITTER		
	~~~ ~	LIQUID LEVEL (FLOAT) SWITCH - NORMALLY OPEN.	® Ē	UNIT HEATER		
L.	- T o-	LIQUID LEVEL (FLOAT) SWITCH - NORMALLY CLOSED.				
		FLOW SWITCH - NORMALLY OPEN.				
DR.	<u>⊸</u> J°	FLOW SWITCH - NORMALLY CLOSED.				
		TEMPERATURE SWITCH - NORMALLY OPEN.				
		TEMPERATURE SWITCH - NORMALLY CLOSED.				

VIRING SCHEMATICS							
1							
TABLE RUN TIME METER.							
OLUME AND AMP HOURS ED.							
RECTIFIER.							
ENT.							
Y MOUNTED ALARM LIGHT.							
CUATION PANEL							
ANNUNCIATOR PANEL							
CONTROL PANEL							
MANUAL PULL STATION							
SMOKE DETECTOR							
CTOR							
DUCT SMOKE DETECTOR							
STROBE LIGHT WALL							
SPEAKER/STROBE LIGHT DN WALL MOUNTED							
ONLY							
STROBE CEILING MOUNTED							
	Rev Date	Drawn	Description			Ch'k'd	App'd
RELAY GUISHER.				Mott MacD	onald Flori		
FLOW SWITCH	M	Μ		220 W. Ga Pensacola,	, FL 32502)
URE SWITCH	MOTT MACDO			United Stat T +1 (850) www.mottn	484-6011		
TAMPER SWITCH				www.mota		nonodo	
TELEPHONE BASE		Archit AA - C00		neers Surve)000155 LB-(
FICATION TROBE LIGHT DN (WEATHER PROOF) ITED			nsacola		HHL 1698 1821	PE	ASJACOLA 1913
FICATION TROBE COMBINATION UNTED FICATION SPEAKER	2757 Pens	ic Works & 7 N. Palafox sacola, FL 3		epartment	FIC	DRIDA	
UNTED	^{Title} Pla	za de L	una De	esign			
		CTRICAL NOTES), ABBREV	IATION	S	
	ISSUE	E FOR B	ID		NEN K		
		v K. Gibbs cense No. 7729		* PROFY	NO. 772 ★ STATE		//////////////////////////////////////
	Date Project Numb		ALID ONLY WITH	ENGINEER SIGNA	TURE		
	-	00054	-020	29		47	
	Designed	M. KERR			F. WELLS		
	Drawn Dwg check	H. ERSKINE A. GIBBS		Coordination	M. KERR A. GIBBS	-+	
	Scale at ANS	D Status	, BID	Rev O	Secu	urity STE	
	Drawing Num					SIL	
			E-0	002			

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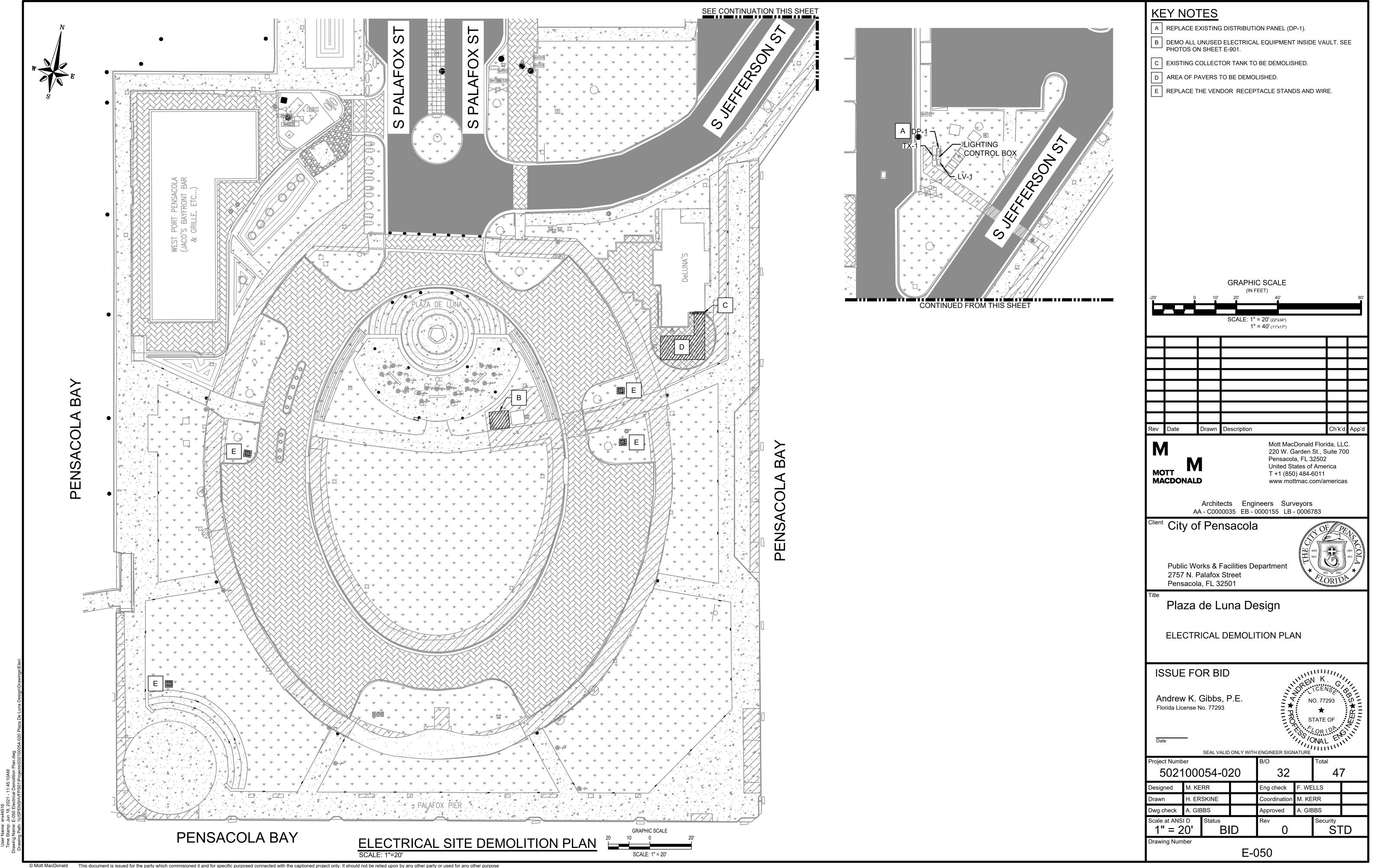
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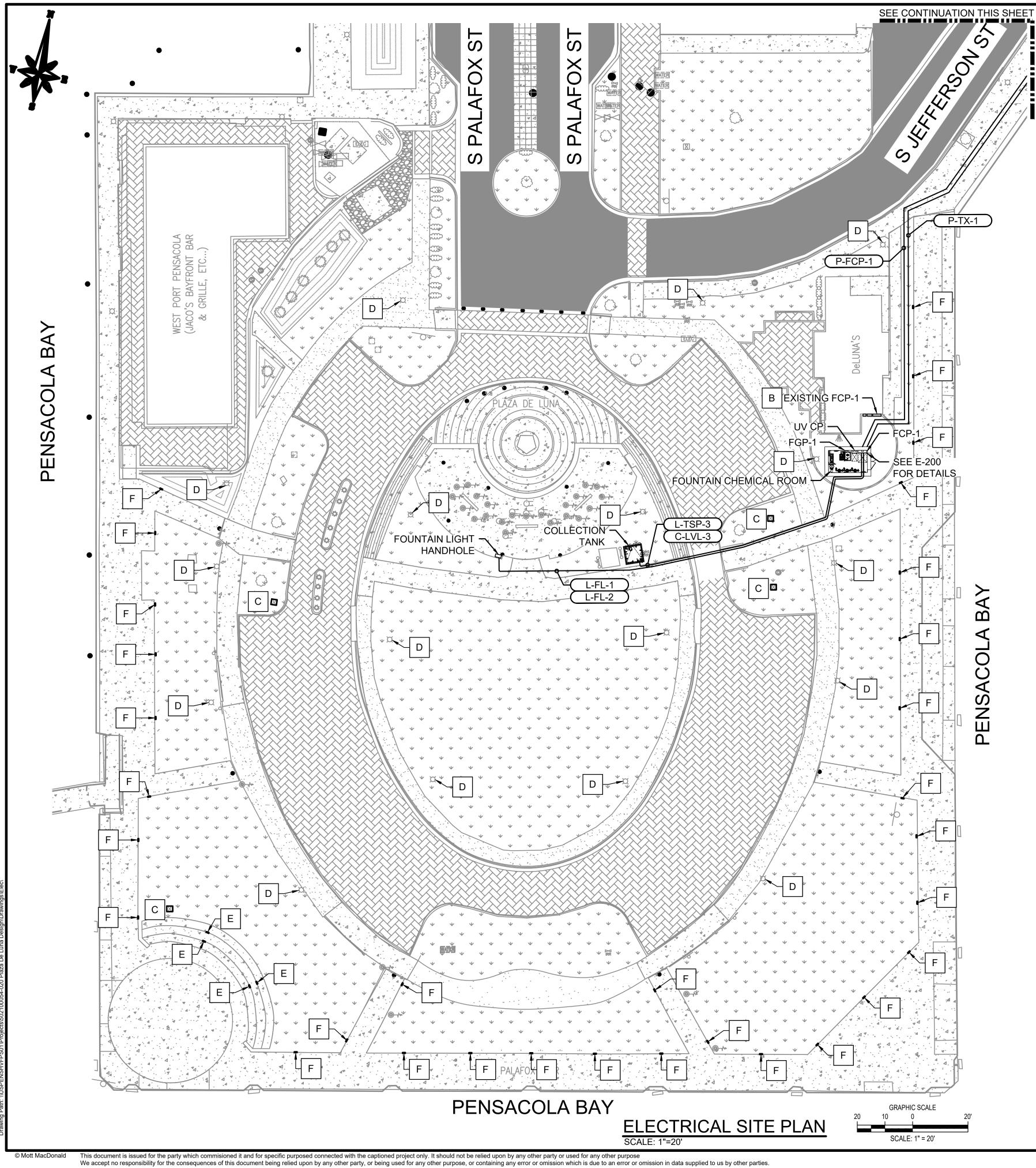
KEY NOTES									
<u>KLTNOTLS</u>									
A REPLACE EXISTING DISTRIBUTI									
CIRCUIT BREAKER IS DISLOCAT									
EXISTING.		/ \C							
B INSTALL A NEW FOUNTAIN CON									
FOUNTAINS IN NEW BUILDING.									
C INSTALL 480V FEEDER CONDUC		UIT TO THE NEW							
FOUNTAIN CONTROL PANEL.									
D INSTALL NEW A NEW TRANSFOR	RMER (TX-2) IN TH	IE NEW							
BUILDING.	、								
E REPLACE THE VENDOR RECEP									
EXISTING CONDUITS, REPAIR A VENDOR RECEPTACLE STANDS	S NEEDED. THE R	EPLACEMENT							
LIGHT POWER PEDESTAL WITH	20A (120V), 30A (1	20V), 50A							
(120/240V) RECEPTACLES PROT ALL GFCI.	ECTED BY CIRCU	IT BREAKERS,							
F REPLACE LV-1 AS EXISTING.									
TRANSFORMER BEING PROPER AND REPLACEMENT OF THE FE									
	-								
UNABLE TO SEE DUE TO DAMAG									
IT WILL BE VISIBLE.									
1									
1									
Rev Date Drawn Description Ch'k'd App'd									
	Mott MacDon								
M	220 W. Garde	ald Florida, LLC. n St., Suite 700							
	220 W. Garde Pensacola, Fl	ald Florida, LLC. en St., Suite 700 _ 32502							
	220 W. Garde Pensacola, FL United States	ald Florida, LLC. en St., Suite 700 _ 32502 of America							
M	220 W. Garde Pensacola, FL United States T +1 (850) 48	ald Florida, LLC. en St., Suite 700 _ 32502 of America							
M MOTT	220 W. Garde Pensacola, FL United States T +1 (850) 48	ald Florida, LLC. en St., Suite 700 _ 32502 of America 4-6011							
M M MOTT MACDONALD	220 W. Garde Pensacola, FL United States T +1 (850) 48	ald Florida, LLC. en St., Suite 700 - 32502 of America 4-6011 c.com/americas							
M MOTT MACDONALD Architects Engi AA - C0000035 EB - 0	220 W. Garde Pensacola, FL United States T +1 (850) 48 www.mottmac neers Surveyo	ald Florida, LLC. en St., Suite 700 _ 32502 of America 4-6011 c.com/americas							
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FEEDER MARK	# OF SETS			FROM	то
C-FP-1	1	1"	PER MFR	UV CONTROL PANEL	FEATURE PUMP 1
C-LVL-3	1	1"	PER MFR	FCP-1	LEVEL PROBE
L-ABW-1	1	1"	7#14, 1#14G	FCP-1	ABW
L-AP-5	1	1"	PER MFR	PH ORP CONTROLLER	ACID PUMP 5
L-CP-4	1	1"	PER MFR	PH ORP CONTROLLER	CHLORINE PUMP 4
L-FL	1	1"	-	-	-
L-FL-1		-	1#12, 1#12N, 1#12G	LIGHT TRANSFORMER 1	FOUNTAIN LIGHTS HAND HOLE
L-FL-2		-	1#12, 1#12N, 1#12G	LIGHT TRANSFORMER 2	FOUNTAIN LIGHTS HAND HOLE
L-LGT-1	1	1"	1#12, 1#12N, 1#12G	LV-1	LIGHTS IN BUILDING
L-LTX-1	1	1"	1#12, 1#12N, 1#12G	LV-2	LIGHT TRANSFORMER 1
L-LTX-2	1	1"	1#12, 1#12N, 1#12G	LV-2	LIGHT TRANSFORMER 2
L-LVL-2	1	1"	3#6, 1#6G	TX-2	LV-2
L-MUA-1	1	1"	2#12, 1#12G	FCP-1	MUA
L-REC-1	1	1"	2#12, 1#12G	FCP-1	REC-1
L-RS-1	1	2"	3#3/0, 1#3/0G	LV-1	RECEPTACLE STAND 1
L-RS-2	1	2"	3#3/0, 1#3/0G	LV-1	RECEPTACLE STAND 2
L-RS-3	1	2"	3#3/0, 1#3/0G	LV-1	RECEPTACLE STAND 3
L-RS-4	1	2"	3#3/0, 1#3/0G	LV-1	RECEPTACLE STAND 4
L-SP-6	1	1"	PER MFR	PH ORP CONTROLLER	SAMPLE PUMP 6
L-TSP-3	1	1"	3#10, 1#10G	FCP-1	TANK SUMP PUMP 3
L-VAC-1	2	1"	2#12, 1#12G	FCP-1	VACUUM SWIITCH
P-FCP-1	1	1-1/2"	3#4, 1#4N, 1#4G	PANEL DP	FCP-1
P-FGP-1	1	1"	2#12, 1#12G	FCP-1	FILTER GAUGE PANEL
P-FP-1	1	1"	3#10, 1#10G	FCP-1	FEATURE PUMP 1
P-FP-2	1	1"	3#10, 1#10G	FCP-1	FILTER PUMP 2
P-SVC-1	1	4"	3#500, 1#500G	UTILITY TRANSFORMER	DP-1
P-TX-2	1	1"	2#6, 1#6G	FCP-1	TX-2

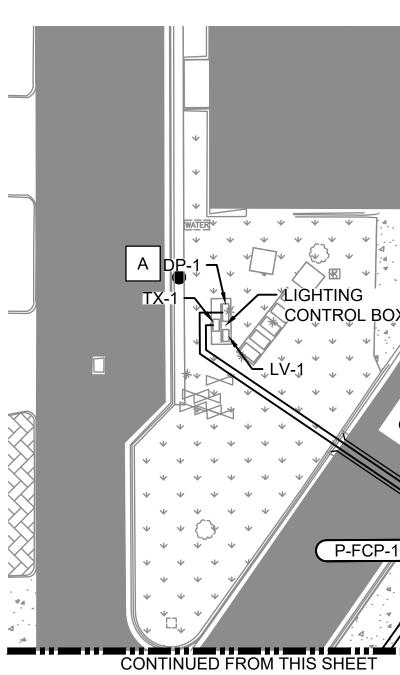
LIGHTING FIXTURE SCHEDULE											
MARK	MANUFACTURER	CATALOG NUMBER.	LAMPS- NUMBER/ TYPE	FIXTURE WATTS	LUMEN OUTPUT	TOTAL LLF	ССТ	MOUNTING	REMARKS		
S1	COLE LIGHTING 158W-SS-HO-47-4K-B-TP-120 LED 3.4 331 0.8 3000 STEP										
S2	COLE LIGHTING	L2156W-HO-2-47-4K-B-TP-J//SS-BACK MT-120	LED	21.6	1290	0.8	3000	WALL			
P1	ELA	CBH-582-TF-PT-H5-100-LED-4K-120VAC-PA5-MN- W/P3066-10'/4.5FS-MAB-MN	LED	100	11000	0.8	4000	POLE			
C1	LSI INDUSTRIES	EG3-4-LED-04L-DA-S-40-80	LED	32	4511	0.8	4000	CEILING			
NOTES	NOTES										
1.	 THE FIXTURES LISTED ABOVE ARE THE BASIS OF DESIGN. TO SUPPLY EQUIVALENT FIXTURES PROVIDE THE FOLLOWING WITH SHOP DRAWINGS: COMPLETE PRODUCT SPECIFICATION SHEETS MARKED WITH CATALOG NUMBER AND FIXTURE TYPE, CALCULATION REPORTS SHOWING THE DESIGN CRITERIA HAS BEEN MET, A SUMMARY OF ALL ALTERATIONS DEVIATING FROM THE BASIS OF DESIGN, ELECTRONIC COPES OF THE IES FILES USED, WRITTEN VERIFICATION THAT THE SUBMITTED FIXTURES MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. EQUIVALENT FIXTURES SHALL BE VERIFIED BY THE ENGINEER FOR ADEQUACY DURING THE SUBMITTAL REVIEW PHASE. THE CONTRACTOR SHALL STILL BEAR THE RESPONSIBILITY OF PROVIDING AND INSTALLING FIXTURES THAT MEET THE DESIGN CRITERIA AND THE QUALITY OF THE BASIS OF DESIGN PRODUCTS, AT NO ADDITIONAL COST. 										
2.	2. FIXTURE WATTAGE IS BASED ON THE TOTAL INPUT POWER AS LISTED BY THE MANUFACTURERS DATA FOR THE LAMP(S) AND BALLAST (DRIVERS) SELECTED.										
3.	COORDINATE MOUNTING REQUI	REMENTS AS SHOWN ON THE PLAN.									
4.	4. FIXTURES ON PLANS OR LAYOUTS WITH "-EM" SUFFIX INDICATE REQUIREMENT FOR INCLUSION OF EMERGENCY BATTERY PACK WITH HIGHEST LUMEN OUTPUT, UNLESS OTHERWISE NOTED.										

	NOTES			PANEL:				NEW				LOCATION	1:	FOUNTAIN CONT	ROL BUI	LDING									
				OPTION VOLTS I		240		MAIN OVERCUR	RRENT:	60A MCB	BUS MATE	RIAL:	Cu	MOUNTING	: SURFA	CE									
	LECTOR			VOLTS I PHASE:		120 1		MAIN BUS RATIN MINIMUM A.I.C.:		100A 22kA	NEUTRAL S	SIZE:	100%	ENCLOSURE TYPE											
				WIRE: LOAD D	ΑΤΑ	3]														
INSIDE	NS L-FL-1	T L-FL		СКТ# 1	BKR. 20	POLE 1	TYPE	DESCRIPT TANK SUMP		VA 1200	L1 1200	L2	VA	DESCRIPTION	TYPE	POLE	BKR.	CKT# 2							
INSIDE	CONDUIT	I L-FL		3 5	20 20	1		ORP/PH CONTE		600 300	300	600				1 1		4 6							
				7 9	20 20	1		LIGHT TRANSFO		300 96	96	300				1 1		8 10							
MAKE FOR ORP				11 13		1					0	0				1 1		12 14							
		IROLLE		15 17		1 1					0	0				1 1		16 18			1				
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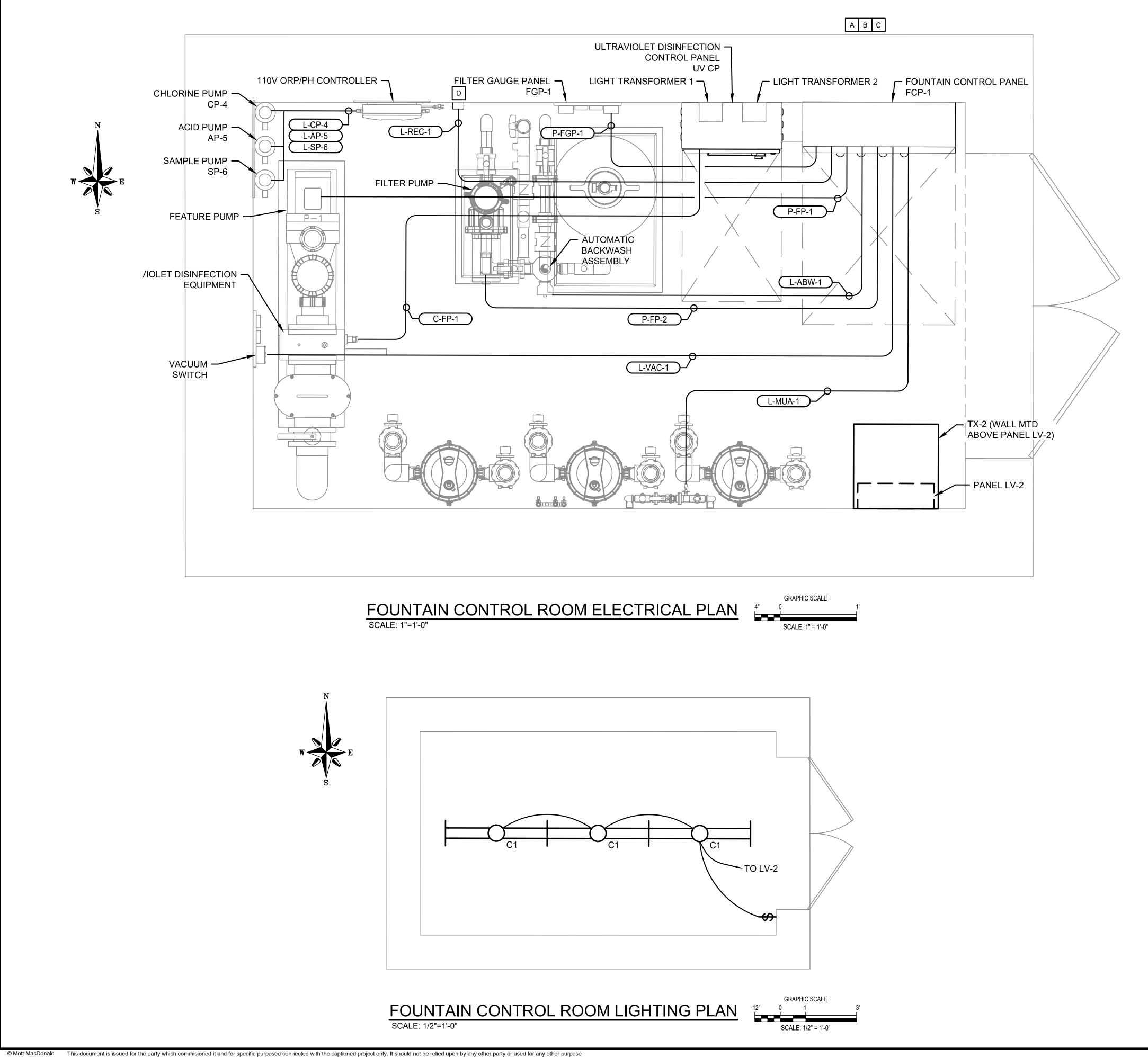




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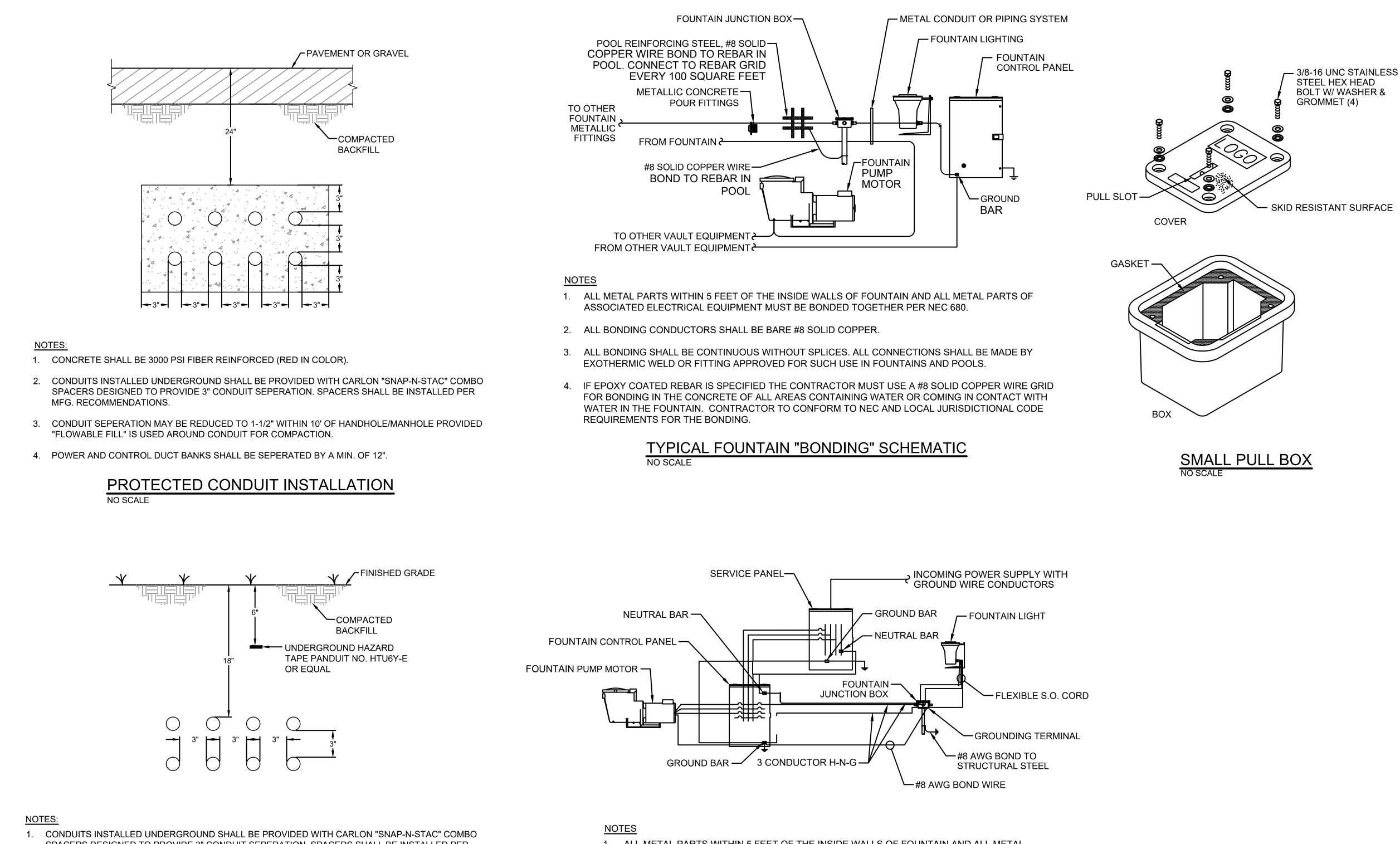


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This document is issued for the party which commisioned it and for specific purposed connected with the captioned project only. It should not be relied upon by any other party or used for any other purpose We accept no responsibility for the consequences of this document being relied upon by any other party, or being used for any other purpose, or containing any error or omission which is due to an error or omission in data supplied to us by other parties.

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A INSTA FOUN B REPL PHAS FOUN CONE	 PHASE POWER CONDUIT AND WIRE. CONNECT TO THE NEW FOUNTAIN CONTROL PANEL IN THE NEW BUILDING. INSTALL CONDUIT AND WIRE FEEDING TX-2. C INSTALL NEW A NEW TRANSFORMER (TX-2) IN THE NEW BUILDING. 										
	_						_				
Rev Date		Drawn	Descrip	tion			Ch'k	'd App'd			
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- SPACERS DESIGNED TO PROVIDE 3" CONDUIT SEPERATION. SPACERS SHALL BE INSTALLED PER MFG. RECOMMENDATIONS.
- 2. CONDUIT SEPERATION MAY BE REDUCED TO 1-1/2" WITHIN 10' OF HANDHOLE/MANHOLE PROVIDED "FLOWABLE FILL" IS USED AROUND CONDUIT FOR COMPACTION.
- 3. POWER AND CONTROL DUCT BANKS SHALL BE SEPERATED BY A MIN. OF 12".

UNDERGROUND NON-PROTECTED CONDUIT INSTALLATION NO SCALE

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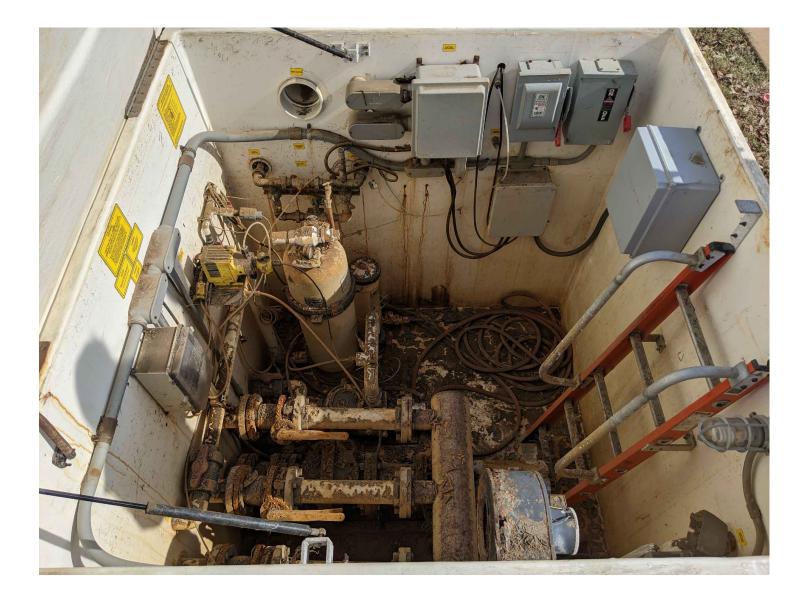
1. ALL METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF FOUNTAIN AND ALL METAL PARTS OF ASSOCIATED ELECTRICAL EQUIPMENT MUST BE BONDED TOGETHER PER NEC 680 (SEE BONDING SCHEMATIC ABOVE).

TYPICAL FOUNTAIN "GROUNDING" SCHEMATIC NO SCALE

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SKID RESISTANT SURFACE

			+ +
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EXISTING FOUNTAIN EQUIPMENT PIT

EXISTING VENDOR RECEPTACLE STAND





TRANSFORMER SHIFTED OFF OF PAD

EXISTING PANEL DP

© Mott MacDonald





EXISTING FOUNTAIN CONTROL PANEL

EXISTING CONDITION OF PATH LIGHTING

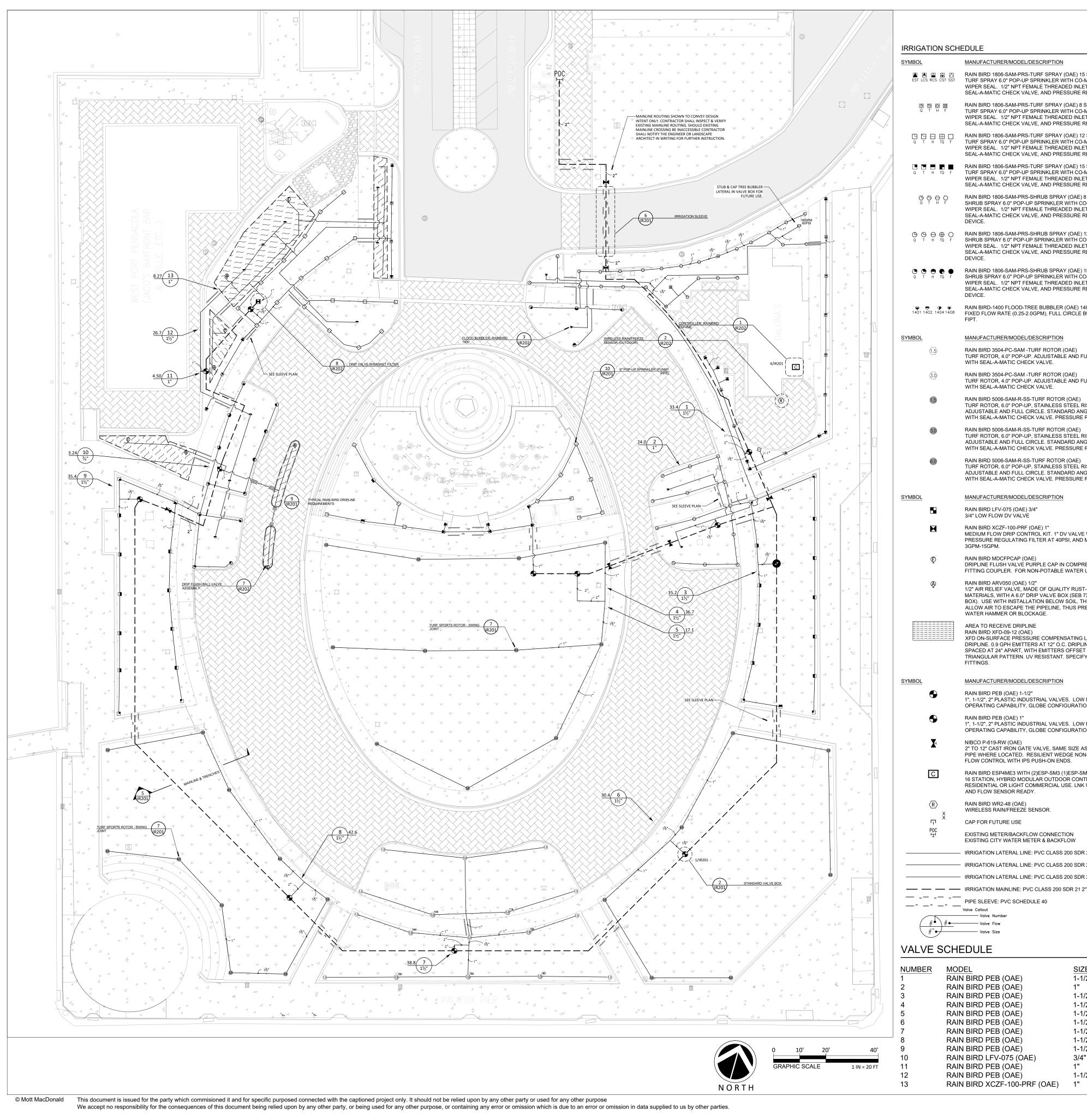


EXISTING PANEL DP



EXISTING PANEL LV-1

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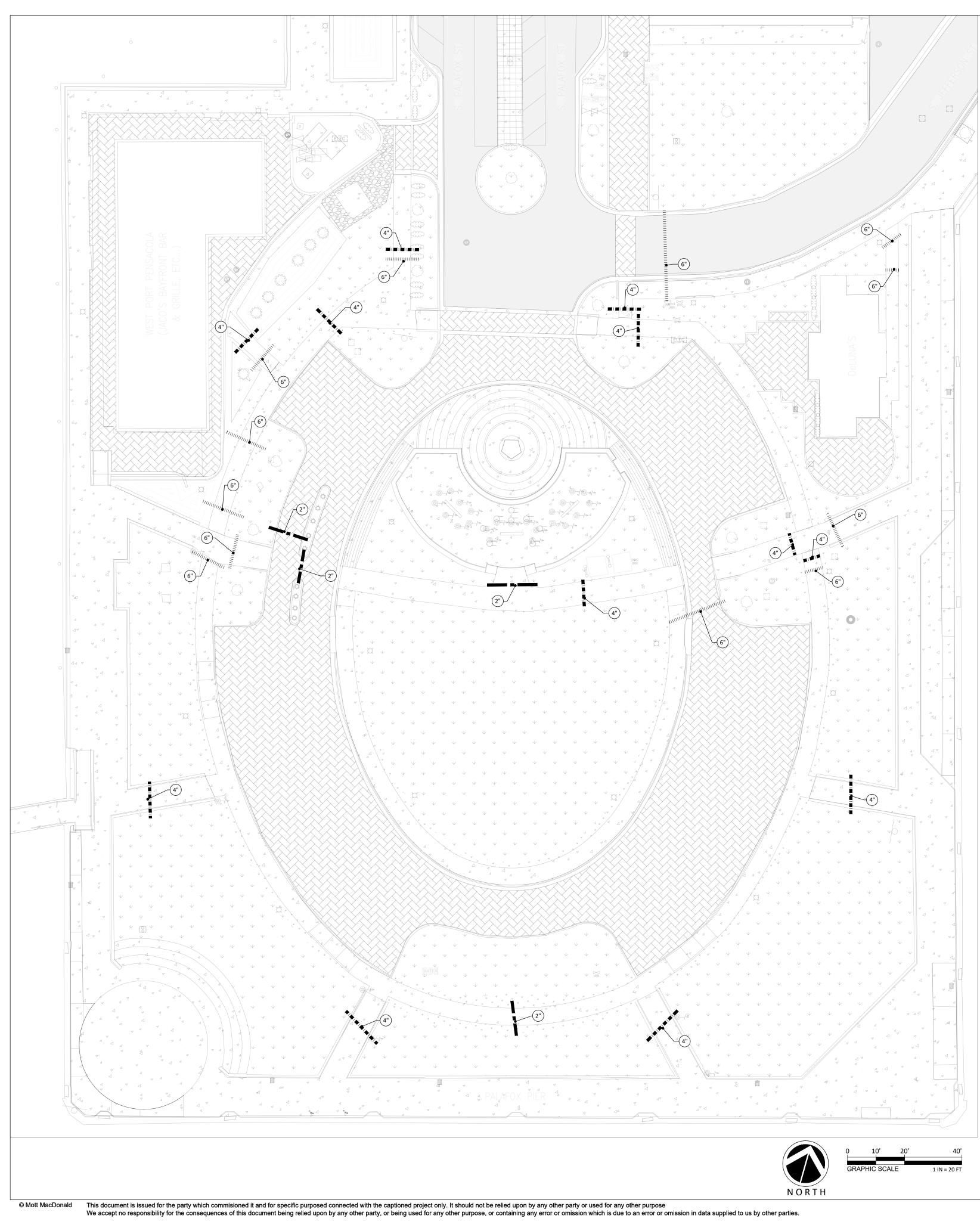


ION SCHI	EDULE	ABBRE\	/. (OAE) -	OR AF	PRO	/ED EQU	AL
	MANUFACTURER/MODEL/DESCRIPTION		QTY	PSI		DETAIL	
RCS CST SST	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 15 STRIP TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDE WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL	ED TH	29	30		10/IR201	
ЭЮ Ø ГН F	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 8 SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDE WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL/	ED TH	3	30		10/IR201	
H TQ F	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 12 SERIE TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDE WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL	ED TH	30	30		10/IR201	
H TQ F	RAIN BIRD 1806-SAM-PRS-TURF SPRAY (OAE) 15 SERIE TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDE WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL	ED TH	29	30		10/IR201	
→ ⊖ ⊖ H F	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 8 SERIE SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLI WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL/ DEVICE.	ES MPR DED 'H	22	30		10/IR201	
⊖ ⊕ O H TQ F	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 12 SER SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLI WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGUL/ DEVICE.	DED TH	15	30		10/IR201	
H TQ F	RAIN BIRD 1806-SAM-PRS-SHRUB SPRAY (OAE) 15 SER SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLI WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WIT SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULI DEVICE.	DED TH	16	30		10/IR201	
• • • • 1404 1408	RAIN BIRD-1400 FLOOD-TREE BUBBLER (OAE) 1401 FIXED FLOW RATE (0.25-2.0GPM), FULL CIRCLE BUBBLE FIPT.	ER, 1/2"	13	40		3/IR202	
	MANUFACTURER/MODEL/DESCRIPTION		QTY	PSI	GPM	DETAIL	
(1.5)	RAIN BIRD 3504-PC-SAM -TURF ROTOR (OAE)		8	45	1.48	7/IR201	
	TURF ROTOR, 4.0" POP-UP. ADJUSTABLE AND FULL CIF WITH SEAL-A-MATIC CHECK VALVE.	RCLE.					
3.0	RAIN BIRD 3504-PC-SAM -TURF ROTOR (OAE) TURF ROTOR, 4.0" POP-UP. ADJUSTABLE AND FULL CIF WITH SEAL-A-MATIC CHECK VALVE.	RCLE.	9	45	3.00	7/IR201	
1.5	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR, 6.0" POP-UP, STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NO WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGUL		2	45	1.54	7/IR201	
3.0	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR, 6.0" POP-UP, STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NO WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGUL		17	45	3.09	7/IR201	
6.0	RAIN BIRD 5006-SAM-R-SS-TURF ROTOR (OAE) TURF ROTOR, 6.0" POP-UP, STAINLESS STEEL RISER. ADJUSTABLE AND FULL CIRCLE. STANDARD ANGLE NO WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGUL		9	45	6.01	7/IR201	
	MANUFACTURER/MODEL/DESCRIPTION		<u>QTY</u>			DETAIL	
	RAIN BIRD LFV-075 (OAE) 3/4" 3/4" LOW FLOW DV VALVE		1			8/IR202	
	RAIN BIRD XCZF-100-PRF (OAE) 1" MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE WITH PRESSURE REGULATING FILTER AT 40PSI, AND MDCF 3GPM-15GPM.		1			8/IR202	
¢	RAIN BIRD MDCFPCAP (OAE) DRIPLINE FLUSH VALVE PURPLE CAP IN COMPRESSIO FITTING COUPLER. FOR NON-POTABLE WATER USE.	N	4			7/IR202	
Ø	RAIN BIRD ARV050 (OAE) 1/2" 1/2" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROC MATERIALS, WITH A 6.0" DRIP VALVE BOX (SEB 7XB EM BOX). USE WITH INSTALLATION BELOW SOIL. THE VAL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENT WATER HAMMER OR BLOCKAGE.	IITTER VE WILL	4			6/IR202	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-09-12 (OAE) XFD ON-SURFACE PRESSURE COMPENSATING LANDS DRIPLINE. 0.9 GPH EMITTERS AT 12" O.C. DRIPLINE LAT SPACED AT 24" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF IN FITTINGS.	FERALS	767.4 L.F.			9/IR201	
	MANUFACTURER/MODEL/DESCRIPTION		QTY			DETAIL	
9	RAIN BIRD PEB (OAE) 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.		9			1/IR201	
•	RAIN BIRD PEB (OAE) 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.		2			1/IR201	
X	NIBCO P-619-RW (OAE) 2" TO 12" CAST IRON GATE VALVE, SAME SIZE AS MAIN PIPE WHERE LOCATED. RESILIENT WEDGE NON-RISIN FLOW CONTROL WITH IPS PUSH-ON ENDS.		6			4/IR202	
С	RAIN BIRD ESP4ME3 WITH (2)ESP-SM3 (1)ESP-SM6 (OA 16 STATION, HYBRID MODULAR OUTDOOR CONTROLLE RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI M AND FLOW SENSOR READY.	ER. FOR	1			1/IR202	
R	RAIN BIRD WR2-48 (OAE) WIRELESS RAIN/FREEZE SENSOR.		1			2/IR202	
т × х П	CAP FOR FUTURE USE		1				
POC '보'	EXISTING METER/BACKFLOW CONNECTION EXISTING CITY WATER METER & BACKFLOW		1				
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"		3,418 L.F.			5/IR201	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1	/2"	472.7 L.F.			5/IR201	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 2"		38.9 L.F.			5/IR201	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 2"		935.4 L.F.			5/IR201	
• <u> </u>	PIPE SLEEVE: PVC SCHEDULE 40 Valve Callout Valve Number		SEE SLEEVI	_ rlan		6/IR201	
#•#•	Valve Number Valve Flow Valve Size						
E SCHE	EDULE						
R MOE	DEL SIZE	TYPE	:			GPM	HEADS
RAIN	N BIRD PEB (OAE)1-1/2"	TURF	SPRAY			33.36	48
RAIN	N BIRD PEB (OAE) 1" N BIRD PEB (OAE) 1-1/2"	BUBE TURF	BLER SPRAY			24.00 35.18	4 27
	N BIRD PEB (OAE) 1-1/2" N BIRD PEB (OAE) 1-1/2"		ROTOR SPRAY			36.73 17.11	11 19
RAIN	N BIRD PEB (OAE) 1-1/2"	TURF	ROTOR			30.39	7
RAIN	N BIRD PEB (OAE) 1-1/2" N BIRD PEB (OAE) 1-1/2"	TURF	ROTOR ROTOR			38.84 42.58	17 10
	N BIRD PEB (OAE) 1-1/2" N BIRD LFV-075 (OAE) 3/4"		SPRAY	IPLIN		35.40 3.24	25 216.6 L.F

1-1/2" TURF SPRAY

1"

ABBRE\	/. (OAE) -	OR AI	PPRO	VED EQU	AL														
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ER, 1/2"	13	40		3/IR202															
RCLE.	<u>QTY</u> 8	<u>PSI</u> 45	<u>GPM</u> 1.48	<u>DETAIL</u> 7/IR201															
RCLE.	9	45	3.00	7/IR201															
OZZLE. ATING.	2	45	1.54	7/IR201															
	17	45	3.09	7/IR201															
DZZLE. ATING.	9	45	6.01	7/IR201															
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CAPE TERALS	767.4 L.F.			9/IR201								301	SCHUBERT	Drive -	Pensacola, erryPateDes	FL 3250	04		
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2"	3,418 L.F. 472.7 L.F. 38.9 L.F.			5/IR201 5/IR201 5/IR201								-			^ \ ^ / I •				
	935.4 L.F. SEE SLEEV	/E PLAN		5/IR201 6/IR201								IH			AWII Fof		12		
												СС			RUC		ON		
	SPRAY			<u>GPM</u> 33.36	HEADS 48	DESIGN PSI 30	<u>PSI</u> 36.41	PRECIP 1.31 in/h	-				000		B/O			Total	
BUBB TURF				24.00 35.18	4 27 11	40 30	47.39 35.11 50.48	6.81 in/h 1.04 in/h	Desig)54- EXAND	020		VAI Eng cheo			20 RGAN	J
TURF	SPRAY			36.73 17.11 30.39	11 19 7	45 30 45	50.48 35.26 50.37	0.42 in/h 1.21 in/h 0.8 in/h	Draw	n	B. ALE	EXAND			Coordina	ation	G. EDV	VARDS	
TURF TURF	ROTOR			38.84 42.58	17 10	45 45	49.03 50.38	0.99 in/h 0.81 in/h	Dwg o Scale	check at ANS	S. DA	NA Status			Approve Rev	d	K. MOF	RGAN Security	
TURF AREA	SPRAY		IE	35.40 3.24	25 216.6 L.F.	30 40	34.76 43.52	1.11 in/h 0.72 in/h		=2			BID			0		Security	D
	BLER SPRAY A FOR DF			4.50 26.66 8.27	9 25 550.8 L.F.	40 30 40	41.76 34.52 50.24	1.7 in/h 1.36 in/h 0.72 in/h	Drawi	ing Num	nber				101				



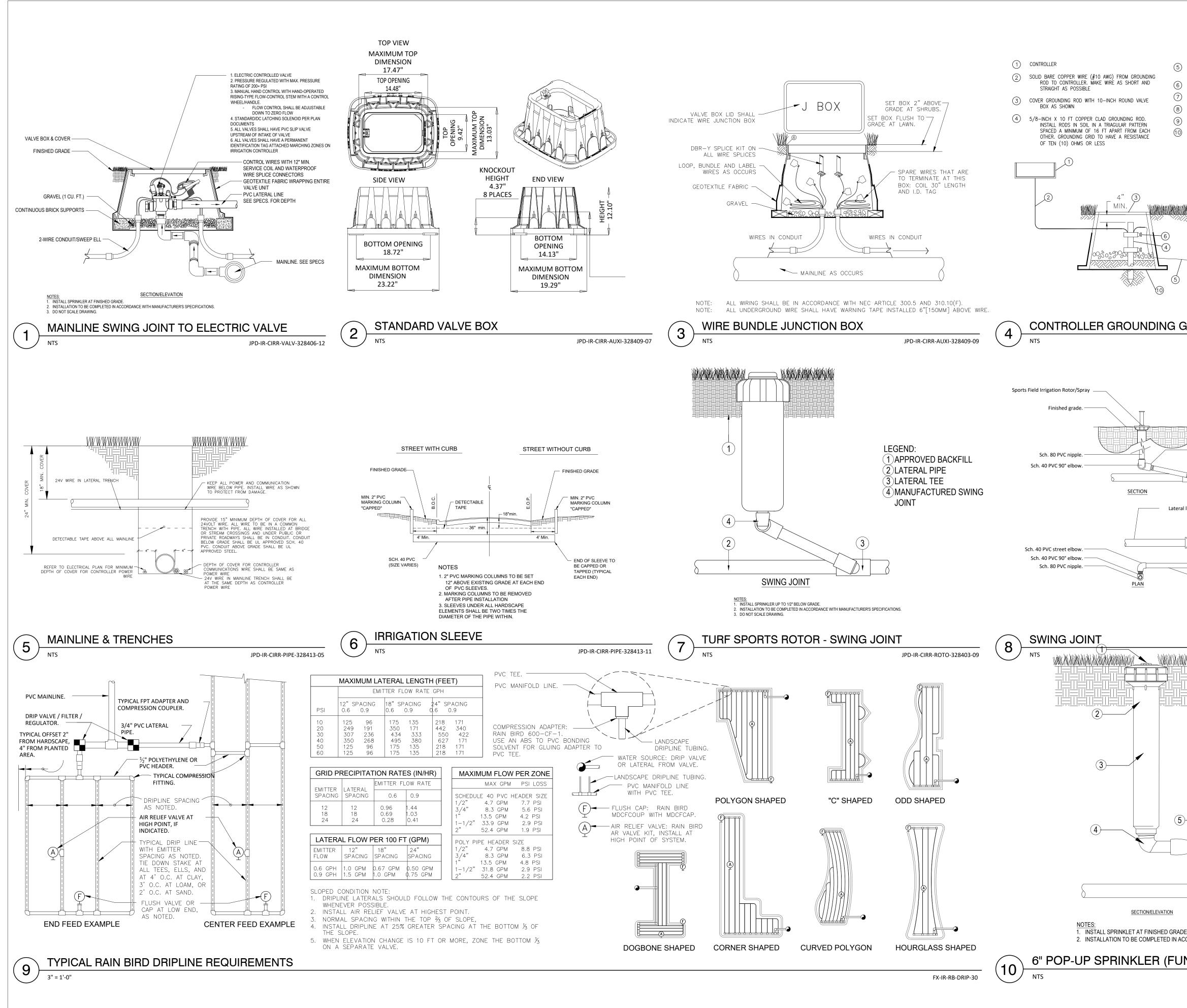
SLEEVE SCHEDULE

CODE	DESCRIPTION	QTY
2"	2 INCH - SCH 40 PVC SLEEVE	56 LF
4"	4 INCH - SCH 40 PVC SLEEVE	138 LF
6"	6 INCH - SCH 40 PVC SLEEVE	160 LF

NOTE: -SLEEVES PER IRRIGATION DETAILS. SEE IRRIGATION PLAN & DETAILS. -REFERENCE NOTES SCHEDULE IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN TAKE-OFF BASED ON SPECIFICATIONS. -ALL SLEEVES SHALL BE TWO TIMES THE DIAMETER OF PIPE CONTAINED WITHIN.

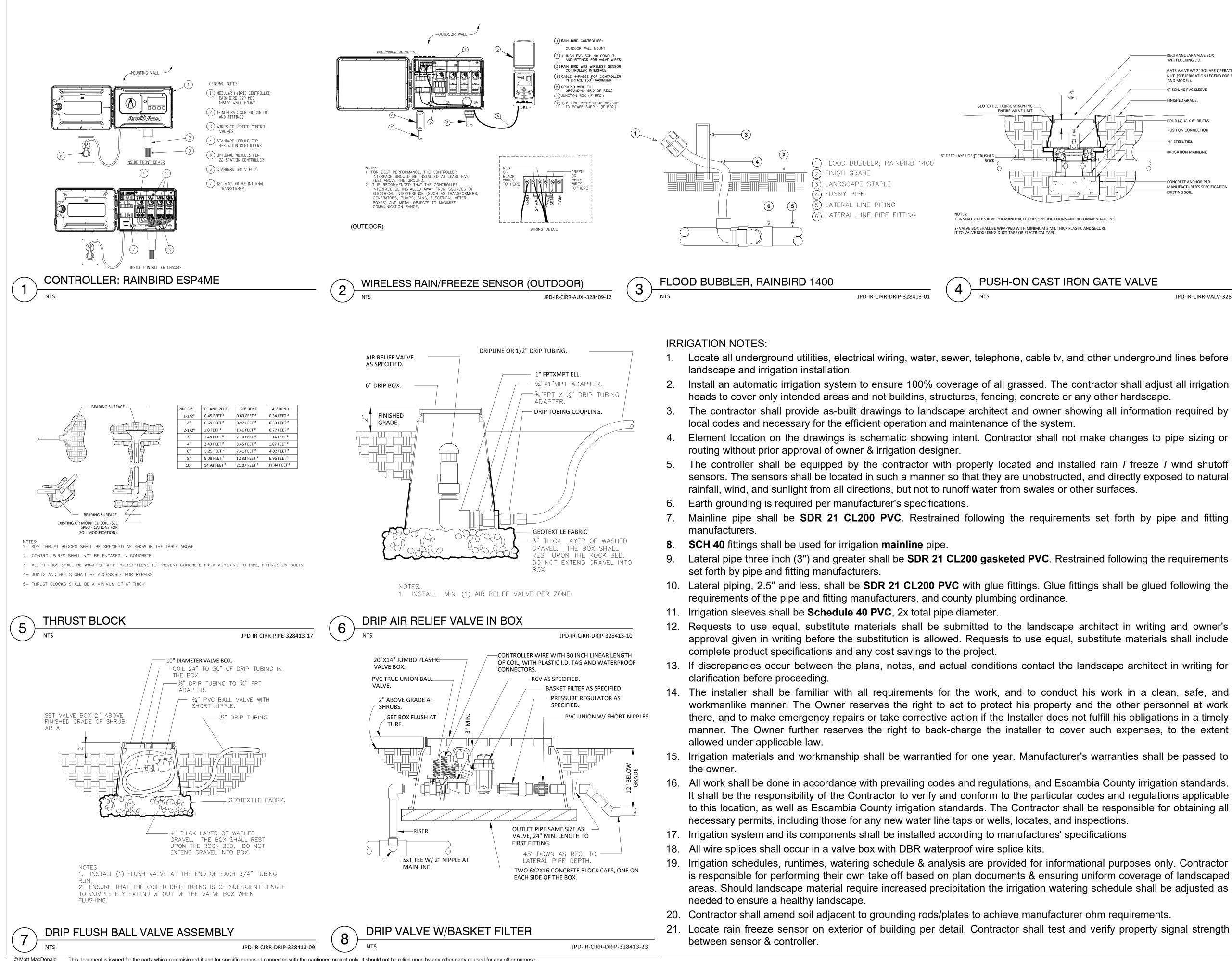
- EXAMPLE: 1" LATERAL IRRIGATION LINE = 2" SCH 40 PVC SLEEVE MIN.

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	IRRIGATION SLEEVE PLAN							
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BARE COPPER WIRE (#6 AWG MIN.) BETWEEN											
GROUNDING ROD AND GROUNDING PLATE GROUND ROD CLAMP OR WELDS COPPER GROUNDING PLATE GROUND ENHANCEMENT MATERIAL (IF REQUIRED) FINISH GRADE GEOTEXTILE FABRIC											
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This document is issued for the party which commisioned it and for specific purposed connected with the captioned project only. It should not be relied upon by any other party or used for any other purpose We accept no responsibility for the consequences of this document being relied upon by any other party, or being used for any other purpose, or containing any error or omission which is due to an error or omission in data supplied to us by other parties.

- 17. Irrigation system and its components shall be installed according to manufactures' specifications
- 19. Irrigation schedules, runtimes, watering schedule & analysis are provided for informational purposes only. Contractor is responsible for performing their own take off based on plan documents & ensuring uniform coverage of landscaped areas. Should landscape material require increased precipitation the irrigation watering schedule shall be adjusted as
- 20. Contractor shall amend soil adjacent to grounding rods/plates to achieve manufacturer ohm requirements.
- 21. Locate rain freeze sensor on exterior of building per detail. Contractor shall test and verify property signal strength

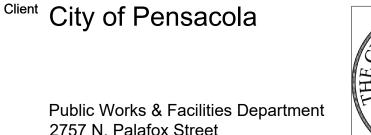
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GATE VALVE W/ 2" SQUARE OPERATING NUT. (SEE IRRIGATION LEGEND FOR MAKE AND MODEL).
6" SCH. 40 PVC SLEEVE.
FINISHED GRADE.
FOUR (4) 4" X 6" BRICKS.
PUSH ON CONNECTION
── ¾" STEEL TIES.

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2757 N. Palafox Street Pensacola, FL 32501



Plaza de Luna Design

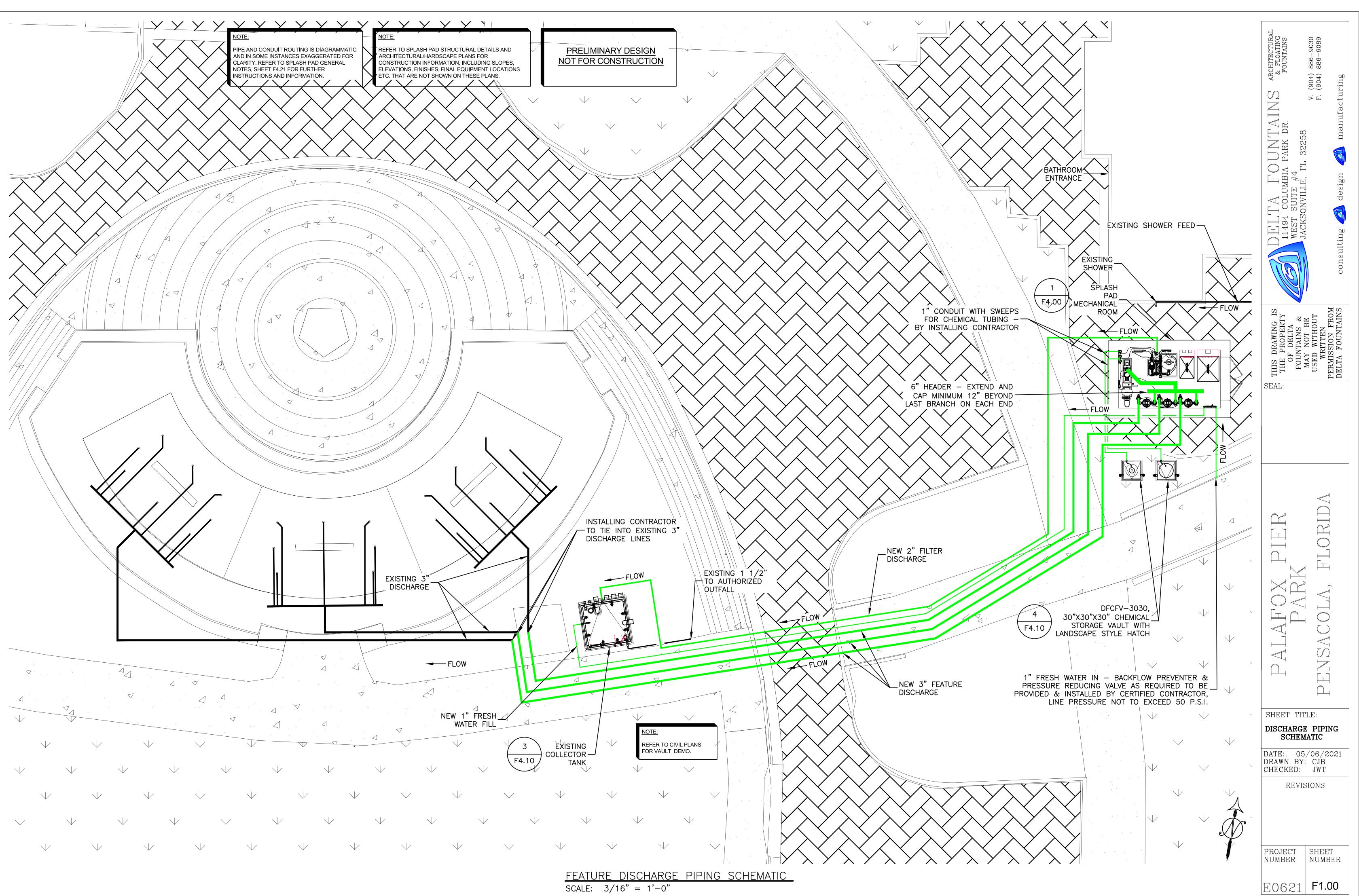
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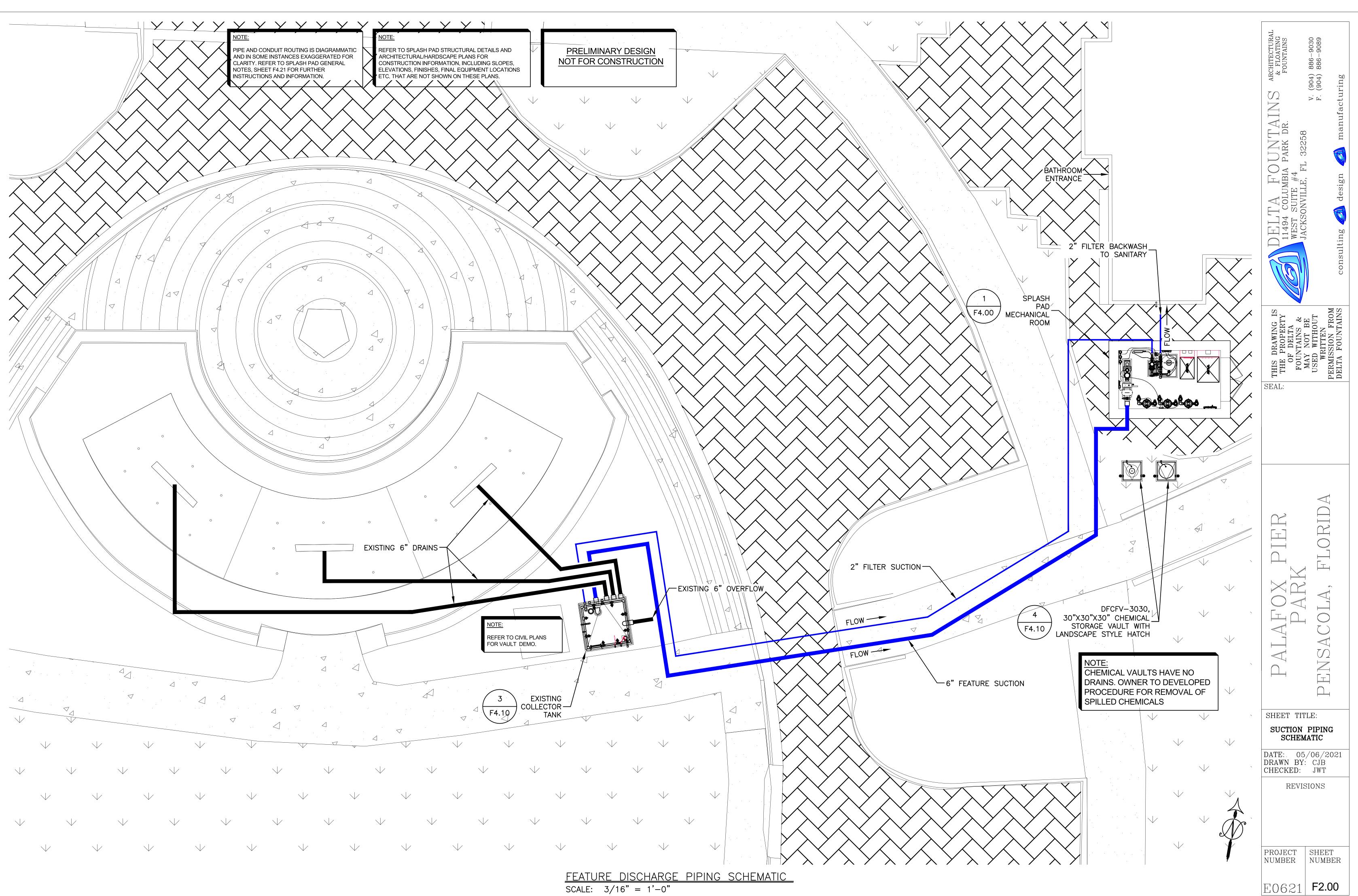
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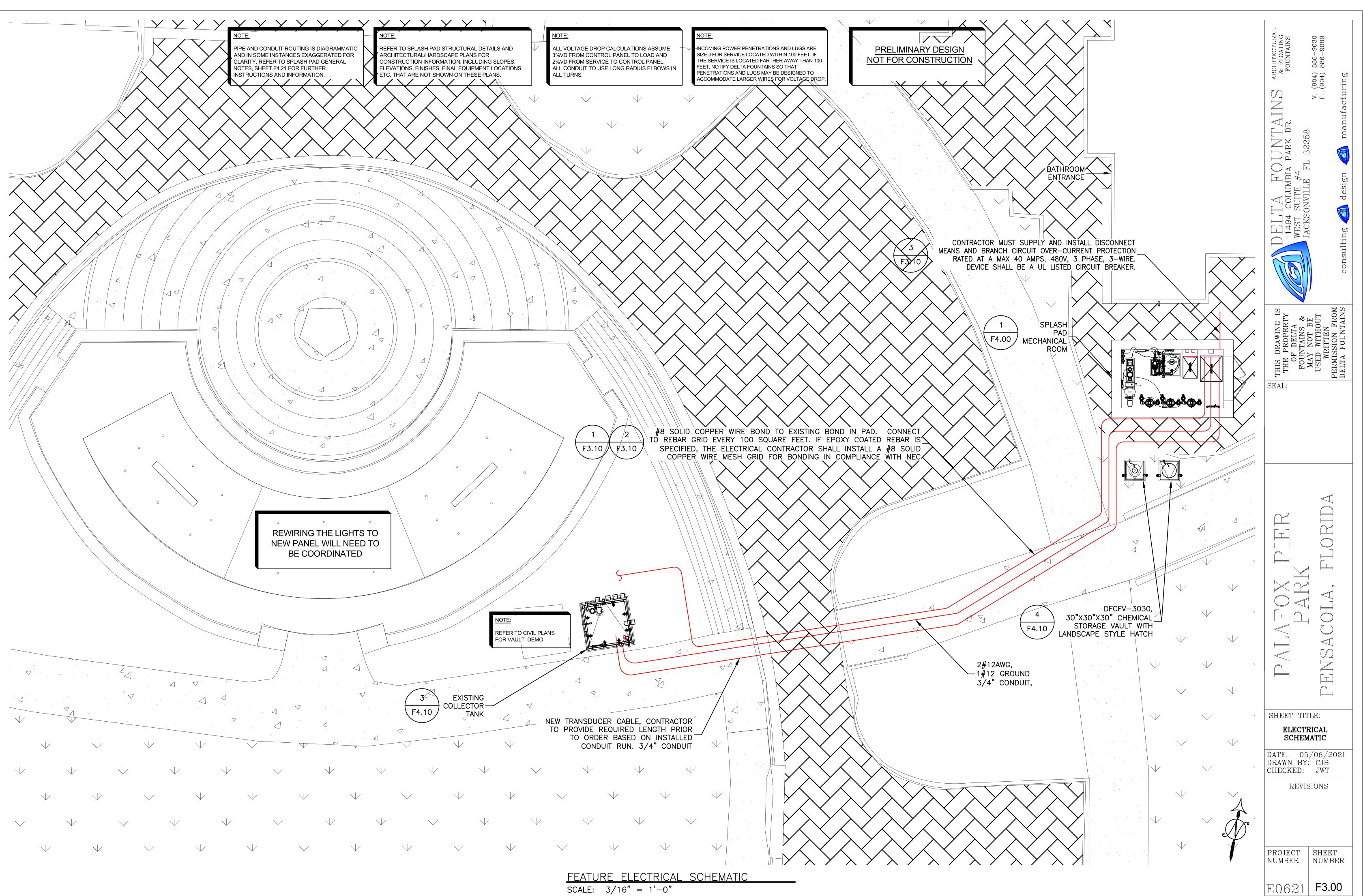
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GENERAL ELECTRICAL NOTES:

- 1. THE INSTALLATION OF ELECTRICAL EQUIPMENT AND WIRING IN WATER CAN PRODUCE EXTREME HAZARDS, IT IS THE RESPONSIBILITY OF THE INSTALLING ELECTRICAL CONTRACTOR TO CONSULT & COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC) PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION; PALAFOX, PENSACOLA AND SAFETY REGULATIONS PRIOR TO INSTALLATION OF ELECTRICAL EQUIPMENT. IN THE EVENT OF CONFLICTING REQUIREMENTS BETWEEN CONTRACT DOCUMENTS AND ANY LOCAL ELECTRIC CODE OR OTHER GOVERNING ORGANIZATIONS FOR THIS LOCATION. THE MOST STRINGENT SHALL GOVERN AND TAKE PRECEDENCE. IN THIS EVENT. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF SUCH CONFLICT.
- IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS CRITICAL TO SPLASH PAD EQUIPMENT INSTALLATION AND 2.
- PERFORMANCE AND REPORT ANY DISCREPANCIES, IN WRITING, TO DELTA FOUNTAINS AND THE ENGINEER UPON IMMEDIATE NOTICE. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL ELECTRICAL EQUIPMENT IS INSTALLED AND WIRED WHETHER IT IS CALLED OUT WITHIN THE CONTRACT DOCUMENTS OR NOT, BY A QUALIFIED LICENSED ELECTRICIAN EXPERIENCED IN SPLASH PAD SYSTEM WIRING. DELTA FOUNTAINS ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR INSTALLATIONS NOT CARRIED OUT BY A QUALIFIED. LICENSED. ELECTRICIAN AND IN ACCORDANCE WITH OUR SHOP DRAWINGS, AND ALL PROVISIONS OF THE LATEST EDITION OF NEC IN GENERAL, ARTICLE 680 SPECIFICALLY, AND LOCAL SAFETY REGULATIONS. ALL DELTA FOUNTAINS ELECTRICAL CONTROL PANELS INCLUDE GFCI'S WHEN AND WHERE REQUIRED, WHEN FURNISHED.
- 4. A CLASS 'A' GROUND FAULT CIRCUIT INTERRUPTER (GFCI) MUST BE INSTALLED IN EACH BRANCH CIRCUIT SUPPLYING SUBMERSIBLE OR UNDERWATER SPLASH PAD EQUIPMENT. EQUIPMENT OPERATING AT 15 VOLTS OR LESS MUST BE PROTECTED BY SUITABLE TRANSFORMER U.L. LISTED AND MARKED FOR THE APPLICATION.
- SUBMERSIBLE/UNDERWATER LIGHTING FIXTURES MUST BE INSTALLED FOR OPERATION AT 150 VOLTS LESS BETWEEN CONDUCTORS. SUBMERSIBLE PUMPS 5. MUST OPERATE AT 300 VOLTS OR LESS BETWEEN CONDUCTORS.
- WET/DRY LIGHTING FIXTURES MUST BE INSTALLED WITH THE TOP OF THE FIXTURE LENS BELOW THE GRATE AND MUST HAVE THE LENS ADEQUATELY GUARDED TO PREVENT CONTACT BY ANY PERSON.
- SUBMERSIBLE LIGHTING FIXTURES MUST BE INSTALLED WITH THE TOP OF THE FIXTURE LENS A MINIMUM OF 2" BELOW THE NORMAL OPERATION WATER
- LEVEL AND MUST HAVE THE LENS ADEQUATELY GUARDED TO PREVENT CONTACT BY ANY PERSON ALL ELECTRICAL EQUIPMENT WHICH DEPENDS ON SUBMERSION FOR SAFE OPERATION MUST BE PROTECTED AGAINST OVERHEATING BY AN INDEPENDENT LOW WATER CUTOFF DEVICE IF THE WATER LEVEL DROPS BELOW NORMAL OPERATING LEVELS. OR CONTAIN AN INTERNAL THERMAL BIMETALLIC AMBIENT COMPENSATING OVERLOAD.
- 9. MAXIMUM LENGTH OF EXPOSED CORD IN SPLASH PAD IS LIMITED TO 9'. NO ADDITIONAL CORD OR SPLICES OTHER THAN THOSE MADE IN A WATERTIGHT JUNCTION BOX, ARE TO BE MADE IN THE SPLASH PAD. CORDS EXTENDING BEYOND SPLASH PAD PERIMETER MUST BE ENCLOSED IN APPROVED WIRING ENCLOSURES.
- 10. ALL SUBMERSIBLE LIGHTS AND PUMPS MUST HAVE SUFFICIENT CORD LENGTH TO ALLOW REMOVAL FROM THE WATER FOR RE-LAMPING AND NORMAL MAINTENANCE. FIXTURES CANNOT BE PERMANENTLY IMBEDDED IN THE SPLASH PAD STRUCTURE SO THAT THE WATER LEVEL MUST BE REDUCED OR THE SPLASH PAD DRAINED FOR RE-LAMPING. MAINTENANCE. OR INSPECTION.
- 11. SUBMERSIBLE EQUIPMENT MUST BE INHERENTLY STABLE OR BE SECURELY FASTENED IN PLACE WITH NON-CORROSIVE FASTENERS SUITABLE FOR THE PURPOSE
- 12. UNDERWATER JUNCTION BOXES MUST BE FILLED WITH AN APPROVED RE-ENTERABLE ELECTRICAL POTTING COMPOUND (WAX OR PARAFFIN IS NOT ACCEPTABLE) PRIOR TO FILLING SPLASH PAD AND, AFTER ALL CIRCUITS HAVE BEEN CHECKED, TO PREVENT THE ENTRY OF MOISTURE, AND BE FIRMLY ATTACHED TO SUPPORTS OR DIRECTLY TO THE SPLASH PAD SURFACE AND BONDED AS REQUIRED. ALL CONDUIT STUBBED UP THROUGH THE SPLASH PAD FLOOR MUST BE STAINLESS STEEL. PVC, RED BRASS, AND EVERDUR ARE NOT ACCEPTABLE AS A CONDUIT SUPPORT STUB FOR SUBMERSIBLE JUNCTION BOXES. ALL CONDUIT ENTRIES MUST BE COMPLETELY SEALED PRIOR TO POTTING TO PREVENT COMPOUND FROM ENTERING CONDUIT SYSTEM. AFTER TESTING, JUNCTION BOXES SHALL BE SEALED WITH SCOTCH 3M RE-ENTERABLE COMPOUND OR OTHER APPROVED FILLING COMPOUND. CONFIRM POTTING COMPOUND HAS CURED BEFORE INSTALLING LID ON JUNCTION/DECK BOXES.
- 13. ALL ELECTRICAL CONDUIT AND CONDUIT FITTINGS BETWEEN SUBMERSIBLE LIGHT FIXTURE NICHES, JUNCTION BOXES AND CONTROL PANELS WILL BE U.L. LISTED RIGID, NONMETALLIC, PVC NEMA, TC-2 MAX. 90°C, SUNLIGHT RESISTANT FOR ABOVE AND BELOW GROUND USE. ALL CONDUITS SHALL BE PROTECTED AT ALL TIMES FROM POSSIBLE WATER INGRESS. USE ONLY APPROVED PRIMER AND PVC GLUE SUITABLE FOR JOINING ALL PVC CONDUITS AND FITTINGS PER MANUFACTURER'S INSTRUCTIONS.
- 14. ALL UNDERWATER JUNCTION BOXES MUST BE EQUIPPED WITH THREADED CONDUIT ENTRIES AND COMPRESSION TYPE CORD CONNECTORS FOR CORD ENTRY. STRAIN RELIEF CONNECTORS SERVING NICHE-MOUNTED UNDERWATER LIGHTS SHALL BE CAPABLE OF SEALING BOTH THE FIXTURE CORD AND AN AWG #8 BARE BONDING WIRE WHICH MAY BE REQUIRED BY SOME LOCAL CODES
- 15. ALL ELECTRICAL EQUIPMENT MUST BE PROPERLY BONDED AND GROUNDED FOR SAFETY, PER THE LATEST NEC AND LOCAL CODE REQUIREMENTS. ALL BONDING LUGS SHALL BE PROVIDED BY INSTALLING ELECTRICAL CONTRACTOR. INSTALLING CONTRACTOR SHALL VERIFY ALL NECESSARY REQUIREMENTS OF LOCAL INSPECTOR BEFORE INSTALLING, AND NOTIFY DELTA FOUNTAINS OF ANY REQUIRED DEVIATIONS FROM SPECIFICATIONS OR PLANS AND NOTES, AND RESOLVE ALL CONFLICTS BEFORE INSTALLING EQUIPMENT. CONTRACTOR TO INSURE THAT ALL BONDING CODES ARE COMPLIED WITH FOR EACH METAL SPLASH PAD EQUIPMENT COMPONENT.
- 16. ALL CONDUIT CONNECTIONS BETWEEN DISSIMILAR METALS MUST BE MADE WITH DIELECTRIC FITTINGS, AND SEALED WITH DIELECTRIC THREAD COMPOUND TO PREVENT GALVANIC DEGRADATION.
- 17. THE INSTALLING ELECTRICAL CONTRACTOR WILL VERIFY THAT ALL ELECTRICAL EQUIPMENT GROUNDS WILL HAVE THE SAME REFERENCE POTENTIAL AND WILL GIVE EVIDENCE OF SUCH TO DELTA FOUNTAINS BEFORE ANY EQUIPMENT IS INITIALLY ENERGIZED. 18. THE INSTALLING CONTRACTOR SHALL SIZE ALL FEED-WIRES LEADING TO SPLASH PAD CONTROL PANEL FOR NO MORE THAN 2% VOLTAGE DROP, AND SHALL
- NOTIFY DELTA FOUNTAINS BEFORE THE CONTROL PANEL IS FABRICATED IF WIRE IS UPSIZED SUCH THAT EXTRA LARGE WIRE LUGS ARE REQUIRED. IT IS THE RESPONSIBILITY OF ELECTRICAL CONTRACTOR TO PROVIDE ANY DISCONNECT REQUIRED BY LOCAL CODE REQUIREMENTS. 19. THE SPLASH PAD CONTROL PANEL SHALL BE ADEQUATELY PROTECTED FROM DEBRIS AND STORED PROPERLY DURING CONSTRUCTION AND PRIOR TO INITIAL OPERATION AND SHALL BE VACUUMED CLEAN AND ALL SCREWS FOR TERMINAL CONNECTIONS TIGHTENED.
- 20. THE ELECTRICAL CONTRACTOR SHALL ENSURE THAT SUPPLY VOLTAGE IS WITHIN 5% OF DESIGN VOLTAGE WHEN ALL EQUIPMENT IS IN OPERATION AND SHALL RE-TAP TRANSFORMER. UP SIZE WIRE, OR SUPPLY A BUCK AND BOOST TRANSFORMER TO GET SUPPLY VOLTAGE TO NECESSARY LEVEL. IF NECESSARY. 21. ANY AND ALL COSTS ASSOCIATED WITH THE ABOVE ARE THE RESPONSIBILITY OF INSTALLING CONTRACTOR
- 22. CONDUITS ENTERING SPLASH PAD SYSTEM CONTROL PANELS SHALL BE INSTALLED INTO BOTTOM OF ENCLOSURE IN THE EVENT WATER ENTERS CONDUIT AND FLOWS INTO PANEL THROUGH CONDUIT OPENINGS. A DRAIN OPENING MUST BE MADE IN BOTTOM OF ENCLOSURE PAN TO ALLOW DRAINAGE OF WATER FROM ENCLOSURE IN THE EVENT OF WATER INGRESS. DO NOT MOUNT CONTROL PANEL WHERE IRRIGATION NOZZLES WILL SPRAY DIRECTLY AT PANEL.
- 23. PULL CORRECT QUANTITY AND SIZE WIRES WITH SEPARATE GROUND THROUGH CONDUIT INTO JUNCTION BOX. MAKE ALL SPLICES AND CONNECTIONS TIGHT AND WELL INSULATED. CONNECT GROUND WIRE TO GROUND LUGS IN JUNCTION BOX. ALL WIRING AND CONDUIT SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL ELECTRICAL CODES AND REGULATIONS. WHERE WIRED CONDUIT SIZES ARE SPECIFIED ON THE DRAWINGS, THEY SHALL BE INTERPRETED AS MINIMUM ALLOWABLE SIZES. ALL CONDUCTORS SHALL BE COPPER WITH INSULATION SUITABLE FOR THE PARTICULAR WIRING LOCATION. MINIMUM ACCEPTABLE INSULATION TYPE IS THWN OR BETTER, SUITABLE FOR BOTH DRY AND WET LOCATIONS. CONDUCTOR INSULATION SHALL BE MOISTURE RESISTANT, FLAME RETARDANT THERMOPLASTIC AS APPROVED BY THE NEC. CONDUCTOR SIZING SHALL BE BASED ON AN AMBIENT TEMPERATURE OF 30 DEGREES CELSIUS AND A CONDUCTOR TEMPERATURE RATING OF 75 DEGREES CELSIUS MAX. PER ARTICLE 310 OF THE NEC. ALL UNDERWATER ELECTRICAL CABLE SHALL EITHER BE ENCASED IN WATERPROOF, SEALED PVC CONDUIT OR SHALL BE RATED FOR CONTINUOUS OPERATION IN UNDERWATER. MARINE ENVIRONMENTS.
- 24. INSERT EACH SUBMERSIBLE CORD THROUGH THE BRASS CORD SEALS PROVIDED ON THE JUNCTION BOX, AND TIGHTEN COMPLETELY. 25. DO NOT OPERATE SUBMERSIBLE LIGHTS OR PUMPS MORE THAN 10 SECONDS UNLESS COMPLETELY SUBMERGED OR DAMAGE WILL RESULT AND WARRANTIES WILL BE VOIDED.
- 26. ALL CONDUCTORS FOR FEEDERS WHICH EXCEED 200 FEET IN LENGTH SHALL BE INCREASED 1 TRADE SIZE AND INCREASED AN ADDITIONAL 1 TRADE SIZE FOR EACH ADDITIONAL 100 FEET OF FEEDER CABLE LENGTH.
- 27. THE INFORMATION SUPPLIED IN THESE DRAWINGS SPECIFIES THE GENERAL REQUIREMENTS OF A COMPLETE FUNCTIONING ELECTRICAL POWER DISTRIBUTION AND CONTROL SYSTEM. THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATION ACTIVITIES WITH THE CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ARCHITECT AND (WITH RESPECT TO WORK PHASE) OTHER SEPARATE CONTRACTORS PERFORMING WORK RELATED TO THE SPLASH PAD INSTALLATION.
- 28. ALL CONDUCTORS SHALL BE RUN IN RIGID CONDUIT SIZED FOR THE NUMBER OF WIRES CONTAINED WITHIN PER NEC REQUIREMENTS. RIGID CONDUIT SHALL BE CORROSION RESISTANT AND EITHER GALVANIZED STEEL OR RIGID PVC. WHEN CONDUIT IS SUBMERGED OR IN OTHER WET LOCATIONS, RIGID PVC SHALL BE REQUIRED. CONDUCTOR SIZING SHALL BE CORRECTED FOR THE NUMBER OF WIRES TO BE RUN IN A SINGLE CONDUIT OR RACEWAY IN ACCORDANCE WITH THE NEC. ALL CONDUIT LOCATIONS AND ROUTING SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION
- 29. THE WORK TO COMPLETE THE INSTALLATION OF THE SPLASH PAD INCLUDES SUCH NECESSARY MATERIAL AND DEVICES OF A MINOR NATURE THAT MAY NOT BE INDICATED ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS, BUT WHICH ARE NECESSARY FOR THE COMPLIANCE WITH CODES AND FOR THE SUCCESSFUL OPERATION OF THE FEATURE. THE CONTRACTOR SHALL BE ALLOWED NO EXTRA COMPENSATION BECAUSE OF THIS REQUIREMENT.
- 30. THOROUGHLY TEST ALL FIXTURES, SERVICES AND ALL CIRCUITS FOR PROPER OPERATING CONDITIONS AND FREEDOM FROM GROUNDS AND SHORT CIRCUITS BEFORE ACCEPTANCE IS REQUESTED. ALL EQUIPMENT, APPLIANCES AND DEVICES SHALL BE OPERATED UNDER LOAD CONDITIONS. 31. THERMAL OVERLOAD RELAYS SHALL BE SET AT NOT MORE THAN 115% OF MOTOR FULL LOAD CURRENT AND/OR IN ACCORDANCE WITH MANUFACTURER'S **REQUIREMENTS.**
- 32. ALL CONNECTIONS MUST BE RECHECKED BEFORE START UP AND ONE MONTH AFTER STARTUP BY A QUALIFIED TECHNICIAN. 33. ALL G.F.C.I. PROTECTED CIRCUITS MUST HAVE A SEPARATE NEUTRAL
- 34. ALL G.F.C.I. BREAKERS HAVE PIGTAILS WIRED TO THE NEUTRAL BAR.
- CONTRACTOR TO ENSURE THAT ALL BONDING CODES ARE COMPLIED WITH FOR EACH METAL SPLASH PAD EQUIPMENT COMPONENT. WIRES FOR WATER LEVEL SENSOR MUST BE RUN IN A SEPARATE CONDUIT FROM THE SPLASH PAD TO THE CONTROL PANEL. 37. ALL CONDUIT PENETRATIONS THROUGH STRUCTURE WALLS INTO OPEN AREAS BELOW SPLASH PAD STRUCTURE MUST HAVE ALLOWANCES MADE FOR SETTLEMENT.

38. ALL CONDUIT INSTALLATION IN TRADE AREAS BELOW THE SPLASH PAD SHALL BE INSTALLED WITH E.M.T. AND IN THE LEVEL BELOW AND WITH E.M.T. STRAPS PER N.E.C. AND SPECIFICATIONS

39. FLOOR MOUNTED CONTROL CENTERS AND TRANSFORMERS FOR SPLASH PAD RELATED EQUIPMENT SHALL BE INSTALLED ON A 4" CONCRETE HOUSEKEEPING PAD IF INSTALLED IN AN EQUIPMENT ROOM OR A PVC HOUSEKEEPING PAD IF INSTALLED IN A FIBERGLASS EQUIPMENT ROOM. CONTRACTOR INSTALLING SPLASH PAD MANUFACTURER SUPPLIED DECK BOXES IN CONCRETE FOR SPLASH PAD NICHE LIGHTING IS TO ENSURE THAT 40.

ALL OPEN CONDUIT PORTS ARE PLUGGED AND ARE WATERTIGHT PRIOR TO SLAB POUR AROUND DECK BOXES. 41. ALL PENETRATIONS THROUGH OUTSIDE WALLS TO BELOW GRADE SHALL BE SEALED PER BUILDING SPECIFICATIONS. USING "EASY-LINK SEALS" IS

RECOMMENDED. 42. ALL CONNECTIONS IN THE SPLASH PAD SHALL BE MADE WITH THE ASSISTANCE OF A PLUMBER. USING TEFLON TAPE OR TEFLON PASTE TO ELIMINATE ALL LEAKS. USE ONLY TAPERED (N.P.T.) BRASS OR STAINLESS STEEL FITTINGS OR NIPPLES. THE USE OF GALVANIZED, PVC OR BLACK STEEL IS UNACCEPTABLE.

43. CONDUITS ARE DRAWN FOR CLARITY AND DO NOT NECESSARILY SHOW EXACT ROUTING. CONTRACTOR SHALL INSTALL CONDUITS IN COMPLIANCE WITH NEC CODE, WHICH THERE SHALL BE NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREES TOTAL) BETWEEN PULL POINTS, E.G., CONDUIT BODIES AND BOXES.

- 44. CONTRACTOR SHALL OBTAIN ALL NECESSARY INSTALLATION PERMITS AND INSPECTIONS. 45. ALL COMPONENT ITEMS USED IN THE PRODUCTION OF DELTA FOUNTAINS' PRODUCTS ARE U.L. LISTED WHENEVER SUCH LABELING IS AVAILABLE FROM THE SOURCE EQUIPMENT OR MATERIAL.
- SHOULD ANY PRODUCT REQUIRE A 'THIRD PARTY' LABEL OR CERTIFICATION AS AN ASSEMBLY (E.G., N.E.C., U.L. OR E.T.L. LISTING) SUCH 46. REQUIREMENTS SHALL BE DETERMINED, CONTRACTED FOR, AND PAID BY OTHERS.

INCLUDING THIRD PARTY PRODUCT TESTING UNLESS SPECIFICALLY INCLUDED IN ITS PROPOSALS. QUOTATIONS. DRAWING DESCRIPTIONS AND DETAILS. REGARDLESS OF PROJECT SPECIFICATION OR CODE REQUIREMENTS.

F3.00/NTS

- ALL METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF SPLASH PAD AND ALL METAL PARTS OF ASSOCIATED ELECTRICAL EQUIPMENT MUST BE BONDED TOGETHER PER NEC 680.
- 2. ALL BONDING CONDUCTORS SHALL BE BARE #8 SOLID COPPER.
- ALL BONDING SHALL BE CONTINUOUS WITHOUT SPLICES. ALL CONNECTIONS SHALL BE MADE BY EXOTHERMIC WELD OR FITTING APPROVED FOR SUCH USE IN SPLASH PAD AND POOLS.

IF EPOXY COATED REBAR IS SPECIFIED THE CONTRACTOR MUST USE A #8 SOLID COPPER WIRE GRID FOR BONDING IN THE CONCRETE OF ALL AREAS CONTAINING WATER OR COMING IN CONTACT WITH WATER IN THE SPLASH PAD CONTRACTOR TO CONFORM TO NEC AND LOCAL JURISDICTIONAL CODE REQUIREMENTS FOR THE BONDING.

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FROM OTHER VAULT EQUIPMENT TYPICAL SPLASH PAD "BONDING" SCHEMATIC

ALL METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF SPLASH PAD AND ALL METAL PARTS OF ASSOCIATED ELECTRICAL EQUIPMENT MUST BE BONDED TOGETHER PER NEC 680 (SEE BONDING SCHEMATIC ABOVE).

NEUTRAL BAR — SPLASH PAD

CONTROL PANEL

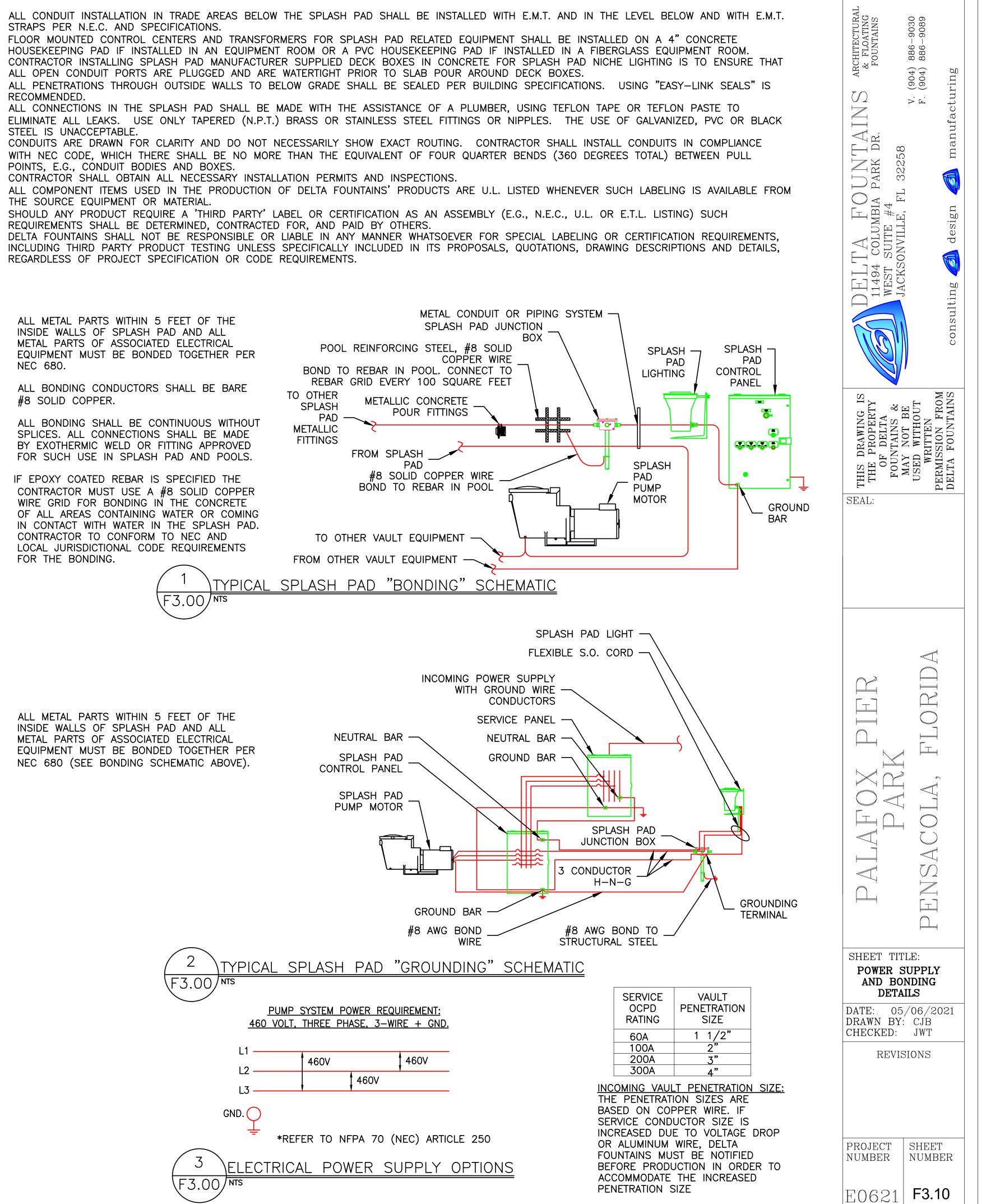
SPLASH PAD PUMP MOTOR

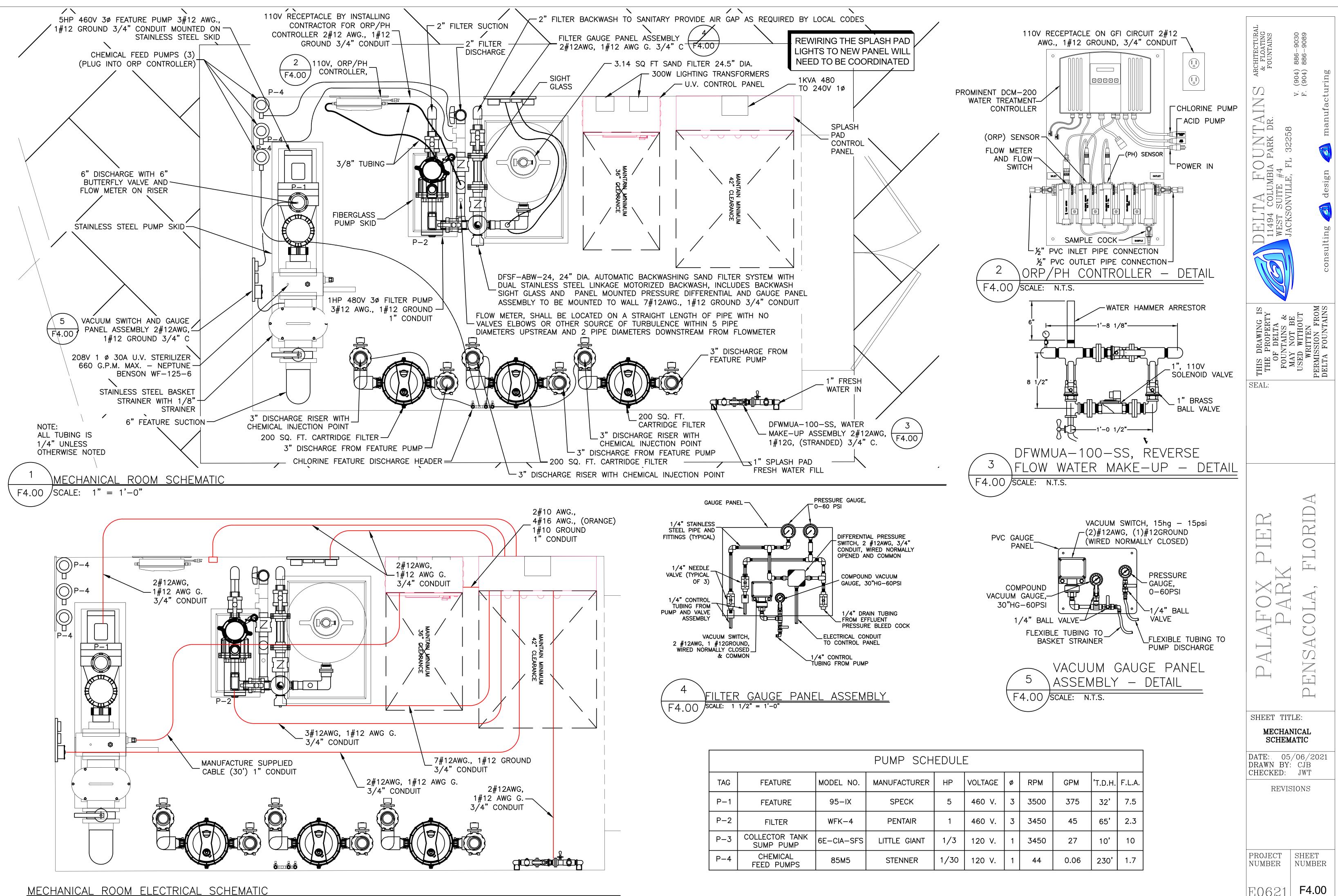
typical splash pad "grounding" schematic F3.00/NTS

,F3.00∕™^s

PUMP SYSTEM POWER REQUIREMENT: 460 VOLT, THREE PHASE, 3-WIRE + GND

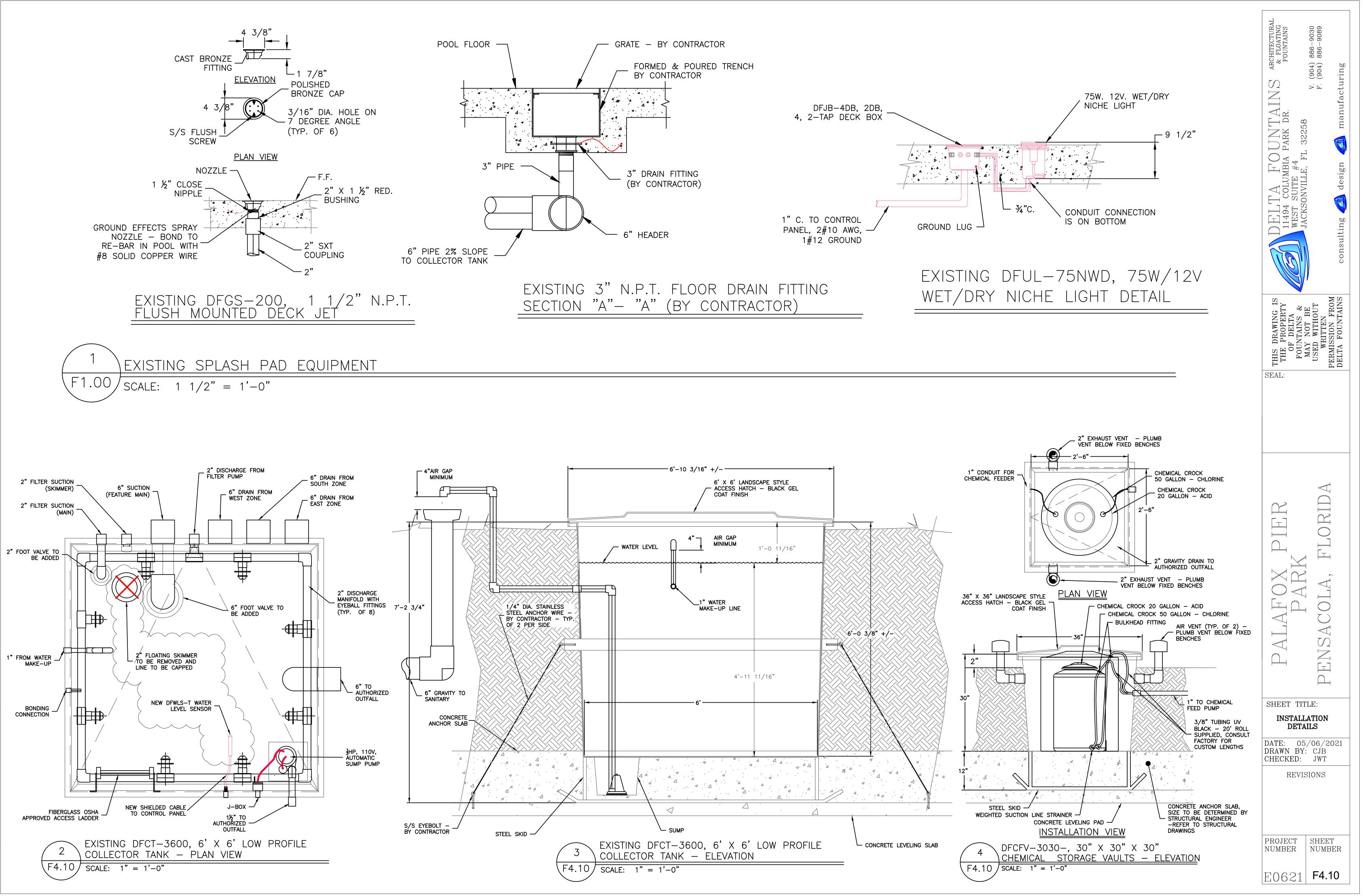
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SCALE: 1" = 1'-0"

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GENERAL NOTES

- 1. FINAL NOZZLE INSTALLATION AND ADJUSTMENT FOR POSITIONING AND THROTTLING TO ACHIEVED SPECIFIED PERFORMANCES FOR ALL DISPLAY DISCHARGE POINTS TO BE PERFORMED BY INSTALLING CONTRACTOR.
- THE EQUIPMENT ROOM LOCATION IS SHOWN IN GENERAL VICINITY ONLY. VERIFY WITH THE ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION OF THE EQUIPMENT ROOM AND PROPER ELEVATION. CONTRACTOR SHALL STORE ALL COMPONENTS IN THEIR ORIGINAL PACKAGES AND PROTECT ALL ITEMS FROM DAMAGE UNTIL FINAL PLACEMENT OCCURS. CONTRACTOR SHALL ROTATE ALL MOTOR SHAFTS ¼ TURN EACH AND EVERY MONTH DURING STORAGE UP TO THE TIME OF FIRST PERFORMANCE TO ENSURE MOTOR SHAFT INTEGRITY. TIGHTEN ALL PLUGS, BOLTS, NUTS, AND UNION TYPE FITTINGS AND CLOSE ALL VALVES UNTIL SYSTEM IS READY FOR STARTUP.
- PIPE ROUTING ON THE DRAWINGS IS DIAGRAMMATIC AND IN SOME INSTANCES EXAGGERATED FOR CLARITY. THE CONTRACTOR SHALL DETERMINE THE EXACT ROUTING AT THE SITE TO AVOID CONFLICT WITH SITE CONDITIONS. ANY ROUTING WHICH CREATES A TRAPPED CONDITION IN THE PIPING MUST BE CALLED TO THE ATTENTION OF THE SPLASH PAD CONSULTANT BEFORE THE PIPE IS INSTALLED. ALL PIPING SHALL BE INSTALLED TO PREVENT FREEZING. SYSTEM TO BE DRAINED AND WINTERIZED DURING WINTER MONTHS IF SPLASH PAD IS NOT IN OPERATION.
- 6. ALL PIPING BETWEEN THE WATER FEATURES AND EQUIPMENT ROOM SHALL BE INSTALLED SLOPED TOWARD THE EQUIPMENT ROOM A MINIMUM OF 2% UNLESS OTHERWISE INDICATED ON THE DRAWINGS THE WORK TO COMPLETE THE INSTALLATION OF THE SPLASH PAD INCLUDES SUCH NECESSARY MATERIAL AND DEVICES OF A MINOR NATURE THAT MAY NOT BE INDICATED ON THE DRAWINGS OR
- MENTIONED IN THE SPECIFICATIONS, BUT WHICH ARE NECESSARY FOR THE COMPLIANCE WITH CODES AND FOR THE SUCCESSFUL OPERATION OF THE FEATURE. THE CONTRACTOR SHALL BE ALLOWED NO EXTRA COMPENSATION BECAUSE OF THIS REQUIREMENT. THOROUGHLY TEST ALL FIXTURES, SERVICES AND ALL CIRCUITS FOR PROPER OPERATING CONDITIONS AND FREEDOM FROM GROUNDS AND SHORT CIRCUITS BEFORE ACCEPTANCE IS REQUESTED.
- ALL EQUIPMENT, APPLIANCES AND DEVICES SHALL BE OPERATED UNDER LOAD CONDITIONS. CONTRACTOR SHALL ENSURE THAT INSTALLATION COMPLIES WITH ALL APPLICABLE NATIONAL, LOCAL CODES AND INTERNATIONAL CODES AND PROJECT SPECIFICATIONS. 10. PRIOR TO ANY FINISHING MATERIALS (I.E. LIGHTS, JETS, COVER PLATES ETC.) BEING INSTALLED, ALL SPLASH PAD SHALL BE TESTED FOR LEAKS FOR A MINIMUM OF 72 HOURS AND ALL WATERPROOFING AND TILE WORK SHALL BE COMPLETED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- 12. CONSULT ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS NOT SHOWN ON THESE DRAWINGS.
- 13. WHERE APPLICABLE, ALL WEIRS SHALL BE INSTALLED WITH AN ACCURACY OF "+" OR "-" 1/16" OVER THE ENTIRE WEIR LENGTH. UNLESS OTHERWISE NOTED, REFER TO THE ARCHITECTURE DRAWINGS FOR WEIR DETAILS. 14. CONTRACTOR SHALL PROVIDE ALL CONCRETE WORK AS REQUIRED BY ALL MECHANICAL AND ELECTRICAL SPLASH PAD EQUIPMENT REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, HOUSEKEEPING PADS, LOCK-DOWN SLABS, AND THRUST BLOCKS WHERE INDICATED.
- 15. CONTRACTOR SHALL PROVIDE ALL UTILITIES SUCH AS POWER SUPPLIES, WATER SUPPLIES, AND SEWER CONNECTIONS UNDER THE BUILDING CONTRACT UP TO THE SPLASH PAD CONTROLS, EQUIPMENT AND/OR SPLASH PAD FITTINGS WHERE INDICATED.
- 16. CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL ELEVATION AND X-Y COORDINATES RELATING TO ALL SPLASH PAD EQUIPMENT INCLUDING VAULTS, SPLASH PAD FLOORS, AND PUMPS. 17. CONTRACTOR/INSTALLER IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS AT JOBSITE. DELTA FOUNTAINS IS NOT RESPONSIBLE FOR CONSTRUCTION/INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES, STEPS, OR PROCEDURES, OR FOR ANY SAFETY REQUIREMENTS, CODES, PRECAUTIONS, RULES, REGULATIONS, OR PROGRAMS PERTAINING TO THE CONSTRUCTION PROJECT, INCLUDING, BUT NOT LIMITED TO OSHA CONFINED SPACE REQUIREMENTS FOR EQUIPMENT ROOMS.
- 18. ALL COMPONENT ITEMS USED IN THE PRODUCTION OF OUR PRODUCTS ARE U.L. LISTED WHENEVER SUCH LABELING IS AVAILABLE FROM THE SOURCE EQUIPMENT OR MATERIAL 19. SHOULD ANY PRODUCT REQUIRE A 'THIRD PARTY' LABEL OR CERTIFICATION AS AN ASSEMBLY (E.G., N.E.C., U.L. OR E.T.L. LISTING) SUCH REQUIREMENTS SHALL BE DETERMINED, CONTRACTED FOR, AND PAID BY OTHERS. 20. DELTA FOUNTAINS SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY MANNER WHATSOEVER FOR SPECIAL LABELING OR CERTIFICATION REQUIREMENTS, INCLUDING THIRD PARTY PRODUCT TESTING
- UNLESS SPECIFICALLY INCLUDED IN ITS PROPOSALS, QUOTATIONS, DRAWING DESCRIPTIONS AND DETAILS, REGARDLESS OF PROJECT SPECIFICATION OR CODE REQUIREMENTS. . EQUIPMENT MANUFACTURED, SUPPLIED AND OTHERWISE FURNISHED BY DELTA FOUNTAINS IS PRIMARILY DESIGNED FOR EMBEDMENT OR CASTING DIRECTLY INTO CONCRETE OR GUNITE STRUCTURAL MATERIAL. IT IS NOT DESIGNED FOR NATURAL OR SYNTHETIC LINER OR MEMBRANE INSTALLATION INCLUDING FIBERGLASS OR METAL LINERS, SHELLS, COVERS, OR CLADDING. ANY SUCH REQUIREMENT FOR LINER OR MEMBRANE INSTALLATION OR ADAPTATION IS THE RESPONSIBILITY OF THE SPECIFIER, PURCHASER AND INSTALLER, INCLUDING BUT NOT LIMITED TO FLANGES, CLAMPING DEVICES, GASKETS, FASTENING DEVICES, COATINGS, ADHESIVES OR BONDING AGENTS.
- 22. FATAL SUCTION ENTRAPMENT CAN OCCUR IF SPLASH PAD MECHANICAL EQUIPMENT AND PIPING IS NOT INSTALLED CORRECTLY AS SHOWN. ANTI-VORTEX PLATES MUST BE SECURELY FASTENED TO SUMPS AND/OR SPLASH PAD FLOOR USING SUITABLE VANDAL RESISTANT SAFETY FASTENERS AND ANCHORS AT ALL TIMES DURING OPERATION OF SPLASH PAD SYSTEM. 23. NOTWITHSTANDING THE CONTRACT DOCUMENTS, INCLUDING ARCHITECT'S FINAL "FOR CONSTRUCTION" PLANS AND SPECIFICATION DATA, THE SPLASH PAD SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH DELTA FOUNTAINS FINAL AND APPROVED SET OF SHOP/INSTALLATION DRAWINGS AND DETAILS OR SPLASH PAD PRODUCT WARRANTY AND SYSTEM PERFORMANCE GUARANTEE IS VOID.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS. 25. DELTA FOUNTAINS RECOMMENDS ALL SPLASH PADS BE PROPERLY WATERPROOFED BY SPECIFIED APPROVED MEANS AND ALL SPLASH PAD COMPONENTS BE PROPERLY SEALED WITH A SUITABLE
- WATERPROOF CAULKING COMPOUND TO ENSURE A WATERTIGHT SPLASH PAD INSTALLATION. . ANY WATERPROOFING DETAILS OR SPECIFICATIONS THAT MAY APPEAR ON DELTA FOUNTAINS PLANS OR EQUIPMENT DETAILS ARE FOR GENERAL REFERENCE ONLY AND SHALL NOT BE INTERPRETED OR RELIED UPON AS A FORMAL SPECIFICATION OR RECOMMENDATION. CONVERSELY, THE ABSENCE OF WATERPROOFING DETAILS OR SPECIFICATION ON DELTA FOUNTAINS PLANS, DETAILS OR PRODUCT SHEETS DO NOT IMPLY THAT WATERPROOFING IS NOT A PROJECT REQUIREMENT.
- 27. IT IS THE RESPONSIBILITY OF THE PROJECT ARCHITECT/ENGINEER TO SPECIFY ANY AND ALL WATERPROOFING REQUIREMENTS, PRODUCTS, INSTALLATION/APPLICATION MEANS, PROCEDURES, AND OTHER DETAILS AS MAY BE NECESSARY AND REQUIRED FOR THE SPLASH PAD STRUCTURE AND SPLASH PAD COMPONENTS. 28. IT IS THE RESPONSIBILITY OF THE WATERPROOFING CONTRACTOR TO REVIEW THE PROJECT SPECIFICATIONS FOR WATERPROOFING REQUIREMENTS FOR THE SPLASH PAD AND RELATED COMPONENTS
- AND PROVIDE THE SPECIFIED WATERPROOFING PRODUCTS AND SYSTEMS TO ENSURE WATERPROOF INTEGRITY OR THE SPLASH PAD SYSTEM. 29. IT IS THE RESPONSIBILITY OF THE SPLASH PAD EQUIPMENT INSTALLER TO COORDINATE ALL WATERPROOFING MATERIALS, SYSTEMS, APPLICATIONS, PROCEDURES, MEANS AND METHODS WITH THE WATERPROOFING CONTRACTOR, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 30. DELTA FOUNTAINS ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR ANY WATERPROOFING ISSUES RELATED TO ITS DESIGN PACKAGE, SCOPE OF WORK, OR EQUIPMENT SUPPLY UNDER ANY CIRCUMSTANCES. IF THE SPLASH PAD CONTRACTOR/WATERPROOFER HAS QUESTIONS PERTAINING TO WATERPROOFING, THEY SHALL BE DIRECTED TO THE PROJECT ARCHITECT/ENGINEER WHO IS SOLELY RESPONSIBLE FOR SUCH MATTERS. 31. ALL SPLASH PAD SYSTEM EQUIPMENT AND COMPONENTS FURNISHED BY DELTA FOUNTAINS IS DESIGNED AND MANUFACTURED FOR USE IN FRESH WATER APPLICATIONS ONLY. DO NOT INSTALL OR
- OPERATE ANY EQUIPMENT IN SALT, BRINE, OR BRACKISH WATER OF ANY KIND OR WARRANTY IS VOID. 32. DUE TO OUR CONTINUING PRODUCT IMPROVEMENT, DELTA FOUNTAINS RESERVES THE RIGHT TO CHANGE PRODUCT AND SYSTEM SPECIFICATIONS WITHOUT NOTICE.
- 33. DELTA FOUNTAINS SHALL NOT BE RESPONSIBLE OR LIABLE FOR ANY CIVIL OR STRUCTURAL DESIGN DRAWINGS, DETAILS, NOTATIONS, OR ANY OTHER ASPECTS OF THE PROJECT REGARDING SPLASH PAD LAYOUT, STRUCTURE OR CONSTRUCTION/BUILDING PRACTICES, INCLUDING, BUT NOT LIMITED TO, SOIL INTEGRITY, CONCRETE DESIGN, SPECIFICATIONS, AND SLAB POUR METHODS, CONCRETE STRUCTURAL WATERPROOFING SPECIFICATIONS, MATERIALS, AND METHODS, ETC. UNLESS OTHERWISE SPECIFICALLY STATED. ANY STRUCTURE DEPICTED OR APPEARING ON OUR PLANS SHALL BE SHOWN SOLELY FOR DIMENSIONAL REFERENCE AND GENERAL STRUCTURAL ORIENTATION IN ORDER TO ADEQUATELY IDENTIFY. COORDINATE, ORIENT, LOCATE AND INSTALL OUR EQUIPMENT PACKAGE, AND SHALL NOT BE RELIED ON FOR ANY OTHER PURPOSES.
- 35. CLIENT IS ADVISED TO ENLIST THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER FAMILIAR AND EXPERIENCED WITH SUCH WORK WHEN DESIGNING/CONSTRUCTING ANY SPLASH PAD OR
- EQUIPMENT ROOM STRUCTURE, WHO SHALL ACCEPT COMPLETE RESPONSIBILITY AND LIABILITY FOR ALL STRUCTURAL, GEOTECHNICAL, AND CIVIL ENGINEERING DETAILS PERTAINING TO THE PROJECT. 36. CONTRACTOR IS ADVISED TO ENLIST THE SERVICES OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT TO COORDINATE LANDSCAPE. HARDSCAPE. AND TOPOGRAPHICAL ENVIRONMENT SURROUNDING THE SPLASH PAD AREA SO THAT PROPER PLANT MATERIAL AND GROUND COVER IS SPECIFIED TO ENSURE EXCESS DEBRIS WILL BE KEPT AWAY FROM. AND OUT OF THE SPLASH PAD SYSTEM. PROPER SLOPE OF GRADE IS MANDATORY TO KEEP RAIN WATER AND IRRIGATION WATER FROM ENTERING INTO THE SPLASH PAD BASIN AND EQUIPMENT ROOM OR ENCLOSURE. 37. REFER TO MECHANICAL AND ELECTRICAL NOTES ON DRAWINGS FOR FURTHER INFORMATION.
- 38. THE EQUIPMENT VAULT IS PRE-WIRED AT THE FACTORY FOR TESTING PURPOSES. IN THE EVENT THE LOCAL AUTHORITY, HAVING JURISDICTION OVER THE INSTALLATION OF THE VAULT AND FINAL PASS/FAIL INSPECTION. REQUIRES ANY MODIFICATIONS TO THE CONDUIT OR WIRING AS INSTALLED. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING THE CHANGES OR MODIFICATIONS AS REQUIRED TO CONFORM TO ALL LOCAL CODES.

PRESSURE TESTING

I. PERFORM TESTS IN THE PRESENCE OF THE OWNER, ARCHITECT, OR AUTHORIZED REPRESENTATIVE FOR DESIGNATED DURATION WITH NO PRESSURE LOSS OR NOTICEABLE LEAKS. 2. DO NOT INCLUDE EQUIPMENT IN TESTS WHICH COULD BE DAMAGED BY HIGH PRESSURE.

3. FLUSH OUT ALL PIPES WITH CLEAN	WATER PRIOR	TO PERFORMING LEAK TESTS.		
4. PERFORM TESTS AS FOLLOWS:	<u>SYSTEM</u>	TEST_PRESSURE	MEDIUM	DURATION
	WATER	150 % OF OPERATING PRESSURE	WATER	8 HOURS
	DRAINAGE	10FT. OVER HIGHEST PIPE INVERT	WATER	24 HOURS

5. AUTOMATIC MAKE-UP WATER SYSTEMS SHALL BE THOROUGHLY TESTED AND OPERATIVE AT THE TIME OF FINAL OBSERVATION. 6. AFTER THE SYSTEM HAS OPERATED FOR ONE WEEK, CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL INSPECT WATER MAKE-UP RATES AND AGREE THAT WATER USAGE IS APPROPRIATE FOR A SYSTEM OF THIS TYPE, ARE WITHIN LOCAL ORDINANCES OR CODES, AND THAT SUCH RATES ARE NOT INDICATIVE OF EXCESSIVE LEAKAGE FROM SYSTEM. A WATER METER SHALL BE PLACED ON THE FILL

LINE FOR THIS PURPOSE, IF NECESSARY TO DOCUMENT PRECISE WATER USAGE.

GENERAL PIPING NOTES

- IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS CRITICAL TO SPLASH PAD EQUIPMENT INSTALLATION AND PERFORMANCE AND REPORT ANY DISCREPANCIES, IN
- IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO CHECK AND COMPLY WITH ALL APPLICABLE NATIONAL AND LOCAL PLUMBING CODES PRIOR TO INSTALLATION OF EQUIPMENT. LOCAL CODES TAKE PRECEDENCE OVER GENERAL NOTES WHERE DISCREPANCIES OR CONFLICTS EXIST.
- FITTED WITH A WATERSTOP FLANGE TO PREVENT LEAKAGE. FOR PIPE PENETRATIONS OVER 4" PIPE SIZE USE BACK TO BACK P.V.C. FLANGES WITH STAINLESS STEEL BOLTS AND HARDWARE FOR WATERSTOP INTERCONNECTING PIPING AND FITTINGS INSIDE EQUIPMENT ROOM IS SCHEDULE 80 P.V.C.
- INTERCONNECTING PIPING AND FITTINGS BETWEEN THE FEATURE AND EQUIPMENT ROOM IS SCHEDULE 80 P.V.C. OR COPPER AS SUITABLE FOR THE WORKING PRESSURE OF THE SYSTEM SPECIFICATION REQUIREMENTS AND LOCAL CODES. IF STEEL OR CAST IRON PIPING IS SPECIFIED, IT MUST HAVE HOT-DIPPED GALVANIZED OR COAL TAR EPOXY COATING. REFER TO PROJECT SPECIFICATIONS FOR EXCEPTIONS.
- ALL PIPE CONNECTIONS BETWEEN DISSIMILAR METALS MUST BE MADE WITH DIELECTRIC FITTINGS AND DIELECTRIC THREAD SEALING COMPOUND TO PREVENT GALVANIC DEGRADATION. SUCTION EYE OF PUMP MUST BE LOCATED BELOW SPLASH PAD FLOOR ELEVATION IF FLOODED-END-SUCTION TYPE, AND NOT MORE THAN 4' ABOVE SPLASH PAD FLOOR ELEVATION IF SELF-PRIMING TYPE. ALL REDUCING FITTINGS MUST BE CONCENTRIC TYPE ON DISCHARGE LINE AND ECCENTRIC TYPE ON SUCTION LINE ..
- SUCTION LINE MUST BE A STRAIGHT RUN INTO THE PUMP EYE OF AT LEAST 8 PIPE DIAMETERS WITH NO LOOPS, HIGH POINTS, OR TRAPS. NO LOOPS, TRAPS, OR HIGH POINTS.
- 10. ON SUCTION LINES USE ONLY LUG TYPE BUTTERFLY VALVES, FULL-PORT, OR GATE TYPE VALVES. DO NOT REGULATE OR ADJUST FLOW FROM SUCTION SIDE OF PUMP. USE SUCTION VALVES FOR EQUIPMENT ISOLATION PURPOSES ONLY. 11. ON DISCHARGE LINES USE ONLY LUG TYPE BUTTERFLY, GLOBE, BALL, PLUG OR OTHER LOW LOSS INFINITELY ADJUSTABLE VALVES FOR ISOLATION AND FLOW REGULATION
- 12. AN IN-LINE BASKET STRAINER IS RECOMMENDED ON THE SUCTION SIDE OF PUMPS, WITH BASKET PERFORATIONS PROPERLY SIZED TO PROTECT THE PUMP IMPELLER, AND SPLASH PAD NOZZLE/JET ORIFICES.
- 13. PROVIDE ADEQUATE OVERFLOW DRAIN AND FILL LINE CAPACITY FOR THE SPLASH PAD SYSTEM. 14. THE PIPING SYSTEM SHALL BE WATER PRESSURE TESTED FOR 24 HOURS PRIOR TO BACKFILLING AND SHALL THEN BE BURIED AND/OR SUPPORTED AS REQUIRED TO PROTECT THE INTEGRITY OF MECHANICAL SYSTEM. (REFER TO PVC INSTALLATION NOTES).
- 15. INSTALLING CONTRACTOR TO INSTALL THRUST BLOCKS AT ALL PIPING INTERSECTIONS ON SUBTERRANEAN PIPING RUNS. 16. INSTALLING CONTRACTOR IS RESPONSIBLE FOR ALL PIPE SUPPORTS AND HANGERS AS REQUIRED. ALL PIPING IN OPEN AREAS BELOW THE SPLASH PAD SHALL BE INSTALLED FREEHANGING FROM THE CEILING IN THE LEVEL BELOW WITH PIPE HANGERS PER LOCAL CODE AND SPECIFICATIONS.
- WITH ALL OSHA CONFINED SPACE REGULATIONS AND REQUIREMENTS, BEFORE, DURING AND AFTER SYSTEM INSTALLATION. 18. ANY PRESSURIZED CITY WATER LINES SUPPLYING THE SPLASH PAD SYSTEM SHALL BE OF TYPE K COPPER AND SHALL BE PROTECTED BY AN APPROVED BACKFLOW PREVENTION DEVICE AND
- PRESSURE REDUCING VALVE SET AT 50 PSI MAXIMUM PRESSURE AND MINIMUM OF 40 PSI. 19. THE INCOMING WATER SUPPLY LINE PRESSURE MUST NOT EXCEED 50 PSI AND IS PART OF THE BUILDING CONTRACT, NOT THE SPLASH PAD. 20. 'P' TRAPS AND VENTS SHALL BE INSTALLED ON ANY DRAIN LINE CONNECTED TO A SANITARY SEWER SYSTEM, WHERE AND WHEN REQUIRED BY PLUMBING CODE, REGARDLESS OF WHETHER SHOWN ON INSTALLATION DRAWINGS.
- 21. SOIL COMPACTION AROUND SUBTERRANEAN PIPING TO BE COMPACTED IN 6" LIFTS.
- 22. ALL PIPING TO HAVE MINIMUM 2% SLOPE DOWN FROM SPLASH PAD TO EQUIPMENT ROOM UNLESS OTHERWISE SPECIFIED ON THE CONTRACT DOCUMENTS 23. PRESSURE TESTING ON ALL PIPE RUNS BETWEEN THE PUMPING EQUIPMENT AND THE SPLASH PAD BASIN SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR AFTER "ROUGH-INS" (PIPES DETECT ANY DAMAGE EARLY ON. ALL TESTS SHALL USE WATER, NOT AIR FOR PRESSURE TESTING. 24. ALL PENETRATIONS THROUGH OUTSIDE WALLS TO BELOW GRADE SHALL BE SEALED PER BUILDING SPECIFICATIONS. USING "EASY-LINK SEALS" IS RECOMMENDED.
- 25. ALL PIPING PENETRATIONS THROUGH STRUCTURE WALLS INTO OPEN AREAS BELOW SPLASH PAD STRUCTURE MUST HAVE ALLOWANCES MADE FOR SETTLEMENT. 26. ANY AND ALL COSTS ASSOCIATED WITH ABOVE ARE RESPONSIBILITY OF INSTALLER.
- 27. ALL PIPING IS ASSUMED TO BE BURIED BELOW GROUND IN ALL CASES, AND NOT INSTALLED ON OR ABOVE GRADE WHERE AN AIR TRAP, LOOP, OR HIGHPOINT COULD BE CREATED.
- 28. CONTRACTOR SHALL OBTAIN ALL NECESSARY INSTALLATION PERMITS AND INSPECTIONS. 29. ALL WELDED PVC FITTINGS ABOVE 6" DIAMETER SHALL BE FIBERGLASS REINFORCED AND USED ONLY ON NON-PRESSURIZED LINES.

PVC INSTALLATION NOTES

- UNLESS ARCHITECTS SPECIFICATIONS INDICATE OTHERWISE, THE SUGGESTED MINIMUM PIPING AND FITTING STANDARD RECOMMENDED FOR THIS INSTALLATION IS TYPE 1. PVC TYPE 1 CELL CLASSIFICATION 12454, CONFORMING TO ASTM STANDARD 1784.
- PRODUCT LABEL.
- FITTINGS THROUGH 12" INCLUDING SCHEDULE 80. WELD-ON 719 GREY OR WHITE, EXTRA HEAVY BODIED, THIXOTROPIC (PASTE-LIKE), HIGH STRENGTH SOLVENT CEMENT FOR CEMENTING ALL TYPE II. IT IS APPROVED FOR USE WITH POTABLE WATER PRESSURE SYSTEMS, IRRIGATION, TURF IRRIGATION, GAS, CONDUIT, INDUSTRIAL PIPE APPLICATIONS, SEWER AND DRAIN, WASTE AND VENT SYSTEMS. FOLLOW ALL DIRECTIONS AND INSTRUCTIONS ON PRODUCT LABEL.
- PAD DISCHARGE PIPING 6" AND LARGER.
- MANNER. AVOID VERTICAL STACKING OF PIPES. SPACE MINIMUM OF 3" APART ON ALL PARALLEL RUNS. USE ONLY CLEAN, FREE-FLOWING, NON-EXPANSIVE BACKFILL MATERIAL (NATURALLY ROUNDED 1/4" PEA GRAVEL, 57 STONE, OR SAND) AND BACKFILL IN 6" LIFTS WITH ADEQUATE AND COMPLETE
- MUST BE MADE AT THIS TIME TO INSURE THAT PIPING HAS NOT BEEN DAMAGED DURING BACKFILL OPERATIONS (SEE #4 IN "PRESSURE TESTING" SECTION ABOVE). AVOID LAYING SUCTION PIPING IN A MANNER THAT COULD RESULT IN A SUCTION LOOP BEFORE, DURING, OR AFTER BACKFILLING AND COMPACTION. ALWAYS PITCH PIPE IN A DOWNWARD DIRECTION TO
- ANY AND ALL COSTS ASSOCIATED WITH ABOVE ARE RESPONSIBILITY OF INSTALLER. 10. INTERCONNECTING PIPING AND FITTINGS INSIDE EQUIPMENT ROOM IS SCHEDULE 80 P.V.C.

WRITING TO DELTA FOUNTAINS AND THE ARCHITECT UPON DISCOVERY. REFER TO SPECIFICATION SECTION 3.1 "EXAMINATION" FOR FURTHER INSTRUCTION AND CLARIFICATION ALL SPLASH PAD PIPING PENETRATIONS THROUGH ANY CONCRETE WALL OR FLOOR MUST BE MADE WITH STAINLESS STEEL PIPE APPROPRIATE FOR THE APPLICATION, AND MUST BE FLASHED OR

USE LONG RADIUS ELBOWS ON ALL DIRECTIONAL CHANGES ON SUCTION AND DISCHARGE LINES, IN SOME INSTANCES, PIPING DIAGRAMS ARE EXAGGERATED FOR PURPOSES OF CLARITY. MAKE ALL SUCTION AND DISCHARGE PIPE RUNS USING THE MOST DIRECT ROUTES POSSIBLE AND USING THE MINIMUM NUMBER OF FITTINGS POSSIBLE. SLOPE ALL LINES DOWN TO PUMP, IN ALL CASES, WITH

17. INSTALLER SHALL PROVIDE ADEQUATE ACCESS, LIGHTING, DRAINAGE AND VENTILATION IN EQUIPMENT ROOM TO PREVENT FLOODING, CONDENSATION OR OVERHEATING OF EQUIPMENT, AND COMPLY

INSTALLED AND STUBBED UP) ARE COMPLETE AND AGAIN BEFORE ANY CONCRETE IS POURED. IT IS RECOMMEND TO MAINTAIN ALL PIPING UNDER PRESSURE DURING THE CONSTRUCTION PHASE TO

USE ONLY PURPLE PVC PRIMER MEETING NSF, UPC, AND ASTM #F-656 STANDARDS FOR SOFTENING AND PREPARING FIELD PIPE AND FITTING SURFACES FOR SOLVENT CEMENTING (IPS CORPORATION) "WELD-ON TYPE P-70 OR EQUIVALENT). WELD-ON P-70 PRIMER IS A PURPLE COLORED, NON-BODIED, VERY FAST ACTING, WATER THIN SOLVENT SYSTEM. WHEN USED IN CONJUNCTION WITH APPROPRIATE WELD-ON CEMENTS, WILL MAKE CONSISTENTLY STRONG, WELL-FUSED JOINTS. IT IS ESSENTIAL THAT THE JOINING SURFACES OF PIPE AND FITTINGS BE SOFTENED PRIOR TO ASSEMBLY. THE MAIN FUNCTION OF THIS PRIMER IS TO EXPEDITE THE PENETRATION AND SOFTENING OF THESE SURFACES. ITS RATE OF PENETRATION INTO THE JOINING SURFACES IS MUCH MORE RAPID THAN THAT OF CEMENT ALONE. IT IS SUITABLE FOR USE WITH ALL TYPES, SCHEDULES AND CLASSES OF PVC AND CPVC PIPE AND FITTINGS. FOLLOW ALL DIRECTIONS AND INSTRUCTIONS APPEARING ON

USE ONLY GREY, HEAVY BODIED, MEDIUM SETTING PVC CEMENT MEETING NSF, UPC, AND ASTM #D-2564, STANDARDS FOR SOLVENT CEMENTING PVC PLASTIC PIPE AND FITTINGS (IPS CORPORATION "WELD-ON" TYPE 711 OR EQUIVALENT). WELD-ON 711 GREY, HEAVY BODIED, MEDIUM SET, HIGH STRENGTH SOLVENT CEMENT FOR CEMENTING ALL SCHEDULES AND CLASSES OF PVC PIPE AND SCHEDULES AND CLASSES OF PVC PIPE AND FITTINGS 4" THROUGH 30" INCLUDING SCHEDULE 80. WELD-ON 711 AND 719 FOR USE ON ALL TYPES OF PVC PLASTIC PIPE APPLICATIONS, TYPE I AND

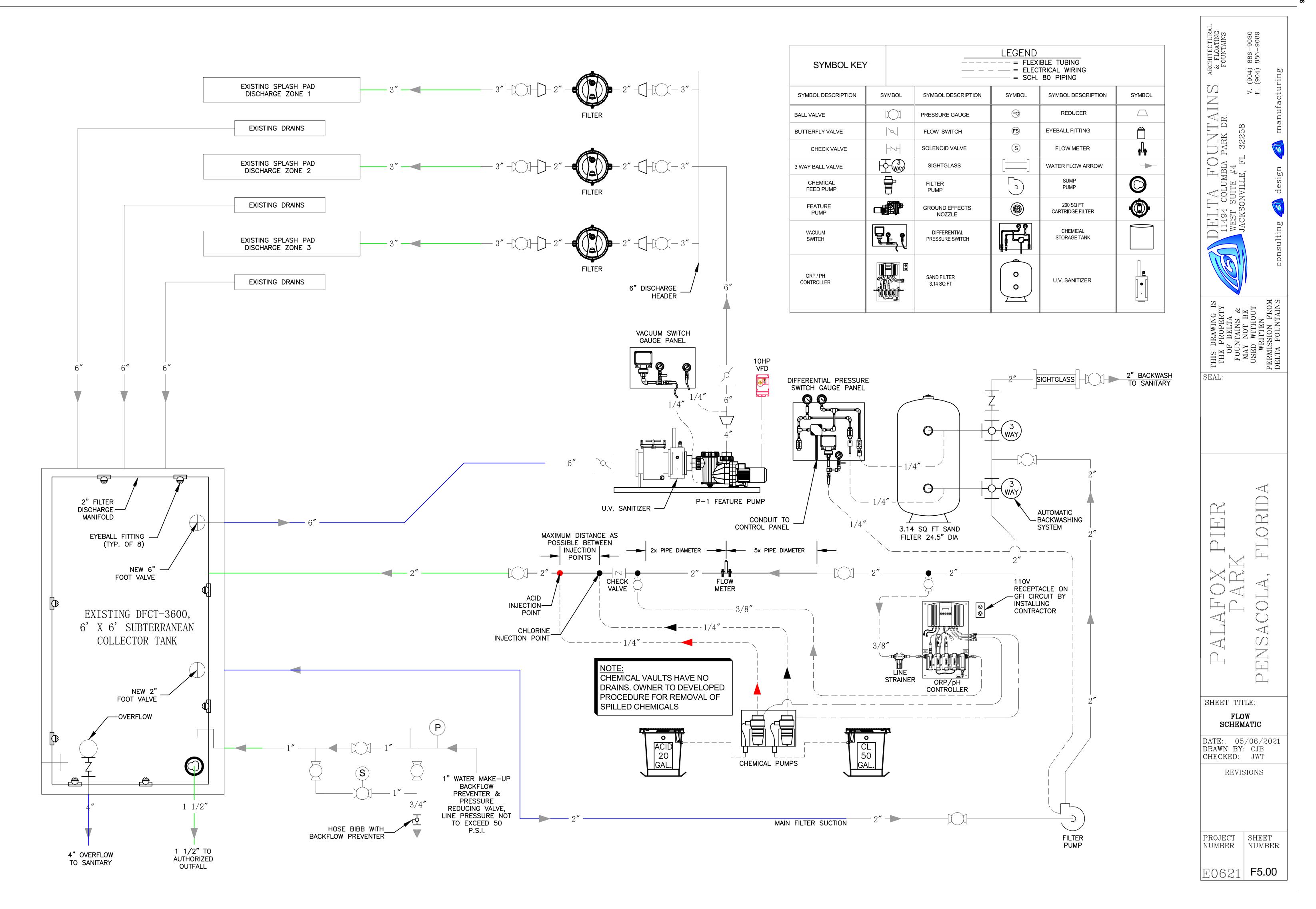
4. PRESSURE TEST ALL WATER PIPING PRIOR TO COMMENCING BACKFILL OPERATIONS. (SEE #4 IN "PRESSURE TESTING" SECTION ABOVE). HYDROSTATIC (WATER) TESTING SHALL BE THE ONLY APPROVED METHOD. DO NOT PRESSURE TEST WITH COMPRESSED AIR AS SEVERE PIPE DAMAGE AND BODILY INJURY CAN OCCUR. DO NOT EXCEED THE RATED OPERATIONAL PRESSURE OF THE PIPING AND/OR FITTINGS CARRYING THE LOWEST PRESSURE RATING. LOCATE AND REPAIR ANY LEAKS AND RETEST (PER #4 IN "PRESSURE TESTING" SECTION ABOVE) PRIOR TO COMPLETION OF BACKFILL OPERATIONS. CONCRETE "THRUST" BLOCKING IS RECOMMENDED AT ALL DIRECTIONAL CHANGES (TEE'S, ELBOWS, ETC.), REDUCER FITTINGS AND LINE TERMINATIONS (BUSHINGS, END CAPS, PLUGS, ETC.) IN SPLASH

PERFORM ADEQUATE TRENCHING AND BACKFILL OPERATIONS WHEN INSTALLING PVC PIPING BELOW GRADE. TRENCH WIDTH SHOULD BE MINIMUM OF "PIPE O.D. PLUS 12 INCHES" AND DEEP ENOUGH TO ALLOW PIPING TO BE BURIED A MINIMUM OF 12" BELOW THE MAXIMUM EXPECTED FROST PENETRATION LINE TO AVOID FREEZE DAMAGE. LAY PIPING IN HORIZONTAL, PARALLEL, AND PERPENDICULAR

COMPACTION BETWEEN LIFTS TO 90% OF MAXIMUM DENSITY PER ASTM 1557-70. COMPACTION TO EXCESSIVE LOADS SHALL NOT BE PERMITTED. A SECOND PRESSURE TEST ON THE PIPING SYSTEM

AVOID A SUCTION LOOP THAT WILL CAUSE AIR TO BE PERMANENTLY TRAPPED, CAUSING LOSS IN PERFORMANCE OF THE PIPING SYSTEM DUE TO INCREASED FRICTION AND WORK LOAD DEMAND.

DELTA FOUNTAINS ARCHITECTURAL 11494 COLUMBIA PARK DR. WEST SUITE #4 JACKSONVILLE, FL 32258	V. (904) 886-9030 F. (904) 886-9030 F. (904) 886-9089 consulting <i>design manufacturing</i>
THIS DRAWING IS THE PROPERTY OF DELTA FOUNTAINS &	MAY NOT BE USED WITHOUT WRITTEN PERMISSION FROM DELTA FOUNTAINS
PALAFOX PIER Park	PENSACOLA, FLORIDA
SHEET TIT	
DATE: 05 DRAWN BY:	/06/2021
CHECKED: REVIS	JWT
PROJECT NUMBER	SHEET NUMBER
E0621	F4.20



Department:	Comments:
FIRE	No comments
PW/E	No issues
InspSvcs	No comments
ESP	The only gas line in the area that could be affected is the gas service to Jaco's. It runs from the median on Palafox straight to the gas meter and it appears new sprinkler lines will be installed over this area. This should be caught with the 811 locate ticket. No comments
GPW	No comments
ATT	No comments
Surveyor	Planning Board Application Project Address is listed as "600" South Palafox. This information should be confirmed. Unable to locate the benchmarks on the civil plans. This civil plans need to include at least two benchmarks for construction.
Planning	No comments
GIS	Project address should be 900 S. Palafox St.



Memorandum

File #: 21-00749	Planning Board	9/14/2021	
то:	Planning Board Members		
FROM:			
DATE:	9/7/2021		

SUBJECT:

Amendment to the Land Development Code (LDC) - Table 12-3.9 - Regulations For The North Hill Preservation Zoning Districts - PR-2 Minimum Lot Size Requirements

BACKGROUND:

On June 8, 2021 and August 12, 2021 the Planning Board and City Council respectively suggested that City staff amend the PR-2, North Hill Preservation multiple-family zoning district to better align with criteria designed for transitional zoning districts. Subsequently the Mayor directed staff to initiate the process for approval of the requested amendment.

Currently the PR-1AAA, single family district, and PR-2, multiple-family district contain similar building standards, and the same minimum lot size requirements. At present the main differences between these zoning districts are the types of uses that are allowed by right and the minimum building setbacks for the front and side yards. In order to allow for the PR-2 district to function as a transitional zoning district between the North Hill single family and commercial districts, the proposed amendment will allow for a smaller minimum lot width and lot area. Table 12-3.9 *Regulations For The North Hill Preservation Zoning Districts* (attached) contains the current applicable lot and building standards.

The proposed amendment would be limited to Table 12-3.9 and do not include any changes to the types of allowed uses or to the required setbacks in the PR-2 zoning district.

The following changes are proposed:

•	Minimum Lot Area for Residential Uses:	Currently - 9,000 SF Proposed - 5,000 SF
•	Minimum Lot Width at Building Setback Line:	Currently - 75 feet Proposed - 50 feet

Sec. 12-3-1. Establishment of future land use and zoning districts and official maps.

- (a) *Establishment of districts*. For the purposes of this title, the city is divided into future land use and zoning districts in the manner provided for elsewhere in this title. Each land use district shall contain a set of zoning districts that may be permitted within its boundaries and are consistent with its allowable uses.
- (b) Official maps.
 - (1) The boundaries of the future land use and zoning districts are hereby established and shall be delineated on official maps for the city entitled "The Future Land Use Map for the Comprehensive Plan of the City of Pensacola" and "The Zoning Map of the City of Pensacola" which, with all explanatory matter set forth thereon, are incorporated in and hereby made a part of this title. The official land use and zoning maps shall be identified by the signature of the mayor, attested by the city clerk, and bearing the seal of the city under the following words: "This is to certify that this is the Official Future Land Use Map referred to in section 12-2-3 of the Code of the City of Pensacola" and "This is to certify that this is the Official Zoning Map referred to in section 12-3-1 of the City of Pensacola Land Development Code," together with the date of certification.
 - (2) If changes are made in district boundaries or other matter portrayed on the official land use or zoning map, such changes shall be made on the official maps promptly after the amendments have been approved by the city council. A land use and/or zoning number and an ordinance number shall be given to each change and a file of such changes kept by the city.
- (c) Interpretation of district boundaries. Where uncertainty exists as to the boundaries of districts as shown on the official land use or zoning map, the following rules shall apply:
 - (1) Where district boundaries appear to follow centerlines of streets, alleys, easements, railroads and the like, they shall be construed as following centerlines.
 - (2) Where district boundaries appear to follow lot, property or similar lines, they shall be construed as following such lines.
 - (3) In subdivided property or where a district boundary divides a lot, the location of such boundary, unless the same is indicated by dimensions, shall be determined by use of the scale appearing on the map.
 - (4) Where a district boundary line divides a lot or parcel of land the uses permitted in the zoning district on either portion of the lot may be extended a distance not to exceed 50 feet beyond the district line into the remaining portion of the lot.
 - (5) Where any street or alley is hereafter officially vacated or abandoned, the regulations applicable to each parcel of abutting property shall apply to that portion of such street or alley added thereto by virtue of such vacation or abandonment.
 - (6) Boundaries indicated as following shorelines shall be construed to follow the mean high water line and, in the event of change in the shoreline, shall be construed as moving within the high water mark; boundaries indicated as approximately following the centerlines of streams, rivers, canals, lakes or other bodies of water shall be construed to follow such centerlines.
 - (7) All areas within the corporate limits of the city that are underwater and are not shown as included within any district shall be subject to all of the regulations of the district that immediately adjoins the water area. If the water area joins two or more districts, the boundaries of each district shall be construed to extend into the water area in a straight line until they meet the other district.
- (d) *Future land use and zoning districts.* In the establishment, by this chapter, of the respective zoning districts, the city council has given due and careful consideration to the peculiar suitability of each district for the particular regulations applied thereto, and the necessary, proper and comprehensive groupings and

arrangements of the various uses and densities of population in accordance with a well-considered plan for the development of the city.

In order to regulate and limit the height and size of buildings, to regulate and limit the intensity of the use of lot areas, to regulate and determine the areas of open spaces surrounding buildings, to classify, regulate and restrict the location of trades and industries, and to regulate the location of buildings designed for specified industrial, business, residential, and other uses, the city is hereby divided into the following districts:

CONSERVATION LAND USE—CO		
СО	Conservation zoning district.	
LOW-DENSITY RESIDENTIAL LAND USE—LDR		
R-1AAAA	Single-family zoning district.	
R-1AAAA	Single-family zoning district.	
R-IAAA	Single-family zoning district.	
MEDIUM-DENSITY RESIDENTIAL LAND USE-MDR		
R-1AA	A One- and two-family zoning district.	
R-1A	One- and two-family zoning district.	
HIGH-DENSITY RESIDENTIAL LAND USE—HDR		
R-ZL	Zero-lot-line dwelling zoning district.	
R-2A	Multiple-family zoning district.	
R-2B	Multiple-family zoning district.	
OFFICE LAND USE—O		
R-2	Residential/office zoning district.	
RESIDENTIAL/NEIGHBORHOOD COMMERCIAL LAN	D USE—RNC	
R-NC	Residential/neighborhood commercial zoning	
	district.	
COMMERCIAL LAND USE—C		
C-1	Commercial zoning district (retail).	
C-2A	Commercial zoning district (retail).	
C-2	Commercial zoning district (retail).	
C-3	Commercial zoning district (wholesale and light	
	industry).	
INDUSTRIAL LAND USE—ID	T	
M-1	Light industrial zoning district.	
M-2	Heavy industrial zoning district.	
HISTORIC AND PRESERVATION LAND USE—HP		
HR-1	Historic one- and two-family zoning district.	
HR-2	Historic multiple-family zoning district.	
HC-1	Historic commercial zoning district.	
HC-2	Historic commercial zoning district.	
PR-1AAA	North Hill Preservation single-family zoning	
	district.	
PR-2	North Hill Preservation multiple-family zoning	
	district.	

PC-1	North Hill Preservation commercial zoning
	district.
OEHR-2	Old East Hill residential/office district.
OEHC-1	Old East Hill neighborhood commercial district.
OEHC-2	Old East Hill retail commercial district.
OEHC-3	Old East Hill commercial district.
AIRPORT LAND USE—A	
ARZ	Airport restricted zoning district.
ATZ-1	Airport transition zoning district 1.
ATZ-2	Airport transition zoning district 2.
REDEVELOPMENT LAND USE—R	
GRD	Gateway redevelopment zoning district.
GRD-1	Gateway redevelopment district, Aragon
	redevelopment area.
WRD	Waterfront redevelopment zoning district.
BUSINESS—B	
SPBD	South Palafox business zoning district.
INTERSTATE CORRIDOR LAND USE—IC	
IC	Interstate corridor zoning district.
SPECIAL ZONING DISTRICT	
SSD	Site specific development zoning district.
NEIGHBORHOOD LAND USE—N	
May include several zoning districts, depend	ing on the regulations for the individual neighborhood
districts.	-

(Code 1986, § 12-2-1; Ord. No. 29-93, § 1, 11-18-1993; Ord. No. 13-06, § 4, 4-27-2006; Ord. No. 28-07, § 1, 6-14-2007)

Sec. 12-3-10. Historic and preservation land use district.

The regulations in this section shall be applicable to the Pensacola historic district, the North Hill preservation district and the Old East Hill preservation district: HR-1, HR-2, HC-1, HC-2, PR-1AAA, PR-2, PC-1, OEHR-2, OEHC-1, OEHC-2 and OEHC-3.



- (1) *Historic zoning districts: HR-1, HR-2, HC-1 and HC-2.*
 - a. *Purpose.* The historic zoning districts are established to preserve the development pattern and distinctive architectural character of the district through the restoration of existing buildings and construction of compatible new buildings. The official listing of the Pensacola historic district (which includes all areas designated as historic zoning districts) on the National Register of Historic Places and the authority of the architectural review board reinforce this special character. Zoning regulations are intended to ensure that future development is compatible with and enhances the pedestrian scale of the existing structures and period architectural character of the districts.
 - b. Character of the district. The historic district is characterized by lots with narrow street frontage (based on the original British city plan, c. 1765), and the concentration of Frame Vernacular, Folk Victorian and Creole homes which date from the early 19th Century and form a consistent architectural edge along the street grid. These buildings and historic sites and their period architecture make the district unique and worthy of continuing preservation efforts. The district is an established business area, residential neighborhood and tourist attraction, containing historic sites and museums, a variety of specialty retail shops, restaurants, small offices, and residences.
 - c. Uses permitted.
 - 1. HR-1, one- and two-family.
 - i. Single-family and two-family (duplex) dwellings.
 - ii. Libraries, community centers and buildings used exclusively by the federal, state, county or city government for public purposes.
 - iii. Churches, Sunday school buildings and parish houses.
 - iv. Home occupations allowing: not more than 60 percent of the floor area of the total buildings on the lot to be used for a home occupation; retail sales shall be allowed, limited to uses listed as conditional uses in subsection (1)c.2.vi of this section; two nonfamily members shall be allowed as employees in the home occupation; and a sign for the business not to exceed three square feet shall be allowed.

- v. Publicly owned or operated parks and playgrounds.
- vi. Community residential homes licensed by the state department of health and rehabilitative services with six or fewer residents providing that it is not to be located within 1,000 feet of another such home. If it is proposed to be within 1,000 feet of another such home, measured from property line to property line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
- vii. Bed and breakfast subject to regulations in section 12-3-84.
- viii. Conditional uses permitted:
 - (a) Single-family attached dwellings (townhouses).
 - (b) Multiple-family dwellings.
- ix. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot and not involving the conduct of business.
- x. Family day care homes licensed by the state department of children and family Services as defined in state statutes.
- 2. *HR-2, multiple-family and office.*
 - i. Any use permitted in the HR-1 district, including conditional uses.
 - ii. Boarding and lodging houses.
 - iii. Offices under 5,000 square feet.
 - iv. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district, measured from property line to property line, and/or within 500 feet of a single-family zoning district, measured from property line to district line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
 - v. Child care facilities subject to regulations in section 12-3-87.
 - vi. Conditional use permitted:

The following uses limited to a maximum area of 3,000 square feet:

- (a) Antique shops.
- (b) Bakeries whose products are sold at retail and only on the premises.
- (c) Grocery stores.
- (d) Barbershops and beauty parlors.
- (e) Laundromats, including dry-cleaning pick-up stations.
- (f) Clothing and fabric shops.
- (g) Studios.

- (h) Vending machines when an accessory to a business establishment and located in the same building as the business.
- (i) Small appliance repair shops.
- (j) Floral gardens and shops.
- (k) Hand craft shops for custom work or making custom items not involving noise, odor, or chemical waste.
- (I) Secondhand stores.
- (m) Specialty shops.
- vii. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
- 3. *HC-1, historical commercial district.*
 - i. Any use permitted in the HR-2 district, including the conditional uses, with no size limitations.
 - ii. Small appliance repair shops.
 - iii. Marinas.
 - iv. Restaurants (except drive-ins).
 - v. Motels.
 - vi. Commercial parking lots.
 - vii. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
- 4. *HC-2, historical commercial district.*
 - i. Any use permitted in the HC-1district.
 - ii. Private clubs and lodges except those operated as commercial enterprises.
 - iii. Health clubs, spas and exercise centers.
 - iv. Tavern, lounges, nightclubs, cocktail bars.
 - v. Accessory buildings and uses customarily incidental to any of the above uses, including storage garages, when located on the same lot.
 - vi. Adult entertainment establishments subject to the requirements of chapter 7-3 when located within the dense business area as defined in chapter 12-13, Definitions.
- d. *Procedure for review*.
 - 1. Review and approval by the architectural review board. All activities regulated by this subsection shall be subject to review and approval by the architectural review board as established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for paint colors, minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review without the necessity for review by the entire board; provided, however, such abbreviated review process shall require review by the staff of West Florida Historic Preservation, Inc. If agreement cannot be reached as it

pertains to such request for abbreviated review by the board designee and West Florida Historic Preservation, Inc. staff, then the matter will be referred to the entire board for a decision.

- 2. Decisions.
 - i. General consideration. The board shall consider plans for existing buildings based on their classification as contributing, non-contributing or modern infill as depicted on the map entitled "Pensacola Historic District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In their review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials, textures and colors; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, including painting, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods, paint colors or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
 - ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:
 - (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
 - (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials and colors.
 - iii. No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by the Historic Pensacola Preservation Board) in its original style, dimensions or position on its original structural foundation.
- 3. Plan submission. Every activity that requires plans in order to erect, construct, demolish, renovate or alter an exterior of a building, sign or exterior site work, located or to be located in the historic zoning districts shall be accompanied with drawings or sketches. All drawings must be drawn to scale and be legible. The minimum size scale for site plans is 1" = 30'0"; the minimum scale for floor plans is 1/8" = 1'0"; and the minimum scale for exterior elevations is 1/8" = 1'0". The scale for other items, such as signs and details, shall

be as large as necessary to fully define the detail of those items. Major projects with very large buildings may vary from the scale referenced above for ease of presentation.

- i. Site plan.
 - (a) Indicate overall property dimensions and building size and location on the property.
 - (b) Indicate relationship of adjacent buildings, if any.
 - (c) Indicate layout of all driveways and parking on the site.
 - (d) Indicate all fences, and signs with dimensions as required to show exact locations.
 - (e) Indicate existing trees and existing and new landscaping.
- ii. Floor plan.
 - (a) Indicate locations and sizes of all exterior doors and windows.
 - (b) Indicate all porches, steps, ramps and handrails.
 - (c) For renovations or additions to existing buildings, indicate all existing conditions and features as well as the revised conditions and features and the relationship of both.
- iii. Exterior elevations.
 - (a) Indicate all four elevations of the exterior of the building.
 - (b) Indicate the relationship of this project to adjacent structures, if any.
 - (c) Indicate exposed foundation walls, including the type of material, screening, dimensions, and architectural elements.
 - (d) Indicate exterior wall materials, including type of materials, dimensions, architectural elements and color.
 - (e) Indicate exterior windows and doors, including type, style, dimensions, materials, architectural elements, trim, and colors.
 - (f) Indicate all porches, steps, and ramps, including type of materials, dimensions, architectural elements and color.
 - (g) Indicate all porch, stair, and ramp railings, including type of material, dimensions, architectural elements, trim, and color.
 - (h) Indicate roofs, including type of material, dimensions, architectural elements, associated trims and flashing, and color.
 - Indicate all signs, whether they are built mounted or freestanding, including material, style, architectural elements, size and type of letters, and color. The signs must be drawn to scale in accurate relationship to the building and the site.
- iv. Miscellaneous.
 - (a) Show enlarged details of any special features of either the building or the site that cannot be clearly depicted in any of the above-referenced drawings.

- 4. Submission of photographs.
 - i. *Renovations/additions to existing buildings.*
 - (a) Provide at least four overall photographs per building so that all sides are clearly shown. In addition, photographs depicting the "streetscape" that is, the immediate vicinity and all adjacent buildings — should be supplied.
 - (b) If doors and/or windows are to be modified, provide a photograph of each door to be changed and at least one representative photograph of the type of window to be altered and replaced.
 - (c) Provide any additional photographs as required to show specific details of any site or building conditions that will be altered or modified in any way by the proposed construction.
 - ii. New construction.
 - (a) Provide photographs of the site for the proposed new construction in sufficient quantity to indicate all existing site features, such as trees, fences, sidewalks, driveways, and topography.
 - (b) Provide photographs of the adjoining "streetscape," including adjacent buildings to indicate the relationship of the new construction to these adjacent properties.
- 5. Submission of descriptive product literature/brochures.
 - i. Provide samples, photographs, or detailed, legible product literature on all windows, doors and shutters proposed for use in the project. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
 - ii. Provide descriptive literature, samples, or photographs showing specific detailed information about signs and letters, if necessary to augment or clarify information shown on the drawings. The information must be sufficiently detailed to show style, dimensions, detailing, material type, and color.
 - iii. Provide samples or descriptive literature on roofing material and trip to augment the information on the drawings. The information must indicate dimensions, details, material, color and style.
 - iv. Provide samples or literature on any exterior light fixtures or other exterior ornamental features, such as wrought iron, railings, columns, posts, balusters, and newels. Indicate size, style, material, detailing and color.
- 6. Conceptual approval is permitted by the board only when the applicant specifies on their application that is the approval they are seeking. Conceptual approval applications shall be complete with the exception of final details such as material and color selections. Conceptual approval by the board does not permit the issuance of a building permit.
- e. Regulations and guidelines for any development within the historic zoning districts. These regulations and guidelines are intended to address the design and construction of elements common to any development within the historic district that requires review and approval by the architectural review board. Regulations and guidelines which relate specifically to new construction and/or structural rehabilitation and repair to existing buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in

subsections (1)f through h of this section. Illustrations, photographs and descriptive examples of many of the design elements described in this subsection can be found in the document prepared by the Florida Northwest Chapter of the American Institute of Architects entitled "Seville Historic District Guideline Study."

- 1. Building height limit. No building shall exceed the following height limit established by zone: HR-1 (one- and two-family), HR-2 (multiple-family), HC-1 (historic commercial), HC-2 (historic commercial)— 35 feet.
 - Bayfront Parkway setback/height requirement. The following height/setback requirement shall be observed along Bayfront Parkway between Tarragona Street and 9th Avenue (setback distance measured from northern right-of-way line) to create a scenic open space image along the parkway.

Building Height	Building Setback
20 feet	20 feet
25 feet	25 feet
30 feet	30 feet
35 feet (maximum height)	35 feet

- 2. *Protection of trees.* It is the intent of this section to recognize the contribution of shade trees and certain flowering trees to the overall character of the historic zoning districts and to ensure the preservation of such trees as described below:
 - Any of the following "specimen tree" species having a minimum trunk diameter of eight inches (25.1 inches in circumference) at a height of one foot above grade: Live Oak, Water Oak, Pecan, and Magnolia having a minimum trunk diameter of six inches (18.8 inches in circumference) at a height of one foot above grade; and
 - Any of the following flowering trees with a minimum trunk diameter of four inches (12.55 inches in circumference) at a height of one foot above grade: Redbud, Dogwood, and Crape Myrtle.

No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, undertake tree removal, or effectively destroy through damaging, any specimen or flowering tree, whether it be on private property or right-of-way within the district, without first having obtained a permit from the city to do so. Refer to section 12-6-7 for tree removal permit application procedures and guidelines.

3. *Fences.* The majority of original fences in the historic district were constructed of wood with a paint finish in many varying ornamental designs. To a lesser extent, fences may have been constructed of brick or wrought iron. The style of the fence and the materials used typically related directly to the style and type of materials used for the building on the property.

All developments in the historic zoning districts shall comply with fence regulations as established in section 12-3-63(a) through (d), applicable to maximum heights permitted. In addition, the following provisions apply:

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- i. Chain-link, concrete block and barbed wire are prohibited fence materials in the historic district. Approved materials will include, but not necessarily be limited to, wood, brick, stone and wrought iron.
- ii. All wood or wrought iron fences shall be painted if the principal building is painted. Wood fences shall be constructed utilizing one of a variety of "picket" designs, especially a design that will reflect details similar to those on the building. It is recommended that the use of wrought iron or brick fences be constructed in conjunction with buildings that use masonry materials in their construction.
- 4. *Signs.* Those few signs that may have originally been used in the historic district, including those which were used in the commercial areas, were typically smaller in scale than many signs in current use. Ordinarily, their style was complementary to the style of the building on the property. The support structure and trim work on a sign was typically ornamental, as well as functional.

Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. In addition to the prohibited signs listed below, all signs listed in section 12-5-7 are prohibited within the historic district. The design, color scheme and materials of all signs shall be subject to approval by the architectural review board. All official signs within the district will be authorized, created, erected and maintained by the city or the Historic Pensacola Preservation Board using as their guide the document entitled "A Uniform System for Official Signs in the Seville Square Historical District." This document also includes recommendations for and descriptive drawings of commercial signs appropriate to the district.

- i. Permitted signs.
 - (a) Temporary accessory signs.
 - (1) One non-illuminated sign advertising the sale, lease, or rental of the lot or building, said sign not exceeding six square feet in area.
 - (2) One non-illuminated sign not more than 50 square feet in area in connection with new construction work and displayed only during such time as the actual construction work is in progress.
 - (b) *Permanent accessory signs.*
 - (1) One sign per lot per street frontage for churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including retail and office buildings) or historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area and having a maximum height of eight feet; provided, however, that signs projecting from a building or extending over public property shall maintain a clear height of nine feet six inches above the public property and shall not exceed a height of 12 feet six inches. The sign may be mounted to the face of a wall of the building, hung from a bracket that is mounted to a wall of a building, nung freestanding. Attached or wall signs may be placed on the front or one side of the building. The sign may be illuminated provided the

source of light is not visible beyond the property line of the lot on which the sign is located.

- (2) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than three square feet and shall be attached flat against the wall of the building.
- (3) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the mayor and board.
- ii. Prohibited signs.
 - (a) Any sign using plastic materials for lettering or background.
 - (b) Internally illuminated signs.
 - (c) Portable signs.
 - (d) Nonaccessory signs.
- 5. *Screening.* The following uses must be screened from adjoining property and from public view with fencing and/or landscaping or a combination of the two approved by the board:
 - i. Parking lots.
 - ii. Dumpsters or trash handling areas.
 - iii. Service entrances or utility facilities.
 - iv. Loading docks or spaces.
- 6. *Landscaping.* Within the original historic district development, the majority of each site not covered by a building was typically planted in trees, shrubbery or ground cover. No formal landscape style has been found to predominate in the district. The following regulations apply for landscaping:
 - i. Within the front yard setback the use of grass, ground cover or shrubs is required and trees are encouraged in all areas not covered by a drive or walkway.
 - ii. The use of brick or concrete pavers set on sand may be allowed in the front yard in addition to drives or walkways, with board approval based on the need and suitability of such pavement.
- 7. Driveways, sidewalks and off-street parking. Original driveways in the historic district were probably unimproved or sidewalks were typically constructed of brick, cobblestones or small concrete pavers using two different colors laid at diagonals in an alternating fashion. Parking lots were not a common facility in the historic district. The following regulations and guidelines apply to driveways, sidewalks and parking lots in the historic district:
 - i. *Driveways.* Unless otherwise approved by the board, each building site shall be allowed one driveway, standard concrete ribbons, or access drive to a parking lot. No new driveways or access drives to parking lots may be permitted directly from Bayfront Parkway to any development where alternative access from the inland street grid is available.
 - (a) Where asphalt or concrete is used as a driveway material, the use of an appropriate coloring agent is required.

- (b) From the street pavement edge to the building setback the only materials allowed shall be shell, brick, concrete pavers, colored asphalt and approved stamped concrete or #57 granite or marble chips.
- ii. *Sidewalks.* Construction, repair and maintenance of sidewalks are all required on public rights-of-way within the district. Sidewalks shall be constructed of the following materials or combination of materials and approved by the board:
 - (a) Brick pavers;
 - (b) Concrete pavers;
 - (c) Poured concrete stamped with an ornamental pattern and colored with a coloring agent;
 - (d) A combination of concrete with brick or concrete paver bands along the edges of the sidewalk. This combination may also include transverse brick or concrete paver bands spaced at regular intervals.

Walkways shall be provided from the street side sidewalk to the front entrance as approved by the board.

- iii. *Off-street parking.* Off-street parking is not required in the HC-1 and HC-2 zoning districts. Because parking lots have not been a common land use in the district, their location is encouraged behind the structures which they serve.
 - (a) Parking lots shall be screened from view of adjacent property and the street by fencing, landscaping or a combination of the two approved by the board.
 - (b) Materials for parking lots shall be concrete, concrete or brick pavers, asphalt, oyster shells, clam shells or #57 granite or marble chips. Where asphalt or concrete are used, the use of a coloring agent is required. The use of acceptable stamped patterns on poured concrete is also encouraged.
- 8. *Paint colors.* The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the historic district. Samples of these palettes can be reviewed at the Historic Pensacola Preservation Board and at the office of the building inspector.
- 9. *Residential accessory structures.* Residential accessory structures shall comply with regulations set forth in section 12-3-55 except that the following shall apply: Accessory structures shall not exceed one story in height for a maximum in height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
- 10. Additional regulations. In addition to the regulations established above in subsections (1)e.1 through 9 of this section, any permitted use within the historic district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.
- f. Restoration, rehabilitation, alterations or additions to existing contributing structures in the historic district. The Secretary of the Interior's standards for rehabilitation, codified at 37 CFR 67, and the related guidelines for rehabilitating historic buildings shall form the basis for rehabilitation of existing contributing structures. The following regulations and guidelines for specific building elements are intended to further refine some of the general recommendations found in the Department of the Interior's document to reflect local conditions in the

rehabilitation of structures. In the case of a conflict between the Department of the Interior's publication and the regulations set forth herein, the more restrictive shall apply. The "Seville Historic District Guideline Study" describes the building styles that are typical in the historic district. This definition of styles should be consulted to ensure that the proper elements are used in combination in lieu of combining elements that, although they may be typical to the district, are not appropriate for use together on the same building.

For all of the following elements, the documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances. The following regulations and guidelines shall apply to renovations, repairs and alterations to contributing structures which may or may not have documentary proof of the original elements and to alterations or additions to a contributing structure which seek to reflect the original elements.

- Exterior lighting. Exterior lighting in the district in its original development typically consisted of post-mounted street lights and building-mounted lights adjacent to entryways. Occasionally, post lights were used adjacent to the entry sidewalks to buildings. Lamps were typically ornamental in design with glass lenses and were mounted on ornamental cast iron or wooden posts.
 - i. Exterior lighting fixtures shall be in a design typical to the district in a pre-1925 Era. They shall be constructed of brass, copper, or painted steel and have clear lenses.
 - ii. If exterior lighting is detached from the building, the fixtures shall be postmounted and used adjacent to sidewalk or driveway entrances or around parking lots. If post-mounted lights are used, they shall not exceed 12 feet in height.
 - iii. The light element itself shall be a true gas lamp or shall be electrically operated using incandescent or high pressure sodium lamps. Fluorescent and mercury vapor lamps are prohibited.
 - iv. The use of pole mounted high pressure sodium utility/security lights is discouraged. If absolutely necessary, they will be considered, but only in the rear portions of the property.
- 2. *Exterior walls.* The two building materials basic to the historic district are clapboard style wood siding and brick masonry, the former being most prevalent. In general, the wood siding is associated with the residential-type buildings and the brick masonry is associated with more commercially-oriented buildings. Brick is used in predominantly wooden structures only for foundation piers and for fireplaces and chimneys.
 - i. Vinyl or metal siding is prohibited.
 - ii. Wood siding and trim shall be finished with paint, utilizing colors approved by the board. If documentary evidence is submitted showing that the original structure was unpainted, the board may not require a paint finish unless the condition of the wood warrants its use.
 - iii. Foundation piers shall be exposed brick masonry or sand textured plaster over masonry. If infill between piers was original then it must be duplicated. It is encouraged that infill of wood lattice panels is utilized.

- 3. *Roofs.* The gable roof is the most typical in the historic district. On shotgun house types or buildings placed on narrow deep lots the gable-end is usually oriented toward the street. On the creole type houses or buildings having larger street frontages the gable-end is typically oriented towards the side yard. Some hip roofs are found in newer, typically larger than average buildings. Dormers are found typically in association with the creole type houses. The roof slope is at least six on 12, but can be found to slope as much as 12 on 12. Roofing materials typically consisted of wood shingles, tin and corrugated metal panels.
 - i. The combination of varying roof styles or shapes on a single building is prohibited. The only exception to this is when a three-sided hip roof is used over a porch on the front of a gable roofed building.
 - ii. In order to protect the architectural integrity of the district and structure, roof materials original to each structure should be used. Alternatives to the materials may be considered on a case-by-case basis, but shall match the scale, texture, and coloration of the historic roofing material. Unless original to the structure, the following materials shall be prohibited: less than 30-year fiberglass or asphalt dimensional shingles, rolled roofing, and metal shingles. Thirty-year or 40-year dimensional shingles may be permitted. Provided, however, existing flat-roofed commercial structures may retain the same style roof and continue to use built-up or single-ply roofing.
 - iii. Eave metal and flashing shall be naturally weathered copper or galvanized steel, or may be painted.
 - iv. Gutters and downspouts are discouraged within the district except on brick commercial buildings.
- 4. *Porches.* The porch, consisting of raised floor platform, sheltering roof, supporting columns, handrails and balustrade, and connecting steps is typical to wood structures in the district.
 - i. Porches are required in any renovation or alteration of a contributing structure that originally had a porch, and are encouraged as additions when the style of the building will allow it.
 - ii. The original materials, method of construction and style of building elements shall be duplicated when making repairs, alterations or additions to existing porches.
 - iii. The size and design of all porch elements, i.e., the flooring, the columns, the handrails, the pickets, the roof beam, the floor support piers, and any other ornamentation shall be consistent with any one single style that is typical to the district. The elements shall maintain proper historical scale, dimensions and detailing.
- 5. *Doors*. Entrance doors made up of a solid wood frame, with an infill of raised wood panels below and glazed panels above, are historically correct for the district. Single doorways with a glazed transom above allowed for both light and ventilation to enter the entrance way or entrance foyer of the building. Double doors were usually associated with a larger home or building layout.

The placement of the doorway was not necessarily in the center of the front wall; in fact, it was usually off to one side in most cases, specifically in the shotgun house types. The larger creole cottage, and French creole house type, normally had the front door centered, leading to a center hallway or stair hall.

- i. Doors are to be fabricated of solid wood, with three horizontal rails and two vertical stiles. The lower infill panels shall be constructed of wood and shall be located below the locking device with glazed panels located above the locking device. The top of the upper glazed panels can be semi-circular/half rounded. Beveled glass is encouraged.
- ii. Panel infill may vary slightly from that noted in subsection (1)f.5.i of this section, but usually shall not exceed six panels. Variations must be approved by the architectural review board.
- iii. Trim or casing shall be used on all doors and sidelights and shall typically range in width between five inches and eight inches.
- 6. Windows. Traditionally the windows employed in the Seville Historic District were constructed of wood and were the double hung or triple hung type. The windows opening toward the front porch of the building usually were triple hung with the sill close to or almost flush with the adjacent floors. This allowed for optimum flow of air, and for passage to and from the exterior space. The other windows of the building had the normal placement of the window sill at approximately 30 inches above finished floor. Typical windows ranged in width from 32 to 36 inches and ranged in height from six to seven feet exclusive of trim dimensions. The taller windows, when double hung, frequently had the lower section greater in vertical dimension than the upper section, giving freer movement through to the adjacent porch or veranda.
 - i. Windows are to be fabricated of wood and must, in the judgement of the architectural review board, closely approximate the scale and configuration of the original window designs.
 - ii. The window proportions/dimensions will be decidedly vertical, following the historic appearance and character of those encountered throughout the district.
 - iii. Window sections shall typically be divided into two to six panes, and in the usual double hung window, the layout of window panes will be six over six. All windows shall have true divided lites. Any variation to this division of the window opening shall be approved by the architectural review board.
 - iv. The window frame will be given a paint finish appropriate to the color scheme of the exterior of the building.
 - v. Window trim or casing is to be a nominal five-inch member at the two sides and the head.
 - vi. Other than the full height windows at the front porch and smaller windows at kitchens and bathrooms, all remaining windows shall be proportioned with the height between two and 2½ times the width. The sill height for standard windows shall be approximately 30 inches above finished floor.
 - vii. Glass for use in windows shall typically be clear, but a light tinted glass will be given consideration by the architectural review board.
- 7. *Shutters.* Shutters are an exterior ornamental and functional architectural feature that have traditionally been used on windows, and occasionally, on doors within the historic district. On renovation projects to existing contributing structures, it is recommended that shutters not be installed unless they were original to the structure.

- i. If shutters are to be used on a project, they must be dimensioned to the proper size so that they would completely cover the window both in width and height if they were closed.
- ii. The shutters must be installed in a manner that will appear identical to an original operable installation. Shutters installed currently are not required to be operational, but rather can be fixed in place; however, they must be installed with some space between the back of the shutter and the exterior wall surface material and must overlap the door or window trim in a fashion identical to an original operable installation.
- iii. The style of the shutters must be louvered, flat vertical boards or panelled boards, with final determination being based on compatibility with the overall building design.
- 8. *Chimneys.* Chimneys constructed of brick masonry, exposed or cement plastered, are typical to original construction in the district.

The chimney in the historic district is that necessary element usually serving back-to-back fireplaces, and as such, would not be located on the exterior wall of the building. Consequently, the appropriate location for chimneys would be projecting through some portion of the roof of the building, in lieu of being placed on an exterior wall.

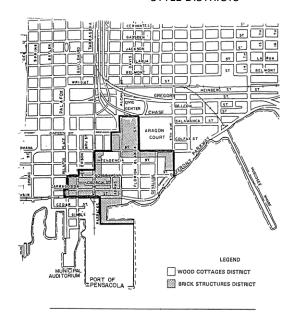
- i. The chimney or chimneys are to be located within the slope of the roof, rather than being placed on an exterior wall, and shall extend above the roof ridge line.
- ii. The chimney or chimneys are to be constructed of masonry with the exposed surface to be brick or sand textured plaster. Rough texture stucco is prohibited.
- iii. The finished exposed surface of chimneys are to be left natural without any paint finish.
- iv. Flashing shall consist of galvanized steel, copper sheet metal or painted aluminum.
- v. The extent of simplicity or ornamentation shall be commensurate with the overall style and size of the building on which the chimney is constructed.
- vi. The use in contributing structures of prefabricated fireplaces with steel chimneys is prohibited.
- 9. Trim and miscellaneous ornament. Most trim, except for window and door casings/trim, was used more for decorative than functional purposes. Trim and ornament was almost always constructed of wood, and was painted to match other elements (doors, windows, porches, etc.) of the building. Ornament on masonry buildings was typically limited to corbling or other decorative use of brick at window openings, door openings, columns, parapet walls and on major facades above the windows and doors.
 - i. In renovation work, only that decorative trim or ornament historically significant to the specific building will be permitted.
 - ii. The scale and profile/shape of existing ornament used within the district will dictate approval for all new proposals.
 - iii. Trim and ornament, where used, is to be fabricated of wood.

- iv. Trim and ornament will be painted to match, or be coordinated with, door and window casings, porch railings, porch columns, and basic projecting elements of the building.
- 10. Miscellaneous mechanical equipment.
 - i. Air conditioning condensing units shall not be mounted on any roof where they are visible from any street.
 - ii. Air conditioning condensing units that are mounted on the ground shall be in either side yards or rear yards. No equipment shall be installed in a front yard.
 - iii. Visual screening consisting of ornamental fencing or landscaping shall be installed around all air conditioning condensing units to conceal them from view from any adjacent street or property owner.
 - v. Exhaust fans or other building penetrations as may be required by other authorities shall be allowed to penetrate the wall or the roof but only in locations where they can be concealed from view from any street. No penetrations shall be allowed on the front of the building. They may be allowed on side walls if they are properly screened. It is desirable that any penetrations occur on rear walls or the rear side of roofs.
- 11. Accessibility ramps and outdoor stairs.
 - i. Whenever possible, accessibility ramps and outdoor stairways shall be located to the side or the rear of the property.
 - ii. The design of accessibility ramps and outdoor stairs shall be consistent with the architectural style of the building.
 - iii. Building elements, materials and construction methods shall be consistent with the existing structure.
- g. Renovation, alterations and additions to noncontributing and modern infill structures within the historic district. Many of the existing structures within the district do not meet the criteria established for contributing structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations and guidelines established in subsection (1)e of this section, relating to streetscape elements, and paint colors described in subsection (1)f.3 of this section shall apply to noncontributing and modern infill structures. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.
- h. *New construction in the historic district.* This subsection does not intend to mandate construction of new buildings of historical design. New construction shall complement original historic buildings or shall be built in a manner that is complementary to the overall character of the district in scale, building materials, and colors.

For purposes of describing the scale and character required in new construction within the historic district, the district is herein subdivided into two general building style districts as shown on Map 12-3.1: the "residential" wood cottages district and the "commercial" brick structures district. Within the wood cottages district all new construction shall conform to the building types I and II (described herein) in scale, building materials and colors. Within the brick structures district all new construction shall conform to the building types I, II, or III (described herein) in scale, building materials and colors. The regulations for the two building style districts will

establish building heights and setbacks and will illustrate relationships between the streetscape, the building and exterior architectural elements of the building. The streetscape element regulations established in subsection (1)e of this section are applicable to all new construction in the historic district, no matter what style building. If new construction is intended to match historical designs, then the building elements described in subsection (1)f.1 through 12 of this section should be utilized as guidelines. If it is to be a replica of a historic building, the building must be of a historic style characteristic of the Pensacola historic district.

- 1. Figure 12-3.1 illustrates the scale and characteristics of building types I and II for the wood cottages district.
- 2. Figure 12-3.2 illustrates the scale and characteristics of building type III for the brick structures district.
- 3. Aragon subdivision Block "L" & "N" and lots within Privateer's Alley shall conform to section 12-3-12(2)e.10, GRD-1 Architectural Review Standards, with the exception of section 12-3-12(2)e.10.v, Doors. Exterior doors shall comply with subsection (1)f.5 of this section.



MAP 12-3-1-HISTORIC BUILDING STYLE DISTRICTS

FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 1

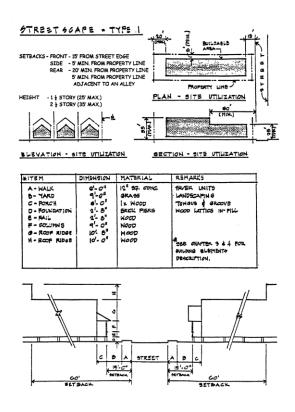


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 1

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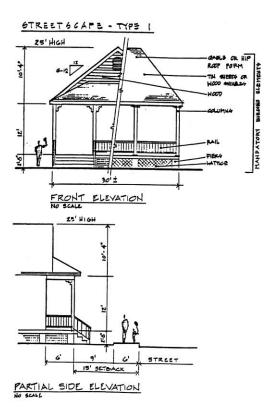


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 2

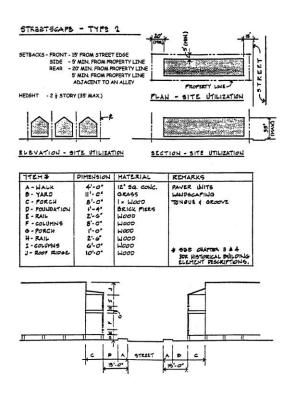


FIGURE 12-3.1. WOOD COTTAGES DISTRICT-STREETSCAPE, TYPE 2

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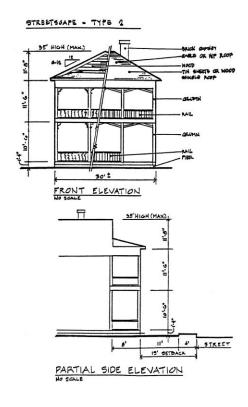
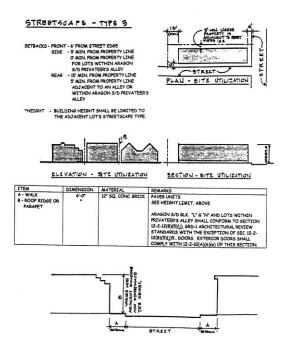
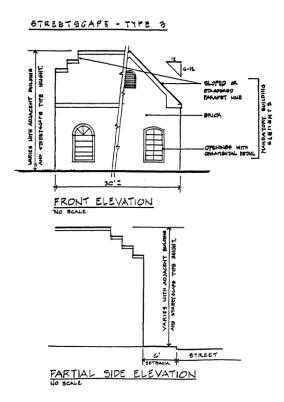


FIGURE 12-3.2. BRICK STRUCTURES DISTRICT-STREETSCAPE, TYPE 3



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FIGURE 12-3.2. BRICK STRUCTURES DISTRICT-STREETSCAPE, TYPE 3



i. Demolition of contributing structures. Demolition of a contributing structure constitutes an irreplaceable loss to the quality and character of the historic district and is strongly discouraged. Therefore, no permit shall be issued for demolition of a contributing structure unless the owner demonstrates to the board clear and convincing evidence of unreasonable hardship. Provided, however, nothing herein shall prohibit the demolition of a contributing structure if the building official determines that there is no reasonable alternative to demolition in order to bring the structure in compliance with the unsafe building code. When the owner fails to prove unreasonable economic hardship the applicant may provide to the board additional information that may show unusual and compelling circumstances in order to receive board recommendation for demolition of the contributing structure.

The board shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular structure against the special merit of the proposed replacement project.

- 1. Unreasonable economic hardship. When a claim of unreasonable economic hardship is made, the public benefits obtained from retaining the historic resource must be analyzed and duly considered by the board. The owner shall submit to the board for its recommendation the following information:
 - i. For all property:
 - (a) The assessed value of the land and improvements thereon according to the two most recent assessments;
 - (b) Real estate taxes for the previous two years;

- (c) The date of purchase of the property or other means of acquisition of title, such as by gift or inheritance, and the party from whom purchased or otherwise acquired;
- (d) Annual debt service, if any, for the previous two years;
- (e) All appraisals obtained within the previous two years by the owner or applicant in connection with his or her purchase, financing or ownership of the property;
- (f) Any listing of the property for sale or rent, price asked and offers received, if any;
- Any consideration by the owner as to profitable adaptive uses for the property;
- (h) Replacement construction plans for the contributing structure in question;
- Financial proof of the ability to complete the replacement project which may include, but not be limited to, a performance bond, a letter of credit, a trust for completion of improvements, or a letter of commitment from a financial institution; and
- (j) The current fair market value of the property, as determined by at least two independent appraisals made by appraisers with competent credentials.
- ii. For income-producing property:
 - (a) Annual gross income from the property for the previous two years;
 - (b) Itemized operating and maintenance expenses for the previous two years, including proof that adequate and competent management procedures were followed;
 - (c) Annual cash flow, if any, for the previous two years; and
 - (d) Proof that efforts have been made by the owner to obtain a reasonable return on his or her investment based on previous service.

The applicant shall submit all necessary materials to the board at least 15 days prior to the board hearing in order that staff may review and comment and/or consult on the case. Staff and/or professional comments shall be forwarded to the board for consideration and review and made available to the applicant for consideration prior to the hearing.

The board may require that an applicant furnish such additional information that is relevant to its determination of unreasonable economic hardship and may require that such additional information be furnished under seal. The board or its agent may also furnish additional information as the board believes is relevant. The board shall also state which form of financial proof it deems relevant and necessary to a particular case.

In the event that any of the required information is not reasonably available to the applicant and cannot be obtained by the applicant, the applicant shall file with his or her affidavit a statement of the information that cannot be obtained and shall describe the reasons why such information cannot be obtained.

2. Unusual and compelling circumstances and demolition of a contributing structure. When an applicant fails to prove economic hardship in the case of a contributing structure, the

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applicant may provide to the board additional information that may show unusual and compelling circumstances in order to receive board recommendation for demolition of the contributing structure. The board, using criteria set forth in this subsection, shall determine whether unusual and compelling circumstances exist and shall be guided in its recommendation in such instances by the following additional considerations:

- i. The historic or architectural significance of the structure;
- ii. The importance of the structure to the integrity of the historic district;
- iii. The difficulty or the impossibility of reproducing such a structure because of its design, texture, material, detail, or unique location;
- iv. Whether the structure is one of the last remaining examples of its kind in the historic district;
- v. Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans will have on the architectural, cultural, historical, archaeological, social, aesthetic, or environmental character of the surrounding area, as well as the economic impact of the new development; and
- vi. Whether reasonable measures can be taken to save the structure from further deterioration, collapse, arson, vandalism or neglect.
- 3. *Recommendation of demolition.*
 - i. Should the applicant for demolition of a contributing structure satisfy the board that he or she will suffer an economic hardship if a demolition permit is not recommended, or, if in failing to demonstrate economic hardship, the applicant demonstrates unusual and compelling circumstances that dictate demolition of the contributing structure, either a recommendation for demolition or a recommendation for a six-month moratorium on the demolition shall be made.
 - ii. In the event that the board recommends a six-month moratorium on the demolition, within the moratorium period, the board shall consult with the Historic Pensacola Preservation Board, the city and any other applicable public or private agencies to ascertain whether any of these agencies or corporations can preserve or cause to be preserved such architectural or historically valuable buildings. If no agencies or organizations are prepared to preserve the buildings or cause their preservation, then the board shall recommend approval of the demolition.
 - iii. Following recommendation for approval of demolition, the applicant must seek approval of replacement plans prior to receiving a demolition permit and other building permits. Replacement plans for this purpose shall include, but shall not be restricted to, project concept, preliminary elevations and site plans, and adequate working drawings for at least the foundation plan that will enable the applicant to receive a permit for foundation construction. The board may waive the requirements for replacement plans under extreme, unusual and compelling circumstances or public safety purposes.
 - iv. Applicants that have received a recommendation for demolition shall be permitted to receive such demolition permit without additional board action on demolition, following the board's recommendation of a permit for new construction.

- 4. *Prevention of demolition by neglect.*
 - i. All contributing structures within the historic district shall be preserved against decay and deterioration and kept free from certain structural defects by the owner thereof or such other person who may have legal custody and control thereof. The owner or other person having such legal custody and control shall repair such building, object, site, or structure if it is found to have any of the following defects:
 - (a) Deteriorated or inadequate foundation. Defective or deteriorated flooring or floor supports or flooring or floor supports of insufficient size to carry imposed loads with safety;
 - (b) Members of walls, partitions or other vertical supports that split, lean, list or buckle due to defective material or deterioration. Members of walls, partitions or other vertical supports that are of insufficient size to carry imposed loads with safety;
 - (c) Members of ceilings, roofs, ceiling and roof supports or other horizontal members that sag, split, or buckle due to defective materials or deterioration. Members of ceilings, roofs, ceiling and roof supports or other horizontal members that are of insufficient size to carry imposed loads with safety;
 - (d) Fireplaces or chimneys that list, bulge or settle due to defective materials or deterioration. Fireplaces or chimneys that are of insufficient size or strength to carry imposed loads with safety;
 - (e) Deteriorated or ineffective waterproofing of exterior walls, roofs, foundations or floors, including broken windows or doors. Defective protection or lack of weather protection for exterior wall coverings, including lack of paint, or weathering due to lack of paint or other protective covering. Any fault or defect in the building that renders same structurally unsafe or not properly watertight.

In addition, the owner or other person having legal custody and control of a historic landmark or a building, object, site, or structure located in a historic district shall keep all property, including vacant property, clear of all weeds, fallen trees or limbs, debris, abandoned vehicles, and all other refuse.

- ii. The board, on its own initiative, may file a petition with the building official requesting that he or she proceed to require correction of defects or repairs to any structure covered by subsection (1)i.4.i of this section so that such structure shall be preserved and protected in accordance with the purposes of this section and the public safety and housing ordinance.
- j. Other demolition permits.
 - 1. All applications for permits to demolish structures other than contributing structures shall be referred to the board for the purpose of determining whether or not the structure may have historical, cultural, architectural, or archaeological significance. Such determination shall be made in accordance with the criteria found in subsections (1)i.2.i through vi of this section.
 - 2. The board shall make such determination within 30 days after receipt of the completed application and shall notify the building official in writing. If the structure is determined to

have no cultural, historical, architectural, or archaeological significance, a demolition permit may be issued immediately, provided such application otherwise complies with the provisions of all city code requirements.

- 3. If said structure is determined by the board to have historical significance, the board shall make such information available to the preservation board for review and recommendation as to significance. If the board concurs in the significance, using criteria set forth in subsections (1)i.2.i through vi of this section, the board shall recommend to the city council that the structure be designated a contributing structure.
- 4. Upon such a recommendation by the board, issuance of any permit shall be governed by subsection (1)i.3 of this section.
- k. *Treatment of site following demolition*. Following the demolition or removal of any buildings, objects or structures located in the historic district, the owner or other person having legal custody and control thereof shall:
 - 1. Remove all traces of previous construction, including foundation;
 - 2. Grade, level, sod and/or seed the lot to prevent erosion and improve drainage; and
 - 3. Repair at his or her own expense any damage to public rights-of-way, including sidewalks, curb and streets, that may have occurred in the course of removing the building, object, or structure and its appurtenances.
- (2) North Hill preservation zoning districts: PR-1AAA, PR-2, PC-1.
 - a. *Purpose.* The North Hill preservation zoning districts are established to preserve the unique architecture and landscape character of the North Hill area, and to promote orderly redevelopment that complements and enhances the architecture of this area of the city.
 - b. *Character of the district.* The North Hill preservation district is characterized by mostly residential structures built between 1870 and the 1930s. Queen Anne, Neoclassical, Tudor Revival, Craftsman Bungalow, Art Moderne and Mediterranean Revival are among the architectural styles found in North Hill. North Hill is listed on the National Register of Historic Places.
 - c. Uses permitted.
 - 1. PR-1AAA, single-family district.
 - i. Single-family dwellings at a maximum density of 4.8 units per acre.
 - ii. Home occupations, as regulated in section 12-3-57.
 - iii. Community residential homes licensed by the state department of health and rehabilitative services with six or fewer residents providing that it is not to be located within 1,000 feet of another such home. If it is proposed to be within 1,000 feet of another such home, measured from property line to property line, it shall be permitted with city council approval after public notification of property owners in a 500-foot radius.
 - iv. Municipally owned or operated parks or playgrounds.
 - v. Public schools and educational institutions having a curriculum the same as ordinarily given in public schools and colleges.
 - vi. Libraries, community centers and buildings used exclusively by the federal, state, regional, county and city government for public purposes.
 - vii. Churches, Sunday school buildings and parish houses.

- viii. Conditional uses permitted: two-family dwellings (duplex) at a maximum density of 9.6 units per acre.
- ix. Accessory buildings and uses customarily incidental to the above uses not involving the conduct of a business.
- x. Family day care homes licensed by the state department of children and family services as defined in state statutes.
- 2. PR-2, multiple-family district.
 - i. Any use permitted in the PR-1AAA district.
 - ii. Single-family, two-family and multifamily residential attached or detached units with a maximum density of 35 dwelling units per acre.
 - iii. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district and/or within 500 feet of a single-family zoning district it shall be permitted with city council approval after public notification of property owners in a 500foot radius.
 - iv. Bed and breakfast subject to regulations in section 12-3-84.
 - v. Conditional uses permitted:
 - (a) Private clubs and lodges except those operated primarily as commercial enterprises.
 - (b) Office buildings (under 5,000 square feet).
 - (c) Antique shops—No outside displays.
 - (d) Art galleries—No outside displays.
 - (e) Social services homes/centers.
 - (f) Boarding and lodging houses.
 - (g) Child care facilities subject to regulations in section 12-3-87.
 - vi. Accessory buildings. Buildings and uses customarily incidental to any of the above uses, including storage garages when located on the same lot not involving the conduct of a business.
- 3. PC-1, preservation commercial district.
 - i. Any use permitted in the PR-2 district, including conditional uses.
 - ii. Hand craft shops for custom work or making custom items not involving unreasonable noise, odor or chemical waste.
 - iii. Office buildings (under 7,000 square feet).
 - iv. Barbershops and beauty parlors.
 - v. Florists.
 - vi. Studios.

- vii. Vending machines when an accessory to a business establishment and located inside the same building as the business.
- viii. Conditional uses permitted:
 - (a) Gas stations.
 - (b) Other retail shops.
 - (c) Office buildings (over 7,000 square feet).
 - (d) Restaurants, with the exception of drive-in restaurants.
- ix. Accessory buildings and uses customarily incidental to the above uses.
- d. *Procedure for review.*
 - 1. *Review and approval.* All activities regulated by this subsection shall be subject to review and approval by the architectural review board as established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for paint colors, minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review without the necessity for review by the entire board; provided, however, such abbreviated review process shall require review by the staff of the Historic Pensacola Preservation Board. If agreement cannot be reached as it pertains to such request for abbreviated review by the board designee and Historic Pensacola Preservation Board staff, then the matter will be referred to the entire board for a decision.
 - 2. Decisions.
 - i. General consideration. The board shall consider plans for existing buildings based on its classification as contributing, non-contributing or modern infill as depicted on the map entitled "North Hill Preservation District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In its review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials, textures and colors; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods, paint colors or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
 - ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:

- (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
- (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials and colors.
- No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by the Historic Pensacola Preservation Board) in its original style, dimensions or position on its original structural foundation.
- 3. *Plan submission.* Every application for a building permit to erect, construct, demolish, renovate or alter an exterior of a building, sign or exterior site work (i.e., paving and landscaping), located or to be located in the North Hill preservation district, shall be accompanied with plans for the proposed work pursuant to subsections (1)d.3 through 5 of this section, applicable to the historic district.
- e. Regulations and guidelines for any development within the preservation district. These regulations and guidelines are intended to address the design and construction of elements common to any development within the North Hill preservation district which requires review and approval by the architectural review board. Regulations and guidelines that relate specifically to new construction and/or structural rehabilitation and repair to existing buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in subsections (2)f through h of this section.
 - 1. *Off-street parking.* All development within the North Hill preservation district shall comply with the regulations established in chapter 12-4. Parking lots shall comply with the requirements of chapter 12-6. Design of and paving materials for parking lots, spaces and driveways shall be subject to approval of the architectural review board. For all parking lots, a solid wall, fence or compact hedge not less than four feet high shall be erected along the lot lines when autos or lots are visible from the street or from an adjacent residential lot.
 - 2. Signs. Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. The location, design and materials of all accessory signs, historical markers and other signs of general public interest shall be subject to the review and approval of the architectural review board. Only the following signs shall be permitted in the North Hill preservation district:
 - i. Temporary accessory signs.
 - (a) One non-illuminated sign advertising the sale, lease or rental of the lot or building, said sign not exceeding six square feet of area.
 - (b) One non-illuminated sign not more than 50 square feet in area in connection with new construction work, and displayed only during such time as the actual construction work is in progress.
 - ii. Permanent accessory signs.

- (a) One sign per street frontage for churches, schools, boarding and lodging houses, libraries, and community centers, multiple-family dwellings and historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area. The signs shall be placed flat against the wall of the building, perpendicular or may be freestanding. Such signs may be illuminated provided that the source of light shall not be visible beyond the property line of the lot on which the sign is located.
- (b) Commercial establishments may have one attached or one freestanding sign per street frontage not to exceed 12 square feet provided that the freestanding sign be no closer to any property line than five feet. The attached or wall signs may be placed on the front or one side of the building. As used herein, "commercial establishments" shall mean an establishment wherein products are available for purchase. Such signs may be illuminated provided the source of light shall not be visible beyond the property line of the lot on which the sign is located. Office complexes may have one freestanding sign per street frontage not to exceed 12 square feet.
- (c) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than 100 square inches and may be attached to the dwelling. This section shall be applicable to occupants and home occupations.
- (d) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the mayor and board.
- (e) The maximum height for freestanding signs shall be eight feet. No attached sign shall extend above the eave line of a building to which it is attached.
- 3. *Protection of trees.* The purpose of this subsection is to establish protective regulations for specified trees within the North Hill preservation zoning districts. It is the intent of this subsection to recognize the contribution of shade trees and certain flowering trees to the overall character of the preservation district and to ensure the preservation of such trees as described below.
 - i. Any of the following species having a minimum trunk diameter of eight inches (25.1 inches in circumference) at a height of one foot above grade: Live Oak and Water Oak; Magnolia having a minimum trunk diameter of six inches (18.8 inches in circumference) at a height of one foot above grade; and any of the following flowering trees with a minimum trunk diameter of four inches (12.55 inches in circumference) at a height of one foot above grade: Redbud, Dogwood, and Crape Myrtle.
 - ii. Tree removal. No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, or effectively destroy through damaging, any specimen tree, whether it be on private property or right-of-way within the defined limits of the preservation district of the city, without first having obtained a permit from the city to do so. Refer to section 12-6-7 for application procedures and guidelines for a tree removal permit.
 - iii. In addition to the specific tree preservation provisions outlined in this subsection, the provisions of chapter 12-6 shall be applicable in this district.

- 4. *Fences.* All developments in the North Hill preservation zoning districts shall comply with fence regulations as established in section 12-3-63. Fences are subject to approval by the architectural review board. Approved materials will include but not necessarily be limited to wood, brick, stone or wrought iron. No concrete block or barbed wire will be permitted. Chain-link fences shall be permitted in side and rear yard only with board approval.
- 5. *Paint colors.* The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the Preservation District. Samples of these palettes can be reviewed at the Historic Pensacola Preservation Board and at the office of the building inspector.
- 6. *Residential accessory structures.* Residential accessory structures shall comply with regulations set forth in section 12-3-55 except that the following shall apply: Accessory structures shall not exceed one story in height for a maximum in height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
- 7. Additional regulations. In addition to the regulations established above in subsections (2)e.1 through 6 of this section, any permitted use within the North Hill preservation district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.
- f. Restoration, rehabilitation, alterations or additions to existing contributing structures in the North Hill preservation district.
 - 1. The document entitled "Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings," published by the United States Department of the Interior in 1983, shall form the basis for rehabilitation of existing contributing buildings. The proper building elements should be used in combinations that are appropriate for use together on the same building.
 - 2. Documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances.
 - 3. Regulations established in Table 12-3.9 shall apply to alterations and additions to contributing structures. The regulations and guidelines established in subsection (2)e of this section, relating to streetscape elements, shall apply to contributing structures.
- g. Renovation, alterations and additions to noncontributing and modern infill structures within the North Hill preservation district.
 - 1. Many of the existing structures within the district do not meet the criteria established for "contributing" structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations and guidelines established in subsection (2)e of this section, relating to streetscape elements, shall apply to noncontributing and modern infill structures. Regulations established in Table 12-3.9 below, shall apply to alterations and additions to existing noncontributing structures. The architectural review board has adopted palettes of historic colors from several paint manufacturers that represent acceptable historic colors for use in the district. Only paint colors approved by the board shall be permitted.

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- 2. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.
- h. Regulations for new construction and additions to existing structures in the North Hill preservation district. New construction is encouraged to be built in a manner that is complementary to the overall character of the district in scale, building materials and colors. The regulations established in subsection (2)e of this section, relating to streetscape elements, shall apply to new construction. Table 12-3.9 describes height, area and yard requirements for new construction and, where applicable, for additions to existing structures in the North Hill preservation district.

TABLE 12-3.9. REGULATIONS FOR THE NORTH HILL PRESERVATION ZONING DISTRICTS

Standards	PR-1AAA	PR-2	PC-1	
Minimum Yard	*30 feet	*15 feet	None	
Requirement	9 feet	7.5 feet	5 feet (for dwellings or	
(Minimum Building	25 feet	25 feet	wood frame structures	
Setbacks)			only)	
Front Yard			15 feet	
Side Yard				
Rear Yard>				
Minimum Lot Area for	9,000 s.f.	<u>5,000</u> 9,000 s.f. for	None	
Residential Uses		single-family and		
		10,000 s.f. for		
		multifamily		
Minimum Lot Width at	50 feet	50 feet	None	
Street Row Line				
Minimum Lot Width at	75 feet	<u>50</u> 75 feet	None	
Building Setback Line				
Maximum Building	35 feet	35 feet	45 feet	
Height				
(Except as Provided in				
Section 12-3-62)				
Minimum Floor Area	N/A	600 s.f. per dwelling	None	
		unit for multifamily		
*Front yard depths in the North Hill Preservation zoning district shall not be less than the average				
depths of the front yards located on the block, up to the minimum yard requirement; in case there				
are no other dwellings, the front yard depths shall be no less than the footages noted.				

- i. *Demolition of structures within the North Hill preservation district.* The demolition provisions established in subsections (1) i through k of this section, applicable to contributing and noncontributing structures within the historic district, shall apply in the preservation district.
- (3) Old East Hill preservation zoning districts: OEHR-2, OEHC-1, OEHC-2 and OEHC-3.

- a. *Purpose.* The Old East Hill preservation zoning districts are established to preserve the existing residential and commercial development pattern and distinctive architectural character of the structures within the district. The regulations are intended to preserve, through the restoration of existing buildings and construction of compatible new buildings, the scale of the existing structures and the diversity of original architectural styles.
- b. *Character of the district.* The Old East Hill neighborhood was developed over a 50-year period, from 1870 to the 1920's. The architecture of the district is primarily vernacular, but there are also a few properties that display influences of the major architectural styles of the time, such as Craftsman, Mission and Queen Anne styles.
- c. *Boundaries and zoning classifications.* The boundaries of the Old East Hill preservation district shall be identified as per a map and legal description, and the zoning classifications of properties within the district shall be identified as per a map, filed in the office of the city clerk.
- d. Uses permitted.
 - 1. *OEHR-2, residential/office district.*
 - i. Single-family detached dwellings.
 - ii. Single-family attached (townhouse or quadraplex type construction) and detached zero-lot-line dwellings. Development must comply with the minimum standards established for the R-ZL zoning district in section 12-3-5(1).
 - iii. Two-family attached dwellings (duplex).
 - iv. Multiple-family attached dwellings (three or more dwelling units).
 - v. Community residential homes licensed by the state department of health and rehabilitative services with seven to 14 residents providing that it is not to be located within 1,200 feet of another such home in a multifamily district, and that the home is not within 500 feet of a single-family zoning district. If it is proposed to be within 1,200 feet of another such home in a multifamily district and/or within 500 feet of a single-family zoning district it shall be permitted with city council approval after public notification of property owners in a 500-foot radius
 - vi. Home occupations subject to regulations in subsection (1)c.1.iv of this section.
 - vii. Bed and breakfast subject to regulations in section 12-3-84.
 - viii. Boarding and lodging houses.
 - ix. Office buildings.
 - x. Studios.
 - xi. Municipally owned or operated parks or playgrounds.
 - Public schools and educational institutions having a curriculum the same as ordinarily given in public schools and colleges subject to regulations in section 12-3-94.
 - xiii. Libraries, community centers and buildings used exclusively by the federal, state, regional, county and city government for public purposes subject to regulations in section 12-3-90.
 - xiv. Churches, Sunday school buildings and parish houses subject to regulations in section 12-3-86.

- xv. Minor structures for the following utilities: unoccupied gas, water and sewer substations or pumpstations, electrical substations and telephone substations subject to regulations in section 12-3-88.
- Accessory structures, buildings and uses customarily incidental to the above uses subject to regulations in section 12-3-55, except that the following shall apply:
 - (a) Accessory structures shall not exceed one-story in height for a maximum height of 25 feet in order for the accessory structure to match the style, roof pitch, or other design features of the main residential structure.
 - (b) The wall of an accessory structure shall not be located any closer than six feet to the wall of the main residential structure.
- xvii. Family day care homes licensed by the state department of children and family services as defined in state statutes.
- 2. *OEHC-1, neighborhood commercial district.*
 - i. Any use permitted in the OEHR-2 district.
 - ii. Child care facilities subject to regulations in section 12-3-87.
 - iii. Nursing homes, rest homes, convalescent homes.
 - iv. Parking lots.
 - v. The following uses, retail only, with no outside storage or work permitted, except as provided herein:
 - (a) Food and drugstore.
 - (b) Personal service shops.
 - (c) Clothing and fabric stores.
 - (d) Home furnishing, hardware and appliance stores.
 - (e) Craft and specialty shops.
 - (f) Banks.
 - (g) Bakeries.
 - (h) Secondhand stores.
 - (i) Floral shops.
 - (j) Martial arts studios.
 - (k) Outdoor sales of trees, shrubs, plants and related landscaping materials as an accessory to indoor retail sales uses permitted by this section, provided that the area is enclosed within a fence attached to the rear or side of the main building, and provided that the outdoor area does not exceed 20 percent of the total area of the main building.
 - (I) Restaurants.
 - (m) Mortuary and funeral parlors.
 - (n) Pet shops with all uses inside the principal building.

- (o) Printing firms.
- (p) Business schools.
- (q) Upholstery shops.
- vi. Conditional uses permitted: animal hospitals, veterinary clinics and pet resorts with fully enclosed kennels and no outside runs. Outside exercise areas permitted only if supervised and limited to five or fewer animals.
- 3. OEHC-2, retail commercial district.
 - i. Any use permitted in the OEHC-1 district.
 - ii. Open air sales of trees, plants and shrubs. The business shall include a permanent sales or office building (including restrooms) on the site.
 - iii. Hospitals, clinics.
 - iv. Private clubs and lodges, except those operated as commercial enterprises.
 - v. Electric motor repair and rebuilding.
 - vi. Appliance repair shop.
 - vii. Garages for the repair and overhauling of automobiles.
 - viii. Sign shop.
 - ix. Photo shop.
 - x. Plumbing and electrical shop.
 - xi. Pest extermination services.
- 4. *OEHC-3, commercial district.*
 - i. Any use permitted in the OEHC-2 district.
 - ii. Dive shop.
 - iii. Fitness center.
 - iv. Theater, except for drive-in.
 - v. Taverns, lounges, nightclubs, cocktail bars.
- e. Procedure for review of plans.
 - 1. *Plan submission.* Every application for a building permit to erect, construct, demolish, renovate or alter an exterior of a building or sign, located or to be located in the Old East Hill preservation district, shall be accompanied with plans as necessary to describe the scope of the proposed work pursuant to subsections (1)d.3 through 5 of this section.
 - 2. Review and approval. All such plans shall be subject to review and approval by the architectural review board established in section 12-12-3. The board shall adopt written rules and procedures for abbreviated review for minor repairs and minor deviations in projects already approved by the board. This process may authorize the board to designate one of its members to undertake such abbreviated review by the entire board; provided, however, such abbreviated review process shall require review by the staff of West Florida Historic Preservation, Inc. If agreement cannot be reached as it pertains to such request for abbreviated review by the board designee and West Florida Historic Preservation, Inc. staff, then the matter will be referred to the entire board for a decision.

- 3. Decisions.
 - i. General consideration. The board shall consider plans for existing buildings based on its classification as contributing, non-contributing or modern infill as depicted on the map entitled "Old East Hill Preservation District" adopted herein, and shall review these plans based on regulations described herein for each of these building classifications. In its review of plans for both existing buildings and new construction, the board shall consider exterior design and appearance of the building, including the front, sides, rear and roof; materials and textures; plot plans or site layout, including features such as walls, walks, terraces, off-street paved areas, plantings, accessory buildings, signs and other appurtenances; and relation of the building to immediate surroundings and to the district in which it is located or to be located. The term "exterior" shall be deemed to include all of the outer surfaces of the building and exterior site work, and is not restricted to those exteriors visible from a public street or place. The board shall consider requests for design materials, alterations or additions, construction methods or any other elements regulated herein, which do not meet the regulations as established in this subsection, when documentary proof in the form of photographs, property surveys, indication of structural foundations, drawings, descriptive essays and similar evidence can be provided. The board shall not consider interior design or plan. The board shall not exercise any control over land use or construction standards such as are controlled by this chapter.
 - ii. Rules governing decisions. Before approving the plans for any proposed building located or to be located in a district, the board shall find:
 - (a) In the case of a proposed alteration or addition to an existing building, that such alteration or addition will not impair the architectural or historic value of the building.
 - (b) In the case of a proposed new building, that such building will not, in itself or by reason of its location on the site, impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity. No plans for new building will be approved if that building will be injurious to the general visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style and materials.
 - iii. No provision of this section shall be interpreted to prevent the restoration or reconstruction of any historic building or feature (as listed by West Florida Historic Preservation, Inc.) in its original style, dimensions or position on its original structural foundation.
 - iv. No provision of this section shall be interpreted to require a property owner to make modifications, repairs or improvements to property when the owner does not otherwise intend to make any modifications, repairs or improvements to the property, unless required elsewhere in this Code.
- f. Regulations and guidelines for any development within the Old East Hill preservation district. These regulations and guidelines are intended to address the design and construction of elements common to any development within the Old East Hill preservation district which requires review and approval by the architectural review board. Regulations and guidelines that relate specifically to new construction and/or structural rehabilitation and repair to existing

buildings, applicable to building heights, setbacks, architectural elements and construction types, are established in subsections (3)f through h of this section.

- 1. *Off-street parking.* Design of, and paving materials for, parking lots, spaces and driveways shall be subject to approval of the architectural review board. For all parking lots, a solid wall, fence or compact hedge not less than three feet high shall be erected along the lot lines when automobiles or parking lots are visible from the street or from an adjacent residential lot.
 - i. OEHR-2 district. All nonresidential development shall comply with off-street parking requirements established in chapter 12-4.
 - ii. OEHC-1, OEHC-2 and OEHC-3 districts. All nonresidential development shall comply with off-street parking requirements established in chapter 12-4. The required parking may be provided off-site by the owner/developer as specified in section 12-4-1(4).
- 2. *Landscaping.* Landscape area requirements and landscape requirements for parking lots within the OEHR-2, OEHC-1 and OEHC-2 districts shall comply with regulations established in section 12-6-3 for the R-2, C-1 and C-2 zoning districts.
- 3. *Signs*. Refer to sections 12-5-2 and 12-5-3 for general sign standards and criteria and for a description of sign area calculations. The location, design and materials of all accessory signs, historical markers and other signs of general public interest shall be subject to the review and approval of the architectural review board. Only the following signs shall be permitted in the Old East Hill preservation district:
 - i. Temporary accessory signs.
 - (a) One non-illuminated sign advertising the sale, lease or rental of the lot or building, said sign not exceeding six square feet of area.
 - (b) One non-illuminated sign not more than 50 square feet in area in connection with new construction work, and displayed only during such time as the actual construction work is in progress.
 - ii. Permanent accessory signs.
 - (a) North 9th Avenue, Wright Street, Alcaniz Street and Davis Street. For churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including office and retail buildings) or historic sites serving as identification and/or bulletin boards, one freestanding or projecting sign and one attached wall sign or combination of wall signs placed on the front or one side of the building not to exceed 50 square feet in area. The signs may be painted on the building, mounted to the face of the wall of the building, hung from a bracket that is mounted to a wall of a building, hung from other ornamental elements on the building, or may be freestanding. Signs projecting from a building or extending over public property shall maintain a clear height of nine feet, six inches above the public property and shall not exceed a height of 12 feet. Freestanding signs shall not exceed a height of 12 feet.
 - (b) All other streets in the district. One sign per lot per street frontage for churches, schools, apartment buildings, boarding or lodging houses, libraries, community centers, commercial buildings (including office and

retail buildings) or historic sites serving as identification and/or bulletin boards not to exceed 12 square feet in area and eight feet in height; provided, however, that signs projecting from a building or extending over public property shall maintain a clear height of nine feet six inches above the public property and shall not exceed a height of 12 feet six inches. The sign may be mounted to the face of the wall of the building, hung from a bracket that is mounted to a wall of a building, hung from other ornamental elements on the building, or may be freestanding. The sign may be illuminated provided that the source of light is not visible beyond the property line of the lot on which the sign is located.

- (c) One non-illuminated nameplate designating the name of the occupant of the property; the nameplate shall not be larger than three square feet and shall be attached to the dwelling. This section shall be applicable to occupants and home occupations.
- (d) Municipal or state installed directional signs, historical markers and other signs of a general public interest when approved by the board.
- 4. *Fences.* All developments in the Old East Hill preservation zoning districts shall comply with fence regulations as established in section 12-3-63. Fences are subject to approval by the architectural review board. Approved materials will include but not necessarily be limited to wood, brick, stone or wrought iron. No concrete block or barbed wire fences will be permitted. Chain-link fences shall be permitted in side and rear yard only.
- 5. Additional regulations. In addition to the regulations established above in subsections (1)f.1 through 4 of this section, any permitted use within the Old East Hill preservation district where alcoholic beverages are ordinarily sold is subject to the requirements of chapter 7-4.
- g. Restoration, rehabilitation, alterations or additions to existing contributing structures in the Old East Hill preservation district.
 - 1. The Secretary of the Interior's standards for rehabilitation, codified at 37 CFR 67, and the related guidelines for rehabilitating historic buildings shall form the basis for rehabilitation of existing contributing buildings. The proper building elements should be used in combinations that are appropriate for use together on the same building. Documented building materials, types, styles and construction methods shall be duplicated when making repairs, alterations and/or additions to contributing structures. Any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances.
 - 2. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to contributing structures. Regulations established in Table 12-3.10 shall apply to alterations and additions to contributing structures.
- h. Renovation, alterations and additions to non-contributing and modern infill structures within the Old East Hill preservation district.
 - 1. Many of the existing structures within the district do not meet the criteria established for contributing structures, even though they may be similar in style to the historic structures, and some structures are modern in style with no relation to the historic structures. All of these buildings shall be recognized as products of their own time. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to non-contributing and modern infill structures. Regulations established in Table 12-3.10 shall apply to alterations and additions to existing non-contributing structures.

- 2. In review of these structures the board may make recommendations as to the use of particular building elements that will improve both the appearance of the individual structure, its relationship with surrounding structures and the overall district character.
- Regulations for new construction in the Old East Hill preservation district. New construction shall be built in a manner that is complementary to the overall character of the district in height, proportion, shape, scale, style and building materials. The regulations established in subsection (3)f of this section, relating to streetscape elements, shall apply to new construction. Table 12-3.10 describes height, area and yard requirements for new construction in the Old East Hill preservation district.
- j. *Demolition of structures within the Old East Hill preservation district*. The demolition provisions established in subsections (1) i through k of this section, applicable to contributing and non-contributing structures within the historic district, shall apply in the preservation district.

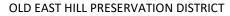
TABLE 12-3.10. REGULATIONS FOR OLD EAST HILL PRESERVATION ZONING DISTRICTS

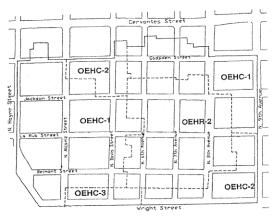
Standards	OEHR-2	OEHC-1	OEHC-2	OEHC-3
Minimum Yard Requirement (Minimum Building Setbacks) Front Yard Side Yard Rear Side	*15 feet 5 feet 15 feet	There shall be a 5-foot side yard setback, but no front or rear yard setbacks, unless this chapter requires a larger yard or buffer yard.		None
Minimum Lot Area For Residential Uses				
Single-family Detached Residential Duplex Residential Multifamily Residential	3,500 s.f. 5,000 s.f. 9,000 s.f.	None		
Minimum Lot Width at Street Row Line	30 feet	None		
Minimum Lot Width at Building Setback Line	30 feet	None		
Maximum Lot Coverage	N/A	The maximum combined area of all principal and accessory buildings shall not exceed 50% of the square footage of the lot.None		None

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Maximum	Residential buildings shall not exceed two stories in height, with a usable attic.	
Building Height	No building shall exceed 35 feet in height, except that three feet may be added	
(except as	to the height of the building for each foot the building is set back from the	
provided in	building setback or property lines to a maximum height of 45' with approval of	
section 12-3-62)	the architectural review board.	
Minimum Floor	600 square feet per dwelling unit	
Area For		
Multifamily		
Developments		
*Front yard depths in the Old East Hill preservation zoning district shall not be less than the average		
depths of all of the front yards facing the street on the block, up to the minimum yard requirement; in		
case there are no other dwellings, the front yard depth shall be no less than the footage noted.		

(Code 1986, § 12-2-10; Ord. No. 6-93, §§ 7, 8, 3-25-1993; Ord. No. 17-93, § 1, 6-10-1993; Ord. No. 29-93, §§ 7—12, 11-18-1993; Ord. No. 32-93, §§ 1, 2, 12-16-1993; Ord. No. 3-94, §§ 5, 6, 1-13-1994; Ord. No. 11-94, § 2, 4-14-1994; Ord. No. 9-96, §§ 5—8, 1-25-1996; Ord. No. 35-97, §§ 1—3, 10-23-1997; Ord. No. 40-99, §§ 6—9, 10-14-1999; Ord. No. 44-99, § 1, 11-18-1999; Ord. No. 13-00, § 1, 3-9-2000; Ord. No. 50-00, §§ 1, 2, 10-26-2000; Ord. No. 2-01, §§ 1—3, 1-11-2001; Ord. No. 6-02, § 2, 1-24-2002; Ord. No. 22-02, § 1, 9-26-2002; Ord. No. 13-06, §§ 5—9, 4-27-2006; Ord. No. 03-09, § 1, 1-8-2009; Ord. No. 16-10, §§ 198, 199, 9-9-2010; Ord. No. 05-17, § 1, 3-9-2017; Ord. No. 11-18, § 1, 9-13-2018)





Standards	PR-1AAA	PR-2	PC-1		
Minimum Yard	*30 feet	*15 feet	None		
Requirement	9 feet	7.5 feet	5 feet (for dwellings or		
(Minimum Building	25 feet	25 feet	wood frame structures		
Setbacks)			only)		
Front Yard			15 feet		
Side Yard					
Rear Yard>					
Minimum Lot Area for	9,000 s.f.	<u>5,000</u>	None		
Residential Uses		single-family and			
		10,000 s.f. for			
		multifamily			
Minimum Lot Width at	50 feet	50 feet	None		
Street Row Line					
Minimum Lot Width at	75 feet	<u>50</u> 75 feet	None		
Building Setback Line					
Maximum Building	35 feet	35 feet	45 feet		
Height					
(Except as Provided in					
Section 12-3-62)					
Minimum Floor Area	N/A	600 s.f. per dwelling	None		
		unit for multifamily			
*Front yard depths in the North Hill Preservation zoning district shall not be less than the average					
depths of the front yards located on the block, up to the minimum yard requirement; in case there					
are no other dwellings, the front yard depths shall be no less than the footages noted.					

