



# City of Pensacola

## Architectural Review Board

### Agenda - Final

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Thursday, February 18, 2021, 2:00 PM

Hagler-Mason Conference Room,  
2nd Floor

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Members of the public may attend the meeting in person; however, there will be limited seating capacity. Consistent with CDC guidelines, attendees will be required to sit at least 6 feet apart and to wear face coverings that cover their nose and mouth.

#### CALL TO ORDER / QUORUM

#### APPROVAL OF MINUTES

1. [21-00132](#) JANUARY 21, 2021, ARCHITECTURAL REVIEW BOARD MINUTES

Attachments: [01-21-21 ARB Minutes](#)

#### OPEN FORUM

#### NEW BUSINESS

2. [21-00133](#) 901 N. REUS STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2  
CONSTRUCTION OF NEW IN-GROUND POOL AT  
NONCONTRIBUTING STRUCTURE

Attachments: [Images](#)  
[Application Packet](#)

3. [21-00136](#) 101 S. PALAFOX PLACE  
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C2-A  
EXTERIOR ALTERATIONS TO A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)  
[Images](#)  
[Application Packet 2.9.2021](#)

4.     [21-00158](#)     1380 N. SPRING STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA  
NEW CONSTRUCTION OF A GARAGE WITH SECOND-STORY LIVING  
QUARTERS AT A CONTRIBUTING STRUCTURE

*Attachments:*     [Florida Master Site File](#)  
                          [Images](#)  
                          [01-21-21 ARB Minutes](#)  
                          [Application Packet](#)  
                          [Added Images of Garden 2.17.2022](#)

5.     [21-00175](#)     904 N. BARCELONA STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2  
CHANGE OF ROOFING MATERIALS ON A CONTRIBUTING  
STRUCTURE

*Attachments:*     [Images](#)  
                          [Application Packet](#)

6.     [21-00183](#)     220 W. GADSDEN STREET  
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2  
MODIFICATIONS TO NEW CONSTRUCTION

*Attachments:*     [Images](#)  
                          [Materials from Staff 2.17.2021](#)  
                          [Application Packet REVISED 2.17.2021](#)

7.     [21-00140](#)     423 E. INTENDENCIA STREET (VACANT REAR LOT)  
PENSACOLA HISTORIC DISTRICT / ZONE HR-1 / WOOD COTTAGES  
NEW CONSTRUCTION

*Attachments:*     [Images](#)  
                          [Staff Records from December 2020](#)  
                          [Application Packet REVISED 2.17.2021](#)

8.     [21-00139](#)     190 W. GOVERNMENT STREET  
GOVERNMENTAL CENTER DISTRICT / ZONE C-2A  
ALTERATIONS TO A NONCONTRIBUTING STRUCTURE

*Attachments:*     [Images](#)  
                          [Application Packet](#)



9.     [21-00163](#)     150 S. BAYLEN STREET  
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A  
CONCEPTUAL REVIEW OF A NEW SINGLE TOWNHOUSE  
DEVELOPMENT

Attachments:     [Images](#)  
                      [Application Packet REVISED 2.17.2021](#)

## ADJOURNMENT

*The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.*

*If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

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# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00132

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

January 21, 2021, Architectural Review Board Minutes



## **MINUTES OF THE ARCHITECTURAL REVIEW BOARD**

**January 21, 2021**

**MEMBERS PRESENT:** Vice Chairperson Mead, Board Member Fogarty, Board Member Ramos, Board Member Spencer, Board Member Villegas, Board Member Yee

**MEMBERS ABSENT:** Chairperson Salter

**STAFF PRESENT:** Historic Preservation Planner Harding, Senior Planner Statler, Board Advisor Pristera, Network Engineer Johnston

**STAFF VIRTUAL:** Planning Director Morris, Assistant City Attorney Lindsay

**OTHERS VIRTUAL:** Blair LeJeune, Gregory Pierce, Greyson Roberts, Jase Graves, Michael Crawford, Scott Holland, William Brantley, Philip Partington, Richard Sherrill, Dan Girardin, Kevin and Lina Stephens, Lisee Sherrill, John Tucker, Michelle Burch, Dieter Borrell, Chris Sheppard

### **CALL TO ORDER / QUORUM PRESENT**

Vice Chairperson Mead called the meeting to order at 2:01 p.m.

### **APPROVAL OF MINUTES**

**Board Member Fogarty made a motion to approve the December 17, 2020 minutes, seconded by Board Member Yee, and it carried unanimously.**

### **OPEN FORUM** - None

### **NEW BUSINESS**

**Item 1**

**585 E. Romana**

**PHD**

**Noncontributing Structure**

**Street**

**HR-2**

**Action taken: Approved.**

#### **Construction of New In-Ground Pool at Non-Contributing Structure**

Chris Sheppard (Cox Pools of the Southeast) is requesting approval for a new in-ground swimming pool and Travertine at a noncontributing property. The proposed 20'x10' pool will be located in an existing paved area between the primary structure and accessory garage. Approval was given by the Aragon Architectural Review Board. Mr. Sheppard presented to

the Board and stated the pool was approximately 1.5' out of the ground, and they were following all the rules of the HOA. Board Member Ramos asked about the pool equipment, and Mr. Sheppard explained it would not be visible.

**Board Member Fogarty made a motion to approve as submitted, seconded by Board Member Yee, and it carried unanimously.**

**Item 2**

**400 Bayfront Parkway**

**PHD  
HC-1**

**Noncontributing Structure-  
New Construction**

**Action taken: Approved with abbreviated review.**

Mallory Studer is requesting approval for exterior renovations and the additions of accessory structures. The scope of work includes landscape and hardscape changes, the addition of event spaces in the front and rear, as well as associated accessory structures such as a bathroom facility and pavilion.

Mr. LeJuene presented to the Board and stated they were being mindful of what the house was originally and were building on the present foundation, tying two parcels into one. He advised the existing accessory structure was rotting, and they were working that into an ADA functional bathroom. He also explained they would be removing some ancillary trees but would follow the appropriate guidelines. He stated they would create a more formalized entrance along Alcaniz using permeable pavers and an underground storage tank for stormwater mitigation. He provided illustrations of the event/performance pavilion and the reimaging entrance for the hotel. Mr. Pierce advised steps to the entrance would be curved out, and the railing would match the existing railing, with a newel post at the end. They were within the allowed square footage for signage. In keeping with the neighborhood aesthetic, the open-air event pavilion would have storage for tables and chairs, with details which were derivative of the street frontage on Zarragossa.

Board Member Spencer needed clarification on Alcaniz, and it was noted the steps were existing. He also explained in Florida, the ADA bathrooms require lavatories in the ADA stalls, which would require the bathroom configuration to be larger. Staff clarified the applicants had been advised of a footprint redesign which might return through an abbreviated review. Board Member Ramos asked about the pavilion street frontage on Zarragossa, and it was determined the knee wall was just on the Zarragossa side, and the building itself was not raised; a planted hedge would screen the bottom portion. Mr. LeJuene explained they were trying to respect what exists on Zarragossa. Advisor Pristera asked about the brackets and turned elements on the porch. Mr. Pierce advised the intent was to make it look like the houses on Zarragossa with a raised porch and a brick foundation making the columns on that side shorter. At the Garden entrance, the columns were substantially longer, and they added the spandrel and brackets so it would not appear spindly.

Board Member Spencer asked about the brick base on Zarragossa which looked more like a raised slab as opposed to a pier foundation. He explained there was a way to create the look of piers with brick veneer under the columns. Vice Chairperson Mead pointed out the enclosed portion adjoining the pavilion on the west side looked out of joint since it was not following the sketch of the proposed pier footings, and there was a disconnect with the rooflines. This could be revised to raise the level of the enclosed structure to that of the roofline, bringing up the base consistent with the pavilion. Board Member Yee stated regarding the brick base it might not be required given the 4' hedge. Chairperson Mead advised he was always concerned with

substituting landscaping for arched features since landscaping would not be permanent. Board Member Villegas asked about emergency vehicles, and Mr. LeJuene advised the driveway had been relocated to the east side adjacent to an existing drive. It was determined they were not adding any corbels or other elements to the main structure, but they would need to infill two additional panels from the current railing configuration since the stairs were 16' at the top and 8' at the bottom.

**With no other comments, Board Member Spencer made a motion to approve with modifications as suggested by the Board in an abbreviated review. Board Member Villegas seconded the motion, and it carried unanimously.**

<b>Item 3</b>	<b>314 S. Alcaniz Street</b>	<b>PHD</b>
<b>New Construction</b>		<b>HC-1 / Wood Cottages</b>

**Action taken: Approved.**

Scott Holland is seeking *final* approval for a new two-story, single-family residence. The demolition of the existing noncontributing structure was approved in December 2019, and a conceptual review for the new construction was approved by the Board in May 2020.

Mr. Holland presented to the Board and stated it would be a single-family residence of 2,000 sq. ft. for him and his wife. The upstairs would be the main living space. Since the Board had new members, staff provided the previous minutes for the conceptual review. Vice Chairperson Mead addressed the corrugated roof panel, and Mr. Holland stated those were aluminum brackets which were powder coated, and he was proposing heavy-timber wood brackets, but the panels would not be visible from below. He also stated he intended to use sod for the driveway but had not discussed this with the landscaper. Board Member Spencer felt this would be a great addition to help frame the historic Seville Square.

**Board Member Spencer made a motion for final approval, seconded by Board Member Fogarty, and it carried unanimously.**

<b>Item 4</b>	<b>1380 N. Spring Street</b>	<b>NHPD</b>
<b>Demolition</b>		<b>PR-1AAA</b>

**Action taken: Approved.**

Philip Partington is requesting approval to demolish a noncontributing accessory structure located in the northeast corner of their lot. In its place, the applicants are proposing to construct an accessory dwelling unit (ADU) with a garage on the ground floor and living space on the second. Staff advised that typically when the Board approved a demolition, it requested to see what would be constructed in its place. Once the demolition was approved, the Board could consider the design aspects. It was clarified that the house itself was a contributing structure. Staff then read the applicable demolition requirements for structures in Sec. 12-2-10(A)(10). Advisor Pristera stated he did not find anything significant about the structure.

Mr. Partington presented to the Board and explained the Sherrills had done a fantastic job in renovating the cottage in the Dutch Colonial style. He informed the Board that the existing shed had wood rot, and Hurricane Sally had not done it any favors, and they wanted to build a new accessory building with a residential unit above it in its place. Vice Chairperson Mead stated final plans must be approved prior to demolition of a contributing structure. Staff advised the demolition could be approved, but no permit could be obtained until the applicant got at the very minimum a conceptual approval with firm foundations approved by the Board. Mr. Partington shared the site plan and pointed out the beautiful garden at the south end of

the property, but the clients needed a small garage with a residential unit above it. They tried to be sensitive to the existing structure and adapted the architectural language to this addition with features matching the house. Vice Chairperson Mead stated North Hill's comments addressed the placement and turning radius for the garage entrance. It seemed convoluted to get in and out of the garage especially when backing out of the driveway which might risk impact to the contributing structure. Mr. Partington stated it was not a suburban-type garage and would take a couple of turns to access the garage, which was not uncommon in an historical or urban setting. North Hill suggested shifting the garage to the south, placing the entrance on the north side to make that turn. Mr. Partington stated that was an option, but it would encroach on the historic garden. Vice Chairperson Mead asked if they could flip the entrance to the garage to shorten up that area which could give more space for a turning radius and still place the entrance on the north side, keeping the porch on the south side.

Board Member Yee asked for the required setbacks for the garage and the accessory unit. Staff determined in North Hill you could not have a two-story residential structure unless that residential space is situated above a garage. When you get to the height level which would require two floors, the ADU would then have to meet the side yard setback of the primary structure. In this case, the side yard setback was 9' and typically in this district, it was 5' or 7.5'. On the rear, it could be situated 5' off the property line of the dwelling. Senior Planner Statler explained if you have a detached garage with an ADU above it, then the maximum height is 30' and you are subject to the rear yard at 5' and a side yard setback the same as the primary. Staff advised that accessory structures were different in nature from an ADU and specifically different in the Code.

Chairperson Mead did not have a problem with considering the demolition permit. It was determined the applicant could ask for conceptual approval while seeking a variance. Board Member Villegas stated style wise, the structure was complementary to the house, but size wise it was important to understand visually from the street how it was affecting the contributing structure. Advisor Pristera cautioned against the variance since this lot was large and had a lot of buildable area; we would be looking at a self-imposed hardship in this case, and you would have to make a strong case of why the structure would have to be placed in that location.

**Board Member Ramos made a motion to approve the demolition of the noncontributing accessory structure, seconded by Board Member Villegas, and it carried 5 to 1 with Board Member Spencer recusing himself from the item.**

**Item 5**

**1380 N. Spring Street**

**NHPD**

**New Construction**

**PR-1AAA**

**Action taken: Denied.**

Mr. Partington wanted to give as much flexibility to move forward with the final approval.

**Board Member Ramos made a motion to deny the application based on the comments provided by the North Hill Preservation Association with which the Board agreed pursuant to Section 12-3-10(2)(D)(2)(ii)(b) which states in the case of a proposed new building, that such building will not in itself or by reason of its location on the site impair the architectural or historic value of the buildings on adjacent sides or in the immediate vicinity. No plans for a new building will be approved if that building will be injurious to the general or visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials, and colors. Vice Chairperson Mead seconded the motion with the amendment that the objections from**

**North Hill are specifically that the proximity and location of the entrance to the garage do not provide for adequate turning radius or backup area and place the contributing structure at risk. It was accepted by Board Member Ramos and he added that if the application did return to the Board, the Board would need to see the relationship of the proposed accessory structure to the existing structure, mass, and height to help with a better decision. The motion was seconded as amended and carried 5 to 1 with Board Member Spencer recusing.**

**Item 6**

**10 and 14 S. Palafox PI**

**PHBD**

**Contributing Buildings**

**C-2A**

**Action taken: Conceptual Approval Denied.**

George Biggs is requesting approval to add an access stairway to connect two contributing buildings. Staff advised the Inspections Department had reviewed the plans and were satisfied, and this item was for *conceptual review* in order to give the contractor confidence to obtain engineering drawings for final review.

George Biggs presented to the Board and stated Mr. Sharruf owned both buildings but had recently purchased 10 S. Palafox and wanted to use his elevator between the office and the future residence. The connection would be approximately 5' long and 6' wide and would match the existing balcony and rails in materials and color.

Board Member Spencer advised he had been in contact with someone involved in the application prior to the meeting. He explained the Board was being asked to give conceptual approval for more of a convenient transportation link, but he felt he could support it conceptually, but the Board would be looking at the detail in the final review. Board Member Villegas explained she would not approve it conceptually as presented and felt it was correct to return with the correct drawings which would indicate the technical aspects, safety measures with the materials more clearly described. Staff advised the Board as a reviewing body was reviewing the design and not the use which should be defined in the motion. Board Member Villegas indicated proper drawings from an architect would be necessary to approve conceptually, and there was not enough information to make that determination. Board Member Ramos explained these were two contributing structures, but the application was only showing use with no design to conceptually approve; the cut sheet for the door was not architecturally congruent with the style of the contributing structure. Vice Chairperson Mead asked should two contributing structures of different character be connected. Advisor Pristera indicated if this were on the front of the building, he would be opposed to it, however, the rear of the buildings has changed over time; the portion the elevator was connecting to was not there before, the balcony portion had been redone a number of times, and this would be a utility feature in the rear. He pointed out none of this was meant to be seen, and he saw the applicant asking for permission to bridge the gap between the two structures and then go forward with the design. Vice Chairperson Mead asked if there was some guidance from the Secretary of Interior, and Advisor Pristera stated that might be better considered when the item returned. Board Member Spencer indicated he was supportive of the concept and appreciated staff consulting the building officials to ensure this discussion was valid. He also felt it was relevant to recite that the back area of those buildings has been a service alley and has become more of a service alley as the buildings have adapted to new occupancies, many of them restaurants requiring exhaust fans; he had been impressed by the owner's renovation and adaptive reuse of a historic building which was crumbling. He supported the effort but

needed more details to make an informed decision.

If the buildings came under different ownership, Vice Chairperson Mead felt the Board needed to look at the design elements with that in mind. Staff clarified that if this Board approved the conceptual review, that would tell the applicant the basics of the design were enough for him to provide additional detail; the applicant was feeling the waters to see if it was worth his time to compile those details for a final review.

**Vice Chairperson Meade made a motion to deny the conceptual approval as not having adequate descriptions for understanding of the design and approach with regard to these questions based on the comments made. Board Member Villegas seconded the motion.** Advisor Pristera saw it as the applicant asking permission to bridge the gap; could the applicant resubmit with another plan or the Board was not good with them bridging that gap. Mr. Biggs explained they were feeling the waters to see if this concept or bringing these two balconies together was plausible with the ARB. Vice Chairperson Mead stressed the sense of the permanence of the connection between the two structures which were structurally and historically independent was of concern; he asked if it could be done in a way that would not create the permanence while providing the utilitarian requirements of use which could be modified to give them this distinction and separation; he felt there were methods to accomplish this.

Board Member Ramos agreed and felt the applicant was asking for conceptual review but felt the goal of the Board was to review what was presented and provide an opinion of whether or not it was a benefit to the historical property or would take away from it. He felt comfortable with approving conceptually and giving the applicant the homework to bring back much more detail that was architecturally appropriate for the properties modified. Board Member Villegas offered it was really in the details, and there could have been more suggestions to show the project path. Board Member Spencer indicated the applicant had spent \$250.00 to test the waters, and if he were the applicant, he would feel the Board generally could be supportive with more information, and he advised them to submit for final approval regardless of the vote. He also felt the Board deserved more finite information with a conceptual submittal. **The vote to deny then carried 5 to 1 with Board Member Fogarty dissenting (Section 12-3-27)(E)(1) Submission of Plans).**

#### Item 7

#### 617 Crown Cove

#### PHD / SSD

#### Variance

#### WOOD COTTAGES

**Action taken: Approved.**

Dan Girardin is seeking a Variance to reduce the maximum west side yard setback from three (3) feet to one (1) foot, nine (9) inches to accommodate a new three-story single-family residence. Staff explained the variance would be considered first and then the conceptual design would follow. The Board would be acting in a quasi-judicial manner. It was determined this was a variance to the west side yard setback only; the design materials could not be considered in the variance review. Assistant City Attorney Lindsay explained the Board was only to make a decision on what was presented at this hearing; information received before this hearing should be disclosed so the applicant could give a rebuttal. The Board should focus on being fair to the applicant so there was transparency on why the Board made their decision. Once all the evidence was presented, the Board members could debate among themselves on whether the evidence supported the variance being granted. The Board should state what criteria was either met or not met when giving its decision; this decision could be



challenged and presented to Council within 15 days for consideration.

Vice Chairperson Mead indicated quasi-judicial proceedings had been overturned when there was a lack of sworn testimony on points which controlled the outcome and preferred swearing in for the quasi-judicial process but left it up to the applicant in how to proceed. Assistant City Attorney Lindsay advised if it were not feasible for someone to be sworn in, concerns could be placed in the record, i.e., questions concerning the documents, taking testimony on someone's word.

Brian Spencer presented to the Board and stating the applicant was also participating. Staff advised there were no public comments concerning this item. It was also noted that the next step for an appeal would be through Council. Historic Preservation Planner Harding explained a Site Specific Development (SSD) is a development that was created and approved by Council prior to 1990; SSDs house developments that were not conforming to the surrounding districts. This application would be a specific development with specific land design standards not compatible and not contiguous with the surrounding district. This specific SSD is Crown Cove and with SSDs, the requirements are more restrictive than the surround district, but this was not the case with Crown Cove which was created in the 1980s. In the materials provided, there were suggestions to what the development might be – not requirements. He pointed out with SSDs within the ARB district, staff did not want to overrule the Board. For transparency, if ARB denied this request, the applicant could apply for an amendment to the SSD itself or appeal to Council. If the ARB was uncomfortable in approving this variance but was comfortable with senior staff making that decision, the variance could be approved subject to senior staff approval.

Mr. Spencer thanked the staff for its investigative efforts and clarified that the requested variance of 15" was the length of the stairwell element of the project 13' 6" in length. He pointed out prior to Hurricane Sally, this structure was underway, and the owners made a decision to change construction type to ICF which created a much thicker wall assembly. The variance requested was consistent with the existing structures or residences in the subdivision that protrude into the setback. They felt the variances requested were enjoyed by other property owners in the same subdivision with similar protrusions into the setback area. In this particular case, the applicant had chosen to fund a more expensive construction type to withstand increased storm activity.

Board Member Mead asked what in the design was driving the need for a variance. It was determined there were maximum dimensions for tread/risers which were suitable and safe for ascending from floor to floor, and they were at the tip of what was acceptable for tread and riser dimension. Carrying it up the second and third floors created pinch points as far as clearance for circulation. He explained this home was designed for long-term and potential ADA compliance for wheelchairs.

Board Member Ramos addressed the basement plan and a reduction on the east side. Staff explained the way the Code classified yards was unobstructed space from the ground up, and the subsurface basement area was not included as part of the measurement. (Board Member Mead left the meeting at this time and Board Member Fogarty assume the Vice Chair function.) Staff furnished letters of support from the Crown Cove HOA for the project. Staff also offered this SSD was meant to be flexible in its design.

Mr. Stephens, the homeowner, explained they were subjected to Hurricane Sally similar to their other neighbors. They then considered other alternatives to construction more resistant to those weather conditions. He also indicated his mother was in a wheelchair, and the ADA

accommodations were for her. Advisor Pristera advised he had read the variance criteria concerning No.5 and stated they were not asking for an entire wall, but only a small portion; looking at the first floor and basement it seemed to be a major pinch point, and 15" would be a lot to make up; he felt they had minimized the request.

**Board Member Villegas made a motion to approve the variance, seconded by Board Member Ramos. He added it was important to have the HOA support and pointing out the encroaching piers on the east side of the property; he further asked that the approval be signed off by senior staff. The amendment was accepted.** Staff explained this was an SSD, and it would be different if it were in North Hill or in any other district with specific codes for development. **The motion then carried 4 to 1 with Board Member Spencer recusing.**

#### Item 8

#### 617 Crown Cove

#### PHD / SSD

#### New Construction

#### WOOD COTTAGES

#### Action taken: Conceptual Approval.

Dan Girardin is requesting *conceptual* approval for a new three-story single-family residence. The new construction will feature entertaining areas and a pool on the ground floor and living space on the second and third. Additionally, there will be a basement accessed by a car elevator and a rooftop terrace. Revisions to the rooftop floorplans and an alternate east and south elevation were distributed to the Board.

Mr. Spencer stated after listening to guidance from staff, they thought it prudent to seek conceptual approval for any design modifications thought necessary by the Board. Staff advised modern designs were allowed in the historic district as long as they compliment the district. The Board has the power to deviate from the standard, however, with the materials given for Crown Cove, the architecture would reflect a more British style of Gulf-Coast Caribbean with Spanish-American and Victorian elements that blend the project in with the 1890s atmosphere of the Seville Historic District; this allows this architect to borrow elements from these particular styles and incorporate them into their modern designs.

Board Member Villegas thought the layout was wonderful but was not sold on the appearance next to the other structures which took into account the surrounding area. Mr. Spencer noted the whalebone house had generated a lot of dialogue, but he felt there were some things in Crown Cove which had similar proportions, and there was an intentional interpretation and adaptation as opposed to replication. Board Member Villegas pointed out the whalebone house on 9<sup>th</sup> and that section of Aragon had its own entity, but she felt this structure was different for where it was located. Board Member Ramos appreciated the tropical modern style and did not feel it was inappropriate for the area. He pointed out from the drawings the height appeared to be 47' at the middle of the roof; staff indicated the height of the structures will vary according to each specific building, but it was believed 40' would be the maximum height; in reality, there was no height maximum for this SSD. The surrounding districts had a maximum height of 35' but close to Privateers Alley, adjacent buildings were 55'. Heights in Crown Cove vary from 35' to 42'. Board Member Villegas stated her concern was the surrounding properties were historically relevant, and this was a show piece in the middle. Historic Preservation Planner Harding advised they had previous conversations about this and although it was an SSD, it was still in the Wood Cottages District. The Board has the power to deviate from materials and designs, however, in the Wood Cottages District, structures are required to be more than half wood or a wood-like product. In Crown Cove, the structures are

partially Hardie board and stucco.

Advisor Pristera stated when he first saw the structure, he felt it was too modern for the historic district but adding historic features would look like a mish-match of styles. He explained they did not want to add other styles to the whalebone house either; as a preservationist, he loves pure styles no matter what they are. He felt if they were going modern, it should be pure modern as shown, and its location does not distract from the historic district. Board Member Villegas agreed siding would not look appropriate on this house. Mr. Stephens advised the HOA liked the design. Board Member Fogarty liked the tapered column and other details and thought it was very special. Board Member Yee appreciated the design and felt Hardie did not belong on the structure. He was surprised the Board had approved the "Top of Ninth" or whalebone structure. He did realize that the nature of Bayfront was different, and the type of development that would be going in that area adjacent to 9<sup>th</sup> Avenue was probably more fitting with this project. He reluctantly supported the project in this location and stated the design was great.

**Board Member Ramos made a motion for conceptual approval and felt the Board wanted to keep it pure without the siding, and let it be the jewel it plans to be. The motion was seconded by Board Member Yee. The motion carried 4 to 1 with Board Member Spencer recusing.**

**Item 9**

**100 W. Garden Street**

**PHBD**

**Contributing Structure**

**C-2A**

**Action taken: Discussion only.**

Michael Crawford (Caldwell Associates Architects) is presenting the following project for *conceptual review and discussion*. No action from the Board is being requested. The applicant is considering a makeover of the exterior building and the feasibility of applying a masonry stain (not paint) to the existing red brick.

Mr. Crawford thanked Advisor Pristera for the historical information. Mr. Pristera stated there was a three or four-page newspaper ad touting how modern the bank building was and all the special features it had. That stretch of Garden Street had those bank buildings which were the first in the modernization of downtown in the 1960s. Mr. Crawford indicated Adams Homes occupies the 2<sup>nd</sup>, 3<sup>rd</sup>, and 4<sup>th</sup> floors; they are looking to turning the building into 100 W. Garden Street. They plan to leave the 1st floor as future retail mixed use. He asked if the Board would entertain the use of a stain to recolor the brick on the building. This was unpainted original brick and they reached out to a manufacturer, but they wanted the Board's feedback before proceeding to the next level. They were currently looking at Nawkaw stain to change and update the overall street presence of this building; they felt the darker greys would probably be more successful over the red base.

Staff advised that the building was a contributing structure in City records, however, there were several structures listed as contributing that were not and vice versa. Advisor Pristera explained in looking at the 2011 form, it was probably a clerical error; this was a modernistic building which represented this period of style but was not the purest example, and the other bank buildings had a more cohesive look to them. Staff agreed if this were in the GCD, we would have a different conversation since the building treatments were different. Board Member Villegas liked the idea of staining and showing the brick, the treatment of the panel as well as the checkerboard element. Board Member Spencer explained the south facing panelization with the windows was a right opportunity to do something that was disciplined

and would be disappointed if he saw whimsy. This building was ordinary, serious, and utilitarian, and he felt it was great they were not trying to over complicate this and add icing on the cake. He suggested spending time standing in the tarmac parking lot which has no trees; the black surface is facing south and west. He also offered the west-facing giant murals have a short shelf life. Advisor Pristera stated their committee would review the murals to make sure they were not saturating the downtown; they learned using black and white for the west facing murals was better and they were getting better longevity than first imagined. Board Member Yee indicated that stain was a good solution and would be a huge improvement. The south panels gave an opportunity to have some type of treatment of the façade, but he was not sold on the checkerboard. Any way they could open up the ground level to activate retail would be a good thing.

The Board went on record to support the noncontributing structure classification. Mr. Crawford advised he would return for a final approval. Board Member Spencer suggested looking at the Deeze website. Board Member Villegas suggested giving some nods to the 50s and 60s. Board Member Spencer suggested doing a shading device that would be more thoughtful but not canvas; Mr. Crawford indicated this would be some sort of horizontal element and not canvas.

**DISCUSSION:** None.

**ADJOURNMENT** – With no further business, the meeting adjourned at 6:03 p.m.

Respectfully Submitted,

 1-27-2021

Historic Preservation Planner Harding  
Secretary to the Board



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00133

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

901 N. Reus Street  
North Hill Preservation District / Zone PR-2  
Construction of New In-ground Pool at Noncontributing Structure

### **BACKGROUND:**

Alfred Lojo is requesting approval to construction a new 12' x 24' in-ground pool and to relocate a section of privacy fencing in the northeast corner of the property. The new pool will be at ground level and it will surrounded with new paver deck and Travertine coping. The relocated portion of fencing will be pulled approximately 12.5' closer to Reus Street and consistent with the current fence line on the south. There is no proposed change to the fence material, style, or height.

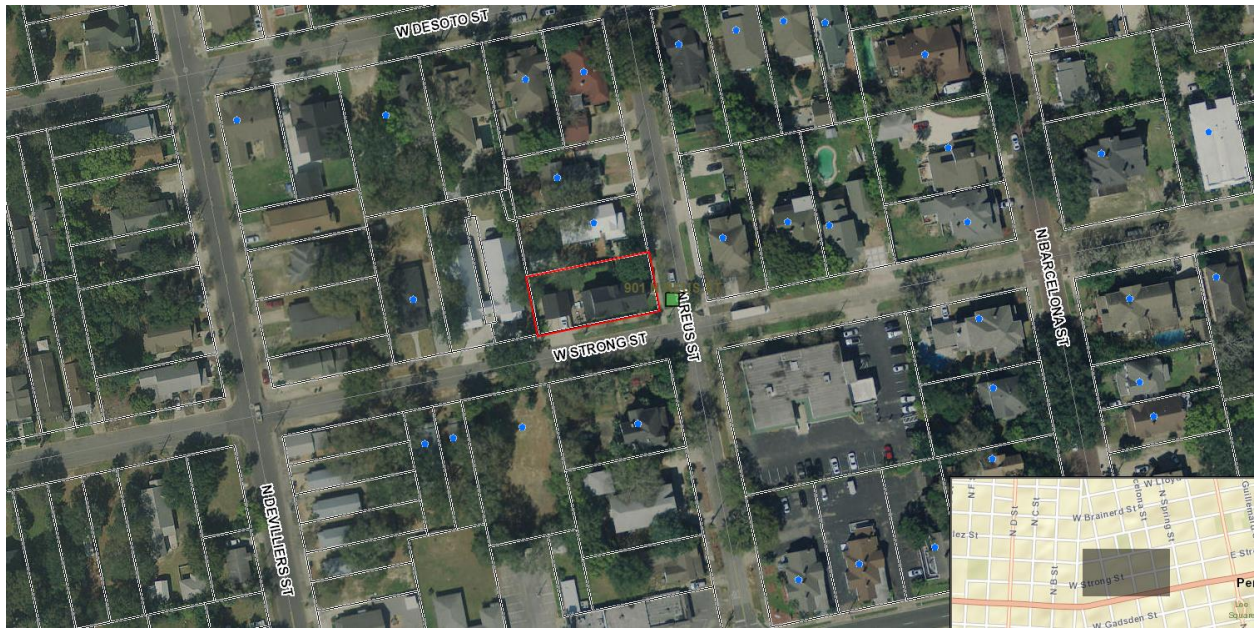
Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-3-10(2)(g) *North Hill, Renovations, alterations and additions to noncontributing structures*



901 N. Reus Street





**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Property Owner: \_\_\_\_\_

*(If different from Applicant)*

**District:**                      **PHD**                      **NHPD**                      **OEHPD**                      **PHBD**                      **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

\_\_\_\_\_  
Applicant Signature

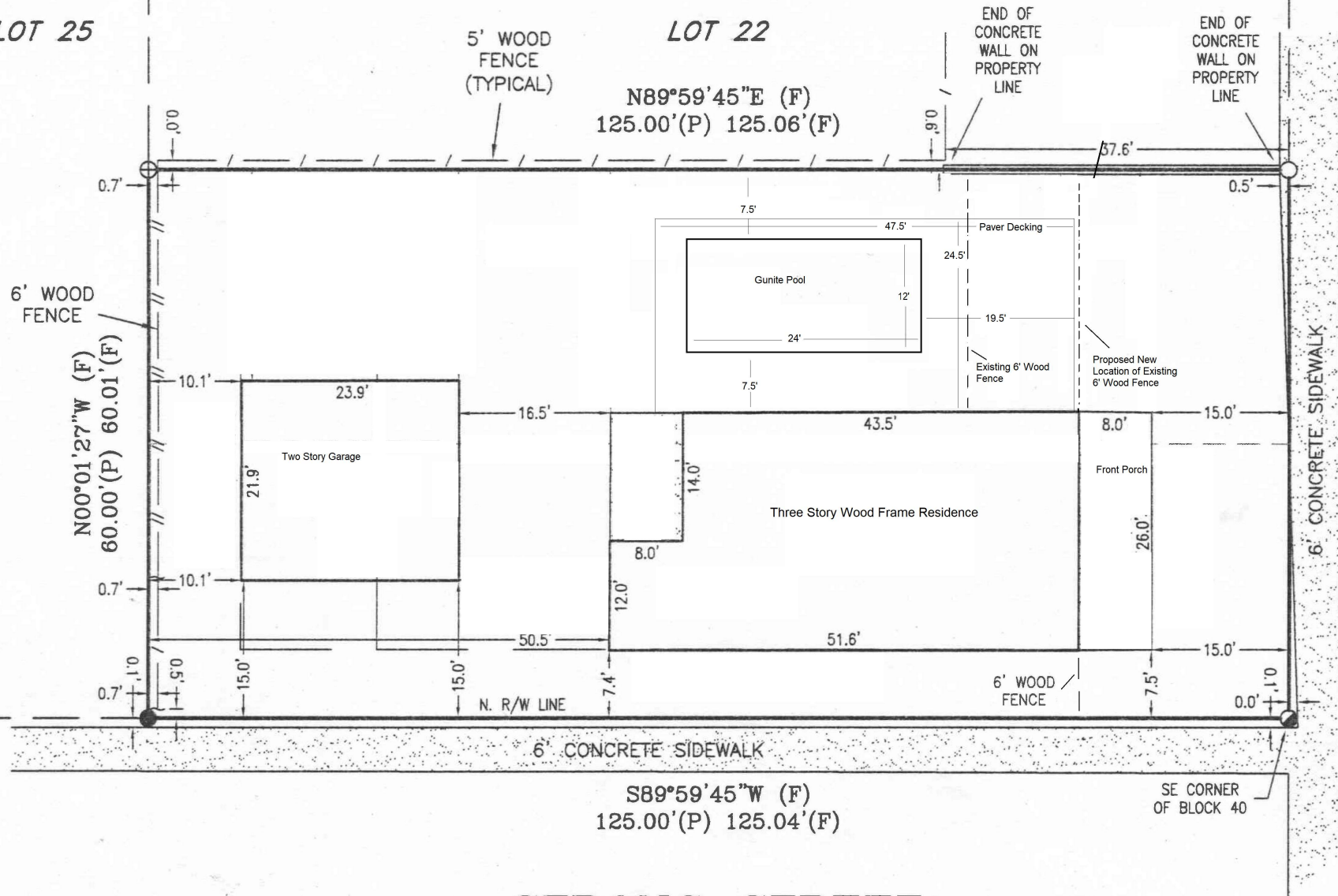
\_\_\_\_\_  
Date



B L O C K 4 0

LOT 25

LOT 22



S89°59'45"W (F)  
125.00'(P) 125.04'(F)

STRONG STREET

(REFERENCE BEARING)  
S00°00'00"W (F)  
60.00'(P) 60.01'(F)

NORTH REUS



**Front of Home (standing on Reus Street)**



**Side of Home (standing on Strong Street)**





**Existing Backyard (From rear of home looking towards Reus Street / Front of Home)**





## Proposed Gunitite Pool and Paver Decking



**Paver Decking – Color Titanium**



**Coping: Travertine / Silver**



**Waterline Tile: Tile / Safari – Boulder Gray**





**Plaster: White Plaster with Blue Quartz**



**Plaster Example**





**Current Fence on Northeast Corner of Parcel**



**Current Fence on Southeast Corner of Parcel**





# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00136

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

101 S. Palafox Place  
Palafox Historic Business District / Zone C2-A  
Exterior Alterations to a Contributing Structure

**BACKGROUND:**

Carter Quina is requesting *final* approval for exterior renovations and additions to the two-story Post Office building. The plans show renovations to the Romana Street entryway, construction of a new garage area in the rear, and the addition and expansion of living space on the second floor. Second-story improvements to the front of the building include new doors in existing openings, new decorative guardrails, and a fresh coat of paint. Materials include wood impact glass windows, aluminum storefront entrances, wrought iron railings, and a standing seam metal roof atop the garage area.

Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS:**

*Sec. 12-3-27(f)(2)(a) Palafox Historic Business District, Decision guidelines as they relate to proposed alterations or additions to an existing building.*

FLORIDA MASTER SITE FILE  
Site Inventory Form

FDAHRM 802 = =

Site No. ~~8208~~ ES 1029 1009 = =  
830 = = Survey Date 8208 820 = =  
Address of Site: 101 S. Palafox St., Pensacola, FL 32501 905 = =  
Instruction for locating On SW corner of S. Palafox St. and W. Romana 813 = =  
St. 868 = =  
Location: Old City Tract 26 port. 196, 197, 808 = =  
subdivision name block no. lot no.  
County: Escambia 808 = =  
Owner of Site: Name: Pensacola Downtown Improvement Board ;  
Address: 18-A E. Romana St.  
Pensacola, FL 32501 902 = =  
Type of Ownership City 848 = = Recording Date 832 = =  
Recorder:  
Name & Title: Gantzhorn, Alan (Historic Sites Specialist) ;  
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =  
838 = =  
Check One Check One or More  
☐ Excellent 863 = = ☒ Altered 858 = =  
☒ Good 863 = = ☐ Unaltered 858 = =  
☐ Fair 863 = = ☒ Original Site 858 = =  
☐ Deteriorated 863 = = ☐ Restored ( ) (Date: ) 858 = =  
☐ Moved ( ) (Date: ) 858 = =  
Present Use Government 850 = =  
Dates: Beginning C+1880 844 = =  
Culture/Phase American 840 = =  
Period 19th Century 845 = =

NR Classification Category: Building 916 = =

Threats to Site:

Check One or More  
☐ Zoning ( ) 878 = = ☐ Transportation ( ) 878 = =  
☐ Development ( ) 878 = = ☐ Fill ( ) 878 = =  
☐ Deterioration ( ) 878 = = ☐ Dredge ( ) 878 = =  
☐ Borrowing ( ) 878 = =  
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture, commerce 910 = =

Significance:

Built after the 1880 fire which swept downtown Pensacola, this masonry vernacular building currently houses the Post Office as well as the offices of the Pensacola Downtown Improvement Board. Arthur T. and Moses G. Yniestra ordered the construction of the building. It housed a variety of grocery and dry goods firms throughout its history.

911 = =  
SEE SITE FILE STAFF FOR  
ORIGINAL PHOTO(S) OR MAP(S)



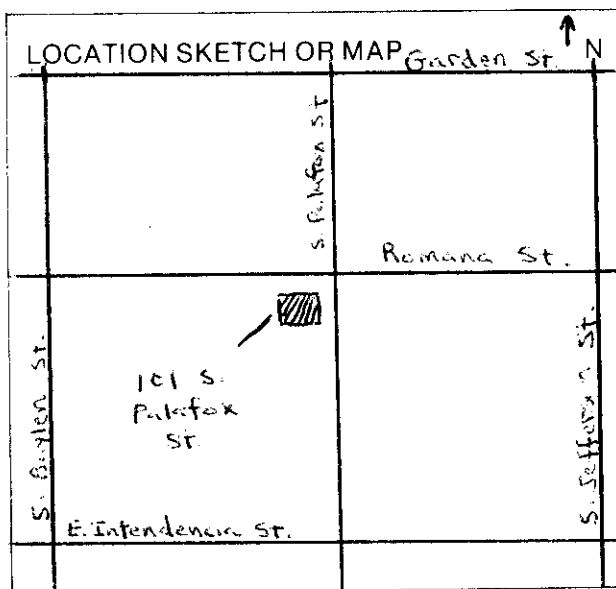
ARCHITECT Unknown 872 = =  
 BUILDER Unknown 874 = =  
 STYLE AND/OR PERIOD Masonry vernacular 964 = =  
 PLAN TYPE Rectangle 966 = =  
 EXTERIOR FABRIC(S) Brick; common bond 854 = =  
 STRUCTURAL SYSTEM(S) Masonry 856 = =  
 PORCHES None

FOUNDATION: Brick; continuous 942 = =  
 ROOF TYPE: Built-up w/ parapet 942 = =  
 SECONDARY ROOF STRUCTURE(S): None 942 = =  
 CHIMNEY LOCATION: None 942 = =  
 WINDOW TYPE: DHS; 2/2; wood # Fixed, single light metal 942 = =  
 CHIMNEY: - 882 = =  
 ROOF SURFACING: Built-up 882 = =  
 ORNAMENT EXTERIOR: Brick 882 = =  
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 2 950 = =  
 NO. OF DORMERS 0 954 = =

Map Reference (incl. scale & date) USGS 7.5 Min Pensacola 1970 809 = =

Latitude and Longitude: 800 = =

Site Size (Approx. Acreage of Property): LT1 833 = =



Township	Range	Section
2S	30W	46

UTM Coordinates:

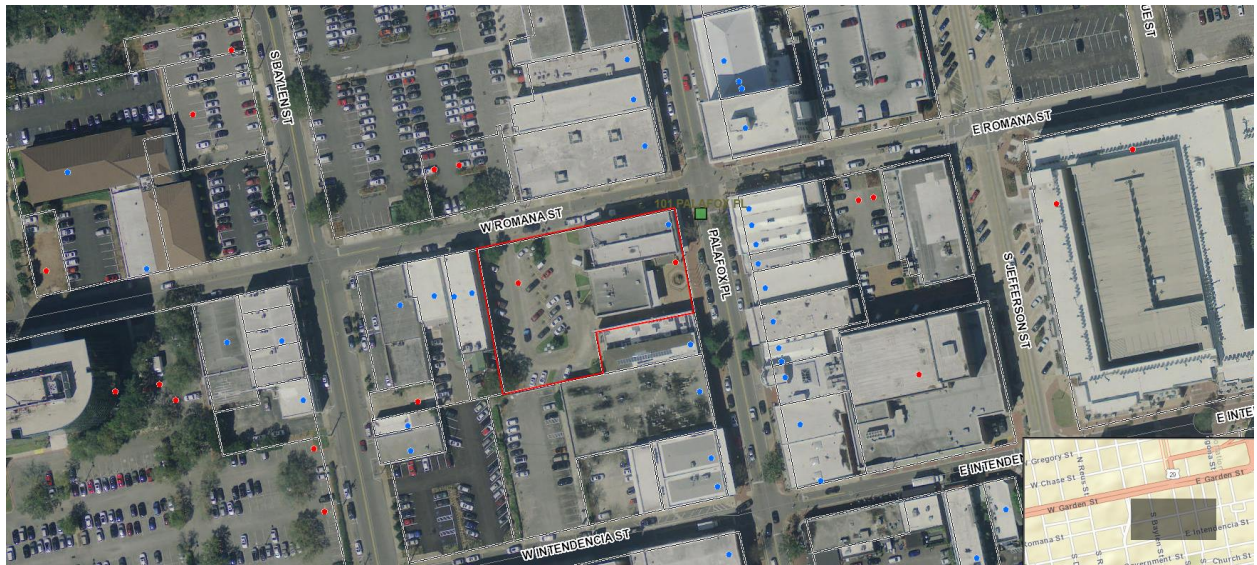
Zone Easting Northing

Photographic Records Numbers HPPB P.81.23 Fr. 22 860 = =

Contact Print



101 Palafox Place



FOR OFFICE USE ONLY

Meeting Date \_\_\_\_\_

Agenda No. \_\_\_\_\_

Approved by: \_\_\_\_\_

APPLICATION TO: ARCHITECTURAL REVIEW BOARD  
CITY OF PENSACOLA  
P.O. BOX 12910  
PENSACOLA, FL 32521-0053

DATE OF APPLICATION: \_\_\_\_\_ February 26, 2020 \_\_\_\_\_

ADDRESS OF PROJECT:  
\_\_\_\_\_ 101 Palafox Place Pensacola, FL 32502 \_\_\_\_\_

Application is hereby made for project as described herein:

Conceptual Approval for exterior renovations and additions to two story Post Office building.

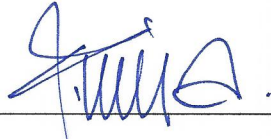
ATTACH REQUIRED ADDITIONAL INFORMATION

"The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services."

NAME & MAILING ADDRESS OF PETITIONER:

Carter Quina  
SIGNATURE OF OWNER'S REP  
400 West Romana Street

Pensacola, FL 32502

  
\_\_\_\_\_  
850.433.5575  
TELEPHONE NUMBER  
November 28, 2019  
DATE

TELEPHONE # 850.433.5575

DATE APPLICATION RECEIVED: \_\_\_\_\_ RECEIPT NO. \_\_\_\_\_





View from Palafox about 1980  
View from Romana about 1980

Present views for Palafox Place

Present view from Romana Street.





INTERIOR

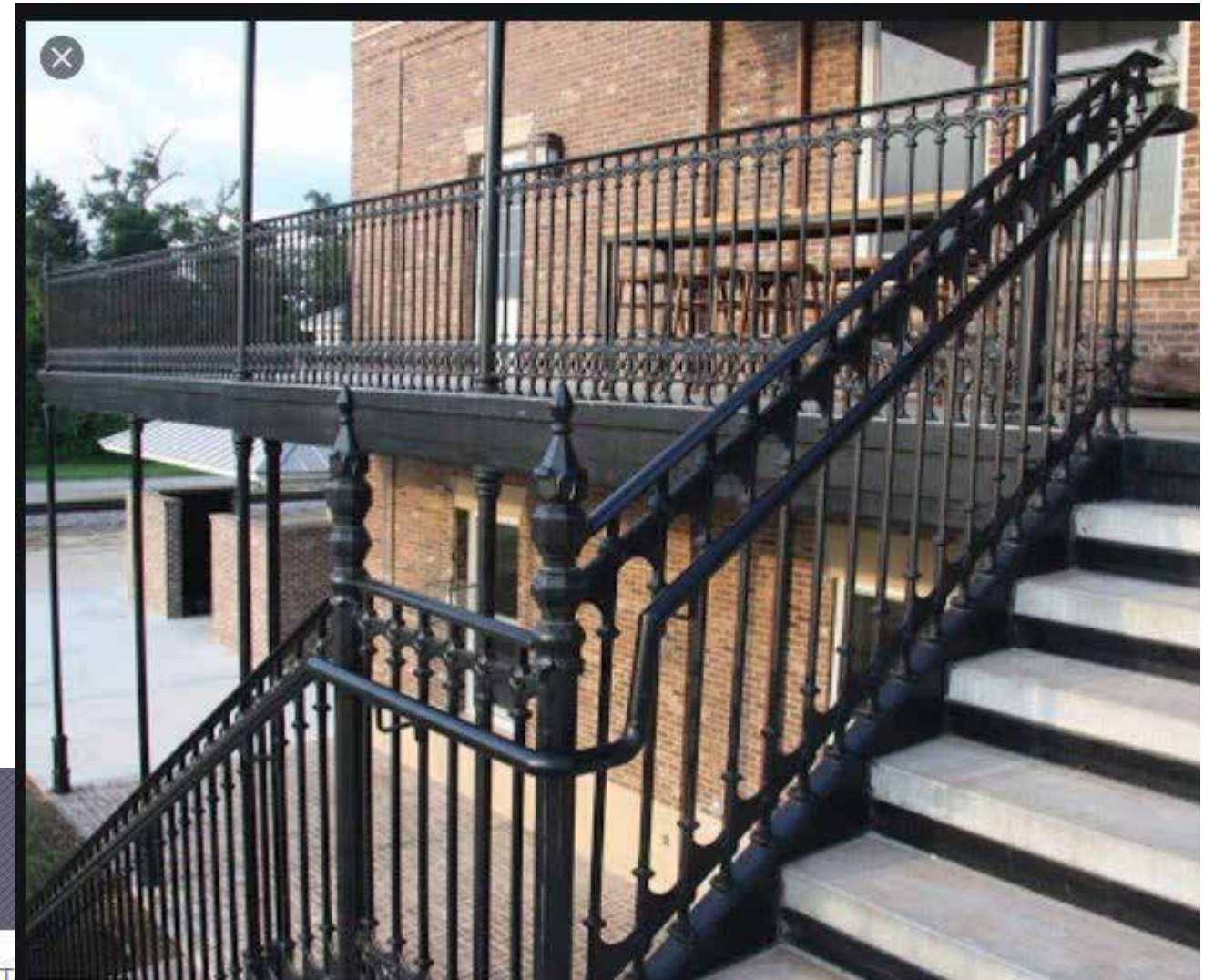
EXTERIOR

## Features of the Ultimate Double Hung G2 Window

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy
- Retractable screen option is nearly invisible when the screen is not in use
- Available with the same features in a single hung style, with optional Lift Lock
- Additional configurations include round top, stationary transom or picture window
- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
- Available with IZ3 coastal/hurricane certification
- Available with Commercial Windows Performance certification
- CE certified



PRODUCTS / PROJECTS / RESOURCES / MARKETS / SUSTAINABILITY / NEWS / ABOUT / CONTACT



Products ▶ **190/350/500 Standard Entrances**

### ADDITIONAL PRODUCT INFO

#### OVERVIEW

PROJECT REPORTS

BIM MODELS

CAD & SPEC DOWNLOAD

ORDER LITERATURE

HARDWARE

HURRICANE RESISTANCE  
INFORMATION

KAWNEER FINISHES

FLORIDA PRODUCT APPROVAL  
DOCUMENTS (FL) AND TEXAS  
DEPARTMENT OF INSURANCE  
(TDI) DOCUMENTS

THERMAL TECHNOLOGY

#### DOCUMENTS

LITERATURE

MY PRODUCTS **Empty / View All**



[+ ADD TO MY PRODUCT](#)

## 190/350/500 Standard Entrances

- 2-1/8" (54mm), 3-1/2" (87.9mm), or 5" (127mm) sightline
- 1-3/4" (44.5mm) depth
- Non-thermal performance
- Moderate to high traffic application

1. Marvin Wood Impact Glass window
2. Kawner Storefront Assembly
3. Wrought iron railing for balcony



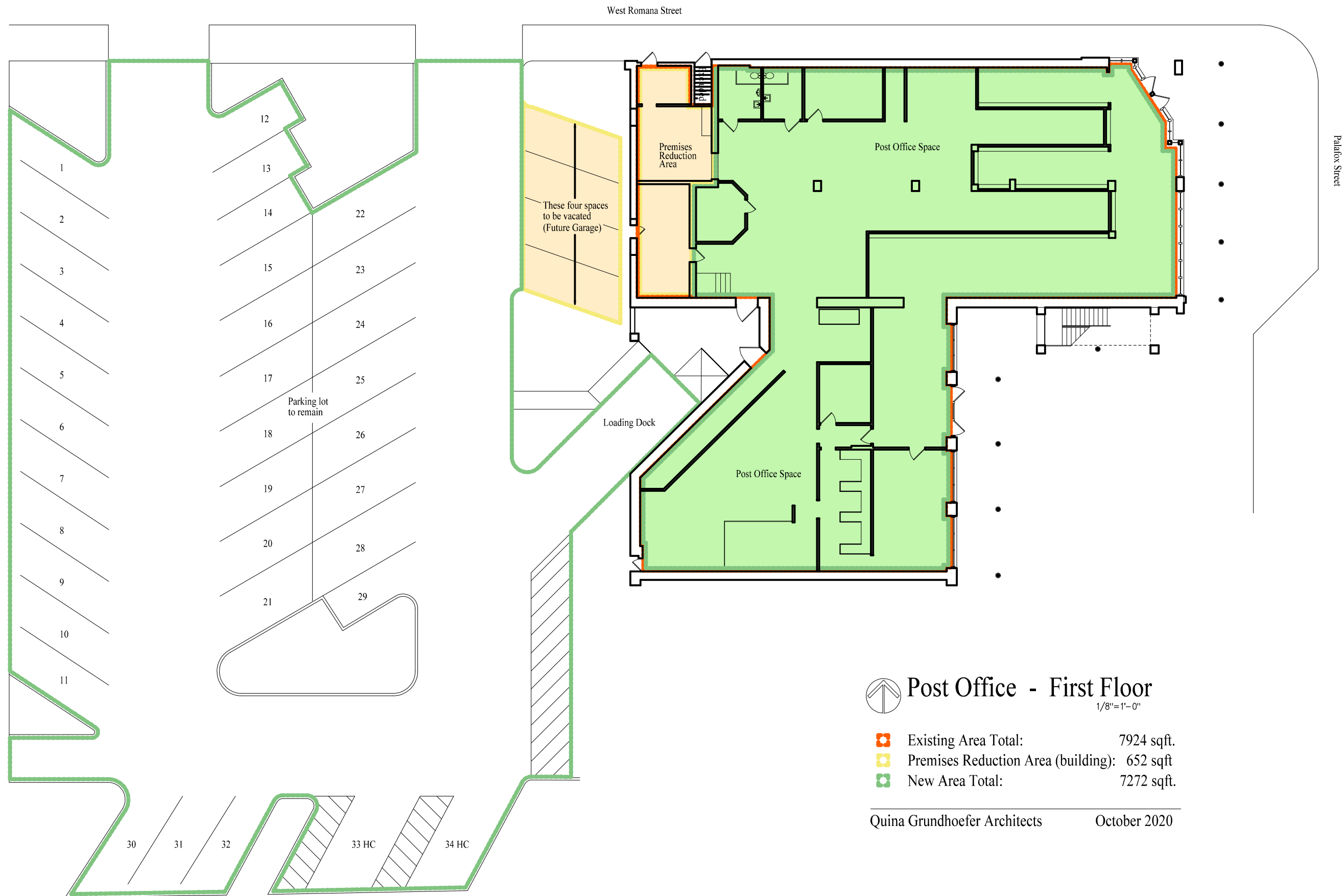




Romana Street View showing new entry, new garage, and new second floor addition  
for common lobby.  
Old Post Office Second Floor Renovation

QG Architects



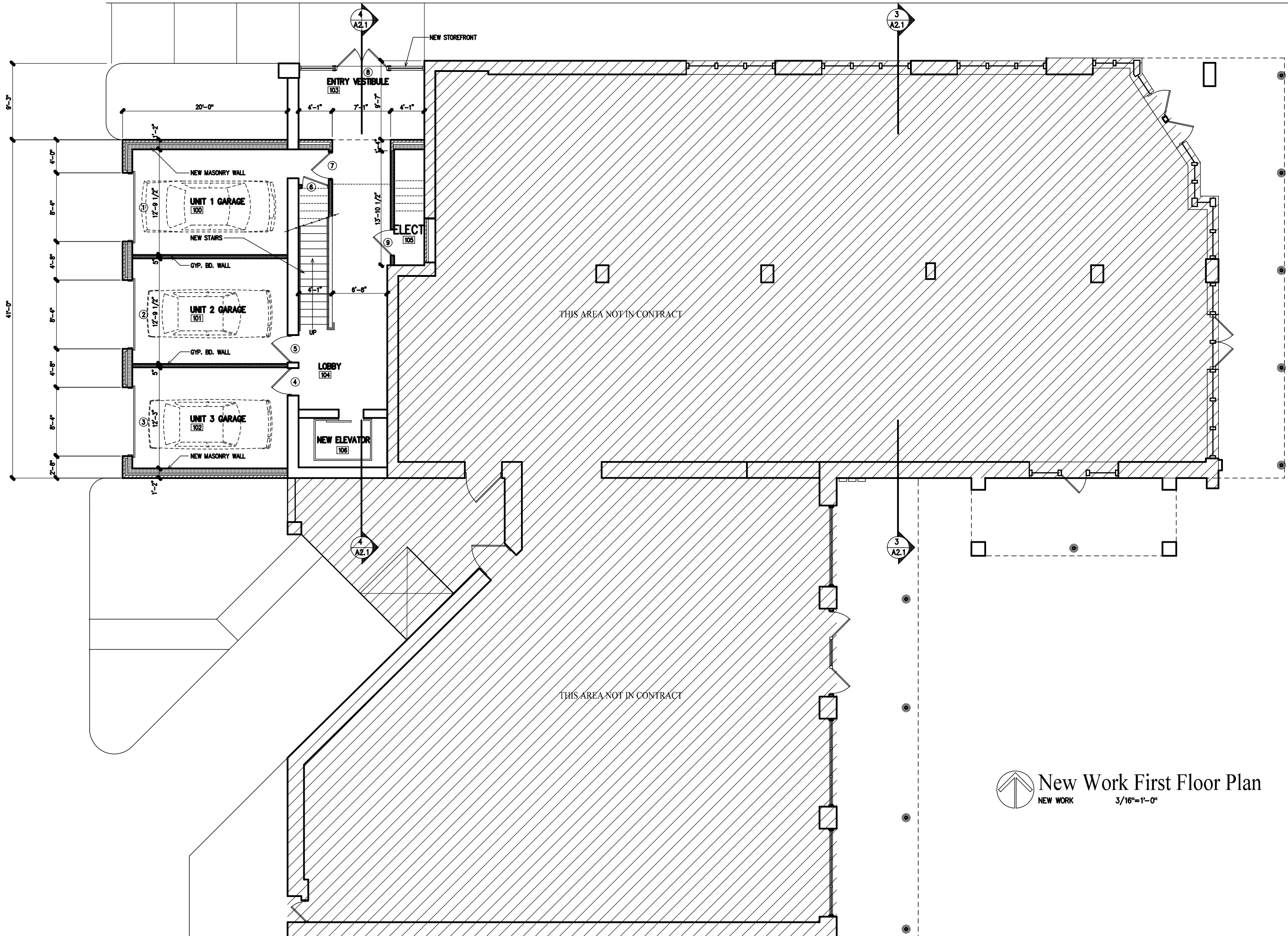


# Post Office - First Floor

1/8"=1'-0"

- Existing Area Total: 7924 sqft.
- Premises Reduction Area (building): 652 sqft
- New Area Total: 7272 sqft.

Quina Grundhoefer Architects      October 2020



### DEMO WALL LEGEND

- EXIST. WALL TO REMAIN
- EXIST. PART TO BE REMOVED
- EXIST. WALL TO BE REMOVED
- NOTE: SALVAGE ALL BRICK TO BE CLEANED AND REUSED AT INTERIOR
- EXIST. DOOR TO BE REMOVED
- FIXTURE/FURNITURE TO BE REMOVED (UNLESS NOTED OTHERWISE)



## New Work First Floor Plan

NEW WORK

3/16"=1'-0"

Project

Renovations  
Post Office Bldg  
Residential Units

Pensacola, Florida

FLOOR PLAN LEGEND

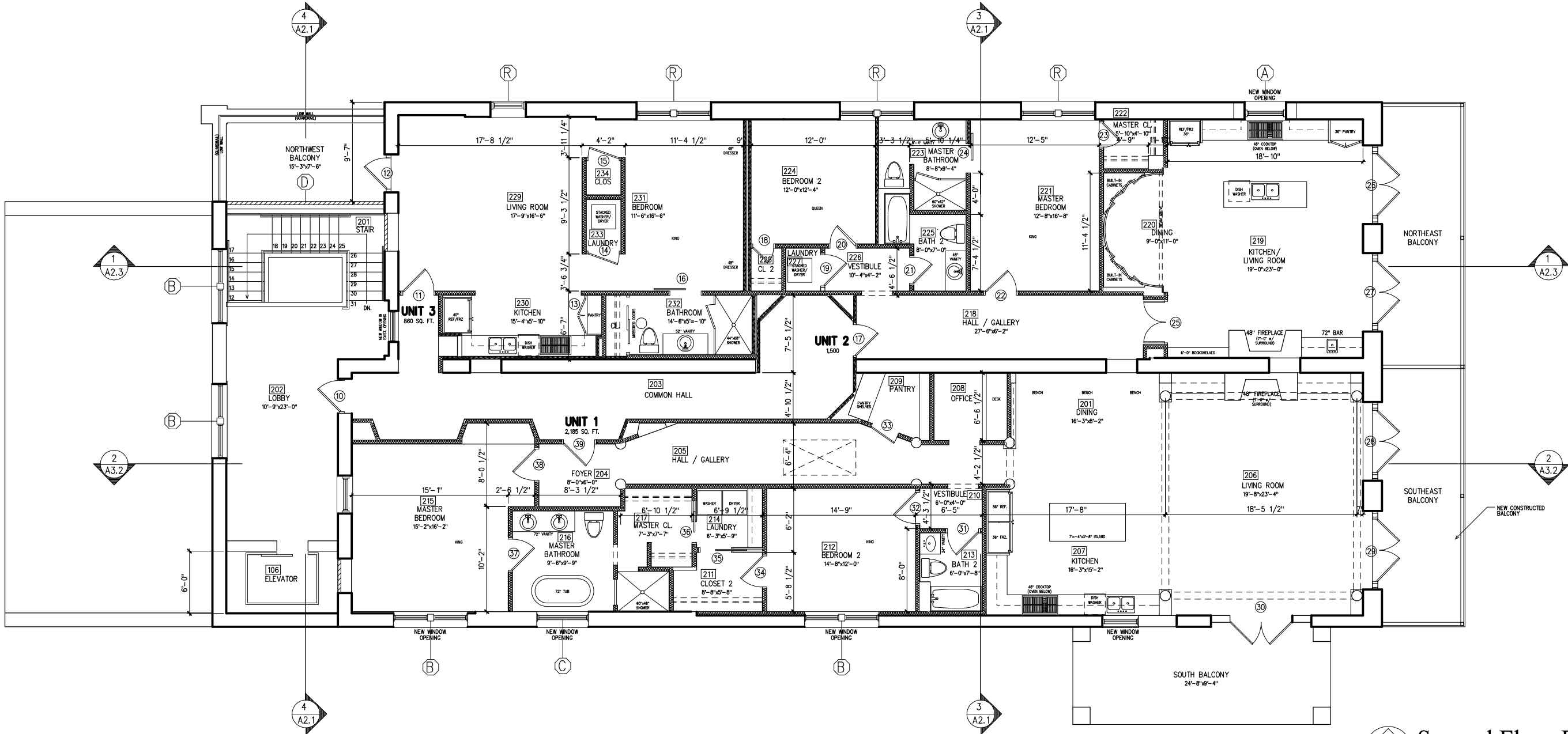
- INTERIOR WALL:  
5/8" GYP. BD. ON BOTH SIDES  
3 5/8" MTL STUDS @ 16" o.c.  
(6" MTL STUDS WHERE NOTED)  
w/ 3 1/2" ACOUSTIC BATT INSULATION
- EXTERIOR WALL: 4" NOMINAL BRICK  
VENEER w/ AIR SPACE & 2 1/2"  
RIGID INSULATION ON DAMPROOFED  
8" or 12" CMU'S w/ FTD. GYP. BD.  
ON MTL. FURRING ON INT. FACE
- EXTERIOR WALL/INTERIOR WALL:  
MET STOREFRONT w/  
INSULATED GLASS
- NEW DOOR
- LETTER INDICATES NEW WINDOW
- NUMBER INDICATES RESTORED WINDOW
- FIRE EXTINGUISHER CABINET



Second Floor Plan

NEW WORK

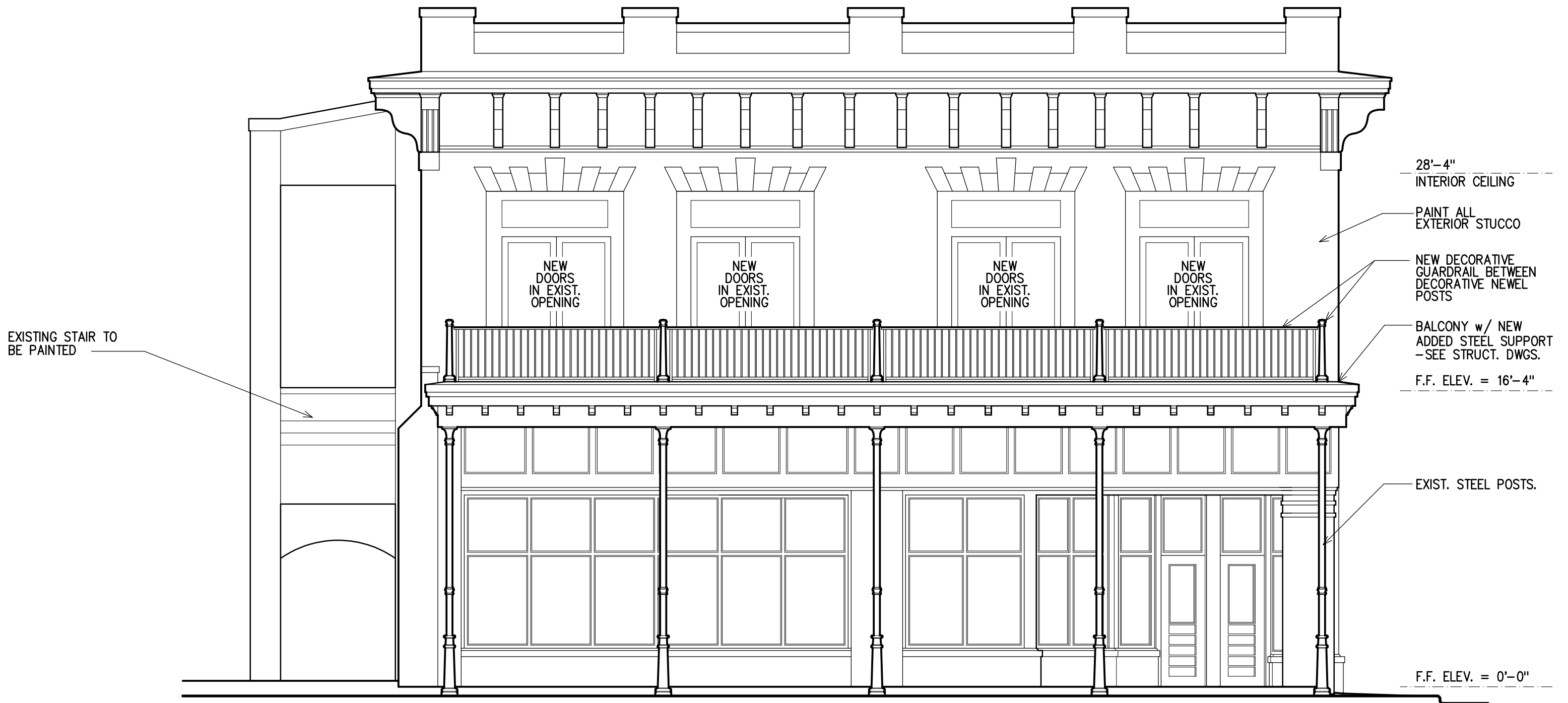
3/16"=1'-0"



Project

Renovations  
Post Office Bldg  
Residential Units

Pensacola, Florida



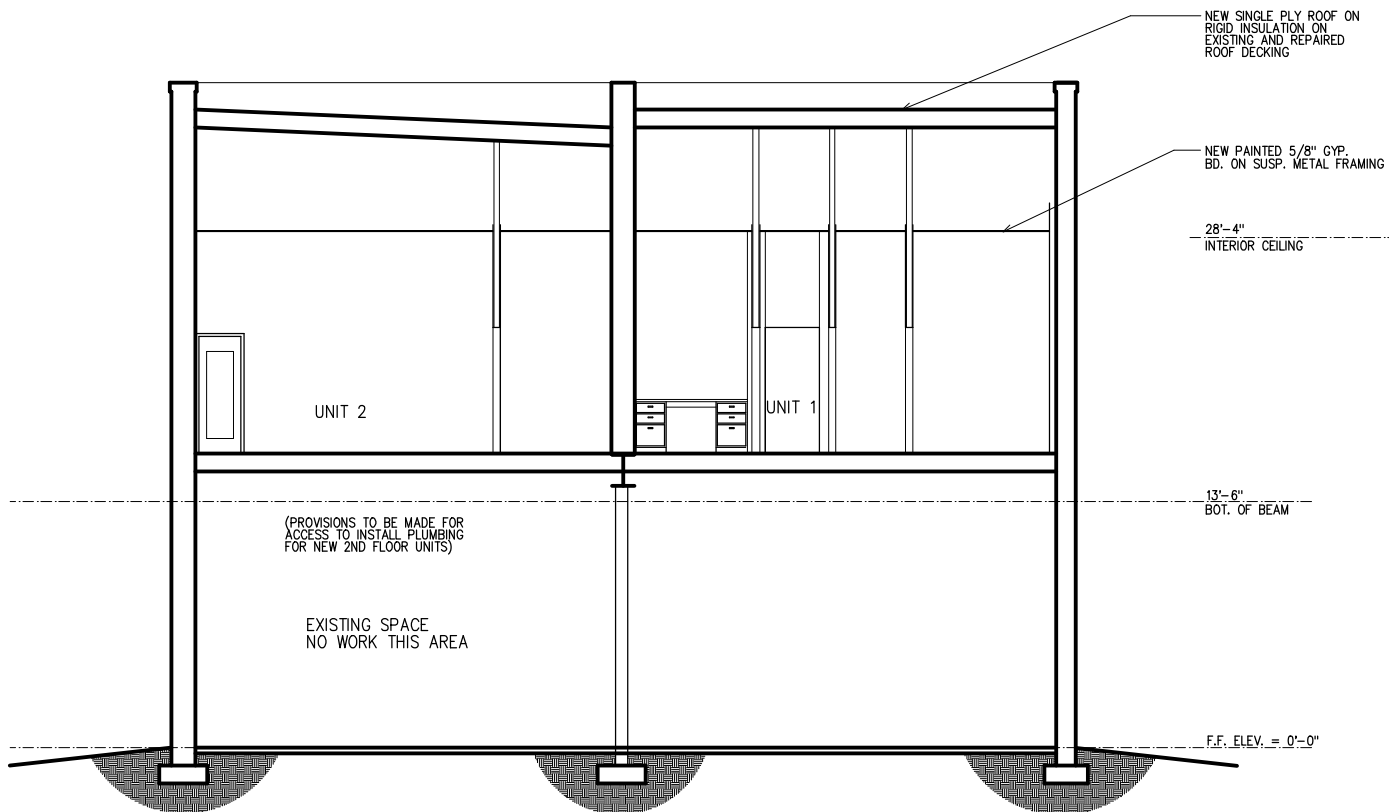
1  
A2.1

# East Elevation

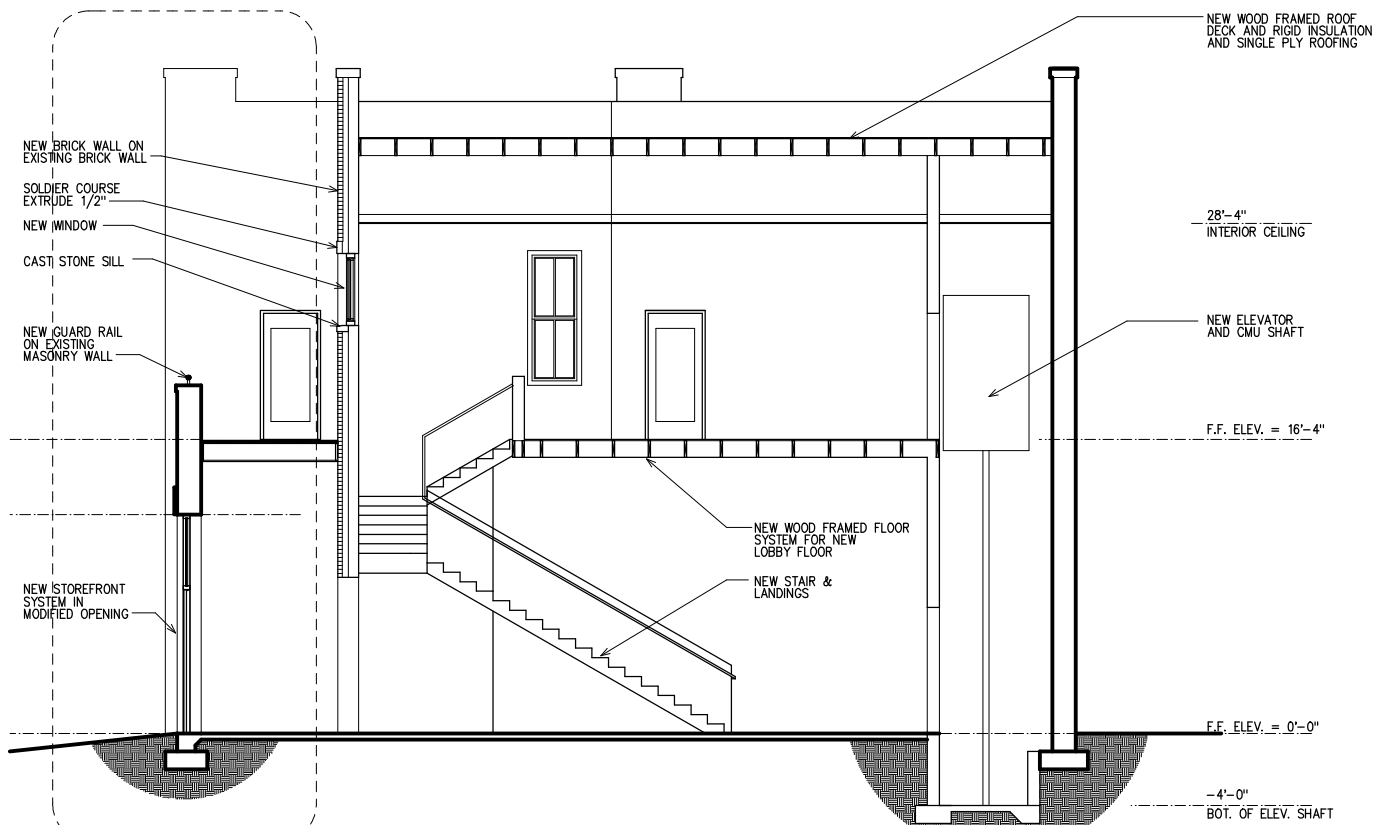
NEW WORK

3/16"=1'-0"





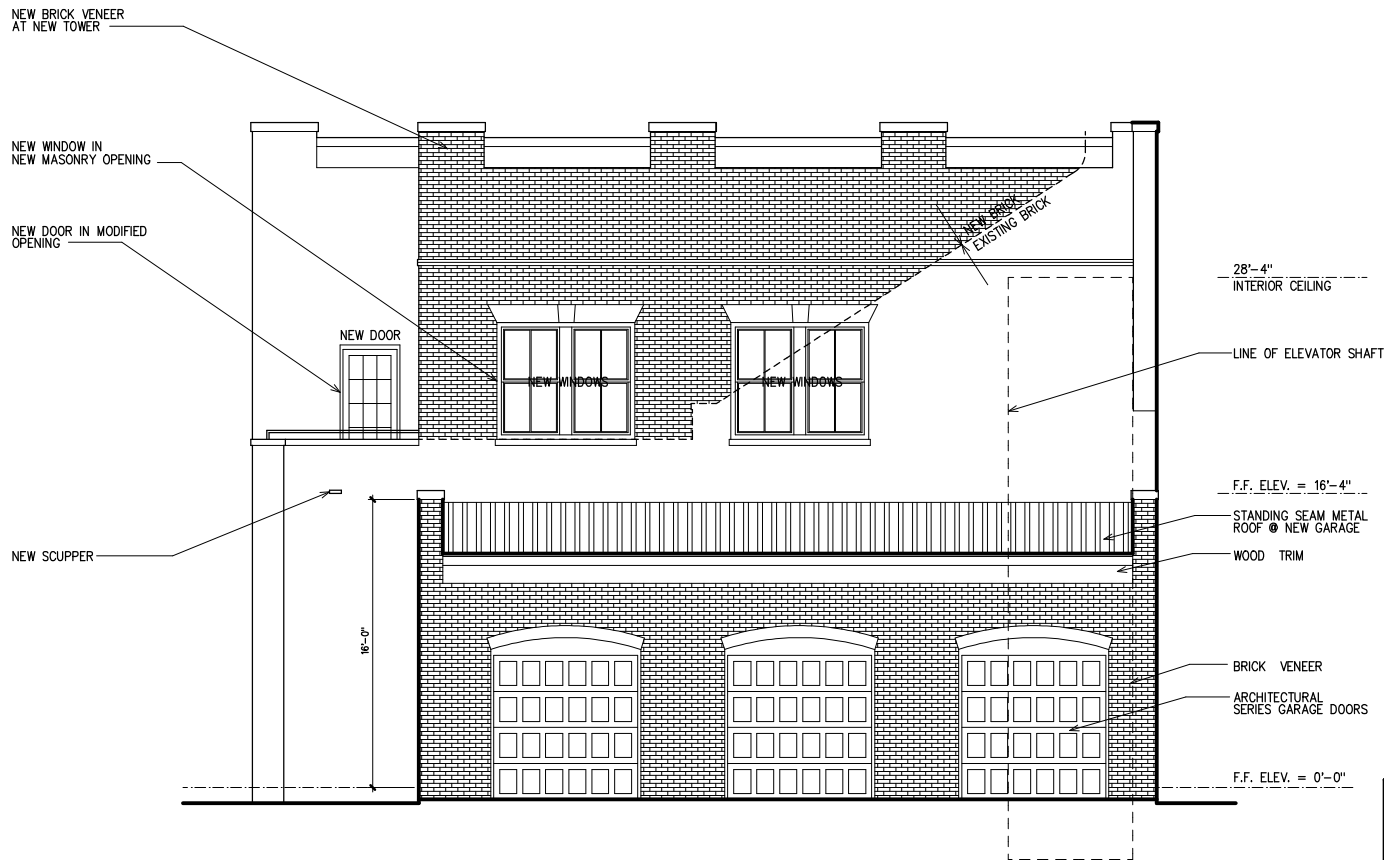
3  
A2.1  
Building Section  
3/16"=1'-0"



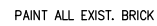
4  
A2.1  
Building Section  
3/16"=1'-0"



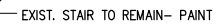
1  
A2.1  
East Elevation  
NEW WORK  
3/16"=1'-0"



2  
A2.1  
West Elevation  
NEW WORK  
3/16"=1'-0"



## North Elevation



## South Elevation



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00158

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

1380 N. Spring Street  
North Hill Preservation District / Zone PR-1AAA  
New Construction of a Garage with Second-Story Living Quarters at a Contributing Structure

**BACKGROUND:**

Philip Partington is requesting approval to construct an accessory residential unit (ADU) with a garage on the ground floor and living quarters on the second. The garage will be located in the northeast corner of the property to make use of the existing driveway and bollards are proposed to be added to protect the primary structure. Proposed materials include fiber cement siding, wood brackets, clad-wood windows, architectural shingles and a paint palette to match the main residence.

Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTION:**

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction*

FLORIDA MASTER SITE FILE  
Site Inventory Form

FDAHRM 802 ==  
1009 ==

Site Name Elmore, C. Gunter House 830 == Site No. ES 682  
Address of Site: 1380 N. Spring St. Pensacola, Fl. 32501 8005 820 ==  
Instruction for locating E side of N. Spring St between W. Lloyd and 905 ==  
W. Lee St. 813 ==  
868 ==

Location: Clapp Tract 162 5-7 lot no 808 ==  
subdivision name block no.

County: Escambia  
Owner of Site: Name: Blackwell, J. Morris and Catherine Laure 902 ==

Address: 1380 N. Spring St.  
Pensacola, Fl. 32501 832 ==

Type of Ownership Private 848 == Recording Date 8005

Recorder: Gantzhorn, Alan; Guedez, Susan

Name & Title: HPPB 818 ==  
Address: 838 ==

Condition of Site: Integrity of Site: Original Use Residence 818 ==  
Check One Check One or More Present Use Residence 850 ==  
Excellent 863 == ☐ Altered 858 ==  
Good 863 == ☐ Unaltered 858 ==  
Fair 863 == ☐ Original Site 858 ==  
Deteriorated 863 == ☐ Restored ( ) (Date: ) ( ) 858 ==  
☐ Moved ( ) (Date: ) ( ) 858 ==

NR Classification Category: District 916 ==

Threats to Site: Check One or More  
Zoning: ☒ ☐ 878 == ☐ Transportation ( ☒ ) 878 ==  
Development: ☒ ☐ 878 == ☐ Fill ( ☒ ) 878 ==  
Deterioration: ☒ ☐ 878 == ☐ Dredge ( ☒ ) 878 ==  
Borrowing: ☒ ☐ 878 ==  
Other (See Remarks Below): 878 == 910 ==

Areas of Significance: Architecture, History

Significance:  
Before the First World War, the northern portion of North Hill was regarded as "out in the country." This small frame house was constructed in 1914 by C. Gunter Elmore, a farmer. In 1917, the house was acquired by Robert C. Palmer, chief chemist for the Newport Turpentine and Rosin Co.

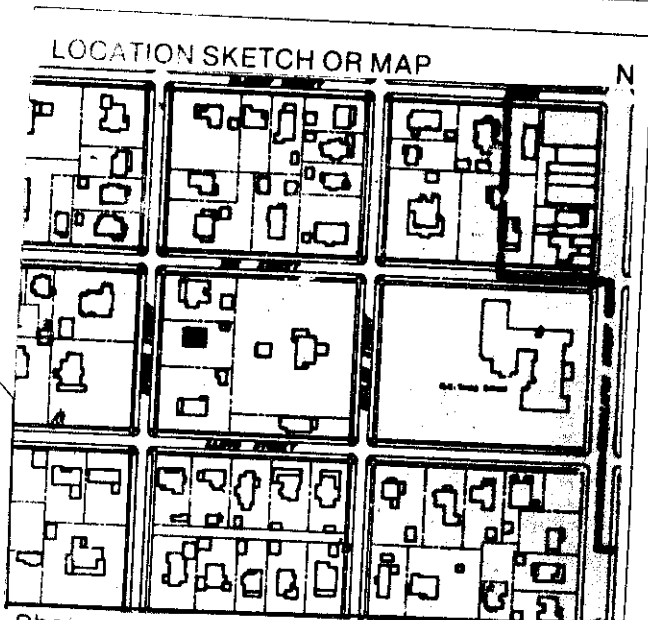
SEE SITE FILE STAFF FOR  
ORIGINAL PHOTO(S) OR MAP(S)

911 ==



ARCHITECT Unknown 872 ==  
 BUILDER Unknown 874 ==  
 STYLE AND/OR PERIOD Frame Vernacular 964 ==  
 PLAN TYPE Rectangle 966 ==  
 EXTERIOR FABRIC(S) Aluminum siding 854 ==  
 STRUCTURAL SYSTEM(S) Wood frame 856 ==  
 PORCHES none

FOUNDATION: Continuous: brick 942 ==  
 ROOF TYPE: Gable 942 ==  
 SECONDARY ROOF STRUCTURE(S): Shed dormer W 942 ==  
 CHIMNEY LOCATION: N ext.; E lat slope 942 ==  
 WINDOW TYPE: Casement, 6 light, 10 light, wood 942 ==  
 CHIMNEY: Brick 882 ==  
 ROOF SURFACING: Composition shingle: butt 882 ==  
 ORNAMENT EXTERIOR: 882 ==  
 NO. OF CHIMNEYS 2 952 == NO. OF STORIES 1 1/2 950 ==  
 NO. OF DORMERS 1 954 ==  
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970  
North Hill, Gordon Richmond, 1974 809 ==  
 Latitude and Longitude: " " " " 800 ==  
 Site Size (Approx. Acreage of Property): LT 1 833 ==



Township	Range	Section
2S	30W	19

UTM Coordinates: 812 ==

Zone Easting Northing 890 ==

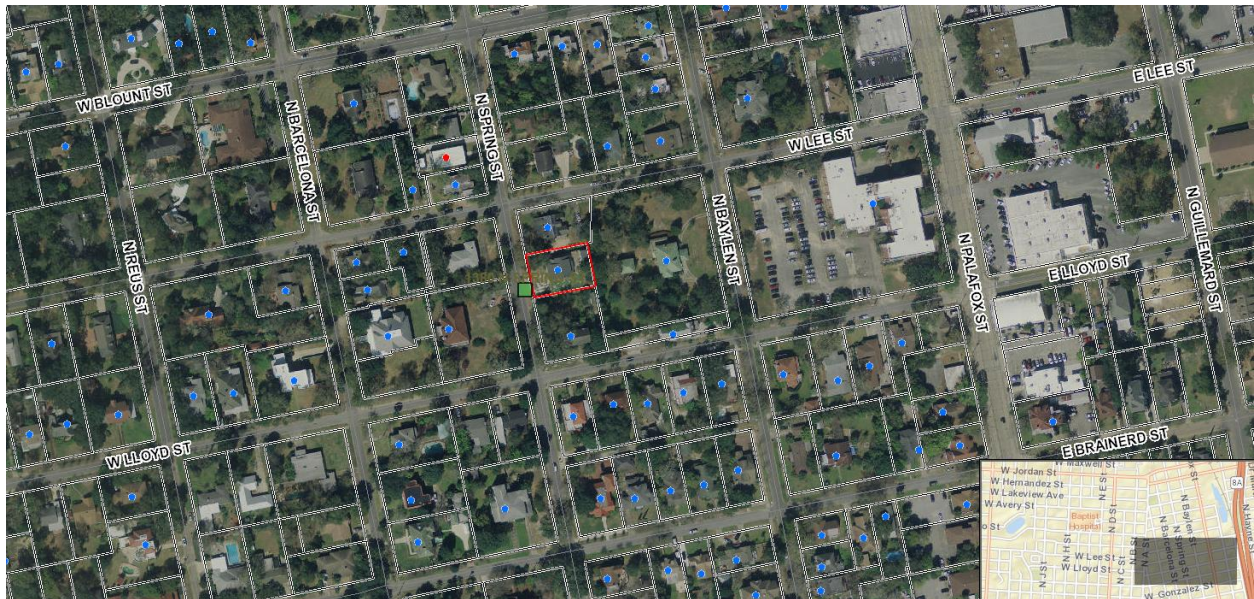
Photographic Records Numbers P80.8 Fr. 27A HPPB P80.22 Fr. 3 860 ==  
NH6-3A

Contact Print





1380 N. Spring Street





## MINUTES OF THE ARCHITECTURAL REVIEW BOARD

January 21, 2021

### Item 4

#### Demolition

1380 N. Spring  
Street

NHPD  
PR-1AAA

#### Action taken: Approved.

Philip Partington is requesting approval to demolish a noncontributing accessory structure located in the northeast corner of their lot. In its place, the applicants are proposing to construct an accessory dwelling unit (ADU) with a garage on the ground floor and living space on the second. Staff advised that typically when the Board approved a demolition, it requested to see what would be constructed in its place. Once the demolition was approved, the Board could consider the design aspects. It was clarified that the house itself was a contributing structure. Staff then read the applicable demolition requirements for structures in Sec. 12-2-10(A)(10). Advisor Pristera stated he did not find anything significant about the structure.

Mr. Partington presented to the Board and explained the Sherrills had done a fantastic job in renovating the cottage in the Dutch Colonial style. He informed the Board that the existing shed had wood rot, and Hurricane Sally had not done it any favors, and they wanted to build a new accessory building with a residential unit above it in its place. Vice Chairperson Mead stated final plans must be approved prior to demolition of a contributing structure. Staff advised the demolition could be approved, but no permit could be obtained until the applicant got at the very minimum a conceptual approval with firm foundations approved by the Board.

Mr. Partington shared the site plan and pointed out the beautiful garden at the south end of the property, but the clients needed a small garage with a residential unit above it. They tried to be sensitive to the existing structure and adapted the architectural language to this addition with features matching the house. Vice Chairperson Mead stated North Hill's comments addressed the placement and turning radius for the garage entrance. It seemed convoluted to get in and out of the garage especially when backing out of the driveway which might risk impact to the contributing structure. Mr. Partington stated it was not a suburban-type garage and would take a couple of turns to access the garage, which was not uncommon in an historical or urban setting. North Hill suggested shifting the garage to the south, placing the entrance on the north side to make that turn. Mr. Partington stated that was an option, but it would encroach on the historic garden. Vice Chairperson Mead asked if they could flip the entrance to the garage to shorten up that area which could give more space for a turning radius and still place the entrance on the north side, keeping the porch on the south side.

Board Member Yee asked for the required setbacks for the garage and the accessory unit. Staff determined in North Hill you could not have a two-story residential structure unless that



residential space is situated above a garage. When you get to the height level which would require two floors, the ADU would then have to meet the side yard setback of the primary structure. In this case, the side yard setback was 9' and typically in this district, it was 5' or 7.5'. On the rear, it could be situated 5' off the property line of the dwelling. Senior Planner Statler explained if you have a detached garage with an ADU above it, then the maximum height is 30' and you are subject to the rear yard at 5' and a side yard setback the same as the primary. Staff advised that accessory structures were different in nature from an ADU and specifically different in the Code.

Chairperson Mead did not have a problem with considering the demolition permit. It was determined the applicant could ask for conceptual approval while seeking a variance. Board Member Villegas stated style wise, the structure was complementary to the house, but size wise it was important to understand visually from the street how it was affecting the contributing structure. Advisor Pristera cautioned against the variance since this lot was large and had a lot of buildable area; we would be looking at a self-imposed hardship in this case, and you would have to make a strong case of why the structure would have to be placed in that location. **Board Member Ramos made a motion to approve the demolition of the noncontributing accessory structure, seconded by Board Member Villegas, and it carried 5 to 1 with Board Member Spencer recusing himself from the item.**

**Item 5**  
**New Construction**  
**Action taken: Denied.**

**1380 N. Spring**  
**Street**

**NHPD**  
**PR-1AAA**

Mr. Partington wanted to give as much flexibility to move forward with the final approval.

**Board Member Ramos made a motion to deny the application based on the comments provided by the North Hill Preservation Association with which the Board agreed pursuant to Section 12-3-10(2)(D)(2)(ii)(b) which states in the case of a proposed new building, that such building will not in itself or by reason of its location on the site impair the architectural or historic value of the buildings on adjacent sides or in the immediate vicinity. No plans for a new building will be approved if that building will be injurious to the general or visual character of the district in which it is to be located considering visual compatibility standards such as height, proportion, shape, scale, style, materials, and colors. Vice Chairperson Mead seconded the motion with the amendment that the objections from North Hill are specifically that the proximity and location of the entrance to the garage do not provide for adequate turning radius or backup area and place the contributing structure at risk. It was accepted by Board Member Ramos and he added that if the application did return to the Board, the Board would need to see the relationship of the proposed accessory structure to the existing structure, mass, and height to help with a better decision. The motion was seconded as amended and carried 5 to 1 with Board Member Spencer recusing.**





City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

**Architectural Review Board Application  
Full Board Review**

Application Date: 12/31/20

**Project Address:** 1880 N. SPRING STREET, PENSACOLA FL. 32501

**Applicant:** PHILIP PARTINGTON, A.I.A.

**Applicant's Address:** 205 E. INTENDENCIA ST, PENSACOLA FL 32502

**Email:** PHILIP@SMP-ARCH.COM **Phone:** 712-5765

**Property Owner:** RICHARD AND ELIZABETH SHERRILL

**District:** ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**THE PROJECT IS THE DEMOLITION OF AN EXISTING SHED  
AND THE CONSTRUCTION OF A NEW GARAGE AND RESIDENTIAL UNIT.**

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

Applicant Signature

12/31/20

Date

Listen. Interpret. Translate.

CERTIFICATION :

SHERRILL RESIDENCE  
1380 N. SPRING ST  
PENSACOLA, FL

ALL DRAWINGS AND WRITTEN MATERIAL  
HEREIN CONSTITUTE ORIGINAL AND UN-  
PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT THE WRITTEN CONSENT  
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : PDP

CHECKED BY :

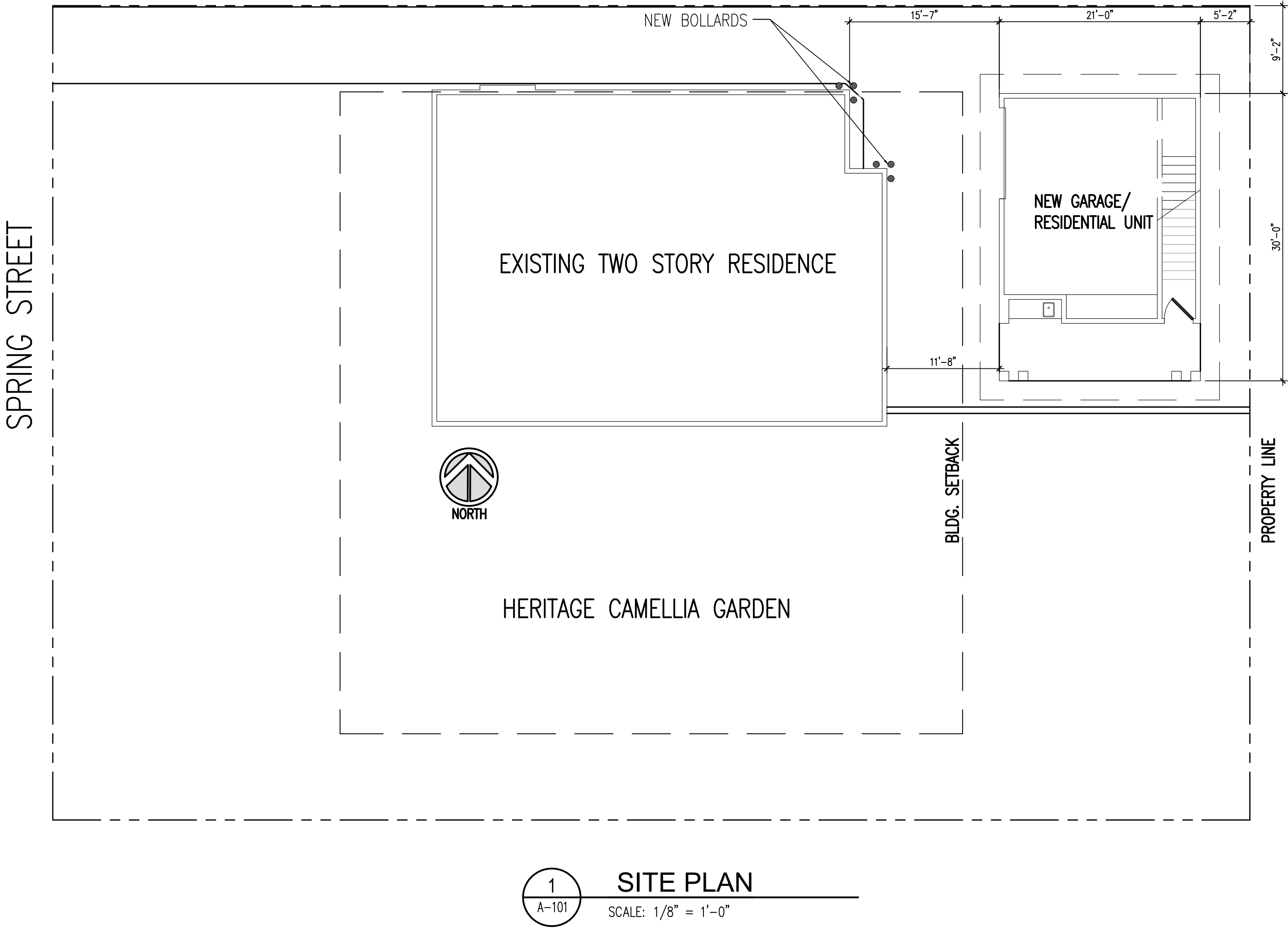
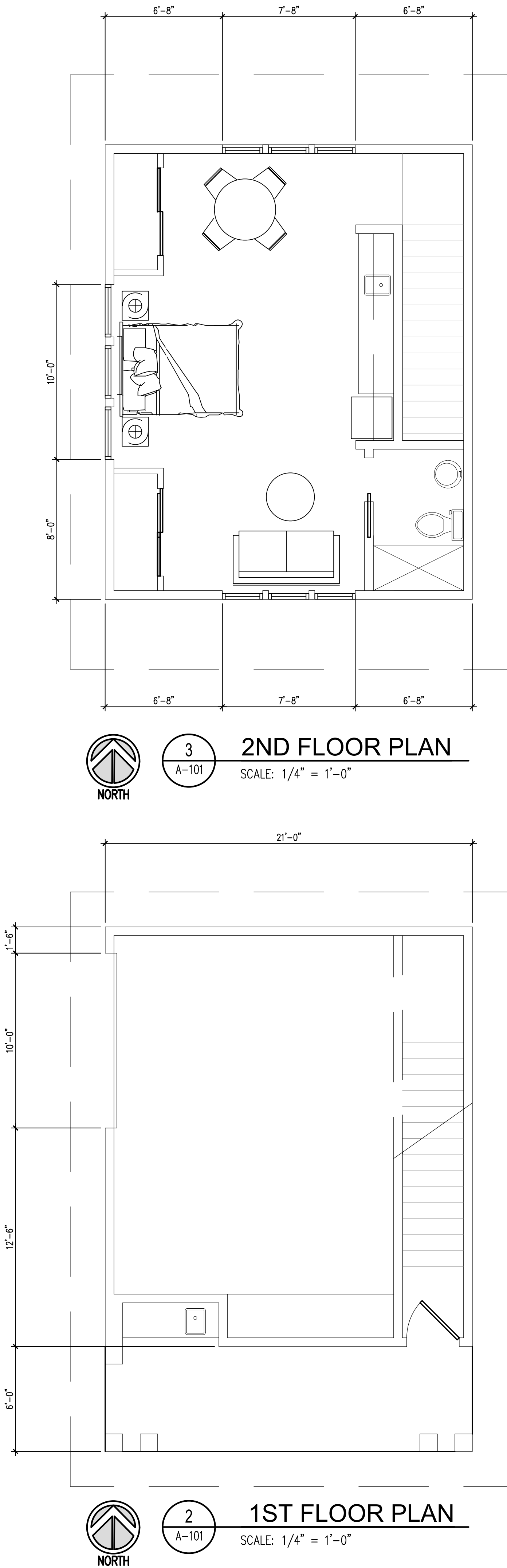
PROJECT NO.

DATE : 1/28/21

SHEET TITLE :  
PLANS AND ELEVS

SHEET NO. :

A-101





Listen. Interpret. Translate.

CERTIFICATION :

SHERRILL RESIDENCE  
1380 N. SPRING ST  
PENSACOLA, FLALL DRAWINGS AND WRITTEN MATERIAL  
HEREIN CONSTITUTE ORIGINAL AND UN-  
PUBLISHED WORK OF THE ARCHITECT  
AND MAY NOT BE DUPLICATED IN ANY  
PART WITHOUT THE WRITTEN CONSENT  
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : PDP

CHECKED BY :

PROJECT NO.

DATE : 1/28/21

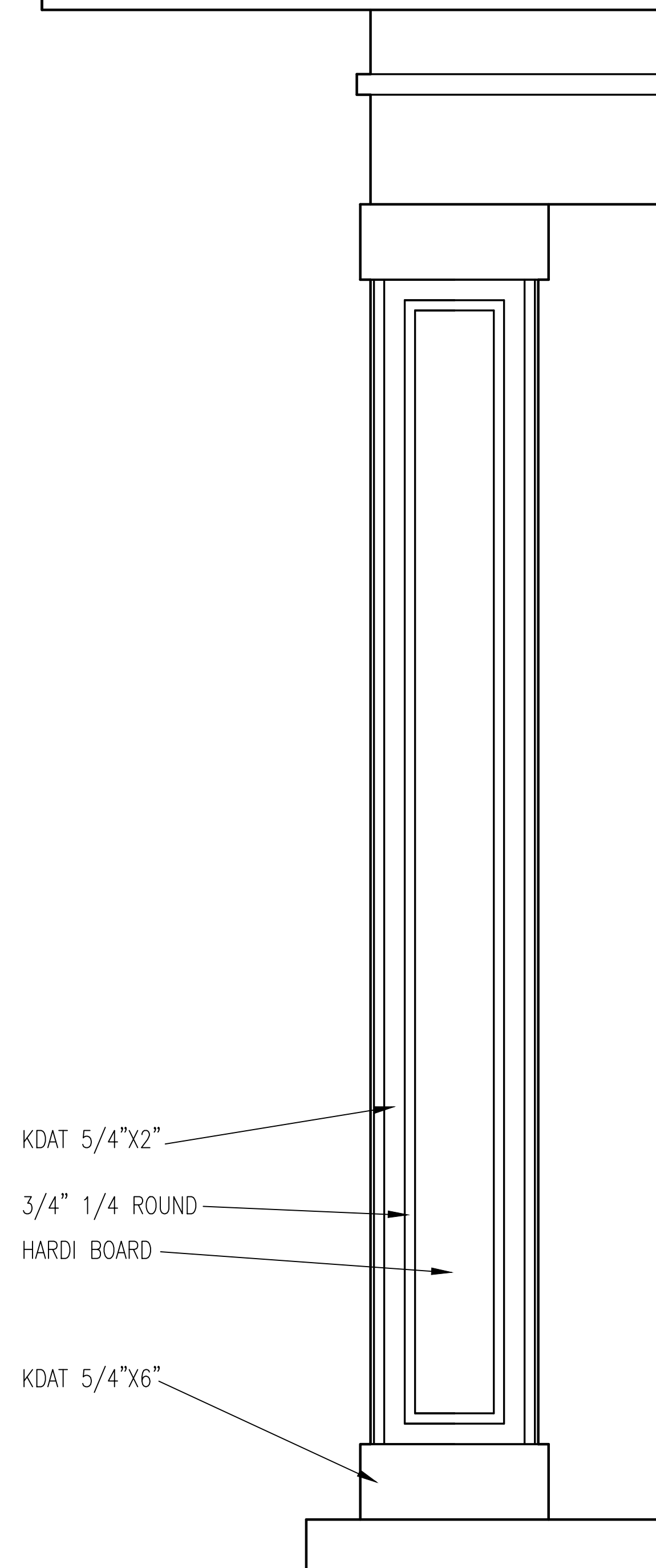
SHEET TITLE :

ELEVATIONS  
AND DETAILS

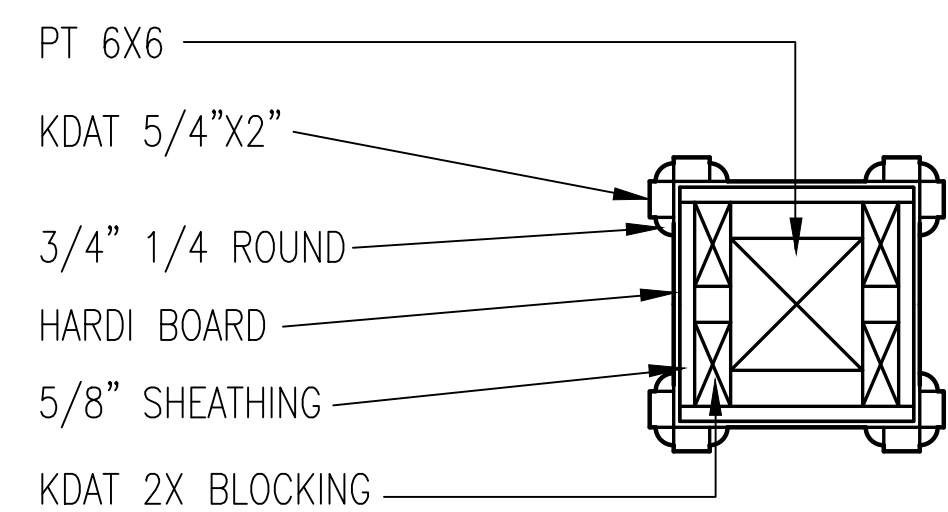
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A-102

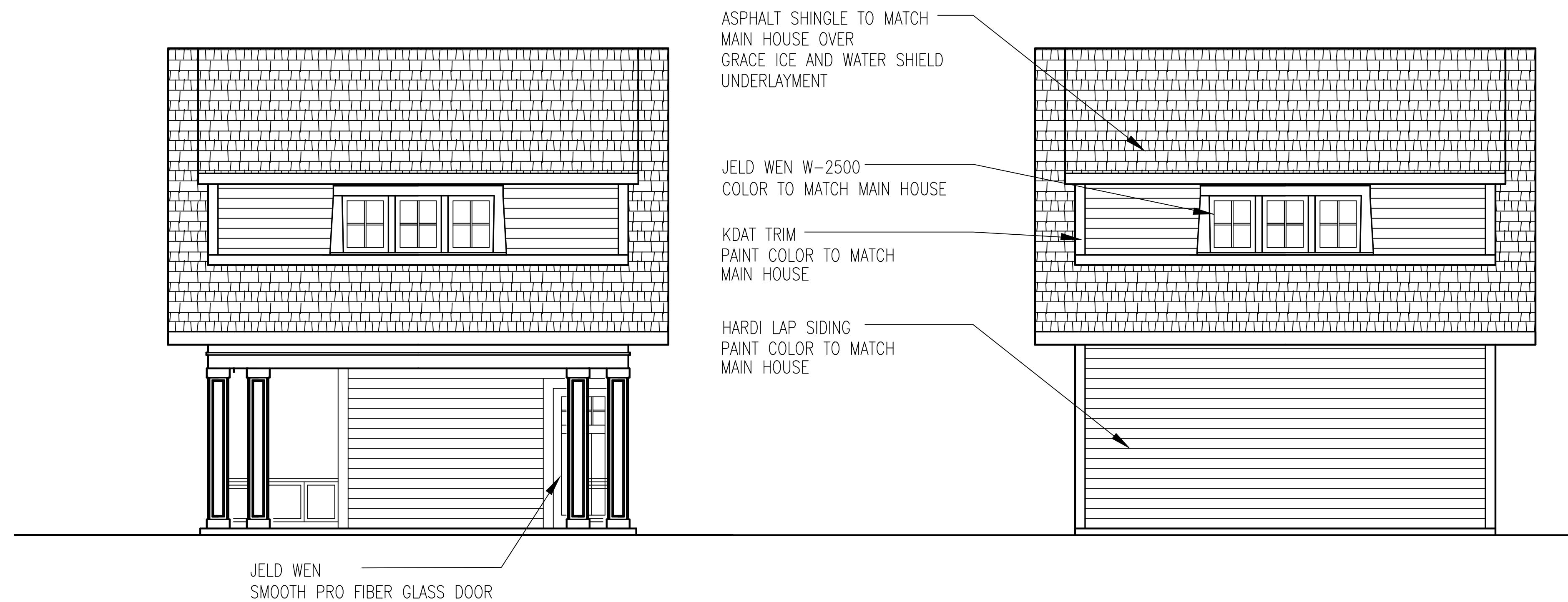
©2020 SMP ARCHITECTURE



**1 COLUMN ELEVATION**  
SCALE: 1 1/2" = 1'-0"



**4 COLUMN PLAN DETAIL**  
SCALE: 1-1/2"=1'-0"

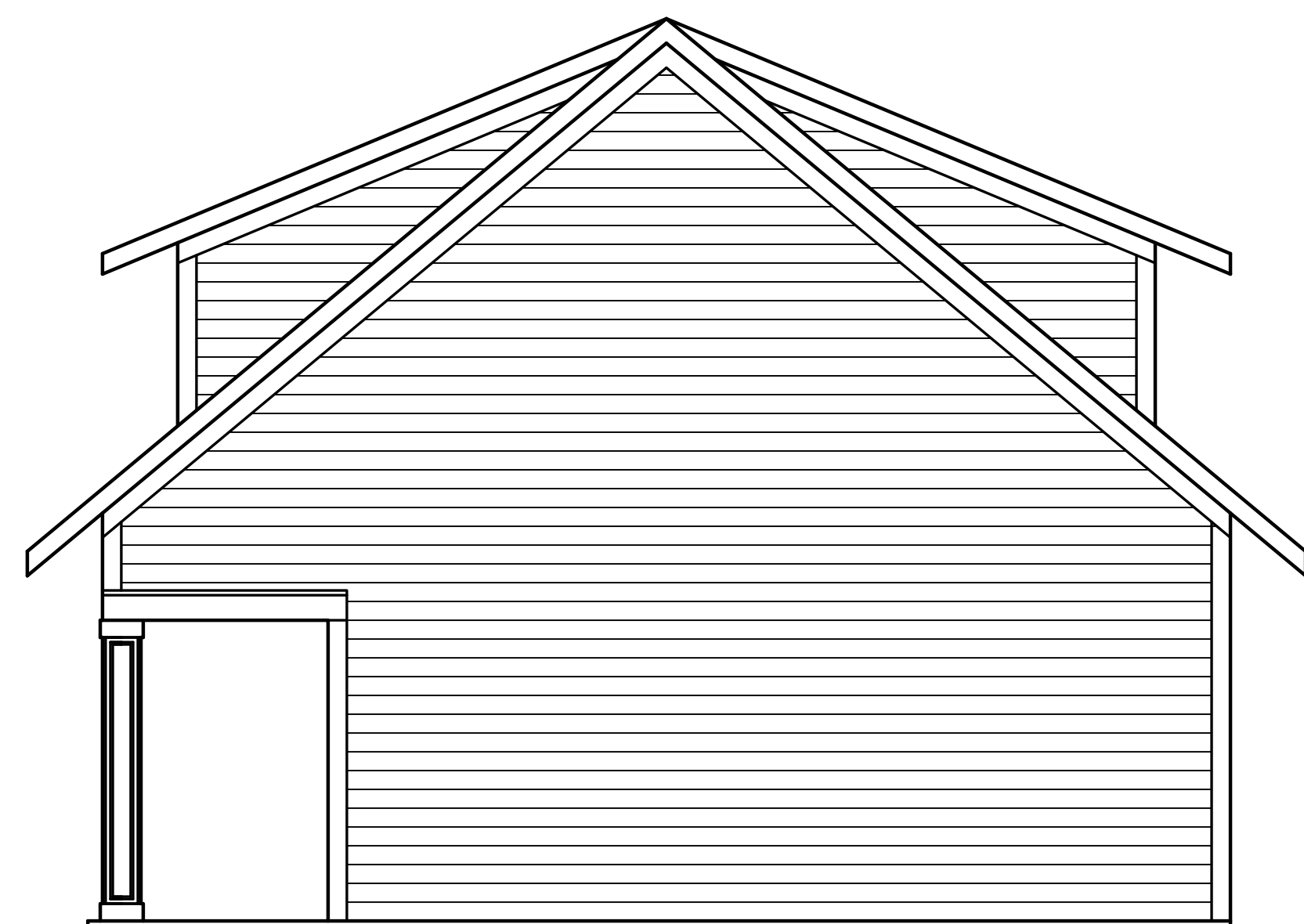


**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

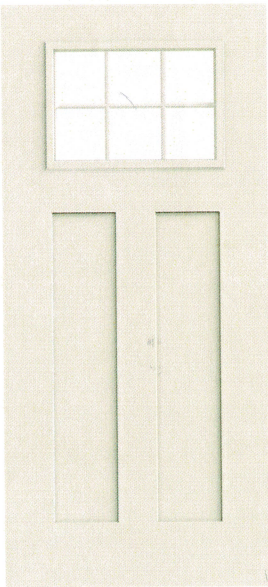


PRICING

Many options will influence the price of your door.  
To get an estimate, contact your JELD-WEN dealer.

WHERE TO BUY (/WHERE-TO-BUY?  
PID=147201)

GET HELP ON YOUR PROJECT (/EN-US/GET-HELP?  
PID=147201&JWCT\_GETHELP=PRODUCTPAGE)



Model Overview

PROJECT TYPE

New construction and replacement

MAINTENANCE LEVEL

Minimal

WARRANTY

Lifetime Warranty

COLORS & FINISHES

1 Finish Option

GLASS

Energy efficient, tinted and privacy.

CONSTRUCTION

ADA Requirements  
Impact Resistant Doors  
Smooth-Pro Construction

PANEL OPTIONS

Panel options

Garage Door Design Center (/garage-door-design-center)

Architect Resource Center (/architect-resource-center)

Find a Dealer (/find-a-dealer)

Search...

WayneDalton

GARAGE DOORS

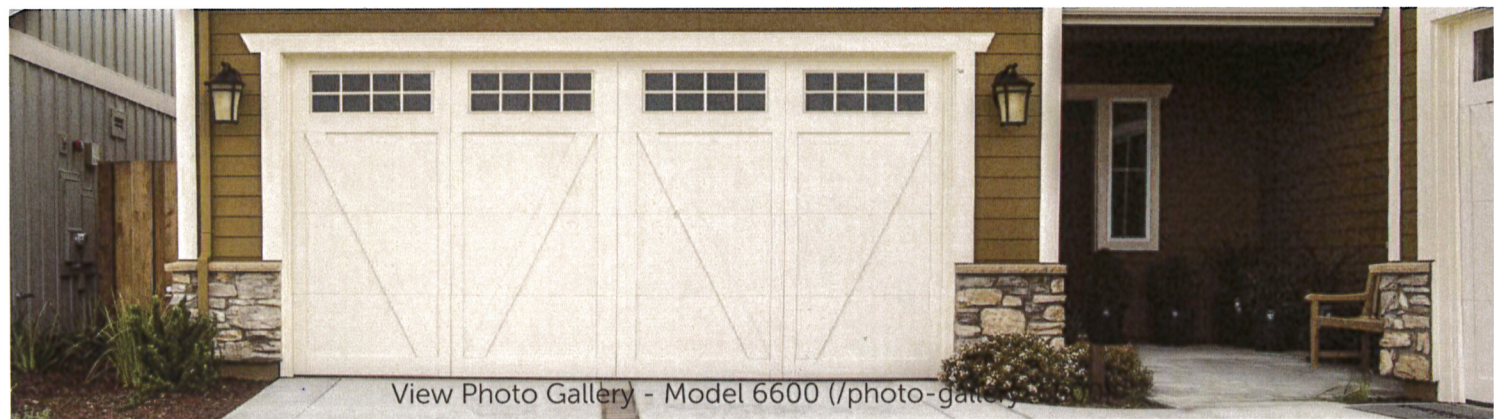
COMMERCIAL DOORS (/COMMERCIAL-DOORS)

SUPPORT

DEALER RESOURCES (/DEALER-RESOURCES)

# Carriage House Style Garage Doors

Model 6600



View Photo Gallery - Model 6600 (/photo-gallery)

## WAYNE DALTON ADVANTAGES

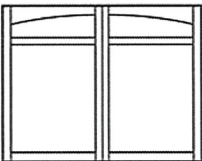
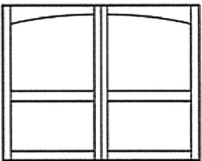
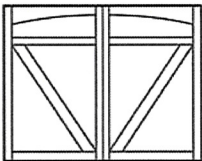
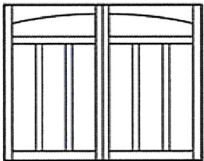
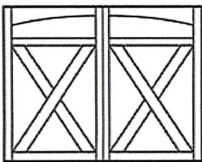
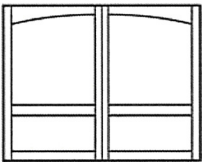
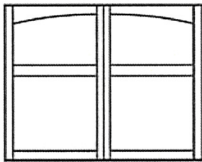
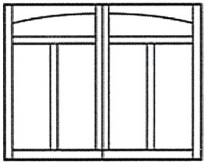
Made with a polyurethane foam insulation core between two sheets of steel and DecaTrim™ II overlays, the Model 6600 Carriage House Style Garage Doors are durable and a unique way to add curb appeal to your home. With 11 different carriage house designs, you are sure to find the perfect garage door to complement your home.

These Carriage House Style Garage Doors come with foamed-in-place polyurethane insulation with an R-value of 12.12\*, which can improve your home's thermal efficiency, block street noise and make the door operate more quietly. This door also offers wind load options, quiet rollers, and snug-fitting tongue-and-groove section joints that reduce wind and weather from entering the garage.

\*Wayne Dalton uses a calculated door section R-value for our insulated doors.

- DESIGN
- COLORS
- WINDOWS
- HARDWARE
- FEATURES
- DOCUMENTS

### Arched Top Garage Door Design Options

 <div>Arlington</div>	 <div>Ashburn</div>	 <div>Bellview</div>	 <div>Brunswick</div>
 <div>Lexington</div>	 <div>Richmond</div>	 <div>Savannah</div>	 <div>Somerset</div>





Our Message on Coronavirus/COVID-19(/notifications/covid19-response)

WHERE TO BUY

(/WHERE-TO-BUY)

GET HELP ON YOUR PROJECT (/EN-US/GET-HELP?

JWCT\_GETHELP=UTILITYLINKS)

FOR INVESTORS

USA

(HTTP://INVESTORS.JELD-

WEN.COM/)

| WELCOME

PHILIP



## W-2500™ Clad-Wood

These stylish, energy-efficient wood windows are as durable as they are beautiful. Designed to protect against the elements, our W-2500™ Clad-Wood windows offer exceptional longevity & elegance with designs for a wide range of architectural styles.

5

Models Available

Moderate

Maintenance Level

\$

\$

\$

Price Range

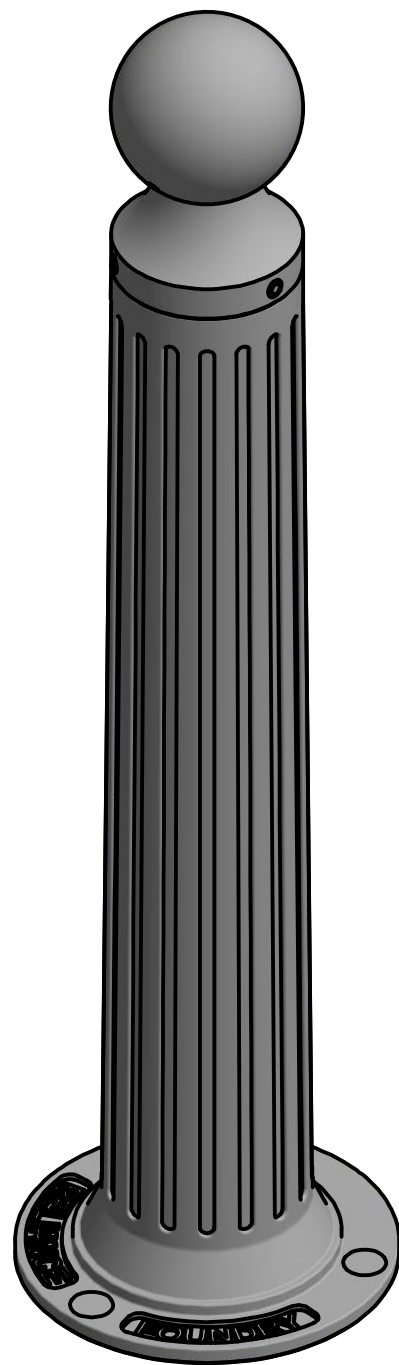
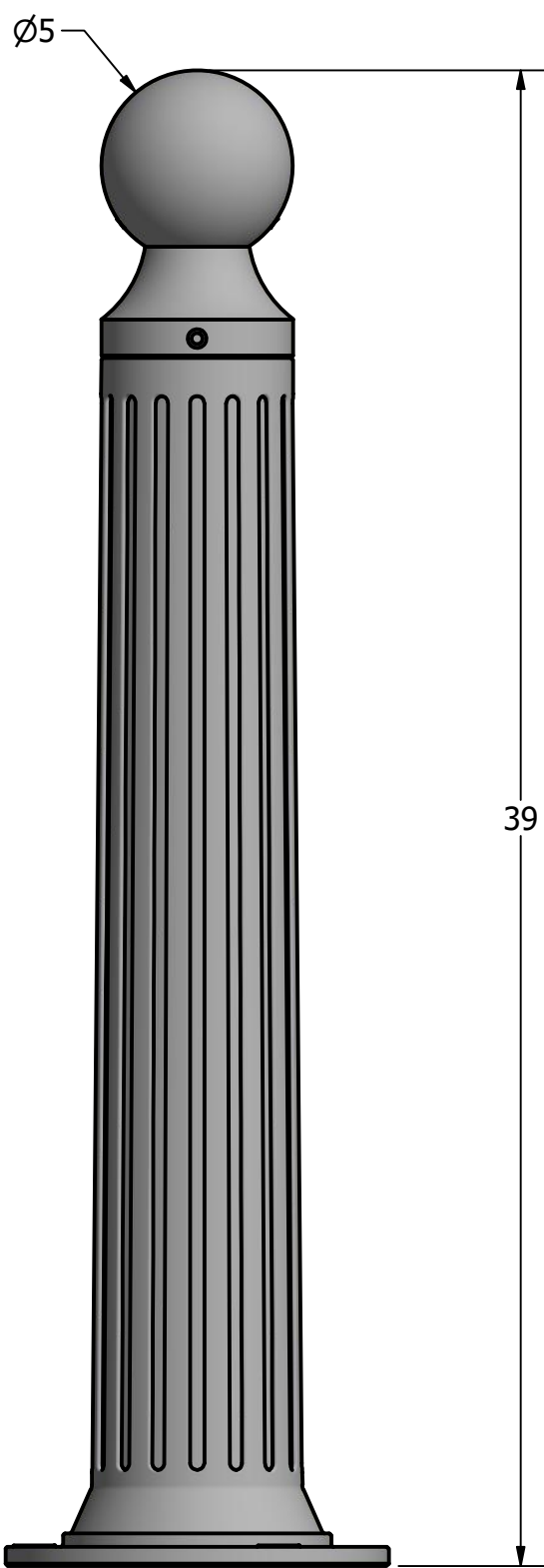
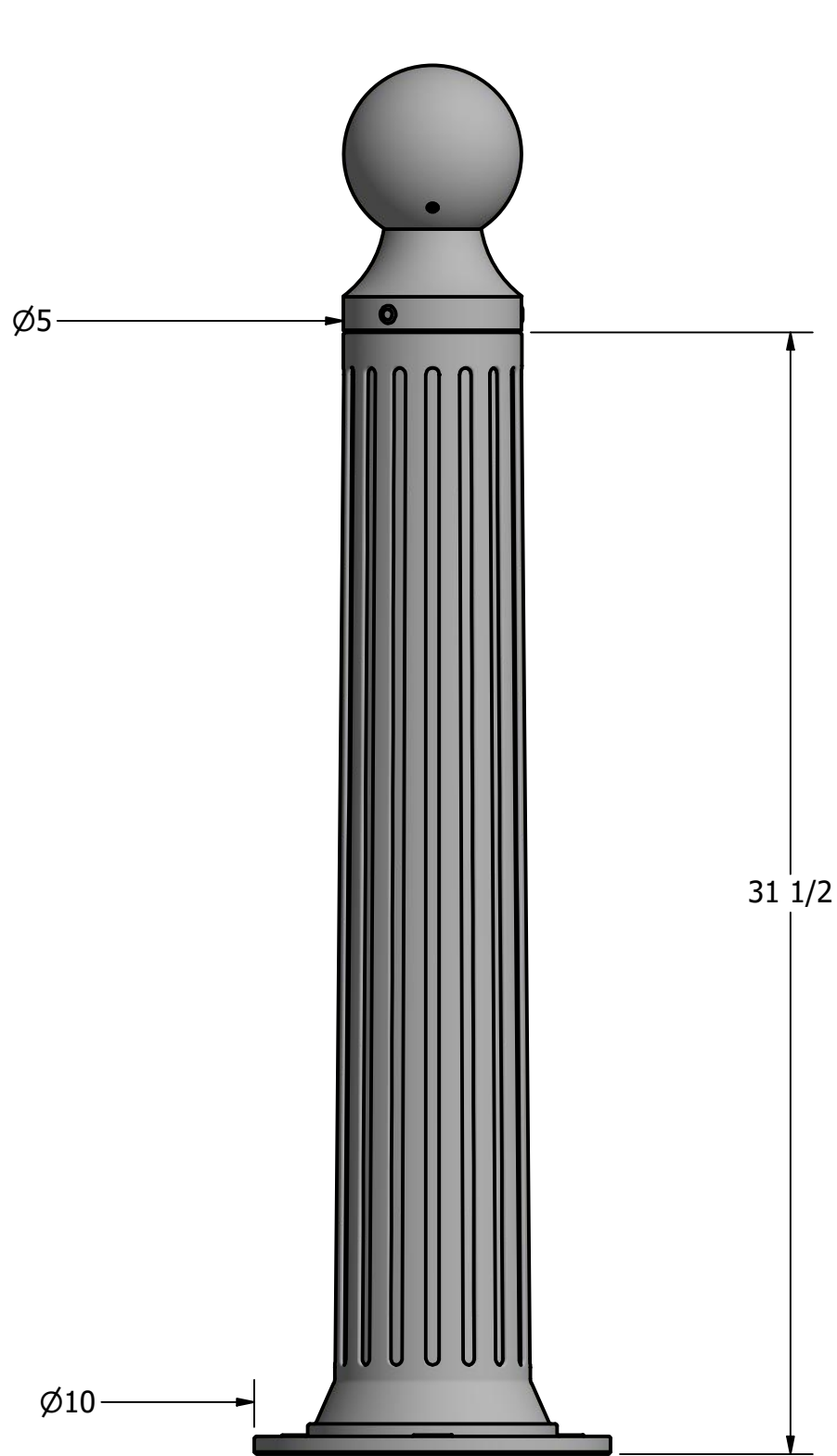
LIMITED

20-YEAR

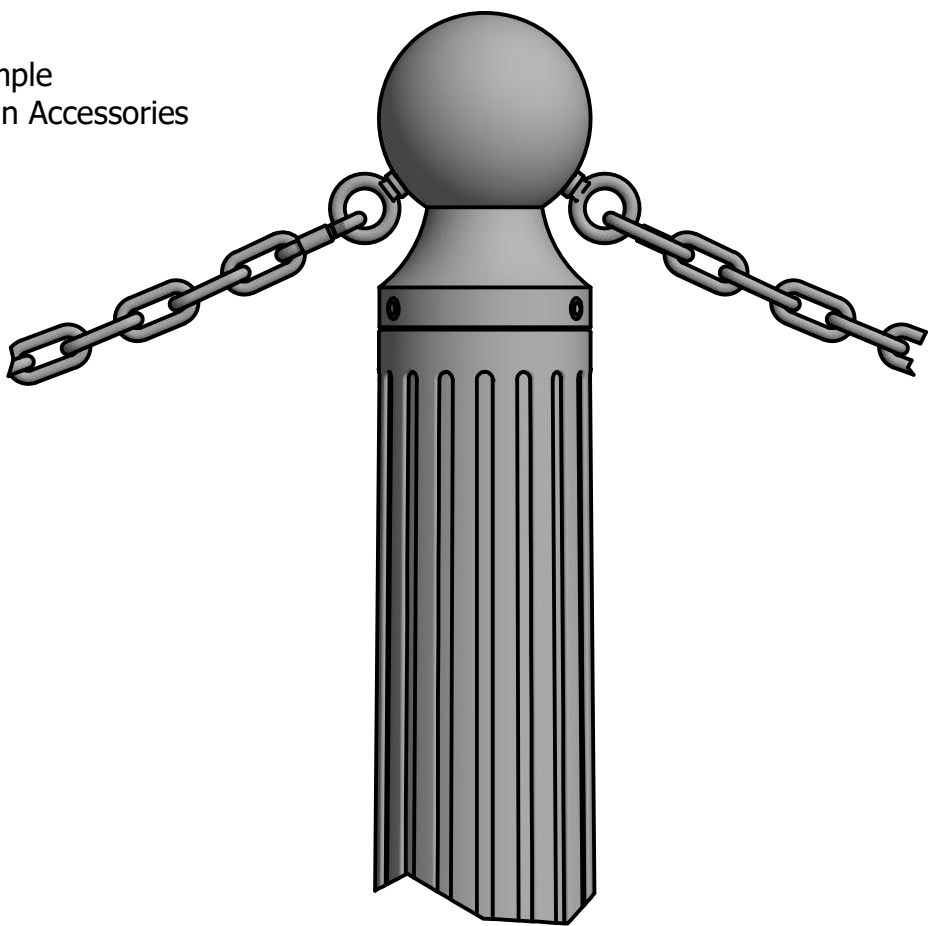
WARRANTY



Bollard R-7530



Installation Sample  
with 5/16" Chain Accessories



Bollard Chain Eye 3/8"  
(Powder Coated)



Quick Link Connector 5/16"  
(Powder Coated)



Bollard Chain 5/16"  
(Powder Coated)

Optional Accessories:

- Chain Eye
- Quick link
- Chain (5/16")
- Padlock, Brass (1 3/4")
- Padlock, Stainless Steel (2")

See Reliance Foundry's optional accessories at:  
[www.reliance-foundry.com/bollard/accessories-bollards](http://www.reliance-foundry.com/bollard/accessories-bollards)

General Description:

The R-7530 Decorative Bollard features a narrow body, suitable for high-traffic locations and lightweight removability. R-7530 bollards are made from a versatile ductile iron, featuring decorative fluting and spherical top castings. Bollard surfaces are protected by a durable powder coating, available in 6 standard colors. Use as fixed, stand-alone bollards or cover impact-resistant security posts. Unique design allows R-7530 bollards to be flush-mounted to existing concrete surfaces. Removable mountings are available.

Specifications:

Height: 39"  
Base Diameter: 10"  
Weight: 62 lbs ( Bollard Only )  
Material: Ductile Iron  
Max. Interior Security Post Size:  
3 1/2" x 29" (Diameter x Height)

Finish Options:

○ Polyester Powdercoated

See Reliance Foundry's standard color options at:  
[www.reliance-foundry.com/bollard/colors-bollards](http://www.reliance-foundry.com/bollard/colors-bollards)

Installation Options:

- Fixed - Anchor Casting in New Concrete (see sheet 2 of 13)
- Fixed - Concrete Insert Anchor in Existing Concrete (see sheet 3 of 13)
- Fixed - Adhesive Anchor in Existing Concrete (see sheet 4 of 13)
- Fixed - Anchor Casting with Concrete Form (see sheet 5 of 13)
- Fixed - Flanged in Existing Concrete (see sheet 6 of 13)
- Post Cover - New Post in New Concrete (see sheet 7 of 13)
- Post Cover - New Post in Existing Concrete (see sheet 8 of 13)
- Post Cover - Existing Post with Adhesive Anchor (see sheet 9 of 13)
- Post Cover - Existing Post with Concrete Anchor (see sheet 10 of 13)
- Removable - Anchor Casting in New Concrete (see sheet 11 of 13)
- Removable - Concrete Insert Anchor in Existing Concrete (see sheet 12 of 13)
- Removable - Premium Retractable in New Concrete (see sheet 13 of 13)

For more information on bollard post installation, please visit:  
[www.reliance-foundry.com/bollard/installation-bollards](http://www.reliance-foundry.com/bollard/installation-bollards)

Care and Maintenance:

Reliance's line of bollards are finished with a long-lasting powder-coating. Proper care and maintenance are required. Regularly-performed inspections and routine cleaning will ensure that a bollard retains its aesthetic appeal and does not become damaged by the elements.

See Reliance Foundry's maintenance guide at:  
[www.reliance-foundry.com/bollard/maintenance-bollards](http://www.reliance-foundry.com/bollard/maintenance-bollards)

RELIANCE FOUNDRY  
— SINCE 1925 —

Unit 207, 6450 - 148 Street, Surrey, BC V3S 7G7, Canada  
1-877-789-3245 info@reliance-foundry.com  
[www.reliance-foundry.com](http://www.reliance-foundry.com)

TITLE

Bollard R-7530

SIZE

C

DWG NO

R7530

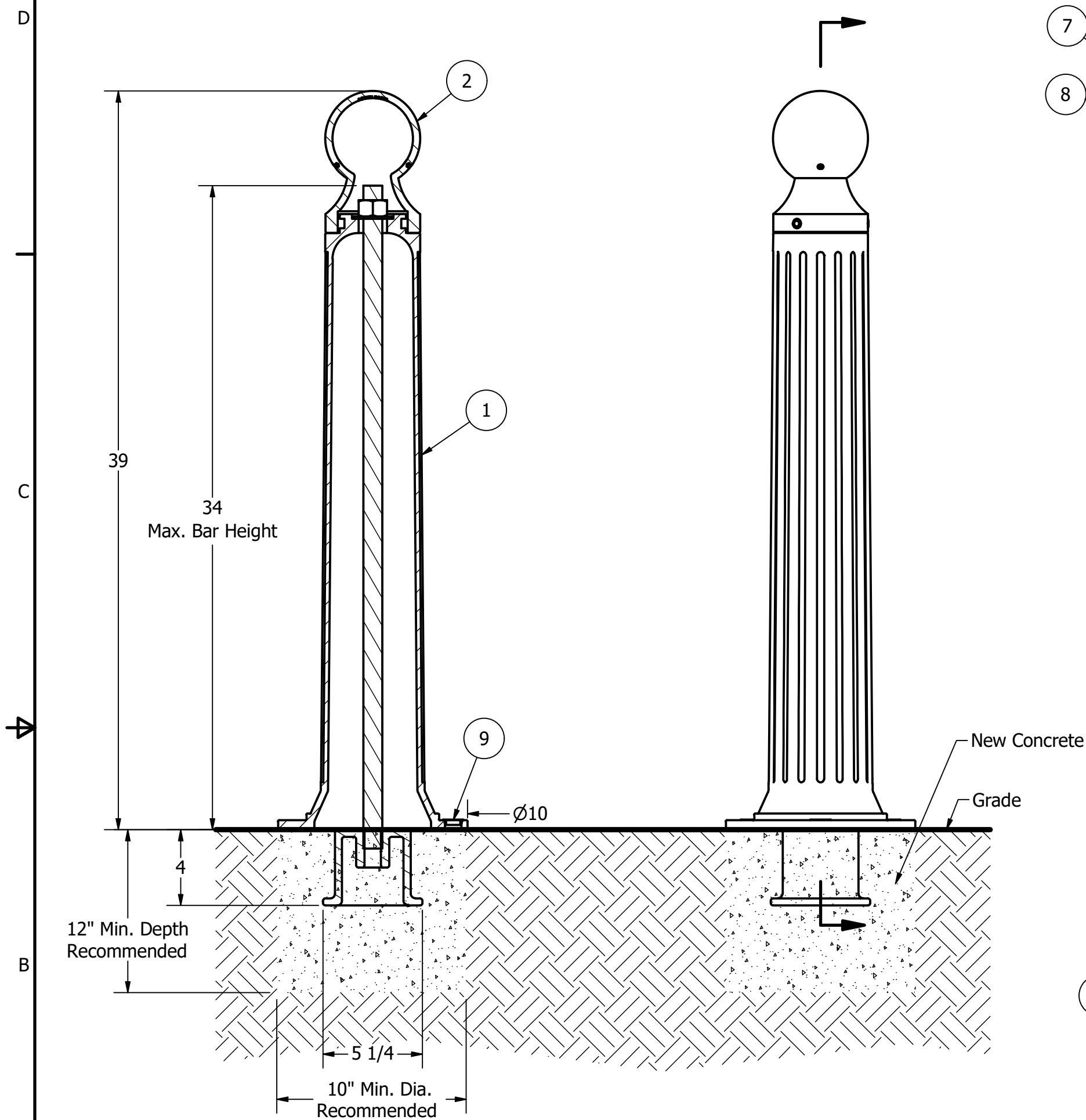
REV

C7

NOT TO SCALE

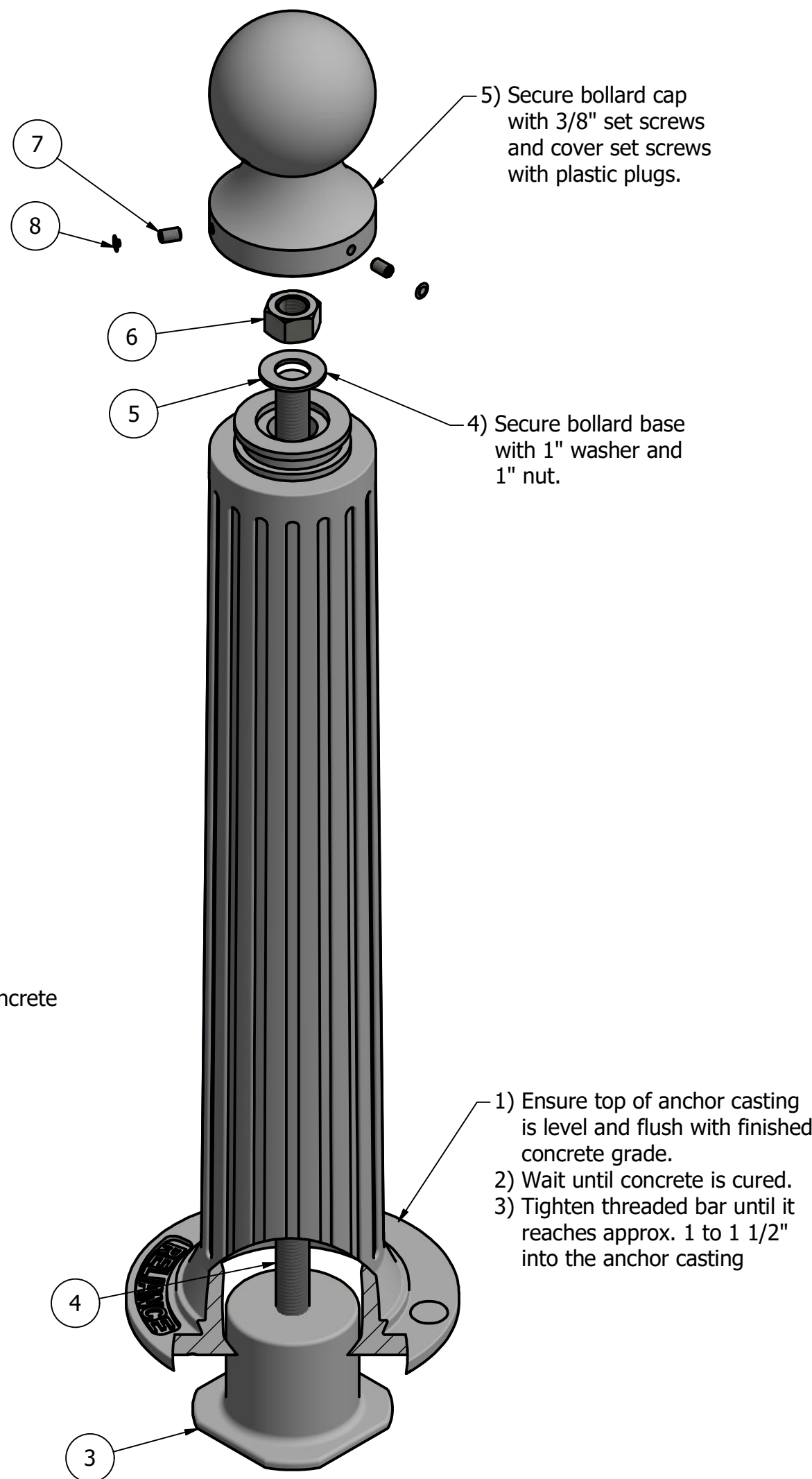
SHEET 1 OF 13

# Bollard R-7530



## Notes:

- 1) Bollard post is provided as shown. Concrete, foundation and/or installation ordered separately or provided by others.
- 2) Minimum foundation sizes depend on local soil conditions, weather conditions, and engineering requirements.
- 3) Dimensions provided herein is for reference only. Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
- 4) Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.



## Tools needed:

- 1) Measuring tape
- 2) 1 1/2" wrench
- 3) 3/16" hex key

## General Description:

The R-7530 Decorative Bollard features a narrow body, suitable for high-traffic locations and lightweight removability. R-7530 bollards are made from a versatile ductile iron, featuring decorative fluting and spherical top castings. Bollard surfaces are protected by a durable powder coating, available in 6 standard colors. Use as fixed, stand-alone bollards or cover impact-resistant security posts. Unique design allows R-7530 bollards to be flush-mounted to existing concrete surfaces. Removable mountings are available.

## Specifications:

Height: 39"  
Base Diameter: 10"  
Weight: 62 lbs ( Bollard Only )  
Material: Ductile Iron  
Max. Interior Security Post Size:  
3 1/2" x 29" (Diameter x Height)

## Finish Options:

⊙ Polyester Powdercoated

See Reliance Foundry's standard color options at:  
[www.reliance-foundry.com/bollard/colors-bollards](http://www.reliance-foundry.com/bollard/colors-bollards)

## Installation Options:

- ⊙ Fixed - Anchor Casting in New Concrete (see sheet 2 of 13)
- Fixed - Concrete Insert Anchor in Existing Concrete (see sheet 3 of 13)
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[www.reliance-foundry.com/bollard/installation-bollards](http://www.reliance-foundry.com/bollard/installation-bollards)

## Care and Maintenance:

Reliance's line of bollards are finished with a long-lasting powder-coating. Proper care and maintenance are required. Regularly-performed inspections and routine cleaning will ensure that a bollard retains its aesthetic appeal and does not become damaged by the elements.

See Reliance Foundry's maintenance guide at:  
[www.reliance-foundry.com/bollard/maintenance-bollards](http://www.reliance-foundry.com/bollard/maintenance-bollards)

## PARTS LIST

ITEM	QTY	PART NUMBER	DESCRIPTION	MATERIAL	WEIGHT
1	1	R7530B	R7530 Base	Ductile Iron Powder Coated	52 lbs
2	1	R7530C	R7530 Cap	Ductile Iron Powder Coated	10 lbs
3	1	R7500AN 1"	R7500 Anchor Casting 1"	Ductile Iron Hot Dip Galvanized	8 3/8 lbs
4	1	R7500BAR 1"	R7500 Threaded Bar 1" x 35"	Steel Plated	6 1/2 lbs
5	1	Washer 1" OD 2"	Washer 1" OD 2" Thick 1/8"	Steel Plated	1/8 lbs
6	1	Hex Nut 1"	Hex Nut 1" - requires 1 1/2" wrench	Steel Plated	1/4 lbs
7	3	Hexagon Socket Set Screw 3/8" x 5/8"	Hexagon Socket Set Screw 3/8" x 5/8" - requires 3/16" hex key	Stainless Steel	
8	3	Polyethylene Plug 3/8"	Polyethylene Plug 3/8"	LDPE Black	
9	3	Polyethylene Plug 7/8"	Polyethylene Plug 7/8"	Polyethylene Plastic	

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1-877-789-3245 info@reliance-foundry.com  
[www.reliance-foundry.com](http://www.reliance-foundry.com)

TITLE

**Bollard R-7530**

SIZE

**C**

DWG NO

**R7530**

REV

**C7**

NOT TO SCALE

SHEET 2 OF 13

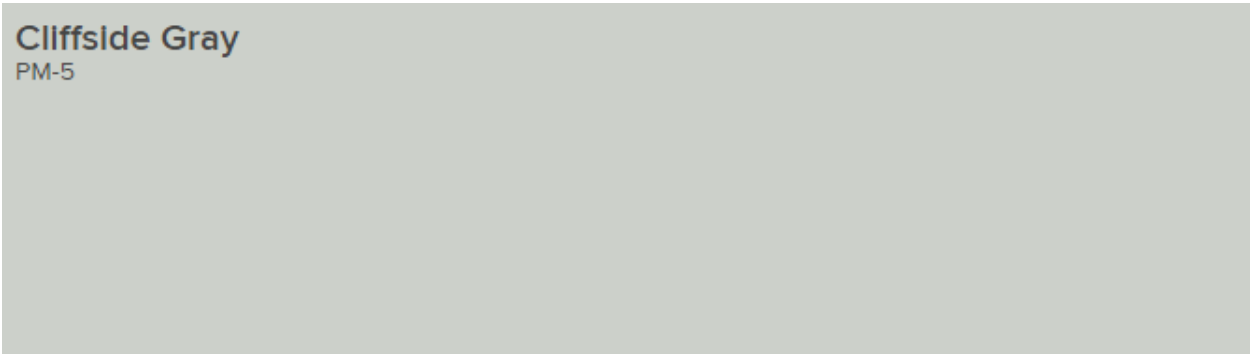
## Siding

**Simply White**  
OC-117

A large rectangular color swatch in a light cream or off-white shade, representing the 'Simply White' color.

## Trim

**Cliffside Gray**  
PM-5

A large rectangular color swatch in a medium gray shade, representing the 'Cliffside Gray' color.

## Doors

**Hale Navy**  
HC-154

A large rectangular color swatch in a dark navy blue shade, representing the 'Hale Navy' color.







## Gregg Harding

---

**From:** Philip Partington <philip@smp-arch.com>  
**Sent:** Monday, February 15, 2021 10:28 AM  
**To:** Gregg Harding  
**Subject:** [EXTERNAL] Sherrill's  
**Attachments:** garden 4.jpg; Garden 1.jpg; Garden 2.jpg; garden 3.jpg

### THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Greg,  
I have attached some pictures of the Sherrill's Heritage Camellia Garden. The original owner and gardener was RC Palmer, was also a founding member and Secretary of the American Camellia Society.

Philip Partington, AIA  
p • 850.432.7772 x216 m • 850.712.5765  
e • philip@smp-arch.com  
250 E. Intendencia St.  
Pensacola, Florida 32502



Listen. Interpret. Translate.











# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 21-00175

Architectural Review Board

2/18/2021

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/11/2021

**SUBJECT:**

904 N. Barcelona Street  
North Hill Preservation District / Zone PR-2  
Change of Roofing Materials on a Contributing Structure

**BACKGROUND:**

Jeff Hogue is requesting approval to add standing seam metal roofing to the turrets and porch roof, and to replace the remaining sections with architectural shingles in "Pristine Pewter" which were approved in November 2018. An abbreviated review request for this project was referred to a full board review in February 2021.

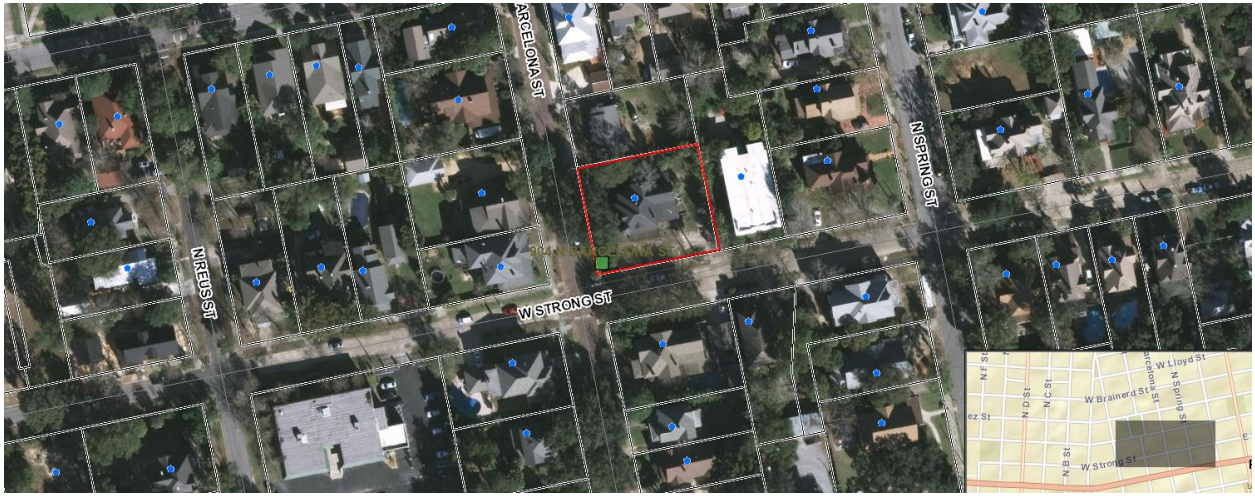
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS:**

Sec. 12-3-10(2)(d)(2)(ii)a *North Hill Preservation District, Rules governing decisions*  
Sec. 12-3-10(2)(f) *NHPD, Restoration, rehabilitation, alterations or additions to existing contributing structures*



904 N. Barcelona Street





City of  
**Pensacola**  
*America's First Settlement  
And Most Historic City*

**Architectural Review Board Application  
Abbreviated Review**

Application Date: **1-15-21**

**Project Address:** 904 N BARCELONA ST. PENSACOLA, FL 32501

**Applicant:** JEFF HOGUE

**Applicant's Address:** 820 N BARCELONA ST. PENSACOLA, FL 32501

**Email:** jhogue@wayne-dalton.com **Phone:** 850-384-3087

**Property Owner:** JEFF HOGUE

(If different from Applicant)

**District:** **PHD** ☐ **NHPD** ☒ **OEHPD** ☐ **PHBD** ☐ **GCD** ☐

There is a \$25 Application Fee for the following project types:

- ☐ Change of Paint Color(s) Body: \_\_\_\_\_  
Trim: \_\_\_\_\_  
Accent: \_\_\_\_\_
- ☐ New/Replacement Sign(s) Sign Type: \_\_\_\_\_  
Dimensions: \_\_\_\_\_  
Colors: \_\_\_\_\_
- ☒ Minor Deviation to an Approved Project / Change of Roofing Material / Fence Description: **CHANGE OF ROOF MATERIALS "Pristine Pewter"**  
**COLOR WEATHERED WOOD APPROVED - ADDING STANDING SEAM ROOF METAL TO AREAS SHOWN ON ELEVATIONS.**

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

Gregg  
Harding

ARB Secretary Signature

Digitally signed by Gregg Harding  
DN: cn=Gregg Harding, o.ou,  
email=gharding@cityofpensacola.co  
m, c=US  
Date: 2021.01.29-12:13:49 -0600

Application received 1/26

Date

This request was reviewed and approved by the following members of the Architectural Review Board:

Yuri Ramos

2021.02.08  
08:18:49-06'00'

Architect Signature / Date

Comments: Recommend full board review for further discussion on historical appropriateness of proposed change. Review/comments from the North Hill Preservation Association would also facilitate ARB discussions.

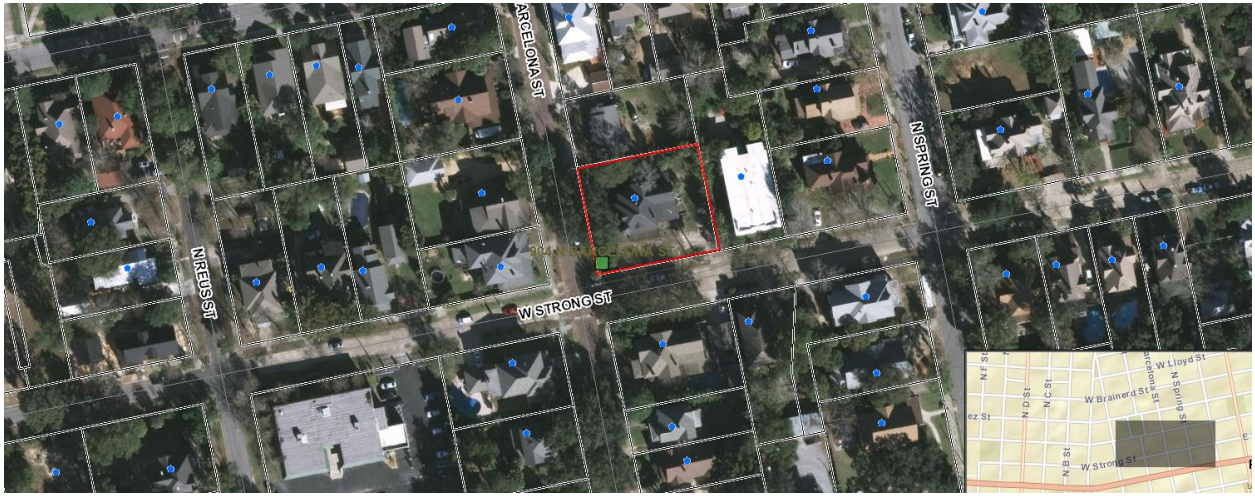
Comments: \_\_\_\_\_

UWFHT Representative Signature / Date

**Planning Services**  
**222 W. Main Street \* Pensacola, Florida 32502**  
**(850) 435-1670**  
**Mail to: P.O. Box 12910 \* Pensacola, Florida 32521**



904 N. Barcelona Street







Bowles & Cordes, LLC  
Architecture & Engineering  
7416 Camale Dr.  
Pensacola, FL 32504  
(850) - 479-2898  
(850) 962-9741



I HAVE REVIEWED THIS PLAN  
FOR COMPLIANCE WITH THE  
2011 FLORIDA RESIDENTIAL  
BUILDING CODE, 6TH EDITION

JEFF & ROBIN HOGUE RENOVATION  
904 NORTH BARCELONA STREET  
PENSACOLA, FLORIDA 32501  
ESCAMBIA COUNTY, FLORIDA

Release/Revision Schedule  
3-24-19 FOR CONSTRUCTION

Drawn By: BBC  
Checked By: BBC

0711

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service & shall remain the property  
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the consent of the Architect

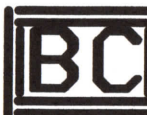
**A-13**  
OF 25 SHEETS





PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



Bowles & Cordes, LLC  
Architecture & Engineering  
7418 Camale Dr.  
Pensacola, FL 32504  
(850) - 479-2898  
(850) 982-9741



I HAVE REVIEWED THIS PLAN  
FOR COMPLIANCE WITH THE  
2011 FLORIDA RESIDENTIAL  
BUILDING CODE, 6TH EDITION

JEFF & ROBIN HOGUE RENOVATION  
904 NORTH BARCELONA STREET  
PENSACOLA, FLORIDA 32501  
ESCAMBIA COUNTY, FLORIDA

Drawn By: BBC  
Checked By: BBC

Release/Revision Schedule  
3-24-19 FOR CONSTRUCTION  
5-14-20 REVISION ONE

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**A-14**

OF 25 SHEETS



### PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

\*\*NOTE: GARAGE NOT SHOWN FOR CLARITY.



Bowles & Cordes, LLC  
Architecture & Engineering  
7416 Camale Dr.  
Pensacola, FL 32504  
(850) - 479-2898  
(850) 982-9741



I HAVE REVIEWED THIS PLAN  
FOR COMPLIANCE WITH THE  
2011 FLORIDA RESIDENTIAL  
BUILDING CODE, 4TH EDITION

JEFF & ROBIN HOGUE RENOVATION  
904 NORTH BARCELONA STREET  
PENSACOLA, FLORIDA 32501  
ESCAMBIA COUNTY, FLORIDA

BBC

BBC

Drawn By:

Checked By:

Release/Revision Schedule  
3-24-19 FOR CONSTRUCTION  
1-17-20 REVISION ONE

0711

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# A-15

OF 25 SHEETS

JEFF & ROBIN HOGUE RENOVATION  
904 NORTH BARCELONA STREET  
PENSACOLA, FLORIDA 32501  
ESCAMBIA COUNTY, FLORIDA

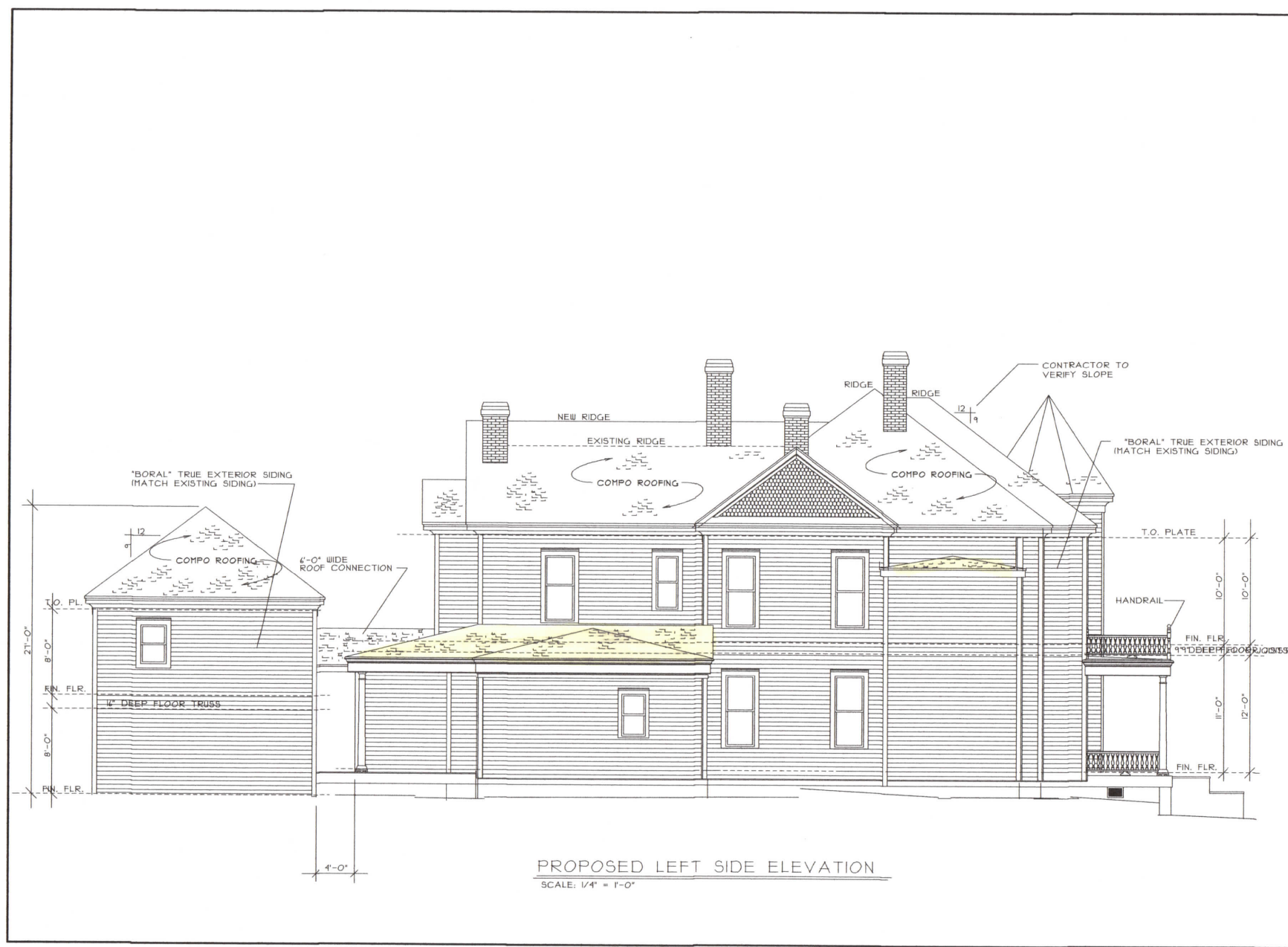
Drawn By: BBC  
Checked By: BBC

Release/Revision Schedule  
3-24-19 ■ FOR CONSTRUCTION  
1-17-20 ■ REVISION ONE

D711

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**A-16**  
OF 25 SHEETS







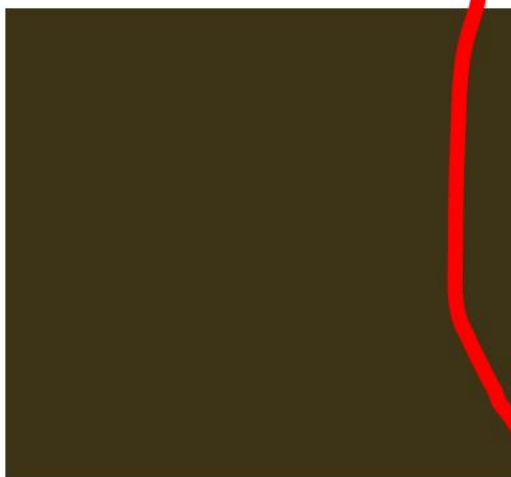
▲★ CHARCOAL



INTERSTATE BLUE



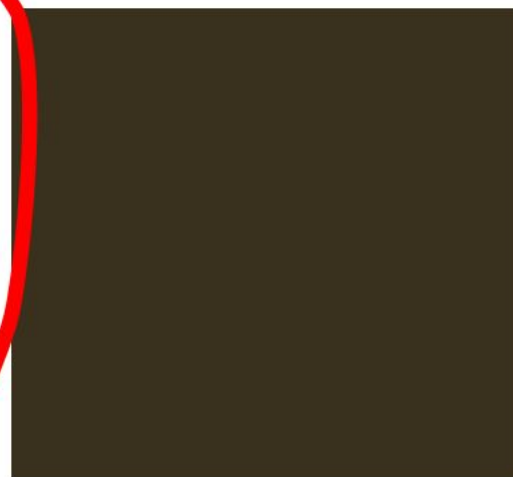
▲★ SLATE BLUE



▲★ DARK BRONZE



BURNISHED SLATE



AGED BRONZE





# RESIDENTIAL



Cover Photo:  
Residence, Burr Ridge, IL  
Architect: Michael Buss Architects  
Installing contractor: Complete Flashings  
Builder: McNaughton Brothers Construction  
Material: Snap-Clad .032 aluminum  
Color: Charcoal



Residence, Ponte Vedra Beach, FL  
Architect: Jaycox Reinel Architects  
General contractor: C. F. Knight Inc.  
Roofing fabricator: Thorne Metal Systems  
Material: PAC-CLAD Slate Gray .040 aluminum



Walls Residence, Little Rock, AR  
Architect: Polk Stanley Wilcox Architects  
Installing contractor: Covington Roofing & Sheet Metal  
Material: PAC-CLAD 24 ga. steel  
Color: Musket Gray



**PAC-CLAD**  
P E T E R S E N



AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	★ MILITARY BLUE	BERKSHIRE BLUE
GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	BURNISHED SLATE	AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

●👑 ANODIC CLEAR	●👑 SILVERSMITH	●▲★👑 SILVER	●▲★👑 CHAMPAGNE	●▲★👑 COPPER PENNY
●▲★👑 ZINC	●▲★👑 WEATHERED ZINC	👑 WEATHERED STEEL	👑 WEATHERED COPPER	●▲★👑 AGED COPPER

▲ Cool Colors   ● Metallic Colors   ★ Energy Star Colors   👑 Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.



Design: Stuart Cohen & Julie Hacker Architects  
Photo: Tony Soluri Photography

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit [pac-clad.com](http://pac-clad.com) and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.



# A LIFETIME INVESTMENT



Alvhem, Centreville, MD  
Owner: Robert Dahl  
Architect: Torchio Architects  
Installing contractor: CitiRoof Corp.  
Profile: Precision Series HWP  
Color: Matte Black  
Photo: Buchanan Studios Inc.

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

## METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different animal that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

## NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

## STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

## A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

## LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 28 colors that are rated by the Cool Roof Rating Council, plus 30 that are Energy Star-rated. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

## WARRANTY COVERAGE

Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

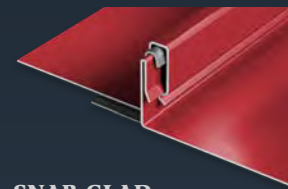


# BEAUTIFUL PROFILES

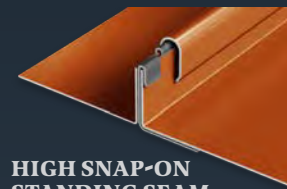


Private residence, Florida  
Architect: T. S. Adams Studio Architects  
Installing contractor: Cartercraft Roofing  
Profiles: PAC-150, Flush panel  
Colors: Weathered Zinc, Champagne

## Metal Roofing



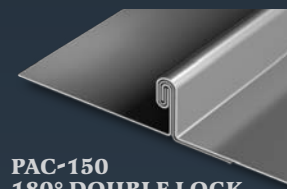
**SNAP-CLAD**



**HIGH SNAP-ON  
STANDING SEAM**



**PAC-150  
90° SINGLE LOCK**

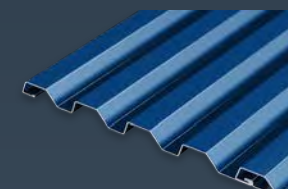


**PAC-150  
180° DOUBLE LOCK**

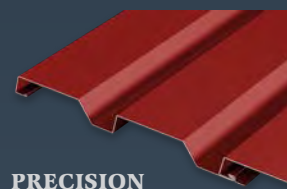


**REDI-ROOF  
STANDING SEAM**

## Siding



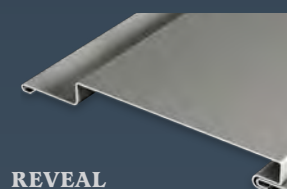
**PRECISION  
SERIES HWP**



**PRECISION  
SERIES  
HIGHLINE 16-C**

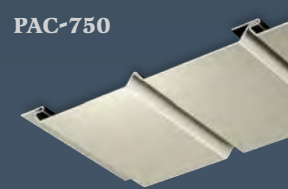


**FLUSH  
PANEL**

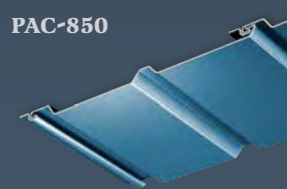


**REVEAL  
PANEL**

## Soffit Panels



**PAC-750**



**PAC-850**

Soffit panels come in solid, full-vented and half-vented variations.





**Slotnick Residence, Glencoe, IL**  
**Owner:** Barry and Natalie Slotnick  
**Contractor:** Scott Simpson Builders  
**Design Firm:** Kipnis Architecture & Planning  
**Fabricator:** Cedar Roofing Company  
**Roofing material:** PAC-CLAD 24 ga. steel  
**Color:** Silver Metallic



**Mongue Residence, Milton, FL**  
**Owner:** The Mongue Family  
**Architect:** Spencer Maxwell Bullock  
**General Contractor:** Biggs Green Construction  
**Contractor:** Specialty Contractors  
**Profiles:** 7/8" Corrugated, Flush Panels & Flashings  
**Colors:** Champagne Metallic & Copper Penny Metallic

[RESIDENTIAL.PAC-CLAD.COM](http://RESIDENTIAL.PAC-CLAD.COM)

**800-PAC-CLAD INFO@PAC-CLAD.COM**

Petersen offers national distribution through its six locations  
 in Illinois, Georgia, Texas, Maryland, Arizona and Minnesota

**75**

2/2018

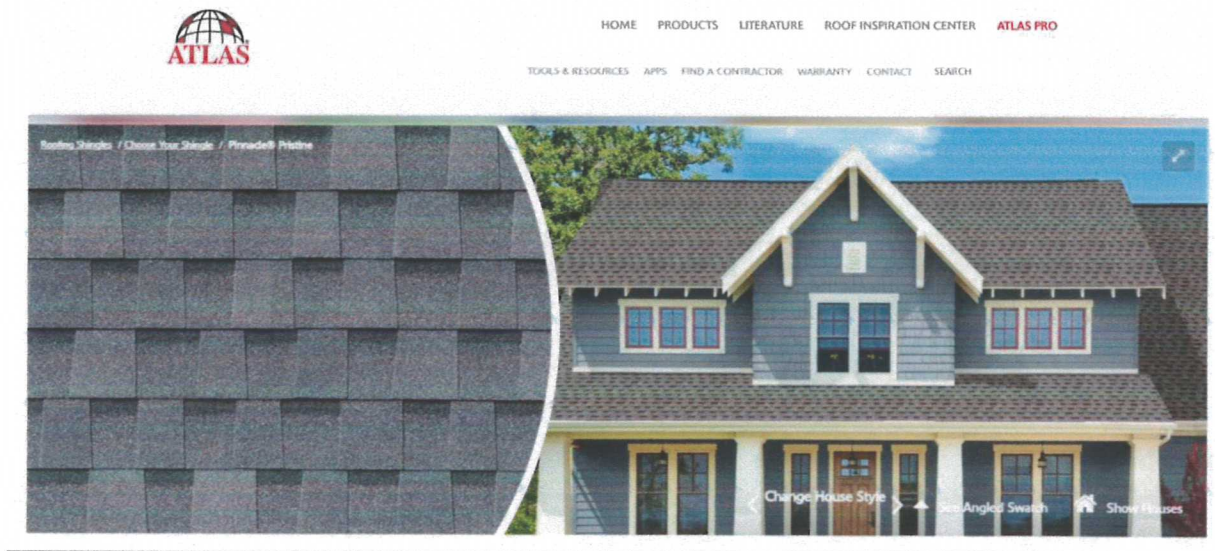


# Shingles approved by ARB in November 2018 (from November 2018 packet)

## ROOF SHINGLES

ATLAS ARCHITECTURAL SHINGLES

COLOR: PRISTINE PEWTER



## EXTERIOR LIGHTING

### WALL

#### Monte Grande 17 3/4" Wall-Mount Lantern



#### Features

- Cast Aluminum Will Not Rust
- Available in 2 Finishes
- Inspired by Traditional Design
- One Medium-Bay Socket Rated for 100W
- CUL Listed for Damp Locations

#### Details

Item Sold As: Fixture Complete with Glass  
Included Hardware: All necessary mounting accessories  
Usually Ships In: 2 to 3 Business Days  
Warranty: 5 Year Warranty

4 1 Review Write a Review

100% of respondents would recommend this to a friend

Read Product Questions & Answers

Finishes: Slate

Quantity: 1

Item #: RS-035HL-5-258-25

Price: \$198.90 **ADD TO CART**

Lighting  
not for  
review

30" LARGE/ALTERNATE VIEWS



# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 21-00183

Architectural Review Board

2/18/2021

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/11/2021

**SUBJECT:**

220 W. Gadsden Street  
North Hill Preservation District / Zone PR-2  
Modifications to New Construction

### **BACKGROUND:**

Jim Veal is requesting approval for modifications to approved plans for new construction. This request includes the following changes:

- Add Solatube light tubes to rear- and side-facing rooflines;
- Relocate the fireplace and chimney;
- Add 4' at the back of the house to the garage; and
- Relocate house 10' to the north.

This project received final approval with need of an abbreviated review in June 2020. An abbreviated review request for these changes were referred to the full board in February 2021.

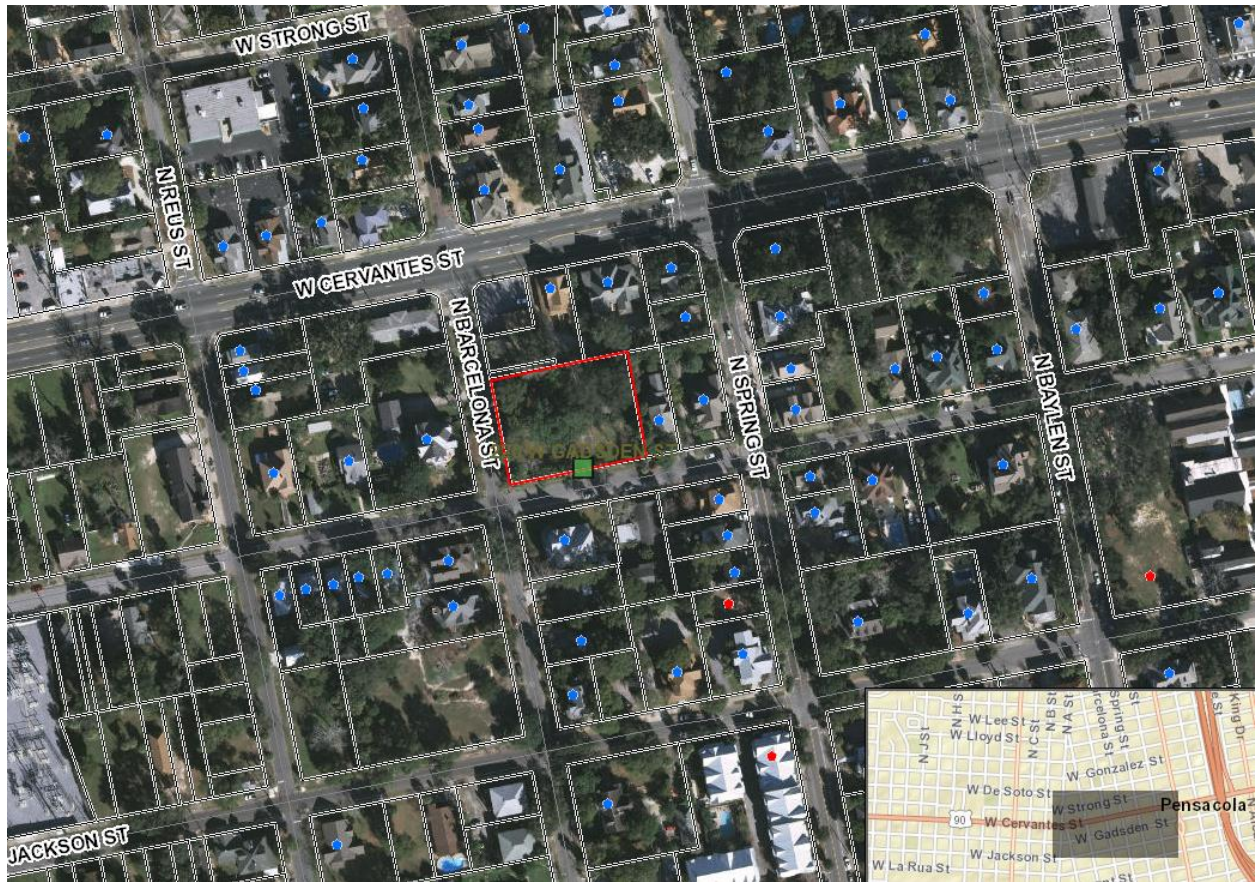
Please find attached all relevant documentation for your review.

### **RECOMMENDED CODE SECTIONS:**

Sec. 12-2-10(B)(8) *NHPD, Regulations for new construction*

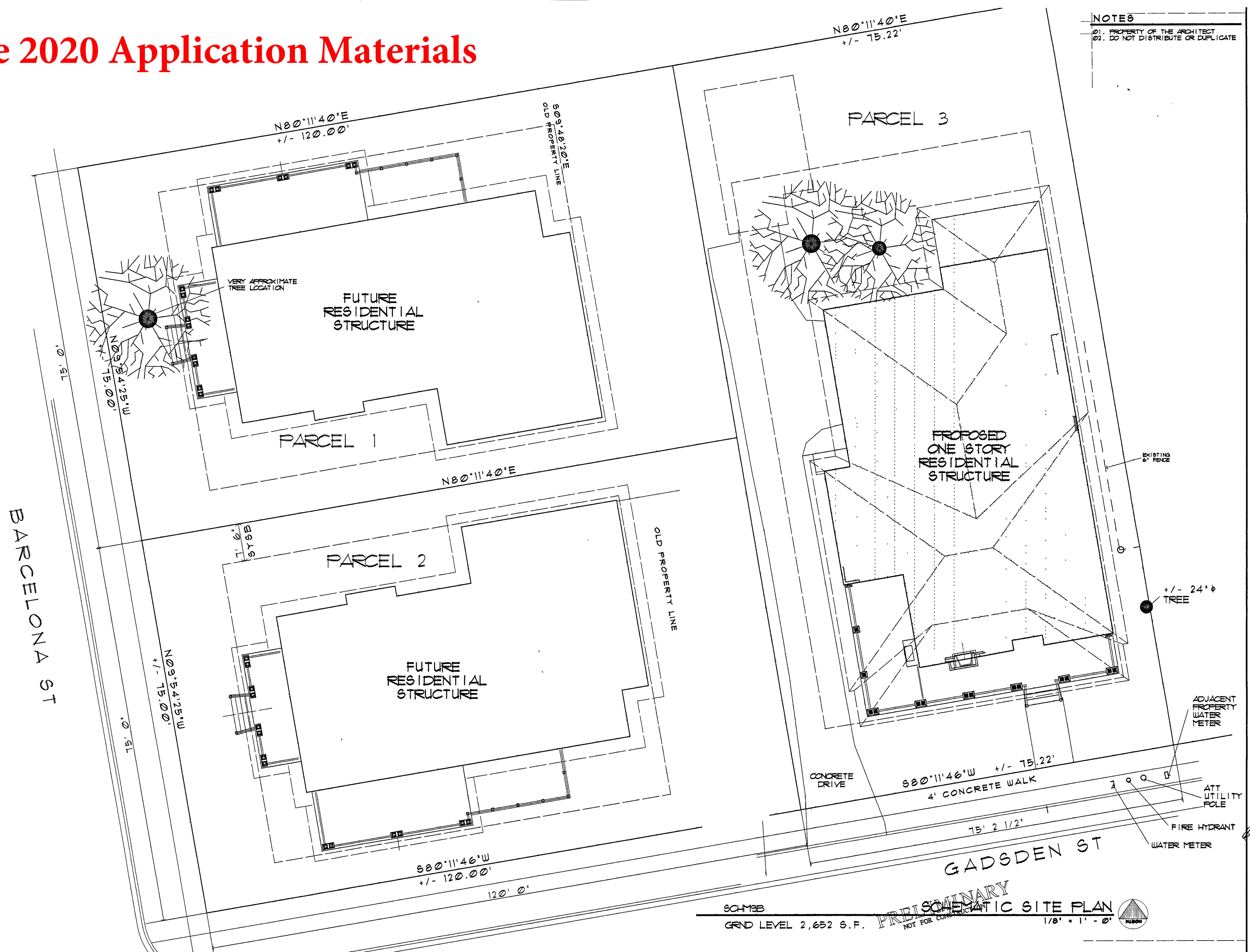


220 W. Gadsden Street





# June 2020 Application Materials



**NOTES**

01. PROPERTY OF THE ARCHITECT  
02. DO NOT DISTRIBUTE OR DUPLICATE

**DATE:**  
3-01-20  
3-18-20

**JVA**  
I. VEAL, ARCHITECT  
627 BAYSHORE DR. PENSACOLA, FL 32507  
1-850-450-3295 jv@jvealarchitect.com  
AL #32636 NC #9066 FL #13055

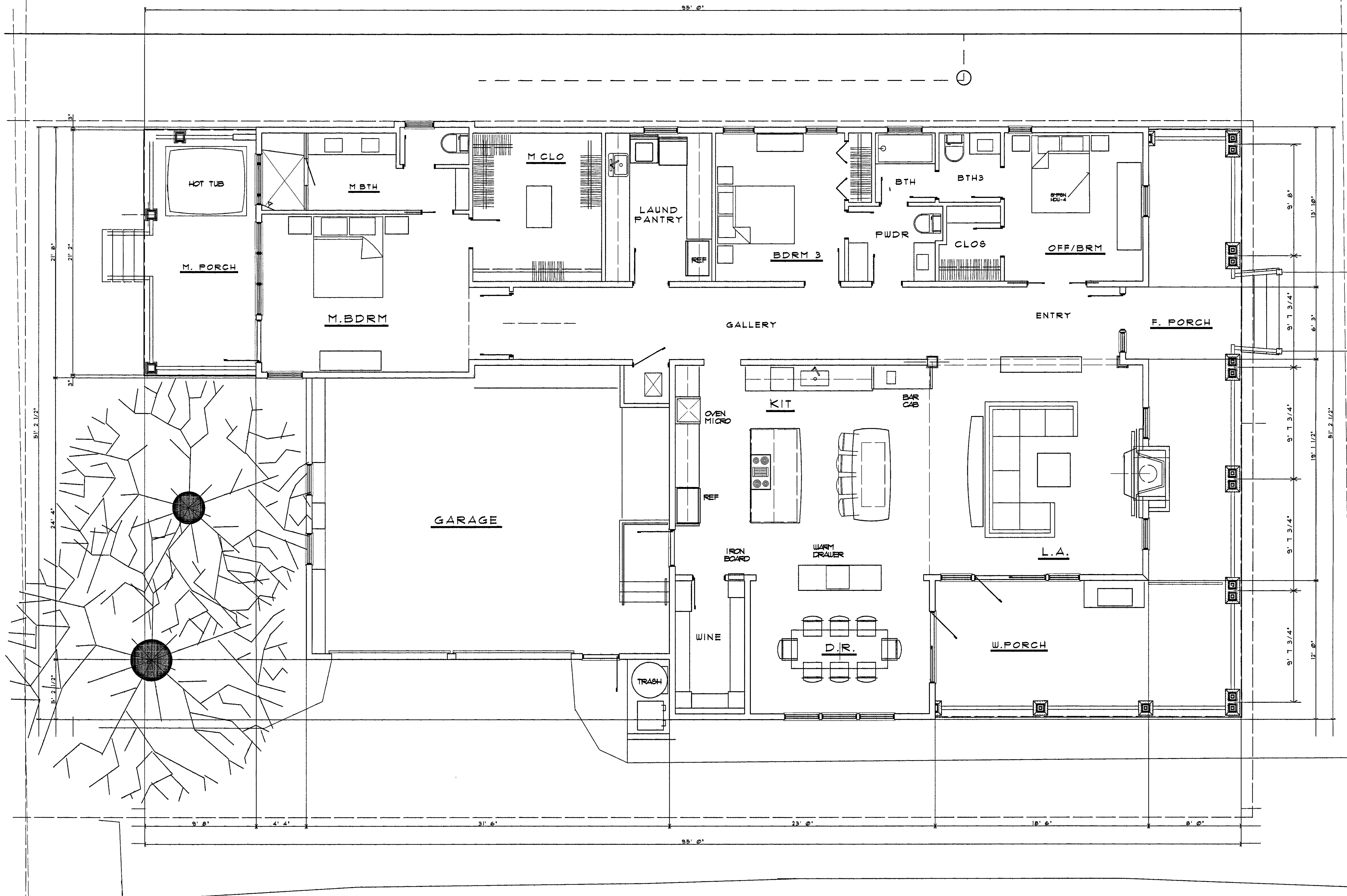
**HOLMES HOME**  
220 WEST GADSDEN STREET, PENSACOLA, FL

© 2020 JVEAL ARCH

DRAWN BY:  
COV  
F  
DIPLN



# June 2020 Application Materials



# GENERAL PLAN NOTES

01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
02. INTERIOR WALLS AND SELECTED INTERIOR WALLS SHALL BE SHEATHED IN 5/8" CDX PLYWOOD GLUED AND NAIL TO STUDS. EXTERIOR WALLS AND SOLID BLOCK EXTERIOR WALLS SHALL BE COVERED WITH 1/2" TRIMBOARDS TO BOTH SIDES OF RAFTER TAILS. SEE NAILING SCHEDULE FOR SPECIFICATIONS. SECTION ONE, FOR ALL ALLOWANCES AND ALTERNATE REQUIREMENTS.
03. SPECIFICATIONS FOR DOOR AND WINDOW REQUIREMENTS.
04. SPECIFICATIONS FOR DOOR AND WINDOW REQUIREMENTS.
05. SPECIFICATIONS FOR DOOR AND WINDOW REQUIREMENTS.
06. VERIFY SIZE REQUIREMENTS OF ALL MECHANICAL EQUIP. & DUCTWORK.
07. VERIFY SIZE REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT.
08. VERIFY SIZE ROUGH OPENINGS FOR DOORS AND WINDOWS.
09. EXTEND ALL FLOOR FINISHES UNDER CABINETS, APPLIANCES, DOOR THRESHOLDS, ETC.
10. SEE THE SITE PLAN FOR ADDITIONAL DETAIL, DIMENSIONS AND ALL OTHER SITE IMPROVEMENTS.


**DATE:**  
03-01-20  
03-18-20

**JVA**  
J. VEAL, ARCHITECT  
627 BAYSHORE DR. PENSACOLA, FL 32507  
1-850-430-3295 jv@jvealarchitect.com  
AL #22636 NC #9066 FL #13055

A NEW RESIDENCE for  
**HOLMES HOME**  
220 WEST GADSDEN STREET, PENSACOLA, FL

© 2020 JVEAL ARCH

**DRAWN BY:**



**OF**

HAO I PLN

~~PRELIMINARY~~  
~~NOT FOR CONSTRUCTION~~

FLOOR PLAN  
1/4" = 1' - 0"







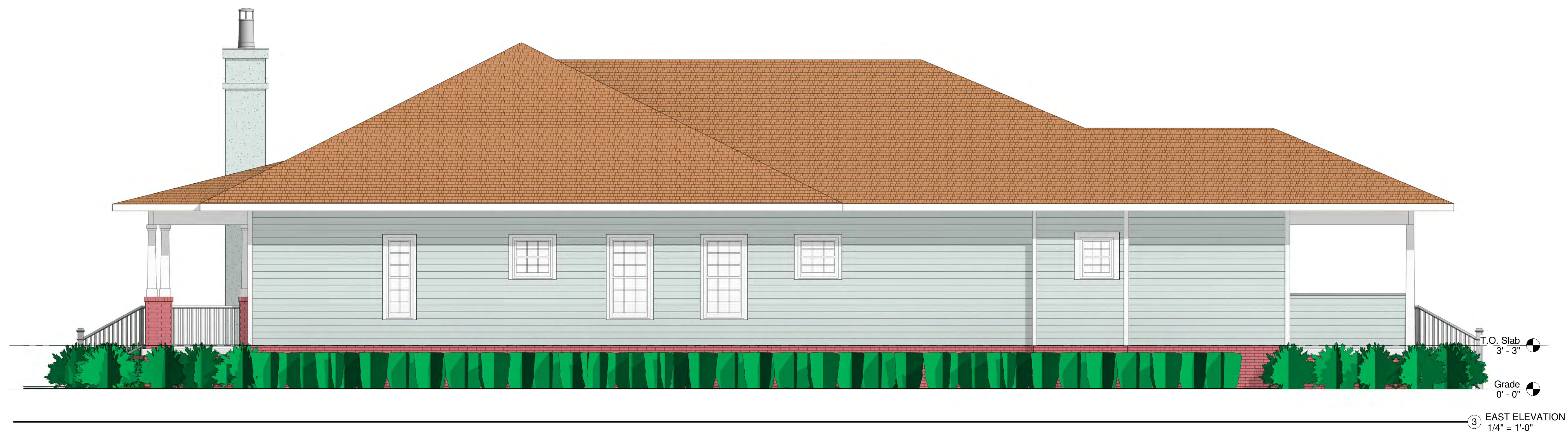
① SOUTH ELEVATION  
1/4" = 1'-0"

## June 2020 Application Materials

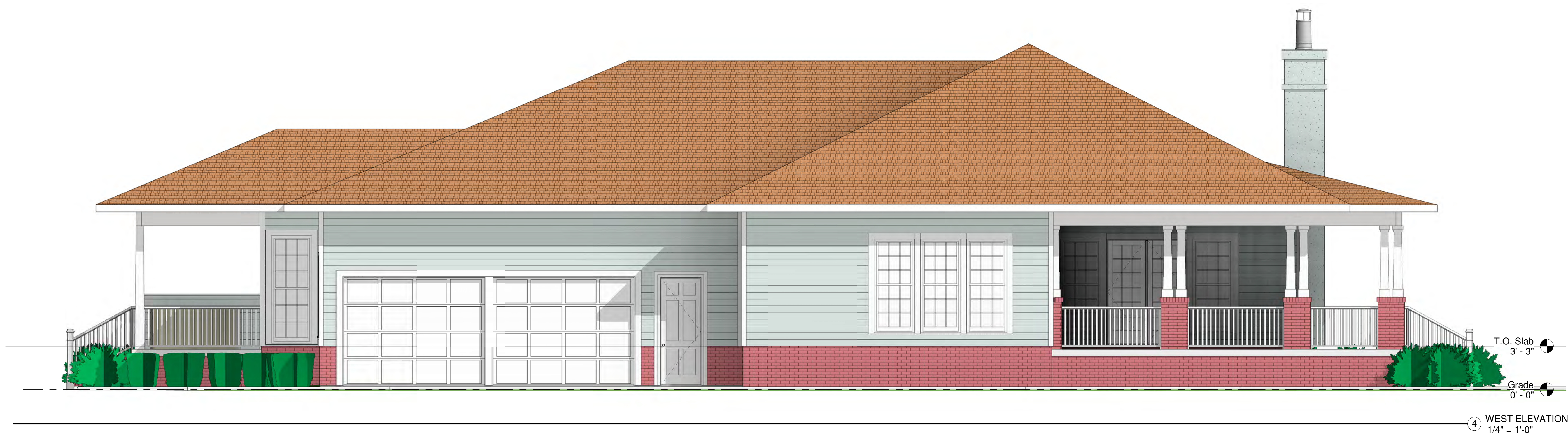


② NORTH ELEVATION  
1/4" = 1'-0"





## June 2020 Application Materials







① SOUTHEAST PERSPECTIVE

June 2020 Application Materials



② SOUTHWEST PERSPECTIVE

DATE:  
01-02-20  
02-25-20

JVA  
J. VEAL, ARCHITECT  
1-850-450-3295 jv@jvealarchitect.com  
AL 32636 FL # 13055

A NEW HOUSE  
HOLMES HOUSE  
PENSACOLA, FLORIDA

PRELIMINARY  
NOT FOR  
CONSTRUCTION  
© 2019 J. VEAL, ARCHITECT

DRAWN BY:

A-5

OF  
DN



however, Christian Wagley advised there was no objection to this project.

**Board Member Salter advised it did appear the applicant had spent a lot of time matching the main structure as much as possible and made a motion to approve, seconded by Board Member Fogarty, and it carried unanimously.**

<b>Item 4</b>	<b>435 E. Government St</b>	<b>PHD / HC-1</b>
<b>Contributing Structure</b>		<b>Wood Cottages</b>

**Action taken: Approved with comments**

Brian Spencer is requesting approval for exterior modifications to a contributing structure. Mr. Spencer addressed the Board. Chairperson Quina stated the shed dormer on the west elevation seemed close to the back side of the primary roof shed and might be a difficult flashing detail. Mr. Spencer pointed out the shed dormer face was pushed back slightly in anticipation of that problematic flashing detail. Board Member Salter addressed the east elevation gable dormer and pointed out those portions were very different from the gable dormers on the front of the building. Mr. Spencer stated he was responsible for choosing the gable on the east side using the same roof slope of the narrower dormers facing East Government and thought it would be more acceptable by the ARB and would be a better solution in order to bring natural light into the new stairwell and natural light for needed head room in a bathroom. Chairperson Quina agreed the gabled dormer was more appropriate at that location. Mr. Spencer indicated he would be very flexible concerning Hardie siding and the use of Kiln Dried After Treatment wood siding was discussed as an appropriate substitute. He also stated there would be vertical trim matching the existing dormer. Staff read 12-2-10(A)(6) PHD, Restoration, rehabilitation, alterations or additions to existing contributing structures which cover materials which shall be duplicated when making repairs, alterations and/or additions to contributing structures. Also, any variance from the original materials, styles, etc., shall be approved only if circumstances unique to each project are found to warrant such variances. It was determined the new windows would be fixed – Windsor Window System.

**Board Member Crawford made a motion to approve as submitted, seconded by Board Member Mead. Board Member Salter amended the motion to clarify that the new gabled dormers would have trim similar to the existing dormers on the front of the building. It was accepted, and the motion carried unanimously.**

<b>Item 5</b>	<b>220 W. Gadsden St</b>	<b>NHPD / PR-2</b>
<b>New Construction</b>		

**Action taken: Approved with Abbreviated Review**

Jim Veal is requesting *final* approval for a new single family residence on the east lot of a soon-to-be subdivided parcel. This project received conceptual approval in February 2020 and revisions have been made according to the Board's input.

Mr. Veal presented to the Board and confirmed they were in agreement with North Hill's comments to use wood composite railings. Board Member Mead indicated the applicant had taken the Board's suggestions and applied them in an appropriate and responsive way. Board Member Villegas wanted to see the composite railing materials. She did like the way the chimney was addressed and appreciated the landscaping.

**Board Member Mead made a motion to approve as submitted with the submission**

**of composite material and detailing for abbreviated review as well as a landscape plan that shows appropriate detailing. It was seconded by Board Member Villegas and carried unanimously.**

**Item 6**

**700 S. Palafox Street**

**PHBD / C-2A**

**New Construction**

**Action taken: Approved with Abbreviated Review**

The UWF Historic Trust is requesting approval to install a large building wallscape on the south side of a contributing structure. The mural will consist of three large panels with an invisible frame system and will not be lit.

Advisor Pristera presented to the Board and stated the mural depicted an actual painting of the south end of Palafox in the 1960s. He proposed to use an interpretive panel to explain the story behind the painting, but that would be brought to the Board. Board Member Mead found this to be appropriate since it would appear down the Palafox peninsula and felt it was a really good approach and a valuable addition to the public's perception of the history and perspective of where this is located. Board Member Salter explained the information provided about the origin of the painting and its ties to the buildings actually enforced the intent of these murals. He felt some sort of information plaque would tie it to downtown and explain why it is there. He was concerned with installation on the wall since there was a difference in relief from the white band at the top; maybe it should be scaled down to fit below the flashing. Mr. Pristera noted the change in the trim line and thought the painting could be applied to the wall. He stated he could work with the frame manufacturer to see what their detail would be. Board Member Mead offered that the presence of the wing wall, which is shrouding the ability to see from street level up into that exposed rear portion of the framing, might shroud the flashing protection.

**Board Member Salter made a motion to approve with the specific detailing and explanation addressing the change in plane of the wall with relationship to how it is used to be returned for an abbreviated review. The motion was seconded by Board Member Mead/Fogarty.** Board Member Salter asked if the intent was for the Trust to place their name on the proposed mural. Advisor Pristera stated if it did, it would be in one of the corners, probably lower left corner; Board Member Salter explained the placement of the name of the entity would constitute an off-premise sign; Advisor Pristera advised an interpretive panel would be appropriate. Board Member Mead explained where we have historical images for which the Trust is custodian, it is appropriate to place a marking consistent with an artist's signature to signify the custodial character and its prominence. But in this case, it was an actual painting with an actual artist's signature on it, and that would not apply. **Board Member Salter amended the motion to clarify that this approval does not allow the Historic Trust name or logo to appear on the mural; the amendment was accepted. The motion carried unanimously.**

Board Member Salter asked to revise the May 21, 2020 minutes regarding Item 9, 415 N. Alcaniz Street to include important points. Staff explained those revisions would be made and brought back to next month's Board meeting.

Staff also advised the Board would be kept updated on the COVID requirements for future



## June 2020 Application Materials



Bishop II by Coppercraft, made from galvanized metal, 18" dia x 39" tall



**J. Veal, Architect**

**05-28-2020**

**Holmes Home – Materials / Products & Colors**

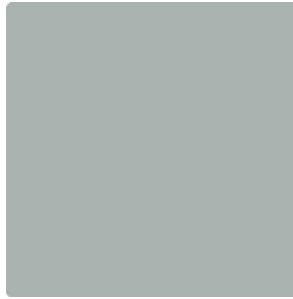
**page 1**

**Siding – Hardie Plank Lap Siding,**

## **June 2020 Application Materials**



8.25” Boards w/ 7” exposure....

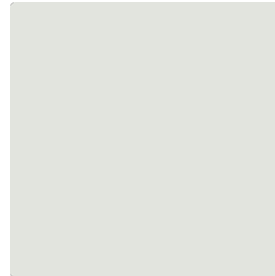


Ben Moore HC-165 “Boothbay Gray”

**Trim – Hardie Trim,**



Door & Window Casing, Corner Boards....  
Gray

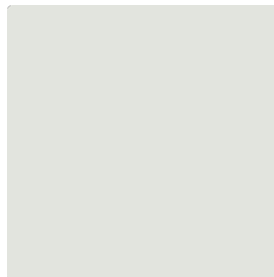


Ben Moore HC-1590 “Paper White”

**Window Casing – Hardie Trim,**



4” Boards.....



Ben Moore HC-1590 “Paper White”

**627 Bayshore Dr, Pensacola, FL \* [jv@jvealarchitect.com](mailto:jv@jvealarchitect.com) \* 850-450-3295**

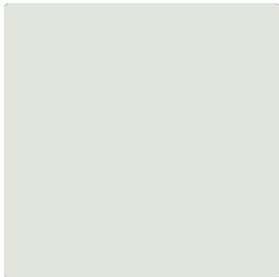


Door Casing – Hardie Trim,



4” Boards.....

June 2020 Application  
Materials



Ben Moore HC-1590 “Paper White”

Windows – Jeld Wen Premium Atlantic Vinyl divided lights top sash only



Vinyl Windows.....



“Flagstone Gray”

Exterior Doors – Jeld Wen Sitrine,



Clad Doors.....

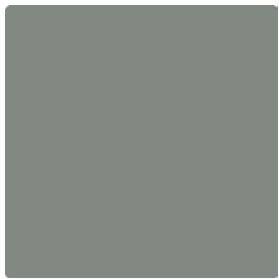


Ben Moore HC-154 “Hale Navy”

**Stem Wall, Porch Column Base, - Pebble Dash Cement Stucco**



Pebble Dash Stucco....



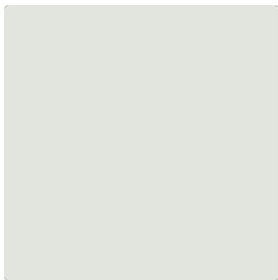
Ben Moore HC-163 “Duxbury Gray”

**Porch Columns**



No1, KDAT Boards.....

**June 2020 Application Materials**



Ben Moore HC-1590 “Paper White”

**Porch Ceiling & Soffits**



Hardie Soffit & Porch Ceiling.....



sweet bluette  
813

Ben Moore 813 “Sweet Bluette”



**Porch Floor**



Sloped Concrete Porch Deck..



Ben Moore HC-163 “Duxbury Gray”

**Handrails**



Structall – Aluminum Maxi Rail.....

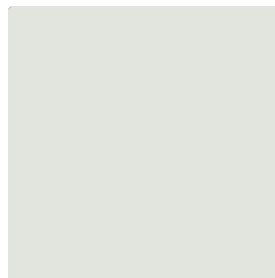
**June 2020 Application  
Materials (rails changed  
to wood composite)**

White Aluminum

**Garage Doors – Wayne Dalton**



Carriage House Steel Garage Door



Ben Moore HC-1590 “Paper White”

**Exterior Lighting - Wall Bracket**



Quoizel Canyon 9.88-in H Matte Black Medium Base (E-26) Outdoor

**Exterior Lighting - Pendant**



**June 2020 Application  
Materials**

Quoizel Canyon Black Single Craftsman Clear Glass Cage Pendant Light

**Exterior Ceiling Fan**



Sea Air 52 in. Outdoor New Bronze Ceiling Fan – New Bronze



**Architectural Shingles - Tampco**



**June 2020  
Application  
Materials**

Tampco – Heritage Premium “ Glacier White” Lifetime 340# Architectural Shingles

**Front Steps / Column Bases**



Old Chicago Brick

**Architectural Review Board Application  
Abbreviated Review**

Application Date: 01-16-21

**Project Address:** 220 west Gadsden Street

**Applicant:** J. Veal, Architect

**Applicant's Address:** 627 Bayshore Drive

**Email:** jv@jvealarchitect.com **Phone:** 850-450-3295

**Property Owner:** Robert Holmes

**District:** PHD ☐ (If different from Applicant)  
NHPD ☒ OEHPD ☐ PHBD ☐ GCD ☐

There is a \$25 Application Fee for the following project types:

- |   |  |
|---|--|
| <input type="checkbox"/> Change of Paint Color(s)   | Body: _____  |
|   | Trim: _____  |
|   | Accent: _____  |
| <input type="checkbox"/> New/Replacement Sign(s)  | Sign Type: _____   |
|   | Dimensions: _____  |
|   | Colors: _____  |
| <input checked="" type="checkbox"/> Minor Deviation to an<br>Approved Project / Change<br>of Roofing Material / Fence | Description: <u>request to install sola light tubes, add 4' to garage,<br/>shift house north 10', and relocate chimney. See attached<br/>correspondence.</u> |

(Office Use)

This request was reviewed and meets the criteria for an Abbreviated Review.

**Gregg**  
**Harding**  
ARB Secretary Signature  
Digitally signed by Gregg Harding  
DN: cn=Gregg Harding, o=ou,  
email=gharding@cityofpensacola.  
com, c=US  
Date: 2021.01.29 12:07:00 -06'00'

\_\_\_\_\_  
Date

This request was reviewed and approved by the following members of the Architectural Review Board:

Comments: Full Faced

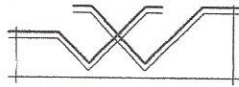
 2-8-2021  
Architect Signature / Date

Comments: \_\_\_\_\_

\_\_\_\_\_  
UWFHT Representative Signature / Date

**Planning Services**  
222 W. Main Street \* Pensacola, Florida 32502  
(850) 435-1670  
Mail to: P.O. Box 12910 \* Pensacola, Florida 32521





**J. Veal, Architect**

16 January 2021

ARB Board

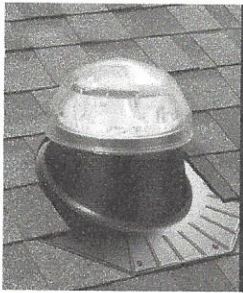
**RE: Revisions to Approved Plans 220 West Gadsden Street:**

page 1

ARB Board:

We are submitting for review and approval for the following.

**01. Add Solatube Light tubes**



The Owner has a strong preference for natural lighting and the benefits with respect to passive lighting and energy savings of these products are well established.

The roof top inlets are totally concealed from viewing from the south, while it is ideal to locate on a south facing roof plane, we propose to locate 3 collectors on the north face of the primary hip roof and 2 collectors on the east face of the rear hip behind the higher ridge of the primary hip.

**02. Relocate Fireplace and Chimney**

The Owner has finalized the internal organization of the Living Room and has determined locating the fireplace between the Living Room and the central Gallery/Entrance provides more flexibility on furniture arrangement etc. The proposed new location is shown in the attached drawings. I believe that there is no impact to the relationship to the overall massing of the house historically.

**03. Add 4' at the back of the house to the Garage.**

See the Attached drawings. The proposed addition is in the rear of the house and has no impact on appearance, setbacks, etc.

**04. Relocate house on Lot, move entire house to the north 10'.**

See the attached drawings. The proposed 10' shift to the north will enlarge the front yard depth and moves the house back to be more in character with the existing structure located on the lot to the east.

If you have any questions, please contact me. I sincerely look forward to working with you on this exciting project.

Respectfully,

J. Veal, Architect

627 Bayshore Dr, Pensacola, FL \* [jv@ivealarchitect.com](mailto:jv@ivealarchitect.com) \* 850-450-3295

<b>CODE SUMMARY</b>	
Code:	Florida Building Code 2020
<b>Live Loads:</b>	
Roof	0 to 200 sf: 20 psf 200 to 600 sf: 24 - 0.02Area, but not less than 12 psf over 600 sf: 12 psf
<b>Typical Floor</b>	
Partitions	40 psf
Lobbies & first floor corridors	15 psf
Corridors above first floor	100 psf
Balconies (1.5 times live load)	80 psf
	60 psf

<b>Dead Loads:</b>	
Floor	80.0 psf
Roof	20.0 psf

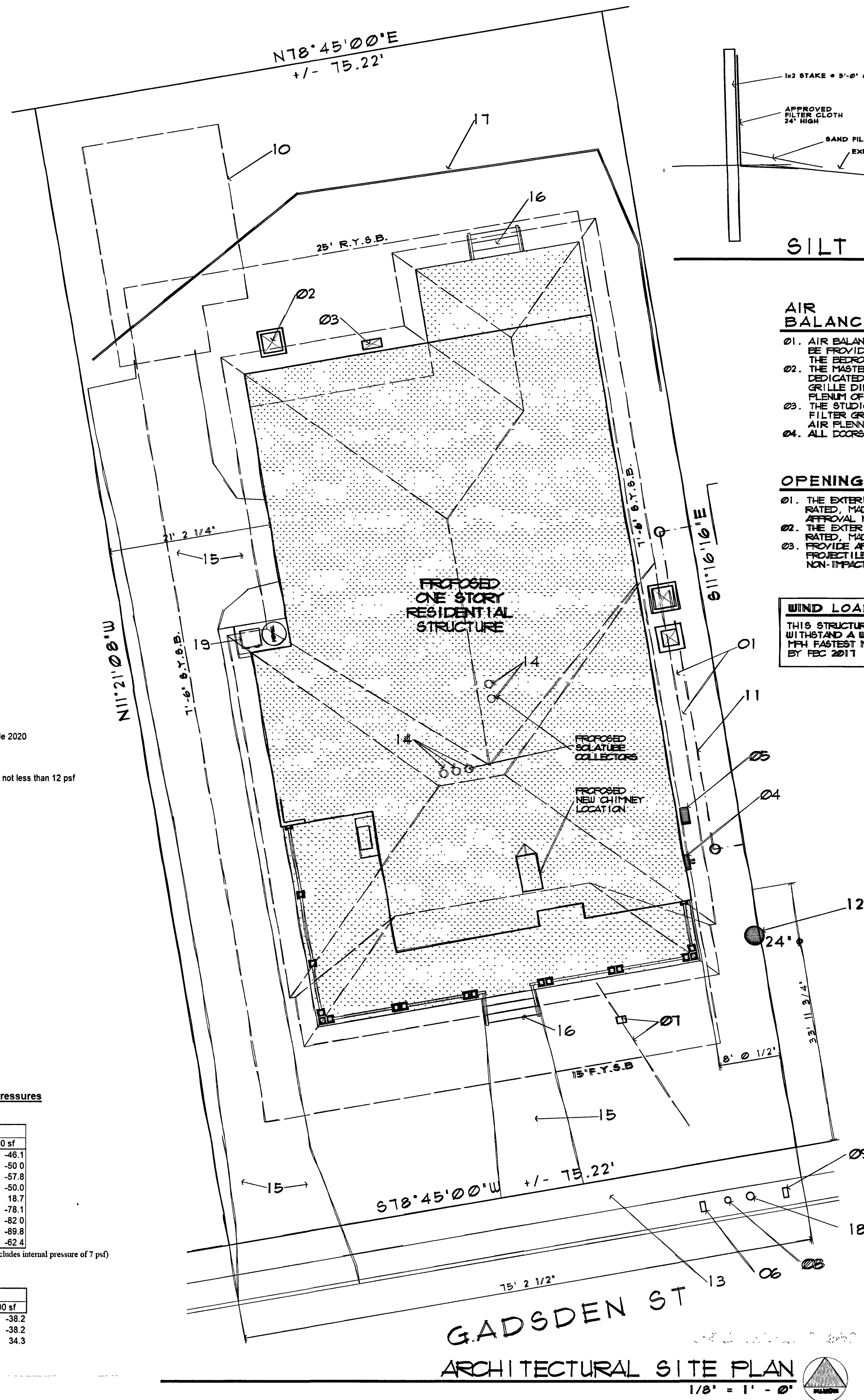
<b>Wind Design Data:</b>	
Ultimate Design Wind Speed	160 mph
Nominal Design Wind Speed	123.94 mph
Risk Category	II
Mean Roof Ht. (h)	20.0 ft
Exposure Category	B
Enclosure Classif	Enclosed Building
Internal pressure Coef.	+/- 0.18
Directionality (Kd)	0.85

Component and cladding ultimate wind pressures

Roof	Surface Pressure (psf)				
	Area	10 sf	20 sf	100 sf	200 sf
Negative Zone 1		-57.8	-57.8	-46.1	-46.1
Negative Zone 2e		-77.3	-71.0	-56.3	-50.0
Negative Zone 2r		-100.7	-90.8	-67.7	-57.8
Negative Zone 3		-77.3	-71.0	-56.3	-50.0
Positive All Zones		34.3	29.6	18.7	18.7
Overhang Zone 1		-70.2	-70.2	-78.1	-78.1
Overhang Zone 2e		-89.8	-88.0	-83.8	-82.0
Overhang Zone 2r		-113.2	-107.8	-95.2	-89.8
Overhang Zone 3		-113.2	-101.4	-74.2	-62.4

Overhang soffit pressure equals adj wall pressure (which includes internal pressure of 7 psf)

Wall	Surface Pressure (psf)				
	Area	10 sf	100 sf	200 sf	500 sf
Negative Zone 4		-50.0	-43.1	-41.0	-38.2
Negative Zone 5		-61.7	-47.9	-43.7	-38.2
Positive Zone 4 & 5		46.1	39.2	37.1	34.3



SILT FENCE  
N.T.S.

### AIR BALANCE STATEMENT

01. AIR BALANCE IN THE STRUCTURE WILL BE PROVIDED BY TRANSFER GRILLES THE BEDROOM DOORS. TYPICAL
02. THE MASTER BEDROOM WILL HAVE A DEDICATED RETURN AIR FILTER GRILLE DIRECT TO THE RETURN AIR FLENUM OF HVAC #1.
03. THE STUDIO WILL HAVE A RETURN AIR FILTER GRILLE DIRECT TO THE AIR FLENUM OF HVAC #2.
04. ALL DOORS WILL BE UNDERCUT 3/4\"

### OPENING PROTECTION

01. THE EXTERIOR WINDOWS ARE WIND RATED, MADE BY ANDERSEN. SEE APPROVAL NOTES
02. THE EXTERIOR DOORS ARE IMPACT RATED, MADE BY MASONITE.
03. PROVIDE APPROVED FABRIC SHIELD PROJECTILE PROTECTION FOR ALL NON-IMPACT OPENINGS

### WIND LOAD CERTIFICATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND A WIND VELOCITY OF 160 MPH FASTEST MILE WIND AS REQUIRED BY FBC 2017

## FLORIDA APPROVAL NUMBERS

01. ROOFING SHINGLES  
MADE BY G.A.F. TIMBERLINE  
FL# 10124-R6 11931.1
02. WINDOWS  
MADE BY JELDEN, FLORIDA APPROVALS  
SINGLE HUNG... FL# 31796
03. EXTERIOR DOORS  
NEUMA MULTI-POINT LOCKING DOORS  
OUTSWING DF50... FL# 14752.1  
INSWING DF50... FL# 14752.4
04. LAP SIDING  
MADE BY JAMES HARDIE. HARDIE-PLANK  
FL 13192  
SEE FASTENING REQUIREMENTS ON APPROVAL
05. SOFFIT  
MADE BY JAMES HARDIE. HARDIE SOFFIT  
FL# 13223.2 & 13223-R4
06. SIMPSON HOLD DOWN & STRAPS. SEE  
FL# 9589-R5 10441.1, 10441.4, 10441.6.
07. GARAGE DOORS  
MADE BY WAYNE DALTON DOOR COMPANY  
WAYNE DALTON, SERIES 3220  
FL# 9174.4

THE CONTRACTOR SHALL VERIFY ALL FL APP.

## GENERAL SITE PLAN NOTES

01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
02. BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY
03. THE SITE IS LOCATED IN FLOOD ZONE 1X.
04. SEE DIVISION TWO - SITE WORK FOR GENERAL SITE WORK REQNTS.
05. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND EXERCISE EXTREME CAUTION DURING EXCAVATION AND SITE PREPARATION TO PROTECT EXISTING UNDERGROUND PIPING, WIRING, ETC.
06. EXECUTE ALL WORK WITH DUE CONSIDERATION FOR ALL PLANTS, TREES, SHRUBS AND SURROUNDING AREAS. REPLACE OR REPAIR ANY PORTIONS OF ADJACENT STRUCTURES & PROPERTY DAMAGED DURING WORK. SERVICE
07. WATER METER IS EXISTING. PROVIDE NEW 1\"
08. POWER IS AVAILABLE AT THE SITE. VERIFY POWER REQUIREMENTS WITH POWER COMPANY.
09. PROVIDE NEW 4\"
10. PROVIDE NEW GAS SERVICE & METER.

## SITE PLAN KEY NOTES

01. HVAC OUTSIDE UNIT. SEE MECH.
02. WINE ROOM HVAC OUTSIDE UNIT. SEE ALLOWANCES.
03. IRRIGATION PUMP. SEE ALLOWANCES
04. ELECTRIC METER w/ O.H. SERVICE. SEE ELECTRICAL & ALTERNATES.
05. NATURAL GAS METER.
06. EXISTING WATER METER. VERIFY CONDITION.
07. NEW 3/4\"
08. EXISTING FIRE HYDRANT TO REMAIN. PROTECT FROM DAMAGE.
09. ADJACENT PROPERTY WATER METER
10. FUTURE DETACHED STORAGE.
11. EXISTING 6\"
12. EXISTING TREE TO REMAIN. PROVIDE PROTECTION AS SHOWN
13. EXISTING CONCRETE SIDEWALK TO BE REPLACED. VERIFY CITY REQUIREMENTS
14. SOLATUBE LIGHT TUBE COLLECTOR.
15. NEW 5\"
16. MASONRY STEPS
17. SILT FENCE AS REQUIRED BY CODE
18. ATT UTILITY POLE
19. TRASH & RECYCLE BIN

## INDEX TO DRAWINGS

COV	ARCHITECTURAL SITE PLAN
SURV	SURVEY
A-1	FLOOR PLAN
A-2	SECTION
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	PERSPECTIVE
A-6	FINISH SCHEDULE
A-7	REFLECTED CEILING PLAN
A-8	ROOF PLAN/STRUCTURAL CRITERIA
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
S-3	TRUSS ELEVATIONS
M-1	MECHANICAL PLAN
E-1	ELECTRICAL PLAN

## APPLICABLE CODES

2017 F. B. C.	(FBC)
2017 FLORIDA MECHANICAL CODE (FMC)	
2017 FLORIDA PLUMBING CODE (FPC)	
2015 NATIONAL ELECTRIC CODE (NEC)	
2014 LIFE SAFETY CODE (NFPA 101)	
BUILDING INSPECTIONS DEPT. ... 850-595-3550	
PLANNING DEPARTMENT ... 850-595-3472	

DATE:  
01-04-21  
01-16-21  
01-26-21

JVA  
J. VEAL, ARCHITECT  
1-850-450-3295  
AL 32696

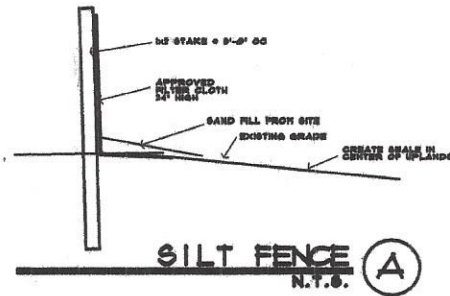
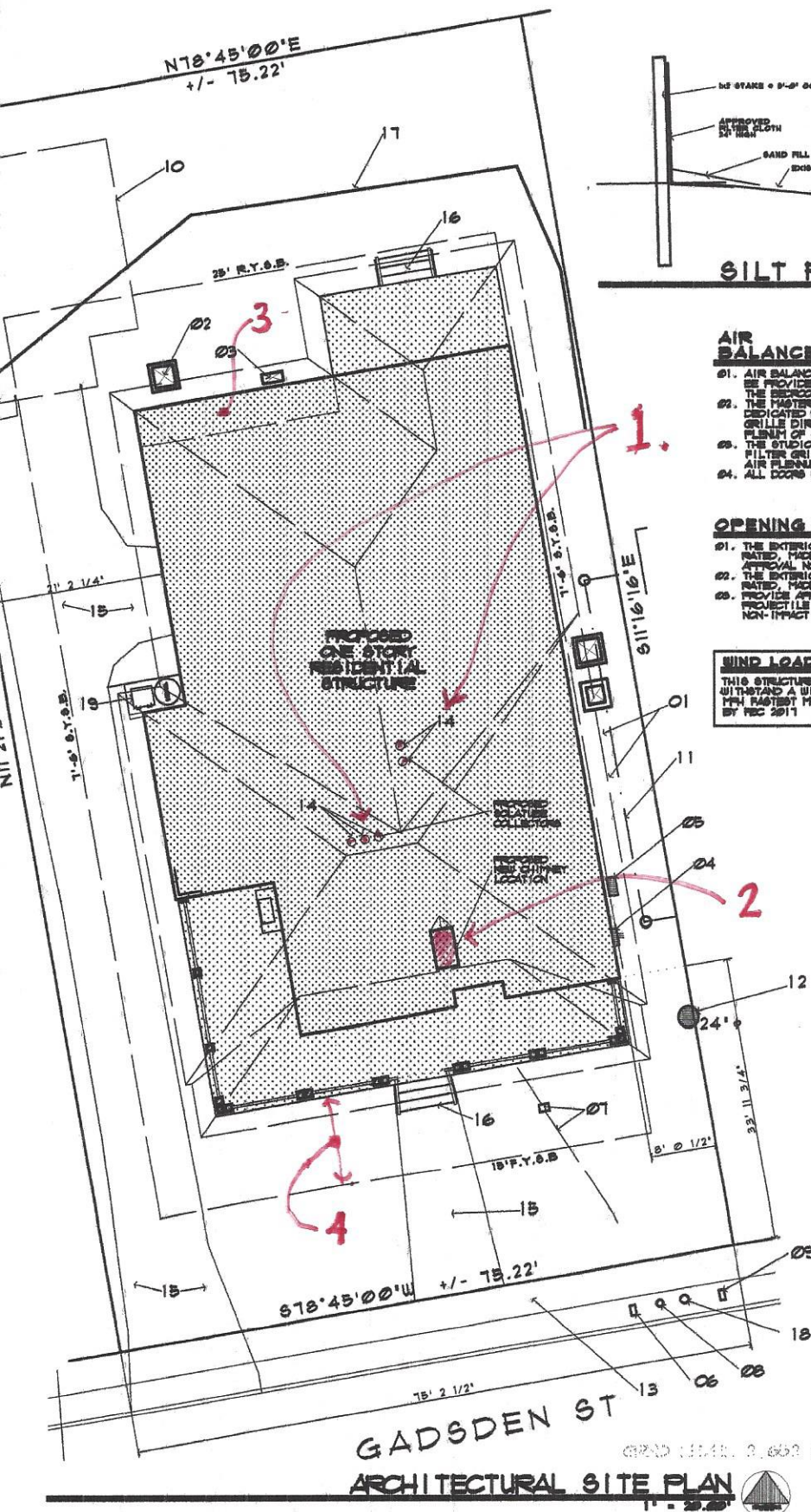
RACI  
ENGINEERING  
11111 FL 11111

A NEW HOLMES HOME  
220 WEST GADSDEN STREET, PENSACOLA, FL

REVIT SET  
© 2021 JVA

DRAWN BY:  
COV  
OF





**AIR BALANCE STATEMENT**

01. AIR BALANCE IN THE STRUCTURE WILL BE PROVIDED BY TRANSFER GRILLES.
02. THE MASTER BEDROOM WILL HAVE A DEDICATED RETURN AIR FILTER GRILLE DIRECT TO THE RETURN AIR PLENUM OF HVAC #1.
03. THE STUDIO WILL HAVE A RETURN AIR FILTER GRILLE DIRECT TO THE AIR PLENUM OF HVAC #2.
04. ALL DOORS WILL BE UNDERCUT 3/4\".

**OPENING PROTECTION**

01. THE EXTERIOR WINDOWS ARE WIND RATED. MADE BY ANDERSEN. SEE APPROVAL NOTES.
02. THE EXTERIOR DOORS ARE IMPACT RATED. MADE BY MASONITE.
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**WIND LOAD CERTIFICATION**

THIS STRUCTURE IS DESIGNED TO WITHSTAND A WIND VELOCITY OF 160 MPH. FASTEST MILE WIND AS REQUIRED BY REC 2017.

**FLORIDA APPROVAL NUMBERS**

01. ROOFING SHINGLES  
MADE BY G.A.P. TIMBERLINE  
FL# 10124-78, 11531.1
02. WINDBRO  
9\"/>

**GENERAL SITE PLAN NOTES**

01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
02. THE SURVEY AND TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY THE CITY.
03. THE SITE IS LOCATED IN FLOOD ZONE 1X.
04. SEE DIVISION TWO - SITE WORK FOR GENERAL SITE WORK REQUIREMENTS.
05. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND EXERCISE EXTREME CARE DURING EXCAVATION AND SITE PREPARATION TO PROTECT EXISTING UNDERGROUND PIPING, WIRES, ETC.
06. CONSIDER WORK WITH DUE CONSIDERATION FOR ALL PLANTS, TREES, SHRUBS AND SURROUNDING AREAS. REPLACE OR REPAIR ANY PORTIONS OF ADJACENT STRUCTURES & PROPERTY DAMAGED DURING WORK.
07. WATER METER IS EXISTING. PROVIDE NEW 1\"/>

**SITE PLAN KEY NOTES**

01. HVAC OUTSIDE UNIT. SEE MECH.
02. WINE ROOM HVAC OUTSIDE UNIT. SEE ALLOWANCES.
03. IRRIGATION PUMP. SEE ALLOWANCES.
04. ELECTRIC METER w/ O.H. SERVICE. SEE ELECTRICAL & ALTERNATES.
05. NATURAL GAS METER.
06. EXISTING WATER METER. VERIFY CONDITION.
07. NEW 3/4\"/>

**INDEX TO DRAWINGS**

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S-3	TRUSS ELEVATIONS
M-1	MECHANICAL PLAN
E-1	ELECTRICAL FLOOR PLAN

**APPLICABLE CODES**

2017 F.B.C.	(FBC)
2017 FLORIDA MECHANICAL CODE	(FMC)
2017 FLORIDA PLUMBING CODE	(FPC)
2018 NATIONAL ELECTRIC CODE	(NEC)
2014 LIFE SAFETY CODE	(NFPA 101)
BUILDING INSPECTIONS DEPT. ...	888-388-3472
PLANNING DEPARTMENT ...	888-388-3472

DATE  
01-01-21  
01-16-21

**JVA**  
J. VIAL, ARCHITECT  
1-888-496-3888  
AL 33086



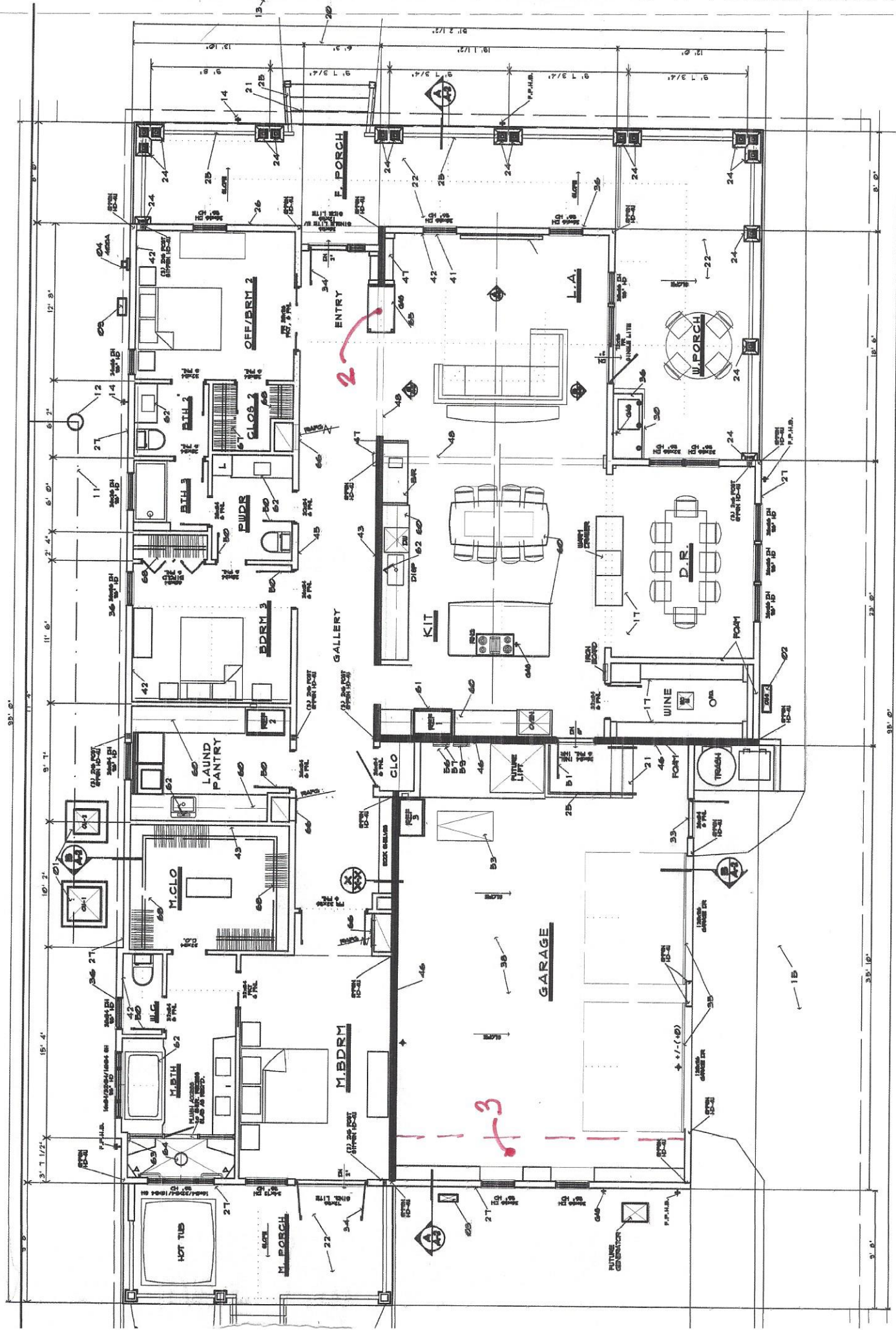
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**HOLMES HOME**  
220 WEST GADSDEN STREET, FENSACOLA, FL



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**COV**

BY: BALBOOV

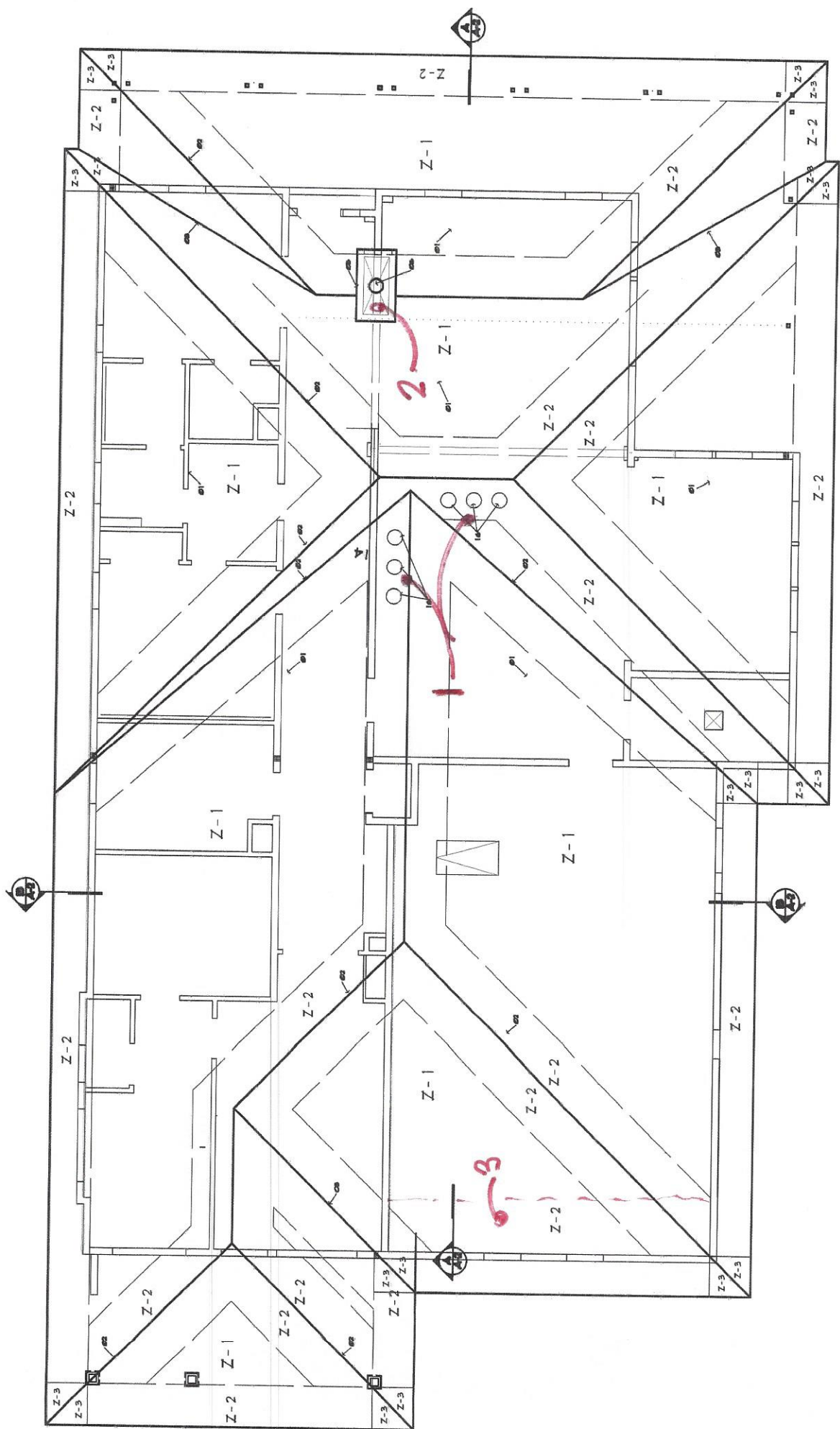




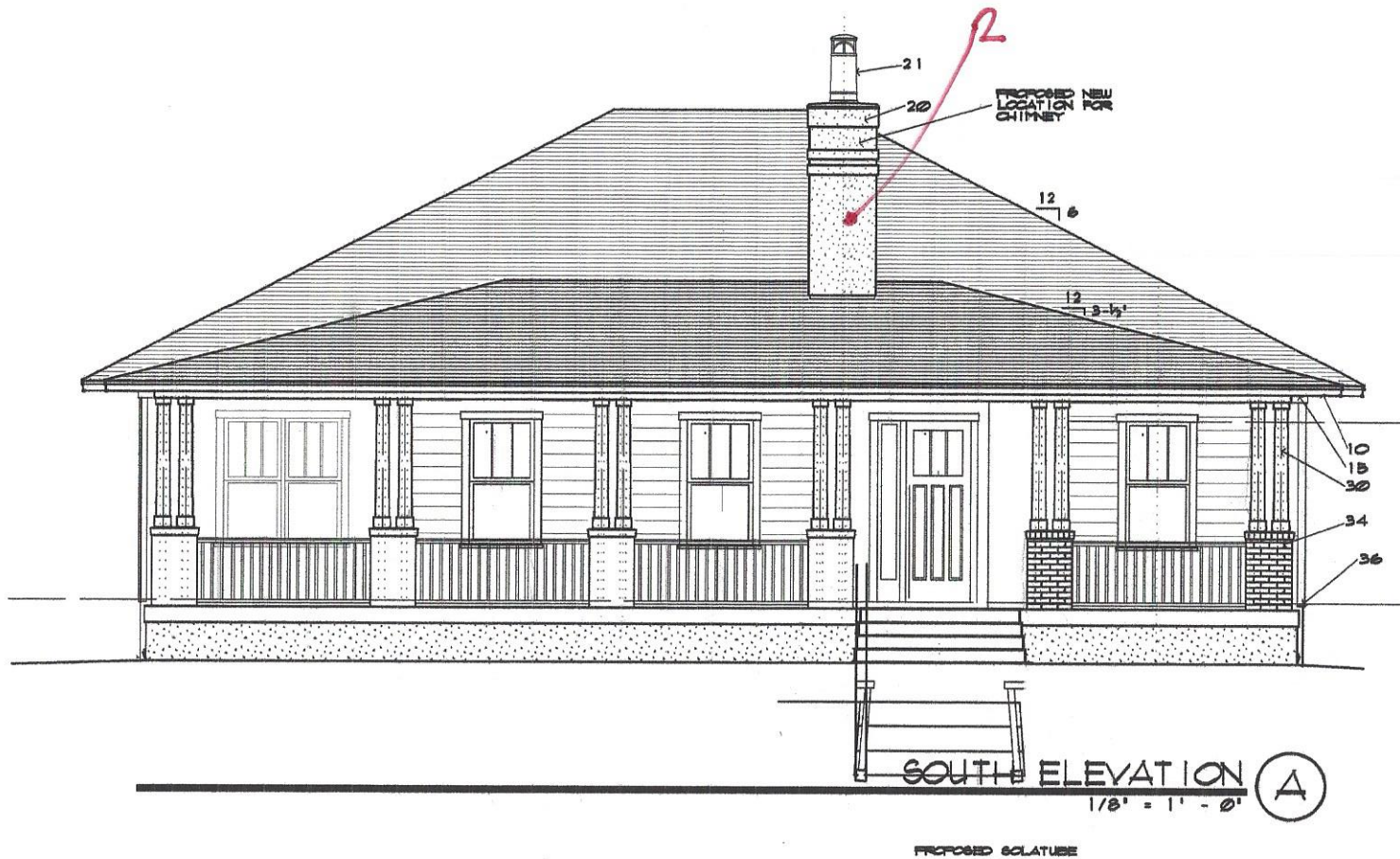


01. 02. 03. 04. 05. 06. 07. 08. 09. 10. 11. 12. 13. 14. 15. 16.

01. 02. 03. 04. 05. 06. 07. 08. 09. 10. 11. 12. 13. 14. 15. 16.



ROOF PLAN  
1/4" = 1'-0"



DATE:  
01-04-21  
01-16-21

**JVA**  
J. VIAL, ARCHITECT  
601 N. W. 10th St. Suite 100  
Fort Lauderdale, FL 33304  
1-800-469-3000  
AL 033036 NC 09066 FL 09065

A NEW RESIDENCE for  
**HOLMES HOME**  
220 WEST GARDEN STREET, FENSACOLA, FL

PERMIT SET  
© 2021 JVA ARCH

DRAWN BY:  
**A-3**  
OF

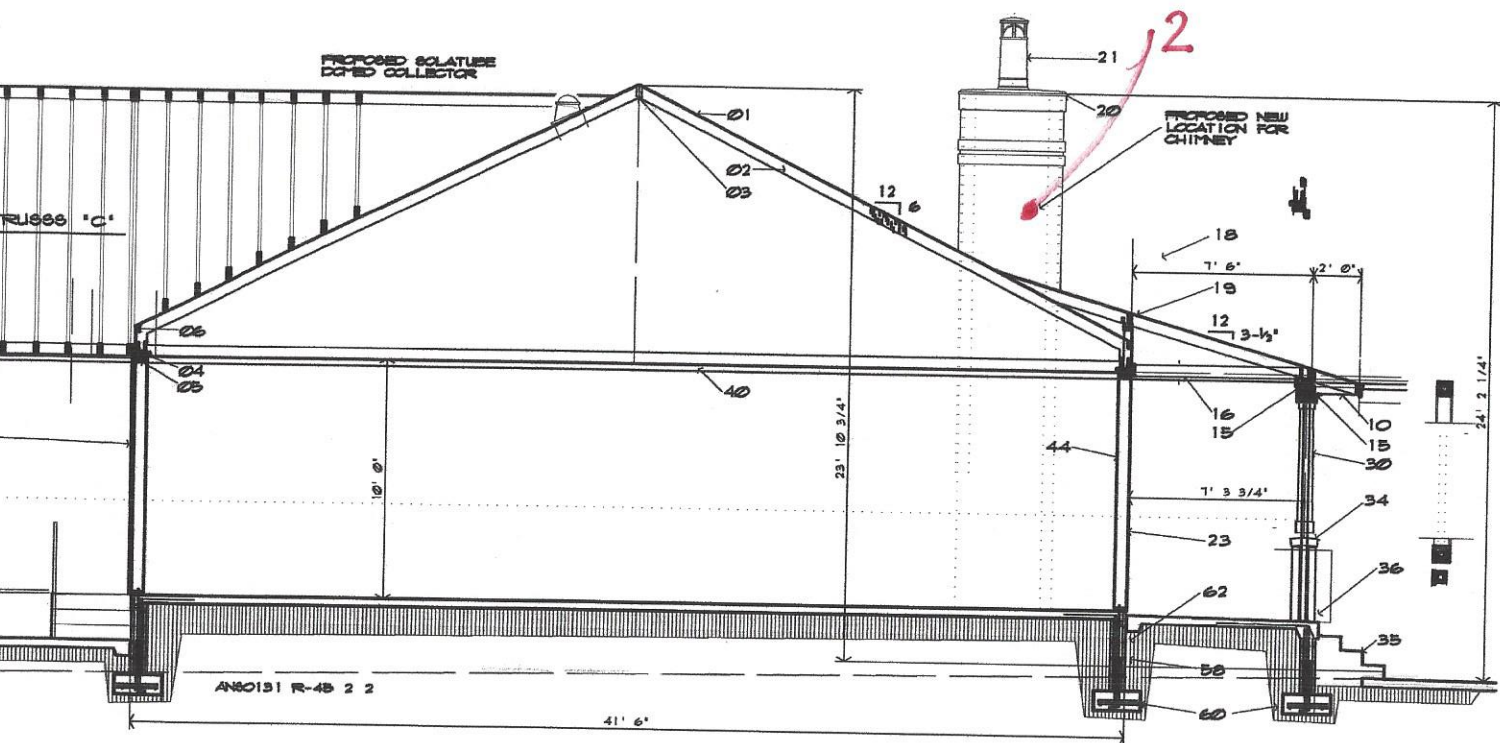
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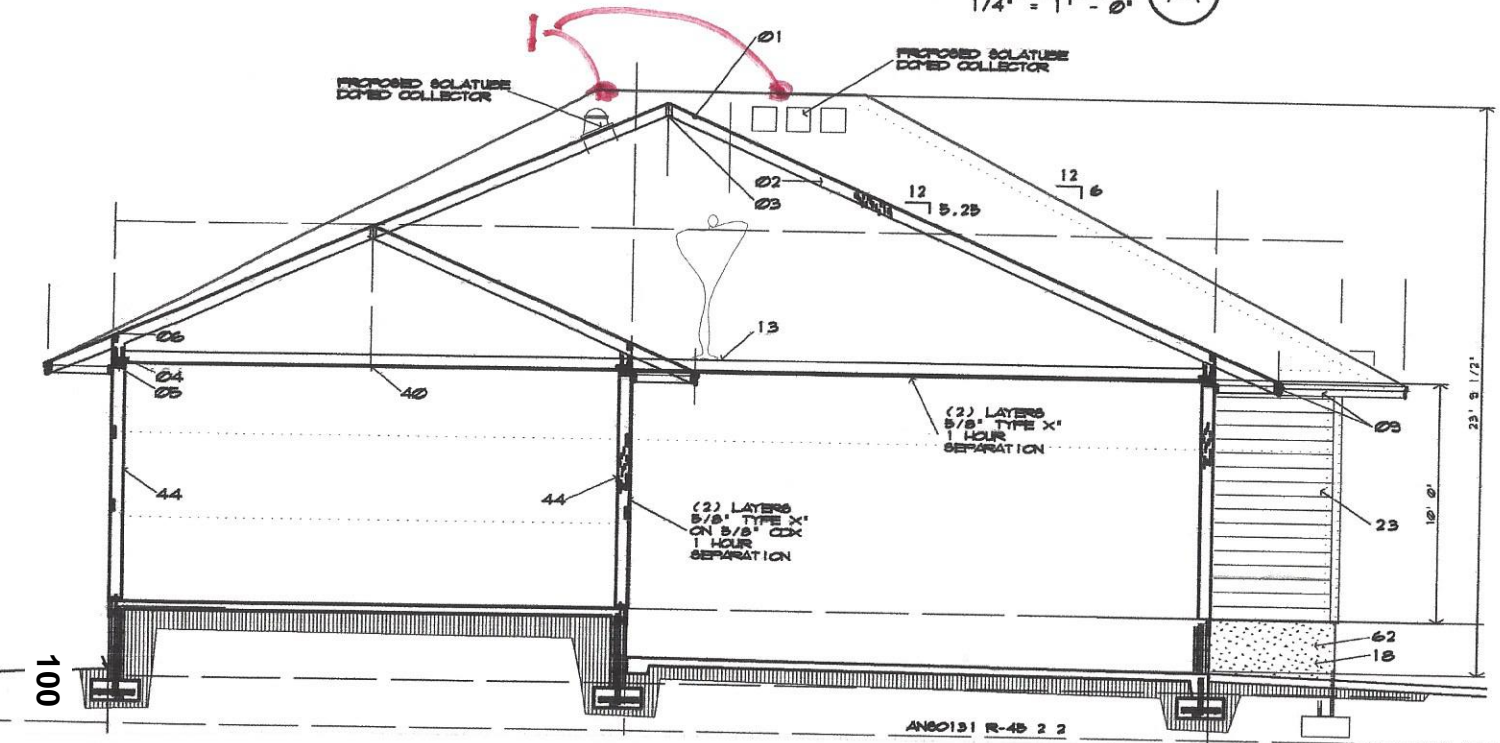
DATE:  
01-04-21  
01-16-21

**JVA**  
J. VIAL, ARCHITECT  
607 BAYVIEW DR. FERNALDA, FL 33595  
1-888-450-3393 JVA@jvalarchitect.com  
AL 000006 NC 00006 FL 010055

**HOME**  
STREET, PENSACOLA, FL

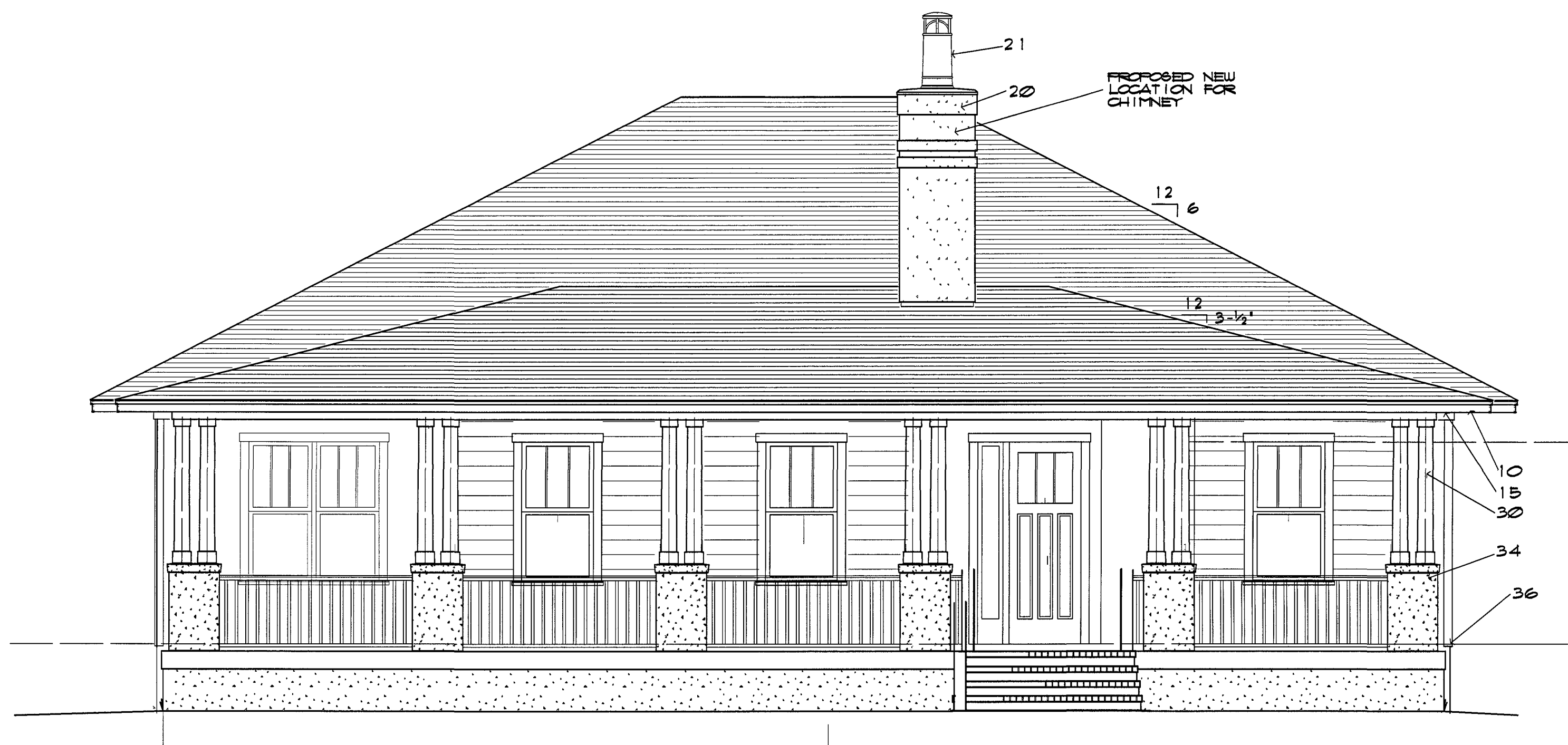


**NORTH - SOUTH SECTION (A)**  
1/4" = 1' - 0"



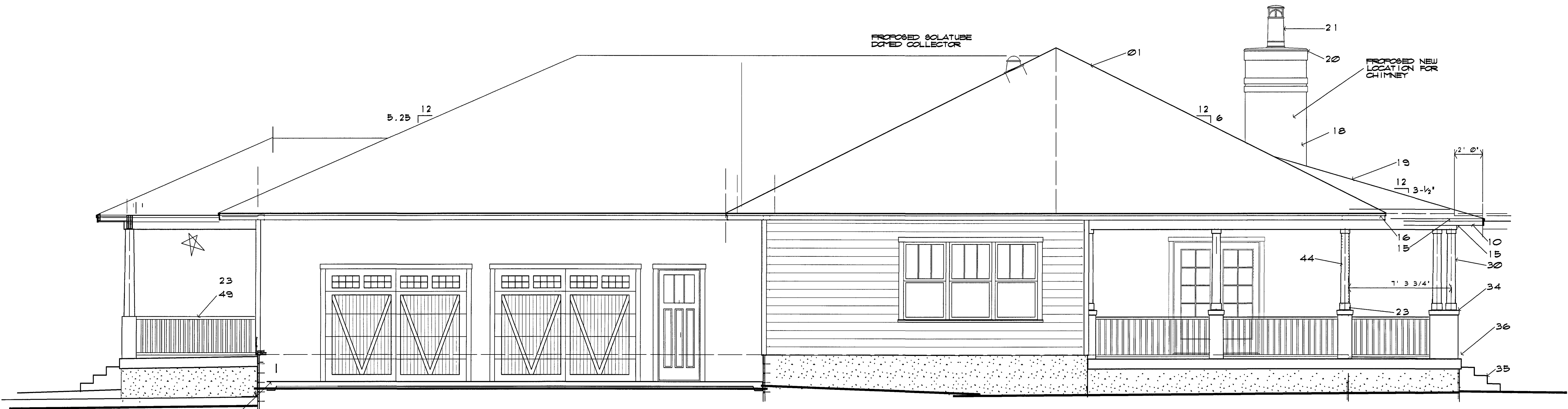
**SECTION KEY NOTES**

01. F.G. ROOFING ON ICE & WATER SHIELD ON 5/8" 8 FLY CDX FLYUD GLUED AND NAILED ON TRUSSES OR 2x FRAMING. SEE SPECIFICATIONS & ALTERNATES.
02. 6" OPEN CELL SPRAY FOAM INSUL. SEE SPECIFICATIONS.
03. DOUBLE 2x6 BLOCKING AT RIDGE W/ BEVELED TOP FOR FLUSH CUT & ROOF DECK. GLUE AND NAIL. SEE BLOCKING FRAMING PLAN, AND NAILING NOTES.
04. DOUBLE 2x6 BLOCKING & BEARING. SEE BLOCKING NOTES & NAILING.
05. DEL 2x6 TOP PLATE w/ (2) STRAPS OR TIE DOUGS. INSTALL ONE ON INSIDE & ONE ON OUTSIDE OF WALL. SEE FRAMING PLAN & MANUFACTURERS RECOMMENDATIONS.
06. 2x6 VERT. BLOCKING AT ROOF DECK w/ BEVELED TOP FOR FLUSH CUT TO ROOF DECK. GLUE AND NAIL.
- 07.
- 08.
09. .092 PAINTED ALUM DRIP ON STAINED P.T. 1x2 DRIP ON KOAT 1x FASCIA ON 2x6 SUB-FASCIA. HARDIE SCOTCHIT ON 2x4 FRAMING.
10. STAINED P.T. 2x60 PRIZEE.
- 11.
- 12.
13. PROVIDE 3/4" T&G FLYUD AT ATTIC TRUSS SPACE. SEE TRUSS ELEV.
- 14.
15. STAINED P.T. 1x BEAM TRIM ON BEAM. SEE FRAMING PLAN & DTLS.
16. STAINED HARDIE-BOARD CLG ON 2x6 CEILING FRAMING. SEE SPECIFICATIONS & REFLECTED CEILING PLAN.
- 17.
18. 3/4" STUDS w/ ELASTOMERIC COATING ON PAPER BAGGED WIRE LATH. SEE DTL & SPEC.
19. PVC COATED .092 ALUM FLASHING.
20. PAINTED .092 ALUM CHIMNEY CAP. SLOPE TO DRAIN.
21. DECORATIVE CHIMNEY TOP. SEE SPEC.
- 22.
23. HARDIE-PLANK LAP SIDING ON TRUSS ON P.T. 5/8" FT FLYUD SHEATHING ON 2x6 STUDS. SEE ELEV. & SPEC.
24. INSTALL HORIZ. EXTEND 5/8" P.T. SHEATHING UP TO BOTTOM OF ROOF DECK. NOTCH AROUND TRUSS TAIL. SEE DTL.
- 25.
26. MASONRY WAINSCOT. SEE ELEVATIONS, ALTERNATES & ALLOWANCES.
27. PAINTED .092 ALUMINUM DRIP CAP ON TOP OF SLOPED WAINSCOT CAP.
- 28.
- 29.
- 30.
31. P.T. 1x KOAT COLUMN TRIM ON P.T. FRAMING ON 4" STEEL TUBE COLUMN.
32. STACKED STONE BASE w/ CONCRETE CAP. SEE ELEVATIONS AND ALLOWANCES.
33. MASONRY STEPS. SEE DETAILS AND ALLOWANCES.
34. STAINED CONCRETE PORCH EDGE. SEE DETAILS.
- 35.
- 36.
- 37.
- 38.
- 39.
40. 5/8" TYPE 'X' GYP. ED. ON CEILING. SEE SPECIFICATION.
41. BUILD DOWN ATTIC STAIRS. SEE SPECIFICATIONS.
42. HORIZONTAL HVAC UNIT, SUSPENDED FROM STRUCTURE AND MOUNTED ON VENT.



SOUTH ELEVATION

(A)



WEST ELEVATION

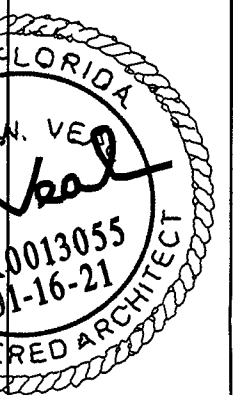
(B)

SECTION KEY NOTES

1. F.G. ROOFING ON ICE & WATER SHIELD ON 5/8" 5/8" FT. GYP. PLYD GLUED AND NAILLED ON TRUSSES OR 2" FRAMING. SEE SPECIFICATIONS & ALTERNATES.
2. 6" OPEN CELL SPRAY FOAM INSUL. SEE SPECIFICATIONS.
3. DOUBLE 2x6 BLOCKING AT RIDGE W/ BEVELED TOP FOR FLUSH CUT. ROOF DECK GLUE AND NAIL. SEE BLOCKING NOTES, FRAMING PLAN, AND NAILING.
4. DOUBLE 2x6 BLOCKING. BEARING. SEE BLOCKING NOTES & NAILING.
5. DEL. 2x6 TOP PLATE W/ (2) STRAPS OR TIE DOWNS. INSTALL ONE ON INSIDE & ONE ON OUTSIDE OF WALL. SEE FRAMING PLAN & MANUFACTURER'S RECOMMENDATIONS.
6. 2x6 VENT. BLOCKING AT ROOF DECK W/ BEVELED TOP FOR FLUSH CUT TO ROOF DECK. GLUE AND NAIL.
7. .032 PAINTED ALUM DRIP ON STAINED P.T. 1x2 DRIP ON KDAT 1x6 FASCI. ON 2x6 SUB-FASCI. HARDIE SOFFIT ON 2x4 FRAMING. STAINED P.T. 2x66 FRIEZE.
8. PROVIDE 3/4" T&G PLYD AT ATTIC TRUSS SPACE. SEE TRUSS ELEV.
9. STAINED P.T. 1x BEAM TRIM ON BEAM. SEE FRAMING PLAN & DETAIL. STAINED HARDIE BOARD GLUE ON 2x6 CEILING FRAMING. SEE SPEC. & REFLECTED CEILING PLAN.
10. 3/4" STUCCO W/ ELASTOMERIC COATINGS ON PAPER BACKED WIRE MATH. SEE DET. AND SPEC.
11. PVC COATED .032 ALUM FLASHING.
12. PAINTED .032 ALUM CHIMNEY SLOPE TO DRAIN.
13. DECORATIVE CHIMNEY TOP. SEE SPEC.
14. HARDIE-PLANK LAP SIDING ON TYLES ON P.T. 5/8" FT. PLYD SHEATHING ON 2x6 STUDS. SEE ELEV. & SPEC.
15. INSTALL HORIZ. EXTEND 5/8" P.T. SHEATHING UP TO BOTTOM OF ROOF DECK. NOTCH AROUND TRUSS TAILS. SEE DET.
16. MASONRY WAINGSCOT. SEE ELEVATIONS & ALTERNATES & ALLOWANCES.
17. PAINTED .032 ALUMINUM DRIP CAP ON TOP OF SLOPED WAINGSCOT CAP.
18. P.T. 1x KDAT COLUMN TRIM ON P.T. FRAMING ON 4" STEEL TUBE COLUMN. STACKED STONE COLUMN BASE W/ CONCRETE CAP. SEE ELEVATIONS & ALLOWANCES.
19. MASONRY STEPS. SEE DETAILS AND ALLOWANCES.
20. STAINED CONCRETE PORCH EDGE. SEE DETAILS.
21. 5/8" TYPE 'X' GYP. BD. ON CEILING. SEE SPECIFICATION. PULL DOWN ATTIC STAIRS. SEE SPECIFICATIONS.
22. HORIZONTAL HVAC UNIT. SUSPENDED FROM STRUCTURE AND MOUNTED ON VIBRATION PADS ON 2" BLOCKS IN SECONDARY DRAIN PAN.
23. 5/8" TYPE 'X' GYP. BD. ON 2x6 STUDS. 16" CC W/ 5-1/2" BLOWN IN BATT INSULATION. SEE SPECIFICATIONS.
24. 5/8" TYPE 'X' GYP. BD. ON EACH SIDE OF 2x STUDS. 16" CC.
25. 5/8" TYPE 'X' GYP. BD. ON 5/8" OCK. 5-FLY PLYD WALL SHEATHING ON 2x STUDS. 16" CC.
26. 5/8" TYPE 'X' GYP. ON 2x STUDS W/ SOUND BATT. SEE DETAILS AND SPEC.
27. COMPOSITE WOOD HANDRAIL SYSTEM. SEE DETAILS & ALLOWANCES.
28. 4" CONCRETE SLAB ON 10 MIL POLY V.B. ON WELL COMPACTED, TERMITES TREATED SOIL. SEE COMPACTION NOTES AND SPEC.
29. SLOPED 4" CONCRETE ON 10 MIL POLY V.B. ON WELL COMPACTED TERMITES TREATED SOIL. SEE FOUND PLAN.
30. 4" CONCRETE DRIVE W/ FIBERGLASS REINFORCEMENT DRIVEWAY SLAB OR WALK. SEE FOUNDATION PLAN.
31. P.T. 2x6 PLATE W/ 5/8" x 12" A.B. W/ HDX HEAD & 2" WASHER INTO FILLER CELL OR BOND BEAM ON 8" C.M.U. STEM WALL W/ STEEL REINFORCING IN FILLED CELLS. SEE FOUNDATION PLAN AND DETAILS.
32. 8" C.M.U. STEM WALL W/ STEEL REINFORCING IN FILLED CELLS. SEE FOUNDATION PLAN AND DETAILS.
33. THICKENED CONCRETE EDGE W/ STEEL REINFORCING. SEE DETAILS.
34. CONCRETE STRIP FOOTING W/ STEEL REINFORCING. SEE FOUNDATION PLAN AND DETAILS.
35. CONCRETE PAD FOOTING W/ STEEL REINFORCING. SEE FOUNDATION PLAN.
36. ELASTOMERIC COATINGS ON 8" C.M.U. STEM WALL W/ FLUSH RAKED MORTAR JOINTS.

DATE:  
01-04-21  
01-16-21

JVA  
J. VEAL ARCHITECT  
627 BAYSHORE DR. PENSACOLA, FL 32507  
1-850-450-3295 jva@jvealarchitect.com  
AL #32836 NC #9066 FL #19055



A NEW RESIDENCE for  
**HOLMES HOME**  
220 WEST GADSDEN STREET, PENSACOLA, FL

PERMIT SET  
© 2021 J.VEAL ARCH

DRAWN BY:

A-3  
OF



DATE:  
01-04-21  
01-16-21

JVA  
J. VEAAL ARCHITECT  
627 BAYSHORE DR. PENSACOLA, FL 32507  
1-850-430-3295 AL #92656 NC #9066 FL #13055

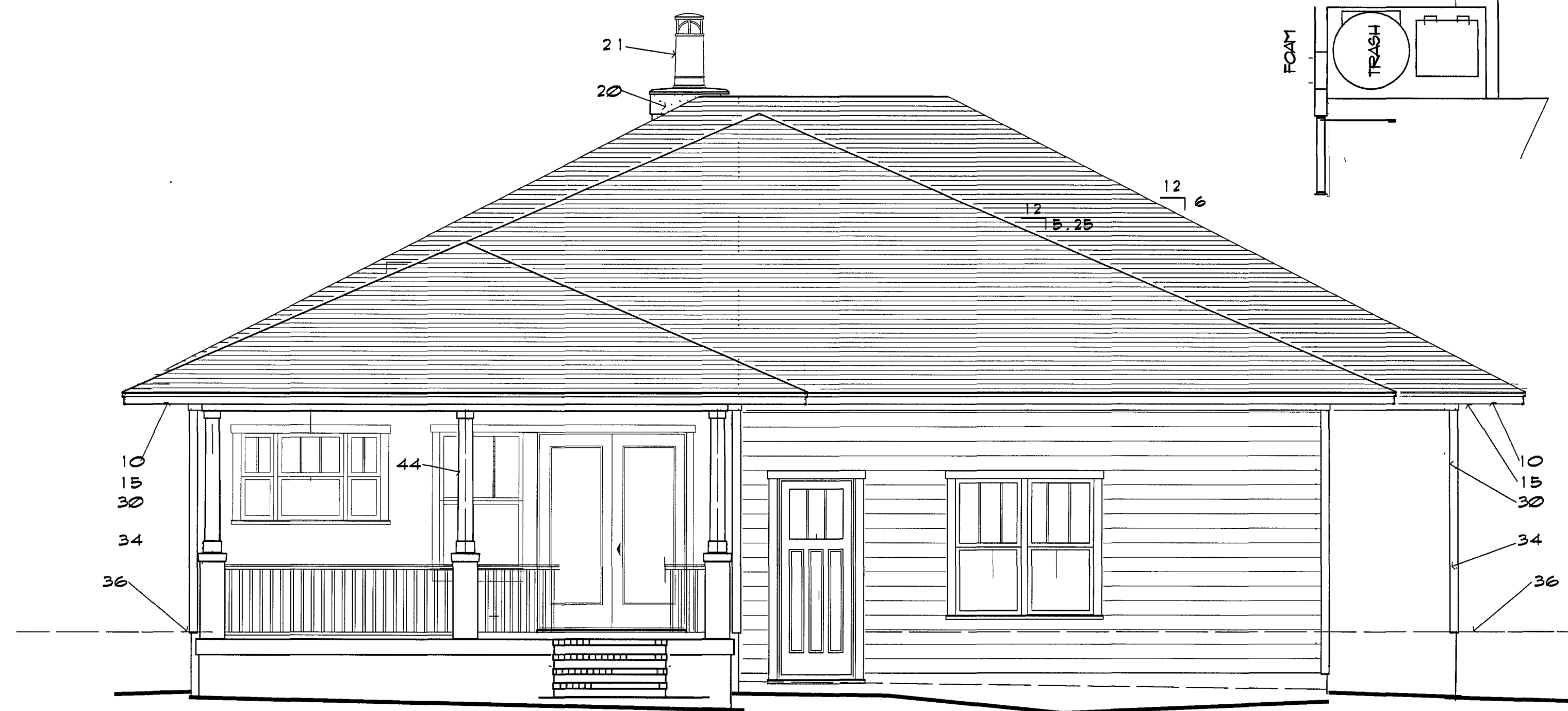
A NEW RESIDENCE for  
**HOLMES HOME**  
220 WEST GADSDEN STREET, PENSACOLA, FL

PERMIT SET  
© 2021 JVA ARCH

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**A-4**  
OF

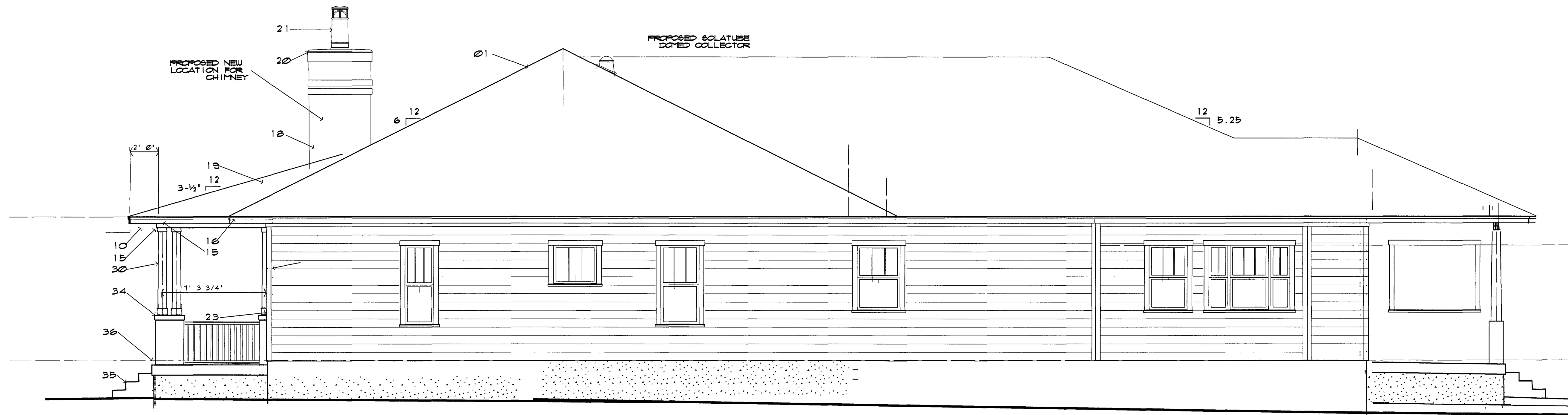
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102



NORTH ELEVATION

A

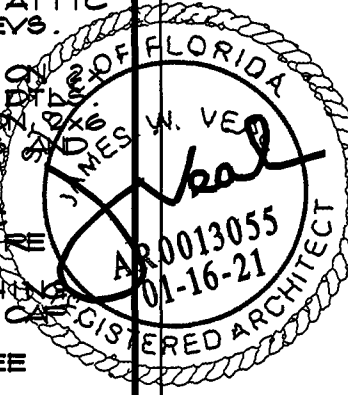


EAST ELEVATION

D

SECTION KEY NOTES

1. F.G. ROOFING ON ICE & WATER SHIELD ON 5/8" x 5 FLY OCK PLYD GLUED AND NAILED ON TRUSSES OR 2x FRAMING. SEE SPECIFICATIONS & ALTERNATES.
2. 6" OPEN CELL SPRAY FOAM INSUL. SEE SPECIFICATIONS.
3. DOUBLE 2x6 BLOCKING AT RIDGE w/ BEVELED TOP FOR FLUSH CUT. ROOF DECK, GLUE AND NAIL. SEE BLOCKING NOTES, FRAMING PLAN, AND NAILING.
4. DOUBLE 2x6 BLOCKING & BEARING. SEE BLOCKING NOTES & NAILING.
5. DOUBLE 2x6 TOP PLATE w/ (2) STRAPS OR TIE DOWNS. INSTALL ONE ON INSIDE & ONE ON OUTSIDE OF WALL. SEE FRAMING PLAN & MANUFACTURER'S RECOMMENDATIONS.
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8. HARDIE BOFFIT ON 2x4 FRAMING.
9. STAINED P.T. 2x68 FRIEZE.
10. PROVIDE 3/4" T&G PLYD AT ATTIC TRUSS SPACE. SEE TRUSS ELEV.
11. STAINED P.T. 1x BEAM TRIM ON 2x4 BEAM. SEE FRAMING PLAN & DETAILS.
12. STAINED HARDIE BOARD CLS ON 2x4 CEILING FRAMING. SEE SPEC & REFLECTED CEILING PLAN.
13. 3/4" STUCCO w/ ELASTOMERIC COATING ON PAPER BACKED WIRE LATH. SEE DTL. AND SPEC.
14. PVC COATED .032 ALUM FLASHING.
15. PAINTED .032 ALUM CHIMNEY CAP. SLOTE TO DRAIN ON 4" MANUFACTURER'S RECOMMENDATIONS.
16. DECORATIVE CHIMNEY TOP. SEE SPEC.
17. HARDIE-PLANK LAP SIDING ON TRUSS ON P.T. 5/8" PT PLYD SHEATHING ON 2x6 STUCCO. SEE ELEV & SPEC.
18. INSTALL HORIZ. EXTEND 5/8" P.T. SHEATHING UP TO BOTTOM OF ROOF DECK. NOTCH AROUND TRUSS TAILS. SEE DTL.
19. MASONRY WAINSCOT. SEE ELEVATIONS, ALTERNATES & ALLOWANCES.
20. PAINTED .032 ALUMINUM DRIP CAP ON TOP OF SLOPED WAINSCOT CAP.
21. P.T. 1x KDAT COLUMN TRIM ON P.T. 1x 4" STEEL TUBE COLUMN.
22. STACKED STONE COLUMN BASE w/ CONCRETE CAP. SEE ELEVATIONS AND ALLOWANCES.
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28. 5/8" TYPE 'X' GYP. BD. ON 2x6 STUDS & 16" CC. U. 5-1/2". SEE SPECIFICATIONS.
29. 5/8" TYPE 'X' GYP. BD. ON EACH SIDE OF 2x STUDS & 16" CC.
30. 5/8" TYPE 'X' GYP. BD. ON 5/8" OCK, 5-PLY PLYD WALL SHEATHING ON 2x STUDS & 16" CC.
31. 5/8" TYPE 'X' GYP. BD. ON 2x STUDS w/ SOUND BATT. SEE DETAILS AND SPEC.
32. COMPOSITE WOOD HANDRAIL SYSTEM. SEE DETAILS & ALLOWANCES.
33. 4" CONCRETE SLAB ON 10 MIL POLY V.B. ON WELL COMPACTED, TREATED SOIL. SEE CONTRACTION NOTES AND SPEC.
34. SLOPED 4" CONCRETE ON 10 MIL POLY V.B. ON WELL COMPACTED, TREATED SOIL. SEE FOUND PLAN.
35. 4" CONCRETE DRIVE w/ FIBERGLASS REINFORCEMENT DRIVEWAY SLAB OR WALK. SEE FOUNDATION PLAN.
36. P.T. 2x6 PLATE w/ 5/8" x 12" A.B. w/ HEX HEAD 4-2" WASHER INTO FILLED CELL OR BOND BEAM ON 8" C.M.U. STEEL WALL w/ STEEL REINFORCING IN FILLED CELLS. SEE FOUNDATION PLAN AND DETAILS.
37. 9" C.M.U. STEEL WALL w/ STEEL REINFORCING IN FILLED CELLS. SEE FOUNDATION PLAN AND DETAILS.
38. THICKENED CONCRETE EDGE w/ STEEL REINFORCING. SEE DETAILS.
39. CONCRETE STRIP FOOTING w/ STEEL REINFORCING. SEE FOUNDATION PLAN AND DETAILS.
40. CONCRETE PAD FOOTING w/ STEEL REINFORCING. SEE FOUNDATION PLAN.
41. ELASTOMERIC COATING ON 8" C.M.U. STEEL WALL w/ FLUSH RAKED MORTAR JOINTS.









# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00140

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

423 E. Intendencia Street (Vacant Rear Lot)  
Pensacola Historic District / Zone HR-1 / Wood Cottages  
New Construction

**BACKGROUND:**

Andy Thoms is requesting approval for a new single family residence with an accessory dwelling unit on the ground floor. This property is a vacant lot located behind 423 E. Intendencia Street and by which vehicular access to and from the street will be granted. The proposed structure will be covered with cement board lap siding and "Shakewood" architectural shingles. All exterior doors will be Terma-Tru fiberglass and the windows will be white Plygem aluminum-clad wood. The front facing garage doors will be aluminum with decorative hardware to match the elevation drawings. This project was denied without prejudice in December 2020 and the applicant was encouraged to resubmit revisions.

Please find attached all relevant documentation for your review.

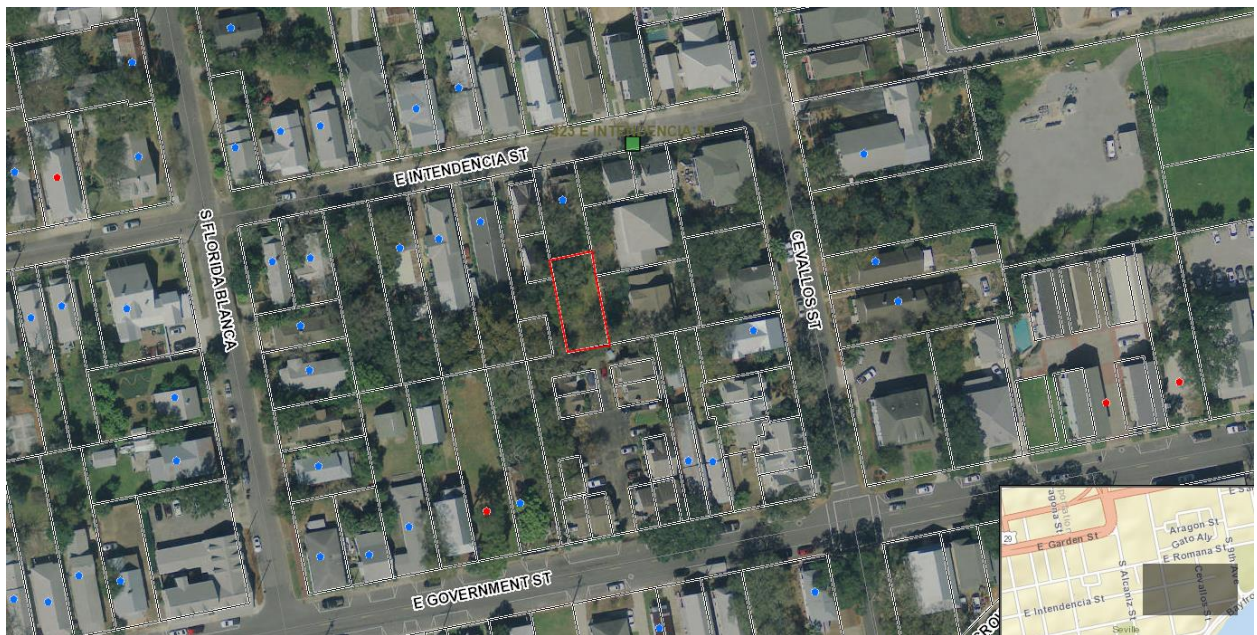
**RECOMMENDED CODE SECTIONS:**

Sec. 12-3-10(1)(h) *Pensacola Historic District, New construction*

Figure 12-3.1 *Wood Cottages District - Streetscape, Type 2*

Sec. 12-3-10(1)(d)(2)(ii) *Pensacola Historic District, Rules governing decisions*

## 423 E. Intendencia Street











## MINUTES OF THE ARCHITECTURAL REVIEW BOARD

December 17, 2020

### Item 3

423 E. Intendencia

PHD

### New Construction

HR-1 / Wood Cottages

#### **Action taken: Denied without prejudice.**

Andy Thoms is requesting approval for a new single-family residence with an accessory dwelling unit on the ground floor. This property is a vacant lot located behind 423 E. Intendencia Street and by which vehicular access to and from the street will be granted. Site photos of the vacant lot and new construction within the immediate area were provided to the Board.

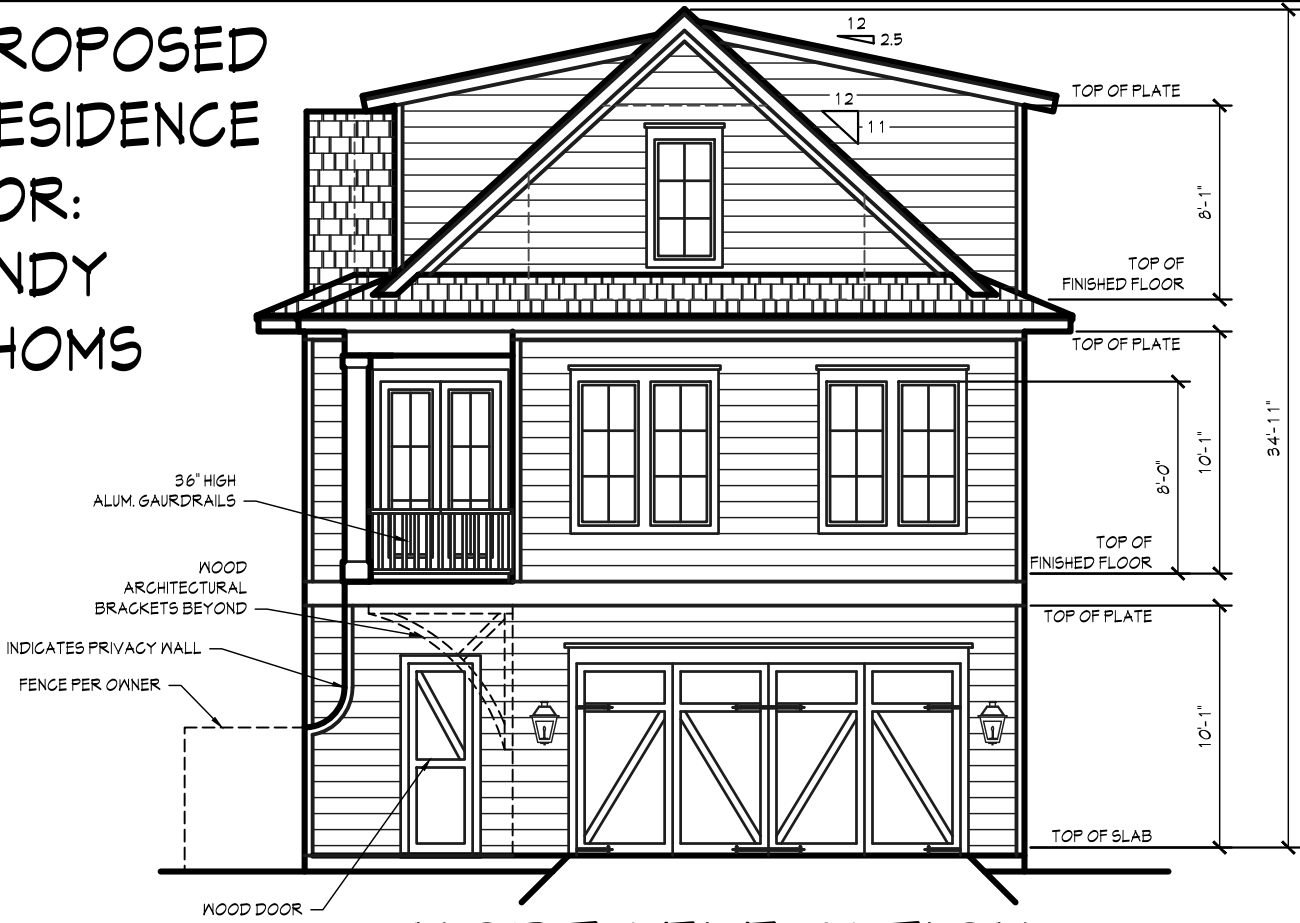
Mr. Thoms presented to the Board. Board Member Ramos indicated the drawings showed something respectful to the scale and materials of the district, but he did not see an example of the garage as part of the ground floor. Mr. Thoms advised since the garage was not visible from the street, they tried to tie in the architectural design and make it attractive and appealing. Board Member Fogarty indicated on the north and south elevations, it seemed the roof dormers were not meeting up with ridge at the same location. Board Member Yee offered it was the placement of the wall that caused the roof to hit lower. He was typically not in favor of front-facing garages, but this house was acting as a garage accessory dwelling unit and had no problem with it. Chairperson Salter stated from the streetscape, this would not read as a stand-alone house. Regarding the south elevation, is set up as asymmetric; the second-floor windows were centered on the building width and not the gable end. The north elevation did not relate to the first-floor solid elevation, and maybe the second-floor balcony should have more of a solid wall. Mr. Thoms explained it was designed as aesthetically pleasing as possible, taking into consideration the south elevation was a commercial parking lot along with high-density townhomes. They tried to tie it into the carriage house style, and had it not been a rear lot, he would not have considered this style. Board Member Mead understood the south elevation and it did not detract from the massing, but the shed dormers were fighting and making way too complicated a statement for a structure of this simplicity. He could see how it worked on the east elevation, but it was really fighting on the north and the south. A gable treatment could help solve the problems with symmetry; the west elevation should be a gable, then everything would be consistent with gables throughout. A pair of windows could accomplish light for the stairs.

It was clarified that this project was for final review. **Board Member Fogarty moved to approve the item with the request to modify elevations addressing the window symmetry on the front and south to be submitted for abbreviated review; also, any work**



**on the dormers be submitted for abbreviated review.** Board Member Ramos felt this would change the project significantly. Staff stated an abbreviated review was typically reviewed by one of the ARB architects and UWF Historic Trust ARB Advisor who would have authority to approve changes with additional modifications or refer back to the full Board for review. Board Member Yee stated there was confusion on the main gable not being centered on the widest footprint but on the narrower footprint; it was hard to find the center of the house with all of the gables having different reference points. Board Member Mead was concerned with the amount of work to be done. With the dormers going to gables and the roofline, he was not sure you could fix the main roofline without it coming back. Board Member Yee stated the maximum height (35') was making the skirting come in and making the balance askew; he suggested asking the designer to lower the ground level since it was a garage. Board Member Mead advised a typical solution would be a gambrel, but that would be a totally different look. **Board Member Fogarty retracted her motion, but there was no second, so it failed.** **Board Member Mead moved to deny without prejudice and resubmit addressing the points discussed.** Chairperson Salter stated in looking at this presentation, he noticed the doors, specifically doors listed as GBG mullions (grills between glass), and new developments should closely emulate the original window designs; typically, it is a simulated divided light arrangement, and he encouraged that to be taken into consideration. **The motion was seconded by Board Member Ramos. Board Member Mead stated the denial was for the reason the roofline and treatments as well as the door configuration and elevations were not consistent with the surrounding area meeting the architectural style being sought in new construction. Changes sought or discussed for resubmission would achieve those objectives 12-2-10(A)(4)(b)(2)(a). With no speakers, the motion carried unanimously.**

PROPOSED  
RESIDENCE  
FOR:  
ANDY  
THOMS



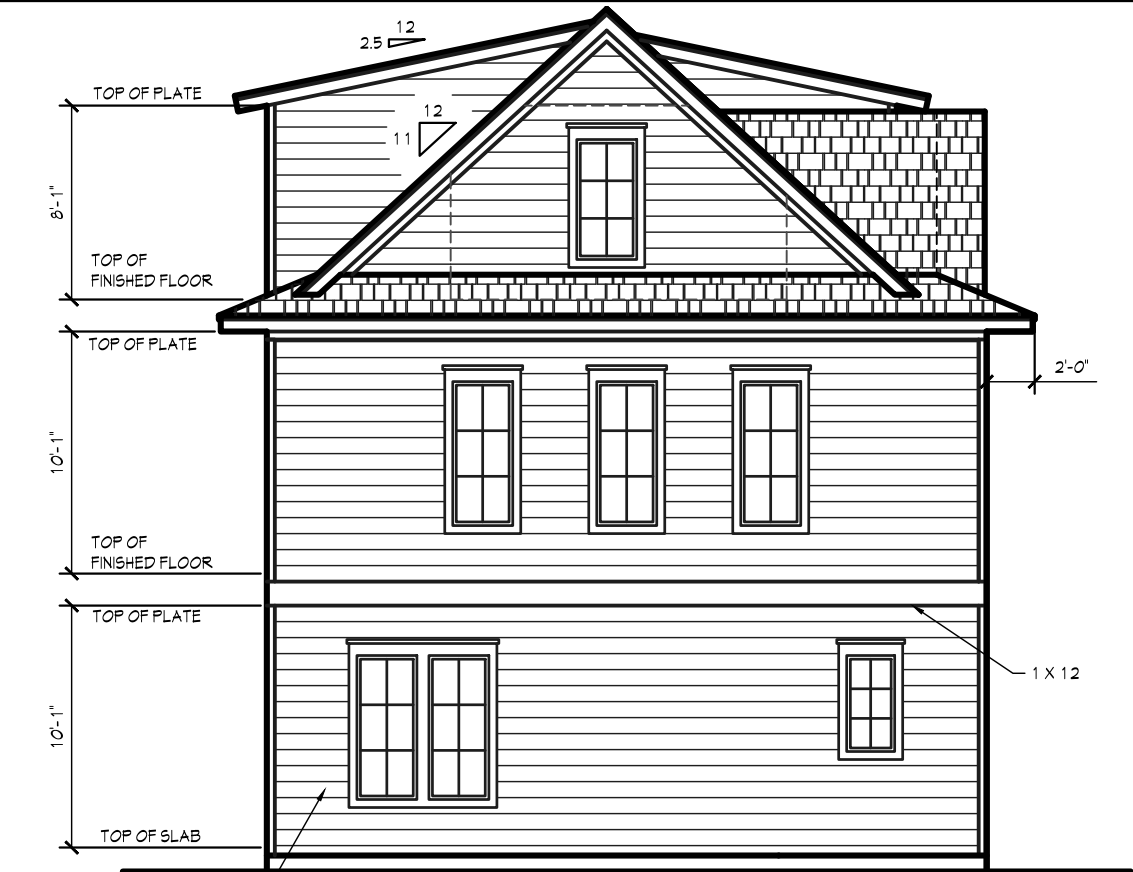
NORTH ELEVATION

SCALE: 1/8"= 1'-0"



EAST ELEVATION

SCALE: 1/8"= 1'-0"



SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



WEST ELEVATION

SCALE: 1/8"= 1'-0"

December 2020 Plans  
for Comparison

REVISIONS

12-16-2020

109

BUILDER/CONTRACTOR(S) NOTE:

BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, SIZES, AND LOCATIONS PRIOR TO ANY PHASE OF CONSTRUCTION UNDER THE COMMON COPYRIGHT ACT.

BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL CITY/REGIONAL BUILDING CODES.

CUSTOMER INFORMATION

NAME: ANDY THOMS

ADDRESS: 423 E INTENDENCIA ST

BUILDER / CONTRACTOR:

BRODEUR HOME DESIGNS

PH: (950) 377-6612

EMAIL: jessie@brodeurhomedesigns.com

DRAWN BY: JB

CHECKED BY: JB

DATE:

SCALE: AS SHOWN

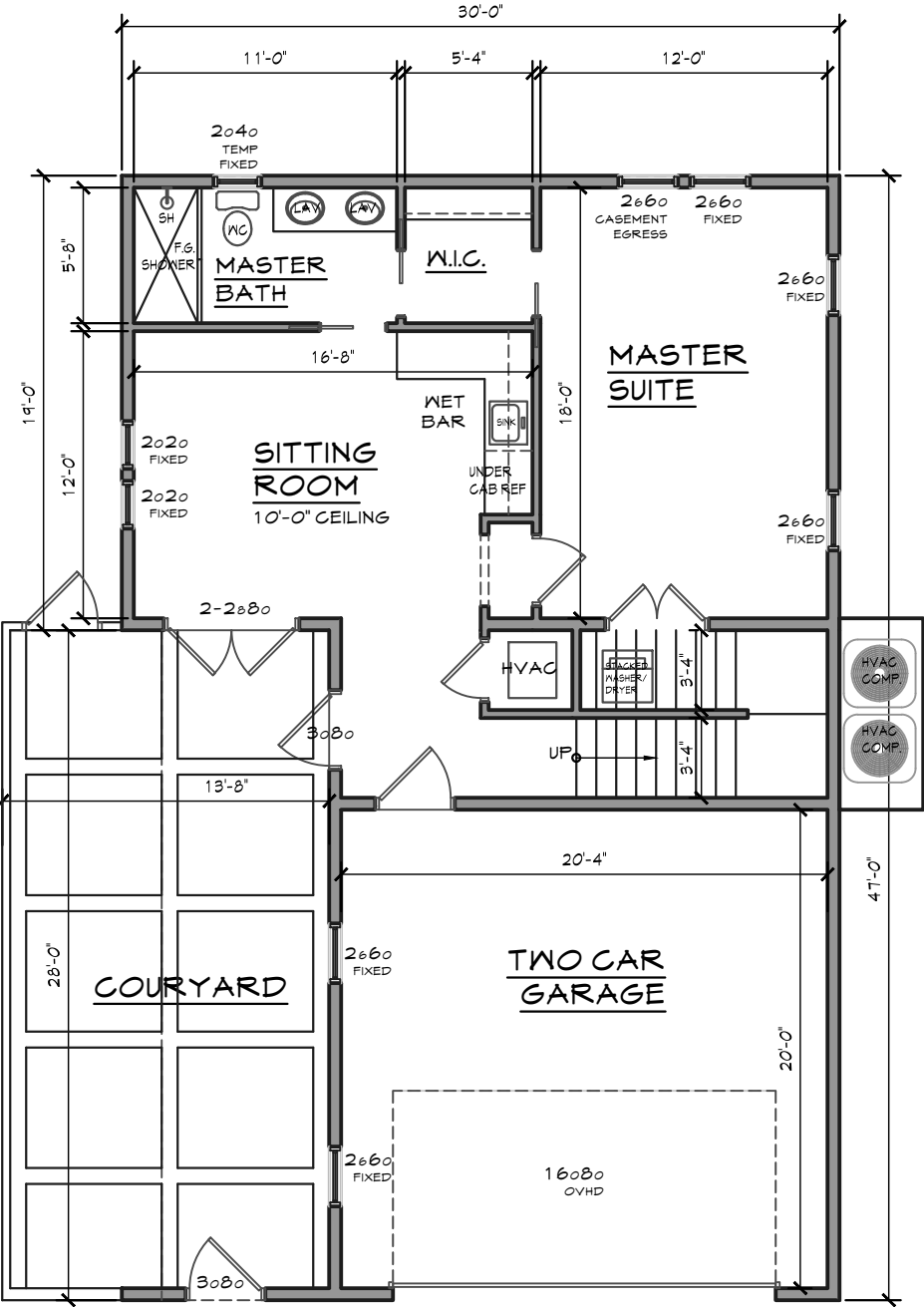
JOB NO.

SHEET

A1



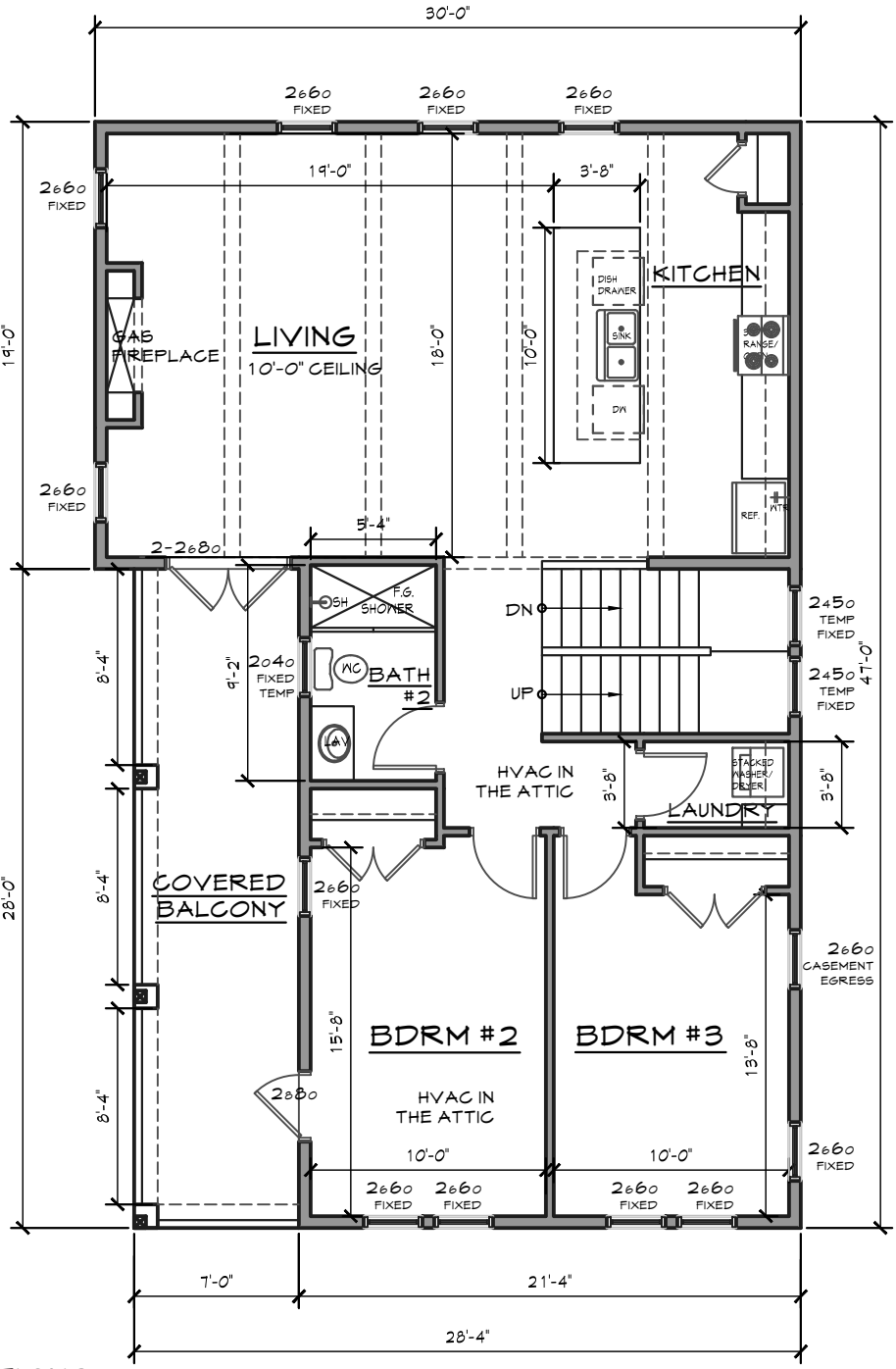
December 2020 Plans  
for Comparison



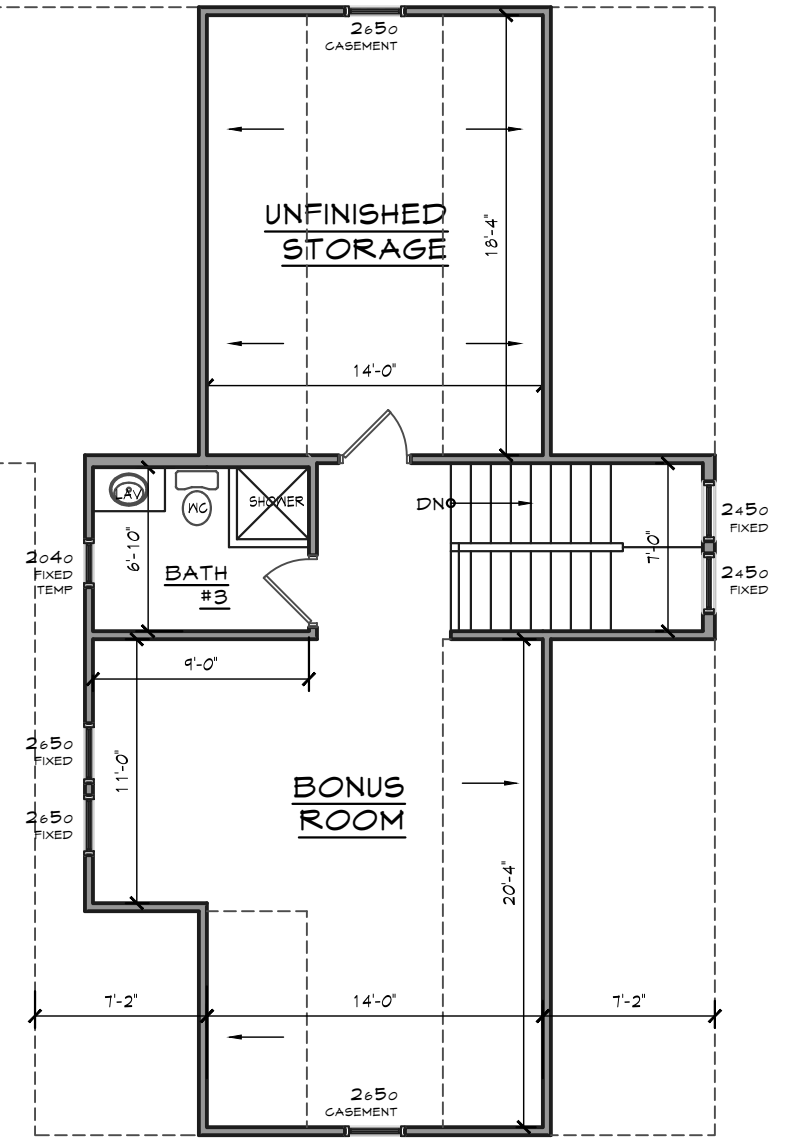
GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"

AREA CALCULATIONS:

|                         |           |
|-------------------------|-----------|
| GROUND FLOOR LIVING     | 730 S.F.  |
| MAIN FLOOR LIVING AREA  | 1090 S.F. |
| UPPER FLOOR LIVING AREA | 464 S.F.  |
| TOTAL LIVING AREA       | 2284 S.F. |



MAIN FLOOR PLAN  
SCALE: 1/8"=1'-0"



UPPER FLOOR PLAN  
SCALE: 1/8"=1'-0"

|                       |                      |
|-----------------------|----------------------|
| CUSTOMER INFORMATION  |                      |
| NAME:                 | ANDY THOMS           |
| ADDRESS:              | 423 E INTENDENCIA ST |
| BUILDER / CONTRACTOR: |                      |

**BRODEUR**  
HOME DESIGNS  
PH: (950) 377-6612  
EMAIL: jesse@brodeurhomedesigns.com

|             |          |
|-------------|----------|
| DRAWN BY:   | JB       |
| CHECKED BY: | JB       |
| DATE:       |          |
| SCALE:      | AS SHOWN |
| JOB NO.     |          |

# December 2020 Plans for Comparison



|             |          |
|-------------|----------|
| DRAWN BY:   | JB       |
| CHECKED BY: | JB       |
| DATE:       |          |
| SCALE:      | AS SHOWN |
| JOB NO.     |          |
| SHEET       |          |

PH.# (850) 377-6612      EMAIL: [Jesse@brodeurhomedesigns.com](mailto:Jesse@brodeurhomedesigns.com)

|                      |                      |
|----------------------|----------------------|
| NAME:                | ANDY THOMS           |
| ADDRESS:             | 423 E INTENDENCIA ST |
|                      |                      |
| BUILDER / CONTRACTOR |                      |

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE CONSTRUCTION OF NO MORE THAN ONE RESIDENCE. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT.

THE PLANS SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

BUILDER/CONTRACTOR(S) NOTE:

BUILDER/CONTRACTOR TO VERIFY  
ALL DIMENSIONS, SIZES, AND LOCATIONS  
PRIOR TO ANY PHASE OF CONSTRUCTION

BUILDER/CONTRACTOR RESPONSIBLE  
FOR CONFORMING TO LOCAL,

REVISIONS





**Architectural Review Board Application  
Full Board Review**

Application Date: 12/3/2020

**Project Address:** 423 E. Intendencia Street (VACANT REAR LOT)

**Applicant:** Andy Thoms

**Applicant's Address:** 647 James Street, Lakewood, NJ

**Email:** andy@andythoms.com **Phone:** 970-420-8216

**Property Owner:** Andy Thoms

**District:** ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

**New Construction**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

Signature on file

Applicant Signature

Date

**PVS SUBDIVISION**  
**A RE-PLAT OF A**  
**PORTION OF BLOCK 19**  
**OLD CITY TRACT, CITY OF PENSACOLA,**  
**BEING A PORTION OF SECTION 46,**  
**TOWNSHIP 2 SOUTH, RANGE 30 WEST,**  
**ESCAMBIA COUNTY, FLORIDA**

LEGAL DESCRIPTION (O.R. BOOK 5672 PAGE 879):

EAST HALF OF LOT 339, BLOCK 19, OLD CITY TRACT, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA, LYING IN SECTION 46, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ACCORDING TO THE MAP OF SAID CITY OF PENSACOLA BY THOMAS C. WATSON DATED 1906.

**OWNERS:**

ROBERT AND NANCY VAN SLYKE;  
 JOHN AND GINGER PORTER

222 NORTH SPRING STREET  
 PENSACOLA, FL 32502  
 PH. 850 384-5718

**SURVEYORS NOTES:**

1. NO TITLE RESEARCH HAS BEEN PERFORMED BY THIS FIRM.
2. MEASUREMENTS ARE IN ACCORDANCE WITH U.S. STANDARDS.
3. UNDERGROUND STRUCTURES AND IMPROVEMENTS NOT LOCATED UNLESS NOTED.
4. NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
5. THE ACCURACY OF MEASUREMENTS PERFORMED MEETS THE REQUIREMENTS FOR CLOSURE.
6. DATA SHOWN OUTSIDE THE DESCRIBED PROPERTY IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
7. ENCROACHMENTS ARE AS SHOWN ON THE DRAWING.
8. NO BUILDING ON LOTS WITH A PERMANENT WATER TABLE LESS THAN 2 FT.
9. THE CONSULTANT MUST COORDINATE WITH ALL UTILITY PROVIDERS FOR PLACEMENT AND DEDICATION OF REQUIRED UTILITY EASEMENTS.
10. REFERENCE BEARING: ASSUMED S 90°00'00" E ALONG THE SOUTHERLY R/W LINE OF INTENDENCIA STREET AS PER PLAT.
11. BUILDING SETBACK LINES ARE AS FOLLOWS:  
 FRONT = 15'  
 SIDE = 5'  
 REAR = 20'
12. NO WATER, GAS, SANITARY SEWER MAINS, FIRE HYDRANTS, OR STORM DRAINS LIE WITHIN 10' OF SUBJECT PROPERTY UNLESS SHOWN OTHERWISE.

APPROVED: Shawn M. ... DATE: 11-25-07  
 APPROVED BY CITY OF PENSACOLA PLANNING DEPARTMENT

of the Public Records has been performed by this firm and lands shown hereon were not abstracted by this firm for ownership, easements, or parcels shown hereon may be subject to setbacks, easements, zoning, and restrictions that may be found in the Public Records of said County. All measurements were made to United States standards. The accuracy of measurements shown meet the standards required in the appropriate land area. All angles and distances are Deed and Actual unless otherwise noted: Deed = (D); Actual Field Measurement = (A); Plat = (P). All foundations, footings, or other underground structures were not located unless otherwise noted. All shown are exaggerated and are not to scale for clarity purposes.

Lands End Surveying, Inc.  
 109 South Alcanis Street - Pensacola, FL 32501  
 Telephone: 850-433-8545 FAX: 850-433-8282  
 Florida LI 6832

TYPE SURVEY  
 BOUNDARY AND IMPROVEMENTS  
 BASIS OF BEARING

SCALE: 1" = 10'

FIELD DATE: 5/2/2007

ORDER NO. 427-2006

FIELD BOOK: 208/30

REVISIONS

FIELD BOOK

DATE

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FLORIDA BLANCA STREET (56' R/W)  
 EASTERLY R/W  
 WEST HALF OF LOT 339

SOUTHERLY R/W  
 280.87' (A)  
 280.00' (P)

423 EAST INTENDENCIA STREET (34.58' R/W)

EXISTING WATER SERVICE LINE  
 N 90°00'00"E 40.00' (P)  
 N 90°00'00"E 40.73' (A)  
 SET CONCRETE MONUMENT (LB # 6832) (TYPICAL)

WEST HALF OF LOT 339  
 (NOT INCLUDED)

N 0°24'19"E 171.14' (A)  
 172.25' (P)

15.01'

40.60'

15' B.S.L.

5' B.S.L.

84.81'

S 0°29'40"W 170.84' (A)  
 172.25' (P)

LOT 340  
 (NOT INCLUDED)

INGRESS AND EGRESS EASEMENT  
 O.R. BOOK 2033  
 PAGE 54

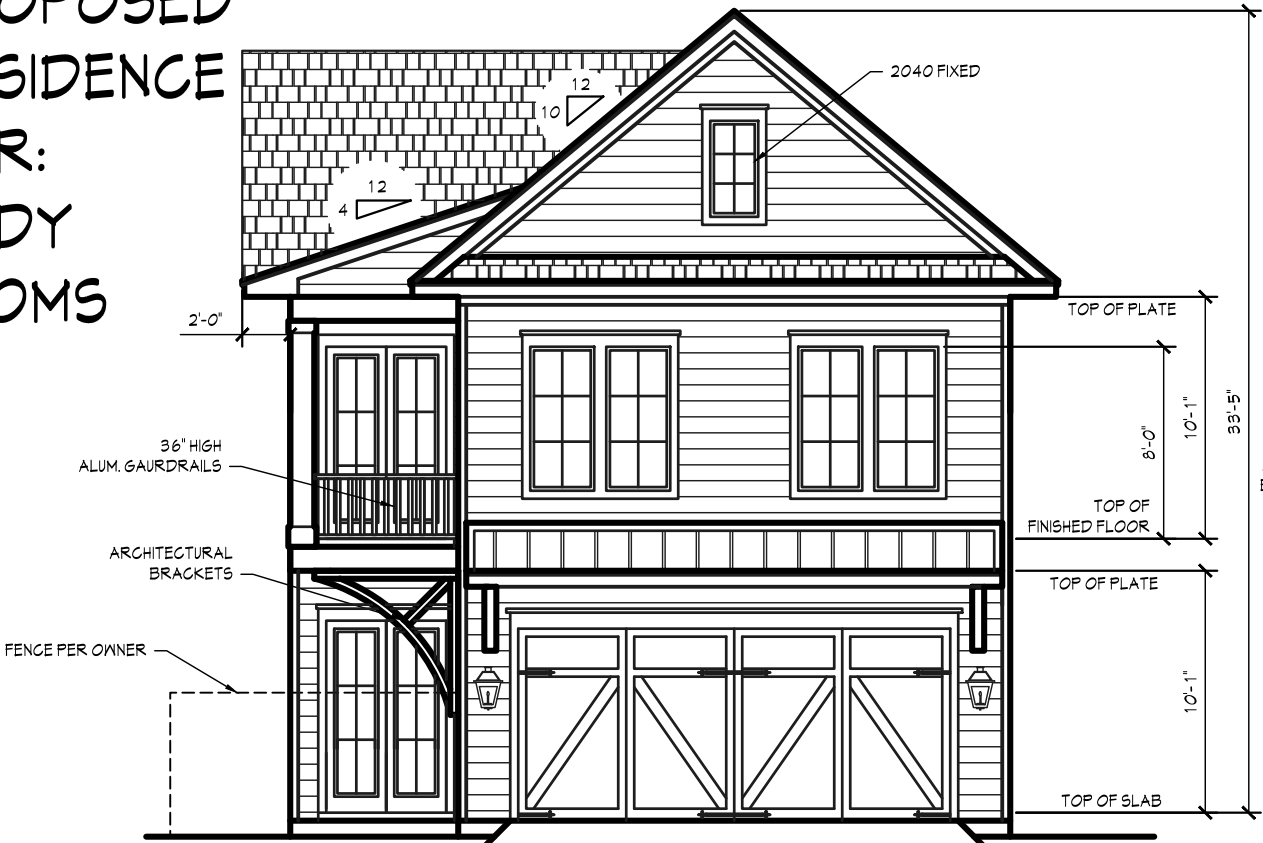
EXISTING IRON ROD SET IN CONCRETE

LOT 103

LOT 103

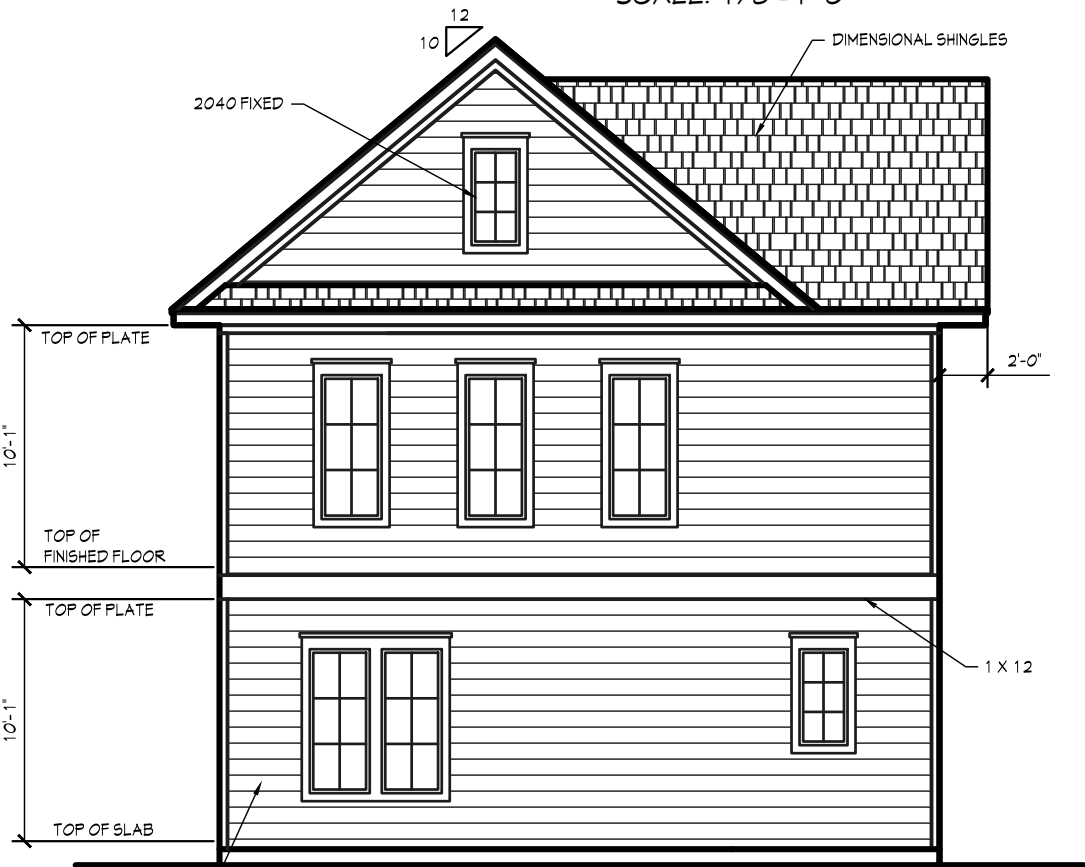


PROPOSED  
RESIDENCE  
FOR:  
ANDY  
THOMS



NORTH ELEVATION

SCALE: 1/8"=1'-0"



SOUTH ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"



EAST ELEVATION

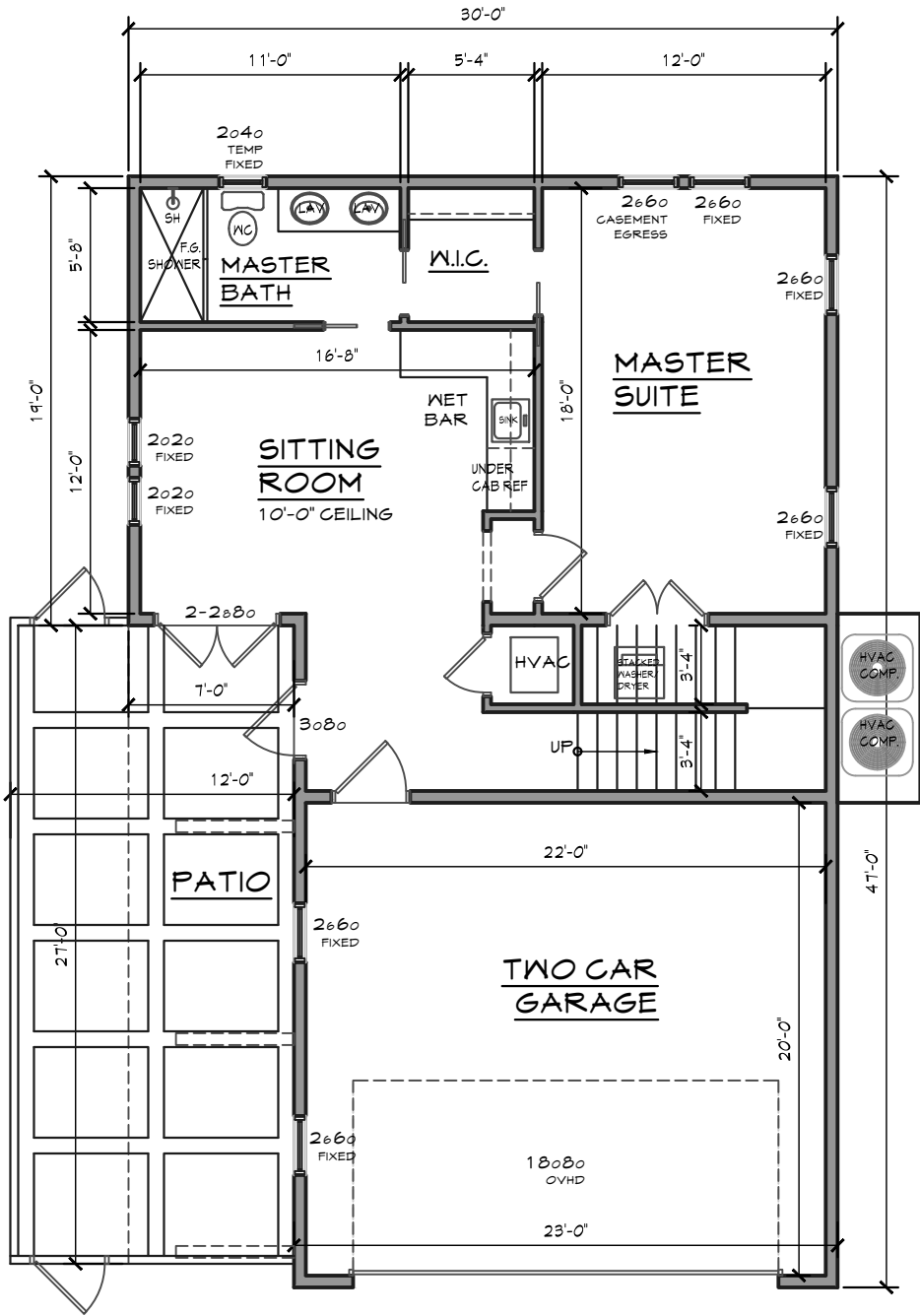
SCALE: 1/8"=1'-0"

| REVISIONS  |                      | 114                   |
|--|----------------------|-----------------------|
| 02-17-2021   |                      |                       |
| BUILDER/CONTRACTOR(S) NOTE:  |                      |                       |
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| THE PLANS SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION FROM BRODEUR HOME DESIGNS.                        |                      |                       |
| CUSTOMER INFORMATION   |                      | BUILDER / CONTRACTOR: |
| NAME:  | ANDY THOMS           |                       |
| ADDRESS:   | 423 E INTENDENCIA ST |                       |

**BRODEUR**  
HOME DESIGNS  
P.H.# (950) 377-6612 EVAL: Jesse@brodeurhomedesigns.com

|             |          |
|-------------|----------|
| DRAWN BY:   | JB       |
| CHECKED BY: | JB       |
| DATE:       |          |
| SCALE:      | AS SHOWN |
| JOB NO.     |          |
| SHEET       | A1       |

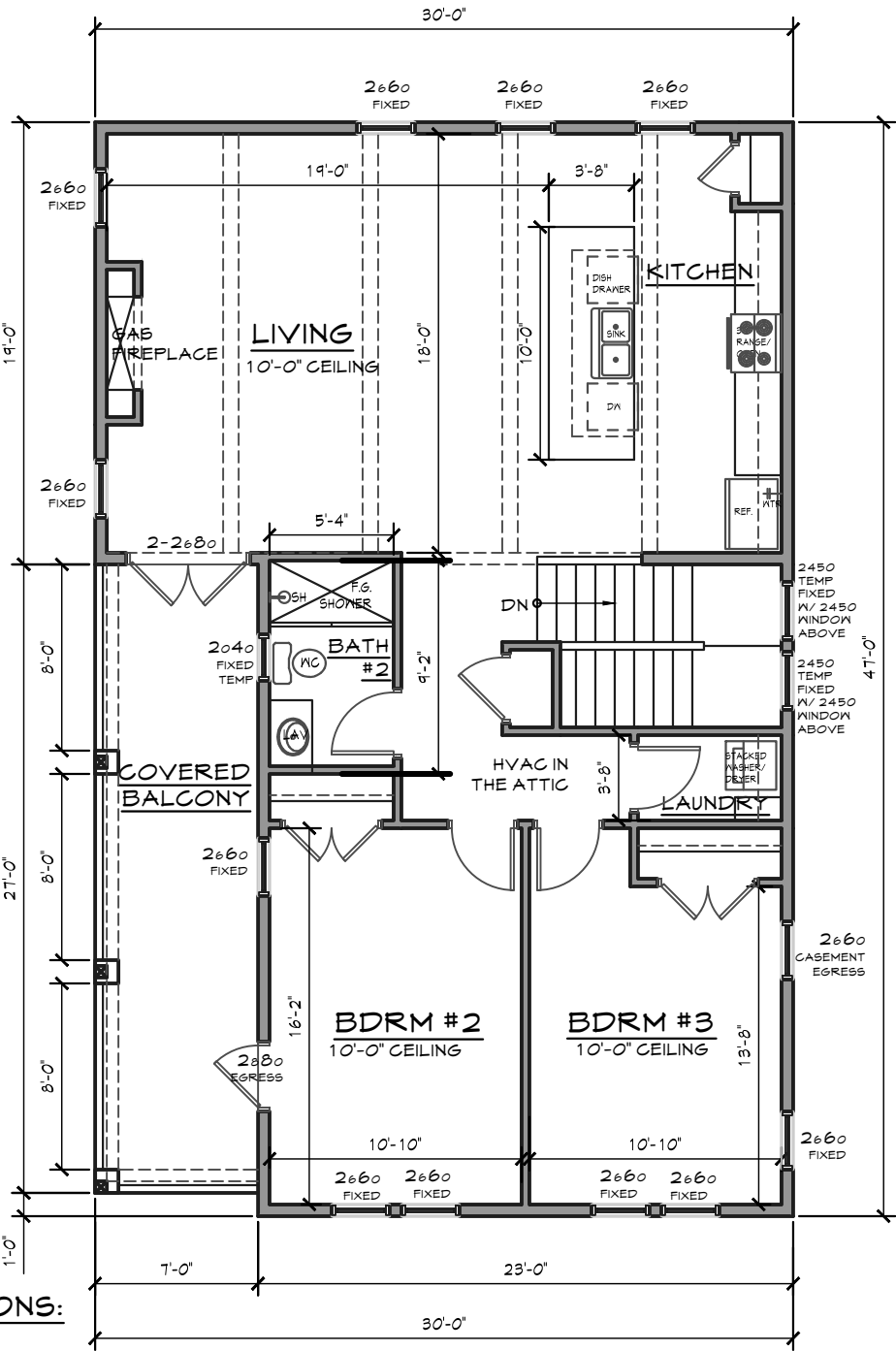
PROPOSED RESIDENCE FOR: ANDY THOMS



GROUND FLOOR PLAN AREA CALCULATIONS:

SCALE: 1/8"=1'-0"

|                        |           |
|------------------------|-----------|
| GROUND FLOOR LIVING    | 742 S.F.  |
| MAIN FLOOR LIVING AREA | 1140 S.F. |
| TOTAL LIVING AREA      | 1882 S.F. |
| TWO CAR GARAGE         | 471 S.F.  |
| COVERED BALCONY        | 189 S.F.  |
| TOTAL UNDER ROOF       | 2542 S.F. |



MAIN FLOOR PLAN

SCALE: 1/8"=1'-0"

| CUSTOMER INFORMATION  |                      |
|-----------------------|----------------------|
| NAME:                 | ANDY THOMS           |
| ADDRESS:              | 423 E INTENDENCIA ST |
| BUILDER / CONTRACTOR: |                      |

**BRODEUR**  
HOME DESIGNS  
PH: (950) 377-6612  
EMAIL: jessie@brodeurhomedesigns.com

|             |          |
|-------------|----------|
| DRAWN BY:   | JB       |
| CHECKED BY: | JB       |
| DATE:       |          |
| SCALE:      | AS SHOWN |
| JOB NO.     |          |
| SHEET       |          |

A2

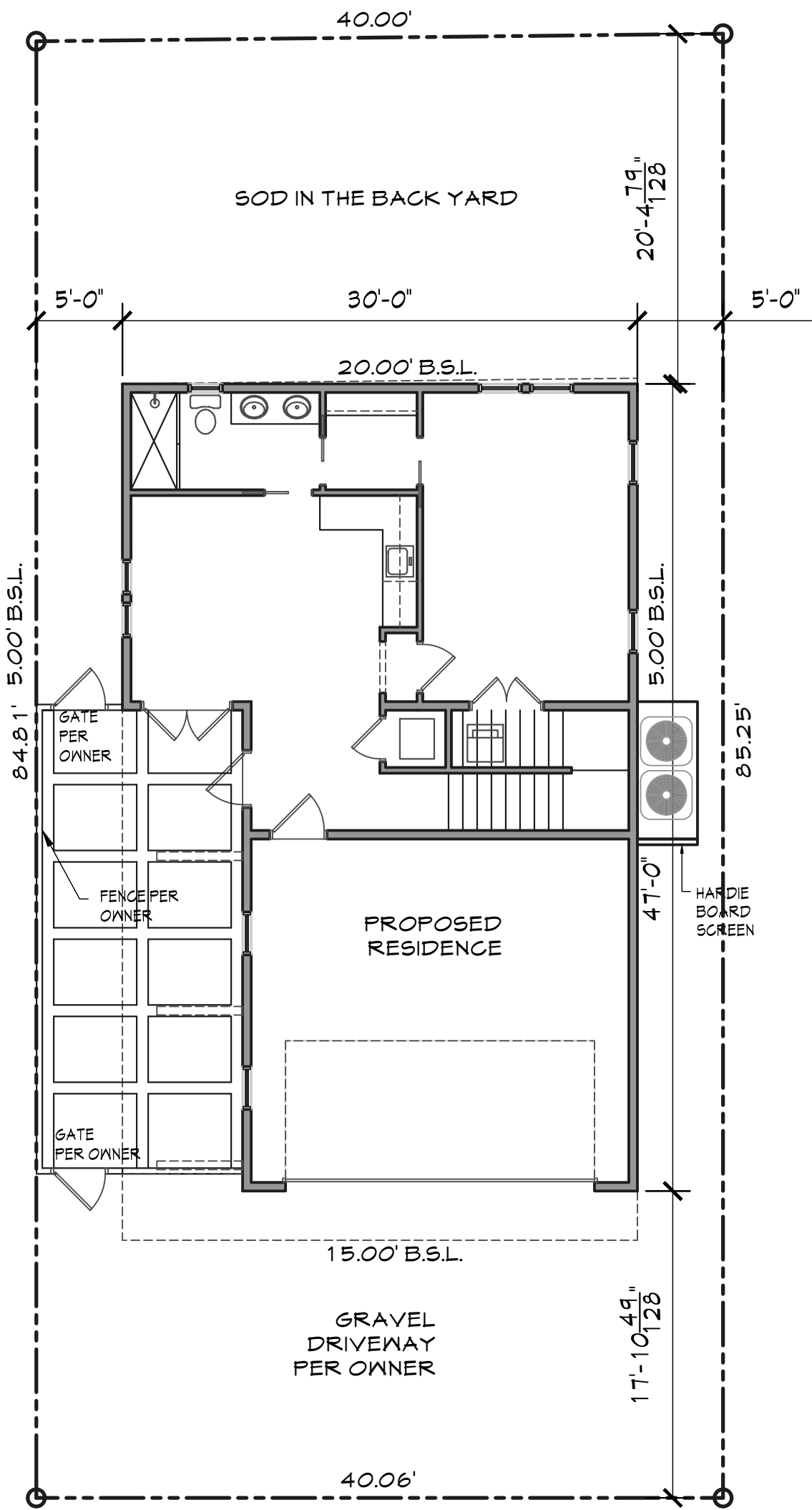
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|           |            |     |
|-----------|------------|-----|
| REVISIONS | 02-17-2021 | 115 |
|-----------|------------|-----|



PROPOSED RESIDENCE FOR: ANDY THOMS



SITE PLAN

SCALE: 1/8"=1'-0"

SITE

|             |    |
|-------------|----|
| DRAWN BY:   | JB |
| CHECKED BY: | JB |
| DATE:       |    |
| SCALE:      |    |
| ASSHOWN     |    |
| JOB NO.     |    |
| SHEET       |    |

**BRODEUR**  
HOME DESIGNS

PH# (850) 377-6612 EMAIL: Jesse@brodeurhomedesigns.com

CUSTOMER INFORMATION

|          |                      |
|----------|----------------------|
| NAME:    | ANDY THOMS           |
| ADDRESS: | 423 E INTENDENCIA ST |
|          |                      |

BUILDER / CONTRACTOR:

THE PURCHASER OF THESE PLANS IS ENTITLED TO THEIR USE FOR THE CONSTRUCTION OF NO MORE THAN ONE RESIDENCE. ANY UNAUTHORIZED USE MAY RESULT IN LEGAL ACTION UNDER THE COMMON COPYRIGHT ACT.

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BUILDER/CONTRACTOR RESPONSIBLE FOR CONFORMING TO LOCAL, CITY/REGIONAL BUILDING CODES.

REVISIONS  
02-17-2021

116

Thanks Gregg. The board indicated that because they were rejecting the plan, I could work with one of the members after the meeting for “conceptual” review of requested changes to elevation, prior to setting meeting for final approval. I would like work with the gentleman who had the greatest concerns over center of mass. What was his name? I want to get this out of the way before the Final meeting so final meeting will be smooth.

### **Updated Spec Sheet**

- Updated with more detail, easier to read
- Added solid wood doors, and hardware
- Fencing is the only spec I have not provided. Can you provide me with compliant fence so I can provide a fence I know will pass?
- Please review and let me know if I am missing anything as I want this to be a final review, thank you in advance

### **Conceptual Review of Revised Elevation**

I worked with Jesse last night to come up with a much improved plan that will address concerns. These are the key changes we made to address concerns.

- The primary mass concern is fixed, roof lines
- The home is symmetrical, windows etc...
- Eliminated the large East dormer
- Made the two dormers “gable style” and they are same size, mirroring each other on the East and West elevation
- Sacrificed a lot of square footage to comply with requests
- I want to confirm the site plan/floor plan will suffice for landscaping plan. The site/floor plan shows the entire lot and any landscaping is referenced in this plan covering 100% of the lot. There is basically no landscaping other than the gravel driveway, a patio, and the existing grass in the back yard.

### **Fencing Material**

- We eliminated connecting fence to the house.
- I would like to build a simple privacy fence to the left of the garage, all the way to the existing fence.
- We would like to use the same material, replicate fence on the right side of the garage to block view of the AC unit
- Please provide me with fence specification examples so that I can simply replicate what has already been approved

### **Gravel Driveway**

- The driveway is gravel from the house to the front lot line. This is referenced in the site/floor plan. The front of the garage, east, and west, to the front lot line as simply a big gravel parking area provide maximum turning radius for ingress/egress.



Please let me know if when we can set up this conceptual preview with the board member. Jesse may want to jump on this call so we can all be on the same page.

Thanks for your help!

Kind Regards,

Andy

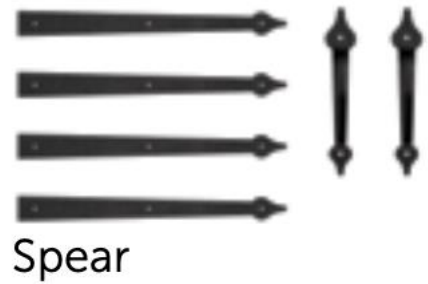
Metal roof awning to be standing seam per email with designer. - GH 2.17.2021

## **423 East Intendencia, Pensacola FL, Materials & Supply List**

### **Garage Door:**

- Wayne Dalton Springfield
- Decorative “spear” hardware, handle and hinges
- White on white

<https://www.wayne-dalton.com/Documents/Misc%20Brochures/Residential-Garage-Door-Guide-brochure.pdf#search=7104%20aluminum%20model>



### **Siding:**

- Nichiha Cement Board (lap siding)





### **Windows:**

- Plygem
- **MIRA Series Windows**
- ALUMINUM-CLAD WOOD
- Color: white/white



---

### **Roof:**

- GAF Timberline
- Color: Shakewood
- Metal Roof Overhang: Garage



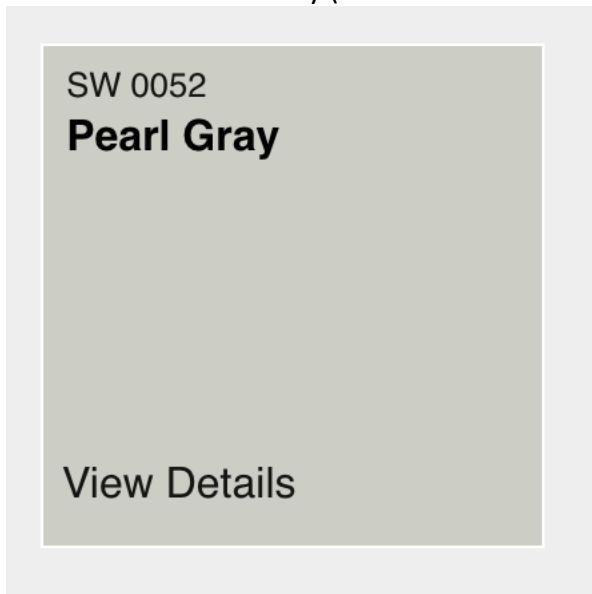
### **Exterior Paint:**

- Trim: SW 7566
- Color: Westhighland White (used at 555 E. Government)



### **Exterior Paint:**

- House SW 0052
- Color: Pearl Gray (used at 555 E Government)



### **Patio Pavers:**

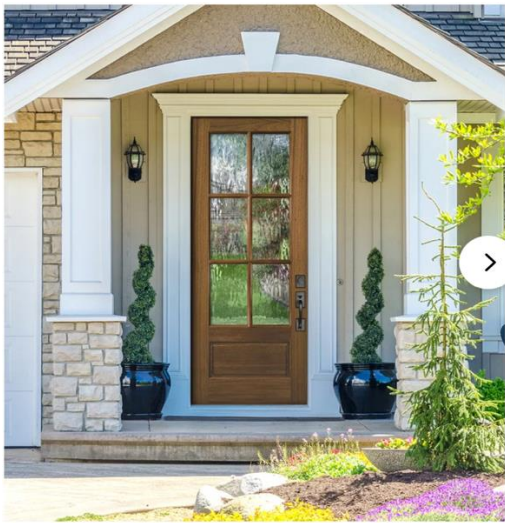
- Warners Landscape Belgrad Cambridge Cobble
- Color: Napoli





**Exterior Entry Doors (3):** Two entry doors on ground level. One upper-level door to the deck.

- **Six panel True Divided Lite**
- **Solid Mahogany**
- **Brand:** Knockety Doors



|   |   |
|---|---|
| Product Type                                    | Front Entry Doors                               |
| Door Designs                                    | Glass; Panelled                                 |
| Fire Door                                       | No  |
| Primary Material                                | Wood  |
| Wood Species                                    | Mahogany  |
| Door Finish Type                                | Unfinished                                      |
| Trimable  | Yes   |
| Number of Panels                                | 1   |
| Number of Lites                                 | 6   |
| Glass Type (Flemish Glass Finish)               | Textured  |
| Insulated Glass Included (Flemish Glass Finish) | Yes   |
| Glass Shape (Flemish Glass Finish)              | Shape not availble. Rectangle/True Divided Lite |
| Glass Layout (Flemish Glass Finish)             | 3/4 Lite  |
| Glass Type (Clear Glass Finish)                 | Clear   |
| Number of Doors                                 | 1   |

### **Deck Railings & Decking (upper):**

- Aluminum white railing
- Upper-Level Balcony Decking: 1"X6" pressure treated deck board.



### **Driveway & Large Parking Area:**

- Supplier: Vulcan Materials Company
- Material: Breeze, crushed concrete Driveway and parking areas
- Color: Gray







## Exterior Lights:

- (4) Exterior Lights
- SKU-MHE8410K garage door lights
- SKU-MHE8406K for use by exterior side doors



← → ↻ [quoizel.com/millhouse-outdoor-lantern-outdoormhe8409](http://quoizel.com/millhouse-outdoor-lantern-outdoormhe8409) ☆ 🌐 📄 📌

Apps FOCO Biz Develop... 4612 E 22nd Ave,... Dropbox - TD Cap... FOCO Luxury Vaca... Buy or Rent Calcul... FOCO Competition FOCO Realtors Inv... » Other B



### Millhouse Outdoor Lantern


Finish: Mystic Black

Wall Lighting | SKU - MHE8409K  



With simple details and traditional style, the Millhouse outdoor collection is perfect for understated elegant lighting. The design features clear seeded glass that diffuses the light in a soft tranquil way and the rich Mystic Black finish completes the look.

#### AVAILABLE OPTIONS

---

Finish: 

---

 [FIND A RETAILER](#) [BUY ONLINE](#) 

## Site Photographs





















New construction in the immediate area (for comparison)





























# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

---

**File #:** 21-00139

Architectural Review Board

2/18/2021

---

**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

190 W. Government Street  
Governmental Center District / Zone C-2A  
Alterations to a Noncontributing Structure

**BACKGROUND:**

Art Perez is requesting approval for exterior modifications to the M.C. Blanchard Building. The proposed work includes a complete renovation to a food services area. The existing aluminum canopy structure will be replaced with a new steel structure faced with aluminum composite panels and a new insulated impact storefront and glazing system. The new composite panels will match the existing aluminum panels in color and joint line configuration. These have been coordinated to match with a renovation project to the main entry in May 2020. The new storefront system will match existing widow frames and glazing colors on the building. The existing concrete panels adjacent to the new exterior materials will remain the same.

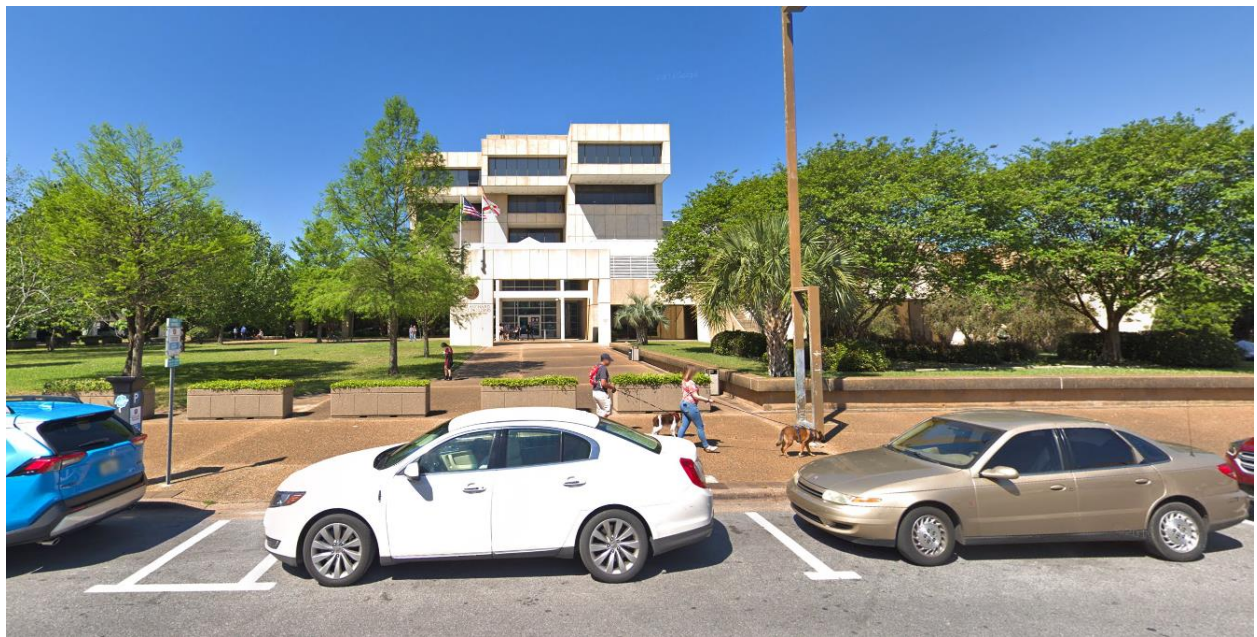
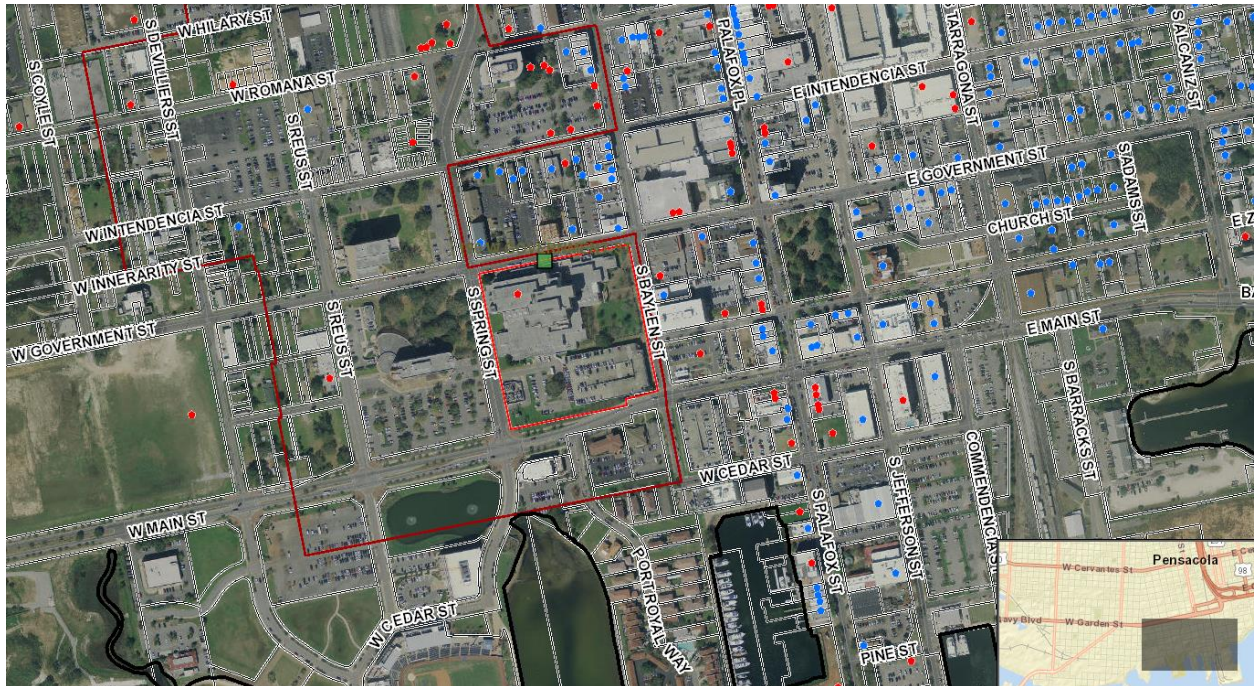
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS:**

Sec. 12-2-22 *Governmental Center District*



190 W. Government Street





**Architectural Review Board Application  
Full Board Review**

Application Date: \_\_\_\_\_

**Project Address:** \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Property Owner: \_\_\_\_\_

*(If different from Applicant)*

**District:**                      **PHD**                      **NHPD**                      **OEHPD**                      **PHBD**                      **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

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*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

Applicant Signature

Date









## OVERALL BUILDING PLAN - SECOND FLOOR

720 Bayfront Parkway, Suite 200  
Pensacola, FL 32502  
T 850.432.0706  
GMCNETWORK.COM  
Gerald Steven Jernigan -  
Qualifying Agent  
FL Architect AR 0009953

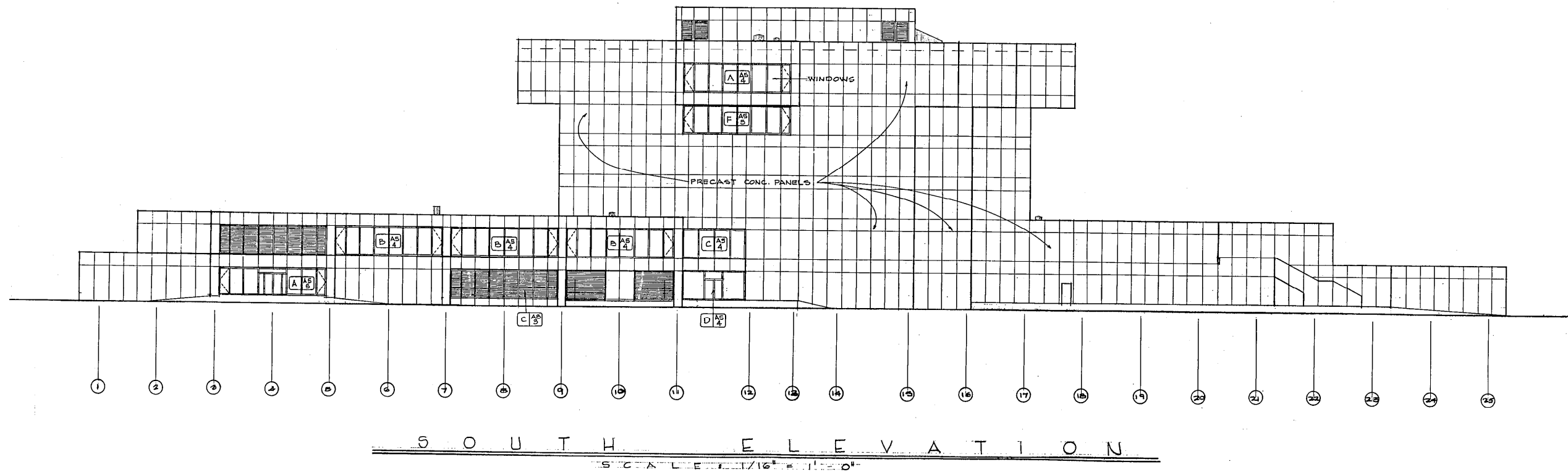
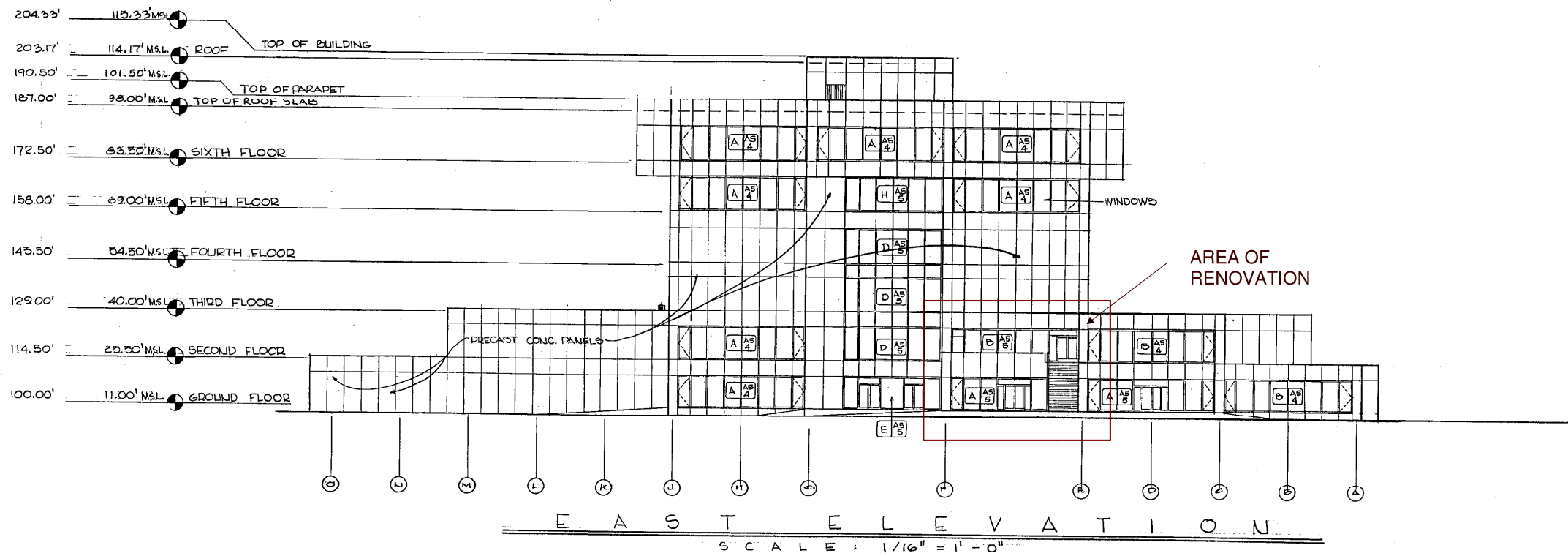
# A100

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|---------------|------------|
| ARB SUBMITTAL | 01-28-2021 |
|---------------|------------|

DATE 01-28-2021

141



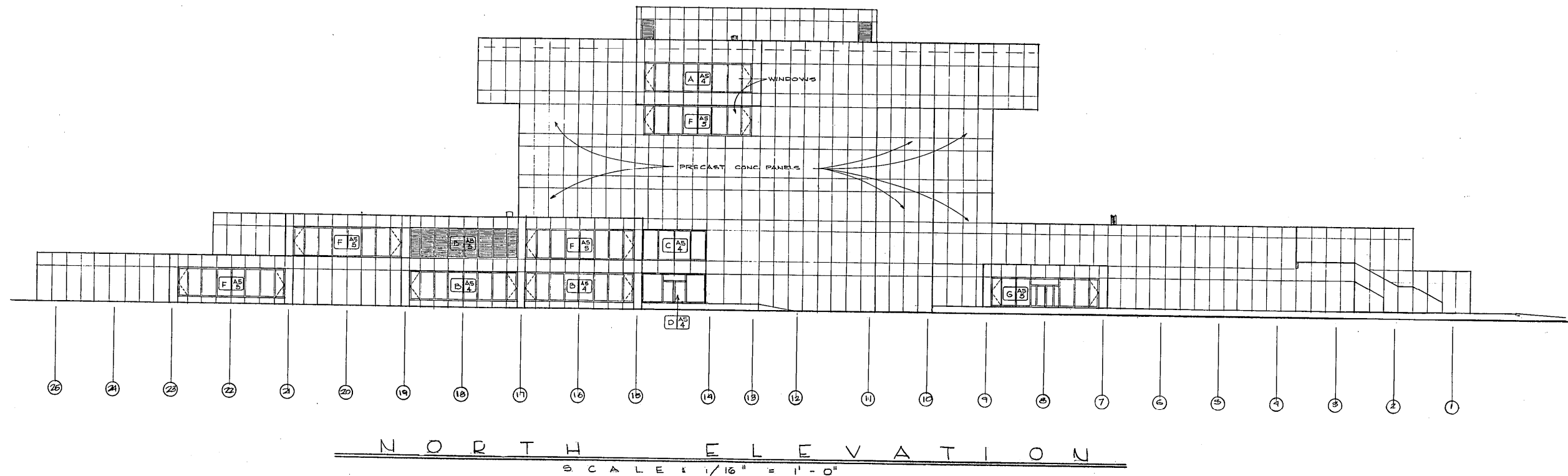
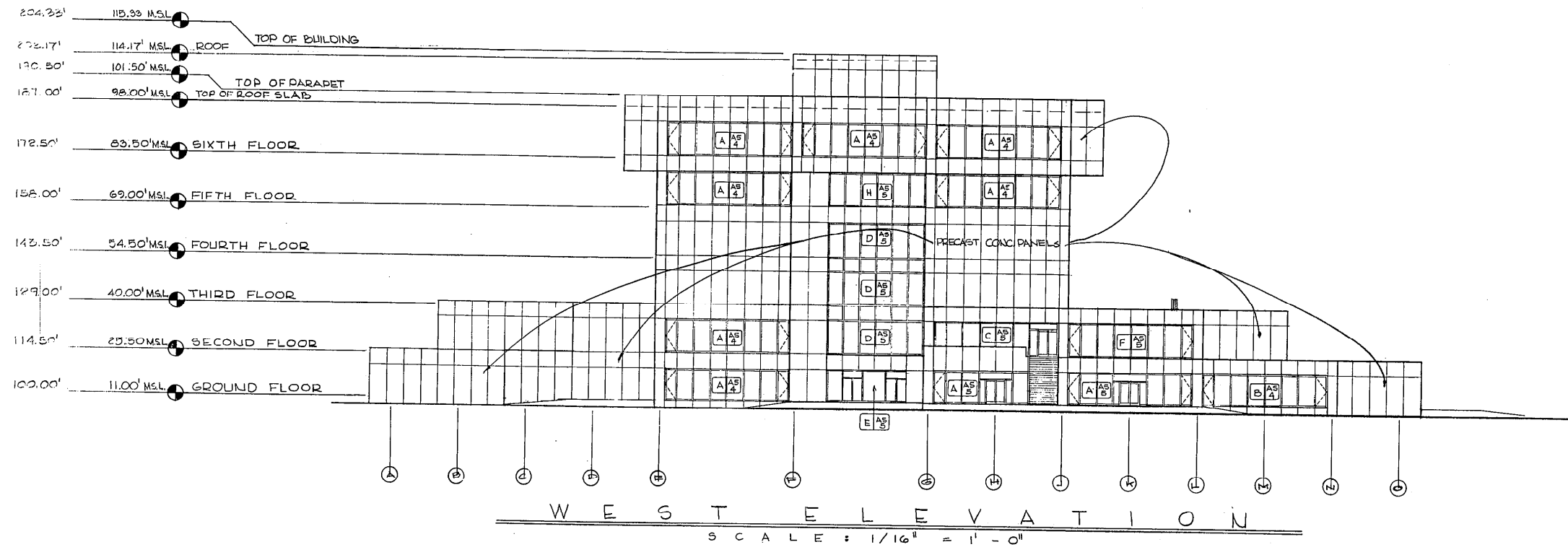


# EXISTING BUILDING ELEVATIONS

|           |             |    |          |
|-----------|-------------|----|----------|
| DESIGNED  | DATE        | BY | APPROVED |
| DRAWN     | DESCRIPTION | BY | APPROVED |
| CHECKED   | DESCRIPTION | BY | APPROVED |
| APPROVAL  | DESCRIPTION | BY | APPROVED |
| JOB NO.   | DESCRIPTION | BY | APPROVED |
| SHEET NO. | DESCRIPTION | BY | APPROVED |
| DATE      | DESCRIPTION | BY | APPROVED |
| 10411     | DESCRIPTION | BY | APPROVED |
| A3-1      | DESCRIPTION | BY | APPROVED |
| 9-8-75    | DESCRIPTION | BY | APPROVED |

ESCAMBIA COUNTY JUDICIAL BUILDING  
 BOARD OF COUNTY COMMISSIONERS  
 PENSACOLA, FLORIDA  
 GOVERNMENTAL CENTER ARCHITECTS - ENGINEERS  
 EXTERIOR ELEVATIONS  
 EAST AND SOUTH

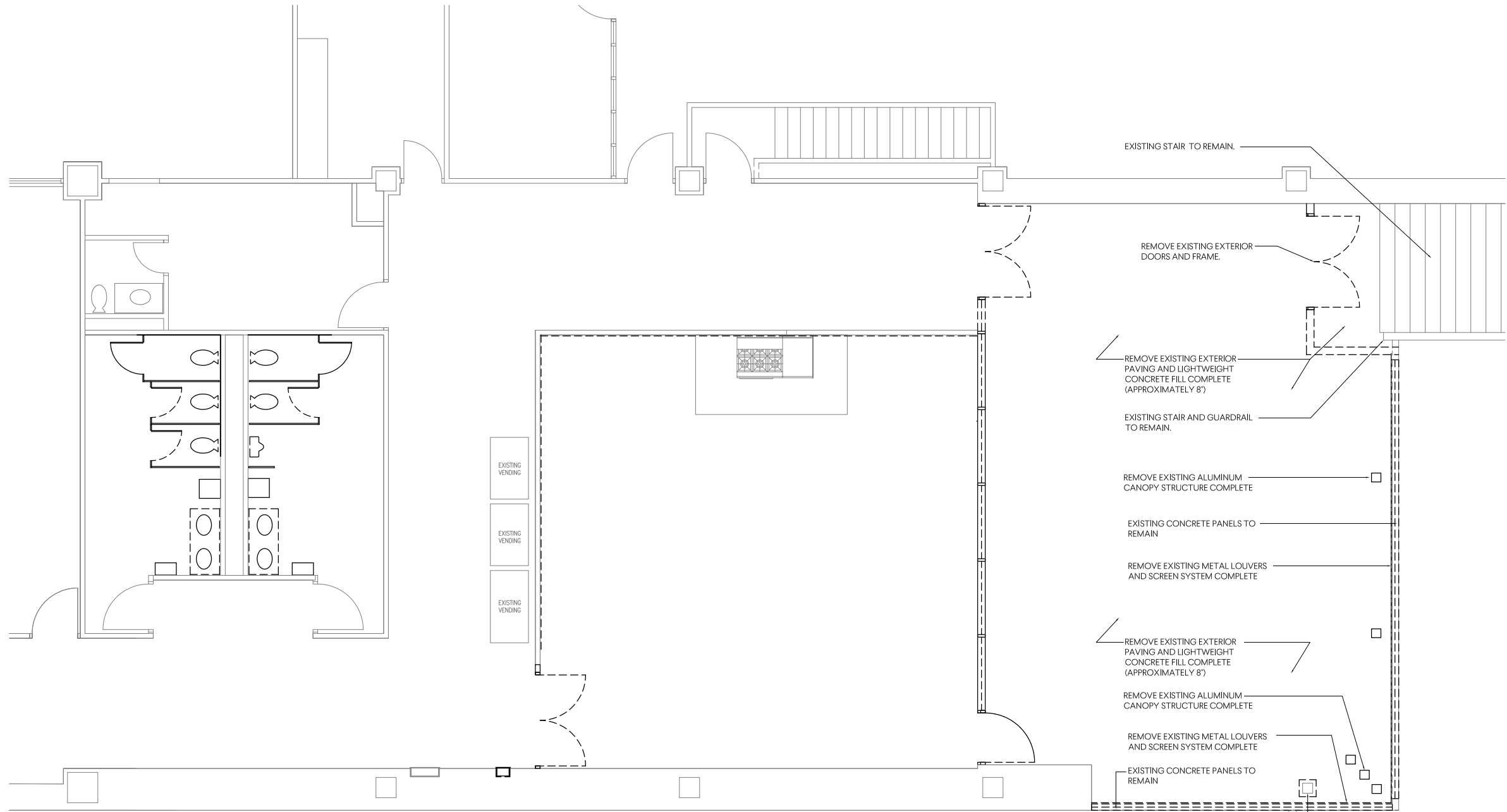
THE BULLOCK ASSOCIATES • HUGH J. LEITCH • LOOK & MORRISON • MARSHALL & McNEIL  
 HENNINGSON, DURHAM & RICHARDSON



# EXISTING BUILDING ELEVATIONS

|           |   |          |
|-----------|---|----------|
| DESIGNED  | BY  | APPROVED |
| DRAWN     | BY  | APPROVED |
| CHECKED   | BY  | APPROVED |
| APPROVAL  | BY  | APPROVED |
| JOB NO.   | DESCRIPTION   | DATE     |
| 10411     | THE BULLOCK ASSOCIATES • HUGH J. LEITCH • LOOK & MORRISON • MARSHALL & MCNEIL |          |
| SHEET NO. | EXTERIOR ELEVATIONS   |          |
| A3-2      | WEST AND NORTH  |          |
| DATE      | ENGINEERS   |          |
| 9-8-75    |   |          |
|           | ARCHITECTS  |          |
|           | GOVERNMENTAL CENTER   |          |
|           | BOARD OF COUNTY COMMISSIONERS   |          |
|           | FLORIDA   |          |
|           | PENSACOLA   |          |
|           | ESCAMBIA COUNTY JUDICIAL BUILDING   |          |

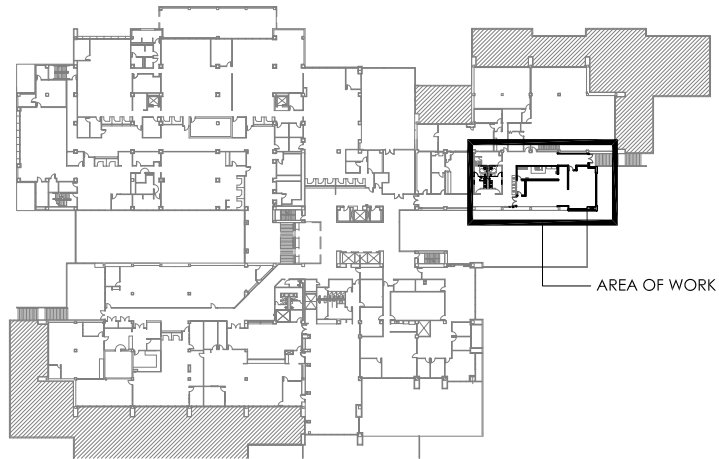




1  
D101

DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



A  
A101

BUILDING KEY PLAN - SECOND FLOOR

N.T.S.

Demolition Floor Plan

MC Blanchard Building  
Food Service and  
Restroom Renovation

190 West Government St.  
Pensacola, FL 32502

GMC Project #: APN190093

D101

ISSUE

ARB SUBMITTAL

DATE

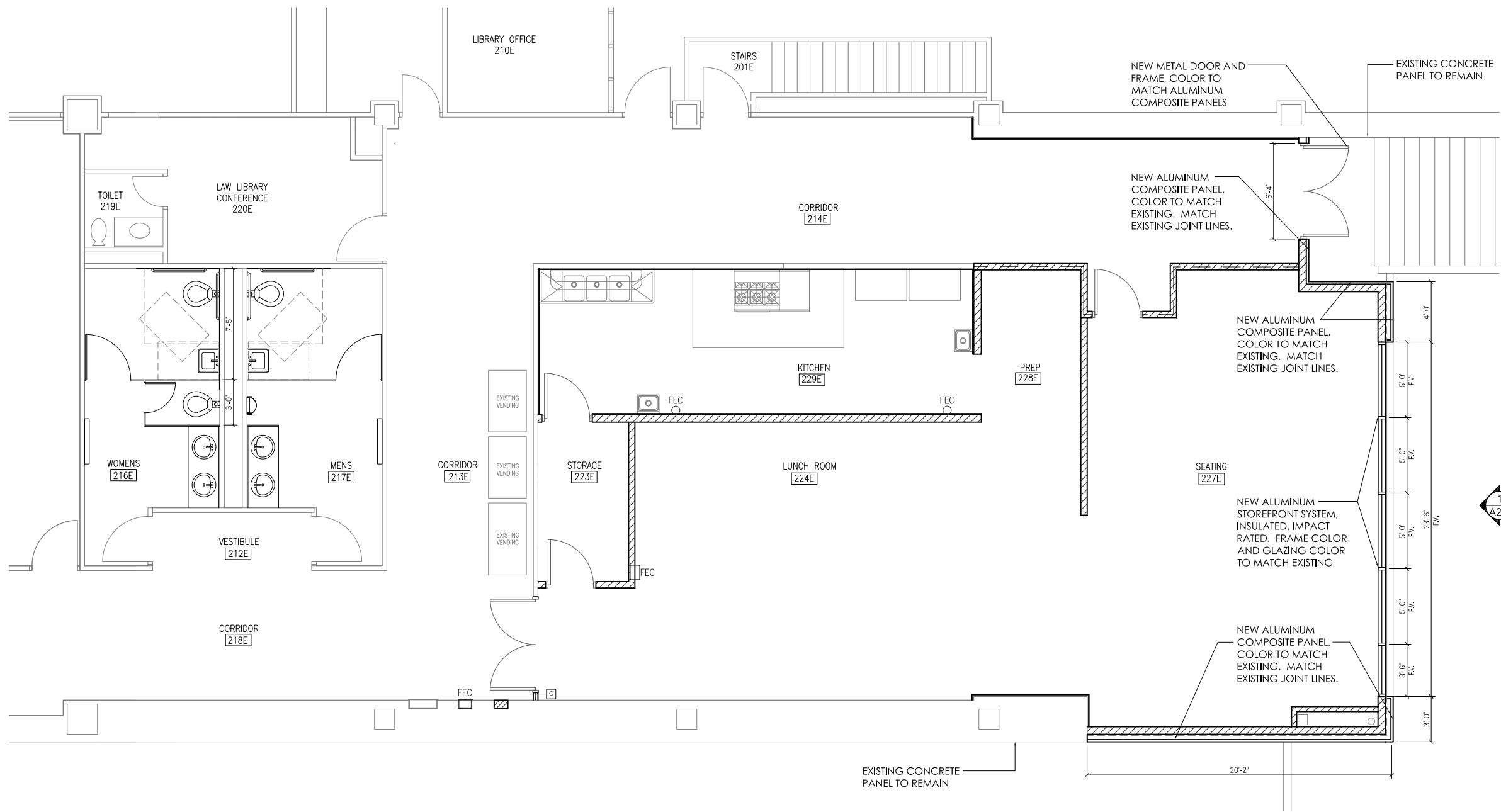
01-28-2021

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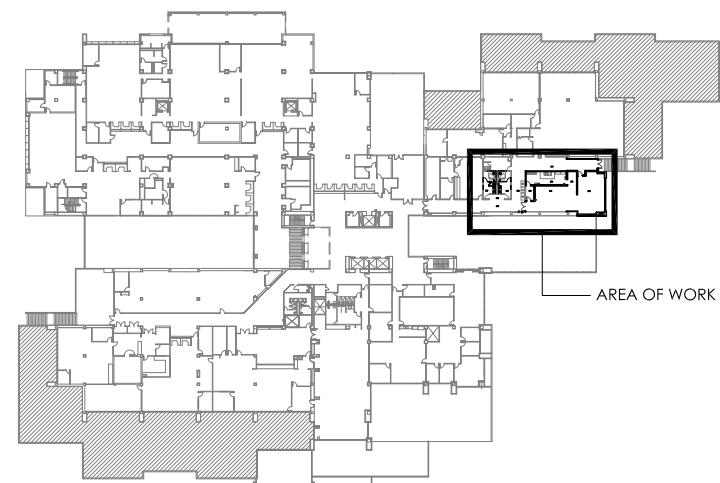
CHECKED BY:

720 Bayfront Parkway, Suite 200  
Pensacola, FL 32502  
T 850.432.0706  
GMC.NET WORK.COM  
Gerald Steven Jernigan -  
Qualifying Agent  
FL Architect AR 0009953

GMC



1  
A101  
NEW WORK FLOOR PLAN  
SCALE: 1/8" = 1'-0"



A  
A101  
BUILDING KEY PLAN - SECOND FLOOR  
N.T.S.

New Work Floor Plan

MC Blanchard Building  
Food Service and  
Restroom Renovation

190 West Government St.  
Pensacola, FL 32502

GMC Project #: APN190093

A101

ISSUE  
ARB SUBMITTAL

DATE  
01-28-2021

720 Bayfront Parkway, Suite 200  
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GMC

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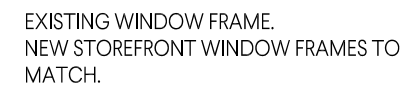
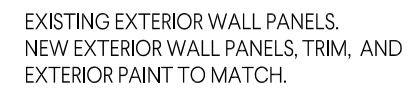
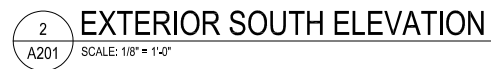


146









720 Bayfront Parkway, Suite 200  
Pensacola, FL 32502  
T 850.432.0706  
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FL Architect AR 0009953

| ISSUE         | DATE       |
|---------------|------------|
| ARB SUBMITTAL | 01-28-2021 |
|               |            |
|               |            |
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|               |            |
|               |            |
| DRAWN BY:     |            |
| CHECKED BY:   |            |

MC Blanchard Building  
Food Service and  
Restroom Renovation

190 West Government St.  
Pensacola, FL 32502

GMC Project #: APN190093

## Exterior Elevations

A201

THE  
**Stock Color  
Library**





# ALUCOBOND® PLUS

3A Composites is grateful to the architectural community for embracing ALUCOBOND since its global introduction over 50 years ago. We aspire to bring value to our partners through outstanding service, industry-leading quality, and continuous innovation. As we look to the future, we remain committed to servicing the architectural community by listening to our customers and responding to the evolving needs of the market.

Our trend-forward palette represents an ongoing development of colors and finishes curated to foster creativity and ingenuity. We humbly look forward to another 50 years of shared partnership and collaboration.

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## The Classic Collection

Color plays an integral role in the architectural environment; the timeless palette in our Classic Collection reflects your passion for what's possible. From classic neutrals to biophilic hues, this line offers a wide range of options to help you give shape to great ideas.

## The Spectra Collection

To add a dynamic element of fascination and movement to any architectural facade, these transitional finishes celebrate the natural color shifts that occur in the world around us – from raw natural elements to the glowing luster and sheen found in modern alloys and luxury finishes.

## The Anodized Collection

In addition to the strength and high-quality appearance that comes standard with our collections, this line uses the anodizing process to enhance the intrinsic clarity and beauty of aluminum while creating a harder, smoother, more durable surface.

## The Natural Collection

Biophilic design conceptualizes spaces in a way that acknowledges the human need to connect with nature. The finishes in the Natural Collection amplify the organic beauty and character of different elements & materials found in the world around us.

**The Element Series** finishes unify the effortless appearance of organic metals & finely textured patterns to create a vivid & memorable impression while retaining the luster of aluminum from afar.

**The Terra Series** is inspired by iridescent stone & the mesmerizing beauty of crystalline surfaces, creating a unique, organic and natural ambiance.






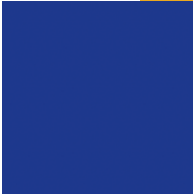
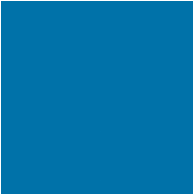




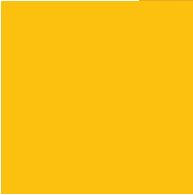

**The Woodgrain Series** exemplifies the inherent beauty & character of natural wood unifying its effortless appearance with the outstanding durability & lightweight properties of aluminum composite.

# The Classic Collection

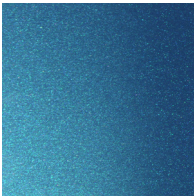
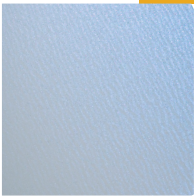
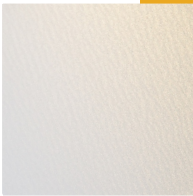


|   |   |   |  |   |   |
|---|---|---|--|---|---|
|    |    |    |    |    |    |
| <b>Statuary Bronze</b><br>PVDF 2<br>Gloss 25–35                                     | <b>New-Age Dark Bronze Mica</b><br>PVDF 2 / Gloss 20–30                             | <b>Driftwood Mica</b><br>PVDF 2<br>Gloss 15–25                                      | <b>Atacama Bronze Metallic</b> PVDF 3<br>Gloss 25–35                                 | <b>Hazelnut Mica</b><br>PVDF 2<br>Gloss 15–25   | <b>Russet Mica</b><br>PVDF 3<br>Gloss 25–35   |
|    |    |    |    |    |    |
| <b>Beige</b><br>PVDF 2<br>Gloss 35–45   | <b>Castle Gray</b><br>PVDF 2<br>Gloss 25–35   | <b>JLR Champagne Metallic</b> PVDF 2<br>Gloss 20–30                                 | <b>Anodic Satin Mica</b><br>PVDF 2<br>Gloss 20–30                                    | <b>Epernay Champagne Metallic</b> PVDF 3<br>Gloss 25–35                               | <b>Harvest Gold Mica</b><br>PVDF 2<br>Gloss 20–30                                     |
|    |    |    |    |    |    |
| <b>Oyster</b><br>PVDF 2<br>Gloss 20–30  | <b>Polyester White</b><br>Polyester<br>Gloss 25–35                                  | <b>Alabaster</b><br>PVDF 2<br>Gloss 25–35   | <b>Bone White</b><br>PVDF 2<br>Gloss 25–35   | <b>Pure White (RVW)</b><br>PVDF 2<br>Gloss 45–55                                      | <b>HWH Bio White</b><br>PVDF 2<br>Gloss 40–50   |
|  |  |  |  |  |  |
| <b>Magnolia</b><br>PVDF 2<br>Gloss 30–40  | <b>Market Pearl White Mica</b> PVDF 2<br>Gloss 15–25                                | <b>Sunrise Silver Metallic II</b> PVDF 3<br>Gloss 25–35                             | <b>Brilliant Silver Metallic</b> PVDF 3<br>Gloss 25–35                               | <b>Anodic Clear Mica</b><br>PVDF 2<br>Gloss 20–30                                     | <b>Champagne Metallic</b><br>PVDF 3<br>Gloss 25–35                                    |
|  |  |  |  |  |  |
| <b>Platinum Mica</b><br>PVDF 2<br>Gloss 15–25                                       | <b>Silver Metallic</b><br>PVDF 3<br>Gloss 25–35                                     | <b>Cadet Gray</b><br>PVDF 2<br>Gloss 20–30  | <b>West Pewter Mica II</b><br>PVDF 2<br>Gloss 15–25                                  | <b>Beachstone Gray Metallic</b> PVDF 3<br>Gloss 25–35                                 | <b>JLR Gray Metallic</b><br>PVDF 2<br>Gloss 25–35                                     |
|  |  |  |  |  |  |
| <b>Steel City Silver Mica</b><br>PVDF 2<br>Gloss 15–25                              | <b>MZG Gray Mica II (Lexus)</b> PVDF 2<br>Gloss 30–40                               | <b>Greyhound</b><br>PVDF 2<br>Gloss 5–15  | <b>Anthracite Silver Metallic</b> PVDF/FEVE<br>Gloss 70–80                           | <b>Graphite Mica</b><br>PVDF 3<br>Gloss 25–35   | <b>Dusty Charcoal II</b><br>PVDF 2<br>Gloss 25–35                                     |



# The Classic Collection (continued)






|   |   |   |   |   |
|---|---|---|---|---|
|  |  |  |  |  |
| <b>Nissan Gray</b><br>PVDF 3<br>Gloss 45-55                                       | <b>Tri-Corn Black</b><br>SMP<br>Gloss 25-35                                       | <b>Focus Black II</b><br>PVDF 2<br>Gloss 25-35                                    | <b>TBL Black (Buick)</b><br>SMP<br>Gloss 70-80                                      | <b>Black Metallic</b><br>PVDF 3<br>Gloss 25-35                                      |
|  |  |  |  |  |
| <b>Spire Blue II</b><br>PVDF 3<br>Gloss 25-35                                     | <b>Azure Blue</b><br>PVDF 3<br>Gloss 25-35  | <b>Ultramarine Blue</b><br>PVDF 2<br>Gloss 25-35                                  | <b>Bowtie Blue II</b><br>SMP<br>Gloss 65-75   | <b>Image Blue</b><br>SMP<br>Gloss 25-35   |
|  |  |  |  |  |
| <b>Red Fire</b><br>PVDF 3<br>Gloss 25-35  | <b>Patriot Red</b><br>PVDF 3<br>Gloss 45-55                                       | <b>Carb Red</b><br>SMP<br>Gloss 75-85   | <b>Tuscan Sun</b><br>PVDF 2<br>Gloss 25-35  | <b>Botanical</b><br>PVDF 2<br>Gloss 25-35   |

# The Spectra Collection

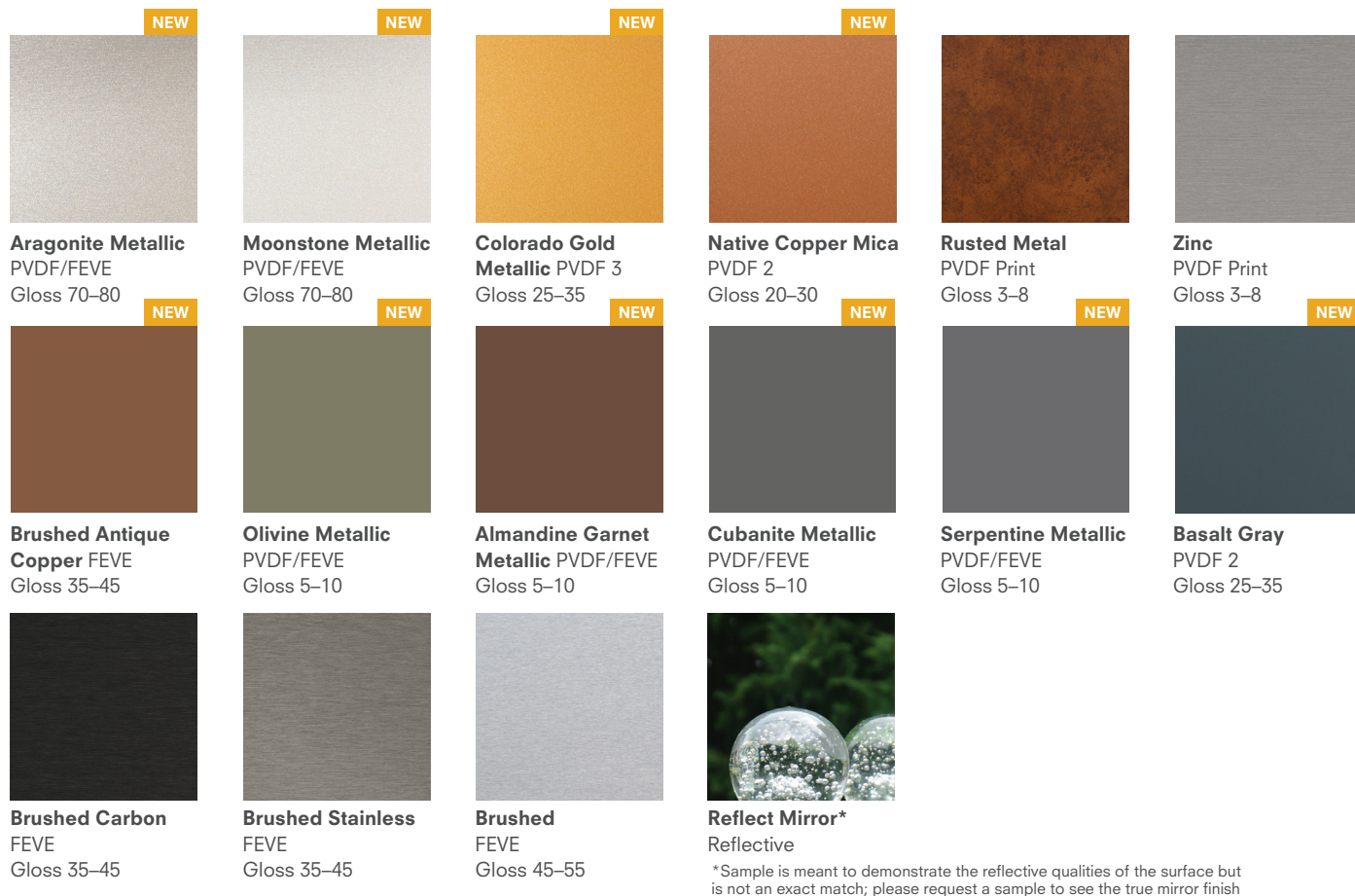
|   |   |   |   |   |
|---|---|---|---|---|
|  |  |  |  |  |
| <b>Ocean</b><br>PVDF/FEVE<br>Gloss 70-80  | <b>Galaxy Blue</b><br>PVDF/FEVE<br>Gloss 70-80                                      | <b>White Gold</b><br>PVDF/FEVE<br>Gloss 70-80                                       | <b>Cupral</b><br>PVDF/FEVE<br>Gloss 70-80   | <b>Sakura</b><br>PVDF/FEVE<br>Gloss 70-80   |

# The Anodized Collection

Lead time of 3-4 weeks

|   |   |   |   |   |
|---|---|---|---|---|
|  |  |  |  |  |
| <b>Clear Anodized</b><br>Anodized<br>Gloss 15-25                                    | <b>Light Bronze Anodized</b><br>Anodized<br>Gloss 15-25                             | <b>Medium Bronze Anodized</b><br>Anodized<br>Gloss 15-25                            | <b>Dark Bronze Anodized</b><br>Anodized<br>Gloss 15-25                                | <b>Black Anodized</b><br>Anodized<br>Gloss 15-25                                      |

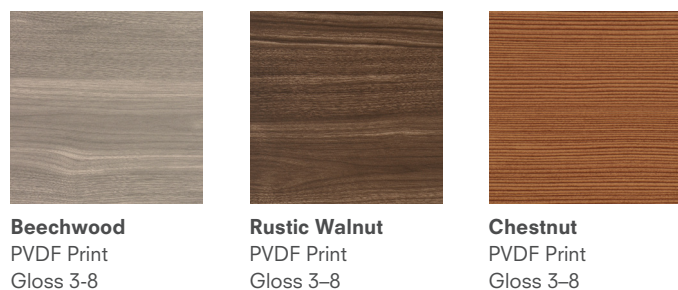
## The Natural Collection **Element Series**



## The Natural Collection **Terra Series**



## The Natural Collection **Woodgrain Series**



Scan QR code with mobile camera to order samples or visit  
[ALUCOBONDUSA.COM/SAMPLES](http://ALUCOBONDUSA.COM/SAMPLES)



## PRODUCT DESCRIPTION

### MATERIAL COMPOSITION

- Aluminum interior and exterior facings in 0.020" nominal thickness
- 4mm total nominal thickness, including proprietary fire retardant core

### SHEET WIDTHS

- Standard coil-coated width of 62"\*
- \*Some finishes are stocked in 40", 49.2" and 50"
- Please refer to stock material list.
- Custom widths of 40" and 50" available on request

### SHEET LENGTHS

- Standard coil-coated length of 196"
- Reflect Mirror is offered in 146"
- Custom lengths for coil coating: maximum of 400"
- Custom lengths for anodized: maximum of 216"

### MINIMUM BENDING RADIUS

- The minimum bending radius of ALUCOBOND PLUS without routing the interior skin is 4"

### AVAILABLE FINISHES

- |        |             |                  |                  |
|--------|-------------|------------------|------------------|
| - PVDF | - Polyester | - Textured       | - Solids, Micas, |
| - FEVE | - Anodized  | - Print          | & Metallics      |
| - SMP  | - Brushed   | - Color-Shifting |                  |

## TECHNICAL SUMMARY

### TECHNICAL PROPERTIES

### ALUCOBOND PLUS

- |  |                               |
|--|-------------------------------|
| - Nominal thickness:                                     | 4mm                           |
| - Nominal weight:  | 1.56 lb/ft <sup>2</sup>       |
| - Coefficient of Expansion x 10 <sup>-5</sup> (in/in/°F) | 1.11                          |
| - Temperature Resistance:                                | -55° to 175° F (-48° to 80°C) |
| - Rigidity:  | 2143 lb-in <sup>2</sup> /in   |

### NORTH AMERICAN BUILDING CODE ACCEPTANCE

- IBC
- Miami-Dade County, Florida
- National Building Code of Canada
- State of Florida
- City of Los Angeles, California

### MANUFACTURING

- ALUCOBOND PLUS is made in Benton, Kentucky USA

## PAINT FINISHES

All ALUCOBOND PLUS PVDF & FEVE finishes are coated in accordance with AAMA 2605 signifying the highest-performance exterior finish standard in the industry. AAMA 2605 finishes have the best chalk, humidity, and color change performance. SMP finishes meet AAMA 2604.

- **PVDF (Polyvinylidene Fluoride)** Two coat PVDF paint systems are applied to solid & mica finishes which are coil-coated over a pre-treated aluminum substrate with a primer & color coat at a nominal 1.0 mil thickness. When a two coat PVDF system is used, the primer allows bonding & color consistency in the color coat to show, in lieu of having the underlying metal affect color consistency. Note, the pre-treatment is not considered one of the paint "coats." Three coat systems are solid & metallic finishes which are coil-coated over a pre-treated aluminum substrate with a primer, color coat, & clear coat at a nominal 1.5 mil thickness. The clear coat protects the aluminum flake from oxidizing & adds increased weatherability & protection against the elements.

- **FEVE (Fluoropolymer Based)** Base coat plus a clear coat are often used to protect bare finishes, ie. various brushed patterns. A transparent top coat is applied to the coil protecting the surface from the elements & preserves the aesthetic of the bare finish. Various tints can be applied to broaden the color palette & add to the aesthetics of a project.

- **PVDF/FEVE Finish** consists of 2 coats of PVDF & a clear coat of FEVE. On our Spectra finishes, the FEVE coat provides a higher gloss level & depending on the viewing angle, different wave-lengths of light are reflected, resulting in an ever-changing color gradient with iridescent highlights.

- **SMP (Silicone Modified Polyester)** Paint systems are a blend of polyester & silicon intermediates. Silicone acts to improve the gloss retention & weather resistance of the polyester coating.

For warranty information please contact your local ALUCOBOND Sales Manager.

## CUSTOM COLORS

If you require a custom color for your next project, our color technicians will strive to match your desired color. Please note, custom color orders are subject to set-up charges and require a 1,000 sq. ft. minimum per color. Exact matches are not always possible due to different inks & pigments used in various industries & application methods. Matching a color created by a spray method, particularly a metallic, may not match with a color created on a roll coated method.

To ensure that we identify your color correctly, we require either:

- A hand sample of at least 1" x 1", OR
- Pantone®, RAL, NCS or paint code reference

Please reach out to your local sales manager to aid with the process at:  
[ALUCOBONDUSA.COM/SALES-REP](http://ALUCOBONDUSA.COM/SALES-REP)

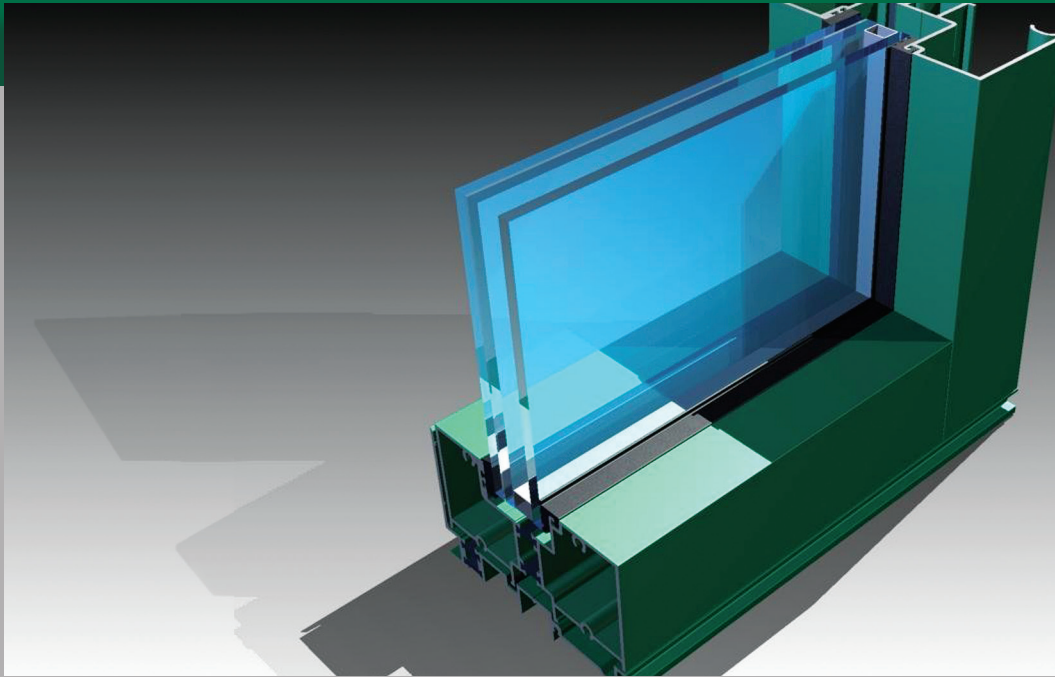
Send the color sample along with your name, company name, address, phone number & email, as well as the project name, project location, type of finish and gloss level to:

**3A Composites USA**  
**Attn: Color Lab**  
**208 West Fifth Street**  
**Benton, KY 42025**



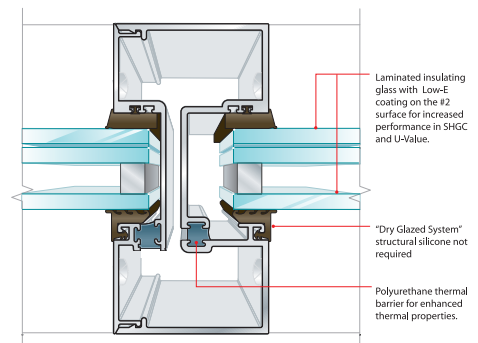
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01-2020-20000








# SERIES 526 STOREFRONT FRAMING



## Outside Glazed • Inside Glazed

Series 526 is a 2-1/2" X 5" impact rated storefront product that incorporates the use of a polyurethane thermal barrier for improved CRF and U values. It can also be used with all standard and heavy duty EFCO impact rated entrance packages. The series 526 has applications for both small and large missile impact resistant "dry gasket" glazing and has been tested for High Velocity Hurricane Zone (HVHZ) with 1 5/16" insulating glass utilizing inboard 9/16" laminated glass with .090" Dupont™ Sentry Glass® Plus interlayer. Florida Product Approvals 13599.8.



|  |   |  |   |
|--|---|--|---|
| <b>STRUCTURAL LOAD</b><br><small>(ASTM E330)</small><br>VISIT EFCOCORP.COM |  | <b>WATER RESISTANCE</b><br><small>(ASTM E547 &amp; E331)</small><br>12 PSF |  |
| <b>AIR INFILTRATION</b><br><small>(ASTM E283)</small><br><0.06 CFM/FT²     |  | <b>CRF</b><br><small>(AAMA 1503)</small><br>56                             |  |
| <b>U-FACTOR*</b><br><small>(ANSI/NFRC 100/200)</small><br>0.36-0.57        |  | <b>OITC*</b><br><small>(ASTM E90 &amp; E413)</small><br>32                 |  |
| <b>STC*</b><br><small>(ASTM E90 &amp; E413)</small><br>38-39               |  |  |   |

## STANDARD FEATURES

- Screw spline construction
- Thermally broken with E-Strut at sill and subsill
- Thermally broken with pour and debridge polyurethane
- Integral door adaptors
- Joint fasteners are #12
- Horizontals are square cut
- Dry Glazed
- Interlocking legs at aubsill
- Head and jamb anchors are inside the glazing pocket
- Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.
- Anodized or painted finishes available

\* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.



## PRODUCT DATA SHEET

# Sarnafil® S 327-60 EnergySmart

Sarnafil S 327 Roof Membrane is a PVC thermoplastic membrane

## PRODUCT DESCRIPTION

Sarnafil® S 327-60 EnergySmart Roof Membrane is a PVC thermoplastic membrane produced with an integral polyester reinforcement for high strength, is highly reflective, with heat-weldable seams, and a unique lacquer coating applied to the top of the membrane to reduce dirt pick up.

## USES

Sarnafil S 327 is used in mechanically attached applications with various fastening methods, over various substrates.

## AREAS OF APPLICATION

- New Roofs
- Reroofs
- Recovers

## CHARACTERISTICS / ADVANTAGES



- Highly reflective
- Excellent tear strength resistance
- Factory applied lacquer coated to reduce dirt pick up
- Hot-air welded seams for long-term performance
- Proven membrane performance
- Superior fire resistance

## APPROVALS / STANDARDS

- FM Global
- Underwriters Laboratories
- Underwriters Laboratories of Canada
- ICC Code Compliance – ESR 1157
- Miami-Dade County
- Florida Building Code
- NSF/ANSI 347: Platinum Certified
- ENERGY STAR®
- California Title 24
- LEED / Green Globes

## PRODUCT INFORMATION

|                       |   |   |
|-----------------------|---|---|
| Chemical Base         | High-quality, PVC membrane containing ultraviolet light stabilizers, flame retardant and polyester scrim reinforcement with a unique lacquer coating on the top surface.  |   |
| Recycled Content      | 9% Pre-consumer, 1% Post-consumer   |   |
| Reinforcing Material  | Polyester   |   |
| Packaging             | <b>60 mil (1.5 mm) Membrane</b><br>10 ft x 100 ft (3 m x 30 m) roll, 389 lbs (177 kg) per roll<br>8 rolls per pallet<br>5 ft x 100 ft (1.5 m x 30 m) roll, 195 lbs (89 kg) per roll<br>12 rolls per pallet<br>Coverstrip: 8" x 100 ft (20 cm x 30 m) roll, 25 lbs (12 kg) per roll<br>25 per pallet |   |
| Appearance / Color    | <ul style="list-style-type: none"> <li>Top: White, Tan, and Reflective Gray</li> <li>Bottom: Gray</li> </ul>  |   |
| Shelf Life            | N/A   |   |
| Storage Conditions    | Store rolls on pallets and fully protected from the weather with clean canvas tarpaulins. Unvented polyethylene tarpaulins are not accepted due to the accumulation of moisture beneath the tarpaulin in certain weather conditions that may affect the ease of membrane weldability.               |   |
| Overall Thickness     | 60 mil (1.5 mm), minimum thickness<br>45 mil  | (ASTM D-751)<br>(ASTM Type III D-4434 Spec. Requirement)  |
| Thickness Above Scrim | 27 mil<br>16 mil  | (ASTM D-7635)<br>(ASTM Type III D-4434 Spec. Requirement) |

## TECHNICAL INFORMATION

|  |  |   |
|--|--|---|
| Resistance to Static Puncture  | Pass<br>33 lbf (15 kg)   | (ASTM D-5602)<br>(ASTM Type III D-4434 Spec. Requirement) |
| Resistance to Dynamic Puncture   | Pass<br>14.7 ft-lbf (20 J)   | (ASTM D-5635)<br>(ASTM Type III D-4434 Spec. Requirement) |
| Tensile Strength   | 305 lbf (1356 N)<br>200 lbf (890 N)                                  | (ASTM D-751)<br>(ASTM Type III D-4434 Spec. Requirement)  |
| Elongation at Break  | 28.5 & 29.5% MD & CMD <sup>1</sup><br>15 & 15% MD & CMD <sup>1</sup> | (ASTM D-751)<br>(ASTM Type III D-4434 Spec. Requirement)  |
| <sup>1</sup> MD = Machine Direction, CMD = Cross Machine Direction.    |  |   |
| Linear Dimensional Change  | -0.12%<br>0.5%   | (ASTM D-1204)<br>(ASTM Type III D-4434 Spec. Requirement) |
| Tear Strength  | 48 lbf (213 N)<br>45 lbf (200 N)                                     | (ASTM D-1004)<br>(ASTM Type III D-4434 Spec. Requirement) |
| Seam Strength  | Pass<br>75% of original <sup>2</sup>                                 | (ASTM D-751)<br>(ASTM Type III D-4434 Spec. Requirement)  |
| <sup>2</sup> Failure occurs through membrane rupture not seam failure. |  |   |
| Low Temperature Bend   | Pass<br>Pass -40°F (-40°C)   | (ASTM D-2136)<br>(ASTM Type III D-4434 Spec. Requirement) |



|   |  |  |   |
|---|--|--|---|
| Retention of Properties after Heat Ageing   | Tensile Strength, % of original: Pass    |  | (ASTM D-3045)                               |
|   | Elongation, % of original: Pass          |  | (ASTM D-751)                                |
|   | Tensile Strength, % of original: 90      |  | (ASTM Type III D-4434 Spec. Requirement)    |
|   | Elongation, % of original: 90            |  |   |
| UV Exposure   | 10,000 hours                             |  | (ASTM G-154)                                |
|   | 5,000 hours                              |  | (ASTM Type III D-4434 Spec. Requirement)    |
|   | Cracking<br>(7x magnification)           | None   |   |
|   | Discoloration<br>(by observation)        | Negligible                                   |   |
|   | Crazing<br>(7x magnification)            | None   |   |
|   |  |  |   |
| Weight Change after Immersion in Water  | 2.0%                                     |  | (ASTM D-570)                                |
|   | ± 3.0%                                   |  | (ASTM Type III D-4434 Spec. Requirement)    |
| Solar Reflectance   | EnergySmart Colors                       | Initial Solar Reflectance <sup>1</sup>       | 3-Year Solar Reflectance <sup>1</sup>       |
|   | EnergySmart White <sup>2</sup>           | 0.84   | 0.76  |
|   | EnergySmart Tan <sup>2</sup>             | 0.73   | 0.65  |
|   | EnergySmart Reflective Gray <sup>2</sup> | 0.73   | 0.66  |
|   |  |  |   |
| <sup>1</sup> Solar Reflectance testing according to ASTM C1549.   |  |  |   |
| <sup>2</sup> Meets ENERGY STAR®, LEED, Green Globes, and California’s Title 24 criteria for Low and Steep Slope applications. |  |  |   |
| Thermal Emittance   | EnergySmart Colors                       | Initial Thermal Emittance <sup>1</sup>       | 3-Year Thermal Emittance <sup>1</sup>       |
|   | EnergySmart White <sup>2</sup>           | 0.86   | 0.85  |
|   | EnergySmart Tan <sup>2</sup>             | 0.85   | 0.86  |
|   | EnergySmart Reflective Gray <sup>2</sup> | 0.89   | 0.88  |
|   |  |  |   |
| <sup>1</sup> Thermal Emittance testing according to ASTM C1371, Slide Method.   |  |  |   |
| <sup>2</sup> Meets ENERGY STAR®, LEED, Green Globes, and California’s Title 24 criteria for Low and Steep Slope applications. |  |  |   |
| Solar Reflectance Index   | EnergySmart Colors                       | Initial Solar Reflectance Index <sup>1</sup> | 3-Year Solar Reflectance Index <sup>1</sup> |
|   | EnergySmart White <sup>2</sup>           | 105  | 93  |
|   | EnergySmart Tan <sup>2</sup>             | 89   | 78  |
|   | EnergySmart Reflective Gray <sup>2</sup> | 90   | 80  |
|   |  |  |   |
| <sup>1</sup> Solar Reflectance Index calculated according to ASTM E1980.  |  |  |   |
| <sup>2</sup> Meets ENERGY STAR®, LEED, Green Globes, and California’s Title 24 criteria for Low and Steep Slope applications. |  |  |   |

## APPLICATION INSTRUCTIONS

### APPLICATION

Sarnafil S 327 is rolled out after proper preparation of

the approved substrate and fastened to the roof deck with appropriate mechanically attached system with Sarnafasteners in accordance with Sika's technical requirements. Sarnafil S 327 seams are heat-welded together by trained operators using hot-air welding

equipment. Different mechanically attached systems require different application methods. Please consult Sika's Specifications or Applicator Handbook for detailed installation procedures.

## MAINTENANCE

Standard maintenance of Sarnafil systems should include regular inspections of flashings, drains, and termination sealants at least twice a year and after each storm.

## AVAILABILITY/WARRANTY

### AVAILABILITY

From Sika Corporation – Roofing Authorized Applicators for use within Sarnafil or Sikaplan systems.

### WARRANTY

Upon successful completion of the installed roof by the Sika Authorized Applicator, Sika Corporation will provide a warranty to the Building Owner via the Sika Authorized Applicator.

## BASIS OF PRODUCT DATA

Results may differ based upon statistical variations depending upon mixing methods and equipment, temperature, application methods, test methods, actual site conditions and curing conditions.

## OTHER RESTRICTIONS

See Legal Disclaimer.

## ENVIRONMENTAL, HEALTH AND SAFETY

For further information and advice regarding transportation, handling, storage and disposal of chemical products, user should refer to the actual Safety Data Sheets containing physical, environmental, toxicological and other safety related data. User must read the current actual Safety Data Sheets before using any products. In case of an emergency, call CHEMTREC at 1-800-424-9300, International 703-527-3887.

## LEGAL DISCLAIMER

- KEEP CONTAINER TIGHTLY CLOSED
- KEEP OUT OF REACH OF CHILDREN
- NOT FOR INTERNAL CONSUMPTION
- FOR INDUSTRIAL USE ONLY
- FOR PROFESSIONAL USE ONLY

Prior to each use of any product of Sika Corporation, its subsidiaries or affiliates ("SIKA"), the user must always read and follow the warnings and instructions on the product's most current product label, Product Data Sheet and Safety Data Sheet which are available at [usa.sika.com](http://usa.sika.com) or by calling SIKA's Technical Service Department at 1-800-933-7452. Nothing contained in any SIKA literature or materials relieves the user of the obligation to read and follow the warnings and instructions for each SIKA product as set forth in the current product label, Product Data Sheet and Safety Data Sheet prior to use of the SIKA product.

SIKA warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current Product Data Sheet if used as directed within the product's shelf life. User determines suitability of product for intended use and assumes all risks. User's and/or buyer's sole remedy shall be limited to the purchase price or replacement of this product exclusive of any labor costs. **NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. SIKA SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES. SIKA SHALL NOT BE RESPONSIBLE FOR THE USE OF THIS PRODUCT IN A MANNER TO INFRINGE ON ANY PATENT OR ANY OTHER INTELLECTUAL PROPERTY RIGHTS HELD BY OTHERS.**

Sale of SIKA products are subject to the Terms and Conditions of Sale which are available at <https://usa.sika.com/en/group/SikaCorp/termsandconditions.html> or by calling 1-800-933-7452.

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[webmaster.sarnafil@us.sika.com](mailto:webmaster.sarnafil@us.sika.com)

**Sika Mexicana S.A. de C.V.**  
Carretera Libre Celaya Km. 8.5  
Fracc. Industrial Balvanera  
Corregidora, Queretaro  
C.P. 76920  
Phone: 52 442 2385800  
Fax: 52 442 2250537



**Product Data Sheet**  
Sarnafil® S 327-60 EnergySmart  
August 2020, Version 05.01  
020905012060153002

SarnafilS327-60EnergySmart-en-US-(08-2020)-5-1.pdf







# City of Pensacola

222 West Main Street  
Pensacola, FL 32502

## Memorandum

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**File #:** 21-00163

Architectural Review Board

2/18/2021

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**TO:** Architectural Review Board Members

**FROM:** Gregg Harding, RPA, Historic Preservation Planner

**DATE:** 2/10/2021

**SUBJECT:**

150 S. Baylen Street  
Palafox Historic Business District / Zone C-2A  
Conceptual Review of a New Single Townhouse Development

**BACKGROUND:**

Michelle Burch, Caldwell Associates Architects, is seeking *conceptual review*, of a new townhouse development located on an existing parking lot. The proposed development will have eleven (11) single family attached dwelling units consisting of three (3) different three-story unit types. According to the application, this infill style development will help restore the urban fabric, enhance the streetscape, create additional neighborhood security, and add living options and density to the downtown core.

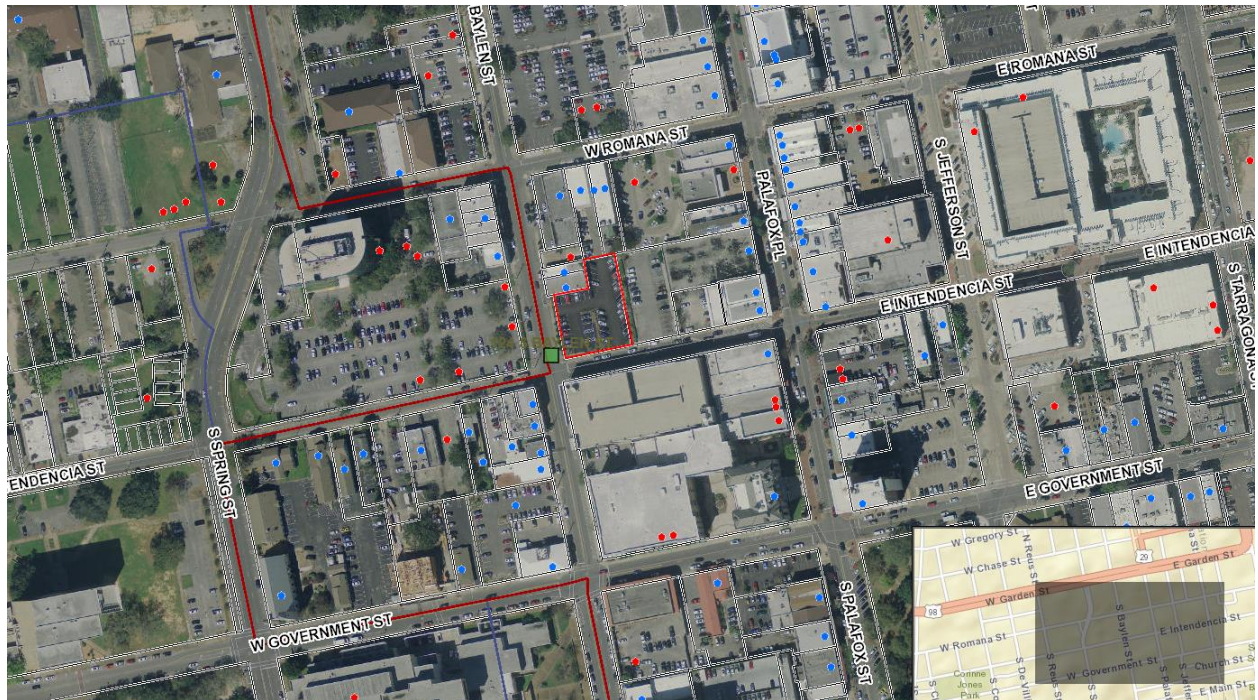
Please find attached all relevant documentation for your review.

**RECOMMENDED CODE SECTIONS:**

Sec. 12-3-27 *Palafox Historic Business District*

Sec. 12-3-27(f)(2)b & c *PHBD, In the case of a proposed new building*

150 S. Baylen Street







City of  
**Pensacola**  
America's First Settlement  
And Most Historic City

**Architectural Review Board Application**  
**Full Board Review**

Application Date: 01.28.2021

**Project Address:** 150 S Baylen Street, Pensacola Florida 32502

Applicant: Caldwell Associates Architects

Applicant's Address: 116 N Tarragona Street

Email: michelle@caldwell-assoc.com/michael@caldwell-assoc.com

Phone: 850-439-6578

Property Owner: Studer Properties LLP

**District:** ☐ PHD ☐ NHDP ☐ OEHPD ☒ PHBD ☐ GCD  
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee  
☒ Commercial/Other Residential – \$250.00 hearing fee

*\* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

**Project specifics/description:**

This development will create 11-three story, single family townhouses on a previously underutilized .42-acre parking lot, located on the corner of Baylen Street & Intendencia Street. This infill style development helps restore the urban fabric, enhances the streetscape, creates additional neighborhood security, and adds living options and density to our popular downtown core. At just one block off Palafox, it is walking distance to all of Pensacola's downtown amenities while not being at the center of the activity. Property owners will utilize a shared private access drive from Intendencia Street for rear access to their garage which will enable the public streets and sidewalks to maintain, and even enhance, their current function and pedestrian traffic patterns. Three different unit types are offered ranging from a 2,000 SF to 3,000 SF.

*I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.*

  
Applicant Signature

01.28.2021

Date

1/28/2021

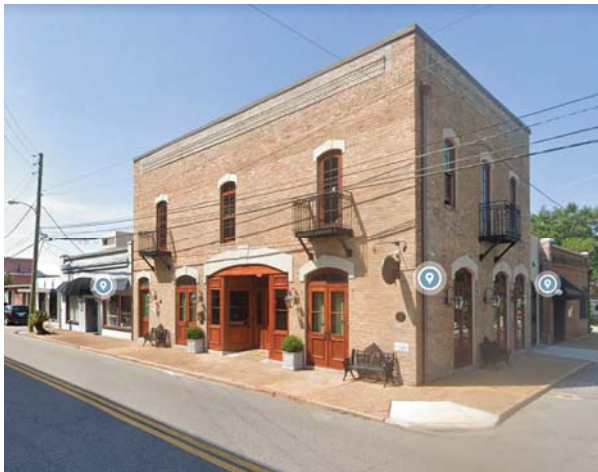
**150 S. Baylen Street Existing Conditions:**





Surrounding Buildings:



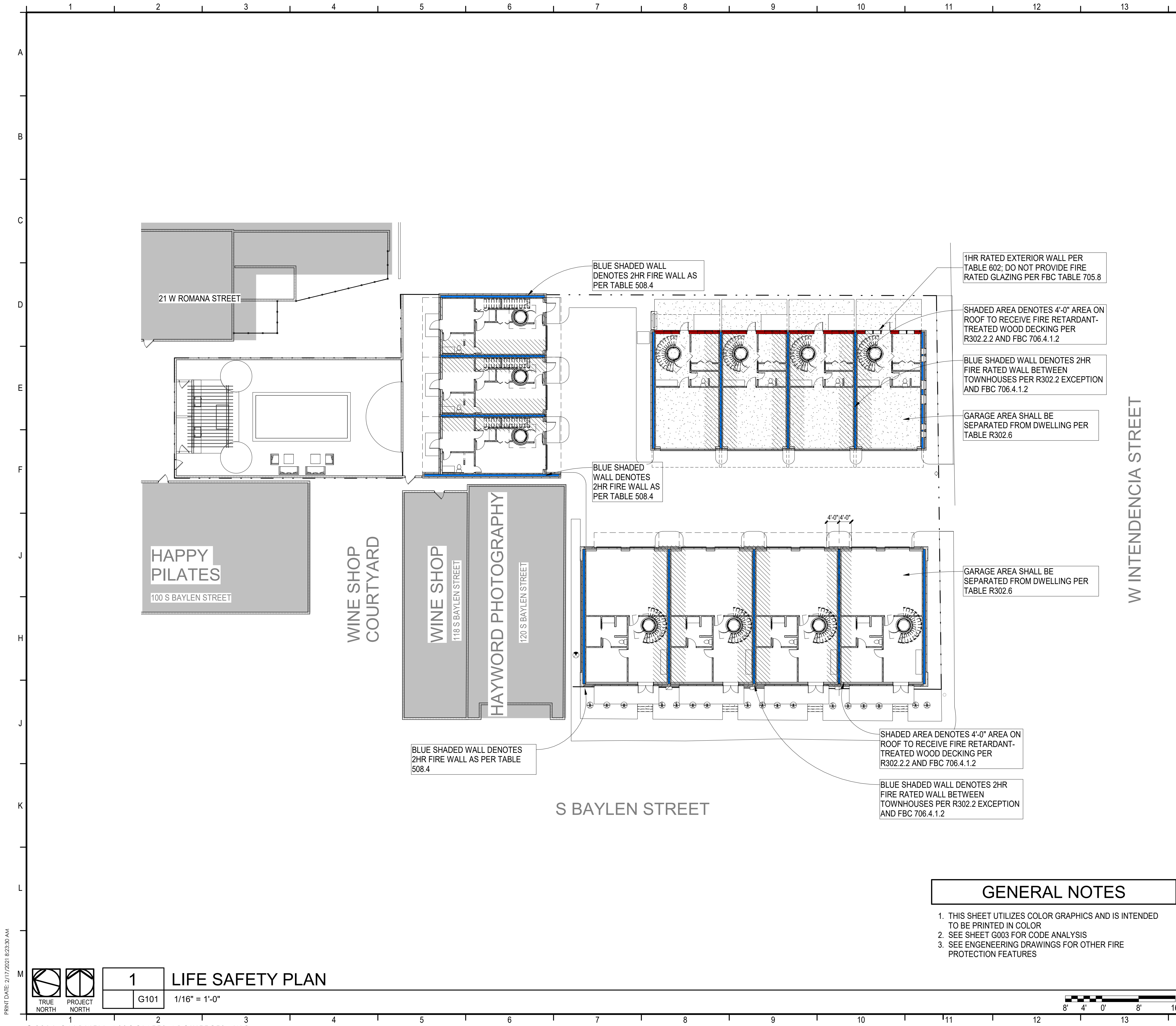




|   |   |
|---|---|
| A | — |
| B | — |
| C | — |
| D | — |
| E | — |
| F | — |
| J | — |
| H | — |
| J | — |
| K | — |
| L | — |
| M |   |







### LEGEND

2 HR RATED CONSTRUCTION

1 HR RATED CONSTRUCTION

### CODE ANALYSIS

#### OCCUPANCY CLASSIFICATION

FBC 2020: GROUP R3 (SINGLE FAMILY TOWNHOUSE)

#### CONSTRUCTION TYPE

FBC 2020: TYPE VB (5B), FULLY SPRINKLERED

#### BUILDING AREA AND HEIGHT

|                   |            |
|-------------------|------------|
| UNIT A AREA:      | 3,000 SQFT |
| UNIT B AREA:      | 2,500 SQFT |
| UNIT C AREA:      | 2,000 SQFT |
| ALLOWABLE AREA:   | UL         |
| ALLOWABLE HEIGHT: | 3 STORIES  |

#### FIRE RESISTANCE

TYPE VB CONSTRUCTION:

|                                       |                  |
|---------------------------------------|------------------|
| <b>PRIMARY STRUCTURAL FRAME:</b> 0 hr |                  |
| <b>BEARING WALLS:</b>                 |                  |
| EXTERIOR BEARING:                     | 1 hr (SEE BELOW) |
| INTERIOR BEARING:                     | 0 hr             |
| <b>NONBEARING WALLS:</b>              |                  |
| EXTERIOR BEARING:                     | 0 hr (SEE BELOW) |
| INTERIOR BEARING:                     | 0 hr             |
| <b>FLOOR CONSTRUCTION:</b> 0 hr       |                  |
| <b>ROOF CONSTRUCTION:</b> 0 hr        |                  |

**EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE**

|           |            |      |
|-----------|------------|------|
| X < 5'    | SEPARATION | 1 hr |
| 5' < 10'  | SEPARATION | 1 hr |
| 10' < 30' | SEPARATION | 0 hr |
| X > 30'   | SEPARATION | 0 hr |

#### ADDITIONAL REQUIREMENTS

R302.2 EXCEPTION  
FIRE SEPARATION BETWEEN TOWNHOUSES 2HR

706.4.1.2  
FIRE SEPARATION BETWEEN TOWNHOUSES 2HR

R302.2.4 STRUCTURAL INDEPENDENCE  
EACH INDIVIDUAL TOWNHOUSES SHALL BE STRUCTURAL INDEPENDENT.

903.2.11.3.1 - NFPA 101 REQUIREMENT FOR FULLY SPRINKLERED 3-STORY, 3-UNITS TOGETHER AS PER FLORIDA STATUTE 553.895(2).

R302.6 DWELLING-GARAGE FIRE SEPARATION  
THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6 - PROVIDE 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT

R393.1 HABITABLE ROOMS - HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOM.

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.  
EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.

R310.2.1 MINIMUM OPENING AREA - SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. NET CLEAR HEIGHT NOT LESS THAN 23 INCHES AND CLEAR WIDTH OF NOT LESS THAN 20 INCHES.

R310.2.2 WINDOW SILL HEIGHT - SILL HEIGHT OF NOT LESS THAN 44 INCHES ABOVE FLOOR

R311.6 HALLWAYS - SHALL NOT BE LESS THAN 3 FEET

R311.7.1 STAIRWAY WIDTHS - NOT LESS THAN 3 FEET  
R311.7.2 HEADROOM - NOT LESS THAN 6 FEET 8 INCHES

R314.1 SMOKE ALARM - SHALL COMPLY WITH NFPA 72 AND SECTION R314  
R314.3 LOCATIONS - 1. AT EACH SLEEPING ROOM, 2. OUTSIDE EACH SEPARATE SLEEPING AREA, 3. AT EACH FLOOR, 4. INSTALLED NOT LESS THAN 3FT HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM.

R321.1 ELEVATORS - SHALL COMPLY WITH ASME A17.1/CSA B44

R807.1 ATTIC ACCESS - PROVIDE 22 X 30 INCH OPENING

### GENERAL NOTES

- THIS SHEET UTILIZES COLOR GRAPHICS AND IS INTENDED TO BE PRINTED IN COLOR
- SEE SHEET G003 FOR CODE ANALYSIS
- SEE ENGINEERING DRAWINGS FOR OTHER FIRE PROTECTION FEATURES

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

CIVIL  
REBOL BATTLE & ASSOCIATES

STRUCTURAL  
LYBD ENGINEERING, INC.

ARCHITECTURAL  
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION  
W3 ENGINEERING

PLUMBING, MECHANICAL  
W3 ENGINEERING

ELECTRICAL  
W3 ENGINEERING

LANDSCAPE  
TBD

MOISTURE CONSULTANT  
TBD

ACOUSTICAL CONSULTANT  
TBD

POOL CONSULTANT  
TBD

PROJECT:  
**RED FEATHER TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN & INTENDENCIA)**

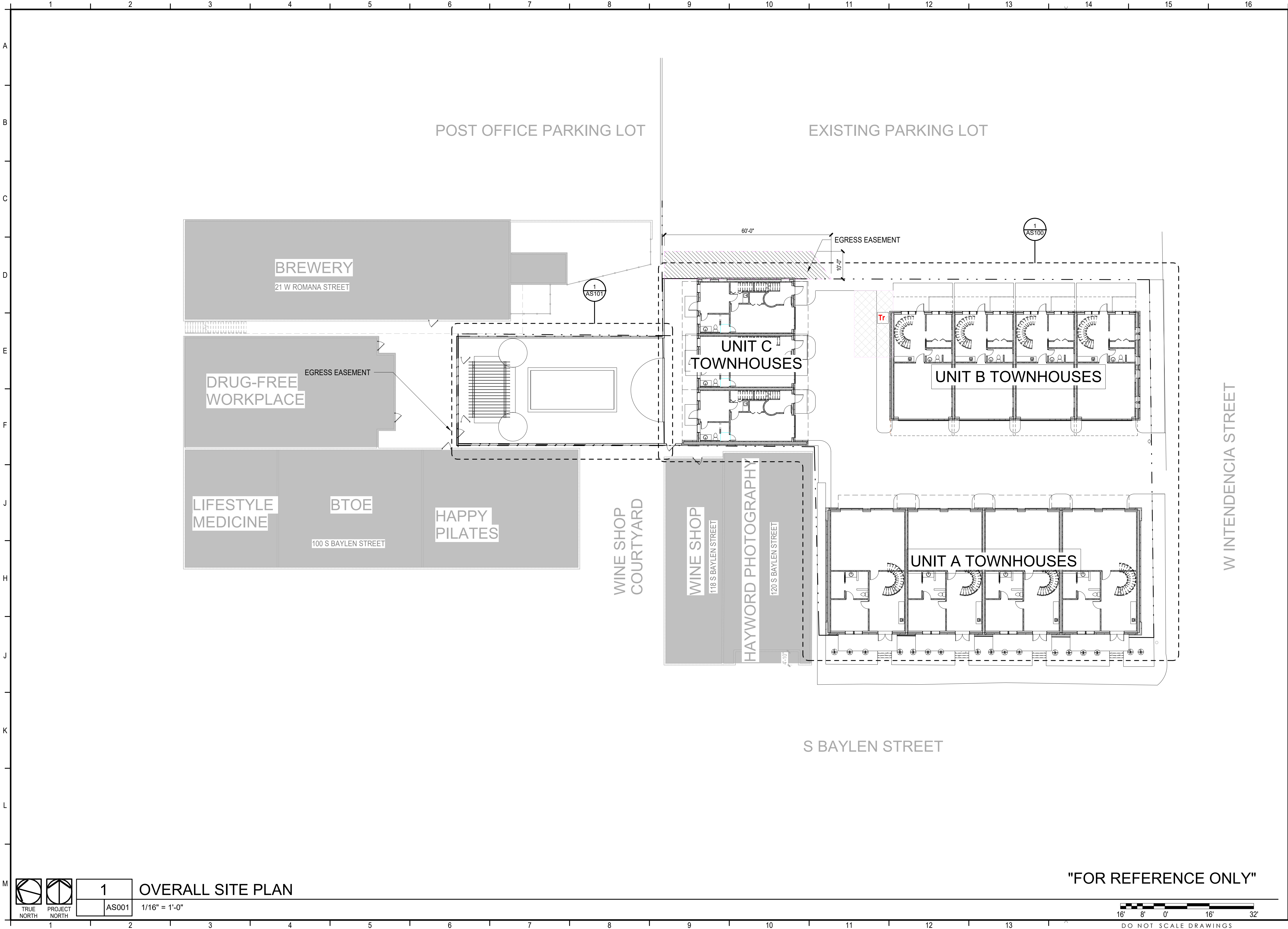
**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
LIFE SAFETY PLAN

SHEET NUMBER:  
**G101**

DESIGN DEVELOPMENT





| PROJECT ISSUES:    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

| PROJECT TEAM:         |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LYBD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN & INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
OVERALL SITE

SHEET NUMBER:


**AS001**


DESIGN DEVELOPMENT

"FOR REFERENCE ONLY"



DO NOT SCALE DRAWINGS

  
TRUE NORTH

  
PROJECT NORTH

1

AS001

OVERALL SITE PLAN

1/16" = 1'-0"

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
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| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                       |                            |
|-----------------------|----------------------------|
| PROJECT TEAM:         |                            |
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LYBD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT SITE PLAN

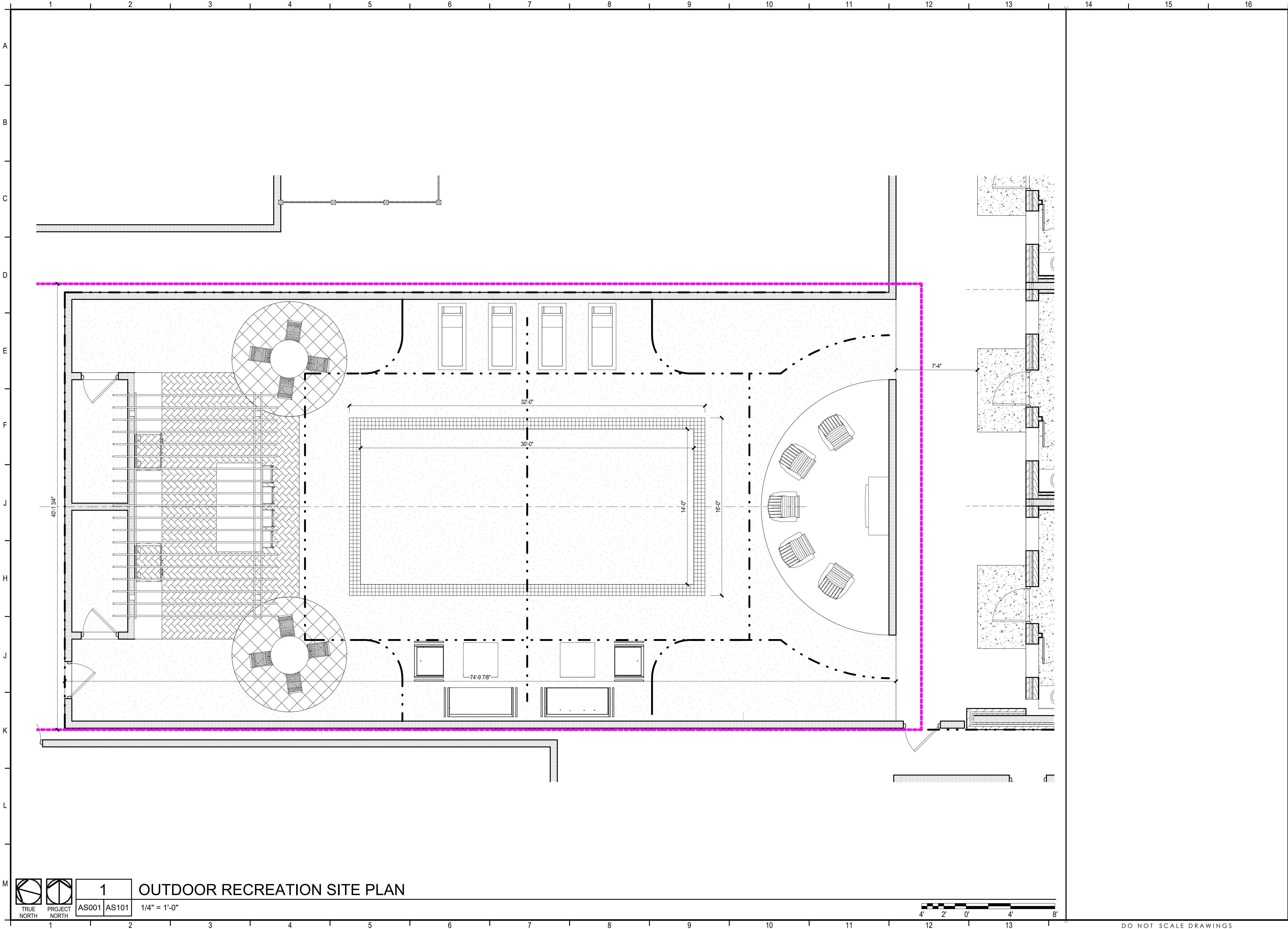
SHEET NUMBER:

**AS100**

DESIGN DEVELOPMENT







| PROJECT ISSUES:    |            |
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| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
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| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

| PROJECT TEAM:         |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
AMENITY SITE PLAN

SHEET NUMBER:

**AS101**

DESIGN DEVELOPMENT

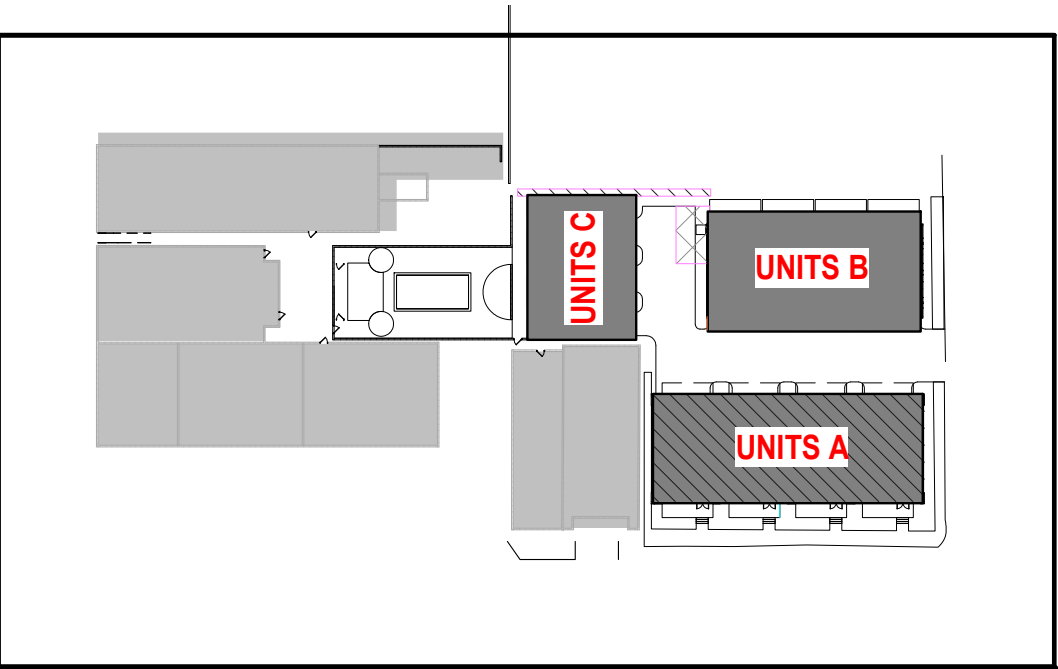


# BAYLEN STREET TOWNHOUSES

## UNIT TYPE A



**4 BEDROOM / 3 1/2 BATH**  
**2,377 SF - CONDITIONED SPACE**  
**230 SF - BALCONIES**  
**562 SF - 2 CAR GARAGE**  
**3,169 SF TOTAL**



CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
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| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                       |                            |
|-----------------------|----------------------------|
| PROJECT TEAM:         |                            |
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

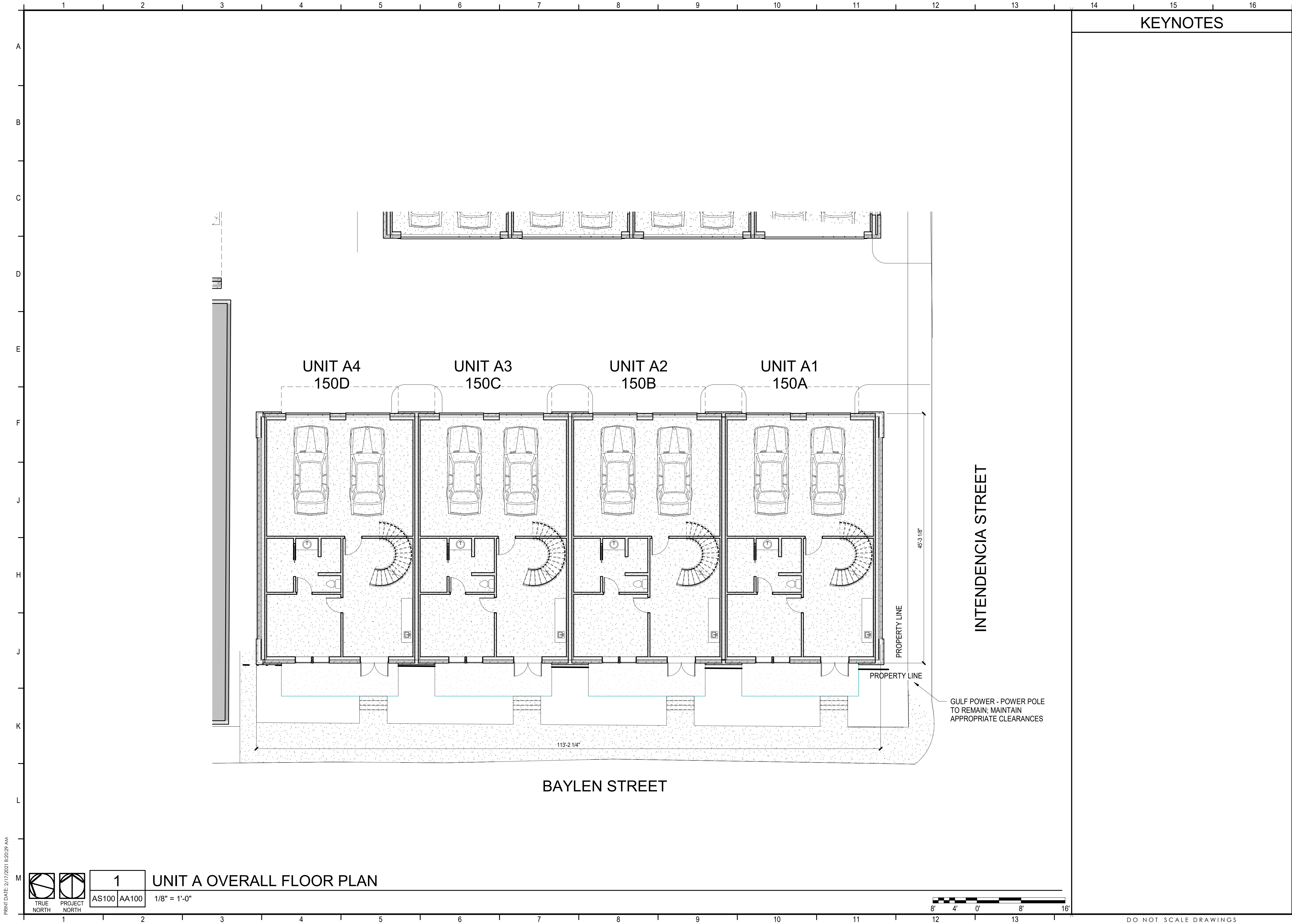
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NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT A COVER SHEET

SHEET NUMBER:  
**GA001**

DESIGN DEVELOPMENT





KEYNOTES

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
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| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                       |                            |
|-----------------------|----------------------------|
| PROJECT TEAM:         |                            |
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER TOWNHOUSES**

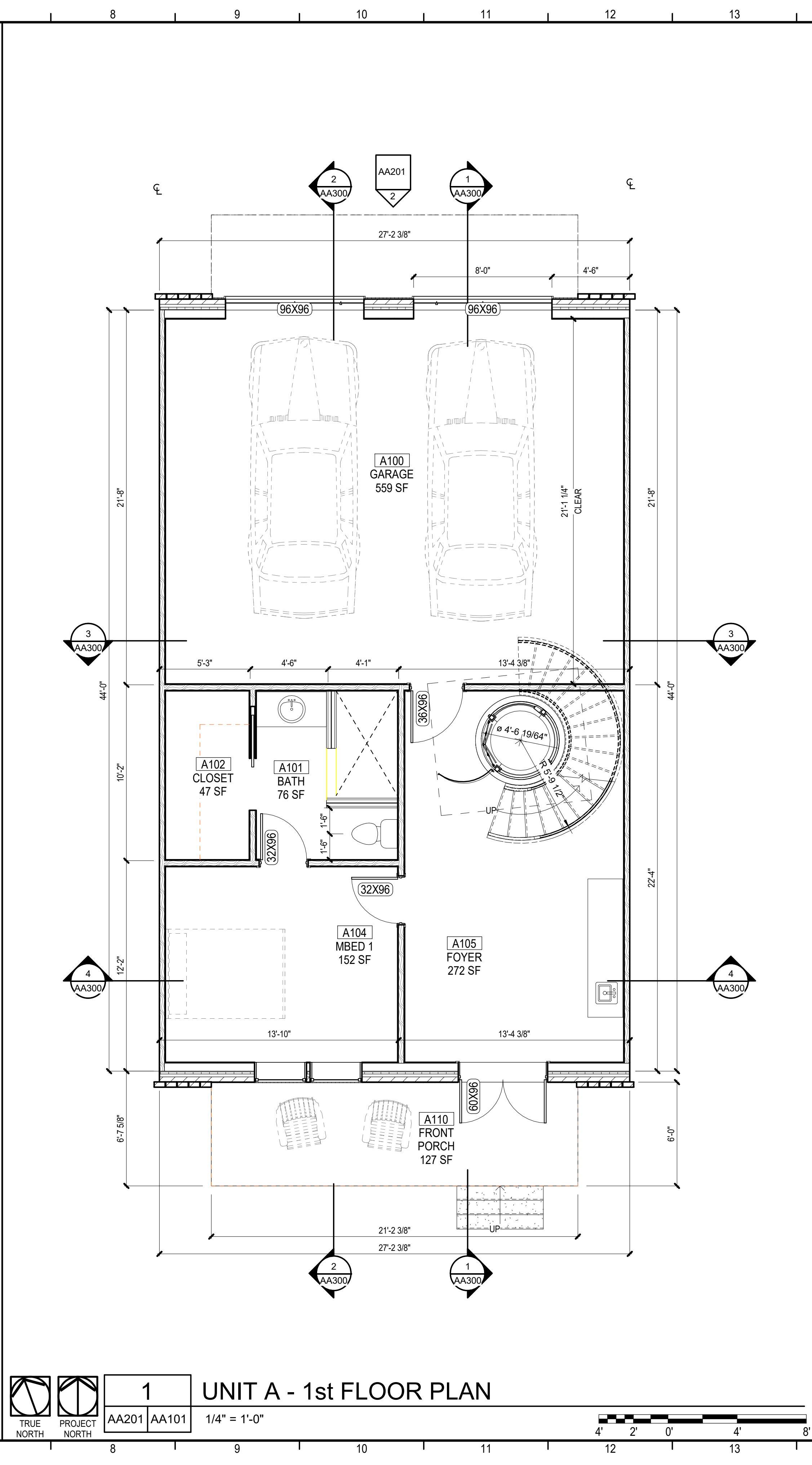
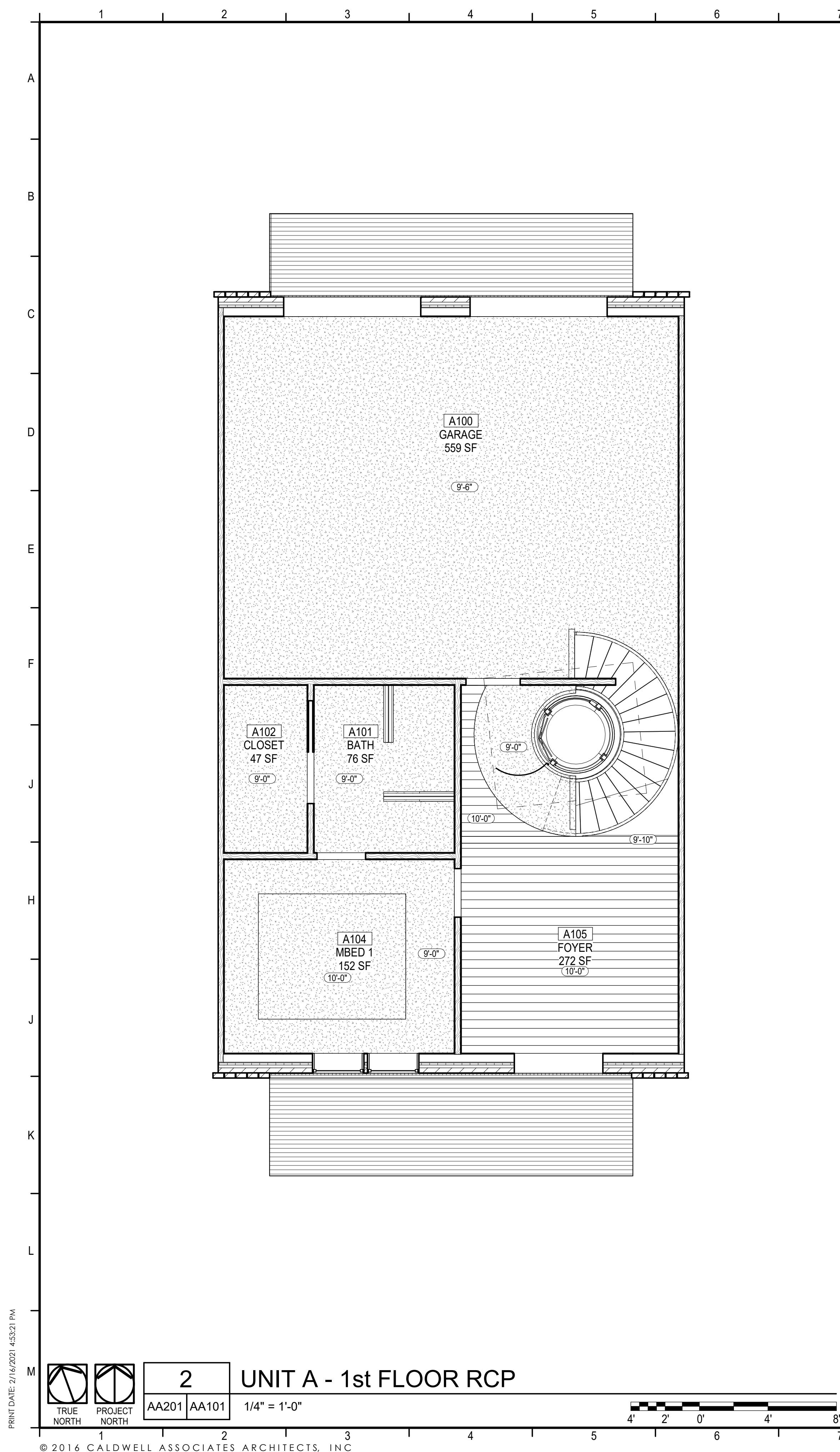
**150 S BAYLEN STREET  
(CORNER OF BAYLEN & INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT A OVERALL PLAN

SHEET NUMBER:  
**AA100**  
DESIGN DEVELOPMENT





## KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 325  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: IB000009

## PROJECT ISSUES

|                    |          |
|--------------------|----------|
| CONCEPT PLANS      | 06.19.20 |
| SCHEMATIC DESIGN   | 07.14.20 |
| SCHEMATIC DESIGN 2 | 08.19.20 |
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| SCHEMATIC DESIGN 4 | 09.11.20 |
| SCHEMATIC DESIGN 5 | 02.03.20 |
| DESIGN DEVELOPMENT | 02.17.20 |

PROJECT TEAM:

CIVIL  
REBEL BATTLE & ASSOCIATES  
STRUCTURAL  
LBYD ARCHITECTURE, INC.  
ARCHITECTURAL  
CALDWELL ASSOC. ARCHITECTS  
FIRE PROTECTION  
W3 ENGINEERING  
PLUMBING, MECHANICAL  
W3 ENGINEERING  
ELECTRICAL  
W3 ENGINEERING  
LANDSCAPE  
TBD  
MOISTURE CONSULTANT  
TBD  
ACOUSTICAL CONSULTANT  
TBD  
POOL CONSULTANT  
TBD

## PROJECT:

## RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 2002  
SHEET TITLE:

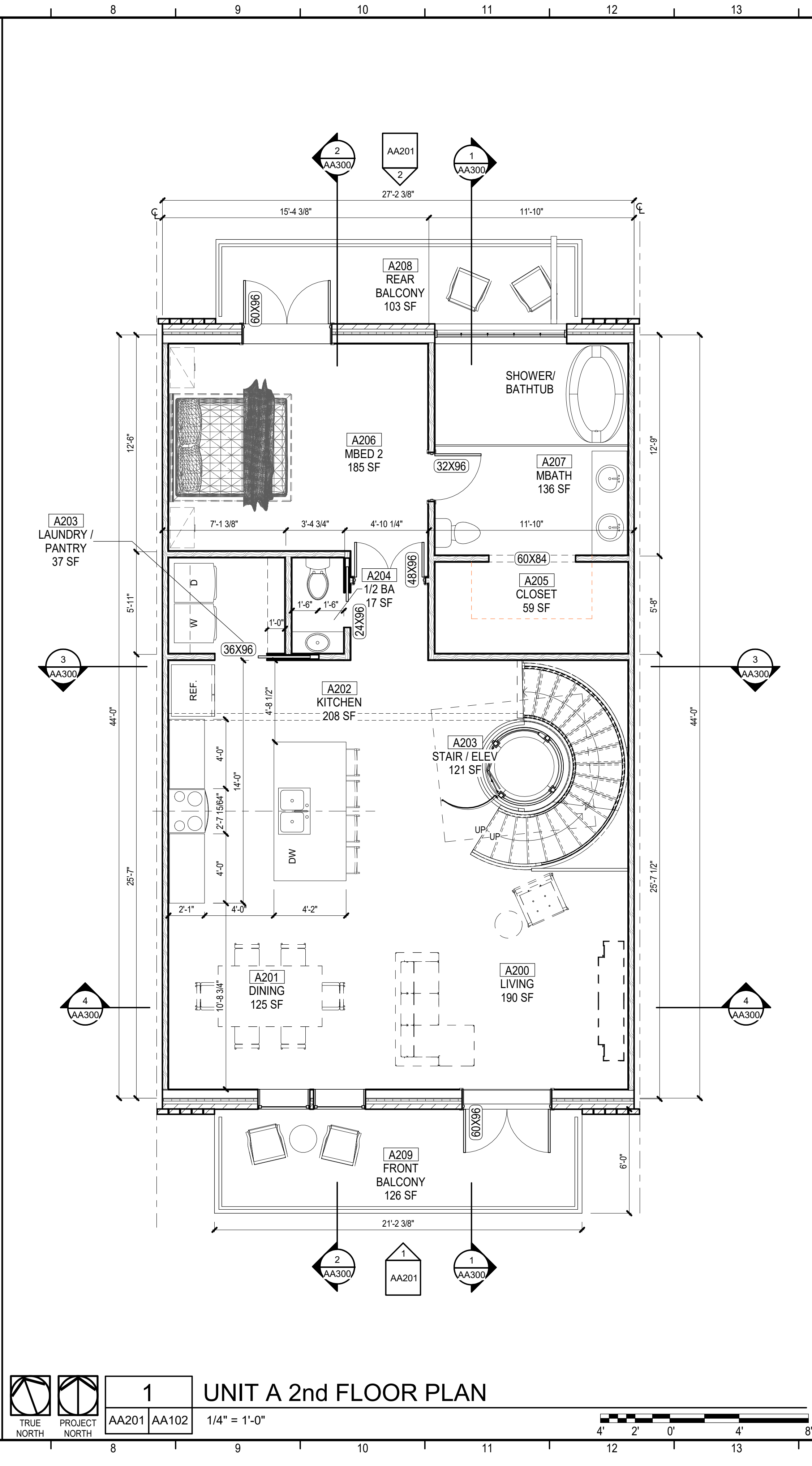
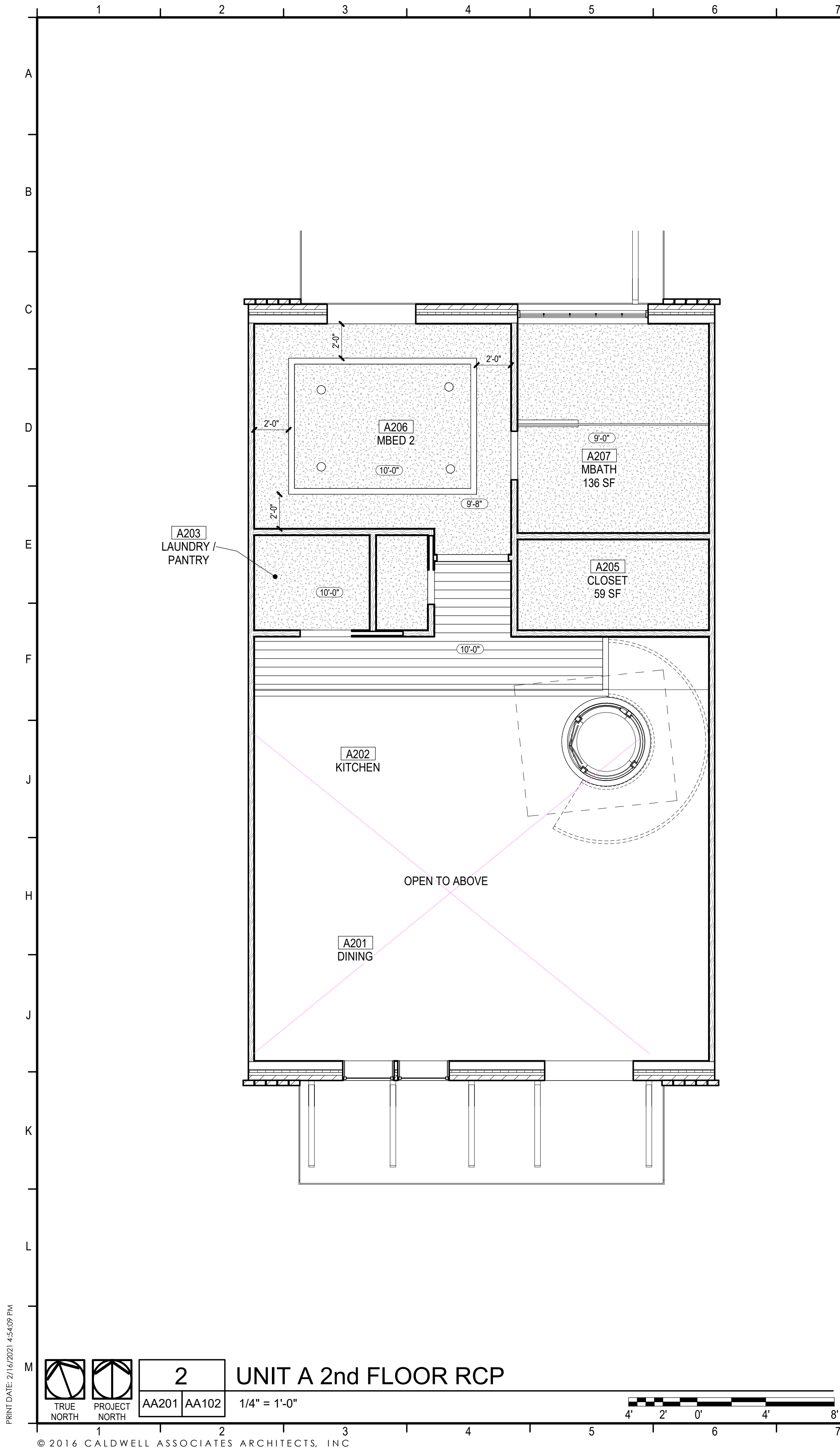
## UNIT A 1st FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:

AA101

## DESIGN DEVELOPMENT





## KEYNOTES

## LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL

## GENERAL NOTES

- COORDINATE WITH ALL OTHER DRAWINGS PRIOR TO COMMENCING ANY WORK.
- REFER TO WALL TYPE SHEET FOR MORE INFORMATION
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED OR WALL MOUNTED DEVICE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTING INFORMATION.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
- PROVIDE PRESSURE TREATED WOOD BLOCKING IN STUD WALL CAVITIES WHERE REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS, INCLUDING, BUT NOT LIMITED TO, UPPER CABINET AND COUNTER SUPPORT BRACKETS.

DO NOT SCALE DRAWINGS

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

| PROJECT ISSUES:    |            |
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| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

| PROJECT TEAM:         |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LYBD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

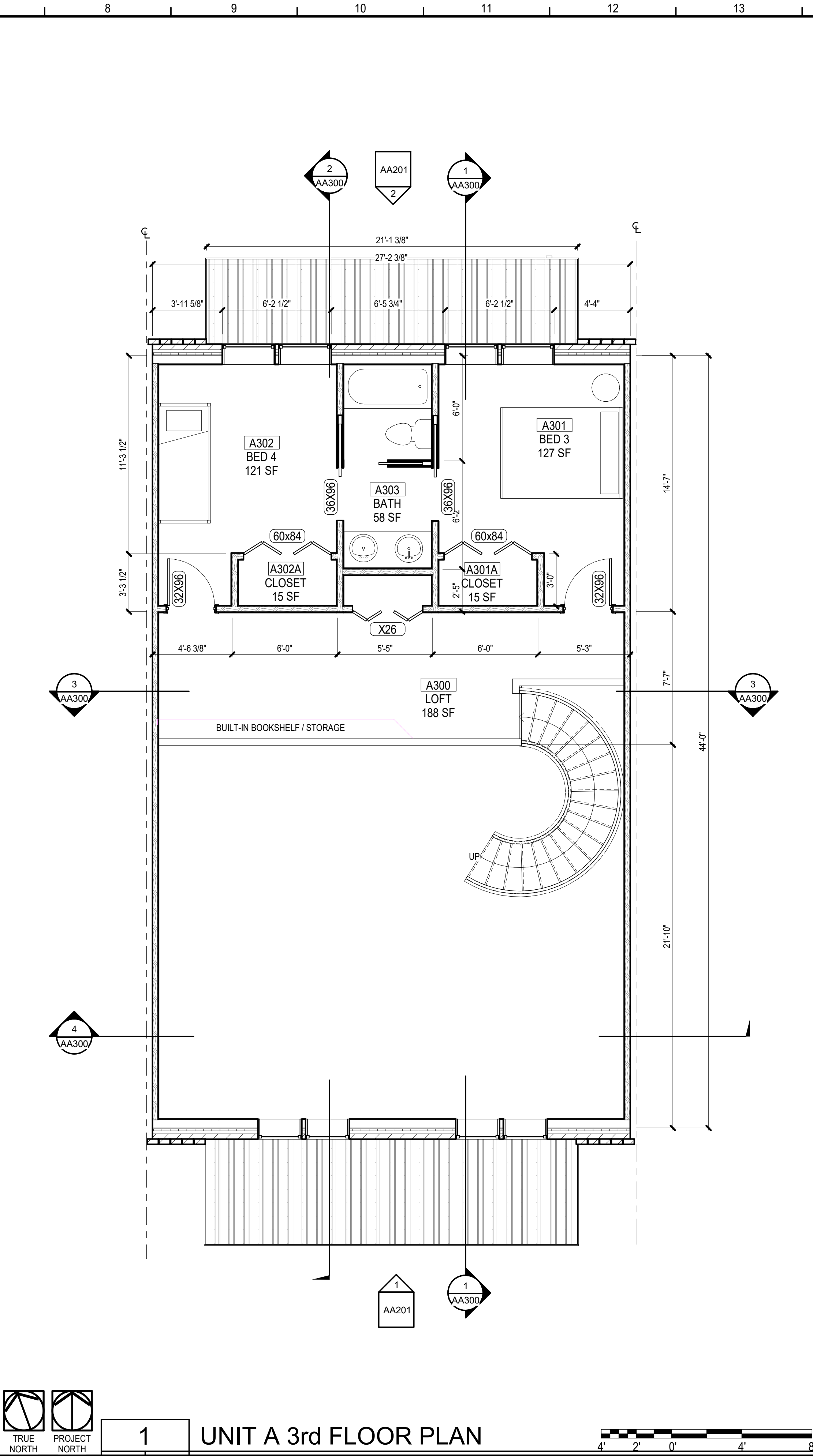
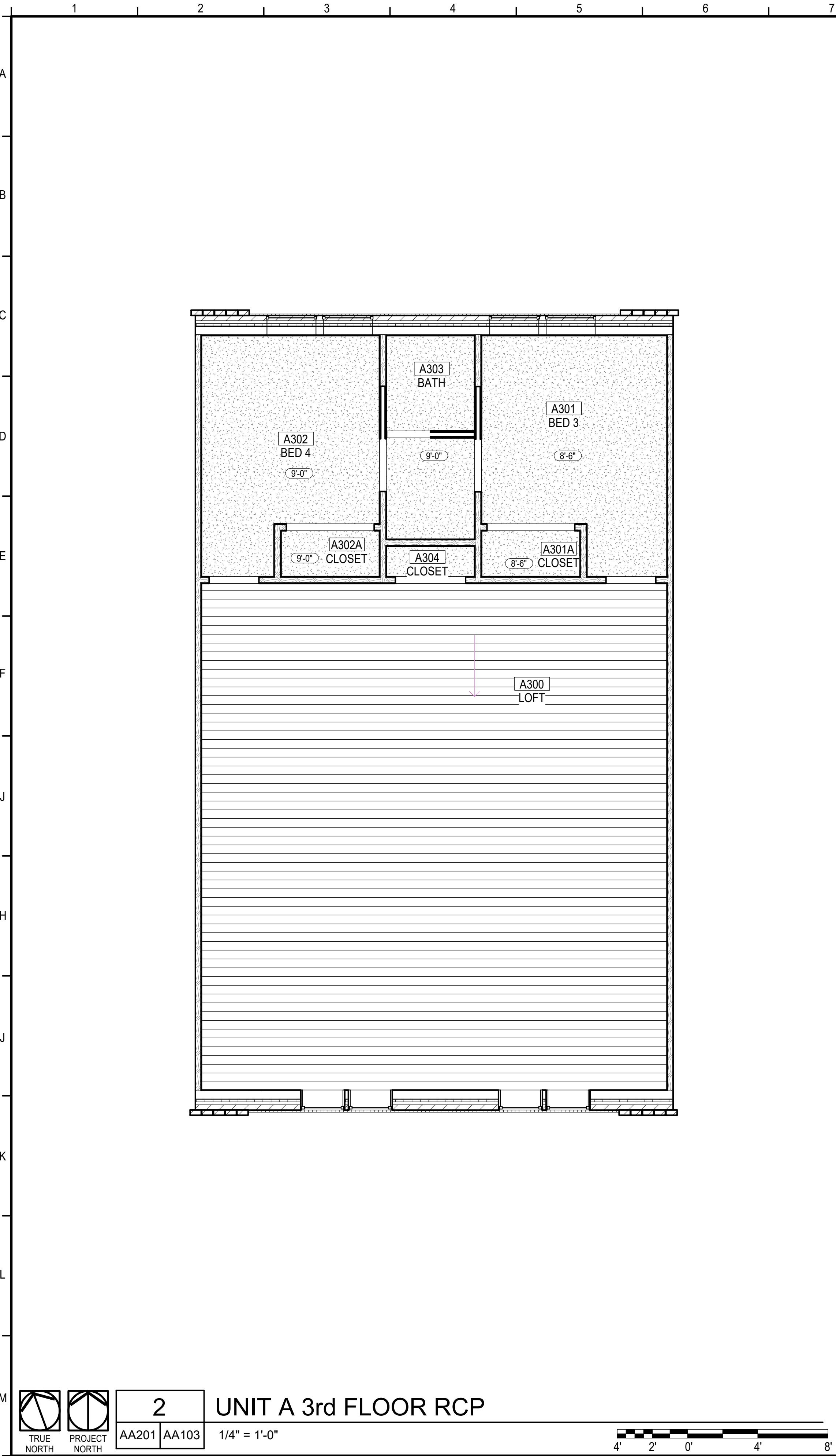
**150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT A 2nd FLOOR &  
REFLECTED CEILING PLANS

SHEET NUMBER:  
**AA102**  
DESIGN DEVELOPMENT





## KEYNOTES

## LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL

## GENERAL NOTES

- COORDINATE WITH ALL OTHER DRAWINGS PRIOR TO COMMENCING ANY WORK.
- REFER TO WALL TYPE SHEET FOR MORE INFORMATION
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED OR WALL MOUNTED DEVICE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTING INFORMATION.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
- PROVIDE PRESSURE TREATED WOOD BLOCKING IN STUD WALL CAVITIES WHERE REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS, INCLUDING, BUT NOT LIMITED TO, UPPER CABINET AND COUNTER SUPPORT BRACKETS.

**CALDWELL**  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

**PROJECT ISSUES:**

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

**PROJECT TEAM:**

**CIVIL**  
REBOL BATTLE & ASSOCIATES

**STRUCTURAL**  
LBYD ENGINEERING, INC.

**ARCHITECTURAL**  
CALDWELL ASSOC. ARCHITECTS

**FIRE PROTECTION**  
W3 ENGINEERING

**PLUMBING, MECHANICAL**  
W3 ENGINEERING

**ELECTRICAL**  
W3 ENGINEERING

**LANDSCAPE**  
TBD

**MOISTURE CONSULTANT**  
TBD

**ACOUSTICAL CONSULTANT**  
TBD

**POOL CONSULTANT**  
TBD

**PROJECT:**  
**RED FEATHER**  
**TOWNHOUSES**

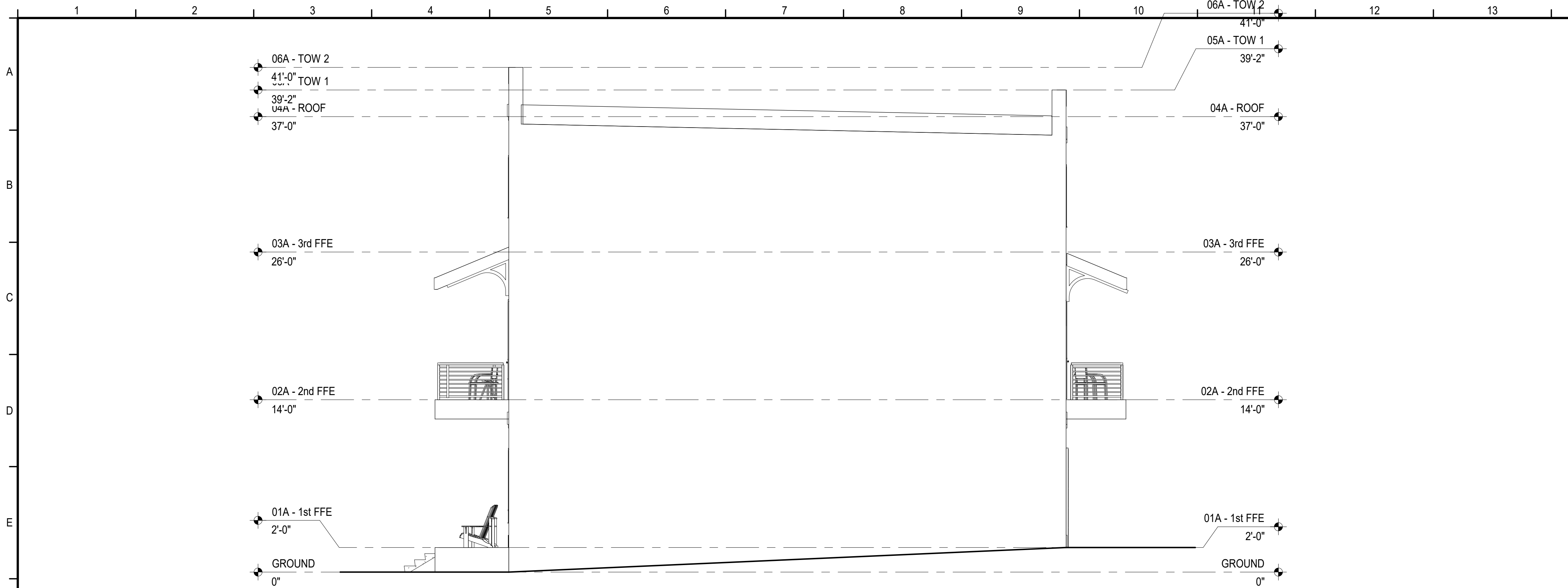
**150 S BAYLEN STREET**  
**PENSACOLA, FLORIDA**  
**(BAYLEN & INTENDENCIA)**

**-PRELIMINARY -**  
**NOT FOR**  
**CONSTRUCTION**

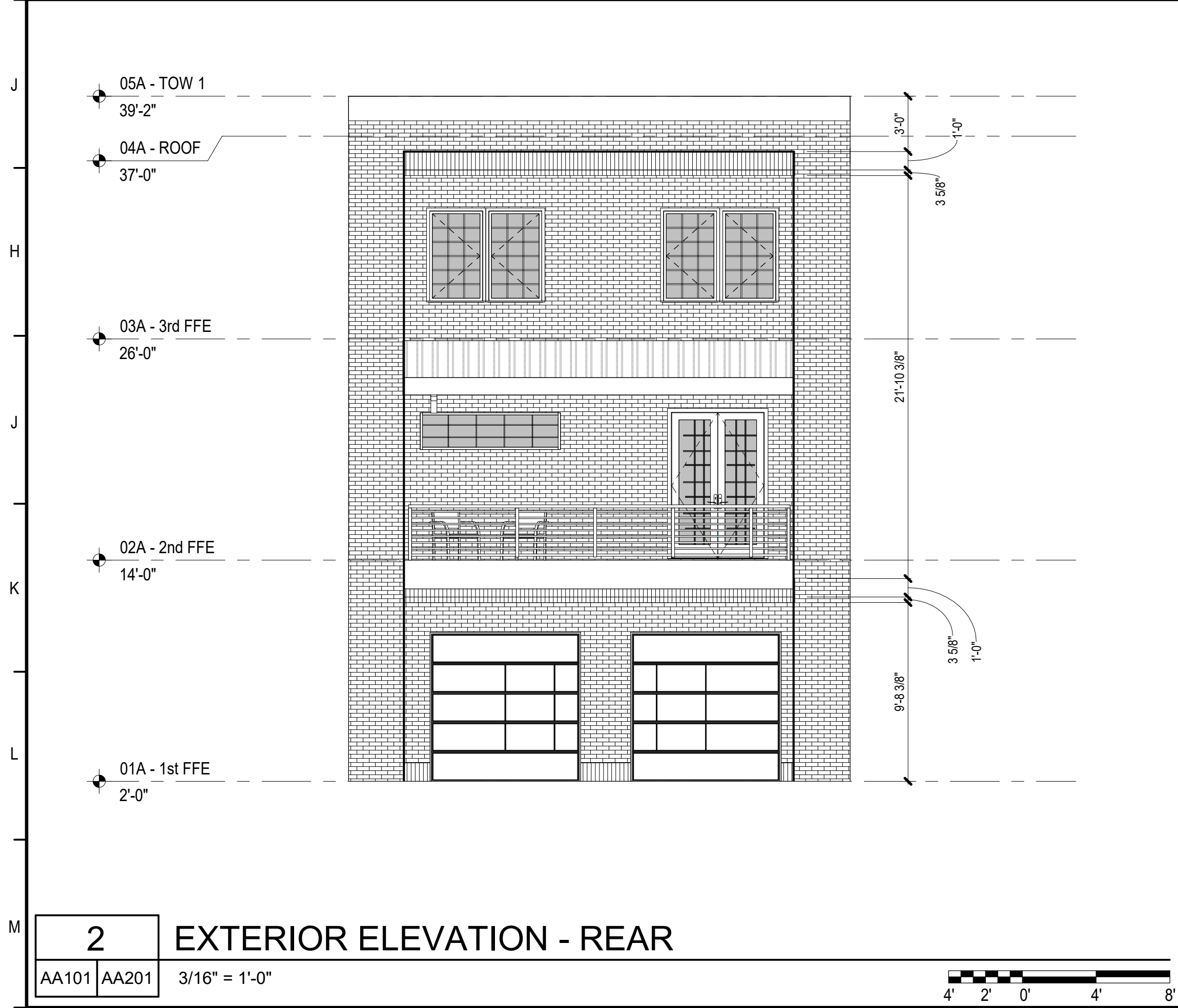
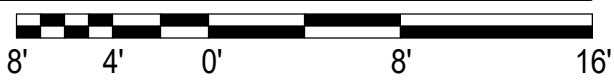
**PROJECT NO. :** 20021  
**SHEET TITLE:**  
UNIT A 3rd FLOOR &  
REFLECTED CEILING PLANS

**SHEET NUMBER:**  
**AA103**  
**DESIGN DEVELOPMENT**

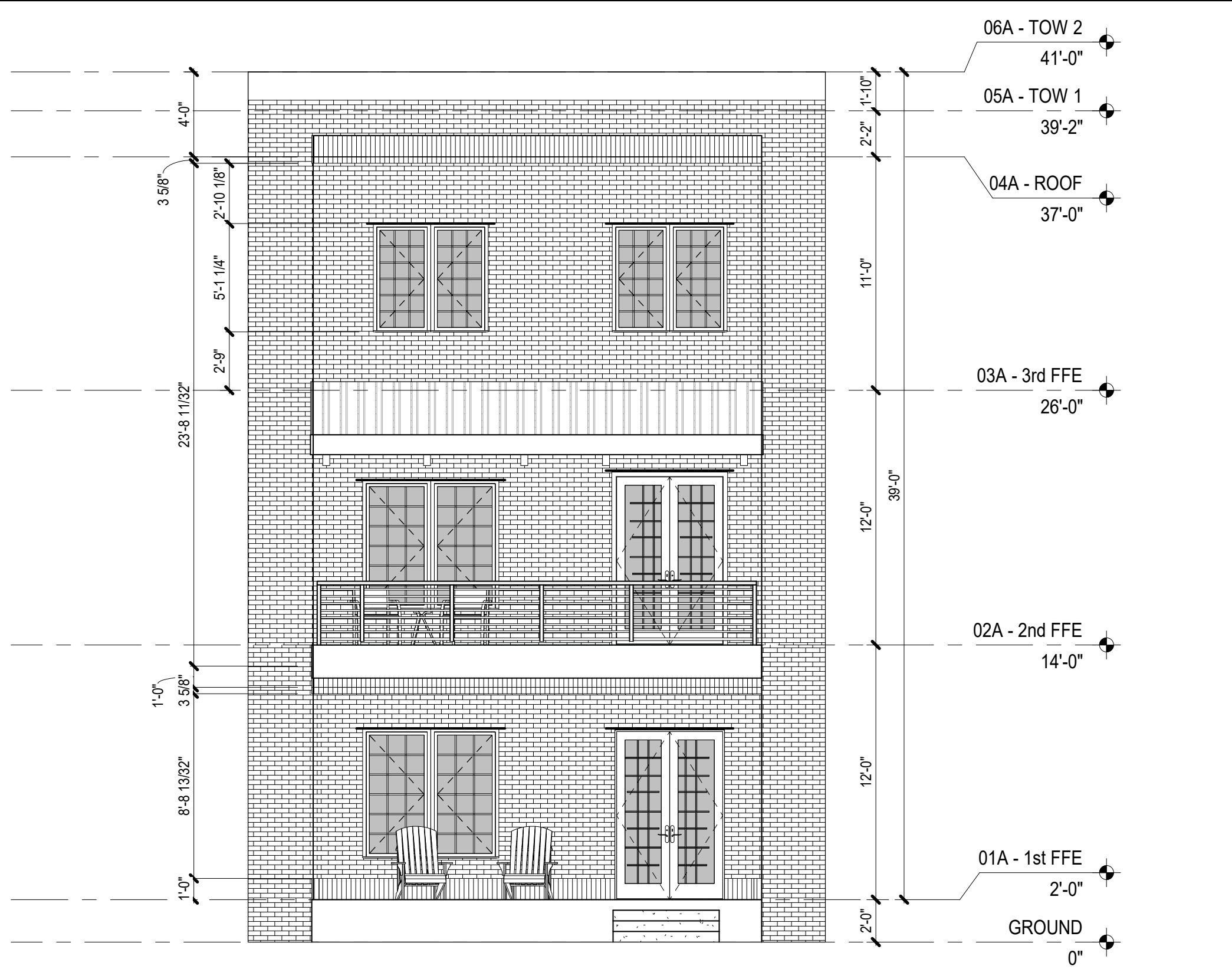
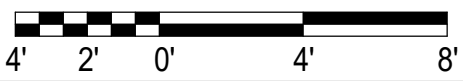




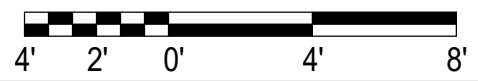
3 EXTERIOR ELEVATION - SIDES  
AA201 3/16" = 1'-0"



2 EXTERIOR ELEVATION - REAR  
AA101 AA201 3/16" = 1'-0"



1 EXTERIOR ELEVATION - FRONT BAYLEN STREET  
AA102 AA201 3/16" = 1'-0"



## KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

| PROJECT ISSUES:    |            |
|--------------------|------------|
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| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

## PROJECT TEAM:

|                       |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

## PROJECT: RED FEATHER TOWNHOUSES

150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)

-PRELIMINARY -  
NOT FOR  
CONSTRUCTION

## GENERAL NOTES

- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
- ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
- SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
- SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

PROJECT NO. : 20021  
SHEET TITLE:

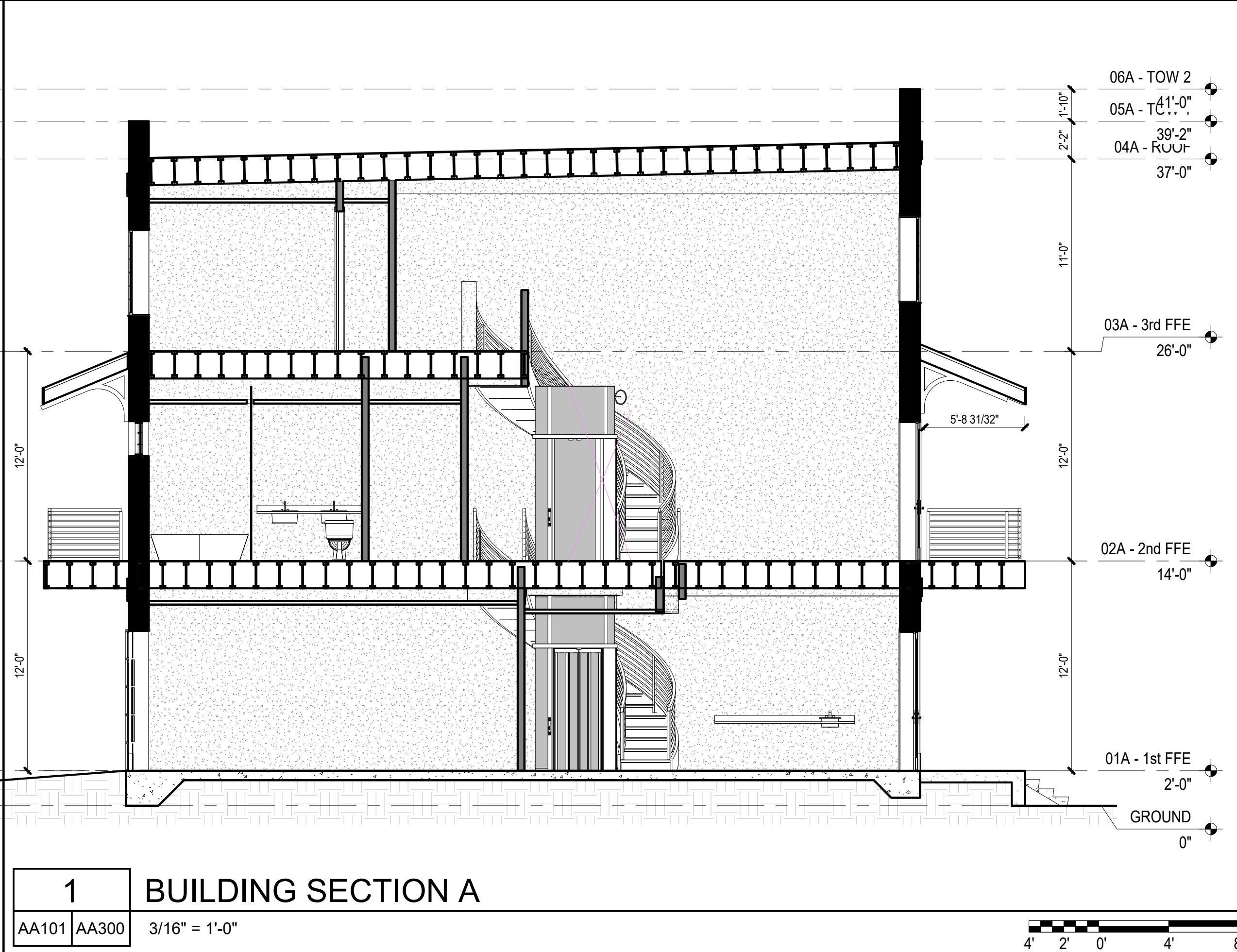
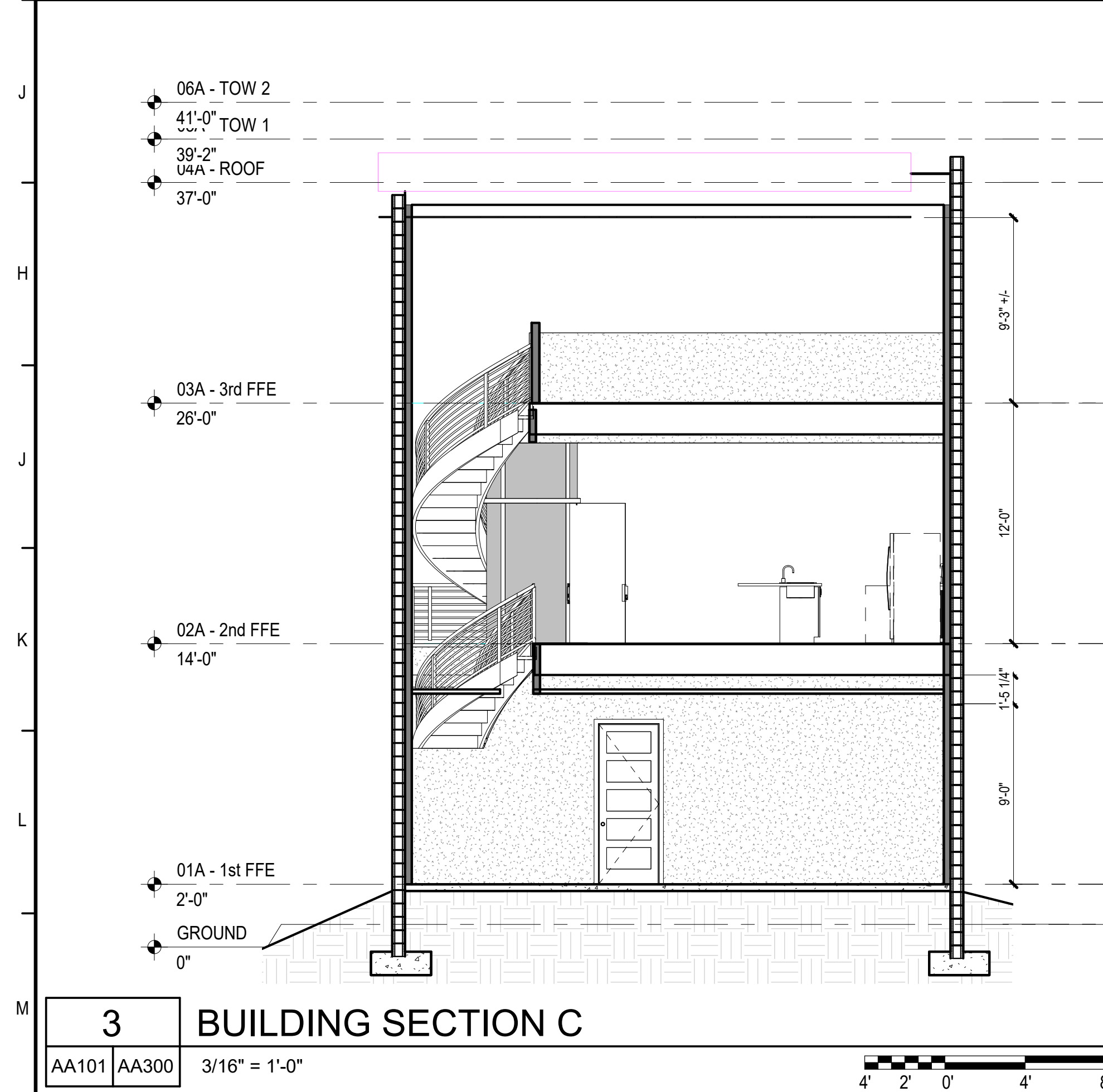
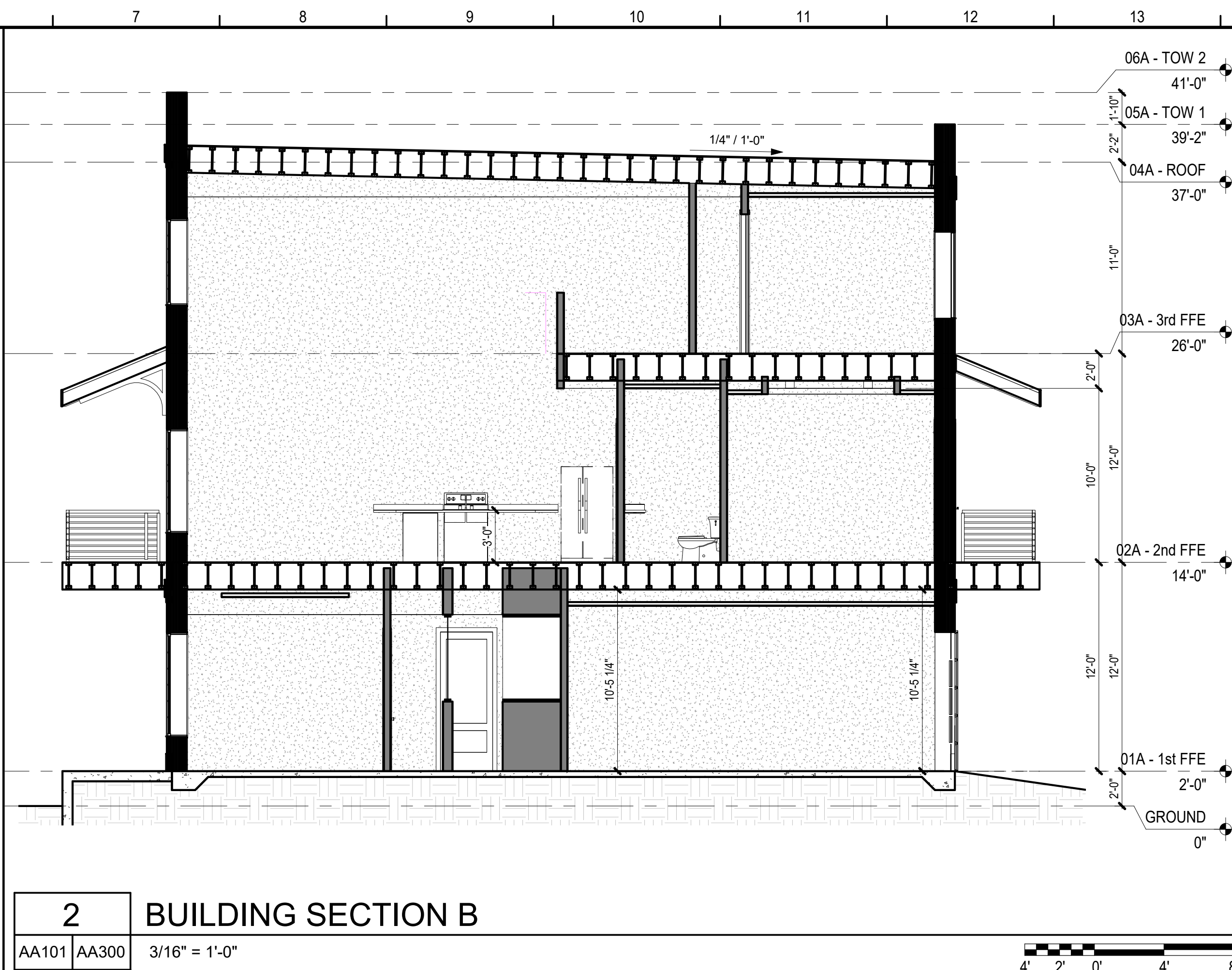
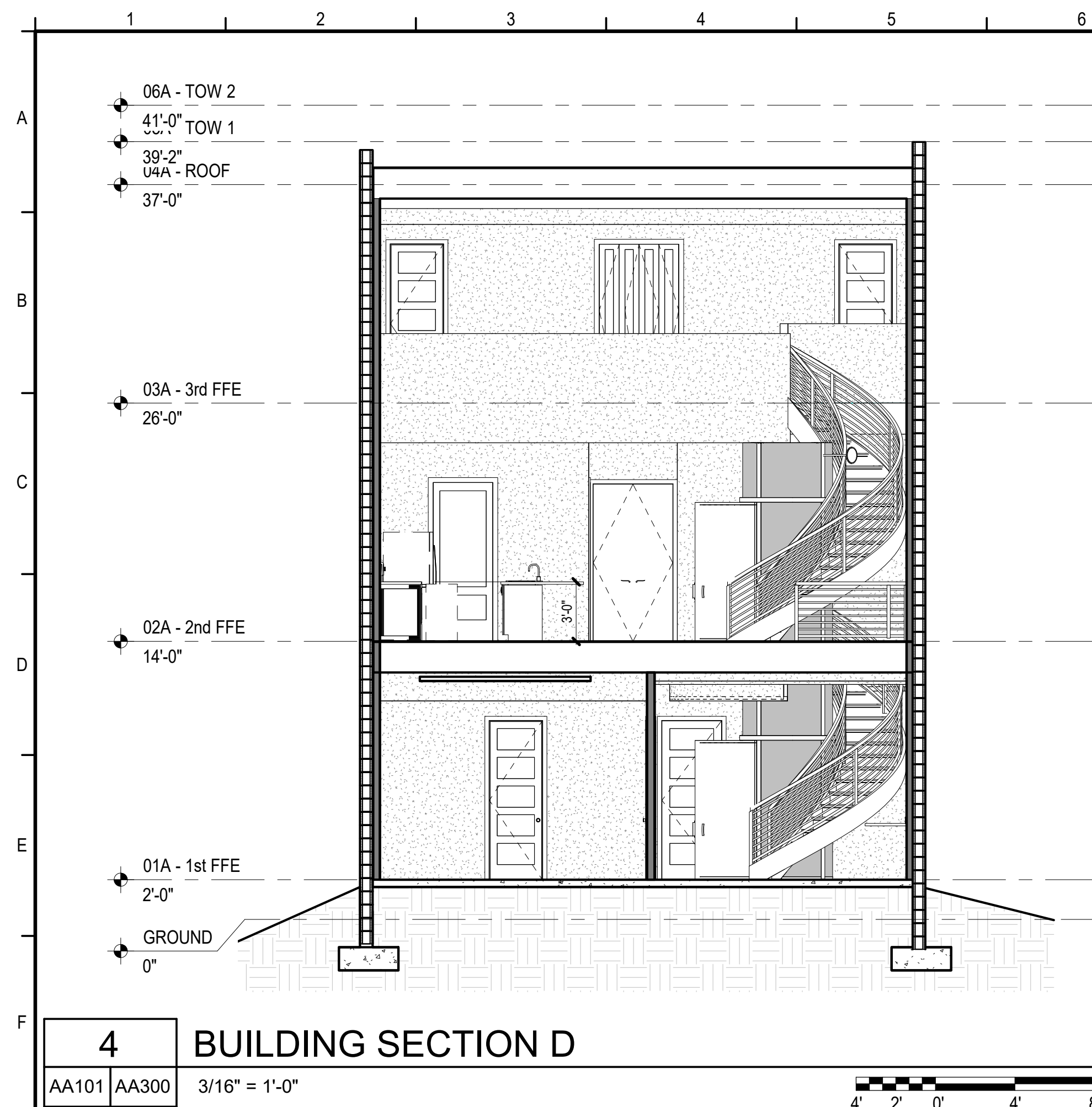
UNIT A ENLARGED EXTERIOR  
ELEVATIONS

SHEET NUMBER:

AA201

DESIGN DEVELOPMENT





## KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

## PROJECT TEAM:

CIVIL  
 REBEL BATTLE & ASSOCIATES  
 STRUCTURAL  
 LBYD ENGINEERING, INC.  
 ARCHITECTURAL  
 CALDWELL ASSOC. ARCHITECTS  
 FIRE PROTECTION  
 W3 ENGINEERING  
PLUMBING, MECHANICAL  
 W3 ENGINEERING  
 ELECTRICAL  
 W3 ENGINEERING  
LANDSCAPE  
 TBD  
MOISTURE CONSULTANT  
 TBD  
ACOUSTICAL CONSULTANT  
 TBD  
POOL CONSULTANT  
 TBD

## PROJECT:

## RED FEATHER TOWNHOUSES

**150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
BAYLEN &  
INTENDENCIA)**

## GENERAL NOTES

1. STEEL STRUCTURE, INCLUDING BEAMS, TRUSSES, BAR JOISTS, BRACING, COLUMNS AND METAL DECKING SHALL BE PAINTED WHERE EXPOSED WITH EXCEPTIONS TO AREAS WHERE TENANT BUILDOUTS HAVE NOT YET BEEN CONSTRUCTED.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO FINAL ROOFING INSTALLATION
3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.
4. ROOFING SURFACES SHALL MEET FLORIDA BUILDING ENERGY CODE FOR REFLECTANCE REQUIREMENTS
5. CONTRACTOR SHALL FOLLOW SMACNA STANDARDS FOR ALL ROOF TOP PENETRATIONS.
6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON WIND FACTORS AND PRESSURES TO DESIGN THE ROOF SYSTEM AND COMPONENTS.
7. SUBMIT PRODUCTS THAT MEET OR EXCEED WIND PRESSURES AS STATED ON STRUCTURAL DRAWINGS.
8. ALL FASTENERS AND FLASHING COMPONENTS SHALL MATCH ADJACENT ROOF PANEL COLORS.

**-PRELIMINARY-  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT A BUILDING SECTIONS

SHEET NUMBER:

# AA300

## DESIGN DEVELOPMENT

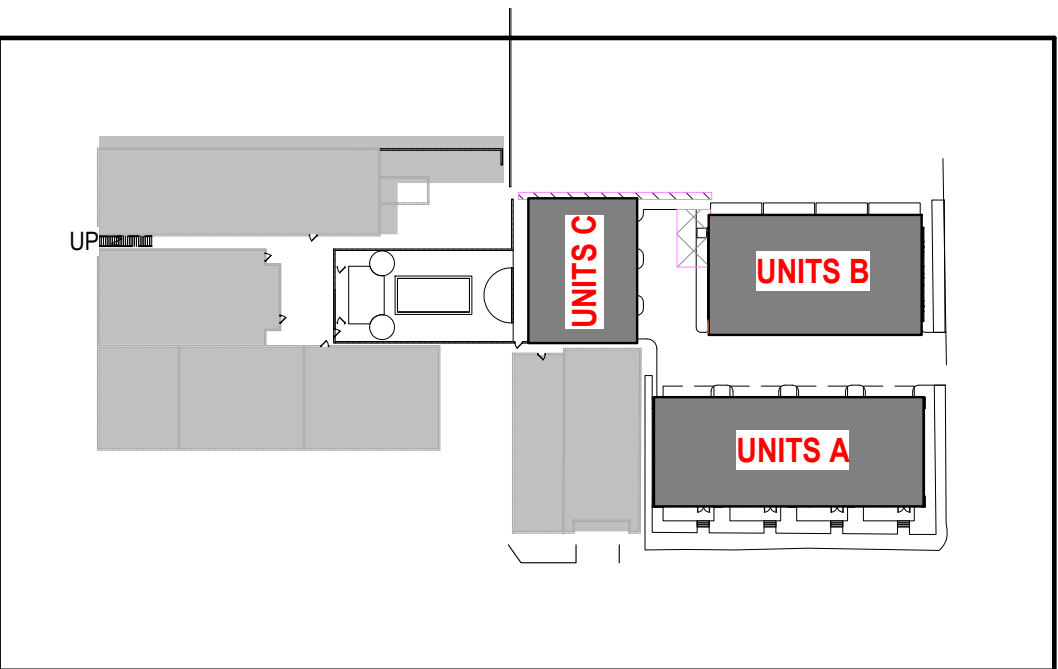


# BAYLEN STREET TOWNHOUSES

## UNIT TYPE B



**4 BEDROOM / 3 1/2 BATH**  
**2,152 SF - CONDITIONED SPACE**  
**177 SF - BALCONIES**  
**377 SF - 2 CAR GARAGE**  
**2,706 SF TOTAL**



CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                              |                            |
|------------------------------|----------------------------|
| PROJECT TEAM:                |                            |
| <u>CIVIL</u>                 | REBOL BATTLE & ASSOCIATES  |
| <u>STRUCTURAL</u>            | LBVD ENGINEERING, INC.     |
| <u>ARCHITECTURAL</u>         | CALDWELL ASSOC. ARCHITECTS |
| <u>FIRE PROTECTION</u>       | W3 ENGINEERING             |
| <u>PLUMBING, MECHANICAL</u>  | W3 ENGINEERING             |
| <u>ELECTRICAL</u>            | W3 ENGINEERING             |
| <u>LANDSCAPE</u>             | TBD                        |
| <u>MOISTURE CONSULTANT</u>   | TBD                        |
| <u>ACOUSTICAL CONSULTANT</u> | TBD                        |
| <u>POOL CONSULTANT</u>       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

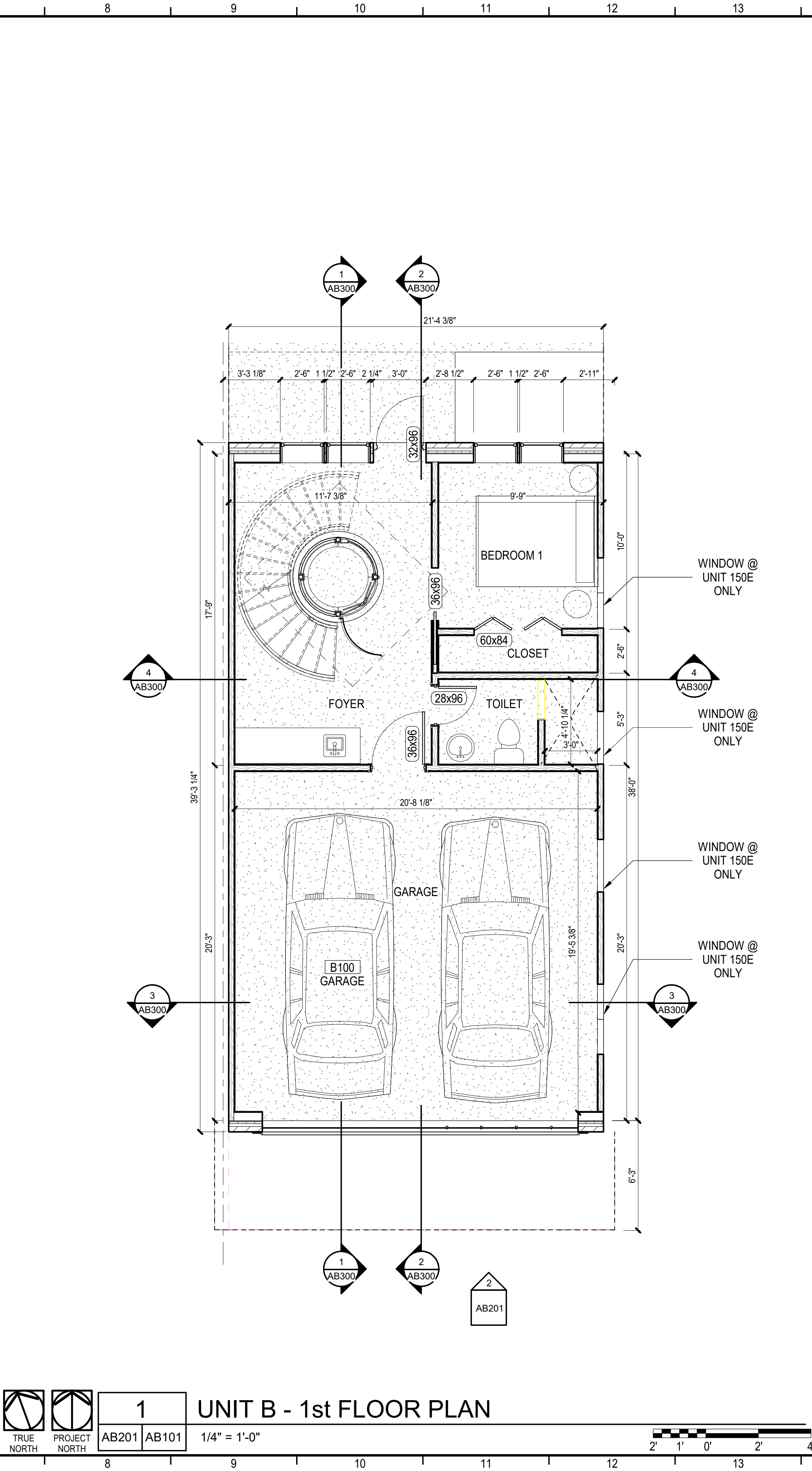
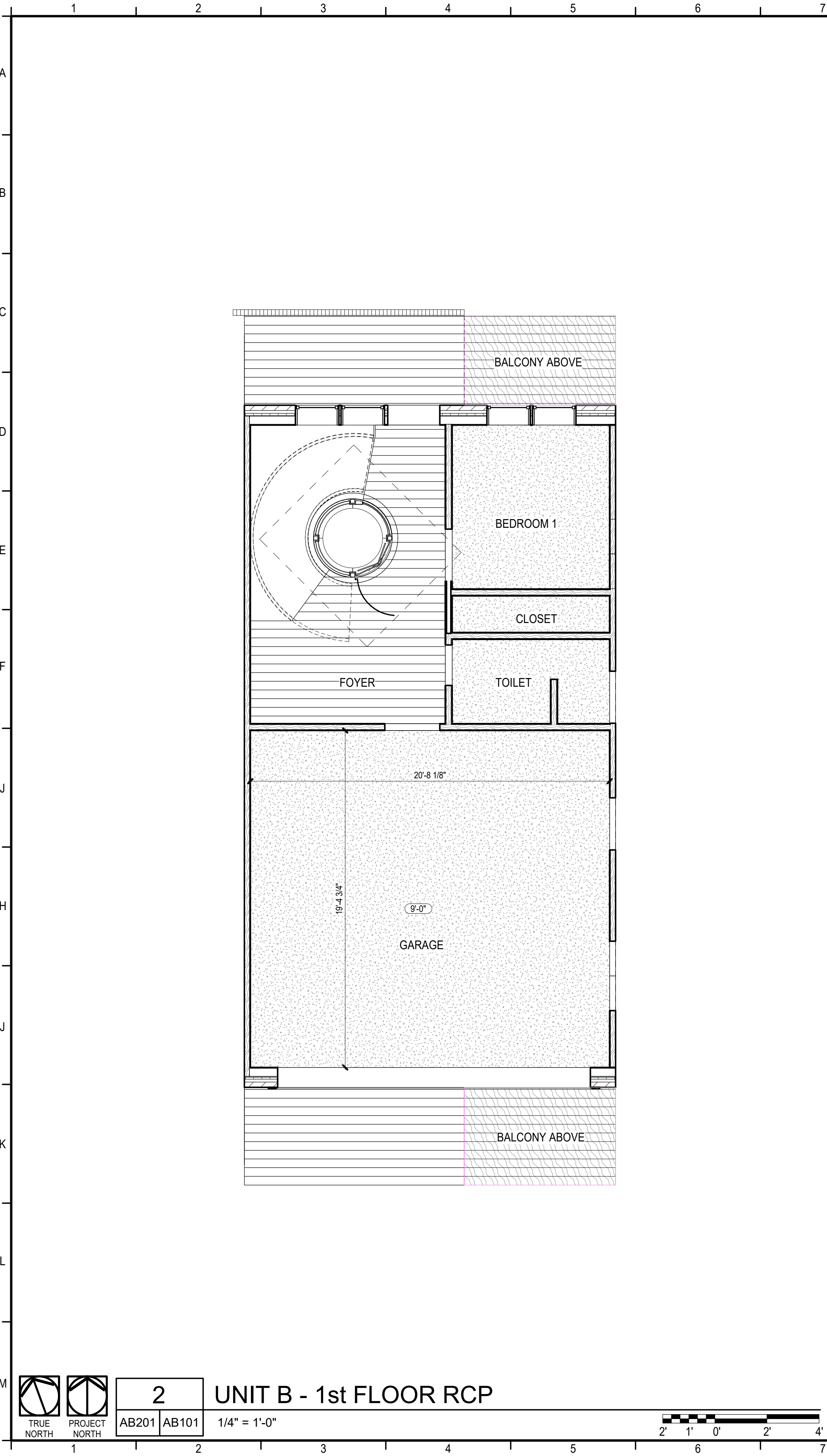
**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT B COVER SHEET

SHEET NUMBER:  
**GB001**

DESIGN DEVELOPMENT





## KEYNOTES

## LEGEND

|     |  |
|-----|--|
|     | CAST-IN-PLACE CONCRETE WALL  |
|     | CONCRETE MASONRY UNIT WALL; SEE WALL TYPE                              |
|     | METAL STUD WALL; SEE WALL TYPE   |
| DF  | DRINKING FOUNTAIN, SEE PLUMBING DRAWINGS                               |
| H2O | WATER COOLER (NIC) SEE ENGINEERING DRAWING FOR UTILITY CONECTIONS      |
|     | EXISTING CONSTRUCTION  |
|     | NEW METAL STUD FRAMING; SEE WALL TYPES OR DETAILS FOR MORE INFORMATION |

## GENERAL NOTES

- REFER TO WALL TYPE SHEET FOR MORE INFORMATION
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
- COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
- SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
- ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                       |                            |
|-----------------------|----------------------------|
| PROJECT TEAM:         |                            |
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LYD ENGINEERING, INC.      |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

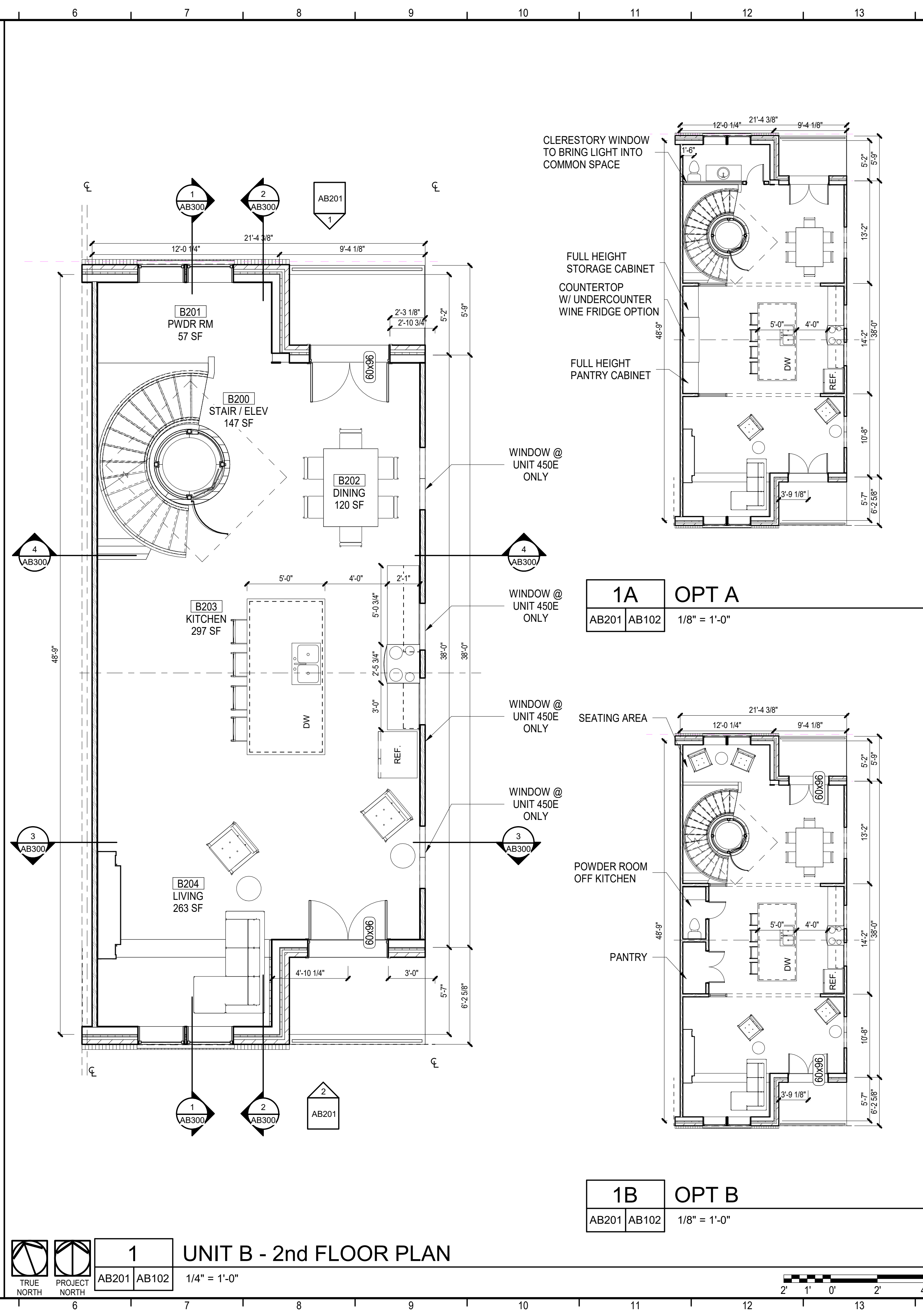
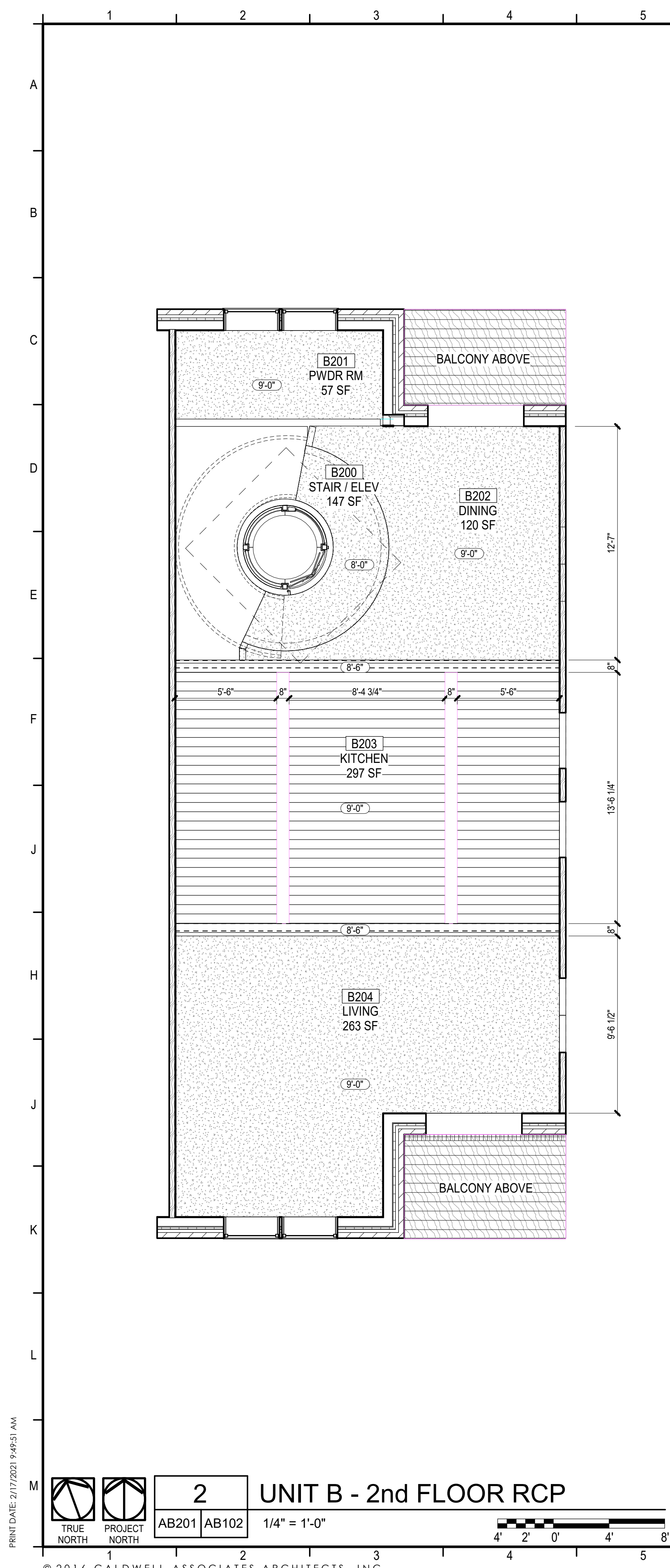
**150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT B - 1st FLOOR &  
REFLECTED CEILING PLANS

SHEET NUMBER:  
**AB101**  
DESIGN DEVELOPMENT





## KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 325  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: IB000009

PROJECT ISSUES:

|                    |          |
|--------------------|----------|
| CONCEPT PLANS      | 06.19.20 |
| SCHEMATIC DESIGN   | 07.14.20 |
| SCHEMATIC DESIGN 2 | 08.19.20 |
| SCHEMATIC DESIGN 3 | 08.28.20 |
| SCHEMATIC DESIGN 4 | 09.11.20 |
| SCHEMATIC DESIGN 5 | 02.03.21 |
| DESIGN DEVELOPMENT | 02.17.21 |

PROJECT TEAM:

CIVIL  
REBEL BATTLE & ASSOCIATES  
STRUCTURAL  
LBYD ARCHITECTS, INC.  
ARCHITECTURAL  
CALDWELL ASSOC. ARCHITECTS  
FIRE PROTECTION  
W3 ENGINEERING  
PLUMBING, MECHANICAL  
W3 ENGINEERING  
ELECTRICAL  
W3 ENGINEERING  
LANDSCAPE  
TBD  
MOISTURE CONSULTANT  
TBD  
ACOUSTICAL CONSULTANT  
TBD  
POOL CONSULTANT  
TBD

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

## GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET, U.N.O. REFER TO FINISH SCHEDULE

PROJECT NO. : 2002  
SHEET TITLE:

UNIT B - 2nd FLOOR &  
REFLECTED CEILING PLAN

SHEET NUMBER:

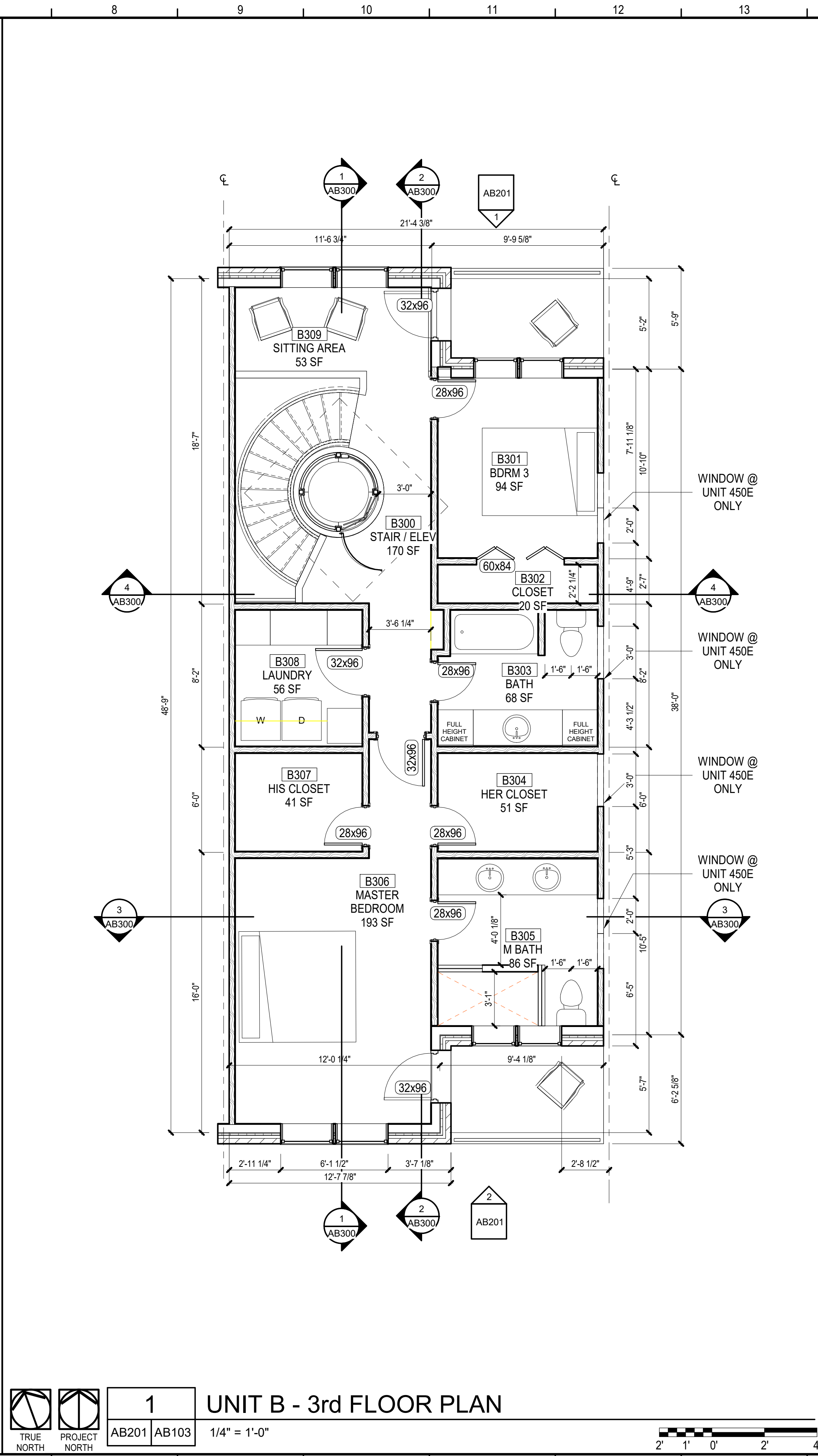
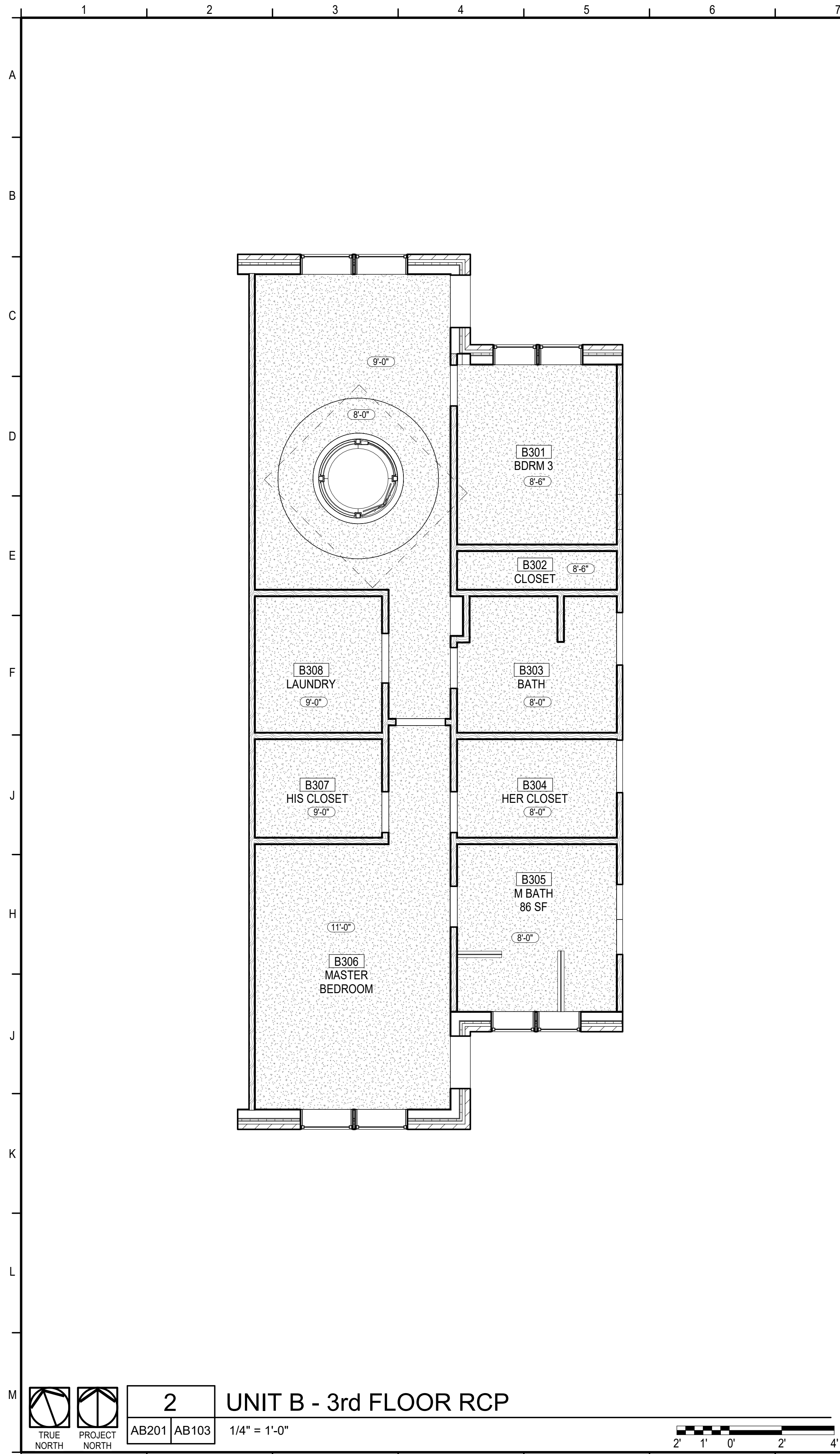
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## DESIGN DEVELOPMENT



181

PRINT DATE: 2/17/2021 9:50:09 AM



KEYNOTES

PROJECT ISSUES:

PROJECT TEAM:

PROJECT:

150 S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN & INTENDENCIA)

PRELIMINARY -  
NOT FOR  
CONSTRUCTION

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT B - 3rd FLOOR &  
REFLECTED CEILING PLANS

SHEET NUMBER:  
**AB103**

DESIGN DEVELOPMENT

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

CONCEPT PLANS 06.19.2020  
SCHEMATIC DESIGN 07.14.2020  
SCHEMATIC DESIGN 2 08.19.2020  
SCHEMATIC DESIGN 3 08.28.2020  
SCHEMATIC DESIGN 4 09.11.2020  
DESIGN DEVELOPMENT 02.03.2021

REBOL BATTLE & ASSOCIATES  
LYBD ENGINEERING, INC.  
Caldwell Assoc. Architects  
W3 ENGINEERING  
W3 ENGINEERING  
W3 ENGINEERING  
TBD  
TBD  
TBD  
TBD

20021  
UNIT B - 3rd FLOOR &  
REFLECTED CEILING PLANS

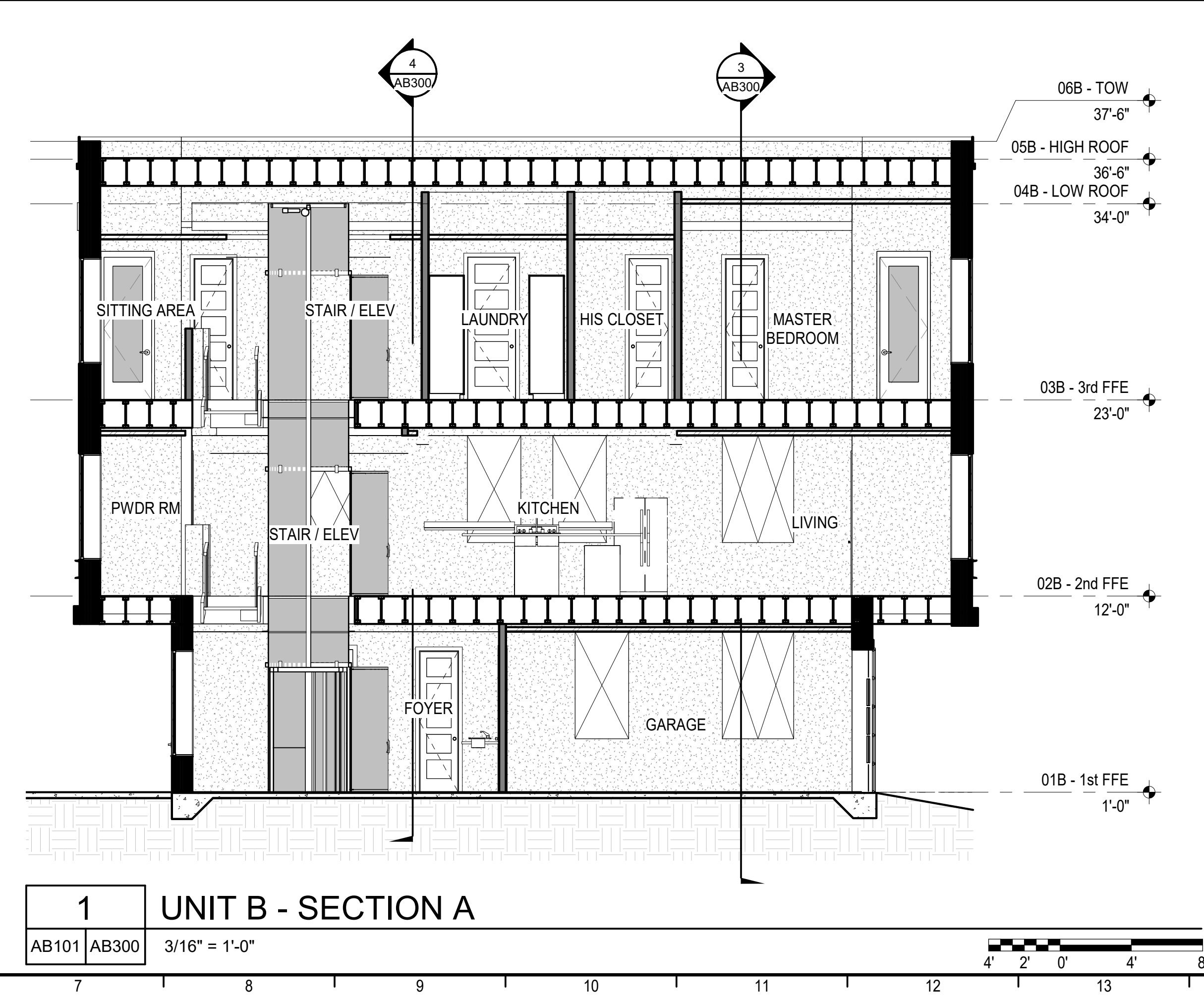
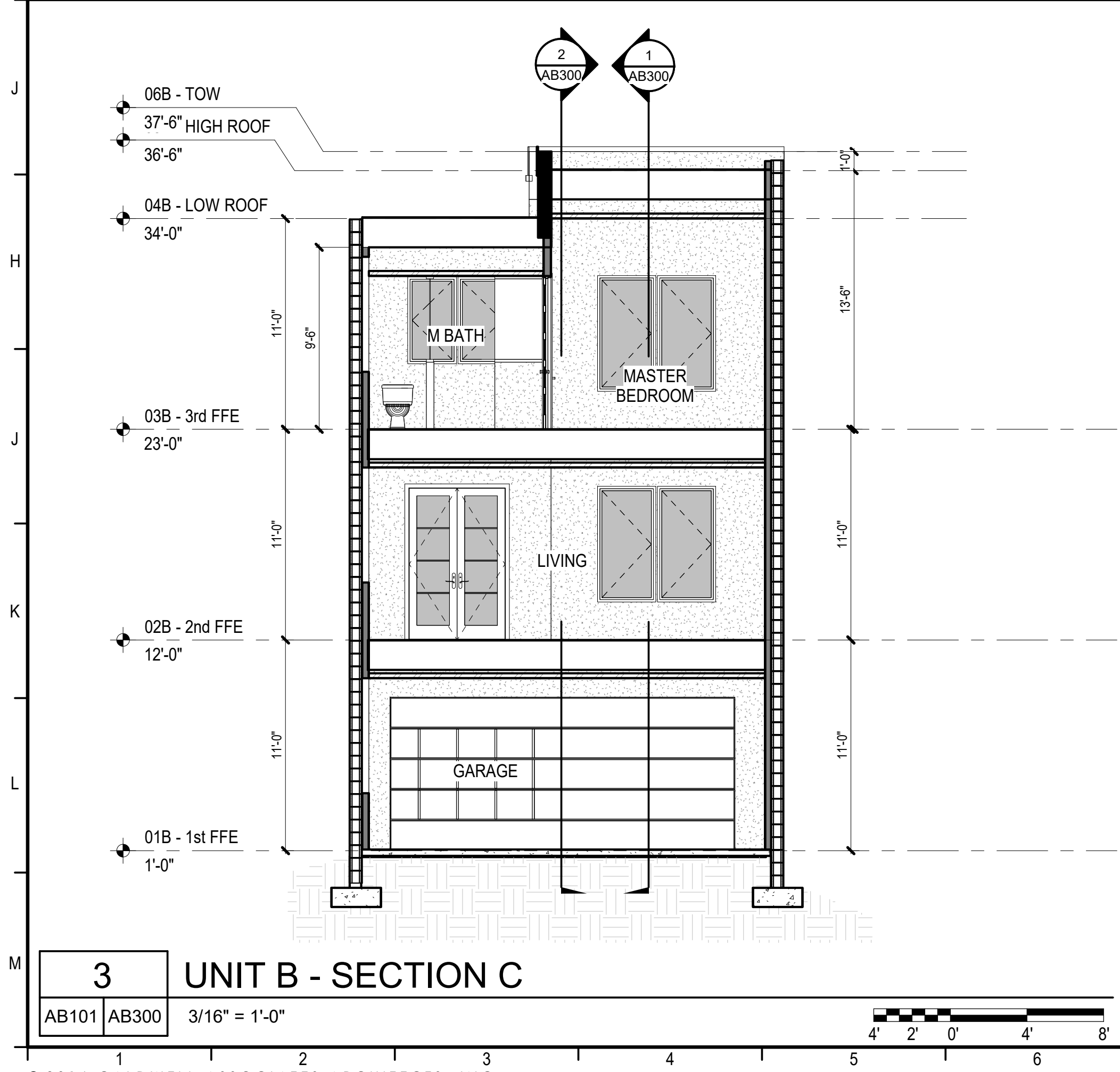
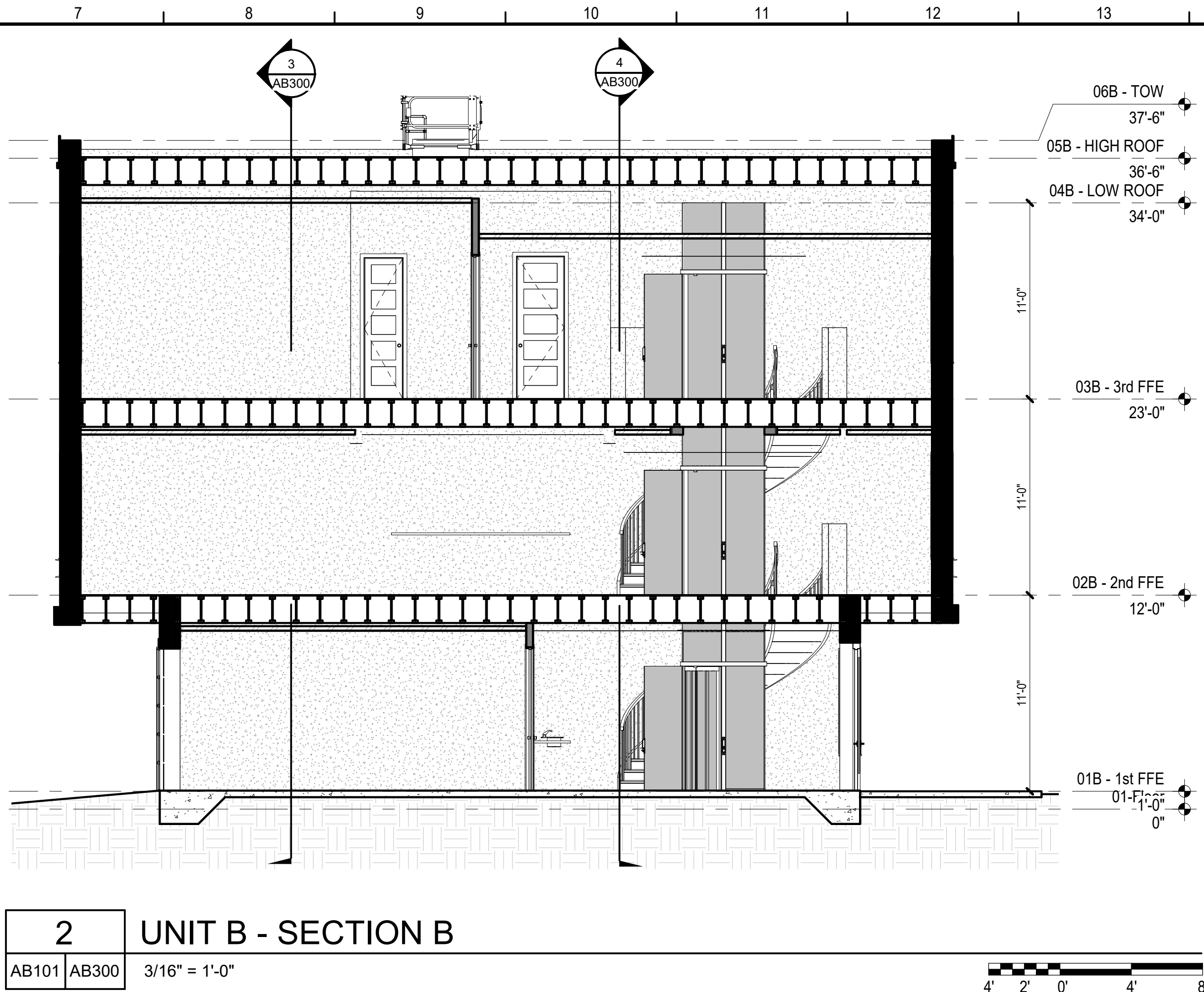
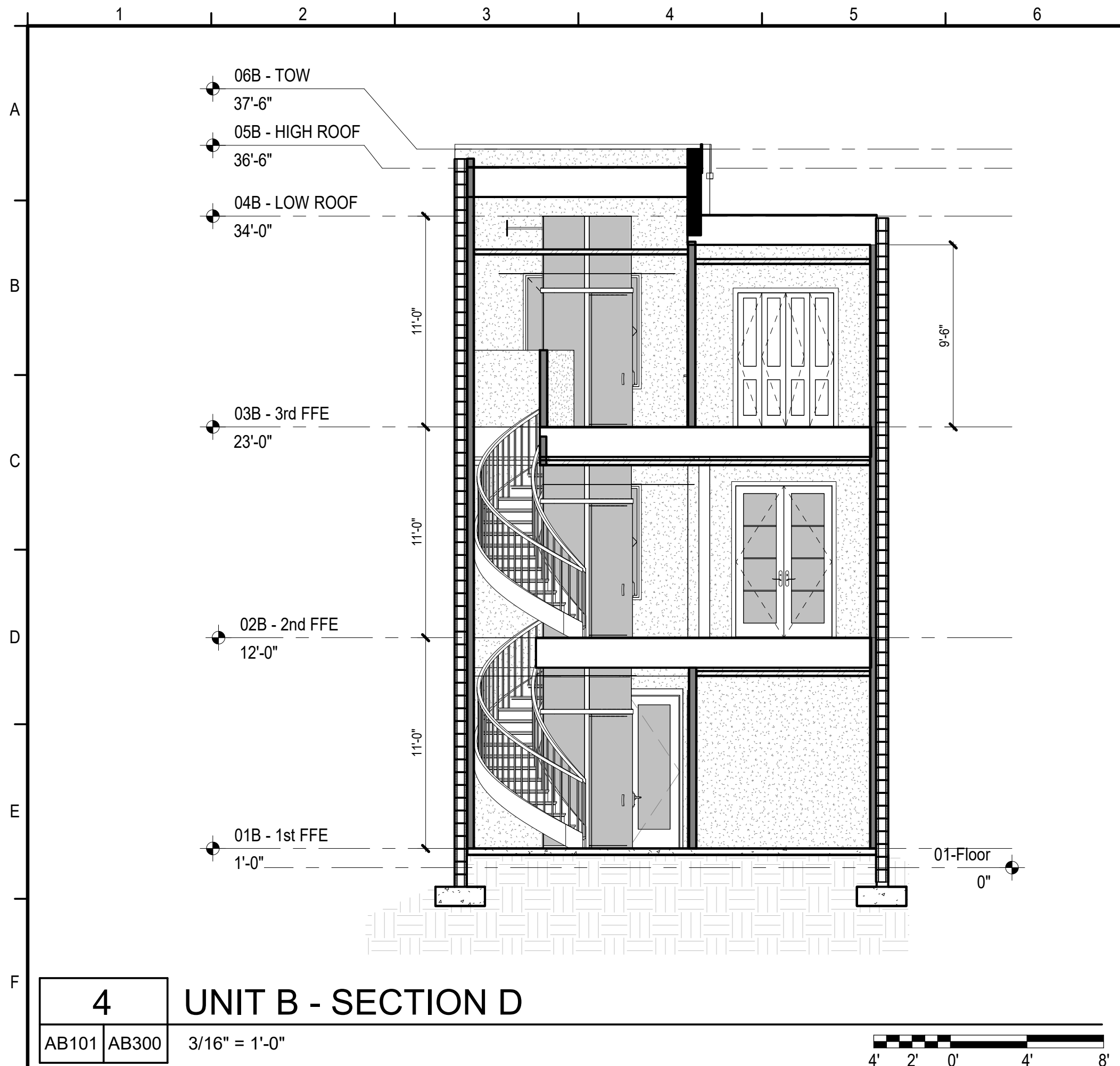
**AB103**

DESIGN DEVELOPMENT









## KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

**PROJECT ISSUES:**

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
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| DESIGN DEVELOPMENT | 02.17.2021 |

**PROJECT TEAM:**

**CIVIL**  
REBOL BATTLE & ASSOCIATES

**STRUCTURAL**  
LYBD ENGINEERING, INC.

**ARCHITECTURAL**  
CALDWELL ASSOC. ARCHITECTS

**FIRE PROTECTION**  
W3 ENGINEERING

**PLUMBING, MECHANICAL**  
W3 ENGINEERING

**ELECTRICAL**  
W3 ENGINEERING

**LANDSCAPE**  
TBD

**MOISTURE CONSULTANT**  
TBD

**ACOUSTICAL CONSULTANT**  
TBD

**POOL CONSULTANT**  
TBD

**PROJECT:**  
**RED FEATHER**  
**TOWNHOUSES**

**150 S BAYLEN STREET**  
**PENSACOLA, FLORIDA**  
**(BAYLEN & INTENDENCIA)**

## GENERAL NOTES

1. REFER TO ALL OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL INFORMATION.

**PRELIMINARY -**  
**NOT FOR**  
**CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT B - BUILDING SECTIONS

SHEET NUMBER:

**AB300**

**DESIGN DEVELOPMENT**

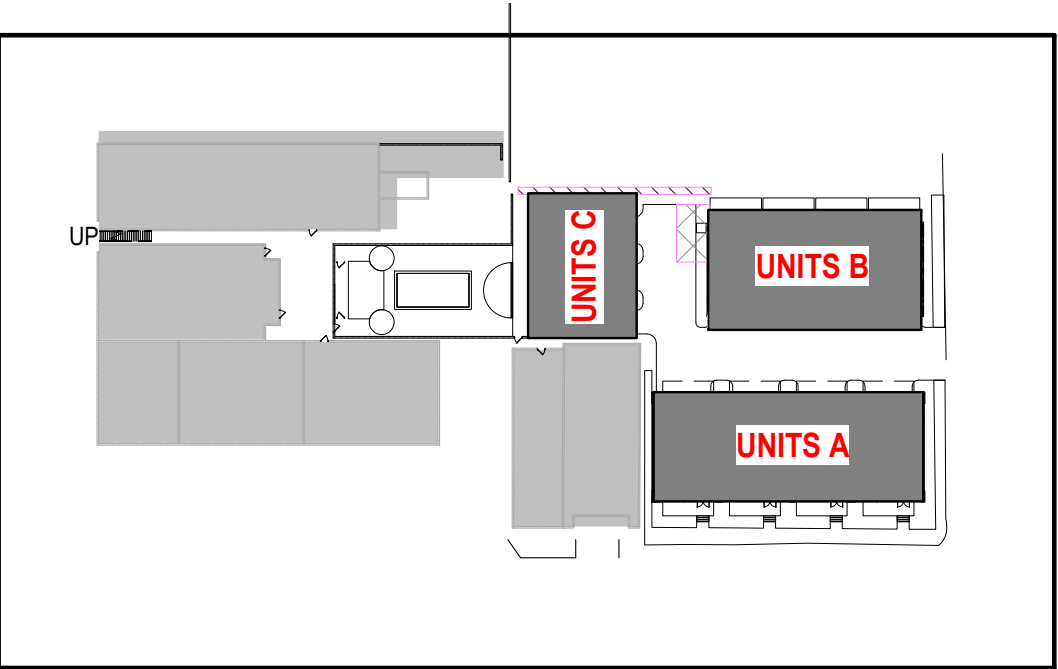


# BAYLEN STREET TOWNHOUSES

## UNIT TYPE C



**3 BEDROOM / 3 1/2 BATH**  
**1,793 SF - CONDITIONED SPACE**  
**105 SF - BALCONIES**  
**236 SF - 1 CAR GARAGE**  
**2,134 SF TOTAL**



CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

| PROJECT ISSUES:    |            |
|--------------------|------------|
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| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

| PROJECT TEAM:                |                            |
|------------------------------|----------------------------|
| <u>CIVIL</u>                 | REBOL BATTLE & ASSOCIATES  |
| <u>STRUCTURAL</u>            | LBVD ENGINEERING, INC.     |
| <u>ARCHITECTURAL</u>         | CALDWELL ASSOC. ARCHITECTS |
| <u>FIRE PROTECTION</u>       | W3 ENGINEERING             |
| <u>PLUMBING, MECHANICAL</u>  | W3 ENGINEERING             |
| <u>ELECTRICAL</u>            | W3 ENGINEERING             |
| <u>LANDSCAPE</u>             | TBD                        |
| <u>MOISTURE CONSULTANT</u>   | TBD                        |
| <u>ACOUSTICAL CONSULTANT</u> | TBD                        |
| <u>POOL CONSULTANT</u>       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

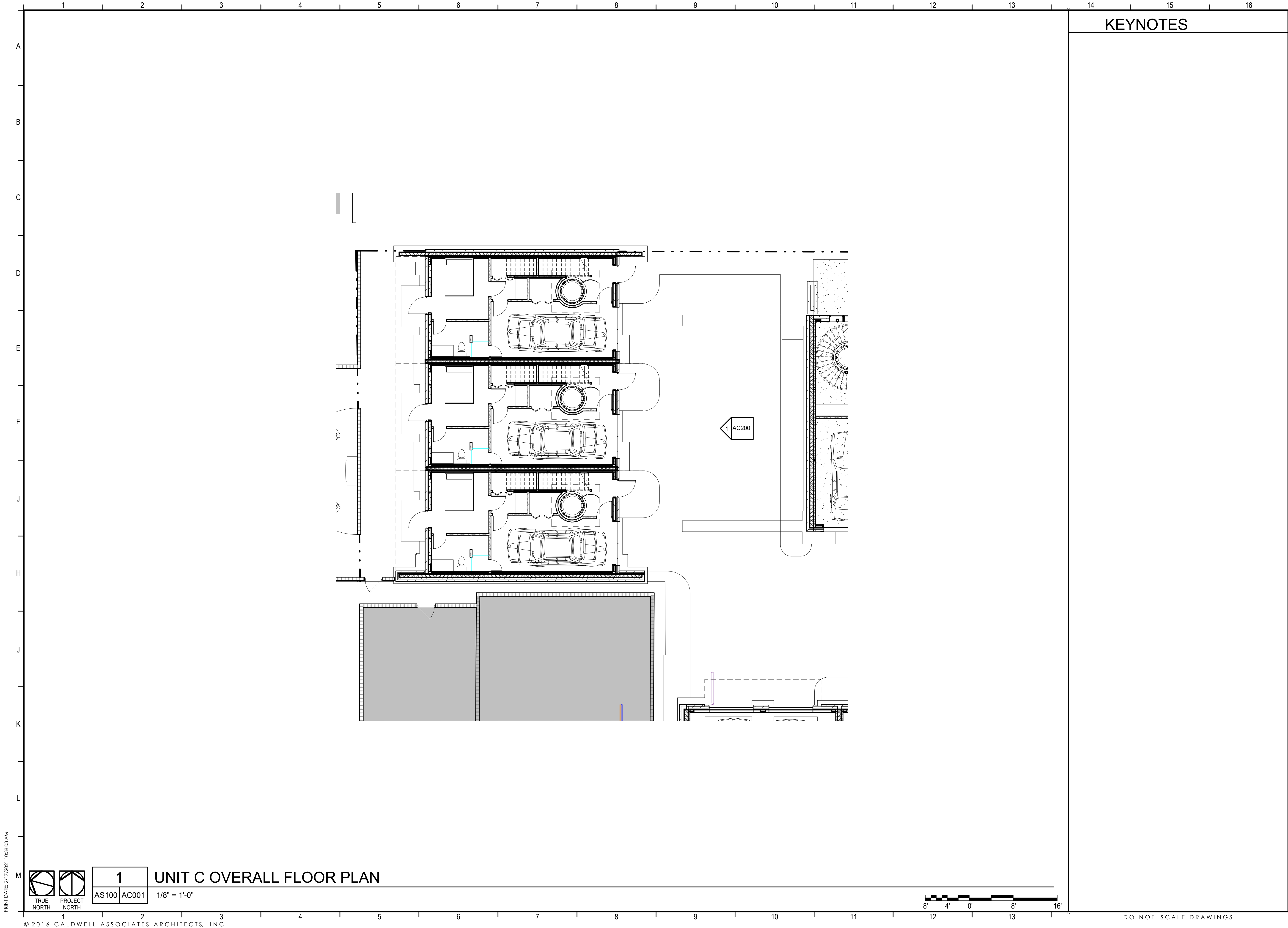
**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT C COVER SHEET

SHEET NUMBER:  
**GC001**

DESIGN DEVELOPMENT





KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

|                       |                            |
|-----------------------|----------------------------|
| PROJECT TEAM:         |                            |
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LYD ENGINEERING, INC.      |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
**RED FEATHER  
TOWNHOUSES**

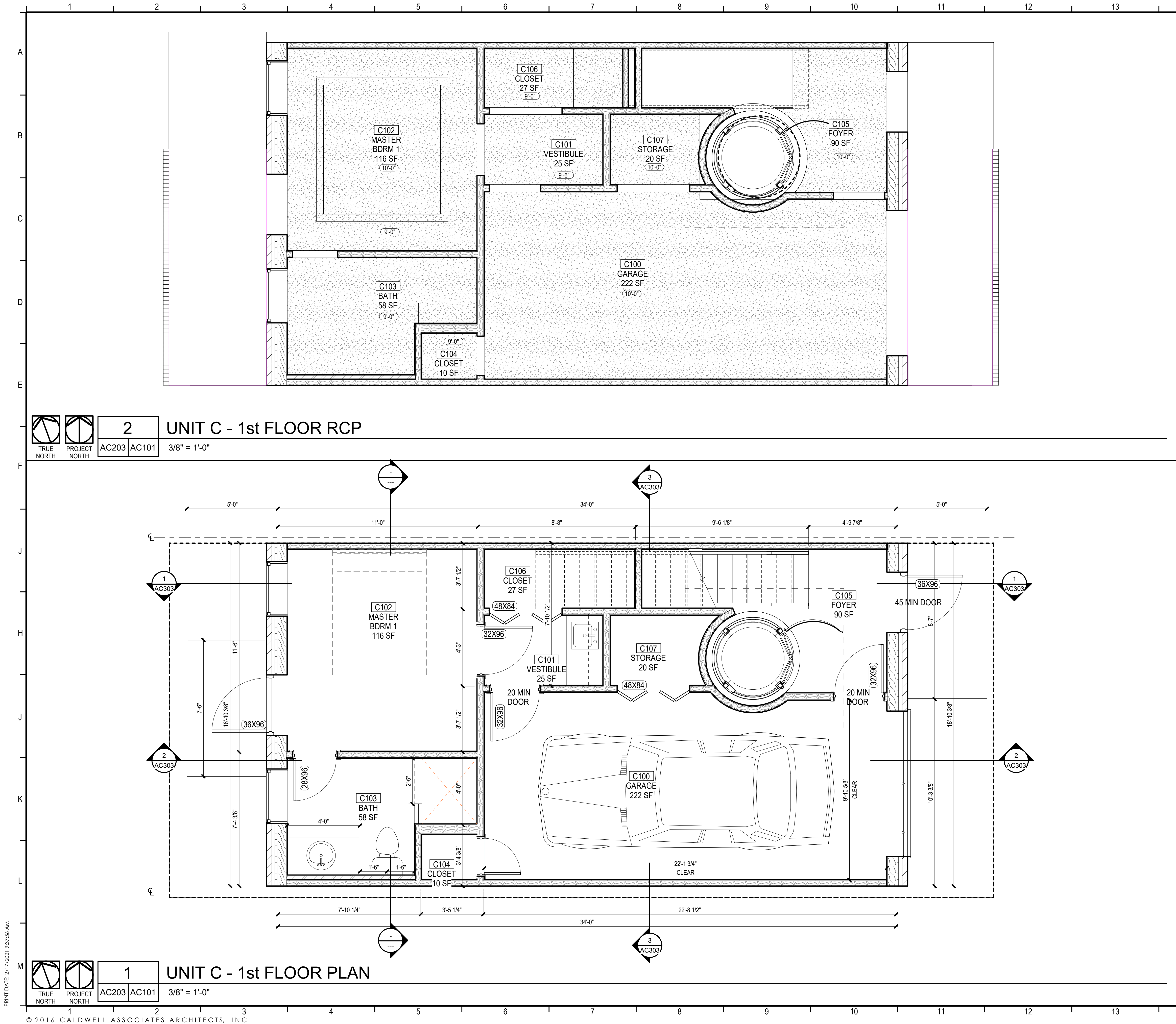
**150 S BAYLEN STREET  
(CORNER OF BAYLEN &  
INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT C OVERALL PLAN

SHEET NUMBER:  
**AC001**  
DESIGN DEVELOPMENT





KEYNOTES

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

| PROJECT ISSUES:    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

|                       |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
RED FEATHER  
TOWNHOUSES

150S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)

-PRELIMINARY -  
NOT FOR  
CONSTRUCTION

GENERAL NOTES

1. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
3. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
4. SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
5. ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

PROJECT NO. : 20021  
SHEET TITLE:

UNIT C - 1st FLOOR &  
REFLECTED CEILING PLANS

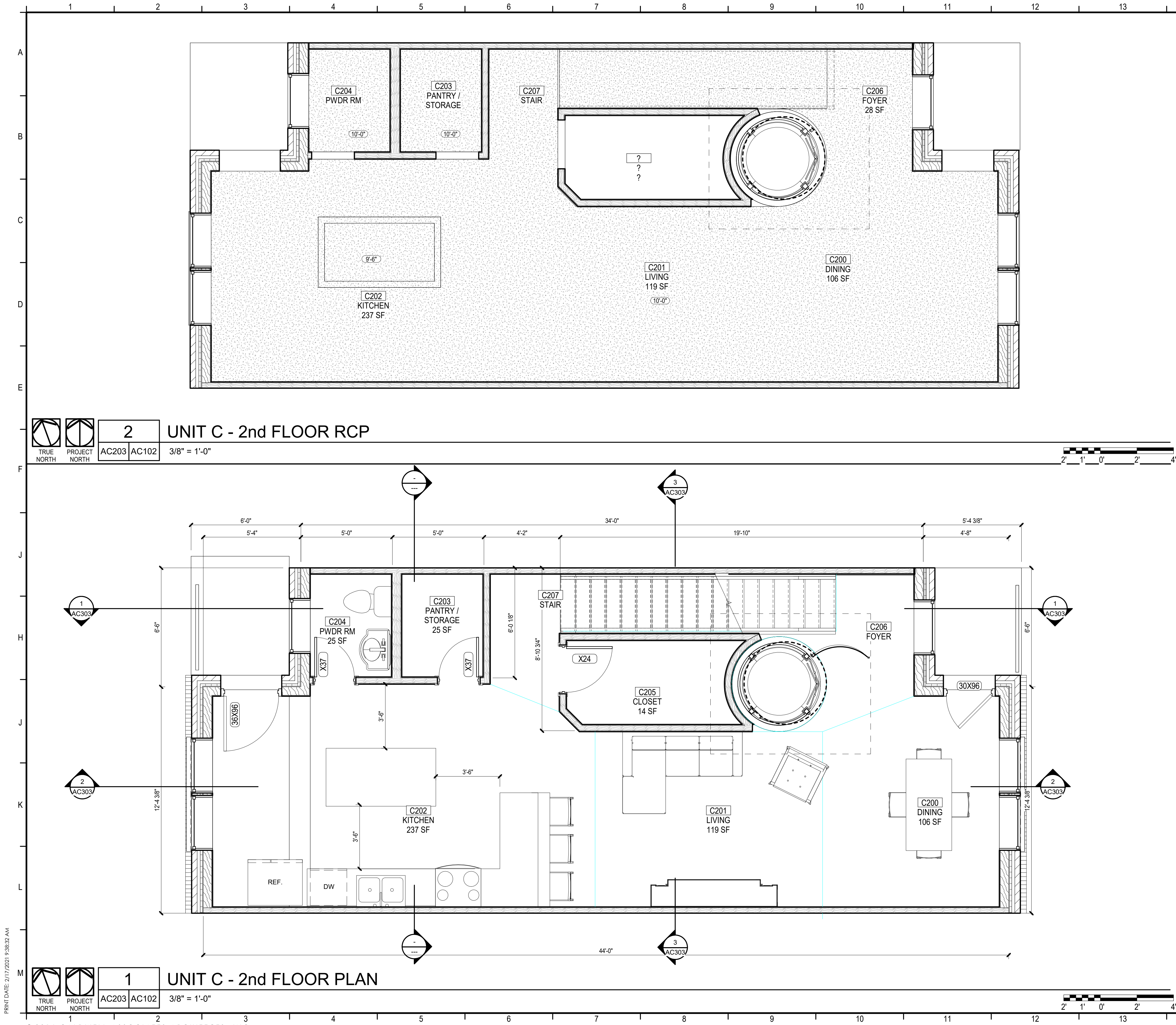
SHEET NUMBER:

AC101

DESIGN DEVELOPMENT

DO NOT SCALE DRAWINGS





KEYNOTES

- LEGEND**
- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
  - BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
  - EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
  - 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
  - CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
  - VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
  - EMERGENCY EXIT SIGN; SEE ELECTRICAL
  - SUPPLY AIR DIFFUSER; SEE MECHANICAL
  - RETURN AIR GRILLE; SEE MECHANICAL
  - LOUD SPEAKER; SEE AUDIO-VISUAL
  - WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
- COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
- PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET, U.N.O., REFER TO FINISH SCHEDULE

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

| PROJECT ISSUES:    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
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| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

- CIVIL**  
REBOL BATTLE & ASSOCIATES
- STRUCTURAL**  
LBYD ENGINEERING, INC.
- ARCHITECTURAL**  
CALDWELL ASSOC. ARCHITECTS
- FIRE PROTECTION**  
W3 ENGINEERING
- PLUMBING, MECHANICAL**  
W3 ENGINEERING
- ELECTRICAL**  
W3 ENGINEERING
- LANDSCAPE**  
TBD
- MOISTURE CONSULTANT**  
TBD
- ACOUSTICAL CONSULTANT**  
TBD
- POOL CONSULTANT**  
TBD

PROJECT:  
**RED FEATHER TOWNHOUSES**

**150S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN & INTENDENCIA)**

**-PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

PROJECT NO. : 20021  
SHEET TITLE:

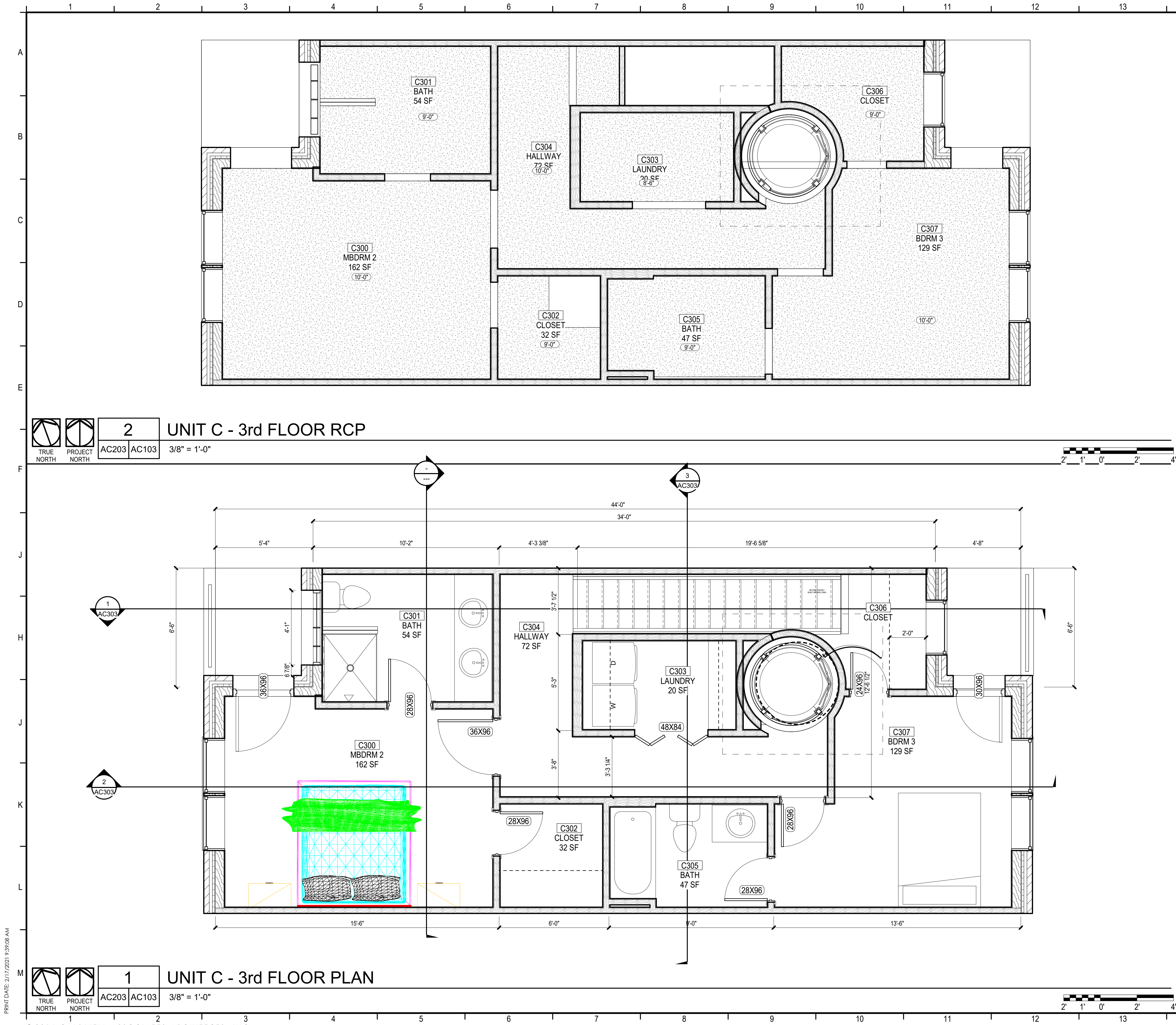
UNIT C - 2nd FLOOR &  
REFLECTED CEILING PLANS

SHEET NUMBER:

**AC102**

DESIGN DEVELOPMENT





KEYNOTES

- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
- BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
- EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
- VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
- EMERGENCY EXIT SIGN; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL
- LOUD SPEAKER; SEE AUDIO-VISUAL
- WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
- COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
- PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET, U.N.O., REFER TO FINISH SCHEDULE

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
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| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

|                       |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:

RED FEATHER TOWNHOUSES

150S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN & INTENDENCIA)

-PRELIMINARY -  
NOT FOR  
CONSTRUCTION

PROJECT NO. : 20021  
SHEET TITLE:

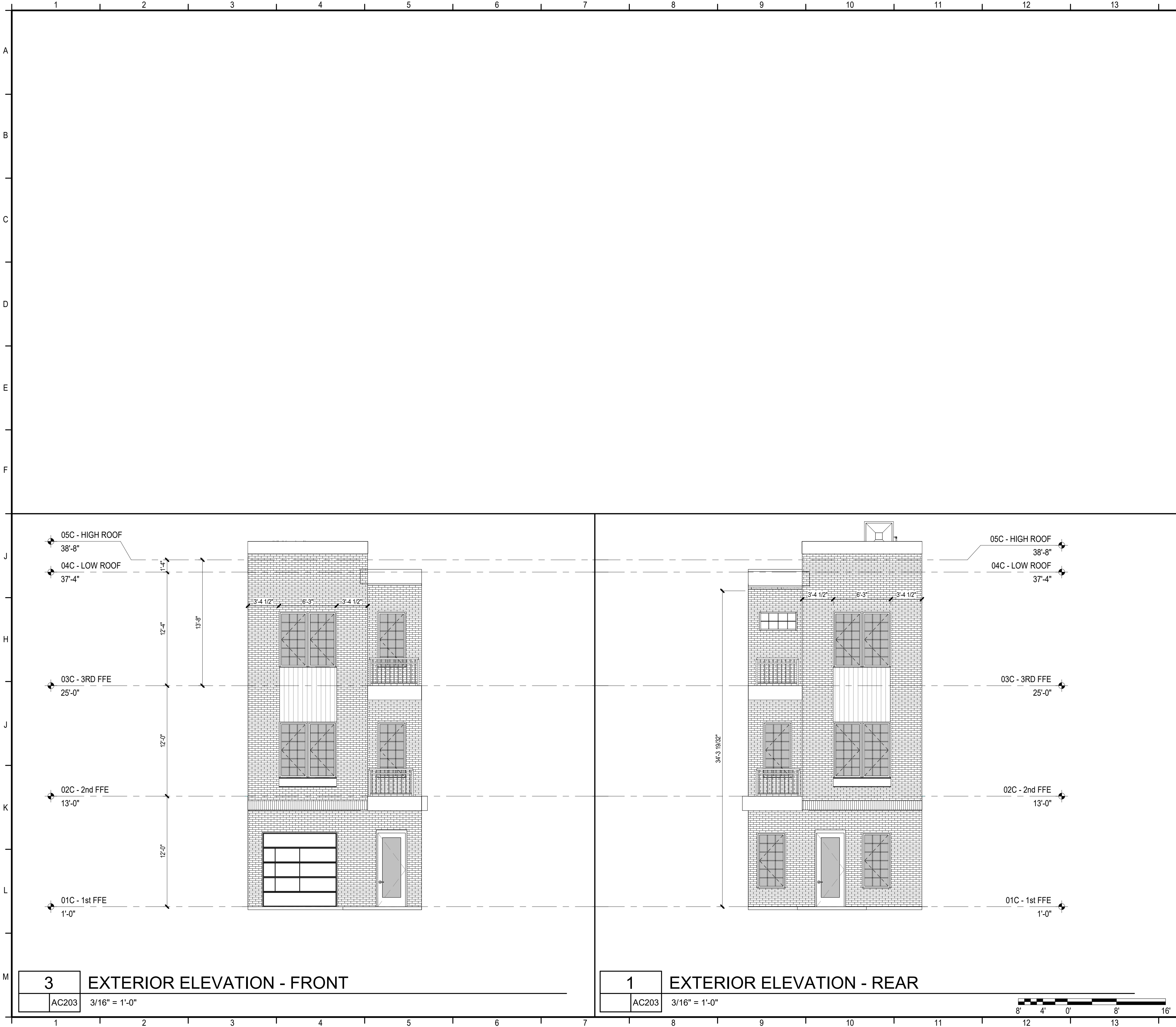
UNIT C - 3rd FLOOR &  
REFLECTED CEILING PLANS

SHEET NUMBER:

AC103

DESIGN DEVELOPMENT





KEYNOTES

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

|                    |            |
|--------------------|------------|
| PROJECT ISSUES:    |            |
| CONCEPT PLANS      | 06.19.2020 |
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| SCHEMATIC DESIGN 2 | 08.19.2020 |
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| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

|                       |                            |
|-----------------------|----------------------------|
| CIVIL                 | REBOL BATTLE & ASSOCIATES  |
| STRUCTURAL            | LBVD ENGINEERING, INC.     |
| ARCHITECTURAL         | CALDWELL ASSOC. ARCHITECTS |
| FIRE PROTECTION       | W3 ENGINEERING             |
| PLUMBING, MECHANICAL  | W3 ENGINEERING             |
| ELECTRICAL            | W3 ENGINEERING             |
| LANDSCAPE             | TBD                        |
| MOISTURE CONSULTANT   | TBD                        |
| ACOUSTICAL CONSULTANT | TBD                        |
| POOL CONSULTANT       | TBD                        |

PROJECT:  
RED FEATHER  
TOWNHOUSES

150S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)

-PRELIMINARY -  
NOT FOR  
CONSTRUCTION

GENERAL NOTES

- COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
- ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
- SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
- SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

PROJECT NO. : 20021  
SHEET TITLE:

UNIT C - EXTERIOR  
ELEVATIONS - TYPICAL UNIT

SHEET NUMBER:

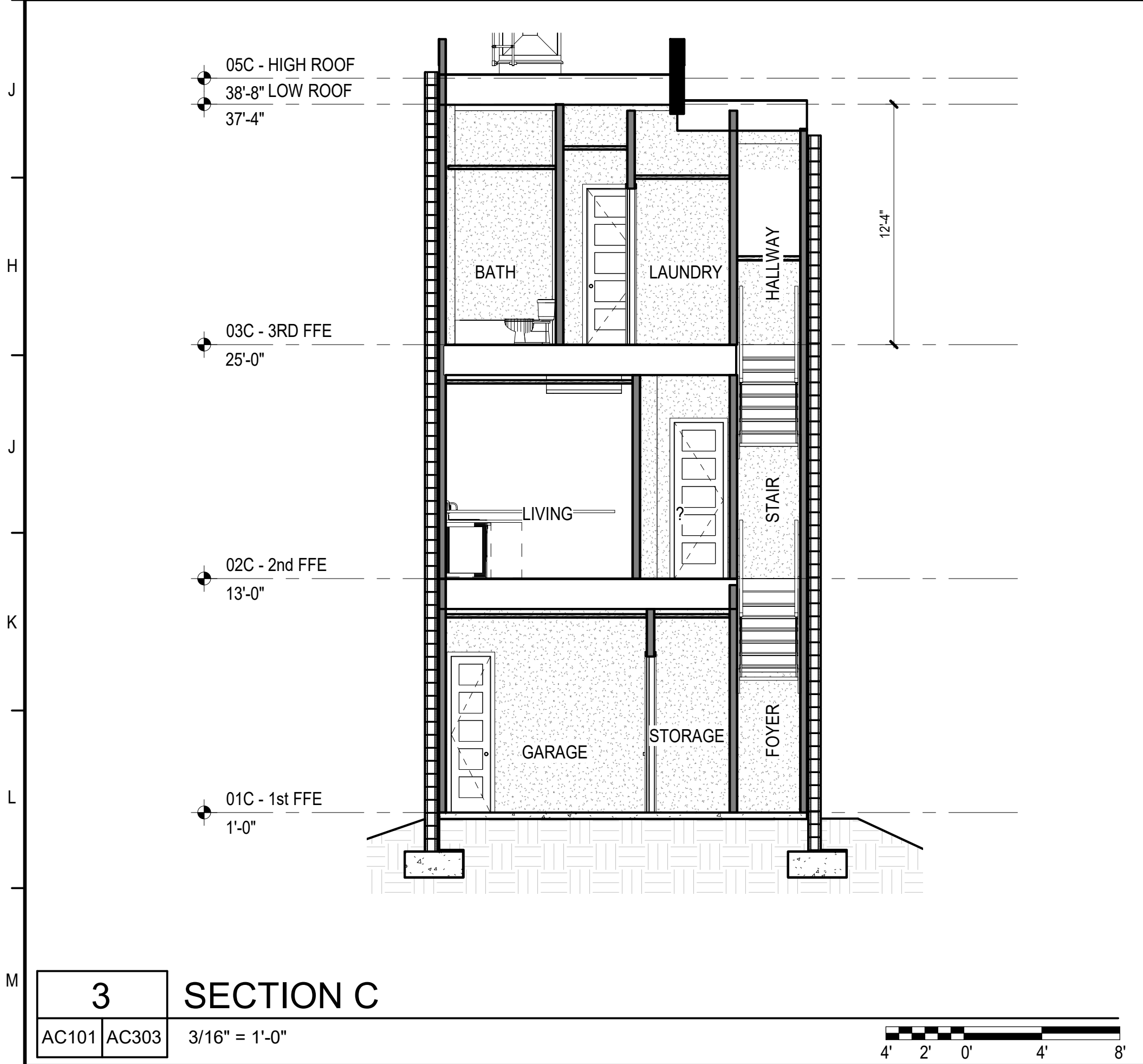
AC203

DESIGN DEVELOPMENT

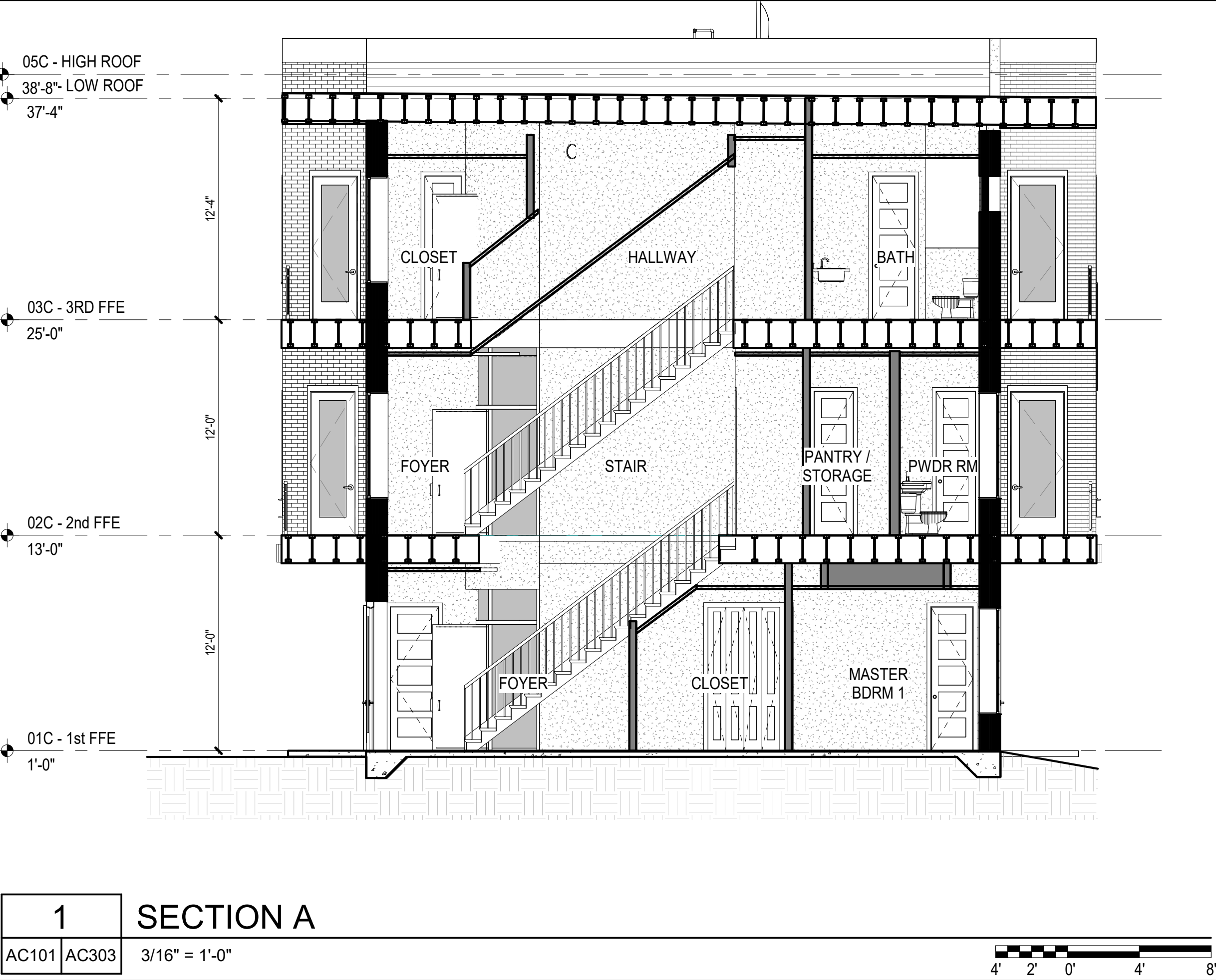
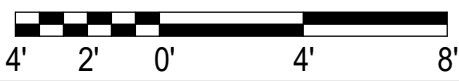




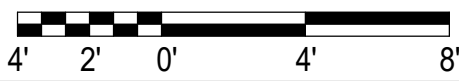
2 SECTION B  
AC101 AC303 3/16" = 1'-0"



3 SECTION C  
AC101 AC303 3/16" = 1'-0"



1 SECTION A  
AC101 AC303 3/16" = 1'-0"



KEYNOTES

- GENERAL NOTES
1. STEEL STRUCTURE, INCLUDING BEAMS, TRUSSES, BAR JOISTS, BRACING, COLUMNS AND METAL DECKING SHALL BE PAINTED WHERE EXPOSED WITH EXCEPTIONS TO AREAS WHERE TENANT BUILDOUTS HAVE NOT YET BEEN CONSTRUCTED.
  2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO FINAL ROOFING INSTALLATION
  3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.
  4. ROOFING SURFACES SHALL MEET FLORIDA BUILDING ENERGY CODE FOR REFLECTANCE REQUIREMENTS
  5. CONTRACTOR SHALL FOLLOW SMACNA STANDARDS FOR ALL ROOF TOP PENETRATIONS.
  6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON WIND FACTORS AND PRESSURES TO DESIGN THE ROOF SYSTEM AND COMPONENTS.
  7. SUBMIT PRODUCTS THAT MEET OR EXCEED WIND PRESSURES AS STATED ON STRUCTURAL DRAWINGS.
  8. ALL FASTENERS AND FLASHING COMPONENTS SHALL MATCH ADJACENT ROOF PANEL COLORS.

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: 180000995

PROJECT ISSUES:

|                    |            |
|--------------------|------------|
| CONCEPT PLANS      | 06.19.2020 |
| SCHEMATIC DESIGN   | 07.14.2020 |
| SCHEMATIC DESIGN 2 | 08.19.2020 |
| SCHEMATIC DESIGN 3 | 08.28.2020 |
| SCHEMATIC DESIGN 4 | 09.11.2020 |
| SCHEMATIC DESIGN 5 | 02.03.2021 |
| DESIGN DEVELOPMENT | 02.17.2021 |

PROJECT TEAM:

CIVIL  
REBOL BATTLE & ASSOCIATES

STRUCTURAL  
LBYD ENGINEERING, INC.

ARCHITECTURAL  
CALDWELL ASSOC. ARCHITECTS

FIRE PROTECTION  
W3 ENGINEERING

PLUMBING, MECHANICAL  
W3 ENGINEERING

ELECTRICAL  
W3 ENGINEERING

LANDSCAPE  
TBD

MOISTURE CONSULTANT  
TBD

ACOUSTICAL CONSULTANT  
TBD

POOL CONSULTANT  
TBD

PROJECT:  
RED FEATHER  
TOWNHOUSES

150S BAYLEN STREET  
PENSACOLA, FLORIDA  
(BAYLEN &  
INTENDENCIA)

-PRELIMINARY -  
NOT FOR  
CONSTRUCTION

PROJECT NO. : 20021  
SHEET TITLE:  
UNIT C - BUILDING SECTIONS

SHEET NUMBER:  
**AC303**  
DESIGN DEVELOPMENT