



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, June 17, 2021, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Members of the public may attend the meeting in person; however, there will be limited seating capacity. Consistent with CDC guidelines, attendees are recommended to sit at least 6 feet apart and to wear face coverings that cover their nose and mouth.

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [21-00507](#) MEETING MINUTES FROM MAY 20, 2021

Attachments: [05-20-21 ARB minutes.pdf](#)

OPEN FORUM

NEW BUSINESS

2. [21-00504](#) 23 W. BRAINERD STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA
ACCESSORY STRUCTURE (STORAGE SHED) BEHIND A
CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet_REVISED 6.10.2021.pdf](#)

3. [21-00521](#) 700 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2
CONCEPTUAL APPROVAL FOR NEW CONSTRUCTION

Attachments: [Images](#)
[Application Packet 6.5.2021](#)
[6.11.2021 Email Response.pdf](#)

4. [21-00522](#) 710 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-2
FINAL APPROVAL FOR NEW CONSTRUCTION
- Attachments:* [Images](#)
[Application Packet 6.5.2021](#)
5. [21-00520](#) 403 N. ALCANIZ STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
FINAL APPROVAL OF NEW CONSTRUCTION
- Attachments:* [403 N. Alcaniz Street Images.pdf](#)
[Application Packet REVISED 6.11.2021](#)
6. [21-00512](#) 211 W. CERVANTES STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PC-1
RESTORATION AND RENOVATIONS AT A CONTRIBUTING
STRUCTURE
- Attachments:* [Florida Master Site File](#)
[Images](#)
[Application Packet REVISED 6.10.2021.pdf](#)
[Ramp Drawings 6.16.2021.pdf](#)
7. [21-00505](#) 70 N. BAYLEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
GENERATOR, SCREENING, AND HARDSCAPE AT A CONTRIBUTING
STRUCTURE
- Attachments:* [Images](#)
[Application Packet REVISED 6.10.2021.pdf](#)
8. [21-00519](#) 400 BLK CEVALLOS STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
CONCEPTUAL AESTHETIC REVIEW FOR NEW CONSTRUCTION
- Attachments:* [Images](#)
[Application Packet REVISED 6.8.2021.pdf](#)
[2017 Conceptual Review Packet](#)
[9-21-17 ARB Minutes](#)

9. [21-00506](#) 200 S. ALCANIZ STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
VARIANCE FOR AN INCREASE TO ALLOWED SIGNAGE SIZE AT A
CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Variance Application Packet 6.3.2021](#)
10. [21-00511](#) 200 S. ALCANIZ STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
SIGNAGE AT A CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet 6.3.2021](#)
11. [21-00524](#) ARB RESOLUTION ON THE REVIEW OF SOLAR ENERGY SYSTEMS
- Attachments: [ARB Solar Energy Systems Policy.pdf](#)
 [05-20-21 ARB minutes.pdf](#)
12. [21-00523](#) UWF HISTORIC TRUST RECOMMENDATION TO ADOPT
RESOLUTION ON ALTERNATIVE BUILDING MATERIALS
- Attachments: [ARB Materials Policy Recommendations Update 5.28.2021 Final D](#)
 [ARB-Rules-and-Procedures-42016.pdf](#)

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00507

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

Meeting Minutes from May 20, 2021



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

May 20, 2021

MEMBERS PRESENT: Chairperson Salter, Vice Chairperson Mead, Board Member Fogarty, Board Member Ramos, Board Member Spencer, Board Member Villegas, Board Member Yee

MEMBERS ABSENT: None

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Assistant City Attorney Lindsay, Help Desk Technician Russo

STAFF VIRTUAL: Assistant Planning Director Cannon, Advisor Pristera

OTHERS PRESENT: Nick Pica, Mallory Gillette, Andy Thoms, Jarret Breslford, Shawn Marlow, Dana & Teddy McBride, Hastings & Anne Read, Ivo Alcala, Jeff Paul

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:05 p.m.

APPROVAL OF MINUTES

Historic Preservation Planner Harding reminded the Board of Form 8B for recusal; he explained it is common practice that any time someone recuses, it will be announced the reason for that recusal during the Board meeting; the form would then be uploaded to the back of the meeting minutes. Board Member Mead then made a motion to approve the April 15, 2021 minutes, seconded by Board Member Ramos, and it carried unanimously.

OPEN FORUM - None

NEW BUSINESS

Item 2

903 N. Barcelona Street

NHPD

Contributing Structure

PR-2

Action taken: Approved with Mobile Green Shutters – abbreviated review if not.

Erik and Lesa Gibson are requesting approval for new windows and shutters at a contributing structure.

Hastings Read presented to the Board and explained his company manufactured historically accurate door, shutters, and windows, and they tried to keep the historical elements on each elevation. He noted their shutters were historically accurate with holdbacks and hinges, and their

wood shutters were made of tropical hardwood and very durable for this climate; he provided an example for the Board's review. Chairperson Salter addressed the first-floor corner room facing the east and south elevations and asked about the decorative and non-decorative windows and change in the mullion pattern. Mr. Read explained the decorative windows pertained to the front of the house, and it made no sense to not have the decorative element; the south side was a porch; putting a 1 over 1 on the east elevation would ruin the whole effect. He explained their opinion was based on what felt right from the ground view. Board Member Spencer was satisfied with the applicant's response. Board Member Villegas asked for clarification of the shutter color, and Mr. Reed indicated "Mobile Green" (dark green) had been recommended.

Board Member Mead made a motion to approve, seconded by Board Member Yee. Board Member Villegas suggested an amendment to clarify the color as Mobile Green and that it be included in the submission. Chairperson Salter agreed because there was no sample of the final color, it should be submitted through an abbreviated review; it was accepted. It was noted North Hill had no objection to the project. Board Member Ramos explained the shutter example was in Mobile Green and asked to amend if they returned with any other color than Mobile Green, it would go through an abbreviated review; it was accepted. The motion then carried unanimously.

Item 3	420 E. Zarragossa Street	PHD
Noncontributing Structure		HC-1 / Wood Cottages
and Modern Infill Structure		
Action taken: Approved.		

Mark Chastain is seeking approval for exterior repairs and renovations to a noncontributing structure. Staff explained landscaping would not be part of the presentation.

Mr. Alcala presented to the Board and stated the owners wanted to install new gutters and downspouts, and they had designed a simple box to match the existing colors and blend in with the existing features. Chairperson Salter agreed the proposed elements would blend in with the existing structure. Mr. Alcala confirmed the roof now drains into the scupper and advised the two outlets would spill into the gutter, and they would install two new downspouts on the ends of those gutters on the inside corner of the east side of the balcony and the northwest corner of the same balcony, both tucked in.

Board Member Spencer made a motion to approve, seconded by Board Member Ramos, and it carried unanimously.

Item 4	909 N. Barcelona St	NHPD
Contributing Structure		PR-1AAA
Action taken: Approved.		

Professional Electrical Service, Inc. is seeking approval to add solar panels to the roof of a contributing structure. Twenty-five (25) panels are proposed to be added to the west and east sides of primary structure's roof. Staff explained the panels were placed around the dormers, with the solar meter and utility boxes on the rear side of the house hidden from view. The State Statute language was also provided to the Board.

Mr. Marlow presented to the Board. Chairperson Salter noted North Hill had no objections to this project. Board Member Mead questioned why the ARB was reviewing if the State has been preemptive. Historic Preservation Planner Harding explained in the past, the ARB had commented on the placement of the panels, and it was required by ordinance. Board Member Mead explained the Board appeared to be functionally preempted, and the City should have some general policies to reflect the placement and take it administratively out of the hands of the Board; Assistant City Attorney Lindsay advised she would bring this to the attention of the City Attorney. Staff advised

the fence policy had been changed to allow them to be considered in an abbreviated review. Mr. Marlow advised their goal in placement of the panels was for maximum production, but they tried to keep with the integrity of the home and stay off the front. Historic Preservation Planner Harding advised these types of projects were reviewed by staff, the ARB Chairperson, and Advisor before presentation.

Board Member Mead made a motion to submit these types of items for abbreviated review; if the reviewer thought necessary, it could be forwarded the Board for review. Chairperson Salter indicated he did not want to give up jurisdiction totally but agreed an abbreviated review would be a more efficient way to proceed. Assistant City Attorney Lindsay advised the motion had been made and if it were seconded and the Board directed the City Attorney's Office to change the procedures, it would. **Chairperson Salter seconded the motion.** Assistant City Attorney Lindsay pointed out it was not on the Board's agenda to make this motion, and it was not an item noticed to the public, but the Board could proceed with it. Board Member Mead explained just because it was not on the agenda did not mean the Board could not move on it. **Chairperson Salter clarified that this was a policy the Board would like to pursue. Board Member Mead advised this was the direction to staff to write a policy for abbreviated review with referral back to the Board was his understanding of the motion. The motion carried unanimously. Board Member Mead made a motion to approve the application, seconded by Board Member Villegas, and it carried unanimously.**

Item 5	430 E. Intendencia Street	PHD
Noncontributing Structure		HR-1 / Wood Cottages

Action taken: Approved with Comments.

Professional Electrical Service, Inc. is seeking approval to add solar panels to the roof of a non-contributing structure. Forty-two (42) panels are proposed to be added to the west and east sides of the primary structure's roof.

Chairperson Salter noted there appeared to be electrical panels behind a gate and wanted confirmation that the new equipment would be located behind the existing gate, and Mr. Marlow stated they would install as close to the meter as possible.

Board Member Fogarty made a motion to approve as submitted, seconded by Board Member Mead. Chairperson Salter proposed an amendment for clarification that the equipment must be mounted behind the fence; it was accepted, and the motion carried unanimously.

Item 6	214 W. Blount Street	NHPD
Noncontributing Structure		PR-1AAA

Action taken: Approved.

Jarret Brelsford is seeking approval to paint the exterior of a brick residence. Sections of the brick exterior, including brick surrounding all windows, have been painted in the past with tan and black latex paint. The applicant is proposing to use ROMABIO which is a breathable, mineral based, and toxin-free paint made specifically for brick and masonry features. The final product also appears as a natural finish rather than leaving a glossy or shiny surface.

Mr. Brelsford presented to the Board and stated the home was the 1948 Miller A. Gilmore house. Unfortunately, over the years there were many revisions to the outside with glue, paint, and wood which should not be there, and they were looking forward to getting it cleaned up and more unified. Board Member Mead asked for a sample of the new product, and Mr. Brelsford stated the sample in the packet was Richmond White which had one application shown. Richard Ingram Painting would reglaze all the windows. Chairperson Salter stated when he read the Code 12-3-10, Section 2 (d) stated for existing buildings and new construction, the Board could review the exterior design

and appearance of the building including the front, sides, rear and roof materials, textures, and colors. This house was not considered as contributing, but under the rules for noncontributing structures, the Board was directed to consider them as examples of their own time and period. When he looked at this building, he saw textured brick, shape and form, multiple colors, red brick, and glazed brick; it seemed the brick was intentionally picked to be a contributing detail and component of the architecture of this building. The existing paint is limited to a small percentage, and he believed there were products available to remove the paint without damage to the brick; he could not support painting the brick on this house. Board Member Mead stated the brick was representative of its time, and there were innumerable examples in the surrounding area. The City was not at risk of losing that type in the overall scheme of things; a whitewash was also typical for that time period. Board Member Spencer appreciated the Chair's diligence, but because it was noncontributing, he felt comfortable in supporting the request, and it would be a great improvement. Mr. Brelsford indicated originally there were two single-car garage doors, but that location had been turned into a mother-in-law suite. Eventually, they wanted to build a detached garage with textured brick and painted the same color. Board Member Villegas felt the double coat of paint would take away from the brick texture. Mr. Brelsford agreed and stated that was the reason for choosing this type of paint which was not thick and would not fill the vertical lines of the brick.

Board Member Spencer made a motion to approve, seconded by Board Member Mead, and it carried unanimously.

Item 7

824 Belmont Street

OEHPD

Contributing Structure

OEHC-2

Action taken: Approved with abbreviated review.

Teddy McBride is requesting approval to replace damaged wood siding with fiber cement at a contributing structure. In January 2018, Mr. McBride was issued a permit to replace the wood siding on the rear of the house with Hardie board fiber cement siding. Although the permit was issued and closed, it did not receive review or approval by ARB. The applicant was seeking approval to replace the remaining wood siding (except for on the front of the house) with fiber cement siding matching the January 2018 product.

Board Member Fogarty asked if there was a precedent set by the Board, and Historic Preservation Planner Harding stated for contributing structures, fiber cement siding was not approved by the Board; there were some instances where rear additions to contributing structures were allowed since those additions were considered new construction. New construction and modern infill did not have to utilize historic materials, and fiber cement siding would be allowed. He was not aware of any full replacement within OEHPD. He advised the applicant had received a permit in January 2018, but the permitting system was not set up as it is today; before you obtain a permit, there is a GIS search, and if the property is located within a historic district, ARB approval is required before a permit is issued.

Board Member Spencer stated he had visited 434 Zarragossa which has a new owner, and the historic contributing structure was replaced with non-wood siding with ARB approval. Staff clarified that those applicants were able to prove a hardship. Board Member Spencer explained the applicant had obtained a permit in 2018 allowing them to have this expectation. Ms. McBride stated most of the rear and second floor is now Hardie siding, and they wanted each side to be completed to match. She wanted to keep the glassed-in front porch with the original wood, but they were using the wood grain Hardie to be as close to the original as possible. Board Member Mead stated since they wanted to keep the main fabric on the front porch, it seemed to him if there were any compromised materials in the area of the door, they would salvage plenty of that from other surfaces to reuse. He asked that they keep to the original fabric on the front face; he

agreed having a permit issued and being relied upon for the replacements, it would be hard now to go back, especially when you have inconsistent materials on the same face of the building. Board Member Spencer asked if there was a corner board which would be a natural termination of the wood and resume with the Hardie board. Board Member Villegas stated it was unfortunate the permit was issued, but this was in such a visible spot on the end of Old East Hill. There was a difference in quality and shading of the contributing structure; the OEHPD stated there were very few opportunities to do right by Old East Hill. Board Member Yee offered a compromise for where the Hardie was already installed on the two-story structure which appeared to be an addition and have Hardie installed on that volume only and wood maintained on the one-story. Ms. McBride stated the Hardie on the two-story was installed down to the ground. Board Member Yee stated if there was a way to install wood on the east elevation of the original structure, the two-story volume would be a logical break. Board Member Mead stated the balance of the east facing two-story appeared to be wood, and it would have been preferable to have Hardie installed at the same spacing; he preferred keeping as much of the original material as possible. Ms. McBride indicated the east side was completely rotted, and there was not enough to salvage. Board Member Ramos agreed with Board Member Yee's suggestion, but was concerned that OEHPD did not approve this application.

Advisor Pristera explained the two-story addition would be permissible for Hardie, but if it all has to be replaced, it should be with a better looking material and not suburban style Hardie. His main concern was the one-story house since historic structures have different materials which contribute to the character and story of the house. He suggested getting a better match and saving anything original on the porch if salvageable. Mr. McBride, who is also the general contractor on the project, stated they do not make the existing siding anymore, but the rough-cut siding they are attaching matches the texture of the existing siding as close as possible. He pointed out it would coordinate better with the building next door which is also Hardie. Also, access to the west side of the house was limited due to a retaining wall, and he felt mixing and matching materials degraded the structure. Board Member Yee sent an email to staff for alternative materials which would more closely match. Board Member Villegas advised the Board followed the guidelines of the Federal government and the Department of Interior, but she respected all the arguments presented; she believed the value of the historical structure was in its integrity and not in the replacements.

Chairperson Salter read the 2018 permit application which called for Hardie replacement on the two-story addition. He then read the LDC section pertaining to restoration, rehabilitation, alterations, and additions to existing contributing structures in OEHPD. His perspective on the application was that the applicant had a unique circumstance with being previously approved to replace the siding on the two-story addition, and he believed they should be able to continue that siding on the two-story. However, the front portion has a very unique profile; with sections of the structure having tremendous deterioration, there was potential for unique circumstances; a board for board replacement would not be possible. One of the distinguishing characteristics was the profile of the siding and the shadow lines it created which were found on historic structures; he did not think the product being used on the rear addition was appropriate for the historical portion of the house. He advised that the Board would have to at least require a profile of siding as close as can be found to match, and if that profile were available in any composite or wood siding, the Board could take that into consideration as a special circumstance. Mr. McBride advised the siding with that profile was not available, and everything would need to be handmade from wood and extremely expensive. He explained they would not change any wood around the windows but the siding itself.

Board Member Mead made a motion as to the two-story structure to permit the use of Hardie or equivalent fiber cement so long as it is in the profile as close as commercially available to the profile of the original material in spacing and shadow line material identified by Board Member Yee, which might be a candidate for that, and submitted for abbreviated review with details showing spacing consistent with the existing structure and profiles for shadow lines; as to the existing wood on the second-story structure, that it be salvaged for purposes of reuse on the historic facade and to maintain as much of the historic material on the one-story portion of the structure which has the historical character; that to the extent there is a lack of sufficient material, that it be submitted for an abbreviated review to document, and preference be given to maintaining original materials and replace original materials with what is available on the east and south faces; if any further Hardie material is necessary because of shortage in salvaged material, it be used on the west face and preferentially in the lower portions where it would be of more use since it would be more exposed to weather. Staff asked for designation of the abbreviated reviewer since the review may involve a site visit or communication between the applicant and reviewer, and Chairperson Salter was agreeable for that review. The motion was seconded by Board Member Ramos. Mr. McBride stated they would have enough of the salvaged materials for the front of the building. It was clarified the abbreviated review would cover the final profile of the new siding. The motion then carried unanimously.

Item 8

423 E. Intendencia Street

PHD

Contributing Structure

HR-1 / Wood Cottages

Action taken: Approved with comments and abbreviated review.

Andy Thoms is requesting approval for exterior renovations to a contributing structure. Renovations include the replacement of all windows with new aluminum-clad wood windows, new paint consisting of a "Pearl Gray" body and "Westhighland White", new entry wood doors, and replacement wood decking for the front porch.

Mr. Thoms addressed the Board and stated the front porch wood decking would be replaced with 1x6 treated wood. Chairperson Salter stated it appeared the existing porch was tongue and groove, and there were only three original windows on the east elevation, and staff confirmed the others were metal or missing. Mr. Thoms stated he wanted to go with the Colonial 6 panel doors to match the windows. Chairperson Salter indicated in this location we try to keep the original elements to the best extent possible. Mr. Thoms explained the existing door was vertical and would not match the Colonial 6 panes with divided light; he stated it would be better not to have a mix of vertical lines in the glass with the Colonial style window. He also advised it would be the same color palette as 555 E. Government. The front door was determined to be old and needed to be replaced; the front steps were concrete, and the upper wood stairs were in good shape. Board Member Yee asked about the brick piers, and Mr. Thoms stated he was open to painting them. Advisor Pristera stated the door represented the period of the home, and if it could remain, it would be telling the story of the structure even though it was not the original style of the house; if it had to be replaced, it should be something in the cottage style. He believed the proposed replacement style had been used before in this district.

Board Member Villegas made a motion to approve with the new aluminum-clad wood windows and paint scheme proposed with the exception of the decking on the front porch, that it be replacement in kind and if it is to be replaced, it would be tongue and groove which shows to be 1x3 (not sure), and there is an intention to save the current door, but if it is replaced, that some thought be given to a cottage style door, and if that

is not possible, an abbreviated review to address the tongue and groove as well as the front door. Board Member Ramos amended that the color of the brick piers be in an abbreviated review; it was accepted. The motion was seconded by Board Member Ramos and carried unanimously.

Item 9 **1015 N. Barcelona Street** **NHPD**
Contributing Structure **PR-1AAA**

Action taken: Approved.

Nicholas Pica, Studio Pica Designs, is seeking approval for exterior renovations to a contributing structure.

Mr. Pica addressed the Board and stated all the existing bright white trim on the house would now be the Sherwin Williams America's Heritage, Extra White; all siding and exterior shake would be Sherwin Williams Historic, Classic Light Buff; accent exterior paint colors would be Sherwin Williams Historic, Copen Blue. The new windows would match the existing and all other windows would be Sherwin Williams America's Heritage, Tricorn Black; and the porch decking on the front and rear porches would be Sherwin Williams Historic, Library Pewter. Chairperson Salter appreciated the efforts to preserve as much of the exterior and originality of the home as possible, while making necessary interior upgrades.

Board Member Ramos made a motion to approve seconded by Board Member Fogarty, and it carried unanimously.

Item 10 **815 N. Baylen Street** **NHPD**
Contributing Structure **PR-2**

Action taken: Approved with Abbreviated Review.

Scott Sallis is seeking approval to renovate a two-story contributing structure. The renovations will include the additions of a new rear deck, new roof dormers, new exterior paint, new windows, and hardscape.

Mr. Sallis presented to the Board and advised they were not doing too much to the exterior, but they added dormers for proper egress to bedrooms and added a covered rear deck. They agreed with North Hill's comments regarding the light fixtures which would be changed. Regarding the ballast rock wall at the sidewalk property line, they would remove some of the wall for a driveway. The client has met with the City's arborist concerning the Magnolia tree that ties to that wall. He also stated they were going to replace all existing windows since most of them were rotten or broken except for the two full windows in the front which will be restored. All others would be replaced with a wood-clad product. The stain glass would remain. He indicated they had talked with North Hill about the wall and would remove only what was necessary for parking. Board Member Mead asked if they could reuse some of the stone to add wings to the drive, and Mr. Sallis stated that could be considered to border the driveway. Board Member Ramos asked that a more pervious paving for the driveway be considered.

Board Member Spencer made a motion to approve. Chairperson Salter made an amendment that any design associated with the driveway and wall not be approved here but returned in an abbreviated review; it was accepted. The motion was seconded by Board Member Villegas and carried unanimously.

Item 11 **16 Palafox Place** **NHPD**
Contributing Structure **C-2A**

Action taken: Approved with comments.

Scott Sallis, Dalrymple Sallis Architecture, is requesting approval for the addition of an outdoor dining area on the rear of the structure.

Mr. Sallis presented to the Board and stated they wanted the dining area to be open. The two columns built in the initial construction were to hold streetlights, but they have enough footing for the awning. Board Member Spencer asked what would the fasteners on the box truss be since this would become the front of the house, and Mr. Sallis explained they were holding it up with new steel saddles and bolts, and they could control the aesthetic. Board Member Villegas addressed the privacy canvas screening, and Mr. Sallis indicated the existing screens were installed to block the late sun and would be removed at the completion of the project. Board Member Mead addressed the trusses being asymmetric, and Mr. Sallis advised that was the result of existing conditions; the columns are there, and the roof they were attaching to does not align, and he was not aware of any treatment to make them less asymmetrical. Board Member Mead also stated they had an existing truss dimension palette established in the adjoining structure under the roof edge and felt it would be better to increase the dimension of the truss members since it would be a better balance for the visual of the rafters themselves and would also help to diminish the perception of asymmetry in the truss. Mr. Sallis assured all the truss cord members would be the same size; the renderings might not be accurate, but they would make sure that happened. Board Member Spencer was fine with the box truss slipping to the north. **Board Member Spencer made a motion to approve as submitted with the reference from Mr. Sallis that he would personally be involved as the architect in helping develop the shop drawings for the truss so that it maintains a more industrial aesthetic that provides evidence that any of the fasteners are meant to be exposed and seen. Board Member Villegas seconded the motion, and it carried unanimously.**

Item 12 DISCUSSION ON UWF HISTORIC TRUST RECOMMENDATION TO ADOPT RESOLUTION ON ALTERNATIVE BUILDING MATERIALS

Action taken: Comments added and returned to the Board at next meeting.

UWF Historic Trust has recommended ARB consider a resolution concerning the use of alternative building materials. This resolution / policy would supersede all previous policies concerning the use of vinyl, aluminum, fiber cement, or other artificial materials. Per ARB's Rules and Procedures adopted in 2006, the Board may at its discretion adopt resolutions deemed beneficial in addressing its intentions or processes.

Historic Preservation Planner Harding advised this policy was for discussion only but wanted the opinion of Assistant City Attorney Lindsay on how to move forward. He pointed out the intent of the policy was to allow the Board to consider an applicant's request to use alternative materials. The U.S. Secretary of the Interiors Standard #6 states: Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials." However, the duplication of materials is sometimes not possible. The policy states 1) Any request for application of any siding to any building in the Pensacola historic districts shall be brought before the ARB prior to proceeding with the work. Item 2) addresses fiber cement siding on contributing structures. The Board had discussed having an image or photograph which outlines the allowed thickness of fiber cement and how it should be matched or installed, however, this would not be a blanket approval for the use of alternative materials but would allow applicants to bring them before the Board for consideration on a case-by-case basis with the applicant having the burden to prove how the product would match, installation, etc.

In item 3) railings, decking and other architectural details would be considered on a case-by-case basis. Item 4) was taken from the current policy which states vinyl and aluminum siding is prohibited. Item 5) states UWF Historic Trust Property and Collection Committee would make recommendations to the Board through the Historic Trust.

Assistant City Attorney Lindsay advised that Council Executive Kraher had been working on

procedures to submit to Council for all the Boards appointed by Council; this might be something the ARB would want to see on how the Council proceeds with those particular procedures. She also explained the Board would not be able to adopt any policy or resolution that would be inconsistent with the current ordinance with its restrictions on the Board's discretion. But within the Board's discretion, it may adopt a policy which allows guidance on how it would exercise its discretion; when this Board changes, the new Board could change that policy. We would hope the way the Board used its discretion would not be so out-of-bounds that a future Board would say they got it wrong. Under the ordinance, the Board had the authority to exercise that discretion in ways that may differ from time to time as long as it was not contrary to a specific prohibition that the Council had put in place that provided for the Board's operations. She offered vinyl siding was always going to be prohibited, but there were other things which were not specifically prohibited where the Board would have the discretion to decide to have some variances. She did think it was appropriate to look at a policy or a procedure. The Board had the authority to adopt those procedures for when a situation comes up, this would be how it handled its discretion with the standards it would apply. It could take into account the UWF recommendations but did not have to be limited by the recommendations. The staff would draft the procedures for the Board's approval. Nothing the Board recommended would require Council approval unless it was asking for revision to an ordinance; if there was a problem with the current ordinance, she asked that the Board ask staff to go to Council to get that update made.

Board Member Mead stated as he viewed the Board's role in terms of protecting the City, he did not want the Board's discretion to reach beyond anything than the handling of administrative matters. He agreed it was the standards in the Code which must be applied. He viewed the effort of the Board to be more in line with creating findings about the state of the art that is available to satisfy the standards in the Code based on the knowledge and experience of the Board. Assistant City Attorney Lindsay explained the Board did have the authority to create procedures, as long as the procedures the Board proposed were consistent with the ordinance which gives it the authority it does; she had no issue with any procedure and would check any procedure the Board would ask staff to draft. If the Board wanted to take any recommendations from the Historic Trust, she would also review to ensure that the Board was not adopting a recommendation that was inconsistent with its authority.

Board Member Mead saw the policy as a way to better advise applicants on what they need to bring to the table to meet these requirements or concerns of the Code and for the staff to be able to screen applications and furnish the policy for additional information which might be required before going to the Board. It would be a tool for the applicants and for the Board to better review and for staff to screen and advise applicants who are not meeting those qualifications.

Board Member Spencer introduced an item regarding signage in review districts. Staff advised if the ARB wanted to draft a letter to Engineering, Public Works, and the Mayor as far as suggestions and recommendations as to wayfinding signs, it would be part of its power and responsibility to do so. It would not be something ARB could mandate since their authority has always been within property boundaries and not within the rights-of-way. Board Member Spencer stated that earlier North Hill had presented a loud voice of concern regarding AT&T boxes being placed in rights-of-way. Board Member Mead stated he would support a letter. Staff advised the letter would be sent from the Chairperson of ARB to Council since the chairs of all boards act as liaison to Council.

Historic Preservation Planner Harding stated the comments from today would be incorporated into the policy on Alternative Building Materials for submission to the Board at the next Board meeting.

ADJOURNMENT – With no further business, the meeting adjourned at 5:00 p.m.

Respectfully Submitted,

Gregg Harding

Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00504

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/9/2021

SUBJECT:

23 W. Brainerd Street
North Hill Preservation District / Zone PR-1AAA
Accessory Structure (Storage Shed) behind a Contributing Structure

BACKGROUND:

Matthew and Jennifer Wasilenko are seeking approval for a small storage shed. The accessory building will measure 16' x 20' and will be located in the southwest corner of a fenced rear yard. The shed will have fiber cement siding, a concrete slab foundation, asphalt shingles, and will be painted to match the primary structure.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(2)d.2.ii.(b) *North Hill, Decisions on new building*
Sec. 12-3-10(2)f. *North Hill, Restoration, alterations or additions to existing contributing structures.*
Sec. 12-3-10(2)g.6. *North Hill, Accessory structures*

FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. ES 582
Site Name Johnson, William R. Rental 830 = = Survey Date 8005 820 = =
Address of Site: 23 W. Brainerd St., Pensacola, FL, 32501 905 = =
Instruction for locating on S side of W Brainerd between N Baylen St and
N Spring St 813 = =
Location: Belmont Tract 58 12, port 11, 13 868 = =
County: Escambia 808 = =
Owner of Site: Name: Constantine, Dimitrie and Betty ;
Address: 202 Julia Way
Gulf Breeze, FL 32561 902 = =
Type of Ownership Private 848 = = Recording Date 832 = =
Recorder:
Name & Title: Gantzhorn, Alan; Guedez, Susan ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence 818 = =
838 = =
Check One Check One or More
Excellent 863 = = ☒ Altered 858 = =
☒ Good 863 = = ☐ Unaltered 858 = =
Fair 863 = = ☒ Original Site 858 = =
Deteriorated 863 = = ☐ Restored () (Date:) () 858 = =
☐ Moved () (Date:) () 858 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
Zoning () () 878 = = ☐ Transportation () () 878 = =
Development () () 878 = = ☐ Fill () () 878 = =
Deterioration () () 878 = = ☐ Dredge () () 878 = =
Borrowing () () 878 = =
Other (See Remarks Below): 878 = =

Areas of Significance: Architecture; History 910 = =

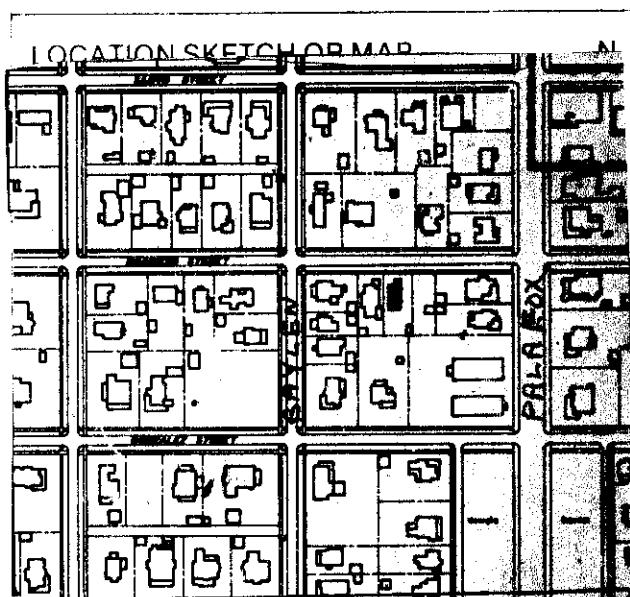
Significance:

This frame vernacular house was built as a rental unit by Pensacola broker William A. Johnson. Johnson owned the house until 1945, when it was acquired by Isaac Hodgen, whose family owned it until 1977.

911 = =

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT unknown 872 ==
 BUILDER unknown 874 ==
 STYLE AND/OR PERIOD frame vernacular 964 ==
 PLAN TYPE rectangular 966 ==
 EXTERIOR FABRIC(S) wood; novelty siding 854 ==
 STRUCTURAL SYSTEM(S) wood frame 856 ==
 PORCHES N/ 1 story gabled porch enclosed; access from N
 942 ==
 FOUNDATION: pier; brick; brick, continuous 942 ==
 ROOF TYPE: gable 942 ==
 SECONDARY ROOF STRUCTURE(S): 942 ==
 CHIMNEY LOCATION: center ridge 942 ==
 WINDOW TYPE: DHS: 2/2; wood 942 ==
 CHIMNEY: brick 882 ==
 ROOF SURFACING: composition shingle; butt 882 ==
 ORNAMENT EXTERIOR: 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 1 950 ==
 NO. OF DORMERS 0 954 ==
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 ==
 Latitude and Longitude: 800 ==
 Site Size (Approx. Acreage of Property): LT1 833 ==



Township	Range	Section	
2S	30W	19	812 ==

UTM Coordinates:

Zone Easting Northing 890 ==

Photographic Records Numbers HPPB P.80.13 Fr 2A 860 ==
NH 22-14

Contact Print



23 W. Brainerd Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Matthew & Jennifer Wasilenko
Applicant Signature

Date



Chris Jones

Escambia County Property Appraiser

[Real Estate Search](#)
[Tangible Property Search](#)
[Sale List](#)
[Back](#)

[Nav. Mode](#)
☒ Account
 ☐ Parcel ID

[Printer Friendly Version](#)

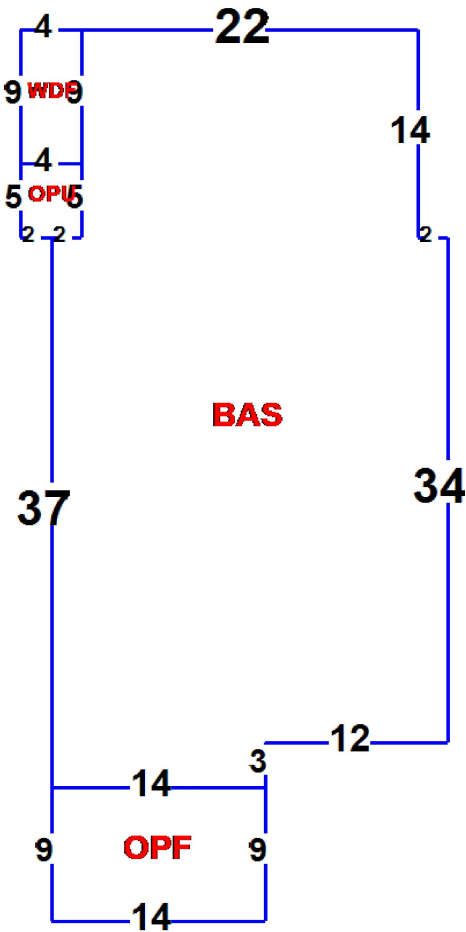
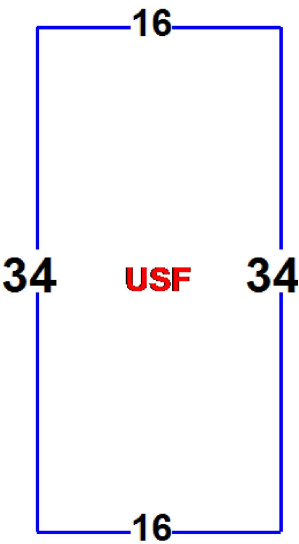
General Information Parcel ID: 000S009010012058 Account: 131477100 Owners: WASILENKO JENNIFER M ADEN Mail: 23 W BRAINERD ST PENSACOLA, FL 32501 Situs: 23 W BRAINERD ST 32501 Use Code: SINGLE FAMILY RESID Taxing Authority: PENSACOLA CITY LIMITS Tax Inquiry: Open Tax Inquiry Window Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector							Assessments <table border="1"> <thead> <tr> <th>Year</th> <th>Land</th> <th>Imprv</th> <th>Total</th> <th>Cap Val</th> </tr> </thead> <tbody> <tr> <td>2020</td> <td>\$81,750</td> <td>\$113,440</td> <td>\$195,190</td> <td>\$126,437</td> </tr> <tr> <td>2019</td> <td>\$81,750</td> <td>\$106,460</td> <td>\$188,210</td> <td>\$123,595</td> </tr> <tr> <td>2018</td> <td>\$58,451</td> <td>\$100,743</td> <td>\$159,194</td> <td>\$121,291</td> </tr> </tbody> </table> Disclaimer Market Value Breakdown Letter Tax Estimator File for New Homestead Exemption Online Report Storm Damage					Year	Land	Imprv	Total	Cap Val	2020	\$81,750	\$113,440	\$195,190	\$126,437	2019	\$81,750	\$106,460	\$188,210	\$123,595	2018	\$58,451	\$100,743	\$159,194	\$121,291																
Year	Land	Imprv	Total	Cap Val																																											
2020	\$81,750	\$113,440	\$195,190	\$126,437																																											
2019	\$81,750	\$106,460	\$188,210	\$123,595																																											
2018	\$58,451	\$100,743	\$159,194	\$121,291																																											
Sales Data <table border="1"> <thead> <tr> <th>Sale Date</th> <th>Book</th> <th>Page</th> <th>Value</th> <th>Type</th> <th>Official Records (New Window)</th> </tr> </thead> <tbody> <tr> <td>08/29/2008</td> <td>6372</td> <td>160</td> <td>\$190,000</td> <td>WD</td> <td></td> </tr> <tr> <td>09/2004</td> <td>5494</td> <td>391</td> <td>\$210,000</td> <td>WD</td> <td></td> </tr> <tr> <td>11/2003</td> <td>5283</td> <td>1718</td> <td>\$150,000</td> <td>WD</td> <td></td> </tr> <tr> <td>06/1980</td> <td>1446</td> <td>45</td> <td>\$36,200</td> <td>WD</td> <td></td> </tr> <tr> <td>03/1979</td> <td>1308</td> <td>248</td> <td>\$26,500</td> <td>WD</td> <td></td> </tr> </tbody> </table> Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller							Sale Date	Book	Page	Value	Type	Official Records (New Window)	08/29/2008	6372	160	\$190,000	WD		09/2004	5494	391	\$210,000	WD		11/2003	5283	1718	\$150,000	WD		06/1980	1446	45	\$36,200	WD		03/1979	1308	248	\$26,500	WD		2020 Certified Roll Exemptions HOMESTEAD EXEMPTION Legal Description E 5 FT OF LT 11 ALL LT 12 N 135 FT OF THE W 20 FT AND S 15 OF THE W 15 FT OF LT 13 BLK 58 BELMONT TRACT OR 6372... Extra Features FRAME BUILDING POOL				
Sale Date	Book	Page	Value	Type	Official Records (New Window)																																										
08/29/2008	6372	160	\$190,000	WD																																											
09/2004	5494	391	\$210,000	WD																																											
11/2003	5283	1718	\$150,000	WD																																											
06/1980	1446	45	\$36,200	WD																																											
03/1979	1308	248	\$26,500	WD																																											
Parcel Information <div> <div> Section Map Id: CA078 Approx. Acreage: 0.1808 Zoned: PR-1AAA Evacuation & Flood Information Open Report </div> <div> Launch Interactive Map </div> </div>																																															



Address: 23 W BRAINERD ST, Year Built: 1918, Effective Year: 1970, PA Building ID#: 17988

DECOR/MILLWORK-ABOVE AVERAGE
DWELLING UNITS-1
EXTERIOR WALL-SIDING-LAP.AAVG
FLOOR COVER-HARDWOOD/PARQUET
FOUNDATION-WOOD/SUB FLOOR
HEAT/AIR-CENTRAL NON-DCT
INTERIOR WALL-DRYWALL-PLASTER
NO. PLUMBING FIXTURES-6
NO. STORIES-2
ROOF COVER-DIMEN/ARCH SHNG
ROOF FRAMING-GABLE-HI PITCH
STORY HEIGHT-0
STRUCTURAL FRAME-WOOD FRAME

BASE AREA - 1234
OPEN PORCH FIN - 126
OPEN PORCH UNF - 20
UPPER STORY FIN - 544
WOOD DECK FIN - 36

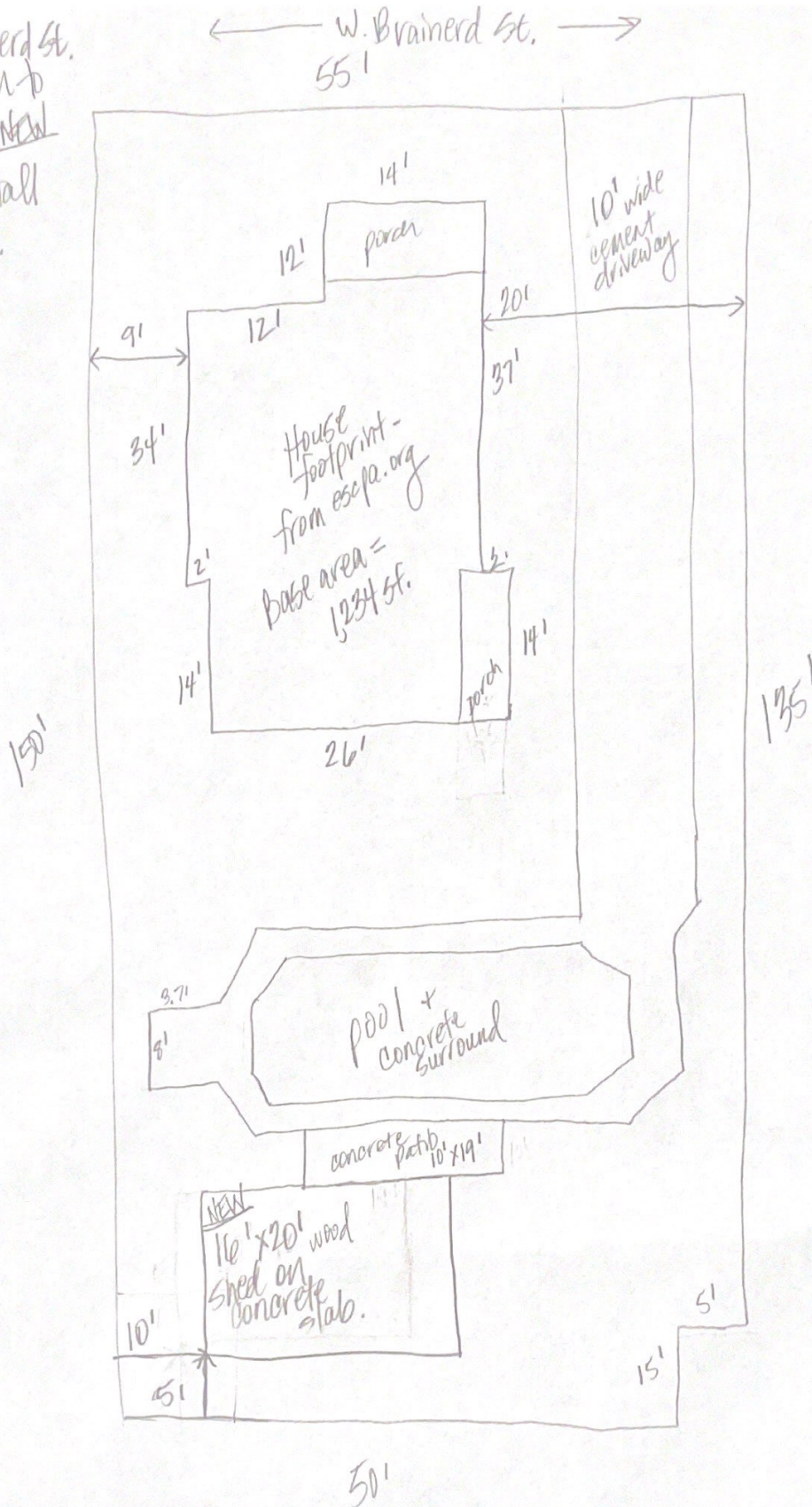


Images



10/23/15

23 W Brainerd St.
 site plan to
 support new
 shed install
 request.



References:

1. House footprint from esopa.org
2. Pool sketch from outdated site survey (also pulled driveway & patio dimensions from here)
3. Lot dimensions from esopa.org.

↑ North

Total lot sf = 8,175'
 House sf = 1,234 sf
 (base)
 Pool + concrete
 sf approx = 900 sf.

NEW shed sf = 320 sf.
 driveway
 sf approx = 1,000 sf

Wasilenko Storage Shed Details

- Intended use: this wooden storage shed will be used to house yard and pool equipment
- Dimensions of 16 feet x 20 feet
- Shed foundation will be a concrete slab
- Shed foundation will be laid adjacent to existing concrete patio
- Footprint will be approximately 5 feet from the side and back property lines
- Roof pitch of 6/12
- Roofing will be 3-tab shingles to match main residence
- Siding will be hardie board to match main residence
- Shed side facing Brainerd (North) will include one standard size door, centered, with a window on either side of the door
- Shed side facing Palafox (East) will include a set of double doors, 4' wide each, to allow entry/exit of larger equipment
- Shed exterior color will be painted to match main residence, confederate blue with white trim

Detailed materials info:

Trim will be 1" x 4" pressure treated wood

Link: [Severe Weather 1-in x 4-in x 12-ft #2 Pressure Treated Lumber in the Pressure Treated Lumber department at Lowes.com](#)

Shingles will be GAF Royal Sovereign 3-Tab shingles in Weathered Gray

Link: [GAF ROYAL SOVEREIGN 33.33-sq ft Weathered Gray 3-Tab Roof Shingles in the Roof Shingles department at Lowes.com](#)



Siding & double doors will be Hardie Board smooth

Link: [James Hardie 8.25-in x 144-in HZ10 HardiePlank Smooth Fiber Cement Lap Siding in the Fiber Cement Siding department at Lowes.com](#)



Door will be Therma-Tru Benchmark 36" x 80" fiberglass

Link: [Therma-Tru Benchmark Doors 36-in x 80-in Fiberglass Right-Hand Inswing Ready to paint Unfinished Prehung Single Front Door with Brickmould in the Front Doors department at Lowes.com](#)



Windows will be ReliaBilt 105 Series 35.5" x 47.5" vinyl

Link: [ReliaBilt 105 Series 35.5-in x 47.5-in x 2.625-in Jamb Vinyl New Construction White Single Hung Window in the Single Hung Windows department at Lowes.com](#)



Gable vent will be Air Vent 14.5" x 20.5" White Rectangle Aluminum

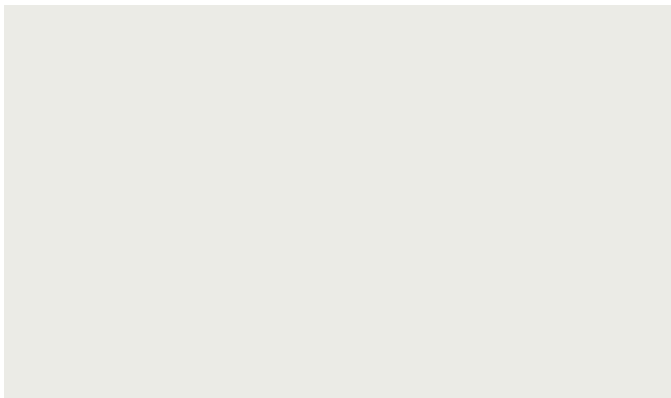
Link: [Air Vent 14.5-in x 20.5-in White Rectangle Aluminum Gable Vent in the Gable Vents department at Lowes.com](#)



Main shed will be painted Confederate Blue (chip pulled from [Duron 5023M Confederate Precisely Matched For Paint and Spray Paint \(myperfectcolor.com\)](#))



Trim will be White (chip pulled from [Paint Color Visualizer | Paint Color Chart | ColorSmart by Behr](#))

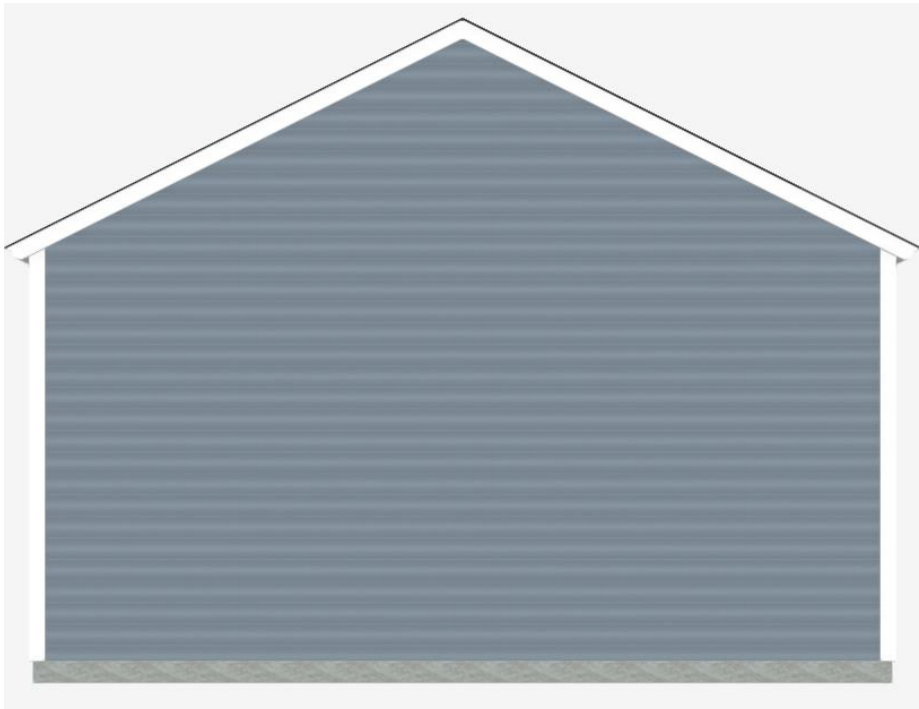


Detailed Shed Views generated using www.tuffshed.com construction tool – 16' x 20' shed with 6/12 roof pitch

Shed side facing Palafox (East):



Shed side facing Baylen (West)



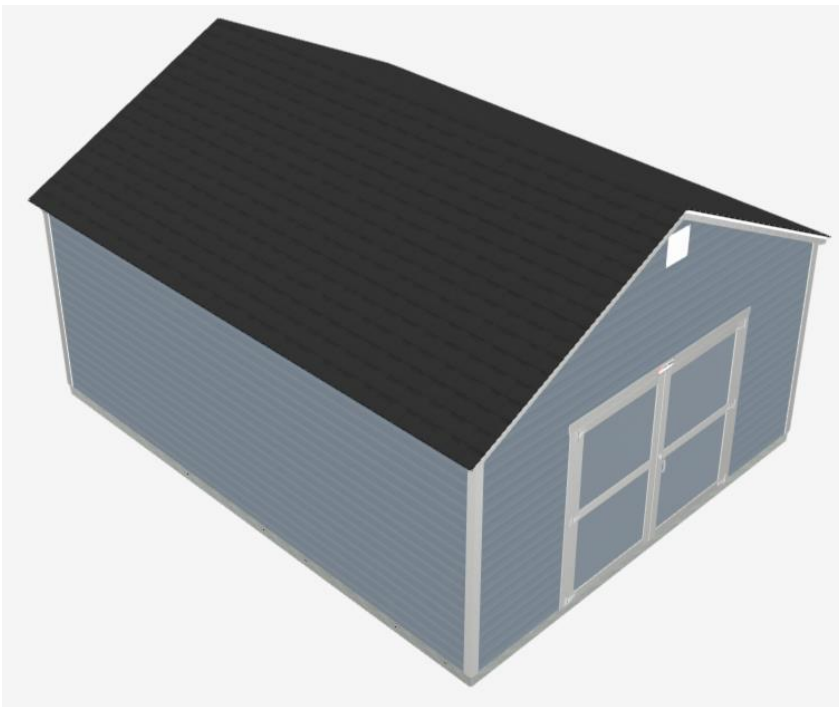
Shed side facing Brainerd (North)



Shed side facing Gonzalez (South)



Overhead views



Backyard images







City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00521

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

700 N. Barcelona Street
North Hill Preservation District / Zone PR-2
Conceptual Approval for New Construction

BACKGROUND:

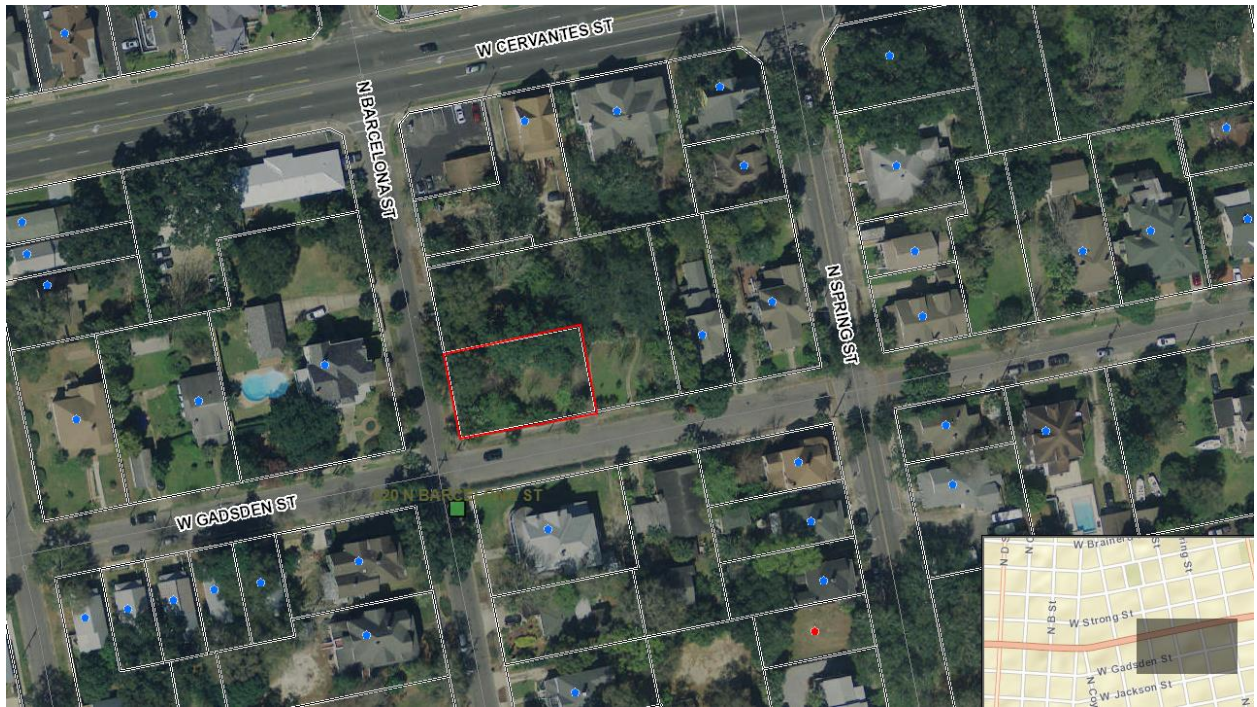
LaVon Coate is seeking *conceptual* approval for a new single family residence with a detached accessory dwelling unit (ADU) over a garage. The proposed two-story cottage-style house will have fiber cement shingle siding with a Chestnut Brown stain, an asphalt roof with an eyebrow dormer, aluminum-clad windows, and fiberglass doors. The ADU and garage will be built with similar materials and its location and height comply with the Land Development Code. The applicant has also provided details regarding landscaping and hardscapes.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(2)d.2.ii.(b) *North Hill Preservation District, Decisions, New construction*
Sec. 12-3-10(2)e. *NHPD, Regulations and guidelines for any development*
Sec. 12-3-10(2)h. *NHPD, Regulations for new construction*
Table 12-3.9 Regulations for North Hill zoning districts

700 N. Barcelona Street



**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____ 700 North Barcelona Street _____

Applicant: _____ LaVon Coate _____

Applicant's Address: _____ 4311 Bayou Blvd. Pensacola _____

Email: _____ lavon@invitationtopaper.com _____ **Phone:** _____ 239-269-4664 _____

Property Owner: _____

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Conceptual design for new home

_____ DUNGAN-NEQUETTE Architects, Birmingham AL, _____

_____ copyright purchased from "Southern Living" for 638 Woodbury Place _____

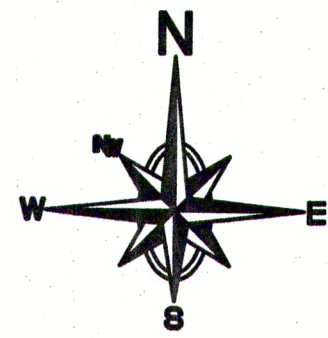
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

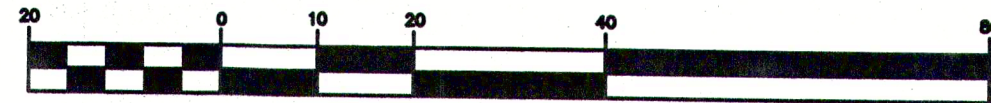
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

BOUNDARY SURVEY
OF A PORTION OF BLOCK 30, BELMONT TRACT,
CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA



GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.
(PARCEL 2) CREATED AT THE CLIENT'S REQUEST
DESCRIBED AS FOLLOWS:

THE WEST 120.00 FEET OF LOTS 1 AND 2, AND THE WEST 120.00 FEET OF THE SOUTH 15.00 FEET OF LOT 3, BLOCK 30, BELMONT TRACT, CITY OF PENSACOLA, FLORIDA ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF LOT 23, BLOCK 30, BELMONT TRACT, CITY OF PENSACOLA, FLORIDA ACCORDING TO MAP OF SAID CITY COPYRIGHTED BY THOMAS C. WATSON IN 1906. THENCE 60 SOUTH 78 DEGREES 45 MINUTES 00 SECONDS WEST ALONG THE SOUTH LINE OF SAID BLOCK 30 FOR A DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 78 DEGREES 45 MINUTES 00 SECONDS WEST ALONG THE SOUTH LINE OF SAID BLOCK 30 FOR A DISTANCE OF 120.00 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 30; THENCE 60 NORTH 11 DEGREES 21 MINUTES 08 SECONDS WEST ALONG THE WEST LINE OF SAID BLOCK 30 FOR A DISTANCE OF 75.00 FEET; THENCE 60 NORTH 78 DEGREES 45 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 120.00 FEET; THENCE 60 SOUTH 11 DEGREES 21 MINUTES 08 SECONDS EAST FOR A DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF BLOCK 30, BELMONT TRACT, CITY OF PENSACOLA, FLORIDA AND CONTAINS 0.21 ACRES MORE OR LESS.

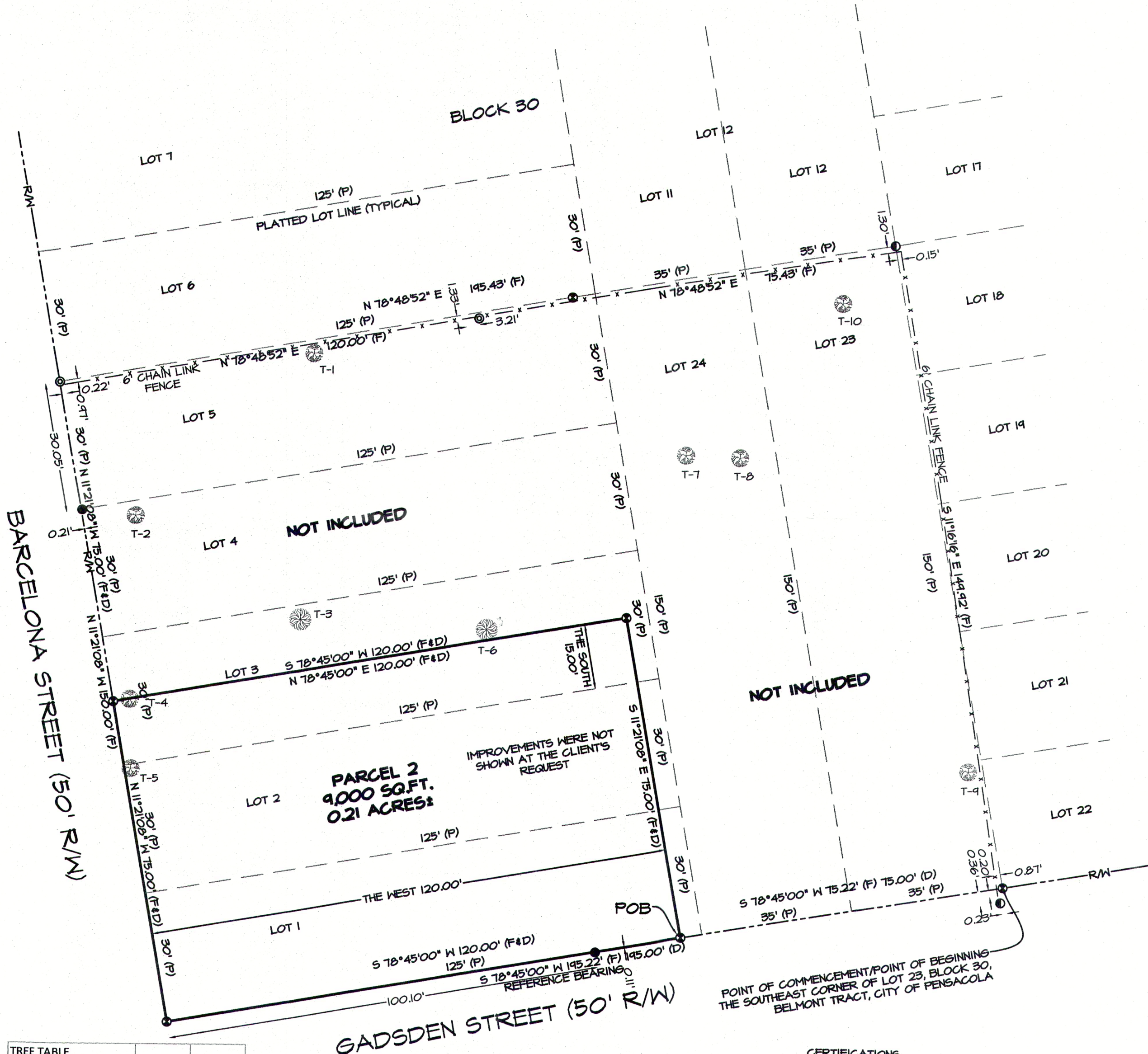
GENERAL NOTES:

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARINGS OF SOUTH 78 DEGREES 45 MINUTES 00 SECONDS WEST ALONG THE SOUTH LINE OF THE PROPERTY AS PER THE DESCRIPTION AS FURNISHED.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0390 G, REVISED SEPTEMBER 29, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.021, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.

DENOTES:

- ① ~ 1/2" CAPPED IRON ROD, NUMBERED T2T1 (PLACED)
- ② ~ 1/2" CAPPED IRON ROD, NUMBERED T092 (FOUND)
- ③ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- ④ ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING

TREE TABLE			
TREE TAG	DIAMETER	TYPE	CANOPY
T-1	60"	OAK	30'
T-2	48"	OAK	50'
T-3	52"	BAY	30'
T-4	48"	OAK	25'
T-5	24"	OAK	40'
T-6	52"	BAY	60'
T-7	48"	OAK	60'
T-8	48"	OAK	60'
T-9	60"	OAK	20'
T-10	60"	OAK	40'



CERTIFICATIONS:

LAVON L. COATE
EMMANUEL SHEPPARD & CONDON, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

NORTHWEST FLORIDA LAND SURVEYING, INC.
742 BELMONT CIRCLE, PENSACOLA, FLORIDA 32506
FRED R. THOMPSON, PROFESSIONAL LAND SURVEYOR
REGISTRATION NUMBER 3027 CORP. NUMBER 7277
STATE OF FLORIDA

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR		NO.	DATE	APPR.	REVISIONS
NORTHWEST FLORIDA LAND SURVEYING, INC. A PROFESSIONAL SERVICE ORGANIZATION FLAS 00000000 Pensacola, FL 32506 (904) 438-1088		DATE	12/14/20	CHECKED	FRT
SCALE	1"=20'	CREW CHIEF	CC	DRAWN	AS
BOUNDARY SURVEY OF A PORTION OF BLOCK 30, BELMONT TRACT, CITY OF PENSACOLA, ESCAMBIA COUNTY, FLORIDA PREPARED FOR: LAVON COATE REQUESTED BY: KELLEY AMOS		PROJECT NO.	22669	INDEX	10
		NO.	1	1	SHEETS



View from new home at
700 North Barcelona

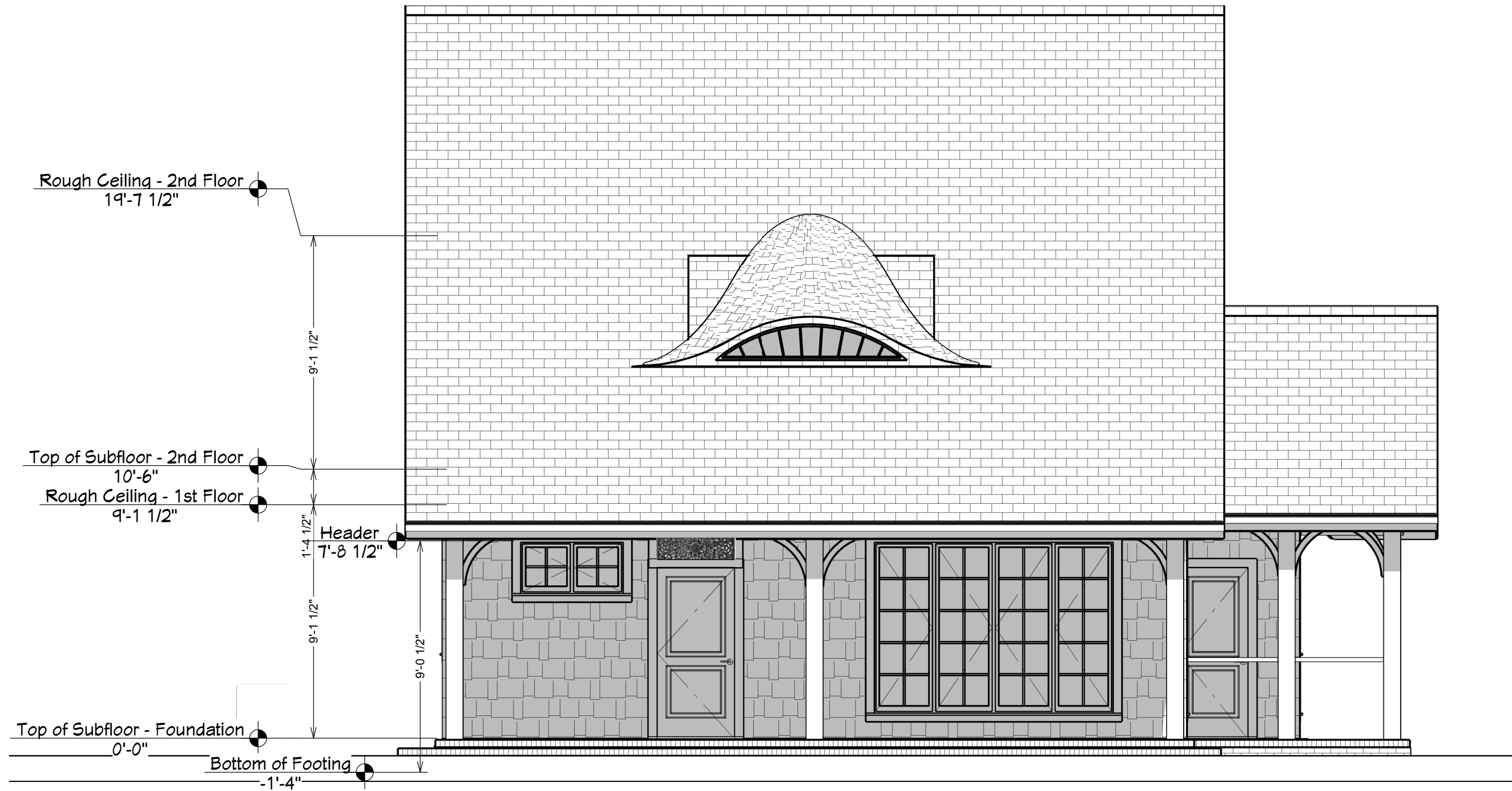
New home faces Barcelona

Holmes
under construction
faces Gadsden

Home faces Gadsden

Home faces Barcelona

Home faces Barcelona



Exterior Elevation Front

FOOTER DEPTH TO BE DETERMINED BY ENGINEER AND BUILDER



Exterior Elevation Right

FOOTER DEPTH TO BE DETERMINED BY ENGINEER AND BUILDER

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

WINDLOAD AND STRUCTURE ONLY

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

JOB: LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER: DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

DESIGNER: DIANE PITTS
DATE: 5/16/2021
SCALE: 1/4" = 1'-0"

Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com



SHEET:

A1



DESIGNER:
DIANE PITTS

DATE:
5/16/2021

SCALE:
1/4" = 1'-0"

JOB:
LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL

BUILDER:
DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

THIS HOME MEETS SECTION
601.4 OF FLORIDA BUILDING
CODE - MECHANICAL BY THE
USE OF AIR DUCTS (1 1/2" X
SUPPLY AIR) BEING INSTALLED
FROM EACH BEDROOM TO FRE
E OR TO THE RETURN AIR
CHAMBER

INFO RELATED TO THE WINDLOADS

FOR THE DESIGN OF THIS PLAN:

1. BASIC WIND SPEED - 160MPH
- 2 RISK FACTOR II
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

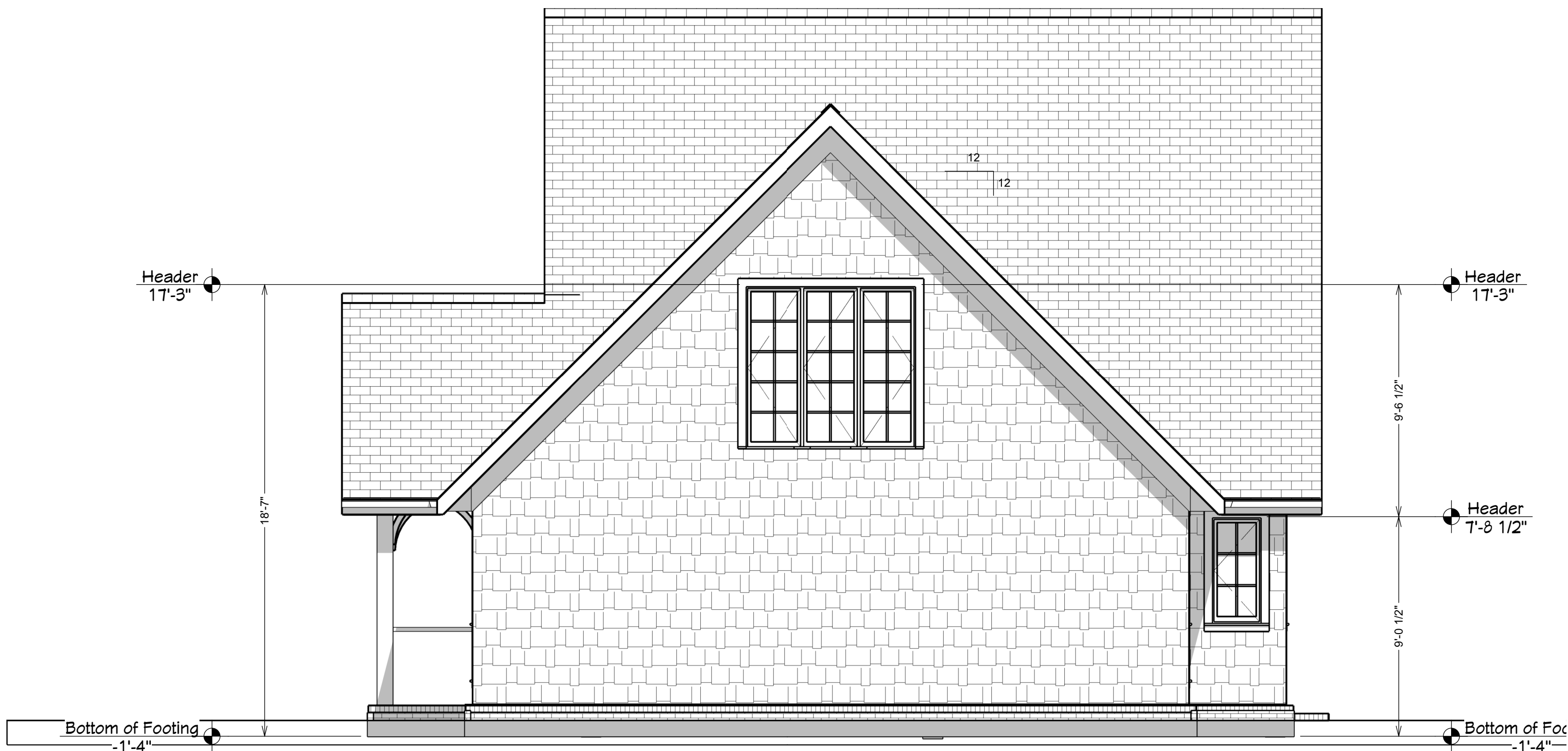
DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL #88877
11917 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:

A2

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR REVIEWED FOR THE ACCURACY OF THIS PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED; TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIALS, FINISHES, AND DETAILS TO BE USED FOR MATERIALS INCLUDING WATERPROOFING AND FLASHING SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.



Exterior Elevation Back

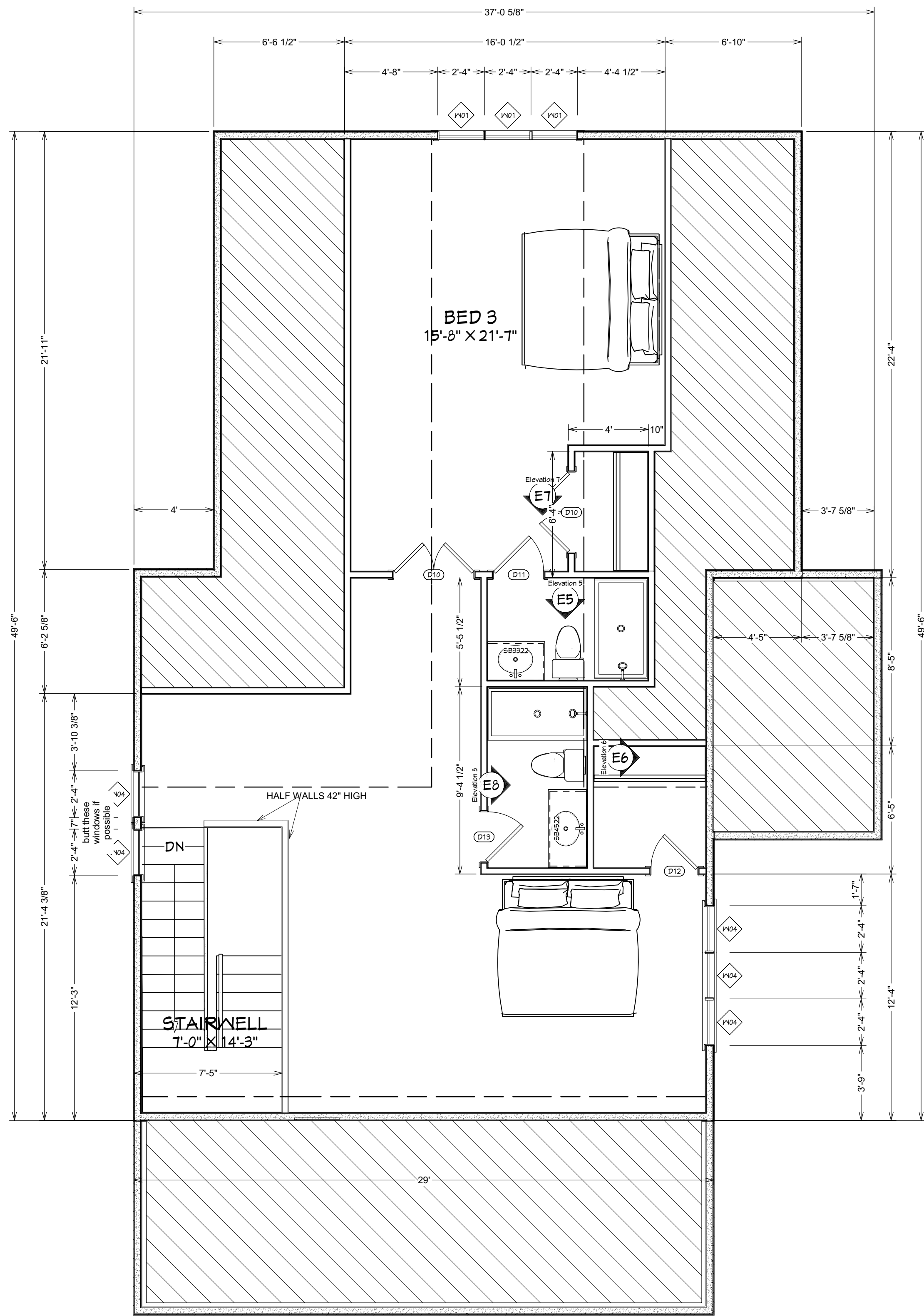
FOOTER DEPTH TO BE DETERMINED BY ENGINEER AND BUILDER



Exterior Elevation Left

FOOTER DEPTH TO BE DETERMINED BY ENGINEER AND BUILDER

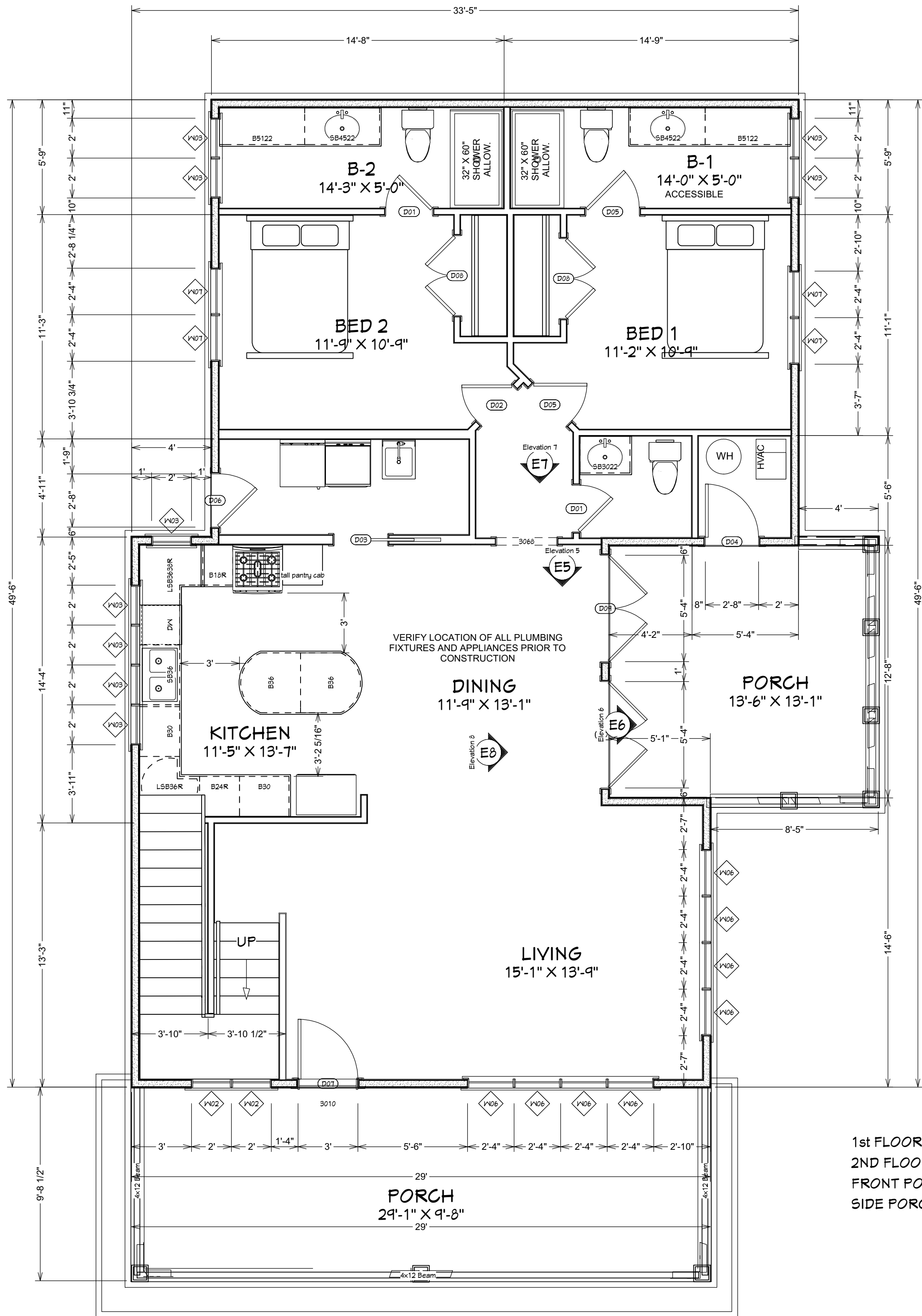
WINDLOAD AND STRUCTURE
ONLY!



2nd Floor

DOOR SCHEDULE					
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION
D01	D01-2468	2	1	2468 R IN	HINGED-DOOR P04
D02	D02-2668	1	1	2668 R IN	HINGED-DOOR P04
D03	D03-2868	1	1	2868 L	POCKET-DOOR P04
D04	D04-2868	1	1	2868 L EX	EXT. HINGED-DOOR P04
D05	D05-2868	2	1	2868 L IN	HINGED-DOOR P04
D06	D06-2868	1	1	2868 R EX	EXT. HINGED-DOOR P04
D07	D07-3068	1	1	3068 L EX	EXT. HINGED-DOOR P04
D08	D08-4068	2	1	4068 L/R IN	DOUBLE HINGED-DOOR P04
D09	D09-5400	2	1	5400 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL
D10	D10-4068	2	2	4068 L/R IN	DOUBLE HINGED-DOOR P04
D11	D11-2668	1	2	2668 L IN	HINGED-DOOR P04

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
W01	2468SC	3	2	2468SC	28"	80"
W02	2020SC	2	1	2020SC	24"	24"
W03	2044SC	4	1	2044SC	24"	52"
W04	2456SC	5	2	2456SC	28"	66"
W06	2468SC	8	1	2468SC	28"	80"
W07	2468SC	4	1	2468SC	28"	80"



1st Floor

1st FLOOR	1389 SQFT
2ND FLOOR	??? 1454 SQFT C1
FRONT PORCH	282 SQFT
SIDE PORCH	176 SQFT

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

- NOTES:
1. SIP SYSTEM FOR WALLS AND ROOF
 2. STANDARD FLOOR TRUSSES
 3. GAS APPLIANCES

WINDLOAD AND STRUCTURE ONLY

DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL #8877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:

A3

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

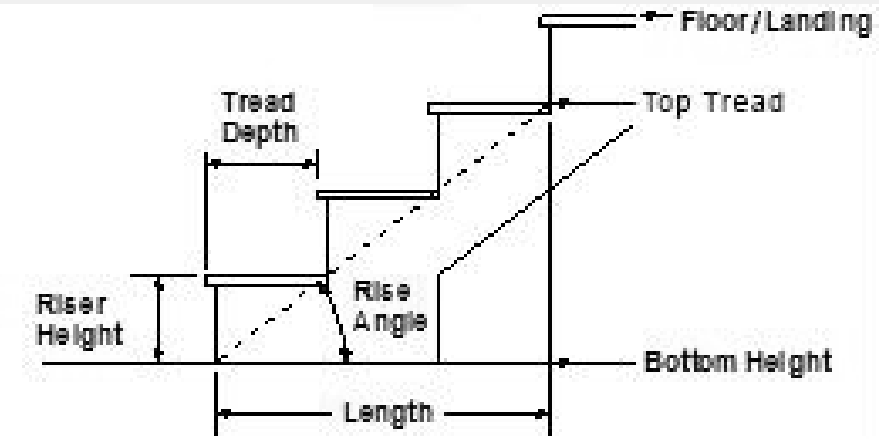
JOB:
LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER:
DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

DESIGNER:
DIANE PITTS
DATE:
5/16/2021
SCALE:
1/4" = 1'-0"

Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

Staircase Information

Staircase reaches next level.
Best fit riser height of 6 5/8" requires 19 total risers to reach 126 1/8" to next level.
Number of Sections: 2
Number of Landings: 1
Number of Risers: 19
Rise Angle: 31.14



Make Best Fit

Advanced Options

☒ Automatic Treads

☐ Lock Tread Depth

☐ Lock Number of Treads

☒ Automatic Heights

Top Height Reference

☒ Floor/Landing

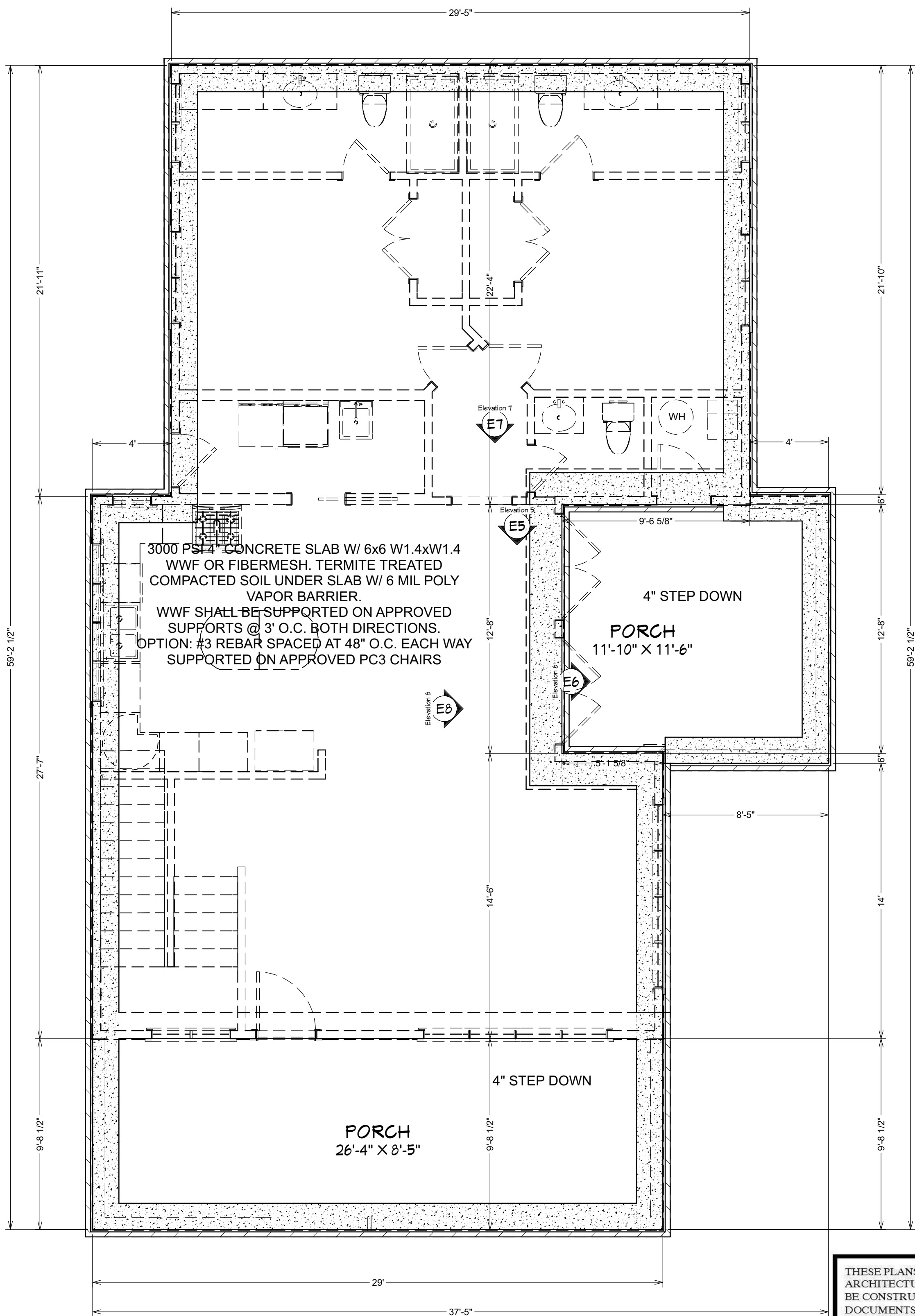
☐ Top Tread

☐ Ignore Subsection Boundaries

☐ Lock Top

☒ Lock Bottom

Section Number	Length	Width	Tread Depth	Treads	Bottom Height	Top Height	Riser Height	Winders
<input type="radio"/> 1	55"	39"	11"	5	7/8"	40 11/16"	6 5/8"	<input type="checkbox"/>
<input checked="" type="radio"/> 2	131 7/8"	39"	11"	12	40 11/16"	127"	6 5/8"	<input type="checkbox"/>



THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

WINDLOAD AND STRUCTURE ONLY



Builder's CAD Services

Diane Pitts - Owner

1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

DESIGNER: DIANE PITTS
DATE: 5/16/2021
SCALE: 1/4" = 1'-0"

JOB: LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER: DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL #68877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:
A4



Elevation 5



Elevation 6



Elevation 7



Elevation 8

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

WINDLOAD AND STRUCTURE ONLY

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

JOB: LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER: DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

DESIGNER: DIANE PITTS
DATE: 5/16/2021
SCALE: 1/4" = 1'-0"



Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

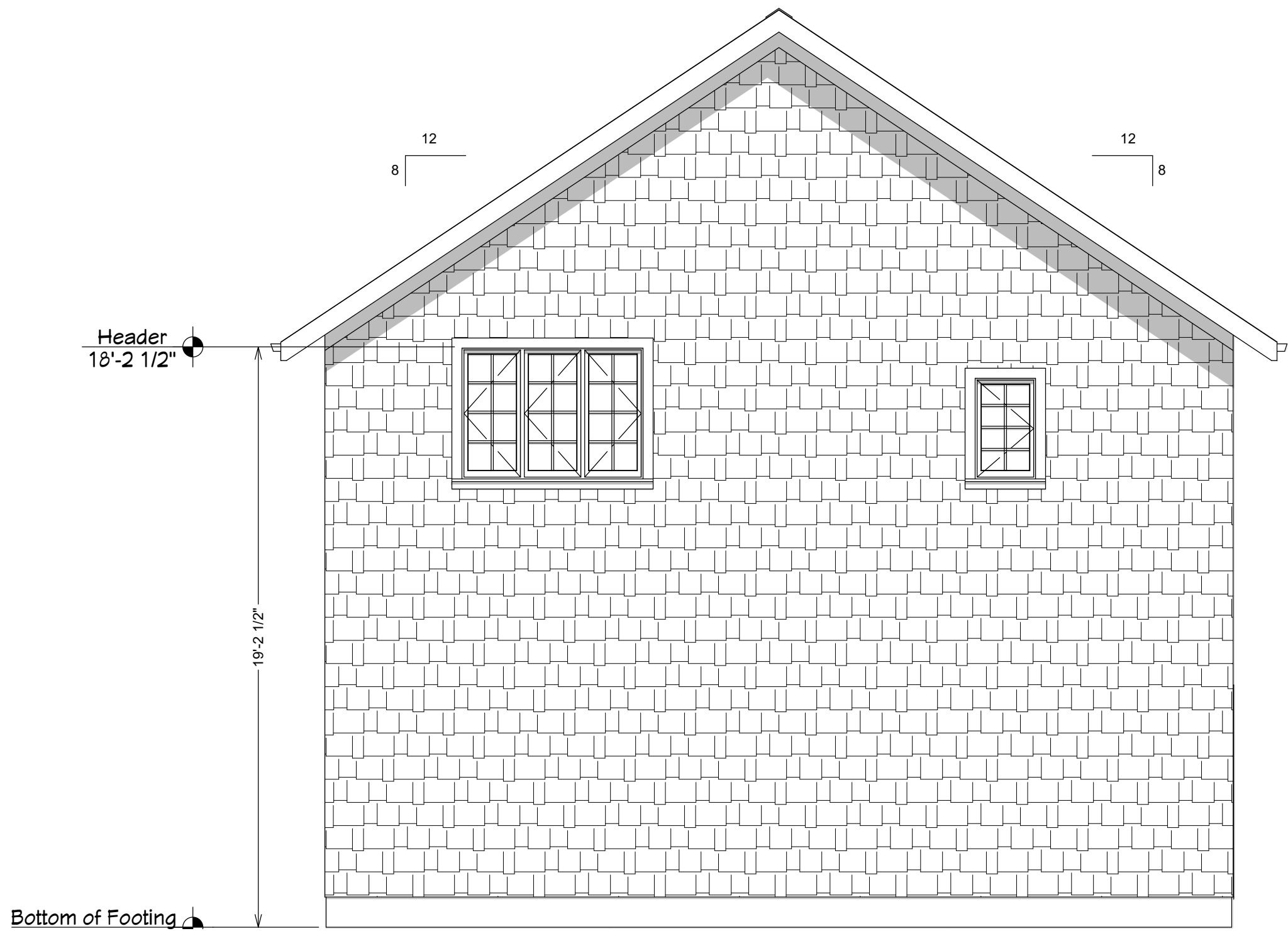


SHEET:
A5

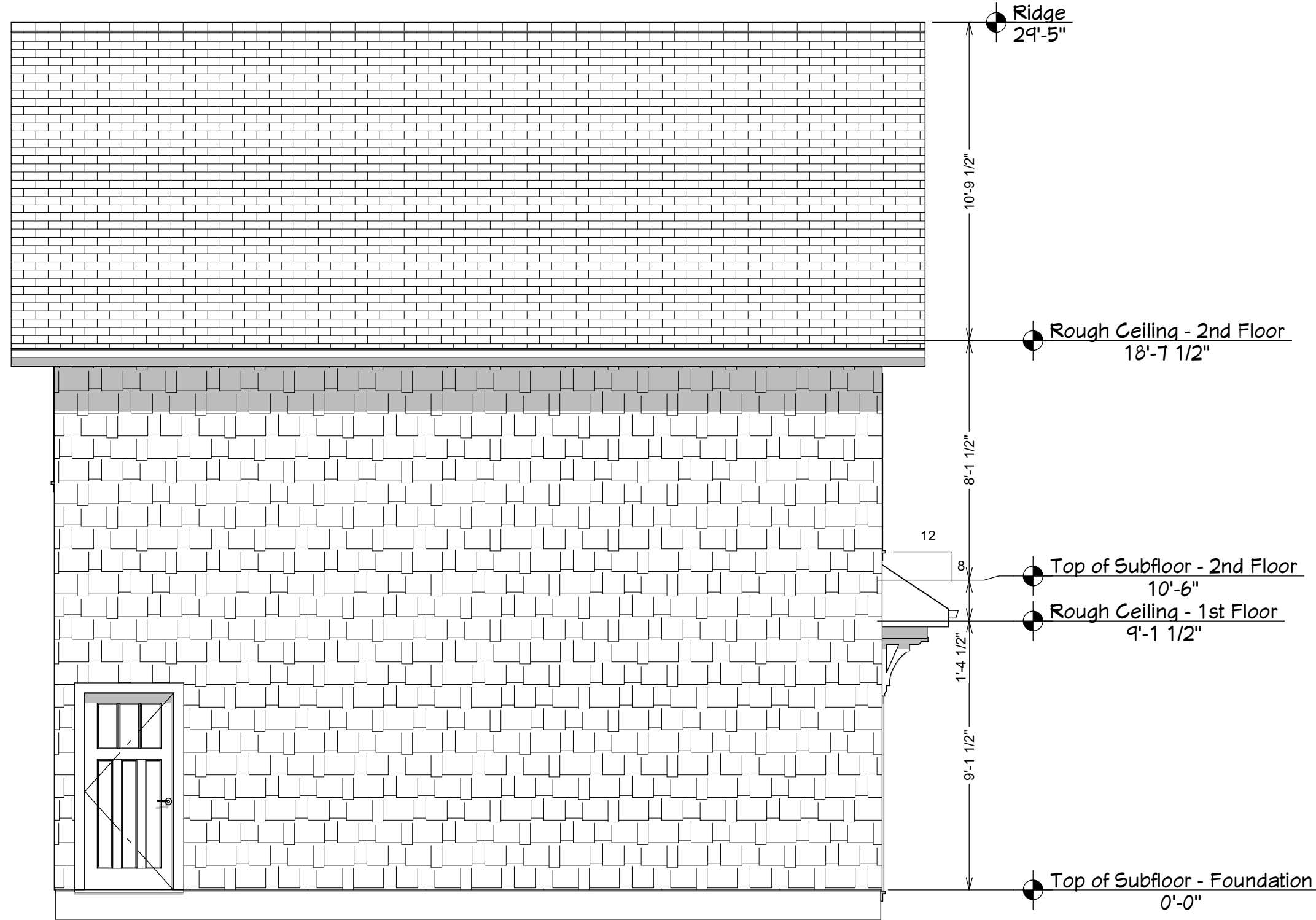
DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL #68877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com



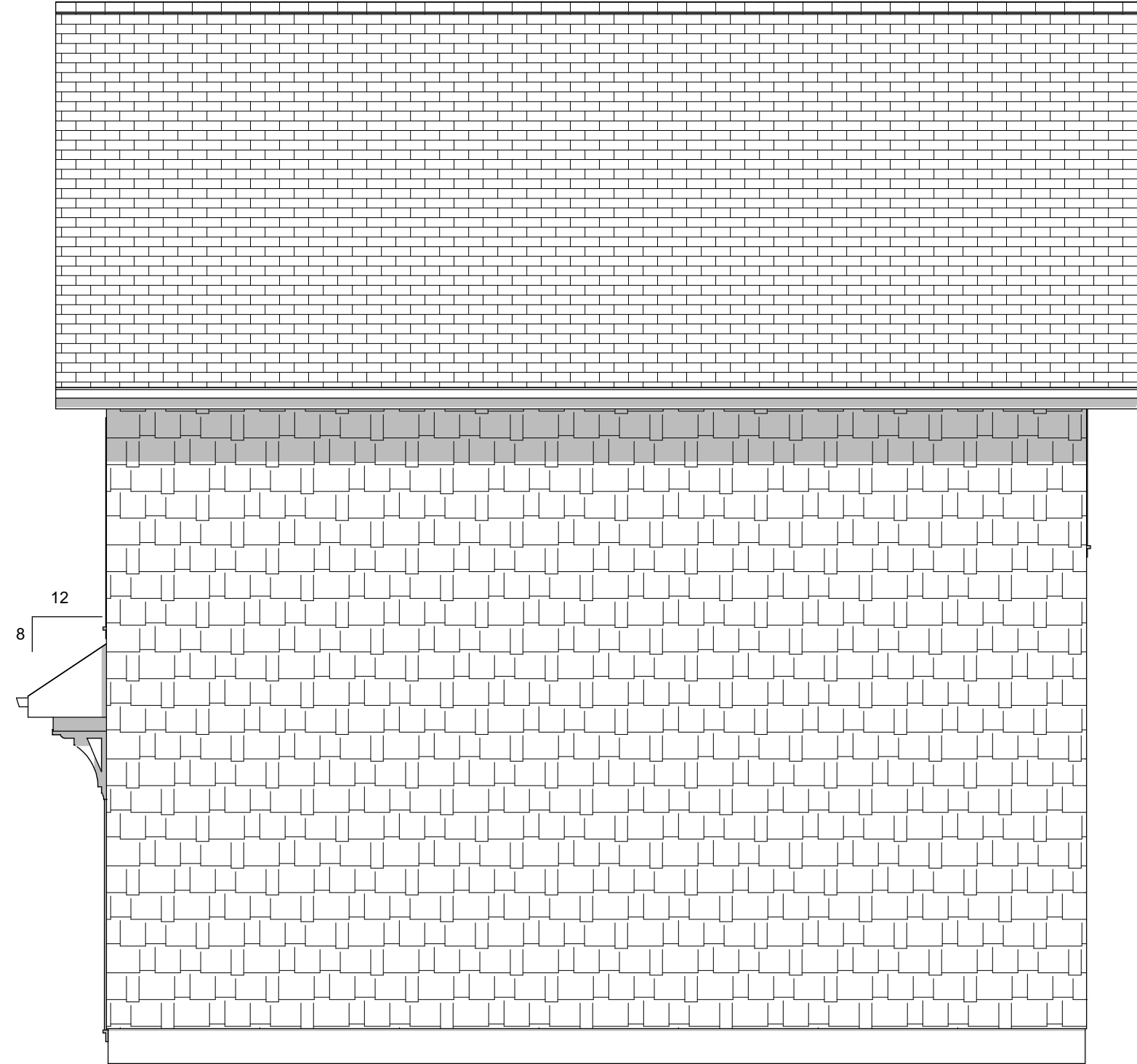
Exterior Elevation Front



Exterior Elevation Back



Exterior Elevation Left



Exterior Elevation Right

AREA	SQFT
1ST GARAGE	845
2ND FLOOR LIVING	845
TOTAL	1690

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

WINDLOAD AND STRUCTURE ONLY:

INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

JOB: LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER: DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

DESIGNER: DIANE PITTS
DATE: 5/30/2021
SCALE: 1/4" = 1'-0"

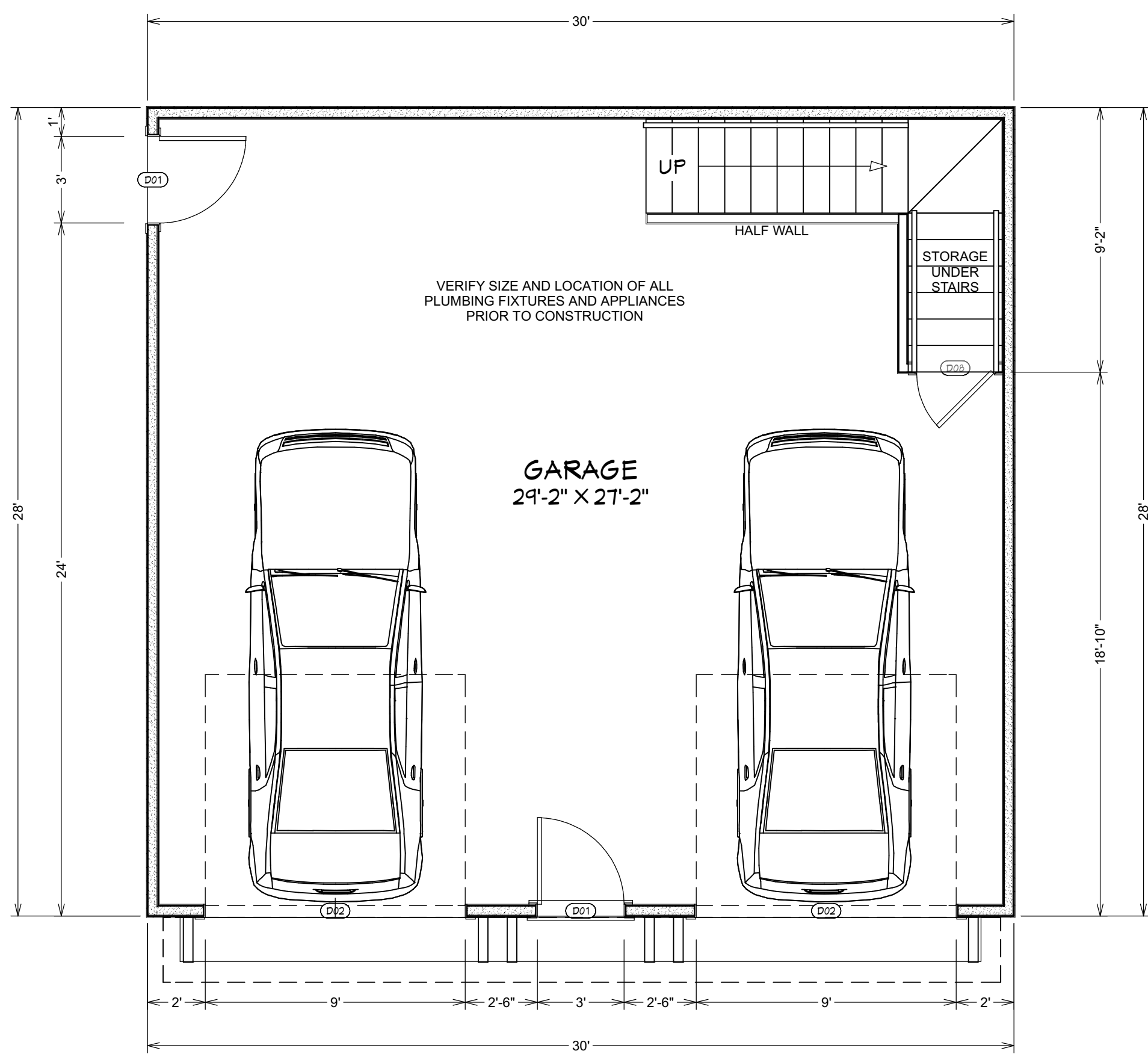
Builder's CAD Services

Diane Pitts - Owner

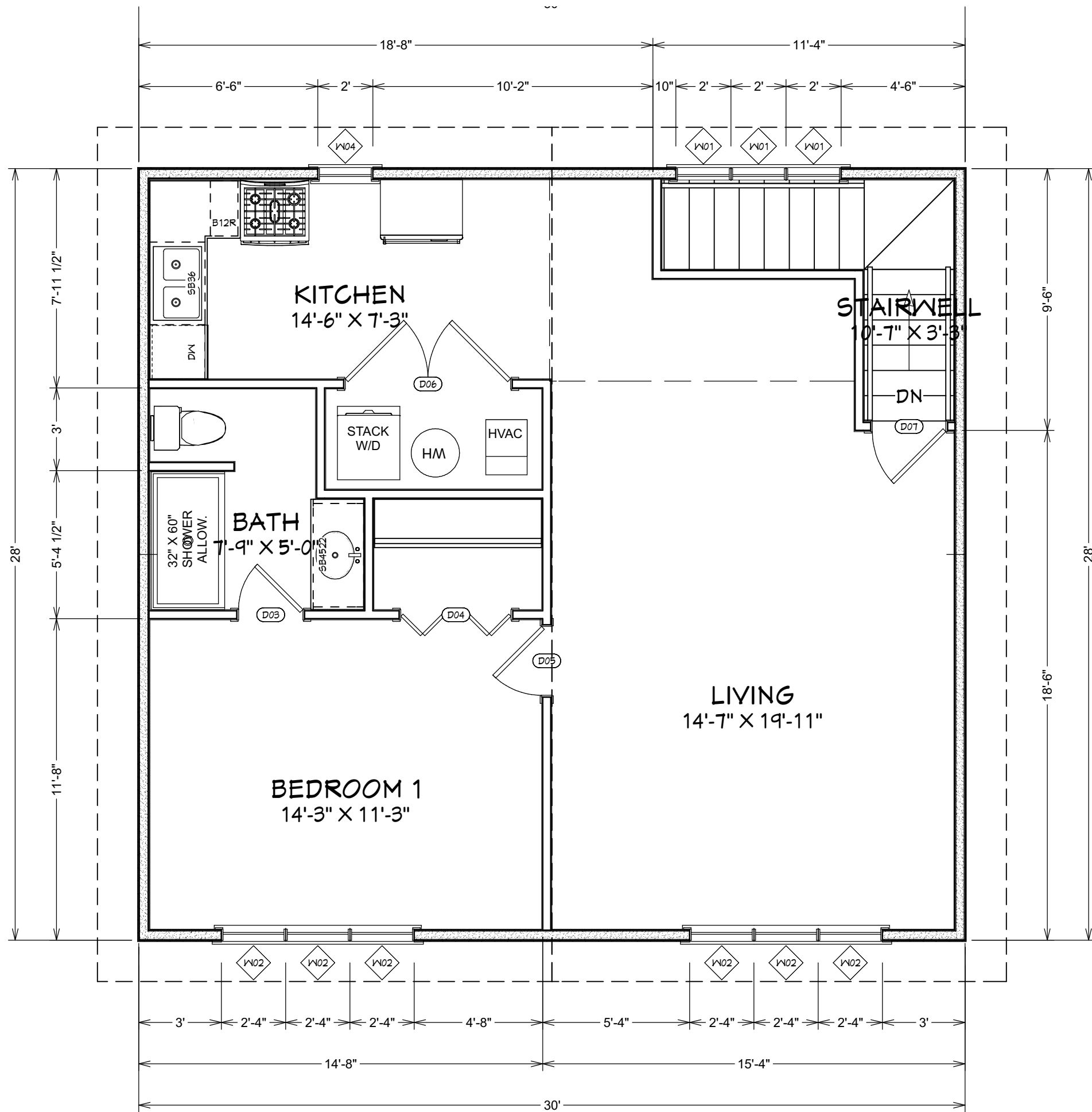
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com



Foundation



1st Floor



DOOR SCHEDULE					
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION
D01	D01-3068	2	1	3068 L EX	EXT. HINGED-6863 CRAFTSMAN THREE LITE III
D02	D02-9080	2	1	9080	GARAGE-GARAGE DOOR CHD12
D03	D03-2468	1	2	2468 R IN	HINGED-DOOR F04
D04	D04-4068	1	2	4068 L/R	4 DR. BIFOLD-LOUVERED
D05	D05-2668	1	2	2668 R IN	HINGED-DOOR F04
D06	D06-6068	1	2	6068 L/R IN	DOUBLE HINGED-DOOR F04
D07	D07-2868	1	2	2868 L IN	HINGED-DOOR F04
D08	D08-2868	1	1	2868 L IN	HINGED-DOOR F04

WINDOW SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	2044SC	3	2	2044SC	24 "	52 "	
W02	2458SC	6	2	2458SC	28 "	68 "	YES
W04	2034SC	1	2	2034SC	24 "	40 "	

AREA	SQFT
1ST GARAGE	845
2ND FLOOR LIVING	845
TOTAL	1690

THESE PLANS ARE TO BE CONSIDERED AS CONCEPTUAL ARCHITECTURAL DRAWINGS ONLY AND SHALL NOT BE CONSTRUED AS A FINAL SET OF ENGINEERED DOCUMENTS FOR CONSTRUCTION PURPOSES. IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER/OWNER TO HAVE THE DRAWINGS REVIEWED BY AN ARCHITECT, ENGINEER, CERTIFIED DESIGNER, AND/OR GENERAL CONTRACTOR, LICENSED TO PRACTICE IN THAT PARTICULAR GEOGRAPHICAL AREA IN WHICH THESE PLANS ARE TO BE USED, TO ACQUIRE THE NECESSARY INFORMATION OR ADDITIONAL DRAWINGS (I.E. STRUCTURAL TO INCLUDE FOUNDATION, FLOOR/ROOF TRUSS DESIGNS MECHANICAL, ELECTRICAL, ETC.) REQUIRED FOR ACTUAL CONSTRUCTION AND BUILDING PERMIT PURPOSES. WALL SECTIONS AND DETAILS SHOWN ARE FOR DESIGN COORDINATION PURPOSES ONLY. EXACT WALL/ROOF MATERIAL COMPOSITION AND DETAILING OF MATERIALS (INCLUDING WATERPROOFING AND FLASHING) SHALL BE DETERMINED BY THE PURCHASER/OWNER OR GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION.

BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION AND ASSURE THE F.F.E. ARE APPROPRIATE FOR THE LOCATIONS FLOOD ZONE.

WINDLOAD AND STRUCTURE ONLY:

DEAN A. SPENCER
ENGINEERING, INC.
CA #9070
MAXWELL M. SPENCER, PE
FL #8877
1197 Tiger Trace Blvd Gulf Breeze,
FL 32563
(850) 932-8730 (VOICE)
dean.spencer.pe@gmail.com

SHEET:
A2

THIS HOME MEETS SECTION 601.4 OF FLORIDA BUILDING CODE - MECHANICAL BY THE USE OF AIR DUCTS (1 1/2" X SUPPLY AIR) BEING INSTALLED FROM EACH BEDROOM TO FREE AIR OR TO THE RETURN AIR CHAMBER

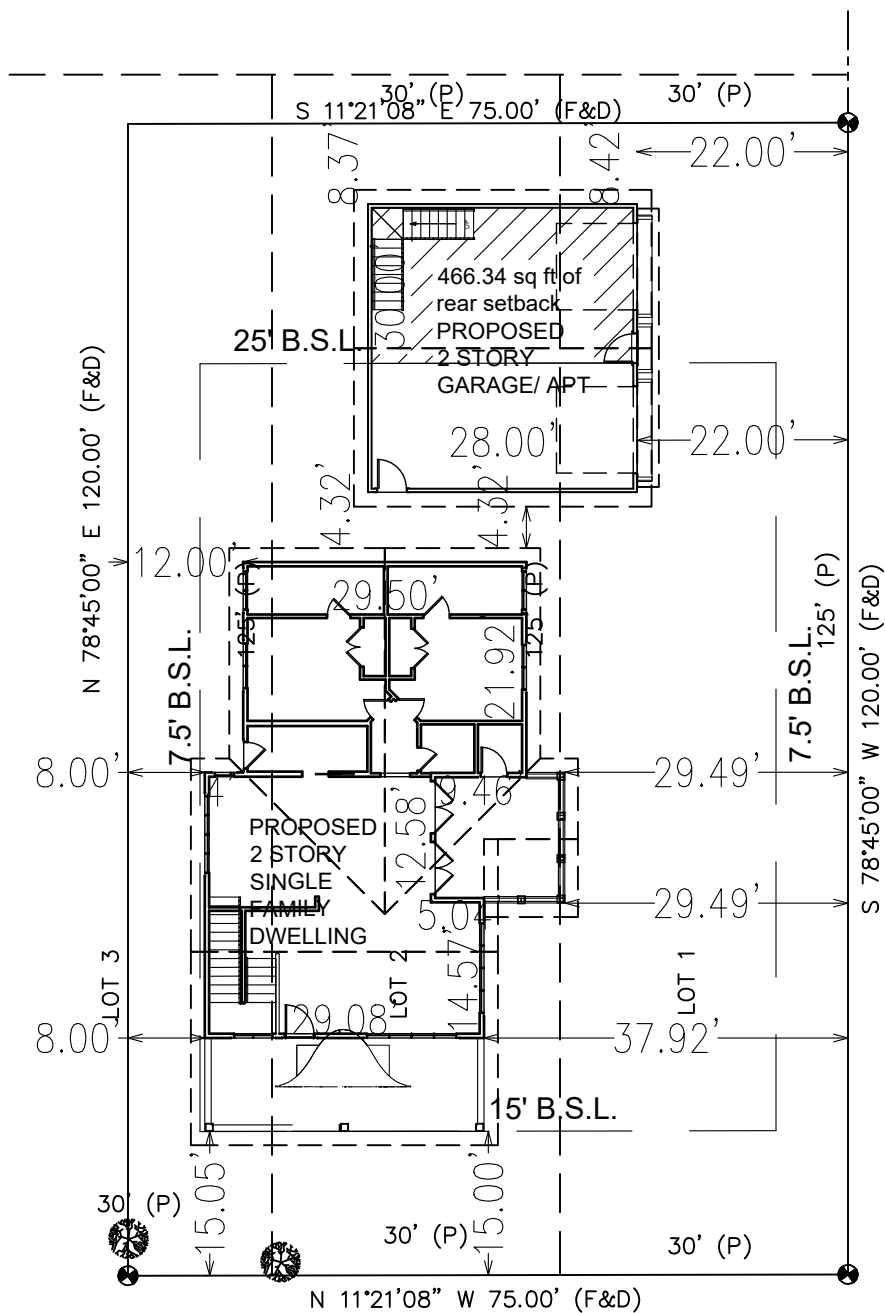
INFO RELATED TO THE WINDLOADS FOR THE DESIGN OF THIS PLAN:
1. BASIC WIND SPEED - 160MPH
2. RISK FACTOR 1
3. EXPOSURE CATEGORY B
4. INTERNAL PRESSURE COEFFICIENT +/- .18

JOB:
LAVON COATE RESIDENCE
700 NORTH BARCELONA
PENSACOLA, FL
BUILDER:
DAVID BUTLER
LOXLEY HAWK CONSTRUCTION
850-336-9000

DESIGNER:
DIANE PITTS
DATE:
5/30/2021
SCALE:
1/4" = 1'-0"



Builder's CAD Services
Diane Pitts - Owner
1264 Mazurek Blvd.
Pensacola, FL 32514
phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com



BARCELONA STREET (50' R/W)

LaVon Coate Residence

Builder's CAD Services
Diane Pitts - Owner
 1264 Mazurek Blvd.
 Pensacola, FL 32514
 phone: 850-341-6982
builderscadservices@gmail.com
www.builderscadservices.com

LOCATION: 700 N. BARCELONA ST., PENSACOLA FL

ACERAGE: ± .21

DATE: 05/30/2021

SCALE: 1" = 30'



Pavers and gravel for driveway, walking paths, and front porch steps



Porch surrounding step down design



Example of eyebrow dormer window installed

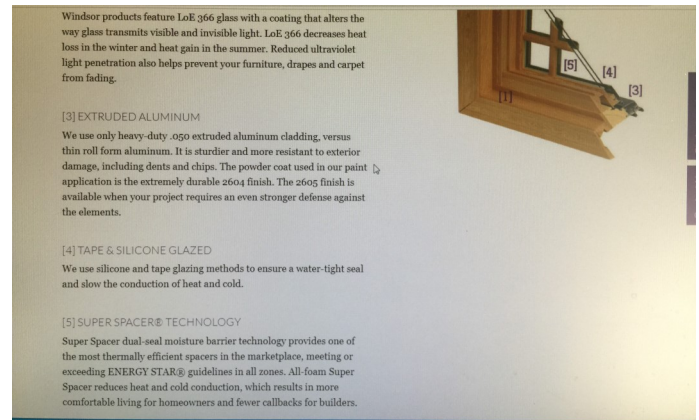
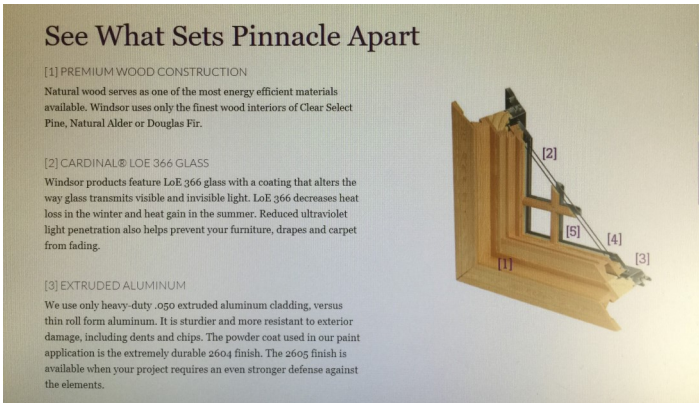


Fiberglass exterior door with carved wooden transom over Clearspring Green underlay panel

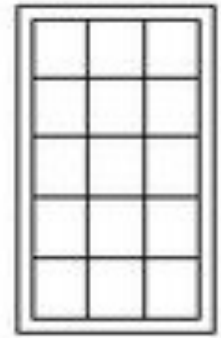


Front door color





White for trim on all door, house, windows, columns



Windsor Pinnacle three pane aluminum clad outside and primed inside, casement

Examples of window and door trim



Example of red cedar shake siding



HardieShingle staggered edge to be used on 700 North Barcelona

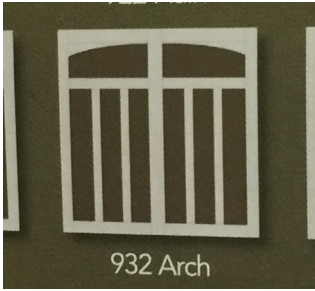
Atlas Pinnacle roofing, Majestic Shake



Chestnut Brown stain on HardieShingle straight edge



Installed Haas garage door, American Tradition

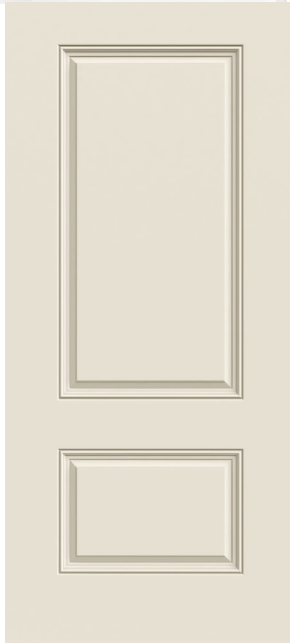
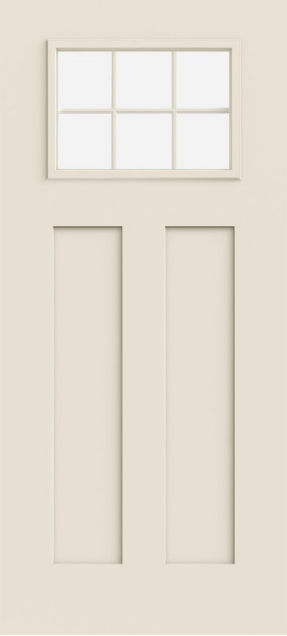


White 922, glazed arch 3 pane, Haas Door

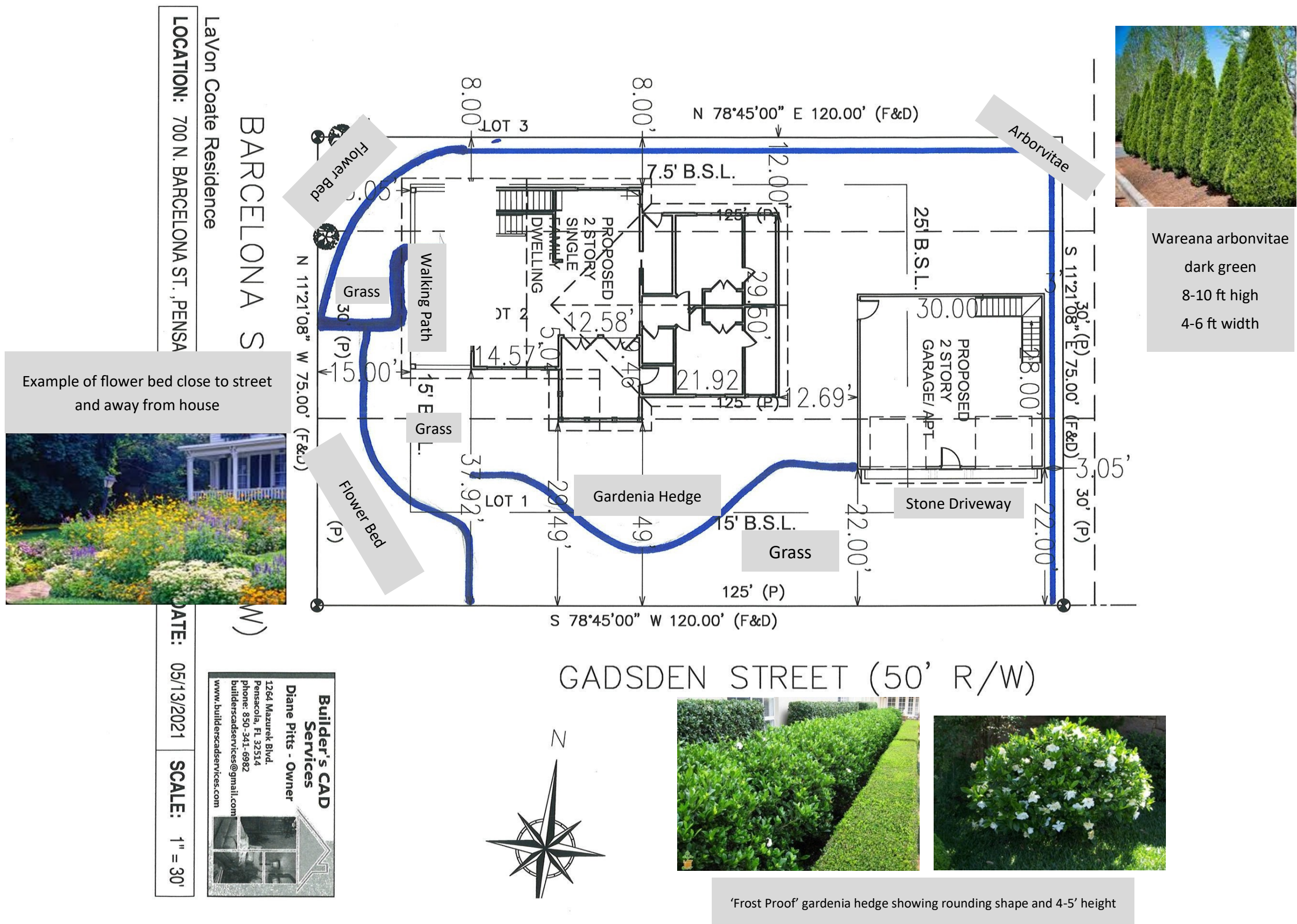
Front door and wooden transom

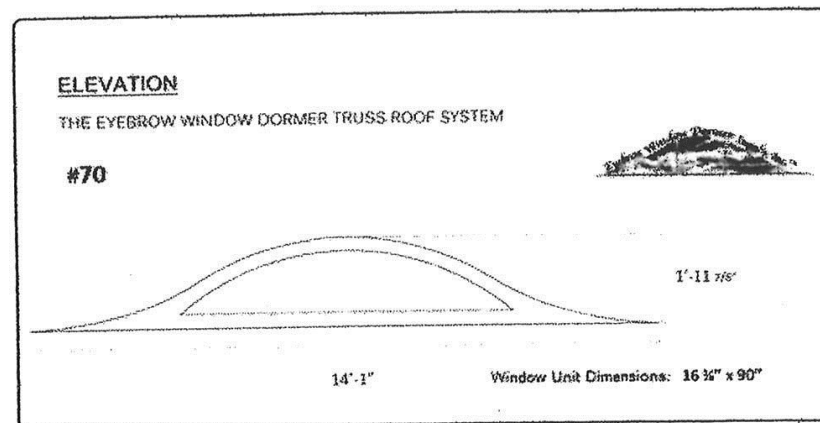
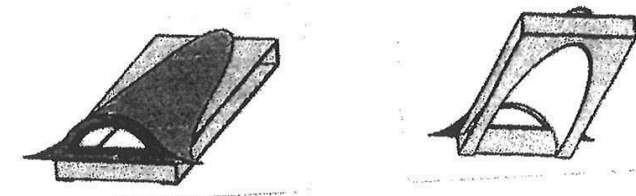


Garage exterior door



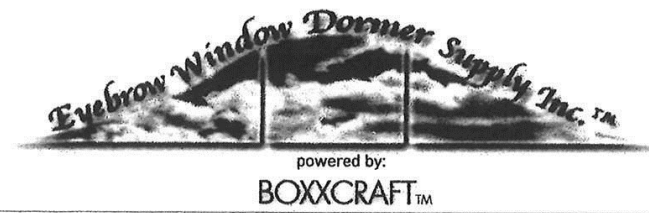
Color for front and garage exterior doors





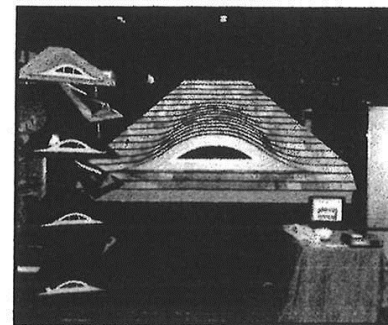
5/19/2021

ABOUT | Eyebrow Window Dormer Supply



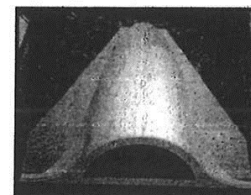
HOME ABOUT PRODUCTS KIT INCLUDES DESIGN YOUR OWN GALLERY INSTALLATION PROCESS CONTACT

About

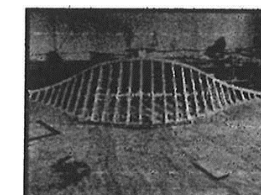


2008 IBS Show Orlando, Awarded one of Best New Products

Having the roots of our company engrossed in fine craftsmanship and the art of roof cutting, we wanted to explore the prefabrication of other specialized architectural roof features. Compiling various layers of exposure to 2D plans and 3D renderings over the years, we recognized the advantage of technology. Hence BOXXCRAFT Inc. was formed to power and facilitate the sharing of our craftsman's practice.

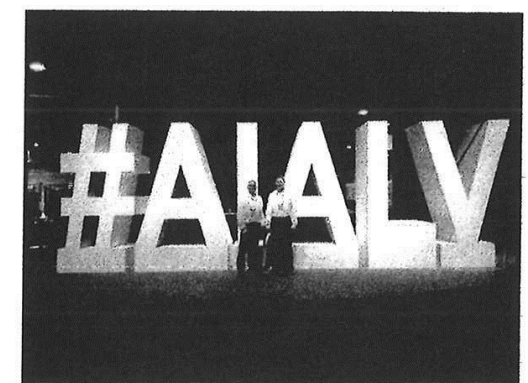


True-Through Eyebrow Dormer ready to ship



Large Eyebrow Dormer Framing

Architects loved the Boxxcraft App at AIA'19 in Las Vegas



Copyright 2007-2019. The Eyebrow Window Dormer Supply Inc

info@ewdsinc.com
631-653-7800
6 Industrial Dr. Quogue, NY 11959



TO: Gregg Harding, Historic Preservation Planner

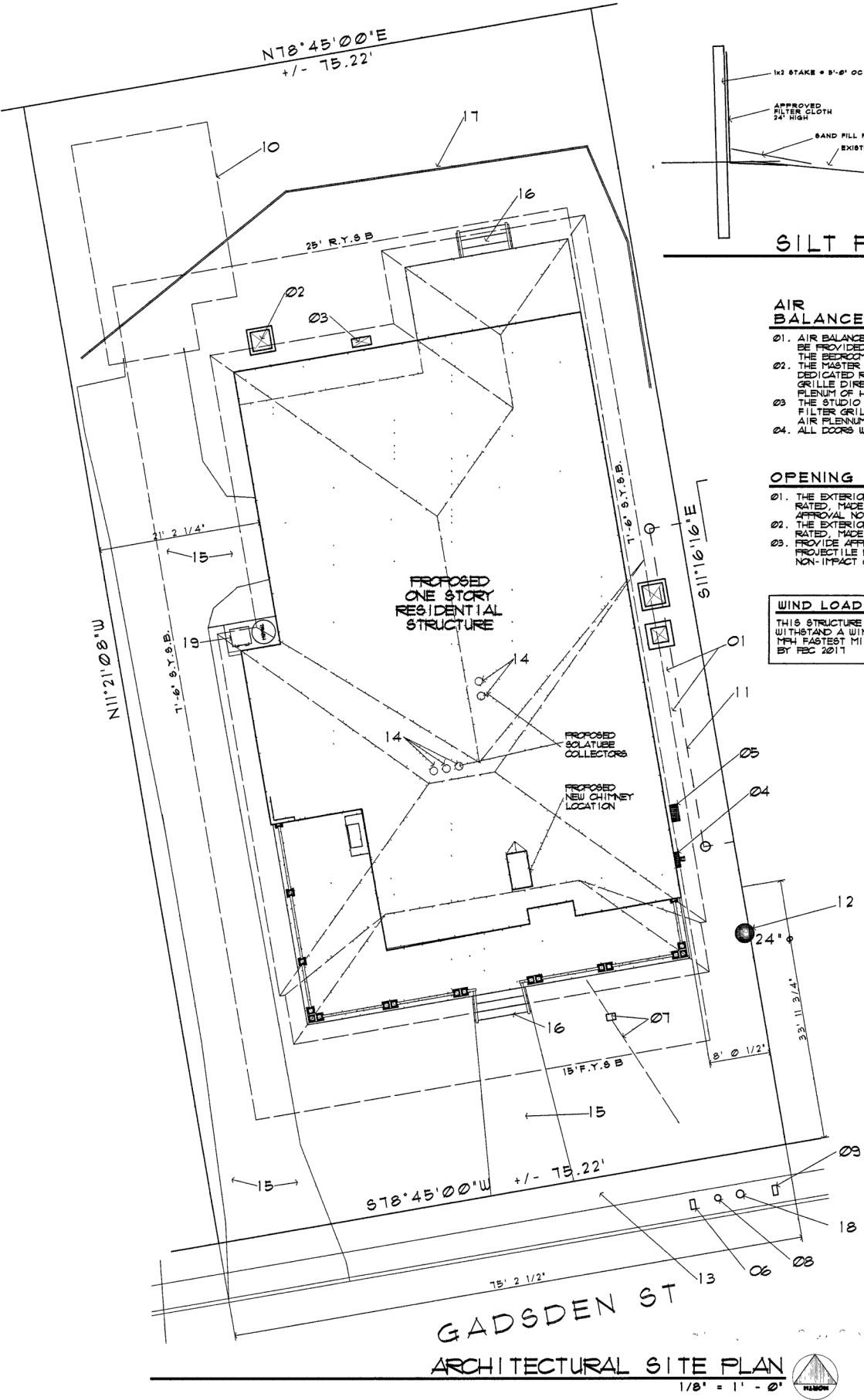
FR: LaVon Coate, 700 North Barcelona Street

DA: 6/1/21

Please include the following clarification information in my application materials:

1. The garage door is manufactured by Haas Door and is made of insulated 26 gauge galvanized steel with polyurethane overlay boards. It is part of the American Tradition Series and meets wind load and other code requirements.
2. The Windsor Pinnacle wood clad casement windows do not have simulated interior divided lites. They are exterior **Putty Windsor Divided Lites**.
3. The pitch of the garage roof is 12:8 and the pitch of the house is 12:12.

Home approved at 220 W. Gadsden Street (next door)



AIR BALANCE STATEMENT

- 01. AIR BALANCE IN THE STRUCTURE WILL BE PROVIDED BY TRANSFER GRILLES.
- 02. THE MASTER BEDROOM WILL HAVE A DEDICATED RETURN AIR FILTER GRILLE DIRECT TO THE RETURN AIR FLENUM OF HVAC #1.
- 03. THE STUDIO WILL HAVE A RETURN AIR FILTER GRILLE DIRECT TO THE AIR FLENUM OF HVAC #2.
- 04. ALL DOORS WILL BE UNDERCUT 3/4".

OPENING PROTECTION

- 01. THE EXTERIOR WINDOWS ARE WIND RATED. MADE BY ANDERSEN. SEE APPROVAL NOTES.
- 02. THE EXTERIOR DOORS ARE IMPACT RATED. MADE BY MASONITE.
- 03. PROVIDE APPROVED FABRIC SHIELD PROJECTILE PROTECTION FOR ALL NON-IMPACT OPENINGS.

WIND LOAD CERTIFICATION

THIS STRUCTURE IS DESIGNED TO WITHSTAND A WIND VELOCITY OF 160 MPH FASTEST MILE WIND AS REQUIRED BY REC 2017.

FLORIDA APPROVAL NUMBERS

- 01. ROOFING SHINGLES
MADE BY G A F. TIMBERLINE
FL# 10124-RS 11831.1
- 02. WINDOWS
611 LINE CLAD WOOD
MADE BY JELDUEEN, FLORIDA APPROVALS
SINGLE HUNG FL# 31196
- 03. EXTERIOR DOORS
NEUMA MULTI-POINT LOCKING DOORS
OUTSWING DP60 FL# 14192.1
INSWING DP60 FL# 14192.4
- 04. LAP SIDING
MADE BY JAMES HARDIE. HARDIE-PLANK
FL# 13192
- 05. SEE FASTENING REQUIREMENTS ON APPROVAL SOFFIT
MADE BY JAMES HARDIE. HARDIE SOFFIT
FL# 13223.2 & 13223-RA
- 06. SIMPSON HOLD DOWN & STRAPS SEE
FL# 3589-RS, 10441.1, 10441.4, 10441.6.
- 07. GARAGE DOORS
MADE BY WAYNE DALTON DOOR COMPANY
WAYNE DALTON, SERIES 3020
FL# 9174.4

GENERAL SITE PLAN NOTES

- 01. THE SPECIFICATIONS ARE INCLUDED AS PART OF THESE DOCUMENTS. THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS.
- 02. BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY THE CONTRACTOR.
- 03. THE SITE IS LOCATED IN FLOOD ZONE 'X'.
- 04. SEE DIVISION TWO - SITE WORK FOR GENERAL SITE WORK REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND EXERCISE EXTREME CARE DURING EXCAVATION AND SITE PREPARATION TO PROTECT EXISTING UNDERGROUND PIPING, WIRING, ETC.
- 05. EXECUTE ALL WORK WITH DUE CONSIDERATION FOR ALL PLANTS, TREES, SHRUBS AND SURROUNDING AREAS. REPLACE OR REPAIR ANY PORTIONS OF ADJACENT STRUCTURES & PROPERTY DAMAGED DURING WORK.
- 06. WATER METER IS EXISTING. PROVIDE NEW 1" SCHEDULE 80 P.V.C. WATER SERVICE.
- 07. O.H. POWER IS AVAILABLE AT THE SITE. VERIFY POWER REQUIREMENTS WITH POWER COMPANY. PROVIDE NEW 4" SCD 80 PVC SEWER TO EXISTING SEWER MAIN.
- 08. PROVIDE NEW GAS SERVICE & METER.

SITE PLAN KEY NOTES

- 01. HVAC OUTSIDE UNIT. SEE MECH.
- 02. WINE ROOM HVAC OUTSIDE UNIT. SEE ALLOWANCES.
- 03. IRRIGATION PUMP. SEE ALLOWANCES.
- 04. ELECTRIC METER w/ O.H. SERVICE. SEE ELECTRICAL & ALTERNATES.
- 05. NATURAL GAS METER.
- 06. EXISTING WATER METER. VERIFY CONDITION.
- 07. NEW 3/4" SCHEDULE 80 PVC WATER SERVICE w/ 1" CUT-OFF IN U G BOX.
- 08. EXISTING FIRE HYDRANT TO REMAIN. PROTECT FROM DAMAGE.
- 09. ADJACENT PROPERTY WATER METER.
- 10. FUTURE DETACHED STORAGE.
- 11. EXISTING 6' FT WOOD FENCE TO BE REMOVED AND REPLACED ON PROPERTY LINE.
- 12. EXISTING TREE TO REMAIN. PROVIDE PROTECTION AS SHOWN.
- 13. EXISTING CONCRETE SIDEWALK TO BE REPLACED. VERIFY CITY REQUIREMENTS.
- 14. SOLATUBE LIGHT TUBE COLLECTOR. ARCHITECT SERIES LCU PROFILE COLLECTOR.
- 15. NEW 5" CONCRETE DRIVE OR WALK.
- 16. MASONRY STEPS.
- 17. SILT FENCE AS REQUIRED BY CODE.
- 18. ATT UTILITY POLE.
- 19. TRASH & RECYCLE BIN.

INDEX TO DRAWINGS

COV	ARCHITECTURAL SITE PLAN
SURV	SURVEY
A-1	FLOOR PLAN
A-2	SECTION
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	PERFECTIVE
A-6	FINISH SCHEDULE
A-7	REFLECTED CEILING PLAN
A-8	ROOF PLAN
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
S-3	TRUSS ELEVATIONS
M-1	MECHANICAL PLAN
E-1	ELECTRICAL FLOOR PLAN

APPLICABLE CODES

- 2017 F.B.C. (FBC)
- 2017 FLORIDA MECHANICAL CODE (FMC)
- 2017 FLORIDA PLUMBING CODE (FPC)
- 2018 NATIONAL ELECTRIC CODE (NEC)
- 2014 LIFE SAFETY CODE (NFPA 101)
- BUILDING INSPECTIONS DEPT. 850-595-3550
- PLANNING DEPARTMENT 850-595-3412

DATE:
01-04-21
01-16-21

JVA
J. VYAL, ARCHITECT
1-850-450-3295
AL 32636



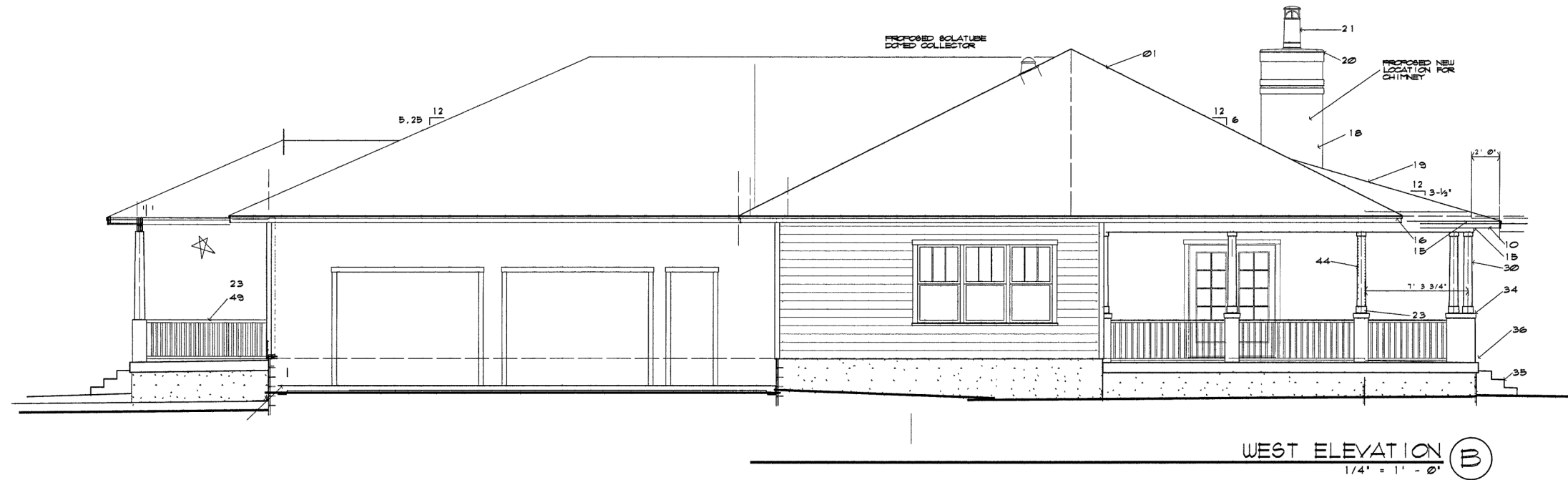
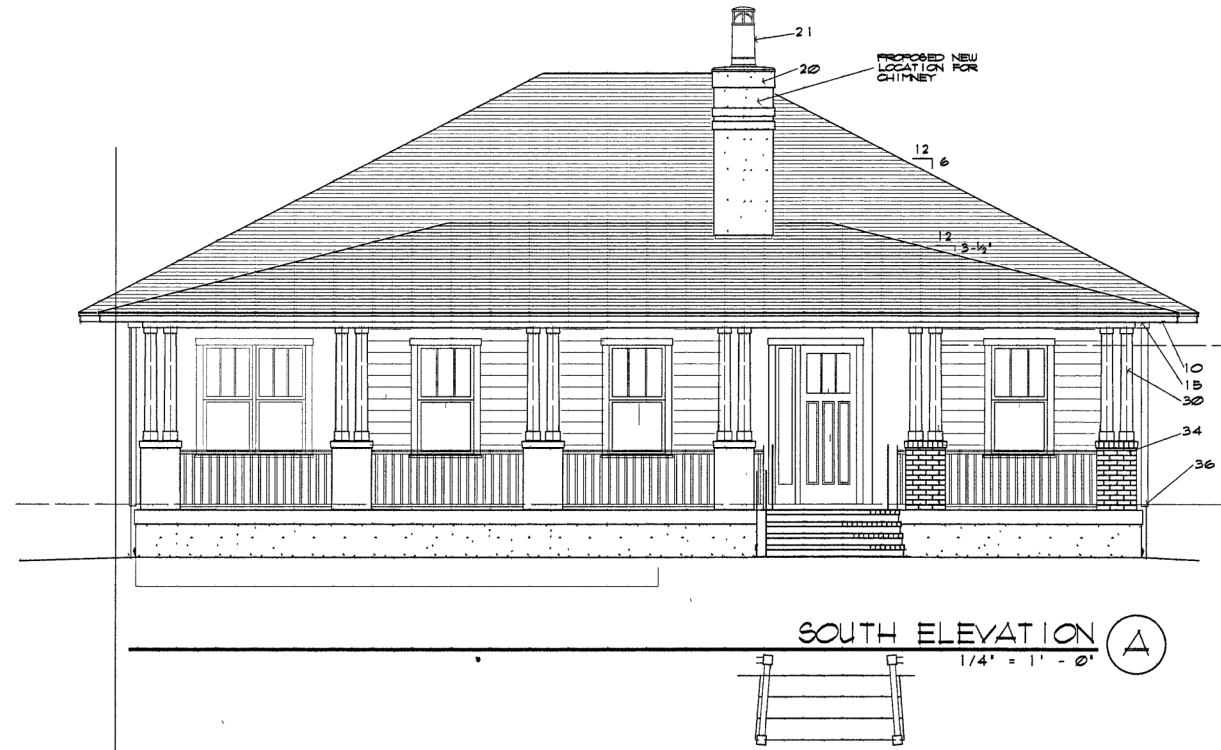
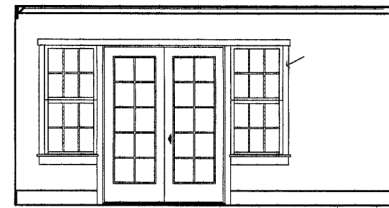
A NEW
HOLMES HOME
220 WEST GADSDEN STREET, FENSACOLA, FL

PERMIT SET
© 2021 JVA/ARCH

DRAWN BY:
COV
OF

HEAD COV

Home approved at 220 W.
Gadsden Street (next door)

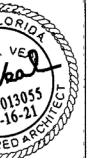


SECTION KEY NOTES

- 01 F & G ROOFING ON ICE & WATER SHIELD ON 5/8" 9 PLY GOK PLYUD GLUED AND NAILLED ON TRUSSES OR 2x FRAMING SEE SPECIFICATIONS & ALTERNATES
- 02 6" OPEN CELL SPRAY FOAM INSUL. SEE SPECIFICATIONS
- 03 DOUBLE 2x6 BLOCKING AT RIDGE w/ BEVELED TOP FOR FLUSH CUT & ROOF DECK GLUE AND NAIL SEE BUCKING NOTES, FRAMING PLAN, AND NAILING
- 04 DOUBLE 2x6 BLOCKING & BEARING SEE BUCKING NOTES & NAILING
- 05 DEL 2x6 TOP PLATE w/ (2) STRAPS OR TIE DOUGS INSTALL ONE ON INSIDE & ONE ON OUTSIDE OF WALL SEE FRAMING PLAN & MANUFACTURERS RECOMMENDATIONS
- 06 2x6 VERT BLOCKING AT ROOF DECK w/ BEVELED TOP FOR FLUSH CUT TO ROOF DECK GLUE AND NAIL
- 07
- 08
- 09 032 PAINTED ALUM DRIP ON STAINED P.T. 1x2 DRIP ON KDAT 1x6 FASCIA ON 2x6 SUB-FASCIA HARDIE SOFFIT ON 2x4 FRAMING. STAINED P.T. 2x60 FRIEZE
- 10
- 11
- 12 PROVIDE 3/4" T&G PLYUD AT ATTIC TRUSS SPACE. SEE TRUSS ELEV.
- 13
- 14 STAINED P.T. 1x BEAM TRIM ON 5/8" PT PLYUD BEAM. SEE FRAMING PLAN & DTLS
- 15 STAINED HARDIE BOARD CLG ON 2x6 CEILING FRAMING. SEE SPECIFICATIONS & REFLECTED CEILING PLAN
- 16
- 17 3/4" STUCCO w/ ELASTOMER COATING ON PAPER BACKED WIRE LATH SEE DTLS & SPECS
- 18 PVC COATED 032 ALUM FLASHING SLOPE TO DRAIN
- 19 PAINTED 032 ALUM CHIMNEY CAP SEE SPECS
- 20 DECORATIVE CHIMNEY TOP SEE SPECS
- 21
- 22
- 23 HARDIE-PLANK LAP SIDING ON TYVEX ON P.T. 5/8" PT PLYUD SHEATHING ON 2x6 STUDS SEE ELEV & SPECS
- 24 INSTALL HORIZ. EXTEND 5/8" P.T. SHEATHING UP TO BOTTOM OF ROOF DECK NOTCH AROUND TRUSS TAILS. SEE DTLS.
- 25
- 26 MASONRY WAINSCOT SEE ELEVATIONS, ALTERNATES & ALLOWANCES
- 27 PAINTED 032 ALUMINUM DRIP CAP ON TOP OF SLOPED WAINSCOT CAP
- 28
- 29
- 30 P.T. 1x KDAT COLUMN TRIM ON FRAMING ON 4" STEEL TUBE COLUMN
- 31
- 32 STACKED STONE COLUMN BASE w/ CONCRETE CAP SEE ELEVATIONS AND ALLOWANCES
- 33 MASONRY STEPS SEE DETAILS AND ALLOWANCES
- 34 STAINED CONCRETE PORCH EDGE. SEE DETAILS.
- 35
- 36
- 37
- 38
- 39
- 40 5/8" TYPE 'X' GYP BD. ON CEILING SEE SPECIFICATION
- 41 HULL DOWN ATTIC STAIRS. SEE SPECIFICATIONS
- 42 HORIZONTAL HVAC UNIT, SUSPENDED FROM STRUCTURE AND MOUNTED ON VIBRATION PADS ON PT BLOCKS IN SECONDARY DRAIN PAN.
- 43
- 44 5/8" TYPE 'X' GYP BD. ON 2x6 STUDS & 16" OC w/ 5/12" BLOW-IN BATT INSULATION. SEE SPECIFICATIONS
- 45 5/8" TYPE 'X' GYP BD. ON EACH SIDE OF 2x STUDS & 16" OC
- 46 5/8" TYPE 'X' GYP BD. ON 5/8" CDX, 5-PLY PLYUD WALL SHEATHING ON 2x STUDS & 16" OC
- 47 5/8" TYPE 'X' GYP. ON 2x STUDS w/ SOUND BATT. SEE DETAILS & SPECS.
- 48
- 49 COMPOSITE WOOD HANDRAIL SYSTEM. SEE DETAILS & ALLOWANCES
- 50
- 51
- 52 4" CONCRETE SLAB ON 10 MIL POLY V.B. ON WELL COMPACTED, TERMITES TREATED SOIL. SEE CORPACTON NOTES AND SPECS
- 53 SLOPED 4" CONCRETE ON 10 MIL POLY V.B. ON WELL COMPACTED, TERMITES TREATED SOIL. SEE FOUND PLAN
- 54
- 55 4" CONCRETE DRIVE w/ FIBERGLASS REINFORCEMENT DRIVEWAY SLAB OR WALK. SEE FOUNDATION PLAN.
- 56
- 57 P.T. 2x6 PLATE w/ 5/8" x 12" A.B. w/ HEX HEAD & 2" WASHER INTO FILLED CELL OR BOND BEAM ON 8" C.I.T.U. STEEL WALL w/ STEEL REINFORCING IN FILLED CELLS SEE FOUNDATION PLAN AND DETAILS
- 58 8" C.I.T.U. STEEL WALL w/ STEEL REINFORCING IN FILLED CELLS SEE FOUNDATION PLAN AND DETAILS
- 59 THICKENED CONCRETE EDGE SEE FOUNDATION PLAN AND DETAILS
- 60 STEEL REINFORCING. SEE DETAILS
- 61 CONCRETE STRIP FOOTING w/ STEEL REINFORCING. SEE FOUNDATION PLAN AND DETAILS
- 62 CONCRETE PAD FOOTING w/ STEEL REINFORCING. SEE FOUNDATION PLAN
- 63 ELASTOMERIC COATINGS ON 8" C.I.T.U. STEEL WALL w/ FLUSH RAKED MORTAR JOINTS.

DATE:
01-24-21
01-16-21

JVA
J. VEAL ARCHITECT
607 BAYVIEW DR. STE. 100
1-850-430-3330
AL #22606 NC #9966 FL #13055



A NEW RESIDENCE FOR
HOLMES HOME
220 WEST GADSDEN STREET, PENSACOLA, FL

PERMIT SET
© 2021 JVA ARCH

DRAWN BY:
A-3
OF

HB2029EC

Gregg Harding

From: LaVon Coate <lavon@invitationtopaper.com>
Sent: Friday, June 11, 2021 11:12 AM
To: Gregg Harding
Subject: Re: [EXTERNAL] Re: 700 N. Barcelona Street / ARB Chairman and Advisor Comments

In response to your questions:
All of the siding is staggered.
The house is four feet above sidewalk elevation.

Thanks,
LaVon Coate

On Wed, Jun 9, 2021 at 12:31 PM Gregg Harding <GHarding@cityofpensacola.com> wrote:

Thank you, LaVon! Email responses for everything will work perfectly.

Talk to you soon.

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

gharding@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.

From: LaVon Coate <lavon@invitationtopaper.com>

Sent: Tuesday, June 8, 2021 4:49 PM

To: Gregg Harding <GHarding@cityofpensacola.com>

Subject: [EXTERNAL] Re: 700 N. Barcelona Street / ARB Chairman and Advisor Comments

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Just read details in your email, I will send back answers to both in the email.

Thanks

Lavon

On Tue, Jun 8, 2021 at 9:51 AM LaVon Coate <lavon@invitationtopaper.com> wrote:

It is all staggered. This is not well identified.

I see David tomorrow and he will give me the finished floor elevation.

Do I send the requested information to you in an email? What do I need to do so it works smoothly at your end?

Thanks,

Lavon

On Tue, Jun 8, 2021 at 8:34 AM Gregg Harding <GHarding@cityofpensacola.com> wrote:

Good morning LaVon,

I was able to meet with the ARB Chairman and Historic Trust Advisor late yesterday. Their comments regarding the 700 N. Barcelona Street agenda item included the following:

- Can the applicant clarify where the Hardie straight edge shingles will be (it appears that the main body of both structures will be Hardie staggered edge).

- Is the application able to provide information regarding the finished floor elevation (distance between grade and top of subfloor)

Thank you, LaVon. These can just be clarified in an email to me and I will add it as a memo to your packet. Please let me know if you have any questions and thank you!

Best,

Gregg Harding, RPA

Historic Preservation Planner

Visit us at <http://cityofpensacola.com>

222 W Main St.

Pensacola, FL 32502

Office: 850.435.1676

gharding@cityofpensacola.com



Florida has a very broad public records law. As a result, any written communication created or received by City of Pensacola officials and employees will be made available to the public and media, upon request, unless otherwise exempt. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this office. Instead, contact our office by phone or in writing.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00522

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

710 N. Barcelona Street
North Hill Preservation District / Zone PR-2
Final Approval for New Construction

BACKGROUND:

Jim Veal is seeking final approval for a new single-story single-family residence. The new home is proposed to have a pebble dash cement exterior with fiber cement trim, vinyl 3/1 windows with divided lites, clad doors, a sloped concrete porch deck, and 5v-crimp roof panel eyebrows over the windows.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(2)d.2.ii.(b) *North Hill Preservation District, Decisions, New construction*
Sec. 12-3-10(2)e. *NHPD, Regulations and guidelines for any development*
Sec. 12-3-10(2)h. *NHPD, Regulations for new construction*

710 N. Barcelona Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 05-26-2021

Project Address: 710 North Barcelona Street

Applicant: J.Veal, Architect

Applicant's Address: 627 Bayshore Dr, Pensacola, FL 32507

Email: jv@jvealarchitect.com **Phone:** 850-450-3295

Property Owner: Bob Holmes

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

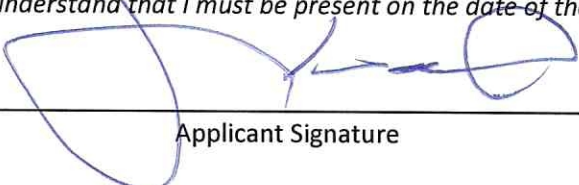
- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of Single Family Structure located at the above address

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

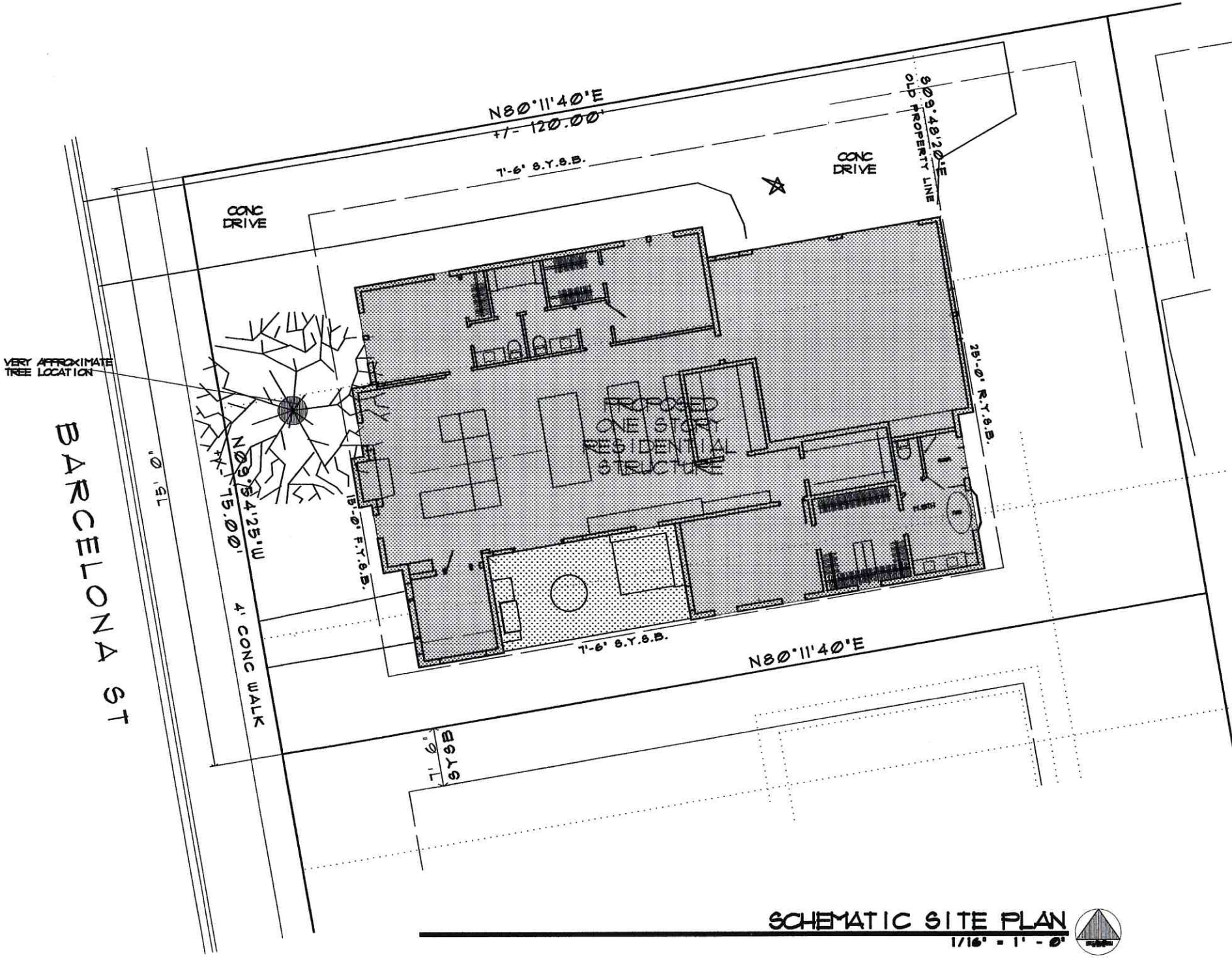
5-24-21
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

JVA
J. VREAL, ARCHITECT
807 WATERBURY DR. FENSACOLA, FL 32037
TEL: 904-644-1111 FAX: 904-644-1112
AL 000000 NC 000000 FL 000000

A NEW
HOLMES HOME - H2
NORTH BARCELONA STREET • FENSACOLA, FLORIDA

DRAWN BY:
COV
OF
H2A04ELE

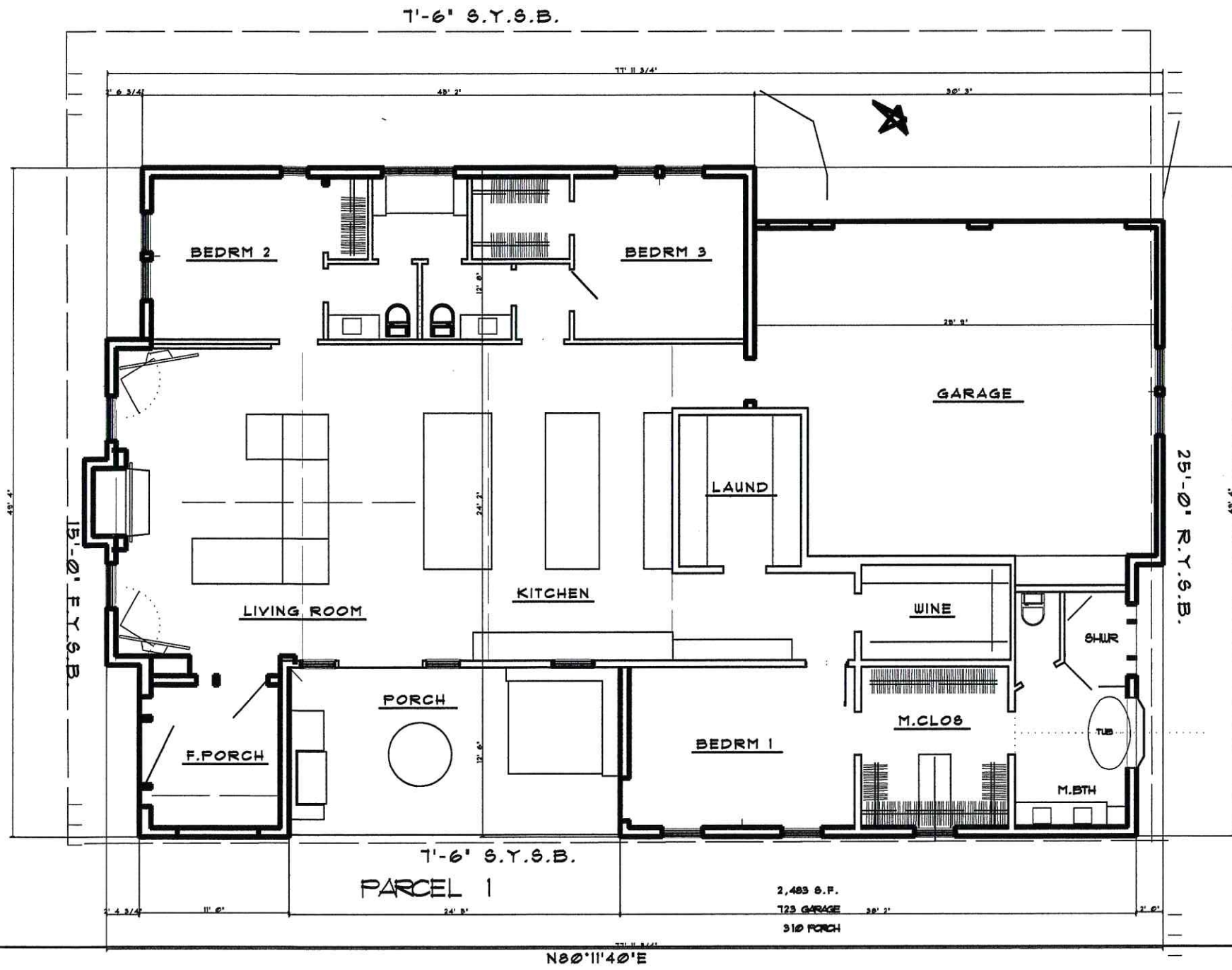


SCHEMATIC SITE PLAN
1/16" = 1' - 0"

JVA
J. VIAL, ARCHITECT
677 MAYBERRY DR. PENSACOLA, FL 32507
1-850-436-3393
AL 92486 FL 92485

A NEW
HOLMES HOME - H2
NORTH BARCELONA STREET, PENSACOLA, FLORIDA

DRAWN BY:
A-1
OF
H2A04ELE



PRELIMINARY
NOT FOR CONSTRUCTION

GROUND FLOOR PLAN

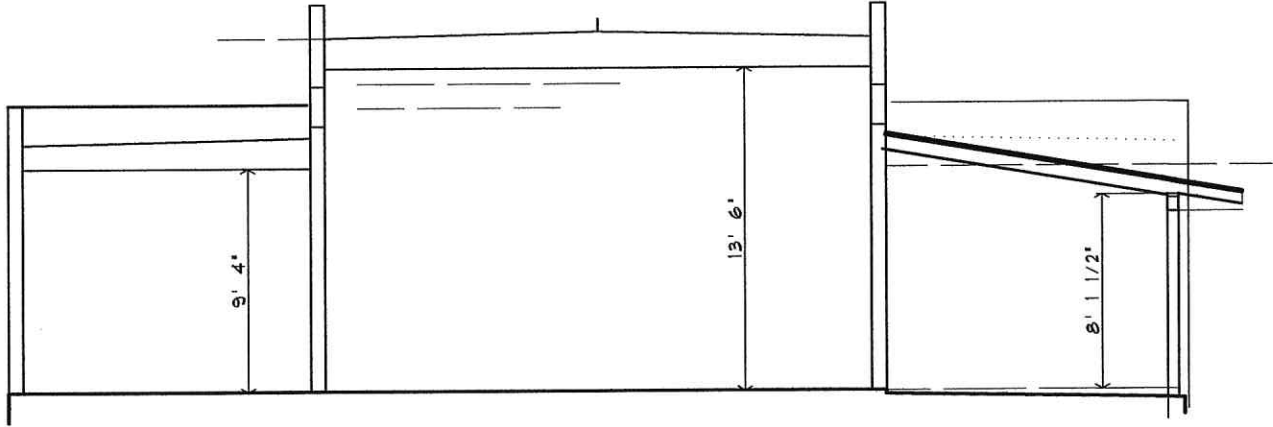
1" = 10'-0"

A NEW
HOLMES HOME - H2
NORTH BARCELONA STREET • PENSACOLA, FLORIDA

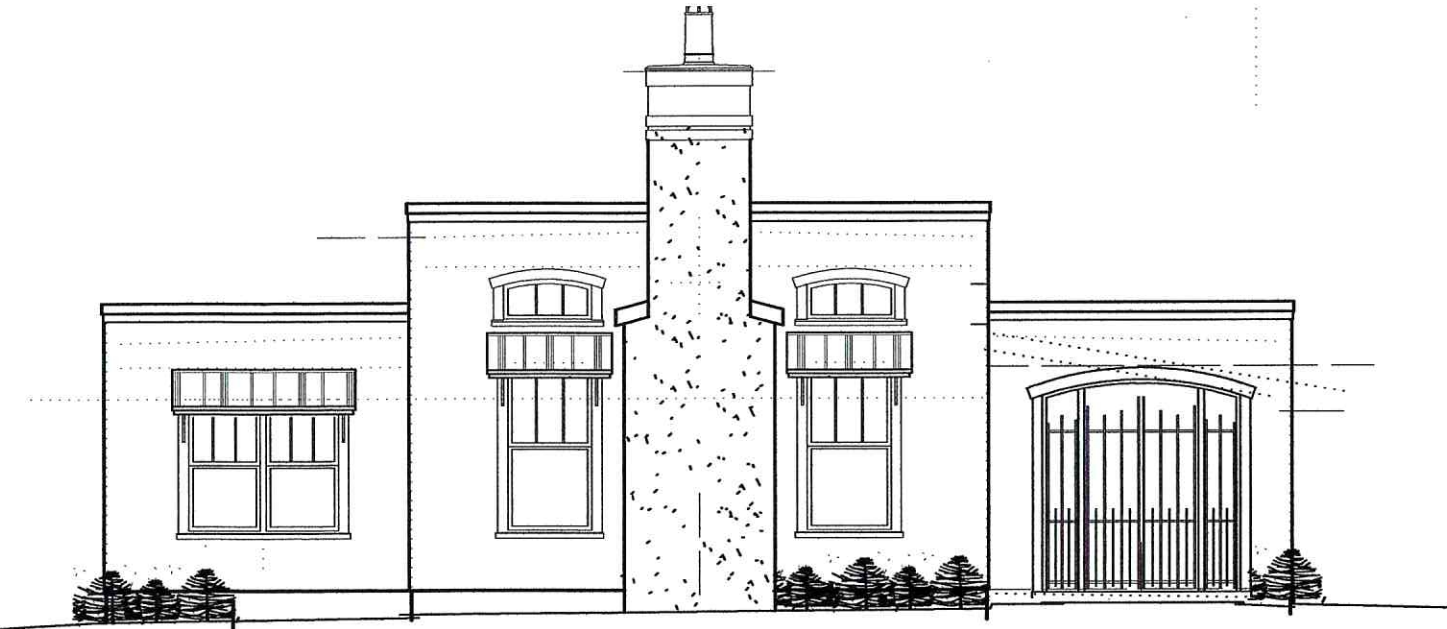
JVA
J. VEAL, ARCHITECT
637 BAYSHORE DR. PENSACOLA, FL 32507
1-850-450-3395 jve@jvealarchitect.com
AL 032636 NC 09066 FL 030653

DRAWN BY:
A-2
OF

H2A04ELE



PRELIMINARY
NOT FOR CONSTRUCTION
NORTH/SOUTH SECTION (B)
1/8" = 1' - 0"



PRELIMINARY
NOT FOR CONSTRUCTION

WEST ELEVATION

1/4" = 1' - 0"

(A)



PRELIMINARY
NOT FOR CONSTRUCTION

SOUTH ELEVATION

1/4" = 1' - 0"

(B)

A NEW
HOLMES HOME - H2
NORTH BARCELONA STREET • PENSACOLA, FLORIDA

JVA
J. VREAL, ARCHITECT
637 BAYVIEW DR. PENSACOLA, FL 32507
1-850-450-3395 jv@jvrealarchitect.com
AL #25636 NC #2066 FL #15055

DRAWN BY:

A-3

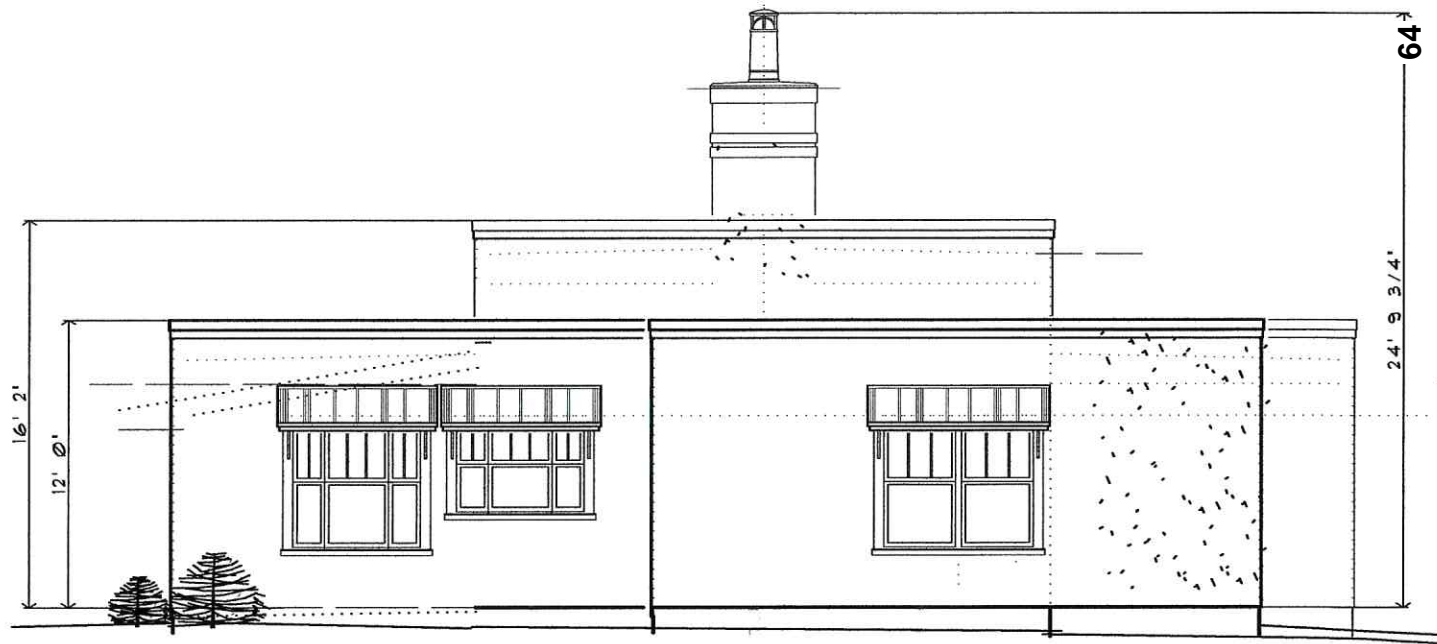
OF

H2A04ELE

A NEW
HOLMES HOME - H2
 NORTH BARCELONA STREET • PENSACOLA, FLORIDA

J V A
 J. VEAL, ARCHITECT
 607 MATTHEWS DR. PENSACOLA, FL 32507
 1-800-455-5555 JVEAL@JVEALARCH.COM
 AL 633636 NC 69046 FL 613555

DRAWN BY:
A-4
 OF
 H2A04ELE



PRELIMINARY
 NOT FOR CONSTRUCTION

EAST ELEVATION

1/8" = 1'-0"

(C)

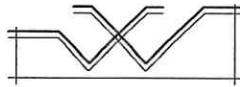


PRELIMINARY
 NOT FOR CONSTRUCTION

NORTH ELEVATION

1/8" = 1'-0"

(D)



J.Veal, Architect

05-24-2021

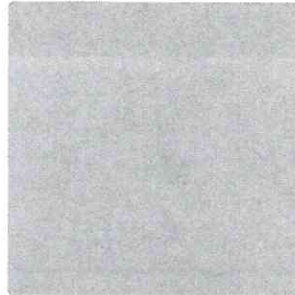
Holmes Home (H2) – Materials / Products & Colors

page 1

Siding, Trim, etc. – Pebble Dash Cement ,



Pebble Dash cement Stucco....

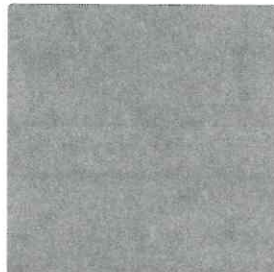


Ben Moore HC-165 "Boothbay Gray"

Window & Door Casing – Hardie Trim,



4" Boards.....



Ben Moore HC-163 "Duxbury Gray"

Windows – Jeld Wen Premium Atlantic Vinyl divided lights top sash only

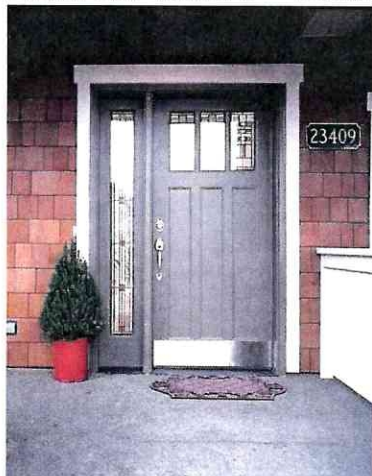


Vinyl Windows.....



"Flagstone Gray"

Exterior Doors – Jeld Wen Sitrine,



Clad Doors.....

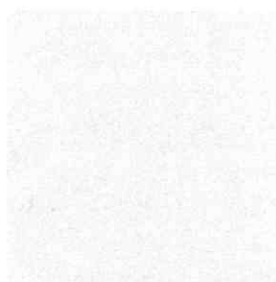


Ben Moore HC-154 “Hale Navy”

Porch Columns



No1, KDAT Boards.....



Ben Moore HC-1590 “Paper White”

Porch Ceiling & Soffits



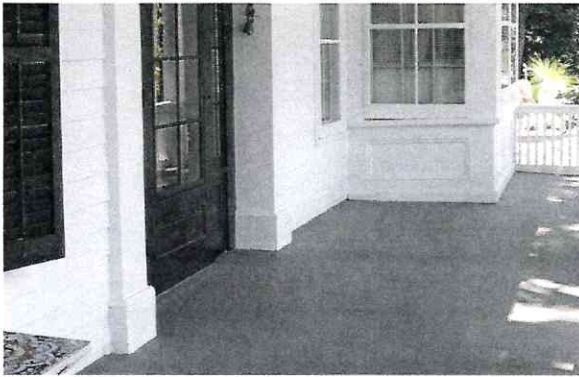
Hardie Soffit & Porch Ceiling.....



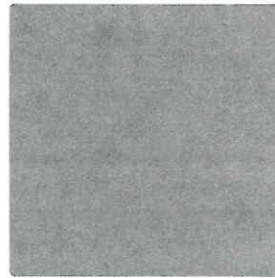
sweet bluetle
813

Ben Moore 813 “Sweet Bluetle”

Porch Floor

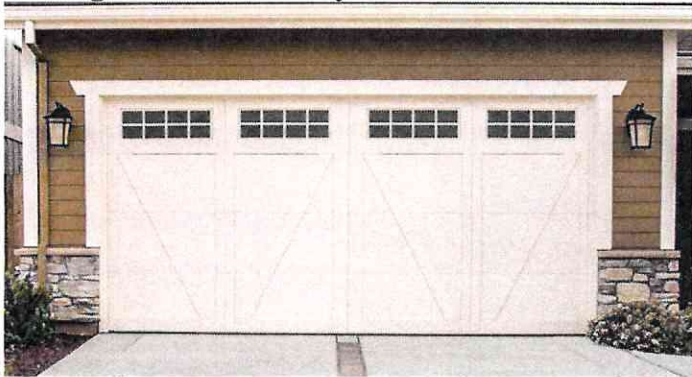


Sloped Concrete Porch Deck..

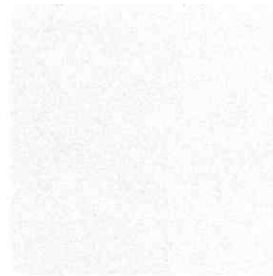


Ben Moore HC-163 “Duxbury Gray”

Garage Doors – Wayne Dalton



Carriage House Steel Garage Door



Ben Moore HC-1590 “Paper White”

Exterior Lighting - Wall Bracket



Quoizel Canyon 9.88-in H Matte Black Medium Base (E-26) Outdoor

Exterior Lighting - Pendant



Quoizel Canyon Black Single Craftsman Clear Glass Cage Pendant Light

Exterior Ceiling Fan



Sea Air 52 in. Outdoor New Bronze Ceiling Fan – New Bronze

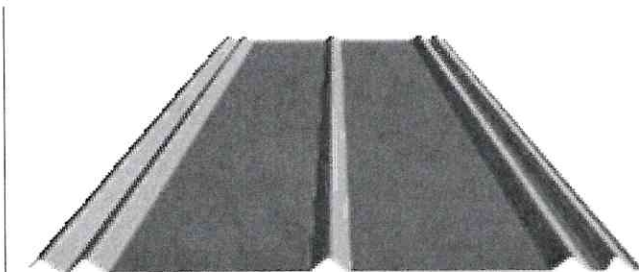
Concealed Roofing Panels (behind parapet) - AEP Span PBR Panel



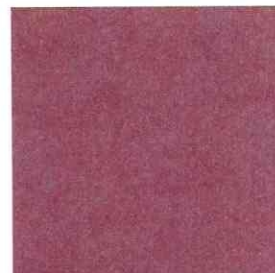
AEP – PBR Panel, 26 guage, 1:12 min slope

“Regal White”

Exposed Roof Panels (“eyebrow” over windows) – Metal Sales, 5v



Metal Sales – 5v, 26 guage, 3:12 min slope



“Colonial Red”



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00520

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

403 N. Alcaniz Street
Old East Hill Preservation District / Zone OEHC-1
Final Approval of New Construction

BACKGROUND:

Jordan Yee is seeking approval for a new single-family residence. The proposed house will be built on a slab 24" above finished grade and will align with adjacent homes on Alcaniz Street. Exterior materials include fiber cement board and batten siding, 5v-crimp roof panels, 2/2 clad windows, a fiberglass front door, and a CMU stem wall with a mortar wash finish.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(3)e.3.II.(b) *Old East Hill, Decisions, New construction*
Sec. 12-3-10(3)f. *OEHPD, Regulations and guidelines for any development*
Sec. 12-3-10(3)i. *OEHPD, Regulations for new construction*
Table 12-3.10 *OEHPD, Regulations of zoning districts*

403 N. Alcaniz Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

NEW RESIDENCE FOR MS. DORIS WAGLEY

403 N. ALCANIZ STREET

PENSACOLA FLORIDA 32501

ESCAMBIA COUNTY



GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

PROPOSED RESIDENCE AREAS

LIVING FLOOR AREA	1,121 SQ. FT.
FRONT PORCH AREA	127 SQ. FT.
SIDE PORCH AREA	38 SQ. FT.
TOTAL UNDER ROOF	1,286 SQ. FT.

INDEX OF DRAWINGS

A-1	TITLE SHEET & INDEX OF DRAWINGS
A-2	PLOT PLAN & ROOF PLAN
A-3	FOUNDATION PLAN & NOTES
A-4	FLOOR PLAN - DOOR & WINDOW SCHEDULES
A-5	ELECTRICAL PLAN & NOTES
A-6	EXTERIOR BUILDING ELEVATIONS
A-7	INTERIOR ELEVATIONS
A-8	CONSTRUCTION DETAILS
A-9	CONSTRUCTION DETAILS
A-10	CONSTRUCTION DETAILS
A-11	CONSTRUCTION DETAILS
A-12	CONSTRUCTION DETAILS

PLACES FOR PEOPLE, LLC
1904 E. LEONARD ST.
PENSACOLA, FL 32503
(850) 380-8020 | AR#96913

No.	Description	Date

PROJECT NUMBER	2000.01
DATE	3 June, 2021
DRAWN BY	DRW
CHECKED BY	CHK

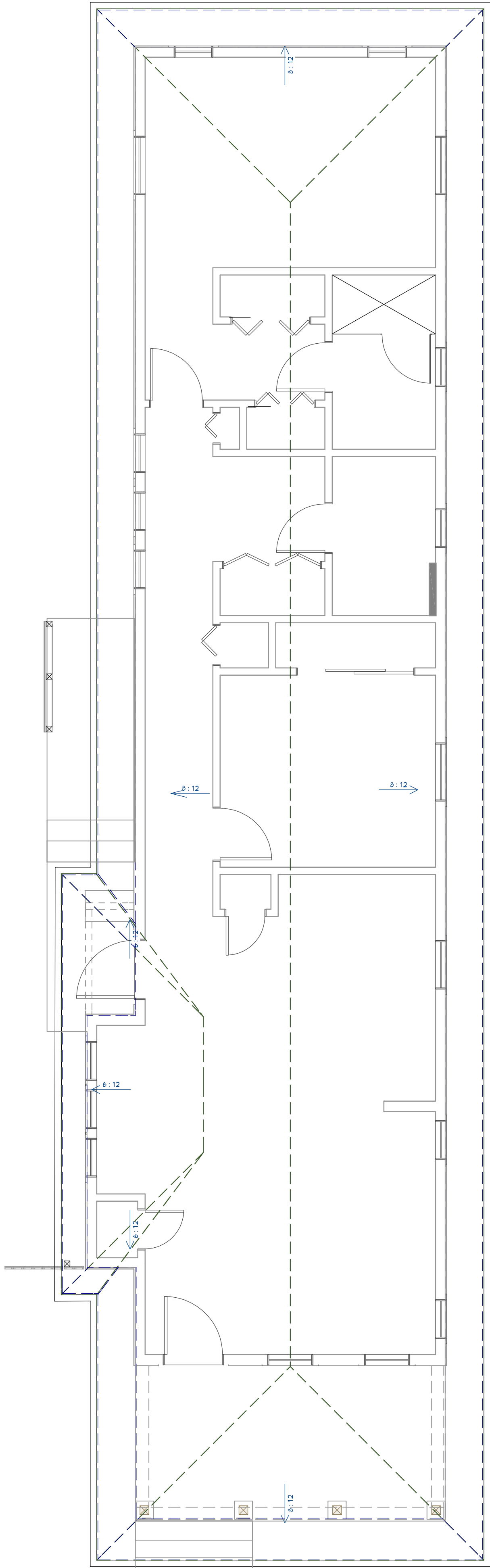
1/8" = 1'-0"

SCALE

NEW RESIDENCE FOR MS. DORIS WAGLEY

TITLE PAGE & DRAWING INDEX

A-1



ROOF FRAMING / TRUSS NOTES:

ROOF DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

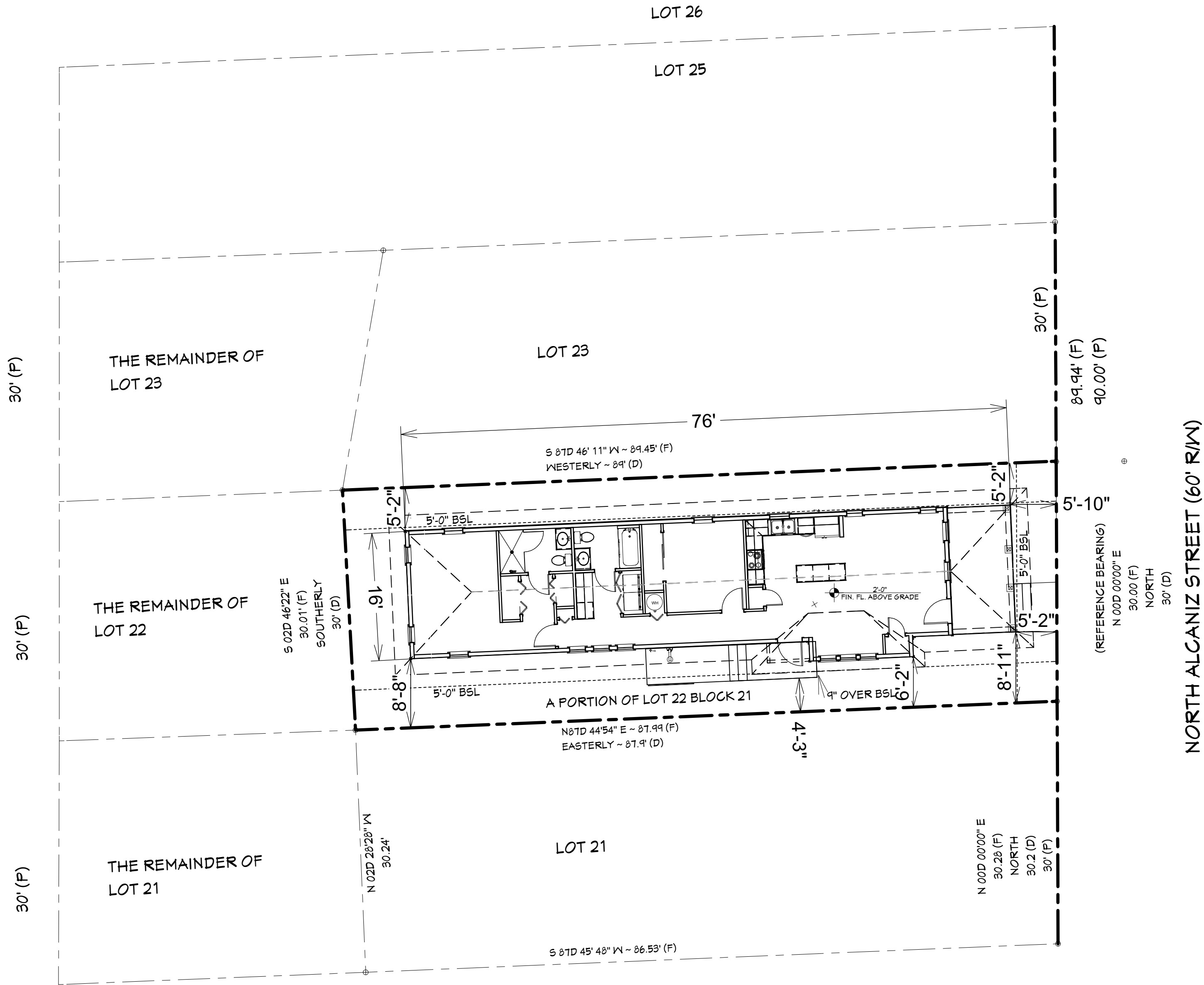
ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

ROOF PLAN

SCALE: 1/4" = 1'-0"



NOTE:

THIS IS NOT A SURVEY. ALL INFORMATION SHOWN ON THIS PLAN WAS APPROXIMATED FROM THE ESCAMBIA COUNTY PROPERTY APPRAISER. ALL DIMENSIONS AND DISTANCES SHOULD BE FIELD VERIFIED AND A LICENSED SURVEYOR ENLISTED FOR EXACT LOCATION OF ALL STRUCTURES.

~ = DIRECTION OF WATER FLOW

LOT COVERAGE:

Building Area (under roof) = 1,260 sf

Lot Area = 2,661 sf (0.0611 acre)

Lot Coverage Ratio = 1,260/2,661 = 0.47

PLOT PLAN

SCALE: 1" = 10'-0"



NORTH ALCANIZ STREET (60' R/W)

(REFERENCE BEARING)
N 00D 00'00" E
30.00' (F)
NORTH
30' (D)

NEW RESIDENCE FOR MS. DORIS WAGLEY

PLOT PLAN & ROOF PLAN

PLACES FOR PEOPLE, LLC
1904 E. LEONARD ST.
PENSACOLA, FL 32503
(850) 380-8020 | AR#96913

No.	Description	Date

PROJECT NUMBER
DATE
DRAWN BY
CHECKED BY

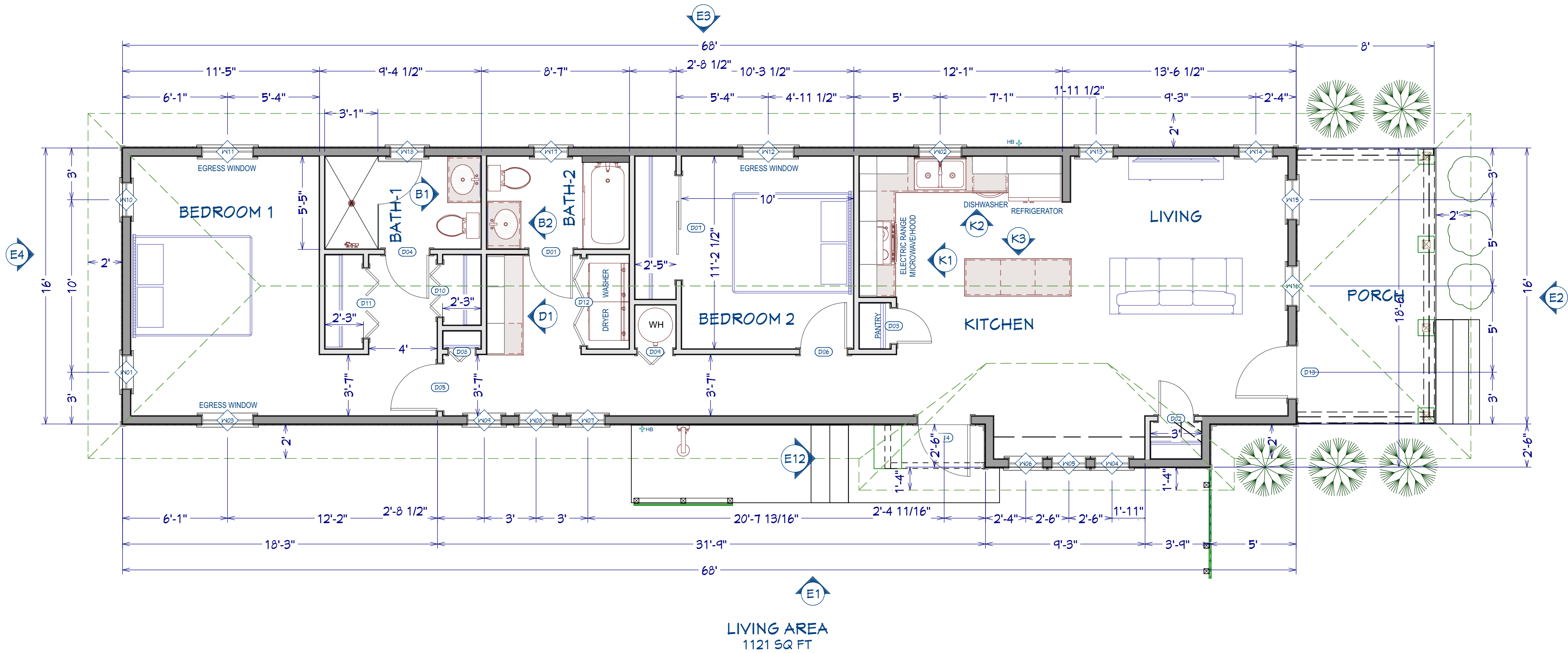
2000.01
3 June, 2021
DRW
CHK

SCALE

1/8" = 1'-0"

A-2

03 JUNE, 2021



DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

DOOR SCHEDULE									
NUMBER	LABEL	SIZE	HEIGHT	WIDTH	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
D01	2668	2668 L IN	80 "	30 "	HINGED-DOOR P04	2X6X35" (2)			
D02	2068	2068 L IN	80 "	24 "	HINGED-DOOR P04	2X6X29" (2)			
D03	2068	2068 R IN	80 "	24 "	HINGED-DOOR P04	2X6X29" (2)			
D04	2668	2668 L IN	80 "	30 "	HINGED-DOOR P04	2X6X35" (2)			
D05	2868	2868 L IN	80 "	32 "	HINGED-DOOR P04	2X6X37" (2)			
D06	2868	2868 R IN	80 "	32 "	HINGED-DOOR P04	2X6X37" (2)			
D07	6068	6068 R IN	80 "	72 "	SLIDER-DOOR P04	2X8X77" (2)			
D08	1668	1668 R	80 "	18 "	2 DR. BIFOLD-LOUVERED	2X6X23" (2)			
D09	2068	2068 R	80 "	24 "	2 DR. BIFOLD-LOUVERED	2X6X29" (2)			
D10	3068	3068 L/R	80 "	36 "	4 DR. BIFOLD-LOUVERED	2X6X41" (2)			
D11	4068	4068 L/R	80 "	48 "	4 DR. BIFOLD-LOUVERED	2X6X53" (2)			
D12	5068	5068 L/R	80 "	60 "	4 DR. BIFOLD-LOUVERED	2X6X65" (2)			
D13	3068	3068 L EX	80 "	36 "	EXT. HINGED-DOOR E21	2X6X41" (2)			
D14	3068	3068 L EX	80 "	36 "	EXT. HINGED-DOOR E21	2X6X41" (2)			

WINDOW SCHEDULE									
NUMBER	LABEL	SIZE	HEIGHT	WIDTH	EGRESS	TEMPERED	DESCRIPTION	HEADER	CODE
W01	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W02	2630DH	2630DH	36 "	30 "			DOUBLE HUNG	2X6X34" (2)	
W03	3050DH	3050DH	60 "	36 "			DOUBLE HUNG	2X6X40" (2)	
W04	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W05	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W06	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W07	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W08	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W09	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W10	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W11	3050DH	3050DH	60 "	36 "			DOUBLE HUNG	2X6X40" (2)	
W12	3050DH	3050DH	60 "	36 "			DOUBLE HUNG	2X6X40" (2)	
W13	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W14	2040DH	2040DH	48 "	24 "			DOUBLE HUNG	2X6X28" (2)	
W15	2448DH	2448DH	56 "	28 "			DOUBLE HUNG	2X6X32" (2)	
W16	2448DH	2448DH	56 "	28 "			DOUBLE HUNG	2X6X32" (2)	
W17	2016FX	2016FX	18 "	24 "			FIXED GLASS	2X6X28" (2)	
W18	2016FX	2016FX	18 "	24 "			FIXED GLASS	2X6X28" (2)	

WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	GLASS SHOWER
	INTERIOR-4
	INTERIOR-6
	ROOM DIVIDER
	SIDING-6

FLOOR PLAN

SCALE: 1/4" = 1'-0"



NEW RESIDENCE FOR MS. DORIS WAGLEY

FLOOR PLAN & WINDOW-DOOR SCHEDULES

PROJECT NUMBER 2000.01
DATE 3 June, 2021
DRAWN BY DRW
CHECKED BY CHK

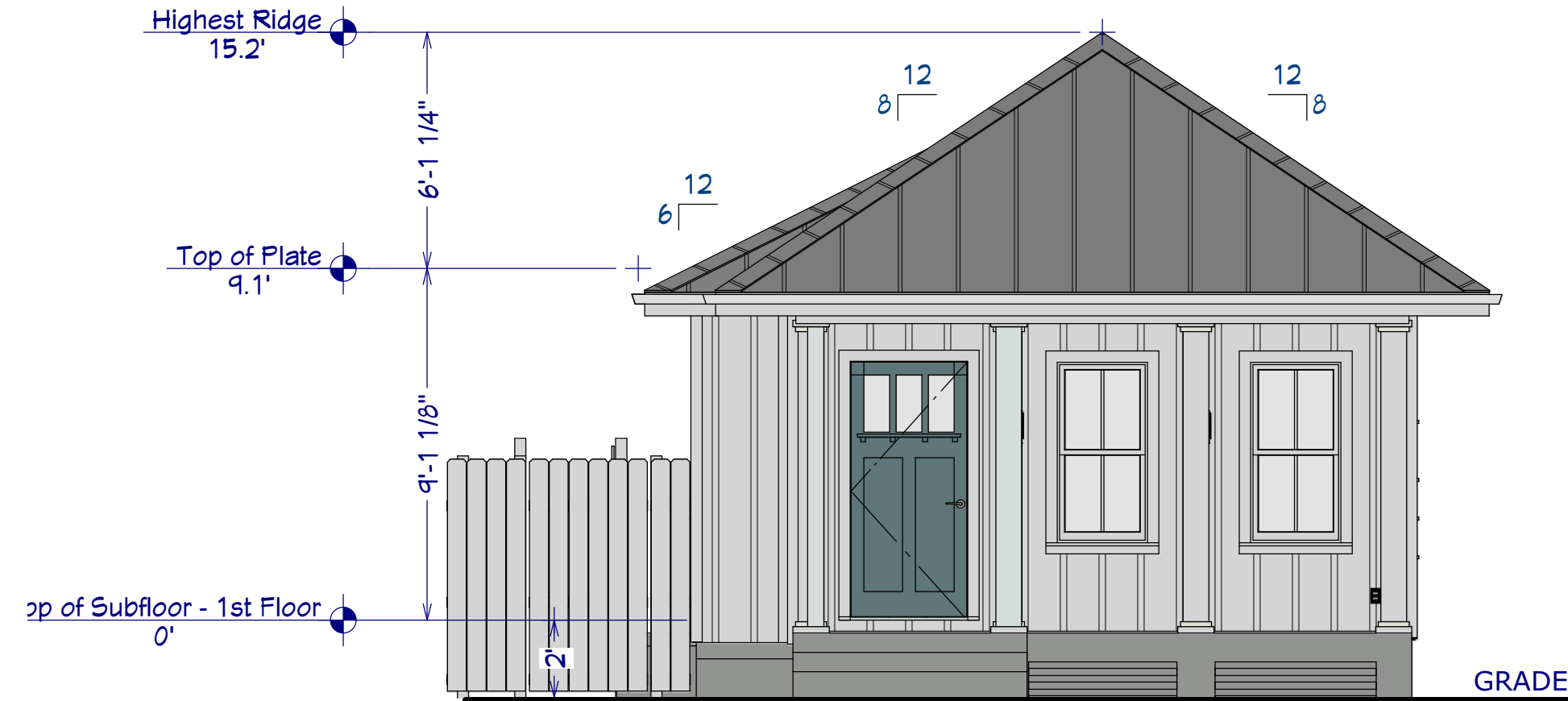
SCALE 1/8" = 1'-0"

PLACES FOR PEOPLE, LLC
1904 E. LEONARD ST.
PENSACOLA, FL 32503
(850) 380-8020 | AR#96913

No.	Description	Date

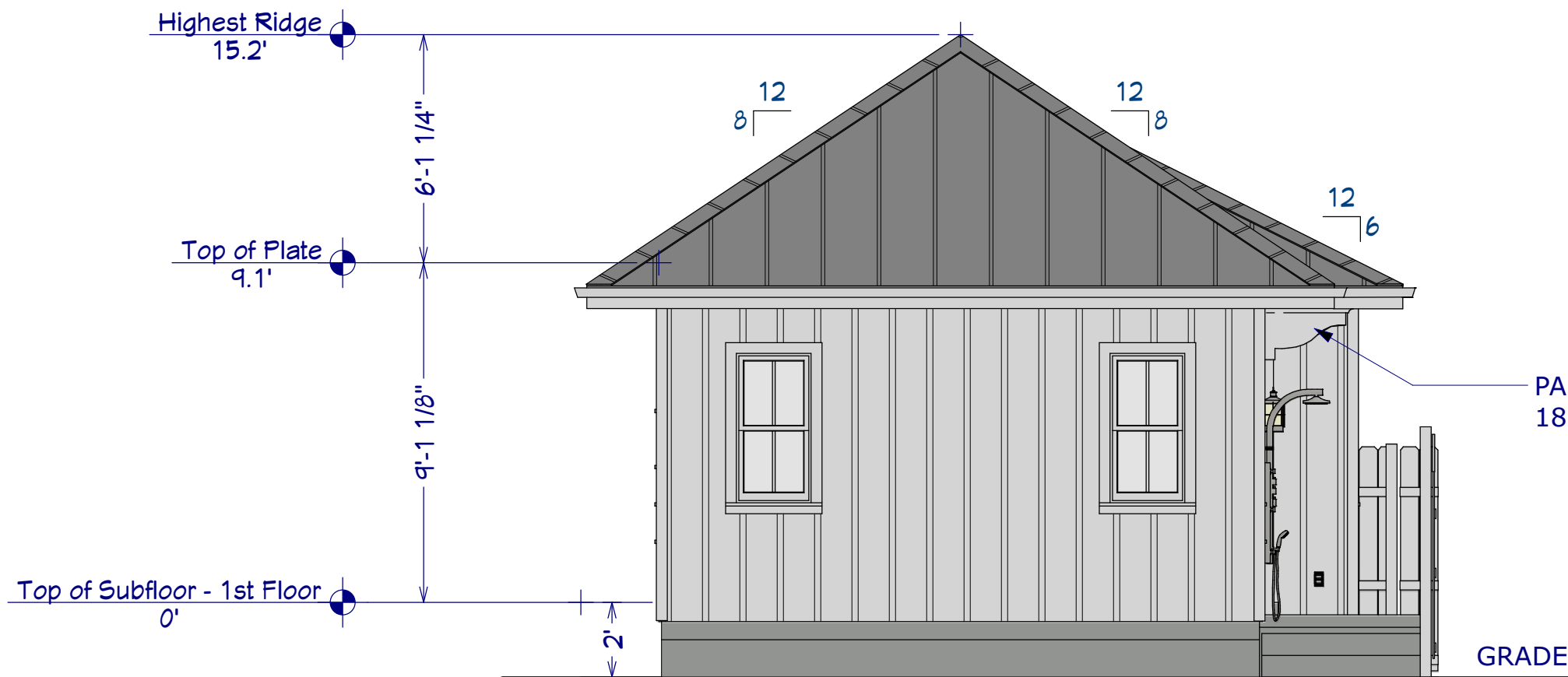
A-4

03 JUNE, 2021



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

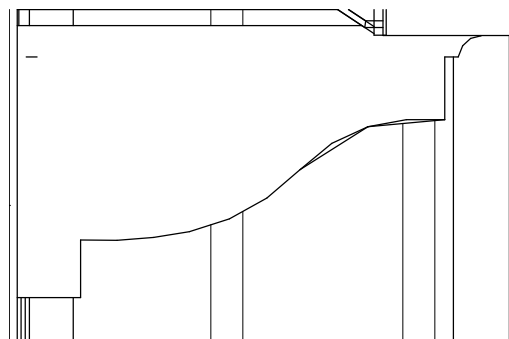
SCALE: 1/4" = 1'-0"

WIND-BORNE DEBRIS PROTECTION FOR GLAZED OPENINGS

ALL OPENING TO BE PROTECTED BY APPROVED FABRIC SHIELD SYSTEM. SEE MANUFACTURED DETAILS ATTACHED TO THIS SET OF DRAWINGS.

PAINTED WOOD BRACKET
18" TALL x 24" DEEP x 4" THICK

PAINTED WOOD BRACKET
18" TALL x 24" DEEP x 4" THICK



BRACKET DETAIL

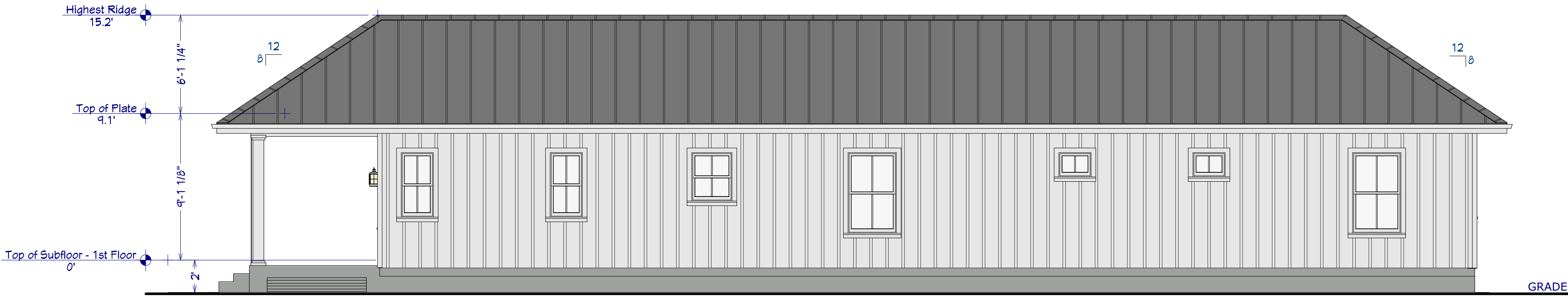
SCALE: 1" = 1'-0"



PAINTED WOOD SCREEN WALL
WITH WOOD LATTICE AT TOP

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH NOTES:

1. EXTERIOR FINISH TO BE PAINTED HARIE BOARD & BATT SIDING 5/8 CDX PLYWOOD/OSB.
2. WINDOW & DOOR TRIM MATERIAL AND COLOR VERIFY WITH OWNER.
3. ROOFING TO BE GALVALUME V CRIMP METAL OVER PEEL & STICK, 5/8 CDX PLYWOOD/OSB.
4. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
4. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

PLACES FOR PEOPLE, LLC
1904 E. LEONARD ST.
PENSACOLA, FL 32503
(850) 380-8020 | AR#96913

No.	Description	Date

PROJECT NUMBER 2000.01
DATE 3 June, 2021
DRAWN BY DRW
CHECKED BY CHK

SCALE 1/8" = 1'-0"

NEW RESIDENCE FOR MS. DORIS WAGLEY

EXTERIOR BUILDING ELEVATIONS

A-6

03 JUNE, 2021

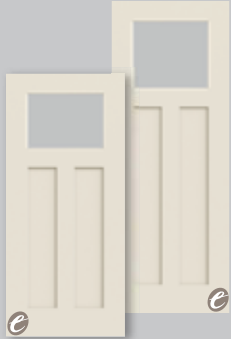
DIRECT GLAZE

New!

- Wider Viewing Area
- Easy to Clean
- No Screw Holes or Plugs
- Low-E Energy Efficient Glass

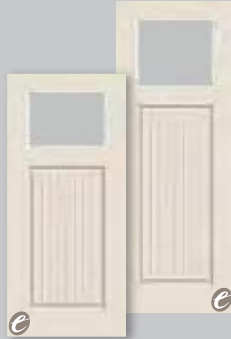
Craftsman

6'8", 7'0" and 8'0" Doors and Sidelights



Craftsman

Door	2'8"	2'10"	3'0"
SPC-866DG-LE	•	•	•
SPC7-866DG-LE	•	•	•
SPC8-866DG-LE	•	•	•
SPC-866DG-MG	•	•	•
SPC7-866DG-MG	•	•	•
SPC8-866DG-MG	•	•	•
SPC-866DG-GRF	•	•	•
SPC7-866DG-GRF	•	•	•
SPC8-866DG-GRF	•	•	•
SPC-866DG-KP	•	•	•
SPC7-866DG-KP	•	•	•
SPC8-866DG-KP	•	•	•
SPC-866DG-TPZ	•	•	•
SPC7-866DG-TPZ	•	•	•
SPC8-866DG-TPZ	•	•	•



Beadboard

Door	2'8"	2'10"	3'0"
SPB-866DG-LE	•	•	•
SPB7-866DG-LE	•	•	•
SPB8-866DG-LE	•	•	•
SPB-866DG-MG	•	•	•
SPB7-866DG-MG	•	•	•
SPB8-866DG-MG	•	•	•
SPB-866DG-GRF	•	•	•
SPB7-866DG-GRF	•	•	•
SPB8-866DG-GRF	•	•	•
SPB-866DG-KP	•	•	•
SPB7-866DG-KP	•	•	•
SPB8-866DG-KP	•	•	•
SPB-866DG-TPZ	•	•	•
SPB7-866DG-TPZ	•	•	•
SPB8-866DG-TPZ	•	•	•



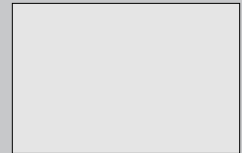
Craftsman SL

Sidelight	1'0"	1'2"
SPC-820DG-LE	•	•
SPC7-820DG-LE	•	•
SPC8-820DG-LE	•	•
SPC-820DG-MG	•	•
SPC7-820DG-MG	•	•
SPC8-820DG-MG	•	•
SPC-820DG-GRF	•	•
SPC7-820DG-GRF	•	•
SPC8-820DG-GRF	•	•
SPC-820DG-KP	•	•
SPC7-820DG-KP	•	•
SPC8-820DG-KP	•	•
SPC-820DG-TPZ	•	•
SPC7-820DG-TPZ	•	•
SPC8-820DG-TPZ	•	•



Beadboard SL

Sidelight	1'0"	1'2"
SPB-820DG-LE	•	•
SPB7-820DG-LE	•	•
SPB8-820DG-LE	•	•
SPB-820DG-MG	•	•
SPB7-820DG-MG	•	•
SPB8-820DG-MG	•	•
SPB-820DG-GRF	•	•
SPB7-820DG-GRF	•	•
SPB8-820DG-GRF	•	•
SPB-820DG-KP	•	•
SPB7-820DG-KP	•	•
SPB8-820DG-KP	•	•
SPB-820DG-TPZ	•	•
SPB7-820DG-TPZ	•	•
SPB8-820DG-TPZ	•	•



Clear Low-E (LE)



Micro-Granite (MG)



Greenfield (GRF)



Oak Park (KP)



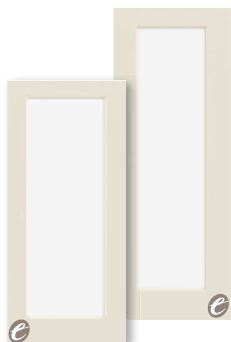
Topaz (TPZ)



Optional Craftsman Shelf

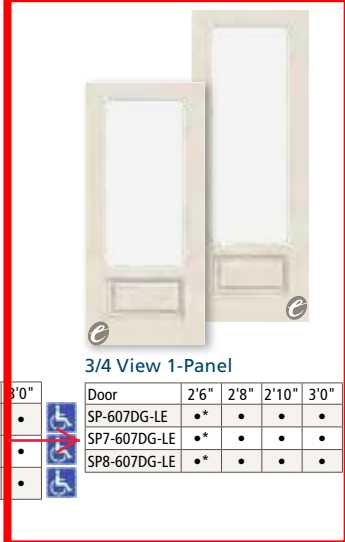
Craftsman Clear and Micro-Granite designs only available in Low-E

6'8", 7'0" and 8'0" Doors and Sidelights – Clear Glass Low-E



Full View

Door	2'0"	2'4"	2'6"	2'8"	2'10"	3'0"
SP-686DG-LE	•	•*	•	•	•	•
SP7-686DG-LE	•	•*	•	•	•	•
SP8-686DG-LE			•*	•	•	•



3/4 View 1-Panel

Door	2'6"	2'8"	2'10"	3'0"
SP-607DG-LE	•*	•	•	•
SP7-607DG-LE	•*	•	•	•
SP8-607DG-LE	•*	•	•	•



1/2 View

Door	2'8"	2'10"	3'0"
SP-684DG-LE	•*	•	•
SP7-684DG-LE	•*	•	•



Full View SL

Sidelight	1'0"	1'2"
SP-690DG-LE	•	•
SP7-690DG-LE	•	•
SP8-690DG-LE	•	•



3/4 View SL

Sidelight	1'0"	1'2"
SP-422DG-LE	•	•
SP7-422DG-LE	•	•
SP8-422DG-LE	•	•

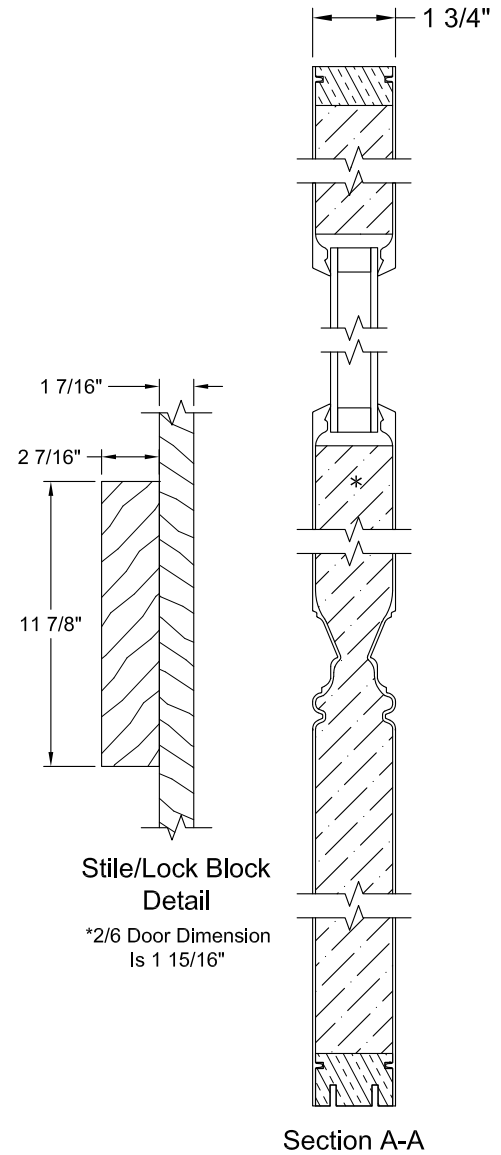
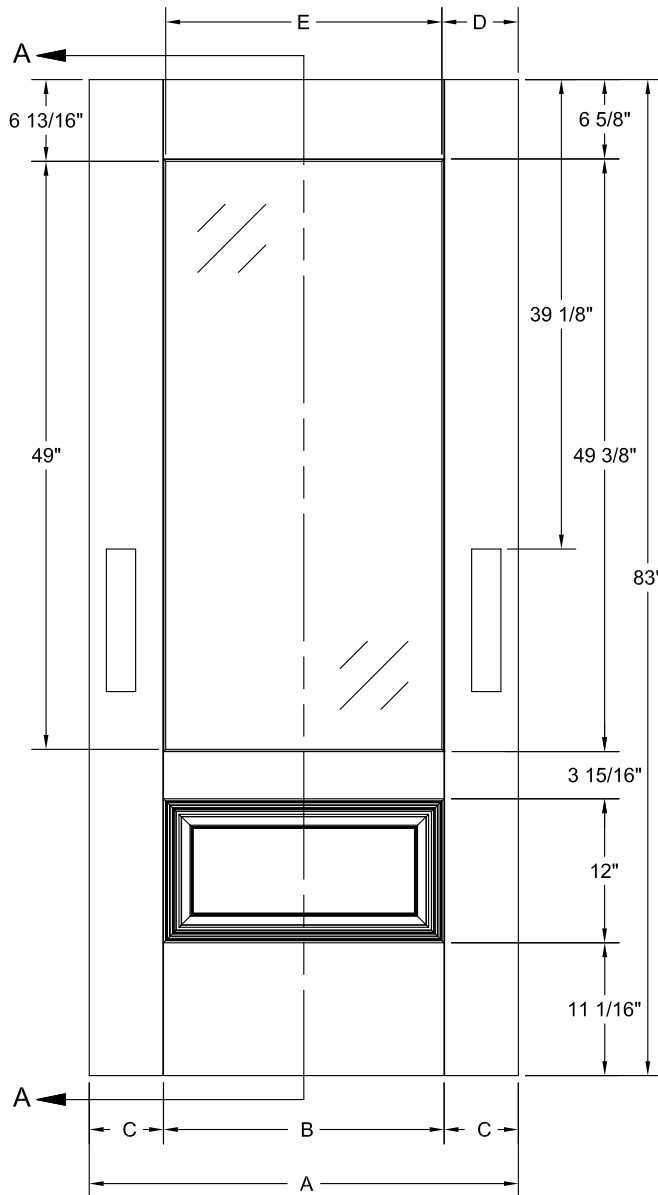


1/2 View SL

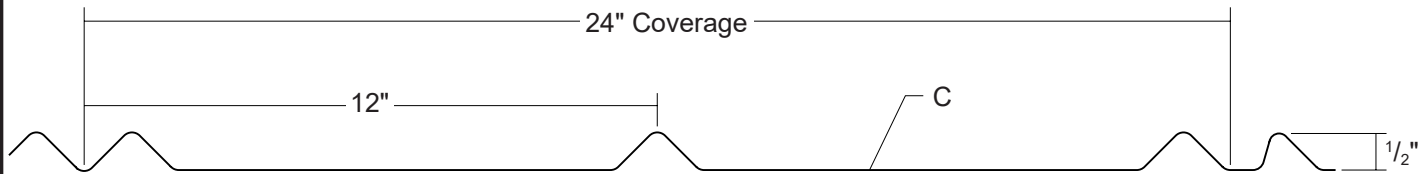
Sidelight	1'0"	1'2"
SP-692DG-LE	•	•
SP7-692DG-LE	•	•



3/4 VIEW 1 PANEL DIRECT GLAZE 7/0



DIMENSION TABLE								
Door Width	A	B	C	D	E	Daylight Opening	Smooth-Pro	Design-Pro Fir
3/0	35 3/4"	23 3/8"	6 3/16"	6 3/8"	23"	7.83 ft²	SP7-607DG-1P	DF7-607DG-1P
2/10	33 3/4"	23 3/8"	5 3/16"	5 3/8"	23"			
2/8	31 3/4"	21 3/8"	5 3/16"	5 3/8"	21"	7.15 ft²		
2/6	29 3/4"	21 3/8"	4 3/16"	4 3/8"	21"			



**ARCHITECTURAL
RESIDENTIAL
PANEL**

**EXPOSED
FASTENED**

24\"/>

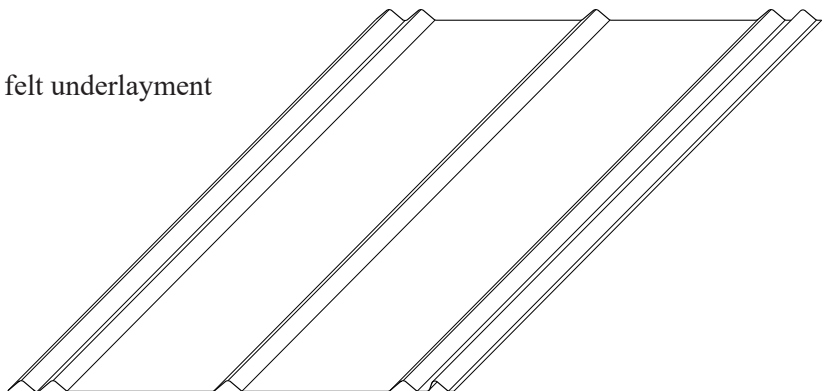
**MINIMUM
SLOPE
3:12**

**SOLID WOOD
SUBSTRATE**

PANEL OVERVIEW

- ▶ Finishes: MS Colorfast45® and Acrylic-Coated Galvalume®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®
AZ50 per ASTM A 792 for painted Galvalume®
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 26 ga standard; 24 ga optional
- ▶ 24" panel coverage, 1/2" rib height
- ▶ Panel Length: Minimum: 5'; Maximum: 45' recommended
- ▶ Residential, 'V' rib roof system
- ▶ Minimum roof slope: 3:12
- ▶ Applies over plywood with minimum 30# felt underlayment

**COLOR:
GALVALUME**



TESTING AND APPROVALS

- ▶ UL 2218 Impact Resistance - Class 4
- ▶ UL 790 Fire Resistance Rating - Class A, per building code
- ▶ UL 263 Fire Resistance Rating - per assembly
- ▶ UL 580 Uplift Resistance - Class 90 Constructions: #579 and #453
- ▶ Texas Windstorm - Evaluation RC-160
- ▶ 2020 FBC Approvals - FL14645.2, FL14645.3 and FL14645.4
- ▶ Miami-Dade County, Florida NOA 18-0313.02 expires 6/29/2023

DOUBLE HUNG

OPERATING | STUDIO



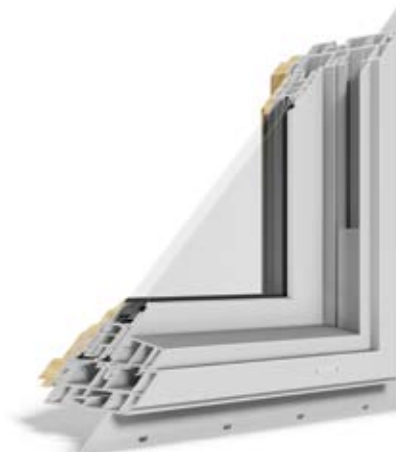
DOUBLE HUNG STANDARD FEATURES

- ▶ Constructed of multi-chambered Glastra extrusions that provide energy efficiency, enhance strength, and reduce the intrusion of outside noise
- ▶ Welded Glastra frame and sash corners help prevent the infiltration of water and air while also providing greater structural integrity and secure joints
- ▶ Glastra exterior with Cloud or Sahara integral color (*see pg. 56*)
- ▶ Unfinished pine interior with no visible fasteners and no wood exposed to the exterior environment
- ▶ Overall jamb width is 4-9/16" (*New Construction*)
- ▶ Energy efficient, insulating LoE²-270 glass
- ▶ Equal glass sizing provides matching sight lines from sash to sash
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Wood glazing bead receptor designed for performance and ease of finishing
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Full frame insect screen with BetterVue[®] fiberglass mesh
- ▶ Stainless steel, constant force balance system provides durability and ease of operation
- ▶ Clay-colored sash lock and tilt latches
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening (*New Construction*)
- ▶ Convection barrier for improved energy performance

NOTE: All measurements are nominal.



**GLASTRA/WOOD
NEW CONSTRUCTION DOUBLE HUNG**
(interior)



**GLASTRA/WOOD
NEW CONSTRUCTION DOUBLE HUNG**
(exterior)



DOUBLE HUNG OPTIONS

Glass (see pg. 54):

- ▶ LoE-180
- ▶ LoE³-340
- ▶ LoE³-366
- ▶ ThermaPlus™ LoE
- ▶ Neat®
- ▶ Triple pane
- ▶ Patterned, tinted, or colored
- ▶ Tempered or laminated
- ▶ Preserve™ protective film
- ▶ Other options standard to the industry

Divided Lites (see pg. 55):

- ▶ Performance divided lites with 7/8" or 2-1/4" bars
- ▶ Grilles-in-the-airspace

NOTE: All measurements are nominal.

Other Options:

- ▶ Replacement double hungs
(3-1/4" overall frame depth for All Glastra units, 4-1/16" for Glastra/Wood units; no nailing fin and pre-drilled for installation; see drawings on pg. 20. Frame design does not match New Construction profile.)
- ▶ Latex primed interior** *(Glastra/Wood units)*
- ▶ Interior prefinishing *(Glastra/Wood units, see pg. 57)*
- ▶ All Glastra units with Cloud or Sahara integral interior color *(see pg. 56)*
- ▶ Exterior acrylic film in Midnight or Bronze *(see pg. 56)*
- ▶ Interior acrylic film in Midnight or Bronze
(only on All Glastra units with Midnight or Bronze exterior; see pg. 56)
- ▶ Fixed top sash
- ▶ Multiple trim accessories *(shipped loose; see pg. 59)*
- ▶ Insect screen available with aluminum or UltraVue® mesh; frame available in Sand, White, Bronze or Black
- ▶ Half screen
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame for drywall return *(no extension jamb)*
- ▶ Galvanized steel installation clips
- ▶ Window Opening Control Device (WOCD) *(see pg. 58)*
- ▶ Sash limiters for safety
- ▶ Cottage and reverse cottage style
- ▶ Impact performance modifications *(see pg. 61)*

**Latex primer is not a final finish.

HARDWARE

A Clay-colored sash lock and tilt latches are applied to double hungs as standard. Other available finishes include White, Satin Nickel and Matte Black.

White or Clay lift handles are applied to All Glastra units as standard.*



SASH LOCK



TILT LATCHES



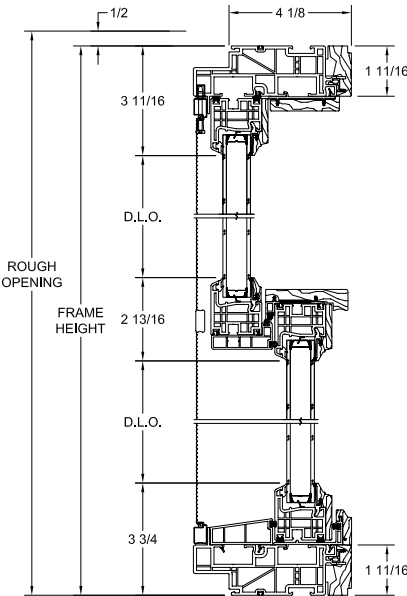
LIFT HANDLE*
(All Glastra units)

*Sash lift handles are not available on Glastra/Wood replacement double hungs.

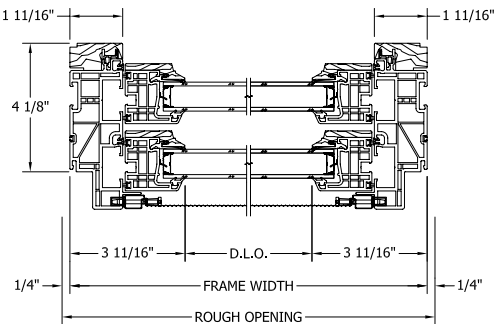
DOUBLE HUNG | Cross Section Drawings

REPLACEMENT DOUBLE HUNGs – GLASTRA/WOOD

Vertical Section

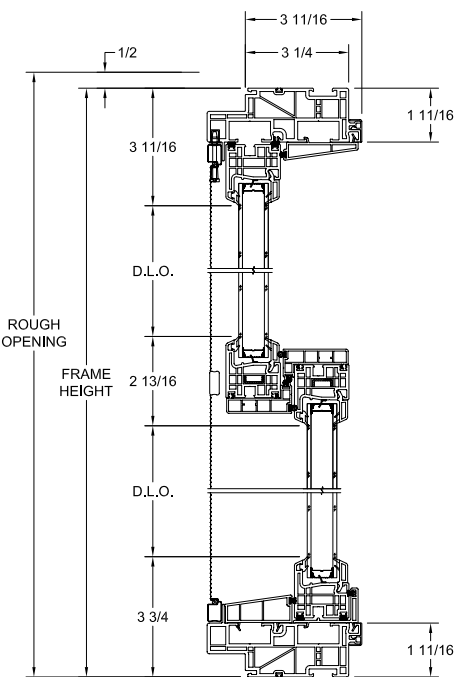


Horizontal Section

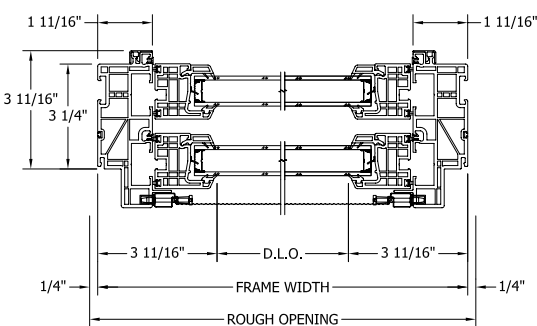


REPLACEMENT DOUBLE HUNGs – ALL GLASTRA

Vertical Section



Horizontal Section



NOTE: Drawings are not to scale. For Forgent accessory drawings, see pg. 59. Additional and the most current drawings are available at kolbewindows.com

DIVIDED LITE OPTIONS

Forgent Series windows and doors are available with two types of divided lites: performance divided lites and grilles-in-the-airspace.

PERFORMANCE DIVIDED LITES

Kolbe's performance divided lite (PDL) glazing system gives the appearance of true divided lites without sacrificing energy efficiency. Extruded aluminum bars are adhered to the exterior of Forgent Series windows and doors. Unfinished pine bars are adhered to the interior of the single lite of insulating glass on Glastra/Wood units, while aluminum bars are adhered to the interior of All Glastra units. Aesthetically pleasing spacer bars are installed within the insulating glass unit. Together, these bars create the illusion of true divided lites. PDL bars are available in 7/8" or 2-1/4" bar widths. The exterior finish of the aluminum bars will match the exterior finish of the unit. Some designs may have a composite material for the exterior PDL bar. Bars have a beveled profile. Limited lite patterns are available.



GRILLES-IN-THE-AIRSPACE

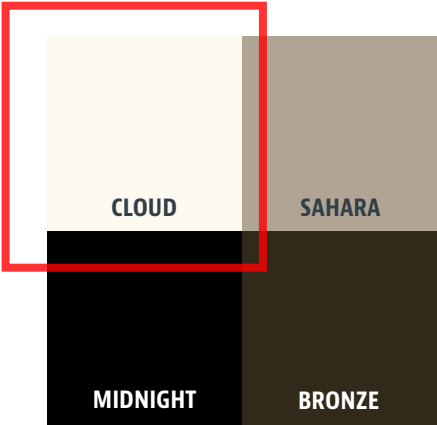
Grilles-in-the-airspace are constructed with aluminum bars sealed between two panes of insulating glass, offering the look of divided panes while reducing cleaning time.



FINISH OPTIONS

EXTERIOR FINISHES

Forgent Series windows and doors have a durable and resilient Glastra exterior. Cloud and Sahara are integral to the Glastra material, while Midnight and Bronze are applied as an acrylic film.



INTERIOR FINISHES - ALL GLASTRA UNITS

Coordinating finishes are available for Glastra interiors; however, the Midnight or Bronze interior finish is only available on units with a Glastra Midnight or Bronze exterior, respectively.



NOTE: Midnight and Bronze exteriors are only available on All Glastra units. Ask your Kolbe dealer for details.

†Only available on products with Midnight exteriors.

††Only available on select products with Bronze exteriors.





HardiePanel®
Vertical Siding
Iron Gray

HardieTrim®
Batten Boards
Iron Gray

1.888.542.7343 | jameshardiepros.com

© 2020 James Hardie Building Products Inc. All Rights Reserved. TM, SM, and ® denote trademarks or registered trademarks of James Hardie Technology Limited. OSI and QUAD are trademarks of Henkel Corporation. HS2017 08/20



JamesHardie™

Siding | Trim

HardiePlank®



SELECT CEDARMILL®

Width 8.25 in
Exposure 7 in



SMOOTH

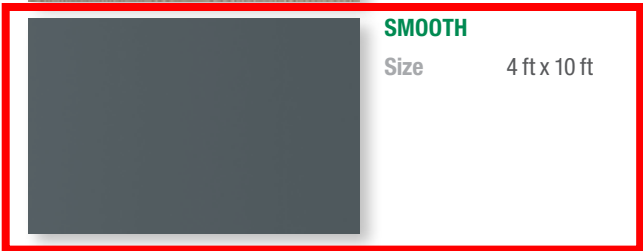
Width 8.25 in
Exposure 7 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

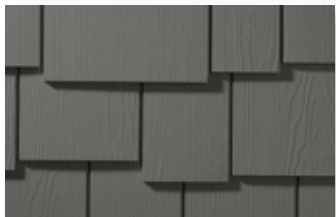
Size 4 ft x 10 ft

HardieShingle®



STRAIGHT EDGE PANEL

Height 15.25 in
Exposure 7 in



STAGGERED EDGE PANEL

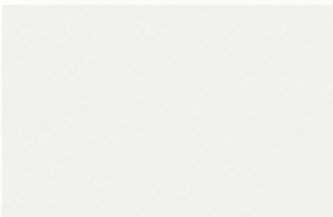
Height 15.25 in
Exposure 6 in

HardieSoffit®



VENTED SMOOTH

Size 12 ft x 12 in
12 ft x 16 in



NON-VENTED SMOOTH

Size 12 ft x 12 in
12 ft x 16 in

HardieTrim®

4/4 SMOOTH & RUSTIC GRAIN®



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in

5/4 SMOOTH & RUSTIC GRAIN®



Thickness 1 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 9.25 in 11.25 in

BATTEN BOARDS

4/4 SMOOTH & RUSTIC GRAIN®



Thickness .75 in
Length 12 ft boards
Width 2.5 in



VIEW IN YOUR ROOM

Quoizel Chancellor 23 1/2"H Copper Bronze Outdoor Wall Light

SALE

\$184.00

~~\$229.99~~ | Save \$45.00 | Ends 6/7/21

FREE SHIPPING & **FREE RETURNS*** | [Low Price Guarantee](#)

[Ships in 1 to 2 Weeks](#)

1

ADD TO CART

♡ SAVE

or 4 interest-free payments of **\$46.00** with sezzle ⓘ

[Open Box Available](#)

PRODUCT DETAILS

With a lovely, copper bronze finish, this traditional dimmable three-light wall lantern lights up any outdoor space with simple sophistication.

Additional Info:

Illuminate a patio, deck, or doorway with this handsome, traditional, metal three-light outdoor wall lantern by Quoizel. Made with clean lines of high-quality steel in a copper bronze finish, its design exudes chic simplicity. Clear glass panels provide an elegant display for three bulbs, while dimming functionality offers convenient versatility.

QUOIZEL

[Shop all Quoizel](#)

- 23 1/2" high x 10" wide. Extends 11" from the wall. Weighs 9 lbs.
- Backplate is 7 1/2" high x 5 1/2" wide. Glass panels are 11 1/2" high x 7" wide.
- Uses three maximum 60 watt candelabra base B10 bulbs (not included). E12 phenolic socket.
- Traditional dimmable three-light outdoor wall lantern from the Chancellor collection by Quoizel.
- Copper bronze finish over steel construction. Clear glass panels.
- 1/2-foot of black and white AWM wire.
- Line voltage - 120V.
- Height from center of wall opening is 11".

Mill Springs Blue

HC-137



COLOR DETAIL



SEE IN ROOM

FRONT DOOR

Harwood Putty

CW-5



COLOR DETAIL



SEE IN ROOM

SIDING & TRIM



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00512

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

211 W. Cervantes Street
North Hill Preservation District / Zone PC-1
Restoration and Renovations at a Contributing Structure

RECOMMENDATION:

Wes Majors, Tradewinds Builders, LLC, is seeking approval for exterior renovations to a contributing structure. This request includes the following:

- Replacement of all windows with new wood clad double hung windows matching the existing profiles;
- Replacement of all exterior doors with new fiberglass doors;
- Construction of an ADA ramp along the left side of the building; and
- Repair all handrails with existing materials and matching style.

Please find attached all relevant documentation for your review.

BACKGROUND:

Sec. 12-3-10(2)d.2.ii.(a) *North Hill, Decisions*
Sec. 12-3-10(2)f. *North Hill, Restoration of Contributing Structures*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM

802 = =

1009 = =

Site Name Guttman, J. B. Rental Site No. 251659
Address of Site: 211 W. Cervantes, St., Pensacola, FL 32501 Survey Date 8005
Instruction for locating on S side of Cervantes St between N Spring St
and N Barcelona St
Location: Belmont Tract 30 12 port 11, 13
County: Escambia
Owner of Site: Name: Church, Brownsville Assembly of God, Inc.
Address: 3100 W. DeSoto St.
Pensacola, FL 32501
Type of Ownership Institution Recording Date
Recorder: Gantzhorn, Alan; Guede, Susan
Address: HPPB

Condition of Site: Integrity of Site: Original Use Residence
Check One Check One or More
☒ Excellent 863 = = ☒ Altered 858 = = Present Use Residence 850 = =
☐ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning c+1900 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 20th century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: District 916 = =

Threats to Site:

Check One or More
☐ Zoning () 878 = = ☐ Transportation () 878 = =
☐ Development () 878 = = ☐ Fill () 878 = =
☐ Deterioration () 878 = = ☐ Dredge () 878 = =
☐ Borrowing () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture, History 910 = =

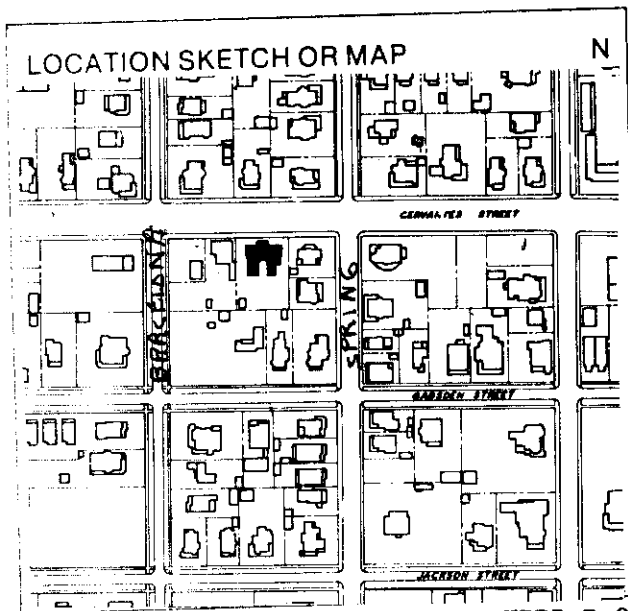
Significance:

J. B. Guttman purchased this house in 1908. The family owned the house until 1933. It was used as a rental. It was later converted into a boarding house.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD frame vernacular 964 = =
 PLAN TYPE U 966 = =
 EXTERIOR FABRIC(S) wood; novelty siding 854 = =
 STRUCTURAL SYSTEM(S) wood frame 856 = =
 PORCHES N/ 1 story hipped porch w/ brick piers; 1 bay; access from N#
E/ 2 tiered verandah w/ brick piers to 2nd story, wood posts 942 = =
 FOUNDATION: pier; brick; brick continuous 942 = =
 ROOF TYPE: gable on hip 942 = =
 SECONDARY ROOF STRUCTURE(S): cross gables 942 = =
 CHIMNEY LOCATION: exterior NE corner; S lat slope 942 = =
 WINDOW TYPE: DHS; 2/2; wood 942 = =
 CHIMNEY: brick 882 = =
 ROOF SURFACING: composition shingle; butt 882 = =
 ORNAMENT EXTERIOR: 882 = =
 NO. OF CHIMNEYS 2 952 = = NO. OF STORIES 2½ 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 min Pensacola 1970
North Hill, Gordon Richmond, 1974 809 = =
 Latitude and Longitude: , " . , " 800 = =
 Site Size (Approx. Acreage of Property): LT1 833 = =



Township	Range	Section
2S	30W	19

UTM Coordinates:

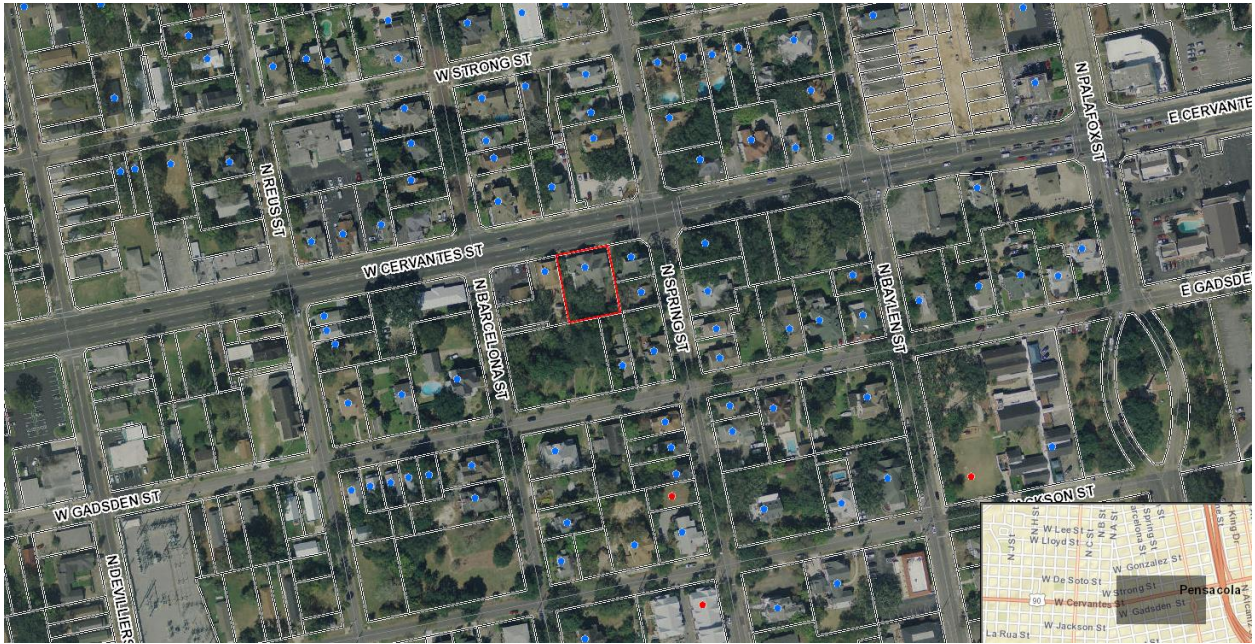
Zone Easting Northing

Photographic Records Numbers HRPB P.80.10 Fr 8 860 = =
NH 13-29A

Contact Print



211 W. Cervantes Street





**Architectural Review Board Application
Full Board Review**

Application Date: 5/24/21

Project Address: 211 W Cervantes St

Applicant: Tradewinds Builders

Applicant's Address: 6706 N 9th Ave, Ste D-18 Pensacola FI 32504

Email: wes@tradewindsbuilders.com **Phone:** 850-324-2867

Property Owner: Fixer up Florida, LLC

District: ☒ **PHD** ☒ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:


1. Remove and Replace all windows with a Traditional wide rail top& bottom, Clad double hung,

Auralast Pine.

2. Build a handicap ramp on the left side of the building. Material is pine, handrail style to match the porch handrails..

3. Repair and.or Replace the handrails as needed with keeping the same style and material.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

5/24/21

Date

Gregg Harding

From: wes@tradewindspensacola.com
Sent: Thursday, June 10, 2021 9:02 AM
To: Gregg Harding
Subject: [EXTERNAL] Tradewinds Builders - 211 Cervantes -window conditions

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Greg,

The windows at 211 W Cervantes are beyond repairable. Majority of the windows are severely rotted/deteriorated to the point of no repair . Others have been broken from vandalism. As much as it would benefit the community and the owner to keep the original windows it is not feasible to do so . Let me know if you have any questions

Thanks

Wes Majors

Cell 850.324.2867

Wes@tradewindspensacola.com



211 W. Cervantes Street Building Elevation Photographs

Front



Right side (front)



Right side (rear)



Rear

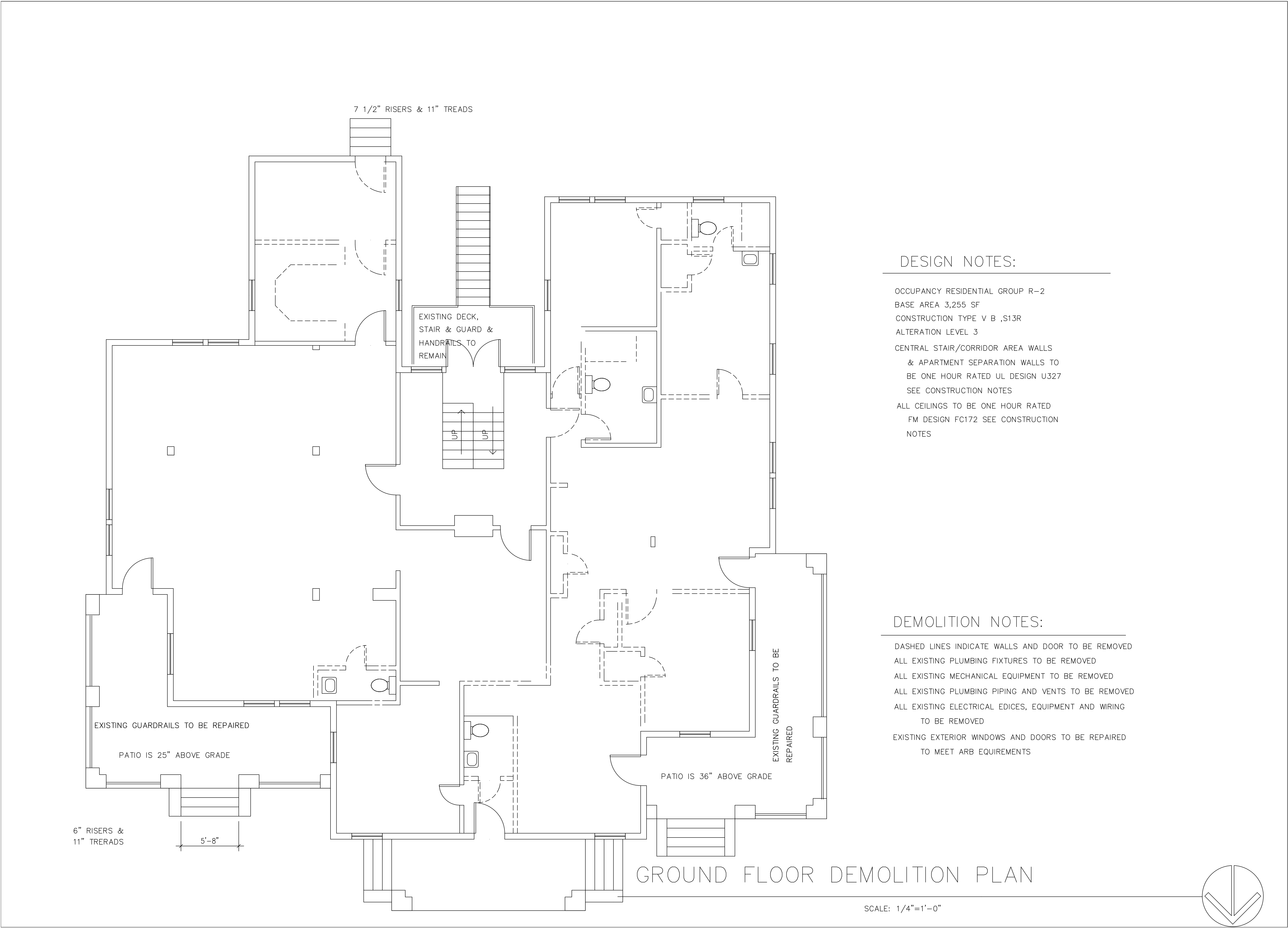


Left side (rear)



Left side (front)





REVISIONS	BY

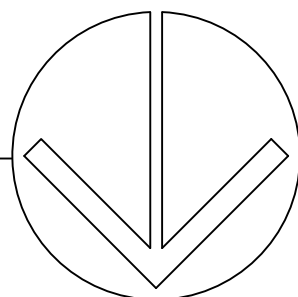
BRETT DUCH ARCHITECT

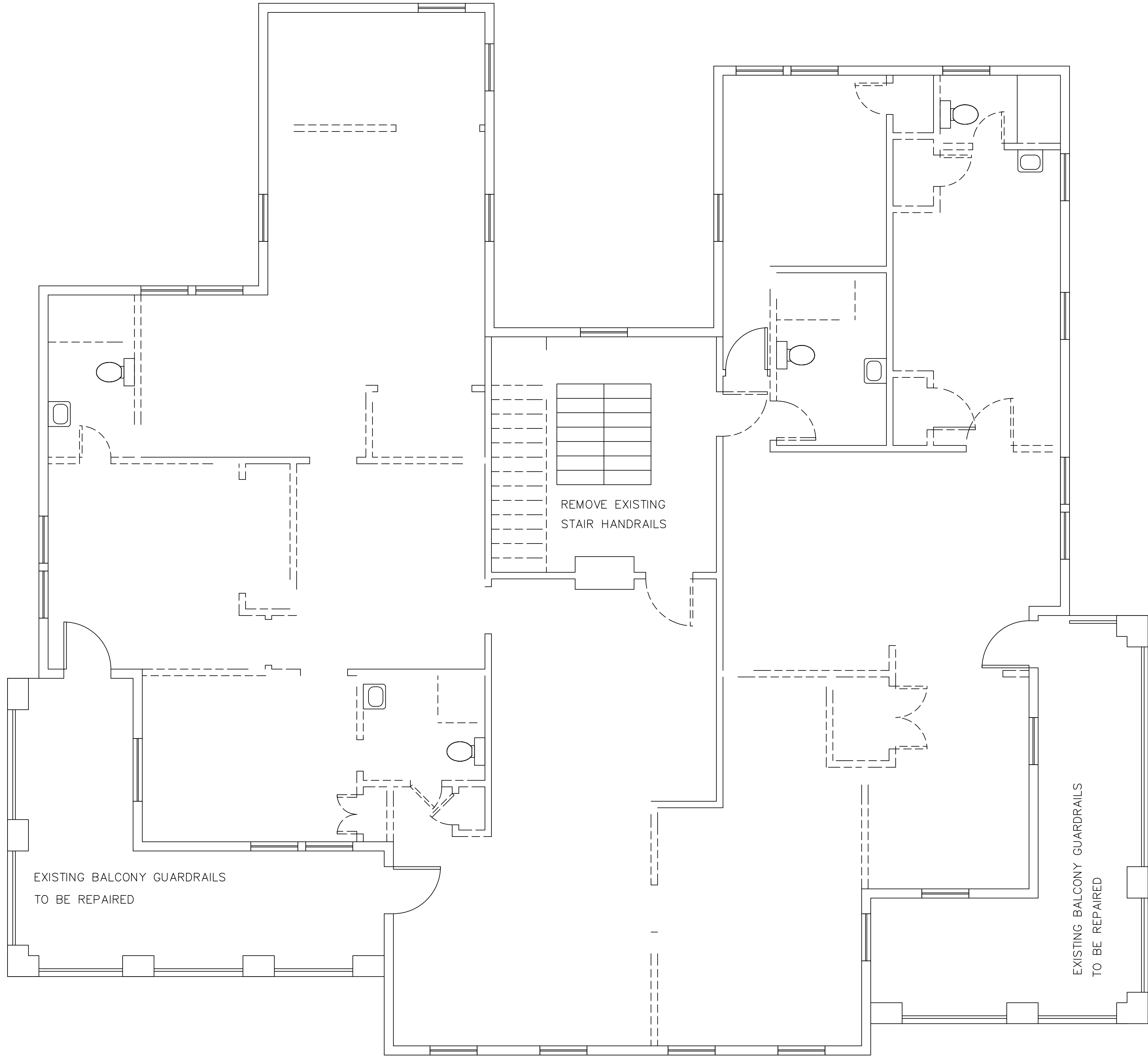
BRETT@BRETTDUCH.COM 850 393 7547

BRYAN CREED RENOVATION

211 W CERVATES STREET, PENSACOLA

DRAWN : BRD	CHECKED : BRD
DATE : 09/01/20	
SCALE : AS NOTED	
JOB NO. : 07-20	
SHEET A-1	
OF 2	SHEETS



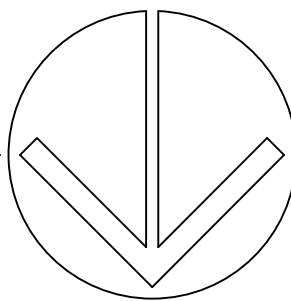


DEMOLITION NOTES:

- DASHED LINES INDICATE WALLS AND DOOR TO BE REMOVED
- ALL EXISTING PLUMBING FIXTURES TO BE REMOVED
- ALL EXISTING MECHANICAL EQUIPMENT TO BE REMOVED
- ALL EXISTING PLUMBING PIPING AND VENTS TO BE REMOVED
- ALL EXISTING ELECTRICAL EDICES, EQUIPMENT AND WIRING TO BE REMOVED
- EXISTING EXTERIOR WINDOWS AND DOORS TO BE REPAIRED TO MEET ARB EQUIREMENTS

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

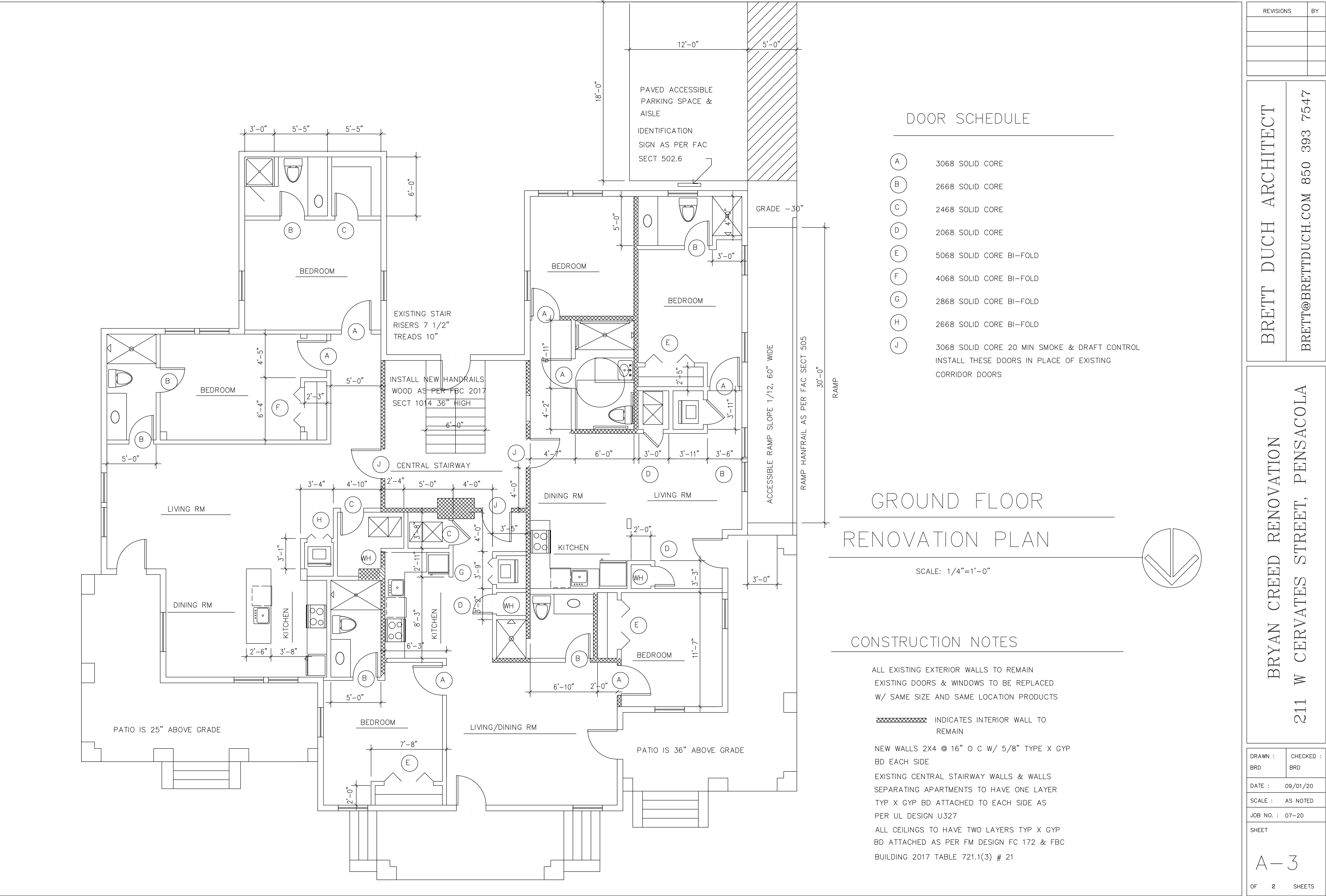


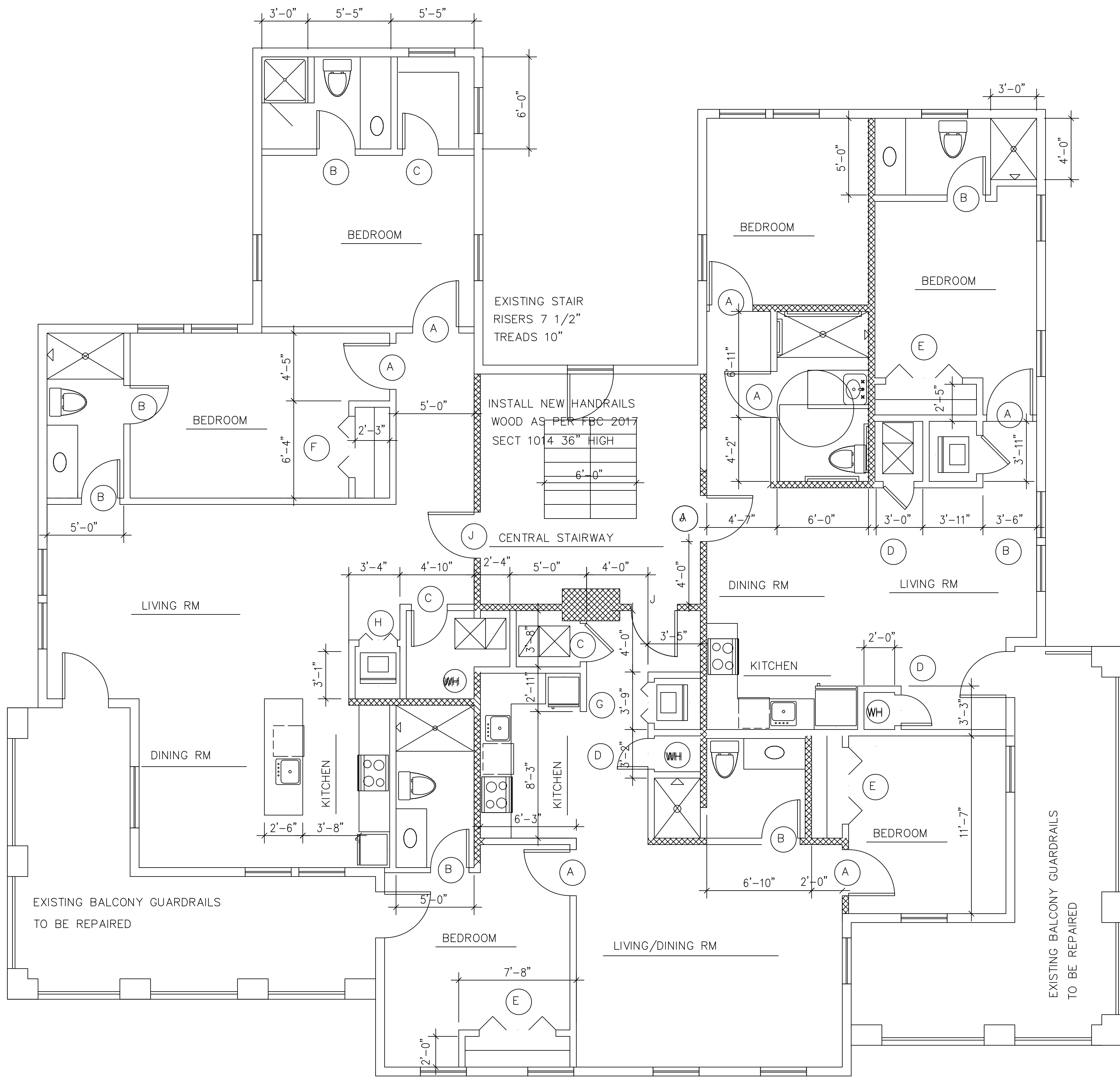
REVISIONS	BY

BRETT DUCH ARCHITECT	BRETT@BRETTDUCH.COM 850 393 7547
----------------------	----------------------------------

BRYAN CREED RENOVATION	211 W CERVATES STREET, PENSACOLA
------------------------	----------------------------------

DRAWN : BRD	CHECKED : BRD
DATE : 09/01/20	
SCALE : AS NOTED	
JOB NO. : 07-20	
SHEET	
A-2	
OF 2	SHEETS





FIRST FLOOR RENOVATION PLAN

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

ALL EXISTING EXTERIOR WALLS TO REMAIN
EXISTING DOORS & WINDOWS TO BE REPLACED
W/ SAME SIZE AND SAME LOCATION PRODUCTS

XXXXXXXXXX INDICATES INTERIOR WALL TO
REMAIN

NEW WALLS 2X4 @ 16" O C W/ 5/8" TYPE X GYP
BD EACH SIDE

EXISTING CENTRAL STAIRWAY WALLS & WALLS
SEPARATING APARTMENTS TO HAVE ONE LAYER
TYP X GYP BD ATTACHED TO EACH SIDE AS
PER UL DESIGN U327

ALL CEILINGS TO HAVE TWO LAYERS TYP X GYP
BD ATTACHED AS PER FM DESIGN FC 172 & FBC
BUILDING 2017 TABLE 721.1(3) # 21

REVISIONS	BY

BRETT DUCH ARCHITECT	BRETT@BRETTDUCH.COM 850 393 7547
----------------------	----------------------------------

BRYAN CREED RENOVATION	211 W CERVATES STREET, PENSACOLA
------------------------	----------------------------------

DRAWN : BRD	CHECKED : BRD
DATE : 09/01/20	SCALE : AS NOTED
JOB NO. : 07-20	SHEET
A-4	
OF 2	SHEETS

1. Remove and replace all windows and doors with a traditional wide rail top and bottom, clad double hung, Auralast Pine.

Window - [W-2500 Clad-Wood Windows | Reliable and Energy Efficient Doors and Windows | JELD-WEN Windows & Doors](#)

Grid style shown below – TO MATCH EXISTING GRID PATTERN



Jaime Brooks

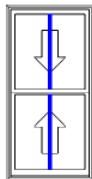
QUOTE BY : Jaime Brooks
SOLD TO : Tradewinds Builder
PO# :
Ship Via : Ground

QUOTE # : JW2101011H1 - Version 0
SHIP TO :
PROJECT NAME : Cervantes
REFERENCE :

U-Factor Weighted Average: 0.3

SHGC Weighted Average: 0.27

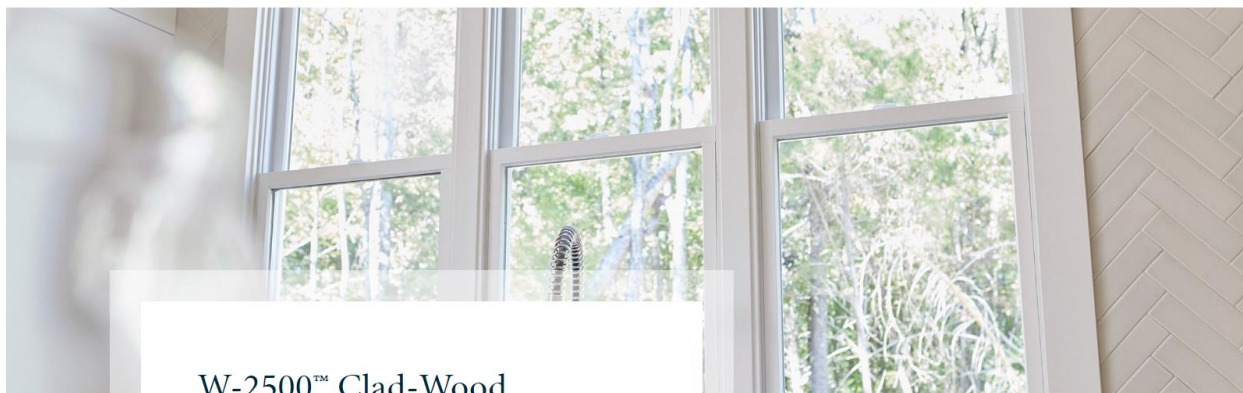
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1		Frame Size : 35 1/2 X 71 1/2			
	Rough Opening : 36 1/4 X 72 1/4	W-2500 Traditional - Wide Rails - Top & Bottom, Clad Double Hung, Auralast Pine, Brilliant White Exterior, Interior-Clear-Lacquer-T75F557, Nail Fin (Standard), Vinyl DripCap, 4 9/16 Jamb, No Finger Plows, White Jambliner, Exterior Jambliner Edge Cover, White Hardware, US National-WDMA/ASTM, PG 50, Insulated Low-E Annealed Glass, No Protective Film, Black Spacer, Argon Filled, 1 3/8" Full Surround - Wood Grille Trad'l. Bead Int BAR, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, Clear Opening:31.9w, 31.9h, 7 sf U-Factor: 0.30, SHGC: 0.27, VLT: 0.52, CPD: JEL-N-850-01564-00001 PEV 2020.4.0.3290/PDV 6.359 (12/06/20)CW			



Viewed from Exterior. 1/2" =1'

All windows meet the description above. The only changes are the window sizes





W-2500™ Clad-Wood

These stylish, energy-efficient wood windows are as durable as they are beautiful. Designed to protect against the elements, our W-2500™ Clad-Wood windows offer exceptional longevity & elegance with designs for a wide range of architectural styles.

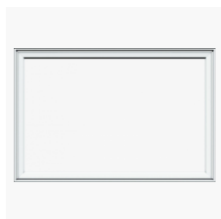
5
Models Available

Moderate
Maintenance Level

\$\$\$
Price Range

LIMITED
20-YEAR
WARRANTY

5 Products Available



W-2500™ Clad-Wood
Awning

Add a unique design element with wood awning windows. Hinged at the top, they open outward from the bottom. Built with AuraLast® pine for lasting protection.



W-2500™ Clad-Wood
Casement

Add natural light and brilliant style to any home with wood casement windows. Hinged at the sides, casement windows open outward. Built with AuraLast® pine for lasting protection.



W-2500™ Clad-Wood
Standard Double-Hung

Energy-efficient wood double-hung window with narrower stiles and rails for a more contemporary appearance. Built with AuraLast® pine for lasting protection.



W-2500™ Clad-Wood
Fixed

Ideal for capturing a scenic view, fixed windows are non-operational, energy efficient and come in a variety of sizes and shapes. Built with AuraLast® pine for lasting protection.



W-2500™ Clad-Wood
Traditional Double-Hung

A classic double-hung wood window with a wider sash and stile profile for a more traditional appearance. More visible wood makes it a great choice for historical renovations. Built with AuraLast® pine for lasting protection.

W-2500™ CLAD-WOOD WINDOWS

JELD-WEN® W-2500™ Wood and Clad-Wood windows provide the perfect solution for those who want superior strength, beauty, and energy-efficiency. Crafted with AuraLast pine, these windows are designed to protect against harsh weather, wood rot, and water damage. Decide from numerous interior finishes and exterior colors to bring the best out of your home, ranging from brilliant white to rustic fruitwood. No matter what architectural style you're looking for, W-2500™ will be sure to impress.

LIMITED
20-YEAR
WARRANTY

W-2500™ Clad-Wood highlights

MAINTENANCE LEVEL
Moderate

PROJECT TYPE
New construction and replacement

WOOD OPTIONS
AuraLast® pine.

W-2500™ Clad-Wood Window: Traditional Double-Hung



Model Overview

PROJECT TYPE
New construction and replacement

MAINTENANCE LEVEL
Moderate

WARRANTY
20 Year Warranty

COLORS & FINISHES
7 Exterior Colors
14 Interior Finish Options

SCREEN & TRIM OPTIONS
3 Insect Screens
5 Exterior Trim Options

FRAME OPTIONS
Integral Nailing Fin
Block Frame/Replacement

GLASS
Energy efficient, textured and protective.

DIVIDED LITES
Grilles between the glass.

HARDWARE
1 Lock Option in 8 finishes

MATERIALS
1 Wood Option

Materials

WOOD OPTIONS

 AuraLast™



AuraLast® Pine

AuraLast® pine is a patented wood product that provides protection against wood rot, water damage and termites. This water-based process fortifies wood all the way to the core, providing an exclusive level of protection you'll only find through JELD-WEN and backed by our limited lifetime warranty. Distinct color variations occur and the grain can appear straight or erratic depending on how it is cut from the log. The wood will darken and yellow with age, adding character and charm. It machines to a fine, smooth finish and easily accepts lighter stains and paint. Staining is recommended to achieve a uniform appearance because pine naturally contains resins that can affect penetration. Knots should be sealed before painting.

Colors & Finishes

EXTERIOR COLORS

Note: Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



Black



Brilliant White



Chestnut Bronze



Desert Sand



French Vanilla



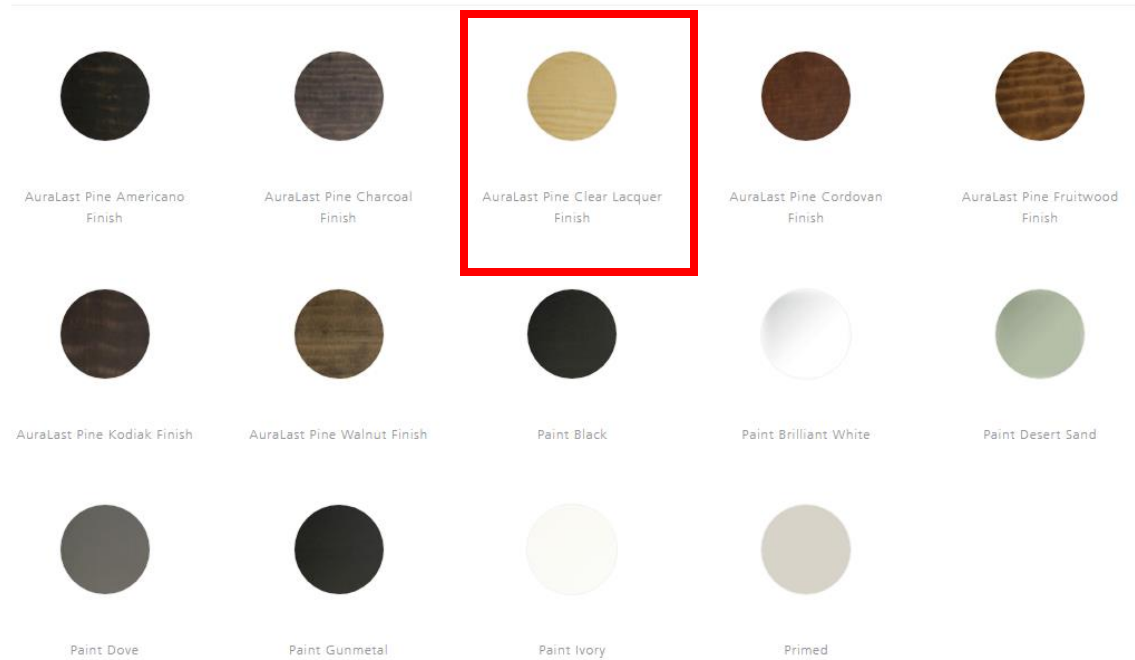
Hartford Green



Mesa Red

INTERIOR FINISH OPTIONS

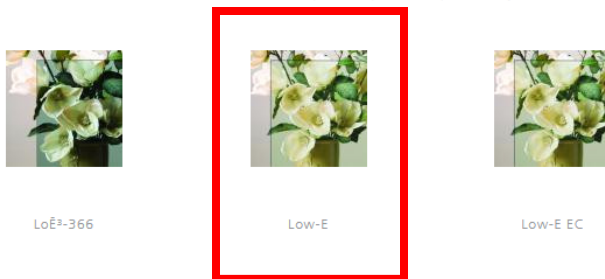
Note: Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



Glass

ENERGY EFFICIENT GLASS

Our optional high-performance Low-E insulating glass lowers energy costs, helps homes stay cooler in the summer and warmer in the winter, reducing the fading of interior furnishings and condensation. It also delivers greater visible light transmittance than tinted glass. Clear glass consists of two panes of glass, sealed with an airspace and the perimeter of the unit is sealed. This option offers maximum visible light transmittance and superb energy efficiency in most climates. With Low-E glass, ENERGY STAR® qualified versions of this product are likely available. This means they meet or exceed the minimum energy efficiency criteria for your climate region. For more information, ask your dealer how to order JELD-WEN ENERGY STAR qualified products specific to your area.



Divided Lites

GRILLES BETWEEN THE GLASS



Grilles Between the Glass

Add architectural interest with our divided lite options. Enjoy increased visual appeal and decreased maintenance with our grilles between the glass, which consist of a spacer bar placed between the panes of the insulating glass. They are an ideal choice because they require no upkeep and will not interfere with window cleaning. We offer 5/8" or 7/8" flat grilles, as well as 5/8" or 1" contour grilles in several grille patterns. These grilles are available in the color that matches the exterior color of the patio door you choose.

FULL-SURROUND REMOVABLE WOOD GRILLES



Full-Surround Removable Wood Grilles

Add architectural interest to your windows with our divided lite options. Our full-surround wood grilles are a convenient way to achieve the look of divided lites. These grilles are positioned on the interior glass and can be removed for easy cleaning. Grilles are available in 7/8", 1-1/8" and 1-3/8" widths in several grille patterns.

[Give Feedback](#)

GRILLE DESIGNS



Colonial Grille



No Grille



Prairie Grille



Top Down Grille

GRID PATTERN TO BE 2/2 TO MATCH HISTORIC WINDOWS

Hardware

LOCKS



Sash Lock

LOCK HARDWARE FINISHES

LOCK HARDWARE FINISHES

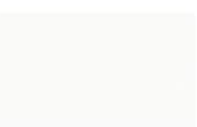
We offer a range of hardware and hardware finishes for our wood and clad-wood windows. We know a Victorian house feels all the more ornate with brass fixtures. And the shine of polished chrome adds a contemporary edge to traditional architecture. Our selection ensures you can make the statement you want down to the last detail.



Chestnut Bronze Finish



Desert Sand Finish



White Finish



Polished Brass Finish



Antique Brass Finish



Brushed Chrome Finish



Oil-Rubbed Bronze Finish



Gloss Black Finish

ADDITIONAL HARDWARE OPTIONS



Window Opening Control Device

Screens & Trim

INSECT SCREENS



Fiberglass Mesh

Our standard charcoal fiberglass mesh insect screens keep insects outside, while letting in natural light. The frames are available with colors to match the patio door color you choose. *Insect screens are intended to allow air and light in, while keeping insects out. They are not intended to stop children from falling through an open window or door. For safety screens and other security devices, contact your local building supply retailer.



BetterVue

BetterVue™ screens are designed to keep more insects outside, while letting more natural light inside compared to regular screens. BetterVue insect screens feature fine, black fiberglass mesh with a light gloss finish, and the frame is available to match the patio door color you choose. *Insect screens are intended to allow air and light in, while keeping insects out. They are not intended to stop children from falling through an open window or door. For safety screens and other security devices, contact your local building supply retailer.



UltraVue™

UltraVue™ screens are standard and allow greater amounts of natural light in your home when compared to aluminum mesh. UltraVue insect screens feature fine, black fiberglass mesh with a light gloss finish, and the frame is available to match the window color you choose. *Insect screens are intended to allow air and light in, while keeping insects out. They are not intended to stop children from falling through an open window or door. For safety screens and other security devices, contact your local building supply retailer.

EXTERIOR TRIM



Sill Nosing for Clad Exterior



Brickmould Trim in Clad



Adams Trim in Clad



Flat Trim in Clad



Historically Accurate 2" Sill Nosing

Construction & Framing

FRAME OPTIONS



Integral Nailing Fin

For New Construction and Replacement. Our windows come standard with a 1-1/4" pre-punched nailing fin for easy installation into new construction applications. The nailing fin is integral to the frame. It surrounds the full perimeter of the frame and helps make installations weathertight. It is appropriate for homes with siding, stucco or brick exteriors.



Block Frame/Replacement

For New Construction and Replacement. A block frame is for a window with a frame that does not include a nail fin. Installation can be done simply and neatly without disturbing exterior siding, stucco, interior trim, paint or wallpaper. The block frame is ideal for new construction installation into concrete or masonry walls. This frame has the same inside and outside dimensions.

Example images of windows









Door style shown below for all exterior doors

Material to be fiberglass

Link to online brochure - [Classic Craft® Visionary Collection™ | Fir Grain | CCA81150-DDBF3 | Therma-Tru Doors \(thermatru.com\)](#)



Product information



Classic Craft® Visionary Collection™ in Fir Grain

8' 5 Panel Shaker | Style No. CCA81150-DDBF3

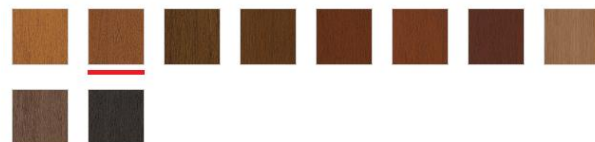
★★★★★ 5.0 (1) [Write a review](#)

1 Available Size ›



[VIEW ON HOME](#)

THERMA-TRU PRISMAGUARD STAIN OPTIONS



Looking for more information on finishing options? Check out our [finishing page](#) and learn how you can use finish to make your house a home with Therma-Tru.

[DESIGN YOUR DOOR](#)

[WHERE TO BUY](#)

[ORDER FINISH SAMPLES](#)

Door color

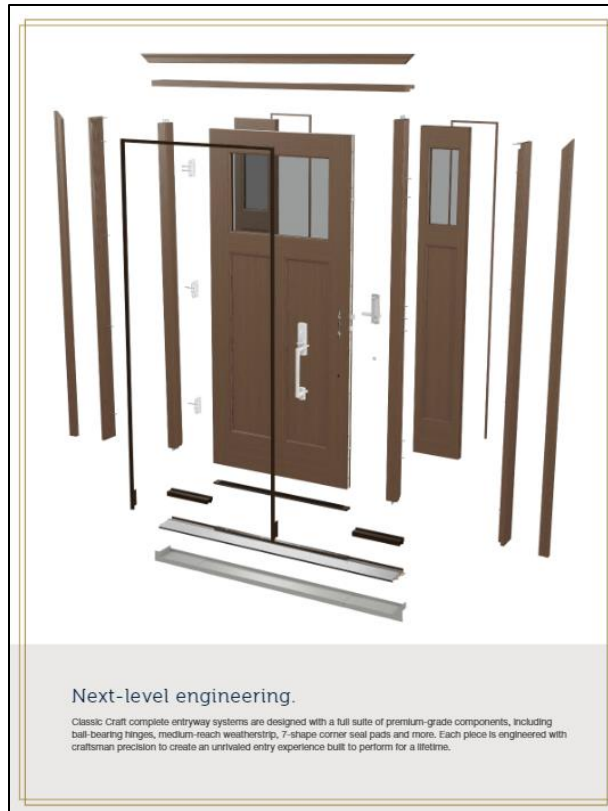
SW 6244

Naval

Interior / Exterior

Location Number: 253-C6





Premium construction, inside and out.

Highlighting the best of craftsmanship and innovation, Classic Craft premium entryways boast impressive, well-designed features and remarkable construction. The inner workings of each Classic Craft door lay the foundation for exceptional strength, security, energy efficiency and long-term performance you can depend on for years to come.



Engineered for Moisture Protection

Features composite top and bottom rails and solid hardwood edges for increased moisture and rot protection all the way around the door.



Designed with Authenticity

Features construction identical to wood doors with narrow stiles and rails, and flush-glazed glass options that are more than 10% wider* to welcome more natural light into the home.



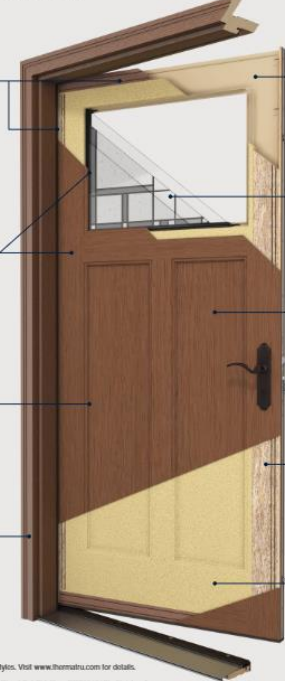
Tested to Withstand Mother Nature

Designed and rigorously tested to withstand and protect from the damaging effects of harsh weather conditions.



Thermo-Tru Door Frame

Created specifically for Thermo-Tru doors to deliver an entire entry system designed and engineered to work together to resist leaks and drafts, and help maintain energy efficiency and weather resistance.



*Comparison of U-Values of fiberglass to wood doors (both without glass).
Right Page Top: Classic Craft Walnut Grain Door - CCW00101, Low-E Glass Direct Set Sidelite - D00101310, Finish - Acorn
Right Page Middle: Classic Craft Mahogany Grain, Low-E Glass with 10% Glass - CCW00101, CCW00101, Finish - Forest
Right Page Bottom: Classic Craft Canvas Door - CCW00101, Sidelites - CCW00101, Finish - Indigo



True-to-Wood Origins

Revel in the handcrafted look and feel of a premium fiberglass entryway with true-to-wood origins. Discover exquisite textures with grains hand selected from the finest natural wood species and meticulously recreated with our revolutionary AccuGrain technology.

AccuGrain TECHNOLOGY

Fir Grain

Designed to echo the grain of the largest species of American Hemlock - the Western Hemlock tree - found in lush coastal rainforests of the Pacific Northwest.

Walnut Grain

Crafted to reflect the prized hardwood of the mighty Black Walnut trees, these doors feature a horizontal grain with natural movement accented by delicate arches and cathedral.

Mahogany Grain

Derived from the West African and Honduran Mahogany, blending authentic textures with exotic roots to build upon the rich history of one of the most renowned woods in the world.

Oak Grain

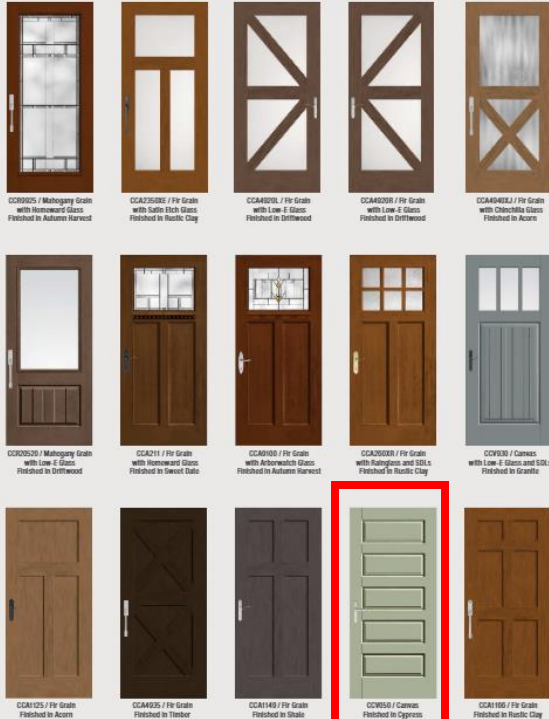
Designed to emulate the unique characteristics of Red Oak trees, embodying the look and feel of one of the most popular wood grains of all time.

Canvas

Inspired by the world's most exquisite masterpieces and designed with the architectural character of finely sanded wood.

Popular looks inspired by design.

Explore more options at www.thermatru.com/ClassicCraft.



Multi-Point Locking System Handleset Options

Bring form and function together. Multi-point locking systems engage the door and frame at three points with handleset options to complement styles from traditional to contemporary.



Finish Options



Finish Options



THERMA-TRU
DOORS
Where Home Begins.

thermatru.com/ClassicCraft
1-800-THERMA-TRU (843-7628)
1750 Indian Wood Circle
Maumee, OH 43537



Example of doors

Door at front entrance, left side ground floor and 2nd story (3), and right side ground floor and 2nd story (3)



Rear doors

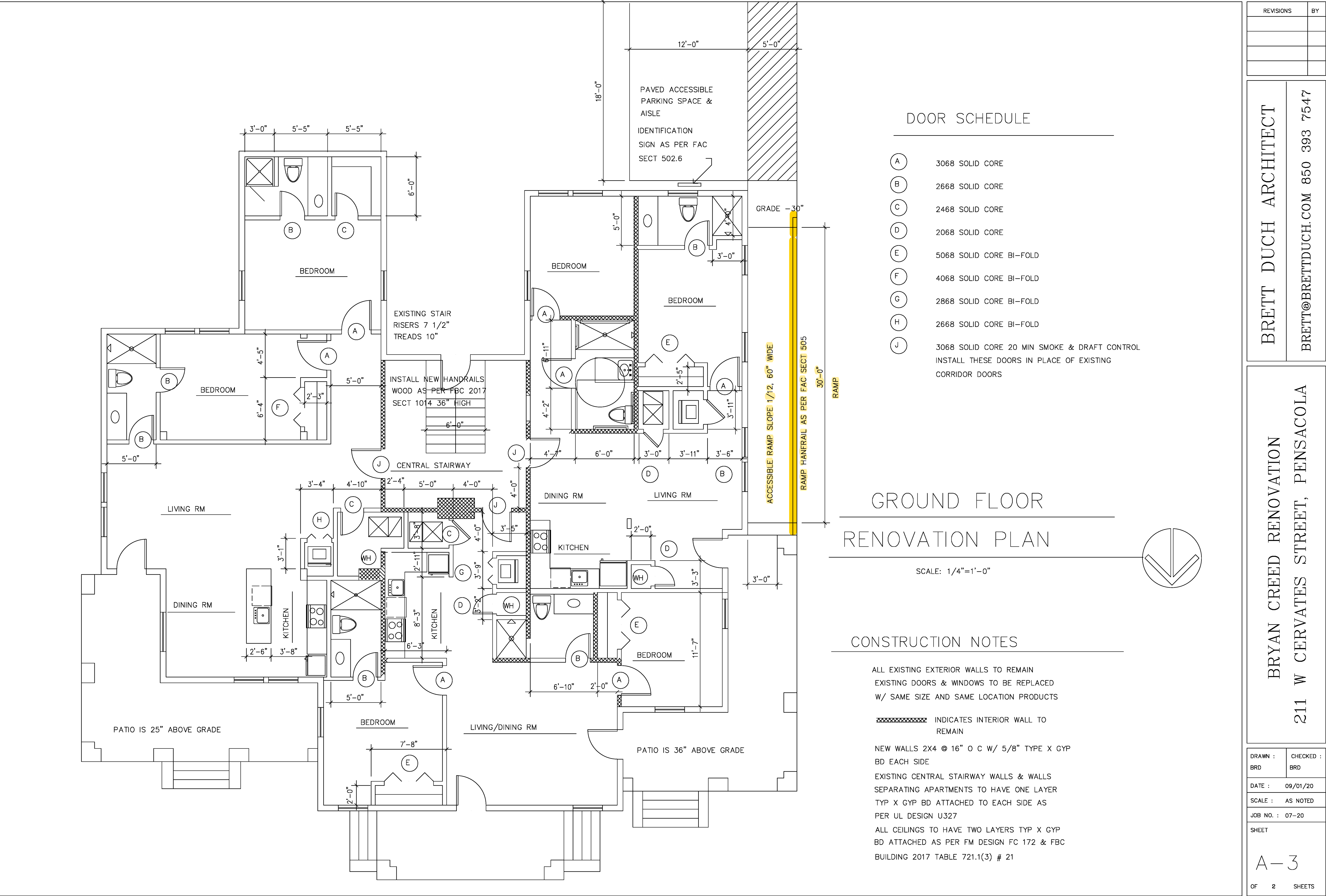


Additional doors at rear of building (gray door off to side and white door under stairs)



2. Build an ADA handicap ramp on the left side of the building. Materials is pine, handrail style to match the porch handrails.

ARCHITECTURAL DETAILS AND DRAWINGS ON ADA RAMP ARE FORTHCOMING.



REVISIONS	BY

BRETT DUCH ARCHITECT

BRETT@BRETTDUCH.COM 850 393 7547

BRYAN CREED RENOVATION

211 W CERVATES STREET, PENSACOLA

DRAWN : BRD	CHECKED : BRD
DATE : 09/01/20	SCALE : AS NOTED
JOB NO. : 07-20	SHEET
A-3	
OF 2	SHEETS

3. Repair and or replace the handrails as needed with keeping the same style and materials















REVISIONS	BY

BRETT DUCH ARCHITECT

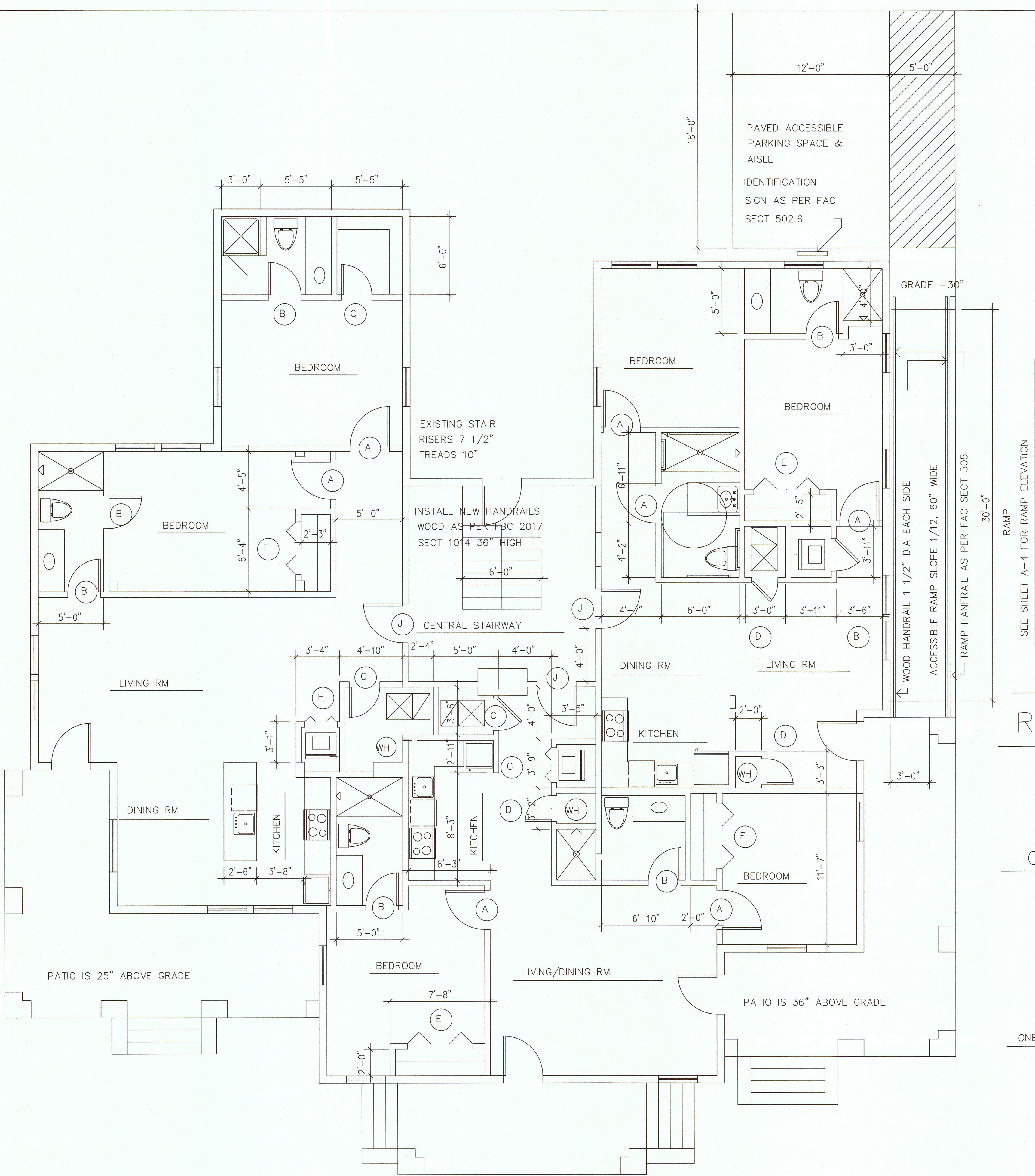
BRETT@BRETTDUCH.COM

850 393 7547

BRYAN CREED RENOVATION

211 W CERVATES STREET, PENSACOLA

DRAWN :	CHECKED :
BRD	BRD
DATE :	09/01/20
SCALE :	AS NOTED
JOB NO. :	07-20
SHEET	
A-3	
OF 2	SHEETS



DOOR SCHEDULE

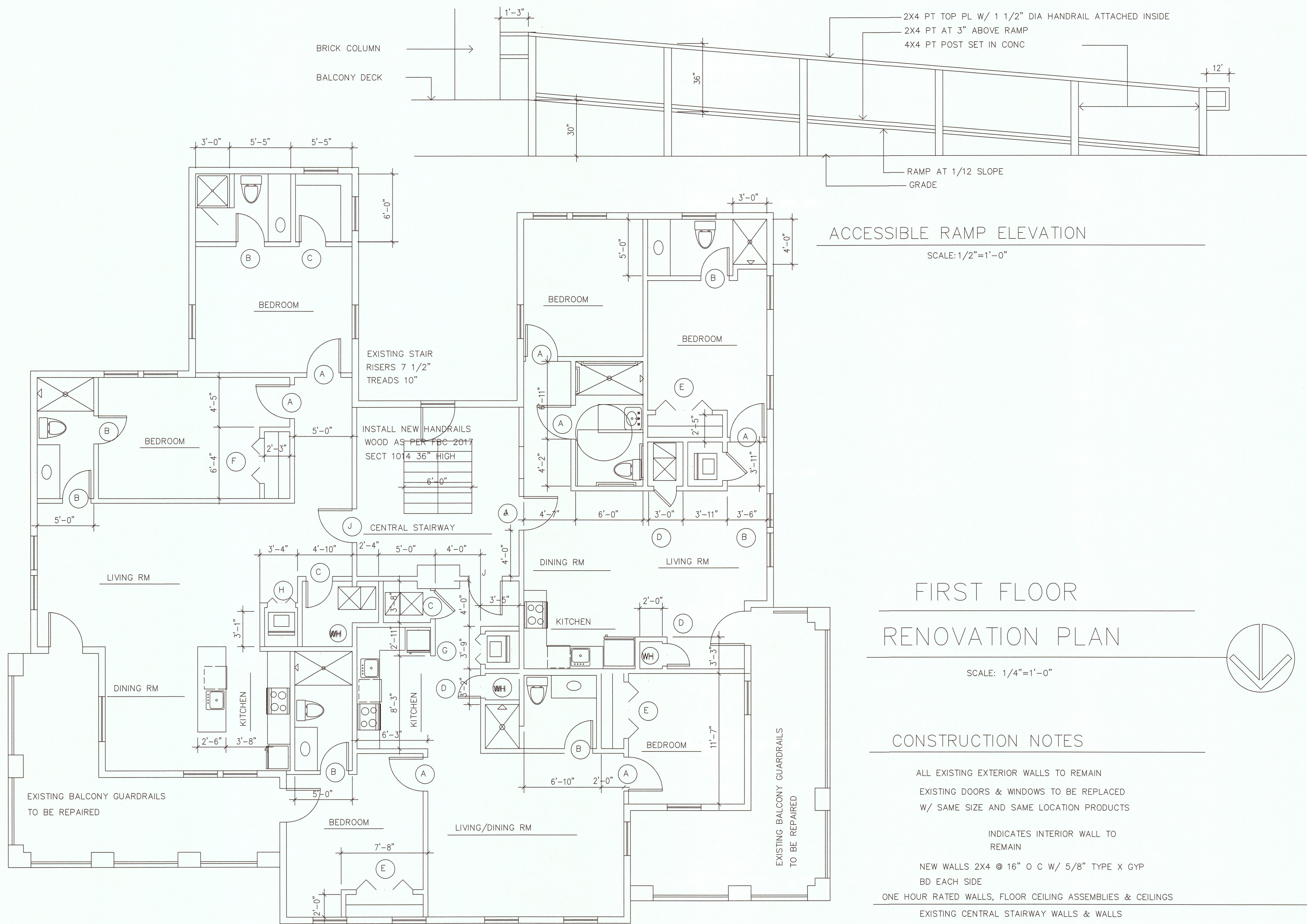
- (A) 3068 SOLID CORE
- (B) 2668 SOLID CORE
- (C) 2468 SOLID CORE
- (D) 2068 SOLID CORE
- (E) 5068 SOLID CORE BI-FOLD
- (F) 4068 SOLID CORE BI-FOLD
- (G) 2868 SOLID CORE BI-FOLD
- (H) 2668 SOLID CORE BI-FOLD
- (J) 3068 SOLID CORE 20 MIN SMOKE & DRAFT CONTROL
INSTALL THESE DOORS IN PLACE OF EXISTING
CORRIDOR DOORS

GROUND FLOOR RENOVATION PLAN

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- ALL EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING DOORS & WINDOWS TO BE REPLACED
W/ SAME SIZE AND SAME LOCATION PRODUCTS
- INDICATES INTERIOR WALL TO REMAIN
- NEW WALLS 2X4 @ 16" O C W/ 5/8" TYPE X GYP
BD EACH SIDE
- ONE HOUR RATED WALLS,FLOOR CEILING ASSEMBLIES AND CEILINGS
- EXISTING CENTRAL STAIRWAY WALLS & WALLS
SEPARATING APARTMENTS TO HAVE ONE LAYER
TYP X GYP BD ATTACHED TO EACH SIDE AS
PER UL DESIGN U327
- ALL CEILINGS TO HAVE TWO LAYERS TYP X GYP
BD ATTACHED AS PER FM DESIGN FC 172 & FBC
BUILDING 2017 TABLE 721.1(3) # 21



REVISIONS	BY

BRETT DUCH ARCHITECT

BRETT@BRETTDUCH.COM 850 393 7547

BRYAN CREED RENOVATION

211 W CERVATES STREET, PENSACOLA

DRAWN : BRD	CHECKED : BRD
DATE : 09/01/20	
SCALE : AS NOTED	
JOB NO. : 07-20	
SHEET	
A-4	
OF 2	SHEETS



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00505

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/9/2021

SUBJECT:

70 N. Baylen Street
Palafox Historic Business District / Zone C-2A
Generator, Screening, and Hardscape at a Contributing Structure

BACKGROUND:

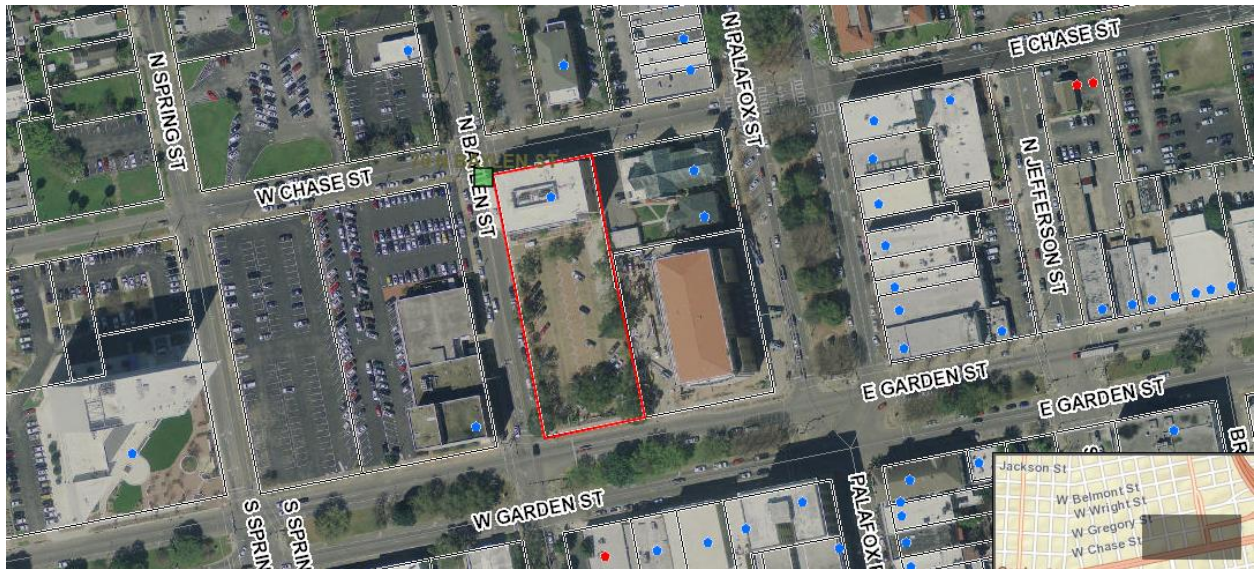
Hannah Bryant, BDG Architects, LLP, is seeking approval to build a generator enclosure and to modify the hardscape at a contributing structure. The enclosure will be 28'-2" x 8"-1" to meet the manufacturer setbacks and will be made of brick and vertical metal screening. Work will also include changes to the hardscape including the addition of an ADA ramp, handrails, and the addition of concrete bollards.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-27(f)(2)a. *Palafox Historic Business District, Decisions guidelines*
Sec. 12-3-27(f)(4)g. *PHBD, Walls and fences*
Sec. 12-3-27(f)(4)h. *PHBD, Landscaping and screening*
Sec. 12-3-63(d) *Fences, Regulations for commercial districts (no max height)*

70 N. Baylen Street





**Architectural Review Board Application
Full Board Review**

Application Date: 05/24/2021

Project Address: 70 N. Baylen St.

Applicant: Hannah Bryant - BDG Architects, LLP

Applicant's Address: 2100 1st Ave. N., #100, Birmingham, AL 35203

Email: *hannah.bryant@bdgllp.com* **Phone:** 205-252-8222

Property Owner: Regions Bank

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

This project consists of the proposed location of a new 28'-2" X 8'-1" generator with built in fuel tank. Also proposed is a 12'-0" high masonry screen wall to enclose generator. The location of generator will require modification to the existing ADA parking and accessible ramp.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Hannah Bryant

Applicant Signature

05/24/2021

Date

Gregg Harding

From: Hannah Bryant <Hannah.Bryant@bdgllp.com>
Sent: Thursday, June 10, 2021 3:22 PM
To: Gregg Harding
Subject: [EXTERNAL] RE: 70 N. Baylen Street / ARB Chairman Comments

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Mr. Harding,

Please see responses below:

1. Can the applicant please provide the following information:
 - a. West elevation of the proposed work area / enclosure;
We are working on this and hope to have that sheet revised to email to you early tomorrow.
 - b. A photograph or information of the proposed brick (so the Board can ensure a close match)
Jack Marshal (AOR) will be attending the meeting and will have a sample with him. I can send you a photo when it arrives at our office, but he will also have the sample there in person.
2. Also, will the applicant be able to address what will happen to the historic photograph panel located along the parking wall in this area? The panels were put up by the UWF Historic Trust several years ago.
We would like to relocate these over to the new screen wall.

Thank you,

Hannah Bryant
Development Services - Permitting Coordinator
hannah.bryant@bdgllp.com
BDG Architects
2100 1st Ave. N., Suite 100
Birmingham, AL 35203
[office] 205.252.8222 x303
[cell] 229.269.6090
www.bdgllp.com



Leadership IN Architecture.....
Leadership BEYOND Architecture



From: Gregg Harding <GHarding@cityofpensacola.com>
Sent: Tuesday, June 8, 2021 11:16 AM
To: Hannah Bryant <Hannah.Bryant@bdgllp.com>
Subject: 70 N. Baylen Street / ARB Chairman Comments



PENSACOLA MAIN PROPOSED GENERATOR LOCATION

70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 26223

INDEX OF DRAWINGS

TS-01	TITLE PAGE
ARCHITECTURAL DRAWINGS	
A-001	SITE AREA PLAN
A-002	SITE PLAN
A-003	LARGE SCALE PLAN- PROPOSED
A-004	EXISTING BUILDING PHOTOS
A-005	EXISTING EXTERIOR ELEVATIONS
A-006	GENERATOR ENCLOSURE ELEVATIONS AND DETAILS

bdg
architects

2100 1st Ave. N. Ste. 100
Birmingham, AL 35203
P: 205-252-8222
F: 205-252-8899
W: www.bdgllp.com



REGIONS FINANCIAL CORPORATION
PENSACOLA MAIN
PROPOSED GENERATOR LOCATION

70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 32503

GENERAL NOTES

1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK..
3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
4. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM, INCLUDING BUT NOT LIMITED TO THE LOCATION OF UTILITIES AND BUILDING DIMENSIONS, AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.
6. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
7. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS TO EACH SUB-CONTRACTOR AND FOR INSURING THAT THE WORK OF EACH SUB-CONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUB-CONTRACTOR.
8. DIMENSIONS TO EXTERIOR WALL ARE TO EXTERIOR FACE OF CMU AND/ OR BRICK EDGE OF BLOCK AND/ OR BRICK UNLESS NOTED OTHERWISE
9. DIMENSIONS OF INTERIOR PARTITIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
10. TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBER SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT OR MANUFACTURER'S NAME, THE PHRASE "OR, AS APPROVED BY ARCHITECT."

OWNER AND CONSULTANTS

OWNER

REGIONS FINANCIAL
CORPORATE REAL ESTATE
250 RIVERCHASE PKWY SUITE 600
BIRMINGHAM, ALABAMA 35244
205.560.5277

ARCHITECT

BDG ARCHITECTS
2100 FIRST AVENUE NORTH
SUITE 100
BIRMINGHAM, AL 35203
DAVID HIGGINS
205-252-8222
205-252-8899 fax
david.higgins@bdgllp.com

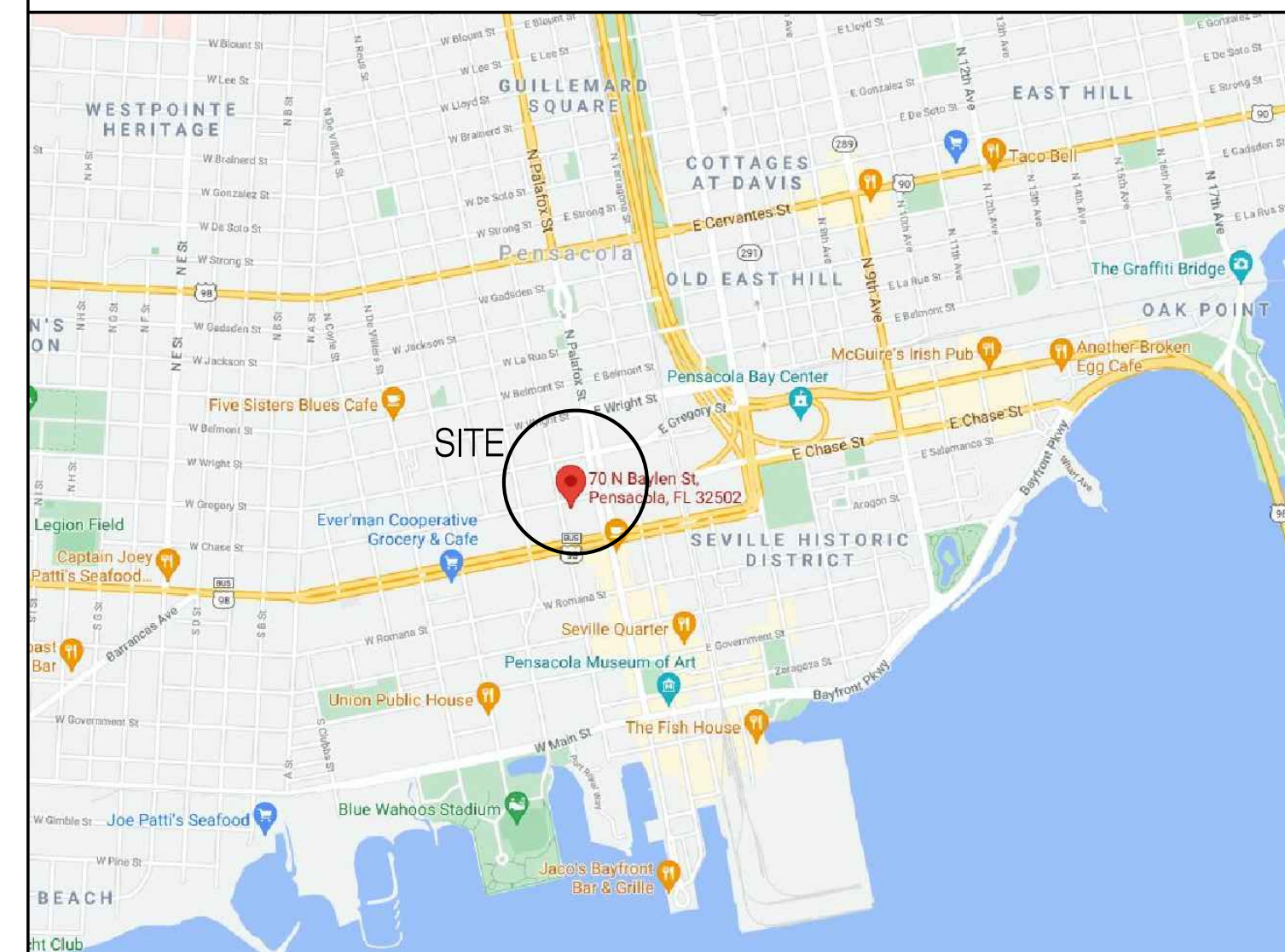
CODE INFORMATION

JURISDICTION : CITY OF PENSACOLA, FLORIDA

APPLICABLE CODES:

- 2020 FLORIDA BUILDING CODE
- 2020 7TH ED. FLORIDA STATE PLUMBING CODE
- 2020 7TH ED. FLORIDA STATE MECHANICAL CODE
- NEC (2017) NFPA NATIONAL ELECTRICAL CODE
- 2020 7TH ED. FLORIDA STATE ENERGY CONSERVATION CODE
- 2020 7TH ED. FLORIDA STATE FIRE PREVENTION CODE
(NFPA 1 AND 101 2018 NATIONAL FIRE PROTECTION ASSOCIATION)
- 2020 7TH ED. FLORIDA STATE FUEL GAS CODE
- 2020 7TH ED. FLORIDA STATE ACCESSIBILITY CODE

VICINITY MAP



SCOPE OF WORK

THIS PROJECT CONSISTS OF THE PROPOSED LOCATION OF A NEW 28'-2" X 8'-1" GENERATOR WITH BUILT IN FUEL TANK. ALSO PROPOSED IS A 12'-0" HIGH MASONRY SCREEN WALL TO ENCLOSE GENERATOR. THE LOCATION OF GENERATOR WILL REQUIRE THE MODIFICATION TO THE EXISTING ADA PARKING AND ACCESSIBLE RAMP. REFER TO DRAWINGS FOR NEW ADA PARKING AREA AND RAMP LAYOUT.

[illegible][illegible]

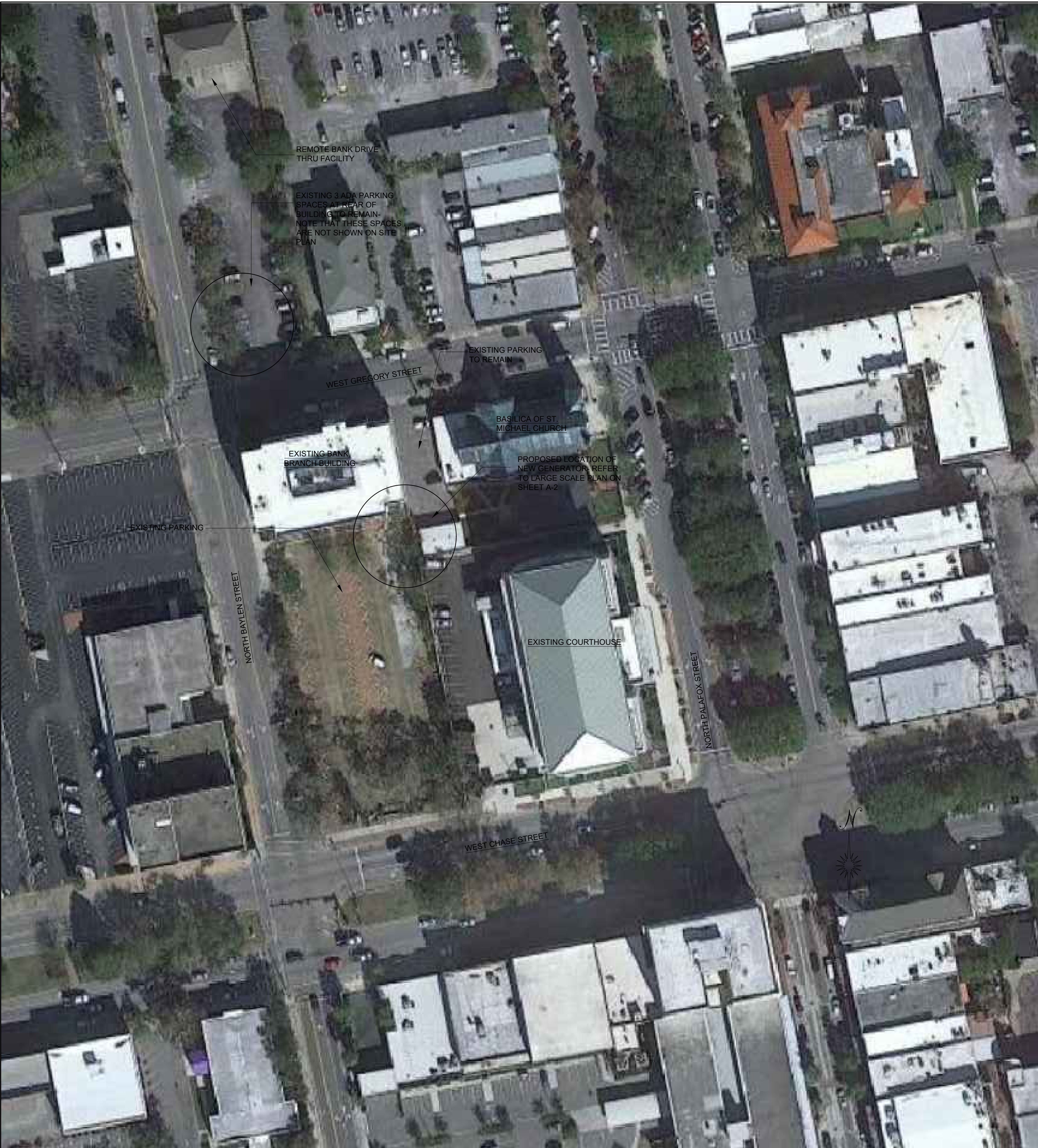
JOB #	203252
DATE:	05-22-2021
DRAWN BY:	DMH
CHECKED BY:	JTM

SHEET TITLE

TITLE PAGE AND
SHEET INDEX

SHEET NUMBER

TS-01



bdg

architects

2100 1st Ave. N. Ste. 100
Birmingham, AL 35203

P: 205 - 252- 8222
F: 205 - 252 - 8899
W: www.bdgllp.com

REGIONS

REGIONS FINANCIAL CORPORATION
PENSACOLA MAIN
PROPOSED GENERATOR LOCATION
70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 32623

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS"), ARE THE SOLE AND EXCLUSIVE, PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, FILED, REPRODUCED, OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MADE, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION. PRIOR TO COMMENCING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

SEAL

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK

JOB #

203252

DATE:

05-22-2021

DRAWN BY:

DMH

CHECKED BY:

JTM

SHEET TITLE

SITE AREA PLAN

SHEET NUMBER

A-001

SITE AREA PLAN

SCALE
NO SCALE

1

136



2100 1st Ave. N, Ste. 100
Birmingham, AL 35203
P: 205 - 252-8222
F: 205 - 252 - 8899
W: www.bdgllp.com



REGIONS FINANCIAL CORPORATION
PENSACOLA MAIN
PROPOSED GENERATOR LOCATION
70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 26223

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE UNEXCLUSIVE, PROPRIETARY PROPERTY OF BOG ARCHITECTS, AND MAY NOT BE REPRODUCED, COPIED, PUBLISHED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION OF BOG ARCHITECTS. USE OF THESE PLANS FOR CONTRACTUAL PURPOSES, SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE CONTRACTOR SHALL BE DEEMED TO HAVE AGREED TO THE FOLLOWING CONDITIONS: (1) THE PLANS ARE NOT TO BE REPRODUCED OR ADAPTED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BOG ARCHITECTS; ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BOG ARCHITECTS, SHALL BE DEEMED TO HAVE BEEN EXCLUDED FROM THESE PLANS, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BOG ARCHITECTS; OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS SHALL BE DEEMED TO HAVE BEEN EXCLUDED FROM THESE PLANS. (2) THE CONTRACTOR SHALL AUTOMATICALLY VOW ANY DESIGN RELATED OBLIGATIONS BOG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BOG ARCHITECTS FROM ANY LIABILITY, INCLUDING BUT NOT LIMITED TO, ANY AND ALL DAMAGES ARISING OUT OF OR RELATED TO THE PROJECT, ANY DISCREPANCIES OR OMISSIONS IN THESE PLANS, AND ANY AND ALL DAMAGES, INCLUDING BUT NOT LIMITED TO, ANY AND ALL DAMAGES TO CONTINUING WITH THE WORK, FAILURE TO REVEAL DISCREPANCIES OR CONFLICTS TO BOG ARCHITECTS PRIOR TO PERFORMING WORK, OR FAILURE TO HAVE THE PLANS REVIEWED BY AN INDEPENDENT THIRD PARTY. (3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK OF ANY OTHER CONTRACTORS WITH THE PLANS AND ANY DISCREPANCIES OR CONFLICTS.

SEAL

[illegible]

PROJECT INFORMATION BLOCK	
---------------------------	--

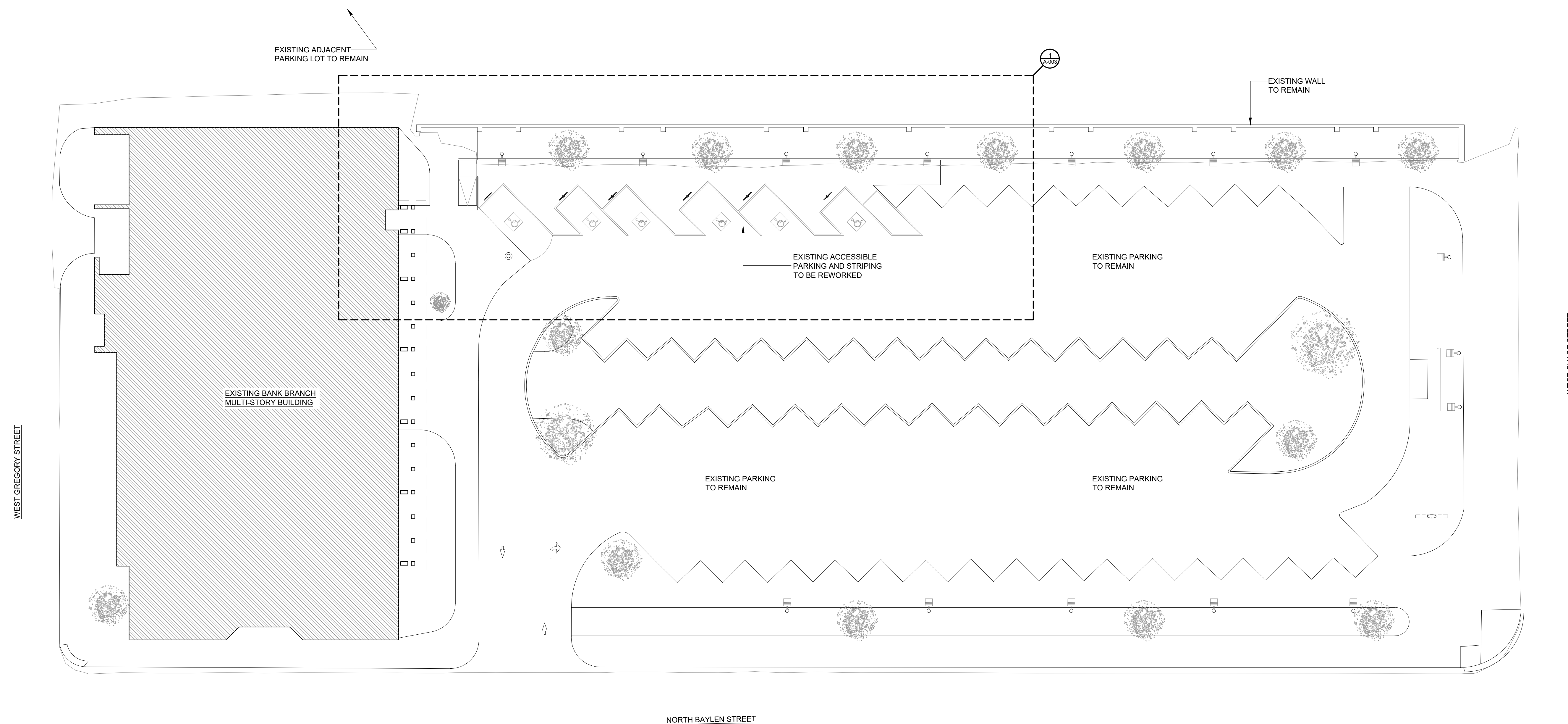
JOB #	203252
DATE:	05-22-202
DRAWN BY:	DMH
CHECKED BY:	JTM

1	SHEET TITLE
---	-------------

SITE PLAN

SHEET NUMBER

A-002



NOTE:
EXISTING NEW PARKING
LOT WITH 3 ADA SPACES
ACROSS WEST GREGORY
STREET NOT SHOWN ON
SURVEY TO REMAIN

SITE PLAN

SCALE
$1/16" = 1'-0"$

[illegible]

[illegible]

SEA

[illegible]

PROJECT INFORMATION BLOCK	
---------------------------	--

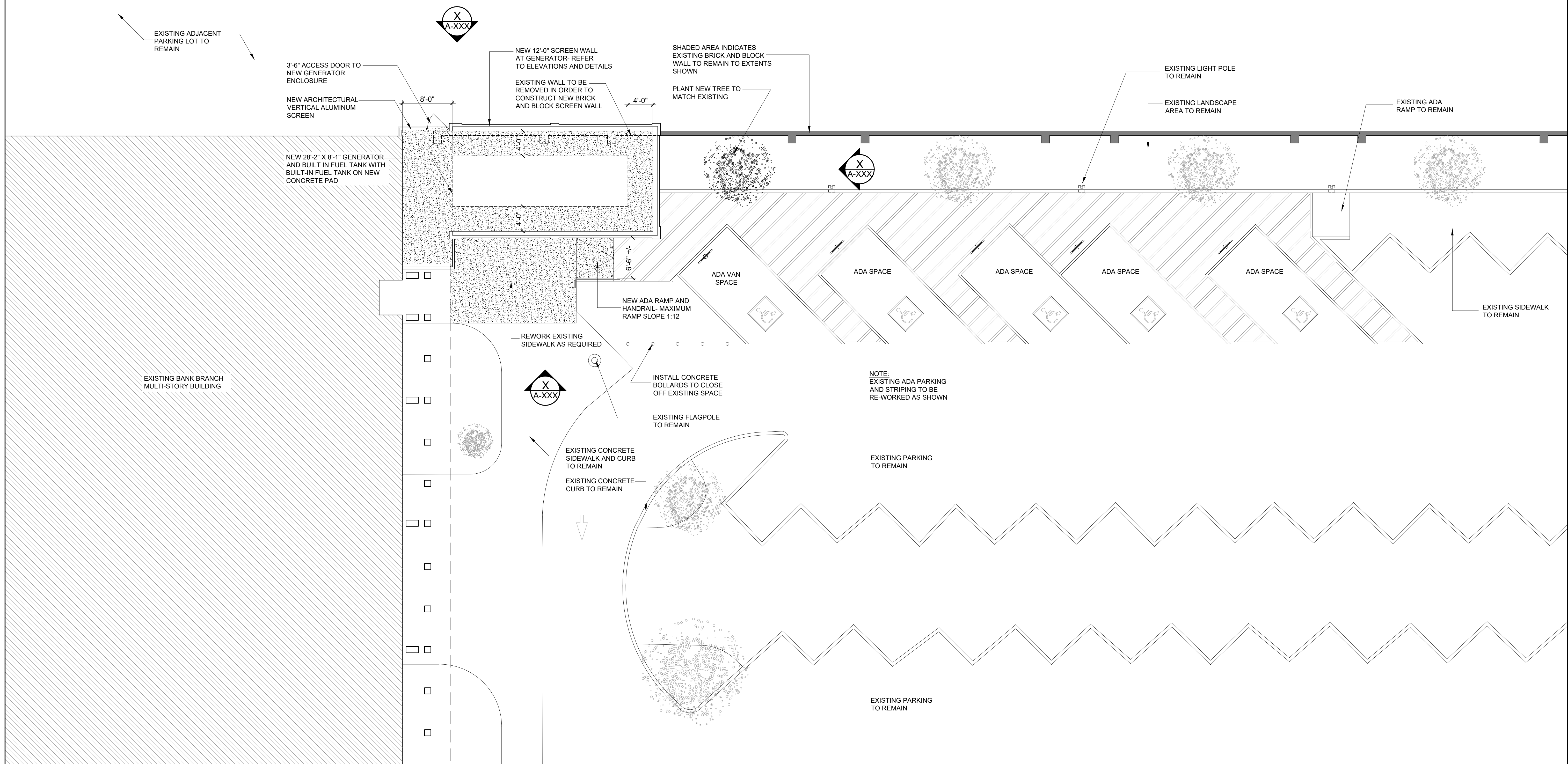
JOB #	203252
DATE:	05-22-202
DRAWN BY:	DMH
CHECKED BY:	JTM

SHEET TITLE

LARGE SCALE PLAN
PROPOSED

SHEET NUMBER

A-003





SOUTH ELEVATION

SCALE
NO SCALE

1



EAST ELEVATION

SCALE
NO SCALE

2



NORTH ELEVATION

SCALE
NO SCALE

3



WEST ELEVATION

SCALE
NO SCALE

4

bdg
architects

2100 1st Ave. N. Ste. 100
Birmingham, AL 35203
P: 205 - 252-8222
F: 205 - 252 - 8899
W: www.bdgllp.com

REGIONS

REGIONS FINANCIAL CORPORATION
PENSACOLA MAIN
PROPOSED GENERATOR LOCATION
70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 26223

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS, REPRESENTS PLANS ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED AN ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND TO BE SEVERABLE AND CONTRACTUAL TO THE PLANS. THE PLANS SHALL NOT BE RECALLED OR ACCEPTED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, BEYOND THE BUSINESS OF WORK, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION INCURRED FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION. PRIOR TO COMMENCING WITH THE WORK, FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

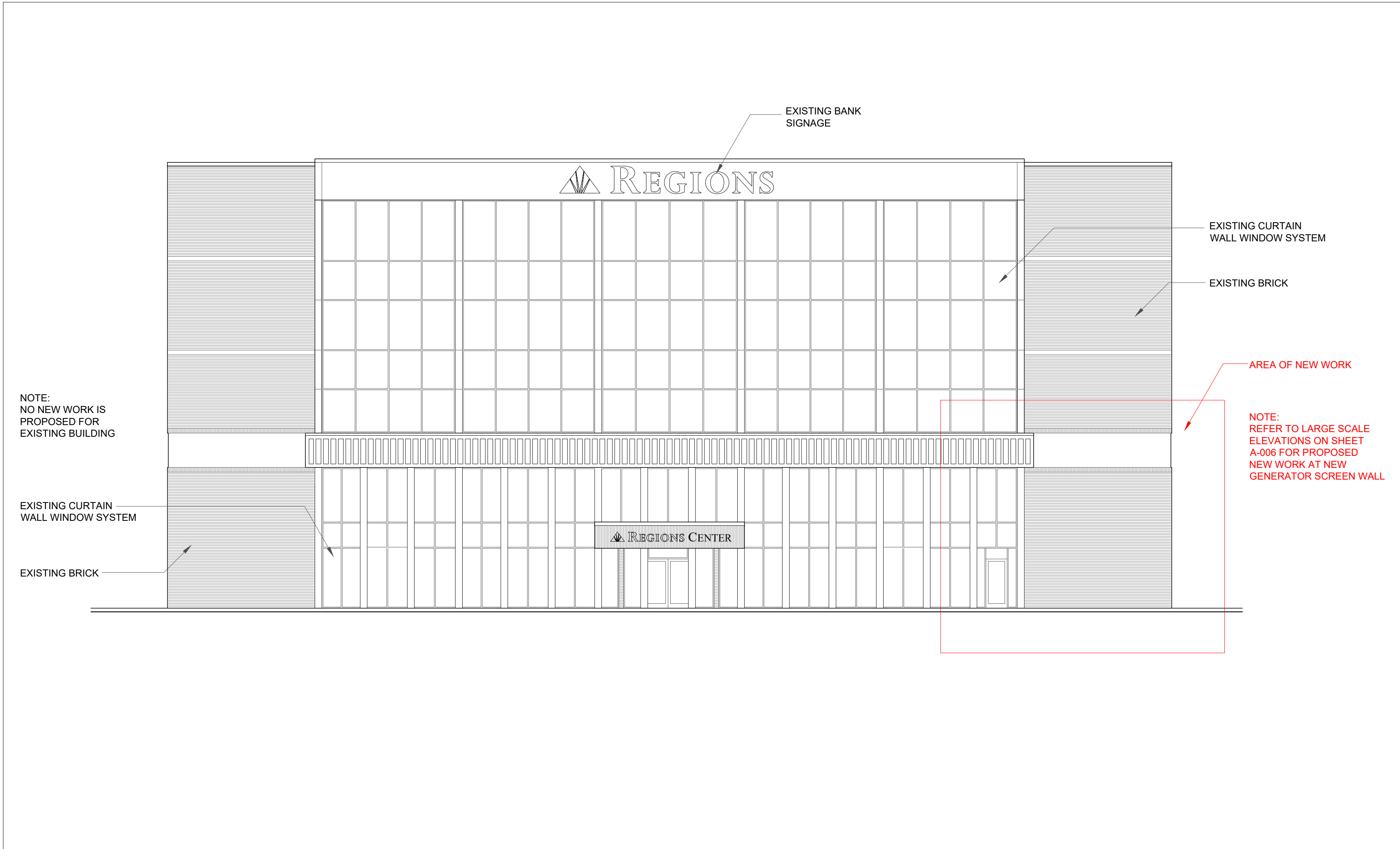
SEAL

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #	203252
DATE:	05-22-2021
DRAWN BY:	DMH
CHECKED BY:	JTM

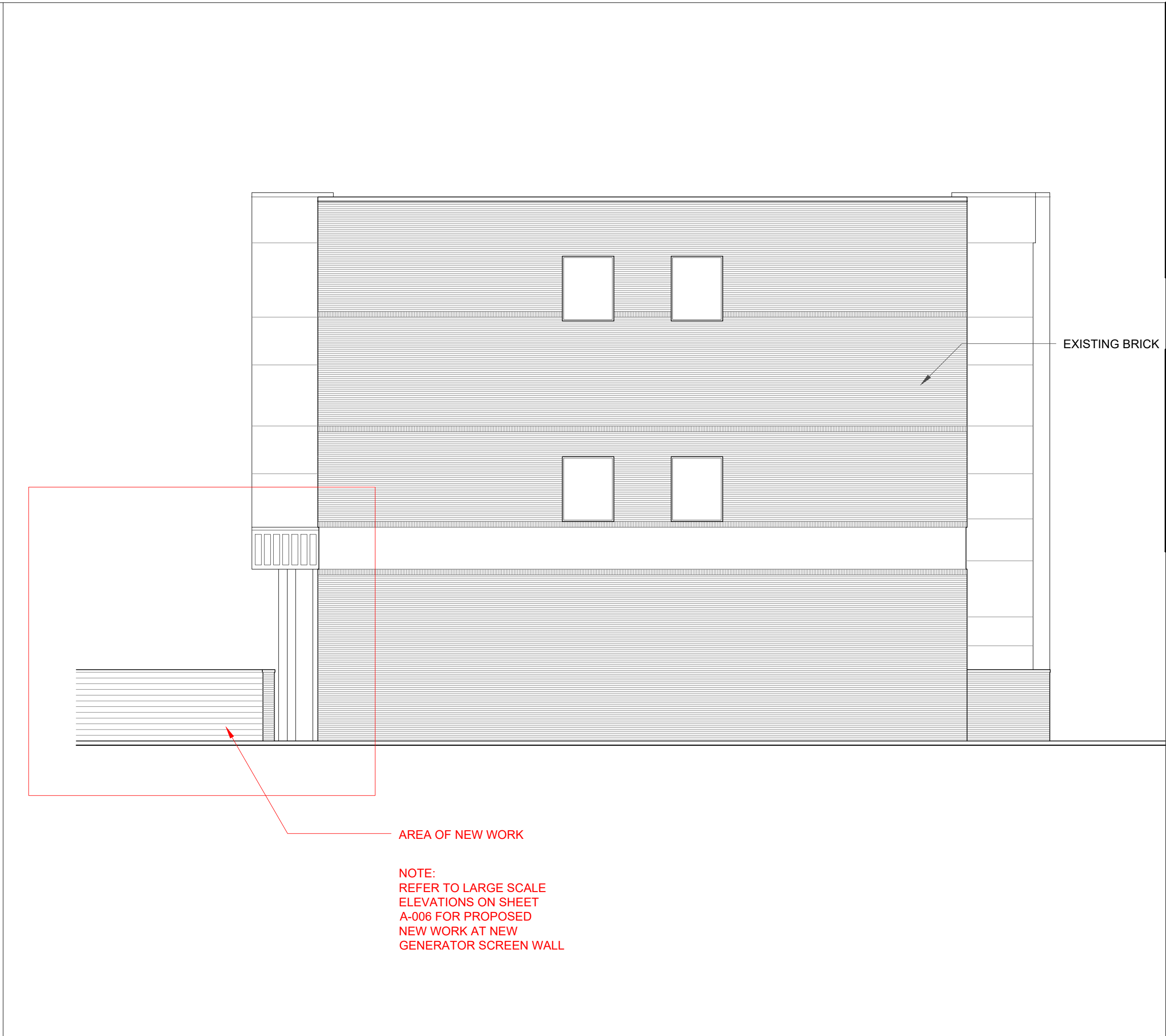
SHEET TITLE
EXTERIOR PHOTOS

SHEET NUMBER
A-004



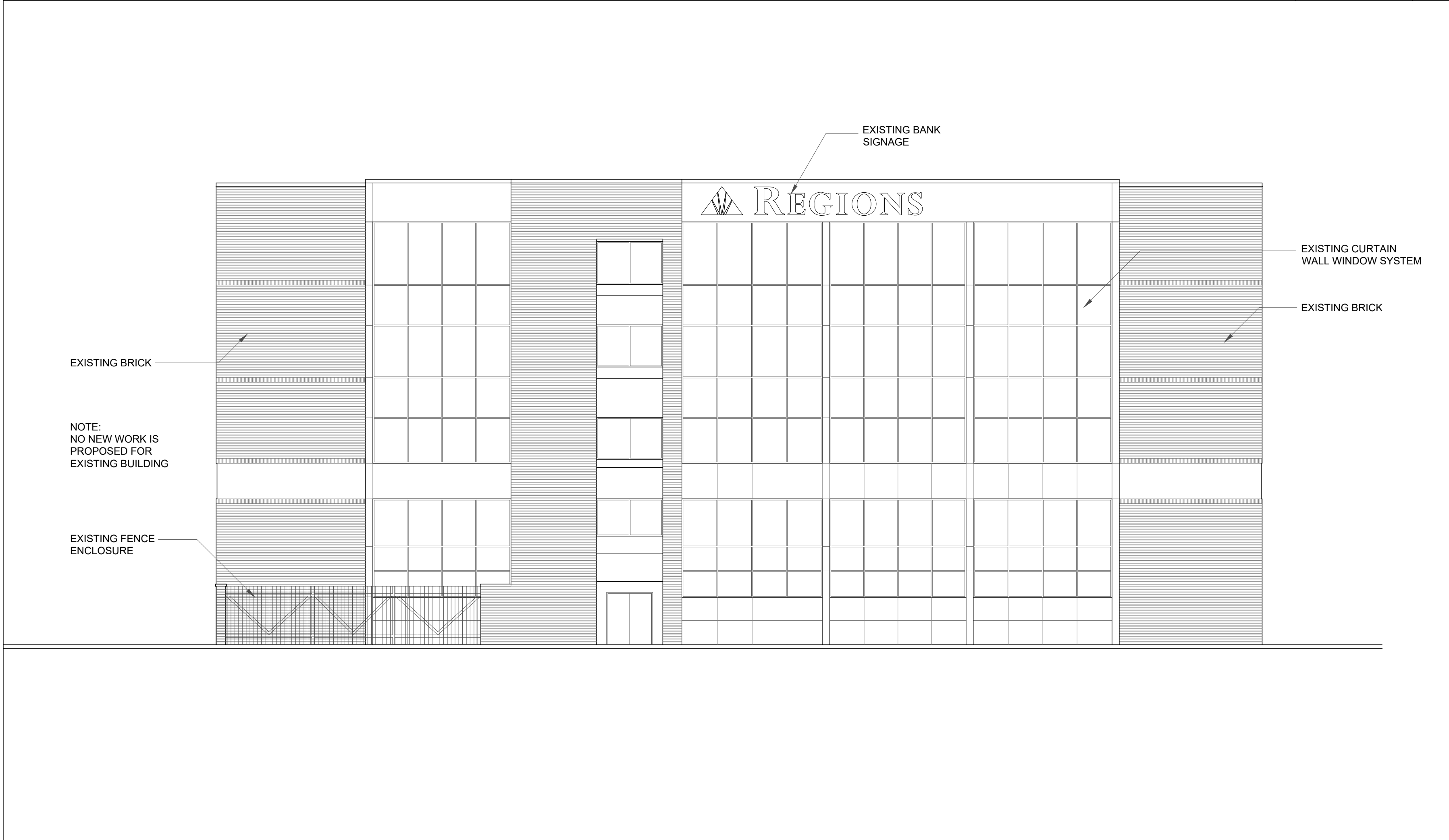
SOUTH ELEVATION

SCALE	1
3/32" = 1'-0"	



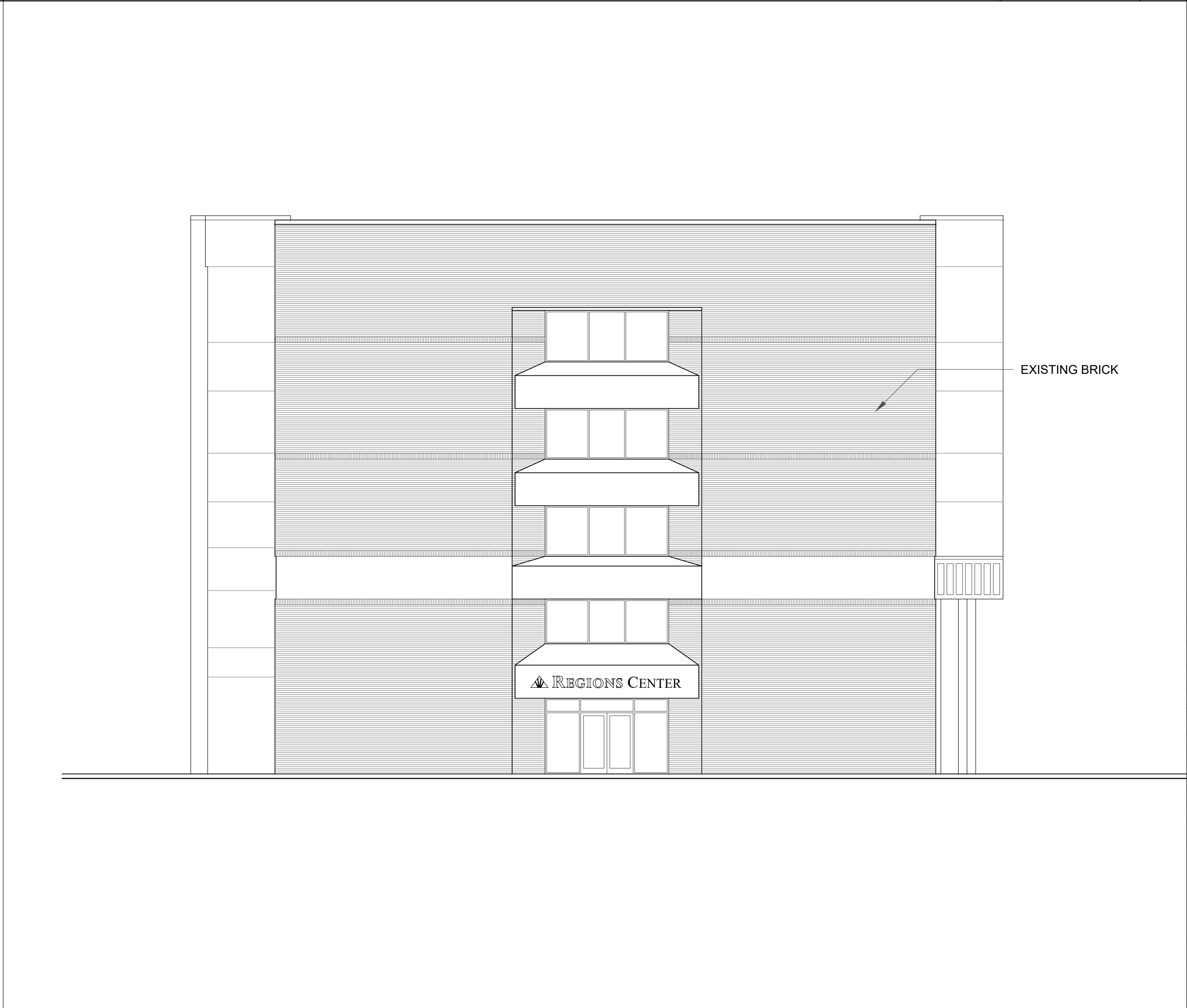
EAST ELEVATION

SCALE	2
3/32" = 1'-0"	



NORTH ELEVATION

SCALE	3
3/32" = 1'-0"	



WEST ELEVATION

SCALE	4
3/32" = 1'-0"	

bdg

architects

2100 1st Ave. N. Ste. 100
Birmingham, AL 35203

P: 205 - 252-8222
F: 205 - 252 - 8899
W: www.bdgllp.com

REGIONS

REGIONS FINANCIAL CORPORATION
PENSACOLA MAIN
PROPOSED GENERATOR LOCATION
70 NORTH BAYLEN STREET
PENSACOLA, FLORIDA 26223

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, HOODED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUBMITTER AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANS. THE PLANS SHALL NOT BE SCALED OR ADJUSTED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, SHALL BE THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, IN ANY MANNER OTHER THAN BY BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION. PRIOR TO COMMENCING WITH THE WORK, THE SUBMITTER TO CORRECT DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ALL WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

SEAL

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK

JOB #

203252

DATE:

05-22-2021

DRAWN BY:

DMH

CHECKED BY:

JTM

SHEET TITLE

EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A-005

140



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00519

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

400 BLK Cevallos Street
Pensacola Historic District / Zone HC-1
Conceptual Aesthetic Review for New Construction

BACKGROUND:

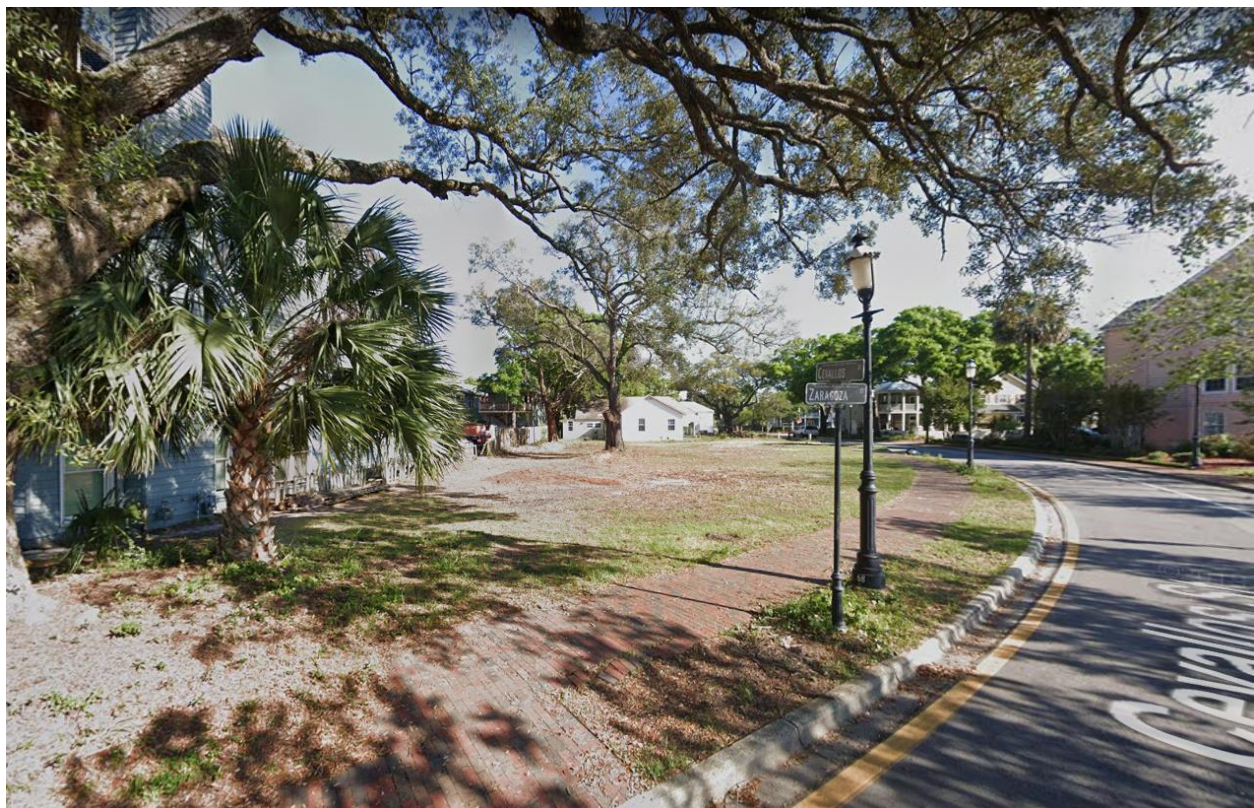
Brian Spencer, SMP Architecture, is requesting conceptual review for a new two-family residential structure. This project received conceptual approval in September 2017 as well as a variance which increased the allowed height from 35 feet to 42.5 feet. The current plans show design modifications and minor site changes to the approved 2017 plans. However, the building itself remains a three-level duplex with garages and a guest suite (not an accessory dwelling unit) on the ground floor. The 2017 plans and meeting minutes have been attached to the back of the packet.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(1)h. *Pensacola Historic District, New construction*
Sec. 12-3-10(1)d.2.ii.(b) *PHD, Decisions*
Sec. 12-3-10(1)d.6. *PHD, Decisions, Conceptual review*
Sec. 12-3-10(1)(e) *PHD, Regulations and guidelines for any development*

400 BLK Cevallos Street





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date



Examples of Existing Three Story Structures



Site Location:
Vacant Lot, HC-1





^ View of Site (South)



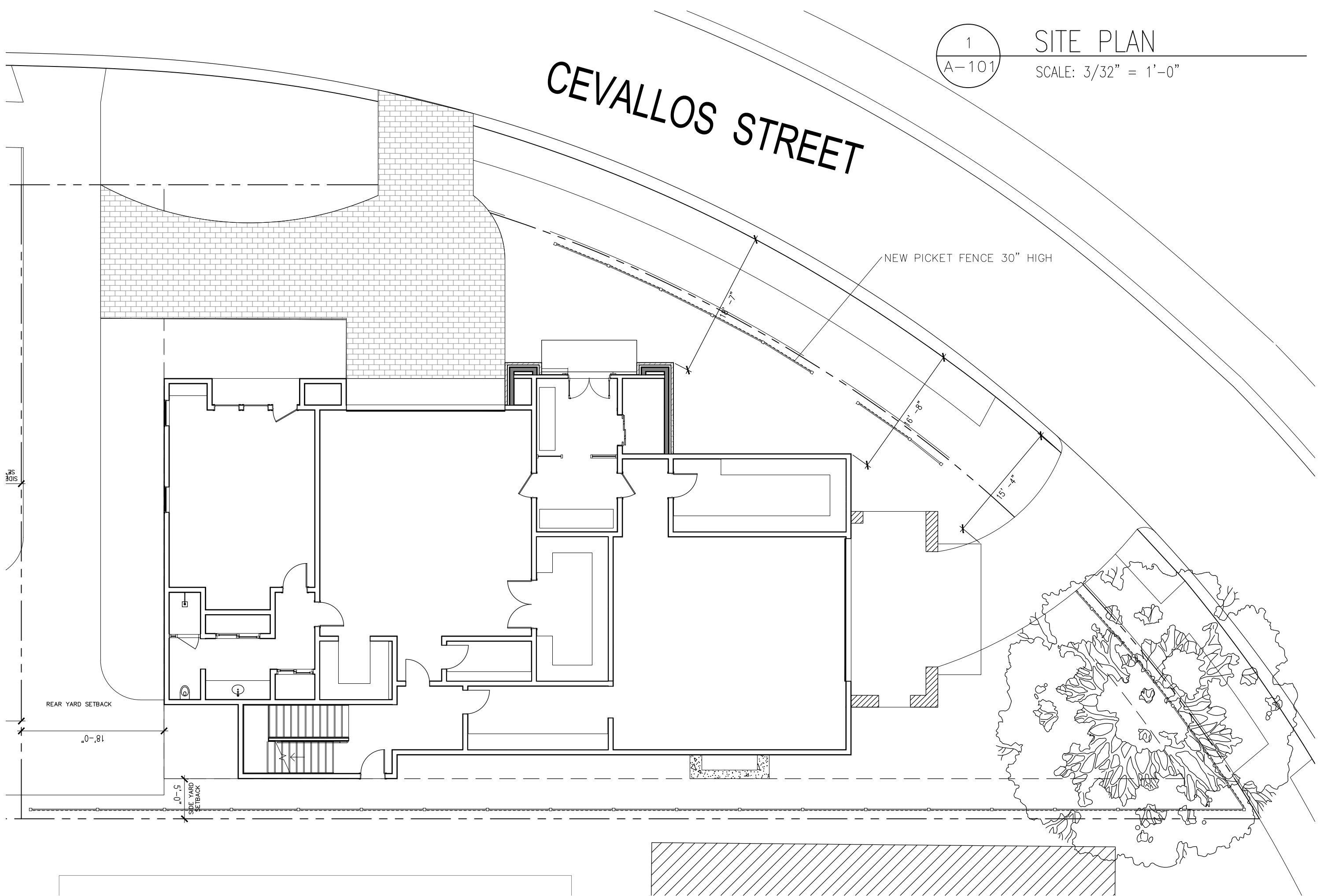
^ View of Site (West)

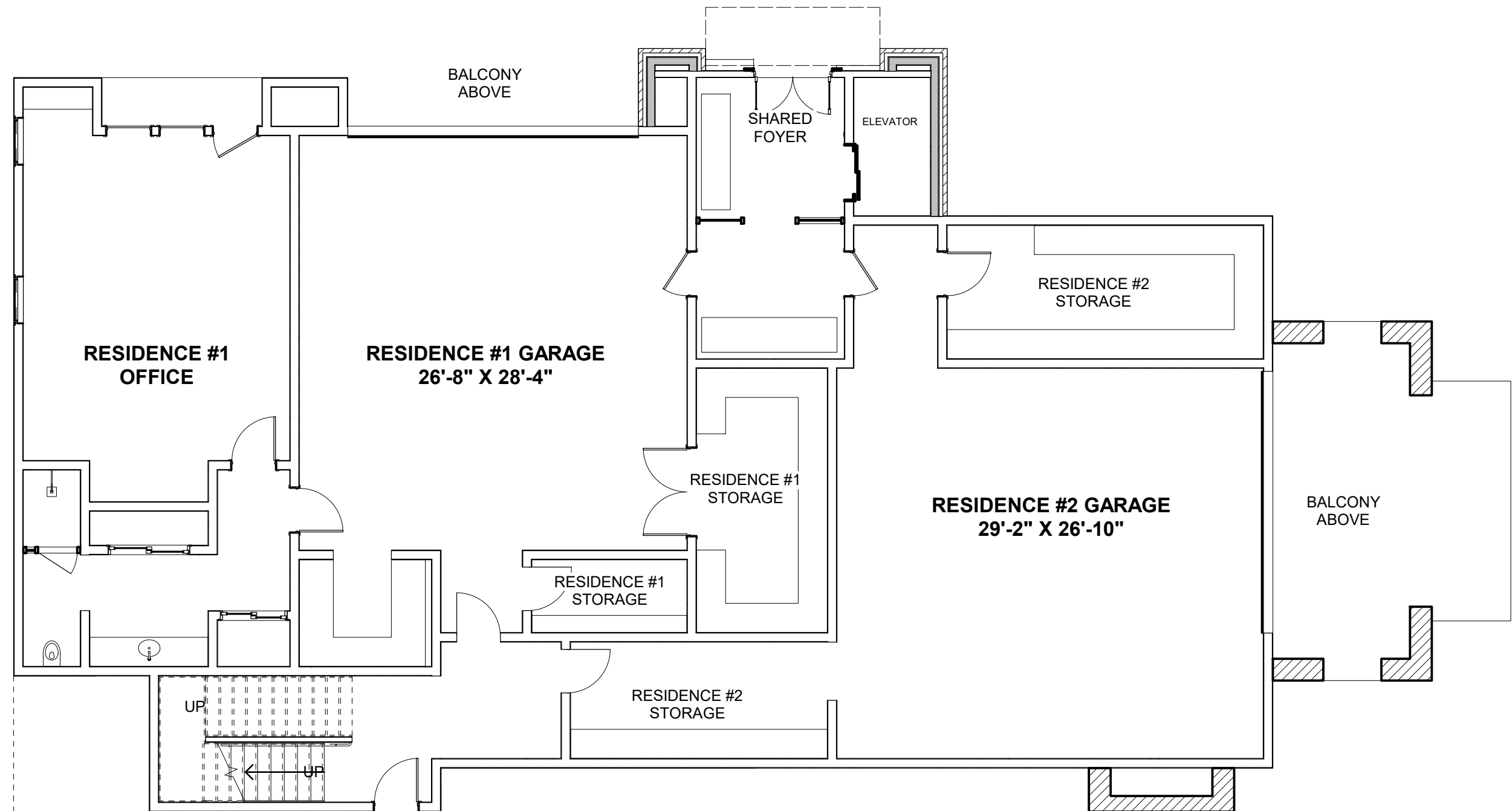


^ Adjacent Property (East)

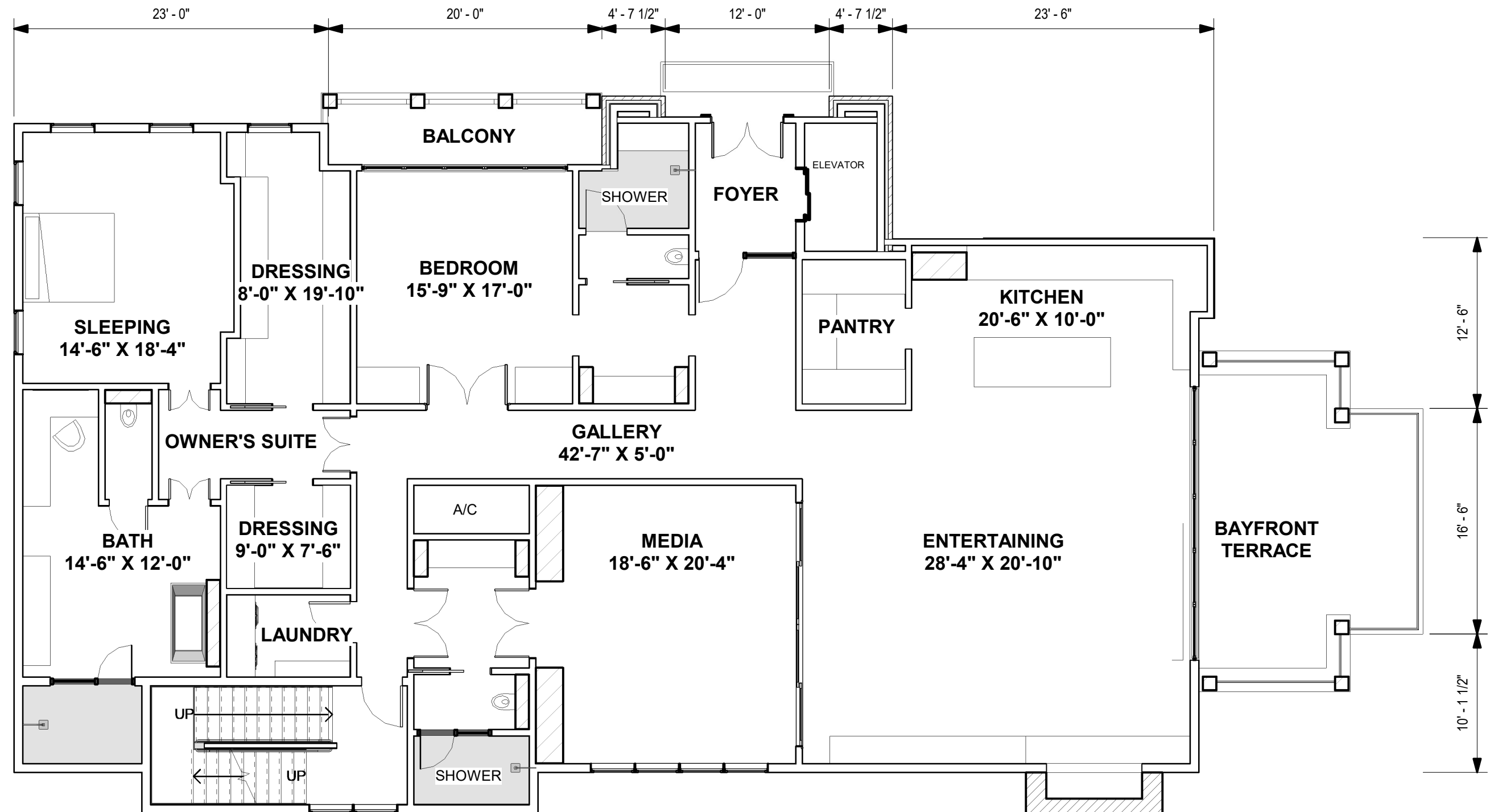


View of Site (North)





① GARAGE LEVEL
1/8" = 1'-0"



① RESIDENTIAL LEVEL 1
1/8" = 1'-0"

ROOF BEARING
35' - 0"

RESIDENTIAL LEVEL 2
23' - 0"

RESIDENTIAL LEVEL 1
10' - 4"

GARAGE LEVEL
0' - 0"



① EAST ELEVATION (001)
1/8" = 1'-0"



① SOUTH ELEVATION (002)
1/8" = 1'-0"



ROOF BEARING
35' - 0"

RESIDENTIAL LEVEL 2
23' - 0"

RESIDENTIAL LEVEL 1
10' - 4"

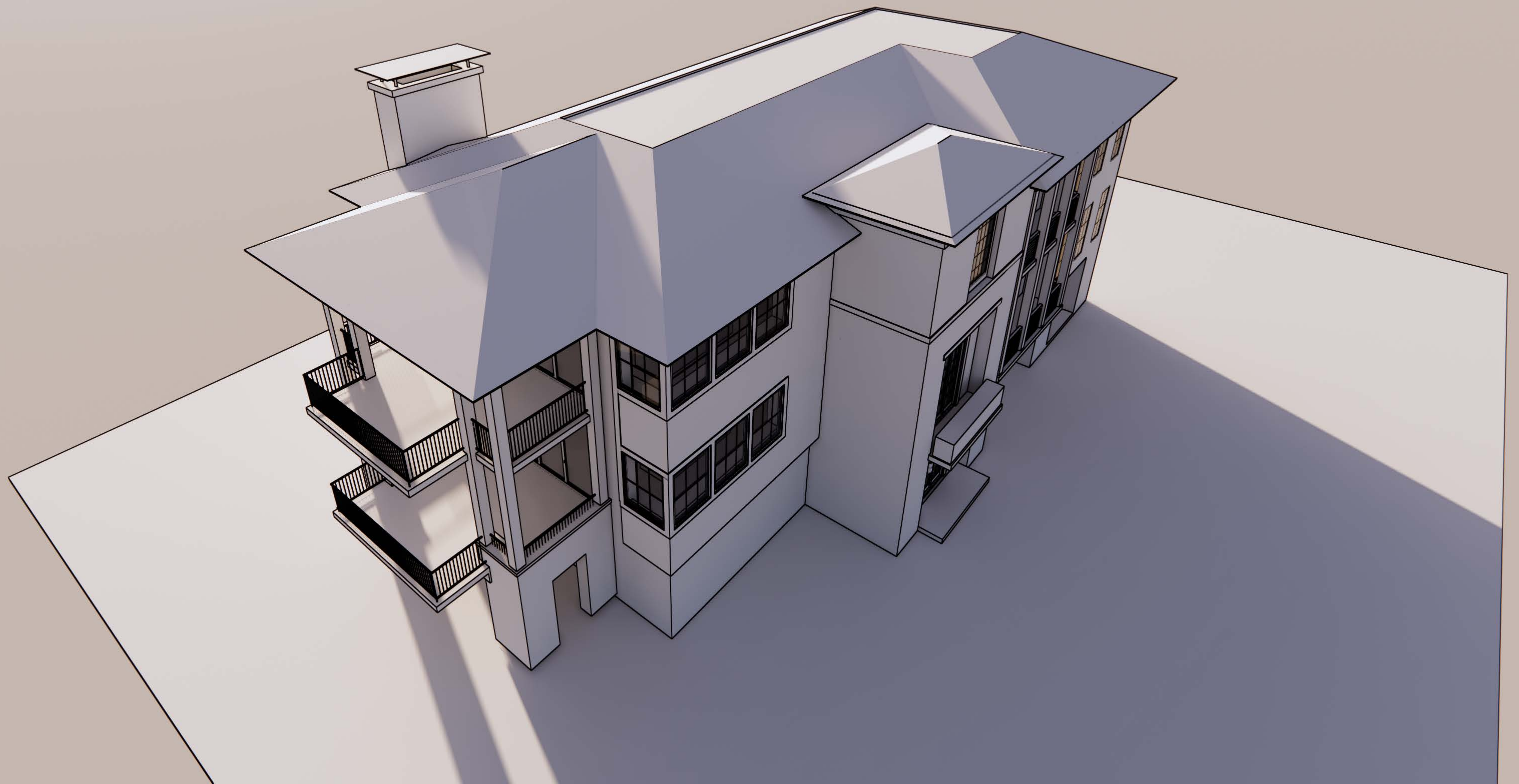
① WEST ELEVATION (003)
1/8" = 1'-0"



① NORTH ELEVATION (004)
1/8" = 1'-0"









City of
Pensacola
*America's First Settlement
And Most Historic City*

Architectural Review Board Application
~~Full Board Review~~

**CONCEPTUAL
REVIEW**

Application Date: August 31, 2017

Project Address: 400 Block Cevallos

Applicant: 200 Office Complex, LLC, Brian Spencer

Applicant's Address: 260 S. Tarragona St., Suite 240-D, Pensacola, FL 32502

Email: brian@smp-arch.com **Phone:** 850-712-2612

Property Owner: Buyer: 200 Office Complex, LLC; Owner: Williams Theckla Elizabeth White

(If different from Applicant)

District: PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☒ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Parcel Zoning: HC-1

Residential (2 attached residences + studio/guest suite); 3-story

Exterior: HardiePlank + HardiePanel Siding

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature] 8/31/17
Applicant Signature Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502

40 S Alcaniz Street (HC-1)



Examples of Existing Three Story Structures



612 & 624 E Romana (GRD-1)



534 E Zarragossa (HC-1)



520 E Zarragossa (HC-1)



Site Location:
Vacant Lot, HC-1



601 Crown Cove (SSD)



^ View of Site (South)



^ View of Site (West)



^ Adjacent Property (East)



^ View of Site (North)

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

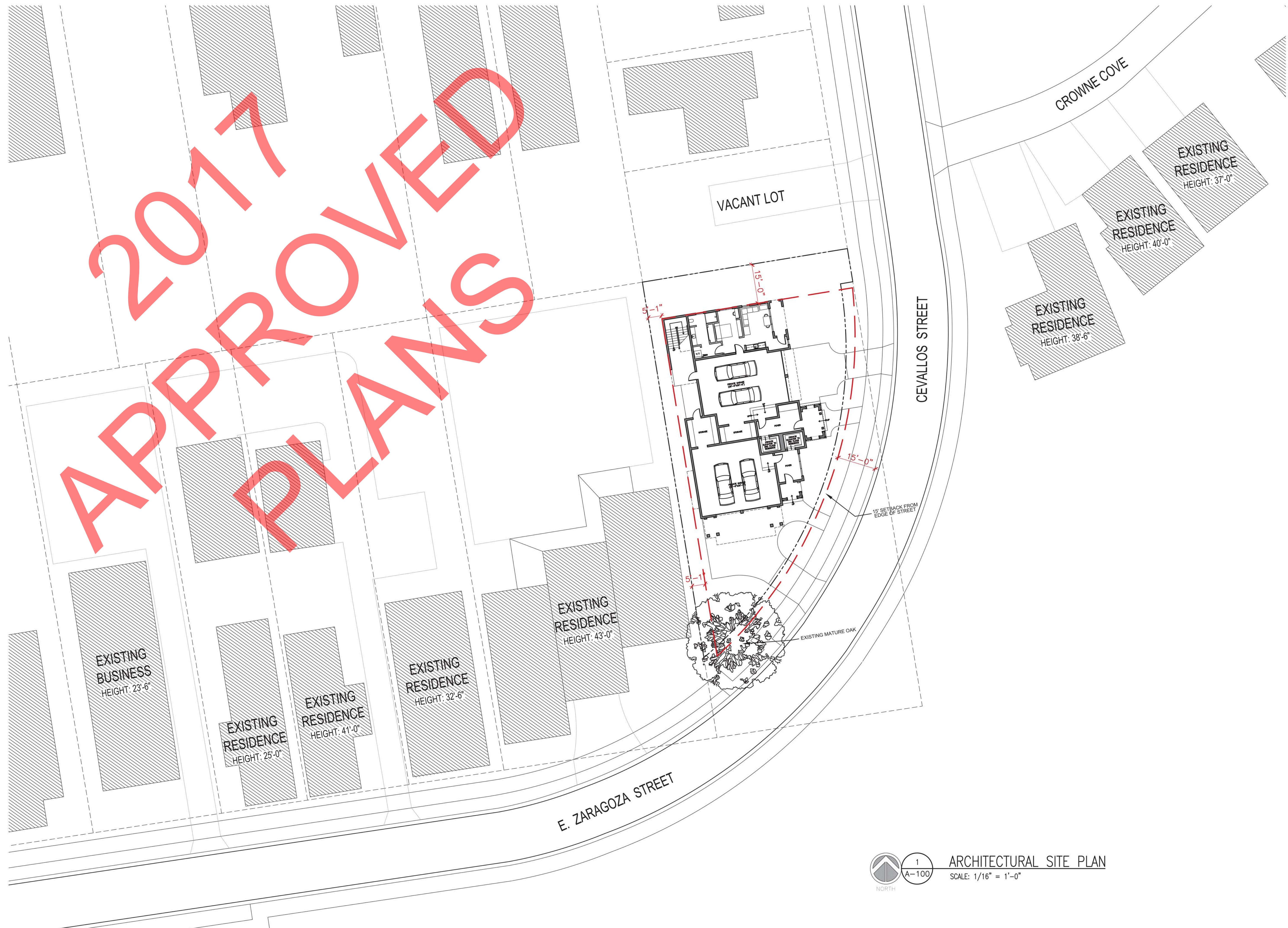
SHEET TITLE :

SITE PLAN

SHEET NO. :

A-100

©2017 SMP ARCHITECTURE



Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

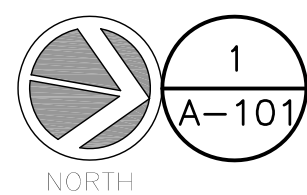
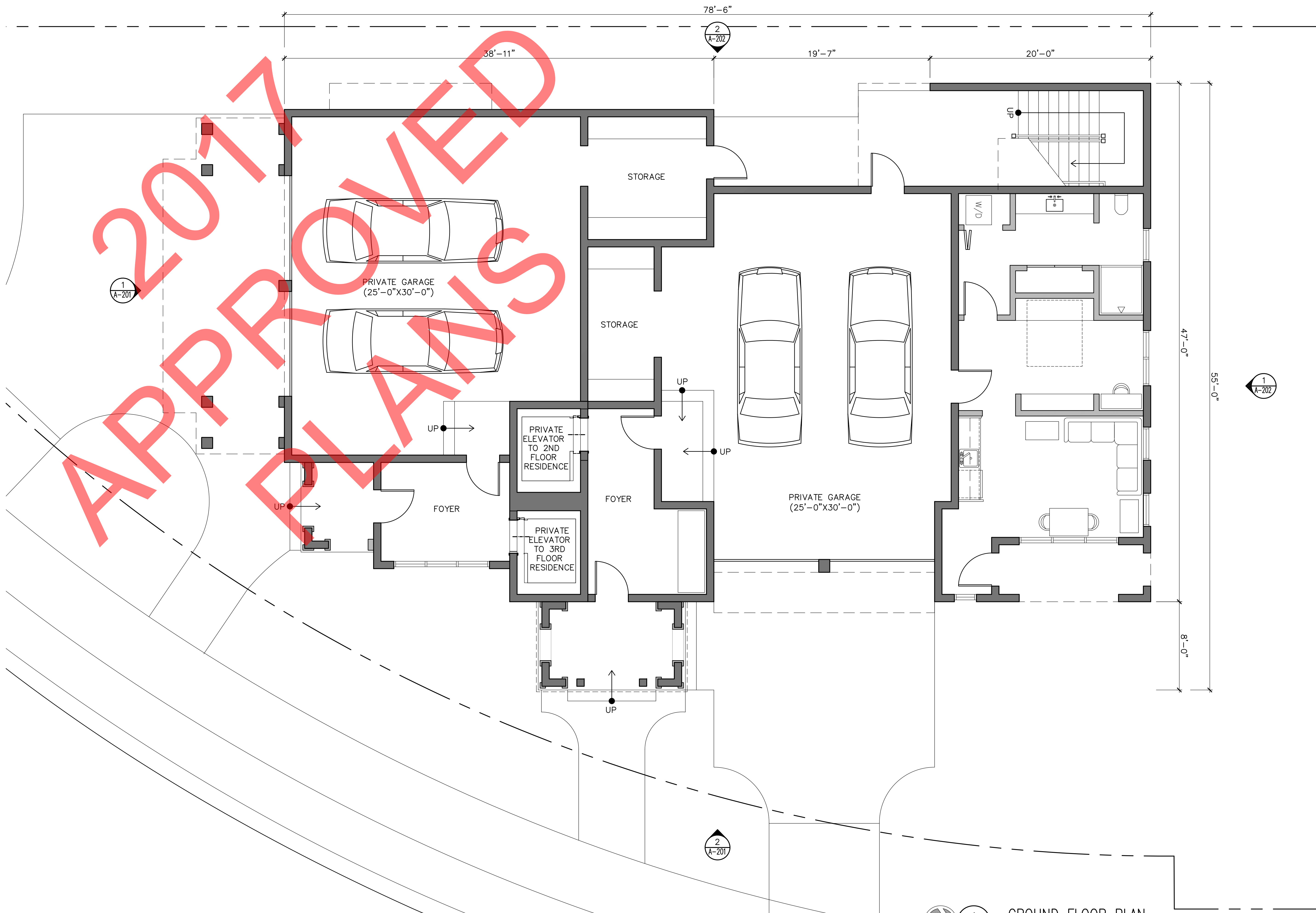
SHEET TITLE :

GROUND FLOOR
PLAN

SHEET NO. :

A-101

©2017 SMP ARCHITECTURE



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

SECOND
FLOOR PLAN

SHEET NO. :

A-102

©2017 SMP ARCHITECTURE

2
A-202

89'-6"

11'-0"

4'-1"

14'-9"

33'-9"

6'-0"

20'-0"

2'-5"

32'-0"

BAYFRONT
BALCONY

ENTERTAINING
(32'-0"x20'-0")

KITCHEN

PANTRY

BEDROOM, STUDY
OR FITNESS
(16'-0"x12'-0")

SHOWER

AC

UP

DOWN

SHOWER

TUB

HIS

MASTER
BATH

MASTER BEDROOM
(17'-8" x 13'-6")

HERS

BEDROOM, STUDY
OR FITNESS
(14'-2"x15'-0")

4'-1"

4'-0"

12'-4"

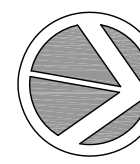
18'-6"

20'-0"

19'-7"

78'-6"

2
A-201



1
A-102

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

THIRD
FLOOR PLAN

SHEET NO. :

A-103

2
A-202

89'-6"

11'-0"

4'-1"

14'-9"

33'-9"

6'-0"

20'-0"

2'-5"

32'-0"

47'-0"

BAYFRONT
BALCONY

ENTERTAINING
(32'-0"x20'-0")

KITCHEN

PANTRY

BEDROOM, STUDY
OR FITNESS
(16'-0"x12'-0")

SHOWER

AC

DOWN

SHOWER

MASTER
BATH

TUB

HIS

MASTER BEDROOM
(17'-8" x 13'-6")

HERS

BEDROOM, STUDY
OR FITNESS
(14'-2"x15'-0")

4'-1"

4'-0"

12'-4"

18'-6"

20'-0"

19'-7"

78'-6"

47'-0"

1
A-202

2
A-201



1
A-103

THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

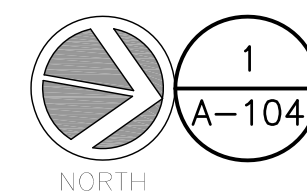
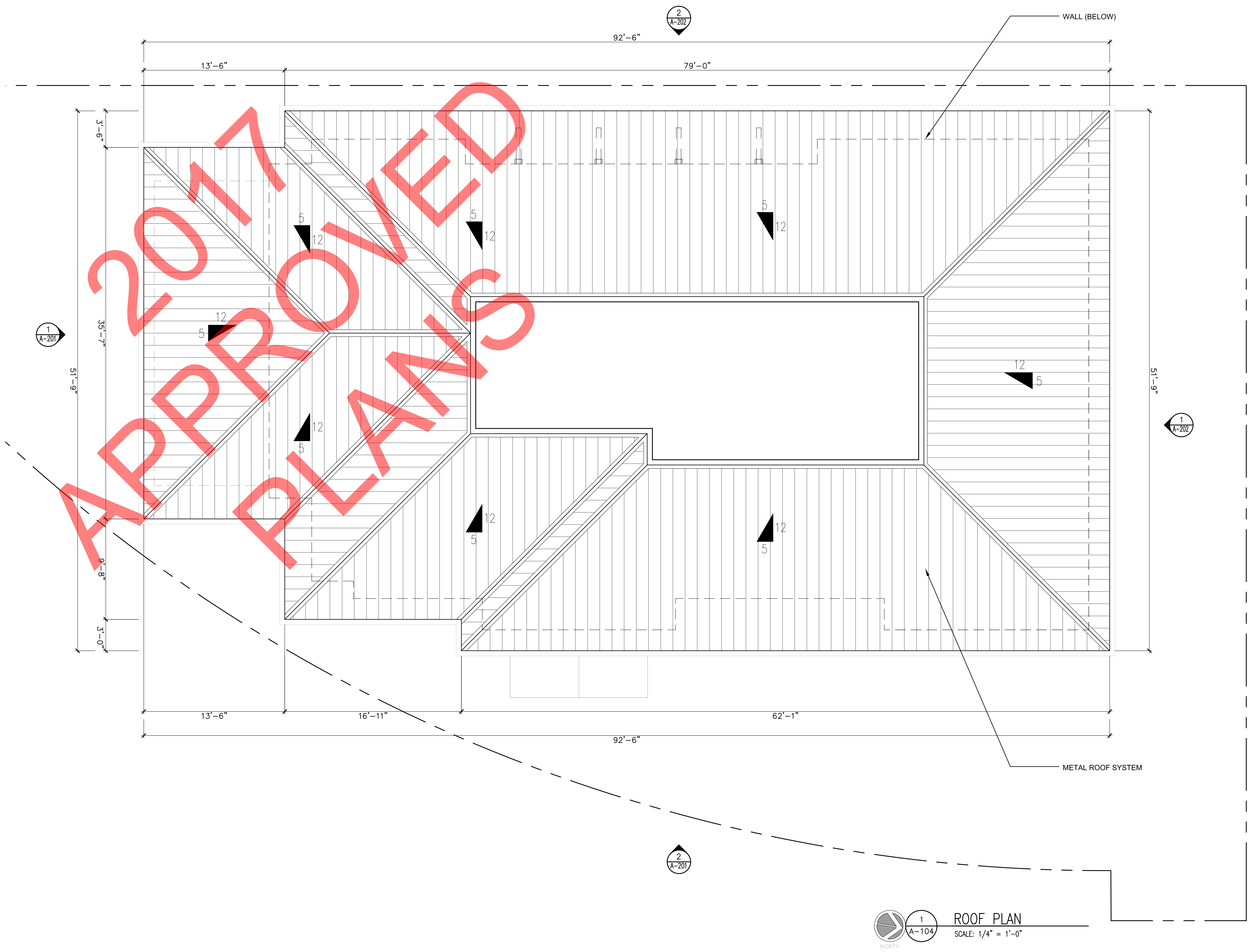
SHEET TITLE :

ROOF PLAN

SHEET NO. :

A-104

©2017 SMP ARCHITECTURE



ROOF PLAN
SCALE: 1/4" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

EXTERIOR
ELEVATIONS

SHEET NO. :

A-201

©2017 SMP ARCHITECTURE

42'-6"
TOP OF ROOF

34'-6"
TRUSS BEARING

23'-0"
FINISHED FLOOR

11'-6"
FINISHED FLOOR

1'-0"
FINISHED GRADE

METAL ROOF SYSTEM

CLAD WOOD WINDOW

CLAD ENTRY DOORS

BOARD AND BATTEN SIDING

HARDIE LAP SIDING

WOOD RAILINGS

HARDIE TRIM OVER WOOD
COLUMNS

CLAD ENTRY DOORS

BRICK ENTRY

1
A-201

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

42'-6"
TOP OF ROOF

34'-6"
TRUSS BEARING

23'-0"
FINISHED FLOOR

11'-6"
FINISHED FLOOR

1'-0"
FINISHED GRADE

METAL ROOF SYSTEM

CLAD WOOD WINDOW

BOARD AND BATTEN SIDING

COMPOSITE SHUTTERS

HARDIE LAP SIDING

WOODEN LOUVER RAILINGS

HARDIE TRIM OVER WOOD
COLUMNS

CLAD ENTRY DOORS

BRICK ENTRY

2
A-201

EAST ELEVATION

SCALE: 1/4" = 1'-0"

Listen. Interpret. Translate.

CERTIFICATION :

400 Cevallos
Block

400 Cevallos
Pensacola, Florida

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RSK

CHECKED BY : BKS

PROJECT NO. 1000

DATE : 8/31/17

SHEET TITLE :

EXTERIOR
ELEVATIONS

SHEET NO. :

A-202

©2017 SMP ARCHITECTURE

42'-6"
TOP OF ROOF

34'-6"
TRUSS BEARING

23'-0"
FINISHED FLOOR

11'-6"
FINISHED FLOOR

1'-0"
FINISHED GRADE

METAL ROOF SYSTEM

CLAD WOOD WINDOW

HARDIE HORIZONTAL SIDING

COMPOSITE SHUTTERS

1 NORTH ELEVATION
A-202 SCALE: 1/4" = 1'-0"

42'-6"
TOP OF ROOF

34'-6"
TRUSS BEARING

23'-0"
FINISHED FLOOR

11'-6"
FINISHED FLOOR

1'-0"
FINISHED GRADE

METAL ROOF SYSTEM

CLAD WOOD WINDOW

HARDIE LAP SIDING

WOOD RAILINGS

WOOD COLUMN & BRACKET
SUPPORTS

BOARD AND BATTEN SIDING

2 WEST ELEVATION
A-202 SCALE: 1/4" = 1'-0"



Mr. Liberis addressed the Board stating the closing date is next Friday (September 29), and it was contingent on the approval of the ARB; when he filed for an extension, it was denied, and requested the Board consider the motion Ms. Campbell offered. He stated they would always return to the Board for final approval. He explained he had a loan in place for acquisition, demolition and construction. Ms. Campbell retracted her motion. Ms. Deese clarified the applicant would not be able to pull permits until final approval was granted.

Mr. Mead made a motion to approve the plan with the following changes: an addition of a south facing gable for the Cervantes façade on the western most and central building ends facing Cervantes (townhouse 9 & 18); approval of the fence with brick piers and appropriate stone caps with block or brick with some manner of planting to green the wall with ivy or appropriate vines. Ms. Campbell seconded the motion. Chairman Quina asked if the block was skim coated, and Mr. Mead clarified it would be skim coated. Mr. Jones asked about the brick pavers, and Mr. Liberis stated the actual sidewalks would be concrete, the steps and porch floor of the first floor would be brick veneer, but there could be a brick edge between the sidewalk and the front step. Also, the driveways between the units would be asphalt. Chairman Quina thanked the applicant for being transparent with the neighborhood and having a preliminary review. **The motion then carried unanimously.**

Item 8

400 BLK Cevallos St

PHD

Variance

HC-1 / Wood Cottages

Action taken: Approved

Brian Spencer, smp architecture, is requesting a Variance to increase the maximum height for a two-residence flat condo from 35 feet to 42.5 feet. The proposed residential development will be three habitable floors with garages and an in-law suite on the ground floor and the upper two floors consisting of residential flats. The Variance will accommodate the additional level of living space. It was determined that three letters of support were provided to the Board.

Mr. Spencer stated the site abuts the Crown Cove SSD development. His desire was to bring more residential occupancy into the downtown area. He explained each of the future residents of this development have separate garages and entrances, with no shared foyers or entrances, and a Cevallos and Zarragossa address. He advised he was consolidating the living space and reducing the driveway connections, and it meets Streetscape II guidelines. Chairman Quina clarified if the applicant was asking for a flat roof, the variance would not be required. Mr. Spencer stated he was working to preserve the heritage oak tree on Zarragossa, and by pushing the structure back, the root system would not be in harm's way. He pointed out the adjacent structure has the same height. Chairman Quina explained the variance allowed the sloped roof, giving the structure more of the character of the district. Mr. Mead stated by having it pushed back further on the lot, it recedes and would not dominate the streetscape. Mr. Jones noted it would not block the view from any neighbors. Chairman Quina noted there were four garage doors facing the front, but this project has disguised that feature. Mr. Spencer pointed to the site plan with one set of garage doors facing Zarragossa and the other facing Cevallos, and he had made sure to minimize the visual impact.

Mr. Elebash lives adjacent to the proposed development on the second floor of the east side and closest to the structure. He liked that it was a small footprint, the parking was contained, and his view would be unobstructed. The height variance was not an issue. He also stated other residents are supporting the development which fits the neighborhood.

Mr. McGhee who lives at Crown Cove, was delighted something was being constructed on this lot, but was concerned about the existing trees, specifically one live oak which appeared to be removed for the structure. Ms. Deese explained that Mr. Weeks would be responsible for enforcing the Code, and this was not a part of the ARB purview.

Chairman Quina clarified one tree was a water oak with two live oaks. Ms. Deese confirmed this issue would be addressed during permitting. Mr. McGhee advised he was in favor of the project conceptually but was concerned about the trees.

Mr. Ray stated no one wanted the heritage tree removed, and that there was plenty of room between the trees to build a beautiful project. He was also going to file with the Circuit Court regarding this issue. Chairman Quina advised the Board had also granted another project where a heritage tree would be removed. Ms. Deese clarified that the ARB was not the enforcer of the tree ordinance.

Mr. Guilday, who lives around the corner from the proposed project, stated he has no objections to the project even though it will block his view of the bay. He did have a complaint on how the petition was obtained. He explained Mr. Ray was opposed because it would reduce the value of his property.

Chairman Quina stated the Board was certainly sensitive to the tree removal. Mr. Spencer provided examples of trees existing in Pensacola's earlier years. He advised he had purchased the most urban developed oak to be placed on Tarragona next to the new YMCA streetscape (around \$10,000) and offered to plant a tree on Mr. McGhee's property.

Mr. Jones made a motion to approve, seconded by Mr. Mead. Chairman Quina advised that Mr. Weeks would make the decision on the heritage oak and apply the ordinance. Ms. Deese advised Mr. McGhee should speak to Mr. Weeks for further information on the procedure. **The motion then carried unanimously.**

Item 9

400 BLK Cevallos St

PHD

New Construction

HC-1 / Wood Cottages

Action taken: Conceptual approval.

Brian Spencer, smp architecture, is seeking conceptual approval for a two-residence flat condo.

Mr. Townes stated Mr. Spencer had done a magnificent job of screening the garages and integrating them into the design. He also stated these were two complete elevations and very well-articulated as opposed to the previous project on Cervantes Street.

Mr. Townes made a motion to approve, seconded by Ms. Campbell. Mr. Jones referred to page A2.02 and thanked Mr. Spencer for placing windows on the side of the building. **The motion then carried unanimously.** Mr. Spencer thanked the Board for the positive feedback.

Item 10

19 W. Garden St

PHBD

Variance

C-2A

Action taken: Approved with comments.

Polly Tally, Mitchell Signs, Inc., is requesting a Variance to allow attached wall signage on three (3) elevations in lieu of the one (1) elevation permitted. The Ordinance permits the location to have a maximum of 200 square feet of attached wall signage on one elevation. Section 12-4-4 (A) limits the number of accessory signs per street frontage; this property is limited to street frontage on W. Garden Street only. The applicant would like to request additional wall signage for two other elevations (south and west). The total amount of proposed signage exceeds the maximum 200 sf allowed; however, it is less than 10% of the building's street front elevation.

Mr. Switzer advised they wanted to create two fronts with a new parking layout, with the north elevation being the main entrance on Garden Street, and the south elevation being a parking lot on the Romana Street side. The building was renamed Trustmark-Fisher Brown Building. Chairman Quina explained the code allowed for a Garden Street sign but not a west facing sign. Mr. Switzer advised if the building was on the corner, they would be allowed two signs, and considering they have created a back entrance, it was a similar situation. Chairman Quina pointed out the south elevation would be a primary entrance where signage should be allowed, and the one on the side could be a mural.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00506

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

200 S. Alcaniz Street
Pensacola Historic District / Zone HC-1
Variance for an Increase to Allowed Signage Size at a Contributing Structure

BACKGROUND:

William Brantley, SMP Architecture, is seeking a variance to the requirements of Section 12-3-10(1) e.4.i.b of the City of Pensacola Land Development Code. The variance request is to increase the maximum allowed signage size from 12 square feet to 46.7 square feet on the front of the building to accommodate painted signage (considered attached).

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(1)d.2.ii.(a) *Pensacola Historic District, Decisions*
Sec. 12-3-10(1)e.4.i.b.(1) *PHD, Signs*
Sec. 12-11-2(a)(2)a. *Appeals and Variances, Variances, Authorization*
Sec. 12-12-3(5)b.1. *ARB, Conditions for granting variances, Two (2) additional criteria*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. 8E6968
Site Name _____ 830 = = Survey Date 8204 820 = =
Address of Site: 200 S. Alcaniz St. Pensacola, Fl. 32501 905 = =
Instruction for locating on SE corner of S. Alcaniz St. and E. Intendencia St.
Location: Old City Tract 18 part. 111, 112 813 = =
subdivision name block no. lot no. 868 = =
County: Escambia 808 = =
Owner of Site: Name: Shams, Solomon and Sylvia ;
Address: 2331 E. Lakeview Ave.
Pensacola, Fl. 32503 902 = =
Type of Ownership Private 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Gantzhorn, Alan ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
838 = =
Check One Check One or More
☐ Excellent 863 = = ☒ Altered 858 = =
☒ Good 863 = = ☐ Unaltered 858 = =
☐ Fair 863 = = ☒ Original Site 858 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) () 858 = =
☐ Moved () (Date:) () 858 = =
Present Use Commercial 850 = =
Dates: Beginning +1914 844 = =
Culture/Phase American 840 = =
Period 20th century 845 = =

NR Classification Category: Building 916 = =
Threats to Site:

Check One or More
☐ Zoning () () 878 = = ☐ Transportation () () 878 = =
☐ Development () () 878 = = ☐ Fill () () 878 = =
☐ Deterioration () () 878 = = ☐ Dredge () () 878 = =
☐ Borrowing () () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture 910 = =

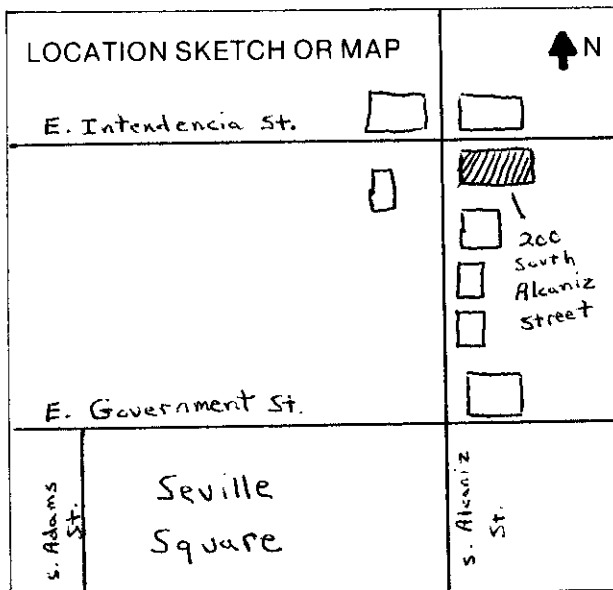
Significance:

Built in about 1914, this masonry vernacular structure was raised on the site of an earlier wood frame grocery. The building served as J.T.Lind's "staple and fancy grocery" until 1943. The building is typical of simple commercial buildings constructed during the period.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Rectangle 966 = =
 EXTERIOR FABRIC(S) Brick; common bond 854 = =
 STRUCTURAL SYSTEM(S) masonry 856 = =
 PORCHES None
 942 = =
 FOUNDATION: Brick; continuous 942 = =
 ROOF TYPE: Flat; built-up 942 = =
 SECONDARY ROOF STRUCTURE(S): - 942 = =
 CHIMNEY LOCATION: NE corner interior 942 = =
 WINDOW TYPE: SHS; 6 light, 8 light, multi-light; wood 942 = =
 CHIMNEY: metal 882 = =
 ROOF SURFACING: Built-up 882 = =
 ORNAMENT EXTERIOR: Brick corbels on W wall roof line 882 = =
 NO. OF CHIMNEYS 1 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 Min Pensacola 1970
 809 = =
 Latitude and Longitude:
 " " " " " " 800 = =
 Site Size (Approx. Acreage of Property): LT 1 833 = =



Township	Range	Section
2 S	30 W	46

812 = =

UTM Coordinates:

890 = =

Zone Easting Northing

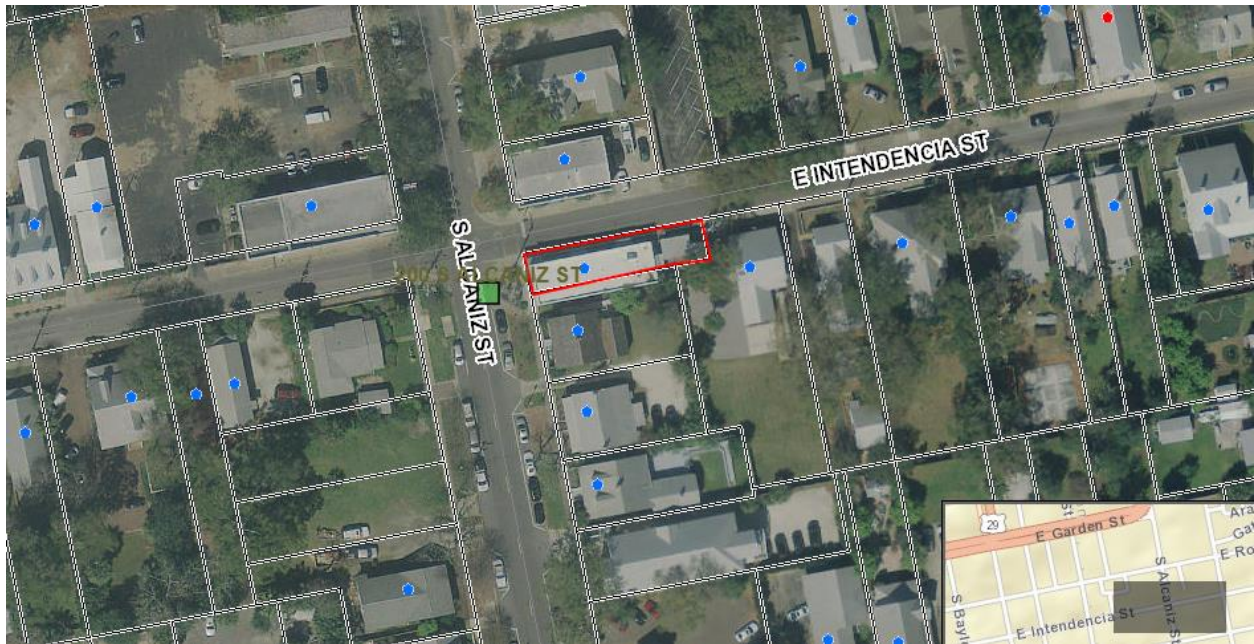
Photographic Records Numbers hppb P.82.9 Frame 2 860 = =

Contact Print





200 S. Alcaniz Street



- ☐ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color.
Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) 12-3-10(1)e.4.i.(b) **Zoning** HC-1

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 200 S Alcaniz St, Pensacola FL 32503

Current use of property: Restaurant

1. Describe the requested variance(s): The building has a brick inset originally intended to be painted with building signage. Please refer to the attached historical photos. We would like to restore signage similar to the original building signage design. To proportionally fill the historic building's inset signage area our design had to exceed the maximum 12 SF signage area.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The brick under the cornice is inset and was originally designed to provide a space for painted signage.

Referencing historical photos, we are creating signage consistent and proportional with the original building design.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

The signage is necessary to identify the restaurant. The brick inset in the historic building was intended to accommodate larger signage. A smaller 12 SF sign in this area looks awkward, and does not fit proportionately. Design and construction costs to resize the brick inset to accommodate a smaller sign would be cost prohibitive. Changing the brick inset sign is also inconsistent with the intention of our Historic District. A larger sign to fit within the inset area is necessary to be consistent with the intention of our Historic District.

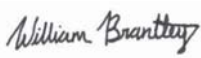

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The proposed signage is consistent with the buildings original design and historic photos. It improves the authenticity of our Historic District.

5. Explain what other condition(s) may justify the proposed variance(s):

In addition to being historically accurate, we believe the signage will be vital to the restaurant's success, and critical to the longevity of a neighborhood restaurant at this location.

Application Date: 05/27/20021

Applicant:	William Brantley, SMP Architecture	
Applicant's Address:	205 E Intendencia Street Pensacola, FL 32502	
Email:	william@smp-arch.com	Phone: 850-982-9042
Applicant's Signature:		
Property Owner:	Johnny Fisher, Juan's Flying Burrito	
Property Owner's Address:	2018 Magazine Street New Orleans, LA 70130	
Email:	johnnyfish63@gmail.com	Phone: 251-752-4644
Property Owner's Signature:		

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Per Sec. 12-12-2(A)(2), in order to authorize any variance from the Land Development Code the Board must find:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

The historic brick “corner store” building is unique to the surrounding wood cottages. An integral part of our historic district, it has served as a grocery store, drug store, a coffee shop, and a neighborhood restaurant. The building has a brick inset originally intended to be painted with building signage. Aesthetically, the sign needs to be larger than the allowed 12 SF to proportionally fill the brick inset area. Please refer to the attached historic photos. To be authentic and historically accurate, our design uses a font size similar to the original signage.

2. That the special condition and circumstances do not result from the actions of the applicant;

The brick inset for signage is an existing condition of the historic building.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district;

Approving the variance, does not grant any special privilege. Granting the variance is necessary to preserve the integrity and authenticity of our historic district.

4. That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardship on the applicant;

The signage is necessary to identify the restaurant. The brick inset in the historic building was intended to accommodate larger signage. A smaller 12 SF sign in this area looks awkward, and does not fit proportionately. Modifying the brick inset area to accommodate a smaller sign would be cost prohibitive, and doing so would be inconsistent with the intention of our historic district.

It is the goal of the historic district to preserve and restore buildings to ensure the perpetuation of their historical character. Referencing historical photos, we are creating signage consistent and proportional with the original building design. This variance is necessary to allow us to restore signage consistent with the original building design.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;

Yes, we are simply asking to paint the brick building’s inset signage area to be historically accurate and authentic.

6. That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;

Granting the variance improves the authenticity of the historic district. We believe the signage will be vital to the restaurant's success and critical to the longevity of a neighborhood restaurant at this location. A successful restaurant will be a valued amenity for the neighborhood.

7. That the variance will not constitute any change in the districts shown on the zoning map, will not impair an adequate supply of light and air to adjacent property, will not increase the congestion of public streets, or increase the danger of fire, will not diminish or impair established property values within the surrounding area, and will not otherwise impair the public health, safety, and general welfare of the city.

Granting the variance will have a positive impact on the neighborhood. It will improve the authenticity of the historic district. It will also help ensure the success of a neighborhood amenity at this location.

Additional Criteria per Sec. 12-13-3(E)(1):

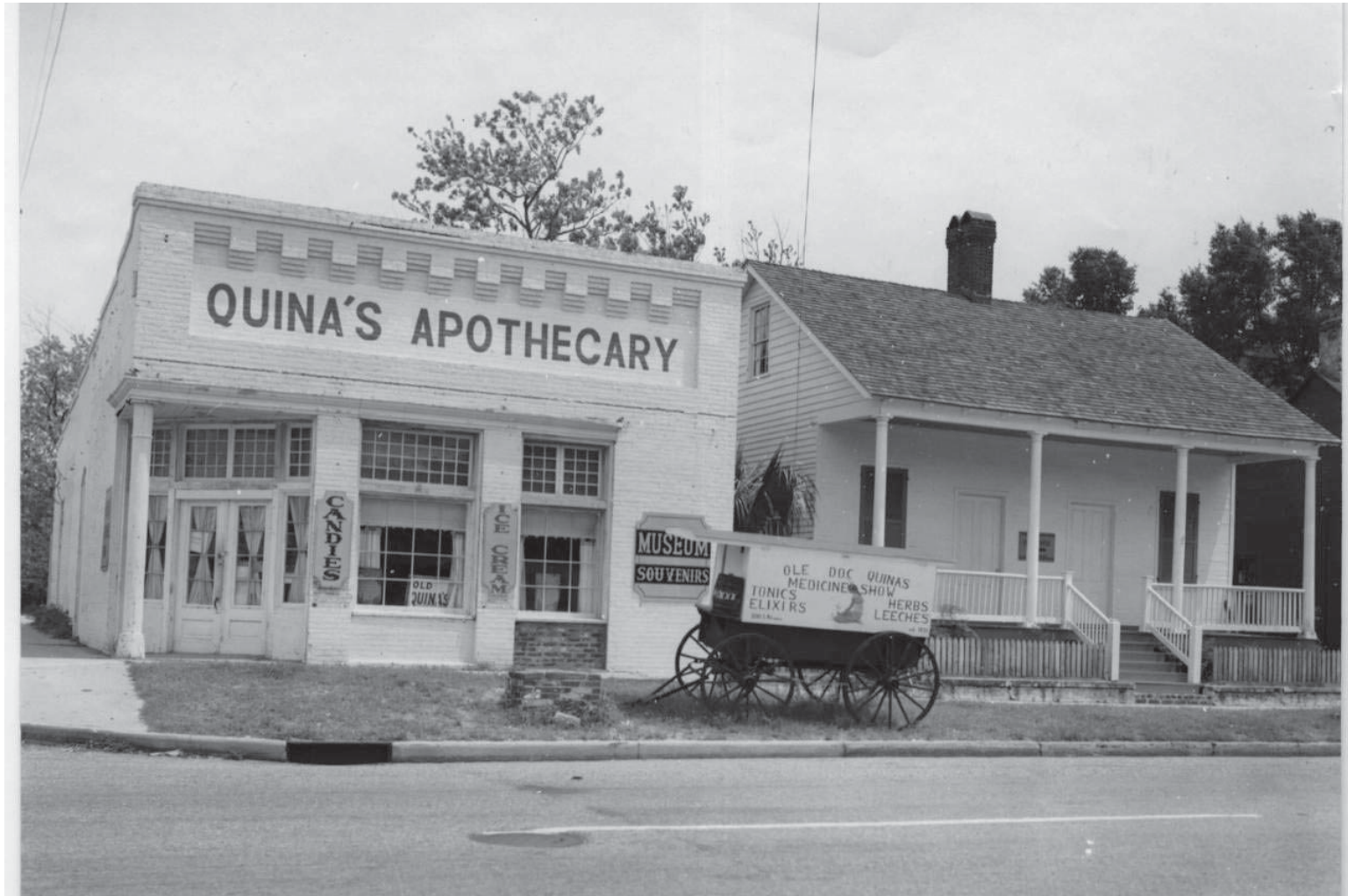
(a) That the Variance granted will not detract from the architectural integrity and/or historical accuracy of the development and its surroundings; and

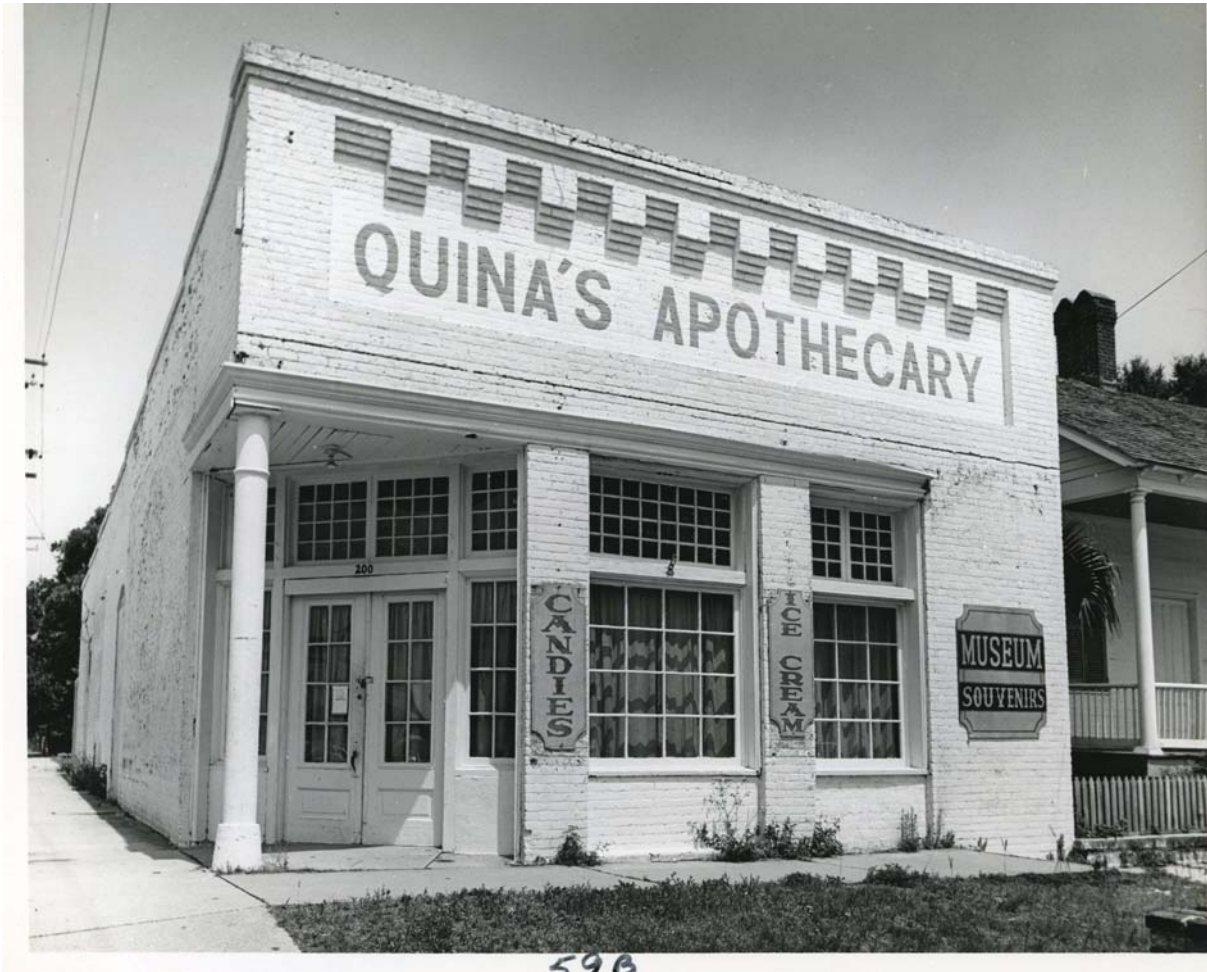
The variance is necessary to be historical accurate and improve the architectural integrity of the building.

(b) That the grant of the Variance will be in harmony with the general intent and purpose of this title and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Granting the variance is in harmony with the intent of the historical district. It will improve the authenticity of our historic district and will help insure the longevity of a neighborhood amenity for both downtown residents and visitors.

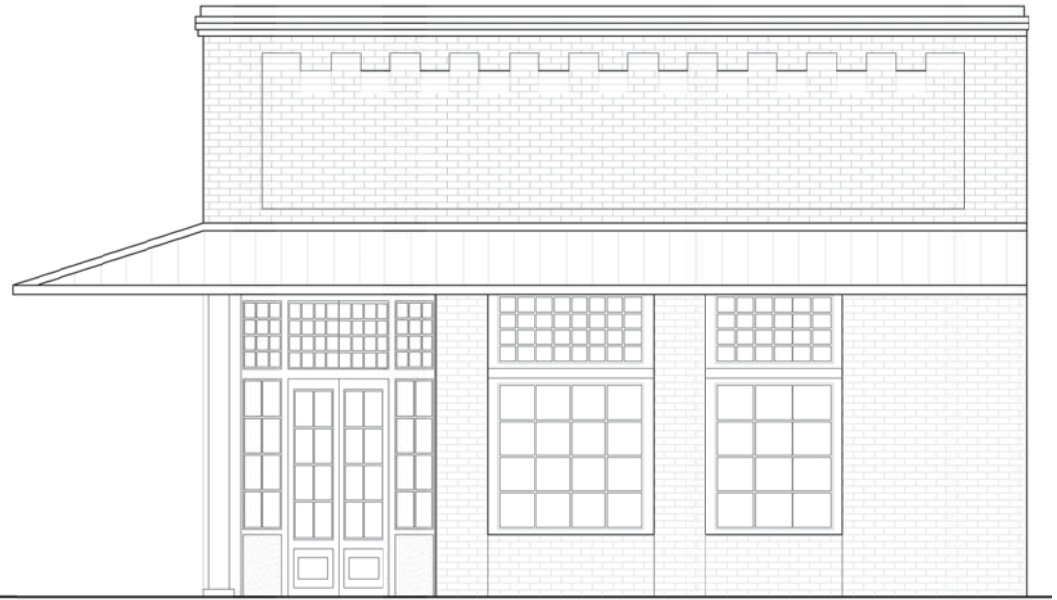








SOUTH ALCANIZ STREET EXISTING PHOTO



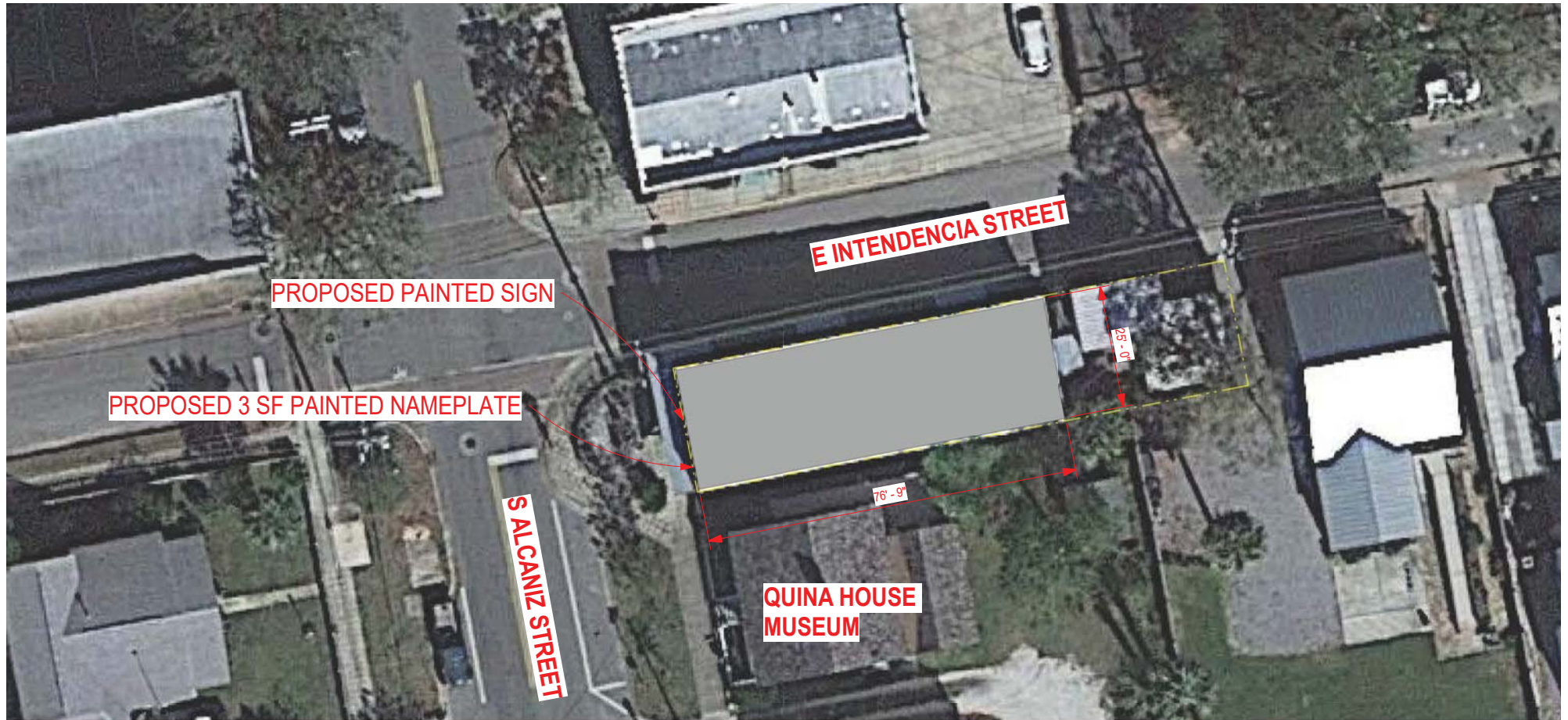
SOUTH ALCANIZ STREET ELEVATION 1/4" = 1' - 0"



EAST INTENDENCIA STREET ELEVATION 3/16" = 1' - 0"



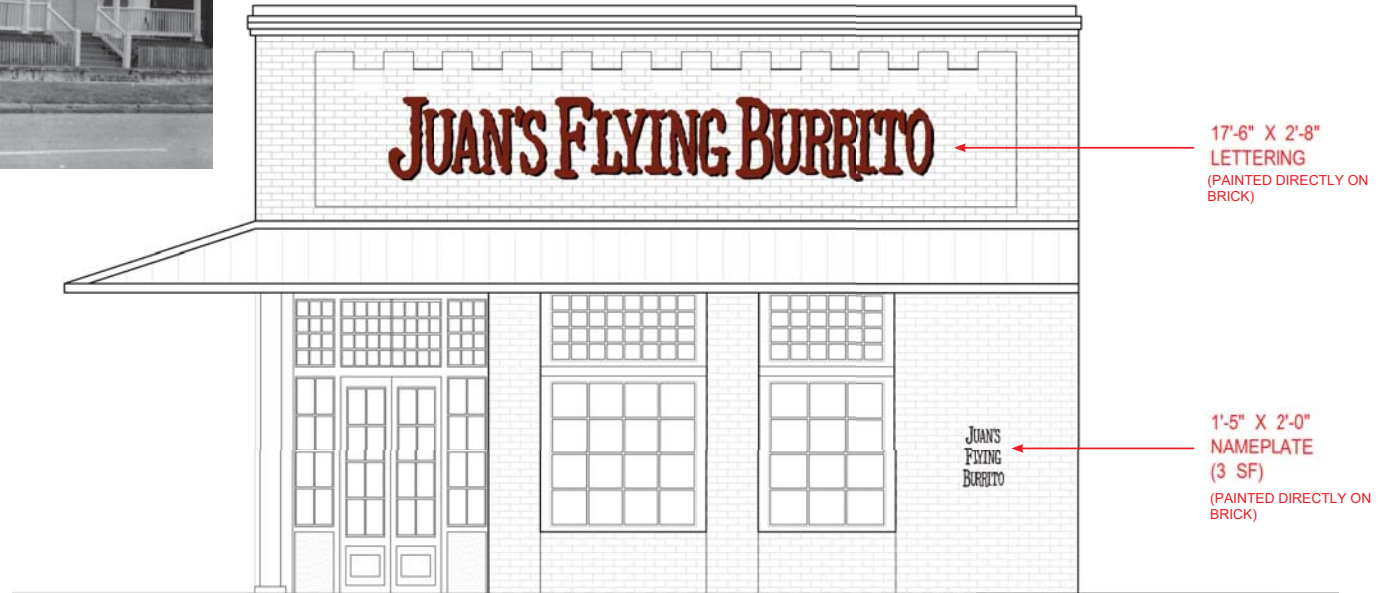
EAST INTENDENCIA STREET EXISTING PHOTO



① Site Plan
1" = 20'-0"

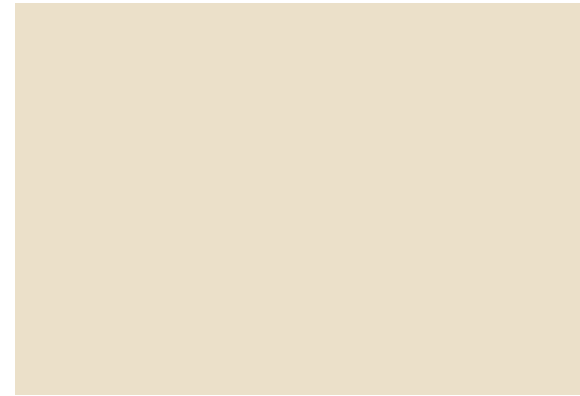








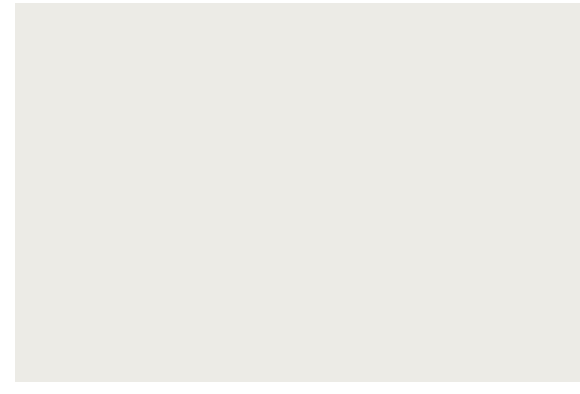
SHERWIN-WILLIAMS - FIRE WEED SW 6328
S. ALCANIZ SIGN LETTERS



SHERWIN-WILLIAMS HISTORIC COLLECTION - CLASSICAL WHITE
SW 2829
EXISTING BUILDING COLOR



SHERWIN-WILLIAMS HISTORIC COLLECTION - TRICORN BLACK
SW 6258
S. ALCANIZ NAMEPLATE AND SIGN LETTER'S SHADOW



SHERWIN-WILLIAMS - PURE WHITE SW 7005
S. ALCANIZ SIGN BACKGROUND



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00511

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

200 S. Alcaniz Street
Pensacola Historic District / Zone HC-1
Signage at a Contributing Structure

BACKGROUND:

William Brantley, SMP Architecture, is seeking approval for attached signage at a new restaurant. The primary signage will be painted on the top portion of the building using colors from Sherwin-Williams historic collection and on a background painted white. The applicant is also requesting approval for a non-illuminated nameplate no larger than three (3) square feet which will also be painted to the wall of the building.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS:

Sec. 12-3-10(1)d.2.ii.(a) *Pensacola Historic District, Decisions*
Sec. 12-3-10(1)e.4.i.b.(1) *PHD, Signs*
Sec. 12-3-10(1)e.4.i.b.(2) *PHD, Nameplates*

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. 8E6968
Site Name _____ 830 = = Survey Date 8204 820 = =
Address of Site: 200 S. Alcaniz St. Pensacola, Fl. 32501 905 = =
Instruction for locating on SE corner of S. Alcaniz St. and E. Intendencia St.
Location: Old City Tract 18 part. 111, 112 813 = =
subdivision name block no. lot no. 868 = =
County: Escambia 808 = =
Owner of Site: Name: Shams, Solomon and Sylvia ;
Address: 2331 E. Lakeview Ave.
Pensacola, Fl. 32503 902 = =
Type of Ownership Private 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Gantzhorn, Alan ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
838 = =
Check One Check One or More
☐ Excellent 863 = = ☒ Altered 858 = =
☒ Good 863 = = ☐ Unaltered 858 = =
☐ Fair 863 = = ☒ Original Site 858 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) () 858 = =
☐ Moved () (Date:) () 858 = =
Present Use Commercial 850 = =
Dates: Beginning +1914 844 = =
Culture/Phase American 840 = =
Period 20th century 845 = =

NR Classification Category: Building 916 = =
Threats to Site:

Check One or More
☐ Zoning () () 878 = = ☐ Transportation () () 878 = =
☐ Development () () 878 = = ☐ Fill () () 878 = =
☐ Deterioration () () 878 = = ☐ Dredge () () 878 = =
☐ Borrowing () () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture 910 = =

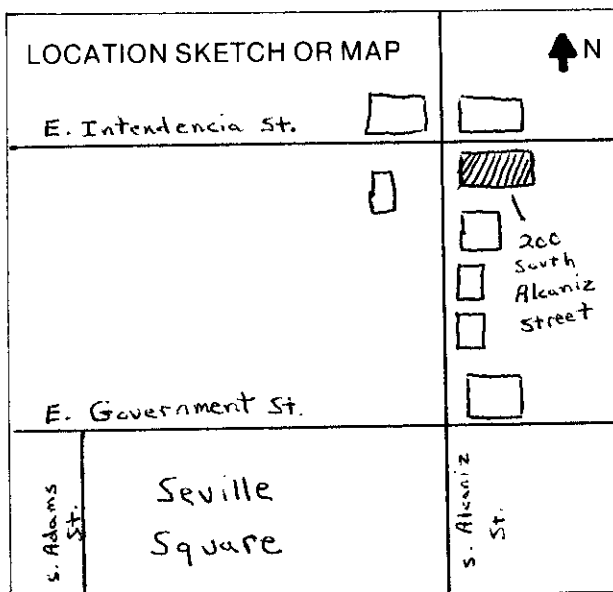
Significance:

Built in about 1914, this masonry vernacular structure was raised on the site of an earlier wood frame grocery. The building served as J.T.Lind's "staple and fancy grocery" until 1943. The building is typical of simple commercial buildings constructed during the period.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Rectangle 966 = =
 EXTERIOR FABRIC(S) Brick; common bond 854 = =
 STRUCTURAL SYSTEM(S) masonry 856 = =
 PORCHES None
 942 = =
 FOUNDATION: Brick; continuous 942 = =
 ROOF TYPE: Flat; built-up 942 = =
 SECONDARY ROOF STRUCTURE(S): - 942 = =
 CHIMNEY LOCATION: NE corner interior 942 = =
 WINDOW TYPE: SHS; 6 light, 8 light, multi-light; wood 942 = =
 CHIMNEY: metal 882 = =
 ROOF SURFACING: Built-up 882 = =
 ORNAMENT EXTERIOR: Brick corbels on W wall roof line 882 = =
 NO. OF CHIMNEYS 1 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 Min Pensacola 1970
 809 = =
 Latitude and Longitude:
 " " " " " " 800 = =
 Site Size (Approx. Acreage of Property): LT 1 833 = =



Township	Range	Section
2 S	30 W	46

812 = =

UTM Coordinates:

890 = =

Zone Easting Northing

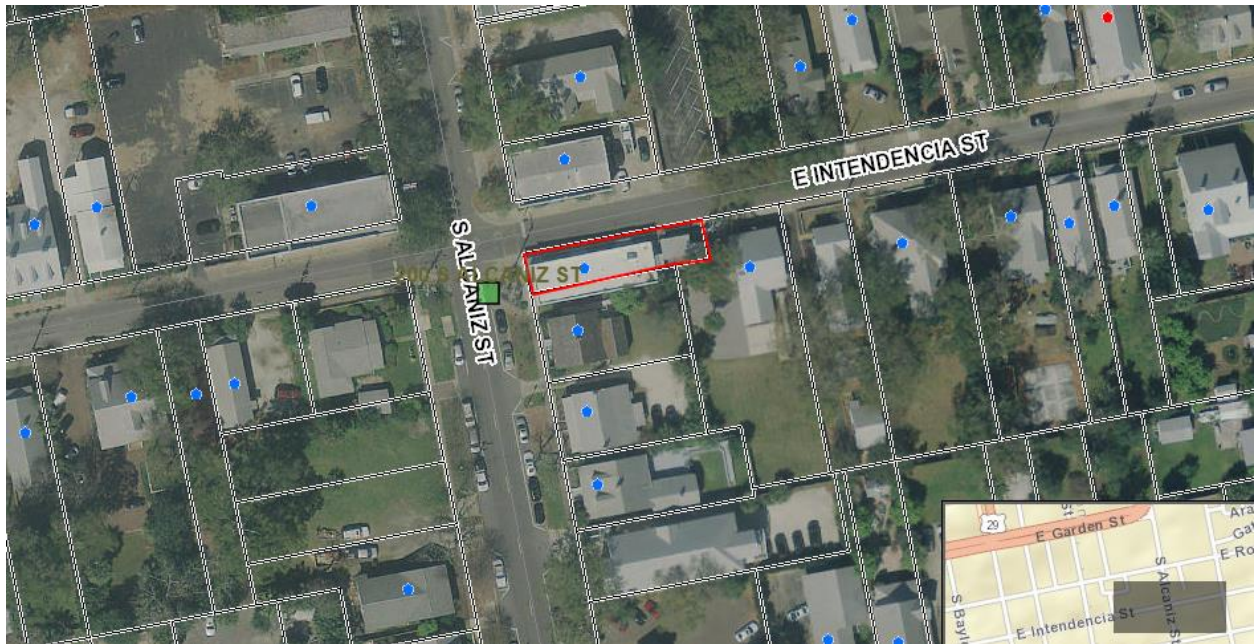
Photographic Records Numbers hppb P.82.9 Frame 2 860 = =

Contact Print





200 S. Alcaniz Street





**Architectural Review Board Application
Full Board Review**

Application Date: 05/27/2021

Project Address: 200 S Alcaniz Street

Applicant: William Brantley, SMP Architecture

Applicant's Address: 205 E Intendencia Street Pensacola, FL

Email: william@smp-arch.com **Phone:** 850-982-9042

Property Owner: Juan's Flying Burrito

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include fourteen (14) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The project proposes painting a sign on the Alcaniz facade of the building. We referenced historic photos, and designed the sign to be similar to the signage on the original building.

We are also proposing one non-illuminated nameplate designating the name of the occupant of the property. The name plate will be painted onto the brick facade at eye level, and will be less than 3 SF.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

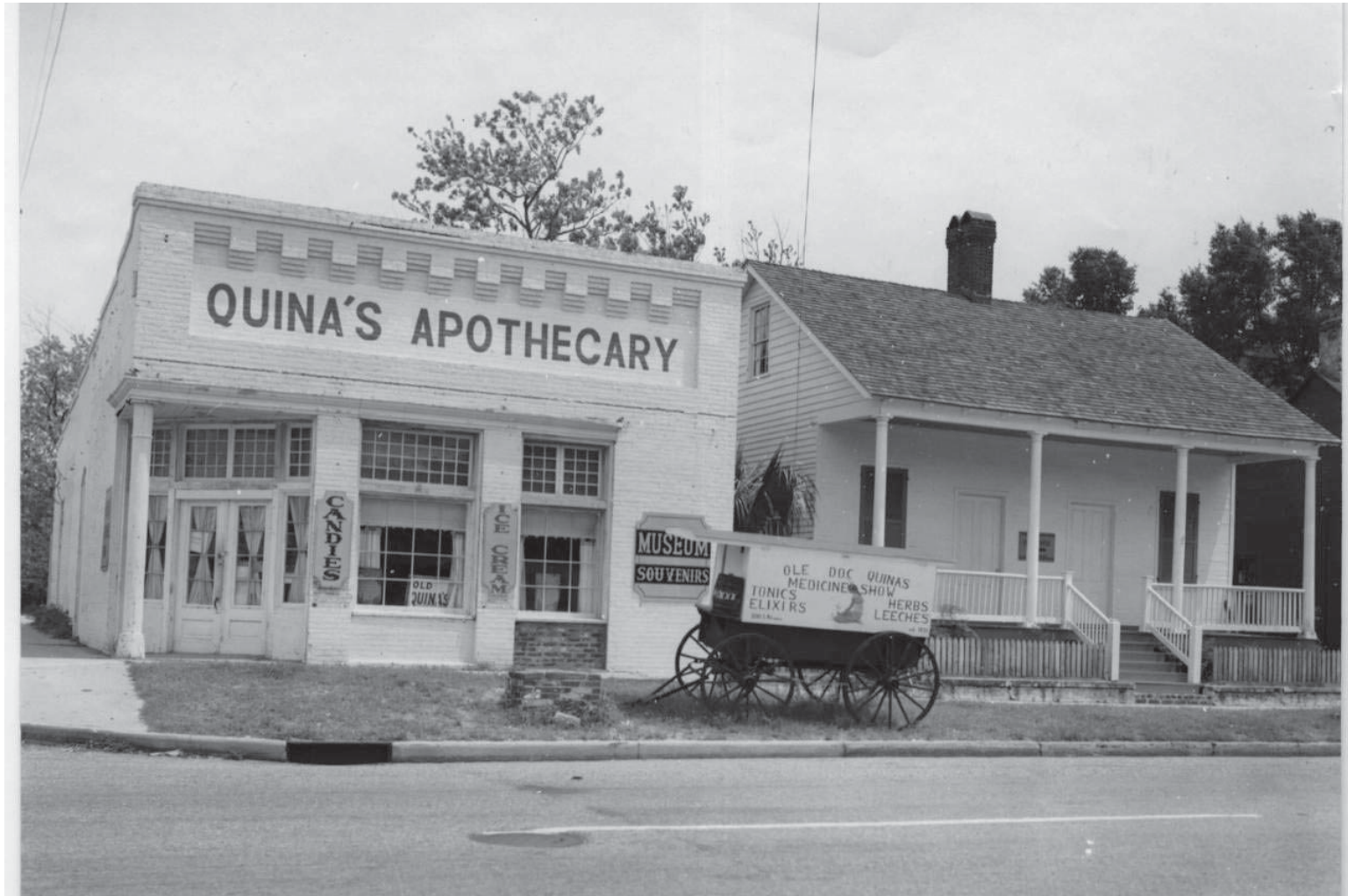
William Brantley

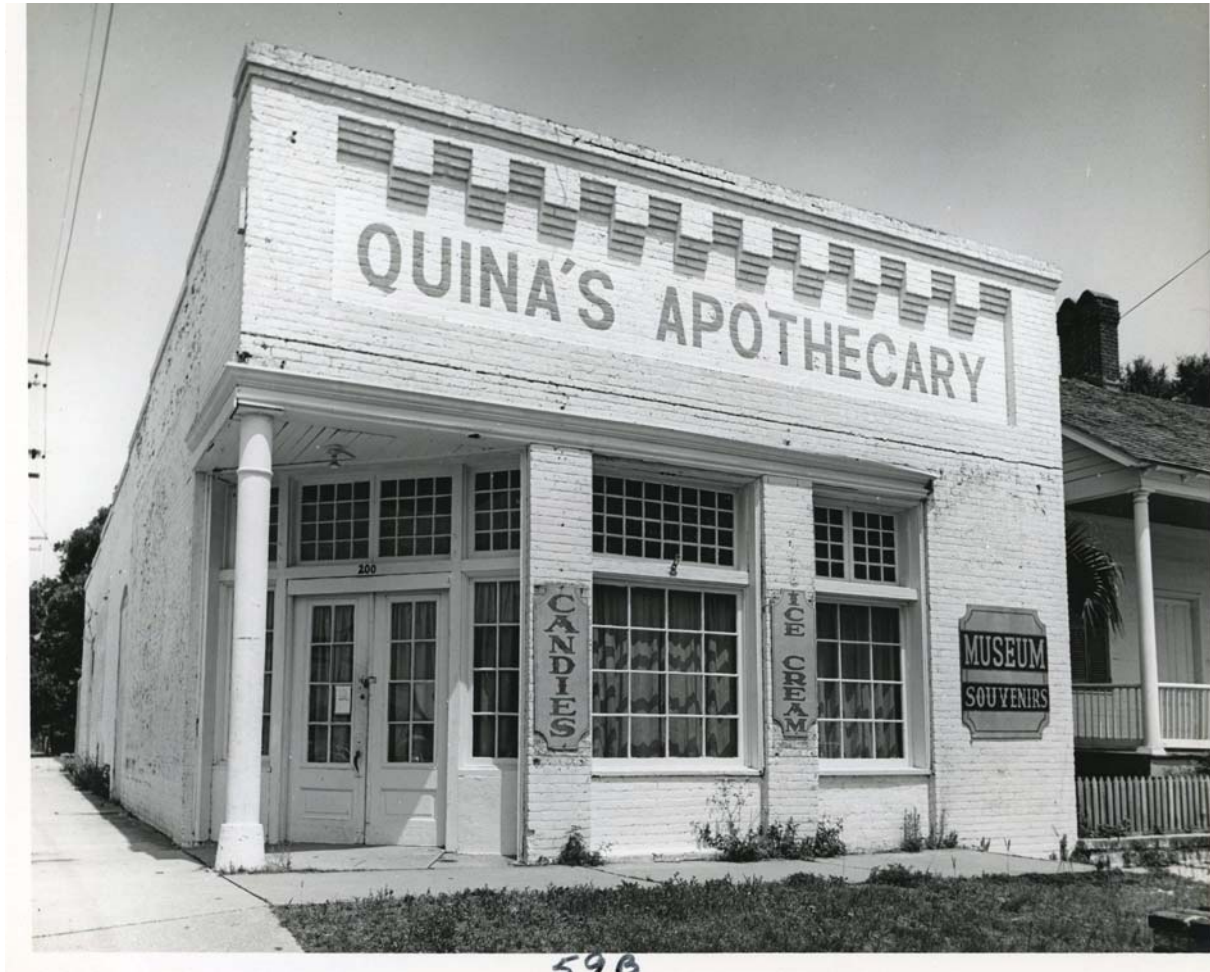
Applicant Signature

05/27/2021

Date









SOUTH ALCANIZ STREET EXISTING PHOTO



SOUTH ALCANIZ STREET ELEVATION 1/4" = 1' - 0"



EAST INTENDENCIA STREET ELEVATION 3/16" = 1' - 0"



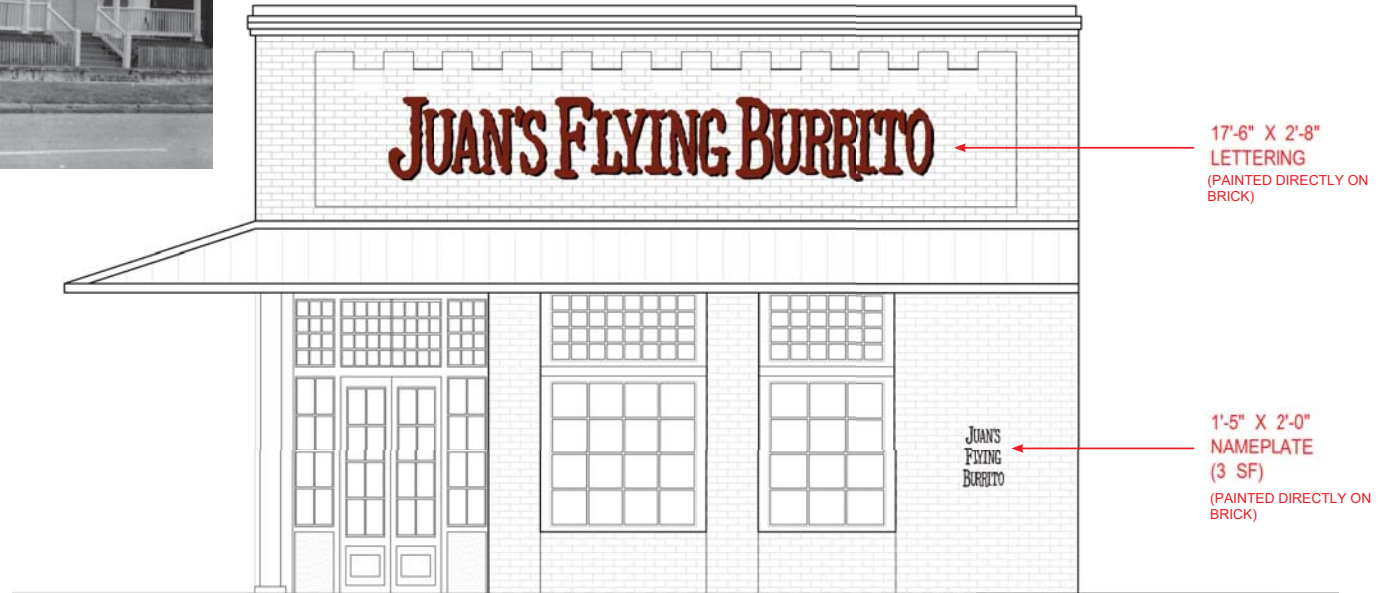
EAST INTENDENCIA STREET EXISTING PHOTO



① Site Plan
1" = 20'-0"

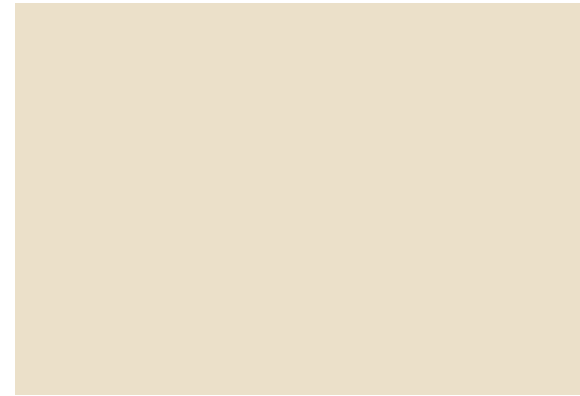








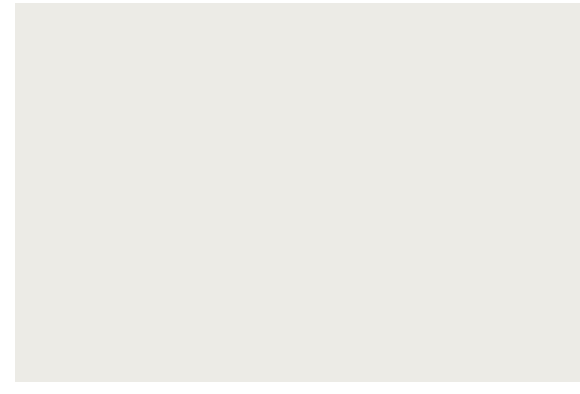
SHERWIN-WILLIAMS - FIRE WEED SW 6328
S. ALCANIZ SIGN LETTERS



SHERWIN-WILLIAMS HISTORIC COLLECTION - CLASSICAL WHITE
SW 2829
EXISTING BUILDING COLOR



SHERWIN-WILLIAMS HISTORIC COLLECTION - TRICORN BLACK
SW 6258
S. ALCANIZ NAMEPLATE AND SIGN LETTER'S SHADOW



SHERWIN-WILLIAMS - PURE WHITE SW 7005
S. ALCANIZ SIGN BACKGROUND



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00524

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

ARB Resolution on the Review of Solar Energy Systems

BACKGROUND:

In May 2021, the Board requested that a ARB resolution / policy be drafted which would allow new solar energy systems to be reviewed through an abbreviated review process. This would allow such requests to be internally reviewed by a board architect and staff from the Historic Trust without the need for a full board review. However, if agreement cannot be reached as it pertains to the request or if the request does not satisfy certain sections of ordinance for the historic and preservation land use districts, the request can still be referred to the full board for review.

Please find attached all relevant documentation for your review.

CITY OF PENSACOLA
ARCHITECTURAL REVIEW BOARD

POLICY ON THE REVIEW OF SOLAR ENERGY SYSTEMS
IN PENSACOLA HISTORIC DISTRICTS

This policy is adopted by the Architectural Review Board [herein “ARB” or “Board”] and supersedes all previous policies concerning the review and installation of miscellaneous mechanical equipment as it pertains to solar energy systems.

The Board acknowledges the City of Pensacola’s efforts to encourage environmental sustainability, including the use of solar energy systems. The Board also acknowledges Florida’s Solar Rights Law (Florida Statute - Section 163.04) which prohibits governing bodies from proposing certain restrictions on the installation of solar collectors on roofs. Under Florida’s Solar Rights Law, however, the Board may still review the placement of solar energy systems, so long as the installation is within the area required for its effective operation, that is, south, or east or west of due south. The Board may also prescribe requirements for screening solutions so long as the result does not impair the efficiency of the system.

- 1) Any request for application of solar energy systems in the Pensacola historic districts may be reviewed by abbreviated review.
- 2) All applications shall be reviewed on a case-by-case basis to ensure that the historical appearance, architectural integrity, and character-defining features of the subject property are preserved as much as possible during and after the installation of equipment. Appropriate installations should not damage historic roof materials, require the removal of historic roof materials, or require any architectural features to be altered.
- 3) Submission materials for abbreviated review should include (but not be limited to) an abbreviated review application and fee, a site plan showing the layout and position of all equipment (including any equipment placed on exterior walls), product details and specifications on all materials and equipment, and photographs of the project areas.
- 4) Any equipment mounted on exterior walls shall be in side yards or rear yards only. No equipment shall be installed in a front yard. Visual screening consisting of ornamental fencing or landscaping shall be installed around any equipment installed on an exterior wall to conceal it from view from any adjacent street.

This policy was adopted by the Architectural Review Board of the City of Pensacola, Florida, on June 17, 2021.

wood shutters were made of tropical hardwood and very durable for this climate; he provided an example for the Board's review. Chairperson Salter addressed the first-floor corner room facing the east and south elevations and asked about the decorative and non-decorative windows and change in the mullion pattern. Mr. Read explained the decorative windows pertained to the front of the house, and it made no sense to not have the decorative element; the south side was a porch; putting a 1 over 1 on the east elevation would ruin the whole effect. He explained their opinion was based on what felt right from the ground view. Board Member Spencer was satisfied with the applicant's response. Board Member Villegas asked for clarification of the shutter color, and Mr. Reed indicated "Mobile Green" (dark green) had been recommended.

Board Member Mead made a motion to approve, seconded by Board Member Yee. Board Member Villegas suggested an amendment to clarify the color as Mobile Green and that it be included in the submission. Chairperson Salter agreed because there was no sample of the final color, it should be submitted through an abbreviated review; it was accepted. It was noted North Hill had no objection to the project. Board Member Ramos explained the shutter example was in Mobile Green and asked to amend if they returned with any other color than Mobile Green, it would go through an abbreviated review; it was accepted. The motion then carried unanimously.

Item 3	420 E. Zarragossa Street	PHD
Noncontributing Structure		HC-1 / Wood Cottages
and Modern Infill Structure		
Action taken: Approved.		

Mark Chastain is seeking approval for exterior repairs and renovations to a noncontributing structure. Staff explained landscaping would not be part of the presentation.

Mr. Alcala presented to the Board and stated the owners wanted to install new gutters and downspouts, and they had designed a simple box to match the existing colors and blend in with the existing features. Chairperson Salter agreed the proposed elements would blend in with the existing structure. Mr. Alcala confirmed the roof now drains into the scupper and advised the two outlets would spill into the gutter, and they would install two new downspouts on the ends of those gutters on the inside corner of the east side of the balcony and the northwest corner of the same balcony, both tucked in.

Board Member Spencer made a motion to approve, seconded by Board Member Ramos, and it carried unanimously.

Item 4	909 N. Barcelona St	NHPD
Contributing Structure		PR-1AAA
Action taken: Approved.		

Professional Electrical Service, Inc. is seeking approval to add solar panels to the roof of a contributing structure. Twenty-five (25) panels are proposed to be added to the west and east sides of primary structure's roof. Staff explained the panels were placed around the dormers, with the solar meter and utility boxes on the rear side of the house hidden from view. The State Statute language was also provided to the Board.

Mr. Marlow presented to the Board. Chairperson Salter noted North Hill had no objections to this project. Board Member Mead questioned why the ARB was reviewing if the State has been preemptive. Historic Preservation Planner Harding explained in the past, the ARB had commented on the placement of the panels, and it was required by ordinance. Board Member Mead explained the Board appeared to be functionally preempted, and the City should have some general policies to reflect the placement and take it administratively out of the hands of the Board; Assistant City Attorney Lindsay advised she would bring this to the attention of the City Attorney. Staff advised

the fence policy had been changed to allow them to be considered in an abbreviated review. Mr. Marlow advised their goal in placement of the panels was for maximum production, but they tried to keep with the integrity of the home and stay off the front. Historic Preservation Planner Harding advised these types of projects were reviewed by staff, the ARB Chairperson, and Advisor before presentation.

Board Member Mead made a motion to submit these types of items for abbreviated review; if the reviewer thought necessary, it could be forwarded the Board for review. Chairperson Salter indicated he did not want to give up jurisdiction totally but agreed an abbreviated review would be a more efficient way to proceed. Assistant City Attorney Lindsay advised the motion had been made and if it were seconded and the Board directed the City Attorney's Office to change the procedures, it would. **Chairperson Salter seconded the motion.** Assistant City Attorney Lindsay pointed out it was not on the Board's agenda to make this motion, and it was not an item noticed to the public, but the Board could proceed with it. Board Member Mead explained just because it was not on the agenda did not mean the Board could not move on it. **Chairperson Salter clarified that this was a policy the Board would like to pursue. Board Member Mead advised this was the direction to staff to write a policy for abbreviated review with referral back to the Board was his understanding of the motion. The motion carried unanimously. Board Member Mead made a motion to approve the application, seconded by Board Member Villegas, and it carried unanimously.**

Item 5	430 E. Intendencia Street	PHD
Noncontributing Structure		HR-1 / Wood Cottages

Action taken: Approved with Comments.

Professional Electrical Service, Inc. is seeking approval to add solar panels to the roof of a non-contributing structure. Forty-two (42) panels are proposed to be added to the west and east sides of the primary structure's roof.

Chairperson Salter noted there appeared to be electrical panels behind a gate and wanted confirmation that the new equipment would be located behind the existing gate, and Mr. Marlow stated they would install as close to the meter as possible.

Board Member Fogarty made a motion to approve as submitted, seconded by Board Member Mead. Chairperson Salter proposed an amendment for clarification that the equipment must be mounted behind the fence; it was accepted, and the motion carried unanimously.

Item 6	214 W. Blount Street	NHPD
Noncontributing Structure		PR-1AAA

Action taken: Approved.

Jarret Brelsford is seeking approval to paint the exterior of a brick residence. Sections of the brick exterior, including brick surrounding all windows, have been painted in the past with tan and black latex paint. The applicant is proposing to use ROMABIO which is a breathable, mineral based, and toxin-free paint made specifically for brick and masonry features. The final product also appears as a natural finish rather than leaving a glossy or shiny surface.

Mr. Brelsford presented to the Board and stated the home was the 1948 Miller A. Gilmore house. Unfortunately, over the years there were many revisions to the outside with glue, paint, and wood which should not be there, and they were looking forward to getting it cleaned up and more unified. Board Member Mead asked for a sample of the new product, and Mr. Brelsford stated the sample in the packet was Richmond White which had one application shown. Richard Ingram Painting would reglaze all the windows. Chairperson Salter stated when he read the Code 12-3-10, Section 2 (d) stated for existing buildings and new construction, the Board could review the exterior design



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00523

Architectural Review Board

6/17/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 6/10/2021

SUBJECT:

UWF Historic Trust Recommendation to Adopt Resolution on Alternative Building Materials

BACKGROUND:

UWF Historic Trust has recommended that ARB consider a resolution concerning the use of alternative building materials. This resolution / policy would supersede all previous policies concerning the use of vinyl, aluminum, fiber cement, or other artificial materials. Per ARB's Rules and Procedures adopted in 2006, the board may at its discretion adopt resolutions deemed beneficial in addressing its intentions or processes. This item was discussed by the Board in April and May. Comments from those meetings have been incorporated into this current version.

Please find attached all relevant documentation for your review.

UWF HISTORIC TRUST RECOMMENDATIONS TO ARB REGARDING THE USE OF ALTERNATIVE BUILDING MATERIALS

These recommendations, if approved by the ARB, should supersede all previous policies concerning the use of vinyl, aluminum, fiber cement, or other artificial materials that previously have been adopted by the ARB.

It has been the general practice of the Architectural Review Board [herein “ARB” or “Board”] to duplicate documented building materials, types, styles, and construction methods when making repairs, alterations, and/or additions to contributing structures. However, the Board may approve any variances from the original materials, styles, etc. if circumstances unique to each project are found to warrant such variances. In reviewing such variances, the Board shall refer to the Secretary of the Interior’s Standards for Rehabilitation.

The Board acknowledges that the quality of non-traditional materials have greatly improved since the adoption of the City of Pensacola’s historic and preservation land use districts and that the quality of some traditional materials have declined and may no longer match the properties of original material. In regards to fiber cement siding, the Board shall consider the U.S. Secretary of the Interior’s Standard #6: “Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials.” Giving the increasing popularity of fiber cement products, continued requests for its use, and conditional approval by the National Park Service the following policy is proposed:

- 1) Any request for application of any siding to any building in the Pensacola historic districts shall be brought before the ARB prior to proceeding with the work.
- 2) Smooth finish fiber cement siding with lap exposure typically found on historic buildings in historic and preservation districts may be approved for:
 - new infill construction
 - new construction designed to match historical designs
 - new structures behind existing contributing structures new additions to existing contributing structures
 - elevations where fire-rated materials are required to meet code requirements.

Smooth finish fiber cement siding matching existing historic siding in design, lap exposure, profile, and dimensions may be approved for:

- installation on all facades of a contributing or non-contributing structure where no historic wood siding remains
- historic corner property side and rear elevations not highly visible from the public street – on an elevation-by-elevation basis if the existing historic wood siding cannot be retained and repaired, as confirmed by UWF Historic Trust staff pending review of photographs and/or site visit as applicable
- historic mid-block property side elevations not highly visible from the public street and all rear elevations on an elevation-by-elevation basis if the existing historic wood siding cannot be retained and repaired, as confirmed by UWF Historic Trust staff pending review of photographs and/or site visit as applicable.

An application to use fiber cement siding shall include the following (though not limited to):

- supplemental illustrations, images, or photographs of proposed siding
- proposed texture
- profile details, dimensions, and thickness
- photographs and details of existing siding
- photographs of building elevations where proposed siding is to be used

3) The use of composite materials (mixture of wood and fibrous materials), polyurethane, PVC, or fiber cement materials for decking, railings, and other architectural details will be considered on a case-by-case basis for both contributing and non-contributing buildings, along with new construction. The ARB will require extensive documentation by the applicant to substantiate all claims of unique conditions and/or financial hardship to justify consideration of non-historic materials by the Board. Details, textures, profiles, and material properties shall closely match traditional building materials; samples and product information are required at the time of review; and documentation of current materials and building conditions shall be provided to the Board. If a project receives ARB approval, the ARB will limit the use of artificial materials, and the Board will closely monitor installation to insure correct application of materials.

4) The use of vinyl and aluminum siding on any “contributing” structure in any historic district is inappropriate; therefore, in virtually all circumstances, a request for permission to use non-historic materials will be denied. In order to maintain the character and ambiance of the historic districts, the ARB believes that it is inappropriate to use vinyl and aluminum siding material on structure that are considered “non-contributing” within the districts. Consequently, the ARB also will strongly discourage the use of these materials on “non-contributing” structures.

5) The continued research and consideration of non-traditional building materials in the Pensacola historic districts will be evaluated yearly by the UWF Historic Trust. If the review of a new material or change to an existing policy is deemed necessary, the UWF Historic Trust staff will make a recommendation to the UWF Historic Trust Property and Collection Committee for review. If the Committee approves staff recommendations, the request will go before the UWF Historic Trust Board of Directors, with the final review going before the ARB.

CITY OF PENSACOLA ARCHITECTURAL REVIEW BOARD

RULES AND PROCEDURES

AUTHORITY

The Architectural Review Board is established pursuant to Section 12-13-3 of the code of the City of Pensacola, Florida. The Board has the authority to approve or disapprove plans for the exterior work within its jurisdiction and thereby control the erection, alteration, addition, repair, removal, or demolition of new and existing buildings, signs, structures, and any such facilities or appurtenances thereto.

PURPOSE

The purpose of the Architectural Review Board is to preserve and protect buildings of historic and architectural value and, by its counsel and decisions, maintain and enhance the distinctive characteristics of the City of Pensacola historic and preservation districts.

ORGANIZATION

The Board shall consist of seven (7) members as qualified by the Code. The Board shall elect from among its members a Chairman and a Vice Chairman. Elections shall be held annually and at the regularly scheduled November meeting of the Board. At least thirty days prior to the meeting, the Secretary shall notify the members of the election. The Chairman and Vice Chairman are eligible to succeed themselves in office at the pleasure of the Board.

ATTENDANCE

Faithful and prompt attendance at all meetings of the Board and conscientious performance of the duties required of members shall be a prerequisite to continuous membership on the Board. Should a member fail to attend three (3) consecutive regular meetings of the Board, and should there be no adequate excuse for such absences, or if a member misses more than six (6) meetings in a period of one year, the Chairman, with the concurrence of a majority of the entire Board, shall recommend to the city Council that the member be removed and that the vacated position be filled.

BOARD NOTIFICATION

ARCHITECTURAL REVIEW BOARD

RULES AND PROCEDURES

Page 2 of 7

The Board's agenda shall be published and distributed no later than seven (7) calendar days prior to a regular scheduled Board meeting. The form of the agenda shall be approved by the Board and shall contain the following paragraphs:

"Applicants are hereby notified to be present or to have an authorized agent attend the meeting. Any discussions and/or presentations made by an authorized agent shall be binding. Failure to attend will prevent consideration of the application. Persons having an interest in the above are invited to attend.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based."

If it is determined that an item on the ARB agenda requires the granting of a zoning variance, the petitioner shall be required to purchase a sign to be posted on the property to which the zoning variance request pertains. The sign shall be posted no later than seven (7) days prior to the scheduled ARB meeting.

MEETINGS/BOARD DECISIONS

Regularly scheduled meetings shall be held at 2:00 p.m. at City Hall, or other location as needed, on the third Thursday of each month. Special meetings may be called at the Chairman's discretion, but shall allow time for a minimum notice of three (3) working days to designate the place and time. All meetings shall be open to the public.

A quorum shall consist of four (4) members of the Board. All decisions may be rendered by a simple majority of the Board members present and voting. No letters of proxies from absent Board members shall be read or considered. No Board member shall take part in the consideration of any case in which he/she is a party or has a financial interest.

The Board may at its discretion adopt resolutions deemed beneficial in addressing its intentions or deliberative processes. The Secretary will maintain a record of those resolutions.

Roberts' Rules of Order are hereby adopted for use at all meetings of the Architectural Review Board.

ABBREVIATED REVIEW PROCEDURES

ARCHITECTURAL REVIEW BOARD

RULES AND PROCEDURES

Page 3 of 7

In the interest of expediting an applicant's request through the architectural review process, the Architectural Review Board will consider for abbreviated review and approval of the following requests: paint colors; minor "board for board" repairs; emergency "board for board" repairs; minor deviations to projects already approved by the Board; emergency repairs to existing signs; and exact replacement of roofing materials. These requests will originate with the Board Secretary who will deliver those requests on a rotational basis to one of the Board's architects. In addition to review and approval by a Board architect, the review and unanimous approval will require the signature of either the Downtown Improvement Board Director or the advisor from West Florida Historic Preservation.

The petitioner must schedule his/her request for review at the next regularly scheduled full ARB meeting in those instances when a unanimous approval cannot be secured. The Board or City staff has the right to reject paint colors or repairs to signs which may be deemed to be controversial and will refer those requests for review at a regularly scheduled meeting of the ARB.

These Rules and Procedures were adopted by the Architectural Review Board of the City of Pensacola, Florida, on February 16, 2006.

RESOLUTION OF THE ARCHITECTURAL REVIEW BOARD

The use of transparent solar insulation (film) is approved by the Architectural Review Board with the stipulation that it must be in the bronze tinted range with 40% reflection or under. The use of mirror type film is prohibited. Motion on this resolution was made by Mr. Parks, seconded by Mr. DeVries and which carried unanimously.

RESOLUTION ADOPTED: August 18, 1983

RESOLUTION
TO BE ENTITLED:
A RESOLUTION OF THE CITY OF PENSACOLA
ARCHITECTURAL REVIEW BOARD RECOGNIZING AND
SUPPORTING THE INSPECTIONS DEPARTMENT OF
THE CITY OF PENSACOLA IN THE ENFORCEMENT OF
THE RULES AND DETERMINATIONS OF THE
ARCHITECTURAL REVIEW BOARD

Whereas, the City of Pensacola Architectural Review Board is an agency created and maintained pursuant to the authority of Florida Statute 266.107; and

Whereas, the purpose of the Architectural Review Board is to preserve and protect buildings of historic and architectural value and by its counsel and decisions maintain and enhance the distinctive characteristics of the Pensacola Historic District, the North Hill Preservation District, the Palafox Historic Business District, and the Governmental Center District; and

Whereas, the Board has the authority to approve or disapprove plans for exterior work within its jurisdiction and thereby control the erection, alteration, addition, repair, removal, or demolition of new and existing buildings, signs, structures and any such facilities or appurtenances thereto; NOW THEREFORE,

BE IT RESOLVED BY THE CITY OF PENSACOLA ARCHITECTURAL REVIEW BOARD:

The Architectural Review Board recognizes the Inspection Department of the City of Pensacola as the governing agency responsible for enforcing the policies and decisions of the Board and hereby supports and encourages that Department's efforts toward ensuring compliance with the determinations of the board.

APPROVED: April 16, 1992

CITY OF PENSACOLA
ARCHITECTURAL REVIEW BOARD

POLICY ON THE USE OF VINYL, ALUMINUM,
OR ARTIFICIAL SIDING IN
PENSACOLA HISTORIC DISTRICTS

This policy is adopted by the Architectural Review Board [herein “ARB” or “Board”] and supersedes all previous policies concerning the use of vinyl, aluminum, or other artificial siding that previously have been adopted by the ARB.

1) Any request for application of any siding to any building in the Pensacola historic districts shall be brought before the ARB prior to proceeding with the work.

2) The ARB believes that the use of vinyl, aluminum, or other artificial siding on any “contributing” structure in any historic district is inappropriate; therefore, in virtually all circumstances, a request for permission to use non-historic materials will be denied. The ARB will consider requests for using artificial materials on a case by case basis, and the Board will approve a request only if the individual project is highly unique which distinctively would justify such consideration and approval. The ARB will require extensive documentation by the applicant to substantiate all claims of unique conditions and/or financial hardship to justify consideration of non-historic materials by the Board. If a project receives ARB approval, the ARB will limit the use of artificial materials, and the Board will closely monitor installation to insure correct application of materials. Typically, artificial siding material will be allowed to cover only existing areas of siding; ad artificial material will not be allowed to cover any ~~facias~~ fascias, soffits, cornice boards, handrails, or any ornamental trim on the building. The ARB will direct how the siding will be applied and trimmed out wherever such siding abuts trim or ornamental areas of the building.

3) Additionally, in order to maintain the character and ambiance of the historic districts, the ARB believes that it is inappropriate to use vinyl, aluminum, or other artificial siding material on structure that are considered “non-contributing” within the districts. Consequently, the ARB also will strongly discourage the use of non-historic or artificial materials on “non-contributing”

ARCHITECTURAL REVIEW BOARD

RULES AND PROCEDURES

Page 7 of 7

structures. The ARB also will strongly discourage the use of non-historic or artificial materials on “non-contributing” structures. The ARB will consider applications for permission to use such building materials on “non-contributing” structures on a case by case basis utilizing the same guidelines as noted in Item 2 above.

This policy was adopted by the Architectural Review Board of the City of Pensacola, Florida, on December 14, 1995.