



City of Pensacola

Zoning Board of Adjustments

Agenda - Final

Wednesday, September 15, 2021, 3:00 PM

Hagler/Mason Conference Room,
2nd Floor

QUORUM / CALL TO ORDER

1. [21-00790](#) SWEARING IN NEW APPOINTMENT (WILLIAM WEEKS) AND REAPPOINTMENT (STEVEN SEBOLD)

APPROVAL OF MINUTES

2. [21-00775](#) ZONING BOARD OF ADJUSTMENTS MEETING MINUTES FROM APRIL 21, 2021

Attachments: [ZBA Minutes Approved 4.21.21.pdf](#)

REQUESTS

3. [21-00776](#) ZBA 2021-004
3471 OAKMONT DRIVE
R-1AAA

Attachments: [Application Complete.pdf](#)
[Screen Addition Site Plan.pdf](#)
[Photo Exisitng Patio.jpg](#)
[Photo Exisitng Patio \(2\).jpg](#)
[Photo Rear Yard.jpg](#)
[Photo Rear Yard 2.jpg](#)

4. [21-00777](#) ZBA 2021-05
1602 E. BRAINERD STREET
R-1AA

Attachments: [Application Complete.pdf](#)
[Comerford Reno PERMIT SET 8-20-21.pdf](#)

5. [21-00778](#) 1818 E. STRONG STREET - THIS ITEM HAS BEEN POSTPONED UNTIL FURTHER NOTICE
R-1AAA

ADJOURNMENT

ADDITIONAL INFORMATION:

SUBSEQUENT APPLICATION(S): If denied a variance by the Board, that request for a variance cannot be heard again for a period of one (1) year.

JUDICIAL REVIEW OF DECISION OF BOARD OF ADJUSTMENT:

Per section 12-12-2 (D) of the City of Pensacola Land Development Code, any person or persons, jointly or severally, aggrieved by any decision of the board, or the city, upon approval by the city council, may apply to the circuit court of the First Judicial Circuit of Florida within thirty {30} days after rendition of the decision by the board. Review in the circuit court shall be by petition for writ of certiorari or such other procedure as may be authorized by law.

If any person decides to appeal any decision made with respect to any matter considered at this meeting or public hearing, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based.

If a Notice of Appeal has not been received within thirty-five {35} days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Official that they have ten {10} days to remove or correct the violation.

ADA Statement:

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00790

Zoning Board of Adjustments

9/15/2021

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/8/2021

SUBJECT:

Swearing in new appointment (William Weeks) and reappointment (Steven Sebold)

BACKGROUND:

Mr. Weeks has been appointed by City Council and Mr. Sebold has been reappointed.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00775

Zoning Board of Adjustments

9/15/2021

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/8/2021

SUBJECT:

Zoning Board of Adjustments Meeting Minutes from April 21, 2021

BACKGROUND:

Click or tap here to enter text.

Zoning Board of Adjustment

MINUTES OF THE ZONING BOARD OF ADJUSTMENT

April 21, 2021

MEMBERS PRESENT: Chairperson White, Vice Chairperson Del Gallo, Board Member Lonergan, Board Member Shelley, Board Member Stepherson, Board Member Wiggins, Board Member Williams

MEMBERS VIRTUAL: None

MEMBERS ABSENT: Board Member Sebold, Board Member Taylor

STAFF PRESENT: Planner Hargett, Historic Preservation Planner Harding, Senior Planner Statler (virtual), Planning Director Morris (virtual), Assistant Planning Director Cannon (virtual), Assistant City Attorney Lindsay, Help Desk Technician Russo

OTHERS VIRTUAL: Joseph McNair, Greg Bricking, Chris Bosso

1) CALL TO ORDER/QUORUM PRESENT

The Zoning Board of Adjustment (ZBA) was called to order at 3:00 p.m. by Chairperson White with a quorum present. Chairperson White then read the ZBA rules and instructions and explained the procedures of the in-house/virtual Board meeting.

2) APPROVAL OF MINUTES January 20, 2021

The ZBA January 20, 2021 minutes were approved without objection by the Board.

3) ZBA 2021-002

1203 W. Gimble Street

R-1A

Property owners Terrence & Peggie Bosso are requesting a variance to rebuild an accessory dwelling unit in place of an existing wood building. The existing nonconforming structure is located on the south west corner of the property. The depth of the parcel makes it challenging to comply with rear and side setbacks. The parcel is 52' X 55'.

The owners are proposing to remove the existing nonconforming structure of 18'.2" X 13'.5' which currently sits within half of a foot on the property lines. They propose to construct a 16' X 11.5' accessory dwelling unit which will be less nonconforming.

The request is for a 3 FT setback on the west and south boundary lines.

Mr. Bosso presented to the Board and stated he had owned the property since 1989; the property dimensions were 52'x 55' and the existing accessory building was built on the lot line of the southern and western sides. Accessing these sides for typical maintenance had never been an issue, but the property recently sold. There will be a structure 3' or 4' off his western line and probably a fence; he will have no more access to the building and was requesting to move it 3' off the southern property line and 3' off the western line and reduce the size by 25%. It would overlap the existing footprint and would allow future maintenance of both the property and the accessory building. The building would be less nonconforming and would occupy the same footprint minus 25%. It would be visually more aesthetic and appealing and be less problematic for future interactions with adjacent neighbors.

Board Member Del Gallo addressed the lot to the west; Mr. Bosso stated the lot was one piece (60') but assumed there would be two 30' wide lots.

Board Member Del Gallo made a motion to approve the variance, seconded by Board Member Lonergan. Board Member Del Gallo advised the applicant was making a bad situation better while maintaining the outbuilding and helping the neighbor buying the property with his west fence. Board Member Lonergan stated this was ensuring adequate space and a reduction in what was already there. **The motion then carried unanimously.**

4) ZBA 2021-003

1709 E. Fisher Street

R-1AAA

Mr. Tim Daniel of Reflections Home Design & CAD Services is requesting two variances:

1) Setback reduction from the required 15 FT to 9 FT 9 1/2 INCHES on the side yard (east) to accommodate an addition. The proposed addition is for a bedroom and bath as well as laundry space.

2) Setback reduction from the required 30 FT to 25 FT 7 INCHES on the rear yard to accommodate attaching an existing detached garage. By attaching the existing garage, this would allow for direct access to the proposed bedroom/laundry room addition.

Chairperson White verified both variances would be considered together per the applicant.

Mr. McNair presented to the Board and stated the existing home had been there for 71 years, and the house currently sits 9' off the setback on the eastern side of the yard along 18th Street. They proposed to extend the existing wall to the garage. The plan was to extend along the existing house and connect to the existing detached garage which would then make it an attached garage with an entrance. They were not asking to encroach any further from where the existing buildings were located but desired to attach them and make them more cohesive and aesthetically pleasing. He pointed out there was so much right-of-way in the yard that you could not build a home of a reasonable size, and this would maintain the integrity of the home and the neighborhood.

Chairperson White asked how far the gap between the garage and the house needed to be in order to be classified detached; staff determined the gap would be 4' eave to eave. Board Member Del Gallo as if there was input from any of the neighbors, and there was none.

Board Member Wiggins made a motion to approve the variances, seconded by Board Member Del Gallo. Board Member Wiggins stated the 100' right-of-way on 18th Street had been an issue for other homeowners, and the Planning Board had addressed this issue as well. A right-of-way vacation could be an option but

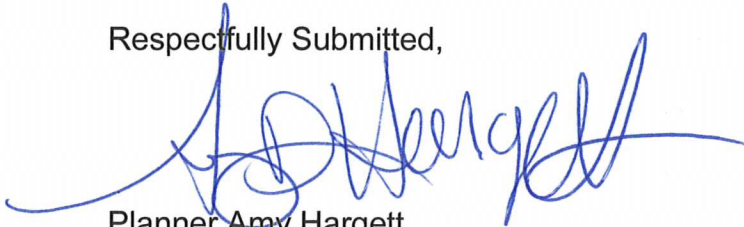
this proposal seemed to be the path of least resistance. Chairperson White struggled with the request being self-created but understood the applicant wanted the best use of his corner lot property. **The motion then carried 6 to 1 with Chairperson White dissenting.**

DISCUSSION – None

ADJOURNMENT -

There being no further business, the meeting adjourned at 3:19 p.m.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read 'Amy Hargett', with a long horizontal flourish extending to the right.

Planner Amy Hargett
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00776

Zoning Board of Adjustments

9/15/2021

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/8/2021

SUBJECT:

ZBA 2021-004
3471 Oakmont Drive
R-1AAA

BACKGROUND:

Mr. James Rogers is requesting a variance to reduce the rear yard setback from 30 FT to 25 FT to accommodate a screen room addition.

The applicant has provided a copy of the HOA approval. Although a waiver was granted by the neighborhood's HOA, the Lenox Architectural Control Committee is not a governing body, board or commission of the city and does not have the authority to grant variances to the Land Development Code.

ZBA2021-007



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- ☒ **Zoning Board of Adjustment**
- ☐ **Architectural Review Board**
- ☐ **Planning Board**
- ☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. (Please type or print in ink.)
- B. Site plan and/or survey showing the following details: *
 - 1. Abutting street(s)
 - 2. Lot dimensions and yard requirements (setbacks)
 - 3. Location and dimensions of all existing structures
 - 4. Location and dimensions of all proposed structures and/or additions
 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of \$500.00.

* The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) 12-3-3/T. 12-3-1 Zoning B-1AAA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 3471 OAKMONT DRIVE PENSACOLA, FL 32503

Current use of property: Residence

1. Describe the requested variance(s): REDUCTION OF REAR SETBACK
from 30 FT to 25 FT.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions: The variance is requested so my wife and I can enjoy sitting outside free of mosquitoes. We are in our 80's and try to avoid medical issues. Also needed to accommodate patio furniture presently in storage from our previous home in Sarasota. I believe others in the subdivision have approved variances for similar lanais.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

Homeowner desires to construct a screened Room Addition for mosquito control. Proposed Dimensions 14' x 36', other Properties currently contain Screened Enclosures for similar purpose.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

A screened Room Addition will not be detrimental to others in vicinity just as screen Enclosures currently in place are not. See Attached Aerial.

5. Explain what other condition(s) may justify the proposed variance(s):

Lenox ARB has approved the proposed Placement as shown on Attached Survey. Letter is Attached.

Application Date: 8-19-21

Applicant: Jim Rogers

Applicant's Address: 3471 Oakmont Drive Pensacola, FL 32503

Email: jr3838@verizon.net Phone: 305-812-2600

Applicant's Signature:

James C. Rogers
Jim Rogers

Property Owner:

Property Owner's Address:

3471 Oakmont Dr. Pensacola, FL 32503

Email: jr3838@verizon.net Phone: 305-812-2600 ✓

Property Owner's Signature:

James C. Rogers

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Planning Services

222 W. Main Street * Pensacola, Florida 32502

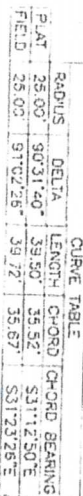
(850) 435-1670

Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.



STATE ROAD #10-A
SCENIC HIGHWAY
(RIGHT-OF-WAY VARIES)

CERTIFIED TO:
CODEY LEIGH
BRANCH BANKING AND TRUST COMPANY
CHICAGO TITLE INSURANCE COMPANY
TAYLOR AND VAN MATTE, P.A.

ADDRESS:	3471 OAKCOTT DRIVE
REQUESTED BY:	ERIN G CRISTAL
TYPE:	BOUNDARY SURVEY WITH IMPROVEMENTS
SECTION:	1
TOWNSHIP:	1
RANGE:	34
ASST:	ESCARPA CANY
DATE: 11/27/01	FILED: 11/27/01
DATE: 09/07/01	DATE: 09/07/01
NO.	DATE
REMARKS:	7
	CJLV
	JPB
	APPROVED BY:

[illegible]

FW: Approval of Jimbo Rogeers sunroom addition setback lines.

jr3838 <jr3838@verizon.net>

Mon, May 24, 1:13 PM

To: Leon Locklear <leon@titansunrooms.com>

Fyi

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: mayesde@gmail.com

Date: 5/24/21 12:05 PM (GMT-06:00)

To: Jimbo Rogers <jr3838@verizon.net>

Cc: David Mayes <mayesde@bellsouth.net>, David Mayes <mayesde@gmail.com>

Subject: Approval of Jimbo Rogeers sunroom addition setback lines.

Jimbo Rogers,

The Lenox Architectural Control Committee has approved your waiver for a 24 foot setback from the rear lot line for your sunroom addition per the attached drawing.

Consider this your official notice in writing of the approval.

David Mayes, President

Lenox Homeowner's Association

Rogers HOA surevy_000056.pdf

#4

Nearby Screened Enclosures













City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00777

Zoning Board of Adjustments

9/15/2021

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/8/2021

SUBJECT:

ZBA 2021-05
1602 E. Brainerd Street
R-1AA

BACKGROUND:

Mr. Dean Dalrymple of Dalrymple Sallis Architecture is requesting two variances: (1) To reduce the west side yard setback from the required 6 FT to 4 FT 2 INCHES to accommodate a master bedroom addition. This addition would continue the exiting plane of the home.

(2) To reduce the east side setback from the required 6 FT to 2 FT 2 INCHES to accommodate an open uncovered deck.



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VARIANCE APPLICATION

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 - 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide fourteen (14) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) B-3-4 / T-12-3.2 Zoning B1AA

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 1602 E. Brainerd St Pensacola, FL

Current use of property: Residential

1. Describe the requested variance(s): DSA seeks a variance to encroach 2' on the 6' side yard setback. This distance would be a reduction from 6' side yard to a 4' setback.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

The existing home is placed on the lot long before the LDC requirements and thus, the front and side

yard setbacks are exceeded by the existing home.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

By continuing the line of the existing residence, we are respecting the history of the area by creating an addition that makes the building a unified whole

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

The build line of the new addition to the structure will align with other side yards on the block, and respect the existing lot placement.

5. Explain what other condition(s) may justify the proposed variance(s):

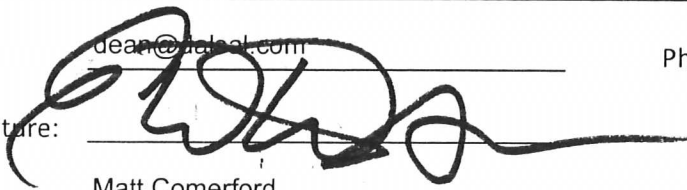
As City makers, we see it important to create pleasant rear yard spaces that compliment existing residences. This variance allows our design to accomplish this well without setting a poor precedent.

Application Date: 8/25/2021

Applicant: E. Dean Dalrymple

Applicant's Address: 503 E. Government St Pensacola, FL 32502

Email: dean@dalrymple.com Phone: (850) 470-6399

Applicant's Signature: 

Property Owner: Matt Comerford

Property Owner's Address: 1602 E. Brainerd St Pensacola, FL

Email: mcomerford@morettco.com Phone: (850) 393-5119

Property Owner's Signature: _____

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Variance Application

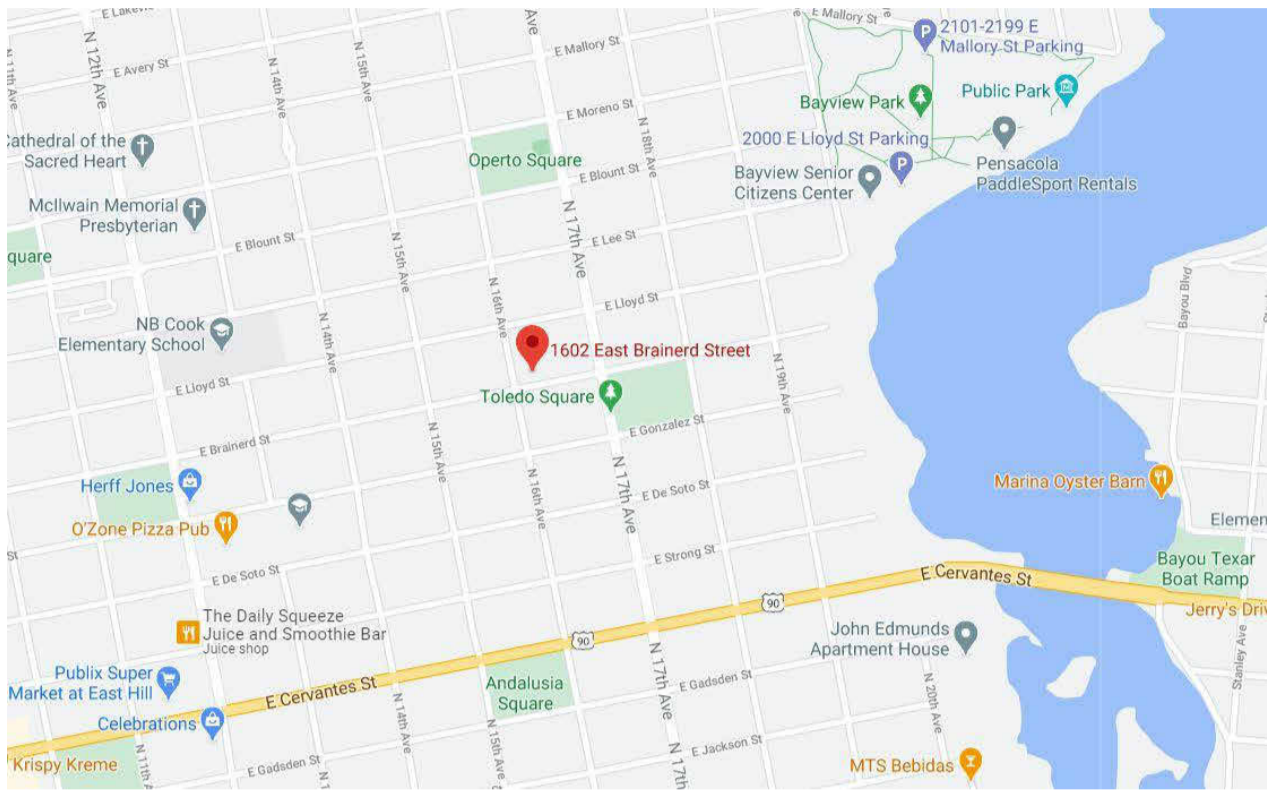
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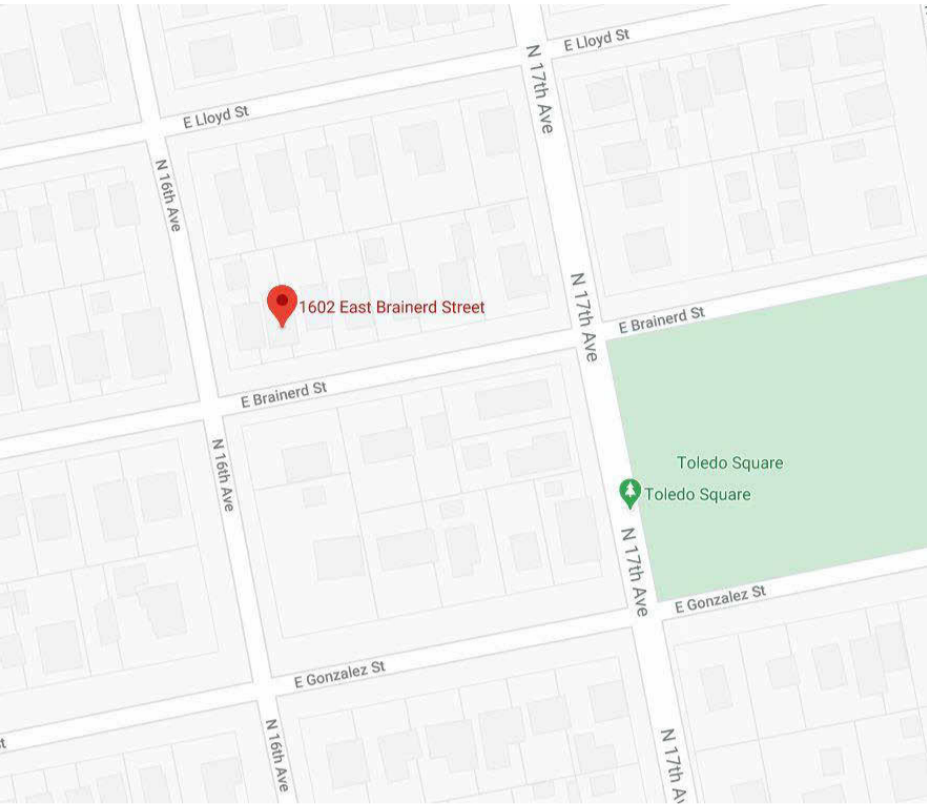
COMERFORD RENOVATION

RENOVATION OF RESIDENCE

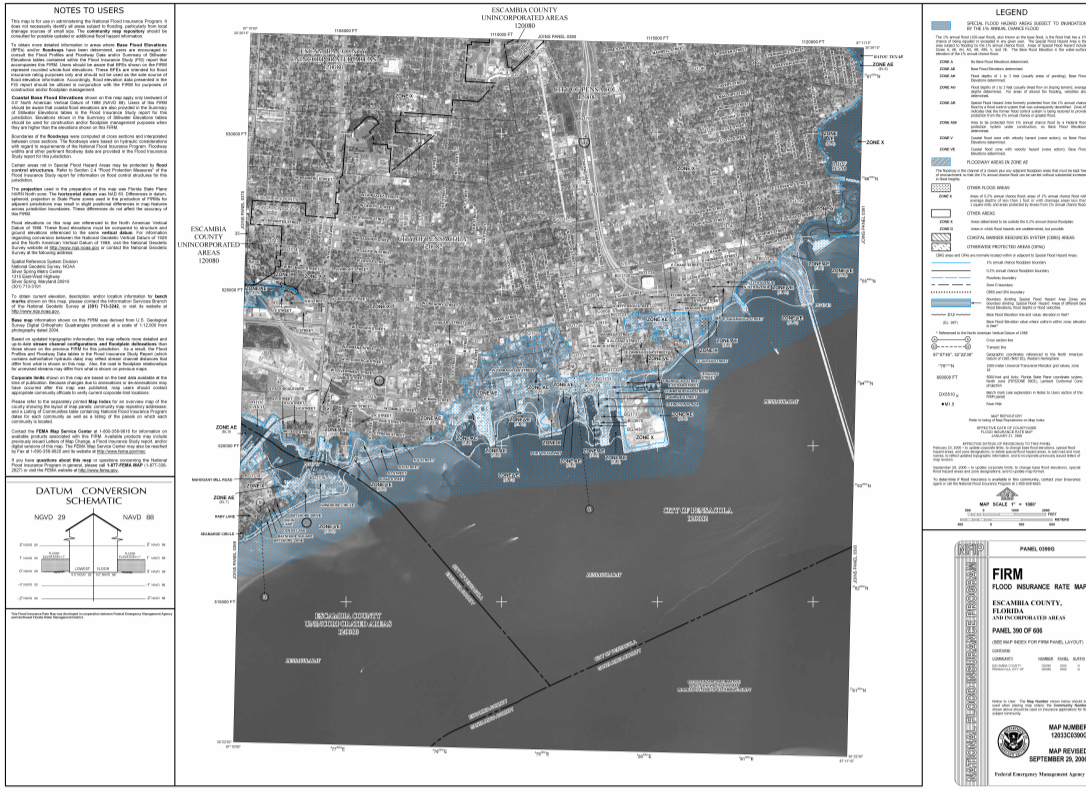
1602 E. BRAINERD ST.



VICINITY MAP



SITE MAP



FEMA FLOOD MAP

BUILDING DATA

APPLICABLE CODES:
2020 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 7th EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: R-1AA
FLOOD ZONE: X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 22'-9"
NO. OF STORIES: 2

PROJECT TEAM:

ARCHITECT OF RECORD :
J. SCOTT SALLIS, AIA scott@dalsal.com
DALRYMPLE | SALLIS ARCHITECTURE
503 E. GOVERNMENT ST.
PENSACOLA, FL 32502
(850) 470-6399

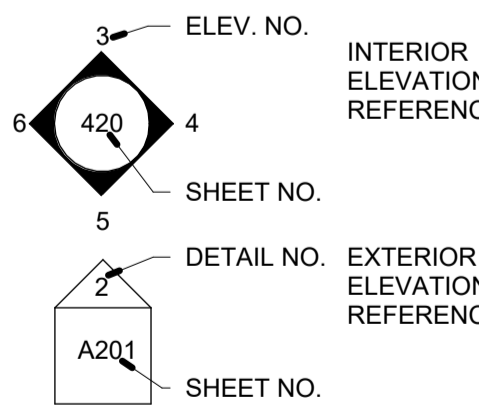
BUILDING AREA TOTALS			
Name	LEVEL	AREA	COMMENTS
GROUND LEVEL			
EXISTING GROUND FLOOR	GROUND LEVEL	1,589 SF	
ADDITION GROUND FLOOR	GROUND LEVEL	401 SF	
SECOND LEVEL			
EXISTING SECOND FLOOR	SECOND LEVEL	291 SF	
TOTAL BUILDING AREA (CONDITIONED)		2,280 SF	

INDEX OF DRAWINGS		
Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Structural		
S001	STRUCTURAL NOTES AND DIAGRAMS	
S101	FOUNDATION & FLOOR FRAMING PLAN	
S102	ROOF FRAMING PLAN & DETAILS	
Architectural		
A001	SITE AND ROOF PLAN	1
A010	FIRST AND SECOND FLOOR DEMO PLANS	
A101	NEW WORK FIRST AND SECOND FLOOR PLANS	
A102	FIRST AND SECOND FLOOR RCP/LIGHTING	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A302	WALL SECTIONS	
A401	INTERIOR ELEVATIONS	
A601	SCHEDULES AND DIAGRAMMS	
A701	3D RENDERED PLAN VIEWS	
A702	3D INTERIOR PERSPECTIVE VIEWS	

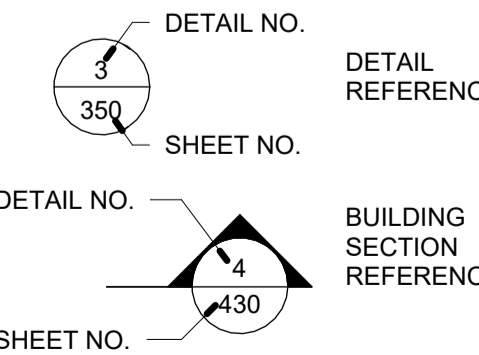
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYS IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2021 FBC, RESIDENTIAL EDITION R301.2.1.2 FOR RESIDENTIAL WORK OR 2021 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

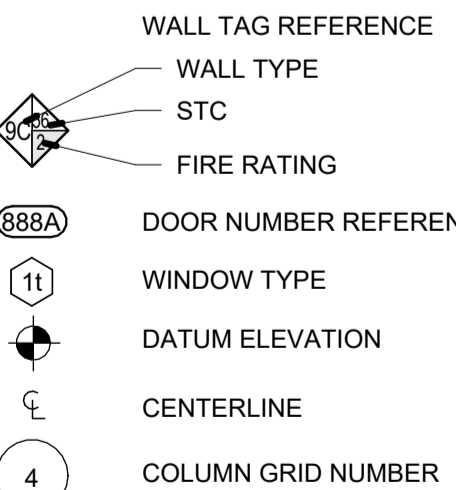
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



Room name ROOM TAG

CEILING HEIGHT - ABOVE FIN. FLOOR

REVISION NUMBER REFERENCE

REVISION NO.



NOTE: ALL 3D VIEWS ARE CONCEPTUAL



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

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PERMIT SET

COMERFORD RENOVATION

1602 E. BRAINERD ST.

DRAWN BY: SRJ
CHECKED BY: JSS

ISSUE DATE:
06-22-21

REVISIONS:
No. Desc. Date

SHEET TITLE:

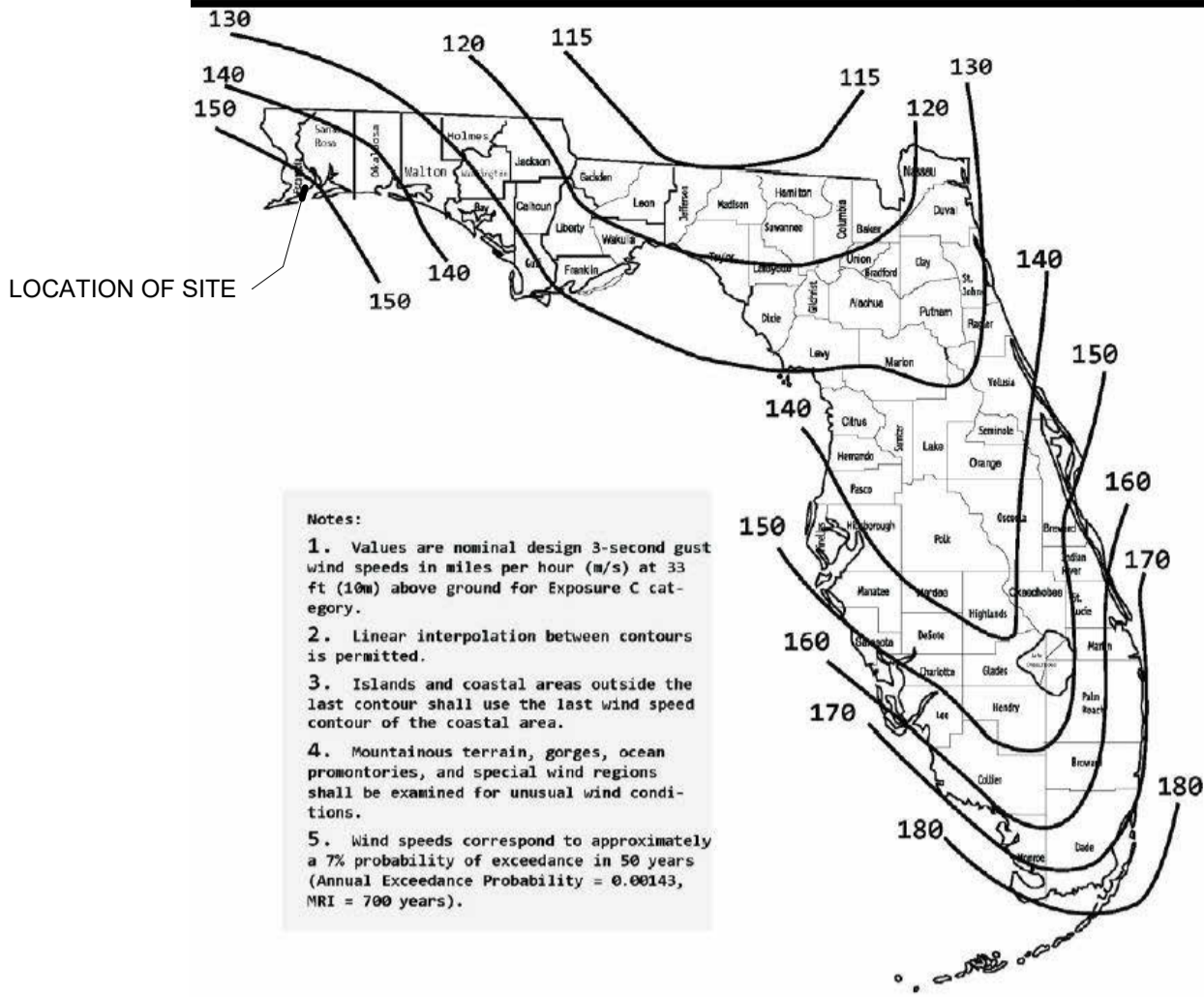
TITLE SHEET

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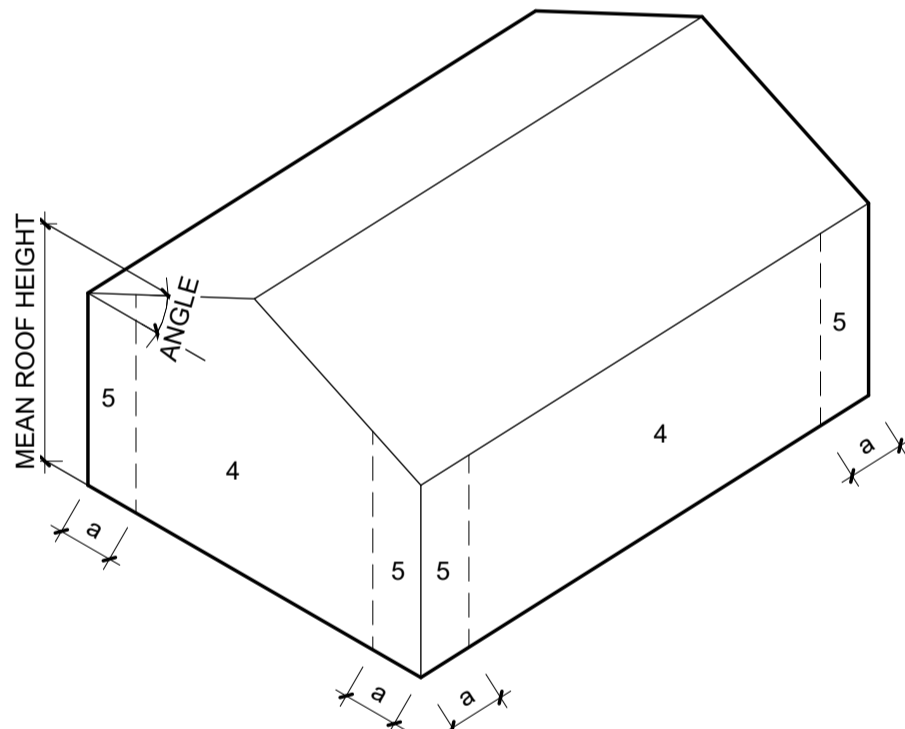
PROJECT NO:
20044

FLORIDA WIND SPEED MAP: RISK CATEGORY II



COMPONENTS AND CLADDING WIND LOADS

HIP ROOF > 7-20 DEG.		BASIC WIND SPEED 160 MPH	OVERHANG
ZONE	EFFECTIVE WIND AREA (SQ. FT)		
1	10	46.3	-104.3
2e	10	46.3	-146.4
2r	10	46.3	-135.9
3	10	46.3	-146.4
WALL		62.1 - 67.4 62.1 - 83.2	
4	10		
5	10		



COMPONENTS AND CLADDING WALLS

NOTE: VALUES IN TABLE SHALL BE MULTIPLIED BY 0.6 TO ACHIEVE ALLOWABLE STRESS DESIGN (ASD) PRESSURES

ULTIMATE WIND PRESSURE TABLE NOTES:
LINEAR INTERPOLATION FOR INTERMEDIATE VALUES OF EFFECTIVE AREAS IS ACCEPTABLE. OTHERWISE, USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

ULTIMATE WIND LOAD PRESSURES ARE FOR USE IN LOAD COMBINATIONS LISTED IN FBC 2020 AND ASCE 7-16. THESE COMBINATIONS ARE LISTED IN FBC SECTION 1605 AND INCLUDE A WIND LOAD FACTOR OF 0.6 USING ALLOWABLE STRESS DESIGN. THEREFORE, ULTIMATE PRESSURES LISTED IN THE LOAD TABLE MAY BE REDUCED 40% WHEN USING ALLOWABLE STRESS DESIGN. REDUCED LOADS ARE THE "WORKING LOADS."

NOTE:
ALL EDGES OF WALL SHEATHING ARE BLOCKED. ALL EDGES OF ROOF SHEATHING ARE BLOCKED IN ZONES 2 AND 3 ONLY. ORIENT WALL SHEATHING HORIZONTALLY. ROOF SHEATHING SHALL BE FASTENED W/ 8d COMMON RINGSHANK 0.131" X 2 1/2" OR 10d COMMON RINGSHANK 0.12" X 3".

SHEATHING NAILING REQUIREMENTS			
ZONE	NAIL SIZE	SPACING	LOCATION
1	8d	3"	PERIMETER
	8d	6"	FIELD
2	8d	3"	PERIMETER
	8d	6"	FIELD
3	8d	3"	FIELD & PERIMETER
4	8d	4"	PERIMETER
	8d	8"	FIELD
5	8d	4"	PERIMETER
	8d	8"	FIELD
OVERHANG	8d	4"	FIELD & PERIMETER

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
- THE STRUCTURAL DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT GOVERNS.
- SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS IN STRUCTURE NOT SHOWN ON STRUCTURAL DRAWINGS.
- REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.

DESIGN LOADS AND CRITERIA:	
A. FLOOR LIVE LOAD	40 PSF
FLOOR DEAD LOAD	10 PSF
PARTITION LOAD	20 PSF
ROOF LIVE LOAD	20 PSF
ROOF DEAD LOAD	10 PSF
DECK LIVE LOAD	60 PSF
B. WIND CRITERIA	FBC 2020 ASCE 7-16
RISK CATEGORY:	II
BASIC WIND SPEED	160 MPH (3-SECOND GUST)
EXPOSURE CATEGORY	C
STRUCTURE TYPE	ENCLOSED
INTERNAL PRESSURE COEFF.	+/- 0.18
C. MEAN ROOF HEIGHT:	21' - 3"
ROOF SLOPE:	4/12

WOOD FRAMING AND SHEATHING

- OSB IS NOT CONSIDERED AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD SHEATHING.
- ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR EXPOSED TO EXTERIOR ELEMENTS AND LEFT UNFINISHED SHALL BE PRESSURE TREATED.
- DO NOT PAINT PRESSURE TREATED WOOD WHEN MOISTURE CONTENT IS ABOVE 19%.
- ALL STRUCTURAL GRADE LUMBER SHALL BE SOUTHERN YELLOW PINE, No. 2 GRADE OR BETTER.
- NOTCHES ON THE END OF JOISTS SHOULD NOT EXCEED ONE FOURTH OF THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF THE JOIST SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
- JOISTS SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF A JOIST ARE NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER MEANS. BLOCKING SHALL NOT BE LESS THAN 2" IN THICKNESS AND THE FULL DEPTH OF THE JOIST.
- WALL SHEATHING: 15/32" (SPAN RATING 32/16) APA RATED PLYWOOD.
A. SHEATHING SHALL BE NAILED TO WALL STUDS WITH 8d COMMON RINGSHANK 0.131" X 2 1/2" OR 10d COMMON RINGSHANK 0.12" X 3". SPACING: 4" EDGE AND 8" FIELD, UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.
B. 2x BLOCKING SHALL BE ADDED AT PANEL JOINTS, AT CEILING BEARING, AND AT MIDSPAN MINIMUM.
C. WHERE SPECIFIED, SHEATHING SHALL BE INSTALLED ON BOTH SIDES OF WALL PANELS. SHEATHING JOINTS SHALL BE STAGGERED EACH SIDE OF WALL.
D. PLYWOOD SHEATHING SHALL BE MINIMUM 4-PLY WHILE MEETING THE SPECIFICATIONS ABOVE.
- ROOF SHEATHING: 19/32" (SPAN RATING 40/20) APA RATED PLYWOOD.
A. SHEATHING SHALL BE NAILED TO ROOF MEMBERS WITH 8d COMMON RINGSHANK NAILS (0.131" X 2-1/2") OR 10d RINGSHANK NAILS (0.12" X 3"). SPACING 3" EDGE AND 6" FIELD.
B. PLYWOOD SHEATHING SHALL BE MINIMUM 4-PLY WHILE MEETING THE SPECIFICATIONS ABOVE.

PRE-ENGINEERED WOOD TRUSSES

- WOOD STUD TRUSSES AND REQUIRED BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA AND EXPERIENCED IN THE DESIGN OF PRE-ENGINEERED WOOD STRUCTURES. THE ENGINEER SHALL SEAL, SIGN, AND DATE THE SHOP DRAWINGS AND CALCULATIONS.
- DESIGN SHALL BE IN ACCORDANCE WITH ANSI/TPI 1-2002 "National Design Standard for Metal Plate Connected Wood Truss Construction".
- TOP AND BOTTOM CHORDS SHALL BE PROVIDED WITH THE SHAPES AND CONFIGURATIONS INDICATED ON THE DRAWINGS. ARRANGEMENT OF WEB MEMBERS TO BE AT THE DISCRETION OF THE SPECIALTY DESIGN ENGINEER. AT TRUSS JOINTS, CENTERLINES OF MEMBERS SHALL INTERSECT AT A COMMON POINT OR ECCENTRICITIES SHALL BE CONSIDERED IN THE DESIGN.
- THE WOOD JOIST & TRUSS FABRICATORS SHALL SUBMIT CERTIFIED LETTERS TO THE ARCHITECT STATING THAT HE HAS RECEIVED SPRINKLER DRAWINGS. THE WOOD JOIST & TRUSS FABRICATORS SHALL DESIGN THEIR PRODUCTS FOR LOADING IMPOSED BY SPRINKLER MAIN SUPPLY LINES AND BRANCHES. THE WOOD JOIST & TRUSS FABRICATORS SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF THE JOIST & TRUSS DESIGNS RESPECTFULLY. IF SPRINKLER DRAWINGS ARE NOT AVAILABLE, THE JOIST & TRUSS FABRICATORS SHALL USE A DESIGN LOAD OF 3 PSF APPLIES AS UNIFORM OR CONCENTRATED LOADS WHICH CAN BE SUPPORTED BY THEIR SYSTEMS.
- TRUSSES SHALL BE DESIGNED FOR THE DEAD WEIGHT OF THE TRUSSES AND BRACING PLUS THE LOADS GIVEN IN NOTE 4 OF THE GENERAL NOTES.
- TRUSS STORAGE, HANDLING, RESTRAINING AND BRACING SHALL BE PER BUILDING COMPONENT SAFETY INFORMATION GUIDELINES AS PRODUCED BY THE TRUSS PLATE INSTITUTE.

ENGINEERED WOOD PRODUCTS

- LVL BEAMS SHALL BE MANUFACTURED BY APA MEMBER MANUFACTURER TO APA SPECS.
- USE LVLs CONFORMING TO ASTM D 5456 AND ABLE TO WITHSTAND THE DESIGN LOADS INDICATED. REFER TO STRUCTURAL PLANS FOR SIZING. LENGTH AS REQUIRED FOR SPAN AND BEARING.
- DO NOT STORE ENGINEERED WOOD PRODUCTS IN DIRECT CONTACT WITH THE GROUND. STACK FLATWISE.
- MINIMUM BEARING LENGTH: 3", ENDS, 3" INTERMEDIATE.
- LVL BEAMS SHALL HAVE MINIMUM MATERIAL PROPERTIES:
ALLOWABLE BENDING STRESS: F_b = 2,900 PSI
COMPRESSION \perp TO GRAIN: F_{c \perp} = 750 PSI
COMPRESSION \parallel TO GRAIN: F_{c \parallel} = 3,200 PSI
HORIZONTAL SHEAR: F_v = 285 PSI
MODULUS OF ELASTICITY: E = 2x10⁶ PSI
- GLUE LAM BEAMS (PRESSURE TREATED) SHALL HAVE THE MINIMUM MATERIAL PROPERTIES:
ALLOWABLE BENDING STRESS: F_b = 2,400 PSI
COMPRESSION \perp TO GRAIN: F_{c \perp} = 740 PSI
COMPRESSION \parallel TO GRAIN: F_{c \parallel} = 1,650 PSI
HORIZONTAL SHEAR: F_v = 300 PSI
MODULUS OF ELASTICITY: E = 1.8x10⁶ PSI
DESIGN MATERIAL: 24F-V8-24F-1.8E SOUTHERN PINE 24F-V5M1 (PRESSURE TREATED)

HARDWARE REQUIREMENTS:

- ALL NAILS SHALL BE COMMON.
- ALL HARDWARE SHALL BE INSTALLED PER ALL MANUFACTURERS SPECIFICATIONS.
- ALL HARDWARE AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL (A304/A316) WHEN EXPOSED TO WEATHER AND WATER.
- THREADED RODS SHALL MEET ASTM A307 GRADE A SPECIFICATION REQUIREMENTS OR BETTER.
- STAINLESS STEEL THREADED RODS SHALL MEET A304 OR A316 SPECIFICATION REQUIREMENTS.
- BOLTS SHALL MEET ASTM A307 SPECIFICATION REQUIREMENTS (UNLESS NOTED OTHERWISE).
- ALL WASHERS WITHIN WALL SYSTEMS SHALL BE 3"x3"x1/4".
- ALL WASHERS WITHIN HORIZONTAL CONNECTIONS SHALL BE 2"x2"x1/4" OR 3" DIA.x1/4".
- ALL COUPLING NUTS SHALL MEET ASTM A563 GRADE A SPECIFICATION REQUIREMENTS OR BETTER.

SHALLOW FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF FOR FOOTINGS.
- SOIL COMPACTION SHALL BE FIELD CONTROLLED BY A SOILS ENGINEER OR TESTED LABORATORY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.
- COMPACTED FILL UNDER SLABS, CONCRETE APRONS, PATIO PAVERS, AND OTHER NONPERVIOUS SURFACES TO RECEIVE AN APPROVED TERMITE TREATMENT PER FBC 2304.12.

SLABS ON GRADE

- FOR SLABS ON GRADE, REINFORCE WITH W1 4xW1 4 / 8x6 WWF REINFORCEMENT. PLACE IN CENTER OF SLAB THICKNESS.
- INSTALL VAPOR BARRIER IN ACCORDANCE WITH ASTM E1643. CONTACT VAPOR BARRIER MANUFACTURER FOR WARRANTY INFORMATION AND INSTALLATION REVIEW PRIOR TO CONCRETE PLACEMENT.
- 0.01 MAX PERMEANCE RATING. CLASS A STRENGTH. 15-MIL MINIMUM THICKNESS. BASIS OF DESIGN: STEGO WRAP BY STEGO INDUSTRIES, LLC WWW.STEGOINDUSTRIES.COM.
- PLACE CRACK CONTROL JOINTS AT 12 FT. MAX. SO AS TO LIMIT CONCRETE PLACEMENT AREAS TO 144 SQ. FT. MAX. IN ALL FLOATING SLABS ON GRADE. DO NOT EXCEED A 2 TO 1 WIDTH TO LENGTH RATIO. CONTRACTOR MAY ELECT TO SUBMIT A CONTROL JOINT LAYOUT FOR ARCHITECT'S REVIEW PRIOR TO CONCRETE PLACEMENT.
- SLAB FINISHES:
EXTERIOR WALKING SURFACES - MEDIUM BROOM
DRIVING SURFACES - MEDIUM BROOM
INTERIOR SURFACES - STEEL TROWEL

REINFORCED CONCRETE

- USE STRUCTURAL CONCRETE AND CONCRETING PRACTICES CONFORMING TO ACI-316 AND 301 AND PROPORTION CONCRETE IN ACCORDANCE WITH ACI-318 CH. 4 AND MEETING A MIN. ULTIMATE COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
FOOTING 3000 PSI
GRADE BEAMS 3000 PSI
POURED WALLS 5000 PSI ***
COLUMNS 5000 PSI ***
BEAMS & ELEVATED SLABS 5000 PSI ***
ALL OTHER CONCRETE 5000 PSI ***
*** UNLESS NOTED OTHERWISE
- WHERE CONCENTRATION OF REINFORCING STEEL HINDERS PROPER CONSOLIDATION OF CONCRETE, USE CONCRETE CONTAINING A SUPERPLASTICIZER (N.R.W.R.) ADMIXTURE, ASTM C494 TYPE F, SLUMP AFTER ADDITION OF SUPERPLASTICIZER SHALL BE 7"+1". IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 2 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP, UNLESS PRE-APPROVED BY ARCHITECT. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END.
- USE ASTM A-615 GR. 40 REINFORCING STEEL IN ALL RESIDENTIAL WORK & GR. 60 REINFORCING STEEL IN ALL COMMERCIAL WORK, CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS 'B' LAP SPLICE FOR CONTINUOUS BARS, UNLESS NOTED OTHERWISE. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN UNLESS OTHERWISE SPECIFIED. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, UNLESS NOTED OTHERWISE. USE 1" COVER OVER REINFORCING EXCEPT AS FOLLOWS:

	BOTTOM	TOP	SIDES
FOOTING/PILECAP	3"	2"	3"
BEAMS (U.O.N.)	1 1/2"	1 1/2"	1 1/2"
COLUMNS	-	-	1 1/2"
SLABS ON GROUND	1"	1"	2"
SLABS (OTHER THAN ON GROUND)	1"	1"	1"
POURED WALLS RETAINING FILL	-	-	2"
POURED WALLS ABOVE GROUND	-	-	1 1/2"

- USE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICES SHALL BE MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET AND SHALL BE NOT LESS THAN TWICE THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES.
- SLEEVE ALL PIPES THROUGH SLABS INDIVIDUALLY, UNLESS APPROVED BY ARCHITECT. WHERE PIPES OR DUCTS PENETRATE SLABS, A MAX. OF TWO BARS EACH WAY MAY BE CUT, PROVIDED SPLICE BARS ARE PLACED ALONGSIDE OPENING WITH EQUIVALENT AREA TO THE CUT BARS, WITH 36-BAR-DIA. LAP. PLACE ALL OPENINGS LARGER THAN 6" NOT SHOWN ON STRUCTURAL DRAWINGS AND ALL CONDUITS IN SLABS IN ACCORDANCE WITH ACI-318 CH. 6.3. PROVIDE 1.45 X 6" EACH WAY PLACED DIAGONALLY AT MID-DEPTH AROUND ALL OPENINGS LARGER THAN 12", U.O.N.

CONCRETE MASONRY


- ALL MASONRY WORK IS TO CONFORM TO ACI 530 AND 530.1.
- USE CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. PROVIDE f_m OF 1500 PSI (UNIT STRENGTH 1900 PSI). PERFORM f_m AND C90 COMPLIANCE BY UNIT TEST METHOD. USE ONLY MASONRY UNITS THAT ARE A MIN. OF 50% OF SOLID.
- USE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270. USE 3/8" FULL-BEDDED JOINTS. FOR ALL MASONRY REMOVE MORTAR PROTRUDING INTO CELL CAVITIES THAT ARE TO BE REINFORCED AND GROUTED. ALLOW A MIN. OF 24 HOURS FOR MORTAR TO CURE BEFORE PLACING GROUT.
- USE ALL GROUT CONFORMING TO ASTM C-478 WITH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS. TESTED IN ACCORDANCE WITH ASTM C1019. AGGREGATE TO CONFORM TO ASTM C404 FOR COARSE GROUT AND SLUMP OF 8" TO 11".
- FOR REINFORCED MASONRY USE STANDARD (9 GAGE CROSS AND SIDE RODS) LADDER TYPE HORIZONTAL JOINT REINFORCING IN EVERY OTHER COURSE UNLESS NOTED OTHERWISE. USE PREFABRICATED CORNERS AND TEES AT WALL INTERSECTIONS. OVERLAP DISCONTINUOUS ENDS A MIN. OF 12". HORIZONTAL REINFORCING SHALL CONFORM TO ASTM A-82.
- USE ASTM A-615 GRADE 40 REINFORCING STEEL (RESIDENTIAL) GRADE 60 (COMMERCIAL).
- USE PRESSURE-TREATED WOOD FOR ALL WOOD IN CONTACT WITH MASONRY.

SHOP DRAWING SUBMITTALS

- THE FOLLOWING REQUIREMENTS IN NO WAY REDUCE OR LIMIT ANY ADDITIONAL REQUIREMENTS OF SPECIFICATIONS.
- REVIEW OF SUBMITTALS BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. ONLY THOSE SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS TO BE SUBMITTED WILL BE REVIEWED. ALL OTHERS WILL BE RETURNED WITHOUT COMMENT.
- IN ACCORDANCE WITH THE SPECIFICATIONS, SUBMIT A COPY OF THE SHOP DRAWING SUBMITTAL REGISTER TO THE STRUCTURAL ENGINEER, SHOWING DATES OF SUBMITTAL FOR EACH SPECIFIC STRUCTURAL SECTION OF THE WORK, CONSISTENT WITH THE FOLLOWING CRITERIA:
A. ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING BEFORE FABRICATION. THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 10 WORKING DAYS OF RECEIPT BY THEM.
B. SCHEDULE AND SUBMIT SHOP DRAWINGS FOR SPECIFIC COMPONENTS, SUCH AS COLUMNS, FOOTINGS, ETC., IN THEIR ENTIRETY. SHOP DRAWINGS FOR SIMILAR FLOORS SHALL BE SUBMITTED IN THE SAME PACKAGE.
C. SUBMIT SHOP DRAWINGS IN A TIMELY MANNER, CONSISTENT WITH THE ABOVE REQUIREMENTS.
- ALL CHANGES AND ADDITIONS MADE ON RESUBMITTALS MUST BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF THE RESUBMITTALS MUST BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. ARCHITECT / ENGINEER REVIEW WILL BE LIMITED TO THE ITEMS CAUSING THE RESUBMITTAL. DO NOT REPRODUCE THE CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS.
- SHOP DRAWINGS NOT MEETING THE ABOVE CRITERIA OR SUBMITTED AFTER FABRICATION WILL NOT BE REVIEWED AND WILL BE RETURNED WITHOUT COMMENT.
- RESPONSIBILITIES OF DETAILERS AND FABRICATORS:
A. GENERAL: SUBMIT SHOP DRAWINGS AND ANY OTHER SPECIAL INFORMATION NECESSARY FOR PROPER FABRICATION, ERECTION, AND PLACEMENT OF STRUCTURAL FABRICATIONS. INCLUDE PLANS, ELEVATIONS, AND SECTIONS. CLEARLY SHOW ANCHORAGES, CONNECTIONS, AND ACCESSORY ITEMS. THE DETAILER MUST INTERPRET THE CONTRACT DOCUMENTS AND CLEARLY CONVEY THIS INTERPRETATION TO THE FIELD IN THE FORM OF PLACING OR ERECTION DRAWINGS.
CONCRETE REINFORCING DETAILER: PROVIDE PLACING DRAWINGS FOR FABRICATION AND PLACING OF REINFORCING STEEL. THESE DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: BAR LISTS, SCHEDULES, BENDING DETAILS, PLACING DETAILS, PLACING PLANS, AND PLACING ELEVATIONS.
CLEARLY SHOW ELEVATIONS OF ALL BEARING AND SHEAR WALLS. INDICATE CONTROL JOINTS, EXPANSION JOINTS, LINTELS, CONCRETE BOND BEAMS, AND OPENINGS, DETAILS OF ALL REINFORCING WITH LOCATIONS OF SPLICES AND HOOKS, PILASTER.
CLEARLY SHOW BEAM ELEVATIONS AND SECTIONS. INDICATE BAR LENGTHS, HOOKS, STIRRUP SPACING, LAP SPLICES, OFFSETS, AND LOCATION OF BARS WITH RESPECT TO ALL SUPPORTS.
CLEARLY SHOW COLUMN ELEVATIONS AND SECTIONS. INDICATE DOWELS, OFFSETS, LAP SPLICES, AND TIES. PLAN SECTIONS OF ALL COLUMNS SHALL CLEARLY BE SHOWN.
CLEARLY SHOW ELEVATION, SECTIONS, AND DETAILS OF ALL BEAM TO COLUMN CONNECTIONS.
CLEARLY SHOW FOUNDATION REINFORCING. INDICATE BAR LENGTHS, LOCATION AND SPLICES OF CONTINUOUS BARS, AND BAR SUPPORTS.
CLEARLY SHOW LOCATIONS OF ALL DOWELS ON PLAN. INDICATE FOOTING STEP LOCATIONS AND PROVIDE DETAILS.
- FOR ADDITIONAL CRITERIA APPLICABLE TO SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY A SPECIALTY ENGINEER, SEE BELOW.

SHOP DRAWINGS REQUIRING ENGINEERING INPUT BY SPECIALTY ENGINEER

- DEFINITION -
A. A FLORIDA REGISTERED PROFESSIONAL ENGINEER WHO SPECIALIZES IN AND WHO UNDERTAKES THE DESIGN OF STRUCTURAL COMPONENTS OR STRUCTURAL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT.
B. SHALL BE:
1. AN EMPLOYEE OR OFFICER OF A FABRICATOR.
2. AN EMPLOYEE OR OFFICER OF AN ENTITY SUPPLYING COMPONENTS TO A FABRICATOR.
3. AN INDEPENDENT CONSULTANT RETAINED BY THE FABRICATOR OR HIS SUPPLIER.
- THE FOLLOWING SYSTEMS AND COMPONENTS AS A MINIMUM REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A SPECIALTY ENGINEER: PRE-ENGINEERED WOOD ROOF TRUSSES.
- THE SPECIALTY ENGINEER OR MANUFACTURER SHALL DESIGN, PROVIDE, AND INSTALL THEIR COMPONENTS AND THE COMPONENT CONNECTIONS TO THE PRIMARY STRUCTURE PER THE WIND CRITERIA STATED IN THE GENERAL NOTES ON THIS SHEET OR THE CURRENT GOVERNING BUILDING CODES, WHICHEVER IS MORE STRINGENT.
- SUBMITTALS SHALL CLEARLY IDENTIFY THE SPECIFIC PROJECT AND APPLICABLE CODES. LIST THE DESIGN CRITERIA, AND SHOW ALL DETAILS AND PLANS NECESSARY FOR PROPER FABRICATION AND INSTALLATION. CALCULATIONS AND SHOP DRAWINGS SHALL IDENTIFY SPECIFIC PRODUCT UTILIZED. GENERIC PRODUCTS WILL NOT BE ACCEPTED.
- SHOP DRAWINGS AND CALCULATIONS MUST BE PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE SPECIALTY ENGINEER.
- SHOP DRAWINGS AND CALCULATIONS REQUIRE THE EMBOSSED SEAL, DATE AND SIGNATURE OF THE SPECIALTY ENGINEER. COMPUTER PRINTOUTS ARE AN ACCEPTABLE SUBSTITUTE FOR MANUAL COMPUTATIONS PROVIDED THEY ARE ACCOMPANIED BY SUFFICIENT DESCRIPTIVE INFORMATION TO PERMIT THEIR PROPER EVALUATION. SUCH DESCRIPTIVE INFORMATION SHALL BEAR THE EMBOSSED SEAL AND SIGNATURE OF THE SPECIALTY ENGINEER AS AN INDICATION THAT HE HAS ACCEPTED RESPONSIBILITY FOR THE RESULTS. SEPIAS DO NOT REQUIRE SIGNATURE AND SEAL. THE ARCHITECT WILL RETAIN ONE SIGNED AND SEALED BLUELINE PRINT FOR RECORD.
- CATALOG INFORMATION ON STANDARD PRODUCTS DOES NOT REQUIRE THE SEAL OF A SPECIALTY ENGINEER.
- REVIEW BY THE ARCHITECT OF SUBMITTALS IS LIMITED TO VERIFYING THE FOLLOWING:
A. THAT THE SPECIFIED STRUCTURAL SUBMITTALS HAVE BEEN FURNISHED.
B. THAT THE STRUCTURAL SUBMITTALS HAVE BEEN SIGNED AND SEALED BY THE SPECIALTY ENGINEER.
C. THAT THE SPECIALTY ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND HAS USED THE SPECIFIED STRUCTURAL CRITERIA. (NO DETAILED CHECK OF CALCULATIONS WILL BE MADE.)
D. THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)
- A LIST SHALL BE PREPARED AND MAINTAINED BY THE CONTRACTOR FOR ALL SHOP DRAWINGS REQUIRING PARTICIPATION OF A SPECIALTY ENGINEER. THE LIST SHALL CONTAIN PROJECT NAME, NAME OF CONTRACTOR, NAME OF SUBCONTRACTOR, NAME OF SPECIALTY ENGINEER, DRAWING NUMBER, DRAWING TITLE AND THE LATEST REVISION NUMBER AND DATE. FOR PARTIAL SUBMITTALS, THE LIST SHALL CONTAIN ALL ANTICIPATED DRAWING NUMBERS AND TITLES REQUIRED TO COMPLETE THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE LATEST UPDATED LIST OF DRAWINGS WITH EACH SUBMITTAL.
- SUBMITTALS NOT MEETING THE ABOVE CRITERIA WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.



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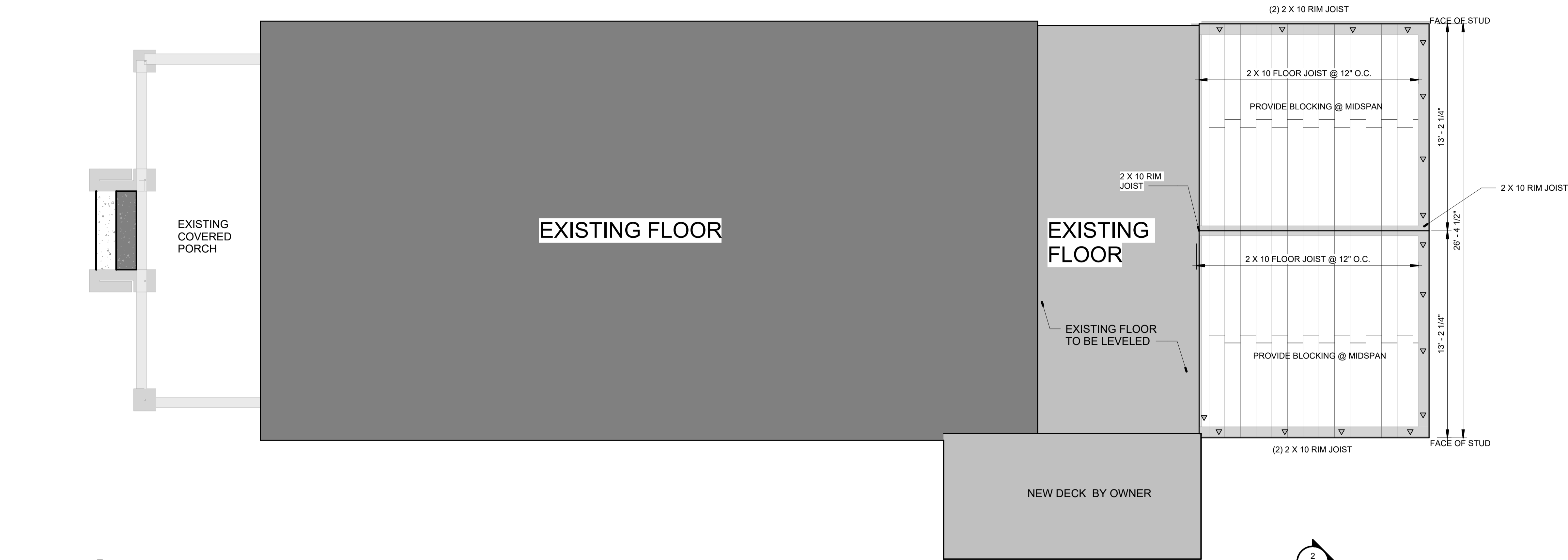


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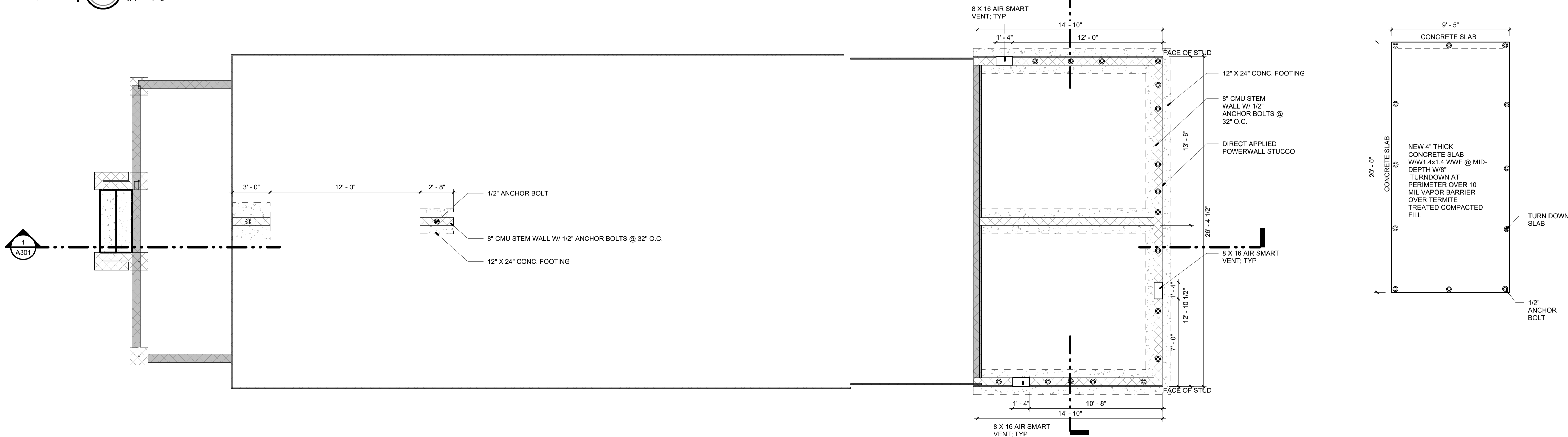
COMERFORD RENOVATION

1602 E. BRAINERD ST.

DRAWN BY:	CHECKED BY:
JLR	JSS
ISSUE DATE:	06-22-21
REVISIONS	No. Des. Date
SHEET TITLE:	
STRUCTURAL NOTES AND DIAGRAMs	
SHEET NO:	
S001	
PROJECT NO: 20044	



FLOOR FRAMING PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

TYPICAL SLAB NOTE:

- 4" 3,000psi CONCRETE SLAB REINFORCED WITH W1.4xW1.4 / 6x6 WWF REINFORCEMENT. INSTALL OVER VAPOR BARRIER AND COMPACTED FILL WITH APPROVED TERMITE TREATMENT.

SCORING NOTE:

- CJ SAW CUT 1/4" CONTROL JOINTS AT MAXIMUM 12'-0" O.C.

THREADED ROD ANCHORS:

- 1/2" THREADED ROD @ 4' - 0" O.C. MAX SPACING WITH 8" MIN. EMBEDMENT. SEE DETAIL 2/S102. COORDINATE BOLT LAYOUT WITH ARCHITECTURAL PLANS AND DIMENSIONED FOUNDATION ELEMENTS.
- 1/2" ANCHOR BOLT W/ MIN. 8" EMBEDMENT BENEATH WINDOWS; TYP.



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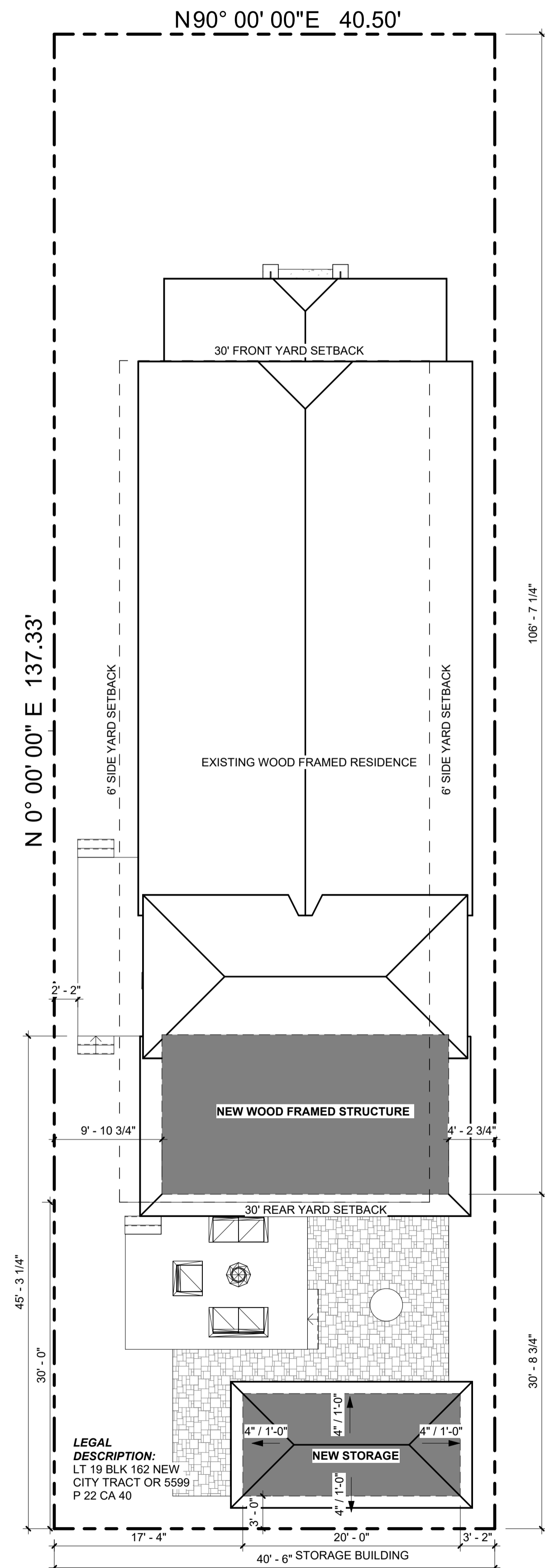
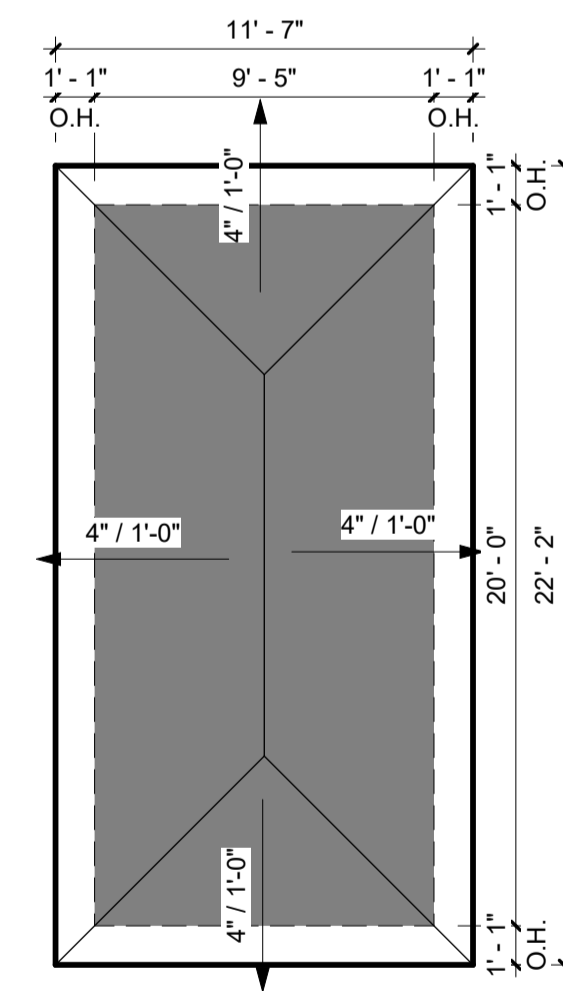
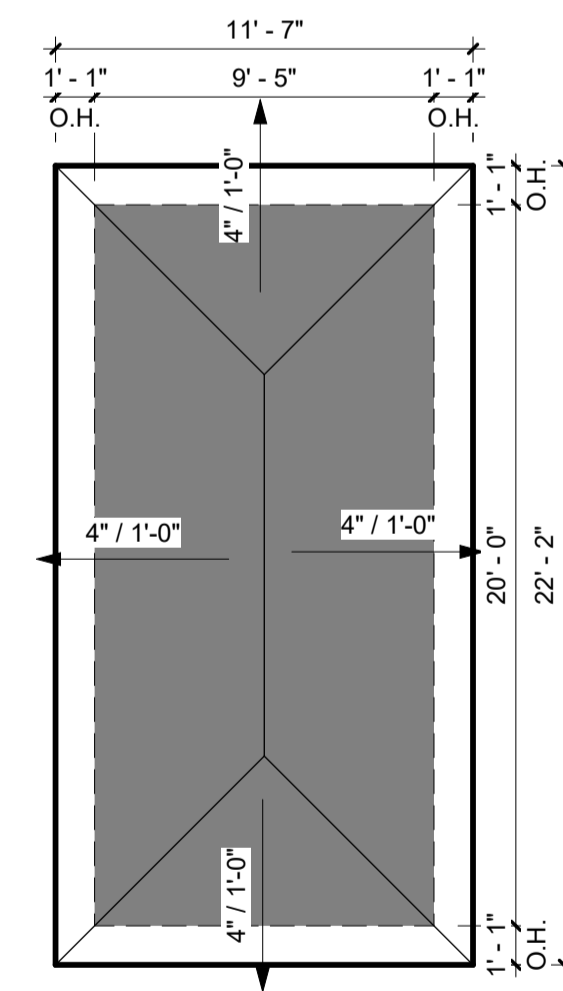
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JLR	JSS

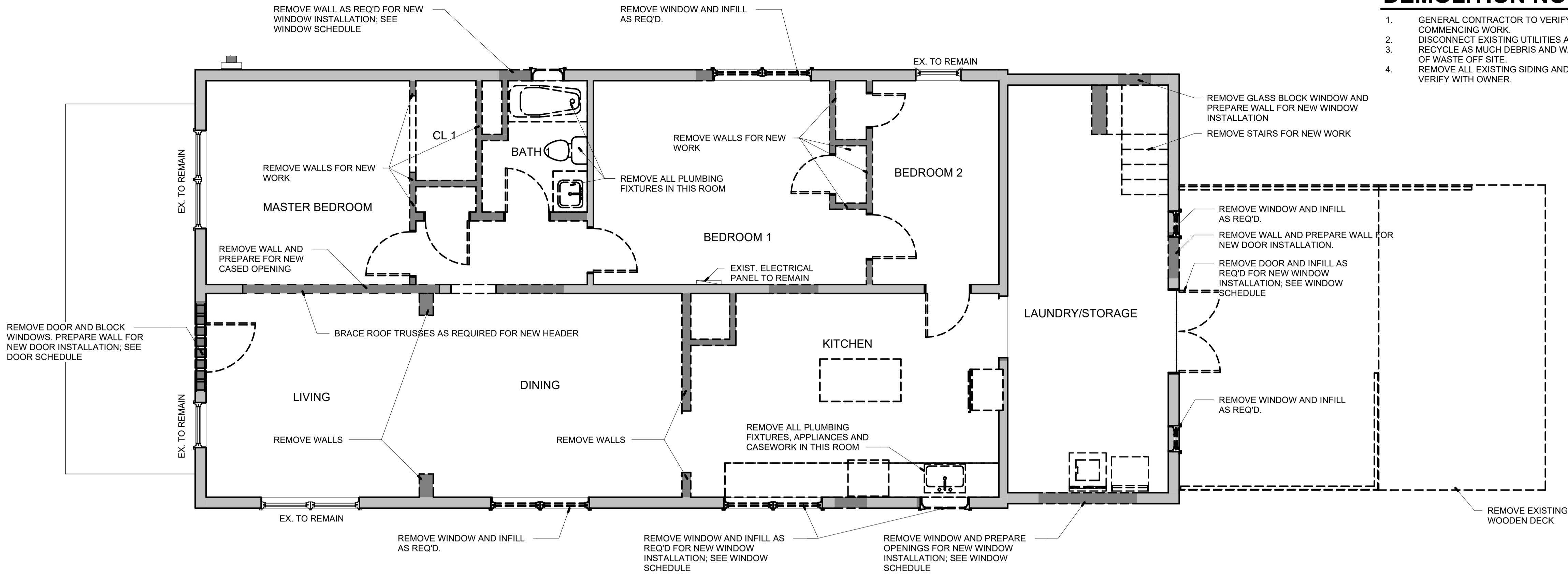
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**FOUNDATION
& FLOOR
FRAMING
PLAN**

SHEET NO:
S101
PROJECT NO:
20044





DEMOLITION NOTES

- 1. GENERAL CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE COMMENCING WORK.
- 2. DISCONNECT EXISTING UTILITIES AS REQUIRED FOR NEW WORK.
- 3. RECYCLE AS MUCH DEBRIS AND WASTE MATERIALS AS POSSIBLE. DISPOSE OF WASTE OFF SITE.
- 4. REMOVE ALL EXISTING SIDING AND REPLACE WITH NEW COMPOSITE SIDING. VERIFY WITH OWNER.

1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



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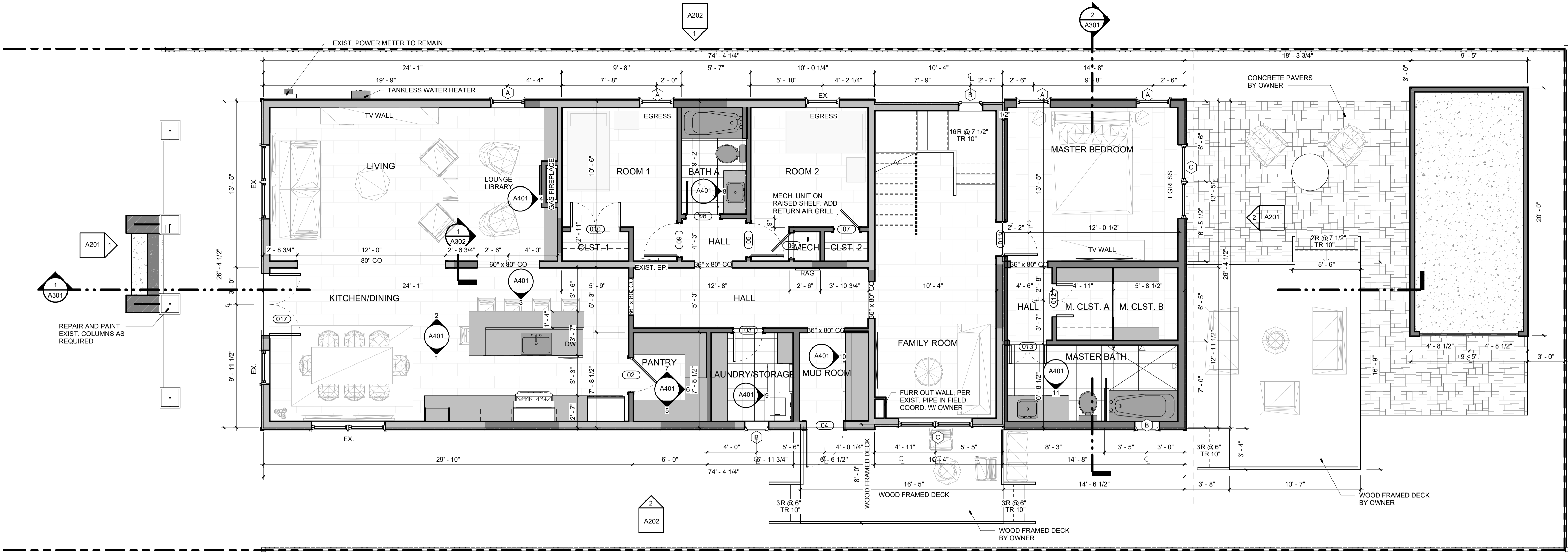
REVISIONS
No. Des. Date

SHEET TITLE:
FIRST AND SECOND
FLOOR DEMO
PLANS

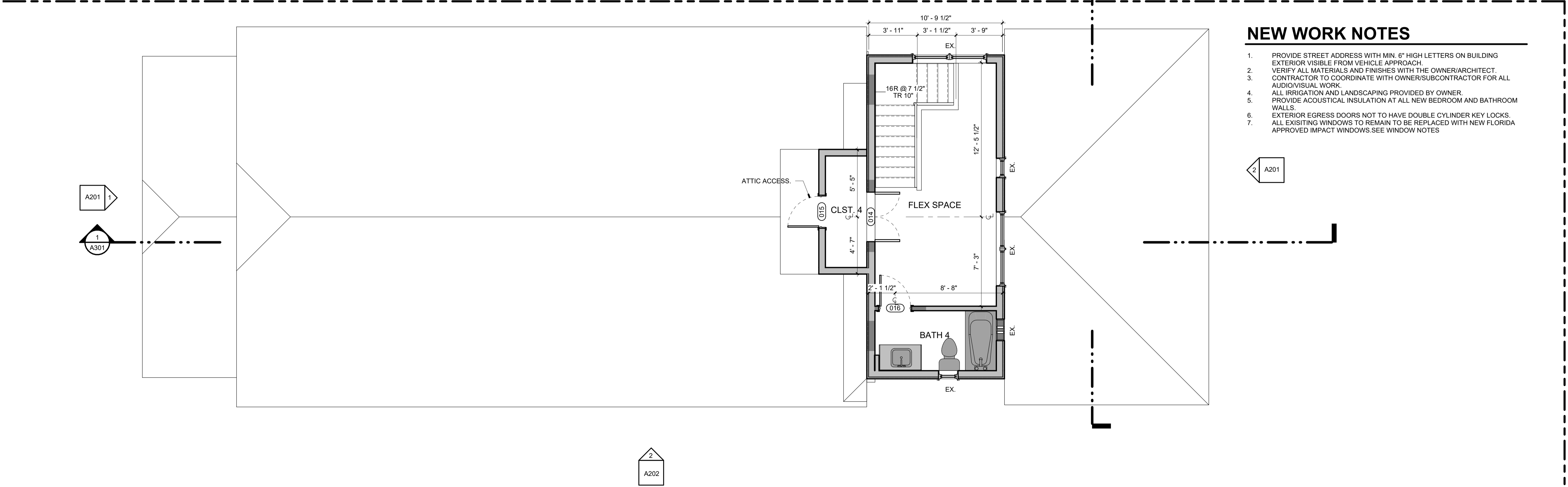
SHEET NO:

A010

PROJECT NO:
20044



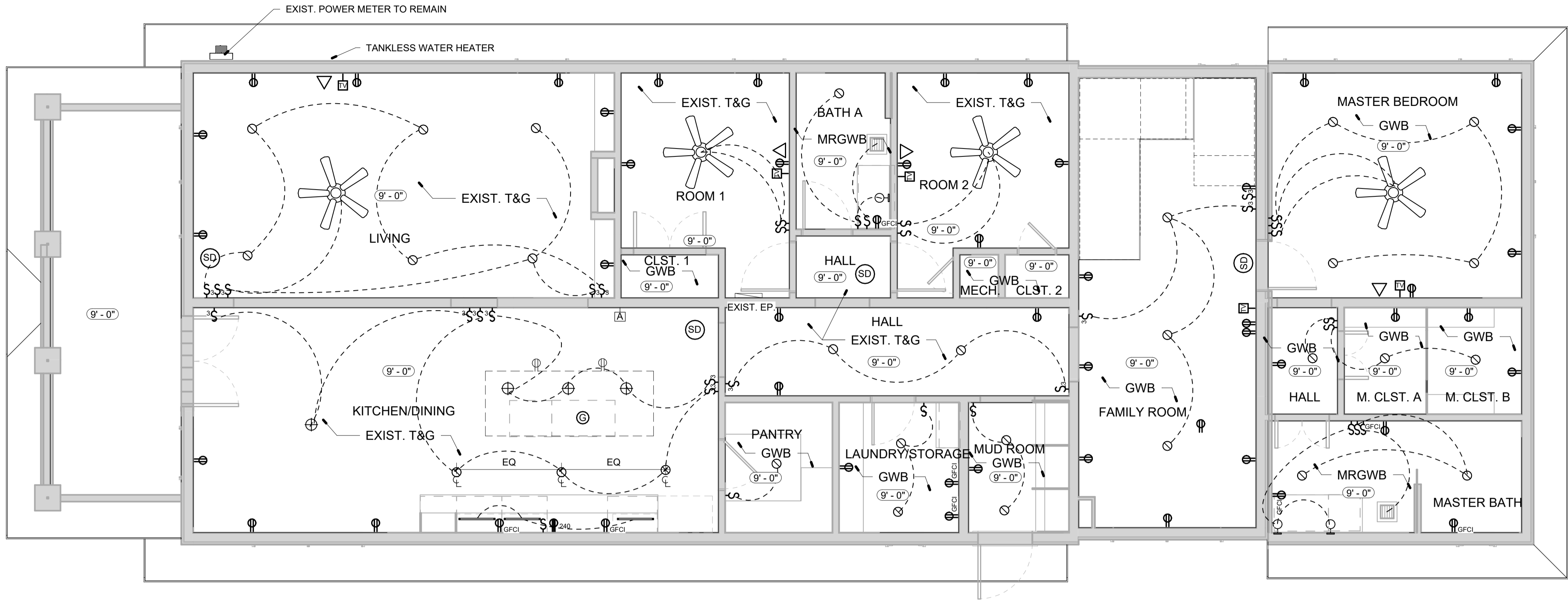
1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.
7. ALL EXISTING WINDOWS TO REMAIN TO BE REPLACED WITH NEW FLORIDA APPROVED IMPACT WINDOWS.SEE WINDOW NOTES



1 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND

- Φ DUPLEX
- 240 240V
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- SWITCH
- 3 3-WAY SWITCH
- 4 4-WAY SWITCH
- DATA
- IN-SINK GARBAGE DISPOSAL
- CABLE TV
- DOORBELL ANNUNCIATOR
- EXHAUST FAN
- RECESSED LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- WALL MOUNTED (SCONCE) LIGHT FIXTURE
- UNDER CABINET DOWNLIGHT STRIP
- CEILING FAN
- SD COMBINED SMOKE & CARBON MONOXIDE DETECTOR LISTED OR LABELED BY A NATIONAL RECOGNIZED TESTING LABORATORY. HARDWIRED TO BUILDING ELECTRICAL SYSTEM. INSTALL WITHIN 10'-0" OF ALL SLEEPING AREAS AND ENSURE EACH DEVICE HAS BATTERY BACK-UP.

ELECTRICAL NOTES

- CONFIRM ALL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- CONDUITS AND CONNECTIONS
- FINAL CONDUIT CONNECTIONS TO HEAT PUMPS, AIR HANDLERS, EXHAUST FANS, AND WATER HEATERS SHALL BE FLEXIBLE METAL (LIQUID TIGHT IN FLAMMABLE, OUTSIDE AND OTHER DAMP AND WET LOCATIONS). CONDUITS LEAVING OR ENTERING BUILDING SHALL BE SEALED PER N.E.C. TO PREVENT ENTRANCE OF MOISTURE.
- CONDUIT ROUTINGS AND DEVICE/EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL FIELD ROUTE AND LOCATE AS REQUIRED.
- CONDUIT MATERIAL SHALL BE AS FOLLOWS:
 - A) BELOW GRADE - RIGID NON-METALLIC. (POWER ONLY).
 - B) CONCEALED RISER FROM 36" BELOW GRADE - RIGID NON- METALLIC. (POWER ONLY)
 - C) ABOVE GRADE SUBJECT TO PHYSICAL ABUSE - RIGID GALVANIZED STEEL OR INTERMEDIATE
 - D) ABOVE GRADE NOT SUBJECT TO PHYSICAL ABUSE OR WEATHER - ELECTRICAL METALLIC TUBING.
 - E) INDOORS NOT SUBJECT TO PHYSICAL ABUSE - ROMEX
 - F) ALL INTERCOM, FIRE ALARM, CLOCK AND CCTV CONDUITS INSTALLED BELOW GRADE THAT ARE NOT UNDER THE BUILDING SLAB -INTERMEDIATE OR RIGID METAL. PVC NOT ALLOWED.
- CODES & EQUIPMENT
- ALL WORK SHALL COMPLY WITH LOCAL AND STATE ELEC. CODES, IN ADDITION TO THE NATIONAL ELECTRIC CODE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE W/ GULF POWER, TO ENSURE THE OWNER HAS A COMPLETE AND OPERABLE SERVICE.
- ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH SUITABLE PHENOLIC NAMEPLATES.
- THE CONTRACTOR SHALL VERIFY ALL APPLIANCE LOADS PRIOR TO RUNNING THE CIRCUIT. THE MINIMUM CIRCUIT REQUIREMENTS SHALL BE BASED ON THE APPLIANCE NAMEPLATE VALUE OR CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- COORDINATE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, OUTLETS, FIXTURES, ETC. WITH ARCHITECTURAL PLANS, ELEVATIONS AND REFLECTED CEILING PLANS PRIOR TO ROUGH-IN WORK.
- VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGHING IN FOR SWITCHES.
- WORKING SPACE OF 3 FEET SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.
- RECEPTACLES & SWITCHES
- ALL LOW VOLTAGE WIRING AND BOXES BY INTEGRATED SURROUNDINGS.
- ROUTE LIGHT FIXTURE SWITCH LEGS TIED TO DIGITAL KEY PADS AS HOME RUNS TO CLOSET SHOWN AT SOUTH WEST CORNER OF GROUND FLOOR.
- WHERE TWO SWITCHES ARE SHOWN, PROVIDE SINGLE POLE COMBINATION DECORATOR LIGHT SWITCH - WHITE
- ALL DIMENSIONS FOR MOUNTING HEIGHTS OF NEW RECEPTACLES AND SWITCHES ARE TO THE CENTER OF THE BOX.
- VERIFY FLOOR RECEPTACLE LOCATIONS (IF APPLICABLE) WITH OWNER PRIOR TO ROUGH-IN.
- RECEPTACLES, SWITCHES AND COVER PLATES SHALL BE DECORATOR STYLE. COLOR SHALL BE WHITE.
- WALL RECEPTACLES SHALL NOT BE INSTALLED BACK TO BACK.
- RECEPTACLE SPACING MUST BE PER NEC.
- ALL BATHROOMS, KITCHEN AND OUTDOOR LOCATIONS TO BE GFCI AS REQUIRED PER NEC.
- SWITCHED OUTLETS SHALL HAVE ONLY TOP PORTION OF OUTLET SWITCHED.

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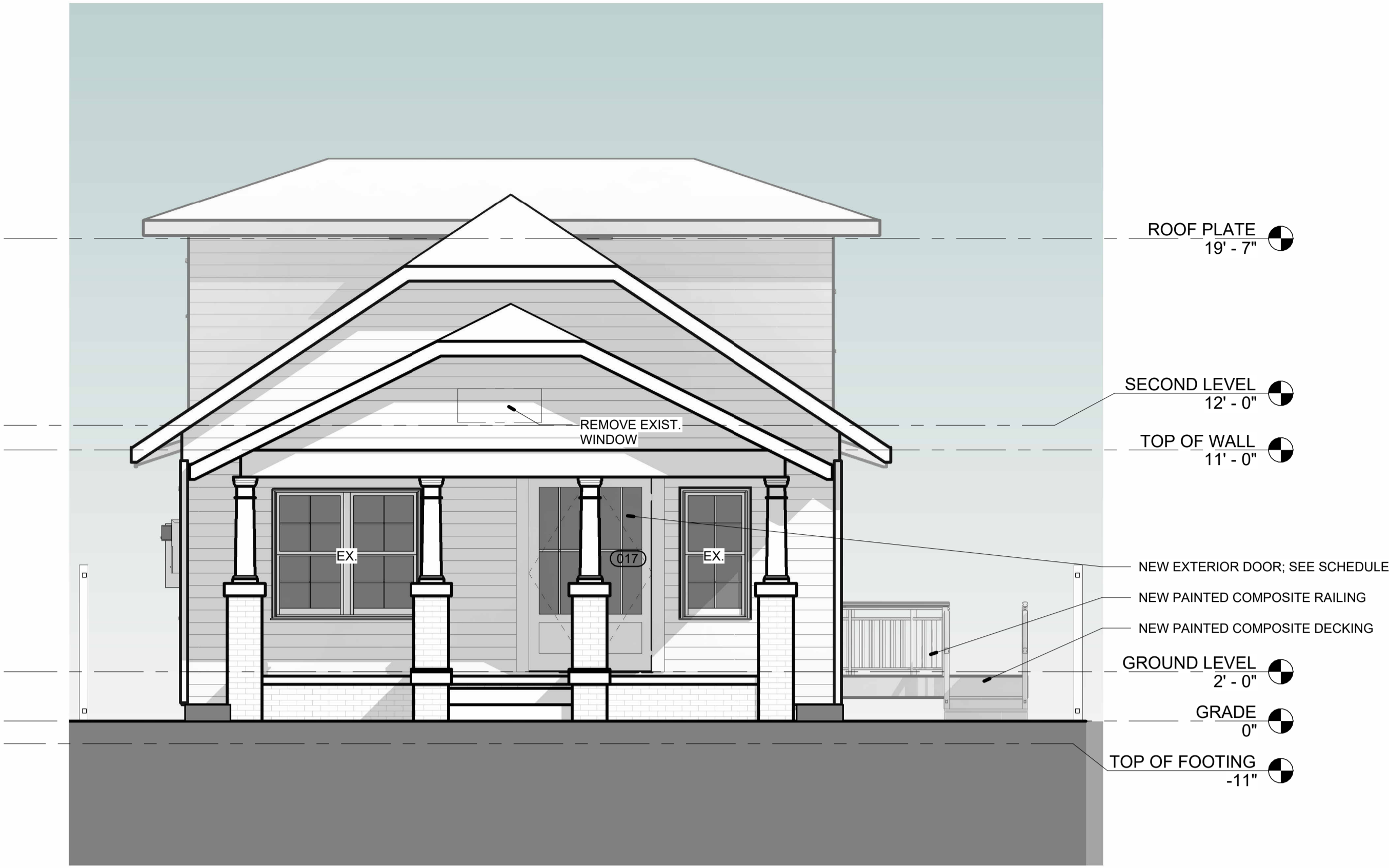
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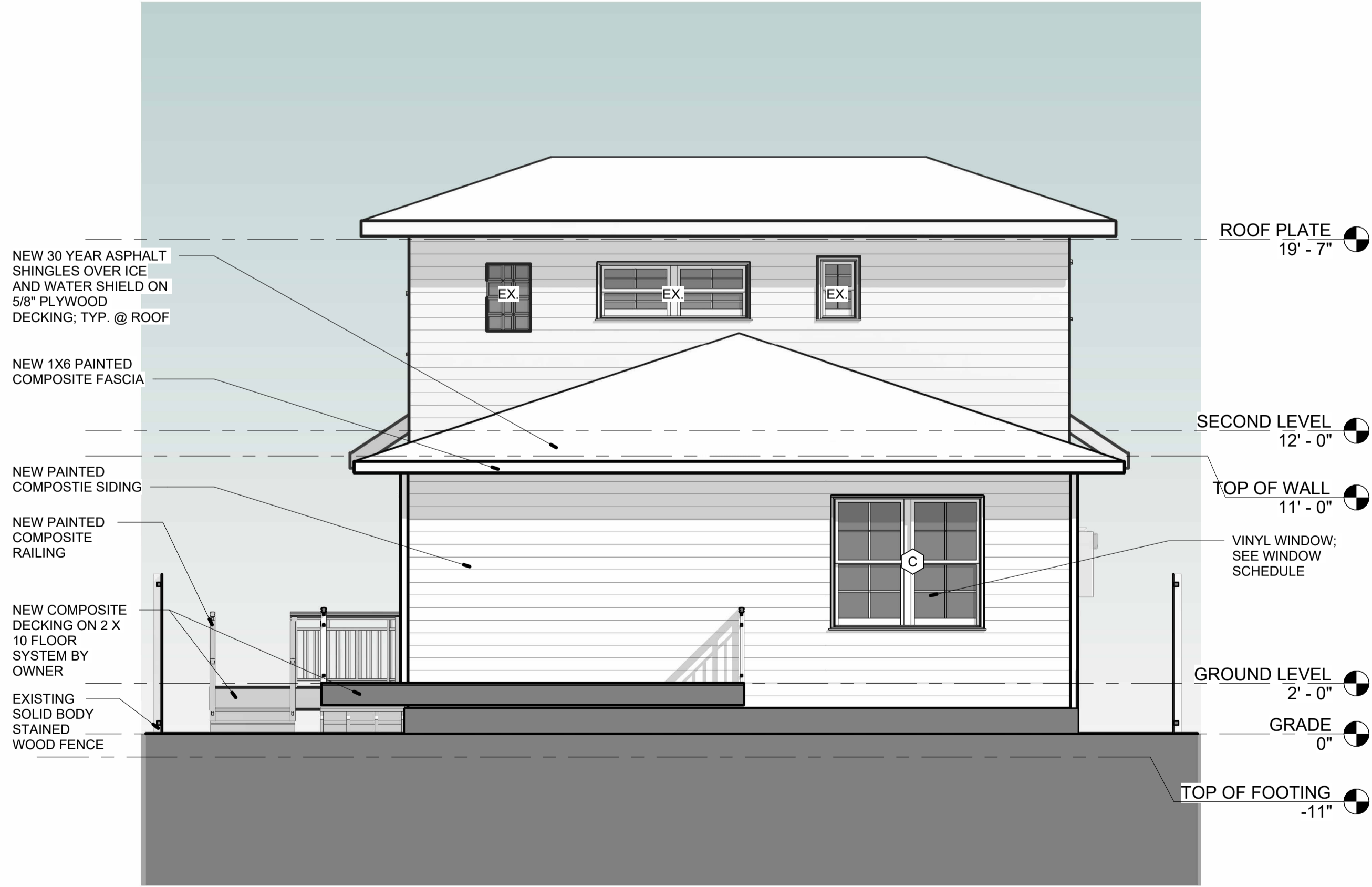
SHEET TITLE:
FIRST AND SECOND FLOOR RC/P/LIGHTING

SHEET NO:
A102

PROJECT NO:
20044



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



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SHEET TITLE:

**EXTERIOR
ELEVATIONS**

SHEET NO:

A201

PROJECT NO:
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1 SIDE ELEVATION A
1/4" = 1'-0"



2 SIDE ELEVATION B
1/4" = 1'-0"



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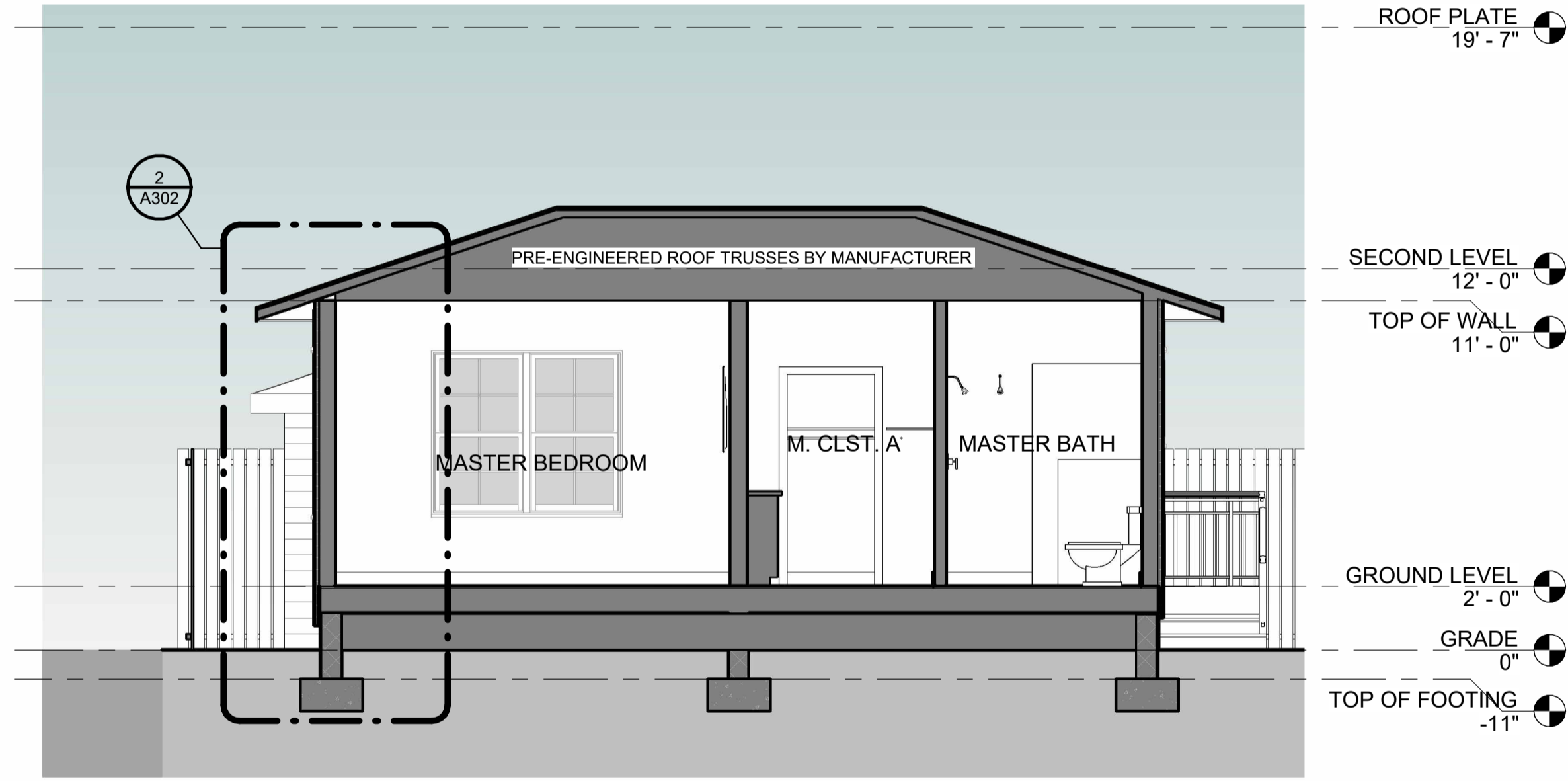
REVISIONS
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A202
PROJECT NO:
20044



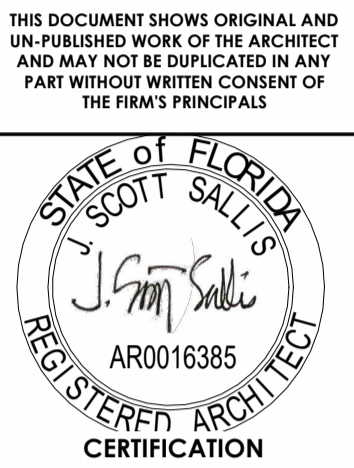
1 BUILDING SECTION 1
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"



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SHEET TITLE:
BUILDING SECTIONS

SHEET NO:
A301
PROJECT NO:
20044



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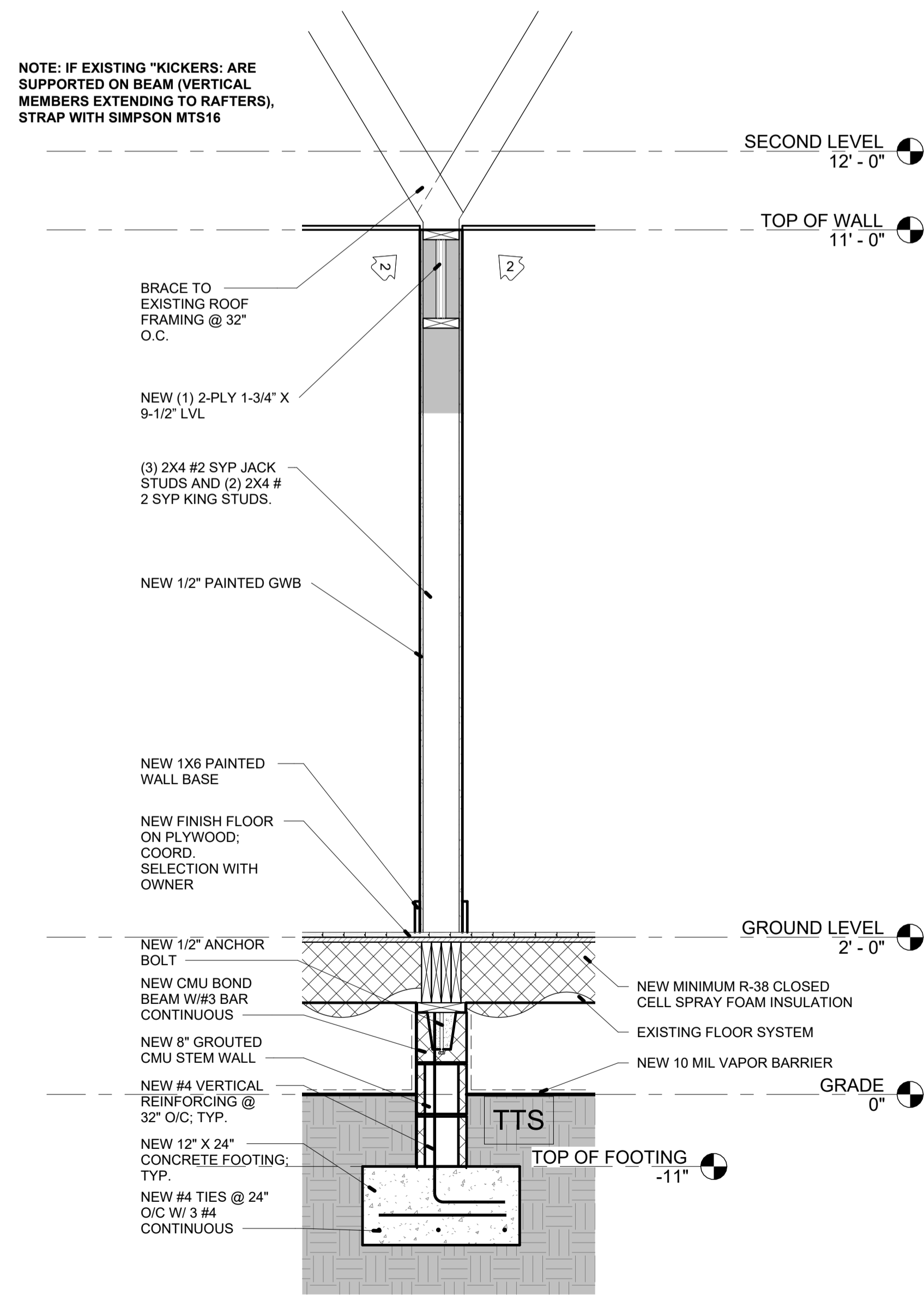
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WALL SECTIONS

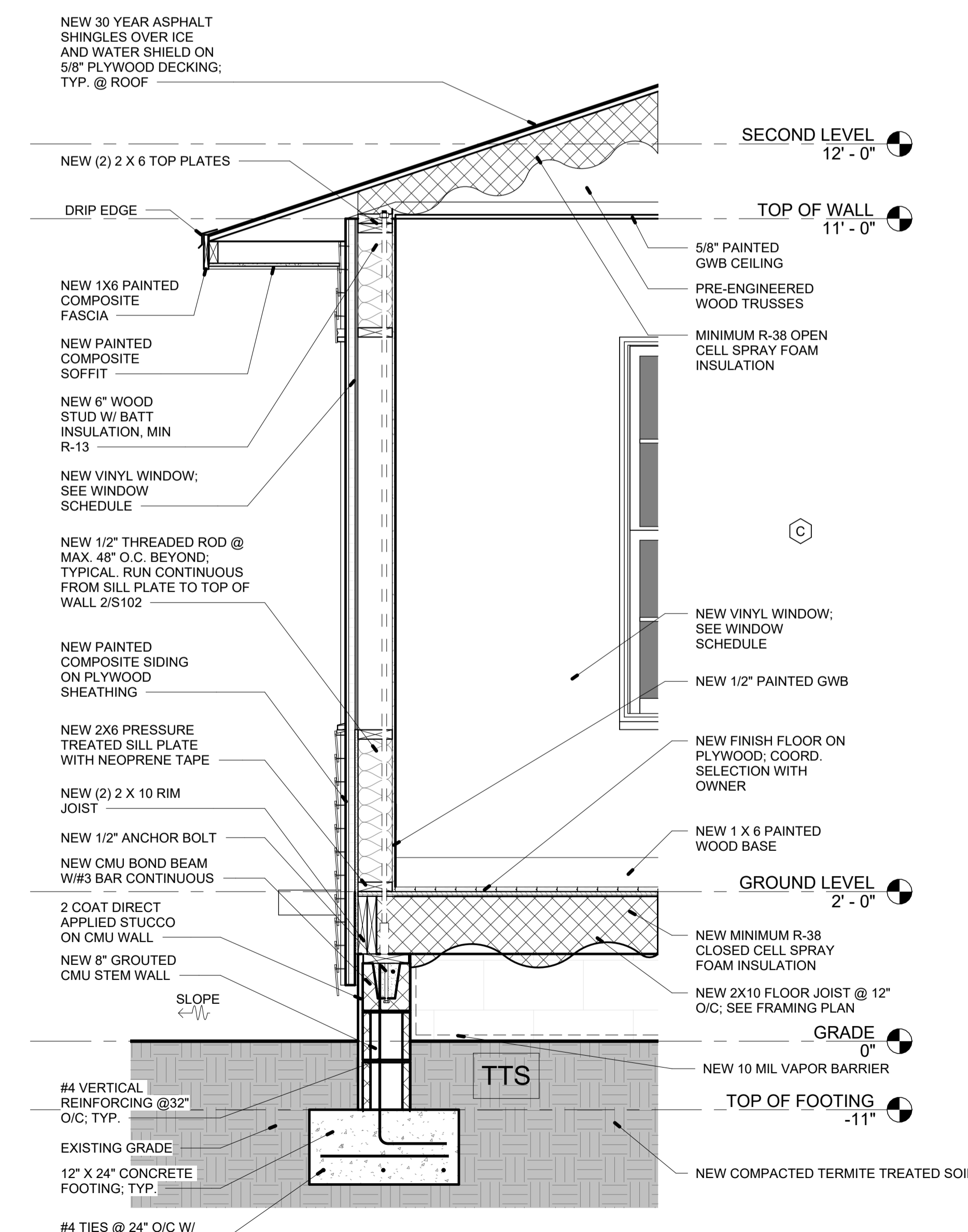
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A302

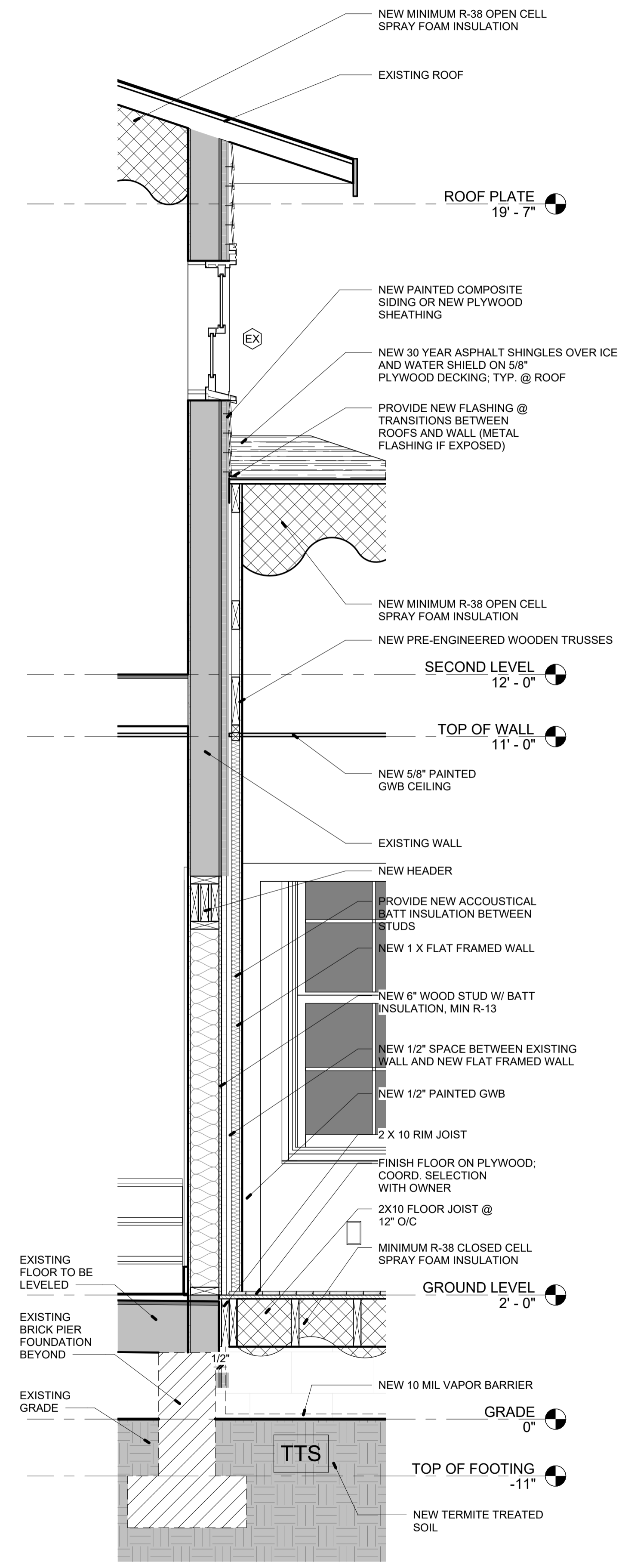
PROJECT NO:
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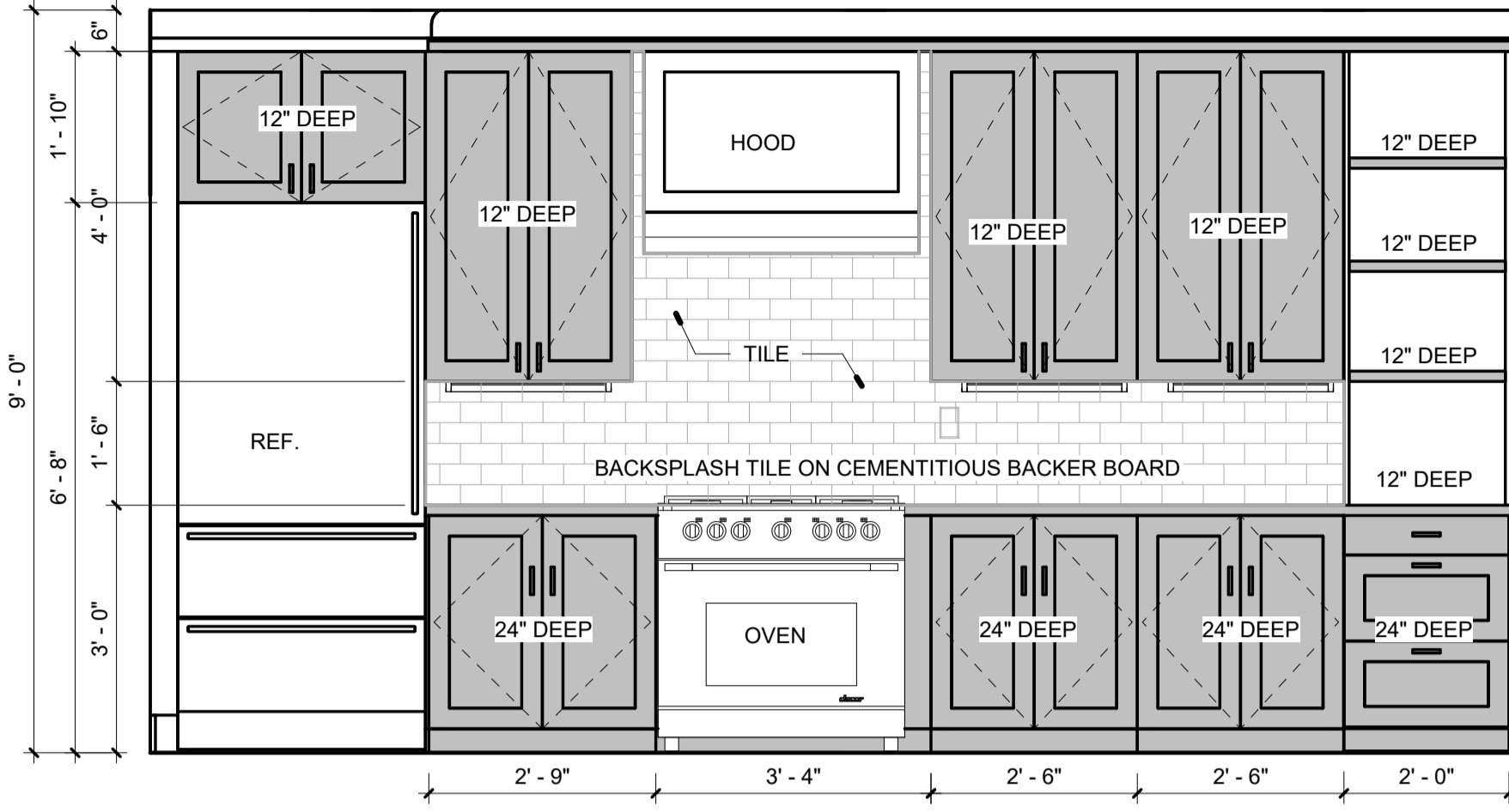
1 WALL SECTION 1
3/4" = 1'-0"



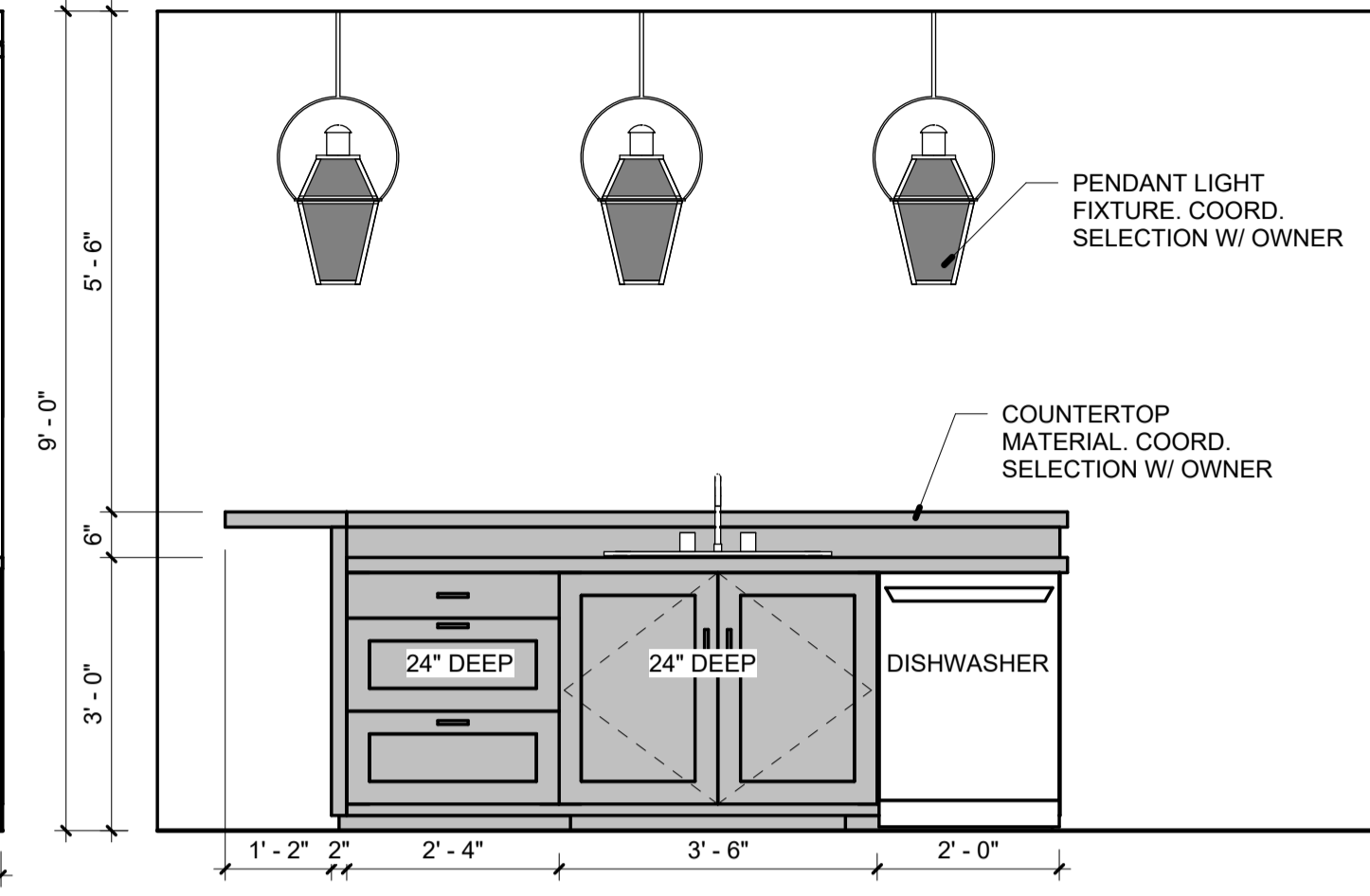
2 WALL SECTION 2
3/4" = 1'-0"



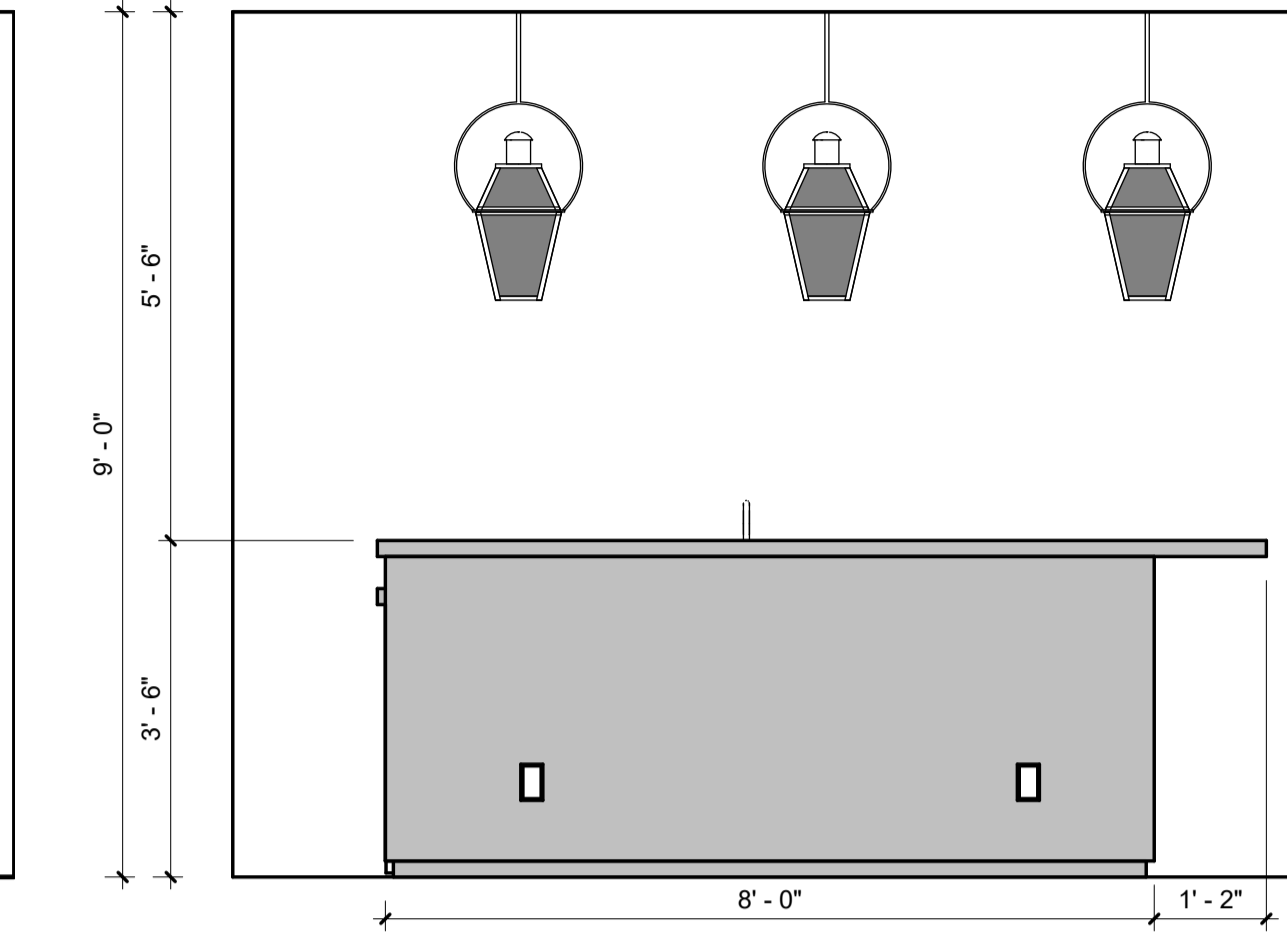
3 WALL SECTION 3
3/4" = 1'-0"



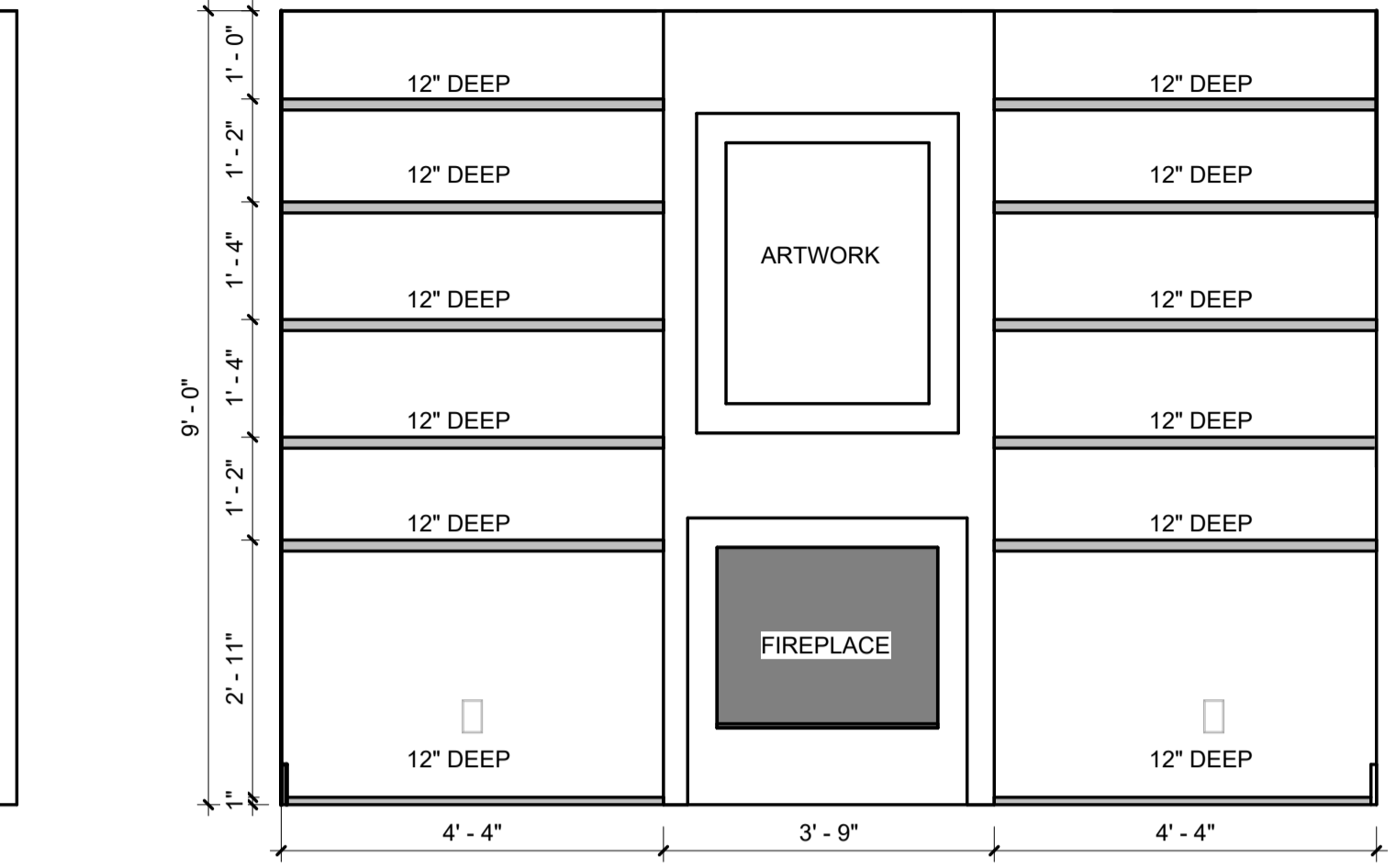
1 KITCHEN ELEVATION



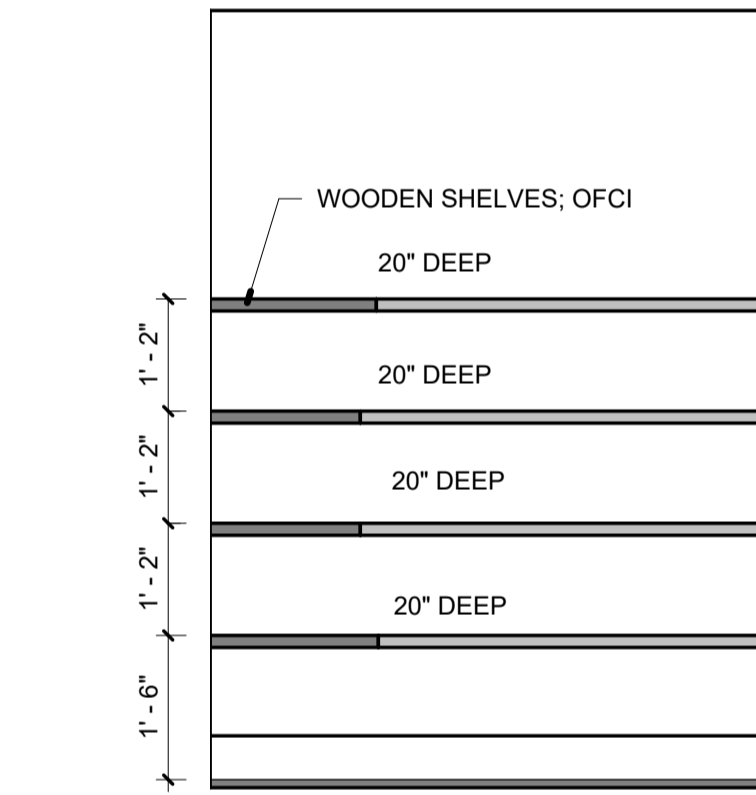
2 KITCHEN ISLAND ELEV. A.
1/2" = 1'-0"



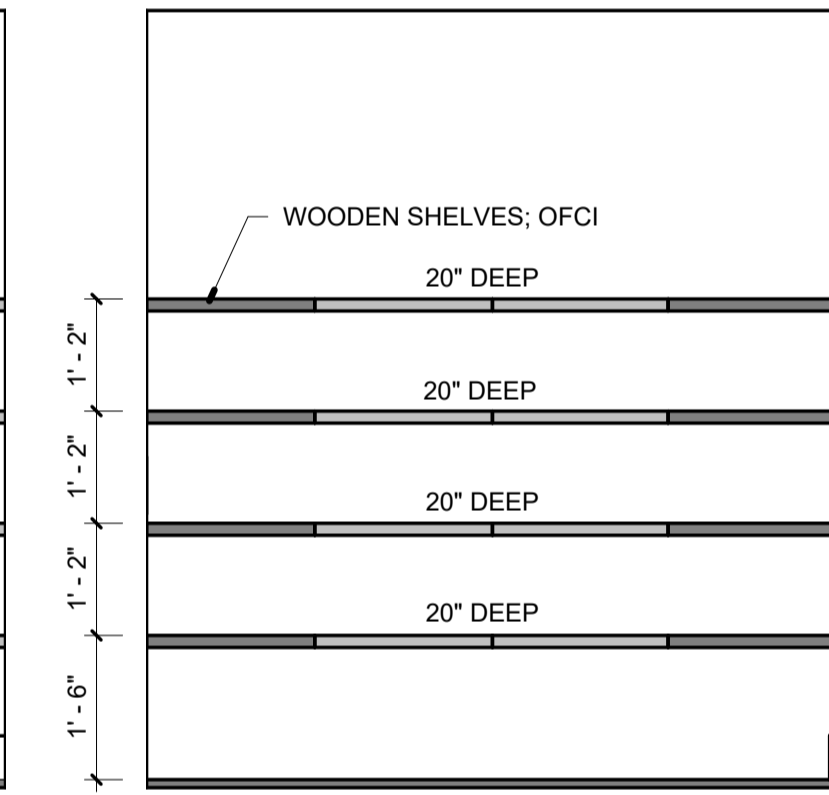
3 KITCHEN ISLAND ELEV. B.
1/2" = 1'-0"



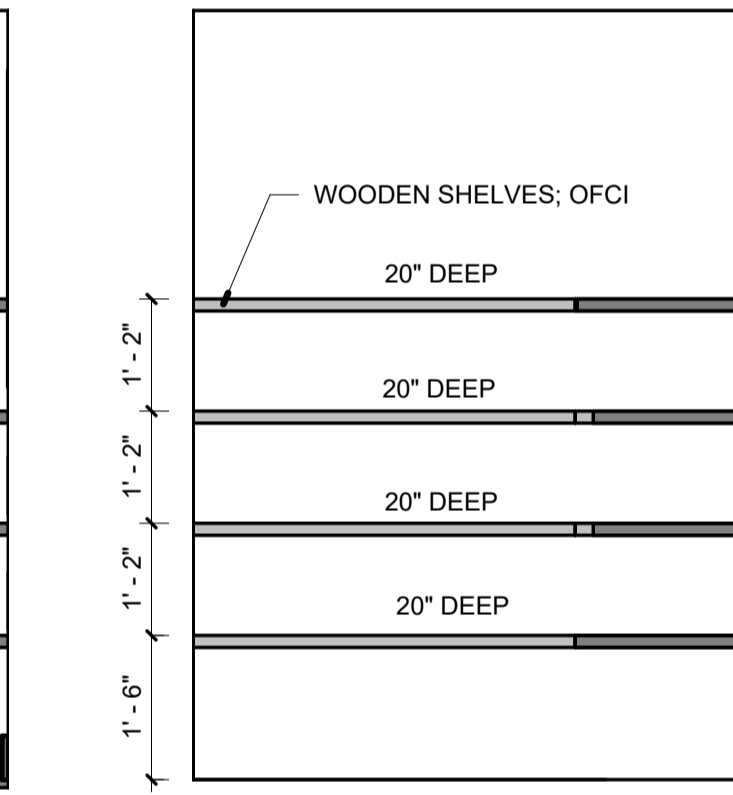
4 FIREPLACE ELEVATION
1/2" = 1'-0"



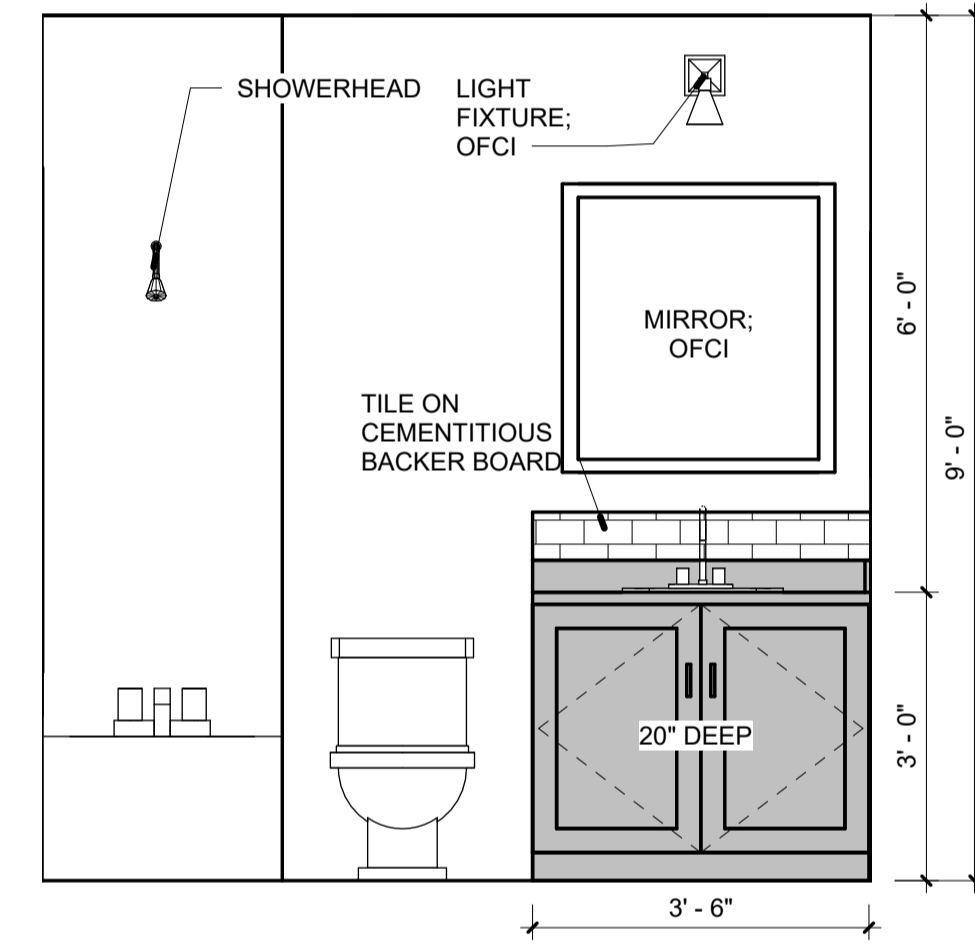
5 PANTRY ELEV. 1
1/2" = 1'-0"



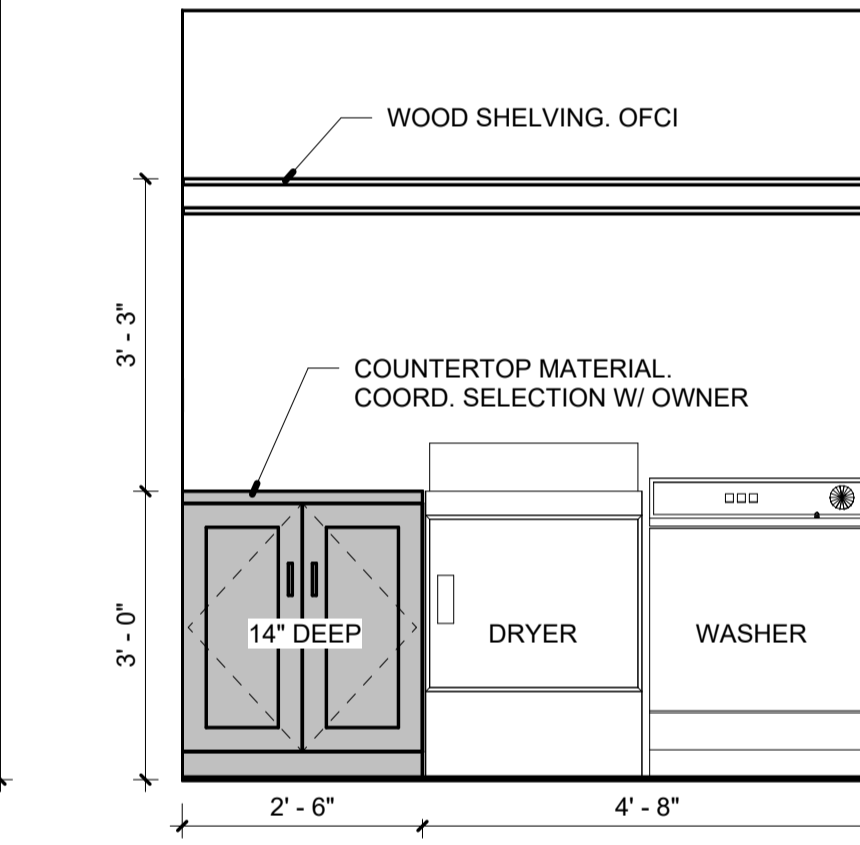
6 PANTRY ELEV. 2
1/2" = 1'-0"



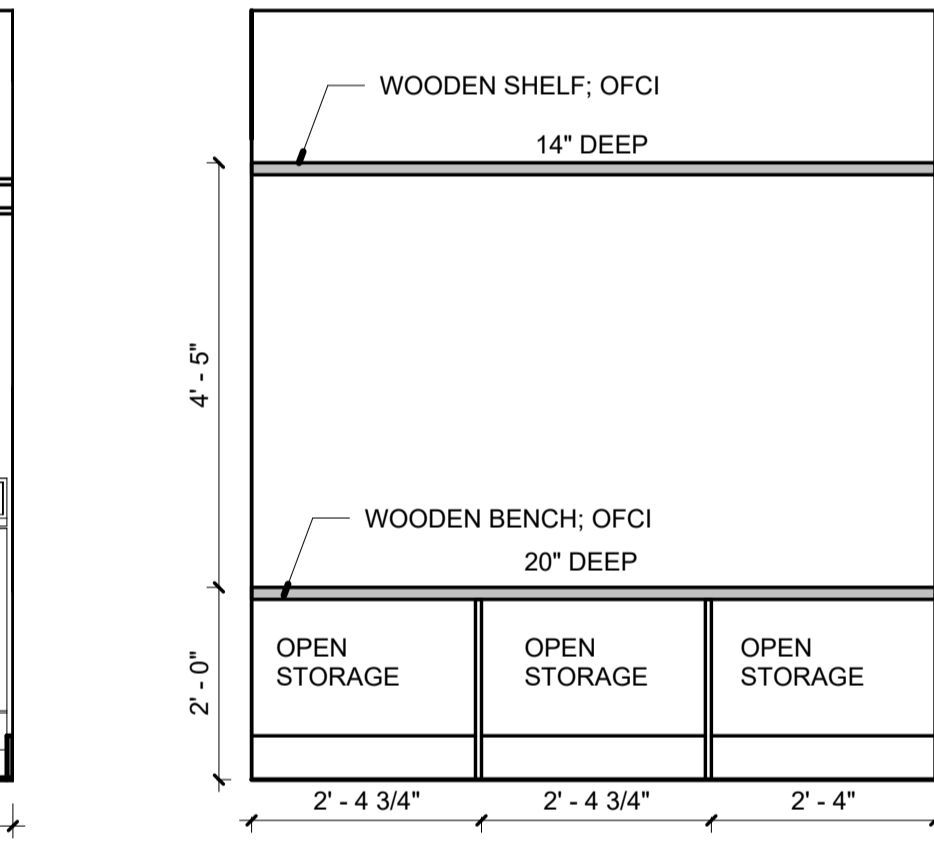
7 PANTRY ELEV. 3
1/2" = 1'-0"



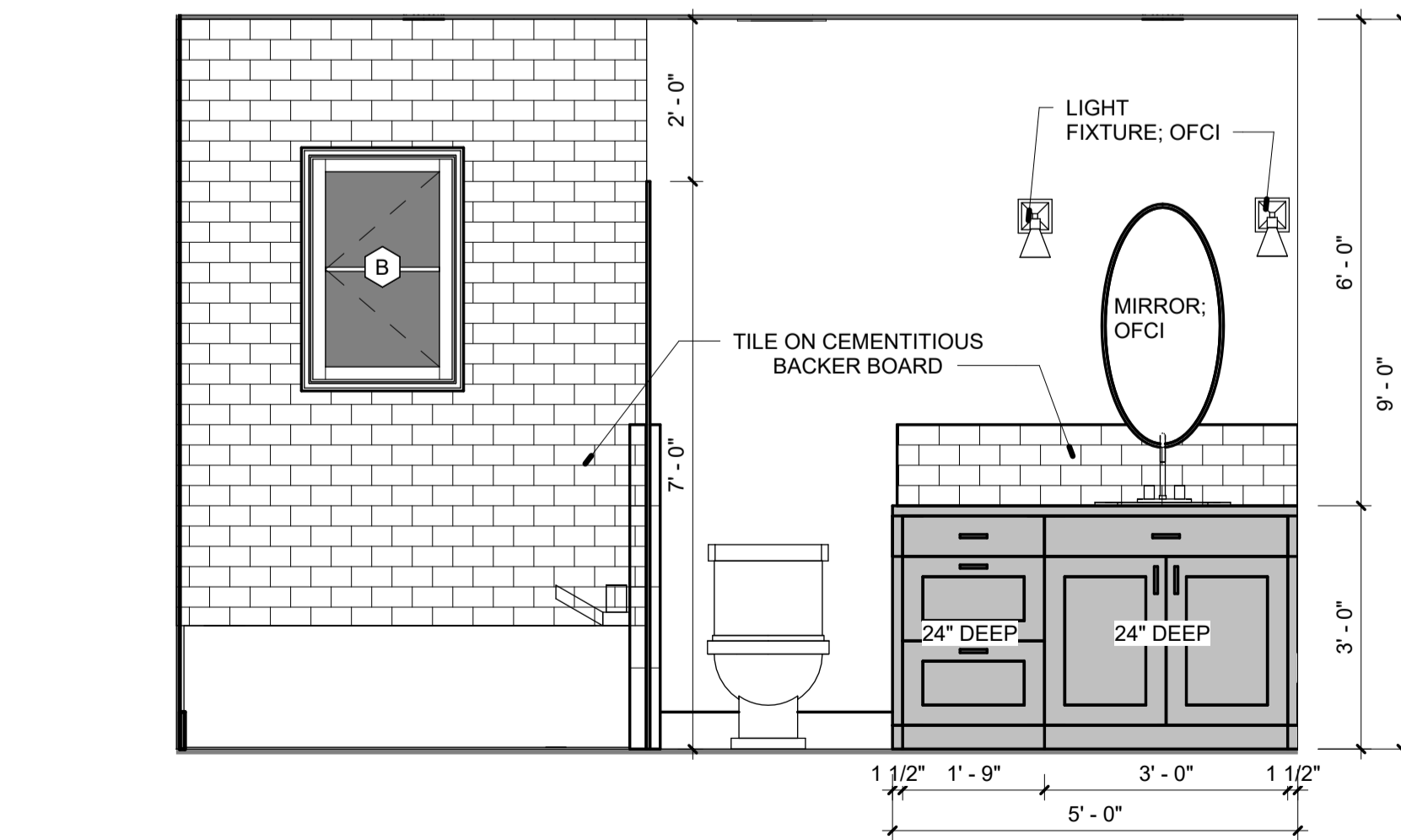
8 BATH 1
1/2" = 1'-0"



9 LAUNDRY ELEVATION
1/2" = 1'-0"



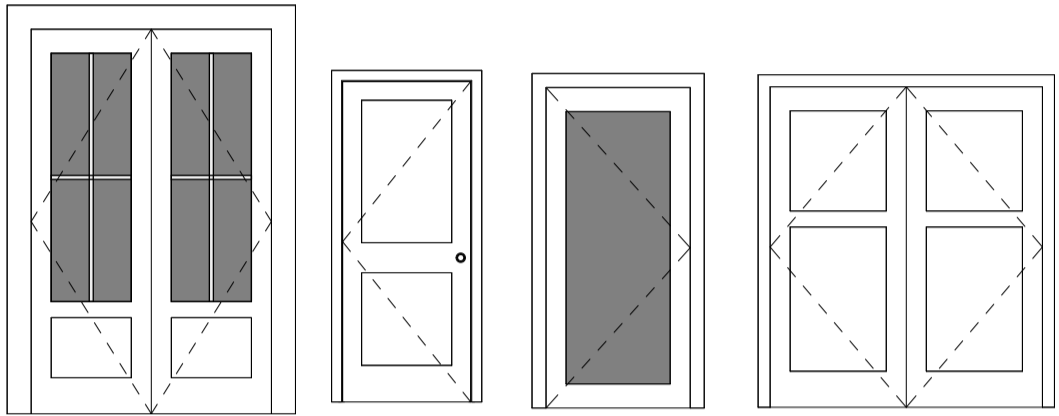
10 MUDROOM ELEVATION



11 MASTER BATH ELEV.
1/2" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	TYPE MARK	DOOR				Hardware	FRAME		Comments
		WIDTH	HEIGHT	MATERIAL	FINISH		MATERIAL		
02	B	2' - 8"	6' - 8"	WD	PAINT	PASSAGE	WD		
03	B	2' - 4"	6' - 8"	WD	PAINT	PASSAGE	WD		
04	C	3' - 0"	6' - 8"	FBG	PAINT	ENTRY	FBG		
05	B	2' - 8"	6' - 8"	WD	PAINT	PRIVATE	WD		
06	B	2' - 0"	5' - 0"	WD	PAINT	PASSAGE	WD		
07	B	2' - 0"	6' - 8"	WD	PAINT	PASSAGE	WD		
08	B	2' - 8"	6' - 8"	WD	PAINT	PRIVATE	WD		
09	B	2' - 8"	6' - 8"	WD	PAINT	PRIVATE	WD		
010	D	4' - 0"	6' - 8"	WD	PAINT	PASSAGE	WD		
011	B	2' - 8"	6' - 8"	WD	PAINT	PRIVATE	WD		
012	D	2' - 8"	6' - 8"	WD	PAINT	PASSAGE	WD		
013	D	3' - 0"	6' - 8"	WD	PAINT	PRIVATE	WD		
014	D	4' - 0"	6' - 8"	WD	PAINT	PASSAGE	WD		
015	B	2' - 6"	6' - 8"	WD	PAINT	PASSAGE	WD		
016	B	2' - 6"	6' - 8"	WD	PAINT	PRIVATE	WD		
017	A	5' - 0"	8' - 0"	FBG	PAINT	ENTRY	FBG		

DOOR TYPES

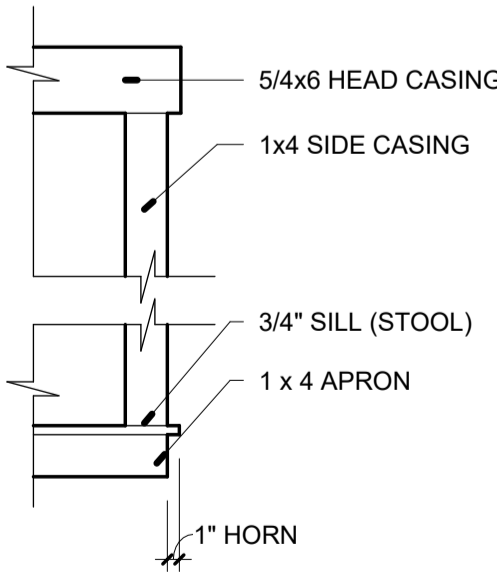


A ENTRY HALF LITE
B 2 PANEL
C ENTRY SINGLE FULL LITE
D 2-PANEL DOUBLE FLUSH

DOOR NOTES

- CONTRACTOR TO VERIFY ALL DOOR STYLES, DOOR AND FRAME MATERIALS, AND HARDWARE WITH OWNER.
- ALL GLAZING IN DOOR TO BE TEMPERED SAFETY GLAZING.
- WOOD DOORS TO BE SOLID CORE, STAINED.
- PROVIDE DOOR STOPS, BUMPERS, THRESHOLDS AND WEATHERSTRIPS FOR ALL DOORS AS REQUIRED.

ROOM FINISH SCHEDULE																	
Name	Floor Finish	WALLS NORTH		North Finish	WALLS SOUTH		South Finish	WALLS EAST		East Finish	WALLS WEST		West Finish	CEILING			Comments
		Material	Paint		Material	Paint		Material	Paint		Material	Paint		Material	Paint	Material	
GROUND LEVEL																	
BATH A	TILE	MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT	9' - 0"	
CLST. 1	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
CLST. 2	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
FAMILY ROOM	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
HALL	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		Exist. T&G	PAINT	8' - 0"	
HALL	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
HALL	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		Exist. T&G	PAINT	9' - 0"	
KITCHEN/DINING	LVT	GWB	PAINT		MRGWB	PAINT		GWB	PAINT		GWB	PAINT		Exist. T&G	PAINT	9' - 0"	
LAUNDRY/STORAGE	LVT	MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT	9' - 0"	
LIVING	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		Exist. T&G	PAINT	9' - 0"	
M. CLST. A	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
M. CLST. B	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
MASTER BATH	TILE	MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT	9' - 0"	
MASTER BEDROOM	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
MECH.	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
MUD ROOM	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
PANTRY	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
ROOM 1	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
ROOM 2	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	9' - 0"	
SECOND LEVEL																	
BATH 4	TILE	MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT		MRGWB	PAINT	7' - 7"	EXISTING CEILING HEIGHT
CLST. 4	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	8' - 0"	EXISTING CEILING HEIGHT
FLEX SPACE	LVT	GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT		GWB	PAINT	7' - 7"	EXISTING CEILING HEIGHT



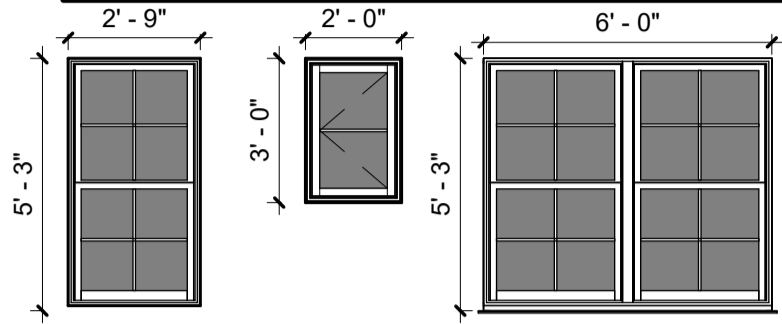
INTERIOR TRIM DETAIL

3/4" = 1'-0"

WINDOW SCHEDULE				
Type Mark	Width	Height	Head Height	Comments
A	2' - 9"	5' - 3"	7' - 5"	
B	2' - 0"	3' - 0"	7' - 5"	
C	6' - 0"	5' - 3"	<varies>	

8' - 0"

WINDOW TYPES



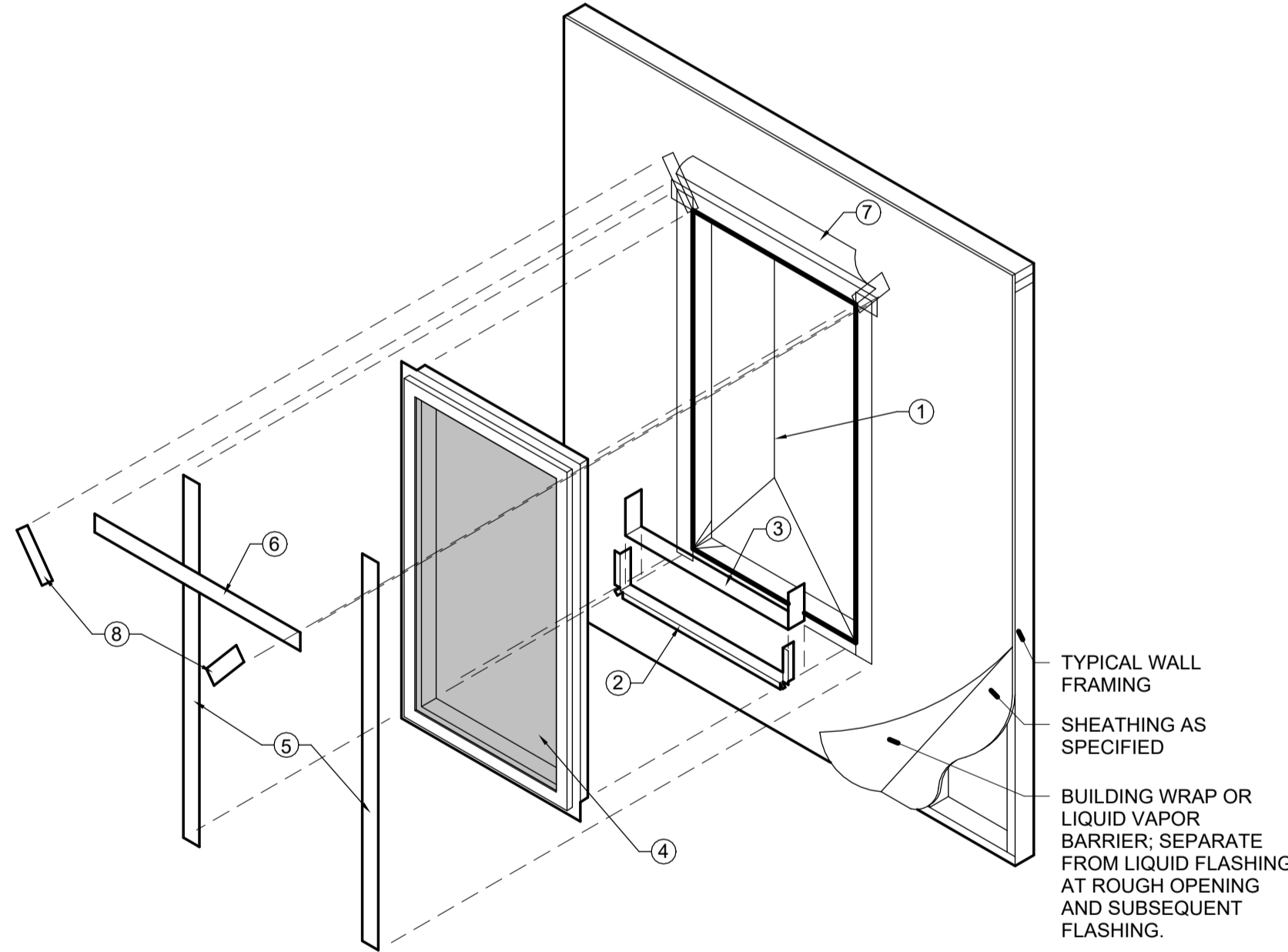
A SINGLE HUNG
B FIXED
C CASEMENT

WINDOW NOTES

- ALL WINDOWS TO BE VINYL, IMPACT-RATED PRODUCT.
- ALL WINDOWS TO HAVE MIN. LOW-E GLASS COATING.

FLASHING PROCESS FOR NEW WINDOWS

- IF LIQUID VAPOR BARRIER IS NOT USED, CUT BUILDING WRAP VAPOR BARRIER AS SHOWN. FOLD BOTTOM AND TOP SIDE FLAPS INTO OPENING AND FASTEN. TEMPORARILY HOLD TOP FLAP UP ABOVE OPENING. IF LIQUID VAPOR BARRIER IS USED, PAINT BARRIER INTO OPENING.
- PROVIDE SILL FLASHING TAPE OR ADDITIONAL LIQUID FLASHING THAT OVERHANGS OPENING 1" AND EXTENDS UP OPENING SIDES A MINIMUM OF 6".
- PROVIDE 2ND LAYER OF SILL FLASHING OR LIQUID FLASHING TO OVERLAP FIRST LAYER BY 1". DO NOT EXTEND SILL FLASHING PAST INTERIOR FACE OF FRAMING.
- INSTALL WINDOW FROM EXTERIOR OF BUILDING, PLUMB, SQUARE AND VERIFY OPERATION. FASTEN WINDOW IN OPENING WITH 2" GALVANIZED ROOFING NAILS AT 6" O.C.
- PROVIDE SIDE FLASHING TAPE OR ADDITIONAL LIQUID FLASHING TO EXTEND 2" ABOVE TOP AND BOTTOM OF OPENING.
- PROVIDE TOP FLASHING TAPE OR LIQUID FLASHING TO EXTEND PAST EDGE OF SIDE FLASHING TAPE BY 1". DO NOT TAPE OR SEAL BOTTOM NAILING FIN.
- IF LIQUID VAPOR BARRIER IS NOT USED, FOLD DOWN TOP FLAP OF BUILDING WRAP VAPOR BARRIER.
- IF LIQUID VAPOR BARRIER IS USED, APPLY ADDITIONAL LAYER OF LIQUID FLASHING ABOVE WINDOW.
- PROVIDE FLASHING TAPE/ADDITIONAL LIQUID FLASHING AT DIAGONAL CUTS AT LEAST 1" LONGER THAN CUT.
- WHERE EXTERIOR SEALANT IS REQUIRED, USE OSI QUAD MAX CHEMICALLY CURING SEALANT, OR ARCHITECT APPROVED EQUAL.



WINDOW FLASHING DETAIL

1/2" = 1'-0"

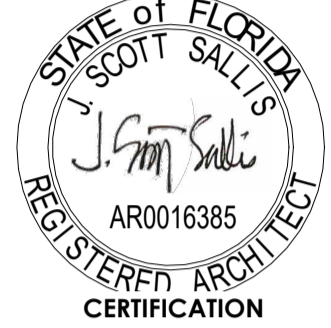


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architecture

503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsol.com

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PERMIT SET

COMERFORD RENOVATION

1602 E. BRAINERD ST.

DRAWN BY: JLR
CHECKED BY: JSS

ISSUE DATE:
06-22-21

REVISIONS
No. Des. Date

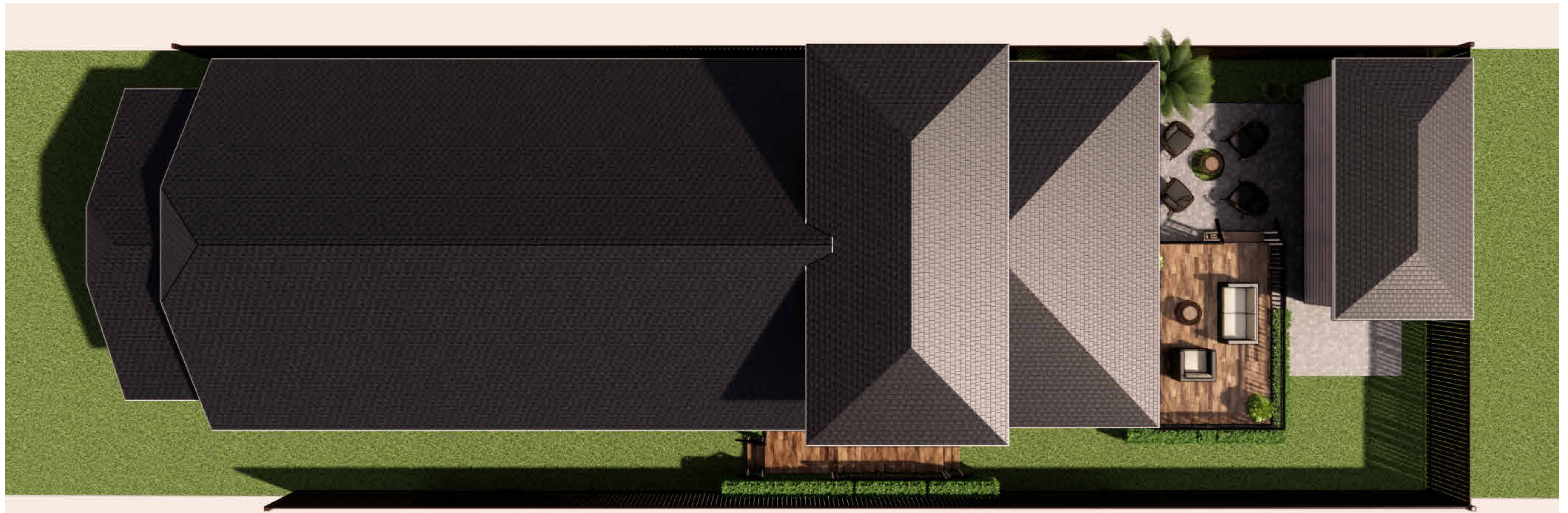
SHEET TITLE:

SCHEDULES
AND
DIAGRAMS

SHEET NO:

A601

PROJECT NO:
20044



AERIAL VIEW



RENDERED PLAN VIEW

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



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03 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
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**PERMIT SET**

COMERFORD RENOVATION

LOUZ E. BRAINERD ST.

DRAWN BY:	CHECKED BY:
SRJ	JSS

SUE DATE:
06-22-21

REVISIONS

SHEET TITLE:

3D RENDERED PLAN VIEWS

SHEET NO: _____

A701

PROJECT NO:
044



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architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
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COMERFORD RENOVATION

1602 E. BRAINERD ST.

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CHECKED BY: JSS

ISSUE DATE: 06-22-21

REVISIONS
No. Des. Date

SHEET TITLE:
**3D INTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A702

PROJECT NO:
20044

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-00778

Zoning Board of Adjustments

10/20/2021

TO: Zoning Board of Adjustments Members

FROM: Leslie Statler, Senior City Planner

DATE: 9/9/2021

SUBJECT:

1818 E. Strong Street - THIS ITEM HAS BEEN POSTPONED UNTIL FURTHER NOTICE
R-1AAA

BACKGROUND:

Click or tap here to enter text.