



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, December 16, 2021, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Members of the public may attend the meeting in person. City Council encourages those not fully vaccinated to wear face coverings that cover their nose and mouth.

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [21-01085](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES FROM 11/18/2021

Attachments: [11-18-21 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [21-01070](#) 301 W. CERVANTES STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PC-1
LANDSCAPE AND HARDSCAPE IMPROVEMENTS TO A
NONCONTRIBUTING STRUCTURE

Attachments: [Images](#)
[Application Packet 11.23.2021](#)

3. [21-01076](#) 43 S. PALAFOX PLACE
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
DEMOLITION OF A CONTRIBUTING STRUCTURE

Attachments: [Images](#)
[Florida Master Site File](#)
[Application Packet Revised 12.2.2021](#)

4. [21-01072](#) 313 S. FLORIDA BLANCA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
FINAL REVIEW FOR NEW CONSTRUCTION
- Attachments: [313 S. Florida Blanca Street Images](#)
 [Application Packet](#)
5. [21-01074](#) 428 BAYFRONT PARKWAY
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
EXTERIOR MODIFICATIONS TO A CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet 11.13.2021](#)
 [Addendum 12.6.2021](#)
6. [21-01081](#) 313 E. JACKSON STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
FINAL REVIEW FOR NEW CONSTRUCTION
- Attachments: [313 E. Jackson Street Images](#)
 [Application Packet 11.24.2021](#)
7. [21-01083](#) 400 BLK E. LA RUA STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
FINAL REVIEW FOR NEW CONSTRUCTION
- Attachments: [Images](#)
 [Application Packet 11.29.2021](#)

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01085

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

Architectural Review Board Meeting Minutes from 11/18/2021



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

November 18, 2021

MEMBERS PRESENT: Chairperson Salter, Vice Chairperson Mead, Board Member Courtney, Board Member Fogarty, Board Member Ramos, Board Member Yee

MEMBERS ABSENT: Board Member McCorvey

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Advisor Pristera, Assistant City Clerk Tice, Assistant City Attorney Lindsay, Help Desk Technician Russo

STAFF VIRTUAL: Planning Director Morris

OTHERS PRESENT: Mathew Lopez, Sid Williams-Heath, Walter Pierce, Calli Sivils, Brian Stocks, Lois Renaud, Brad Alexander, Summer Carter, Brent Guilbeau, McDaniel Wyatt, Danny Baldassaro, John Buzzell, Jim Homyak, Steve Dana

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:03 p.m. with a quorum present. The swearing in of Board Member Mead was conducted by the City Clerk's Office.

APPROVAL OF MINUTES

Board Member Mead made a motion to approve the October 21, 2021 minutes, seconded by Board Member Ramos, and it carried 6 to 0.

OPEN FORUM - None

NEW BUSINESS

Item 3
Noncontributing Structure
Action taken: Approved.

430 E Intendencia Street

PHD
HR-1 / Wood Cottages

Matthew Lopez is seeking approval for a new accessory structure at a noncontributing structure. It was noted that the garage faced the north which is a private alleyway for the Aragon Neighborhood Association, and there was approval to access the garage from that route. Mr. Lopez addressed the Board and confirmed all the materials and paint colors would be exactly

the same as the main house. With no speakers, **Board Member Mead made a motion to approve, seconded by Board Member Courtney, and it carried 6 to 0.**

Item 4

513 N Davis Hwy

OEHPD

Variance

OEHC-1

Action taken: Approved.

Summer Carter (Northwest Florida Investment Group LLC) is seeking a variance to reduce the side yard setback requirements of Table 12-3.10 of the City of Pensacola Land Development Code. The variance request is to decrease the minimum south side yard setback from 5 feet to 3 feet to accommodate a new single-family residence and access to off-street parking.

Ms. Carter presented to the Board and stated the parking across the street issue and vehicles parked in front of the houses had been addressed with shared driveways in the rear, but that would require a variance to allow enough room between houses for the parking. Staff advised Old East Hill had provided comments. Ms. Carter advised they had received DOT approval to remove the curb cut to accommodate the shared driveway. Staff explained that the only requirements in this zoning district were side yard setbacks which would be reduced to provide more room for the shared driveway. In the prior presentation, the ribbon drives in the front were deemed inappropriate for the district. It was also noted there were no minimum size lot widths in this district. Board Member Mead asked if there was anything in granting this common access that would affect any other lots or parcels in the district. Staff indicated there was a similar case on North Davis Highway which involved 3 houses requesting a similar variance. It was noted this variance request was 3' but the site plan indicated 3.5' just in case; the development was shown as the minimum required to make this plan work; the on-street parking was not on the side of the development and presented a safety issue. Board Member Yee asked Board Member Mead if this answered his questions and showed a variance was appropriate in this instance, and he confirmed he was prepared to approve a variance in this case.

Staff indicated variances were quasi-judicial hearings, and this would become a legal process with all 9 criteria required to be met. **Board Member Ramos made a motion to approve the variance considering that it did meet the variance criteria per Section 12-12-2(A)(2).** Assistant City Attorney Lindsay stated specific findings were required when a variance was denied, but specific findings were not required on approvals as long as the Board made clear that it had considered whether the variance criteria had been met; she asked if 12-13-3(E)(1) had also been met and could the motion be amended to indicate that as well. **Board Member Ramos amended the motion that the variance request met the 12-13-3(E)(1) requirements as well. Board Member Mead seconded the motion, and it carried 6 to 0.**

Item 5

515 N. Davis Hwy

OEHPD

Variance

OEHC-1

Action taken: Approved.

Summer Carter (Northwest Florida Investment Group LLC) is seeking a variance to reduce the side yard setback requirements of Table 12-3.10 of the City of Pensacola Land Development Code. The variance request is to decrease the minimum north side yard setback from 5 feet to 3 feet to accommodate a new single-family residence and access to off-street parking.

Board Member Mead asked staff if there was any difference in 515 No. Davis, and staff confirmed there was not. **Board Member Mead made a motion to approve the variance which met 12-12-2(A)(2) and 12-13-3(E)(1) criteria. Board Members Ramos and Fogarty seconded the motion, and it carried 6 to 0.**

Item 6

513 N. Davis Hwy

**OEHPD
OEHC-1**

New Construction

Action taken: Approved with Abbreviated Review.

Summer Carter (Northwest Florida Investment Group LLC) is requesting *FINAL* review of a new single-family residence.

Ms. Carter addressed the Board and presented pictures of the side and rear doors as well as those in the initial packet; the narrow windows were also replaced with those similar to a residence built just to the north. Old East Hill had requested the roof pitch be increased from 6' to 12' which was the minimum typically allowed. It was determined the siding reveal was 5". The mullion pattern of 2:1 for the windows was preferred and more common to the district. Board Member Courtney thought a transom added over the front door would enhance the appearance. She questioned the dormer, and Advisor Pristera explained the way it was presented, he did not think it added to the house. Board Member Courtney also addressed the top of the slab since there had been issues with sloping off grade. Chairperson Salter stated the measurement was usually 18", and Ms. Carter explained they try to go higher in those instances. She also indicated the corbels would be used on the columns. Advisor Pristera stated they should have been shown on the drawings or at least in an abbreviated review. Board Member Ramos asked if the window pattern could be 2:1 rather than the 6:6, and Ms. Carter stated it could. She asked for clarification on the roof, and Board Member Courtney advised it would look better with a steeper pitch. Board Member Fogarty thought the dormer could be eliminated, a transom over the front door would be nice, and stated the 6:6 windows might be too busy for that neighborhood; she wanted the project to return with revisions to the window mullion pattern.

Board Member Yee suggested removing the dormer for this location, and the transom over the front door was good but wanted them to consider raising the front door height to 8' to match the other side and rear doors; Ms. Carter suggested one door having a transom and one being 8' to differentiate. Board Member Yee suggested increasing the roof pitch to 8:12 which would satisfy Old East Hill. Staff advised while the roof pitch was not specifically discussed, all new construction should complement and reflect the historic district. Board Member Courtney explained there was no CRA overlay in Old East Hill, and this house would appear peculiar. Advisor Pristera explained the typical roof pitch in Old East Hill was usually steeper and 8:12 would be appropriate. Board Member Ramos asked if the roof pitch was too much for an abbreviated review, and staff advised it would be an elevation drawing review, and the Board would determine whether or not it was appropriate. Advisor Pristera explained as an abbreviated reviewer, this house was small enough and as long as the changes were listed clearly, he would be comfortable with that process.

Board Member Yee made a motion to approve with the conditions that 1) the elevation be modified, 2) remove the dormer above the porch, 3) the front door be modified to either include a transom above it or be enlarged to 8' to align with the windows, 4) the porch corbels or brackets be included or eliminated, and 5) the window mullion pattern be 2:1. Chairperson Salter clarified that the approval was based on the revised elevations provided at the meeting. Board Member Ramos seconded the motion with the amendment that the roof pitch be 8:12. The amendment was accepted. Board Member Courtney seconded the motion, and it carried 6 to 0.

Item 7

515 N. Davis Hwy

**OEHPD
OEHC-1**

New Construction

Action taken: Approved with Abbreviated Review.

Summer Carter (Northwest Florida Investment Group LLC) is requesting *FINAL* review of a new single-family residence.

Board Member Courtney indicated the gable vent should be rectangular and not oval, and Chairperson Salter agreed. Ms. Carter advised placing a transom on one door and increasing elevation to 8' on the other would eliminate it looking similar. Board Member Ramos explained the goal was to align the top of the door with the head height of the windows. Chairperson Salter asked if the horizontal windows would be changed like those in 513, and Ms. Carter advised they would. **Board Member Mead explained in light of the prior motion, he would make a motion to approve addressing window mullions consistent with the discussion, adjusting the door head height either by transom or by extending the doorframe upward to match window height, and that it be submitted for abbreviated review. Chairperson Salter amended the motion to include that the front gable be changed to rectangular and considered under the abbreviated review. It was accepted. Board Member Yee amended the motion to increase the roof pitch from 6:12 to 8:12 which was accepted. The motion was seconded by Board Member Fogarty and carried 6 to 0.**

Item 8

18 N. Palafox Street

PHBD

Contributing Structure

C-2A

Action taken: Approved with Abbreviated Review.

Carter Quina is seeking approval to replace the front entry doors at the Rex Theater. The existing wood doors will be replaced with new painted aluminum doors with impact rated glass and applied trim matching the exiting elements.

Mr. Quina presented to the Board and stated they were trying to replicate the look with an aluminum frame, painted shiny red, with yellow trim over the impact glass. They were dealing with a flood proof door company who would create an interior astragal removable door to truly seal the entry in a flooding event. Chairperson Salter explained this building was a defining piece of architecture on Palafox with the doors being that defining characteristic. He understood the doors were wood and a maintenance issue and also understood a change in material of the core of the door, but he could not see the justification for changing exposed and visible design features and characteristics. He felt a door could be constructed that maintained those characteristics and could satisfy the maintenance conditions as well; he could not justify changing the doors to full glass with applied mullions. Board Member Courtney asked if the door could be designed in steel. Mr. Quina explained the exterior of the doors was wood with chrome trim and a high gloss paint. Chairperson Salter pointed out so much of the building was acrylic, plastic or metal, and a steel door would keep the characteristics of the building as long as the style and shape were maintained. Mr. Carter thought it could be replicated in painted hollow metal, but that would represent other maintenance issues, but they could not replicate the door using aluminum frames. The clients had suggested opening up more glass to the street since that was the intention of the retailers along Palafox, creating more relation to the sidewalk, and this was also their main entrance. Chairperson Salter did not believe in the sacrifice of a historical element of the building for the maintenance issue and suggested there were ways to still maintain the architectural feature to be a compromise on both ends, the aesthetics for the history as well as the maintenance.

Board Member Mead pointed out the elevations had changed significantly over the years; the light entry was to minimize the light in the lobby, making its function adaptive to its current use. Board Member Courtney asked if the lighting could be changed in the lobby, and Board Member Mead pointed out it was a church relating to people coming by on the street, and how it is perceived is important. He indicated it was an unconventional view of a church in terms of its origin, but bringing light in dark spaces was not only an architectural point but also a theological point of a church. Mr. Quina advised they looked at the options of saving the old doors, rebuilding them exactly the same, or making them better. Board Member Fogarty asked if they had considered less glass as a

compromise; Mr. Quina suggested red glass, and Board Member Mead pointed out varied colors in glass were also common in churches. Board Member Ramos pointed out the Secretary of Interiors standard for rehabilitation would want the door to be replaced with another identical wood door. For the sake of the flooding issue, location of the building, and the overall preservation, it would be acceptable to change the material of the door but to maintain the same look. Advisor Pristera had an issue with the applied pattern as presented. He did like the compromise with the red film blocking out the corners, keeping the long rectangle of glass and octagon glass which would be a good middle ground for him, but the glass with the applied muntin pattern was too modern for this door. He explained it was a very iconic building, and the doors were a key piece. Mr. Quina advised the church would like a door with as much glass as the Board would allow. **Board Member Fogarty made a motion to approve the door with the modifications: red painted aluminum to infill the top left and right corners and two lower side panels so the only exposed glass is the center vertical column and the octagon. Board Member Mead offered an amendment to include the applied red interior infill at the top glass, and it was accepted. Board Member Mead seconded the motion.** Board Member Fogarty clarified that the colored glass would be more cost effective than the metal, and she was open to either of the options, and Board Member Mead was agreeable. **Chairperson Salter explained the motion was for either metal or glass infill panels of red on the two side vertical pieces and upper corners and applied red infill. The motion failed with Board Members Yee, Fogarty and Mead voting in favor, and Board Members Ramos, Courtney, and Salter dissenting.** Chairperson Salter confirmed that he could make a motion to approve a replacement door matching the same exact criteria of the existing using a different material, and staff agreed. Mr. Quina asked if it would be appropriate for them to request an approval for a replica made in hollow aluminum or an alternative material at this time. **Chairperson Salter made a motion to approve replacement doors for this project under the circumstances and criteria that those replacement doors match the existing in size, shape, window size and applied decoration same profile, but the door materials themselves due to maintenance issues may be of a hollow metal or other wood should that be decided. Regarding fiberglass, he clarified any material that maintains the solid flat visual of the existing, and that the final door returns with material and applied mullion for an abbreviated review. Board Member Courtney seconded the motion, and it carried 6 to 0.**

Item 9

400 S. Jefferson Street

PHD

Contributing Structure - Conceptual

HR-2

Action taken: Denied Without Prejudice.

Carter Quina is seeking conceptual approval for a new rooftop venue and new entry stoop to the existing courtyard and banner replacements on the south façade. Since this is for conceptual review, final review of the proposed alterations and additions will follow at a later date. Additional information and a virtual flyover presentation were provided to the Board.

Mr. Quina presented to the Board and explained the building had been studied for adding a fourth floor. Since the building had magnificent views of Pensacola and the bay, there needed to be access to it. The only stairway was in the southwest corner, which looked like it was designed to proceed to another level; the building was allowed four stories with Type 2A construction and already had a penthouse above the theater. They planned to replace a bottom floor window with a door and a matching stoop and enliven the existing courtyard which would include a new wrought iron gated fence around the patio. They had done some feasibility and construction estimates, an unveiling, and they had a million-dollar donor. He explained with all the use, the building required interior renovations as well.

Chairperson Salter asked about the new proposed rooftop venue and the floor level element – was that as low as it could be. Mr. Quina advised it was since those were structural beams with the ceiling of the theater below. He explained the grid which held up all the stage operations. He also explained the service bar against the wall and the trellis and advised this would not be seen from the ground. Board Member Mead pointed out the banner posts preserved the balance; the penthouse was painted out to minimize its impact, but now we had something different. It was now differing from the established above parapet language; it was radically altering the sense of symmetry as between this element and that element above parapet, but more importantly, the façade on Jefferson Street. He did not know if there was any way to accomplish this without extending something further north to give that balance and catching some element of the ornament in the façade to pick up what was going to be seen in the rooflines. Breaking the symmetry on that prominent corner was problematic. Mr. Quina explained the key place was the stairs in the corner and the elevator opposite of the arch – both of those were already in place down to the foundation of the building. He also explained the building code considered this the 4th floor. He agreed glass could be a consideration. Board Member Ramos advised glass was used in Europe where the rooftop structure was lighter and more modern; if they went more modern, they could mimic the volume of the penthouse on the other side, creating a better balance. He felt the mansard in the corner threw off the balance on multiple facades. Mr. Quina considered the presentation more respectful and more fitting to the location.

Advisor Pristera had seen other buildings with the mansard roof, but if it continued to the corner, he would be more receptive to it. But, if it was glass, that would be more modern, and he felt downtown was going in a new direction with new development. It being a cultural center, the building could pull off the modern design. Most people would be approaching from the north, and symmetry might not be a problem. Mansard was more traditional, but modern glass could possibly make it read as a special feature. Board Member Fogarty wanted to consider something more modern which does not look like it was trying to match the existing – something that contrasts unlike something which disappears. She suggested something resembling the penthouse or plant material surrounding the exterior wall. She did not think the Board should be opposed to moving in a non-traditional direction. Mr. Quina agreed glass would be more expensive than metal but was glad to pursue a more contemporary design. Board Member Mead pointed out they would need to pull out an existing element such as the barrel vault on the Jefferson side.

Board Member Ramos was happy there was a client willing to develop a space like this; the challenge was for the architect to bring back something that addressed the balance and maybe more modern; the presentation today takes away from the existing contributing structure. Board Member Mead had no problem with changing the window to a door on the north side. Chairperson Salter's only concern was the introduction of the podiums and the new lights at the same level and suggested minimizing how they introduced the lights and the steps to not have them compete with the two corner elements. Regarding the rooftop, the cornice line of the building was such a strong and dominant element, he did not see the asymmetry as an issue. He agreed the proposed materials were appropriate for the current presentation but was intrigued by the possibility of introducing a totally different material and maybe something asymmetrical about this mass on the top as well. Mr. Quina asked if this item could be tabled, and Chairperson Salter advised the Board was not allowed to table an item and staff confirmed. Staff explained this was a conceptual review and could return as a conceptual review. **Board Member Mead made a motion to deny without prejudice for resubmission, seconded by Board Member Courtney. The motion then carried 5 to 1 with Chairperson Salter dissenting.**

Item 10

36 E. Garden Street

PHBD

New Construction

C-2A

Action taken: Approved with Abbreviated Review.

Philip Partington is requesting *FINAL* approval for a new single-story commercial building. The proposed plans show a rebuild of the existing building which were conceptually approved in August 2021.

Mr. Partington presented to the Board and provided additional information on the screening of mechanical equipment which was placed in the center of the roof. Since there was a concern about the utilitarian elements (grease traps, etc.), instead of a shed, they provided an alternate elevation, basically pulling the elevation around the back. The living wall is made up of stainless-steel wiring with large 72" aluminum planters on the west wall to soften both elevations. They also have a cast stone base which recesses back to the windows. Chairperson Salter asked about the brick coursing, and Mr. Partington stated it was intentional. Board Member Yee addressed the line that carries across the lower parapet to the higher parapet corner. Mr. Partington confirmed it was brick, and there would be more detail for that brick on the lower portion, and the coping would be aluminum. He indicated each of the bays on the west elevation would have wall sconces with fans in each bay to be selected by an interior design firm. Board Member Mead addressed the rear of the building and the shed roof being exposed to the street. Mr. Partington advised he could not do anything about the doors, but since it was on the west wall, they could wrap the northwest corner with a green wall to soften the elements. Board Member Ramos felt the original treatment at the rear was more appropriate. Mr. Partington was agreeable with the pleasure of the Board. Chairperson Salter advised he did not mind the height or the roof but did mind the material; the original massing of the lower roof was painted brick to match the building and would be more appropriate. The finish is the problem because it looks to be a stucco attachment. Board Member Yee advised another option would be to keep the brick and drop the parapet down. **Board Member Ramos made a motion to approve the design as submitted with the stipulation that the application return for an abbreviated review with the exterior lighting scheme and the revised rear service entrance per the comments discussed. Board Member Mead amended the motion to include putting the service doors under cover or some form of green wall treatment to appropriately treat that façade at the option of the applicant - also for an abbreviated review. Board Member Mead then seconded the motion, and it carried 6 to 0.**

Item 11

200 E. Zaragoza Street

PHD

Conceptual Review

HC-1

Action taken: Conceptually Approved.

The UWF Historic Trust is seeking conceptual review for a structure to cover a locomotive, flatcar, and restored caboose along the side of the Museum of Industry. This covering will help protect three of the largest collection items on display. Being mindful of the historic building and sensitive archaeological site, the proposed design minimizes ground disturbance and physical connections to the brick building. A row of metal columns between the train and the building wall will support a translucent panel system used as roofing. The design takes inspiration for the industrial nature of railroads, historic train sheds, and the adjacent historic commercial buildings.

Mr. Pristera presented to the Board and stated the train was donated in 1968, and since that time had undergone numerous renovations and repairs. It was moved to the current location in 1989. Since he has been at the Trust, he has tried to do more with the train; in 2016 they received a donation for the exterior restoration of the caboose, which is a rare wooden cupola caboose from 1921, and only one other caboose was preserved in a museum. They would like the visitors to be able to engage with it more and celebrate the train. He explained the ideal place would be

inside a climate-controlled building, but the next best option would be to place a solid covering over it. After researching solutions, he saw the majority of structures had an industrial structural feel to them; this is not a passenger train but a logging train and should have an industrial feel to it. The museum was a cold storage warehouse with a dry grocery warehouse across the street. He explained it is hard to see the location of the entrance to the building since it is a warehouse with solid doors, and the ramp is not ADA accessible. Bringing everything to the same level would make it easier to access. Also, this is an archaeological site which requires minimal ground disturbance, and they did not want to rely on the historic brick building for support.

Mr. Spencer advised this was his firm's first opportunity to be professionally engaged with the Historic Trust, and they were honored to have the opportunity. He explained the building was a historic warehouse and somewhat unscathed. As noted, the entrance was clumsy with no architectural signaling for direction, and the one ADA ramp is the same exit ramp for exiting the museum after visiting the trains. With the donation, there was an opportunity to not only address the sheltering of the railcars but to also make an ADA entrance in a plaza where many of the visitors have the opportunity to be in an area where they could prepare for a tour inside the museum. They would then come out the south-facing doors where they see a reader board and the railcars. He explained the strategy was to create a reliable protection for the railcars. He indicated that as they studied it, the kalwall was the light transmitting material which prevented the features to be lost in the shadows. They felt it was appropriate by allowing a structure that minimizes impact on an archaeological site, and they liked the cadence of the grid.

Board Member Mead was impressed with making a train platform out of this display, and it was well thought out. He pointed out the columns inboard of the platform and asked if there was a way they could be moved outboard or integrated with the wall for a more effective area. Mr. Spencer stated he would like to explore the distance between the north edge of the cars and that brick face. Board Member Ramos addressed the curbed ADA ramp and hoped it was accessible. Mr. Spencer explained it was determined on how tight the radius would be. **Board Member Yee advised the design was great and made a motion to approve the conceptual application as submitted, seconded by Board Member Courtney. The motion carried 6 to 0.** Mr. Pristera explained that the project was made possible by a donation from Barbara Goggins who had been a longtime supporter of the Trust but had unexpectedly passed away.

Item 12

200 BLK W. Garden St

PHBD / GCD

New Construction

C-2 / C-2A

Action taken: Approved with Abbreviated Review.

Bearing Point Properties is seeking *FINAL* review of a new mixed-use, multi-family property located at the corner of Garden Street and Spring Street. The proposed mixed-use project includes approximately 329 residential units offered for rent, 53 condominium units offered for sale, and approximately 37,000 square feet of grocery retail space. The conceptual package for this project was approved in August 2021, and the final plans have incorporated the Board's previous comments.

Mr. Buzzell presented to the Board and stated he appreciated the Board's review of the project. Danny Baldassaro advised the project was still 329 residential units with seven levels of parking and ground retail space. The condominium building had not changed.

Mr. Wyatt indicated in August, comments were made that they were too whimsical on the number of materials and material transitions on the north elevation on West Garden. They tried to create more of a central downtown building with masonry structure on the corner. They played down the cornice and cleaned up the lines and brought the masonry up above the grocery and parking element. They adjusted the canopies and awnings on the ground floor to a pedestrian scale. Along

Spring Street, they adjusted the plinth, addressed the exterior windows on the corners, and removed the balconies on those units, treating the windows as more industrial; all the window trims are dark. The openings to the parking about the retail are treated in a similar manner with dark metal and screening. With the existing arch elements on Spring and Garden, they carried the arch theme on the upper floor windows. They also reduced the number of material transitions and increased the masonry for a much cleaner look.

Concerning the line-of-sight study, the garage would not be visible. Even though the garage is seven levels, it does not have a cover on the 7th level and does not project above the sight lines. The prefabricated steel system screening of the condensers above the multi-family structure was added.

Historic Preservation Planner Harding stated in comparing what was conceptually approved to this presentation, the Board's concerns had been addressed. Board Member Mead indicated he liked the changes; he had suggested pulling from the School Board arches as opportunities but explained they did not have to use those arches if they didn't want to. He did point out the historic paver patterns taking elements from the historic school wall as an excellent design choice and a great opportunity and hoped they would be used in some prominent locations to tie things together. Chairperson Salter thought the comments from the Board had been incorporated very well and thought they had balanced some of Pensacola into this building. He really appreciated what had been done at the corner in creating that corner anchor.

Brent Guilbeau addressed the Board concerning the 54 condo units at Romana and Spring. They developed the lobby and amenity space on the first floor; he presented condo elevation development with the materials palate; the typical floor has three 3-bedroom condos and six 2-bedroom condos; they addressed roof top and material changes. Chairperson Salter asked for the stucco colors, and it was clarified that the white stucco would be used in the horizontal balcony areas, and the tan was the large vertical pieces. The brick color was determined to be cherry wood which was the same brick on the apartment complex. The vertical LED lighting on the southeast corner was pointed out. Staff indicated there were no strict lighting requirements in the Palafox Historic Business District. Chairperson Salter was concerned that the vertical lighting to some extent would be going beyond their boundaries. Mr. Guilbeau advised in this case it was more of an accent and not lighting the streetscape. Board Member Yee thought it could be a nice accent. They indicated they would be mindful to any intrusion on the residents. Board Member Mead suggested if it had something that made it wash the building rather than project the light, it would meet the architectural intent. Board Member Ramos asked about the color of the glazing, and Mr. Guilbeau advised that had not been determined. Board Member Mead advised he was not a fan of modern architecture, but he thought they had done a lot to bring the appropriate balance and liked the changes to incorporate the curb on Spring to the north and on the corner of Romana; they read well for those in the building as well as for those on the street. He urged them to keep in the same color palate as the stucco.

Mr. Dana stated they were trying to improve the streetscape and the streetscape experience, with the building being a nice anchor to downtown; connectivity would be improved with wider sidewalks. The paver patterns taken from the historic wall would provide more interest. They had also further developed the amenity courtyards and the rooftop elements on the condo building and a pool deck on top of the garage. Mr. Alexander stated the historic elements they took from the art deco wall on Garden Street was incorporated along Garden, Spring and Romana, repeating the paver patterns. The paver colors were provided. Chairperson Salter stated the introduction to the paver pattern relates to the remnant of the wall, and these elements tie this building to Pensacola. He pointed out regarding the landscape plan, it was generally appropriate except for the palm tree. Because this project was in the historic district, maintaining the fabric in the building

as well as the landscaping was important, and the palm tree represented a tropical environment; for this project, that one element was not appropriate. Board Member Mead agreed with that comment. Mr. Dana was happy to change that on the streetscape. He did feel that they worked in the courtyards since there was underground stormwater storage, and they were limited in tree canopies. Chairperson Salter stated with the courtyards, they were creating an environment for the residents, and he did not have an issue with them in that location but not on the public streets. Board Member Courtney asked that they use native plants to make everyone's life easier. Advisor Pristera asked if Public Works would review the right-of-way, and staff advised they would. Mr. Dana advised they bumped Garden Street out to the DOT right-of-way to allow enough room for the sidewalk and to get up to the new building finished floor; they did the same on the northern half of Spring Street. Board Member Ramos pointed out the need for more work on the condo entrance side and landscaping, but he felt the project was going in the right direction. Board Member Mead clarified the Board had approved demolition contingent on this final approval, and staff stated the demolition had been approved, but what had not been approved was the allowance to pull the demolition permit.

Board Member Mead made a motion for final approval and gave appreciative thanks for the effort put into the rework. Chairperson Salter made an amendment that the palm trees were not approved and would need to be substituted with a more appropriate tree, and it was accepted. Board Member Fogarty amended the motion to require that the final finish selections for the condo unit be submitted for an abbreviated review, and it was accepted. Staff confirmed any changes would be submitted for an abbreviated review. Advisor Pristera noted on other large projects, the Board required physical samples of the brick, and this was agreed to by the applicants. Staff explained the abbreviated review process would take 7 to 10 days and would be presented to an architect on the Board to review internally and then presented to Mr. Pristera as the ARB Advisor. Board Member Mead amended the motion to include samples. Chairperson Salter wanted an amendment to clarify that the building signage was not included in the approval, and it was accepted. Board Member Yee seconded the motion, and it carried 6 to 0.

ADJOURNMENT – With no further business, the meeting adjourned at 5:48 p.m.

Respectfully Submitted,

11.30.2021

Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01070

Architectural Review Board

11/10/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

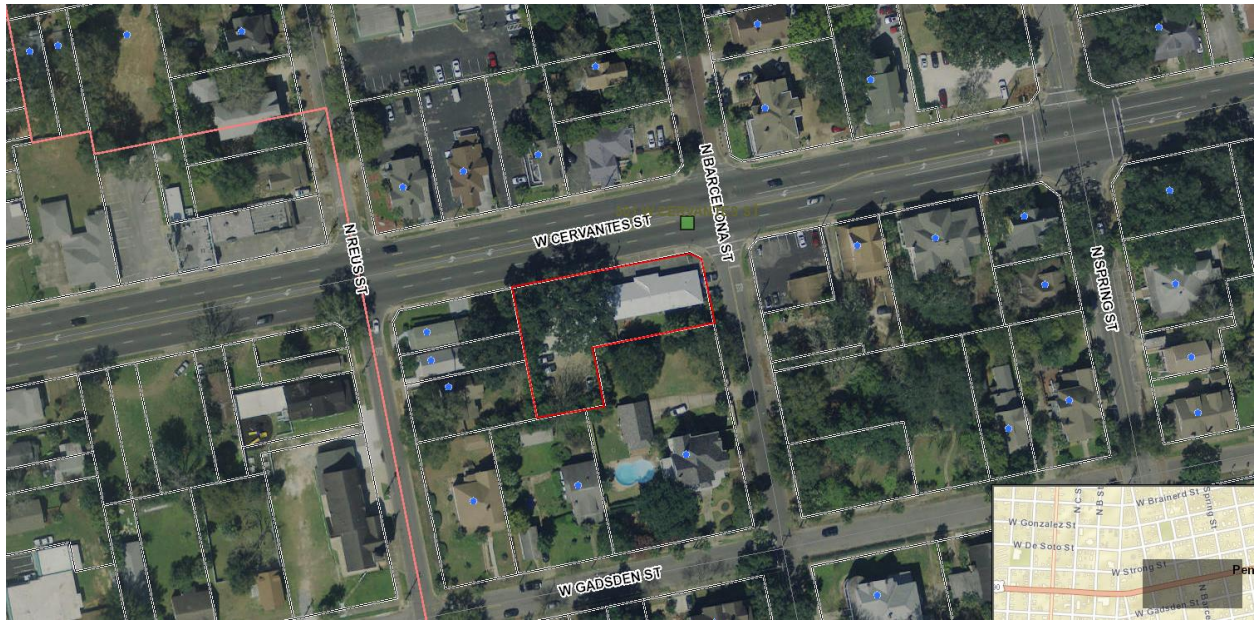
301 W. Cervantes Street
North Hill Preservation District / Zone PC-1
Landscape and Hardscape Improvements to a Noncontributing Structure

BACKGROUND:

Steve Dana, Jerry Pate Design, is requesting approval for landscape and hardscape improvements to the exterior of an office building along Cervantes Street. The scope of work will be to replace some of the existing concrete with pavers, planting beds, and above-ground planters, and to add a variety of plants. The packet includes photographs and a plan of the existing site, a proposed landscape and hardscape layout, and a list and photographs of the proposed pavers, planters, and plantings.

Please find attached all relevant documentation for your review.

301 W. Cervantes Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 2021.11.24

Project Address: 301 W Cervantes St, Pensacola, FL 32501
Applicant: Joe DeReuil Associates
Applicant's Address: 301 W Cervantes St, Pensacola, FL 32501
Email: jd@jdstructures.com **Phone:** 850-429-1951
Property Owner: Luis J. DeReuil

(If different from Applicant)

District: ☐ PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

Application is hereby made for the project as described herein:

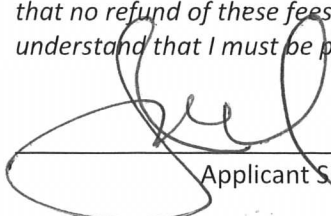
- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Landscape improvement for Joe DeReuil Associates office exterior. Replacing some of the existing concrete with paver, planting bed and planters. See project drawings for detailed design.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

11-22-2021
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

City of Pensacola

Architecture Review Board Application
November, 2021
Full Board Review

Table of Contents

- Representative Photographs of Existing Site •
- Landscape, Hardscape, Irrigation Plans •

**JOE DEREUIL’S ASSOCIATES
LANDSCAPE IMPROVEMENT**

Landscape, Hardscape Review
Jerry Pate Design





EXISTING SITE PHOTO

NOVEMBER 2021
PENSACOLA, FLORIDA

1

2

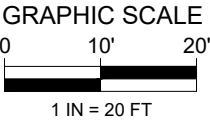
3

4

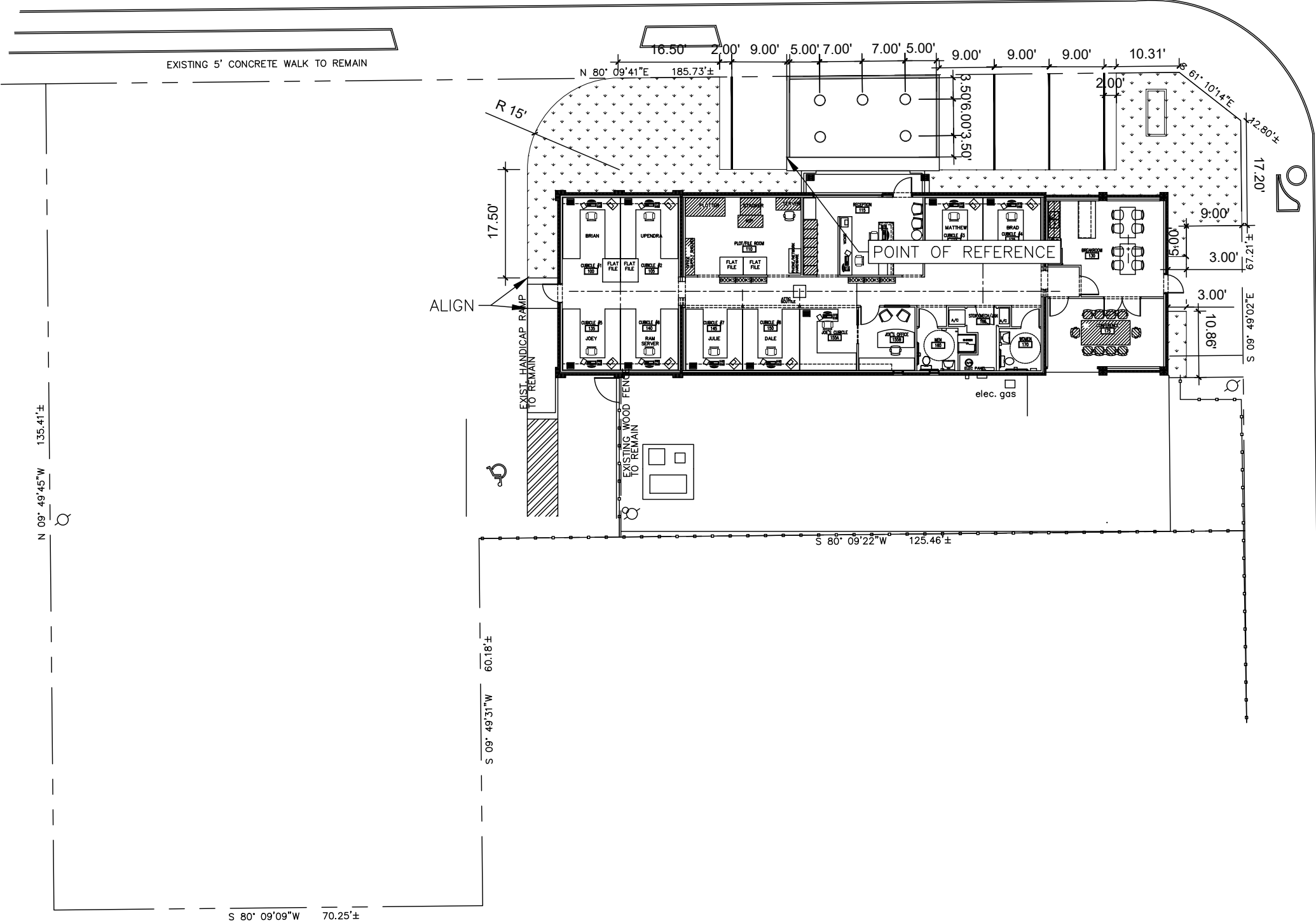
A

B

C



CERVANTES STREET STATE ROAD #10-A 80' R/W



JOE DEREUIL'S OFFICE BUILDING
PENSACOLA, FL
LAYOUT PLAN

DATE	REVISIONS

JPD PROJ NO.: 21024
DATE: 11/19/2021

SHEET NO.:

LS201

1

2

3

4

1

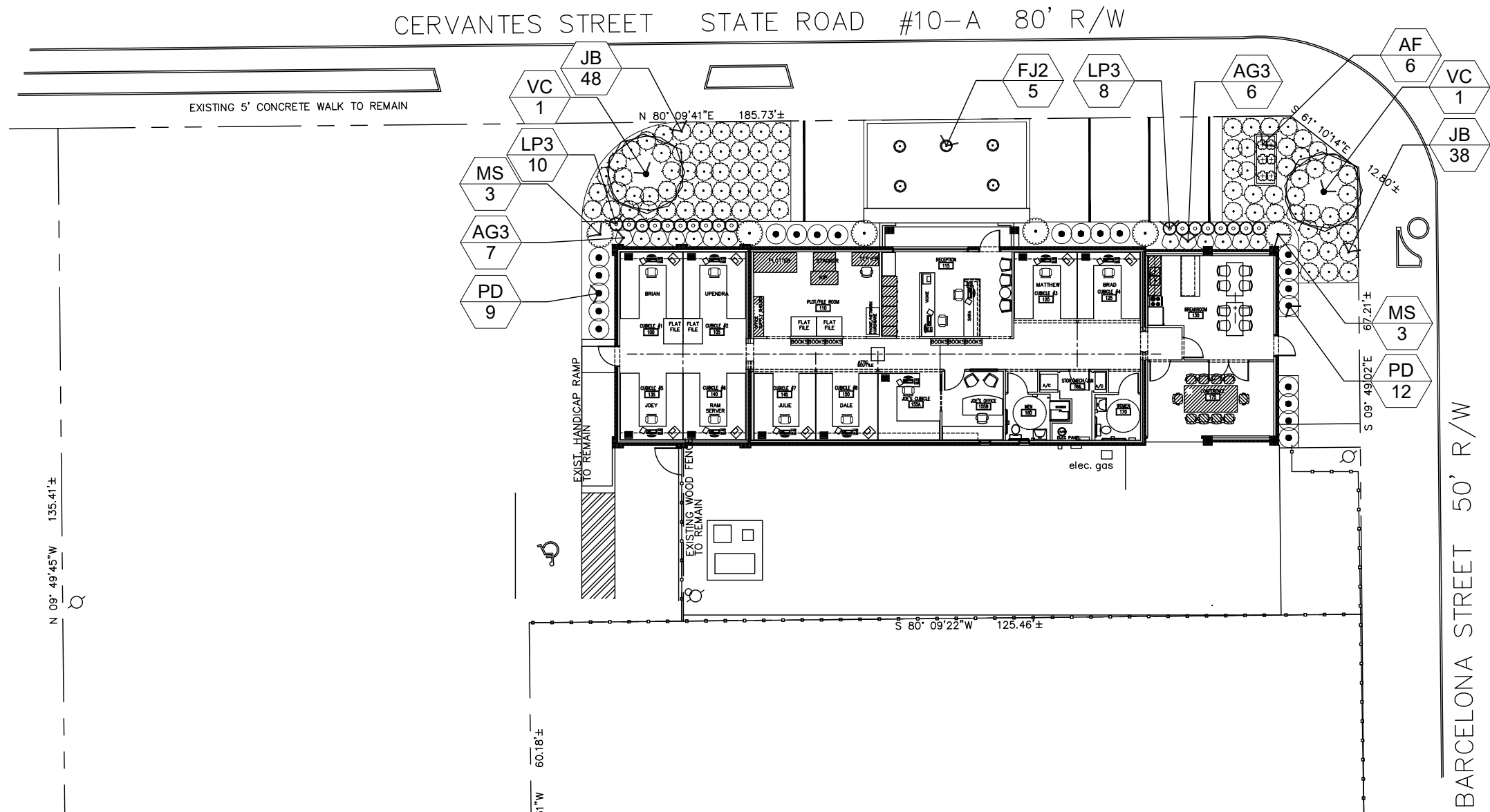
2

3

4

A

B



GRAPHIC SCALE

0 10' 20'

1 IN = 20 FT

Jerry Pate
Design
301 SC HUBERT DRIVE - PENSACOLA, FL 32504
850-479-4653 WWW.JERRYPATEDESIGN.COM


JOE DEREUIL'S OFFICE BUILDING

PENSACOLA, FL

LANDSCAPE PLAN



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
	VC	2	Vitex agnus-castus / Chaste Tree	15gal		6"	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPEC	SPACING
	AG3	13	Agapanthus africanus / Lily of the Nile	1 gal		FULL POT	30" o.c.
	AF	6	Asparagus setaceus / Common Asparagus Fern	1 gal		Full Pot	18" o.c.
	FJ2	5	Farfugium japonicum / Leopard Plant	1 gal		Full Pot	18" o.c.
	JB	86	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper	1 gal	6" HT x 10" SPR	Full Pot	36" o.c.
	LP3	18	Loropetalum chinense 'Purple Pixie' / Purple Pixie Loropetalum	1 gal		FTB, SP	24" o.c.
	MS	6	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	1 gal		FTB, SP	48" o.c.
	PD	21	Podocarpus macrophyllus 'Dwarf Pringles' / Dwarf Podocarpus	1 gal		Full Pot	36" o.c.



J NO.: 21024

11/19/2021

NO.:

_S401

22

1

2

3

4

A



B

C

1 IRRIGATION NOTES

IRRIGATION NOTES:

1. LOCATE ALL UNDERGROUND UTILITIES, ELECTRICAL WIRING, WATER, SEWER, TELEPHONE, CABLE TV, AND OTHER UNDERGROUND LINES BEFORE LANDSCAPE AND IRRIGATION INSTALLATION. NO UTILITIES SHALL BE RELOCATED. NO WORK IS ALLOWED AT FDOT ROW.
2. INSTALL AN AUTOMATIC IRRIGATION SYSTEM TO ENSURE 100% COVERAGE OF ALL GRASSED. THE CONTRACTOR SHALL ADJUST ALL IRRIGATION HEADS TO COVER ONLY INTENDED AREAS AND NOT BUILDINGS, STRUCTURES, FENCING, CONCRETE OR ANY OTHER HARDSCAPE.
3. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO LANDSCAPE ARCHITECT AND OWNER SHOWING ALL INFORMATION REQUIRED BY LOCAL CODES AND NECESSARY FOR THE EFFICIENT OPERATION AND MAINTENANCE OF THE SYSTEM.
4. ELEMENT LOCATION ON THE DRAWINGS IS SCHEMATIC SHOWING INTENT. CONTRACTOR SHALL NOT MAKE CHANGES TO PIPE SIZING OR ROUTING WITHOUT PRIOR APPROVAL OF OWNER & IRRIGATION DESIGNER. LOCATE ALL VALVES IN LANDSCAPED, SHRUB, GROUND COVER AREAS.
7. IRRIGATION SCHEDULES, RUNTIMES, WATERING SCHEDULE & ANALYSIS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR PERFORMING THEIR OWN TAKE OFF BASED ON PLAN DOCUMENTS & ENSURING UNIFORM COVERAGE OF LANDSCAPED AREAS. SHOULD LANDSCAPE MATERIAL REQUIRE INCREASED PRECIPITATION THE IRRIGATION WATERING SCHEDULE SHALL BE ADJUSTED AS NEEDED TO ENSURE A HEALTHY LANDSCAPE.
8. VALVE VAULTS: VALVE BOXES SHALL BE, PLASTIC LOCKABLE, FOR EACH GATE VALVE, MANUAL CONTROL VALVE AND REMOTE CONTROL VALVE. VAULT SIZES SHALL BE ADJUSTABLE FOR VALVE USED. CAST THE WORD "IRRIGATION" ON THE LID. GREEN LID. VALVE VAULT SHALL HAVE A TOP OPENING OF 22 1/4 INCH BY 16 3/8 INCH AND BOTTOM OPENING OF 25 1/4 INCH BY 19 3/8 INCH AND STAND 12 INCHES TALL. ADD EXTENSION AS NEEDED TO MAINTAIN WITH GRADE.
9. ROUND VALVE BOXES: 6 INCH DIAMETER AT THE TOP AND 8 5/8 INCH AT BOTTOM. GREEN LID.
10. THE CONTROLLER SHALL BE EQUIPPED BY THE CONTRACTOR WITH PROPERLY LOCATED AND INSTALLED RAIN / FREEZE SENSORS. THE SENSORS SHALL BE LOCATED IN SUCH A MANNER SO THAT THEY ARE UNOBSTRUCTED, AND DIRECTLY EXPOSED TO NATURAL RAINFALL, WIND, AND SUNLIGHT FROM ALL DIRECTIONS, BUT NOT TO RUNOFF WATER FROM SWALES, ROOFS OR OTHER SURFACES.
11. MAINLINE PIPE: SHALL BE [SDR 21 CL200 PVC] . RESTRAINED FOLLOWING THE REQUIREMENTS SET FORTH BY PIPE AND FITTING MANUFACTURERS.
12. FITTINGS: [SCH 40] FITTINGS SHALL BE USED FOR IRRIGATION MAINLINE PIPE.
13. LATERAL PIPE: 2.5" AND LESS, SHALL BE [SDR 21 CL200 PVC] WITH GLUE FITTINGS. GLUE FITTINGS SHALL BE GLUED FOLLOWING THE REQUIREMENTS OF THE PIPE AND FITTING MANUFACTURERS, AND COUNTY PLUMBING ORDINANCE.
14. PVC PIPING SOLVENT-CEMENTED JOINTS: CLEAN AND DRY JOINING SURFACES. JOIN PIPE AND FITTINGS ACCORDING TO: COMPLY WITH ASTM F 402 FOR SAFE HANDLING PRACTICE OF CLEANERS, PRIMERS AND SOLVENT CEMENTS. PVC PRESSURE PIPING: JOIN SCHEDULE NUMBER, ASTM D 1785, PVC PIPE AND PVC SOCKET FITTINGS ACCORDING TO ASTM D 2672. JOIN OTHER-THAN-SCHEDULE-NUMBER PVC PIPE AND SOCKET FITTINGS ACCORDING TO ASTM D 2855.
15. IRRIGATION SLEEVES: SHALL BE [SCHEDULE 40 PVC], 2X TOTAL PIPE DIAMETER.
16. AIR/VACUUM RELIEF VALVES: SIZED TO MATCH MAINLINE PIPING WHERE LOCATED. SEE PLAN DOCUMENT.
17. REQUESTS TO USE EQUAL, SUBSTITUTE MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING AND OWNER'S APPROVAL GIVEN IN WRITING BEFORE THE SUBSTITUTION IS ALLOWED. REQUESTS TO USE EQUAL, SUBSTITUTE MATERIALS SHALL INCLUDE COMPLETE PRODUCT SPECIFICATIONS AND ANY COST SAVINGS TO THE PROJECT.
18. IF DISCREPANCIES OCCUR BETWEEN THE PLANS, NOTES, AND ACTUAL CONDITIONS CONTACT THE LANDSCAPE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE PROCEEDING.
19. THE INSTALLER SHALL BE FAMILIAR WITH ALL REQUIREMENTS FOR THE WORK, AND TO CONDUCT HIS WORK IN A CLEAN, SAFE, AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO ACT TO PROTECT HIS PROPERTY AND THE OTHER PERSONNEL AT WORK THERE, AND TO MAKE EMERGENCY REPAIRS OR TAKE CORRECTIVE ACTION IF THE INSTALLER DOES NOT FULFILL HIS OBLIGATIONS IN A TIMELY MANNER. THE OWNER FURTHER RESERVES THE RIGHT TO BACK-CHARGE THE INSTALLER TO COVER SUCH EXPENSES, TO THE EXTENT ALLOWED UNDER APPLICABLE LAW.
20. IRRIGATION MATERIALS AND WORKMANSHIP SHALL BE WARRANTIED FOR ONE YEAR. MANUFACTURER'S WARRANTIES SHALL BE PASSED TO THE OWNER.
21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS, AND COUNTY IRRIGATION STANDARDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CONFORM TO THE PARTICULAR CODES AND REGULATIONS APPLICABLE TO THIS LOCATION, AS WELL AS COUNTY IRRIGATION STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING THOSE FOR ANY NEW WATER LINE TAPS OR WELLS, LOCATES, AND INSPECTIONS.
22. IRRIGATION SYSTEM AND ITS COMPONENTS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' SPECIFICATIONS
23. ALL WIRE SPLICES SHALL OCCUR IN A VALVE BOX WITH WATERPROOF WIRE SPlice CONNECTION.
24. THRUST BLOCKS SHALL BE INSTALLED PER DETAILS AS NECESSARY FOR SAFE OPERATION OF THE IRRIGATION SYSTEM.



JOE DEREUIL'S OFFICE BUILDING
PENSACOLA, FL

IRRIGATION NOTES

[illegible]

PROJ NO.: 21024

DATE: 11/19/2021

SHEET NO.: _____

R202



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01076

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

43 S. Palafox Place
Palafox Historic Business District / Zone C-2A
Demolition of a Contributing Structure

BACKGROUND:

David Alsop, Sam Marshall Architects, is seeking approval to demolish a contributing structure. This request is due to structurally unsafe conditions, specifically the exterior walls which are being temporarily supported and the roof. If approved, the applicant is also requesting that the board waive the requirements for replacement plans due to extreme, unusual, and compelling circumstances, as well as public safety purposes per Sec. 12-3-10(1)i.3.iii which would allow the applicant to apply for a demolition permit. The plan is to use the existing space as a temporary lay down construction area for the One Palafox Place work which will utilize the existing slab, have construction fencing with a graphic banner, and lighting along the remaining wall.

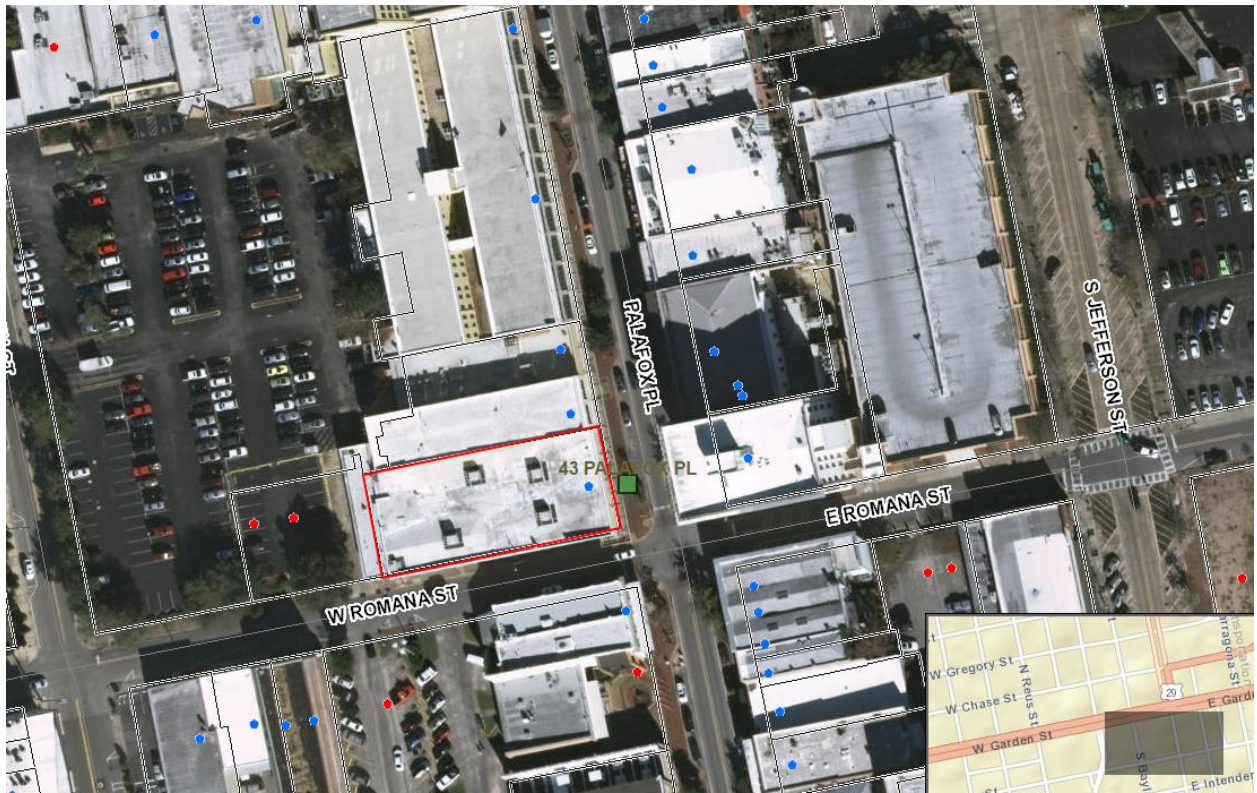
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-27(f)(2)d. *Palafox Historic Business District, Decisions for demolitions*

Sec. 12-3-10(1)i. *Pensacola Historic District, Demolition of contributing buildings*

43 S. Palafox Place



FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. 85 1056
Site Name _____ 830 = = Survey Date 8210 820 = =
Address of Site: 37-41 Palafox Place, Pensacola, FL 32501 905 = =
Instruction for locating NW corner of Palafox Place and W. Romana St.
Location: old city tract 29 Port. lts. 231-235 813 = =
subdivision name block no. lot no. 868 = =
County: Escambia 808 = =
Owner of Site: Name: Durnford Enterprises, Lts. ;
Address: Post Office Box 646
Pensacola, FL 32593 902 = =
Type of Ownership Corporate 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Campbell, D.L. ;
Address: HPPB 818 = =

Condition of Site: Integrity of Site: Original Use Commercial 838 = =
Check One Check One or More
☐ Excellent 863 = = ☒ Altered 858 = = Present Use Commercial 850 = =
☐ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning C + 1880 844 = =
☒ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 19th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: Building 916 = =
Threats to Site:

Check One or More
☐ Zoning () 878 = = ☐ Transportation () 878 = =
☐ Development () 878 = = ☐ Fill () 878 = =
☐ Deterioration () 878 = = ☐ Dredge () 878 = =
☐ Borrowing () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture/Commerce 910 = =

Significance:

Built in about 1880 by W.L. Wittich, this single story masonry vernacular structure was the only building on this block to survive the Halloween fire of 1905. It is typical of commercial buildings constructed in Pensacola during the last quarter of the nineteenth century. J. J. Newberry and Company, part of the McCrory chain of department stores, has occupied the building since 1934.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

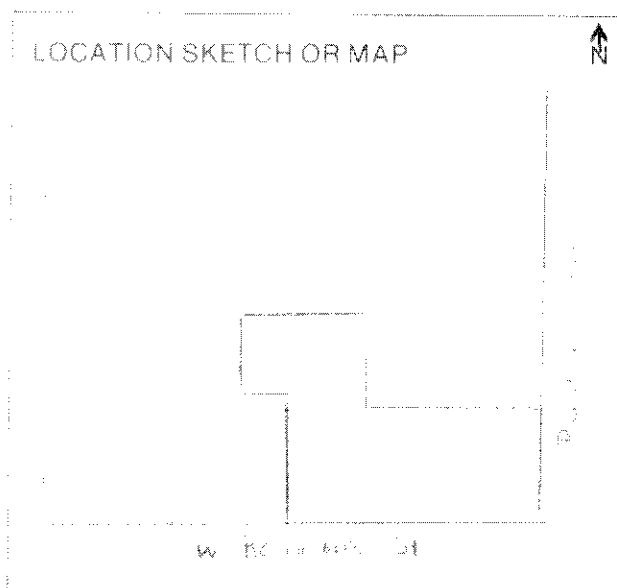
911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Masonry vernacular 964 = =
 PLAN TYPE Irregular 966 = =
 EXTERIOR FABRIC(S) Brick: common # brick veneer: running # stucco: 854 = =
 STRUCTURAL SYSTEM(S) Masonry: concrete block 856 = =
 PORCHES Marquee

942 = =
 FOUNDATION: Continuous: stucco # concrete block 942 = =
 ROOF TYPE: Flat: built up 942 = =
 SECONDARY ROOF STRUCTURE(S): 942 = =
 CHIMNEY LOCATION: 942 = =
 WINDOW TYPE: Pivot, metal 942 = =
 CHIMNEY: 882 = =
 ROOF SURFACING: Built up 882 = =
 ORNAMENT EXTERIOR: Denticulated cornice S. facade 882 = =
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 1 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 min. Pensacola 1970 809 = =

Latitude and Longitude:

800 = =
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section
2S	30W	46

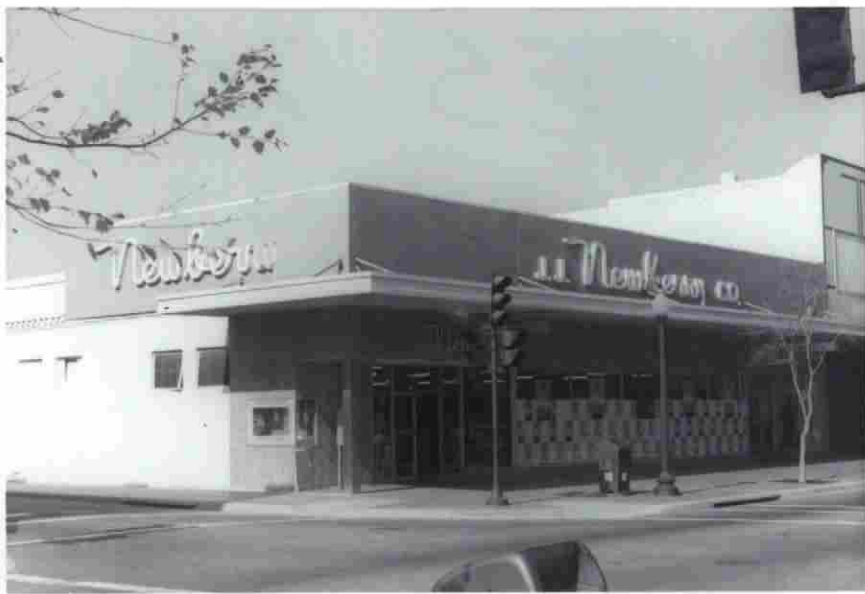
812 = =

UTM Coordinates:

Zone Easting Northing 890 = =

Photographic Records Numbers HPPB P. 83.8 Frame 18 860 = =
P. 83.8 Frame 19

Contact Print





**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: _____

Applicant: _____

Applicant's Address: _____

Email: _____ Phone: _____

Property Owner: _____

(If different from Applicant)

District: **PHD** **NHPD** **OEHPD** **PHBD** **GCD**

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The lighting will match existing site

lighting at Palafox Place.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

November 23, 2021

City of Pensacola

Dollarhides Building – One Palafox Place

43 South Palafox – Corner of Intendencia

After conferring with a structural engineer and physical examination of the conditions present in the south wall, west wall, and rafters of the Dollarhides structure, observed from the exterior, from the interior with the wall exposed and from the roof, it is our professional opinion that unsafe conditions exist, and the wall should be structurally repaired by replacement, or demolished. Temporary shoring is in place to support existing deteriorated structural members.

The remainder of the structure appears to be adequate and stable. Columns, beams and roof framing have been exposed to allow visual observations to take place. No calculations have been run on that portion of the structural elements.

Along with seeking approval for demolition, we are requesting that the board waive the requirements for replacement plans due to extreme, unusual, and compelling circumstances, as well as public safety purposes per Sec. 12-3-10(1)i.3.iii.

David Alsop, AIA



CERTIFIED MAIL

RETURN RECEIPT REQUESTED
INSPECTION SERVICES



FLORIDA'S FIRST & FUTURE

June 29, 2021

One Palafox Place LLC
3 W Garden St Suite 413
Pensacola, FL 32502

RE: 41 S Palafox Street

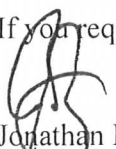
YOU ARE HEREBY NOTIFIED that the structure located at **41 S. Palafox St.**, in the City of Pensacola, described as S1/2 OF LT 231 AND S1/2 OF LT 232 AND E 20 FT OF S1/2 OF LT 233 BLK 29 OLD CITY TRACT OR 7337 P 732 CA 75, ESCAMBIA COUNTY, CITY OF PENSACOLA, FLORIDA and identified with Escambia County Tax Account #130420600 has been found to be an **UNSAFE BUILDING**. This determination was made by the Code Inspector pursuant to the International Property Maintenance Code as adopted by Section 14-2-140 of the Code of the City of Pensacola.

YOU ARE HEREBY NOTIFIED that the building on this property will be posted as an **UNSAFE BUILDING**. Until the code violations are corrected it will be unlawful for anyone to occupy the building. Within **fifteen (15)** days from receipt of this Notice you must have licensed contractors obtain all necessary permits to repair the building to code or to demolish the building. The repair shall be completed and final inspections made within one hundred and eighty (180) days or the demolition completed and final inspection made within ninety (90) days thereafter. All required work shall conform to the requirements of the Florida Building Codes. Additionally, this Department may cause the building to be demolished and all costs incurred will be as a lien against the property; the lien shall be collected in a manner provided by law.

FURTHERMORE, YOU ARE NOTIFIED to remove any appliances, furniture, trash, debris, or any item that is currently scattered or stored on the property including inoperable and/or unlicensed vehicles. You should also trim and maintain all overgrown vegetation to a height under twelve (12) inches. If these conditions exist, they are considered a nuisance under Section 14-4-3 of the Code of the City of Pensacola.

ANY PERSON HAVING A LEGAL INTEREST in this property may appeal this Notice to the Construction Board of Adjustment and Appeals. Notice of appeals to the Construction Board of Adjustments and Appeals shall be in writing and filed within fifteen (15) calendar days after the decision is rendered by the building official. Appeals shall be in a form acceptable to the CBAA. Failure to file the appeal within the specified fifteen-day period constitutes a waiver of all rights to an administrative hearing.

If you require further assistance in this matter, please call (850) 436-5600.


Jonathan Bilby
Building Official

222 West Main Street Pensacola, Florida 32502

PH: 850.436.5600 | Fax: 850.535.1494 | TTY/DF: 850.436.1666

www.cityofpensacola.com

DOLLARHIDE'S DEMO PACKAGE

SMA
SAM MARSHALL ARCHITECTS
AA 0000293
SAM MARSHALL ARCHITECTS
325 S. PALAFOX STREET
PENSACOLA, FL 32502
T (850) 433-7842
F (850) 433-0510
www.sammarshallarch.com

43 PALAFOX PLACE

NOVEMBER 2021



PROJECT DESCRIPTION

THIS PROJECT IS A DEMOLITION OF AN EXISTING BUILDING ON PALAFOX PLACE IN DOWNTOWN PENSACOLA. THE WALLS AND ROOF WILL BE DEMOLISHED TO THE SLAB. A NEW FENCE WILL BE INSTALLED

SHEET INDEX	
A000	TITLE SHEET
A100	SITE PLAN
A101	DEMO FLOOR PLAN
A102	FLOOR PLAN



 **SITE LOCATION**
NOT TO SCALE

DOLLARHIDE'S DEMOLITION
43 SOUTH PALAFOX PLACE

No.	Description	Date

TITLE SHEET

Date 11/23/2021
Drawn By JF
Checked By DA

A000



WALL BOWING OUTWARD

TEMPORARY BRACES



WALL BOWING OUTWARDS

TEMPORARY BRACING



CRACKED RAFTER

DEFLECTION IN RAFTERS



COMPROMISED MASONRY



WATER DAMAGE

DEFLECTION IN RAFTERS

TEMPORARY BRACING



DEFLECTION IN RAFTERS



CRACKED BEAM AND STRESSED BRICK SUPPORT



DEFLECTION IN RAFTERS



DAMAGED BEAM

TEMPORARY SUPPORT

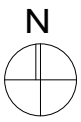
DOLLARHIDE'S DEMOLITION
43 SOUTH PALAFOX PLACE

No.	Description	Date

PHOTOGRAPHS

Date	11/23/2021
Drawn By	Author
Checked By	Checker

A001



1 SITE PLAN
1/16" = 1'-0"

SMA
SAM MARSHALL ARCHITECTS
AA C000293
SAM MARSHALL ARCHITECTS
325 S. PALAFOX STREET
PENSACOLA, FL 32502
T (850) 433-7842
F (850) 433-0510
www.sammarshallarch.com

DOLLARHIDE'S DEMOLITION
43 SOUTH PALAFOX PLACE

GENERAL NOTE:
FIELD VERIFY DIMENSIONS
AND CONDITIONS

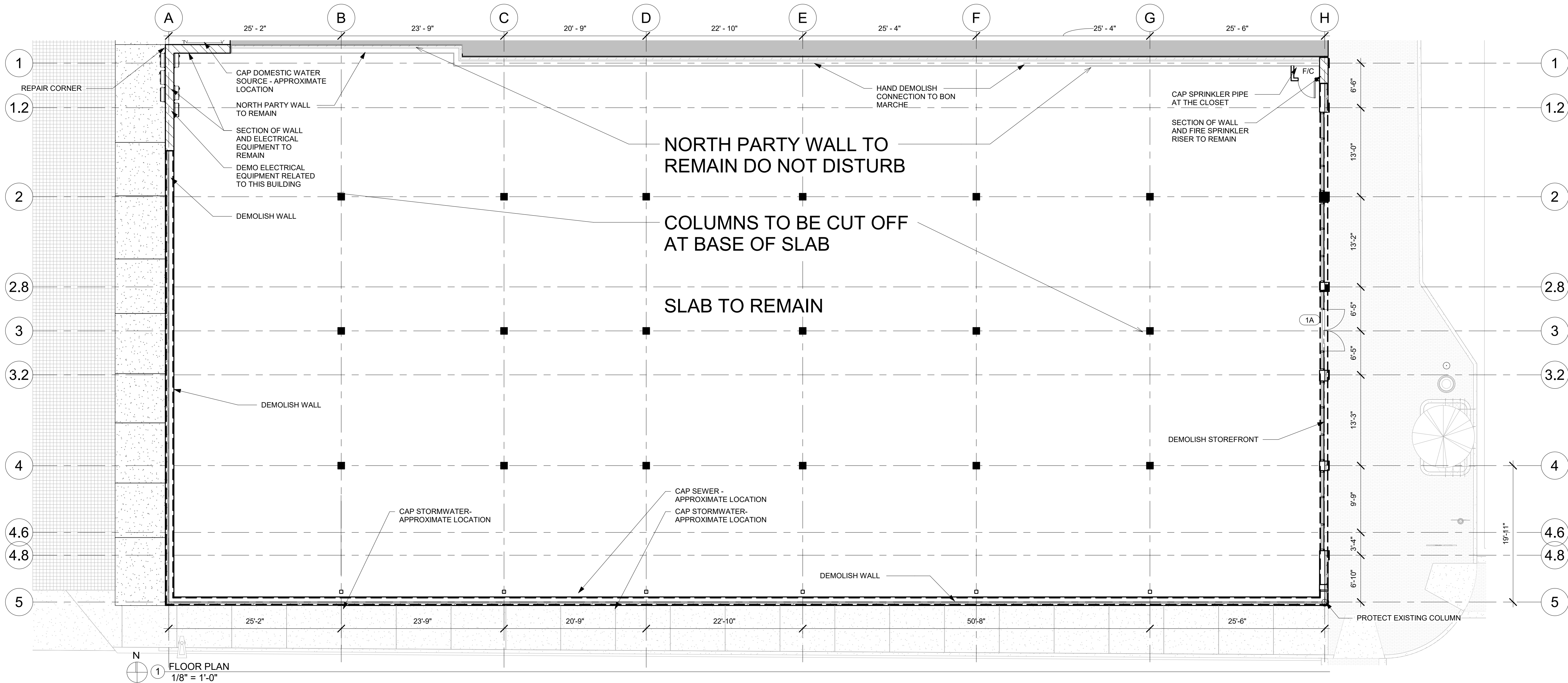
No.	Description	Date

SITE PLAN

Date 11/23/2021
Drawn By LM
Checked By DA

A100

DOLLARHIDE'S DEMOLITION
43 SOUTH PALAFOX PLACE



- DEMO NOTES**
1. CAP TWO SEWER LINES
 2. CAP DOMESTIC WATER
 3. CAP THREE STORMWATER INLETS
 4. ELECTRICAL EQUIPMENT TO REMAIN
 5. FIRE SPRINKLER RISER TO REMAIN - CAP EXTENSION TO WEST
 6. DEMOLISH EXTERIOR WALLS AS SHOWN
 7. COLUMNS TO BE CUT OFF AT BASE OF SLAB
 8. PARTY WALL TO REMAIN - DO NOT DISTURB
 9. SLAB TO REMAIN
 10. PROTECT ROMANA AND PALAFOX SIDEWALKS
 11. EVACUATE RVT'S

GENERAL NOTE:
FIELD VERIFY DIMENSIONS
AND CONDITIONS

No.	Description	Date

DEMO FLOOR PLAN

Date 11/23/2021
Drawn By LM
Checked By DA

A101



ONE PALAFOX PROPERTIES



BUILDING A BETTER PENSACOLA

BLOCK BY BLOCK

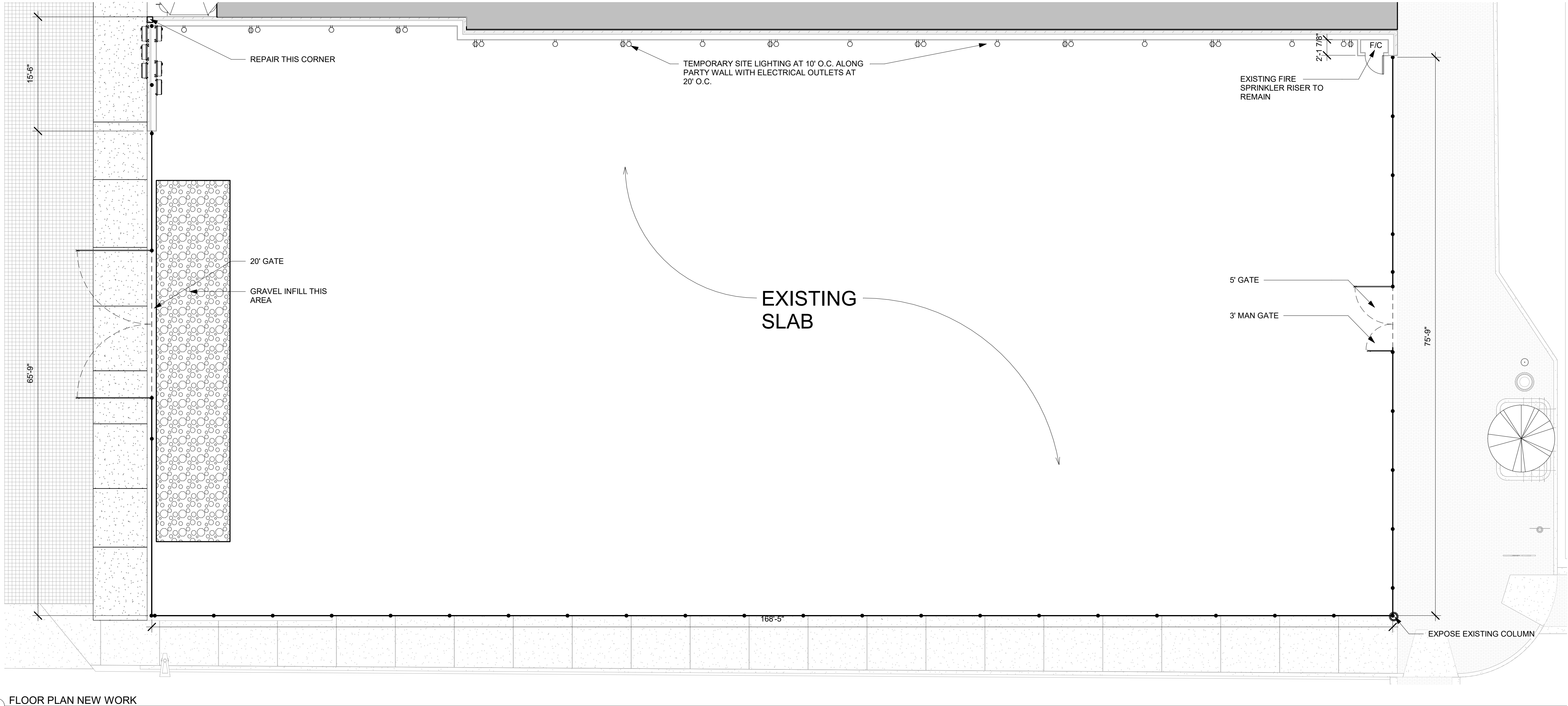
ONE PALAFOX PLACE



cowork
annex



SAM MARSHALL ARCHITECTS
AA 0000293
325 S. PALAFOX STREET
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1 FLOOR PLAN NEW WORK
1/8" = 1'-0"

LIGHTING TO MATCH EXSTING
EXTERIOR SITE LIGHTING



- NEW WORK NOTES**
- 1. 8' CHAIN LINK FENCE WITH TOP RAIL. FENCE POSTS SET IN CONCRETE SLAB
 - 2. WRAP FENCE WITH PRINTED SCREEN - OWNER TO PROVIDE ARTWORK
 - 3. EXISTING FLOOR TO REMAIN
 - 4. FILL GRAVEL INFIL TO BRING UP TO SAME ELEVATION AS SLAB

DOLLARHIDE'S DEMOLITION

43 SOUTH PALAFOX PLACE

No.	Description	Date

FLOOR PLAN

Date 11/23/2021

Drawn By Author

Checked By Checker

A102

SOUTH WALL STABILITY



SAM MARSHALL ARCHITECTS



EXTERIOR ROMANA STREET



EXTERIOR ROMANA STREET



INTERIOR SHORING



WEST EXTERIOR



INTERIOR SHORING



NORTHWEST CORNER



SAM MARSHALL ARCHITECTS



PALAFOX/EAST ELEVATION



PALAFOX/EAST ELEVATION



ROMANA & PALAFOX/SOUTHEAST CORNER



ROMANA/SOUTH ELEVATION



ROMANA/SOUTH ELEVATION
(NOTE: WIRE HOLDING UP WALL)



ROMANA/SOUTHWEST CORNER

DOLLARHIDES ARCHITECTURAL REVIEW
BOARD APPLICATION



SAM MARSHALL ARCHITECTS



WEST ELEVATION



NORTHWEST CORNER



SAM MARSHALL ARCHITECTS



BUILDING ACROSS PALAFOX



BUILDING ACROSS PALAFOX



BUILDING ACROSS ROMANA



BUILDING ACROSS ROMANA



BUILDING OPPOSITE CORNER



BUILDING OPPOSITE CORNER

DOLLARHIDES ARCHITECTURAL REVIEW
BOARD APPLICATION



SAM MARSHALL ARCHITECTS



PALAFIX PLACE ADJACENT SIDE



PALAFIX PLACE EAST



PALAFIX PLACE ENTRY
(NOTE: WILL BE USING SIMILAR STOREFRONT GLAZING
AND COLOR)



PALAFIX PLACE WEST SIDE



PALAFIX PLACE WEST SIDE



PALAFIX PLACE WEST SIDE



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01072

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

313 S. Florida Blanca Street
Pensacola Historic District / Zone HC-1
Final Review for New Construction

BACKGROUND:

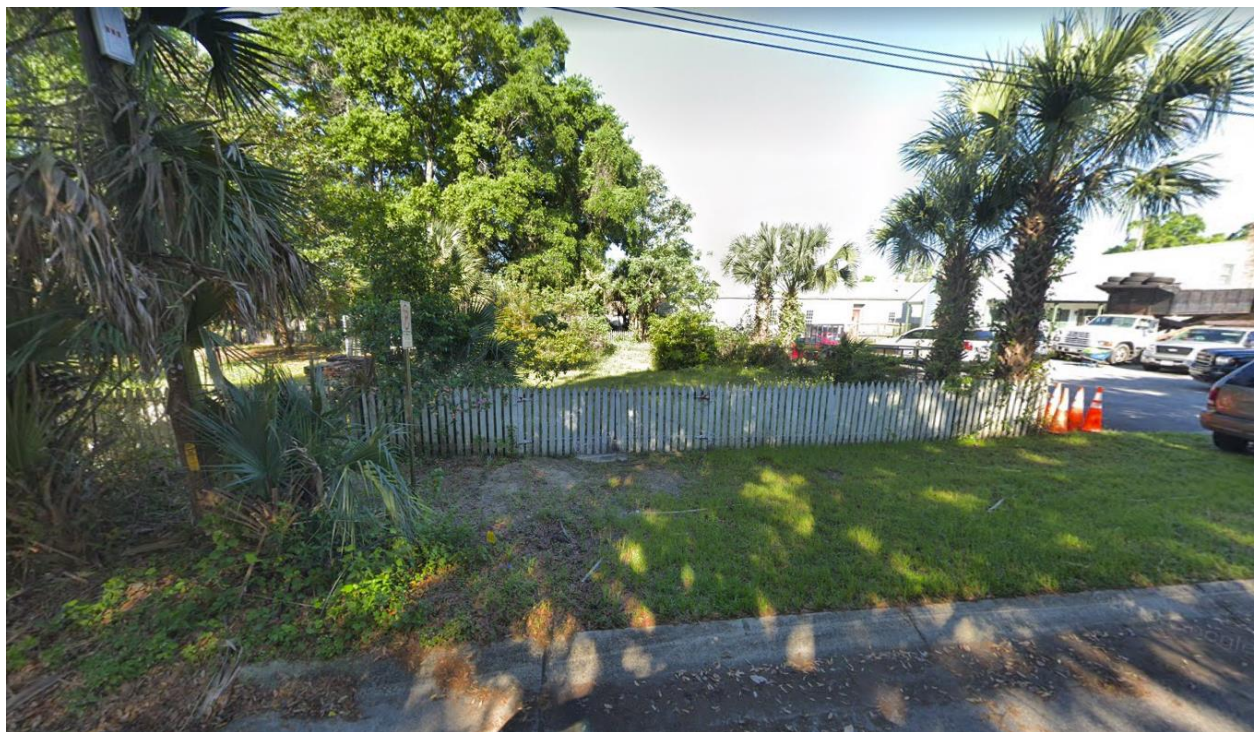
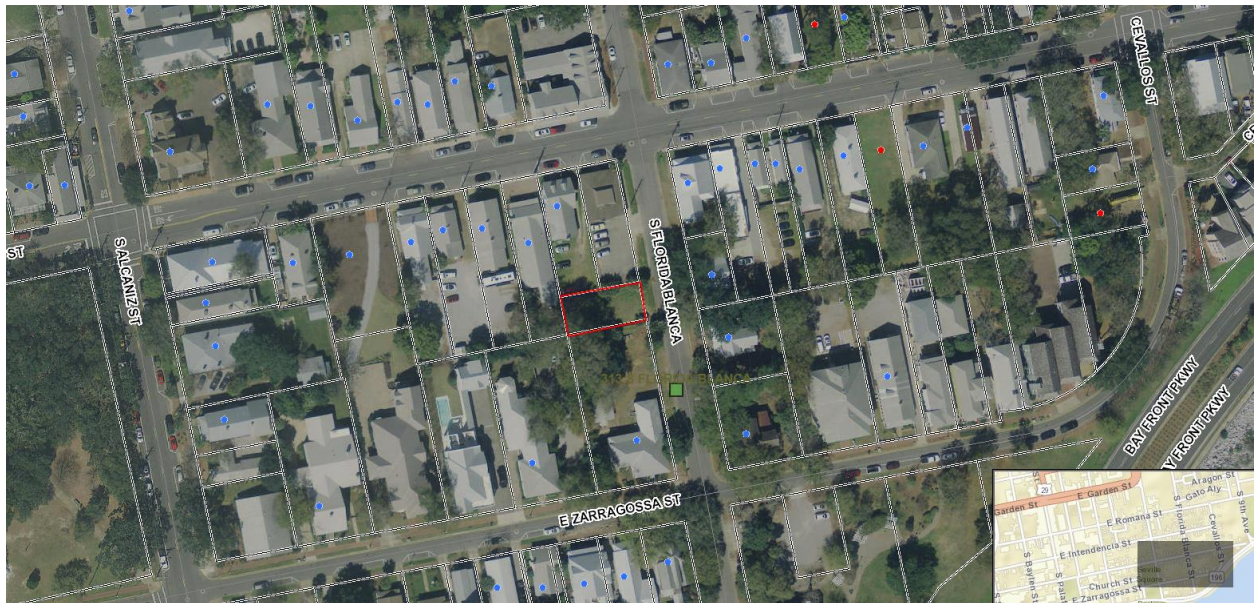
Dean Dalrymple is seeking final review and approval for a new two-story, single-family residence. The complete scope of work includes construction of a primary structure, an accessory structure in the rear, and an associated hardscape. The primary structure has been designed to complement the surrounding historic residences and will have lap siding, a 5-v crimp metal roof, aluminum-clad wood windows with composite shutters, a white-painted brick veneer, and a screened-in porch at the rear. The accessory structure has been designed to also reflect the primary and a wood picket fence will enclose the rear and side yards. A driveway made from concrete pavers, to meet the historic district code, will be located on the north side of the property and will continue to the rear yard as an at-grade patio.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(b) Pensacola historic district, Rules governing decisions
Sec. 12-3-10(1)h. PHD, New construction (streetscape type I/II)

313 S. Florida Blanca Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 11-23-2021

Project Address: 313 S. Florida Blanca Street

Applicant: Dalrymple Sallis Architecture

Applicant's Address: 503 E. Government Street, Pensacola, Florida 32502

Email: scott@dalsal.com **Phone:** 850-470-6399

Property Owner: Rick and Christy Emmanuel

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

A new two-story wood construction residence in the Pensacola Historic District. Includes a new driveway and a new wood framed storage building in the rear yard surrounded by a new wood fence.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. Sallis

Applicant Signature

11-23-21

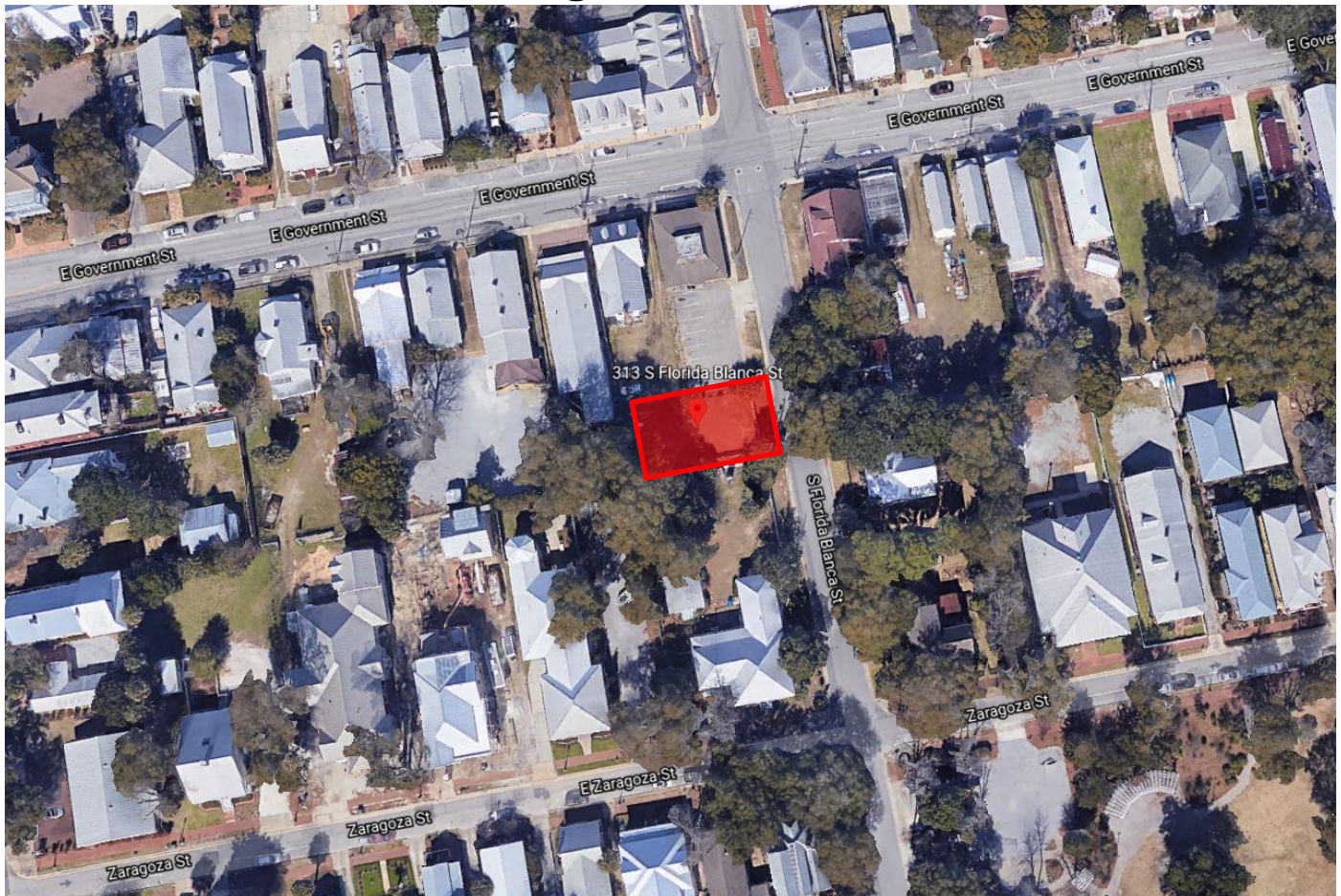
Date

Date: Tuesday, November 23, 2021

Project: 313 S. Florida Blanca St.
Pensacola, FL 32501

Recipient: Architectural Review Board – City of Pensacola

Existing Site Conditions



Project Location

Existing Lot Photos



Exterior Color Schedule

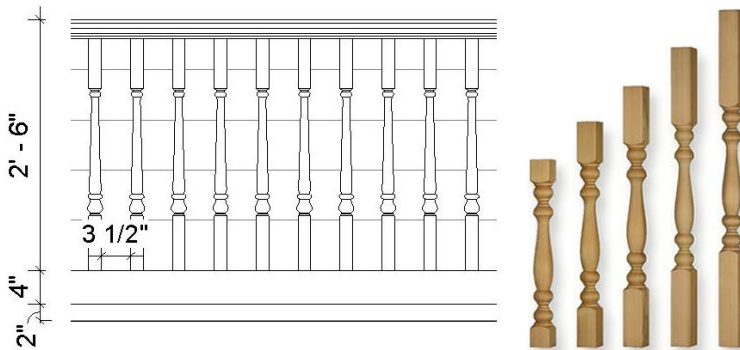
ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Composite Lap Siding	Sherwin-Williams	Pearl Gray
Composite Trim	Sherwin-Williams	Creamy
Composite Corner Board	Sherwin-Williams	Creamy
Composite Fascia	Sherwin-Williams	Creamy
Wood Shake Siding	Sherwin-Williams	Pearl Gray
Brick Veneer Base	TBD	White
Wood Porch Spindles	Sherwin-Williams	Creamy
Wood Handrail	Sherwin-Williams	Cabin Brown
Brick Porch Stairs	TBD	White
Entry Door	Sherwin-Williams	Cabin Brown
Window/Door Frames	Sherwin-Williams	Creamy
5v Crimp Metal Roof	Southeastern Metal	Mill Finish
Brick Chimney	TBD	White
Columns	Sherwin-Williams	Creamy
Soffits	Sherwin-Williams	Creamy
Privacy Fence	Sherwin-Williams	Cream
Shutters	Sherwin-Williams	Roycroft Pewter
Tongue And Groove Porch Ceiling	Sherwin-Williams	Cabin Brown
Porch Floor	TBD	Gray Concrete
Concrete Pavers	Belgard	Titanium
Screen Porch Frame	TBD	Pressure Treated Wood/ Cream
Screen Porch Material	TBD	Dark Fiberglass Screen



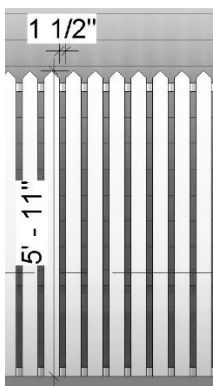
Gooseneck Sconce
Antique Bronze: 10" wide



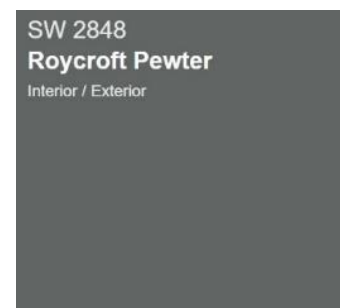
Ferdinand Bracket
Sherwin-Williams: Creamy



Wood Railing
3 ft. Tall: 3 1/2 in Spacing



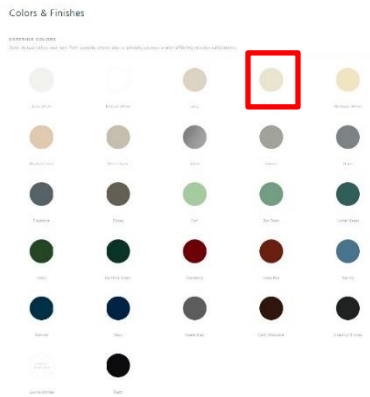
Wood Fence
5'-11" ft. Tall: 1 1/2 in Spacing



WINDOWS – Clad-Wood Aluminum
By: JELD-WEN, Silestone: French Vanilla
– Simulated Divided Lites



Double-Hung



FRONT DOOR- HINGE DOOR WITH HALFLITE
By: Combination Door Company – Simulated Divided Lites



Wood Exterior Door

CONCRETE PAVERS

By: Belgard: Aqualine Series - Titanium




5V-CRIMP PANEL


Fastening Schedule

5V-Crimp Exposed Fastener Panel System Manufacturers Recommended Fastening Schedule

26 Gauge

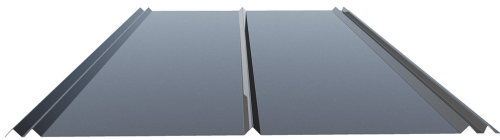
Plywood/ OSB Decking Min. 15/32" outside Miami-Dade Min. 19/32" in Miami-Dade	Field Zone 1	Perimeter and Corners Zone 2 and Zone 3			Approvals
Maximum Design Pressure	-67.25 psf	-67.25 psf	-93.5 psf	-180 psf ⁵	
Maximum Fastener Spacing	16" on center	16" on center	12" on center	8" on center	

29 Gauge

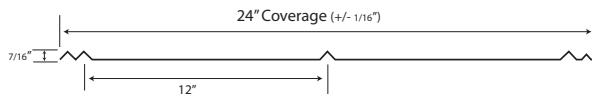
Plywood/ OSB Decking Min. 15/32" outside Miami-Dade	Field Zone 1	Perimeter and Corners Zone 2 and Zone 3	<div>Approvals</div> <div></div>
Maximum Design Pressure	-71 psf	-93.5 psf	
Maximum Fastener Spacing	16" on center	12" on center	

1. Extrapolation and rational analysis by a Florida Licensed Architect or Structural Engineer is allowed outside the Miami-Dade HVHZ compliance area. 2. Extrapolation and rational analysis shall not be allowed above the maximum tested design pressures within the Miami-Dade HVHZ compliance area. 3. Interpolation is allowed between Field and Perimeter & Corner test pressure values. 4. For corresponding wind speeds, refer to table 1609.6.2.1(2) of the Florida Building Code. 5. The stated design pressure can only be achieved by using 19/32" Plywood or OSB decking.

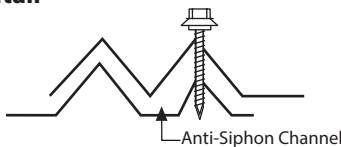
5V-Crimp Panel and Detail



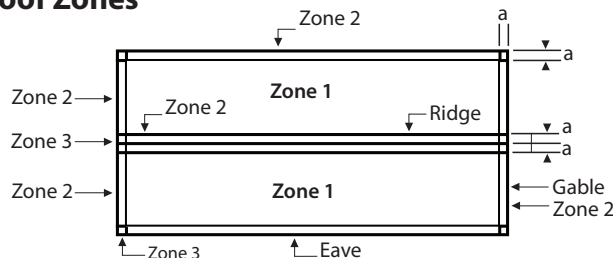
Profile Detail



Sidelap Detail



Roof Zones



Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.

Testing Data and Specifications

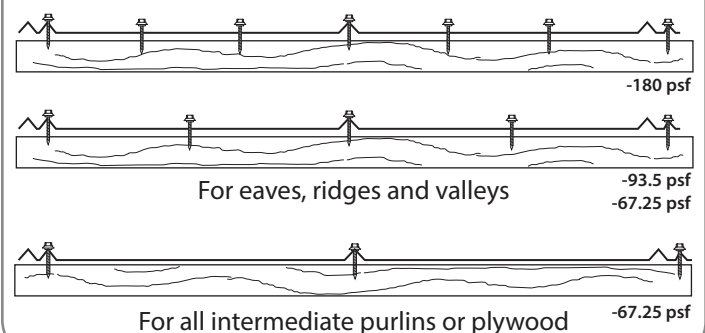
Accelerated Testing of coating 2000 hours per ASTM G23.
 Salt Spray testing of coating 1000 hours per ASTM B117.
 Fire Testing per ASTM E108 or UL790.
 Wind Driven Rain Test per TAS 100.

Code Approvals¹

UL Fire Resistance Directory # R20735
 UL Maximum Design Pressure Listing # R20735
 Miami Dade Code Approval NOA # 16-0510.23 (HVHZ)
 Florida Building Code Approval # FL-11175- R3 (2017)

1. Code Approval numbers may have changed since publication. For the most recent code approval numbers, contact Southeastern Metals' Technical Department or refer to the appropriate code agency.

O.C. Spacing and Fastening Detail



Renderings

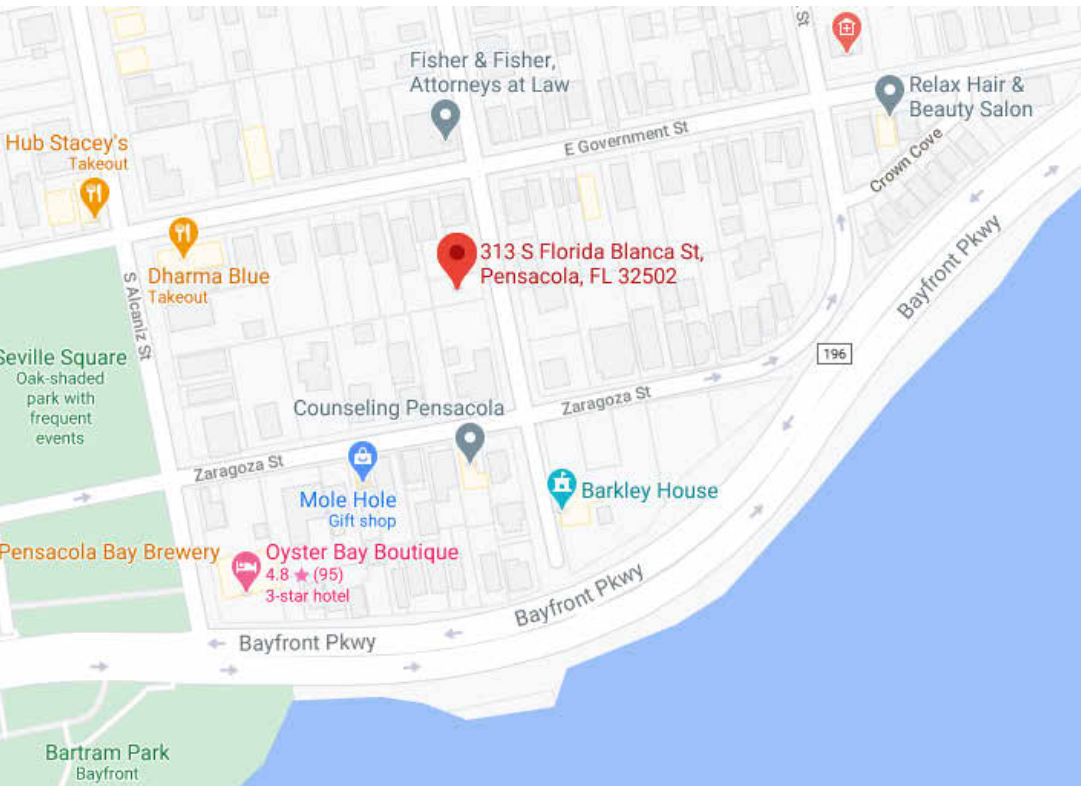




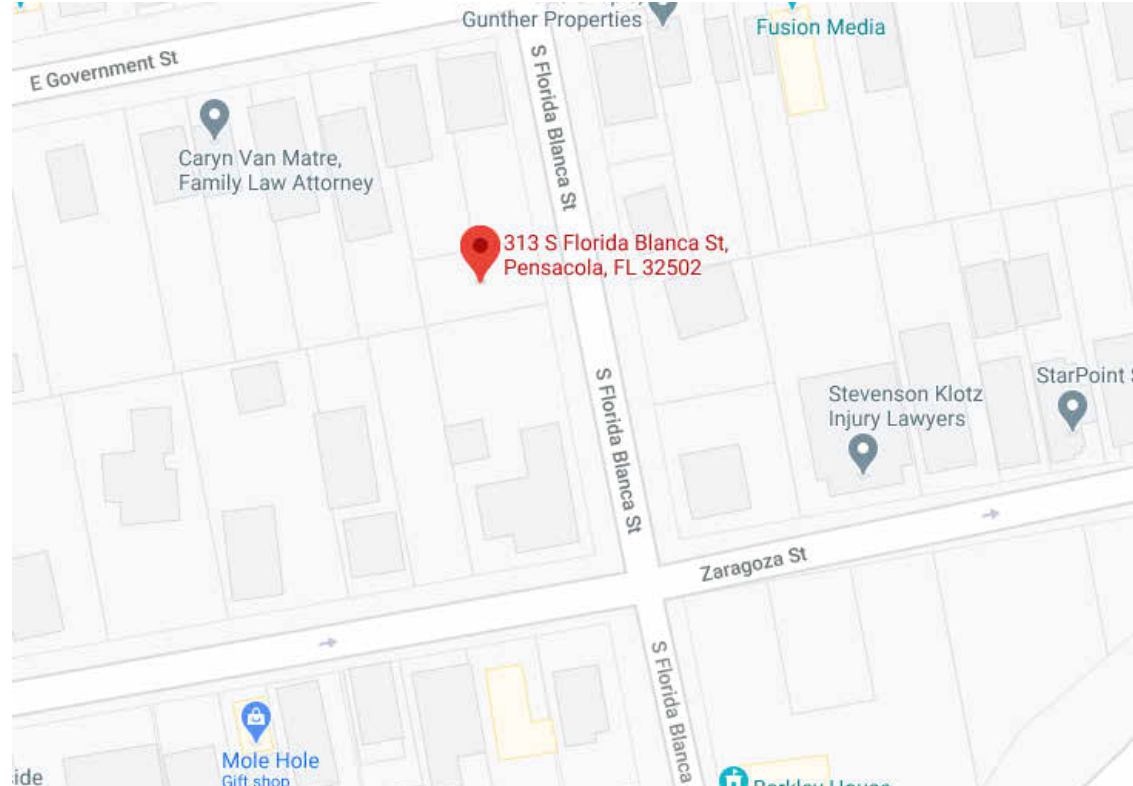
EMMANUEL FLORIDA BLANCA

SINGLE FAMILY - WOOD FRAMED, SLAB ON GRADE RESIDENCE

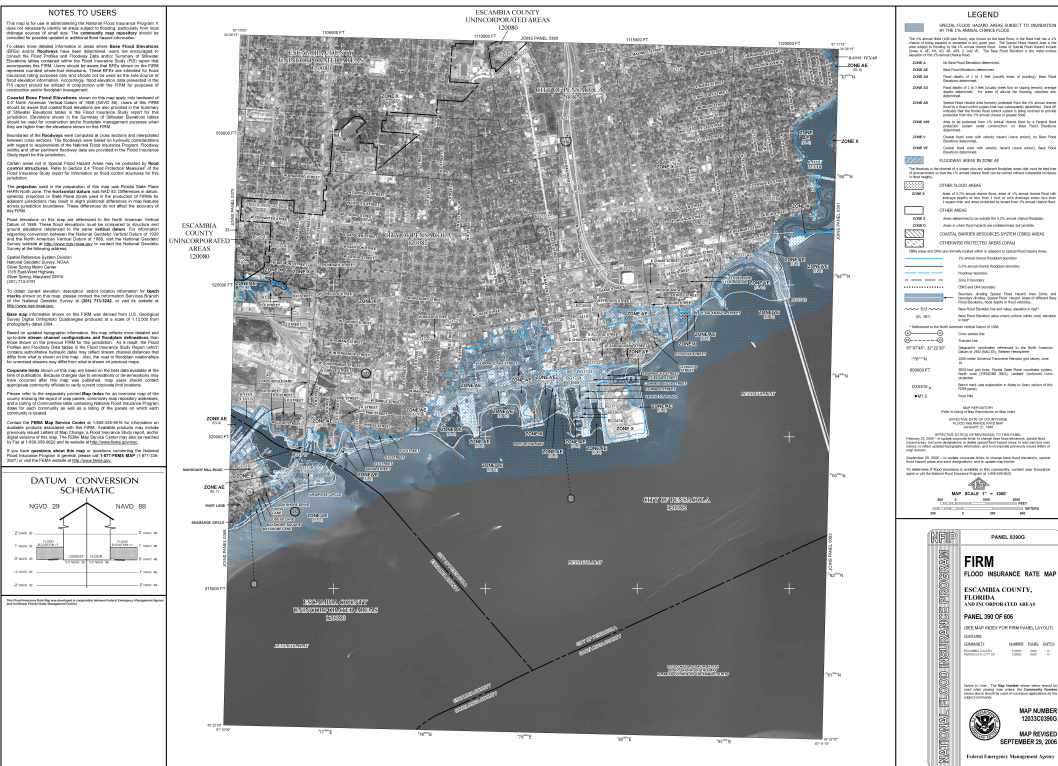
313 S. FLORIDA BLANCA STREET



VICINITY MAP



SITE MAP



FEMA FLOOD MAP



BUILDING DATA

APPLICABLE CODES:
2020 FLORIDA BUILDING CODE, RESIDENTIAL
FLORIDA FIRE PREVENTION CODE, 7th EDITION

CONSTRUCTION TYPE:
TYPE VB: UNPROTECTED, UNSPRINKLERED

OCCUPANCY CLASSIFICATION:
RESIDENTIAL (R-3) - SINGLE FAMILY DWELLING UNIT

ZONED: HC-1 (HISTORICAL COMMERCIAL)

FLOOD_ZONE: ZONE X

PHYSICAL PROPERTIES:
BUILDING HEIGHT: 28'-6"
NO. OF STORIES: 2

BUILDING AREA TOTALS

LEVEL	AREA	COMMENTS
GROUND LEVEL		
GROUND LEVEL	1,332 SF	FIRST FLOOR - CONDITIONED
SECOND LEVEL		
SECOND LEVEL	668 SF	SECOND FLOOR - CONDITIONED
TOTAL BUILDING AREA (CONDITIONED)	2,001 SF	
GROUD LEVEL	135 SF	STORAGE - UNCONDITIONED (LESS THAN 25% OF REAR YARD)

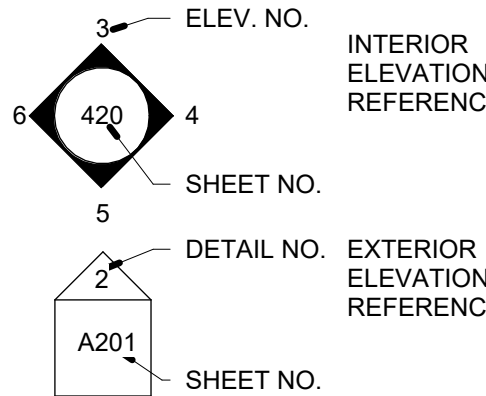
INDEX OF DRAWINGS

Sheet Number	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architrectural		
A001	SITE AND ROOF PLAN	
A101	FIRST AND SECOND FLOOR PLAN	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A701	3D EXTERIOR PERSPECTIVE VIEWS	
A702	3D INTERIOR PERSPECTIVE VIEWS	

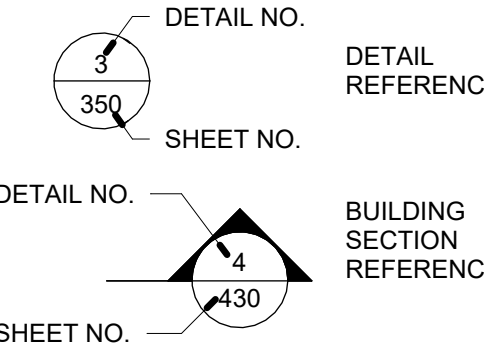
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD.
- ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON, ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2020 FBC, RESIDENTIAL EDITION R301.2.1.2 FOR RESIDENTIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

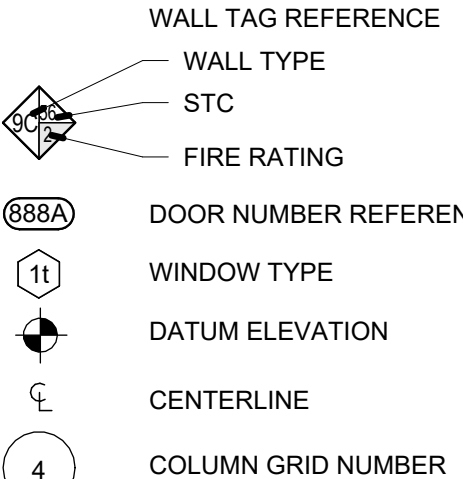
ELEVATION REFERENCES



DETAIL REFERENCES



ANNOTATION REFERENCES



Room name ROOM TAG

CEILING HEIGHT - ABOVE FIN. FLOOR

REVISION NUMBER REFERENCE

REVISION NO.



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

DESIGN
DEVELOPMENT

EMMANUEL FLORIDA BLANCA

313 S. FLORIDA BLANCA STREET

DRAWN BY: SRJ/AK
CHECKED BY: EDD

ISSUE DATE: 11-23-21

REVISIONS: No. Desc. Date

SHEET TITLE:

TITLE SHEET

SHEET NO:

G001

PROJECT NO: 21011



dalrymple | sallis
architecture

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Pensacola, FL 32502
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SHEET TITLE:

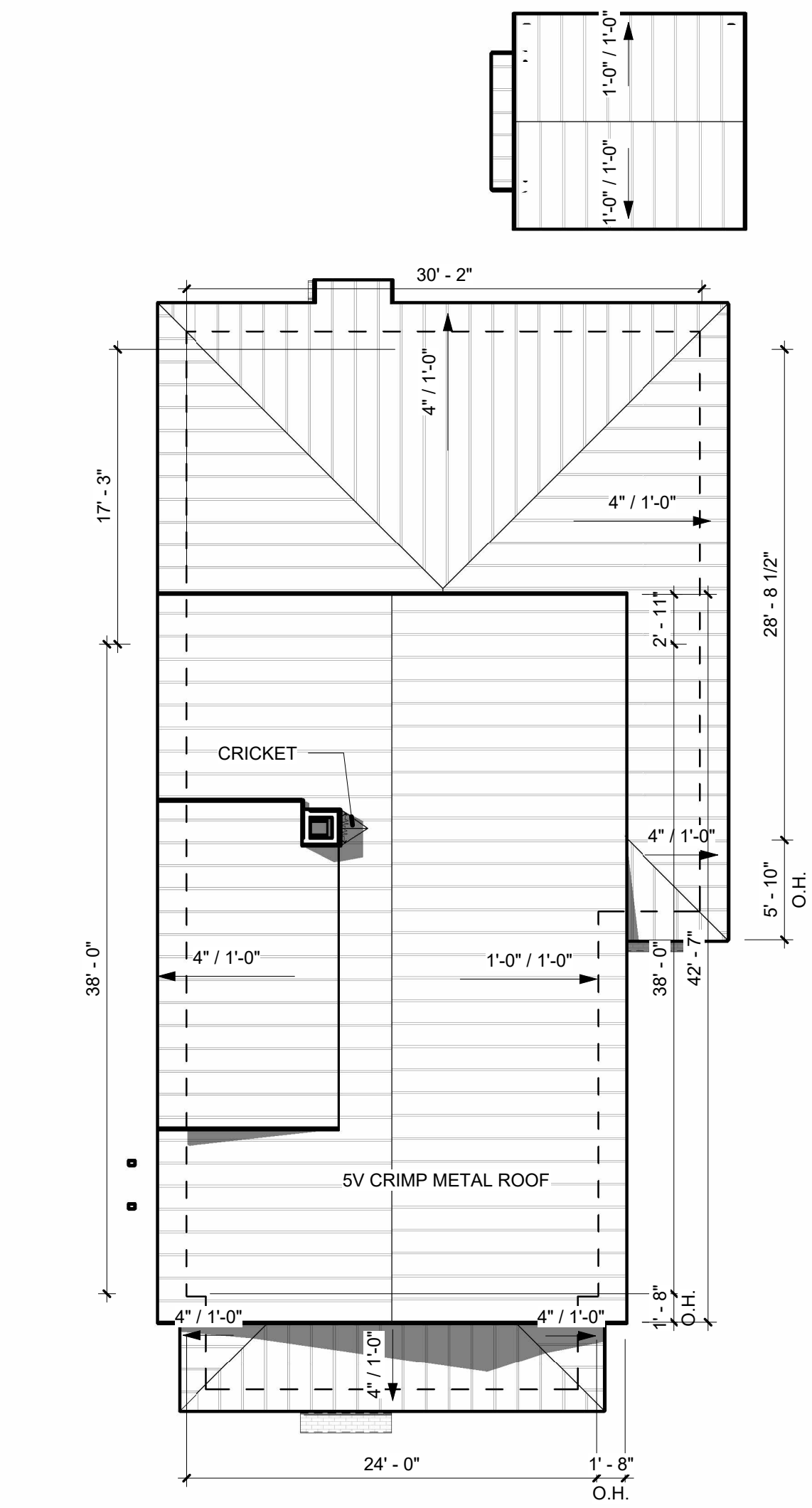
**SITE AND
ROOF PLAN**

SHEET NO:

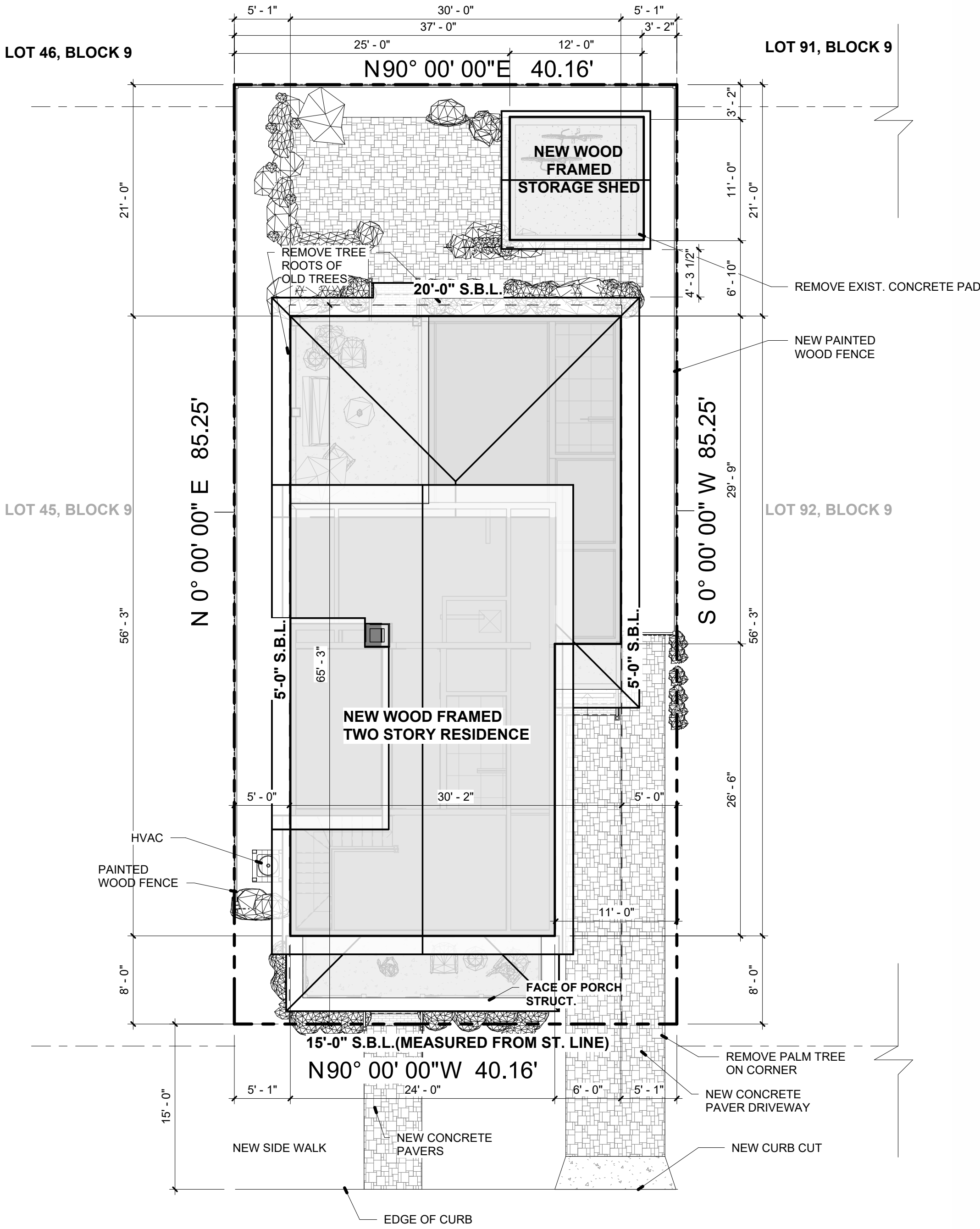
A001

PROJECT NO:
21011

LEGAL DESCRIPTION:
ALL THAT PORTION OF LOT 92, BLOCK 9, OLD CITY TRACT, THAT LIES SOUTH OF THE NORTH 131 FEET OF SAID LOT, AS PER MAP OF THE CITY OF PERNSACOLA, FLORIDA, COPYRIGHTED BY THOMAS C. WATSON IN 1906.



2 ROOF PLAN
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

FLORIDA BLANCA STREET 56'-0"R/W

GOVERNMENT STREET 60'-0" R/W



dalrymple | sallis
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CERTIFICATION

**DESIGN
DEVELOPMENT**

EMMANUEL FLORIDA BLANCA

313 S. FLORIDA BLANCA STREET

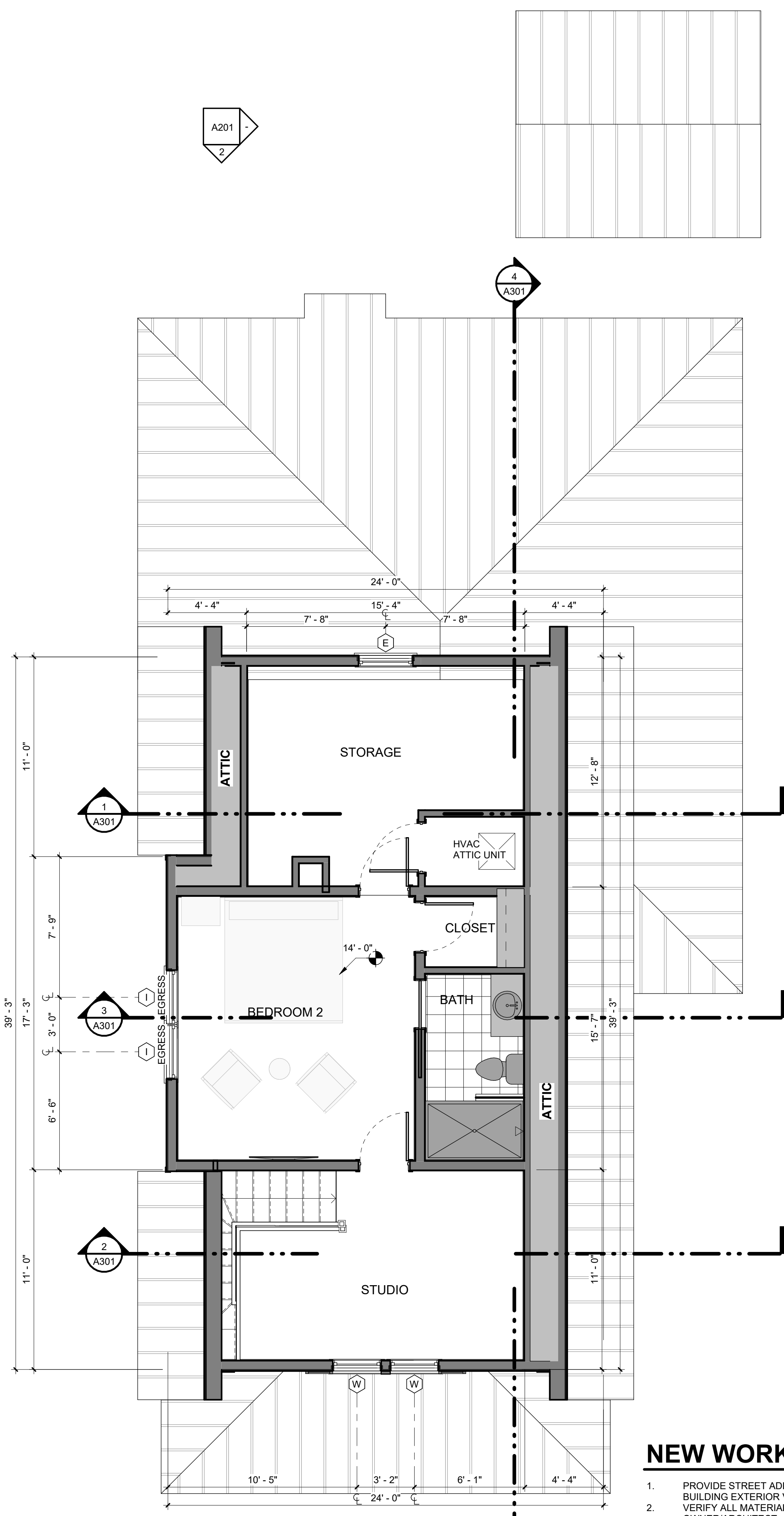
DRAWN BY: SRJ/AK
CHECKED BY: EDD

ISSUE DATE:
11-23-21

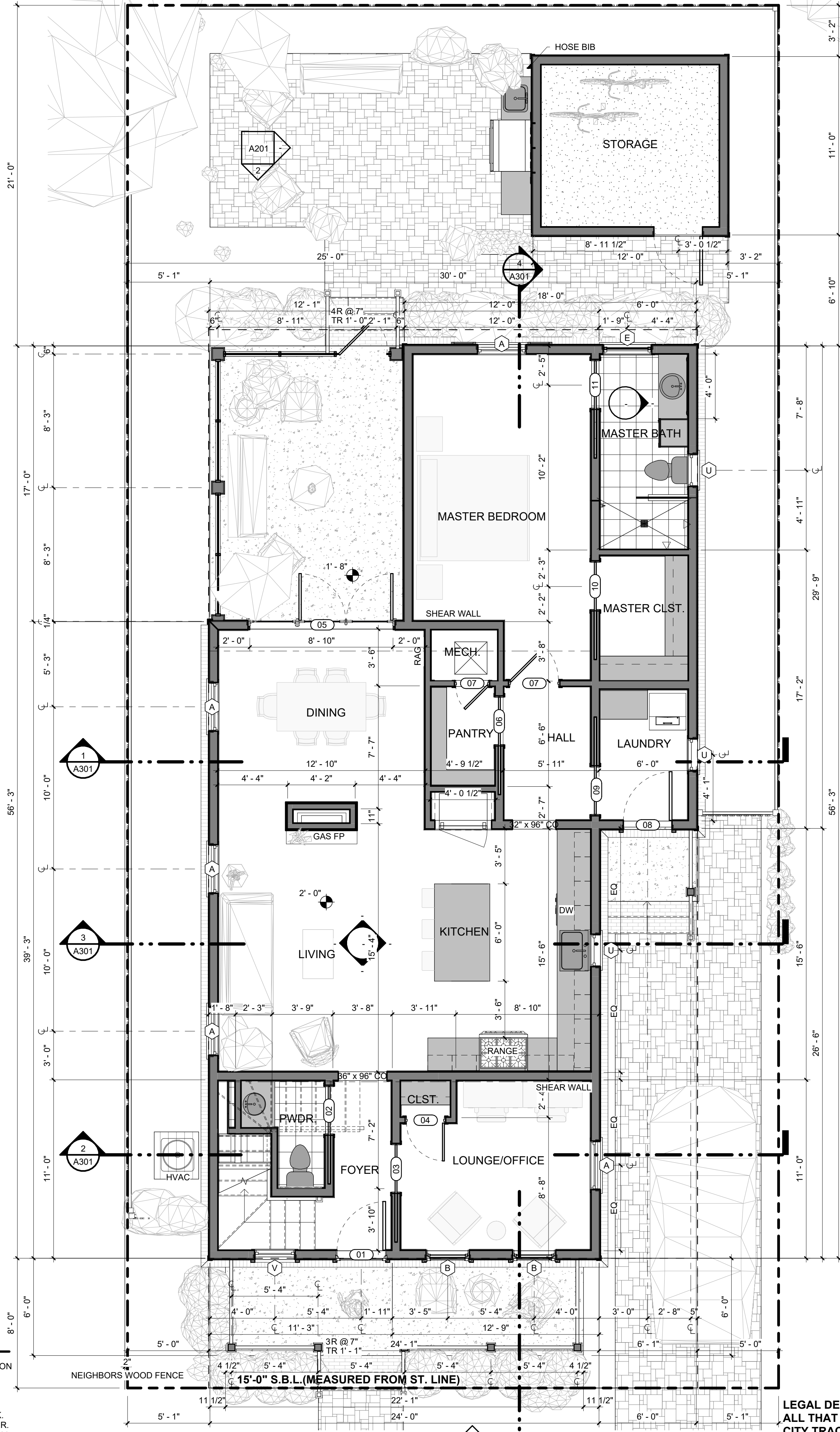
REVISIONS
No. Des. Date

SHEET TITLE:
**FIRST AND
SECOND
FLOOR PLAN**

SHEET NO:
A101
PROJECT NO:
21011



2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE STREET ADDRESS WITH MIN. 6" HIGH LETTERS ON BUILDING EXTERIOR VISIBLE FROM VEHICLE APPROACH.
2. VERIFY ALL MATERIALS AND FINISHES WITH THE OWNER/ARCHITECT.
3. CONTRACTOR TO COORDINATE WITH OWNER/SUBCONTRACTOR FOR ALL AUDIO/VISUAL WORK.
4. ALL IRRIGATION AND LANDSCAPING PROVIDED BY OWNER.
5. PROVIDE ACOUSTICAL INSULATION AT ALL NEW BEDROOM AND BATHROOM WALLS.
6. EXTERIOR EGRESS DOORS NOT TO HAVE DOUBLE CYLINDER KEY LOCKS.

LEGAL DESCRIPTION:
ALL THAT PORTION OF LOT 92, BLOCK 9, OLD CITY TRACT, THAT LIES SOUTH OF THE NORTH 131 FEET OF SAID LOT, AS PER MAP OF THE CITY OF PENSACOLA, FLORIDA, COPYRIGHTED BY THOMAS C. WATSON IN 1906.



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www.dalsal.com
AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UN-PUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

**DESIGN
DEVELOPMENT**

EMMANUEL FLORIDA BLANCA
313 S. FLORIDA BLANCA STREET

DRAWN BY: SRJ/AK
CHECKED BY: EDD

ISSUE DATE:
11-23-21

REVISIONS
No. Des. Date

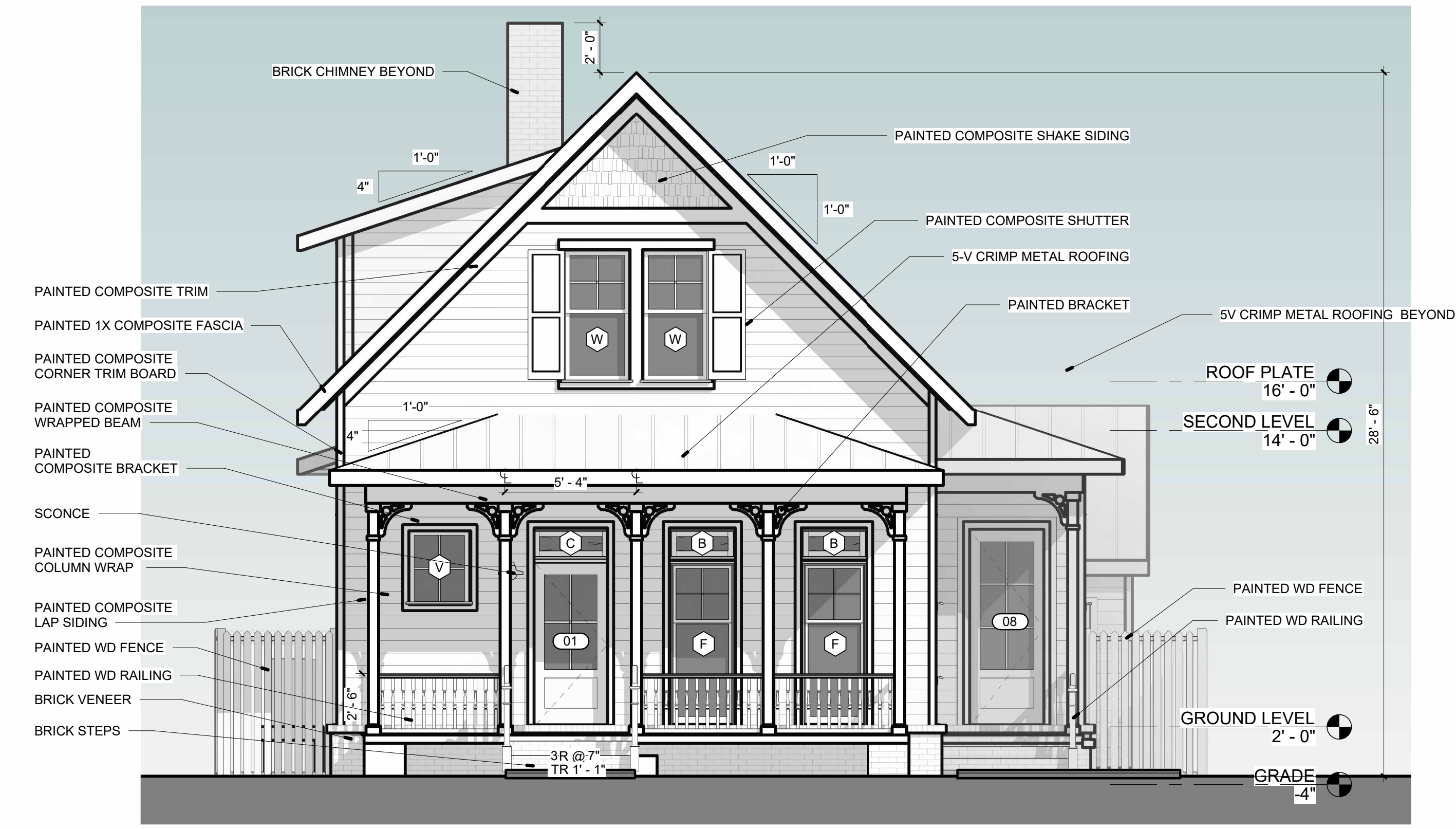
SHEET TITLE:

**EXTERIOR
ELEVATIONS**

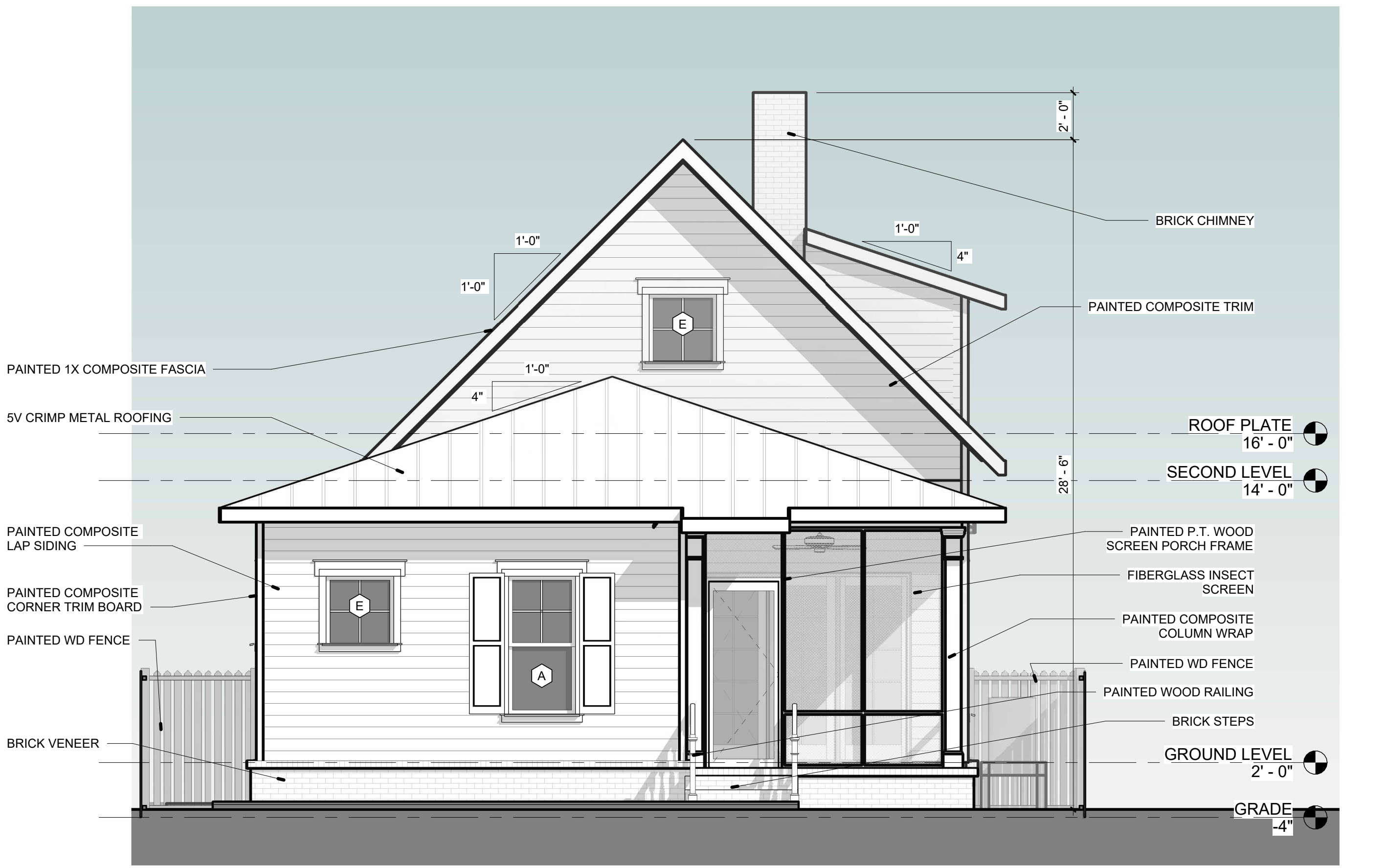
SHEET NO:

A201

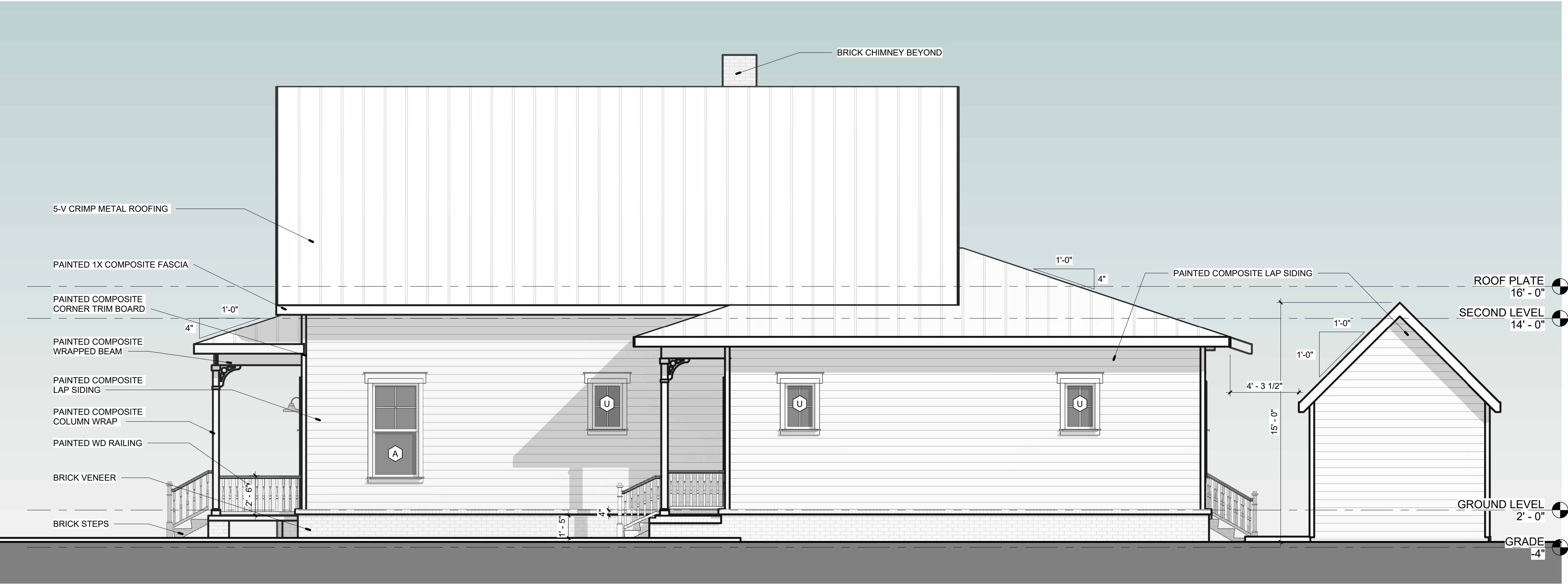
PROJECT NO:
21011



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



1 SIDE ELEVATION A
1/4" = 1'-0"



2 SIDE ELEVATION B
1/4" = 1'-0"

KEYNOTE LEGEND	
NUMBER	TEXT

ds
dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

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EMMANUEL FLORIDA BLANCA
313 S. FLORIDA BLANCA STREET

DRAWN BY:	CHECKED BY:
SRJ/AK	EDD
ISSUE DATE:	
11-23-21	
REVISIONS	No. Des. Date

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SHEET NO:
A202
PROJECT NO:
21011



NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



lalrymple | sallis
architecture

03 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com
AR 0016385

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CERTIFICATION

DESIGN DEVELOPMENT

EMMANUEL FLORIDA BLANCA

313 S. FLORIDA BLANCA SIREI

DRAWN BY: SRJ/AK	CHECKED BY: EDD
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SUE DATE:
11-23-21

REVISIONS		
No.	Des.	Date

SHEET TITLE:
**3D EXTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A701

PROJECT NO:
21011



dalrymple | sallis
architecture
503 E. Government St.
Pensacola, FL 32502
v: 850-470-6399
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www.dalsal.com
AR 0016385

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CERTIFICATION

**DESIGN
DEVELOPMENT**

EMMANUEL FLORIDA BLANCA
313 S. FLORIDA BLANCA STREET

DRAWN BY: SRJ/AK
CHECKED BY: EDD

ISSUE DATE:
11-23-21

REVISIONS
No. Des. Date

SHEET TITLE:
**3D INTERIOR
PERSPECTIVE
VIEWS**

SHEET NO:

A702

PROJECT NO:
21011

NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01074

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

428 Bayfront Parkway
Pensacola Historic District / Zone HC-1
Exterior Modifications to a Contributing Structure

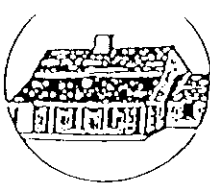
BACKGROUND:

Walter and Lalla Pierce are seeking approval for exterior modifications to a contributing structure. The scope of work includes the removal of existing, damages, and non-original siding with a fiber cement lap siding, replacement of historically appropriate columns, and the replacement of the front and back doors. Due to unique circumstances such as the home's proximity to the water and to adjacent property lines, the applicants are requesting that the board grant a variance from the original materials to increase the life of the historic structure.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(b) Pensacola historic district, Rules governing decisions
Sec. 12-3-10(1)f. PHD, Restoration of contributing structures (opening paragraphs)



HISTORICAL STRUCTURE FORM FLORIDA SITE FILE

Version 2.0 7/92

☒ Original
☒ Update

Site #8 ES2473
Recorder #
Field Date 4/25/95
Form Date 7/26/95

SITE NAMES (addr. if none) 428 E. MAIN ST. [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 4758]
NATIONAL REGISTER CATEGORY ☒ building ☐ structure ☒ district ☐ site ☐ object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 428 E. MAIN ST.
CROSS STREETS nearest/between BETW. S. ALCANIZ ST. AND S. FLORIDA BLANCA ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS ☒ yes ☐ no
COUNTY ESCAMBIA TAX PARCEL # 9001-003-022
SUBDIVISION NAME OLD CITY TRACT BLOCK 5 LOT NO. 22
OWNERSHIP ☐ private-profit ☐ priv-nonprofit ☒ priv-indiv ☐ priv-unspecified ☐ city ☐ county ☐ state ☐ federal ☐ unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? ☐ y ☐ n
[UTM: ZONE 16 17 EASTING 1 1 1 0 NORTHING 1 1 1 0]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

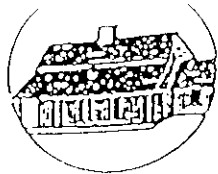
STYLE FRAM EXTERIOR PLAN RECT NO. STORIES 1
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types GA Materials SMCO
Secondary strucs. (dormers etc.)
CHIMNEY: No. 1 Materials BRIC LOCATIONS CENTER RIDGE
WINDOWS (types, materials, and placements) DHS, 2/2, WOOD

MAIN ENTRANCE (stylistic details)
PORCHES: #open 1 #closed 1 #incised 1 Locations S/1 STORY HIPPED ROOF, 2 BAY,
Porch roof types ACCESS FROM SOUTH
EXTERIOR ORNAMENT

INTERIOR PLAN
SURROUNDINGS (N=None, S=Some, M=Most, A=All or nearly all) excellent good ☒ fair deteriorated ruinous
ANCILLARY FEATURES (No., type of outbuildings; major landscape features) commercial residential institutional rural

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? y n (No-explain, yes-attach!)

Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc.; please limit to 3 lines and attach full statement on separate sheet)



HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORYCONSTRUCTION DATE 1880 CIRCA xyes noARCHITECT: (last name first) UNKNOWNBUILDER: (last name first) UNKNOWNMOVES yes no Dates _____ Orig. addr. _____ALTERATIONS yes no Dates _____ Nature _____ADDITIONS yes no Dates _____ Nature _____ORIGINAL USES (give dates) RESIDENCE

INTERMEDIATE USES (give dates) _____

PRESENT USES (give dates) RESIDENOWNERSHIP HISTORY (especially original owner) GEORGE AND BARBARA WELLS (ORIGINAL),WILLIAM C. AND FLORENCE F. HATFIELD (CURRENT)**SURVEYOR'S EVALUATION OF SITE**

Potentially elig. for local designation? yes no insuff. info
 Individually elig. for Nat. Register? yes no insuff. info
 Potential contributor to NR district? yes no insuff. info

Local Designation Category _____

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
 Location of negatives/neg. nos. R8, F35-36

RECORDERNAME (last first)/ADDR/PHONE/AFFILIATION HPPBFOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

DEPT. USE ONLY		OFFICIAL EVALUATIONS				DEPT. USE ONLY	
NR DATE		KEEPER-NR ELIGIBILITY	<u>y</u>	<u>n</u>	<u>pe</u>	<u>n</u>	Date
		SHPO-NR ELIGIBILITY	<u>y</u>	<u>n</u>	<u>pe</u>	<u>n</u>	Date
DEPT. DATE		LOCAL DESIGNATIONS					Date
		Local office					

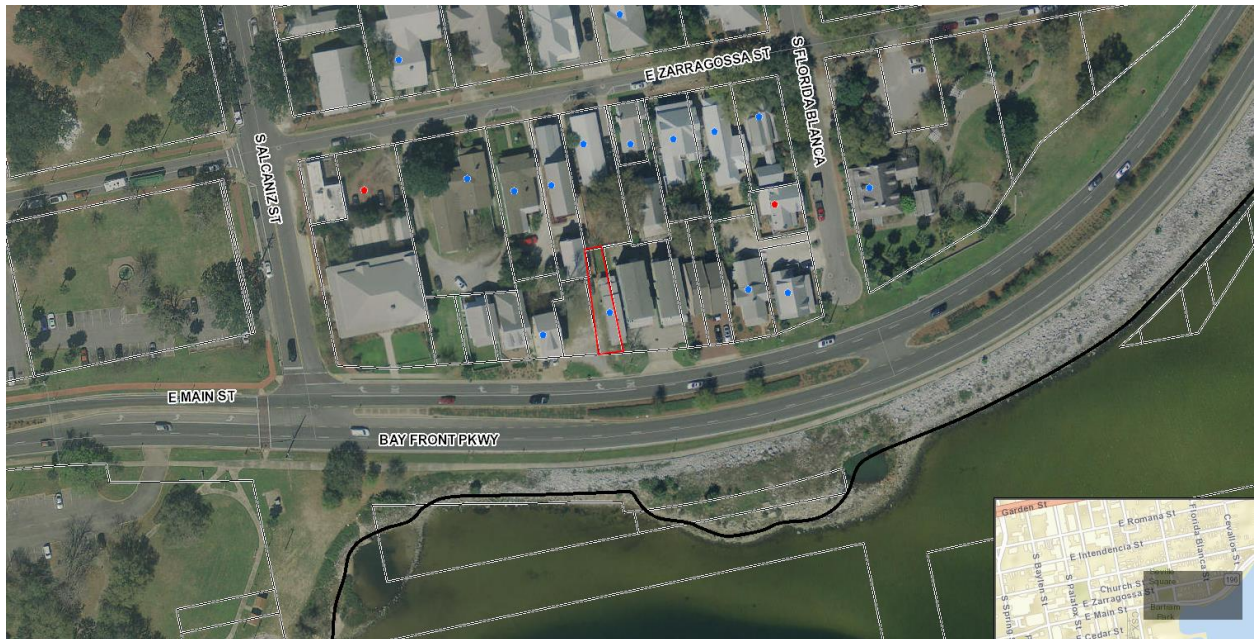
* y=Yes; n=No; pe=Potentially Eligible; n=Insufficient Information

REQUIRED:

- (1) USGS MAP WITH STRUCTURE PINPOINTED
- (2) LARGE-SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5



428 Bayfront Parkway





**Architectural Review Board Application
Full Board Review**

Application Date: 2021-11-12

Project Address: 428 Bayfront Parkway

Applicant: Walter and Lalla Pierce

Applicant's Address: 428 Bayfront Parkway

Email: lallatpierce@gmail.com, walter@walterpierce.com **Phone:** 850-434-9444

Property Owner: Walter and Lalla Pierce

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Damaged and rotten exterior boards (siding, porches, railings, columns) to be replaced, true to original design with minor exceptions for purposes of longevity and ADA compliance. Hardie boards (Boothbay Blue) to be used for siding and fascia. Due to the home's proximity to the water, Hardie boards will increase the life of this historic home. Additionally, Hardie boards are non-combustible. Columns to be returned to 4x4 non-decorative columns. Window framing and trim to be replaced. 1885 map showing original home, earlier pictures of home have been consulted as reference. Front and back door will be replaced per Pensacola Historic District guidelines at a future date as appropriate to project workflow, and dependent upon available supply due to current supply and demand constraints. We are trying to find a door to match the home's original door, based on the provided black and white photograph of the home.

It is the homeowner's desire to preserve this home for another century, with exterior design matching the original design. The change to Boothbay Blue, which is more in keeping with the existing homes on the 9th to Alcaniz section of Bayfront Parkway, is the only proposed exterior appearance change veering from original design.

Please see extensive attached supporting document with citations for further detail.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date



428 Bayfront Parkway: Walter and Lalla Pierce

Walter K. Pierce, Realtor, Levin Rinke Resort Realty: 850-434-9444

Lalla T. Pierce, Assistant Principal, Global Learning Academy: 850-516-0214

701 Rockland Street

Cantonment, Florida 32533

428 Bayfront Exterior Views

Front View: Note rotten railings, dry rotted porch decking, and proximity to house to the east which prevents an east view photograph.

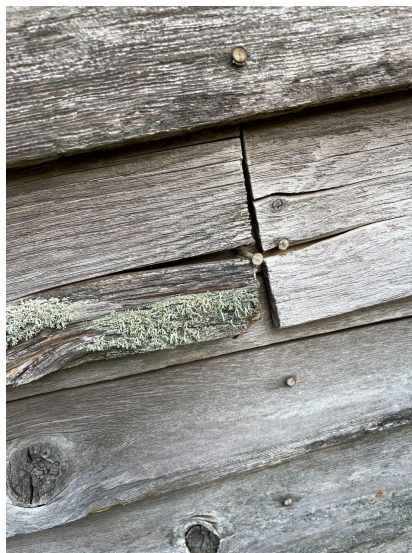
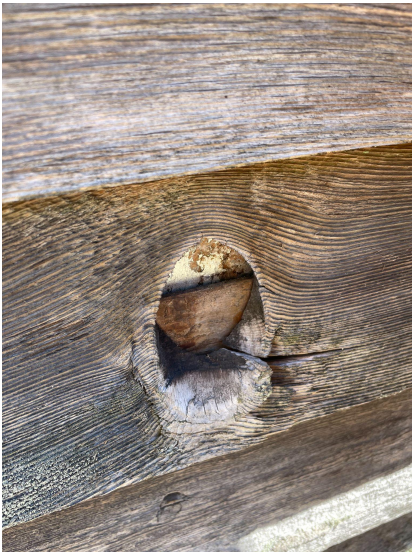


West View: The photographs on the following page will show the extensive wood rot and weathering which exists on this, and all sides of the home.

Back View: Note lattice work, which was never in keeping with the original home, is to be removed. Rotten boards exist in this picture as well, though perhaps not visible at this distance.



428 Bayfront Exterior Wood Conditions



Historic Map by Henry Wellge

1885 Map by Henry Wellge: While the Wellge maps (and others of its time) were rough sketches, not drawn to scale, and certainly not colorized, this is included to give geographical reference for the 1909 images below.

Pensacola, Fla. county seat of Escambia County 1885.



Pensacola, Fla. county seat of Escambia County 1885, cropped with annotation



Historic Pictures

1909 Panoramic by Haines Photography: Two images are included--the full panorama (appears to be two separate original images pieced together) and a cropped portion of the image with 428 Bayfront Parkway (then Main Street) featured. Note the light color of the front gable end cladding on 428. It is difficult to determine the full coloring due to a) black and white image and b) shadowing. However, it is evident due to many surrounding properties, white or light paint was commonly used.

B.E. view of Pensacola, Fla., 1909, Haines Photo Co.



B.E. view of Pensacola, Fla., 1909, Haines Photo Co. cropped with annotation



428 Bayfront Parkway:

Fiber Cement Siding Justification

428 Bayfront Parkway is a historic Pensacola home, built in 1880 along what was then known as Main Street. The original owners were George and Barbara Wells; the 1880 census shows George Wells was a Saloon Keeper (see image). As one of the last remaining homes of its era on the bayfront with a story of its own that's still being discovered, it is our desire to repair the home with high quality materials that will last for another century or more.

1880 United States Census Capture

1	347	361	Hales Ellen	W F 44	✓		1	Keeping House
2			Dumas Sophia	W F 69	✓	Mother	1	
3			Payton Frank	W F 38	✓	Sister	1	
4			de Boyce Henry	B W 30		Servant	1	
5	348	362	Wells George	W M 46			1	Saloon Keeper
6			- Barbara	W F 36	✓	Wife	1	Keeping House
7			H Amile	W M 13		Step son		
8			- Jefferson	W M 13		Daughter		
9			Scharf Otto	W M 6		Nephew		
10		363	Evens Webb	B M 39		Servant	1	
11			- Lizzie	B F 7		Employ		

The property lines for 428 Bayfront Parkway put it in close proximity to the water and its elements, and it is dangerously close to the neighboring home at 430 Bayfront Parkway (and even closer to its HVAC units). In order to maximize 428 Bayfront Parkway's lifespan and most effectively protect it from elements of wind, water, fire, time, and insects, Hardie Board is the logical choice. Especially because 428 Bayfront is within inches of 430 Bayfront and its HVAC units, a product that is as fire resistant as possible is desirable.

"Why Hardie?"

- Exterior solutions by James Hardie are specifically engineered to withstand damage from moisture and rot, and will hold their own, come rain, sleet, or snow.
- With James Hardie's added benefit of ColorPlus® Technology—a baked-on color option that resists fading—your siding will look great without excessive maintenance.
- Because James Hardie brand products are non-combustible, many insurance companies offer a discount. We recommend sharing fiber-cement siding's fire-resistance qualities with your insurance carrier.
- Hardie® fiber cement siding offers little appeal to critters and won't be eaten by termites. So you can focus on the animals in your life that actually make you happy.
- Hardie® fiber cement siding resists the impact of hail and windblown debris and is designed to perform in extreme heat and cold.

428 Bayfront Parkway

Proposed Hardie Board

AVAILABLE SIZES

THICKNESS: 0.312"	WIDTHS: 8.25" EXPOSURES: 7"
LENGTH: 144" boards	

Warranty Information >

THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie’s Statement Collection™ products were designed for every home. They’re our most popular hues. And they are readily available in your region.

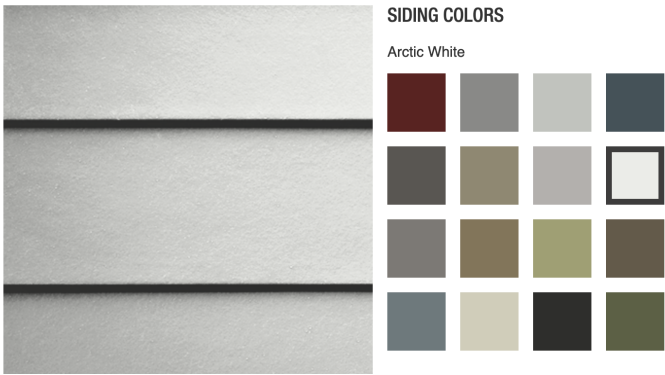
Color Choice 1: Boothbay Blue



Corresponding Approved Historical Paint Color



Color Choice 2: Arctic White

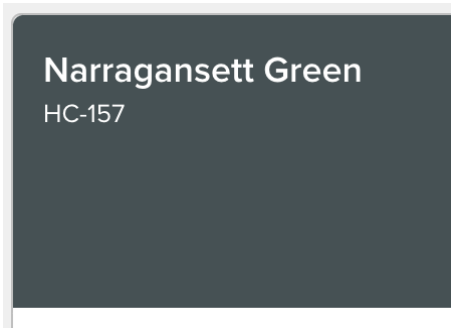


Corresponding Approved Historical Paint Color
(White paints aren't listed in the historical colors though they would have been common.)

Color Choice 3: Evening Blue



Corresponding Approved Historical Paint Color



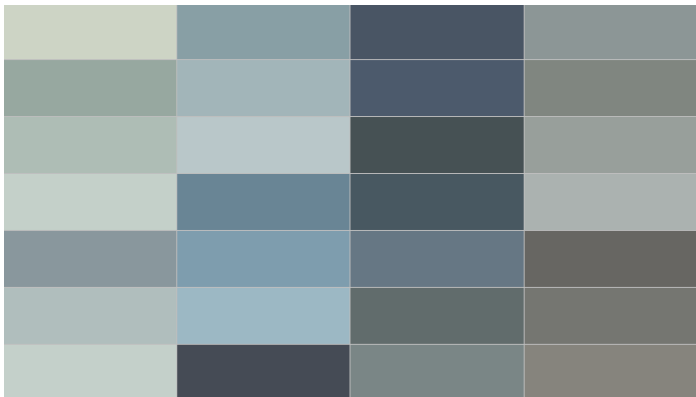
Other Color Options

If none of the above color options are acceptable, we would compromise with any of the Hardie Board Plank Lap Smooth Siding options that align to the Benjamin Moore Historical Colors blue/grey area of the palette.

Hardie Board Plank Lap Smooth Siding Colors



Benjamin Moore Historical Color Palette



428 Bayfront Parkway

Proposed Other Exterior Materials and Trim

Front Door

The front door is to be painted white and will be similar to the image below, pending approval. However, we do intend to bring the front door into ADA compliance at 36' wide. Based on the photo of the home below, it appears the window panes were two elongated rectangular panes--we will continue to search for a door more true to the original and update the board accordingly prior to purchase and installation.



Details (no cut sheet available pre-purchase)

Details

Bore Type	Double Bore	Color Family	Unfinished Wood
Color/Finish	Unfinished	Door Configuration	Single Door
Door Glass Insulation	Tempered	Door Handing	Left-Hand/Inswing
Door Style	Classic	Door Type	Exterior Prehung
Features	Brickmold, Lockset Bore (Double Bore), Weatherstripping	Finish Type	Unfinished
Frame Material	Wood	Glass Caming Finish	No caming
Glass Layout	1/2 Lite	Glass Shape	Rectangle Lite
Glass Style	Clear Glass	Hinge Finish	Satin Nickel
Hinge Type	Standard	Included	Instructions
Material	Wood	Number of Hinges	3
Number of Lites	9 Lite	Panel Type	2 Panel
Product Weight (lb.)	83	Returnable	90-Day

Window Trim

No change, window trim to be replaced board-for-board.

Porch Columns & Railings

Porch columns and railings to be simple, as they would have been, and will match those in the image below, taken at 215 E. Zaragoza Street.



The picture of 428 Bayfront Parkway below is not high resolution but it is clear enough to distinguish that the current porch columns are not original. It is most likely the original porch columns were similar to the straightforward ones shown in the 215 E. Zaragoza Street picture above.



References

City of Pensacola. (2014). Preservation District Guidelines and Regulations.

<https://www.cityofpensacola.com/AgendaCenter/ViewFile/Agenda/07062015-936?MOBILE=ON>

Haines Photo Co, C. C. (ca. 1909) B.E. view of Pensacola, Fla. United States Pensacola Florida, ca. 1909.

[Photograph] Retrieved from the Library of Congress, <https://www.loc.gov/item/2007660784/>.

Historical Colors: Benjamin Moore. (n.d.). Retrieved from

<https://www.benjaminmoore.com/en-us/color-overview/find-your-color/color-collections/hc/historical-colors>

Jeld-wen 36 in. X 80 in. 9 lite unfinished wood prehung left-hand inswing back door w/primed rot resistant jamb and brickmould-O10790. The Home Depot. (n.d.). Retrieved November 21, 2021, from

<https://www.homedepot.com/p/JELD-WEN-36-in-x-80-in-9-Lite-Unfinished-Wood-Prehung-Left-Hand-Inswing-Back-Door-w-Primed-Rot-Resistant-Jamb-and-Brickmould-O10790/203386222>.

Siding performance and durability. James Hardie. (n.d.). Retrieved November 21, 2021, from

<https://www.jameshardie.com/why-hardie/performance-and-durability?loc=refresh#>.

"United States Census, 1880," database with images, FamilySearch

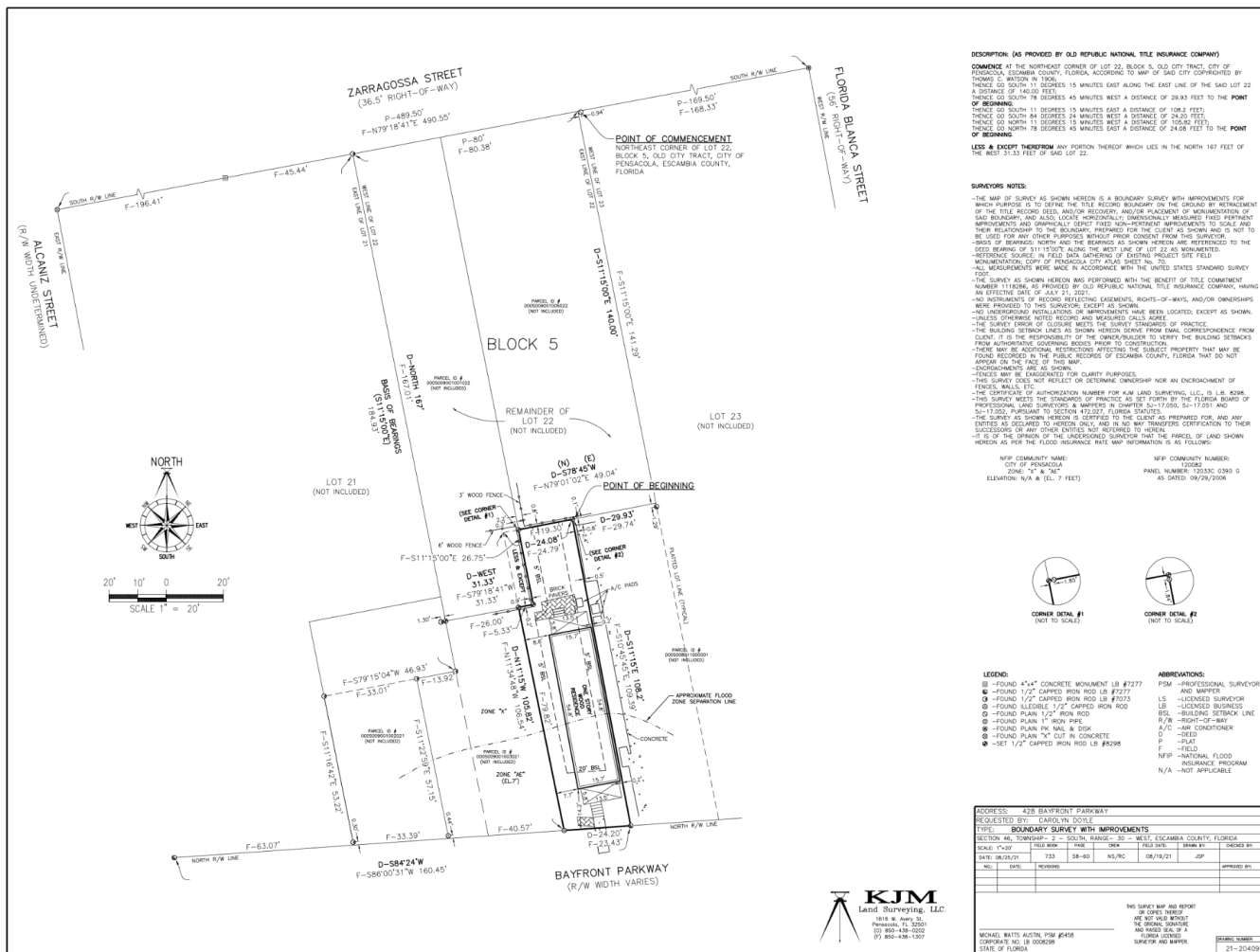
(<https://www.familysearch.org/ark:/61903/1:1:MNZ9-586> : 18 November 2021), George Wells, Pensacola, Escambia, Florida, United States; citing enumeration district , sheet , NARA microfilm publication T9 (Washington, D.C.: National Archives and Records Administration, n.d.), FHL microfilm .

Wellge, H., Beck & Pauli & Norris, W. & C. (1885) Pensacola, Fla. county seat of Escambia County.

Milwaukee, Norris, Wellge, & Co. [Map] Retrieved from the Library of Congress,

<https://www.loc.gov/item/75693185/>.

428 Bayfront Parkway 2021-08-25 Survey



428 Bayfront Parkway Addendum

Front Door Clarification

Southeastern Sash and Door is giving us a quote on a custom hardwood door to match the door that appears to be original in the adjacent picture. The door will include three rails, two panels, and twin lights above the door knob.



Front Porch, Rails, Trim

Porch Detail:

- 6"x6" supporting columns
- 36" rail height
- Intermittent rails spaced so as not to allow passage of a 4" sphere
- Footprint of porch to match existing

Also, please pay particular attention to the explanations which accompany each of the pictures.

428 Bayfront Parkway Front Porch Rendering:

Colorization is NOT accurate to the #1 Hardie Choice listed earlier due to limitations of rendering software.



428 Bayfront Parkway Back Porch:

Dangerous conditions forced the rebuilding of the back porch; front porch to be similar but with 6"x6" columns and simple post skirts.



1020 N Reus Street:

The Walton Cottage at 1020 N. Reus Street bears a porch very closely resembling, if not identically matching, the design we intend to implement.





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01081

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

313 E. Jackson Street
Old East Hill Preservation District / Zone OEHC-1
Final Review for New Construction

BACKGROUND:

Nannette Chandler is seeking final review and approval for a new single-family residence. The small shotgun cottage has been designed to blend and complement the adjacent structures along Jackson Street and will have Hardie smooth lap siding, a standing seam metal roof, 2/1 Plygem vinyl windows with simulated divided lites, and a wood front door. The paint colors have been chosen from Sherwin Williams and includes a Copen Blue body, Whispy White trim, Mount Etna accents, and a Rose Tan front door. The site plan and landscaping will be kept simple, and the front of the home will be pulled up to 12' from the front property line since off-street parking is not required.

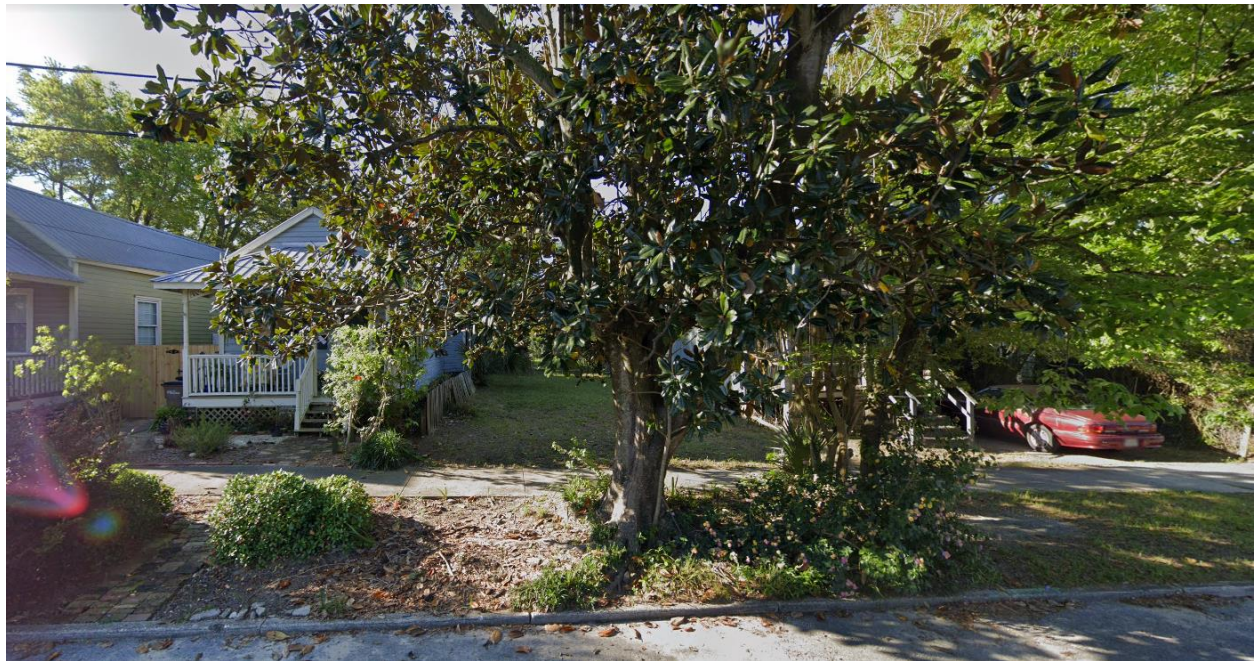
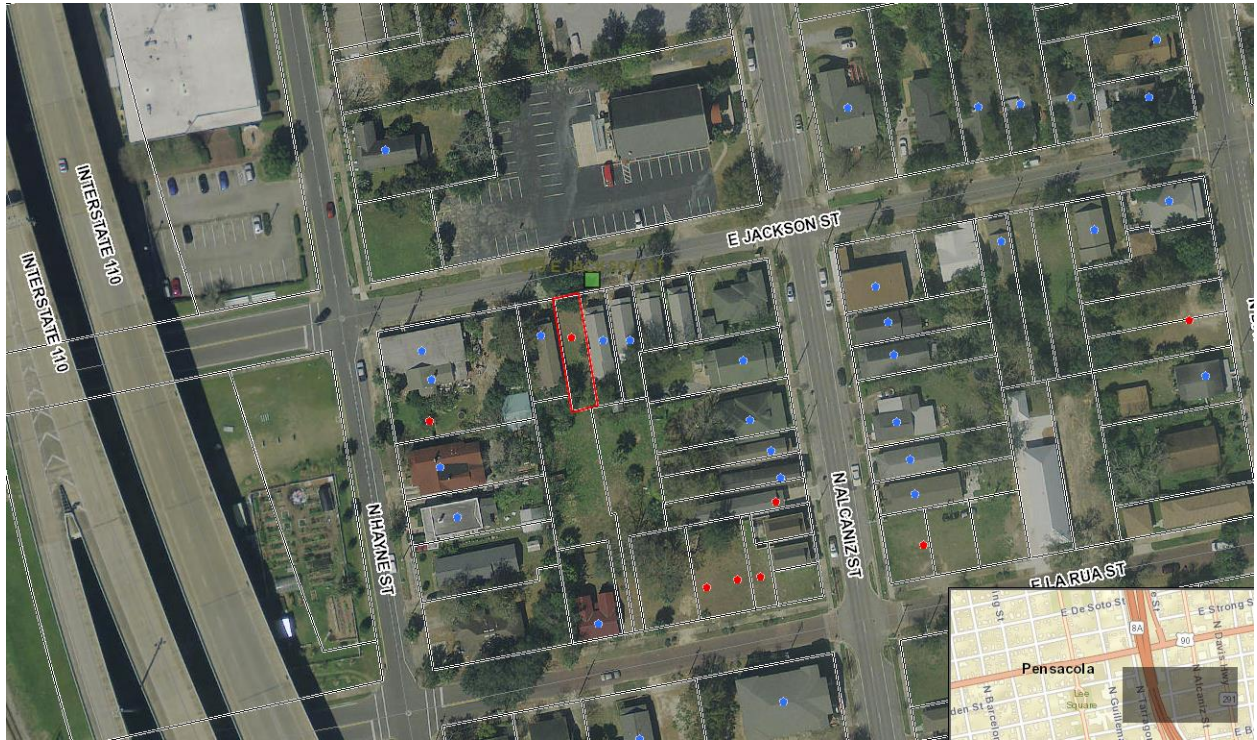
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

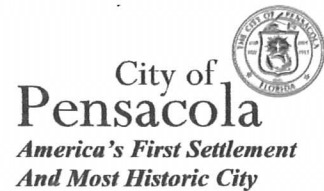
Sec. 12-3-10(3)(h) *Old East Hill Preservation District, Regulations for new construction*

Sec. 12-3-10(3)(f) *Old East Hill Preservation District, Regulations and guidelines for any development*

313 E. Jackson Street



**Architectural Review Board Application
Full Board Review**



Application Date: 11/1/2021

Project Address: 313 E. Jackson St.
Applicant: Nannette Chandler c/o Chandler Prospecting, LLC
Applicant's Address: 704 W Government St.
Email: nchandler10@gmail.com **Phone:** 850.516.3863
Property Owner: Chandler Prospecting, LLC

District: ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of new residential dwelling at said address.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

11/1/2021
Date

313 E Jackson Street



Chandler & Company
Construction

Plan Index:

- S2 - Site Plan
- S3 - Exterior Elevations
Floor Plan
Door Schedule
Window Schedule
- S4 - Roof Overview
Electrical Plan
Foundation Plan

Square Feet Calculations		
LIVING AREA		
1ST LEVEL	572	
TOTAL LIVING AREA	572	
FRONT PORCH	78	
TOTAL UNDER ROOF	650	
LOT COVERAGE	28%	

Prepared for:
Chandler & Company Construction
313 E Jackson Street
Pensacola, FL 32505

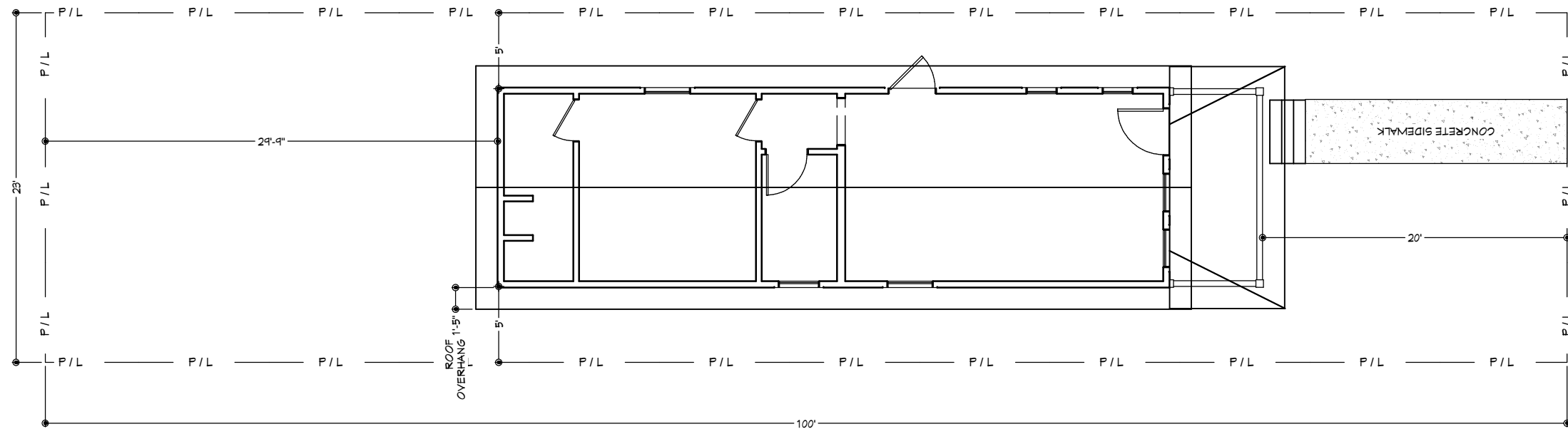


DATE:

SCALE:

1/64" = 1'

S 1



HOME WILL BE LOCATED
12' FROM FRONT PROPERTY
LINE SINCE PARKING IS NOT
REQUIRED PER CITY STAFF
AND CONSISTENT WITH
FRONT YARD AVERAGING
OF THE STREET.

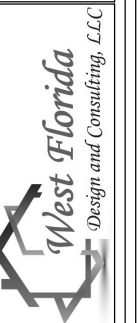
**Chandler & Company
Construction**

SITE PLAN SCALE: 1/64" = 1'

313 E JACKSON STREET

Prepared for:
Chandler & Company Construction
313 E Jackson Street
Pensacola, FL 32505

SITE PLAN



DATE:

SCALE:

1/64" = 1'

S 2

GENERAL NOTES:

THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE SUITABLE FOR THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE AND LOCAL CODES.

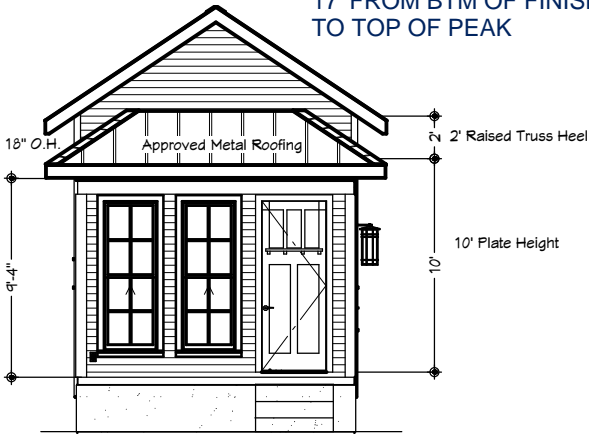
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS), GRADING, AND FINISH FLOOR ELEVATIONS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

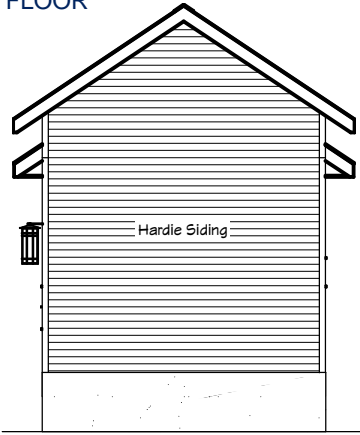
BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF FLORIDA ENERGY CODE. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR OF BUILDING. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM. STOVE VENTILATION SYSTEM TO BE VENTED TO THE EXTERIOR OF BUILDING

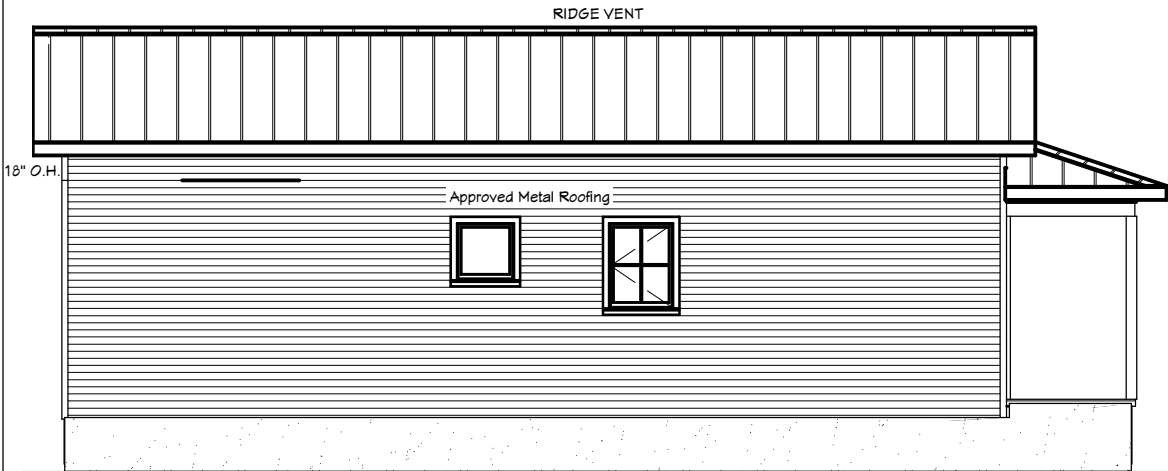
17' FROM BTM OF FINISHED FLOOR
TO TOP OF PEAK



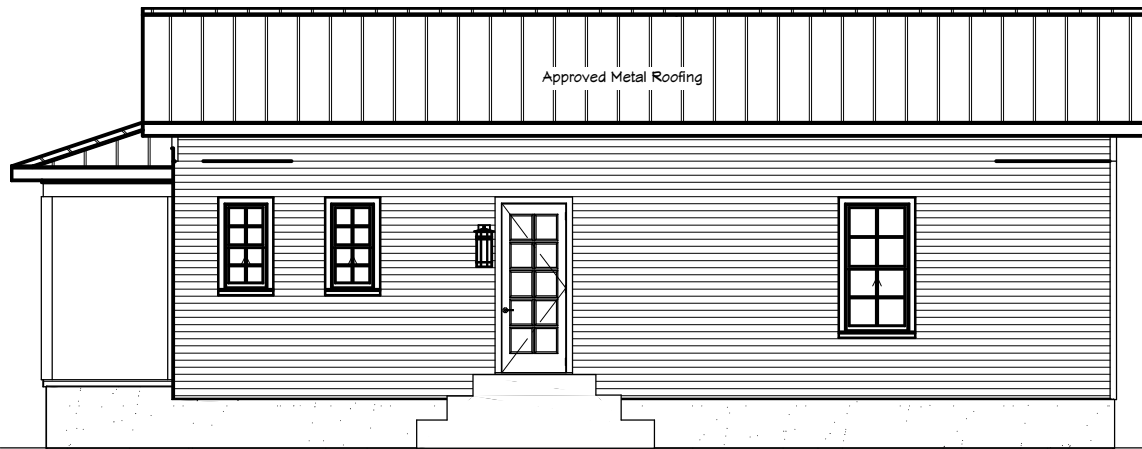
FRONT ELEVATION



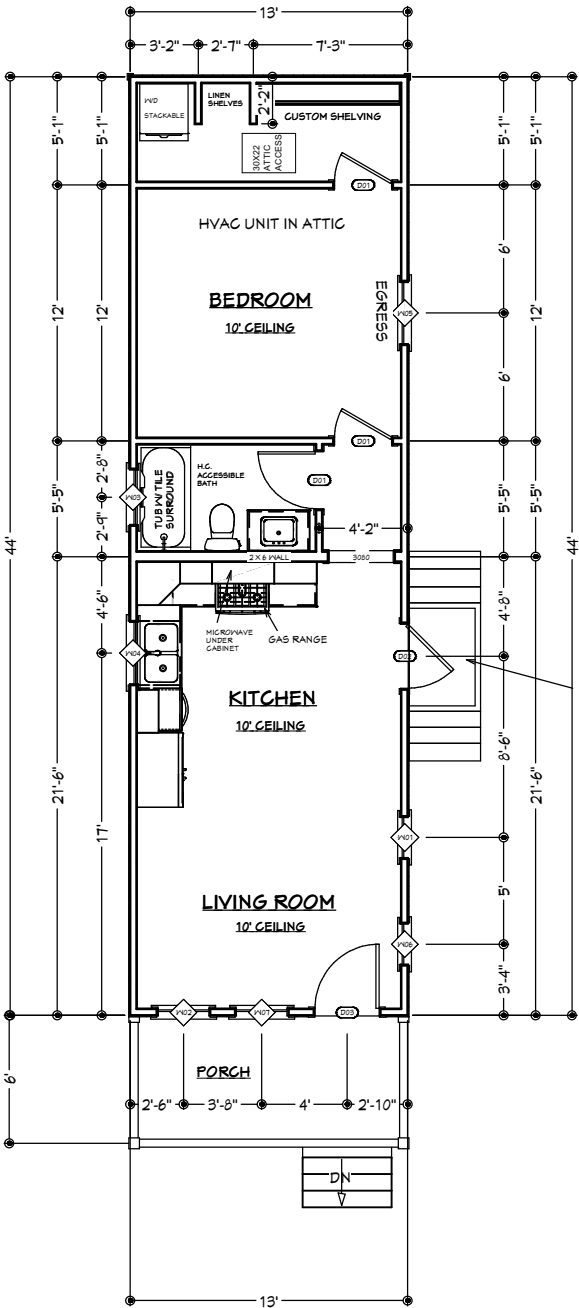
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



GAS TANKLESS
HEATER -
LOCATION TBD BY
CONTRACTOR

CONCRETE
SLAB W/ STEP
TO GRADE -
SIZE OF SLAB
AND NUMBER
OF STEPS TO
DETERMINED
CONTRACTOR
SITE
CONDITIONS

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION
D01	2880	3	1	2880 R IN	34"X98 1/2"	HINGED-DOOR F04
D02	3080	1	1	3080 L EX	38"X94"	EXT. HINGED-DOOR F05
D03	3080	1	1	3080 R EX	38"X94"	EXT. HINGED-DOOR E21

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION
W01	2040SH	1	1	2040SH	25"X44"	EGRESS TEMPERED
W02	26T05H	1	1	26T05H	31"X35"	SINGLE HUNG
W03	2828FX	1	1	2828FX	33"X33"	FIXED GLASS
W04	3040SC	1	1	3040SC	31"X44"	SINGLE CASEMENT-HL
W05	3060SH	1	1	3060SH	31"X13"	YES
W06	2040SH	1	1	2040SH	25"X44"	YES
W07	26T05H	1	1	26T05H	31"X35"	YES

I certify that the design plans and specifications for this construction are in compliance with the criteria established by the Florida Building Code and section 4.02.28 of the Marion County Land Development Code. This building and / or structure is designed for Wind Speed Risk Category 2 to withstand a wind velocity of 160 MPH wind (3 sec. gust) and Chapter 16 of the Florida Building Code. Also, upon completion of this building and / or structure, I will certify at that time the building and / or structure has complied with this specific building design. This must be on file at the Marion County Building Department before receiving an inspection for power. I understand that any change in design or specification must be submitted in writing by me to the Building Department.
All drawings and / or correspondence shall be signed and sealed.

Prepared for:
Chandler & Company Construction
313 E Jackson Street
Pensacola, FL 32505

ELEVATIONS
FLOOR PLAN

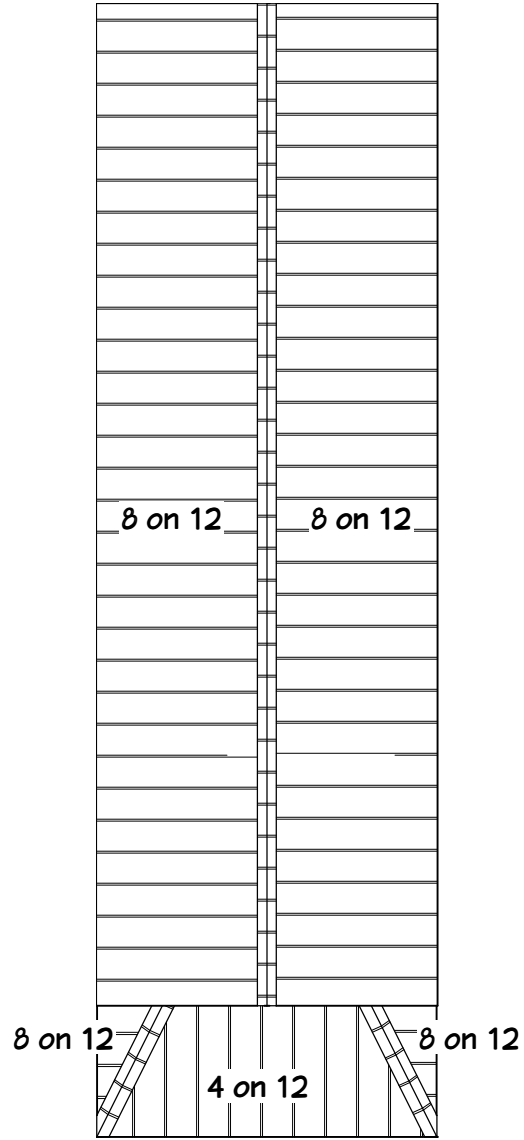


DATE:

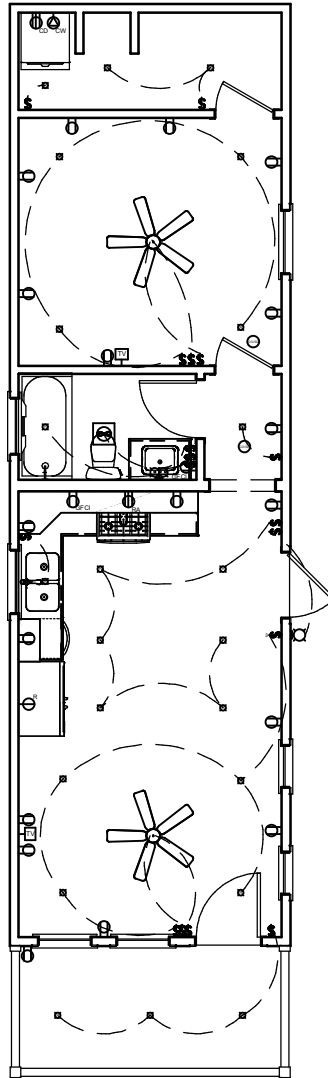
SCALE:
1/64" = 1'

S 3

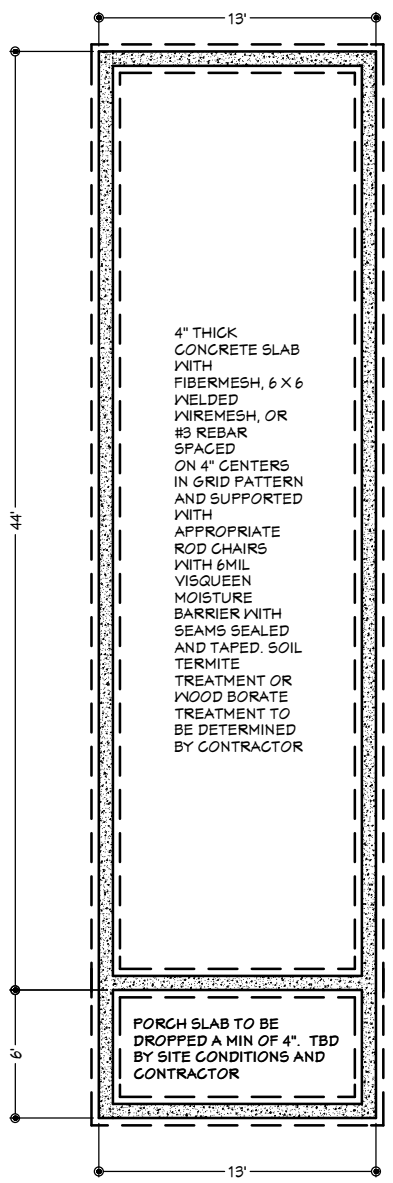
**Chandler & Company
Construction**



ROOF OVERVIEW



ELECTRICAL PLAN



FOUNDATION PLAN

***Chandler & Company
Construction***

Prepared for:
Chandler & Company Construction
313 E Jackson Street
Pensacola, FL 32505



DATE: _____

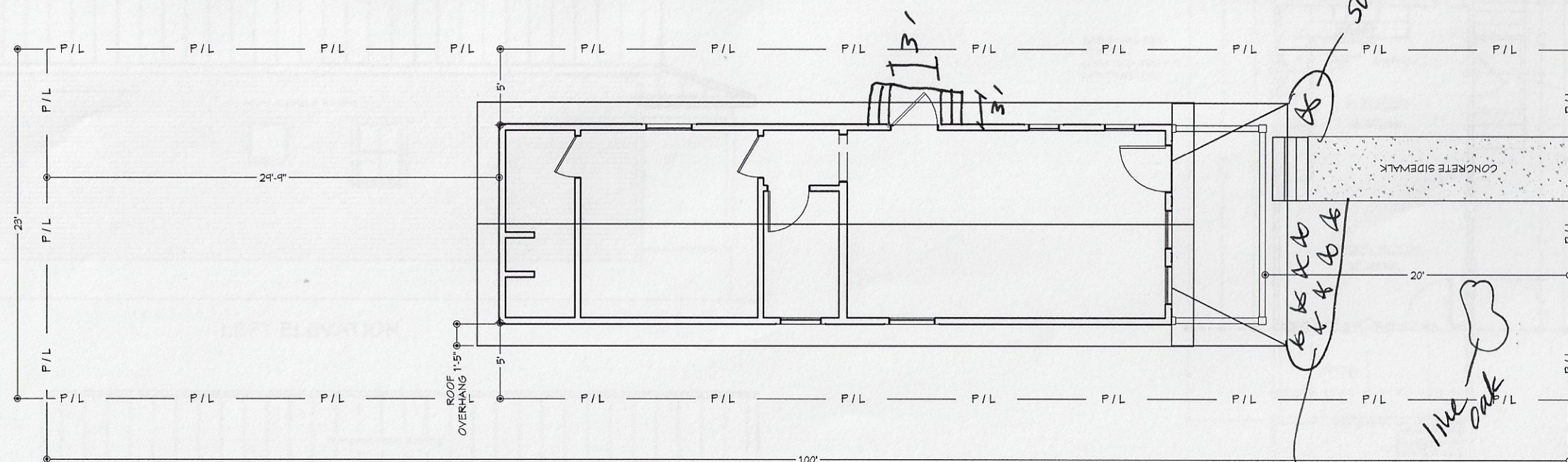
SCALE: _____

1/64" = 1'

S 4

**Chandler & Company
Construction**

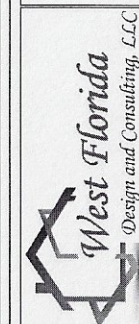
SITE PLAN SCALE: 1/64" = 1'



313 E JACKSON STREET

Prepared for:
Chandler & Company Construction
313 E Jackson Street
Pensacola, FL 32505

SITE PLAN



DATE:

SCALE:

1/64" = 1'

S 2

11/23/2021

ARB Review Details

RE: 313 E. Jackson St New Construction

This vacant property sits in a row of small shotgun homes as pictured below. The house has been designed to fit the look of the district and the feel of the street.



My lot is pictured above



Neighboring houses pictured above

Exterior Elevation Notes:

- Foundation walls will be direct-applied smooth stucco coated
- No porch railings will be required
- Columns will be 6x6 Hardie smooth hardie siding with 1x6 cap and base
- Windows will be Plygem Vinyl 1500 Series Two-Over-One SDL as shown
-



- Exterior Doors will be Wood 4 light as pictured



-
-
- Walkways and stairs will be grey-wash-stained concrete
- Porch ceiling will be reclaimed tongue and groove wood
- The roof will be silver standing seam metal
-



-
-
- Exterior Colors:
 - House Body: Copen Blue
 - Trim: Whispy White
 - Front Door: Rose Tan
 - Accents: Mount Etna
- Exterior light fixture



-



- Siding will be Hardie Smooth Lap Siding and trim shall be 5/4 Hardie 1x4 and 1x6





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 21-01083

Architectural Review Board

12/16/2021

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 12/8/2021

SUBJECT:

400 BLK E. La Rua Street
Old East Hill Preservation District / Zone OEHC-1
Final Review for New Construction

BACKGROUND:

Nannette Chandler is seeking final review and approval for a new single-family residence with a detached garage. The vacant property sits on a block where there are few historic homes, and the new construction has been designed to be similar to the existing home to the west. Both proposed structures will have Hardie smooth lap siding, shingle roofs, 2/1 Plygem vinyl windows with simulated divided lites, and wood front doors. The paint colors have been chosen from Sherwin Williams and include Halcyon Green bodies and Whispy White trim. The garage will have a metal carriage door with a wood-stained look.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

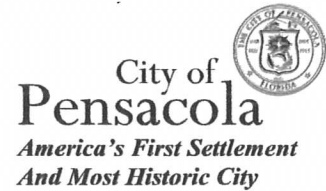
Sec. 12-3-10(3)(h) *Old East Hill Preservation District, Regulations for new construction*

Sec. 12-3-10(3)(f) *Old East Hill Preservation District, Regulations and guidelines for any development*

400 E. La Rua Street



**Architectural Review Board Application
Full Board Review**



Application Date: 11/1/2021

Project Address: 400 BLK E. La Rua St
Applicant: Nannette Chandler c/o Chandler & Company Construction, LLC
Applicant's Address: 1100 N. Davis Hwy, Pensacola, 32503
Email: nchandler10@gmail.com **Phone:** 850.516.3863
Property Owner: Gerald Chernekoff

District: ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of new homestead residence at said address.

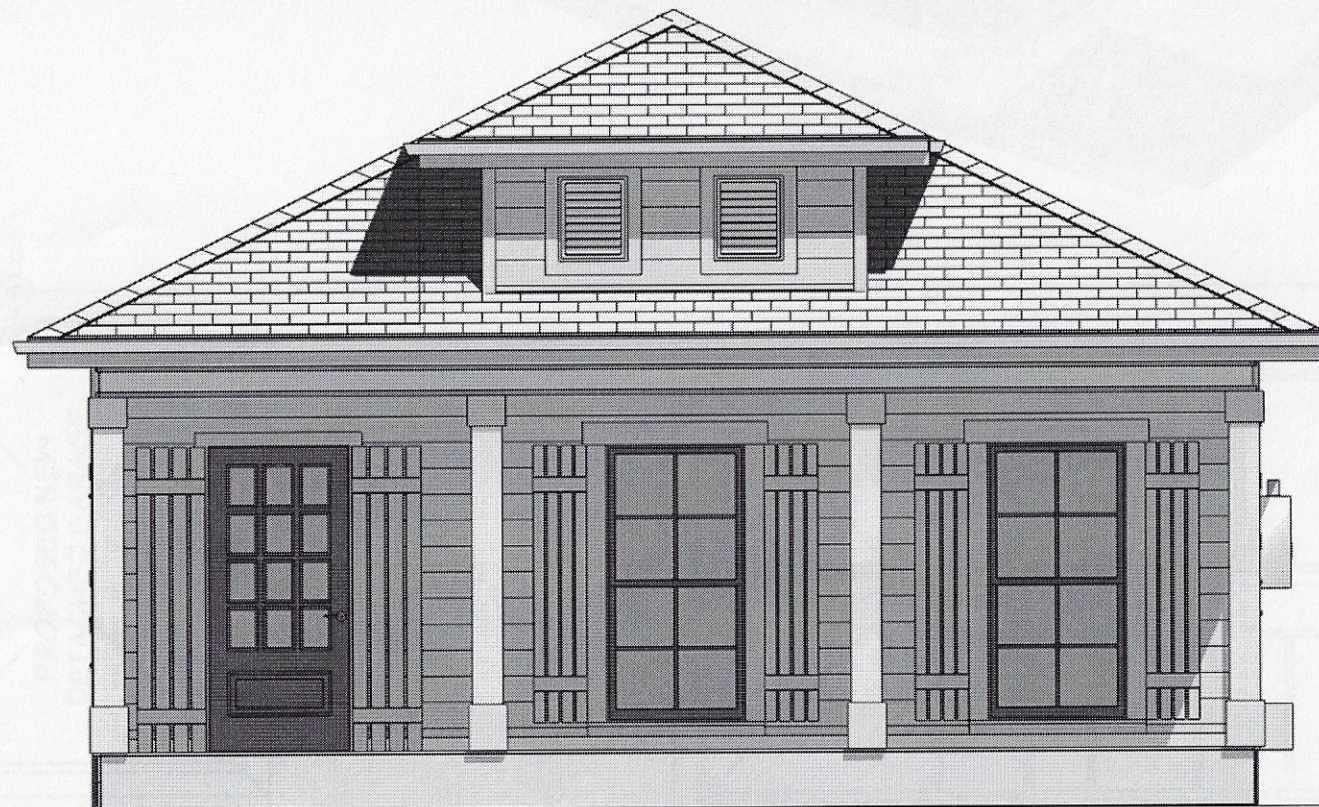
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

11/1/2021

Date

400 BLK
~~414~~ E La Rua Street



**Chandler & Company
Construction**

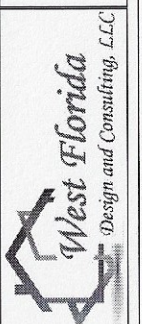
Plan Index:

- S2 - Site Plan**
- S3 - Exterior Elevations**
- S4 - Floor Plan
Door Schedule
Window Schedule**
- S5 - Electrical Plan
Foundation Plan**
- S6 - Detached Garage**
- E1-E5 - STRUCTURAL DETAILS**

**Square Feet
Calculations**

LIVING AREA		
1ST LEVEL	1,655	
TOTAL LIVING AREA	1,655	
FRONT PORCH	175	
REAR PORCH	170	
TOTAL UNDER ROOF	2,000	
DETACHED GARAGE	500	
lot coverage	41%	

Prepared for:
Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505



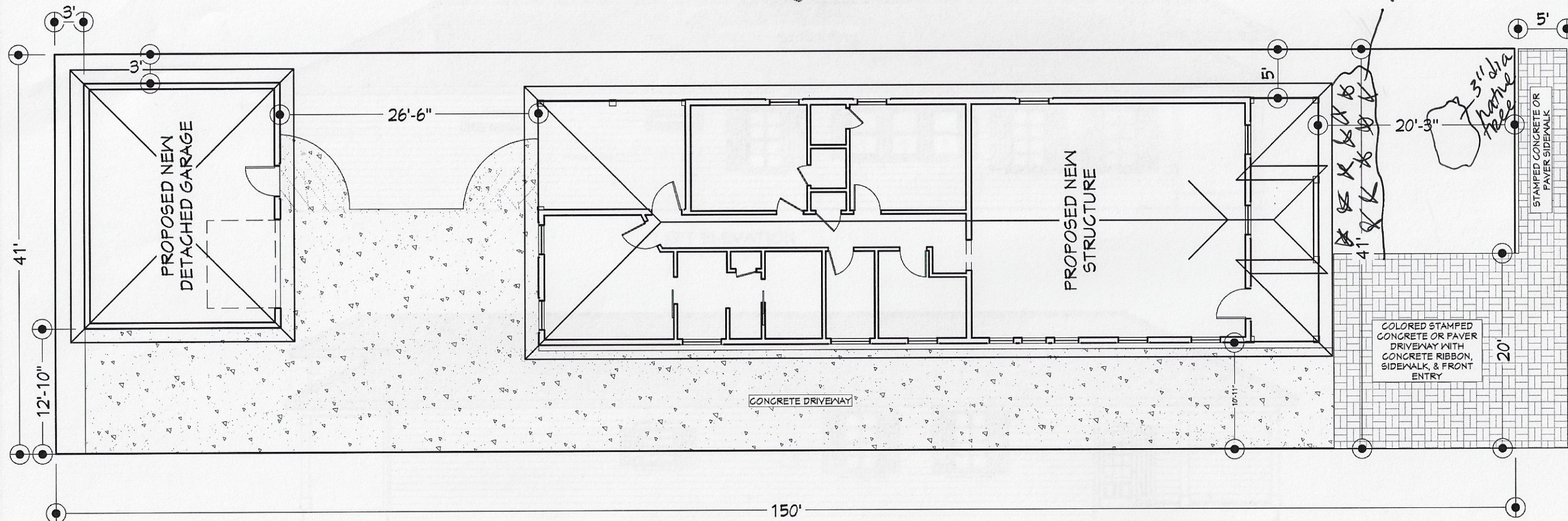
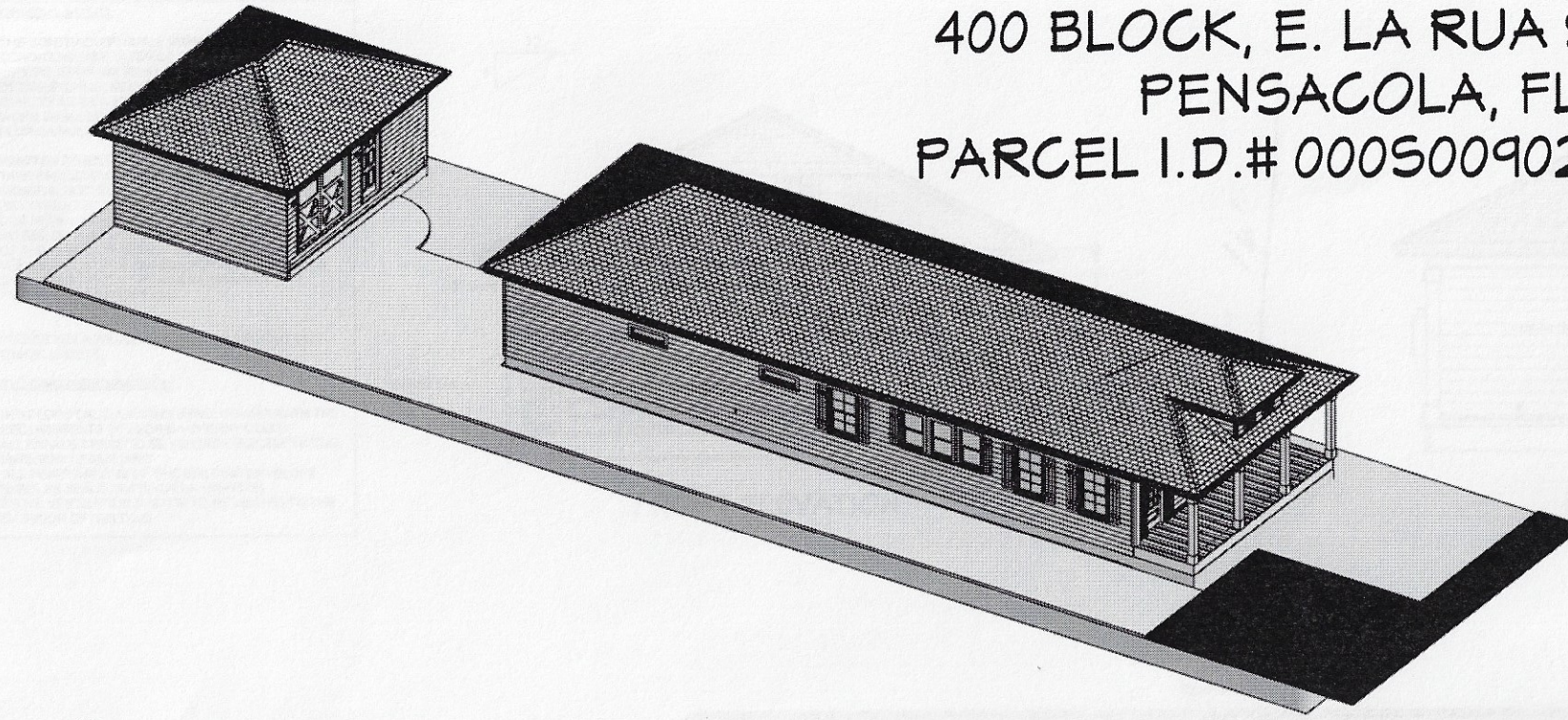
DATE:

SCALE:

7/64" = 1'

S 1

400 BLOCK, E. LA RUA STREET
PENSACOLA, FL
PARCEL I.D.# 0005009020230023

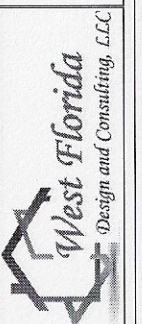


**Chandler & Company
Construction**

SITE PLAN SCALE: 11/25" = 5'

Prepared for:
Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505

SITE PLAN



DATE:

SCALE:

1/64" = 1'

S 2

GENERAL NOTES:

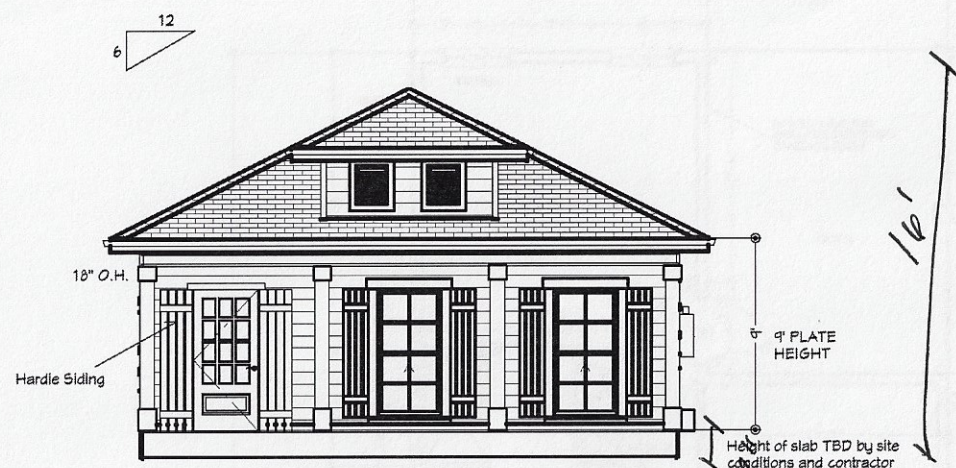
THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE SUITABLE FOR THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS), GRADING, AND FINISH FLOOR ELEVATIONS.

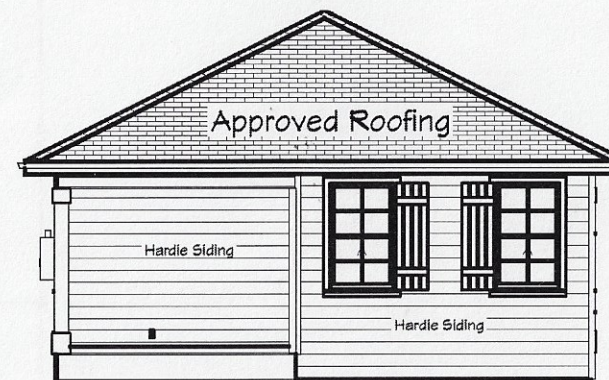
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

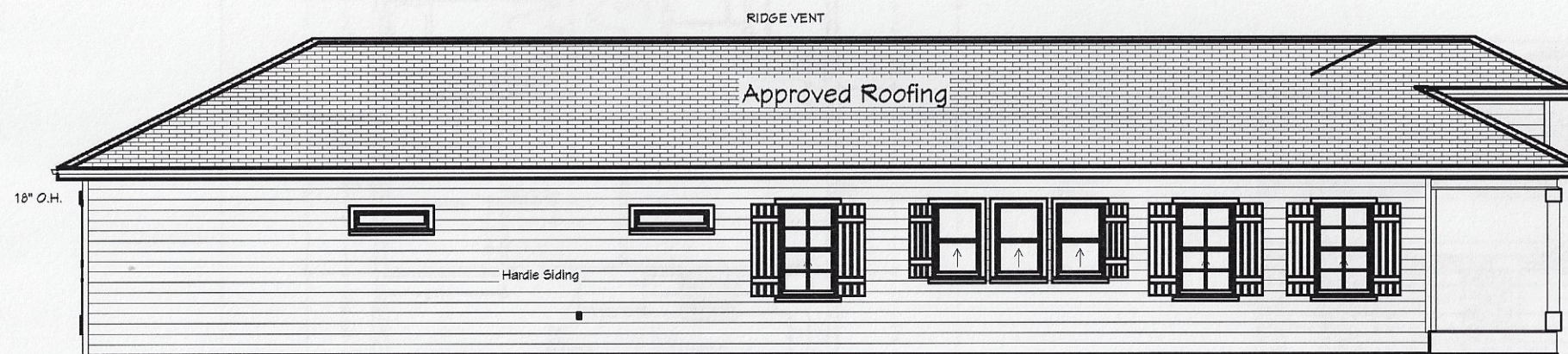
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF FLORIDA ENERGY CODE. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR OF BUILDING. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM. STOVE VENTILATION SYSTEM TO BE VENTED TO THE EXTERIOR OF BUILDING.



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



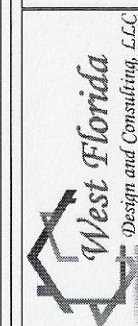
RIGHT ELEVATION

**Chandler & Company
Construction**

ROOF PITCH - 6 on 12

Prepared for:
Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505

ELEVATIONS



DATE:

SCALE:

1/64" = 1'

S 3

GENERAL NOTES:
ALL COMPONENTS,
CLADDING, WINDOWS,
DOORS, GARAGE DOORS,
VINYL SIDING, ROOFING
MATERIALS, AND ANY
OTHER EXTERIOR FINISHES
MUST COMPLY WITH 2020
FLORIDA BUILDING CODE
FOR WIND RESISTANCE AND
PRESSURE CONDITIONS OF
DESIGN FACTORS AND WIND
SPEED ZONE OF
CONSTRUCTION SITE. ALL
COMPONENT
INSTALLATIONS SHALL
COMPLY WITH
MANUFACTURERS
SPECIFICATIONS.

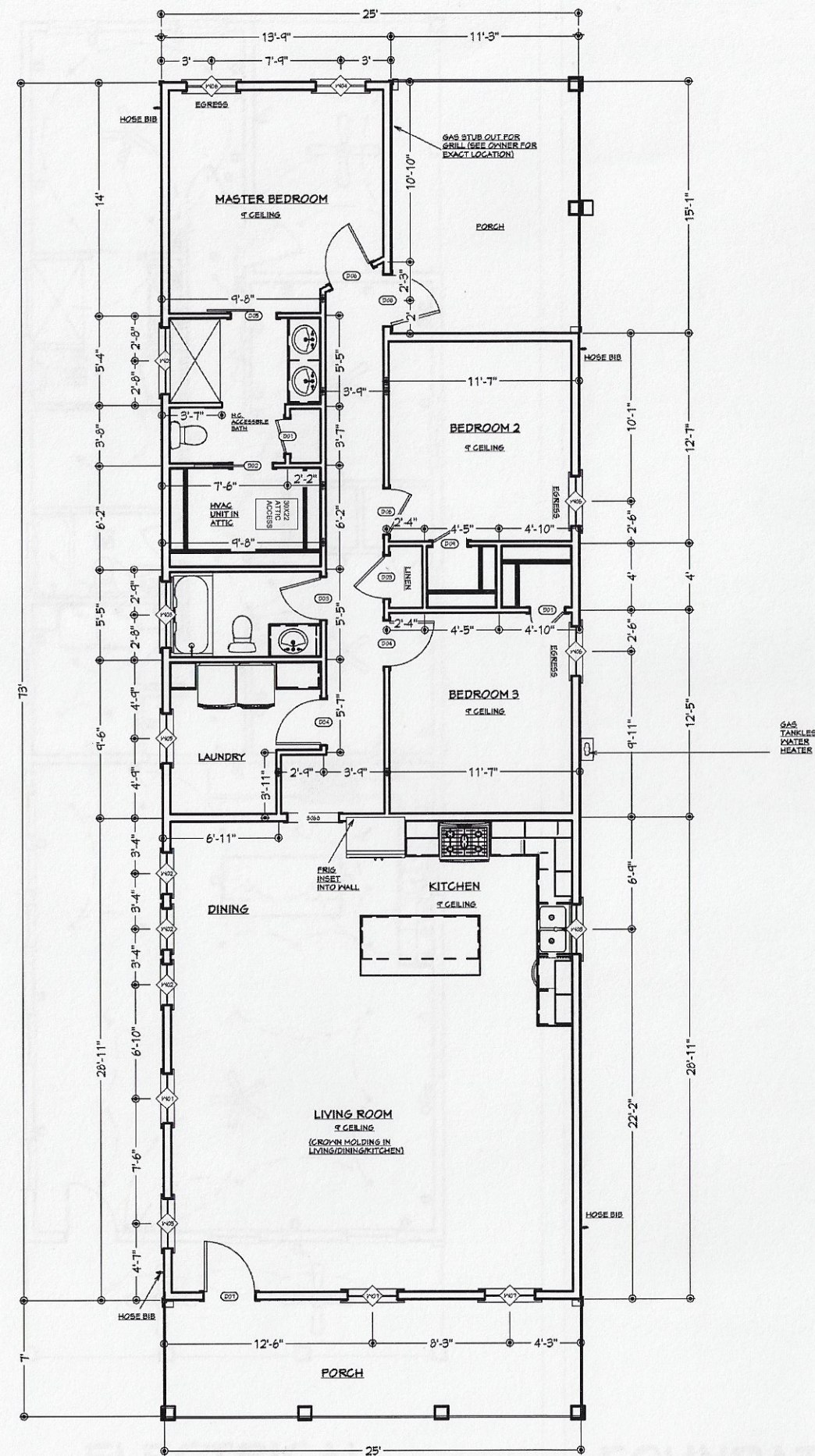
CONTRACTOR / OWNER IS
RESPONSIBLE FOR
VERIFICATION OF SITE
CONDITIONS, FLAN
DIMENSIONS, PROPERTY
SETBACKS, HOA OR
ARCHITECTURAL REVIEW
COMMITTEE
REQUIREMENTS,
WETLANDS STUDY, FLOOD
ZONES, COUNTY LAND
ORDINANCES OR ANY
OTHER SITE SPECIFIC
CONDITIONS OR POSSIBLE
RESTRICTIONS PRIOR TO
THE INITIATION OF ANY
WORK. DESIGNER SHALL
BE NOTIFIED IN WRITING
OF ANY DEVIATIONS OR
ISSUES PRIOR TO THE
COMMENCEMENT OF
CONSTRUCTION.

CONTRACTOR IS
RESPONSIBLE FOR
SETTING ELEVATION OF
FINISHED FLOOR
HEIGHT.
DESIGN SHOWN ON
THESE PLANS DOES NOT
DEPICT ANY SPECIFIC
FINISHED FLOOR
ELEVATIONS, GARAGE,
PORCH, PATIO, OR
SIDEWALK ELEVATIONS.
IT IS THE SOLE
RESPONSIBILITY OF THE
CONTRACTOR OR
OWNER TO DETERMINE
FINISHED FLOOR
HEIGHTS BASED ON SITE
CONDITIONS, SEWAGE
DISPOSAL SYSTEM
ELEVATIONS, FLOOD
ZONES OR ANY OTHER
SITE CONDITION OR
REGULATING
AUTHORITY
REQUIREMENT.

PROVISION FOR BALANCED AIR:

THE PRESSURE DIFFERENTIALS ACROSS
CLOSED DOORS WHERE RETURNS ARE
CENTRALLY LOCATED SHALL BE LIMITED TO
0.01" W/G (2.5Pa) BY PROVIDING AIR DUCT
TRANSFER VENTING FROM HIGH PRESSURE
SIDE TO LOW PRESSURE SIDE.

PROVISION FOR BALANCED AIR ARE
APPLICABLE TO HABITABLE ROOMS ONLY



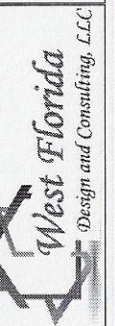
DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	HINGE SIDE	SWING SIDE
D01	2060	2	1	2060 L IN	HINGED-DOOR F04	L	IN
D02	2460	1	1	2460 L	POCKET-DOOR F04	L	IN
D03	2660	2	1	2660 R IN	HINGED-DOOR F04	R	IN
D04	2860	2	1	2860 L IN	HINGED-DOOR F04	L	IN
D05	2860	1	1	2860 R	BARN-DOOR F04	R	OUT
D06	2860	2	1	2860 R IN	HINGED-DOOR F04	R	OUT
D07	3060	1	1	3060 L EX	EXT. HINGED-DOOR E14	L	IN
D08	3060	1	1	3060 R EX	EXT. HINGED-DOOR E16	R	OUT
D09	2060	1	1	2060 L IN	HINGED-DOOR F04	L	OUT

WINDOW SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	TEMPERED	DESCRIPTION
W01	3050SH	1	1	3050SH			SINGLE HUNG TOP OF WINDOW AT 84"
W02	2640SH	3	1	2640SH			SINGLE HUNG BOTTOM OF WINDOW AT 36"
W03	3030SH	1	1	3030SH			SINGLE HUNG
W04	3050SH	1	1	3050SH			SINGLE HUNG BOTTOM OF WINDOW AT 36"
W05	3050SH	2	1	3050SH		YES	SINGLE HUNG TOP OF WINDOW AT 84"
W06	3050SH	3	1	3050SH	YES		SINGLE HUNG BOTTOM OF WINDOW AT 36"
W07	3060SH	2	1	3060SH			SINGLE HUNG
W08	4010FX	2	1	4010FX			FIXED GLASS

Chandler & Company
Construction

Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505

FLOOR PLAN



DATE:

SCALE:

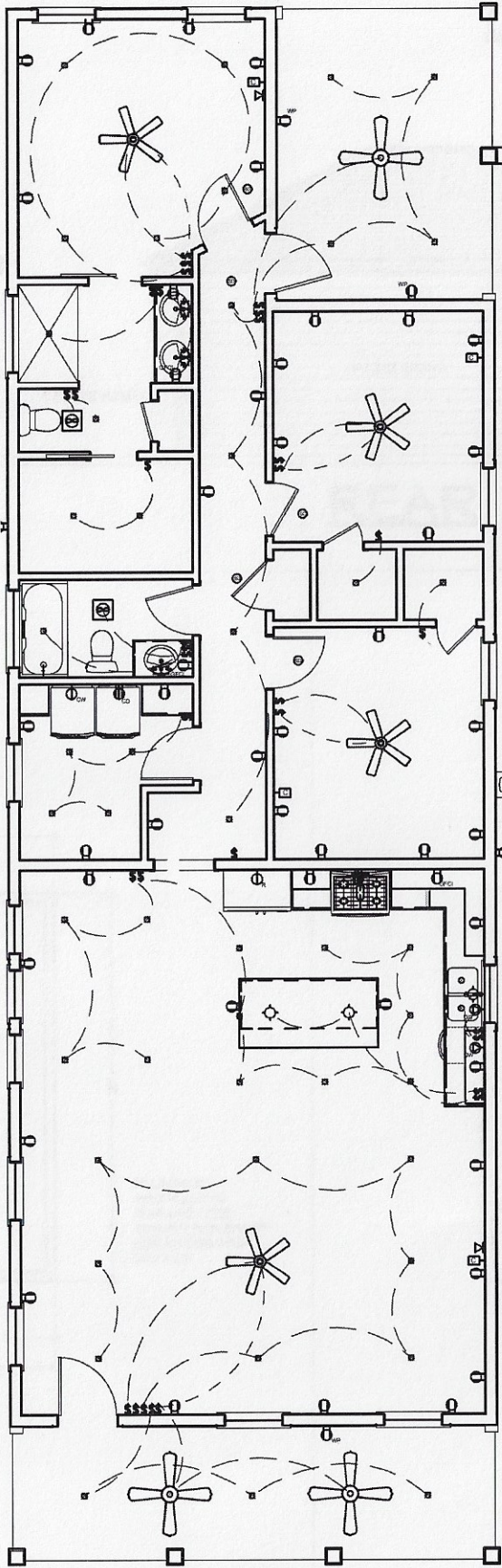
1/64" = 1'

S 4

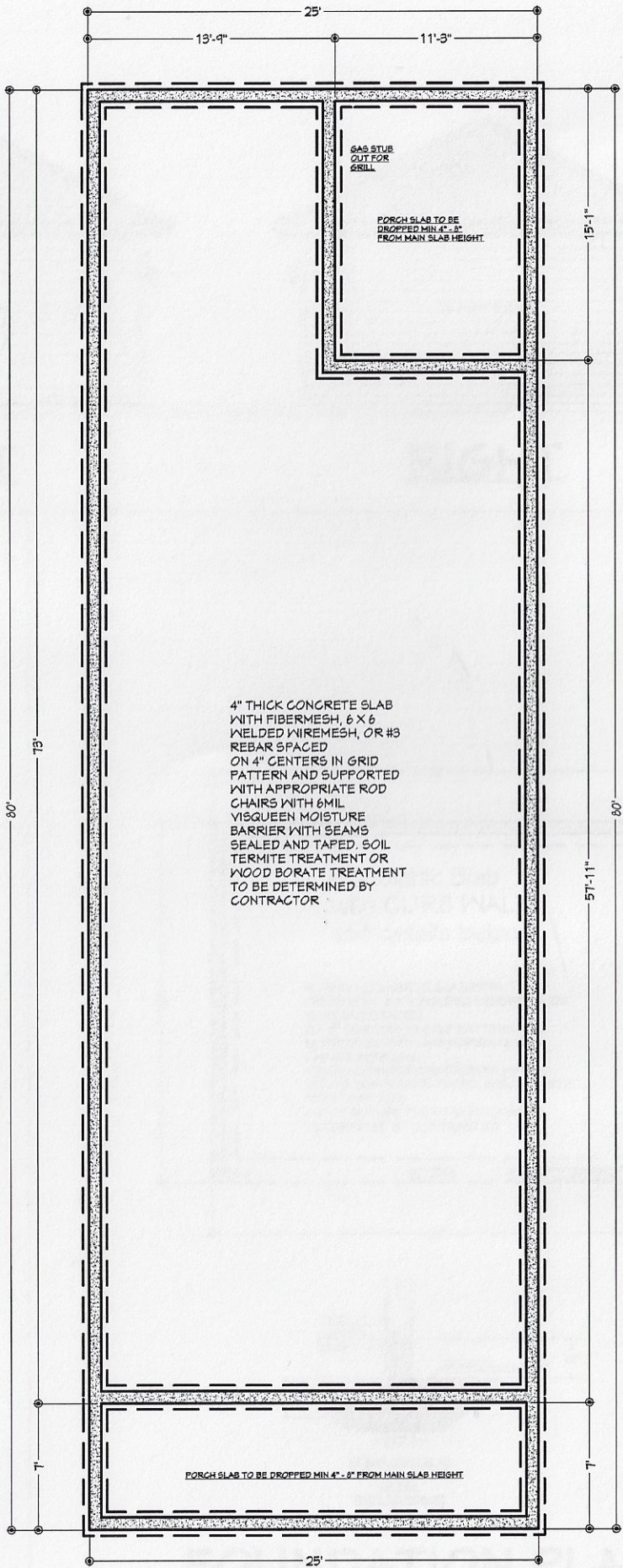
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT6 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detector: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

Lighting schedule is for reference only. All fixtures and fixture types shall be selected by contractor/homeowner.

- GENERAL NOTES:
1. ELECTRICAL PLAN IS REFERENCE ONLY. CONSULT OWNER OR CONTRACTOR FOR FURTHER INFORMATION CONCERNING TYPE, SIZE, NUMBER AND LOCATIONS OF ALL ELECTRICAL FIXTURES
 2. ALL ELECTRICAL IN THESE PLANS CONFORM TO THE 2011 NATIONAL ELECTRICAL CODE (NEC)
 3. ALL SMOKE DETECTORS SHALL BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACKUP.
 4. SMOKE DETECTORS ARE REQUIRED IN ALL BEDROOM AND ALL HALLWAYS TO BEDROOMS
 5. CARBON MONOXIDE DETECTORS REQUIRED WITHIN 10' OF ALL BEDROOMS AND ANY GAS OPERATED FIXTURES OR APPLIANCES WITHIN LIVING AREA.



ELECTRICAL



FOUNDATION

**Chandler & Company
Construction**

Prepared for:
Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505

ELECTRICAL FOUNDATION

West Florida
Design and Consulting, LLC

DATE:

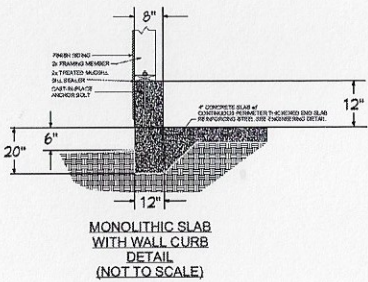
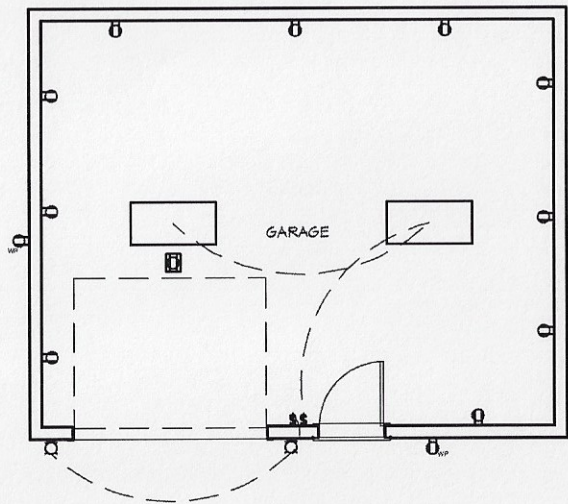
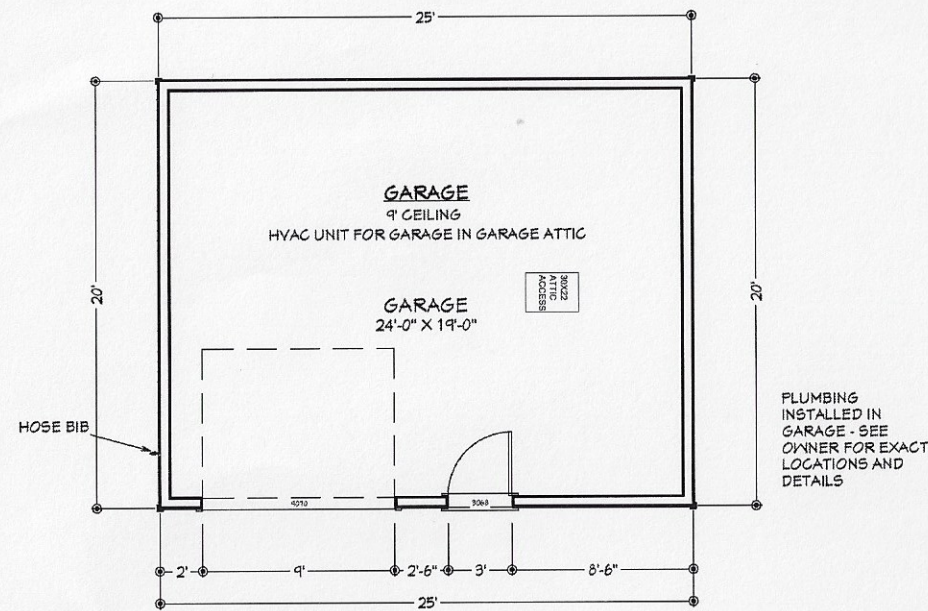
SCALE:

1/64" = 1'

S 5

ROOF PITCH: 6 on 12

DETACHED GARAGE



Chandler & Company
Construction

ELECTRICAL PLAN

FOUNDATION PLAN

Prepared for:
Chandler & Company Construction
414 E La Rua Street
Pensacola, FL 32505

DETACHED
GARAGE

West Florida
Design and Consulting, LLC

DATE:

SCALE:

7/164" = 1'

S 6

11/23/2021

ARB Review Details

RE: 400 BLK E. La Rua St New Construction

This vacant property sits on a block where there are few truly historic houses. The neighboring new construction home is similar in finish to what we are proposing.



The lot is pictured above



Neighboring house pictured above

Exterior Elevation Notes:

- Foundation walls will be direct-applied smooth stucco coated
- No porch railings will be required
- Columns will be 6x6 Hardie smooth hardie siding with 1x6 cap and base
- Windows will be Plygem Vinyl 1500 Series Two-Over-One SDL as shown
-



- Exterior Doors will be Wood 4 light as pictured



-
-
- Walkways and stairs will be grey-wash-stained concrete
- Porch ceiling will be tongue and groove beadboard
- The roof will be Tamco Weathered Wood architectural shingles as shown
-



-
-
- Exterior Colors:
 - House Body: Halcyon Green
 - Trim: Whispy White
 - Front Door: Stained

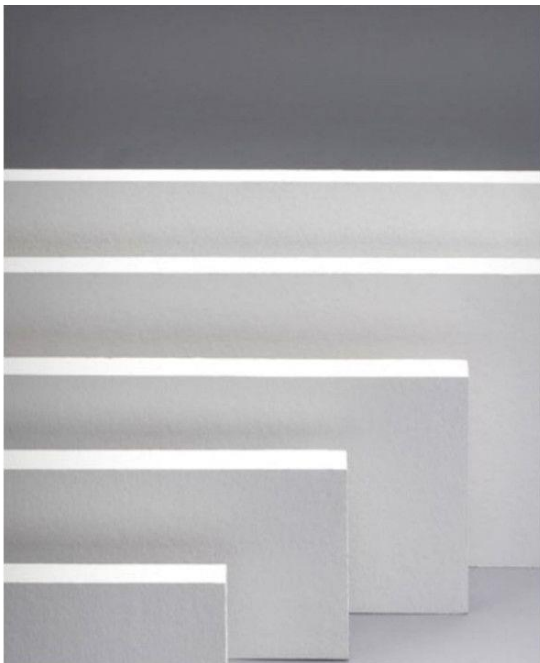
- Exterior light fixture



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- Siding will be Hardie Smooth Lap Siding and trim shall be 5/4 Hardie 1x4 and 1x6



Garage Carriage doors, Metal with wood-stained look