



City of Pensacola

Planning Board

Agenda

Tuesday, October 11, 2022, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

QUORUM / CALL TO ORDER

APPROVAL OF MEETING MINUTES

[22-00992](#) MINUTES FOR THE MEETING OF SEPTEMBER 13, 2022

Attachments: [Planning Board Minutes September 13, 2022](#)

[22-00993](#) 500 E. CHASE STREET - GATEWAY REDEVELOPMENT DISTRICT -
AESTHETIC REVIEW APPLICATION

Attachments: [500 E. Chase St. Aesthetic Review Application](#)

REQUESTS

OPEN FORUM

DISCUSSION

ADJOURNMENT

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

ADA Statement

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 850-435-1670 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to City services, programs and activities. Please call 435-1606 (or TDD 435-1666) for further information. Request must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00992

Planning Board

10/11/2022

SUBJECT:

Minutes for the Meeting of September 13, 2022



MINUTES OF THE PLANNING BOARD
September 13, 2022

MEMBERS PRESENT: Chairperson Paul Ritz, Vice Chairperson Larson, Board Member Grundhoefer, Board Member Van Hoose, Board Member Powell, Board Member Villegas, Board Member Sampson

MEMBERS ABSENT: None

STAFF PRESENT: Assistant Planning & Zoning Manager Cannon, Historic Preservation Planner Harding, Development Services Director Morris, Help Desk Technician Johnston, Deputy City Administrator Forte, Executive Assistant Chwastyk, City Arborist Stultz

STAFF VIRTUAL: Senior Planner Statler, Assistant City Attorney Lindsay

OTHERS PRESENT: Paul Battle, Doris Hayes

AGENDA:

- Quorum/Call to Order
- Approval of Meeting Minutes from August 9, 2022

New Business:

- Request for Preliminary Plat Approval – Javelin Landing Subdivision
- Request for Preliminary Plat Approval – Girard Place Phase II
- Referral to Planning Board – Inclusion of Quercus Hemisphaerica – Darlington Oak to the list of protected trees in City Code Chapter 12-6 Tree/Landscape Regulations
- Open Forum
- Discussion
- Adjournment

Call to Order / Quorum Present

Chairperson Paul Ritz called the meeting to order at 2:01 pm with all members present and explained the procedures of the Board meeting including requirements for audience participation.

Approval of Meeting Minutes - Board Member Larson made a motion to approve the August 9, 2022 minutes, seconded by Board Member Powell, and it carried 7:0.

New Business –

Request for Preliminary Plat Approval – Javelin Landing Subdivision

Assistant Planning & Zoning Manager, Cannon introduced the item and stated that this subdivision plat was previously approved in July 2021. Since the 365-day window had passed, the applicant was required to resubmit their application. Board Member Grundhoefer inquired about stormwater treatment. Paul Battle with Rebol-Battle stated that they have a stormwater pond located on the east side of the parcel which is designed to serve the entire development. Chairperson Paul Ritz noted that the city and county boundary lines intersect in that area. Paul Battle stated there will be amenities for this subdivision located at one of the other four subdivisions that are planned in the nearby County parcels. Assistant Planning & Zoning Manager, Cannon, verified that this parcel had been rezoned C-1 based on a recommendation from the Planning Board and City Council. Chairperson Paul Ritz stated there were very few comments from staff and that they had all been addressed. Assistant Planning & Zoning Manager, Cannon, confirmed that all review comments had been addressed. **Board member Villegas made a motion to approve, seconded by Vice Chairperson Larson, and it carried 7:0.**

Request for Preliminary Plat Approval – Girard Place Phase II

Chairperson Paul Ritz stated he would like to move the item to the next available meeting since there were no representatives to speak on the item. Board Member Grundhoefer questioned if Phase II was similar to Phase I. Assistant Planning & Zoning Manager Cannon and Development Services Director Morris could not recall if it was like Phase I since an extended amount of time had passed and the applicants representatives weren't available to address the question. Vice Chairperson Larson inquired about the access available to emergency vehicles. Assistant Planning & Zoning Manager Cannon stated that both the Engineering and Fire Departments reviewed the plat and had no comments or concerns. Chairperson Paul Ritz stated there was a consensus that there were too many questions to vote at this time and they would move this item to the end of the meeting in case the representatives would arrive prior to adjournment.

Referral to Planning Board – Inclusion of Quercus Hemisphaerica – Darlington Oak to the list of protected trees in City Code Chapter 12-6 Tree/Landscape Regulations

City Arborist Stultz stated that most of the trees in the city which appear to be protected Quercus laurifolia, are in fact Quercus hemisphaerica, and in order to maintain the biodiversity of the urban forest and keep the desired carbon sequestration that the City would need to protect the Quercus hemisphaerica. Board Member Villegas asked if this tree was equally important as the live oak. City Arborist Stultz stated it's equally important in the natural forest ecosystem but that the tree is not so well suited for an urban environment, due to the tree's much shorter life span. City Arborist Stultz stated that if we wanted to protect the city canopy, we needed to protect this tree because it makes up the largest number of oak trees that we have in the city. Chairperson Paul Ritz asked if they needed to offer this to City Council as a tree that needs protection, board members concurred that it warranted further protection. Chairperson Paul Ritz stated this board feels the canopy of the City of Pensacola is important, therefore it's important to include this tree, which according to the City Arborist is the most numerous in the city limits, as a protected tree.

Board Member Grundhoefer made a motion to approve, seconded by Board member Villegas, and it carried 7:0.

Request for Preliminary Plat Approval – Girard Place Phase II

Chairperson Paul Ritz asked if there was a representative to speak on this request and it was noted that there were no representatives at the meeting. Assistant City Attorney Lindsay stated the board is expected to act promptly on all applications per the city ordinance. Chairperson Paul Ritz asked if they could deny it without prejudice to allow them to return without reapplying or paying another fee. Assistant City Attorney Lindsay answered yes. Board Member Villegas questioned if there was any communication stating they would not be here and Assistant Planning & Zoning Manager Cannon stated she notified the applicant and their representatives via email and she only received an out of office reply. Cannon stated that various attempts had been made to reach the applicant and that there was no response. Historic Preservation Planner Harding mentioned that the application form states the applicant must be present on the date of the Planning Board meeting.

Board Member Larson made a motion to deny without prejudice allowing them time to return, seconded by Board member Villegas, and it carried 4:3.

Open Forum – none

Discussion – Board Member Grundhoefer inquired about the two rezonings on Hewitt Street and Baptist Hospital that were denied, Assistant Planning & Zoning Manager Cannon stated that both rezonings were pulled at the request of the applicants. The board began an open discussion regarding Airbnb's and how they are affecting neighborhoods.

Adjournment – With no further business, the Board adjourned at 3:02 p.m.

Respectfully Submitted,

Cynthia Cannon, AICP
Assistant Planning Director
Secretary of the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00993

Planning Board

10/11/2022

TO: Planning Board Members

FROM: Cynthia Cannon, Assistant Planning & Zoning Manager

DATE: 10/4/2022

SUBJECT:

500 E. Chase Street - Gateway Redevelopment District - Aesthetic Review Application

BACKGROUND:

Scott Parks, Parks and Long, LLC, is requesting approval to repaint and repair the exterior of the building located at 500 E. Chase Street (former Wendy's restaurant). All relevant documentation is included for your review.



**Planning Board Application
Request for Aesthetic Review**

Application Date: 9/9/22

Project Address: 500 E. Chase St. Pensacola, FL. 32501

Applicant: R. Scott Parks / Parks and Long LLC

Applicant's Address: 901 Concorde Blvd. Pensacola, FL. 32505

Email: scott.parksandlong@gmail.com Phone: (850) 393-3108

Property Owner: _____

Redevelopment District:



Waterfront



Gateway



South Palafox Business



North 9th Avenue

** An application for aesthetic review shall be reviewed by a representative of the Planning Board once all materials have been submitted and it is deemed complete by the Secretary to the Board.*

Project specifics/description:

Repaint and rewire exterior of building. Removal of some existing interior walls, removal of ceiling and fixtures. Installation new walls, fixtures, ceilings, and patch and repair of existing flooring. New wall finishes throughout interior.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made.

[Signature]
Applicant Signature

9-8-22
Date



CONCEPTUAL DESIGN

1500 EAST CHASE STREET
PENSACOLA, FL 32502
AUGUST 19, 2022







Sherwin Williams /
SW 7674
Peppercorn

Benjamin Moore /
322 Abstracta

existing split face
block; no paint

Sherwin Williams /
SW 7674
Peppercorn





Sherwin Williams /
SW 7674
Peppercorn

FLUENT
CANNABIS CARE

RESERVED
PARKING


Sherwin Williams /
SW 7674
Peppercorn

Benjamin Moore /
322 Abstracta



Sherwin Williams /
SW 7674
Peppercorn

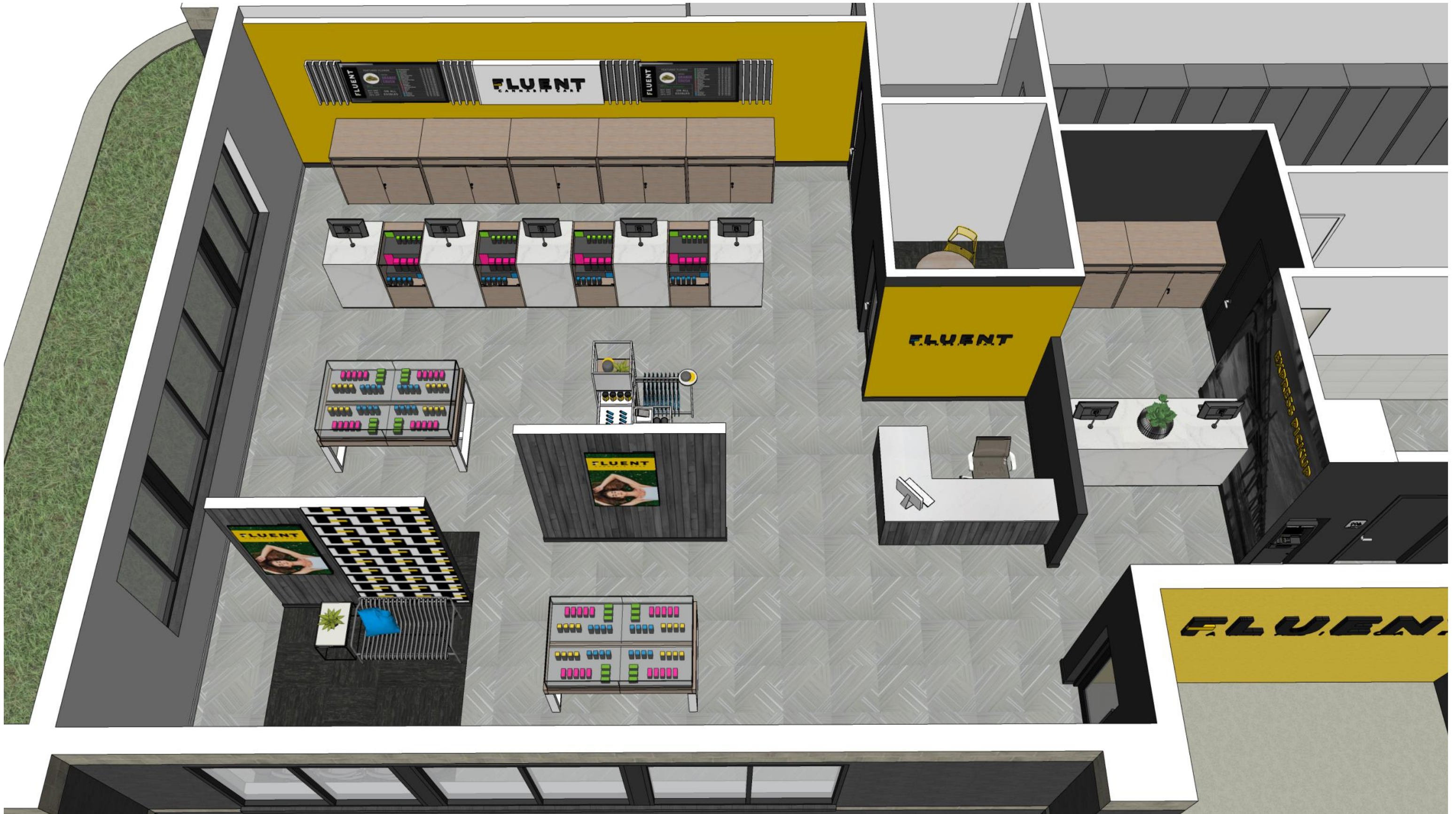
existing split face
block; no paint

Sherwin Williams /
SW 7674
Peppercorn

Benjamin Moore /
322 Abstracta









FLUENT MEDICAL CANNABIS DISPENSARY
PENSACOLA EAST CHASE STREET
AUGUST 19, 2022

RECEPTION AREA



FLUENT MEDICAL CANNABIS DISPENSARY
PENSACOLA EAST CHASE STREET
AUGUST 19, 2022

RECEPTION AREA



FLUENT MEDICAL CANNABIS DISPENSARY
PENSACOLA EAST CHASE STREET
AUGUST 19, 2022

VIEW FROM ENTRANCE



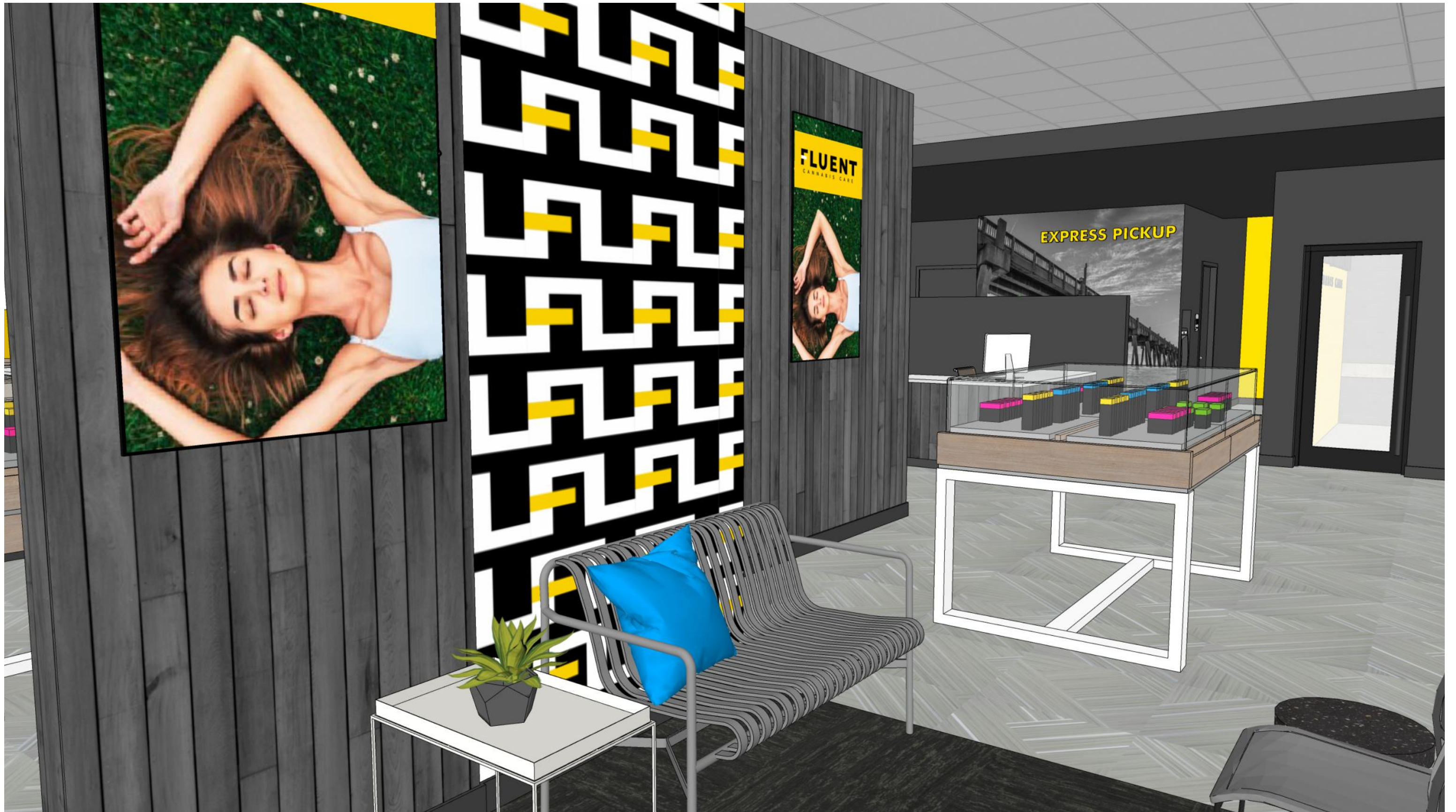
FLUENT MEDICAL CANNABIS DISPENSARY
PENSACOLA EAST CHASE STREET
AUGUST 19, 2022

RETAIL AREA



FLUENT MEDICAL CANNABIS DISPENSARY
PENSACOLA EAST CHASE STREET
AUGUST 19, 2022

RETAIL AREA VIEW TO ENTRANCE





FLUENT MEDICAL CANNABIS DISPENSARY
 PENSACOLA EAST CHASE STREET
 AUGUST 19, 2022

SALES AREA





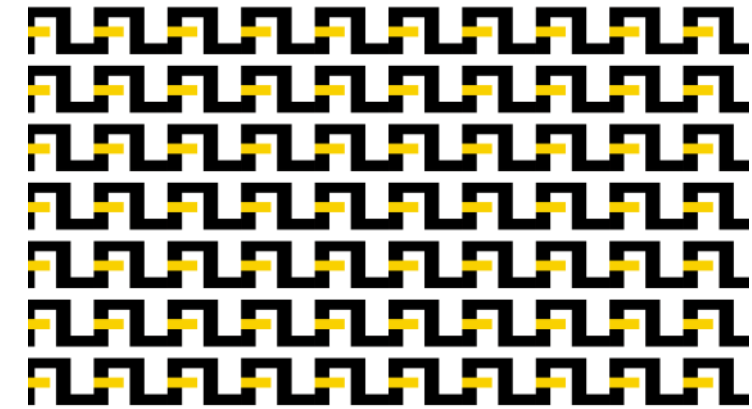
Metal base:
Chemetal
917 Brushed
Black Aluminum

Laminate or veneer:
white oak

Charred Oak Cladding

Counters:
MSI / Calacatta Trevi

CABINETS + COUNTERS



Vinyl wall graphic

WALLS



Linear LED:
Finelite / HO4 series

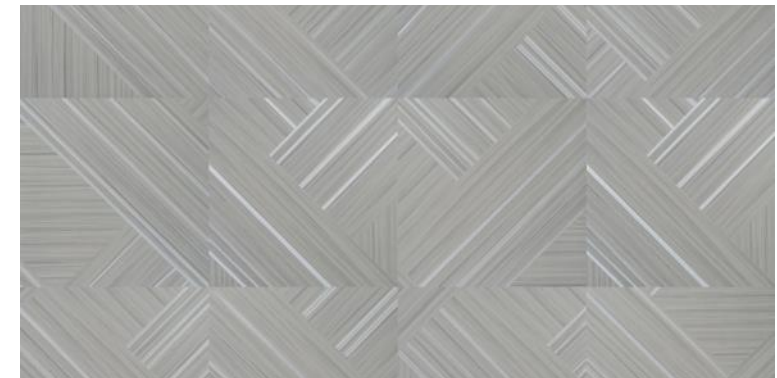


Ceiling Tile:
Match existing

CEILING



Carpet:
Shaw Contract / Slab Tile / Onyx



LVT Flooring:
Shaw Contract / Emerge / Forge Platinum

FLOORING

RECEPTION:



Task chair:
M365 Grey Vegan Leather



Bench:
Hay Palissade sofa, light grey
\$995 ea



Side chair:
KI opt 4 poly chair
\$157 ea



Stool:
Finnish Design Shop
Bit Stool, black + yellow
\$250—\$300 ea

CONSULT ROOM:

NOT UPDATED



Side chairs:
BluDot
Hot Mesh Chair—natural yellow
\$169 ea.



Coffee table x2:
Hay Tray Coffee Table - gray
\$295 ea

FLUENT

CANNABIS CARE

500 EAST CHASE STREET PENSACOLA, FL 32501

LEGAL JURISDICTION:	ESCAMBIA COUNTY		
BUILDING CODE:	2020 FLORIDA BUILDING CODE, 7TH EDITION - BUILDING		
MECHANICAL:	2020 FLORIDA BUILDING CODE, 7TH EDITION - MECHANICAL		
PLUMBING:	2020 FLORIDA BUILDING CODE, 7TH EDITION - PLUMBING		
ELECTRICAL:	2020 NATIONAL ELECTRICAL CODE		
ENERGY:	2020 FLORIDA BUILDING CODE, 7TH EDITION - ENERGY		
FIRE:	2020 FLORIDA FIRE PREVENTION CODE, 7TH EDITION		
BUILDING AREA:	2,832 S.F. GROSS		
OCCUPANCY:	B		
TYPE CONSTRUCTION:	TYPE V - UNSPRINKLERED		
TYPE	AREA	FACTOR	OCCUPANTS
SALES FLOOR	1328 S.F.	1:50 S.F.	23
BOH	857 S.F.	1:300 S.F.	1
OFFICE	80 S.F.	1:300 S.F.	1
VAULT	274 S.F.	1:300 S.F.	1
RESTROOMS & PASSAGE	290 S.F.	0	0
TOTAL			26

PROJECT SUMMARY

THIS PROJECT CONSISTS OF THE COSMETIC INTERIOR REMODEL TO THE EXISTING SALES FLOOR, SERVICE AREA, RESTROOMS AND BOH OF AN EXISTING BUILDING (2,832 SQ. FT. OF AREA) LOCATED AT 1500 EAST CHASE STREET, PENSACOLA, FL 32502

INTERIOR: NEW WALLS AND FINISHES, NEW FLOOR FINISHES, PATCH AND REPAIR FLOOR AS REQUIRED, NEW COUNTERTOPS, NEW DISPLAY CASES, NEW SALES AREA FURNITURE (CHAIRS AND SALES FLOOR DISPLAYS), NEW SOFFITS/CEILINGS AS INDICATED IN THE PLANS, NEW CONSULT OFFICE AS SHOWN.
BOH: NEW WALS AND CEILINGS AND NEW FINISHES, PATCH AND REPAIR AS REQUIRED, NEW EQUIPMENT INSTALL OF NEW SHELVING, AND NEW WALK-IN VAULT AS INDICATED IN THE PLANS.
RESTROOMS: NEW FIXTURES AND FINISHES, TO COMPLY WITH ACCESSIBILITY REQUIREMENTS

EXTERIOR: CLEAN EXTERIOR WALL FINISHES, PREP AND PAINT TO NEW BRAND STANDARDS, NEW SIGNAGE UPGRADES PERMITTED SEPARATELY BY VENDOR.

SUMMARY OF SCOPE

OWNER Fluent Cannabis Dispensary 82 NE 26th St. (Unit 110) Miami, FL 33137	ARCHITECT ArcVision Inc. 1950 Craig Rd. St. Louis, MO 63146 Contact: Josh Buono Phone: 314.415.2400
	MECH. / ELEC. ENGINEER ArcVision Inc. 1950 Craig Rd. St. Louis, MO 63146 Contact: Anthony Richardson Phone: 314.415.2400

PROJECT DIRECTORY

SECURITY/FIRE/CCV/BDA STATE ALARM 8152 Washington St. Port Richey, FL 34688 Contact: Ronald Vachon Phone: (727)939-8888 Ext.154	FURNITURE (Company) (Address) (City, State, Zip) Contact: Phone:
SIGNAGE (Company) (Address) (City, State, Zip) Contact: Phone:	
	OTHER (Company) (Address) (City, State, Zip) Contact: Phone:

TITLE/ GENERAL T1.0 TITLE SHEET					
DEMOLITION D1.0 DEMOLITION FLOOR PLAN D2.0 EXTERIOR DEMOLITION ELEVATION D2.1 EXTERIOR DEMOLITION ELEVATION					
ARCHITECTURAL CT1.0 SITE PLAN A1.0 FLOOR PLAN A1.1 WALL FINISH DRAWING A1.2 DOOR / WINDOW / FINISH SCHEDULE A2.0 EGRESS PLAN A3.0 REFLECTED CEILING PLAN A4.0 EXTERIOR ELEVATIONS A4.1 EXTERIOR ELEVATIONS A5.0 INTERIOR ELEVATIONS A5.1 INTERIOR ELEVATIONS					
ACCESSIBILITY ADA1.0 ACCESSIBILITY REQUIREMENTS ADA1.1 ACCESSIBILITY REQUIREMENTS					
MECHANICAL M1.0 FLOOR PLAN M2.0 SCHEDULES AND NOTES M3.0 SPECIFICATIONS					
ELECTRICAL E1.0 POWER PLAN E2.0 LIGHTING PLAN E3.0 ONE-LINE, SCHEDULES AND LEGEND E4.0 DETAILS AND DIAGRAMS E5.0 SPECIFICATIONS					
PLUMBING P1.0 FLOOR PLAN P2.0 RISER DIAGRAMS AND DETAILS					

- A. ALL WORK SHALL CONFORM TO THE 2020 FLORIDA BUILDING CODE, 7TH EDITION AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF PENSACOLA AND COUNTY OF ESCAMBIA.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DRAWINGS ARE BASED ON A SURVEY, PREPARED BY ArcVision.
- E. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- F. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE FLUENT BRANDS CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- G. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT (IF APPLICABLE). THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- H. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- I. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- J. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- K. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- L. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE BUILDING.
- M. ALL PAINTS, ADHESIVES, COATINGS AND SEALANTS USED INSIDE THE BUILDING SHALL HAVE A LOW VOC CONTENT.
- N. G.C. SHALL PROVIDE PHOTOS AFTER POST ADA REPORT WORK IS COMPLETE SHOWING COMPLIANCE.

	ROOM NAME		ELEV. LETTER
	SHEET NUMBER		ELEV. SHEET
	ELEVATION NUMBER		DOOR NUMBER
	CEILING HEIGHT		WINDOW NUMBER / DECOR ITEM NUMBER
	BLDG. SECTION LETTER		EXTERIOR WALL FINISH NUMBER
	BLDG. SECTION SHEET		KEY NOTE NUMBER
	DETAIL NUMBER		EQUIPMENT NUMBER
	DIRECTION OF DETAIL		INTERIOR FINISH
	DETAIL SHEET		INTERIOR WALL TYPE
	REVISION NUMBER		INTERIOR ELEVATION DESIGNATION
	BLDG. HEIGHT REFERENCE POINT		SHEAR WALL TYPE (STRUCTURAL)
			EQUIPMENT / FIXTURE NUMBER (M.E.P.)
			INDICATES SUSTAINABLE DESIGN

GENERAL DRAWING SYMBOLS

	VICINITY MAP
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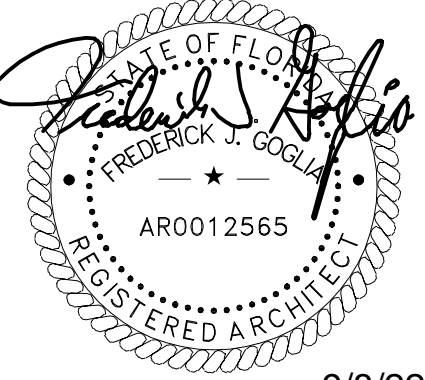
PROJECT GENERAL NOTES

VICINITY MAP

VENDOR DIRECTORY

SHEET INDEX

FREDERICK J. GOGLIA
ARCHITECT, NCARB, RDI
1850 CRAIG ROAD, SUITE 300
PH. (314) 415-2400 FAX (314) 415-2300
www.arcv.com



9/8/22

-
-
-
-

CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

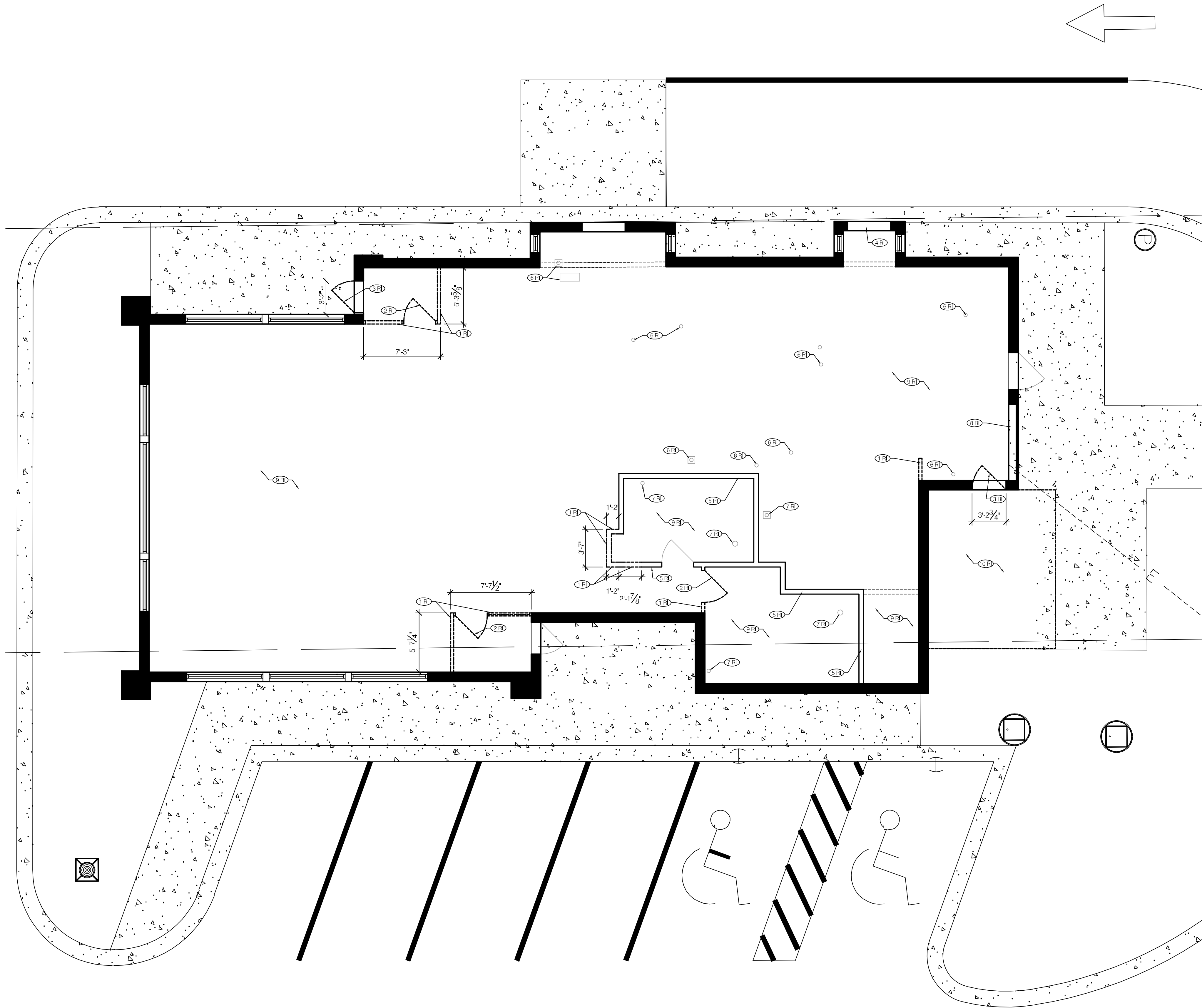
FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

FLUENT

CANNABIS CARE

TITLE SHEET

T1.0



- A. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE AT WALLS ETC. INSPECT SALES FLOOR WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING; REPAIR AS REQUIRED. VERIFY WITH OWNER.
- B. ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.
- C. SEE SITE PLAN FOR ANY SITE DEMO WORK.

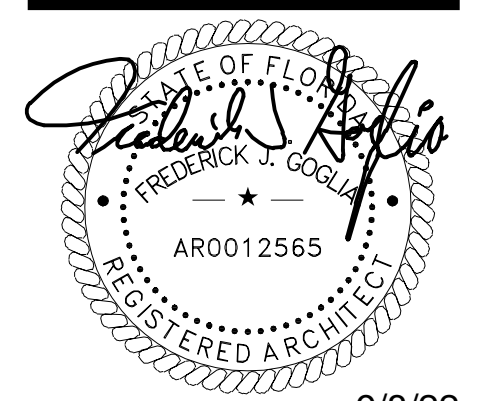
DEMOLITION NOTES C

- TYPICAL EXISTING EXTERIOR WALL: 2 X 6 WOOD STUDS @ 16" O.C. WITH 1/2" PLYWOOD (EXP 1) SHEATHING
- TYPICAL EXISTING INTERIOR WALL TO REMAIN: 2X4 WOOD STUDS @ 16" O.C. (U.N.O.)
- EXISTING DOOR TO REMAIN
- EXISTING ITEM/FIXTURE
- EXISTING PARTITION TO BE DEMOLISHED REFER TO KEY NOTES.
- EXISTING DOOR/FRAME TO BE DEMOLISHED
- EXISTING ITEM/FIXTURE TO BE DEMOLISHED/RELOCATED

DEMOLITION LEGEND D

- REMODEL IMAGE (RI)**
- (1 RI) EXISTING INTERIOR WALL TO BE REMOVED. PATCH AND REPAIR ADJACENT WALLS AND FLOORS AS REQUIRED.
 - (2 RI) EXISTING INTERIOR DOOR TO BE REMOVED. PATCH AND REPAIR ADJACENT WALLS AND FLOORS AS REQUIRED.
 - (3 RI) EXISTING EXTERIOR DOOR TO BE REMOVED. INFILL WALL TO MATCH EXISTING ADJACENT WALL
 - (4 RI) EXISTING EXTERIOR DRIVE THROUGH WINDOW TO BE REMOVED. INFILL WALL TO MATCH EXISTING ADJACENT WALL
 - (5 RI) EXISTING INTERIOR WALLS TO REMAIN. PATCH OR REPAIR AS REQUIRED.
 - (6 RI) EXISTING PLUMBING TO BE REMOVED. CAP AND COVER AS REQUIRED TO PREPARE FOR NEW FLOORING. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - (7 RI) EXISTING PLUMBING TO BE REUSED. PATCH, REPLACE OR ADAPT AS REQUIRED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - (8 RI) EXISTING ELECTRICAL CABINETS TO REMAIN. PROTECT DURING CONSTRUCTION.
 - (9 RI) PATCH, REPAIR, REPLACE EXISTING FLOOR AS REQUIRED FOR NEW FLOOR INSTALLATION AS REQUIRED.
 - (10 RI) WALK IN COOLER, REMOVE COMPLETE. CAP AND PATCH AS REQUIRED.

FREDERICK J. GOGLIA
 ARCHITECT, NCARB, PDI
 1850 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146
 PH. (314) 415-2400 FAX (314) 415-2300 WWW.ARCV.COM



9/8/22

CONTRACT DATE: 05/27/22
 BUILDING TYPE:
 PLAN VERSION:
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:
 ARCVISION: 220054

FLUENT
 500 EAST CHASE STREET
 PENSACOLA, FL 32501

FLUENT
 CANNABIS CARE

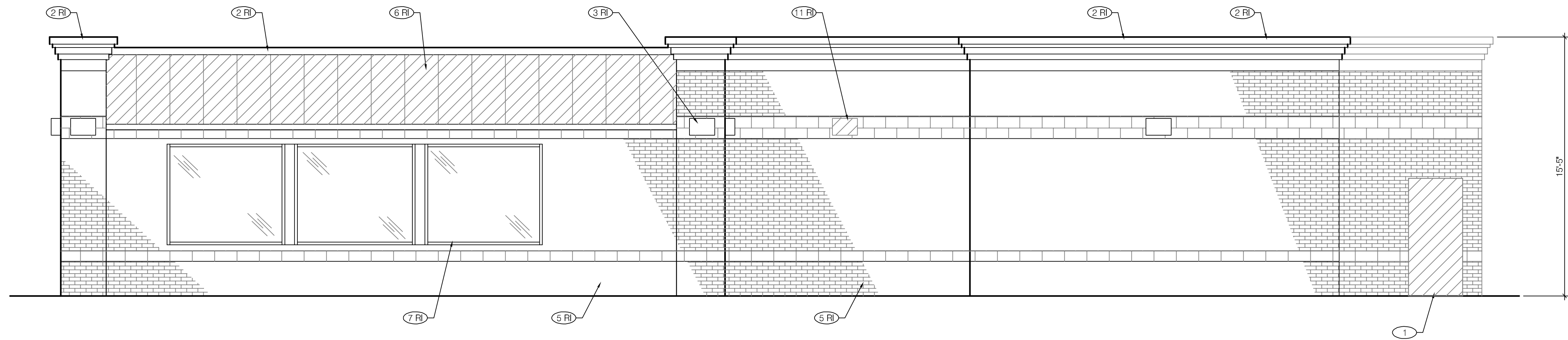
DEMOLITION FLOOR PLAN

D1.0

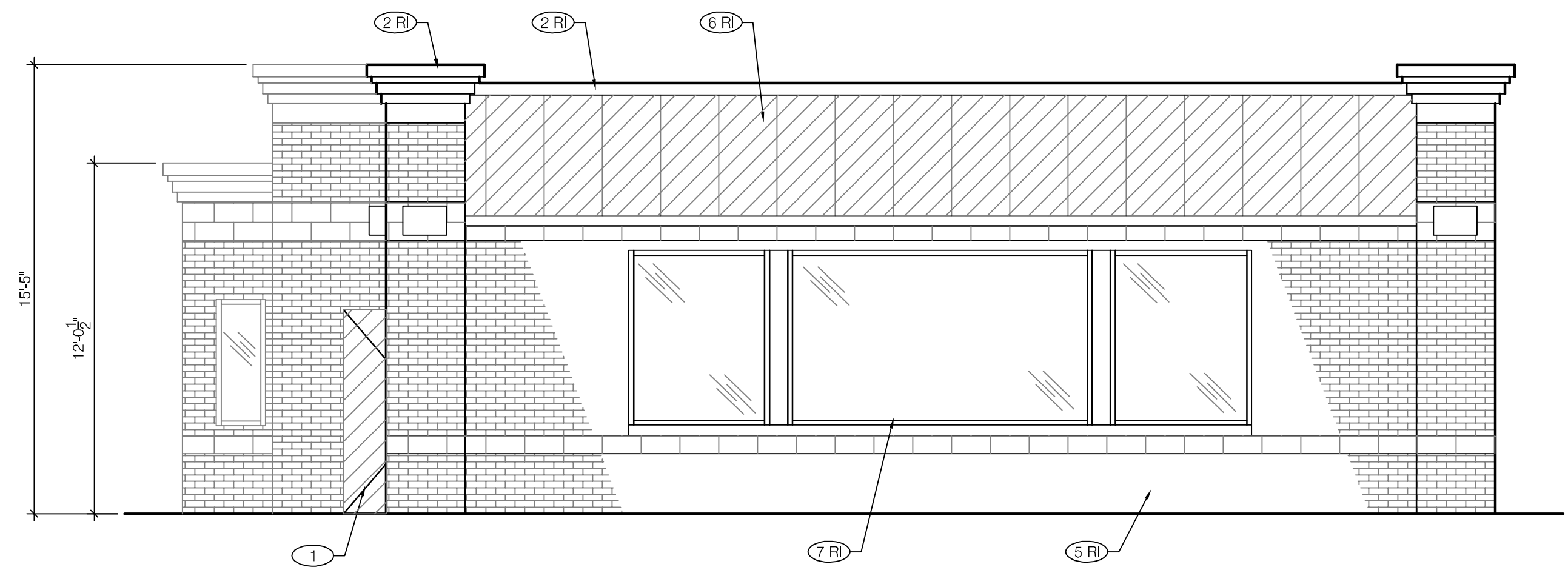
DEMO FLOOR PLAN 3/16" = 1'-0" A

DEMOLITION KEY NOTES B





MAIN ENTRY ELEVATION 1/4" = 1'-0" **A**



SOUTH ELEVATION **B**

REMODEL IMAGE (RI)

- (1 RI) EXISTING DOOR AND OR WINDOW SYSTEM TO BE REMOVED. PATCH, REPAIR, FOR NEW INFILL WALL.
- (2 RI) EXISTING GALV. METAL PARAPET CAP, PRIME & PAINT.
- (3 RI) EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN. REMOVE AS NEEDED FOR PAINTING.
- (4 RI) EXISTING ELECTRICAL EQUIPMENT. PAINT AS INDICATED
- (5 RI) EXISTING BRICK VENEER.
REPAIR OR REPLACE DAMAGED BRICK AS REQUIRED, TO MATCH EXISTING
- (6 RI) EXISTING CORRUGATED ROOF PANELS TO BE REMOVED.
REPAIR AND REPLACE EXISTING WALL TO MATCH EXISTING ADJACENT BRICK FINISHES.
- (7 RI) EXISTING STOREFRONT SYSTEM, WINDOWS TO REMAIN.
- (8 RI) EXISTING SCUPPER AND RAIN LEADER
- (9 RI) EXISTING WALL TILE
- (10 RI) EXISTING PIPE BOLLARD
- (11 RI) DEMO EXISTING EXTERIOR LIGHTS, PATCH AND REPAIR WALL FOR PAINT.

NOTE TO GC:
SIGNS BY VENDOR UNDER A
SEPARATE PERMIT

NOTE TO GC:
SEE SHEET A4.0 FOR KEYNOTES

NOTE TO GC:
ENTRANCES SHALL BE IDENTIFIED
WITH A SIGN OR STICKER OF THE
STANDARD ACCESSIBILITY LOGO

KEY NOTES **D**

FREDERICK J. GOGLIA
ARCHITECT, NCARB, RDI
1850 CRAIG ROAD, SUITE 300
ST. LOUIS, MO 63146
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9/8/22



CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

FLUENT

500 EAST CHASE STREET
PENSACOLA, FL 32501

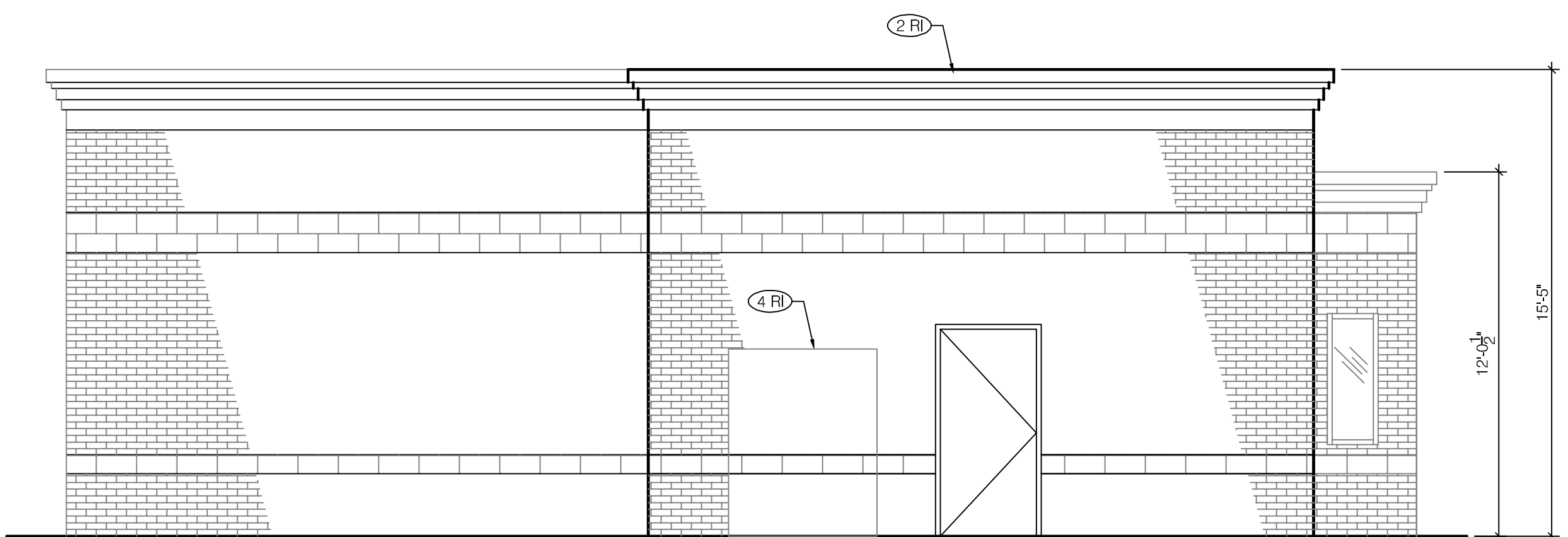
FLUENT
CANNABIS CARE

**EXTERIOR
DEMOLITION
ELEVATION**

D2.0



DRIVE THROUGH ELEVATION 1/4" = 1'-0" **A**

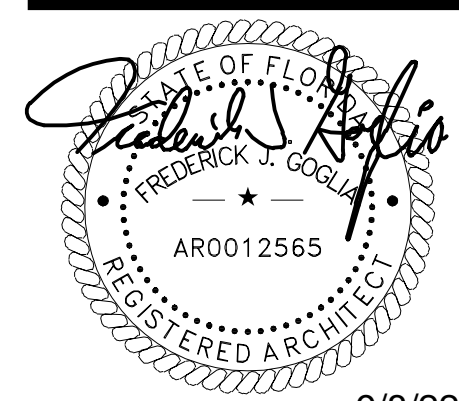


SERVICE DOOR ELEVATION **B**

NOTE TO GC:
SEE SHEET D2.0 FOR KEYNOTES

KEY NOTES **D**

FREDERICK J. GOGLIA
ARCHITECT, NCARB, RDI
1850 CRAIG ROAD, SUITE 300
PH. (314) 415-2400 FAX (314) 415-2300
www.arcvcy.com



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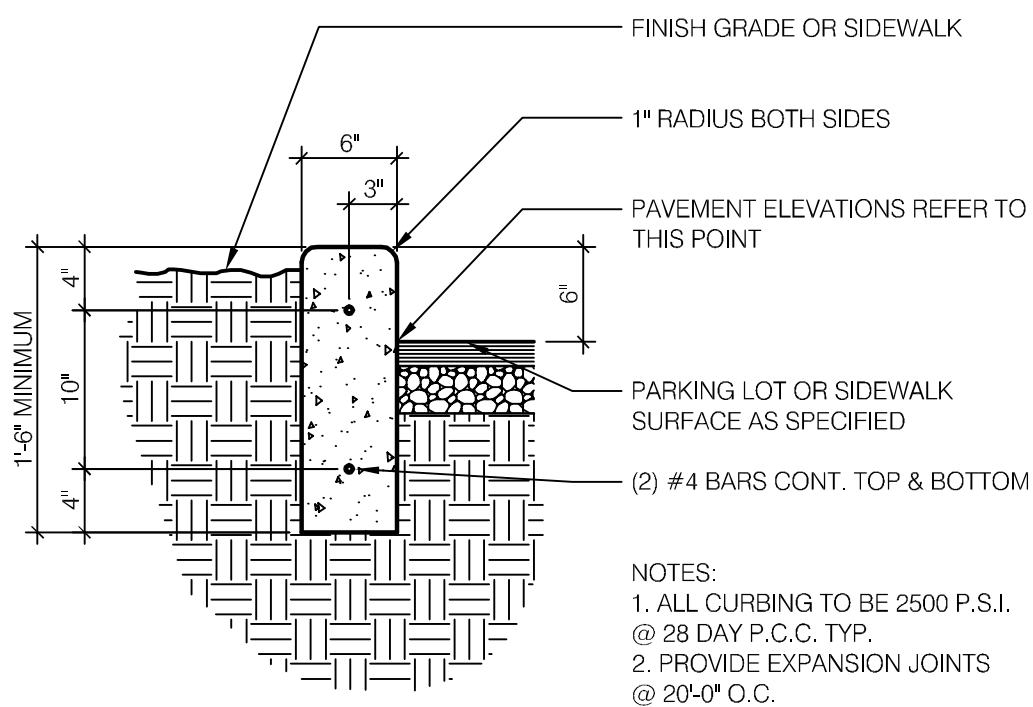
CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

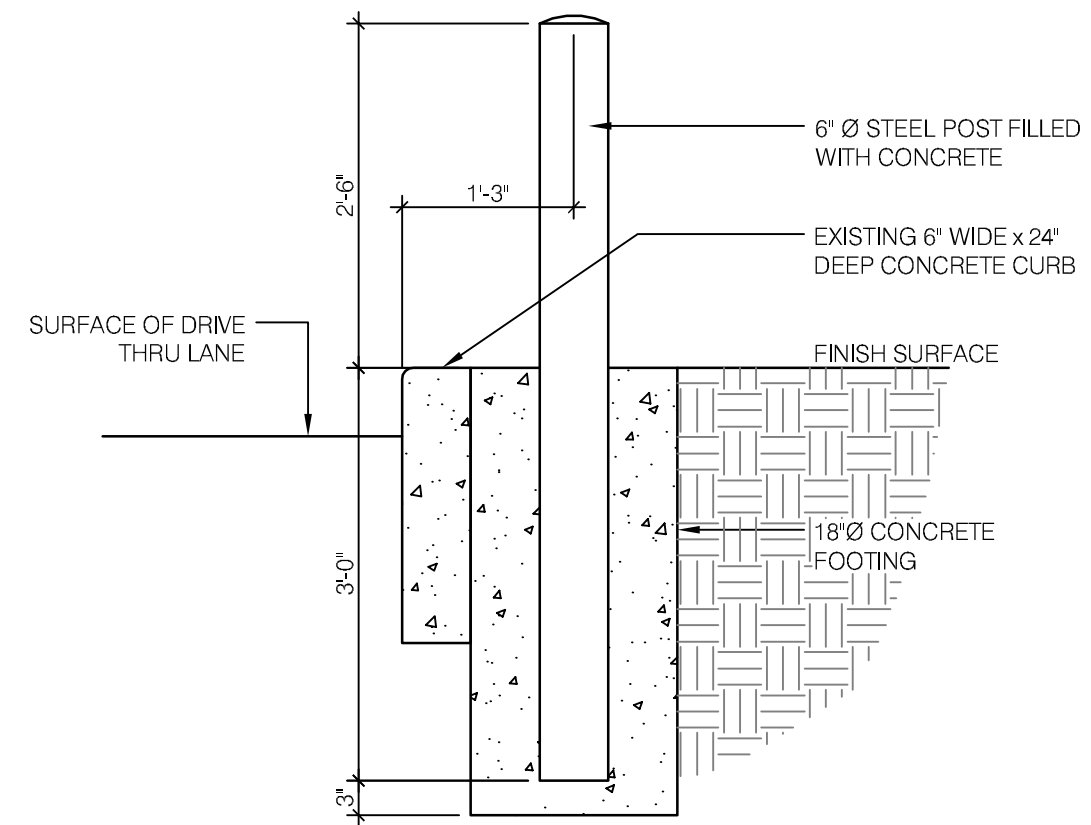


**EXTERIOR
DEMOLITION
ELEVATION**

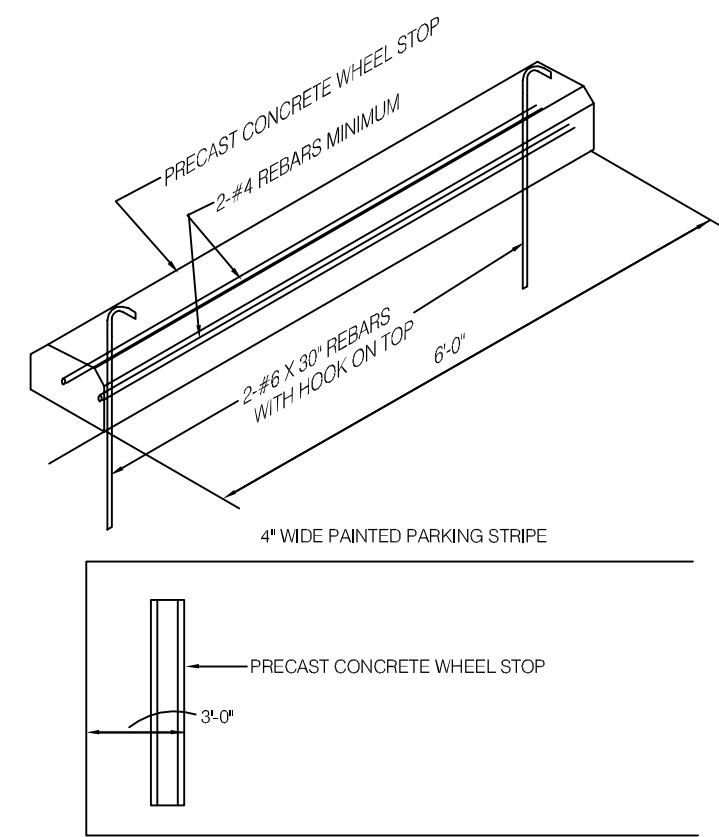
D2.1



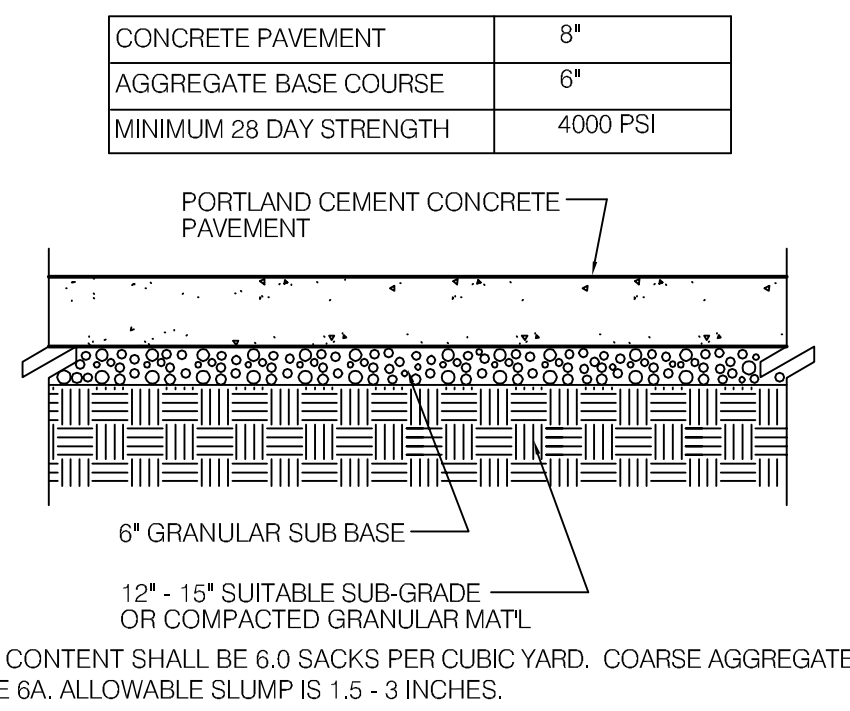
CURB DETAIL N.T.S. **7**



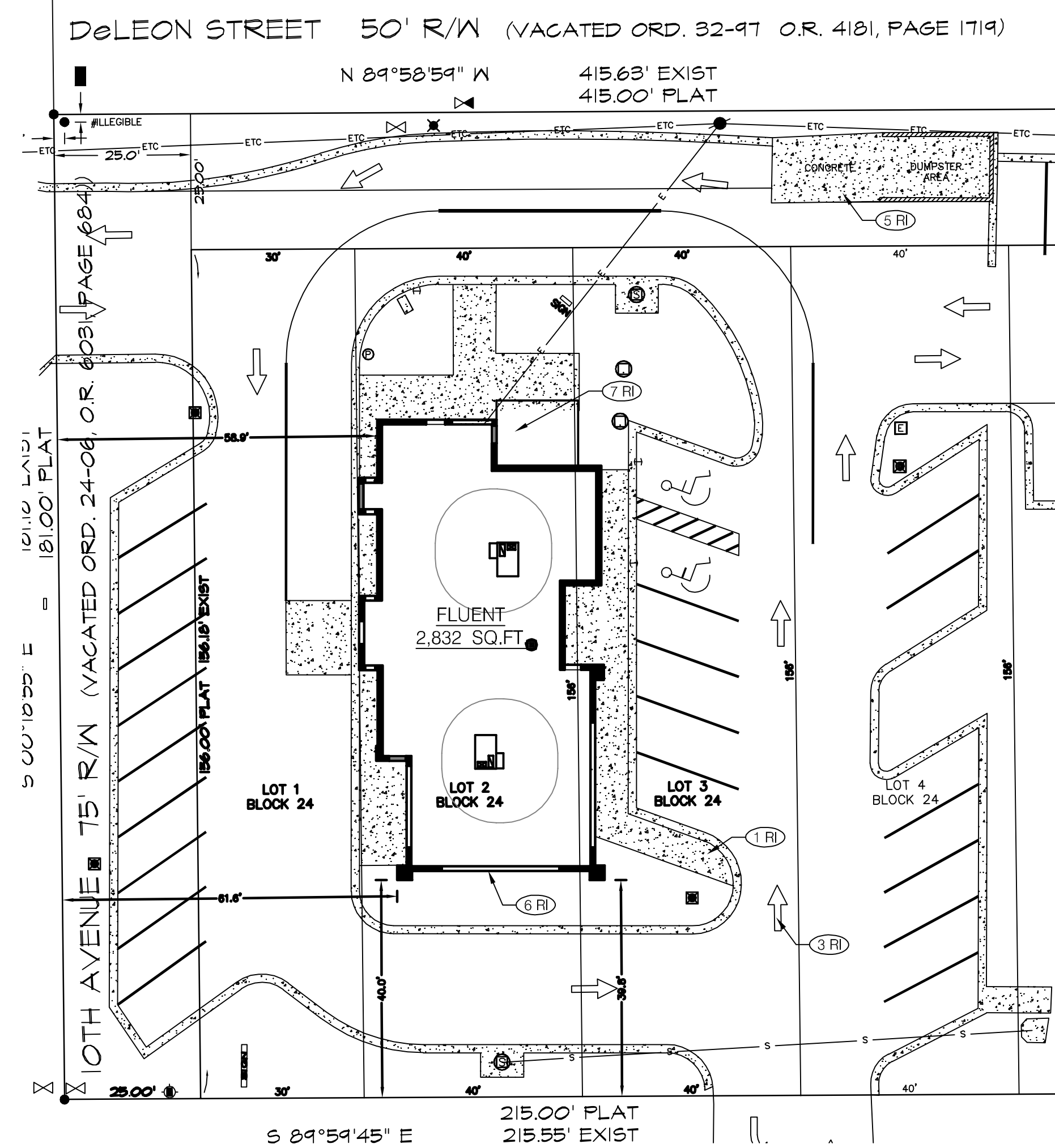
BOLLARD DETAIL 3/4" = 1'-0" **5**



CONCRETE WHEEL STOP N.T.S. **6**



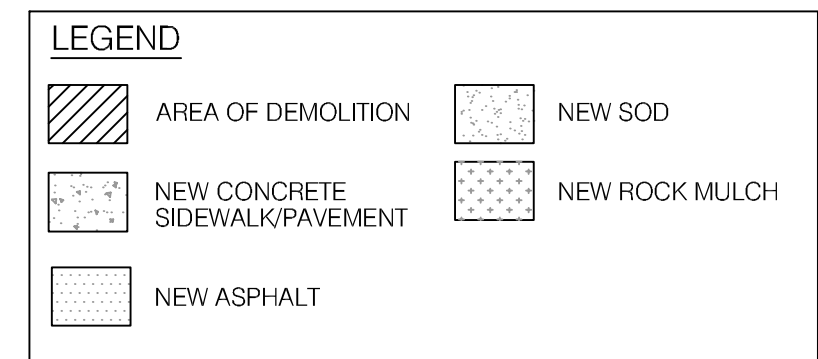
CONC. PAVEMENT SECTION N.T.S. **4**



SITE PLAN 1" = 20' - 0" **1**

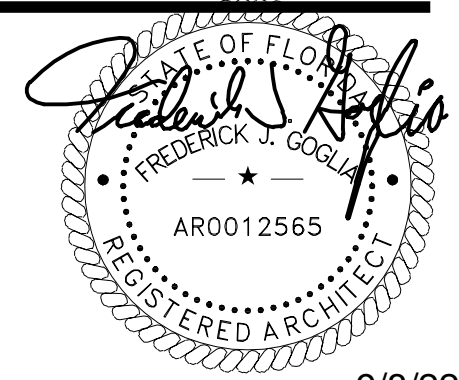
- REMODEL IMAGE (RI)**
- (1 RI) EXISTING SIDEWALK TO REMAIN. PATCH AND REPAIR EXISTING SIDEWALK AS REQUIRE. PROTECT FROM DAMAGE.
 - (2 RI) EXISTING SITE LIGHTING TO REMAIN.
 - (3 RI) EXISTING PARKING LOT STRIPPING AND DIRECTION ARROWS TO REMAIN U.N.O. REPAINT AS REQUIRED IF DAMAGED OR MISSING
 - (4 RI) EXISTING PUBLIC SIDEWALK.
 - (5 RI) EXISTING TRASH ENCLOSURE. REPAIR WALLS AND GATES
 - (6 RI) EXISTING BUILDING FOOT PRINT.
 - (7 RI) EXISTING WALK IN COOLER TO BE REMOVED. PATCH/REPAIR EXISTING EXTERIOR WALL TO MATCH EXISTING ADJACENT WALL.

- ADA NOTES (AD)**
- (1 AD) G.C. TO ENSURE ACCESS AISLE. HC SPACES AND CROSSWALK ASPHALT NOT TO EXCEED 2% IN ANY DIRECTION. MILL AND OVERLAY WITH NEW ASPHALT AS NEEDED.
 - (2 AD) EXISTING ADA PARKING SIGN TO REMAIN. G.C. CONFIRM THAT SIGNAGE CONFORMS TO CITY & ADA REQUIREMENTS. SEE ADA REQUIREMENTS ADA1.1 FOR ADDITIONAL INFO.
 - (3 AD) EXISTING CROSSWALK STRIPING TO REMAIN.
 - (4 AD) NEW LEVEL CONCRETE LANDING WITH 2% (1:50) MAXIMUM SLOPE IN ALL DIRECTIONS. REFER TO DETAIL 6/CT1.0 FOR ADDITIONAL INFORMATION.
 - (5 AD) EXISTING CURB RAMP



KEY NOTES **2**

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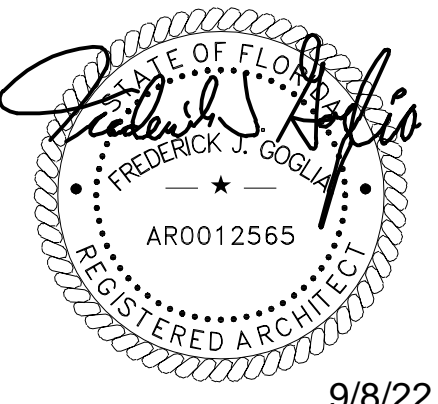
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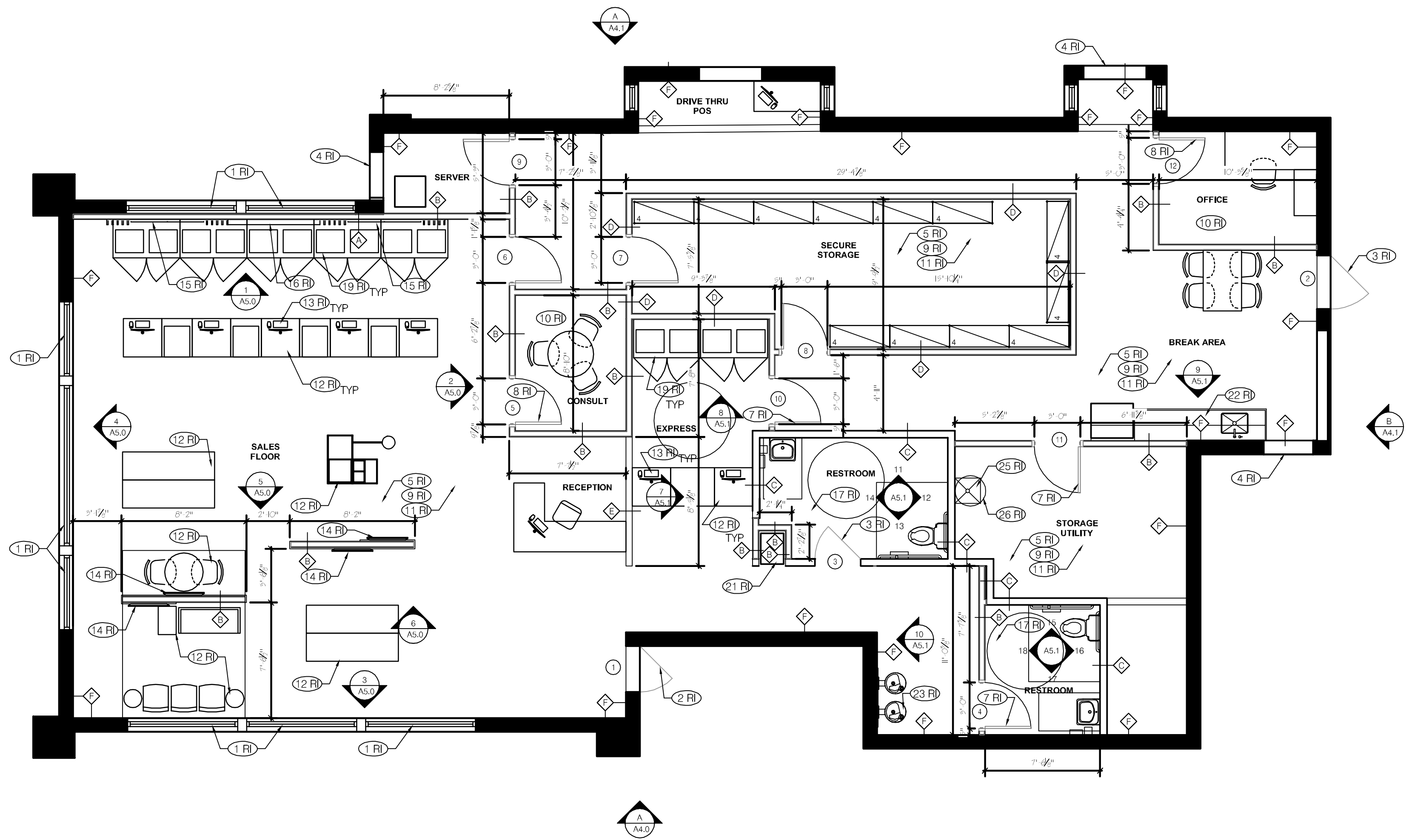


SITE PLAN (ADA UPDATES)

CT1.0



9/8/22



FLOOR PLAN

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS ON SITE.
- CONTRACTOR TO FIELD VERIFY AND MAINTAIN ALL FIRE SYSTEMS.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OF THE COMPLETENESS OF THE EXISTING INFORMATION RECORDED. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

DECOR:

- A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
- B. SEE A7.0 FOR FLOOR FINISHES.
- C. SEE A7.1 FOR CEILING FINISHES.
- D. SEE A8.0 - A8.1 FOR WALL FINISHES.

GENERAL:

- A. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFIT IS ACCEPTABLE.
- B. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH.
- C. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS, APPROVED METHOD.
- D. DIMENSIONS NOTED AS "HOLD" OR "CLEAR" ARE MIN. REQUIRED CLEARANCE FROM FACE OF OUTERMOST FINISH MATERIAL. (WALL BASE/WAINSCOT/CHAIR RAIL)
- E. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

DIMENSIONS:

- A. DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.N.O. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.
- B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. RECD. NET CLEARANCE FROM FACE OF OUTERMOST FINISH (WALL, BASE, CHAIR RAIL)

WINDOWS/DOORS:

- A. SEE SCHEDULE FOR WINDOW AND DOOR TYPES.
- B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:

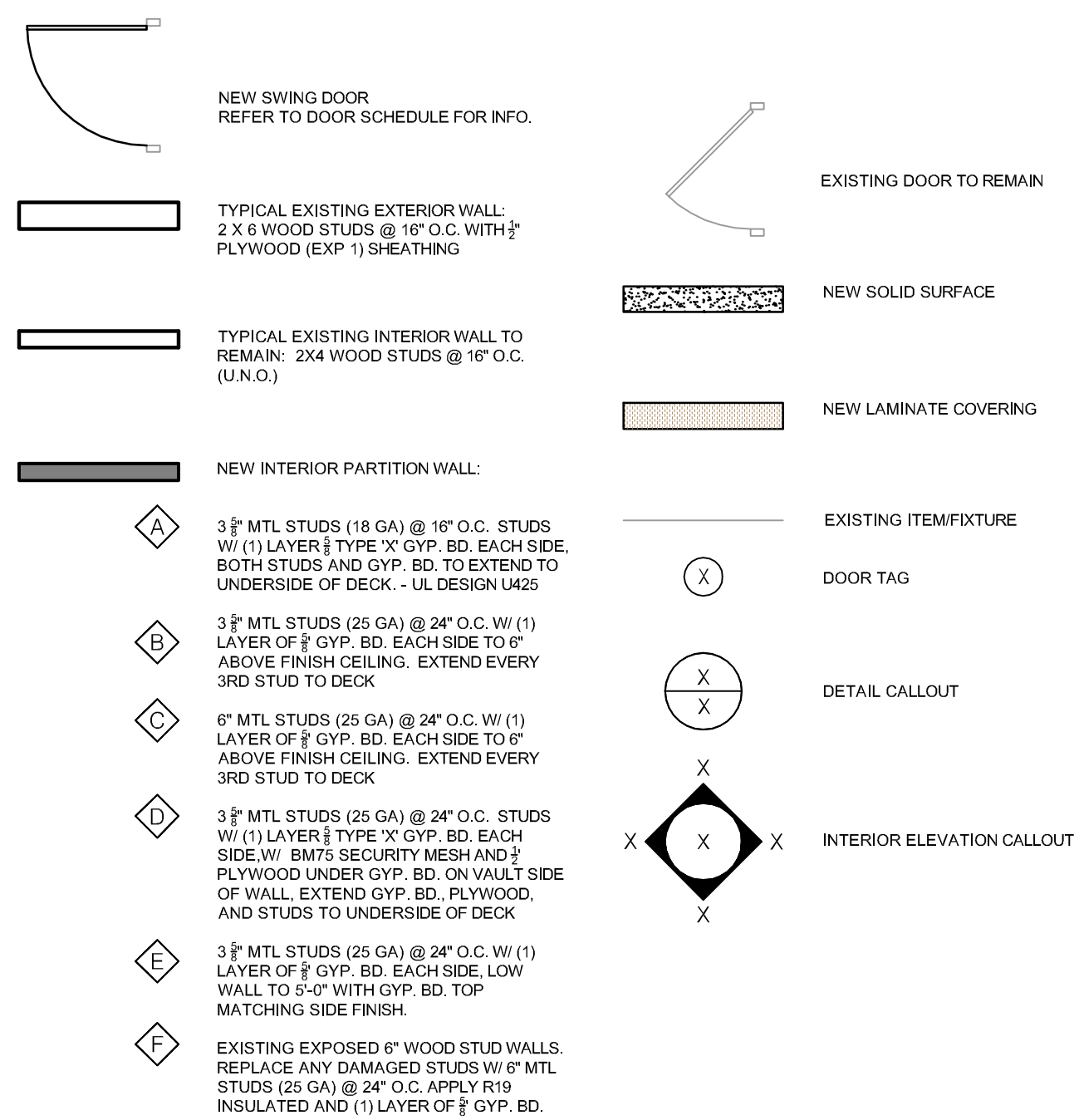
- A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.N.O.
- B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

FLOOR PLAN NOTES

REMODEL IMAGE (RI)

- (1 RI) EXISTING STOREFRONT SYSTEM, DOOR AND WINDOW TO REMAIN. G.C. TO HAVE ALL DOORS, WINDOWS, INCLUDING DRIVE-THRU WINDOW GLAZING TO BE FROSTED OVER. PROTECT DURING CONSTRUCTION.
- (2 RI) EXISTING EXTERIOR STOREFRONT DOOR AND FRAME TO REMAIN. G.C. TO ADJUST MAXIMUM DOOR OPERATING PRESSURE. INTERIOR 5 LBS MAX.
- (3 RI) EXISTING DOOR AND FRAME TO REMAIN.
- (4 RI) NEW INFILL WALL TO MATCH EXISTING ADJACENT WALL FINISHES
- (5 RI) NEW GYP. BD. AND WALL FINISH. SUPPLIED AND PAINTED BY G.C. REFER TO INTERIOR ELEVATIONS A5.0 FOR ADDITIONAL INFORMATION.
- (6 RI) NEW INTERIOR WALL. REFER TO LEGEND THIS SHEET FOR ADDITIONAL INFORMATION.
- (7 RI) NEW INTERIOR DOORS AND FRAME. REFER TO DOOR SCHEDULE. A1.1 FOR ADDITIONAL INFORMATION. G.C. TO ADJUST MAXIMUM DOOR OPERATING PRESSURE. INTERIOR 5 LBS MAX.
- (8 RI) NEW INTERIOR DOOR WITH FROSTED GLAZING ON NEW OFFICE AND CONSULT. INSTALL PER MANUFACTURE SPECIFICATIONS. REFER TO SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (9 RI) NEW VINYL FLOORING THROUGHOUT ENTIRE STORE, UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE, SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (10 RI) NEW CARPET AT CHECK-IN, CONSULT, AND OFFICE. REFER TO FINISH SCHEDULE, SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (11 RI) NEW VINYL WALL BASE THROUGH OUT ENTIRE STORE. REFER TO FINISH SCHEDULE, SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (12 RI) FURNITURE, DISPLAY FIXTURE, SHELVE, AND POS COUNTER TO BE SUPPLIED BY TENANT AND INSTALLED BY GC.
- (13 RI) POS REGISTER EQUIPMENT TO BE INSTALLED BY G.C.
- (14 RI) NEW VIDEO SCREENS. SUPPLIED BY TENANT AND INSTALLED BY GC.
- (15 RI) NEW DIGITAL MENU SCREENS ON OAK CLADDING. SUPPLIED BY TENANT AND INSTALLED BY GC.
- (16 RI) NEW SIGNAGE SUPPLIED BY TENANT AND INSTALLED BY G.C.
- (17 RI) NEW TOILET, NEW SINK, CABINETS AND RELATED EQUIPMENT BY CLIENT, TO BE INSTALLED BY G.C.
- (18 RI) NEW HOT WATER HEATER TO BE INSTALLED ON SHELF ABOVE CEILING FOR SUPPLY TO RESTROOMS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- (19 RI) NEW CABINET WITH SOLID SURFACE COUNTER TOP AND MIRROR. MILLWORK SHOP DRAWINGS TO BE APPROVED BY TENANT.
- (20 RI) NEW FURNITURE AND DISPLAY FIXTURES, TO BE PROVIDED BY TENANT AND INSTALLED BY G.C.
- (21 RI) NEW ATM. TO BE SUPPLIED BY TENANT AND INSTALLED BY GC. REFER TO ELECTRICAL DRAWINGS OR ADDITIONAL INFORMATION.
- (22 RI) NEW BREAK AREA SINK WITH ADA ROLL UNDER DOORS (TOE KICK ATTACHED), REFRIGERATOR, MICROWAVE, CABINETS, MICROWAVE SHELF. MILLWORK SHOP DRAWINGS TO BE APPROVED BY TENANT. INSTALLED BY GC.
- (23 RI) NEW HIGH-LOW DRINKING FOUNTAIN. REFER PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- (24 RI) NEW VINYL WALL COVER/GRAPHIC. REFER TO FINISH SCHEDULE, SHEET A1.1 AND INTERIOR ELEVATIONS A5.0 FOR ADDITIONAL INFORMATION.
- (25 RI) NEW MOP SINK
- (26 RI) NEW 30 GALLON HOT WATER HEATER ON SHELF ABOVE MOP SINK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN 3/16" = 1'-0"



GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH. ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY G.C. WITH THE REQUIREMENT THAT THE G.C. NOTIFY THE OWNER/AGENT OF ANY DISCREPANCY.

LEGEND

KEY NOTES



CONTRACT DATE: 05/27/22
 BUILDING TYPE:
 PLAN VERSION:
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:
 ARCVISION: 220054

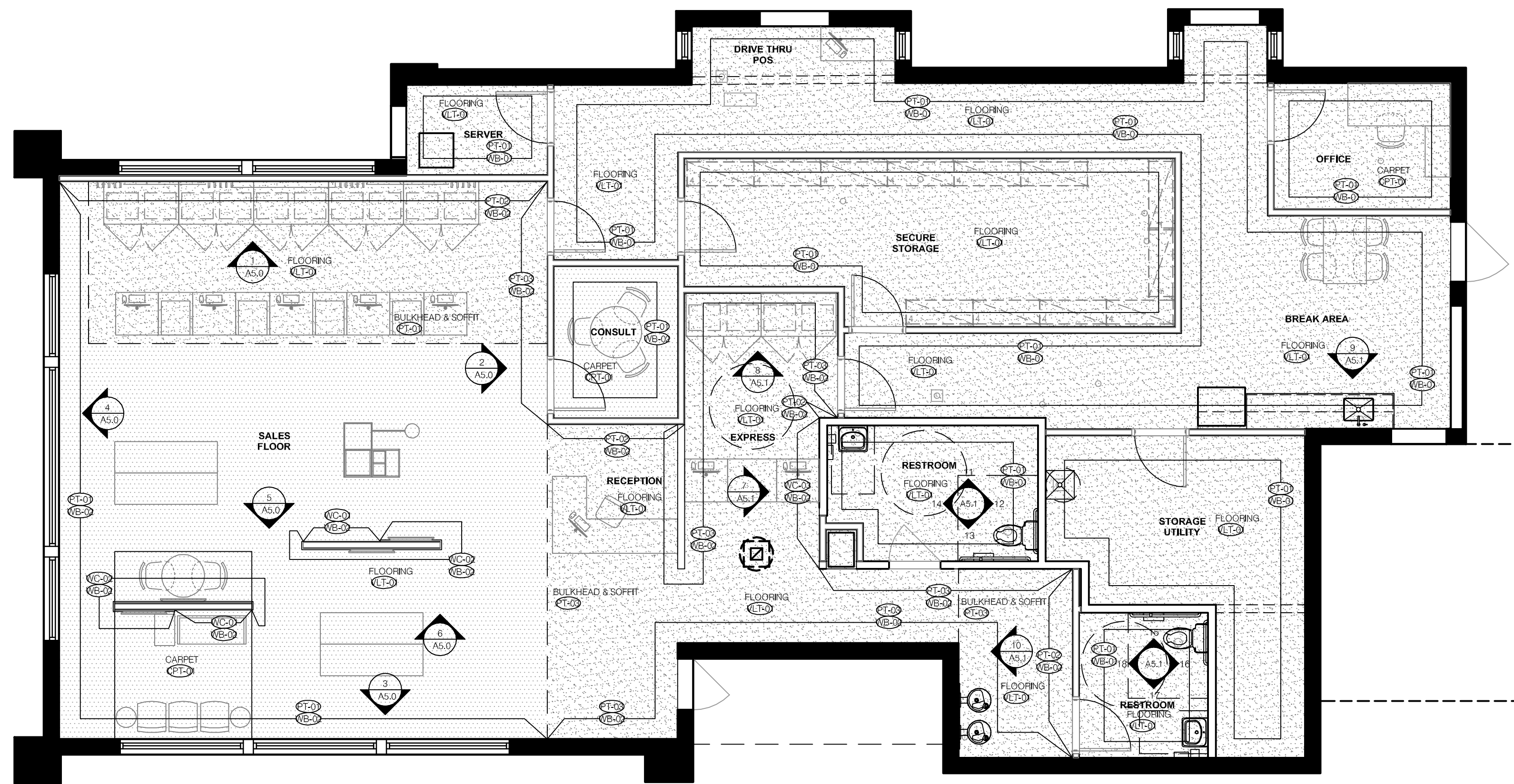
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 CANNABIS CARE

FLOOR PLAN

A1.0

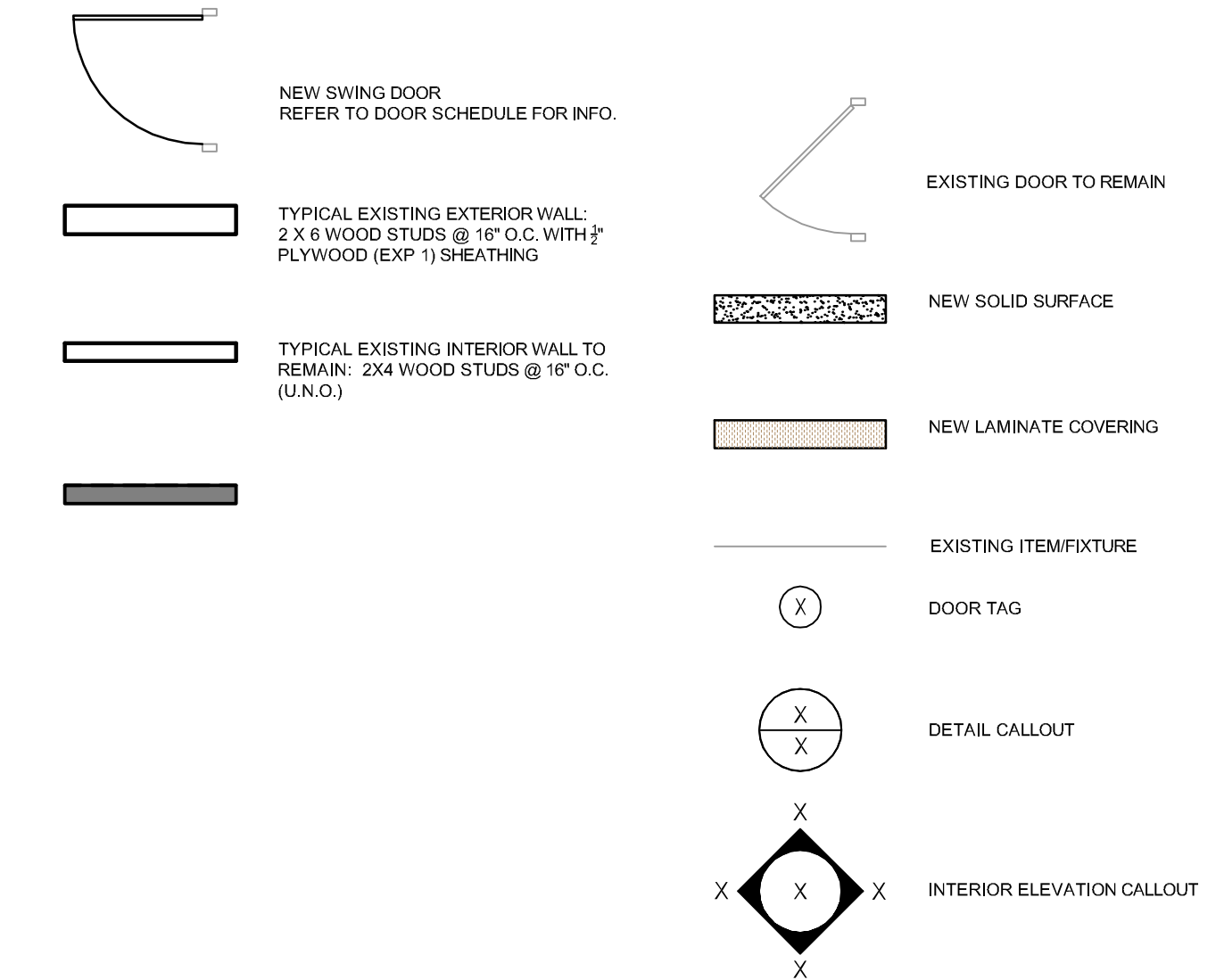


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- DECOR:**
- SEE A2.0 FOR SEATING PLAN AND DETAILS.
 - SEE A7.0 FOR FLOOR FINISHES.
 - SEE A7.1 FOR CEILING FINISHES.
 - SEE A8.0 - A8.1 FOR WALL FINISHES.
- GENERAL:**
- DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFIT IS ACCEPTABLE.
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 - ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED METHOD.
 - DIMENSIONS NOTED AS "HOLD" OR "CLEAR" ARE MIN. REQUIRED CLEARANCE FROM FACE OF OUTERMOST FINISH MATERIAL (WALL, BASE, WAINSCOT, CHAIR RAIL). E. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.
- DIMENSIONS:**
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 - DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF OUTERMOST FINISH (WALL, BASE, CHAIR RAIL).
- WINDOWS/DOORS:**
- SEE SCHEDULE FOR WINDOW AND DOOR TYPES.
 - ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.
- FINISH SUBSTRATES:**
- PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.N.O.
 - ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

FLOOR PLAN NOTES



GENERAL NOTES:
 1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH. ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY G.C. W/THE REQUIREMENT THAT THE G.C. NOTIFIES OWNER/AGENT OF ANY DISCREPANCY.

LEGEND

FINISH SCHEDULE					C.F.C.I.
TAG	DESCRIPTION:	MANUFACTURER	NOTES:	RESPONSIBILITY	
PAINT	PT-01	AF-5 FROSTLINE (WHITE)	BENJAMIN MOORE	PAINT SHEEN: CEILING/SOFFIT: SATIN WALL: SATIN MOLDING / TRIM: SEMI-GLOSS *PRIMER TO BE #023 (WHITE) FRESH START 100% ACRYLIC **ALL PAINTS TO MEET VOC REQUIREMENTS ***SUBSTITUTIONS/ALTERNATES REQUIRE SAMPLES / DRAW-DOWNS SUBMITTED FOR APPROVAL PRIOR TO INSTALL. TYP.	C.F.C.I.
	PT-02	322 ABSTRACTA (YELLOW)	BENJAMIN MOORE		
	PT-03	SW7074 SOFT WARE (GREY)	SHERWIN WILLIAMS		
WALL COVERING	WC-01	VINYL WALL GRAPHIC "FL"			
	WC-02	CHARRED OAK CLADDING			
	WC-03	PHOTO WALL MURAL			
WALL BASE	WB-01	4" WHITE VINYL WALL BASE	ROPPE	TYPICAL AT ALL BACK OF HOUSE AREAS	
	WB-02	1X4 WOOD WALL BASE		TYPICAL ALL FRONT OF HOUSE AREAS TOP SHALL BE SANDED SMOOTH AND PAINT (PT-01)	
FRP/LAM.	FRP-1	CRANE COMPOSITES	GLASBOARD		C.F.C.I.
CEIL.	ACT-01	2'X4' ACOUSTIC CEILING TILE	ARMSTRONG	WHITE	
	ACT-02	2'X2' ACOUSTIC CEILING TILE	ARMSTRONG	TENGULAR; DUNE; COLOR: WHITE	
FLOOR	CPT-1	CARPET TILE	SHAW CONTRACT	SLAB TILE, COLOR: ONYX	
	VLT-1	VLT FLOORING	SHAW CONTRACT	EMERGE, COLOR: FORGE PLATINUM	

- REMODEL IMAGE (RI)**
- GRAPHIC WALL AND LOGO BY SIGNAGE COMPANY.
 - WALL FEATURE BY MILLWORK AND SIGNAGE COMPANIES.
 - POINT OF SALE COUNTER BY MILLWORK COMPANY.
 - RECEPTION DESK BY MILLWORK COMPANY.

KEY NOTES

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 WWW.ARCV.COM



9/8/22

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CONTRACT DATE: 05/27/22
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 CANNABIS CARE

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FLUENT
 CANNABIS CARE

WALL FINISH PLAN

A1.1

WALL FINISH PLAN 3/16" = 1'-0" **A**

*NOTE:
REUSE EXISTING HARDWARE
REPLACE AS REQUIRED

- LAMINATE DOOR. SEE INTERIOR ELEVATIONS
- MOUNT DOOR CLOSERS ON RESTROOM OR KITCHEN SIDE ONLY.
- FRAMES SHALL BE PAINTED P-3.
- MOUNT KICKPLATE ON PUSH SIDE ONLY.
- ADJUST DOOR CLOSER MAXIMUM DOOR OPERATING PRESSURE - 5 LBS INTERIOR ; 8.5 LBS EXTERIOR MEASURED AT 90 DEGREES TO THE DORO AT THE STRIKE SIDE EDGE. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- ADA COMPLIANT ACCESSIBILITY SIGNAGE WHERE REQUIRED (OR AS REQUIRED BY LOCAL JURISDICTION) RESTROOMS AND ENTRY/EXIT DOORS.
- RESTROOM SIGN AS REQUIRED. VERIFY LOCAL REQUIREMENTS.
- PROVIDE PUSH/PULL PLATES.
IF REQUIRED BY LOCAL CODE, STOREFRONT DOOR PANIC HARDWARE SHALL BE:
DOR-O-MATIC 2092 RIM PANIC HARDWARE AND EXTERIOR PULLS WITH QUALITY #520 DOOR PULL
- INSTALL WITH APPLIED DOOR STOPS AND WEATHER STRIPS.
- PROVIDE LATCH AND STRIKE PLATE HARDWARE BY DOOR MFR. TO BE COMPATIBLE WITH LOCK.

SET 1
LATCHSET (LEVER) - HAGER 3400 SERIES
- PASSAGE FUNCTION
1-1/2 PAIR BUTT HINGES - HAGER 1150
DOORSTOP - HAGER 210
CLOSER 0 HAGER 5100 SERIES

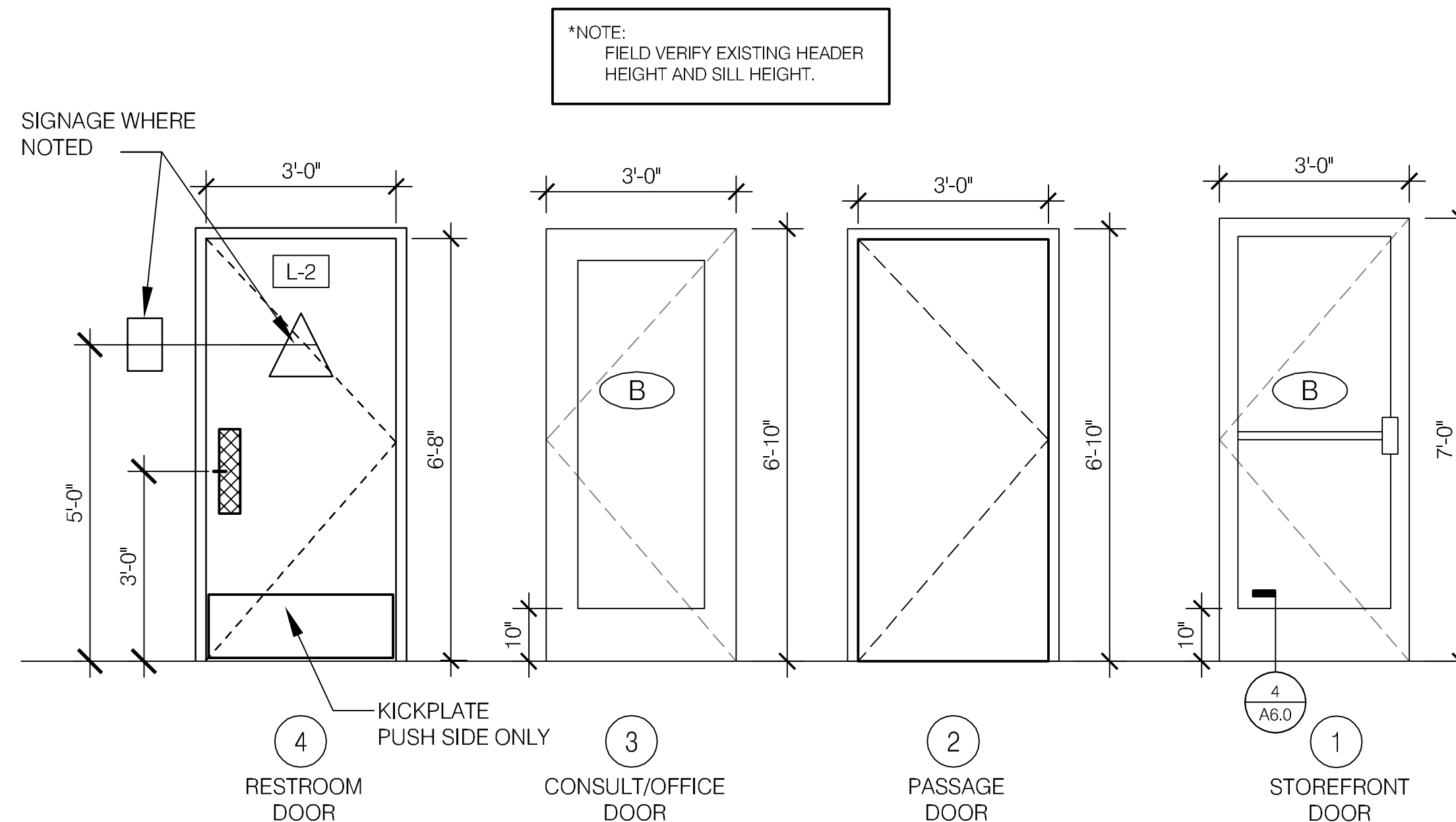
SET 2
LATCHSET (LEVER) - HAGER 3400 SERIES
- PRIVACY FUNCTION
1-1/2 PAIR BUTT HINGES - HAGER 1150
DOORSTOP - HAGER 210

SET 3
LATCHSET (LEVER) - HAGER 3400 SERIES
- STOREROOM

FUNCTION
KEY CTRL. DEADBOLT - HAGER 3114
1-1/2 PAIR BUTT HINGES - HAGER 1150
DOORSTOP - HAGER 208 - KICK DOWN
DOOR STOP
CLOSER 0 HAGER 5100 SERIES

SET 4
LOCKS - FALCON C953-7 OR C987-7
BUTTS - ONE PAIR OF SET PIVOTS PER DOOR
MANUFACTURE, TOP AND BOTTOM
CLOSERS - FALCON 1690 CONCEAL VERTICAL
PANIC HARDWARE DORMA 8616 X 689
THRESHOLD - ACCESSIBLE ALUMINUM THRESHOLD
BY DOOR MANUFACTURE
SWEEP (VISTA 231 STD) NGP 101VA

SET 5
LOCKS - FALCON C953-7 OR C987-7
BUTTS - ONE PAIR OF SET PIVOTS PER DOOR
MANUFACTURE, TOP AND BOTTOM
CLOSERS - FALCON 1690 CONCEAL VERTICAL
THRESHOLD - ACCESSIBLE ALUMINUM THRESHOLD
BY DOOR MANUFACTURE



DOOR SCHEDULE NOTES C

DOOR HARDWARE TYPES B

DOOR TYPES 1/2" = 1'-0" A

DOOR NO.	ROOM NAME	DOOR SIZE		DOOR TYPE	FRAME TYPE	FRAME TYPE	HARDWARE SET	DOOR ELEV.	DETAIL LOCATION		COMMENTS
		WIDTH	HEIGHT						HEAD	JAMB	
1	EXIST. MAINT ENTRANCE DOOR	3' - 0"	7' - 0"	HM/GL	HM	PAINT	SET 4	1			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
2	EXIST. ALT. ENTRANCE DOOR	3' - 0"	7' - 0"	HM	HM	PAINT	SET 4	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
3	EXIST RESTROOM DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	4			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
4	RESTROOM DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	4			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
5	CONSULT ROOM	3' - 0"	7' - 0"	HM/GL	HM	-	SET 5	3			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
6	CORRIDOR DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
7	VAULT DOOR	3' - 0"	6' - 8"	MT - SC	HM	PAINT	SET 3	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
8	VAULT DOOR	3' - 0"	6' - 8"	MT - SC	HM	PAINT	SET 3	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
9	SERVER ROOM DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
10	CORRIDOR DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
11	STORAGE ROOM DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 1	2			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT
12	OFFICE DOOR	3' - 0"	6' - 8"	HM	HM	PAINT	SET 2	3			SUBSTITUTIONS ALLOWED - MUST BE APPROVED BY TENANT

DOOR SCHEDULE D

FINISH SCHEDULE						C.F.C.I.
	TAG	DESCRIPTION:	MANUFACTURER	NOTES:	RESPONSIBILITY	
PAINT	PT-01	AF-5 FROSTLINE (WHITE)	BENJAMIN MOORE	PAINT SHEEN: CEILING/SOFFIT: SATIN WALL: SATIN MOLDING / TRIM: SEMI-GLOSS *PRIMER TO BE #223 (WHITE) FRESH START 100% ACRYLIC **ALL PAINTS TO MEET VOC REQUIREMENTS ***SUBSTITUTIONS/ALTERNATES REQUIRE SAMPLES / DRAW-DOWNS SUBMITTED FOR APPROVAL PRIOR TO INSTALL. TYP.	C.F.C.I.	
	PT-02	322 ABSTRACTA (YELLOW)	BENJAMIN MOORE			
	PT-03	SW7074 SOFT WARE (GREY)	SHERWIN WILLIAMS			
	PT-04	SW7674 PEPPERCORN (EXTERIOR)	SHERWIN WILLIAMS			
WALL COVERING	WC-01	VINYL WALL GRAPHIC "FL"				
	WC-02	CHARRED OAK CLADDING				
	WC-03	PHOTO WALL MURAL				
WALL BASE	WB-01	4" WHITE VINYL WALL BASE	ROPPE	TYPICAL AT ALL BACK OF HOUSE AREAS		
	WB-02	1X4 WOOD WALL BASE		TYPICAL ALL FRONT OF HOUSE AREAS TOP SHALL BE SANDED SMOOTH AND PAINT (PT-01)		
FRP/ LAM.	FRP-1	CRANE COMPOSITES	GLASBOARD		C.F.C.I.	
CEIL. TILE	ACT-01	2X4' ACOUSTIC CEILING TILE	ARMSTRONG	WHITE		
	ACT-02	2X2' ACOUSTIC CEILING TILE	ARMSTRONG	TENGULAR; DUNE; COLOR: WHITE		

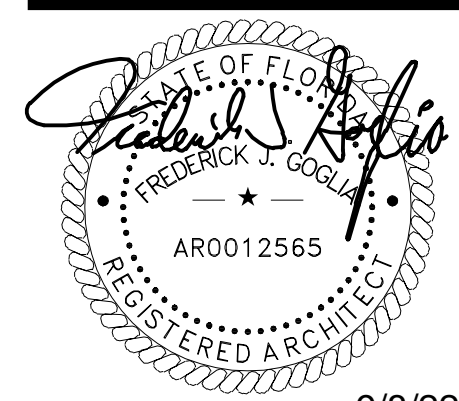
FINISH SCHEDULE E

GLASS SCHEDULE	
(A) 1" INSULATED GLASS	(D) SAFETY GLASS BY MFR.
(B) 1" INSULATED TEMPERED GLASS	
(C) 1/4" TEMPERED GLASS	
NOTE: ALL EXISTING AND NEW GLAZING TO BE COMPLETELY FROSTED.	
**** ALL EXTERIOR STOREFRONT GLAZING SHALL BE LOW "E" SOLAR GLASS ****	

- DIMENSIONS ON THIS DWG. ARE TO FRAME EDGE. REFER TO SHEETS A1.0 FOR ROUGH OPENING DIMENSIONS.
- STOREFRONT SHALL BE FROSTED GLASS.
- SEE SCHEDULE FOR GLASS TYPES.
- REFER TO FLOOR PLAN, ELEVATIONS AND WALL SECTIONS FOR ROUGH OPENING DIMENSIONS.
- ALL STOREFRONT MATERIAL AND GLAZING SHALL BE SUPPLIED AND INSTALLED BY G.C. U.N.O.

WINDOW NOTES F

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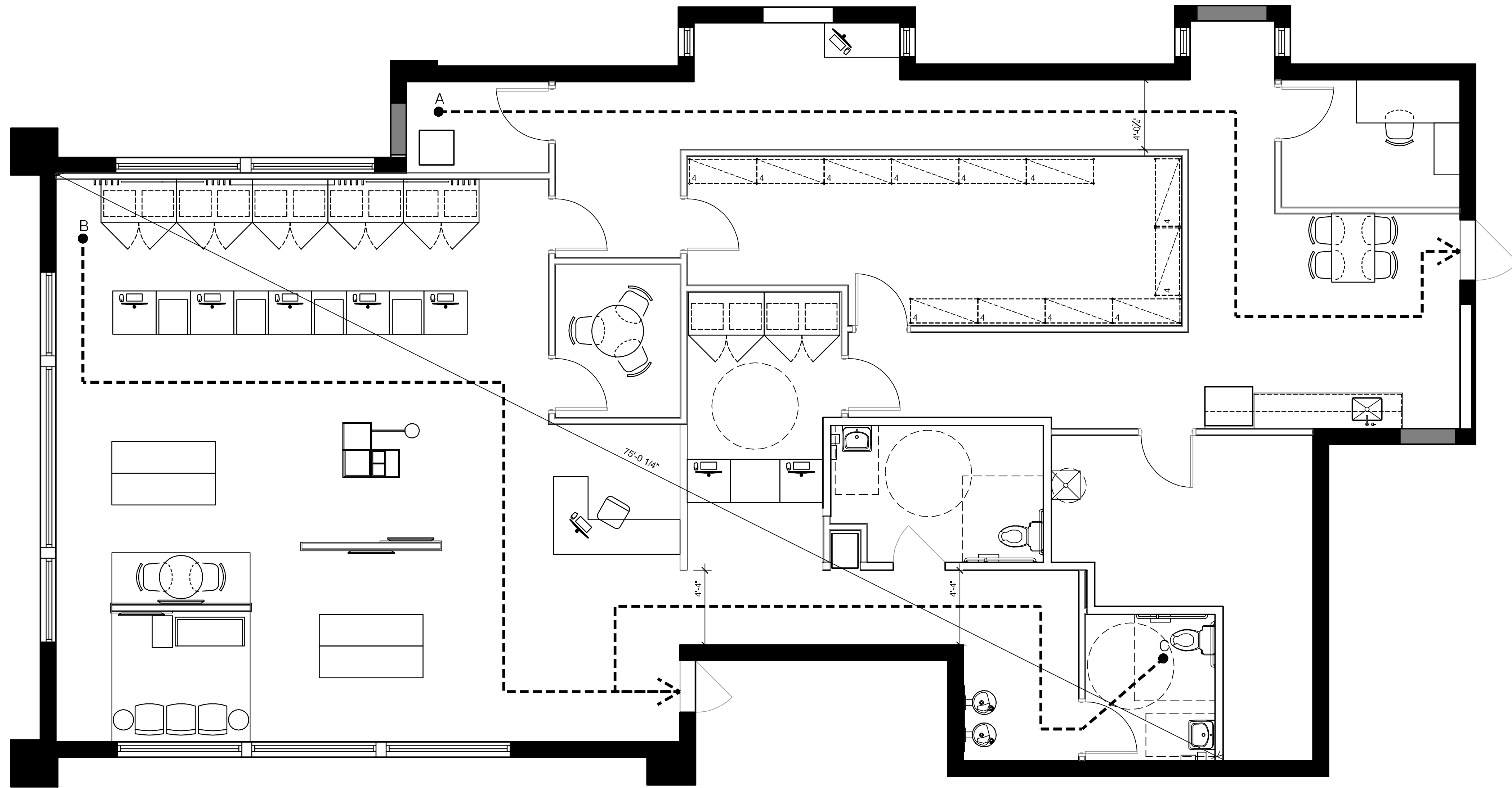
9/8/22

CONTRACT DATE: 05/27/22
 BUILDING TYPE:
 PLAN VERSION:
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:
 ARCVISION: 220054

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DOOR / WINDOW / FINISH SCHEDULES A1.2



EGRESS PLAN 1/4" = 1'-0" **A**



SYMBOLS **A1**

EGRESS PATH	DISTANCE
A	74'-5"
B	60'-9"
C	49'-0"

PATH OF EGRESS DISTANCE **A2**

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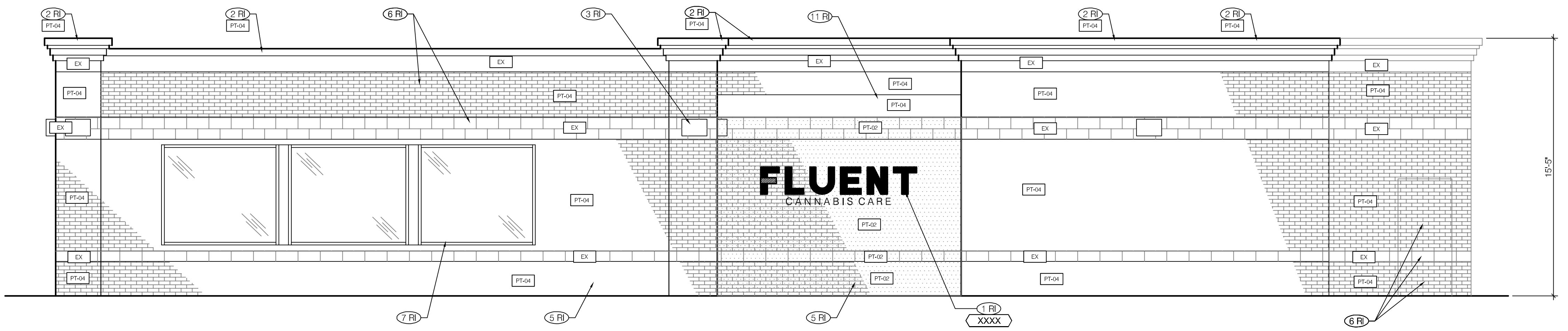


EGRESS PLAN

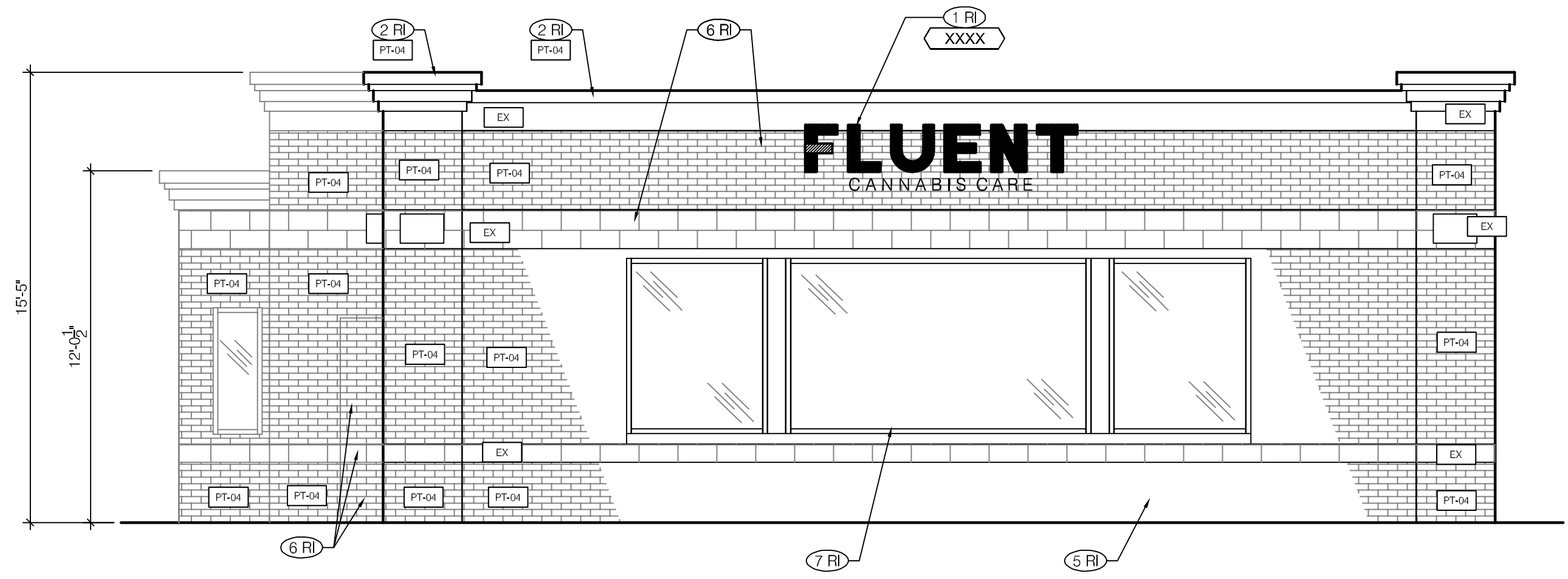
A2.0

NOTE TO GC:
SIGNS BY VENDOR UNDER A SEPARATE PERMIT

NOTE TO GC:
ENTRANCES SHALL BE IDENTIFIED WITH A SIGN OR STICKER OF THE STANDARD ACCESSIBILITY LOGO



MAIN ENTRY ELEVATION 1/4" = 1'-0" **A**



SOUTH ELEVATION **B**

EQ #	COUNT	DESCRIPTION	ELEC
XXXX	1	XXXXXX	X

SIGNAGE SCHEDULE **C**

A BASE THICKNESS - 1" THICK STUCCO/ E.I.F.S W/ HIGH IMPACT MESH TO HEIGHT OF 6'-0" A.F.F.
ALL NEW STUCCO/E.I.F.S. TO HAVE A LIGHT SAND FINISH UNLESS IT MUST BLEND WITH AN EXISTING CONTRASTING FINISH.

MISCELLANEOUS
1. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
2. PROVIDE BLOCKING FOR SIGNAGE, TRELIS AND CANOPY.
3. DURO-LAST TERMINATION BAR SHALL BE URBANE BRONZE.
4. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY.

SEALERS (REFER TO SPECS)
1. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
2. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

DENOTES EXTERIOR FINISH
 DENOTES SIGNAGE - VENDOR SUPPLIED AND INSTALLED. SEE SCOPE OF WORK

REMODEL IMAGE (RI)

- 1 RI** NEW BUILDING SIGN. PERMITTED AND INSTALLED BY VENDOR UNDER SEPARATE PERMIT.
- 2 RI** EXISTING GALV. METAL PARAPET CAP, PRIME & PAINT.
- 3 RI** EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN. REMOVE AS NEEDED FOR PAINTING.
- 4 RI** EXISTING ELECTRICAL EQUIPMENT. PAINT AS INDICATED
- 5 RI** EXISTING BRICK VENEER. REPAIR OR REPLACE DAMAGED BRICK AS REQUIRED, TO MATCH EXISTING
- 6 RI** NEW EXTERIOR WALL MATERIALS AND FINISH TO MATCH EXISTING ADJACENT WALL MATERIALS AND FINISHES.
- 7 RI** EXISTING STOREFRONT SYSTEM, WINDOWS TO REMAIN.
- 8 RI** EXISTING SCUPPER AND RAIN LEADER
- 9 RI** EXISTING WALL TILE
- 10 RI** EXISTING PIPE BOLLARD
- 11 RI** NEW CANOPY BY CANOPY MANUFACTURER

NOTE TO GC:
SIGNS BY VENDOR UNDER A SEPARATE PERMIT

NOTE TO GC:
SEE SHEET A4.0 FOR KEYNOTES

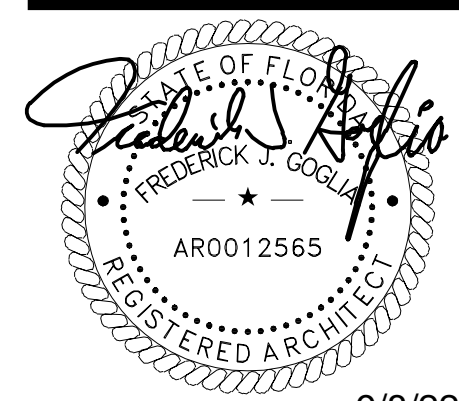
NOTE TO GC:
ENTRANCES SHALL BE IDENTIFIED WITH A SIGN OR STICKER OF THE STANDARD ACCESSIBILITY LOGO

STUCCO/E.I.F.S THICKNESS **F**

GENERAL NOTES **G**

KEY NOTES **D**

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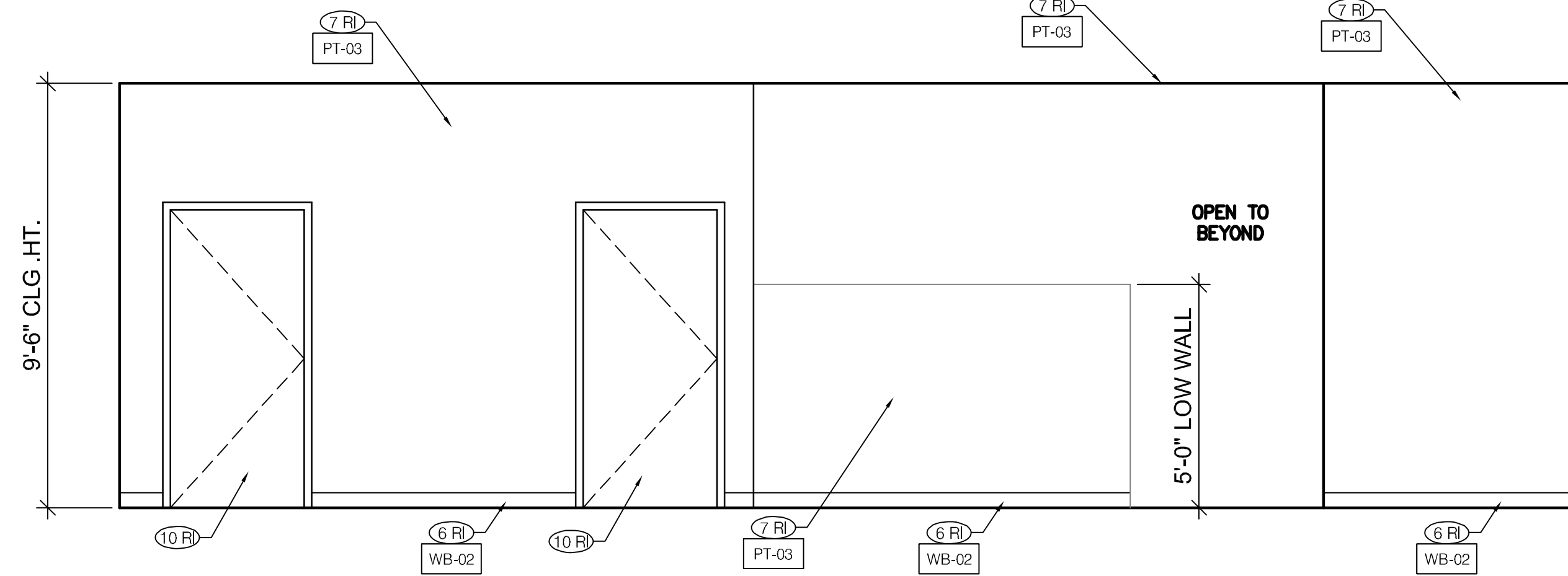
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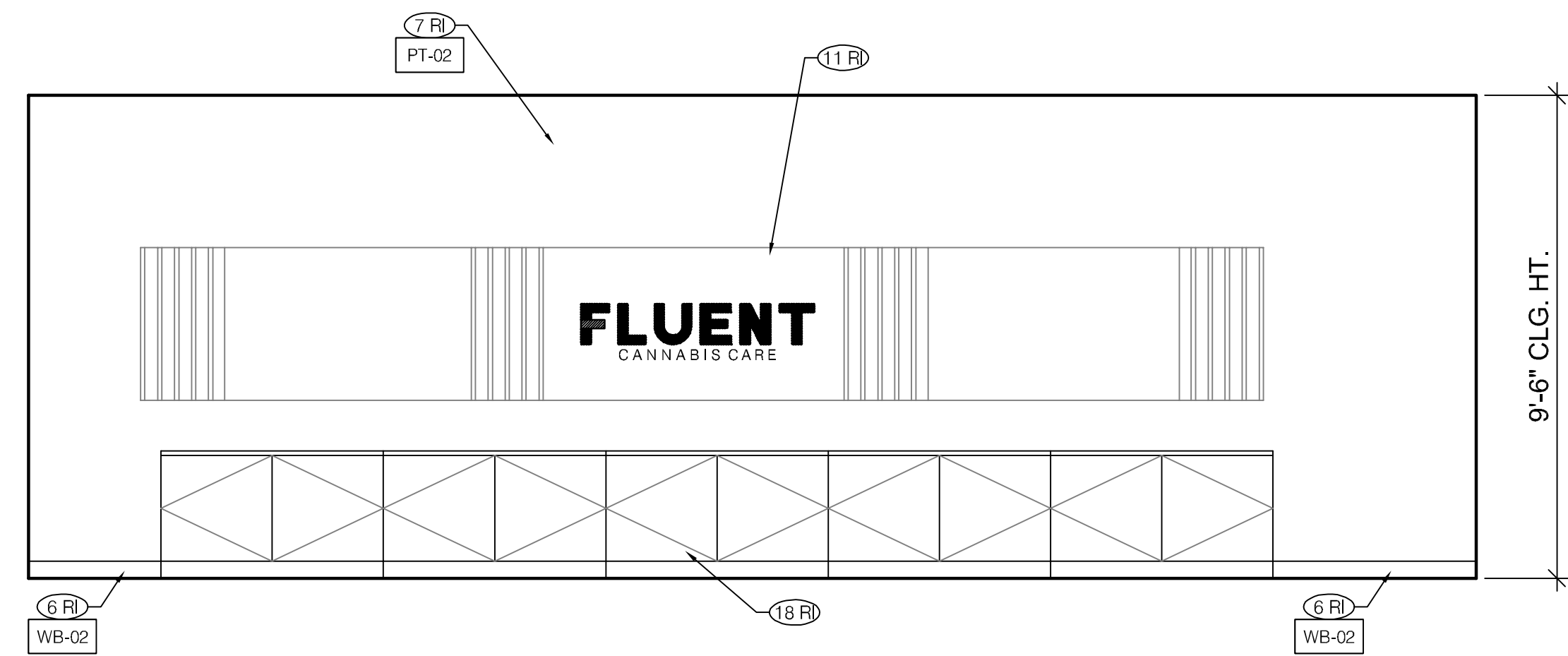


EXTERIOR ELEVATION

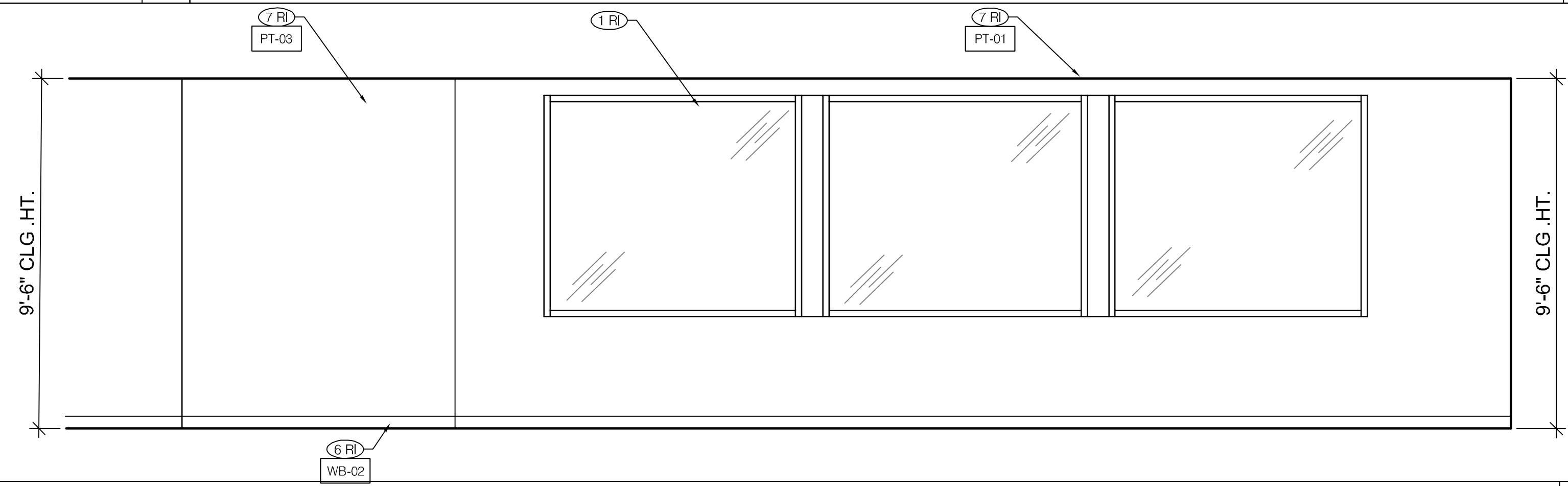
A4.0



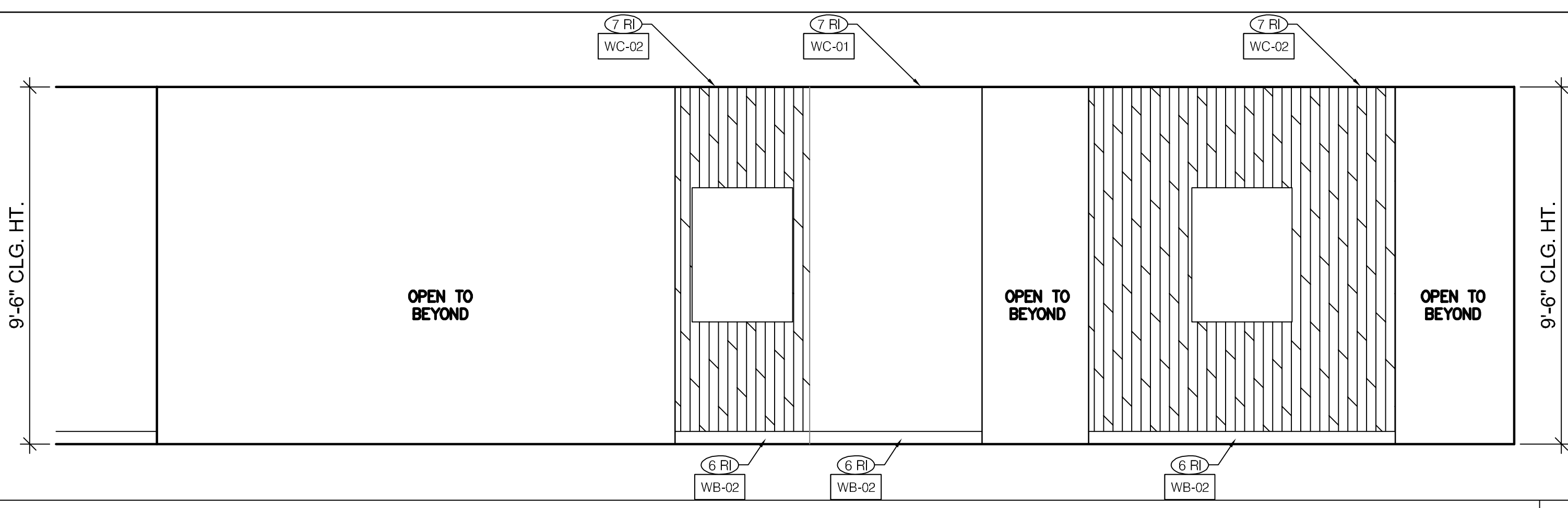
SALES FLOOR 3/8" = 1'-0" **2**



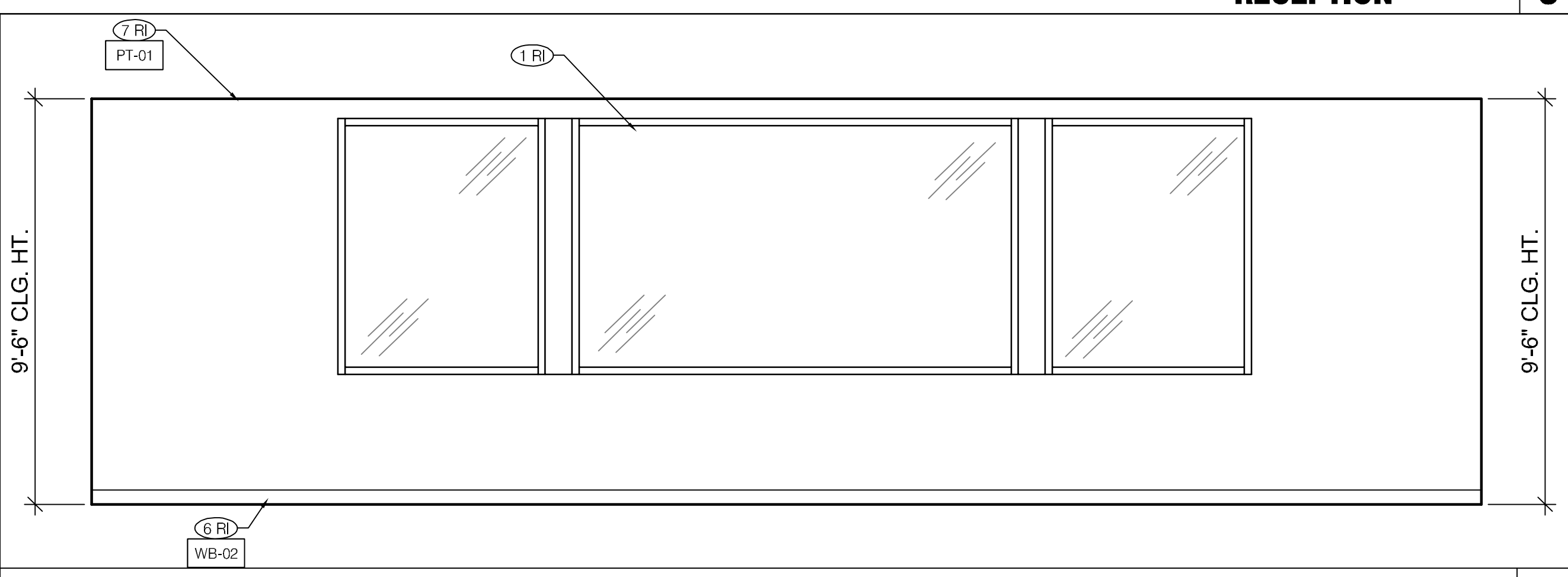
SALES FLOOR 3/8" = 1'-0" **1**



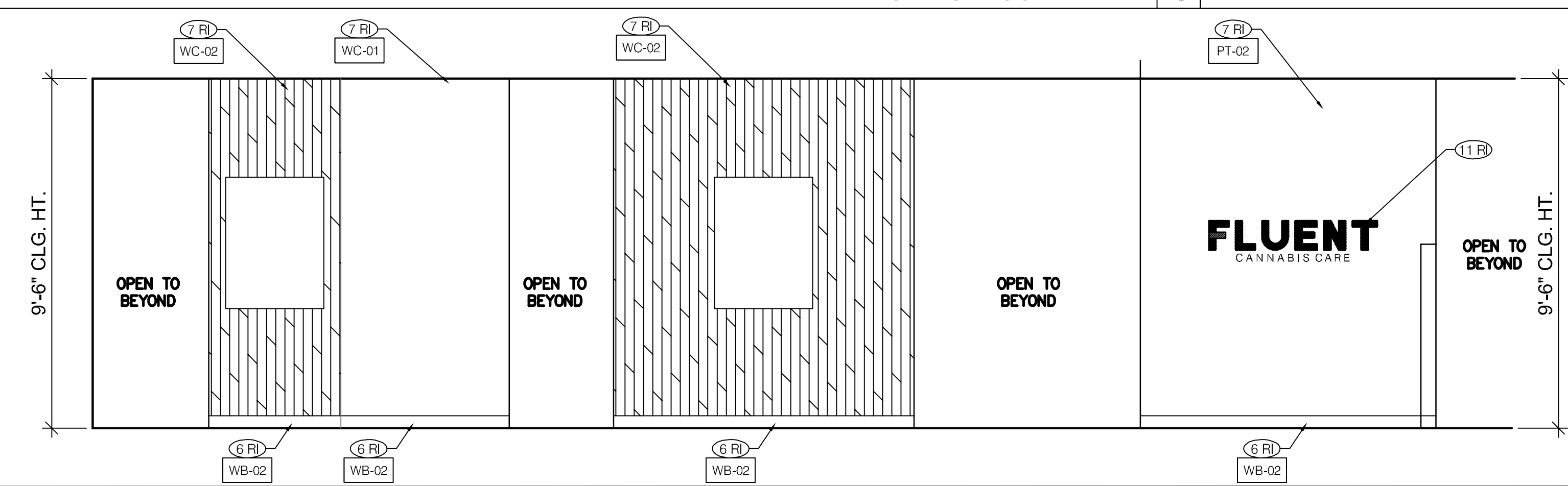
RECEPTION 3/8" = 1'-0" **3**



SALES FLOOR 3/8" = 1'-0" **5**



SALES FLOOR 3/8" = 1'-0" **4**



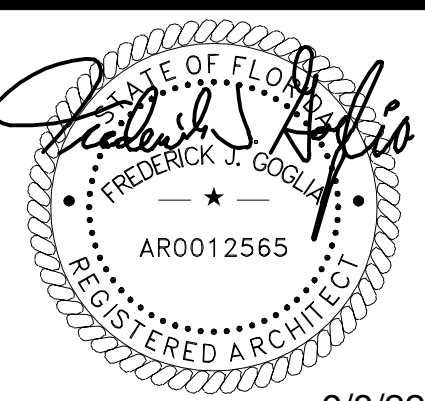
BREAK AREA 3/8" = 1'-0" **6**

REMODEL IMAGE (RI)

- (1 RI) EXISTING STOREFRONT WINDOWS TO REMAIN. EXISTING SOLID SURFACE WINDOW SILLS TO REMAIN. PROTECT DURING CONSTRUCTION.
- (2 RI) EXISTING WALLS TO BE PAINTED AS INDICATED..
- (3 RI) NEW GYP. BD. SOFFIT. PAINT AS INDICATED.
- (4 RI) NEW STOREFRONT FROSTED GLASS AND DOOR. REFER TO SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (5 RI) WHITE POS FRONTLINE CABINET AND SOLID SURFACE COUNTER TOP. MILLWORK SHOP DRAWINGS TO BE APPROVED BY TENANT..
- (6 RI) 4" WHITE VINYL WALL BASE.
- (7 RI) NEW WALLS TO BE PAINTED AS INDICATED.
- (8 RI) NEW GYP. BD. SOFFIT. PAINT AS INDICATED.
- (9 RI) EXISTING DOOR AND HARDWARE TO REMAIN.
- (10 RI) NEW DOOR AND HARDWARE. REFER TO DOOR SCHEDULE SHEET A1.1 FOR ADDITIONAL INFORMATION.
- (11 RI) NEW SIGNAGE AND WALL ELEMENTS BY TENANT. REFER TO SIGNAGE DRAWINGS FOR DETAILS.
- (12 RI) NEW HIGH-LOW DRINKING FOUNTAIN, REFER TO PLUMBING OF DETAILS.
- (13 RI) NEW LAMINATED, PLYWOOD CABINETS, BY G.C. SINK BASE CABINET DOORS W/ ATTACHED TOE KICK W/ CLEAR SPACE FOR WHEELCHAIR ACCESS.
- (14 RI) NEW REFRIGERATOR, BY OWNER.
- (15 RI) NEW COUNTER TOP AND BACK SPLASH, BY G.C.
- (16 RI) NEW STAINLESS STEEL SINK, BY G.C. ADA COMPLIANT ROLL IN DOORS BELOW WITH TOE KICK ATTACHED.
- (17 RI) OPEN SHELF FOR MICROWAVE.

KEY NOTES **A**

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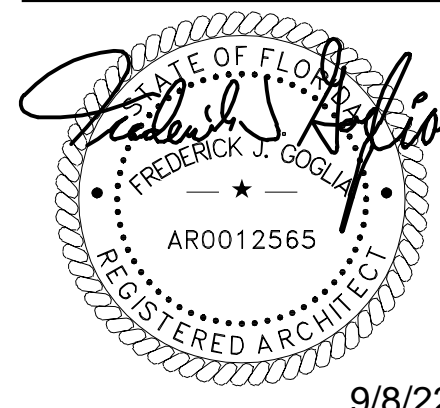
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FLUENT
 CANNABIS CARE

INTERIOR ELEVATIONS

A5.0



9/8/22

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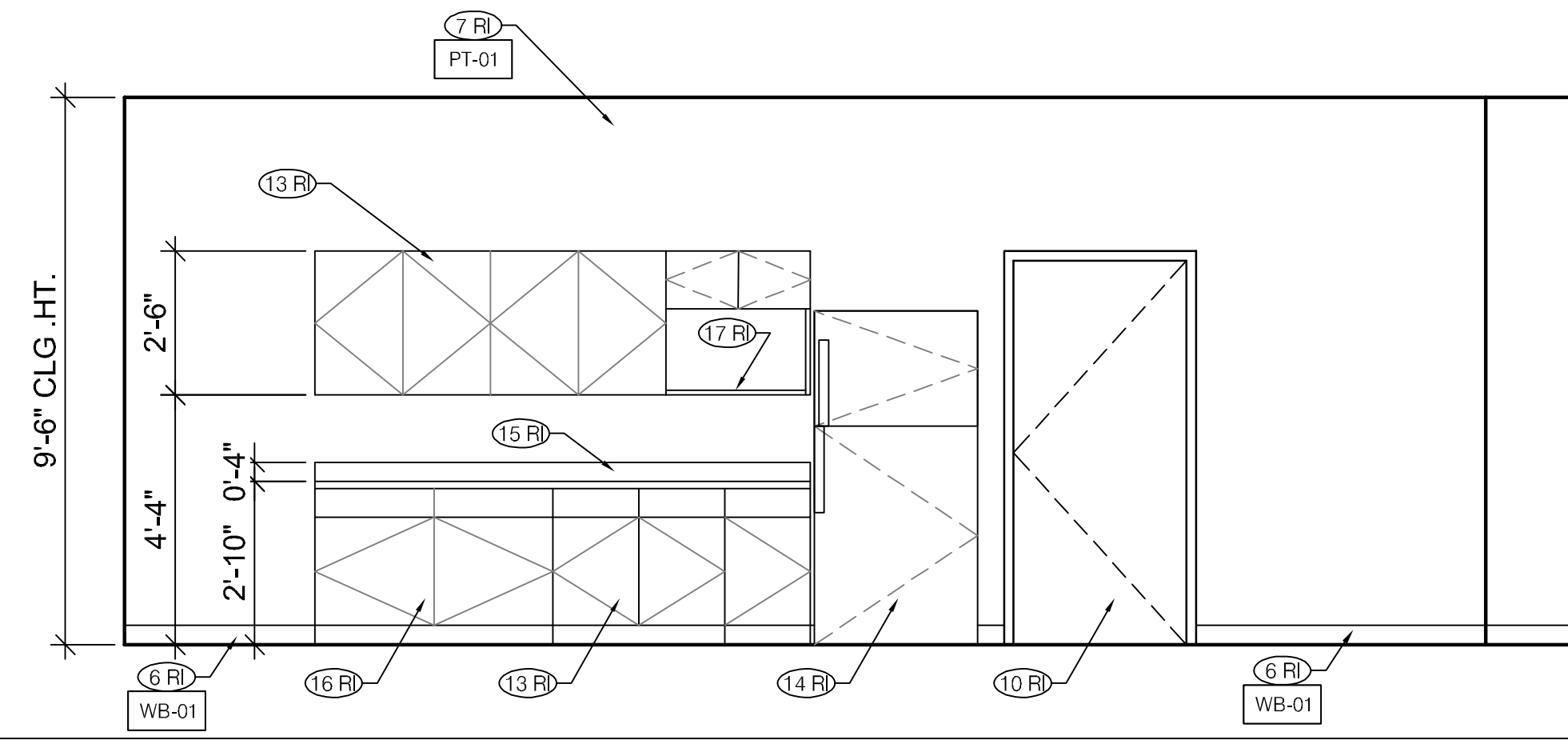
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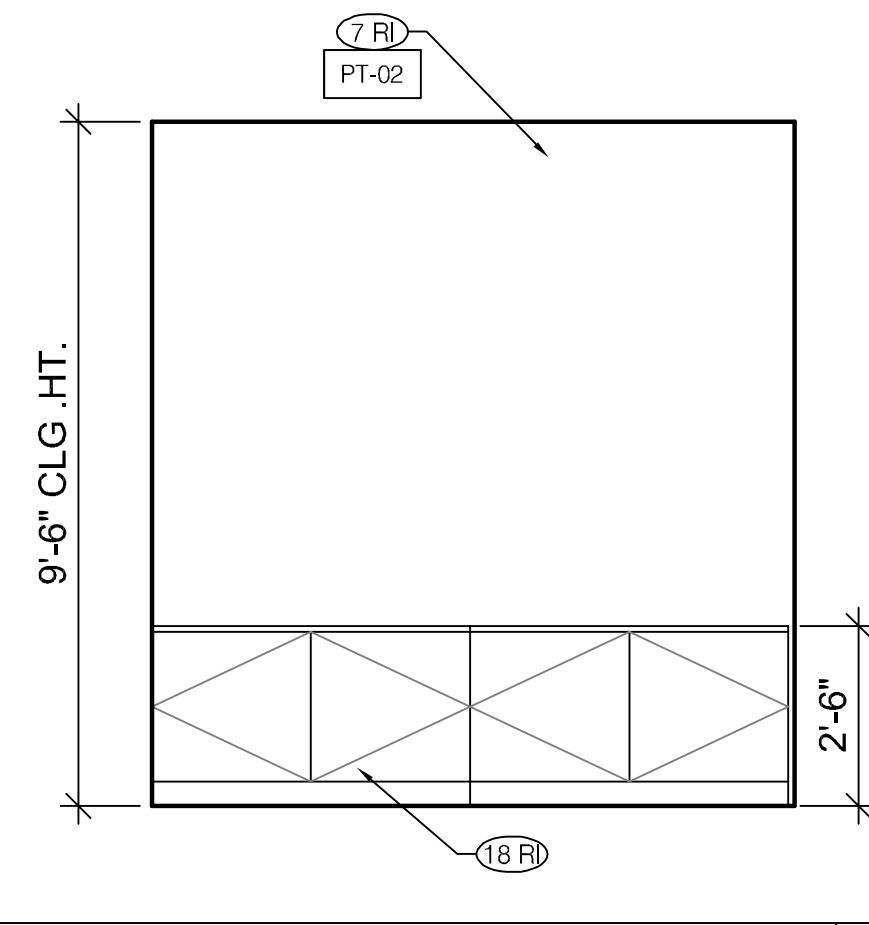
FLUENT
 CANNABIS CARE

INTERIOR ELEVATIONS

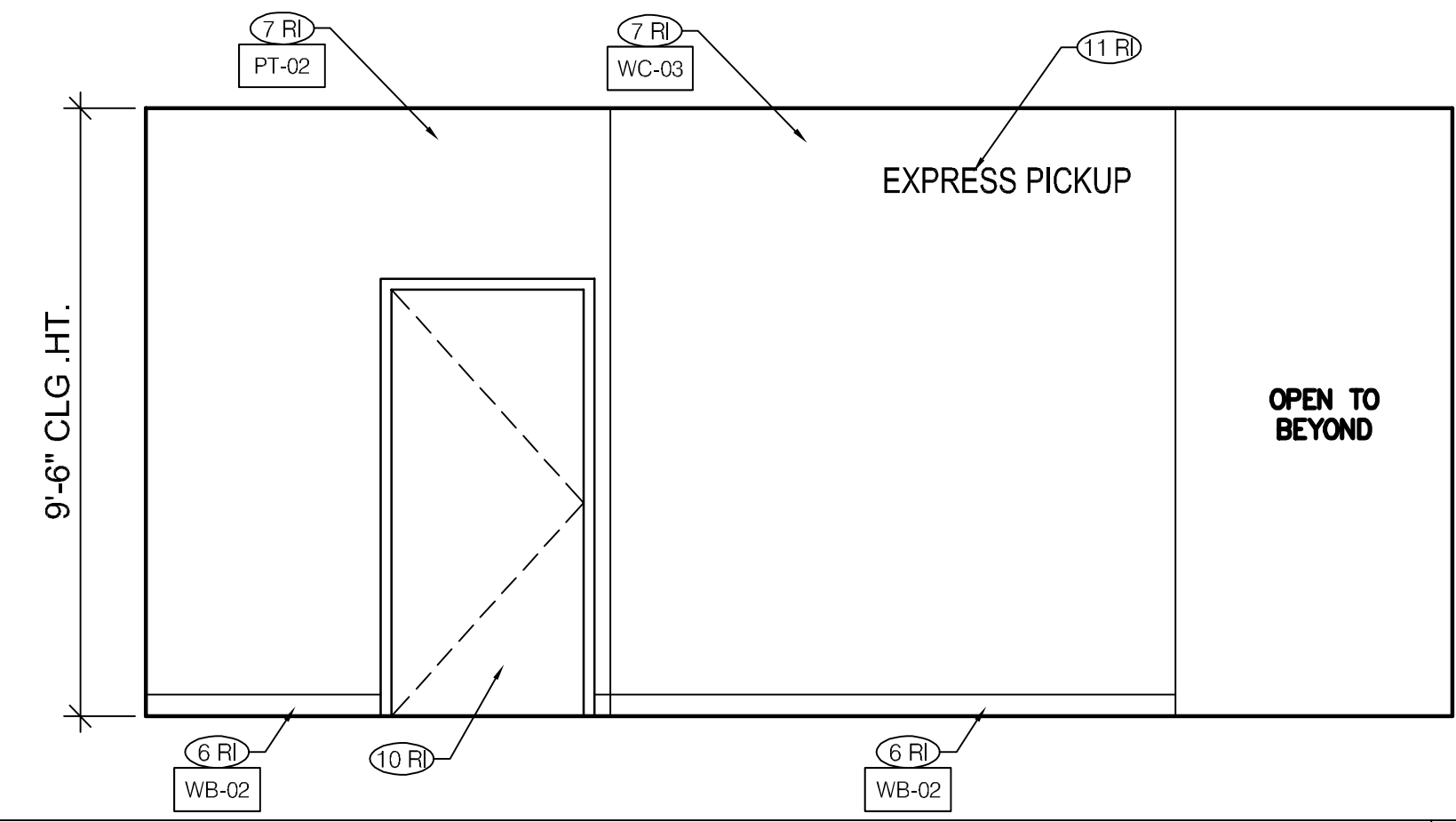
A5.1



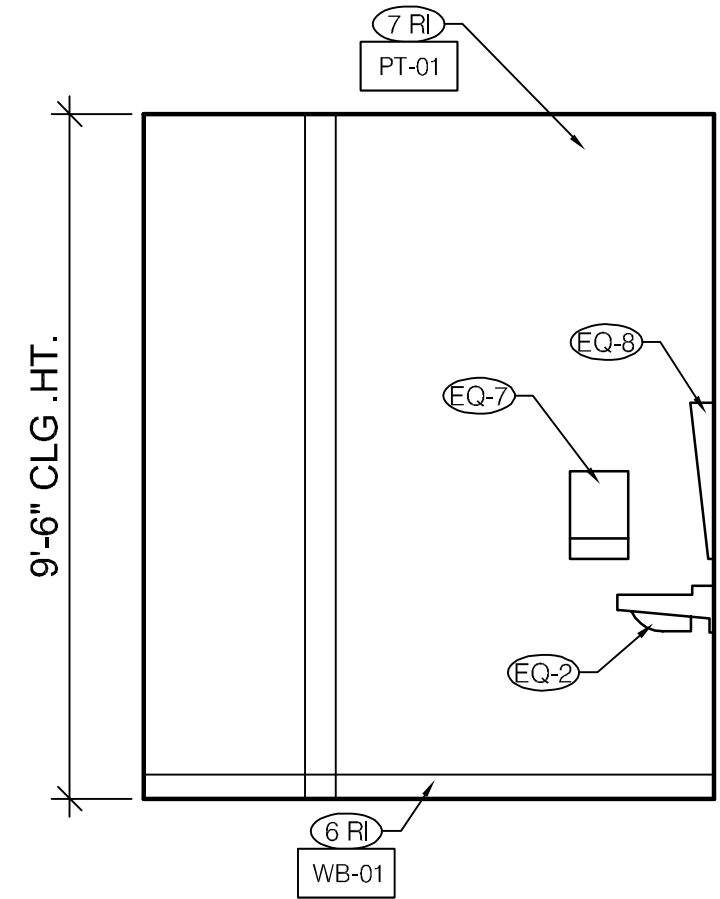
BREAK AREA 3/8" = 1'-0" **9**



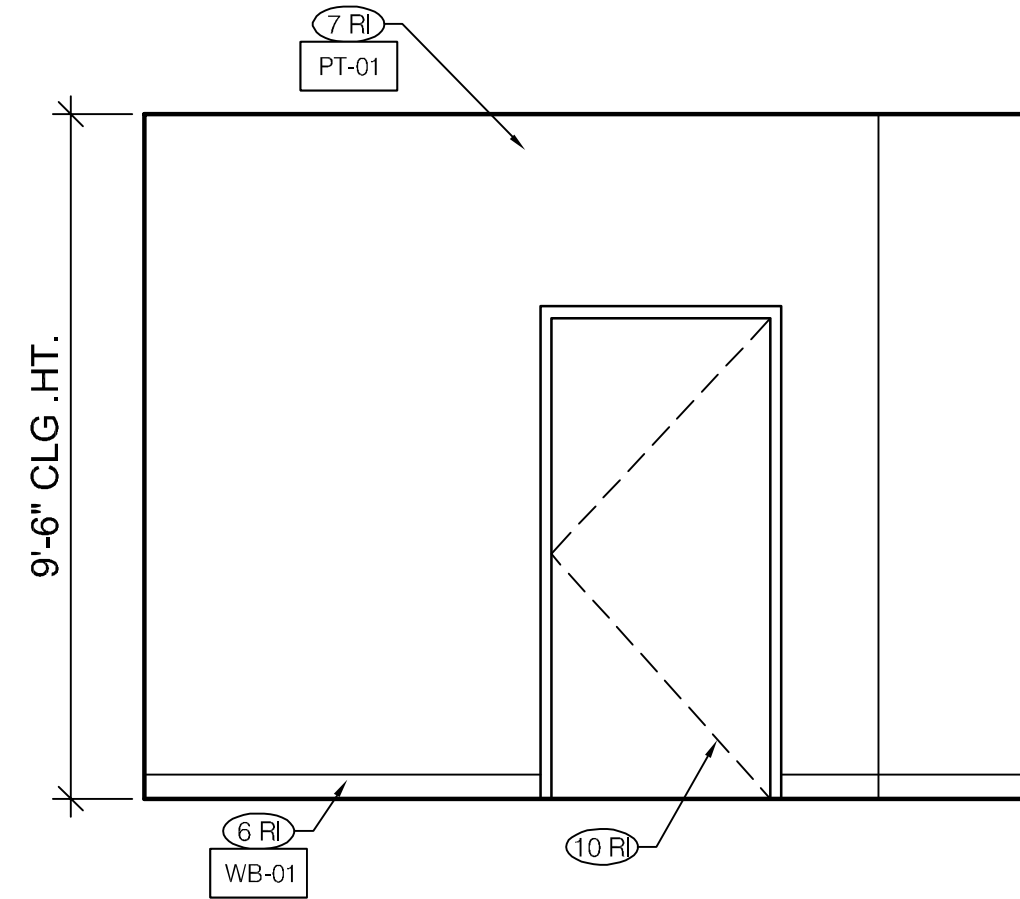
SALES FLOOR 3/8" = 1'-0" **8**



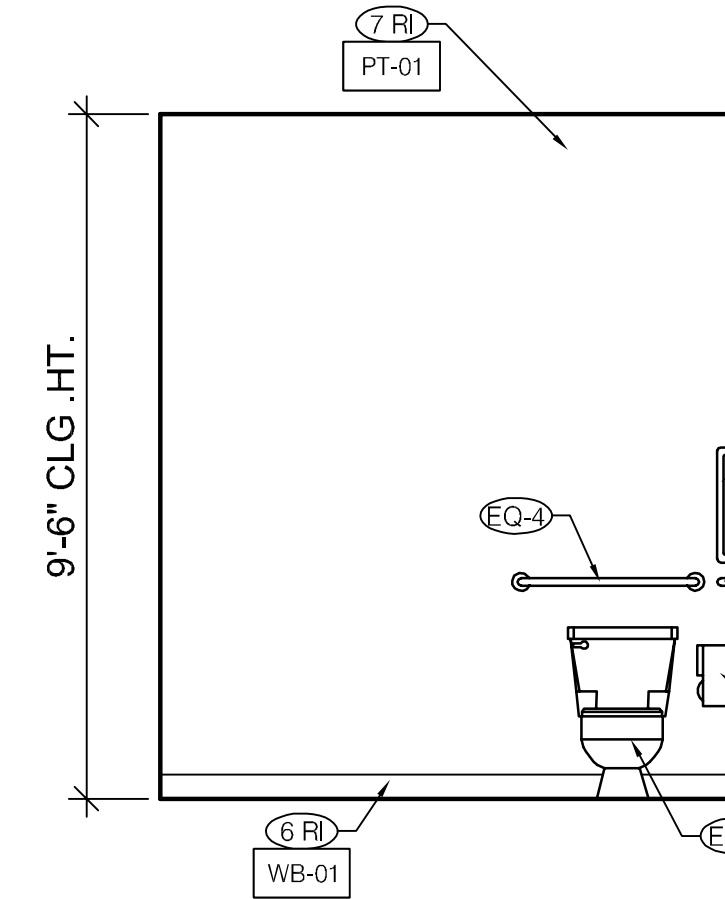
SALES FLOOR 3/8" = 1'-0" **7**



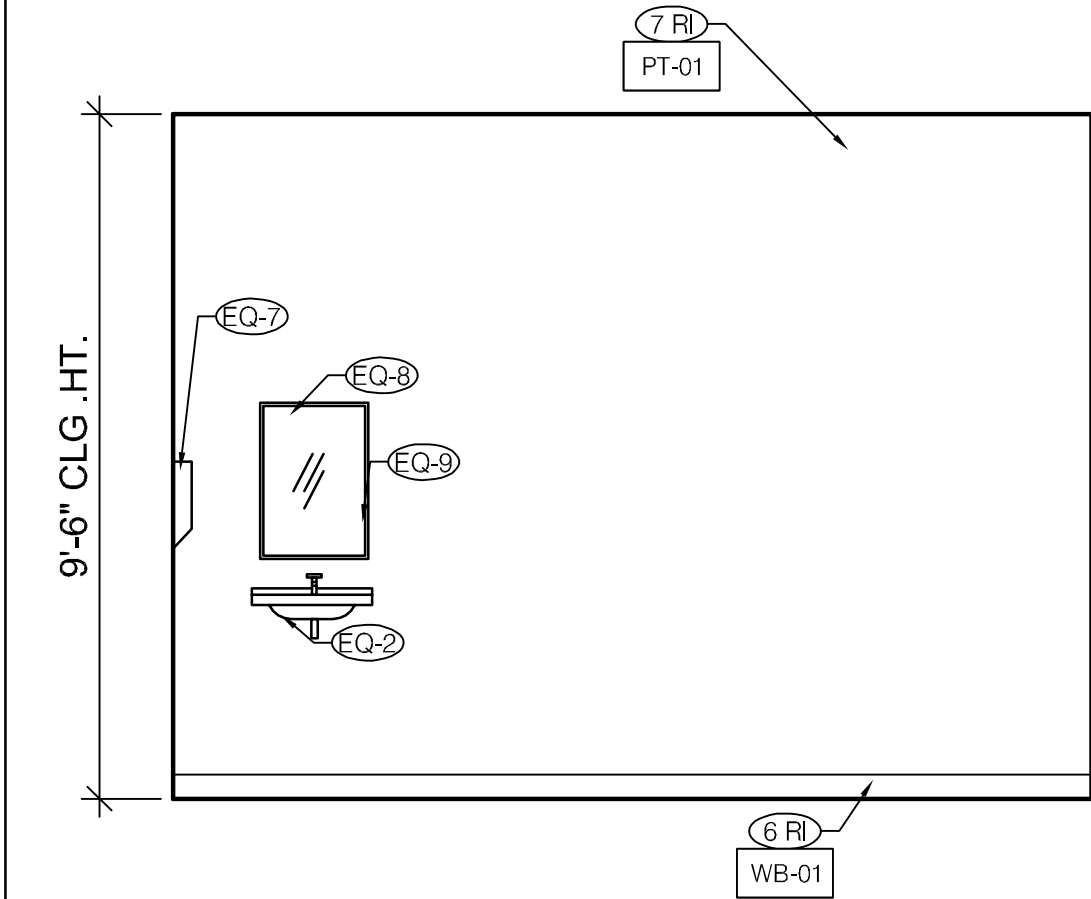
RESTROOM 3/8" = 1'-0" **14**



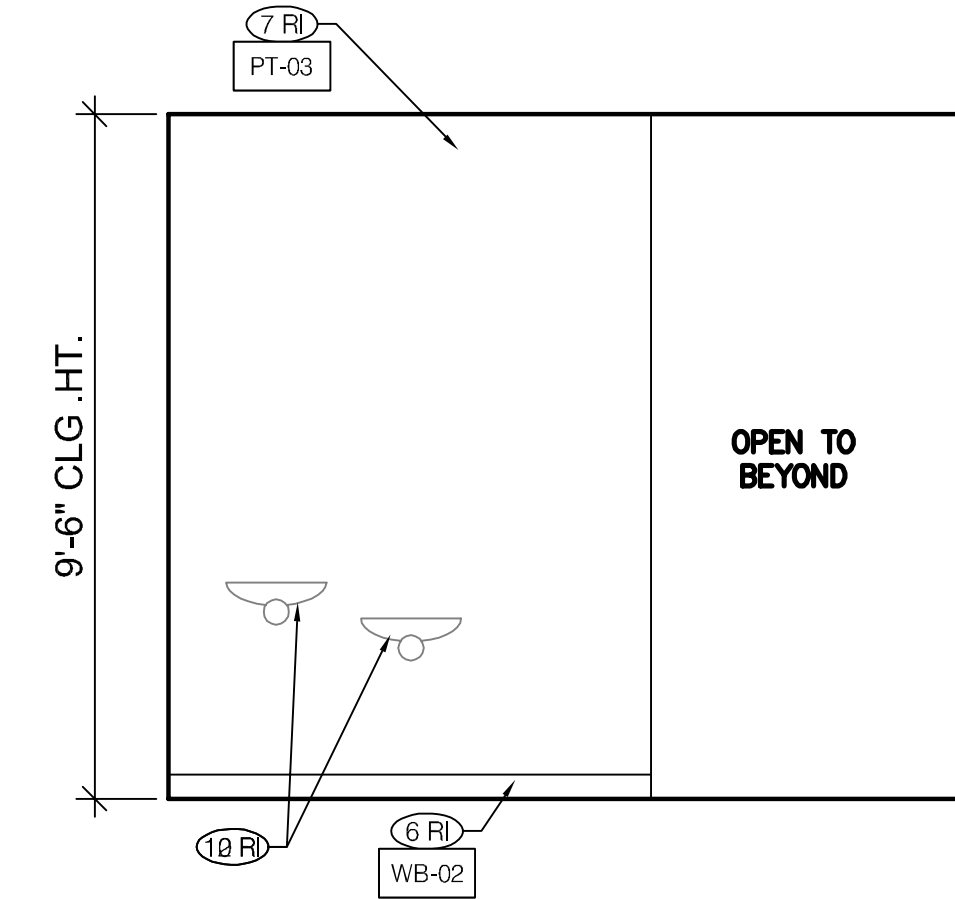
RESTROOM 3/8" = 1'-0" **13**



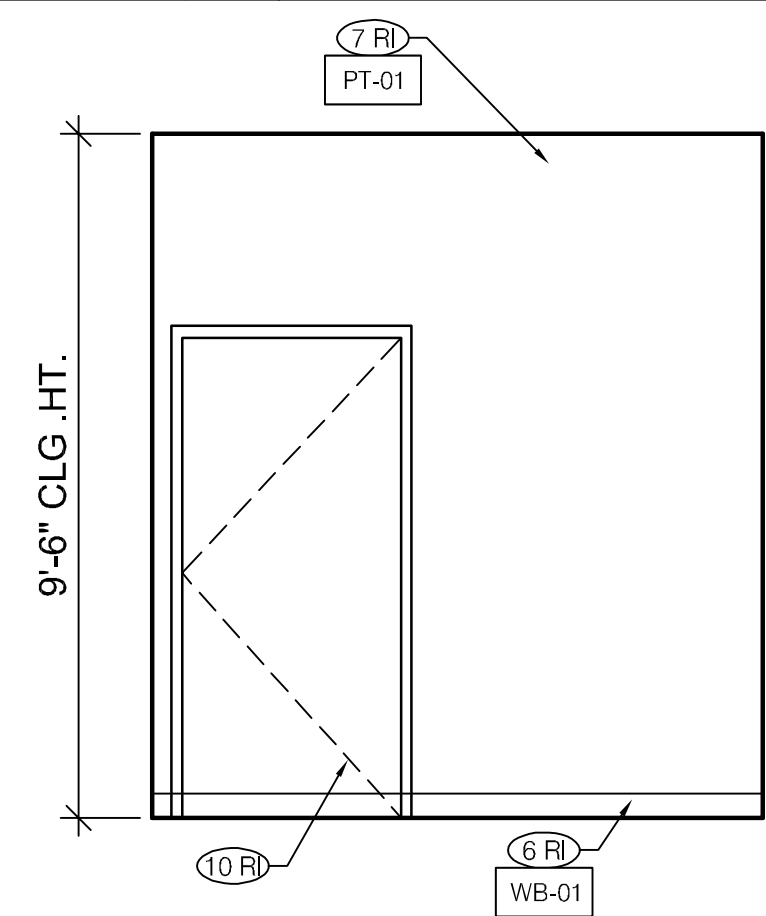
RESTROOM 3/8" = 1'-0" **12**



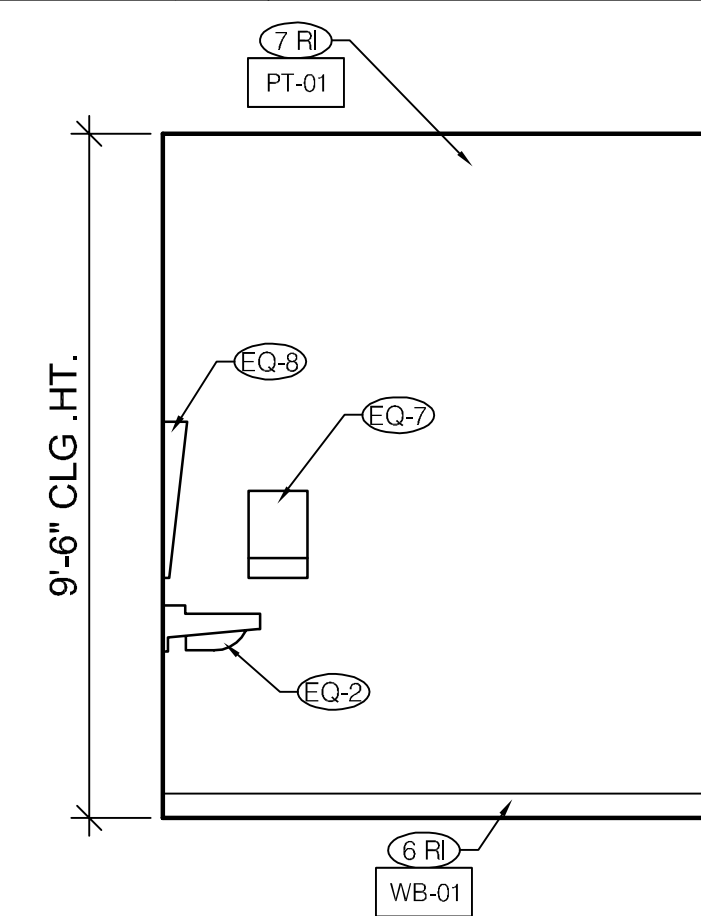
RESTROOM 3/8" = 1'-0" **11**



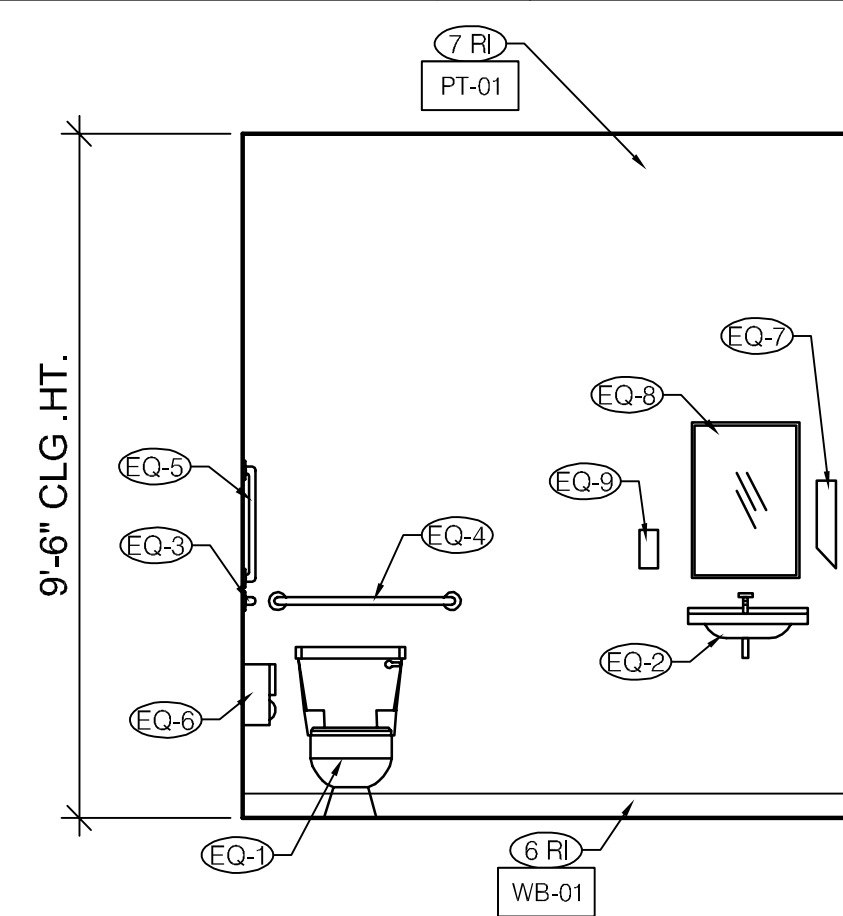
DRINKING FOUNTAINS 3/8" = 1'-0" **10**



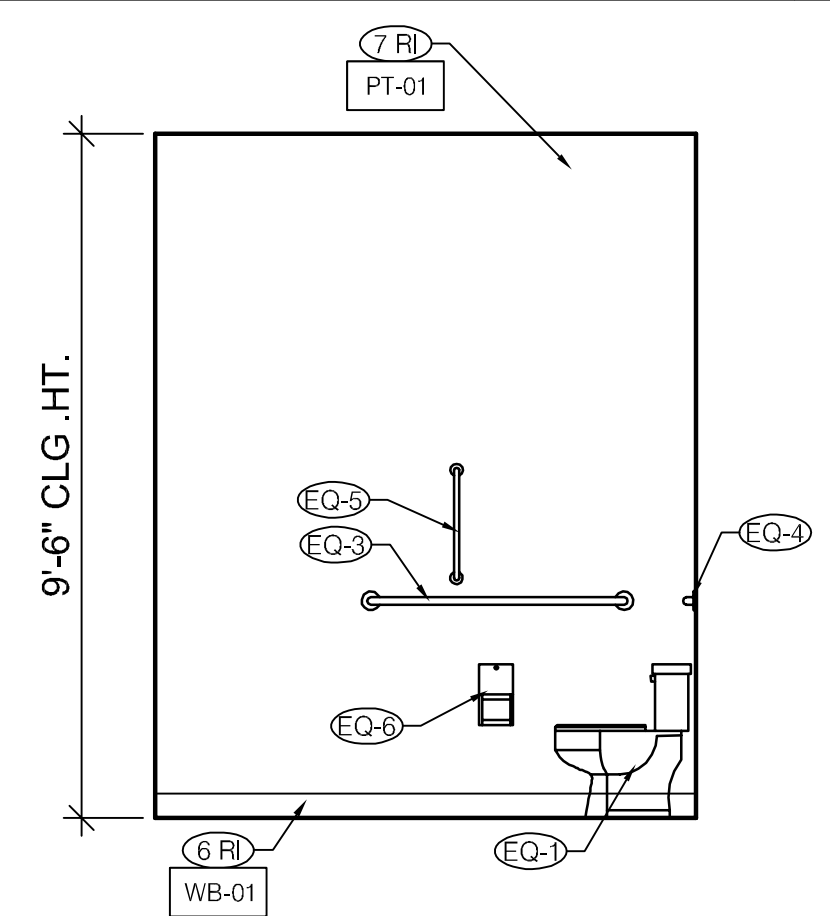
RESTROOM 3/8" = 1'-0" **18**



RESTROOM 3/8" = 1'-0" **17**



RESTROOM 3/8" = 1'-0" **16**



RESTROOM 3/8" = 1'-0" **15**

REMODEL IMAGE (RI)
 SEE A5.0 FOR LEGEND.

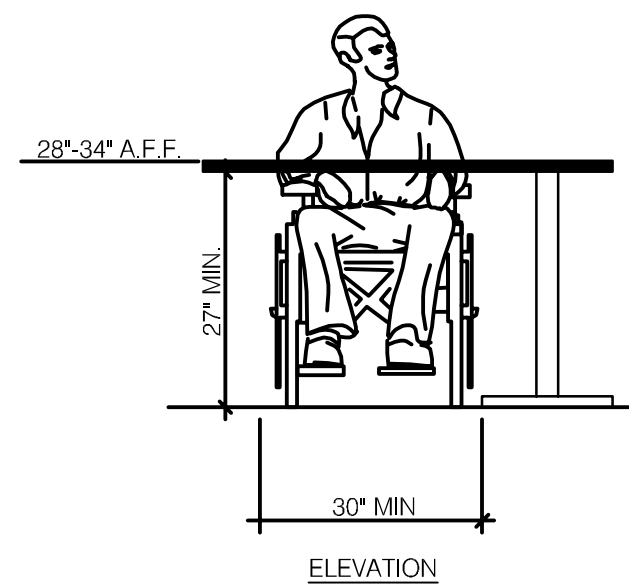
PLUMBING ACCESSORY SCHEDULE			
EQUIP. NO.	DESCRIPTION	MANUFACTURER	MODEL
EQ-1	FLOOR MOUNTED TOILET	AMERICAN STANDARD	MADERA #2854-128-1.28 GAL. - MANUAL OPERATED
EQ-2	LAVATORY	AMERICAN STANDARD	#0355.012 - FAUCET: #7385.003
EQ-3	GRAB BAR 42" - HORIZONTAL	BOBRICK	B-5806 42
EQ-4	GRAB BAR 36" - HORIZONTAL	BOBRICK	B-5806 36
EQ-5	GRAB BAR 42" - VERTICAL	BOBRICK	B-5806 18
EQ-6	TOILET PAPER DISPENSER	BOBRICK	ASI 220031
EQ-7	HAND DRIER	DYSON	AIRBLADE V
EQ-8	MIRROR	BOBRICK	B-29324B6
EQ-9	SOAP DISPENSER	BOBRICK	B-2018
EQ-10	HIGH-LOW WATER FOUNTAIN	HALSEY TAYLOR	HVRGRN8BL

KEY NOTES **A**

TOTAL SEATS ACCESSIBLE SEATS

1 - 20	1
21-40	2
41-60	3
61-80	4
81-100	5
101-120	6
121-140	7

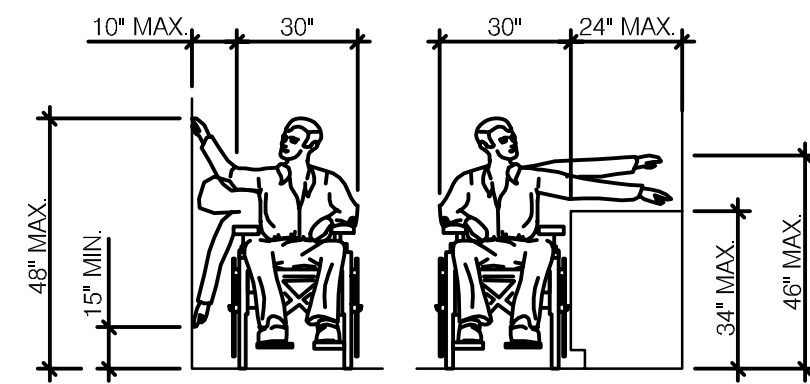
NUMBER OF ACCESSIBLE SEATS



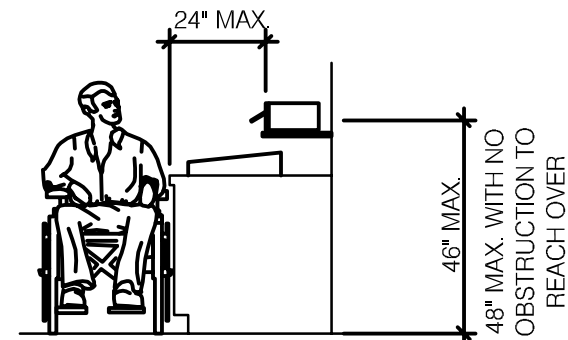
SEATING AND TABLES

N.T.S.

18



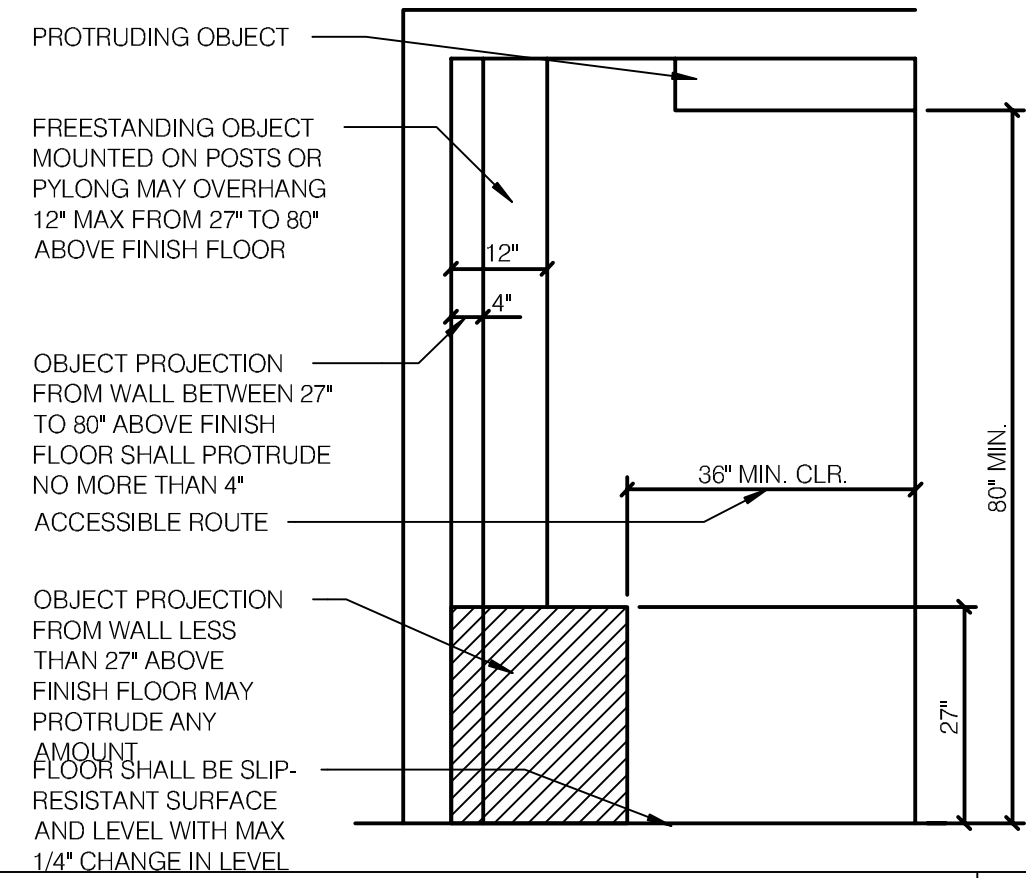
EXAMPLE: DRINK MACHINE, ETC.



REACH RANGES

N.T.S.

14



INT. ACCESS. ROUTE CLEARANCES

1/2" = 1'-0"

10

NOT USED N.T.S.

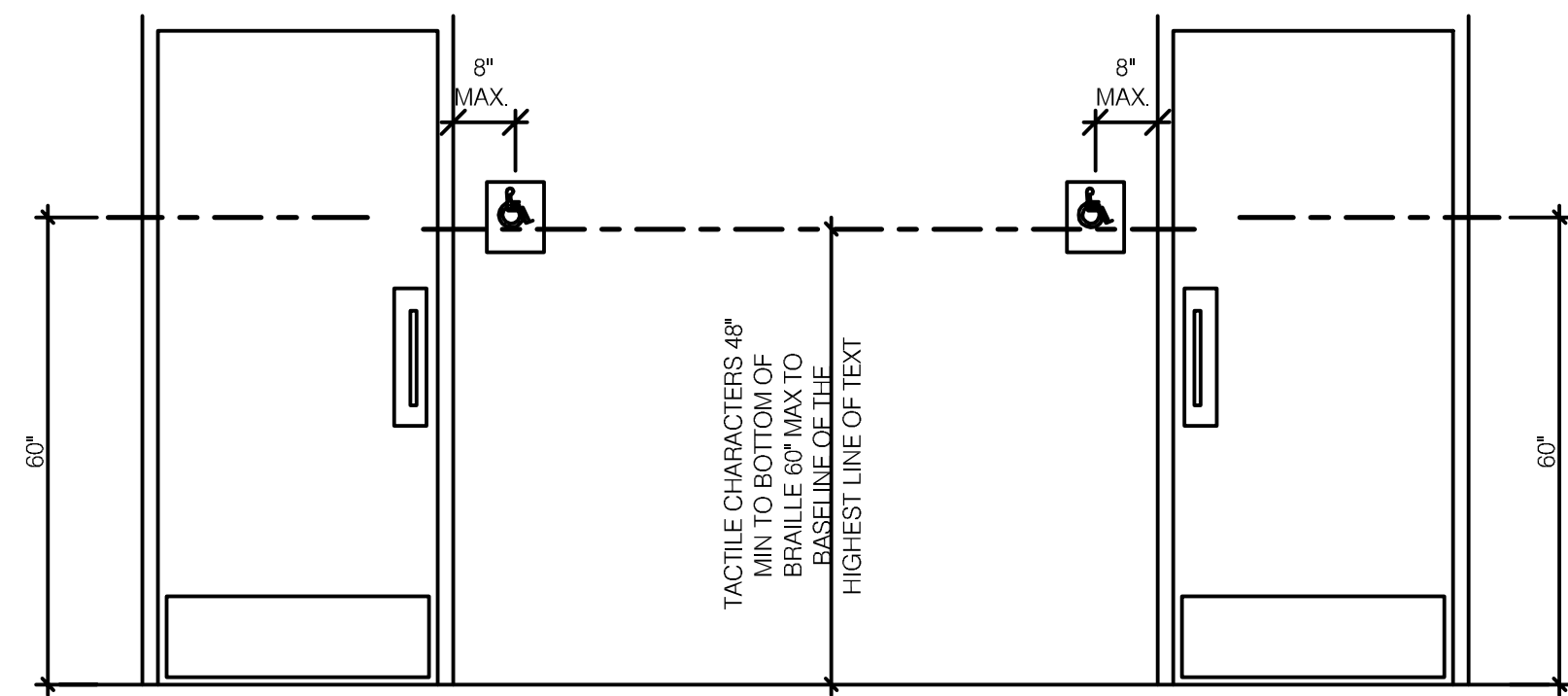
1

NOT USED 3/4" = 1'-0"

6

NOT USED N.T.S.

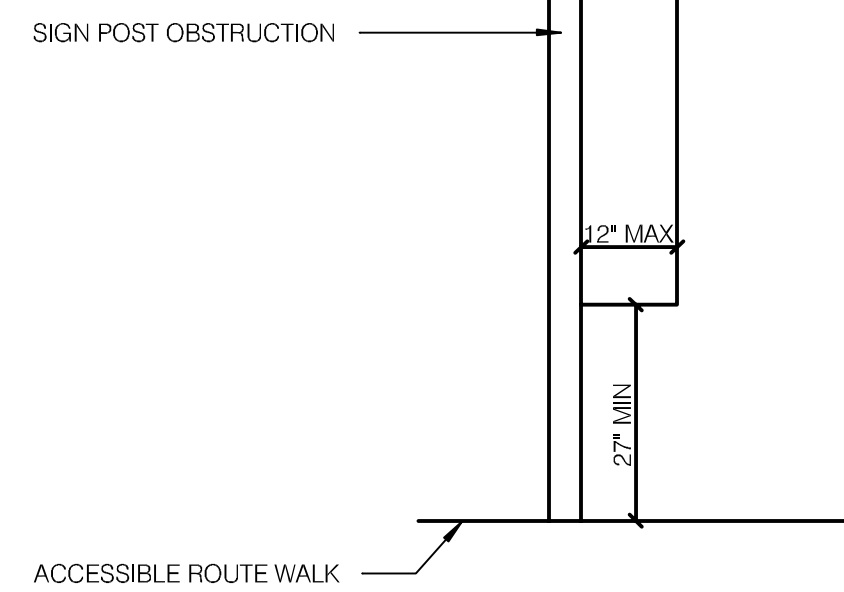
2



ACCESSIBLE RESTROOM DOORS

N.T.S.

15



PROTRUDING HAZARDS

1/2" = 1'-0"

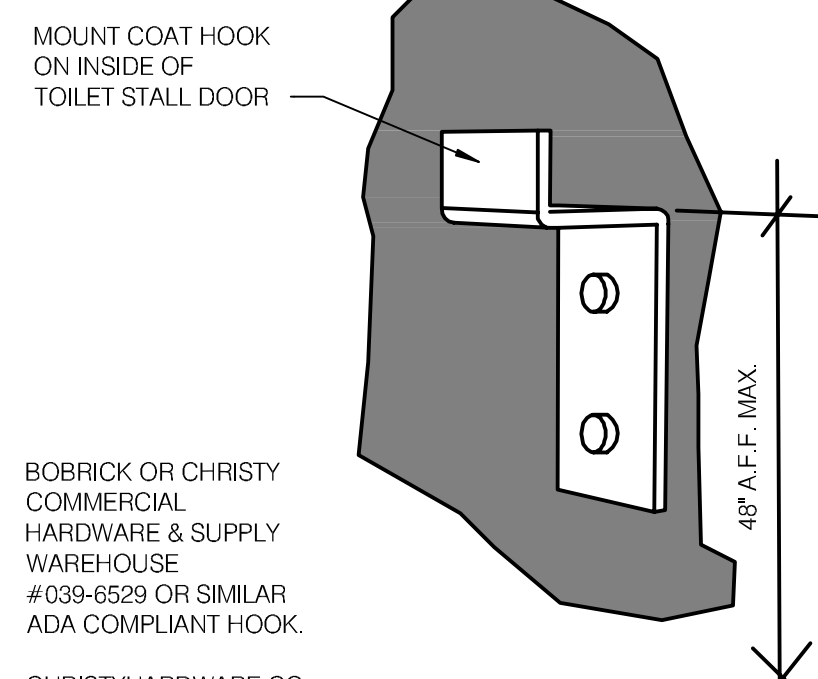
11

NOT USED 3" = 1'-0"

7

NOT USED 3/4" = 1'-0"

3



BOBRICK OR CHRISTY COMMERCIAL HARDWARE & SUPPLY WAREHOUSE #039-6529 OR SIMILAR ADA COMPLIANT HOOK.

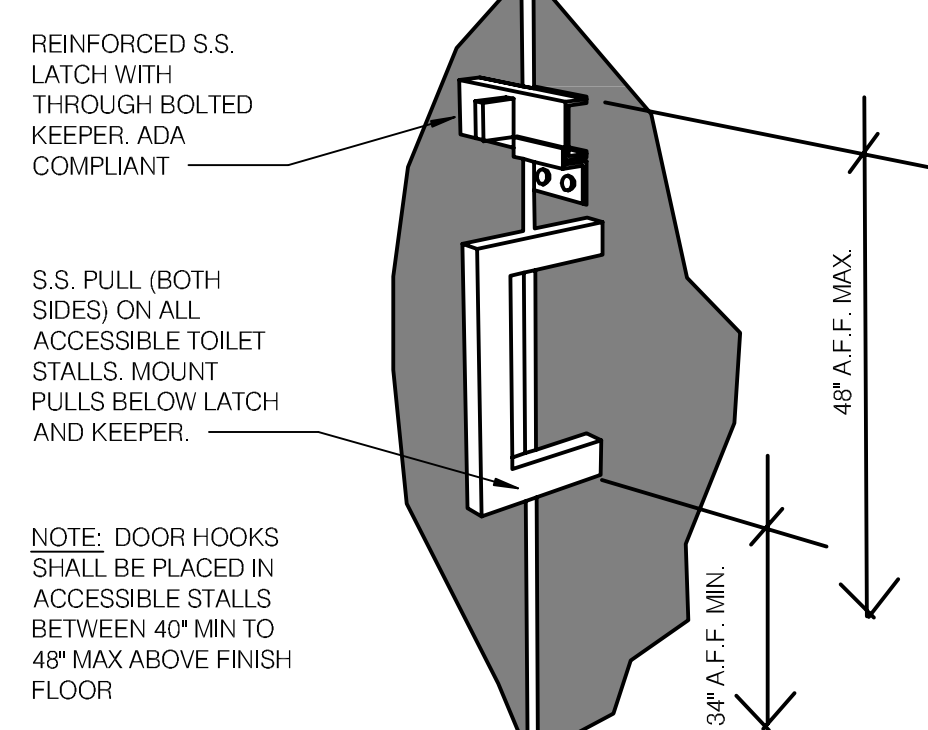
CHRISTYHARDWARE.CO M 877-544-5400

NOTE: SEE DOOR SCHEDULE. AND DOOR SCHEDULE NOTES

COAT HOOK

N.T.S.

20



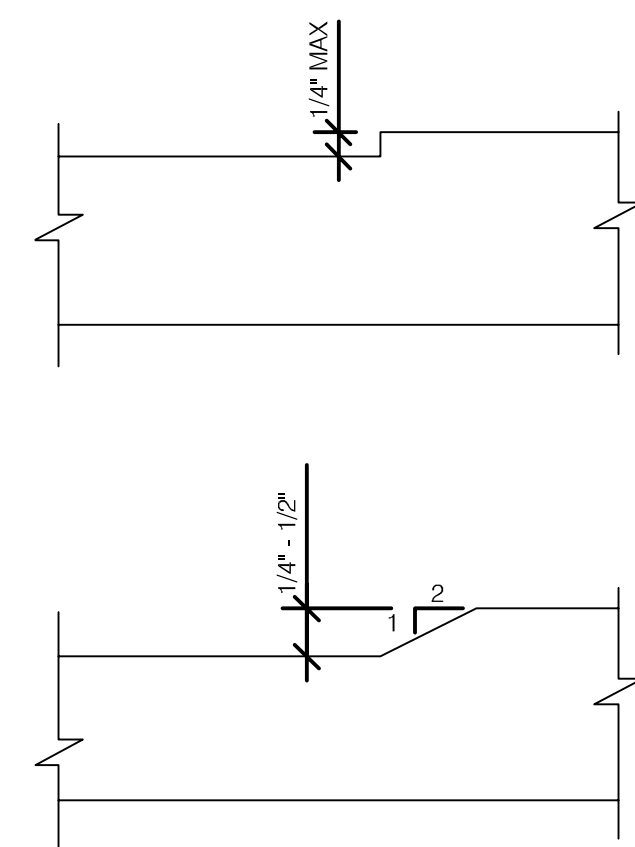
NOTE: DOOR HOOKS SHALL BE PLACED IN ACCESSIBLE STALLS BETWEEN 40" MIN TO 48" MAX ABOVE FINISH FLOOR

NOTE: SEE DOOR SCHEDULE. AND DOOR SCHEDULE NOTES

PARTITION DOOR LATCH @ PULL

N.T.S.

16



CHANGES IN LEVEL

N.T.S.

12

NOT USED N.T.S.

8

- INDICATED DIMENSIONS, HEIGHTS, DEPTHS, AREAS AND OTHER GRAPHIC INFORMATION ARE PROVIDED AS MINIMUMS THAT MUST BE MAINTAINED. THESE MINIMUMS ARE BASED UPON YUM STANDARDS AND MAY EXCEED ADA REQUIREMENTS.
- THE DETAILS SHOWN ARE CONCEPTUAL ONLY AND INTENDED TO SHOW ABSOLUTE MINIMUMS AND SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS ASSOCIATED WITH THIS PROJECT.
- 60" TURNING SPACE
 - PERMITTED OVERLAP LIMITED TO 1' ARM OF T-SHAPED SPACE
 - CAN OVERLAP FIXTURE & DOOR CLEARANCE
 - DOOR CAN SWING INTO TURNING SPACE A MAXIMUM OF 12"
- RESTROOM, IN GENERAL, DOOR SWING MUST BE OUTSIDE OF THE FIXTURE CLEAR FLOOR SPACE HOWEVER A DOOR CAN SWING INTO FIXTURE CLEAR FLOOR SPACE IF WHEELCHAIR SPACE 30"x48" IS PROVIDED BEYOND THE DOOR SWING.
- TOILET ROOM MUST ALLOW FOR SIDE TRANSFER - 42" BETWEEN FIXTURES
- ALL BARRIER FREE SIGNS SHALL BE WHITE ON A BLUE BACKGROUND.

GENERAL NOTES

4

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 ARCVISION: 220054

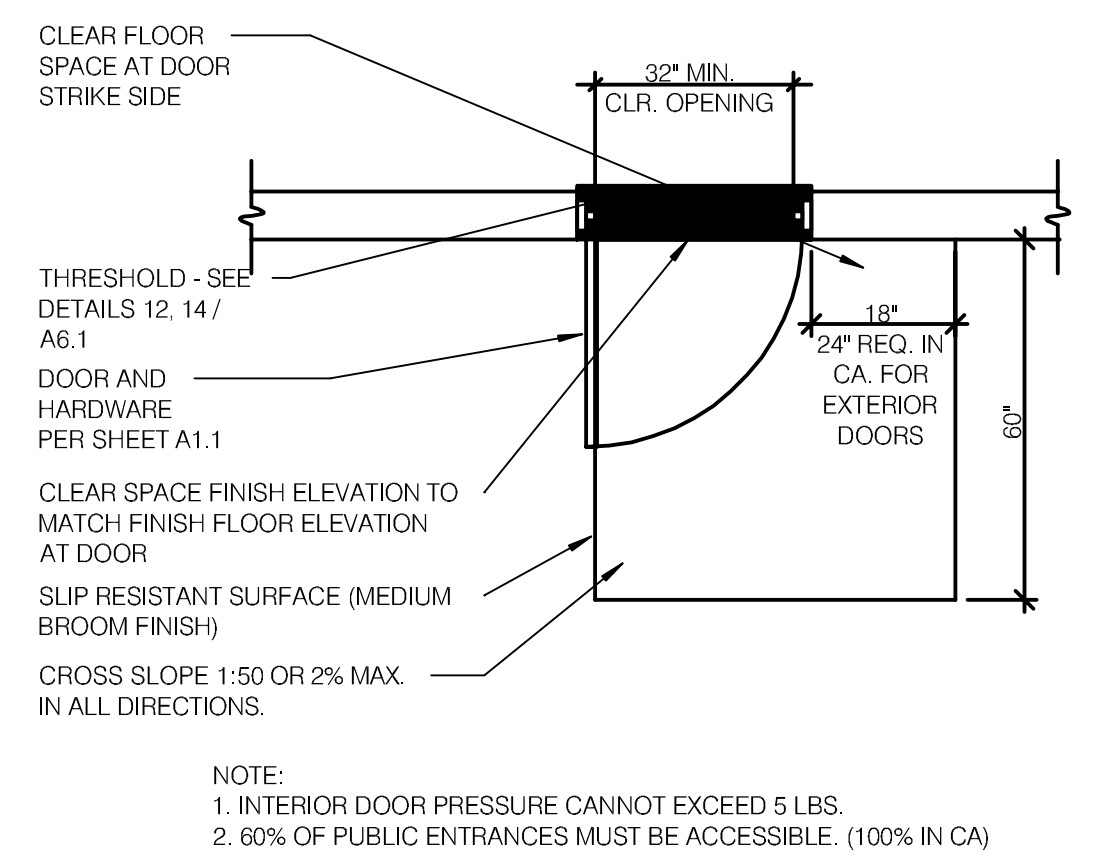
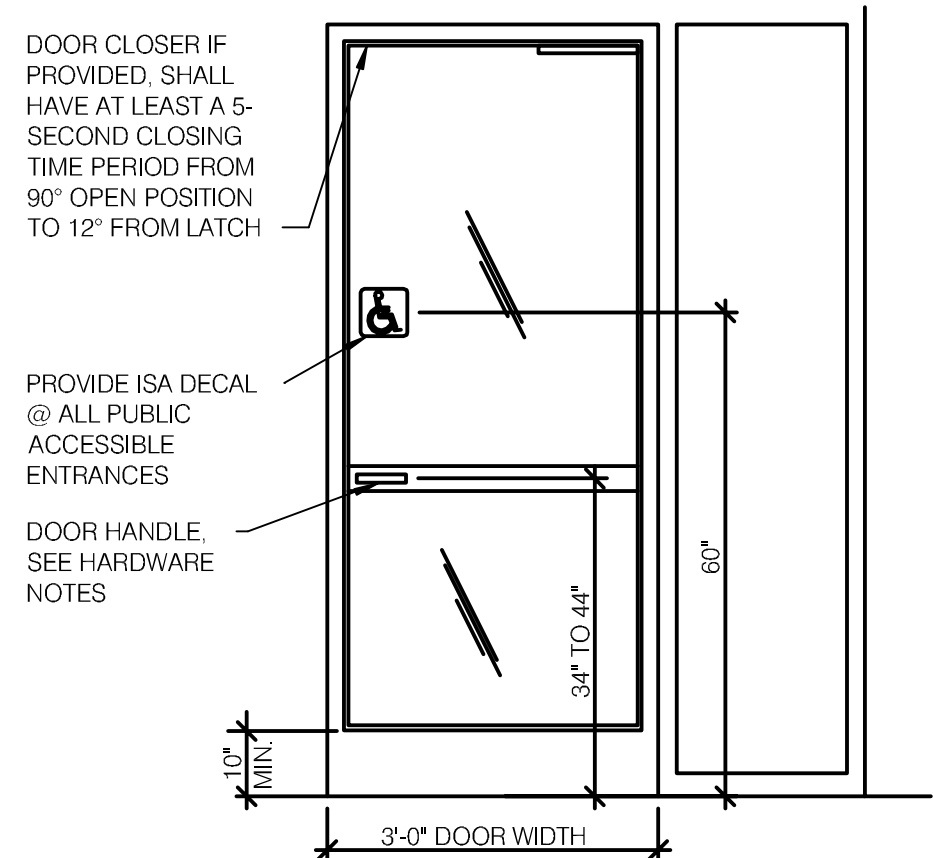
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FLUENT
 CANNABIS CARE

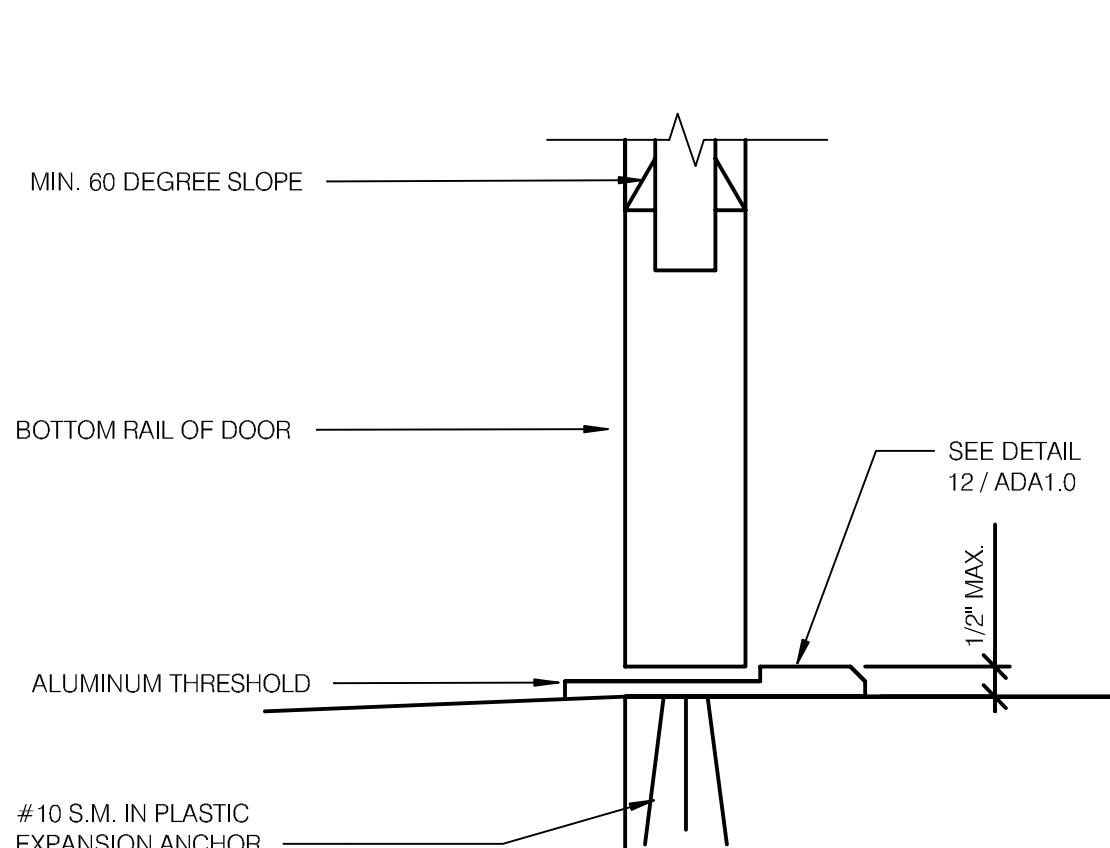
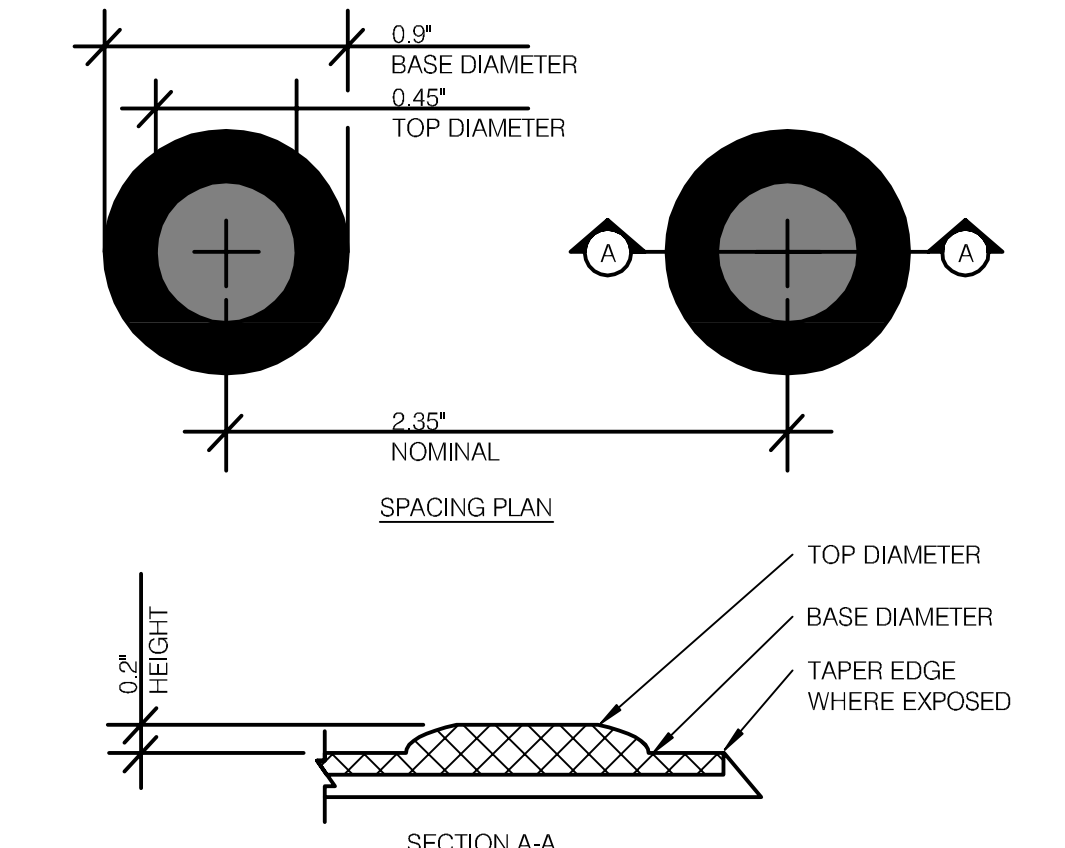
ACCESSIBILITY REQUIREMENTS

ADA 1.0



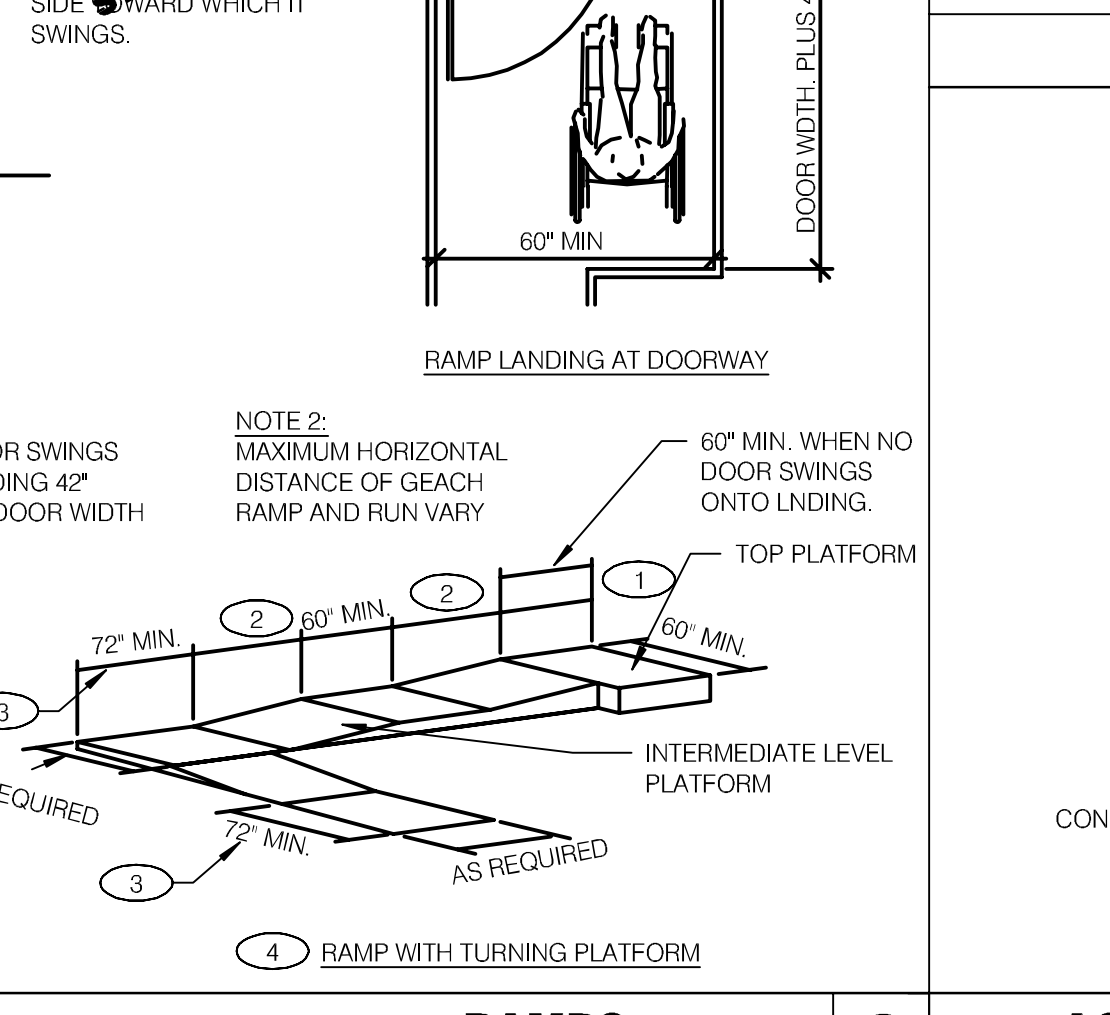
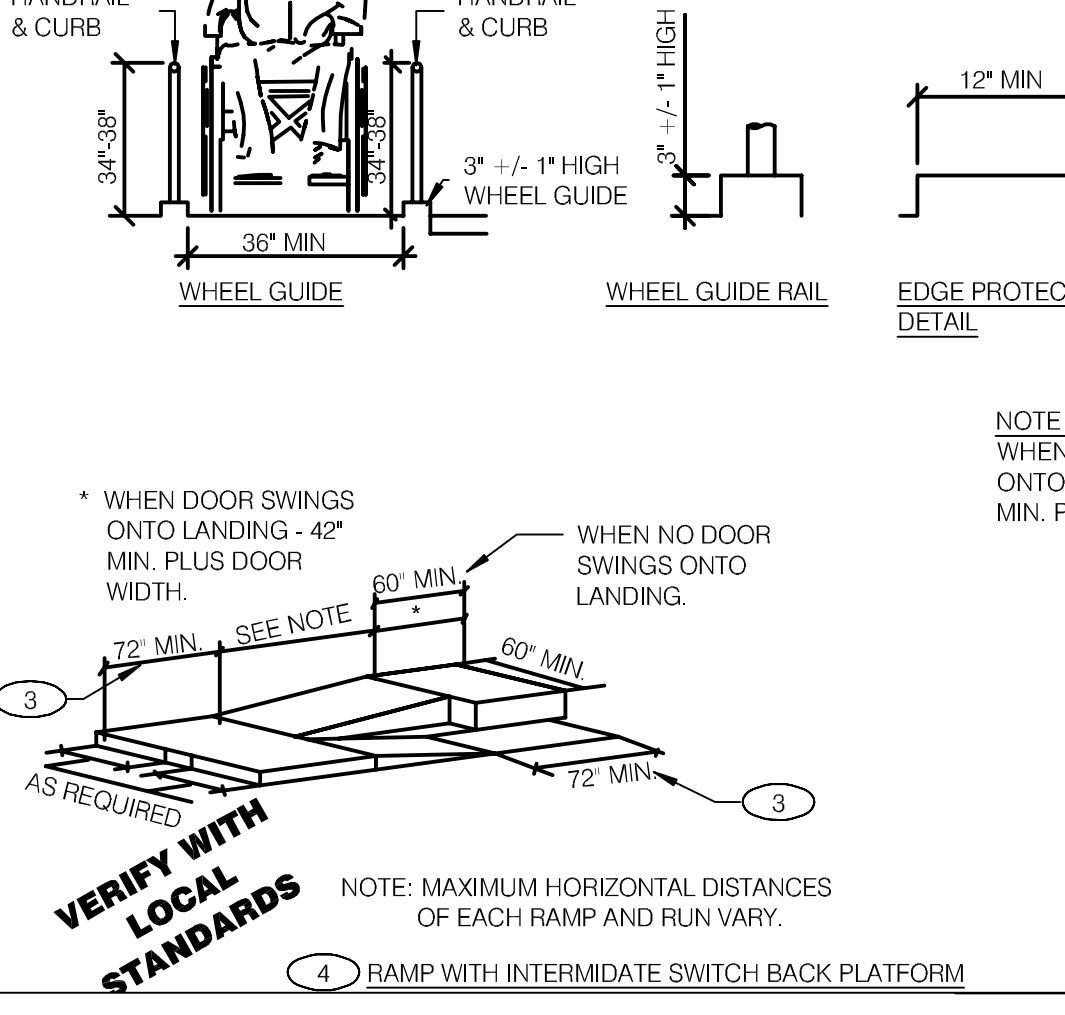
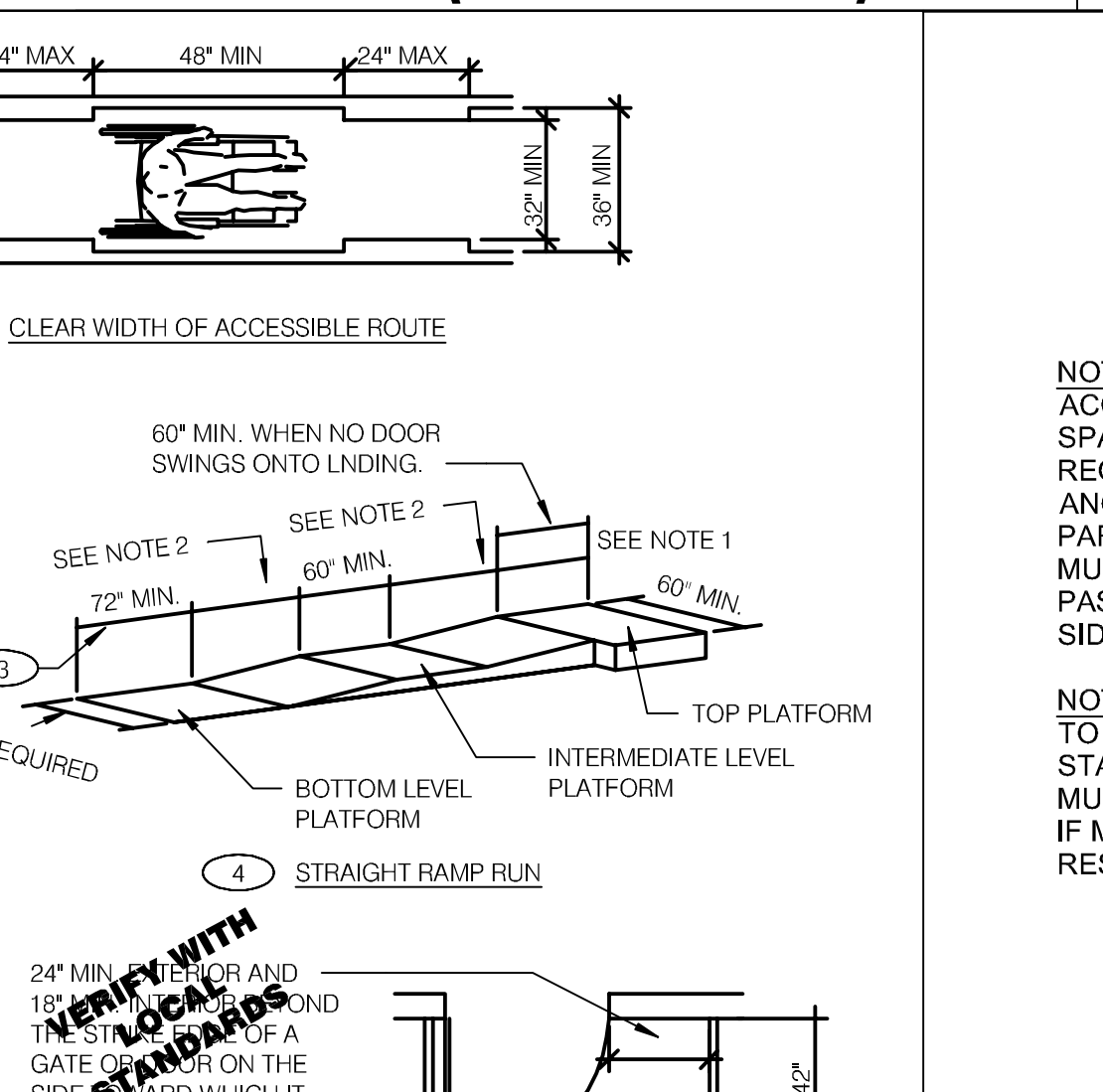
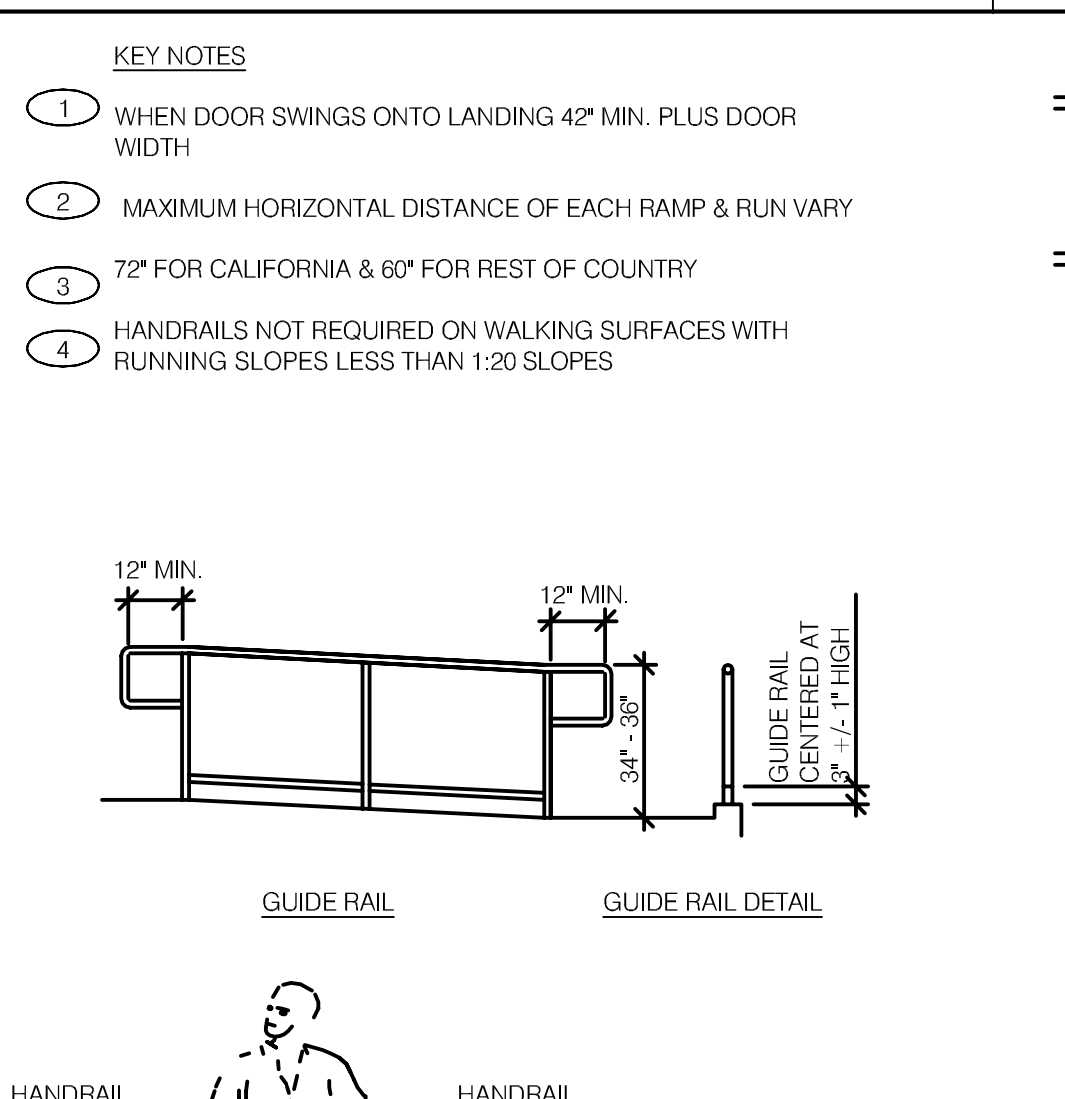
TYP. ENTRANCE / EXIT DOOR 12" = 1'-0" **9**

EXTERIOR DOOR REQUIREMENT 12" = 1'-0" **6**



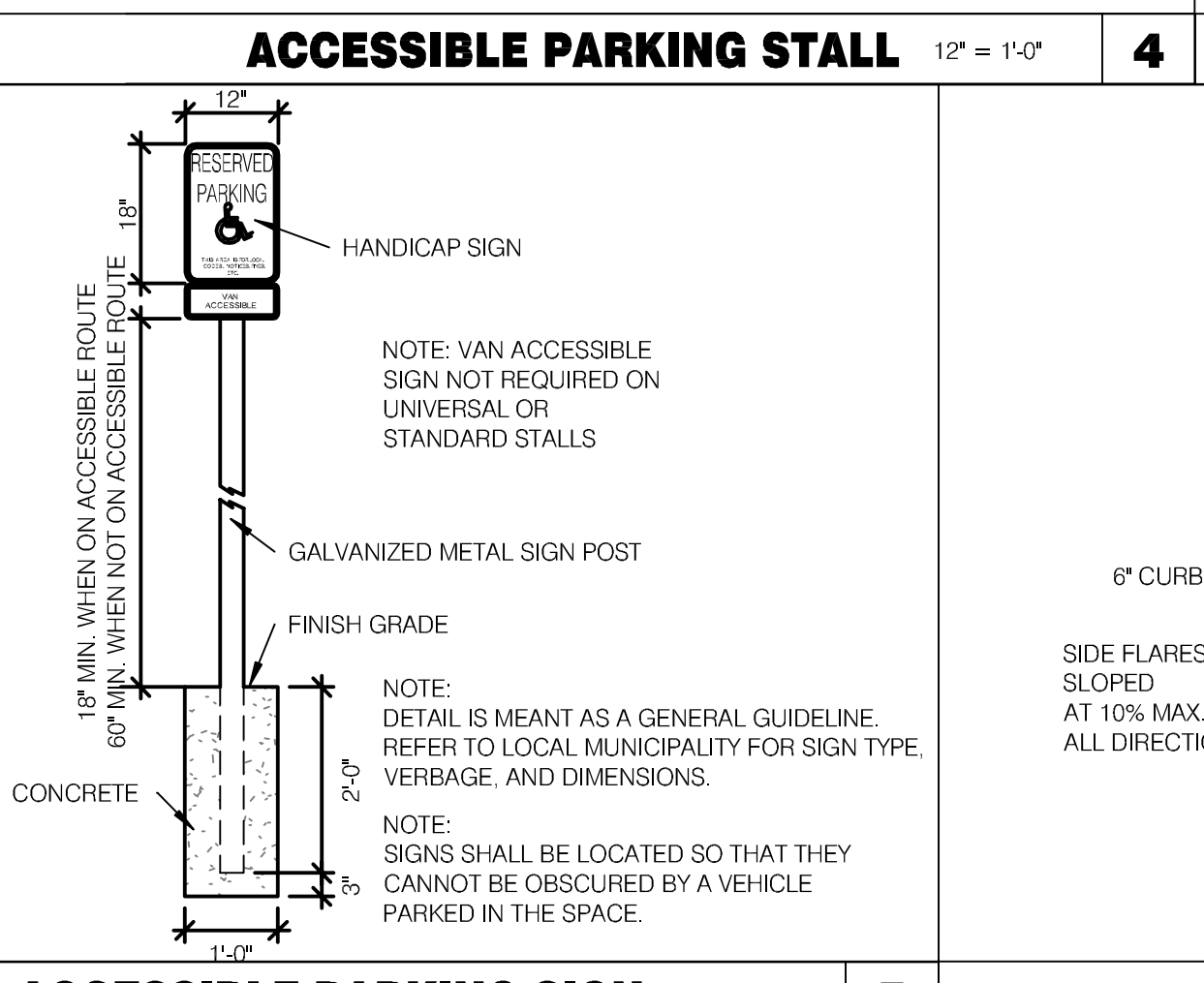
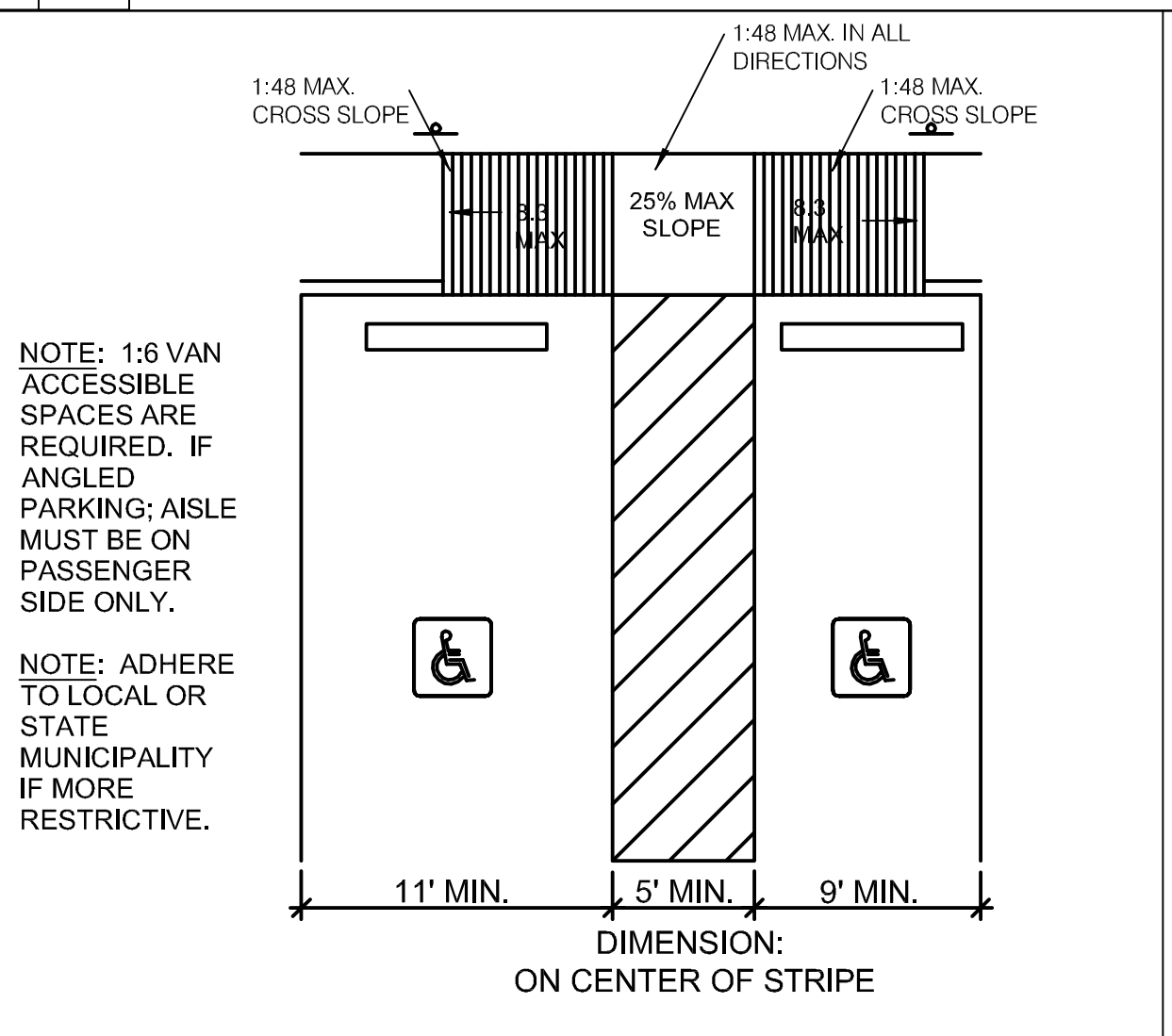
TRUNCATED DOMES 12" = 1'-0" **10**

BOTTOM RAIL (EXTERIOR DOOR) 3" = 1'-0" **7**

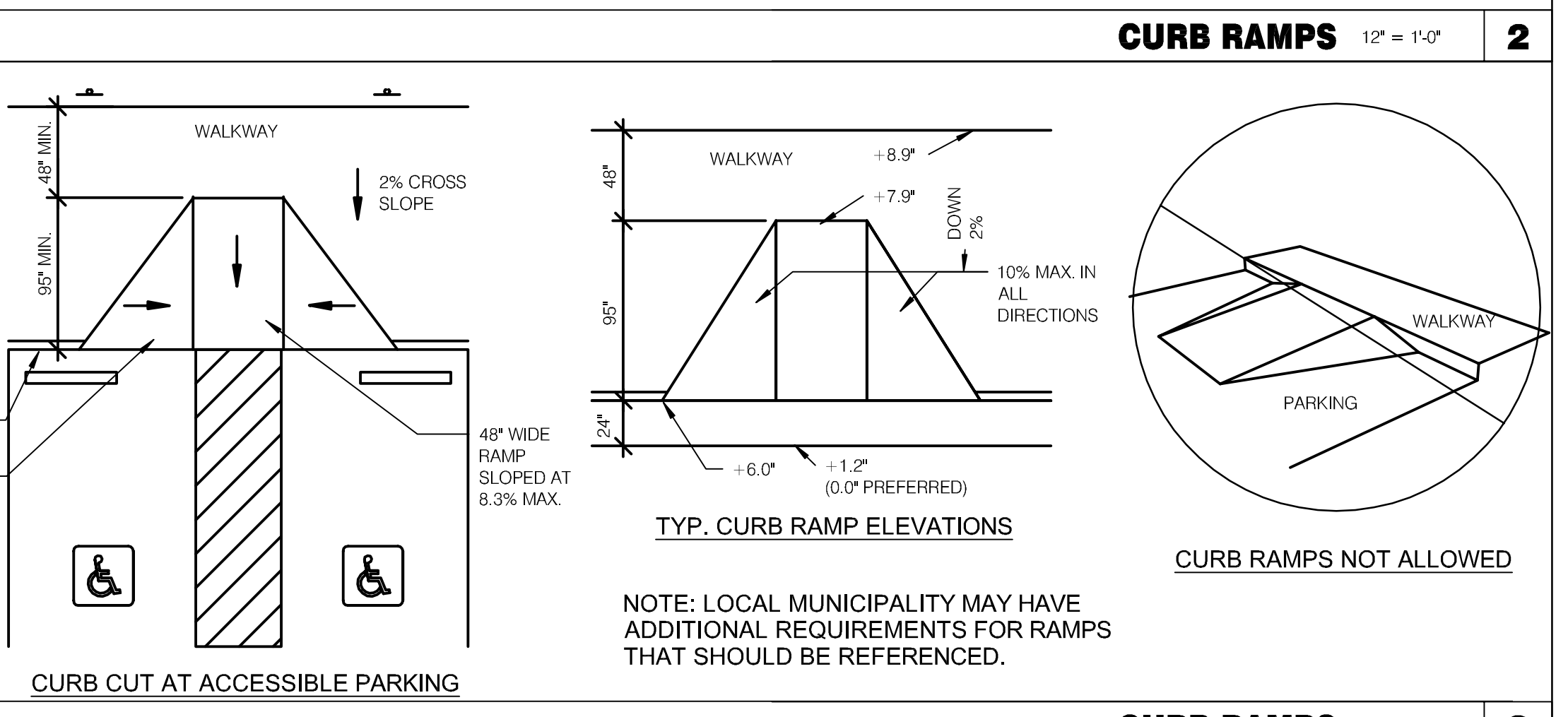
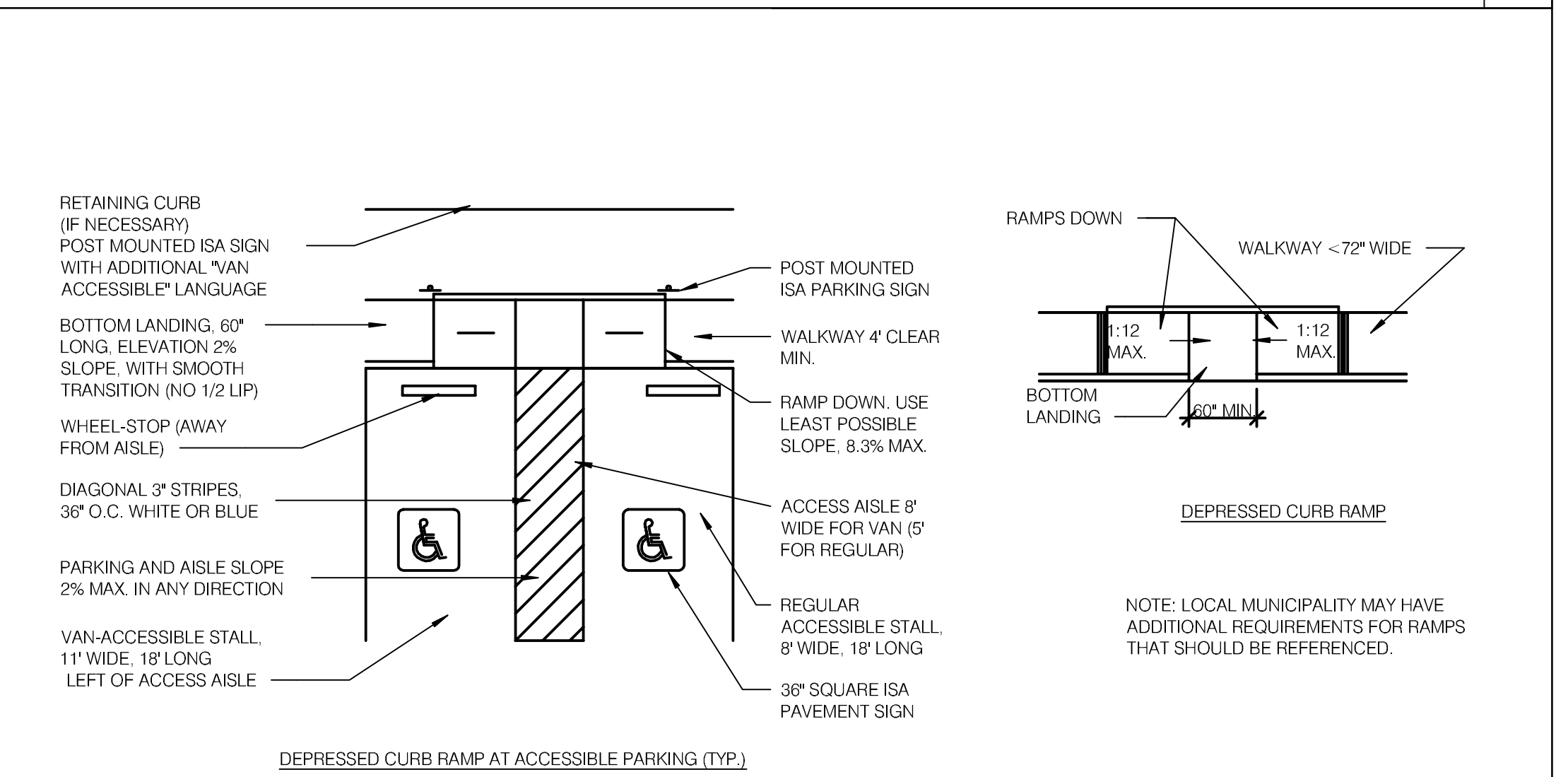


RAMPS N.T.S. **8**

ACCESSIBLE PARKING SIGN 12" = 1'-0" **5**

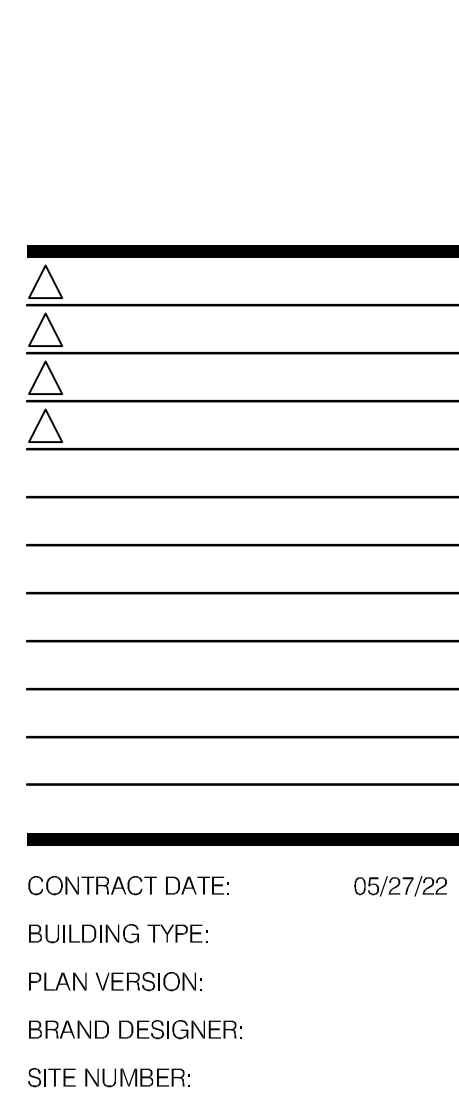


ACCESSIBLE PARKING SIGN 12" = 1'-0" **5**



CURB RAMPS 12" = 1'-0" **2**

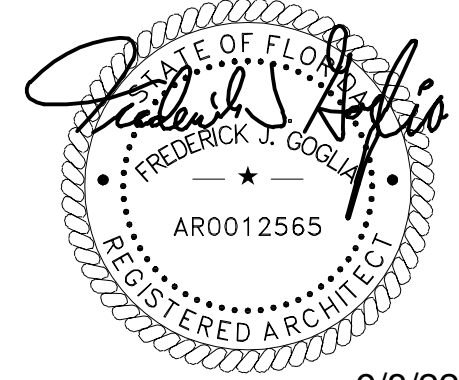
CURB RAMPS 3" = 1'-0" **3**



CURB RAMPS 12" = 1'-0" **2**

CURB RAMPS 3" = 1'-0" **3**

FREDERICK J. GOGLIA
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 1950 CRAIG ROAD, SUITE 300
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9/8/22

CONTRACT DATE: 05/27/22
 BUILDING TYPE:
 PLAN VERSION:
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:
 ARCVISION: 220054

FLUENT
 500 EAST CHASE STREET
 PENSACOLA, FL 32501

FLUENT
 CANNABIS CARE

ACCESSIBILITY REQUIREMENTS

ADA1.1

HEATING, VENTILATING AND AIR CONDITIONING GENERAL

- A. THE WORK COVERED BY THIS SECTION OF THESE SPECIFICATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE RESPECTIVE DRAWINGS, INFORMATION OR INSTRUCTIONS TO BIDDERS. GENERAL CONDITIONS, ADDENDA, OR DIRECTIVES WHICH MAY BE ISSUED BY THE OWNER, SHALL BE COMPLIED WITH IN EVERY ASPECT.
- B. THE LISTING HEREIN OF AN ARTICLE OR MATERIAL, OPERATION OR METHOD, REQUIRES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL EACH ITEM LISTED, UNLESS SPECIFICALLY NOTED TO THE CONTRARY. THE CONTRACTOR SHALL PERFORM EACH OPERATION PRESCRIBED OR LISTED ACCORDING TO THE CONDITIONS STATED.
- C. REFERENCE IS MADE TO REQUISITES FOR BIDDERS AND CONTRACTORS UNDER OTHER SECTIONS OF THESE SPECIFICATIONS, WHICH SHALL BE CONSIDERED BINDING, UNLESS OTHERWISE NOTED UNDER THIS SECTION.

SCOPE

- A. EACH CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DETAILS, BOTH ON TENANT CONSTRUCTION DRAWINGS AND LANDLORD'S AS REFERRED TO, BEFORE SUBMITTING HIS BID AS NO ALLOWANCES WILL BE MADE BECAUSE OF CONTRACTOR'S UNFAMILIARITY WITH THESE DETAILS.
- B. ALL PERFORMANCE OF CONSTRUCTION SHALL BE AS REQUIRED BY THE PACE OF THE GENERAL CONSTRUCTION. FURNISH ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY FOR A COMPLETE AND FULLY OPERATIONAL HEATING, VENTILATING, AND AIR CONDITIONING SYSTEM EXCEPT AS SPECIFICALLY EXCLUDED BY DRAWINGS AND/OR BY TENANT'S DIRECTIONS.

INSPECTION OF SITE

- A. ALL PROPOSALS SHALL PRECLUDE THAT CONTRACTOR IS FAMILIAR WITH JOBSITE CONDITIONS AND UTILITY LOCATIONS AND THE LACK OF SPECIFIC INFORMATION ON THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY.
- B. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL EXISTING CONDITIONS AFFECTING HIS WORK. ALL PROPOSALS SHALL SPECIFY, IN WRITING, ALL SUCH CONDITIONS THAT MAY ALTER OR AFFECT THE WORK UNDER THIS CONTRACT.

PERMITS

ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR INVOLVED.

CODE REQUIREMENTS

EACH SUBCONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF A SUBCONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT A VARIANCE, HE SHALL PROMPTLY NOTIFY THE GENERAL CONTRACTOR AND THE TENANT IN WRITING. IF ANY SUBCONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO LAWS, ORDINANCES, RULES AND REGULATIONS AND WITHOUT GIVING SUCH NOTICE, THE SUBCONTRACTOR SHALL BEAR ALL COSTS ARISING THEREFROM.

MATERIALS AND WORKMANSHIP

- A. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURERS, AND UNLESS OTHERWISE SPECIFIED SHALL BE NEW, AND FREE FROM ANY AND ALL DEFECTS. LIKE MATERIALS USED SHALL BE OF THE SAME MANUFACTURE AND QUALITY UNLESS OTHERWISE SPECIFIED.
- B. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMEN AND EXECUTED IN A NEAT AND WORKMANLIKE MANNER. WORK SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION AND COMPLETION. INSTALLATION SHALL BE THOROUGHLY CLEANED OF ALL DEBRIS PRESENT AS A RESULT OF THIS CONTRACT AND SHALL BE REMOVED FROM THE PREMISES. DO NOT ABANDON.
- C. MANUFACTURERS ARE LISTED ON PLANS TO ESTABLISH A STANDARD. THE PRODUCTS OF OTHER MANUFACTURERS WILL BE ACCEPTABLE, IF IN THE OPINION OF THE TENANT, THE SUBSTITUTE MATERIAL IS OF QUALITY EQUAL TO OR BETTER THAN THE MATERIAL SPECIFIED, AND WILL SERVE WITH EQUAL EFFICIENCY AND DEPENDABILITY, FOR THE PURPOSE OF WHICH THE ITEMS SPECIFIED WERE INTENDED. ALL SUBSTITUTION REQUESTS SHALL BE SUBMITTED TO THE TENANT'S REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING.

PROTECTION OF WORK AND PROPERTY

- A. EACH SUBCONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL HIS WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM INJURY OR LOSS ARISING FROM HIS WORK. ANY SUCH DAMAGE, INJURY, OR LOSS, EXCEPT SUCH AS MAY BE DIRECTLY DUE TO CAUSES BEYOND HIS CONTROL AND NOT TO HIS FAULT OR NEGLIGENCE, SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR. HE SHALL ADEQUATELY PROTECT ADJACENT PROPERTY AS WELL.
- B. EACH SUBCONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THEIR EMPLOYEES ON THE WORK AND SHALL COMPLY WITH ALL PROVISIONS OF FEDERAL, STATE AND LOCAL BUILDING CODES AND SAFETY LAWS TO PREVENT ACCIDENTS OR INJURY TO PERSONS ON OR ADJACENT TO THE PREMISES WHERE THE WORK IS BEING PERFORMED. EACH SUBCONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED TO PROTECT HIMSELF, THE OWNER AND TENANT FOR THE DURATION OF THE WORK AGAINST PROPERTY DAMAGE AND PUBLIC LIABILITY.

CHANGES IN THE WORK

THE TENANT, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK, WITH CONTRACT SUM BEING ADJUSTED ACCORDINGLY.

COOPERATION

ALL WORK UNDER THESE SPECIFICATIONS SHALL BE ACCOMPLISHED IN CONJUNCTION WITH OTHER CONTRACTORS AND TRADES OF THIS PROJECT IN A MANNER WHICH WILL ALLOW EACH CONTRACTOR AND TRADE SUFFICIENT TIME AT THE PROPER STAGE OF CONSTRUCTION TO FULFILL HIS CONTRACTS. CONTRACTORS SHALL CONTACT OWNER FOR INSTRUCTIONS SHOULD ANY QUESTIONS ARISE BETWEEN TRADES AS TO THE INSTALLATION OF LINES, DUCTS, CONDUITS, FIXTURES, OR EQUIPMENT, OR SHOULD IT APPEAR DESIRABLE TO ANY GENERAL CONSTRUCTION WHICH WOULD AFFECT THE APPEARANCE OR STRENGTH OF THE STRUCTURE.

DRAWINGS AND SPECIFICATIONS

- A. THE DRAWINGS DIAGRAMMATICALLY INDICATE THE LOCATIONS OF THE VARIOUS LINES, DUCTS, CONDUITS, FIXTURES, AND EQUIPMENT AND THE METHOD OF CONNECTING AND CONTROLLING THEM. IT IS NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL AND ALL FITTINGS REQUIRED FOR A COMPLETE SYSTEM.
- B. SHOULD ANY CHANGES BE DEEMED NECESSARY BY THE CONTRACTOR, TO ANY ITEMS SHOWN ON CONTRACT DRAWINGS, SHOP DRAWINGS, DESCRIPTIONS, AND THE REASON FOR THE PROPOSED CHANGES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL.

DRAWINGS AND SPECIFICATIONS (CONTINUED)

- C. SHOP DRAWINGS AND CATALOG DATA ON ALL MAJOR ITEMS OF EQUIPMENT AND SYSTEMS, AND OTHER SUCH ILLUSTRATIVE MATERIAL THAT MAY BE CONSIDERED NECESSARY BY THE TENANT, SHALL BE SUBMITTED BY THIS CONTRACTOR IN ADEQUATE TIME TO PREVENT DELAY AND/OR CONSTRUCTION MODIFICATIONS.

RESPONSIBILITY

- A. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SATISFACTORY AND COMPLETE EXECUTION OF ALL WORK INCLUDED IN HIS CONTRACT. HE SHALL PRODUCE COMPLETE AND FULLY OPERATIONAL SYSTEMS AND PROVIDE ALL INCIDENTAL ITEMS REQUIRED AS PART OF HIS WORK, REGARDLESS OF WHETHER SUCH ITEM IS PARTICULARLY SPECIFIED OR INDICATED. FOR EXAMPLE, ON SINK INSTALLATIONS, ESCUTCHEONS SHALL BE PROVIDED FOR COUNTERTOP PENETRATIONS, ALTHOUGH THEY WERE NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
- B. CONTRACTOR SHALL SUPPLY TO LANDLORD AND TENANT A CERTIFIED AIR BALANCE REPORT AT COMPLETION OF PROJECT. THIS SHALL BE REQUIRED FOR BOTH REMODELED AND NEW STORES.

DUCTWORK

- A. JOINTS SHALL BE SWAGGED WITH ONE-HALF INCH (1/2") OVERLAP.
- B. ALL NEW CONCEALED SUPPLY AIR DUCTS, CONCEALED RETURN AIR DUCTS AND ALL OUTSIDE AIR DUCTS SHALL BE INSULATED WITH 2.5" (R=6.0) THICK (MINIMUM) EXTERNAL ACOUSTICAL AND THERMAL INSULATION WHEN LOCATED IN UNCONDITIONED SPACE.
- C. FLEXIBLE AIR DUCT FOR CONNECTIONS BETWEEN MAIN DUCTS AND AIR DEVICES SHALL BE AIR DUCT LISTED BY UNDERWRITERS LABORATORIES UNDER UL STANDARD 181 AS A CLASS 1 FLEXIBLE AIR DUCT AND COMPLY WITH NFPA STANDARDS 90A AND 90B. FLEXDUCT SHALL BE FACTORY MADE AND COMPOSED OF A CPE LINER DUCT PERMANENTLY BOUNDED TO A COATED SPRING STEEL WIRE HELIX SUPPORTING A FIBER GLASS INSULATING BLANKET R-6.0. A LOW PERMEABILITY OUTER VAPOR BARRIER OF FIBER GLASS REINFORCED FILM LAMINATE SHALL COMPLETE THE COMPOSITION.
- D. ALL DUCTWORK SHALL BE DESIGNED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THE LATEST EDITION OF THE AMERICAN SOCIETY OF HEATING REFRIGERATION AND AIR CONDITIONING ENGINEERS GUIDE (ASHRAE), FABRICATED AND INSTALLED IN ACCORDANCE WITH THE METHODS RECOMMENDED IN THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE.

HANGERS AND SUPPORTS

- A. HANGER DESIGN SHALL BE AS DESCRIBED IN THE LATEST EDITION OF THE "SMACNA" MANUAL. REINFORCEMENT MEMBERS MAY BE USED TO SUPPORT DUCT SYSTEM PROVIDED DETAILS OUTLINED IN THE "SMACNA" MANUAL ARE ADHERED TO.
- B. DUCTS SHALL BE SUPPORTED AT ALL TURNS AND TRANSITIONS AND NOT MORE THAN 8'-0" O.C. STRAIGHT DUCTS UP TO 59" MAX. DIMENSIONS SHALL BE SUPPORTED 6'-0" O.C.
- C. ALL HORIZONTAL DUCTS HAVING A DIMENSION OF 40 INCHES AND LESS SHALL BE SUPPORTED BY MEANS OF BAND IRON HANGERS OF NO. 18 U.S. GAUGE ATTACHED TO DUCT BY MEANS OF RIVETS, SCREWS OR CLAMPS, AND FASTENED TO STRUCTURE ABOVE BY TOGGLE BOLTS OR OTHER MEANS. EACH SECTION OF DUCTWORK SHALL HAVE AT LEAST ONE PAIR OF SUPPORTS.
- D. ALL DUCTS SHALL BE REINFORCED ACCORDING TO THE LATEST EDITION OF "SMACNA" MANUAL. MATERIALS FOR REINFORCEMENT MEMBERS SHALL BE GALVANIZED STEEL. ALL SCREWS AND WASHERS SHALL BE PLATED OR GALVANIZED.

DAMPERS

- A. VOLUME DAMPERS SHALL BE OF THE OPPOSED INTERLOCKING TYPE AS MANUFACTURED BY AMERICAN FOUNDRY AND FURNACES CO. (AFFCO) OR EQUAL. BLADES SHALL BE OF NO. 16 GAUGE SHEET METAL AND SHALL NOT EXCEED 48" IN LENGTH OR 12" IN WIDTH. BLADES SHALL BE ON ONE-HALF INCH (1/2") DIAMETER RUSTPROOF AXLE. BEARINGS TO BE OF THE SELF-LUBRICATING FERRULE TYPE.

TESTING AND ADJUSTING

CONTRACTOR SHALL EMPLOY AN INDEPENDENT, CERTIFIED TEST AND BALANCE CONTRACTOR TO DEMONSTRATE OPERATION OF SYSTEM TO FULL SATISFACTION OF TENANT, SHALL BALANCE AIR FLOW AND TEMPERATURES IN ACCORDANCE WITH AIR QUANTITIES ON DRAWINGS AND SHALL RECORD VOLUME READINGS IN ACCORDANCE WITH ASHRAE AND PROVIDE SAME TO TENANT AND LANDLORD'S REPRESENTATIVE.

OPERATION AND MAINTENANCE DOCUMENTATION MUST BE PROVIDED TO THE OWNER THAT INCLUDES AT LEAST THE FOLLOWING INFORMATION:

- A. EQUIPMENT CAPACITY (INPUT AND OUTPUT) AND REQUIRED MAINTENANCE ACTIONS.
- B. HVAC SYSTEM CONTROL MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, AND CONTROL SEQUENCE DESCRIPTIONS; DESIRED OR FIELD-DETERMINED SET POINTS MUST BE PERMANENTLY RECORDED ON CONTROL DRAWINGS, AT CONTROL DEVICES, OR, FOR DIGITAL CONTROL SYSTEMS, IN PROGRAMMING COMMENTS.
- C. COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.
- D. EWB/EDB AND LWB/LDB FOR THE COOLING/HEATING COIL.

GUARANTEE

ALL MATERIALS, EQUIPMENT, AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF ACCEPTANCE. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIONAL AND ACCEPTANCE BY TENANT SHALL BE A CONDITION OF THIS CONTRACT. ALL WORK FOUND TO BE DEFECTIVE SHALL BE REPAIRED OR REPLACED BY THIS SUBCONTRACTOR WITHOUT ADDITIONAL COST TO THE TENANT.

EQUIPMENT

- A. EXHAUST FANS TOILET EXHAUST - REFER TO M1.0 SHEET FOR ADDITIONAL INFORMATION.
- B. ALL HVAC UNITS SHALL BE EQUIPPED HONEYWELL #TB8220U" VISION PRO", 7-DAY PROGRAMMABLE THERMOSTAT. T-STAT SHALL HAVE 2 HEAT/2 COOL CYCLE, AUTO CHANGE OVER, AND HEAT PUMP COMPATIBLE. THERMOSTAT SHALL BE PROVIDED WITH REMOTE WALL MOUNTED TEMPERATURE SENSOR MODEL #C7189U. DESIGN AND STANDARD CONDITIONS FOR THERMOSTAT OPERATION SHALL BE AS FOLLOWS:

COOLING:
75°F MAXIMUM OCCUPIED COOLING TEMPERATURE
85°F COOLING NIGHT SETBACK.

B. THERMOSTATS (CONTINUED)

HEATING:
70°F MAXIMUM OCCUPIED HEATING TEMPERATURE
60°F HEATING NIGHT SETBACK.

FAN: CONTINUOUS IN OCCUPIED AND RECOVERY MODE AND WITH HEATING OR COOLING EQUIPMENT IN UNOCCUPIED MODE.

DEADBAND: CAPABLE OF MAINTAINING A 2°F DEADBAND.

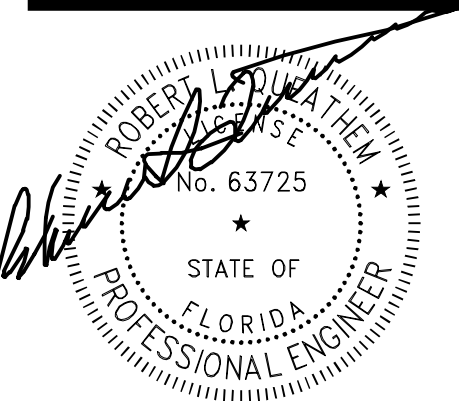
BACKUP: CAPABLE OF MAINTAINING PROGRAMMED SETTING FOR AT LEAST 24 HOURS WITHOUT POWER.

CONTACT THE LOCAL HONEYWELL DISTRIBUTOR FOR ORDERING.

- C. FILTERS - FILTERS SHALL BE OF THE THROW AWAY TYPE WHEREVER POSSIBLE. IF FILTERS ARE BY NECESSITY THE PERMANENT TYPE, THEY MUST BE OF THE CLEANABLE, HIGH VELOCITY TYPE AND SHALL BE AMERICAN AIR FILTERS, AIR MAYS, EVANS, OR APPROVED EQUAL. FILTERS SHALL BE OF THE OPTIMUM THICKNESS (2") AND DESIGN FACE VELOCITY SHALL NOT EXCEED 550 FPM. INSTALLATION OF THE AIR CONDITIONING UNIT SHALL NOT IMPEDE OR CONFLICT WITH ACCESS TO FILTERS. IF THE FILTERS ARE IN FRAME HOLDERS, HOLDERS SHALL BE PROVIDED WITH A LIFT HANDLE.
- D. THE HVAC SUBCONTRACTOR SHALL IDENTIFY ALL ROOF MOUNTED HVAC EQUIPMENT AND RELATED ACCESSORIES WITH 2" HIGH PAINTED STENCILLED LETTERS OF THE STORE NAME ON ALL SIDES OF EQUIPMENT.

NOTE FOR GENERAL CONTRACTOR:
IT IS THE RESPONSIBILITY OF THE TENANT'S GENERAL CONTRACTOR TO MAKE USE OF APPLICABLE NOTES AND SPECIFICATIONS LISTED ON THIS SHEET AS THEY MAY PERTAIN TO THE SPECIFIC JOB.

ROBERT L. QUEATHEN
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1850 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146
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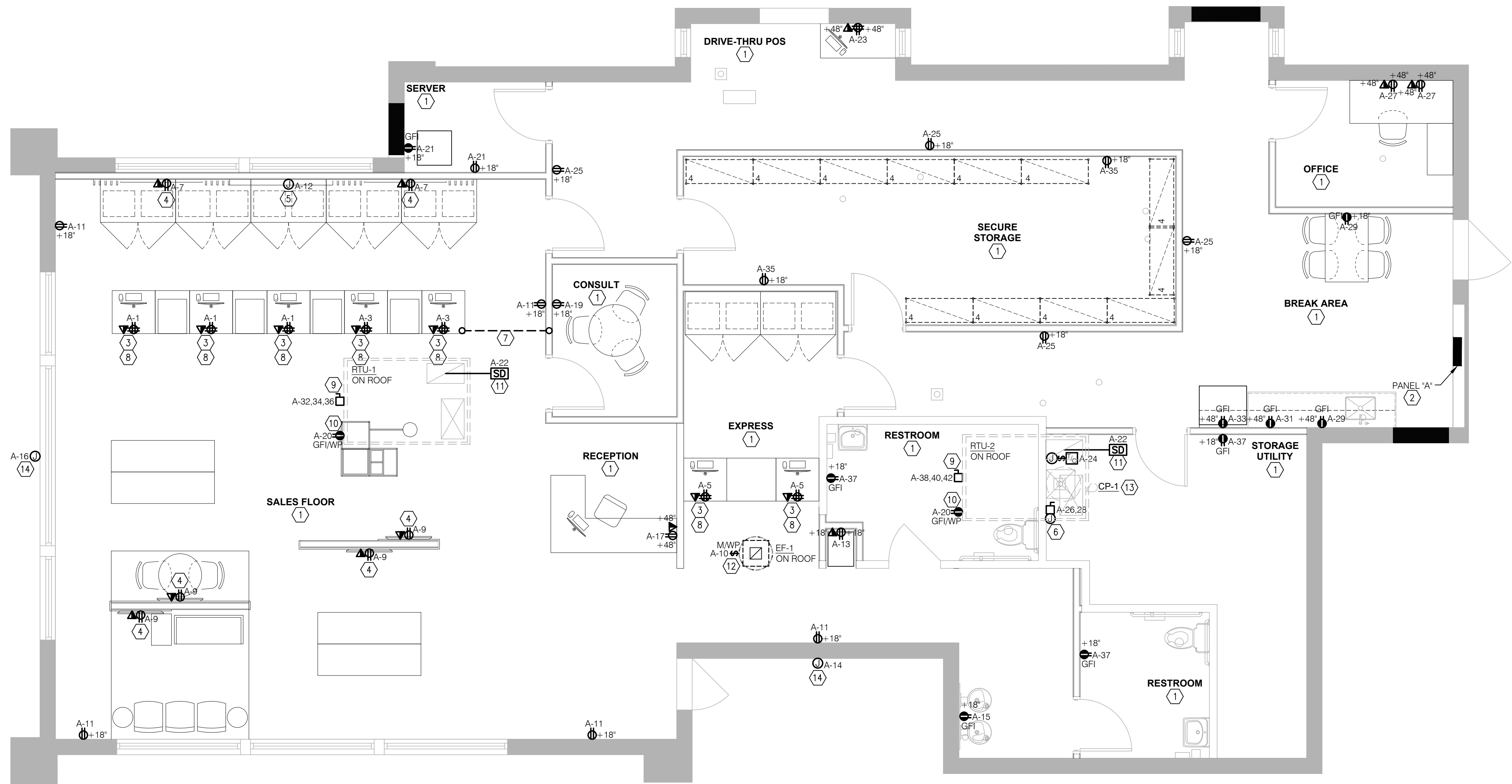
CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

FLUENT
CANNABIS CARE

MECHANICAL SPECIFICATIONS

M3.0



POWER PLAN 1/4" = 1'-0" **A**

- A. CONTRACTOR SHALL COORDINATE QUANTITY AND FINAL LOCATION OF ALL TVS WITH OWNER PRIOR TO CONSTRUCTION.
- B. PROVIDE WORKING CLEARANCE AT ALL ELECTRICAL PANELS PER NEC.
- C. COORDINATE WITH LOW-VOLTAGE VENDOR FOR EXACT LOCATIONS AND REQUIREMENTS REGARDING ALL POS, SECURITY, IT, AND OTHER LOW VOLTAGE ITEMS.
- D. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND HEIGHTS OF ALL FIXTURES.
- E. OUTLETS FOR WORKSTATIONS AND POS STATIONS SHOULD BE MOUNTED JUST UNDER THE MONITOR SHELVES OR UNDER THE TABLES AND PHONE COUNTER.
- F. ALL CONDUITS SHALL BE CONCEALED IN WALLS OR ABOVE CEILINGS. WHERE CONDUIT CAN'T BE CONCEALED IT MUST BE PAINTED TO MATCH WALL COLORS.
- G. SEE SYMBOLS LEGEND FOR ADDITIONAL INFORMATION.
- H. WHEN REUSING EXISTING PANELS, E.C. SHALL VERIFY THE CONDITION AND QUANTITY OF ALL EXISTING CIRCUIT BREAKERS. REPLACE DAMAGED BREAKERS WITH NEW. PROVIDE ANY ADDITIONAL OR BREAKERS OF DIFFERENT AMPERAGE OR POLE AS REQUIRED TO MEET THE END RESULT INDICATED IN THE PANEL SCHEDULE. NEW BREAKERS SHALL BE OF THE SAME MFG AND CHARACTERISTICS OF THE EXISTING. THE SUBMISSION OF THE BID PROPOSALS SHALL BE CONSIDERED EVIDENCE THAT THE CONTRACTORS HAVE VISITED THE SITE. NO EXTRA PAYMENTS WILL BE ALLOWED TO THESE CONTRACTORS ON ACCOUNT OF EXTRA WORK MADE NECESSARY BY HIS FAILURE TO VISIT THE SITE.
- I. CONTRACTOR SHALL TRACE OUT ALL EXISTING CIRCUITRY AND DETERMINE IF IS NEEDED. IF CIRCUIT IS NOT NEEDED CONTRACTOR SHALL REMOVE ALL WIRING AND DEVICES TO NEAREST JUNCTION BOX, CAP AND LABEL WIRING AND COVER EXISTING BOX WITH A BLANK PLATE.
- J. EXISTING CIRCUITRY SHALL BE VERIFIED IN FIELD PRIOR TO START OF WORK.

- 1. EC TO VERIFY EXISTING EQUIPMENT TO REMAIN. PROTECT EQUIPMENT DURING CONSTRUCTION.
- 2. PROVIDE REQUIRED WORKING SPACE/CLEARANCE FOR ELECTRICAL PANEL PER N.E.C. CONTRACTOR TO CLEARLY IDENTIFY/INDICATE NOT LESS THAN 30"Wx36"D CLEARANCE AREA/ WORKING SPACE (PER IFC 605.3). IF EQUIPMENT IS LARGER THAN 30" WIDE, WORKING SPACE/CLEARANCE SHALL NOT BE LESS THAN EQUIPMENT WIDTH.
- 3. POS RECEPTACLE AND DATA RAN IN CASEWORK; CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER FOR EXACT LOCATION, HEIGHT, AND REQUIREMENTS PRIOR TO ROUGH IN.
- 4. RECEPTACLE AND DATA FOR VIDEO SCREEN/DIGITAL MENU BOARD. CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND OWNER FOR EXACT LOCATION, HEIGHT, AND REQUIREMENTS PRIOR TO ROUGH IN.
- 5. JUNCTION BOX FOR TERMINATION TO FLUENT CANNABIS SIGN. FIELD VERIFY THE EXACT MOUNTING LOCATION AND CONNECTION REQUIRED, PRIOR TO ROUGH-IN. PROVIDE SIGN DISCONNECT SWITCH, IF REQUIRED. INSTALL PER N.E.C. ARTICLE 600 SIGNS.
- 6. WATER HEATER. COORDINATE CONNECTION TYPE WITH EQUIPMENT ORDERED. MOUNT JUNCTION BOX ADJACENT TO UNIT AND PER N.E.C. REQUIREMENTS.
- 7. PROVIDE AN UNDER-FLOOR TRENCH BETWEEN LOW-WALL AND BACK OF HOUSE WALL, AS SHOWN. COORDINATE WITH OTHER DISCIPLINES WORK AS NEEDED TO NOT DISTURB OTHERS WORK; CONTRACTOR TO FIELD-VERIFY THE EXACT NUMBER OF CONDUITS REQUIRED FOR P.O.S. POWER/COMMUNICATIONS. INSTALL BELOW-GRADE PER BURIAL REQUIREMENTS IN THE N.E.C. AND SEALED PER THE U.L. LISTING FOR THE ENVIRONMENT ENCOUNTERED.
- 8. PROVIDE A 3/4" CONDUIT FOR POWER AND A 3/4" CONDUIT FOR COMMUNICATION TO COUNTER. PROVIDE TRANSITION AND STUB-UP INTO COUNTER MILLWORK. EXTEND AND SECURE WIREWAY(S) ALONG THE BACK OF CABINET. MAKE FINAL CONNECTIONS TO OUTLETS AT JUNCTION BOXES. COORDINATE WITH MILLWORK CONTRACTOR FOR "STUB-THRU" LOCATIONS.
- 9. NEW ROOFTOP UNIT (RTU-1). EC TO PROVIDE 60A, 208V, 3P, NON-FUSED, NEMA-3R DISCONNECT SWITCH. SEE PANEL SCHEDULE ON SHEET E3.0 FOR WIRE SIZES. COORDINATE ALL REQUIREMENTS WITH HVAC CONTRACTOR PRIOR TO BID.
- 10. EC TO PROVIDE GFI NEMA-3R DUPLEX RECEPTACLE MOUNTED AT MANUFACTURER'S PROVIDED AREA ON HVAC EQUIPMENT.
- 11. PROVIDE CONNECTION FROM AIR DUCT SMOKE DETECTORS TO MECHANICAL CONTROL CIRCUIT. COORDINATE ALL REQUIREMENTS WITH HVAC CONTRACTOR PRIOR TO BID.
- 12. PROVIDE 20A, 120V, NEMA-3R TOGGLE SWITCH DISCONNECT FOR EF-1. COORDINATE LOCATION WITH MANUFACTURER. CIRCUIT THROUGH TIMECLOCK FOR OPERATION ONLY DURING OCCUPIED HOURS.
- 13. PROVIDE A TIMECLOCK FOR CIRCULATING PUMP CONTROL AND TOGGLE SWITCH DISCONNECT. TIMECLOCK SHALL BE WIRED AHEAD OF DISCONNECT. MOUNT ON WALL ADJACENT TO WATER HEATERS. COORDINATE WITH PLUMBING.
- 14. PROVIDE JUNCTION BOX FOR NED LED BUILDING SIGN. VERIFY FINAL CONNECTION POINT WITH SIGN VENDOR/INSTALLER. INSTALL AS DIRECTED. SEE ARCHITECTURAL EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. COORDINATE JUNCTION BOX LOCATION SO IT REMAINS CONCEALED BEHIND FIXTURE. (NOTE: IN LOCATIONS WHERE THE NEW BUILDING SIGNAGE IS REPLACING EXISTING SIGNAGE, CONTRACTOR SHALL RELOCATE/REPLACE SIGN JUNCTION BOX(ES) AS NEEDED AND PROVIDE CONDUIT AND WIRING TO EXTEND CIRCUIT TO NEW SIGN LOCATION. SIGN CIRCUIT(S) SHALL BE CONTROLLED VIA EXTERIOR SIGN CONTROL SYSTEM. IF NO ROOM EXISTS ON SIGN CONTROL SYSTEM, PROVIDE NEW CONTACTOR(S) & "TIE-INTO" EXISTING SYSTEM. REFER TO THE LATEST N.E.C. ARTICLE 600 FOR ADDITIONAL SIGN REQUIREMENTS ON-SITE. PATCH AND REPAIR PREVIOUS LOCATION(S) OF REMOVED ELECTRICAL WORK.

POWER PLAN GENERAL NOTES **B**

POWER PLAN KEYED NOTES **C**

NOT USED	D
NOT USED	E

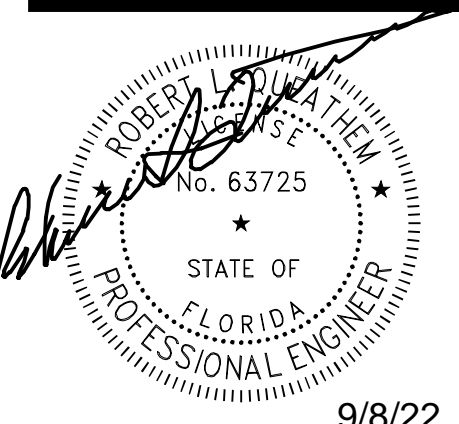
FIRE ALARM: IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO ENGAGE THE SERVICES OF AN APPROVED FIRE ALARM CONTRACTOR. THE FIRE ALARM CONTRACTOR SHALL BE REQUIRED TO PROVIDE DRAWINGS, SPECIFICATIONS & INSTALLATION ACCORDING TO MUNICIPALITIES GUIDELINES. FIRE ALARM SERVICE MAY ALSO INCLUDE PROVIDING FIRE ALARM MONITORING TO BUILDING'S INSTALLED FIRE ALARM CONTROL SYSTEM. FIRE ALARM CONTRACTOR TO PROVIDE COMPATIBLE DEVICES & ALL BRACING, WIRING, ETC. COORDINATE WITH LANDLORD'S FIRE ALARM CONTRACTOR FOR DETAILS.

EQUIPMENT: THE EQUIPMENT AND DIMENSIONED LOCATIONS FOR CONNECTIONS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE, BUT SHALL BE VERIFIED WITH THE EQUIPMENT SUPPLIER, EQUIPMENT ROUGH-IN DRAWINGS, AND/OR THE OWNER. IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY MAKE SUBSTITUTIONS OR THE EQUIPMENT MAY VARY FROM WHAT IS SHOWN ON THE PLAN. THE ARCHITECT/ENGINEER SHALL BE IMMEDIATELY NOTIFIED, PRIOR TO CONSTRUCTION, OF ANY DEVIATIONS FROM WHAT IS SHOWN OR IMPLIED ON THESE DRAWINGS. FAILURE OF THE APPROPRIATE CONTRACTOR TO VERIFY ROUGH-INS OR THEIR LOCATIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION AND/OR ADDITIONAL ROUGH-INS DIRECTLY UPON THE CONTRACTOR.

FLORIDA BUILDING CODE REQUIREMENT - ENERGY CONSERVATION: WITHIN 30-DAYS AFTER DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING: 1. A SINGLE-LINE DIAGRAM OF BUILDING ELECTRICAL SYSTEM AND 2. FLOOR PLAN INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION. AN OPERATIONS MANUAL AND MAINTENANCE MANUAL BE PROVIDED TO THE BUILDING OWNER. THE MANUALS SHALL INCLUDE AT MINIMUM, THE FOLLOWING: 3. SUBMITTAL DATA STATING THE EQUIPMENT RATINGS AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. 4. OPERATIONS MANUAL AND MAINTENANCE MANUAL FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED. 5. NAMES AND ADDRESS OF AT LEAST ONE QUALIFIED SERVICE AGENCY. PRIOR TO PASSING FINAL INSPECTION, THE REGISTERED DESIGN PROFESSIONAL/INSTALLER SHALL PROVIDE EVIDENCE THAT THE LIGHTING CONTROL SYSTEM HAVE BEEN TESTED TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURES INSTRUCTIONS. FUNCTIONAL TESTING SHALL BE IN ACCORDANCE WITH SECTIONS C408.3.1.1 & C408.3.1.3 FOR APPLICABLE CONTROL TYPE.

ADDITIONAL NOTES **F**

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9/8/22

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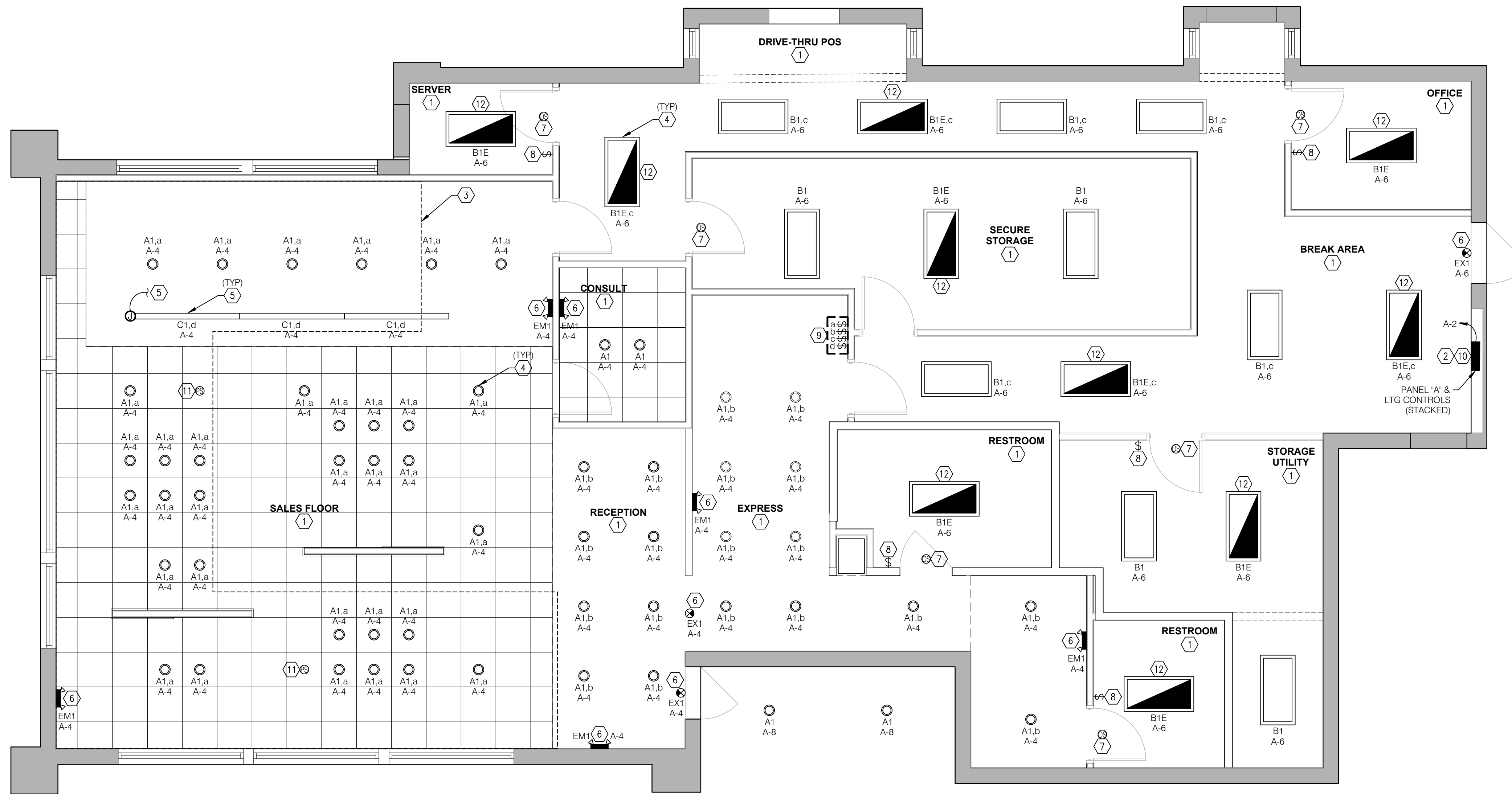
CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

FLUENT
CANNABIS CARE

ELECTRICAL POWER PLAN

E1.0



LIGHTING PLAN 1/4" = 1'-0" **A**

- A. EMERGENCY LIGHTS/EXIT SIGNS SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR OF CIRCUIT INDICATED.
- B. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL FIXTURES.
- C. REFER TO LIGHTING FIXTURE SCHEDULE.
- D. SEE SYMBOLS LEGEND FOR ADDITIONAL INFORMATION.
- E. CONTRACTOR SHALL UTILIZE EXISTING LIGHTING CIRCUITRY FOR RELOCATED LIGHTING FIXTURES. CONTRACTOR SHALL VERIFY CIRCUIT LOAD PRIOR TO START OF WORK AND WORK TO NOT OVERLOAD CIRCUITRY.

1. E.C. TO VERIFY EXISTING CEILING MOUNTED DEVICES (SPEAKERS, REMOTE TEST SWITCH, SMOKE DETECTORS, OCCUPANCY SENSORS, ETC.) FOR REUSE, REMOVE (AS NEEDED), PROTECT AND CLEAN (SAND AND REFINISH AS NEEDED), PROVIDE ADDITIONAL BRACING, AS NEEDED FOR RELOCATION OF DEVICES. EXTEND CIRCUITING, JUNCTION BOX, ETC. TO NEW LOCATIONS (INDICATED ON SHEETS OR PER ON-SITE FLUENT CANNABIS REPRESENTATIVE), NEW DEVICE MOUNTING BASE SHALL BE FLUSH WITH BOTTOM OF CEILING.
2. PROVIDE REQUIRED WORKING SPACE/CLEARANCE FOR ELECTRICAL PANEL PER N.E.C. CONTRACTOR TO CLEARLY IDENTIFY/INDICATE NOT LESS THAN 30"Wx36"D CLEARANCE AREA WORKING SPACE (PER IFC 605.3). IF EQUIPMENT IS LARGER THAN 30" WIDE, WORKING SPACE/CLEARANCE SHALL NOT BE LESS THAN EQUIPMENT WIDTH.
3. DAYLIT ZONE SHOWN FOR REFERENCE PER ENERGY CODE C103.2.
4. NEW LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR TO PROVIDE LED FIXTURE WITH WHITE FINISH. VERIFY SPECIFICATION WITH OWNER PRIOR TO INSTALLATION.
5. NEW LED LINEAR PENDANT. SEE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION. VERIFY SPECIFICATION WITH OWNER PRIOR TO INSTALLATION. PROVIDE JUNCTION BOX FOR CONNECTION FROM FIXTURE TO REMOTE DRIVER. PROVIDE ADDITIONAL STRUCTURAL BRACING, INDEPENDENT FROM DROP CEILING AS NEEDED.
6. CONTRACTOR TO PROVIDE AND INSTALL NEW EMERGENCY EGRESS LIGHTING FIXTURE. SEE LIGHTING SCHEDULE FOR ADDITIONAL INFORMATION. PROVIDE A SEPARATE HOT LEAD FROM LOCAL AREA LIGHTING CIRCUIT TO EM CONTROL IN FIXTURE, BY-PASSING ALL SWITCHING AND LIGHTING CONTROL. CONTRACTOR TO PROVIDE BREAKER IDENTIFICATION OF EMERGENCY SYSTEM(S) ON THAT CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE AND GENERAL NOTES, THIS SHEET. (NOTE: CONTRACTOR TO PROVIDE ADDITIONAL CODE COMPLIANT EMERGENCY EGRESS LIGHTING FIXTURES IF REQUIRED BY THE A.H.J.)
7. NEW FLUSH, CEILING MOUNTED DUAL-TECHNOLOGY OCCUPANCY SENSOR. SET TIME AND LOADS PER OWNERS RECOMMENDATION. MANUFACTURER: WATTSTOPPER CX-100 OR CI-100.
8. LOCAL LIGHTING CONTROL SWITCH SHALL BE MOUNTED AT 48" AFF. ONLY AS REQUIRED BY ENERGY CODE.

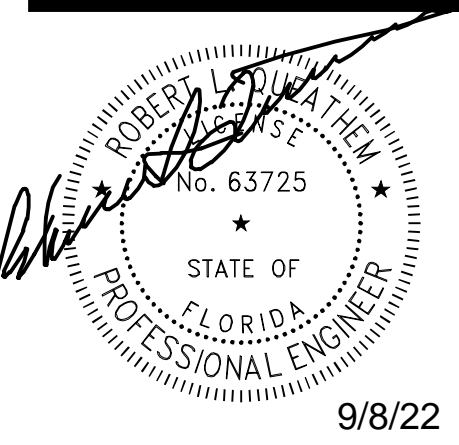
9. PROPOSED MAIN SWITCH BANK LOCATION FOR NEW LIGHTING CONTROL (COORDINATE EXACT SWITCH BANK LOCATION WITH OWNER IN FIELD). CONTRACTOR TO PROVIDE SWITCH INDICATION AND LABEL FOR THEIR INTENDED USE. SEE DETAIL B, SHEET E4.0, FOR ADDITIONAL INFORMATION. (NOTE: CONTRACTOR TO FIELD VERIFY EACH THE LIGHTING AREA BEING CONTROLLED BY SWITCH LOCATED WITHIN SWITCH BANK, IS WITHIN THE LINE OF SIGHT (VISIBLE) FROM THE CONTROLLING DEVICE LOCATION (SWITCH BANK). ANY SWITCH CONTROLLING LIGHTING IN AREAS, NOT WITHIN THE LINE OF SIGHT, FROM THE CONTROLLING DEVICE LOCATION (SWITCH BANK), SHALL BE PROVIDED WITH A SWITCH WITH AN ANNUNCIATOR DEVICE (I.E. SWITCH WITH PILOT LIGHT), SO WHEN THE AREA BEING CONTROLLED IS LIT, THE CONTROLLING DEVICE IS ANNUNCIATED.
10. TIMECLOCK AND LIGHTING CONTROLS. SEE DETAIL A, SHEET E4.0, FOR ADDITIONAL INFORMATION. PROVIDE A 120-VOLT, 20-AMP DEDICATED BRANCH CIRCUIT FROM A 1-POLE SPACE IN EXISTING PANEL FOR POWER SUPPLY. WALL MOUNT DEVICES (IN CLEAR AREA) ADJACENT TO LIGHTING PANEL, NO HIGHER THAN 6'-0" A.F.F.. ROUTE ALL THROUGH NEW LIGHTING CONTROL.
11. AUTOMATIC DAYLIGHTING CONTROL TO BE MOUNTED FLUSH WITH CEILING. COORDINATE EXACT QUANTITIES AND PLACEMENT WITH MANUFACTURERS REQUIREMENTS FOR COMPLETE ZONE COVERAGE. SYMBOL SHOWN FOR REFERENCE ONLY. DO NOT WIRE WITH EMERGENCY LIGHT FIXTURES. PROVIDE CONNECTION TO CONTROL CIRCUIT AFTER TIMECLOCK AND LOCAL SWITCHING. ALL GENERAL LIGHTING WITHIN ZONES (AS SHOWN) SHALL BE CAPABLE OF CONTINUOUS DIMMING AND BE WIRED THROUGH DAYLIGHTING CONTROL SENSORS. CONTROLLER SHALL PERCEIVE INCOMING (OUTDOOR) LIGHTING AND ADJUST GENERAL LIGHTING ILLUMINANCE TO COMPENSATE FOR ADDED DAYLIGHT PER ENERGY CODE REQUIREMENTS. DAYLIGHTING/DIMMING LIGHTING CONTROL PACKAGE SHALL BE INSTALLED PER ENERGY CODE AND PER MANUFACTURER'S SPECIFICATION. COORDINATE WITH FLUENT REPRESENTATIVE FOR FINAL CONTROL DESIGN AND DEVICE APPROVAL. SEE DETAIL C, SHEET E4.0, FOR ADDITIONAL INFORMATION.
12. PROVIDE A SEPARATE HOT LEAD FROM LOCAL AREA LIGHTING CIRCUIT, TO EM CONTROL IN FIXTURE, BY-PASSING ALL SWITCHING AND LIGHTING CONTROL. CONTRACTOR TO PROVIDE BREAKER IDENTIFICATION OF EMERGENCY SYSTEM(S) ON THAT CIRCUIT. SEE LIGHTING FIXTURE SCHEDULE AND GENERAL NOTES, THIS SHEET. (NOTE: CONTRACTOR TO PROVIDE ADDITIONAL CODE COMPLIANT EMERGENCY EGRESS LIGHTING FIXTURES OF REQUIRED BY THE A.H.J.)

LIGHTING PLAN KEYED NOTES **C**

LIGHTING PLAN GENERAL NOTES **B**

NOT USED	D
NOT USED	E

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CONTRACT DATE: 05/27/22
 BUILDING TYPE:
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 SITE NUMBER:
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 ARCVISION: 220054

FLUENT
 500 EAST CHASE STREET
 PENSACOLA, FL 32501

FLUENT
 CANNABIS CARE

ELECTRICAL LIGHTING PLAN

E2.0

NOT USED **F**

PANEL		A		3 PHASE		4 WIRE		NEW INSTALL		EXIST LOCATION X		FED TOP		FED BOTTOM X		
VOLTAGE		120/208		3 PHASE		4 WIRE		EXIST LOCATION X		RELOCATED EXIST		MTD FLUSH X		SURFACE		
AMP BUS		200		3 PHASE		4 WIRE		A.I.C. RATING MATCH EXISTING		EXIST LOCATION X		FED TOP		FED BOTTOM X		
AMP MAIN		200		3 PHASE		4 WIRE		A.I.C. RATING MATCH EXISTING		EXIST LOCATION X		FED TOP		FED BOTTOM X		
CKT #	DESCRIPTION	WATTS	LOAD TYPE	WIRE SIZE	BRKR SIZE	POLE	A	B	C	POLE BRKR SIZE	WIRE SIZE	LOAD TYPE	WATTS	DESCRIPTION	CKT #	
6	RCPT-CASH REGISTER A	1080	R	2#12, 1#12G IN 3/4"C	20	1	1180			1	20	2#12, 1#12G IN 3/4"C	M	100	TIMECLOCK	2
6	RCPT-CASH REGISTER B	720	R	2#12, 1#12G IN 3/4"C	20	1	1665			1	20	2#12, 1#12G IN 3/4"C	L	945	LTG-FRONT OF HOUSE	4
6	RCPT-EXPRESS CASH REGISTER	720	R	2#12, 1#12G IN 3/4"C	20	1			1464	1	20	2#12, 1#12G IN 3/4"C	L	744	LTG-BACK OF HOUSE	6
6	RCPT-DIGITAL MENU SCREENS	360	R	2#12, 1#12G IN 3/4"C	20	1	388			1	20	2#12, 1#12G IN 3/4"C	L	28	LTG-EXTERIOR	8
6	RCPT-VIDEO SCREENS	720	R	2#12, 1#12G IN 3/4"C	20	1		1220		1	20	2#12, 1#12G IN 3/4"C	H	500	EF-1	10
6	RCPT-FRONT OF HOUSE	1080	R	2#12, 1#12G IN 3/4"C	20	1			2280	1	20	2#12, 1#12G IN 3/4"C	L	1200	INTERIOR SIGNAGE	12
6	RCPT-ATM	500	R	2#12, 1#12G IN 3/4"C	20	1	1700			1	20	2#12, 1#12G IN 3/4"C	L	1200	EXTERIOR SIGNAGE	14
6	RCPT-DRINKING FOUNTAIN	120	R	2#12, 1#12G IN 3/4"C	20	1		1320		1	20	2#12, 1#12G IN 3/4"C	H	1200	EXTERIOR SIGNAGE	16
6	RCPT-RECEPTION	1000	R	2#12, 1#12G IN 3/4"C	20	1			1000	1	20	-	-	-	SPARE	18
6	RCPT-CONSULT	180	R	2#12, 1#12G IN 3/4"C	20	1	540			1	20	2#12, 1#12G IN 3/4"C	R	360	RCPT-ROOF	20
6	RCPT-SERVER	1000	R	2#12, 1#12G IN 3/4"C	20	1		1100		1	20	2#12, 1#12G IN 3/4"C	M	100	SMOKE DETECTOR	22
6	RCPT-DRIVE-THRU POS	360	R	2#12, 1#12G IN 3/4"C	20	1			460	1	20	2#12, 1#12G IN 3/4"C	M	100	RECIRCULATION PUMP	24
6	RCPT-BACK OF HOUSE	720	R	2#12, 1#12G IN 3/4"C	20	1	3720			2	40	2#10, 1#10G, 3/4"C	M	3000	WATER HEATER	26
6	RCPT-OFFICE	1000	R	2#12, 1#12G IN 3/4"C	20	1		4000		-	-	-	-	-	SPARE	28
6	RCPT-BREAK AREA	360	R	2#12, 1#12G IN 3/4"C	20	1		360		1	20	-	-	-	SPARE	30
6	RCPT-MICROWAVE	1000	R	2#12, 1#12G IN 3/4"C	20	1	4480			3	40	3#8, 1#10G, 1"C	H	3480	RTU-1	32
6	RCPT-REFRIGERATOR	1000	R	2#12, 1#12G IN 3/4"C	20	1	4480			-	-	-	H	3480	-	34
6	RCPT-SECURE STORAGE	360	R	2#12, 1#12G IN 3/4"C	20	1			3840	-	-	-	H	3480	-	36
6	RCPT-RR-STORAGE UTILITY	540	R	2#12, 1#12G IN 3/4"C	20	1	4020			3	40	3#8, 1#10G, 1"C	H	3480	RTU-2	38
9	SPARE	-	-	-	20	1		3480		-	-	-	H	3480	-	40
9	SPARE	-	-	-	20	1			3480	-	-	-	H	3480	-	42

PHASE DIFF.	16028	17265	12884	=	46177	CONNECTED WATTS
	619	-619	0			
	7.2%					BALANCE

L= LIGHTING/SIGNS 5317 125% = 6646
R= RECEPTACLES 13180 100% = 11590
M= MISC 6300 100% = 6300
H= HVAC 21380 100% = 21380
K= KITCHEN 0 65% = 0
LARGEST MOTOR 0 25% = 0

DEMAND WATTS 45916 = 127.5 DEMAND AMPS

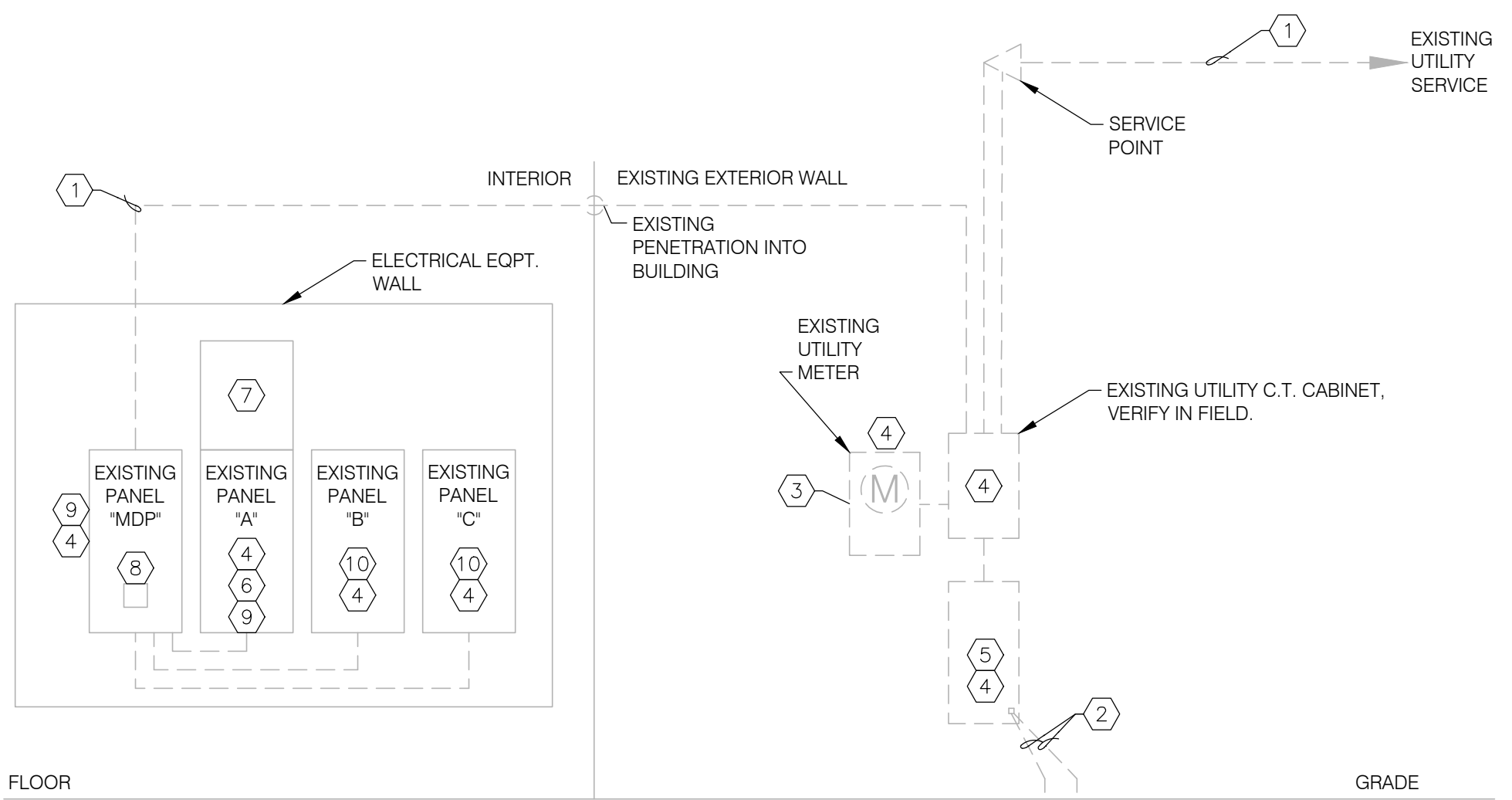
- PANEL SCHEDULE KEYED NOTES**
- 1 PROVIDE LOCK-ON BREAKER
 - 2 PROVIDE EQUIPMENT GROUND FAULT PROTECTION PER N.E.C.
 - 3 PROVIDE LOCKOUT/TAGOUT CIRCUIT BREAKER DEVICE
 - 4 CIRCUITS TO BE ROUTED THRU NEW LIGHTING CONTROL SYSTEM
 - 5 PROVIDE G.F.C.I. BREAKER IN PANEL
 - 6 NEW BREAKER AND NEW LOAD
 - 7 EXISTING BREAKER AND NEW LOAD
 - 8 EXISTING BREAKER AND EXISTING LOAD
 - 9 NEW BREAKER AND EXISTING LOAD

NOTE:
NO SCOPE SITE LIGHTING CHANGE WAS PROPOSED AT TIME OF DESIGN. IF EXISTING SITE LIGHTING EXISTS, EXTEND EXISTING CONDUCTORS AND PROVIDE A NEW, PROPERLY RATED MOCB AT SPACES PROVIDED IN PANEL "A". BRANCH CONDUCTORS SHALL BE ROUTED THROUGH NEW LIGHTING CONTROL SYSTEM. SEE CONSTRUCTION DOCUMENTS.

SYMBOL LEGEND

- SINGLE RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R
- DUPLEX RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R.
- DUPLEX ISOLATED GROUND AT 18" AFF, UNO. NEMA 5-20R.
- DUPLEX ISO GROUND - CEILING MOUNTED. NEMA 5-20R.
- DUPLEX GFCI RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R
- QUADPLEX RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R
- QUADPLEX RECEPTACLE - FLOOR MOUNTED. NEMA 5-20R.
- QUADPLEX GFCI RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R
- SPECIAL PURPOSE RECEPTACLE - HEIGHT AND TYPE AS NOTED ON DRAWINGS
- JUNCTION BOX - MOUNTING HEIGHT AND SIZE AS REQUIRED BY CODE OR AS NOTED ON DRAWINGS
- DOORBELL PUSHBUTTON
- MOTOR. SEE DRAWINGS FOR DESCRIPTION
- SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING, "3P" INDICATES NUMBER OF POLES, "20" INDICATES FUSE SIZE, "1" INDICATES NEMA ENCLOSURE RATING (1, 3R, 4X, ETC), HEAVY DUTY SAFETY SWITCH UNLESS NOTED OTHERWISE. "NF" INDICATES NONFUSED.
- DOORBELL
- ELECTRICAL PANEL
- VOICE / DATA ROUGH-IN BOX, AT 18" AFF UNO. PROVIDE WITH 3/4" CONDUIT WITH PULL STRING TO ABOVE CEILING, 6" BUSH END. #D INDICATES NUMBER OF DATA DROPS.
- DATA ROUGH-IN BOX, AT 18" AFF UNO. PROVIDE WITH 3/4" CONDUIT WITH PULL STRING TO ABOVE CEILING, 6" BUSH END. #D INDICATES NUMBER OF DATA DROPS.
- KEYPAD ROUGH-IN BOX. PROVIDE WITH 3/4" CONDUIT WITH PULL STRING TO ABOVE CEILING, 6" BUSH END.
- SECURITY CAMERA. COORDINATE REQUIREMENTS WITH OWNER.
- 20A SWITCH AT 48" CL A.F.F., U.N.O. FOR SWITCH ABOVE, SUBSCRIPT DEFINITION AS FOLLOWS:
o,b - SWITCHING SCHEME
D - DIMMER
M - MOTOR RATED
3 - 3-WAY SWITCH
4 - 4-WAY SWITCH
O - OCCUPANCY SENSOR
V - VACANCY SENSOR
- SAME SPECIFICATION AS ABOVE EXCEPT PROVIDE UNIT AS FLUSH CEILING MOUNTED
- TWO SWITCHES IN COMMON BOX - FOR MULTILEVEL CONTROL AT 48" CL AFF, UNO
- LIGHTING CONTROL OCCUPANCY SENSOR WITH DUAL TECHNOLOGY - CEILING MOUNTED
- LIGHTING CONTROL PHOTOCELL
- DAYLIGHT SENSOR
- HOMERUN TO LIGHTING/SERVICE PANEL. HOMERUN INDICATES PANEL NAME AND CIRCUIT NUMBER OR FEEDER TAG. CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT (1" UNDERGROUND) UNLESS NOTED OTHERWISE. HOMERUNS MAY BE COMBINED INTO A COMMON RACEWAY FOR 20A SINGLE PHASE CIRCUITS ONLY IF DEDICATED NEUTRALS ARE USED OR HANDLE TIES ARE PROVIDED ON CIRCUIT BREAKERS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE SAME TIME. MAXIMUM OF (6) #12 AWG CURRENT CARRYING CONDUCTORS SHALL BE PROVIDED IN RACEWAY. COMPLY WITH NEC FOR CONDUCTOR DERATING AND CONDUIT FILL..
- CONDUIT STUB
- CONDUIT TURNED DOWN
- CONDUIT TURNED UP
- CONDUIT INSTALLED BELOW GRADE OR BELOW FINISHED FLOOR
- ELECTRICAL CONNECTION TO EQUIPMENT ITEM (LETTER DESIGNATION AS APPLICABLE) - SEE CORRESPONDING EQUIPMENT CONNECTION SCHEDULE
- INTERIOR LIGHT FIXTURES AS SPECIFIED ON THE LIGHT FIXTURE SCHEDULE. REFER ALSO TO LIGHTING CIRCUITING GUIDE.
- LIGHT FIXTURE, HALF SHADING INDICATES EMERGENCY BACKUP. "NL" INDICATES 24/7 OPERATION (UNSWITCHED).
- EMERGENCY LIGHTING FIXTURE, WITH BATTERY. REFER TO LIGHT FIXTURE SCHEDULE
- COMBO EXIT LIGHT
- 24HR 7 DAY-TIME CLOCK

ABBREVIATIONS		ABBREVIATIONS (CON'T)	
AFF	ABOVE FINISHED FLOOR	MDF	MAIN DISTRIBUTION PANEL
AFG	ABOVE FINISHED GRADE	MFR	MANUFACTURER
ACH	ABOVE COUNTER HEIGHT	MH	METAL HALIDE
AL	ALUMINUM	MLO	MAIN LUG ONLY
BKR	BREAKER	MOCB	MAXIMUM OVERCURRENT CIRCUIT PROTECTION
CU	COPPER	MSB	MAIN SWITCHBOARD
CKT	CIRCUIT	NL	NIGHT LIGHT
DWG	DRAWING	NIC	NOT IN CONTRACT
EC	EMPTY CONDUIT	NTS	NOT TO SCALE
EF	EXHAUST FAN	PH	PHASE
EWC	ELECTRIC WATER COOLER	PNL	PANEL
FLA	FULL LOAD AMPS	RCPT	RECEPTACLE
FU	FUSE	REQD	REQUIRED
FWE	FURNISHED WITH EQUIPMENT	RTU	ROOFTOP UNIT
GC	GENERAL CONTRACTOR	SP	SURGE PROTECTED DEVICE
GFI/GFCI	GROUND FAULT INTERRUPTER DEVICE	SW	SWITCH
HPS	HIGH PRESSURE SODIUM	UGND	UNDERGROUND
IG	ISOLATED GROUND	UH	UNIT HEATER
LRA	LOCKED ROTOR AMPS	UNO	UNLESS NOTED OTHERWISE
LTG	LIGHTING(L)	W/	WITH
MCA	MINIMUM CIRCUIT AMPACITY	WH	WATER HEATER
MCB	MAIN CIRCUIT BREAKER	WP	WEATHER PROOF
MCC	MOTOR CONTROL CENTER	XFMR	TRANSFORMER



- ONE-LINE DIAGRAM GENERAL NOTES:**
1. ELECTRICAL DISTRIBUTION EQUIPMENT SHOWN DASHED OR LIGHTWEIGHT IS EXISTING.
 2. INFORMATION ON PLANS REGARDING ELECTRICAL DISTRIBUTION EQUIPMENT WAS BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. E.C. SHALL VERIFY EXISTING CONDITIONS. NOTIFY CONSTRUCTION PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCY AFFECTING THE INTENT OF THE DESIGN CONVEYED HEREIN.

1 ONE-LINE DIAGRAM SCALE: N.T.S.

ONE-LINE DIAGRAM KEYED NOTES

1. EXISTING 120/208V, 3-PHASE, 4-WIRE SERVICE CONDUCTORS FROM EXISTING UTILITY TRANSFORMER TO REMAIN, N.I.C.
2. EXISTING GROUNDING ELECTRODE SYSTEM TO REMAIN. VERIFY NEC COMPLIANCE WITH NEW LOADS. UPGRADE AS REQUIRED.
3. CONTRACTOR TO VERIFY UTILITY METERS REQUIREMENTS FOR FLUENT CANNABIS. PROVIDE NEW METER SOCKET/ENCLOSURE IF REQUIRED. CONTRACTOR TO COORDINATE UTILITY CHANGE OVER UPON OWNERS BEHALF.
4. EXISTING ELECTRICAL EQUIPMENT SHOWN IN ONE-LINE DIAGRAM TAKEN FROM SURVEY & SHELL CONSTRUCTION DOCUMENTS. CONTRACTOR TO FIELD VERIFY SERVICE EQUIPMENT & REPORT ANY DISCREPANCIES THAT MAY IMPACT THIS PROJECT TO ENGINEER OF RECORD.
5. EXISTING NEMA-3R, 120/208V, 3-POLE, FUSED 800-AMP DISCONNECT SWITCH TO REMAIN, N.I.C.
6. PROVIDE A NEMA-1, 800-AMP, 120/208V, 3-PHASE, 4-WIRE BRANCH PANELBOARD. PANEL SHALL BE PROPERLY RATED TO MATCH MAIN OVER-CURRENT CONTROL DEVICE. PREPARE WALL TO ACCEPT NEW PANEL SIZE. SEE PANEL SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION.
7. NEW TIMECLOCK AND LIGHTING CONTROLS. SEE NOTE 10, SHEET E2.0, & DETAIL A, SHEET E4.0, FOR ADDITIONAL INFORMATION.
8. PROVIDE NEW 120/208V, 3-POLE, 200-AMP CIRCUIT BREAKER FOR PANEL "A".
9. PROVIDE NEW MANUFACTURER'S INTERNAL POWER DISTRIBUTION SET, IN THIS PANEL.
10. DO NOT RETURN TO SERVICE AT THIS TIME.

NOTE:
CONTRACTOR SHALL FIELD-VERIFY EXISTING ELECTRICAL DISTRIBUTION AND WIRING FOR PURCHASING ADDITIONAL EQUIPMENT. EXISTING ELECTRICAL GEAR HAS BEEN STRIPPED OF THE INTERNAL COMPONENTS AND NEW COMPONENTS WILL NEED TO BE INSTALLED FOR SYSTEM OPERATION. CONTACT MANUFACTURER FOR REPLACEMENT PARTS. REPLACEMENT PARTS SHALL BE OF SUFFICIENT AMPERAGE, BRACING, AND PROTECTION THAT MATCHES THE EXISTING EQUIPMENT ALONG WITH SUFFICIENT BRACING FOR FAULTS.

NOTE:
PROVIDE SERVICE EQUIPMENT LABELS PER N.E.C. 110.15, 110.16, 110.22 & 110.24 (A), (B).

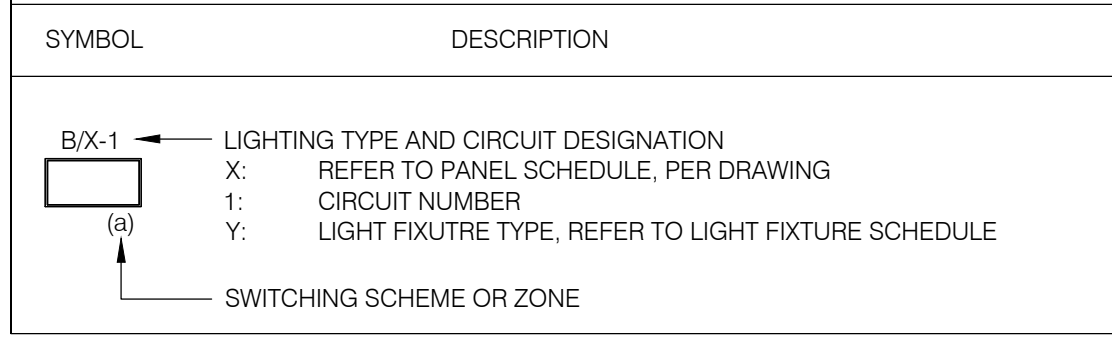
NOTE:
ELECTRICAL PANELS SHALL BE MOUNTED IN ACCORDANCE WITH N.E.C. 404.8(A), WITH THE CENTER OF THE GRIP OF THE HIGHEST OPERATING HANDLE LOCATED AT A MAXIMUM OF 6" A.F.F. (TYPICAL FOR ALL PANELS).

LIGHTING FIXTURE SCHEDULE

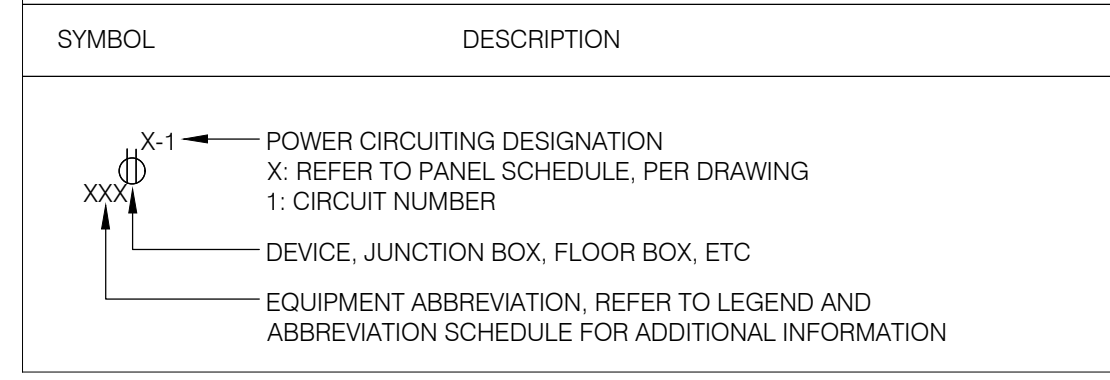
NO.	QTY.	LOCATION	MFR / CATALOG NUMBER	DESCRIPTION	LAMP #	BALLAST TYPE	MOUNTING		VOLT	WATT	REMARKS
							TYPE	HT.			
A1	56	RETAIL, RECEPTION, EXPRESS	HALO H750TML712890TUNVD010	RECESSED LED DOWNLIGHT	-	LED	RECESSED GRID/ DROP CLG	-	120	14	-
B1	9	BACK OF HOUSE	LITHONIA EPANL-2X4-4000LM-80CRI-35K-MIN10-MVOLT	2X4 LED FLAT PANEL	-	LED	RECESSED DROP CLG	-	120	39	-
B1E	10	BACK OF HOUSE	LITHONIA EPANL-2X4-4000LM-80CRI-35K-MIN10-MVOLT-E10WCP	2X4 LED FLAT PANEL	-	LED	EM RECESSED DROP CLG	-	120	39	HATCH INDICATES BATTERY BACK-UP ILBLP-CP15-HE-SD-A
C1	3	RETAIL	ALCON 12160-P-6-40K-RMT	6'-0" LED LINEAR PENDANT	-	LED	PENDANT	1'-0" BELOW CLG.	120	42	-
EM1	6	RETAIL, RECEPTION, EXPRESS	E-LITE ELM-809-W	2-HEAD EMERGENCY LIGHT FROG EYE - WHITE	2	5W/MR16	EM WALL	6" BELOW CLG.	120	10	-
EX1	3	ENTRANCES	LITHONIA ECC M6	COMBO EXIT / EMERGENCY LIGHT UNIT. UNIVERSAL MOUNT	-	-	WALL	-	120	3	LEAD CALCIUM BATTERY (90 MIN)

1. CONTRACTOR TO CONSULT WITH LIGHTING MANUFACTURERS TO PROVIDE FIXTURE LAMPS & UL LABELING TO REFLECT ACTUAL LAMP WATTAGE USED, NOT MAX FIXTURE WATTAGE.
2. RECESSED FIXTURES INSTALLED IN AN INSULATED CEILING SHALL BE I.C. RATED.

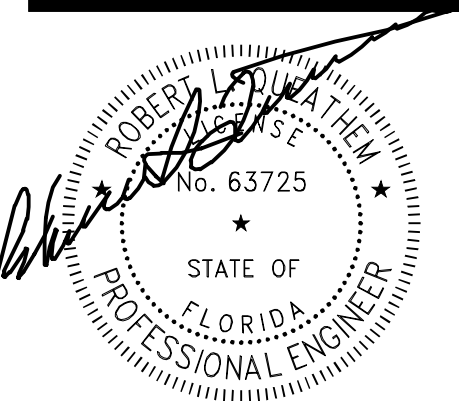
LIGHTING CIRCUITING GUIDE



POWER CIRCUITING GUIDE



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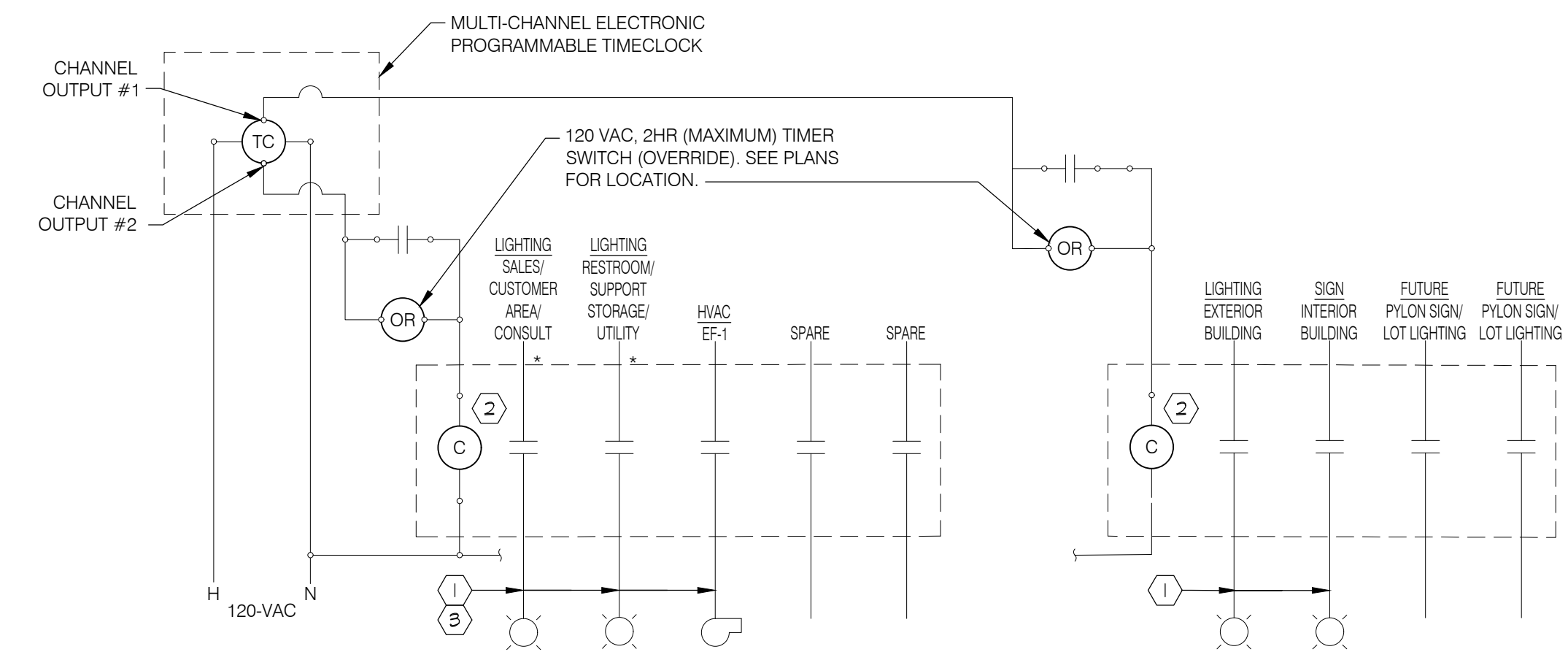


CONTRACT DATE: 05/27/22
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
ARCVISION: 220054

FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

ELECTRICAL ONE-LINE, SCHEDULES, & LEGENDS

E3.0

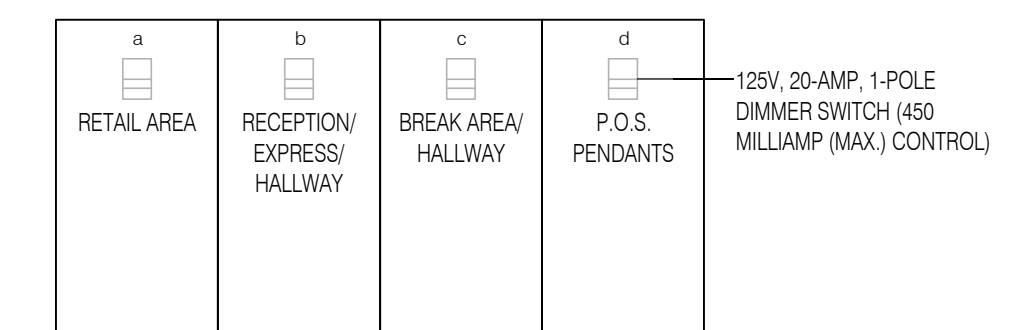


*** LIGHTING CONTROL DIAGRAM KEYED NOTES**

1. PROVIDE LOCAL SWITCHING AS REQUIRED, PER MUNICIPALITY'S ADOPTED VERSION OF THE ENERGY CODE
2. 120-VOLT, 30-AMP CONTINUOUS DUTY CONTACTOR (TYPICAL). PROVIDE IN CONFIGURATION, AS SHOWN.
3. SEE DETAIL C, THIS SHEET FOR REQUIRED LIGHTING CONTROL IN THESE AREAS.

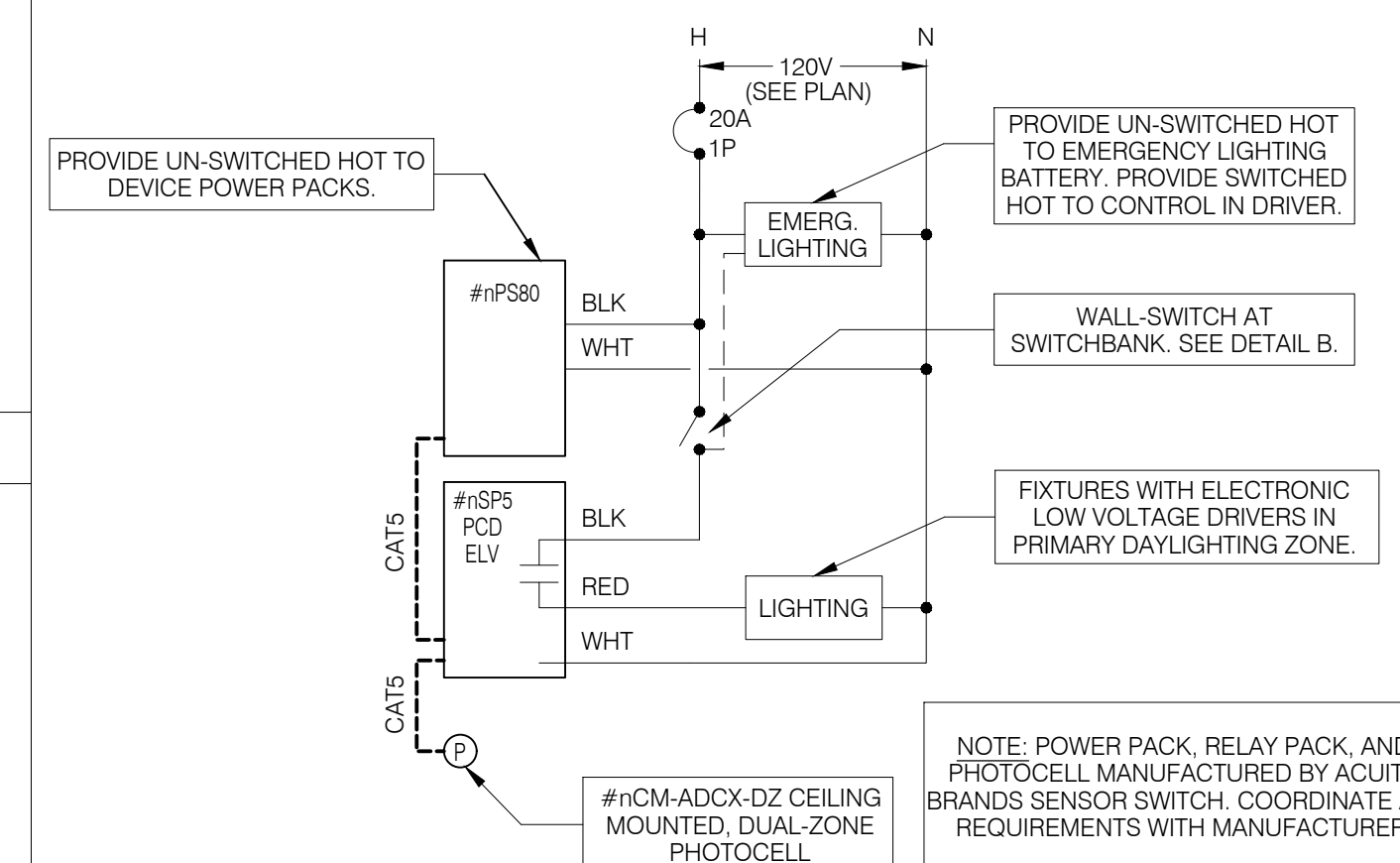
* = PROVIDE BY-PASS FOR CIRCUITS REQUIRING 24HR OPERATION.

LIGHTING CONTROL DIAGRAM A



NOTES:
CONTRACTOR TO VERIFY EXACT CONFIGURATION REQUIRED WITH SPACE AVAILABLE. PROVIDE LABELS AS DIRECTED BY OWNER. SWITCHES SHALL NOT BE MOUNTED HIGHER THAN 48".

SWITCHBANK DETAIL B



DEVICE PROGRAMMING NOTE

PHOTOCELL AND DIMMING RELAYS SHALL BE PROGRAMMED TO PROVIDE THE FOLLOWING FUNCTIONALITY:

CONTROLS SHALL PROVIDE CONTINUOUS DIMMING.

FOR THE PRIMARY AND SECONDARY ZONES IN EACH SPACE, THE COMBINED ILLUMINANCE FROM THE CONTROLLED LIGHTING AND DAYLIGHT SHALL NOT BE LESS THAN THE ILLUMINANCE FROM CONTROLLED LIGHTING WHEN NO DAYLIGHT IS AVAILABLE. IN THE DARKEST PORTION OF THE DAYLIGHT ZONE (FURTHEST AWAY FROM WINDOWS OR SKYLIGHTS) THE CONTROL SHOULD NOT OVER-DIM THE LIGHTS. THIS SECTION OF THE DAYLIGHTED AREA SHOULD NOT GET DARKER AS DAYLIGHT LEVELS INCREASE, DUE TO AN INCORRECT CALIBRATION OF THE CONTROLS.

IN AREAS SERVED BY LIGHTING THAT IS DAYLIGHT CONTROLLED, WHEN THE ILLUMINANCE RECEIVED FROM THE DAYLIGHT IS GREATER THAN 150 PERCENT OF THE ILLUMINANCE RECEIVED FROM THE GENERAL LIGHTING SYSTEM AT FULL POWER, THE GENERAL LIGHTING POWER IN THAT DAYLIGHT ZONE SHALL BE REDUCED BY A MINIMUM OF 65 PERCENT. E.C. SHALL FIELD MEASURE ACTUAL GENERAL LIGHTING LEVELS AND ADJUST DAYLIGHT SENSOR ACCORDINGLY.

DAYLIT CONTROL SENSOR DIAGRAM C

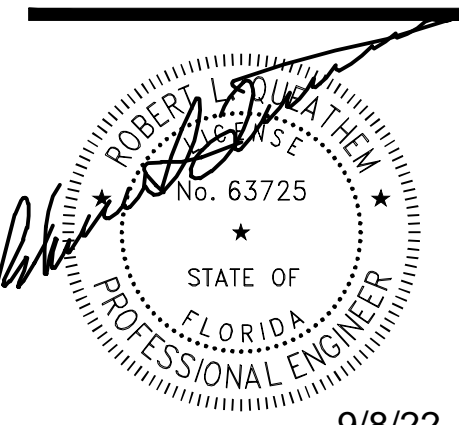
NOT USED E

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FLUENT
500 EAST CHASE STREET
PENSACOLA, FL 32501

FLUENT
CANNABIS CARE

**ELECTRICAL
DETAILS &
DIAGRAMS**

E4.0

DIVISION 16 - ELECTRICAL SPECIFICATIONS

SECTION 16100 ELECTRICAL SPECIAL CONDITIONS

1. GENERAL

- A. APPLICABLE PROVISIONS OF AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AND DIVISION 1 GENERAL CONDITIONS GOVERN WORK UNDER THIS SECTION AND ALL OTHER SECTIONS OF DIVISION 16.
- B. APPLICABLE PROVISIONS OF THIS SECTION GOVERN WORK UNDER ALL OTHER SECTIONS OF DIVISION 16. WORK COVERED BY THIS SECTION SHALL CONSIST OF PROVIDING ALL MATERIAL, LABOR, EQUIPMENT AND SERVICES NECESSARY FOR A COMPLETE, TESTED AND ADJUSTABLE ELECTRICAL INSTALLATION READY FOR OPERATION AS SPECIFIED HEREIN AND AS SHOWN ON THE DRAWINGS.
- C. THE TERM CONTRACTOR AS USED IN THIS SECTION SHALL MEAN ANY CONTRACTOR OR SUBCONTRACTOR WHO HAS CONTRACTED TO PERFORM WORK INCLUDED IN AND DEFINED BY THIS SECTION AND ALL OTHER SECTIONS OF DIVISION 16.

2. CONTRACTOR'S RESPONSIBILITY

- A. PRIOR TO SUBMITTING HIS BID, CONTRACTOR SHALL CAREFULLY EXAMINE THESE CONSTRUCTION DOCUMENTS, THE DEVELOPER'S EXHIBITS, AND THE SITE, TO INQUIRE FULLY INTO DIFFICULTIES AND COSTS OF WORK, AND TO DETERMINE THE SCOPE AND CHARACTER OF WORK TO BE DONE. CONTRACTOR SHALL INCLUDE ALL NECESSARY COSTS TO LOCATE AND/OR EXTEND ALL UTILITIES INCLUDING LIGHTING PANELS, POWER PANELS, ELECTRICAL SERVICE, PHONE SERVICE AND/OR MOUNTED EQUIPMENT TO MEET THE INTENT OF THE CONTRACT DOCUMENTS. THE OWNER, OWNER'S AGENT, ARCHITECT, ENGINEER OR DESIGNER SHALL NOT BE RESPONSIBLE FOR FAILURE OF THE CONTRACTOR TO DETERMINE DIFFICULTIES AND COSTS IN THE PROJECT OR FOR HIS OVERLOOKING OF THE REQUIREMENTS.
- B. IF THIS CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS AND SPECIFICATIONS, OR IF THERE ARE ANY REQUIREMENTS WHICH ARE AMBIGUOUS IN THE CONTRACTOR'S OPINION, HE SHOULD CALL THIS TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING. SINCE THIS CONTRACTOR WILL BE HELD RIGIDLY TO THE INTERPRETATIONS OF THE ARCHITECT AND ENGINEER.
- C. CONTRACTOR SHALL SCHEDULE HIS WORK IN COOPERATION WITH OTHER TRADES INSTALLING INTERRELATED WORK. SCHEDULED TO MAINTAIN SERVICE TO ALL REQUIRED AREAS DURING THE COURSE OF THE CONSTRUCTION EXCEPT FOR SHORT TERM PLANNED SHUTDOWNS, ANY OF WHICH SHALL BE PRE-SCHEDULED WITH THE OWNERS AGENT AND THE LANDLORD.

3. WORKMANSHIP AND GUARANTEE

- A. IN ENTERING INTO A CONTRACT COVERING THIS WORK, THE CONTRACTOR ACCEPTS THE SPECIFICATIONS, AND GUARANTEES THAT THE WORK WILL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR FURTHER GUARANTEES THAT THE WORKMANSHIP AND MATERIAL WILL BE OF THE BEST PROCURABLE AND THAT NONE BUT EXPERIENCED WORKMEN EXPERIENCED IN EACH PARTICULAR CLASS OF WORK WILL BE EMPLOYED. CONTRACTOR FURTHER GUARANTEES TO REPLACE AND MAKE GOOD AT HIS OWN EXPENSE ANY DEFECTS DUE TO FAULTY WORKMANSHIP OR MATERIAL WHICH MAY DEVELOP WITHIN ONE (1) YEAR AFTER FINAL PAYMENT AND ACCEPTANCE BY THE ARCHITECT.

4. CODES AND STANDARDS

- A. CONTRACTOR WILL COMPLY IN ALL RESPECTS WITH THE ADOPTED BUILDING CODES, APPLICABLE LAWS, ORDINANCES, AND REGULATIONS AS MAY APPLY ACCORDING TO THE RULING OF THE CONTROLLING PUBLIC OFFICIAL SHOULD THE CONTRACTOR PERFORM ANY WORK THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE LAWS, ORDINANCES AND REGULATIONS, OR WHICH DOES NOT RECEIVE THE APPROVAL OF THE CONTROLLING PUBLIC OFFICIAL, HE SHALL BEAR ALL COSTS ARISING IN CORRECTING THE DEFICIENCIES. ALL ELECTRICAL EQUIPMENT SHALL BEAR THE UNDERWRITER'S LABORATORY LABEL.

5. FEES ON PERMITS

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAKING PAYMENT FOR ALL FEES, PERMITS AND INSPECTIONS RELATING TO HIS WORK.

6. CONTRACT DRAWINGS

- A. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND INTENT OF THE DESIGN AND SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONDITIONS AND THE WORK OF OTHER TRADES WILL PERMIT. BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, AND ACCESSORIES WHICH MAY BE REQUIRED, NOR IS IT IMPLIED THAT ALL CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE SYSTEMS OR BUILDING COMPONENTS HAVE BEEN INDICATED. THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING CONDITIONS AFFECTING THE WORK AND ARRANGE HIS WORK ACCORDINGLY, PROVIDING SUCH FITTINGS, OFFSETS, ACCESSORIES AND DEVICES AS MAY BE REQUIRED. THE DRAWINGS AND SPECIFICATIONS ARE MUTUALLY COMPLEMENTARY, AND ANY WORK REQUIRED BY ONE BUT NOT BY THE OTHER SHALL BE PERFORMED BY BOTH. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND SERVICES REQUIRED FOR A COMPLETE AND WORKING PROJECT AT NO ADDITIONAL COST. EVEN THOUGH EACH AND EVERY NECESSARY ELEMENT THEREOF IS NOT SPECIFICALLY IDENTIFIED HEREIN EACH AND EVERY NECESSARY ELEMENT THEREOF IS NOT SPECIFICALLY IDENTIFIED HEREIN.

- B. CONTRACTOR SHALL NOT SCALE FROM THE DRAWINGS BUT SHALL FOLLOW THE ARCHITECTURAL DRAWINGS OR EXISTING BUILDING CONDITIONS WHERE APPLICABLE, IN ESTABLISHING DIMENSIONS AND LINES OF WORK. SINCE DIMENSIONS ON THE FINAL ARCHITECTURAL DRAWINGS OR AT THE SITE MAY NOT COINCIDE WITH THOSE SHOWN ON THE ELECTRICAL DRAWINGS, THE CONTRACTORS SHALL VERIFY WITH THE DIMENSIONED ARCHITECTURAL DRAWINGS OR THE SITE CONDITIONS THE EXACT MATERIAL QUANTITIES AND LENGTHS NECESSARY.

- C. SIGNIFICANT DEVIATIONS OR CHANGES FROM THE DRAWINGS WHICH ARE REQUIRED TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE REVIEWED WITH THE ARCHITECT AND APPROVED BEFORE PROCEEDING.

7. SHOP DRAWINGS

- A. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, FOUR (4) COPIES MINIMUM, FOR ALL MANUFACTURED PRODUCTS. EACH SHOP DRAWING SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO ASSURE THAT ALL DIMENSIONS, QUANTITIES, CONNECTIONS, CAPACITIES AND ACCESSORIES SHOWN ARE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND SHALL BE MARKED OR STAMPED TO CONFIRM THAT SUCH REVIEW WAS MADE AND COMPLIANCE WAS CONFIRMED.

- B. APPROVAL OF SHOP DRAWINGS BY THE OWNER, OWNER'S AGENT, ARCHITECT, ENGINEER OR DESIGNER, WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF COMPLYING WITH ALL TERMS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PERFORMANCE OF ALL EQUIPMENT PURCHASED, FOR PROPER FIT, AND OTHER DIMENSIONAL REQUIREMENTS.

8. RECORD DRAWINGS

- A. CONTRACTOR SHALL MAINTAIN AT THE JOB SITE ONE SET OF DOCUMENTS AS "RECORD DRAWINGS" FOR THE PURPOSE OF DAILY MARKING OF ALL SUBSTANTIAL REVISIONS TO THE DOCUMENTS INCLUDING BUT NOT LIMITED TO ELECTRICAL CHANGES, AND LOCATIONS OF UTILITIES, PANELBOARDS, DISCONNECTS, STARTERS AND OTHER DEVICES REQUIRING PERIODIC OPERATIONAL ATTENTION, ADJUSTMENT, OR SERVICE INCLUDING ACCESS THERETO, AT THE COMPLETION OF THE PROJECT, THIS SET SHALL BE RETURNED TO THE ARCHITECT FOR THE PURPOSE OF MAKING FINAL "AS-BUILT DRAWINGS".

9. EQUIPMENT SUBSTITUTION

- A. SPECIFIC MANUFACTURERS AND MODELS OF EQUIPMENT HAVE BEEN USED IN THE DEVELOPMENT OF THE DRAWINGS AND DESIGNS. THIS CONTRACTOR MUST SUBMIT TO THE OWNER ANY CHANGES AND/OR SUBSTITUTIONS FOR APPROVAL PRIOR TO INSTALLATION OR EXECUTION. ANY CHANGES WHICH DO NOT RECEIVE THE OWNER'S APPROVAL MAY BE SUBJECT TO REMOVAL OR REPLACEMENT AS ORIGINALLY SPECIFIED, AND WILL BE AT THE CONTRACTOR'S EXPENSE.

- B. IF THIS CONTRACTOR SUBSTITUTES FOR SPECIFIED EQUIPMENT ANY OTHER EQUIPMENT WHICH REQUIRES ANY CHANGES TO THE DESIGN, ALL COST OF REDESIGN AND RECONFIGURATION RESULTING FROM SAID SUBSTITUTION SHALL BE BORNE BY THE SUBMITTING CONTRACTOR.

10. EQUIPMENT INSTALLATION AND SUPPORT

- A. CONTRACTOR SHALL SUPPORT PLUMB, RIGID AND TRUE-TO-LINE ALL WORK AND EQUIPMENT INSTALLED. THIS CONTRACTOR SHALL DETERMINE HOW EQUIPMENT, FIXTURES, ETC., ARE TO BE SUPPORTED, MOUNTED, OR SUSPENDED AND SHALL PROVIDE ACCESSORIES REQUIRED FOR PROPER SUPPORT WHETHER SHOWN ON THE DRAWINGS OR NOT. IF SUPPORTS ARE REQUIRED, CONTRACTOR SHALL SUBMIT DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- B. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTALLATION AND MAINTENANCE LITERATURE. COMPONENTS REQUIRING PERIODIC MAINTENANCE OR ADJUSTMENTS SHALL BE LOCATED OR INSTALLED AS TO PERMIT ACCESS WITHOUT DAMAGE TO STRUCTURE, FINISHES OR OTHER EQUIPMENT.

- C. ALL CONDUIT CONNECTING TO SWITCHGEAR, PANELS, MOTORS, AND OTHER EQUIPMENT SHALL BE INSTALLED WITHOUT STRAIN AT THE CONNECTIONS. THE CONTRACTOR MAY BE REQUIRED, AS DIRECTED, TO DISCONNECT CONDUITS TO DEMONSTRATE THAT THEY HAVE BEEN SO CONNECTED.

11. DEMOLITION

- A. ALL EXISTING EQUIPMENT, NOT INDICATED TO BE INCORPORATED INTO THE NEW SYSTEM SHALL BE DISCONNECTED BY THIS CONTRACTOR FOR REMOVAL BY OTHERS FROM THE JOB SITE. CARE SHALL BE USED SO THAT NO DAMAGE IS DONE TO EXISTING BUILDING, PIPING, DUCTWORK, AND/OR ELECTRICAL EQUIPMENT. ANY DAMAGE ATTRIBUTED TO THIS CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THIS CONTRACTOR.

12. CUTTING AND PATCHING

- A. ALL CUTTING THAT MAY BE NECESSARY FOR THE INSTALLATION OF THE WORK OR ANY REQUIRED PATCHING THAT RESULTS THEREFROM SHALL BE DONE BY THE PROPER TRADE INVOLVED AND SHALL BE INCLUDED AS PART OF THIS CONTRACT. PATCH TO DUPLICATE UNDISTURBED ADJACENT FINISHES, COLORS, TEXTURES AND PROFILES. COLUMNS, BEAMS, GIRDERS OR JOISTS SHALL NOT BE CUT.

- B. ALL WORK AFFECTING ROOF OR STRUCTURES SHALL BE PERFORMED BY LANDLORD'S CONTRACTOR AT TENANT'S EXPENSE.

13. CLEANING

- A. COMPLETION AS IT PERTAINS TO THE CONTRACT COMPLETION DATE IS DEFINED AS THE DAY THE PROJECT IS TURNED OVER TO THE OWNER IN THOROUGHLY CLEAN CONDITION, READY FOR THE OWNER TO TAKE POSSESSION. ALL FIXTURES, MOTORS, EQUIPMENT AND ALL OTHER ELECTRICAL EQUIPMENT FURNISHED OR INSTALLED BY THE CONTRACTOR SHALL BE THOROUGHLY CLEANED.

14. TESTS

- A. PROVIDE THE TESTS AS OUTLINED HEREINAFTER AND OTHER TESTS NECESSARY TO ESTABLISH THE ADEQUACY, QUALITY, SAFETY, COMPLETED STATUS AND SUITABLE OPERATION OF EACH SYSTEM. CORRECT PROMPTLY ANY FAILURE OR DEFECTS REVEALED BY THESE TESTS AND RECONDUIT TEST ON THE CORRECTED ITEMS.

- B. TEST THE GROUNDS WITH A GROUND RESISTANCE DIRECT READING SINGLE-TEST MEGGER.

- C. INSULATION RESISTANCE BETWEEN PHASE CONDUCTORS AND GROUND NOT LESS THAN 1,000,000 OHMS.

- D. THE PANELBOARDS SHALL HAVE PHASE CURRENTS BALANCED TO WITHIN +/- 10% VARIATION BETWEEN AVERAGE PHASE CURRENT AND MEASURED INDIVIDUAL PHASE.

- E. AN OPERATIONAL TEST OF THE EMERGENCY LIGHTS AND THE EXIT LIGHTS SHALL BE PERFORMED FOR THE OWNER TO DEMONSTRATE CONFORMANCE TO THE SPECIFICATIONS.

15. TEMPORARY ELECTRICAL SERVICE

- A. TEMPORARY ELECTRICAL SERVICE SHALL BE IN ACCORDANCE WITH THE BUILDING CODE. TEMPORARY LIGHTING SHALL BE PROVIDED BY A LAMP LOCATED FOR EVERY 625 SQUARE FEET OF BUILDING AREA WITH A MINIMUM OF ONE PER ROOM. THE LAMP TO BE 100 WATT AND SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR.

- B. TEMPORARY POWER DISTRIBUTION SHALL BE SUFFICIENT TO ACCOMMODATE THE TEMPORARY LIGHTING AND CONSTRUCTION OPERATIONS, INCLUDING THE USE OF POWER TOOLS (BUT NOT INCLUDING HEAVY-DUTY ELECTRICAL WELDING UNITS), ELECTRICAL HEATING UNITS, AND START-UP OF SPECIFIED BUILDING EQUIPMENT, WHICH IS TO BE TESTED, STARTED OR PLACED INTO OUR USE PRIOR TO COMPLETION OF ITS PERMANENT POWER CONNECTIONS.

16. EXCAVATION AND BACKFILL

- A. CONTRACTOR SHALL DO ALL EXCAVATION REQUIRED AS SHOWN ON PLANS OR REQUIRED FOR PROPER OPERATION. EXCESS EXCAVATION BELOW THE REQUIRED LEVEL SHALL BE BACKFILLED WITH EARTH AND THOROUGHLY TAMPED. UTILITY SERVICES, SHALL BE INSPECTED AND APPROVED BY THE PROPER INSPECTION AUTHORITY BEFORE BACKFILLING.

SECTION 16200 ELECTRICAL POWER AND LIGHTING

1. RELATED DOCUMENTS

- A. APPLICABLE PROVISIONS OF AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", DIVISION 1 GENERAL CONDITIONS AND SECTION 16100 ELECTRICAL SPECIAL CONDITIONS GOVERN WORK UNDER THIS SECTION.

- B. REFER TO SECTION 16100 ELECTRICAL SPECIAL CONDITIONS REGARDING REGULATIONS AND REQUIREMENTS AFFECTING ALL WORK DESCRIBED IN THIS SECTION.

2. POWER SERVICE

- A. POWER SERVICE FOR THIS PROJECT SHALL BE PROVIDED FROM THE EXISTING MALL DISTRIBUTION SYSTEM. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MALL MANAGEMENT TO INSURE THAT ALL WORK AND MATERIALS ARE IN CONFORMANCE WITH THE LANDLORD'S REQUIREMENTS.

3. NAMEPLATES

- A. ELECTRICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PANELBOARDS, DISCONNECTS TRANSFORMERS, CONTROLS, ETC., SHALL BE IDENTIFIED WITH THREE PLY LAMINATED PLASTIC. THE OUTSIDE LAMINATIONS SHALL BE BLACK. ENGRAVING SHALL EXTEND THROUGH THE FRONT LAMINATION SO THAT THE BLACK LETTERS APPEAR ON A WHITE BACKGROUND. NAMEPLATES SHALL BE PERMANENTLY ATTACHED WITH SCREWS.

- B. CIRCUIT DIRECTORY SHALL BE TYPEWRITTEN (HANDWRITTEN IS NOT ACCEPTABLE) AND SHALL IDENTIFY CIRCUIT AS TO TYPE AND LOCATION AS FOLLOWS:
"LTC" - FOR LIGHTING CIRCUIT FOLLOWED BY AREA IN WHICH CIRCUIT APPEARS, I.E., "STOCKROOM", "CASH WRAP", ETC.
"RECEPT" - FOR RECEPTACLE CIRCUIT FOLLOWED BY AREA IN WHICH RECEPTACLE APPEARS, "STOREFRONT", "CASH REGISTER", ETC.
"MOTOR" - FOR MOTOR FOLLOWED BY THE EQUIPMENT IDENTIFICATION AND AREA IN WHICH MOTOR IS LOCATED, I.E. "EXH FAN TOILET", "AHU-ROOF", ETC.

4. CONDUIT

- A. ALL WIRING SHALL BE RUN IN CONDUIT. THIN WALL EMT CONDUIT SHALL BE USED SIZES 1/2" THROUGH 2-1/2". ALL CONDUITS LARGER THAN 2-1/2" SHALL BE HEAVYWALL CONDUITS INSTALLED UNDERGROUND OR IN CONCRETE SLABS SHALL BE PVC JACKETED FLEXIBLE STEEL CONDUIT (SEALITE) SHALL BE USED IN WET AREAS AND ON ALL MOTORIZED EQUIPMENT. FLEXIBLE CONDUIT MAY ONLY BE USED FOR FINAL CONNECTIONS, AT A MAXIMUM LENGTH OF 6 FEET. NO BX, ROMEX, ARMORED CABLE, ETC. SHALL BE ALLOWED.

- B. ALL OPENINGS IN FIRE AND SMOKE WALLS, PARTITIONS, FLOORS AND OTHER SIMILAR PENETRATIONS FOR ELECTRICAL CONDUITS, CABLE OR EQUIPMENT, WHETHER CUT OR IN PLACE, SHALL BE CLOSED WITH A UL APPROVED FIRE RESISTANT SILICONE FOAM SEALANT TO MAINTAIN THE FULL RATING AND INTEGRITY OF THE PARTITIONS, WALLS OR FLOOR.

- C. CONDUIT BENDS FOR POWER AND LIGHTING CIRCUITS SHALL NOT BE LESS THAN STANDARD RADIUS BENDS. CONDUIT BENDS FOR FEEDERS, TELEPHONE AND COMMUNICATION CIRCUITS SHALL NOT BE LESS THAN LONG RADIUS BENDS.

- D. O.Z. TYPE DX, TX, OR AX CONDUIT EXPANSION DEFLECTION FITTINGS ARE REQUIRED IN ALL CONDUIT RUNS WHERE MOVEMENT MAY BE ENCOUNTERED. ALL EMT COUPLINGS SHALL BE COMPRESSION TYPE.

- E. EXPOSED CONDUIT SHALL BE SECURELY SUPPORTED IN PLACE PER CODE BUT ON A MAXIMUM OF 10 FOOT INTERVALS, WITHIN THREE FEET OF EACH BEND, AT EVERY OUTLET OR JUNCTION BOX AND AT THE END OF EACH STRAIGHT RUN TERMINATING AT A BOX OR CABINET. CONDUIT SHALL NOT BE SUPPORTED FROM DUCTWORK OR PIPE WORK. CONDUITS SHALL BE RUN PARALLEL TO AND AT RIGHT ANGLES TO THE BUILDING LINES. GENERALLY, CONDUIT SHALL BE RUN IN CONTACT WITH STRUCTURAL PARTS OF THE BUILDING SO AS TO AVOID SUSPENDED LENGTHS OF CONDUIT. CONDUIT SHALL BE INSTALLED AS TO BE ACCESSIBLE FOR REPLACEMENT AND MAINTENANCE AND GENERALLY CONDUIT SHALL BE INSTALLED TO PERMIT DRAINAGE.

5. WIRE AND CABLE

- A. ALL WIRE AND CABLE SHALL BE RUN IN CONDUIT. ALL WIRE AND CABLE FEEDERS AND BRANCH CIRCUITS SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE CURRENT EDITION OF THE N.E.C. AND SHALL MEET ALL ASTM SPECIFICATIONS. WIRE AND CABLE SHALL BE NEW, SHALL HAVE SIZE, GRADE OF INSULATION VOLTAGE AND MANUFACTURER'S NAME PERMANENTLY MARKED ON OUTER COVERING AT REGULAR INTERVAL AND SHALL BE DELIVERED IN COMPLETE COILS OR REELS WITH IDENTIFYING SIZE AND INSULATION TAGS.

- B. THE ELECTRICAL CONTRACTOR SHALL CALCULATE VOLTAGE DROP ON CONDUCTORS WITH LENGTHS GREATER THAN 75 FEET FROM THE PANELBOARD AND PROPERLY SIZE THE CONDUCTORS PER N.E.C.

- C. POWER CONDUCTORS: NO WIRE LESS THAN NO. 12 SHALL BE USED EXCEPT FOR CONTROL CIRCUITS OR LOW VOLTAGE WIRING. WIRE SIZES NO. 12 TO NO. 10 SHALL BE SOLID EXCEPT WHERE OTHERWISE INDICATED. WIRE SIZES NO. 8 AND LARGER SHALL BE STRANDED. ALL WIRE SIZES SHOWN ARE AMERICAN WIRE GAUGE SIZES. SIZES NO. 12 AWG THROUGH NO. 8 AWG SHALL BE "THHN." SIZE 4 AWG AND LARGER SHALL BE "THW."

- D. CONTINUITY: ALL WIRES SHALL BE CONTINUOUS FROM OUTLET TO OUTLET.

- E. ACCEPTABLE MANUFACTURERS: CABLE AND WIRE SHALL BE STANDARD TYPE AS MANUFACTURED BY GENERAL CABLE COMPANY, CAROL, ANACONDA, ROM OR ITT ROYAL.

6. COLOR CODING

- A. A COLOR CODING SYSTEM AS LISTED BELOW SHALL BE FOLLOWED THROUGHOUT FOR FEEDERS AND BRANCH CIRCUITS AND USED AS A BASIS FOR BALANCING LOAD.

--120/208V: PHASE A--BLACK, PHASE B--RED, PHASE C--BLUE, NEUTRAL--WHITE, GROUND--GREEN

--277/480V: PHASE A--BROWN, PHASE B--ORANGE, PHASE C--YELLOW, NEUTRAL--GRAY, GROUND--GREEN

7. BOXES AND FITTINGS

- A. ALL OUTLETS SHALL BE PROVIDED WITH GALVANIZED OR SHERARDIZED BOXES SUITABLE IN DESIGN TO THE SPACE THEY OCCUPY AND THE PURPOSE THEY SERVE. WALL MOUNTED OUTLET BOXES, EXCEPT FOR 2" PARTITIONS SHALL BE AT LEAST 1 1/2" DEEP AND/OR DEEPER IF REQUIRED BY THE DEVICE THEY HOLD OR THE NATIONAL ELECTRICAL CODE.

- B. ALL PULLBOXES SHALL BE MADE OF GALVANIZED STEEL, OF METAL GAUGE AND PHYSICAL SIZE AS REQUIRED BY THE NEC FOR THE NUMBER AND SIZE OF RACEWAYS AND CONDUCTORS INVOLVED.

- C. FIXTURE OUTLET BOXES IN OR ON CEILINGS SHALL NOT BE LESS THAN 1-1/2" DEEP OR LESS THAN 4" SQUARE. ALL OUTLET BOXES INTENDED TO SUPPORT FIXTURES SHALL BE EQUIPPED WITH 3/8" FIXTURE STUDS FASTENED THROUGH THE BOTTOM OF THE BOX WITH FOUR BOLTS.

8. CIRCUIT BREAKER PANELBOARDS

- A. PANELS SHALL BE DEAD FRONT, SAFETY TYPE, FURNISHED WITH BRANCH CIRCUIT PROTECTING DEVICES, EQUIPMENT GROUNDING BOX, MAIN BUS AND CABLE LUGS FACTORY ASSEMBLED, WITH ALL COMPONENTS IN PLACE, READY FOR INSTALLATION. PROVIDE 20% SPARE BREAKER CAPACITY AND 25% EXCESS AMPACITY IN EACH PANEL.

- B. CURRENT CARRYING CONTACT SURFACES SHALL BE SILVER OR TIN PLATED. THE CIRCUIT BREAKERS SHALL BE OF THE MOLDED CASE, BOLT-ON TYPE SUITABLE FOR VOLTAGE AND AMPERE RATINGS INDICATED ON DRAWINGS AND IN SCHEDULES AND SHALL HAVE A MINIMUM INTERRUPTING CAPACITY OF 10,000 AMPERES FOR 120/208V AND 14,000 AMPERES AT 277/480V.

- C. MAIN BUSES AND CONNECTORS SHALL BE HARD DRAWN COPPER OF 98% CONDUCTIVITY, WITH CURRENT CARRYING CAPACITY TO MAINTAIN ESTABLISHED RISE TESTS AS DEFINED IN UL STANDARD UL 67.

- D. CABINET SIZES ARE BASED UPON A 20" WIDE BY 6" DEEP PANEL UNLESS OTHERWISE NOTED. PANELBOARDS SHALL BE EQUIPPED WITH FLUSH TYPE LOCK AND CATCH. ALL LOCKS SHALL BE KEYED ALIKE, AND TWO KEYS ARE TO BE SUPPLIED WITH EACH LOCK.

- E. PANELBOARDS TO BE BY SQUARE D CORPORATION, GENERAL ELECTRIC, OR WESTINGHOUSE.

9. TRANSFORMERS

- A. DRY-TYPE TRANSFORMERS SHALL BE OF THE ENCLOSED VENTILATED TYPE WITH KVA AND VOLTAGE RATING AS CALLED FOR ON THE DRAWINGS AND WITH 150' CLASS H INSULATION AND MINIMUM OF SIX STANDARD FULL CAPACITY TAPS. SOUND LEVEL SHALL BE LOW AND INSTALLATION SHALL INCLUDE KORFUND OR EQUAL VIBRATION DAMPENING MOUNTS AND FLEXIBLE STEEL CONDUIT FOR PRIMARY AND SECONDARY. (MOUNT TRANSFORMER ON VIBRATION ISOLATORS). LOCATE TRANSFORMER AS NOT TO CAUSE SERVICING OR CLEARANCE DIFFICULTIES OF VIOLATIONS WITH OTHER EQUIPMENT.

- B. COMPARABLE EQUIPMENT AS MANUFACTURED BY SQUARE D CORPORATION OR GENERAL ELECTRIC

10. TOGGLE SWITCHES

- A. TOGGLE SWITCHES SHALL BE IVORY AND SHALL BE RATED 20 AMPERES 120/277 VOLT AC TYPE AS MANUFACTURED BY HUBBEL AND SHALL BE AS FOLLOWS:

SINGLE POLE --1221--1
THREE WAY --1223--1

- B. TOGGLE SWITCHES SHALL BE MOUNTED 4'-0" ABOVE FINISHED FLOOR TO MOUNTING PLATE AND, AT DOORS, INSTALLED ADJACENT TO THE TRIM ON THE STRIKING SIDE OF THE DOOR, REGARDLESS OF THE LOCATION INDICATED ON THE DRAWINGS; THEREFORE, CHECK ALL DOOR SWINGS BEFORE INSTALLATION OF CONDUIT OUTLETS.

- C. COMPARABLE EQUIPMENT AS MANUFACTURED BY SLATER, LEVITON, AND BRYANT WILL BE ACCEPTABLE.

11. RECEPTACLES

- A. RECEPTACLES SHALL BE IVORY AS MANUFACTURED BY HUBBEL AND SHALL BE AS FOLLOWS:
DUPLEX RECEPTACLE --20A--120 VOLT 5362-1

- B. RECEPTACLES SHALL BE MOUNTED 12" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE NOTED.

- C. COMPARABLE EQUIPMENT AS MANUFACTURED BY SIERRA ELECTRIC CORPORATION, SLATER, BRYANT AND LEVITON WILL BE ACCEPTABLE.

12. DEVISE PLATES

- A. DEVICE PLATES SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED. COMPARABLE EQUIPMENT AS MANUFACTURED BY SIERRA ELECTRIC CORPORATION, HARVEY HUBBLE INC., BRYANT AND LEVITON WILL BE ACCEPTABLE. PAINT MATCH ADJACENT FINISH COLOR.

13. DISCONNECT SWITCHES

- A. FURNISH AND INSTALL DISCONNECT SWITCHES AS REQUIRED BY CODE. DISCONNECT SWITCHES SHALL BE NEMA HEAVY DUTY TYPE AND UNDERWRITERS LABORATORIES LISTED, MANUFACTURED BY SQUARE D CORPORATION, ITE, GENERAL ELECTRIC, OR WESTINGHOUSE.

14. GROUNDING

- A. CONTRACTOR SHALL INSTALL A SYSTEM GROUNDING SYSTEM AND AN EQUIPMENT GROUNDING SYSTEM AND SHALL USE ONLY APPROVED GROUNDING CLAMPS AND CONNECTORS AS MANUFACTURED BY PENN-UNION, BURNDY, OR O-2 MFG. COMPANY.

- B. THE SYSTEM GROUNDING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND THE UTILITY COMPANY REGULATIONS. CONTRACTOR SHALL CONNECT THE GROUNDING ELECTRODE CONDUCTORS TO THE NEUTRAL BAR INSIDE THE MAIN PANEL. WHEN TRANSFORMERS ARE USED TO PROVIDE A SEPARATELY DERIVED SYSTEM, THE CONTRACTOR SHALL CONNECT THE GROUNDING ELECTRODE CONDUCTOR TO THE NEUTRAL BAR INSIDE THE SECONDARY SYSTEM PANEL OR SERVICE RATED DISCONNECT SWITCH, DO NOT CONNECT THE GROUNDING ELECTRODE CONDUCTOR TO THE NEUTRAL LUG INSIDE THE TRANSFORMER.

- C. THE EQUIPMENT GROUNDING SYSTEM SHALL CONSIST OF A CONTINUOUS CONDUIT INSTALLATION AND A GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR. THIS GROUNDING CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT OR RACEWAY WITH THE FEEDER OR BRANCH CIRCUIT CONDUCTORS. THIS GROUNDING SHALL BE EXTENDED FROM THE HOUSING OF EVERY ELECTRICAL LOAD, THROUGH PANELBOARD STATIC GROUNDING BUSES, TO THE STATIC GROUNDING BUS IN THE MAIN PANEL. THE GROUNDING BUS SHALL BE BONDED TO THE GROUNDING NEUTRAL BAR INSIDE THE MAIN PANEL.

15. LIGHTING FIXTURES

- A. ALL LIGHTING FIXTURES AND LAMPS SHALL BE FURNISHED BY OWNER, UNLESS NOTED OTHERWISE. THIS CONTRACTOR SHALL INSTALL LIGHTING FIXTURES AND LAMPS AS INDICATED ON THE DRAWINGS AND AS SPECIFIED BELOW, COMPLETE WITH HANGERS, PLASTER FRAMES AND ALL OTHER NECESSARY ACCESSORIES.

- B. ALL BALLAST, STARTERS AND LAMP HOLDERS IN FLUORESCENT LIGHTING EQUIPMENT ARE TO BE ELECTRICAL TESTING LABORATORIES, UNDERWRITERS LABORATORIES AND CERTIFIED BALLAST MANUFACTURERS APPROVED. ALL BALLAST FOR FLUORESCENT FIXTURES SHALL BE OF THE HIGH POWER FACTOR TYPE AND SHALL BE GENERAL ELECTRIC "MAXI-MISER II" OR ADVANCED MARK III. WHERE OCTRON LAMPS ARE SPECIFIED PROVIDE APPROPRIATE BALLASTS.

- C. THIS CONTRACTOR SHALL VERIFY THE FINAL CEILING AND FINISH SCHEDULES TO INSURE THE PROPER INSTALLATION AND MOUNTING OF FIXTURES AND SHALL COORDINATE BEFORE MAKING SUBMITTALS.

16. TIMECLOCKS

- A. TIMECLOCKS SHALL BE 24 HOUR, 7 DAY , DAY SKIPPER TYPE AS MANUFACTURED BY TORK, INTERMATIC, OR PARAGON.

17. TELEPHONE SERVICE

- A. THIS CONTRACTOR SHALL INSTALL A TELEPHONE SERVICE CONDUIT AS SHOWN ON THE DRAWINGS AND FURNISH AND INSTALL (1) 2' x 2' x 3/4" PLYWOOD PANEL MOUNTED ON THE WALL AT LOCATION SHOWN ON PLANS.

18. SURFACE METAL RACEWAY

- A. SURFACE METAL RACEWAY SHALL BE TWO PIECE #2100 AS MANUFACTURED BY WIREMOLD. ALL NECESSARY ACCESSORIES REQUIRED TO FIT THE CONFIGURATION SHOWN SHALL BE PROVIDED. RECEPTACLES SHALL BE 120 VAC, 23 AFMS, CATALOG NUMBER #2127G1.

19. FLOOR BOXES

- A. FLOOR BOXES SHALL BE WALKER FOUR COMPARTMENT, ADJUSTABLE COMBINATION BOX WITH TUNNEL AND 2 RECEPTACLE BRACKETS, CATALOG NUMBER RFB-4.

- B. COVERS, RECESSED ACTIVATION WITH CARPET TRIM AND WIRE MANAGEMENT BLOCKS, CATALOG NUMBER RAKM11.

- C. TWO DUPLEX RECEPTACLES SHALL BE INSTALLED IN EACH FLOOR BOX.

20. TENANT SMOKE CONTROL AND FIRE ALARM (AS REQUIRED)

- A. ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO FURNISH AND INSTALL AN AUTOMATIC FIRE ALARM SYSTEM. ELECTRICAL CONTRACTOR SHALL INSTALL HVAC EQUIPMENT AND FIRE ANNUNCIATOR PANEL IN FIRE CONTROL ROOM. THE SYSTEM DESIGN AND ALL EQUIPMENT SHALL CONFORM TO STANDARDS AND REGULATIONS OF FACTORY MUTUAL, NFPA, UL, STATE AND LOCAL BUILDING, FIRE AND SAFETY CODES. ALL SHOP DRAWINGS AND CATALOG CUTS SHALL BE SUBMITTED TO LANDLORD AND LANDLORD'S INSURANCE UNDERWRITER'S FOR REVIEW.

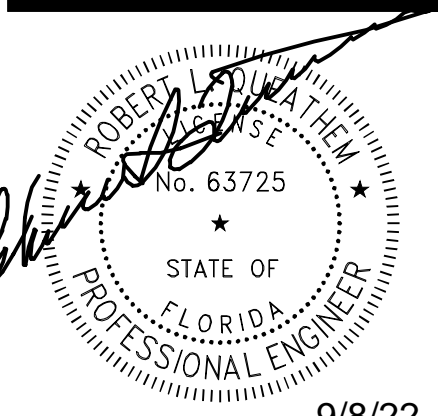
- B. THE MALL WILL PROVIDE AN ADDRESSABLE FIRE ALARM SYSTEM WITH A JUNCTION BOX AT EACH TENANT SPACE. ELECTRICAL CONTRACTOR SHALL PROVIDE A EXIT OF SMOKE DETECTION (ONE DETECTOR PER MAXIMUM 900 SQUARE FOOT) IN ACCORDANCE WITH THE MALL FIRE ALARM SYSTEM. ELECTRICAL CONTRACTOR SHALL PROVIDE A FIRE ALARM CONTROL MODULE FOR FIRE CONTROL.

- C. ELECTRICAL CONTRACTOR SHALL WIRE FROM SMOKE DETECTOR TO THE JUNCTION BOX AND FROM THE CONTROL MODULE TO THE SMOKE EXHAUST FAN AND AIR CONDITIONING UNIT STARTERS. UPON AN ALARM, THE SMOKE EXHAUST FAN SHALL BE ENERGIZED AND THE AIR CONDITIONING UNIT SHALL BE DEENERGIZED.

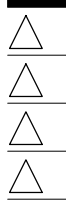
- D. MECHANICAL CONTRACTOR SHALL PROVIDE THE AIR CONDITIONING UNIT AND SMOKE EXHAUST FAN. ELECTRICAL CONTRACTOR SHALL COORDINATE REGARDING INTERLOCK REQUIREMENTS, AS A MINIMUM, A SMOKE DETECTOR PLACED IN THE SUPPLY AIR STREAM AND A HEAT DETECTOR PLACED IN THE RETURN AIR STREAM SHALL BE REQUIRED IN ADDITION TO THE SPACE SMOKE DETECTORS.

END OF DIVISION 16

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9/8/22



CONTRACT DATE: 05/27/22

BUILDING TYPE:

PLAN VERSION:

BRAND DESIGNER:

SITE NUMBER:

STORE NUMBER:

ARCVISION: 220054

