



City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, July 21, 2022, 2:00 PM

Hagler-Mason Conference Room,
2nd Floor

Members of the public may attend the meeting in person. City Council encourages those not fully vaccinated to wear face coverings that cover their nose and mouth.

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. [22-00736](#) ARCHITECTURAL REVIEW BOARD MEETING MINUTES FROM JUNE 16, 2022

Attachments: [06-16-22 ARB minutes](#)

OPEN FORUM

NEW BUSINESS

2. [22-00721](#) 1203 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA
REPLACEMENT WINDOWS AND DOORS AT A NONCONTRIBUTING
STRUCTURE

Attachments: [Images](#)
[Application Packet Updated 7.14.2022](#)

3. [22-00732](#) 226 N. SPRING STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
REAR ADDITION TO A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet 7.6.2022](#)

4. [22-00735](#) 322 E. INTENDENCIA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HR-2 / WOOD COTTAGES
REAR ADDITION TO A NONCONTRIBUTING STRUCTURE
- Attachments: [Images](#)
 [Application Packet 7.6.2022](#)
5. [22-00739](#) 606 E. GADSDEN STREET, UNIT B
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
EXTERIOR RENOVATIONS TO A CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet Updated 7.14.2022](#)
6. [22-00727](#) 422 N. 7TH AVENUE
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHR-2
CONSTRUCTURE OF AN ACCESSORY DWELLING UNIT AT A
CONTRIBUTING STRUCTURE
- Attachments: [Florida Master Site File](#)
 [Images](#)
 [Application Packet 7.1.2022](#)
7. [22-00728](#) 209 S. ALCANIZ STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1 / WOOD COTTAGES
NEW CONSTRUCTION
- Attachments: [Images](#)
 [June 2022 Materials](#)
 [Application Packet 7.1.2022](#)
8. [22-00738](#) 501 N. ALCANIZ STREET
OLD EAST HILL PRESERVATION DISTRICT / ZONE OEHC-1
NEW CONSTRUCTION
- Attachments: [Images](#)
 [Application Packet Updated 7.14.2022](#)
9. [22-00729](#) 39 E. CHASE STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
VARIANCE
- Attachments: [Images](#)
 [Variance Criteria](#)
 [Variance Application Packet Updated 7.14.2022](#)

10. [22-00722](#) 40 S. PALAFOX STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
ALTERATIONS TO THE FIRST FLOOR FRONT ELEVATION OF A
CONTRIBUTING BUILDING

Attachments: [Florida Master Site File](#)
[Images](#)
[May 2022 Materials](#)
[Application Packet 7.1.2022](#)

11. [22-00741](#) 200 S. PALAFOX PLAZA
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
NEW CONSTRUCTION OF AN ENTRANCE CANOPY

Attachments: [Images](#)
[Application Packet Updated 7.14.2022](#)

12. [22-00724](#) 410 AND 412 S. PALAFOX STREET
PENSACOLA HISTORIC DISTRICT AND PALAFOX HISTORIC
BUSINESS DISTRICT / ZONE HC-2
EXTERIOR RENOVATIONS TO A CONTRIBUTING STRUCTURE

Attachments: [Florida Master Site File](#)
[Images](#)
[Application Packet 7.1.2022](#)

13. [22-00733](#) 11 E. GARDEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
NEW CONSTRUCTION

Attachments: [Images](#)
[Application Packet Updated 7.14.2022](#)

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00736

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

Architectural Review Board Meeting Minutes from June 16, 2022



MINUTES OF THE ARCHITECTURAL REVIEW BOARD

June 16, 2022

MEMBERS PRESENT: Chairperson Salter, Vice Chairperson Mead, Board Member Courtney, Board Member Fogarty, Board Member McCorvey, Board Member Yee, Advisor Pristera

MEMBERS ABSENT: Board Member Ramos

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Digital Media Specialist Johnston, Help Desk Technician Russo, Assistant City Attorney Lindsay

STAFF VIRTUAL: Development Services Director Morris, Assistant Planning and Zoning Manager Cannon

OTHERS PRESENT: Michael and Anita Williams, Tim Daniel, Bill and Kathy Winter, Sarah Sisson, Steven Steck, Tosh Belsinger, Aaron Ebent Chad Henderson

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:03 p.m. with a quorum present.

APPROVAL OF MINUTES

Board Member Fogarty made a motion to approve the May 19, 2022, minutes, seconded by Board Member Courtney, and it carried 5-0.

OPEN FORUM - None

NEW BUSINESS

Item 2

221 S. 9th Avenue

PHD / HC-1

New Accessory Structure

Action Taken: Approved.

Elizabeth and Stephen Steck are requesting approval for a 12' x 17' garden shed which will be in the far rear yard of the property and behind the primary structure. Overall, the shed will be visibly screened by fencing and trees and should not be visible from the street. Materials include Hardi lap siding, vinyl windows with simulated divided lites, a 5v-crimp metal roof, and Hardi panel

222 West Main Street, Pensacola, Florida 32502
www.cityofpensacola.com

double doors. Since the shed will be set on of skids, a row of monkey grass will be planted along the base to hide any gap. Colors will be from Benjamin Moore's historic collection and include a Plymouth Brown body with Branch-Port Brown trim.

Historic Preservation Planner Harding clarified that the siding had been changed to board and batten Hardie and distributed images of what the final product would look like.

Mr. Steck presented to the Board and added that board and batten is being used since that is what is on the back of the primary structure. They wanted to tie in the shed as much as possible. The color palette is also very similar. Board Member Fogarty liked the changes and asked in the colors were directly related to the house. Mr. Steck stated that they were very similar and related to the brick but was a bit different from the trim. **With no further questions Board Member Fogarty moved to approve the application as submitted. Board Member Courtney seconded the motion and it carried 5-0.**

Item 3 **114 E. Gregory Street** **PHBD / C-3**

Addition of a window at a contributing structure.

Action taken: Approved.

Kevin and Cheri Hogan are requesting approval to install a new window on the south side of a contributing structure. The work will open a past filled in space and the new window will be one over one bronze aluminum to match the existing.

Ms. Sisson presented to the Board and stated that the owners wanted to reopen a window which had been previously bricked over and tried to match the other windows. There may be some corbeling that may appear as the brick is being removed. If so, the width of the window may change. Chairperson Salter stated that the packet shows a lot of care to open the window and that the architect had done a wonderful job in the application. **Board Member Courtney made a motion to approve as submitted. Board Member Yee seconded the motion and it carried 5-0.**

Item 4 **226 N. Spring Street** **PHBD / C-2A**

Conceptual review for an addition to a contributing structure.

Action Taken: Conceptually approved.

Tim Daniels is requesting conceptual review for a proposed rear addition to a contributing structure. The addition has been designed to communicate with existing shed roofs on the rear and front, and in a way that does not detract from the elevation on West Wright Street. The project will have siding with a matching profile, a brick veneer base with recessed sections, matching windows and shutters, and a matching shingle roof. Since this is for conceptual review, final plans showing any changes and all new materials will follow at a future meeting.

Mr. Daniels presented to the Board and provided hardcopies shows clarifications to the stonework on the front porch and some to the back to match. Everything else will match the main house with brick. While designing the project, he did not want to impact the main house and wanted to design an additional that could be easily added or later removed without much impact to the historic home. Chairperson Salter thought the approach of the addition was very respectful to the existing structure. He questioned the roof pitch which appeared to be between the two existing shed roofs (front and rear) in slope. Mr. Daniels stated that was correct so there would not be able issues with water intrusion, and it fit well with the rear windows. It was 2.5/12 though he was open to changed in the final draft if need be. Chairperson Salter did not think a change was necessary after hearing the reasoning. Board Member Yee thought the applicant had done

a good job and that the addition looked as if it was always there. Board Member Yee confirmed that the roofing would match, and Mr. Daniels said that the intent was for it to match the existing dimensional shingles.

Board Member Fogarty made a motion to conceptually approve as submitted. Board Member McCorvey seconded the motion and it carried 5-0.

Item 5

312 E. Intendencia Street

PHD / HC-1

Conceptual review for new construction.

Action taken: Conceptually approved with comments.

Bill and Kathy Winter are requesting conceptual review for a new single-story single-family residence with an accessory structure attached by an open breezeway. This project received a Variance in February to increase the maximum allowable rear yard coverage and to reduce the required west side yard setback. The conceptual site plans comply with that board order. The drawings depict a board and batten home on slab foundation and covered with a standing seam metal roof. The foundation shows false brick piers set between a recessed stucco-finished background to give the appearance of a historic cottage. Hardie-trimmed columns frame the front porch and windows are 2/1 with operable shutters. Since this item is for conceptual review, the application will return with final plans, materials, and colors.

Mr. and Mrs. Winter presented to the Board. Chairperson Salter thought the massing of the home was appropriate for the area. There were a few items he wanted to discuss for consideration in the final drawings. From the street presence, one difference in this house was that the front door was set back as opposed to being on the street. There are a couple of instances where this exists, so it is not unprecedented. In looking at the plans, he understood why it was designed in this way. These comments were just for consideration though and were not a requirement to be addressed. Chairperson Salter also pointed out the horizontal trim along the bottom of the house appeared thicker in some areas, and thinner in some. He would like some consideration in how that is treated. On historic homes, sometimes there is no trim band and terminates at the foundation wall and the thinner trim is just at the porches. Or when there is trim, sometimes the corner trim comes down and breaks the two. There is also the option of having a thinner profile of horizontal trim that goes all the way around the house for consistency. Advisor Pristera said that having the door set back so far was a little odd, but the floor plan clearly showed why. Having the front porch up front helped and worked well. He liked the front porch feeling. He asked that the design of the garage door be looked at and that it blends in with the house since it will be seen. Perhaps a carriage door style would work. Board Member Yee added to Chairperson Salter's comments on the lower trim band would be to change the porches to concrete slab since that is seen on a lot of historic homes. There is already the block stem wall and the brick piers so if the edge of a concrete slab porch was brought out to overhang the stem wall conditions, he thought it would look appropriate. It was also relatively maintenance free. Board Member Fogarty suggested that the front door could be brought up one bay, but overall, everything was very nice. Board Member Yee suggested that a window may be missing from the plans but that could be addressed in the final review. **Board Member Yee made a motion to conceptually approve making note of the comments that were made during the review. Board Member Courtney seconded the motion and it carried 5-0.**

Item 6

209 S. Alcaniz Street

PHD / HC-1

Conceptual review for new construction.

Action taken: Conceptual approval with comments.

Michael and Anita Williams are seeking final review and approval for a new single-family residence. The new Victorian-style home will have finished floor elevation of 2'-8" and will be two-story with a maximum height of around 30'. Materials include a brick veneer base, fiber cement lap siding and shake siding, vinyl double hung windows, wood handrails with turned spindles, and a paver ribbon drive. The applicant would like to use either custom or antique wood doors and exterior lighting fixtures and is requesting that those products follow in an abbreviated review once found. The existing fence is planned to remain, and the existing curb cut will be reused.

Historic Preservation Planner Harding stated that he had received a written notice requesting that the review be changed from final review to conceptual review. Mr. Williams confirmed that was correct.

Mr. and Mrs. Williams presented to the Board. Mr. Williams asked to have some preliminary clarifications on window patterns and final review requirements. Chairman Salter stated that a one over one window for this style of house would be appropriate and addressed the level of detail required for a complete final packet regarding materials. He believed there were some proportional issues with the front of the house and the turret element since it was not a true turret. In his opinion, it was combining two traditional elements of a folk Victorian to create one that was unique. Mr. Williams stated that was correct. Chairperson Salter stated that a lot of Victorians have a bay window element that sit on the edge and even go up two stories, but they often stop at the main roof line. The turret reads as being too skinny. This district does not have many original Victorians. If the turret were to remain, he thought there should be some adjustments to its proportion so that it's a little wider or that it might be made into an octagonal element once it's wrapped around the side. Mr. Williams understood and agreed. He asked with the width constraints of the lot, could the turret come out from the side another foot and a half? Chairperson thought it would be possible to bring the turret out a little bit. Looking at the site plan, he wondered if it could be brought out of the corner a little bit, to stick out and wrap back into the house, it may help. Having a hipped roof behind the turret may help as well and would keep with a folk Victorian style. In taking that back to the architect, he is more than welcome to contact Advisor Pristera or Chairperson Salter to work through it to get something that Mr. Williams is happy with and something that fits in with the district. Chairperson Salter also commented on the second-floor cantilevered extension. On a house like this, there would typically be brackets. There is also a decorative element applied to the fascia that could have some form a decorative bracket or corbel to tie in with the house.

Advisor Pristera stated that he met with the applicant and architect and brought up several examples of existing Victorians with turrets. He suggested a bigger bay with a gable on it. One of one window was appropriate in Victorians. Several Victorians are within the district, but most of them had been moved into the district from elsewhere. The original house was a Creole Cottage. The existing iron fence was not original.

Mr. Williams could see how the bay window would be less challenging and could fit in well with the district. He also wanted to find an old door to use on the front and stained glass to hang on the inside of the windows. Board Member Courtney stated that there were several ways to attach stained glass to interior of windows. Advisor Pristera and staff commented that the use of an antique door would be a call by the Building Official since a Florida product approval number or engineering report will be needed.

Board Member Mead arrived.

Board Member mead stated that he had a chance to review the packet very carefully. He found the cupola on top of the tower is difficult and it appear more of an Italianate style. Overall, eclectic is widely used in this area, so mixtures of styles can be done. However, this has more of a Victorian-Italianate style, but that does not carry to the rest of the elevations. It should be more incorporated into the roof forms. Overall, the front façade should work. The cupola is too flat and should be more pointed, a little more gothic if the Victorian theme is to be used. The shingle siding treatment is appropriate for a Victorian.

Item 7	39 E. Chase Street	PHBD / C-2A
Demolition of a noncontributing structure		
Action taken: Approved		

Mr. Henderson provided an overview of the East Garden District plan. Board Member Mead pointed out that it was a noncontributing structure, and its review was not contingent on replacement plans per Sec. 12-3-10(1)j. He found that the building did not have any historical significance per the section of ordinance.

Item 7 **39 E. Chase Street** **PHBD / C-2A**
Conceptual review for new construction.

Chad Henderson and Tosh Belsinger are requesting conceptual review of a new hotel. The proposed new construction will be a Hilton Tapestry and will consist of nine stories. The first floor will be a lobby, restaurant, and kitchen, and the second floor will consist of two ballrooms, a meeting room, and fitness room. Floors two through eight will be guest rooms, and the ninth floor will have a rooftop restaurant and bar. This review includes a conceptual site plan, floor plans and building elevations along with detailed renderings. Although the renderings show the greater East Garden District plan, this review is only for the hotel building and site. Façade materials were chosen to complement the historic commercial district with precast stone and brick being the primary elements. Since this is for conceptual review, a final review with more information on specific materials will follow.

Mr. Ebent presented to the Board and provided an architectural overview of the proposed hotel building. Chairman Salter stated that this is a very exciting project and that this section of town needed an addition like this. In regards to the hotel design, he had several comments. Since the building sits on the corner (Jefferson and Chase), and since the front of the building is identified as being on Jefferson, the Chase Street side appears to be a service elevation with mechanical screening on the second floor. Chase Street is one-way and is somewhat of an exit street out of Pensacola as opposed to an entrance. Keeping that in mind, he didn't have an issue with how it is laid out but would like to see further consideration on how the mechanical screening and the Chase Street elements are addressed since much of it will be visible, both from the street level and from the elevated roadways. He wanted this elevation to have a lot of care. Chairperson Salter also spoke to the middle masonry sections. He appreciated the masonry element and wanted to know if there was any thought into having some additional brick detailing such as recesses or on exaggerating the details a bit. The building is not trying to be historic which is ok. But the detail elements in our existing historic buildings are not minor so the exaggerated details give our existing historic buildings a monumental feel. Chairperson Salter asked if consideration could be given to these thoughts going forward so that the mass and monumentality of the masonry middle section could relate in a way to nearby historic buildings.

Board Member Mead echoed Chairperson Salter's comments. The south side of the building spoke to and feels like Pensacola. The Jefferson Street side with the large awning did not so much. It was clear that the building was opening from the inside out in terms of the fenestration. From the ARB perspective, he was looking for a way to open the building up from the outside in so that it can be appreciated and be an amenity to the city. He also echoed comments about the treatment of the service areas but turning the corner with the limestone and with the strong vertical elements spoke to the federal courthouse building. We need to make sure we're relating the building to how citizens would want to experience the building from the outside looking in. Board Member Mead stated that he would almost like to see more balcony treatment than awning on the Jefferson Street side. Having walkout areas, especially in the meeting areas, would be an amenity from the standpoint of the use of those areas from the inside out. It may not make sense to wrap it around the corner on the Chase side but recessed in from the corners will provide an amenity to the use and to the streetscape. The building is a little too monumental at the low level. Monumental works up high, but not so much at the lower level. On the height – Board Member Mead asked if there were exceptions and staff clarified that there were, but only for non-occupiable spaces and Sec. 12-3-62 was referenced. Mr. Ebent clarified that most of the height exceeding 100 feet was mechanical space. Board Member Mead was amenable to the height, especially if it were for service areas. He liked the top as it was an interesting juxtaposition. Advisor Pristera really like the building and looked forward to seeing development on this block. For once, it wasn't an entire block being developed at once and was nice to see individual buildings being built on separate parcels. He echoed the Board's comments and emphasized that the north and east elevations were the weakest sides. They would be seen from Chase Street and other areas, and they should be considered. There was originally planned to be a parking garage on the east side. Mr. Belsinger addressed the Board and clarified the parking solutions for the project. They are advancing a surface parking lot behind this building which will be heavily landscaped. There are also conversations with the city regarding off-site parking. Advisor Pristera recommended some treatment to the east wall; maybe recessed areas which will provide an aesthetic in the meantime. Mr. Ebent clarified that the east side was situated along a zero-lot line, so windows were not an option. Board Member Yee echoed the comments of the Board and was excited for this project. Board Member Mead agreed that Chase Street was an exit corridor and understood the north elevation being sparser. However, the top of

the building above the street level is very visible from the Interstate 110 flyover. From that perspective, it would be very helpful to have a rendering of what people will see as they're driving into Pensacola. Advisor Pristera mentioned that this building will be one of the main things that people see, so we don't want the two weakest sides hurting the project.

Board Member Mead moved to approve with the comments to be addressed in the final submission. Board Member Yee seconded the motion and it carried 6-0.

ADJOURNMENT – With no further business, the meeting adjourned at 3:44 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Sarah", with a stylized flourish at the end.

Historic Preservation Planner Harding
Secretary to the Board



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00721

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

1203 N. Barcelona Street
North Hill Preservation District / Zone PR-1AAA
Replacement Windows and Doors at a Noncontributing Structure

BACKGROUND:

Eric Todd Alford is requesting approval to renovate the exterior of a noncontributing structure. The scope of work will include:

- Replacing all aluminum windows with wood clad windows;
- Replacing the damaged vinyl rear door with a wood clad door; and
- Replacing the front door with a wood clad door.

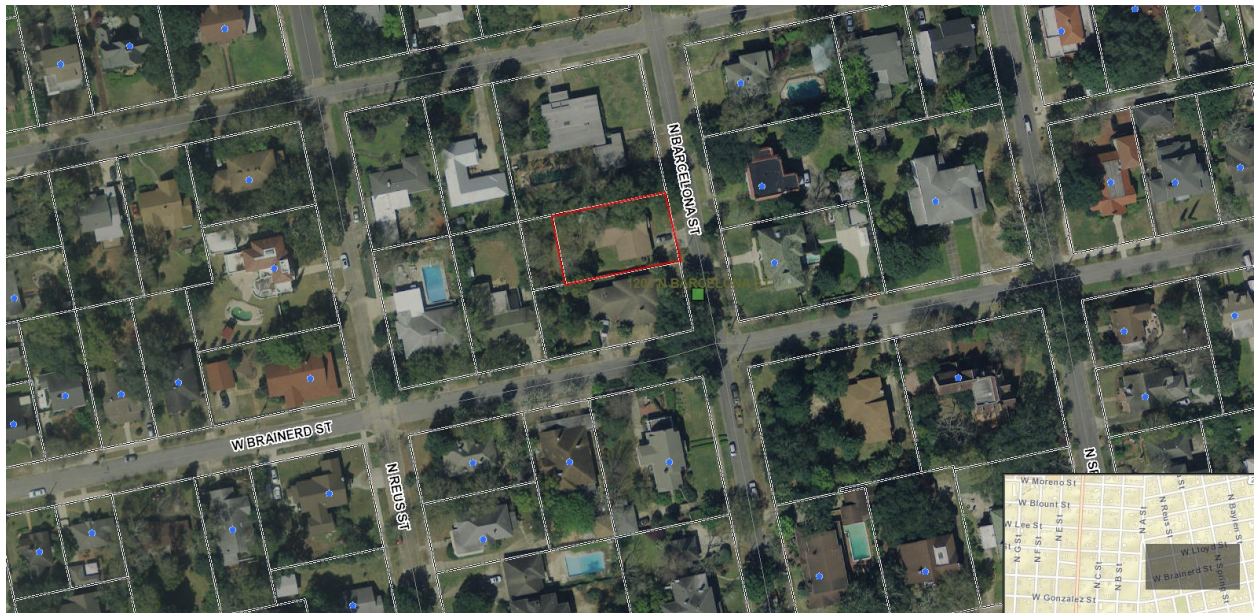
This work will upgrade the windows and doors with impact units for insurance purposes and many of the existing windows are either broken or inoperable. This packet includes site photographs, a site plan showing where the windows and doors will be replaced, and details on the proposed products.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(2)g North Hill preservation district, Renovations to noncontributing structures

1203 N. Barcelona Street



**Architectural Review Board Application
Full Board Review**



Application Date: 6/4/22

Project Address: 1203 N. Barcelona St. Pensacola FL 32501
 Applicant: Eric Todd Alford
 Applicant's Address: 1365 Upland Crest Ct. Gulf Breeze FL 32563
 Email: todd@arcadiaicr.com Phone: 850-982-5797
 Property Owner: Eric Todd Alford

District: ☒ PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD
 (If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

- Replace all aluminum windows with wood clad windows
- Replace damaged vinyl rear door with wood clad door
- Replace front door with wood clad door
- Replacements are all impact units for insurance purposes
- Multiple windows are inoperable with broken glass panes.

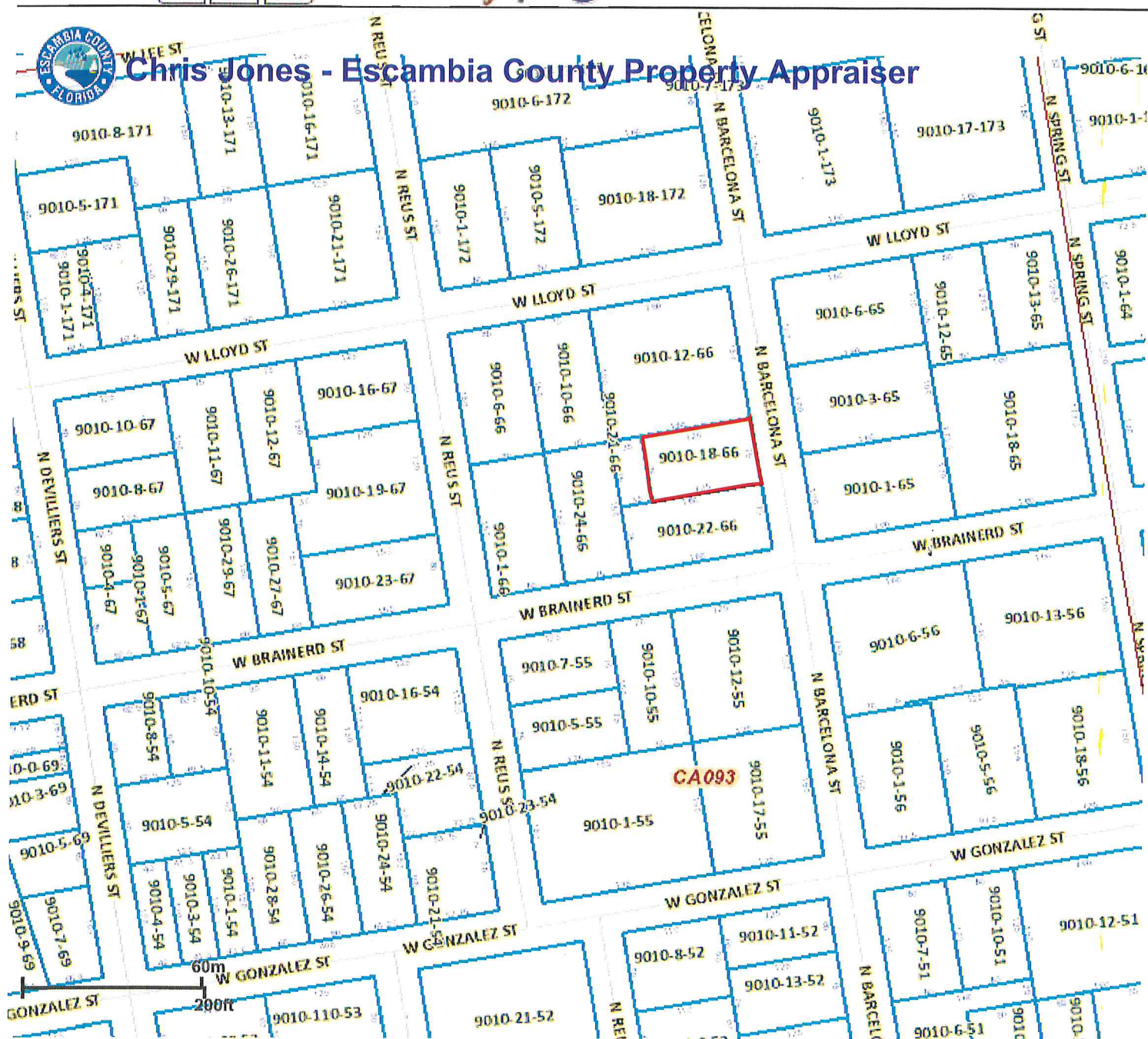
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Eric Todd Alford
 Applicant Signature

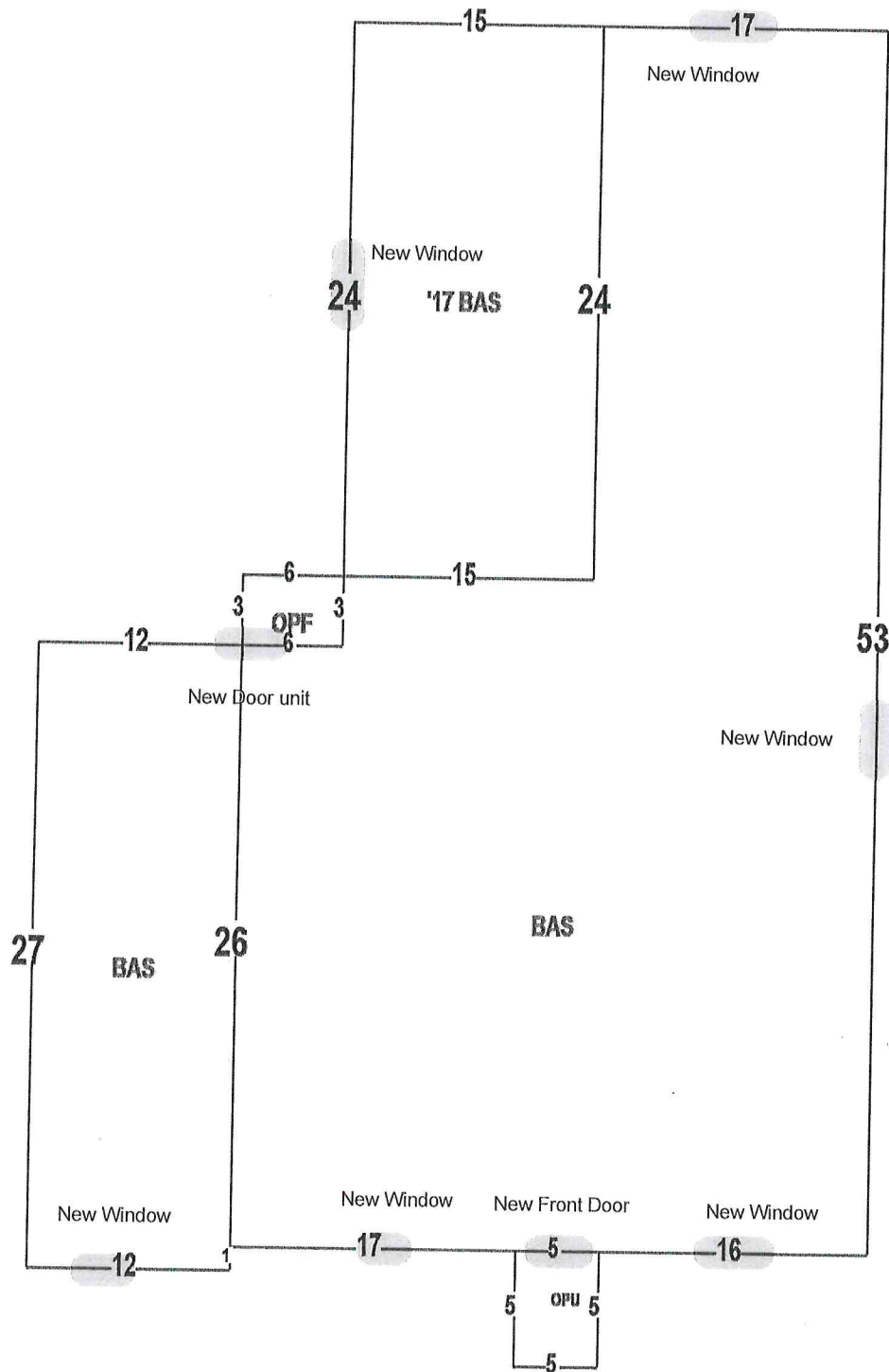
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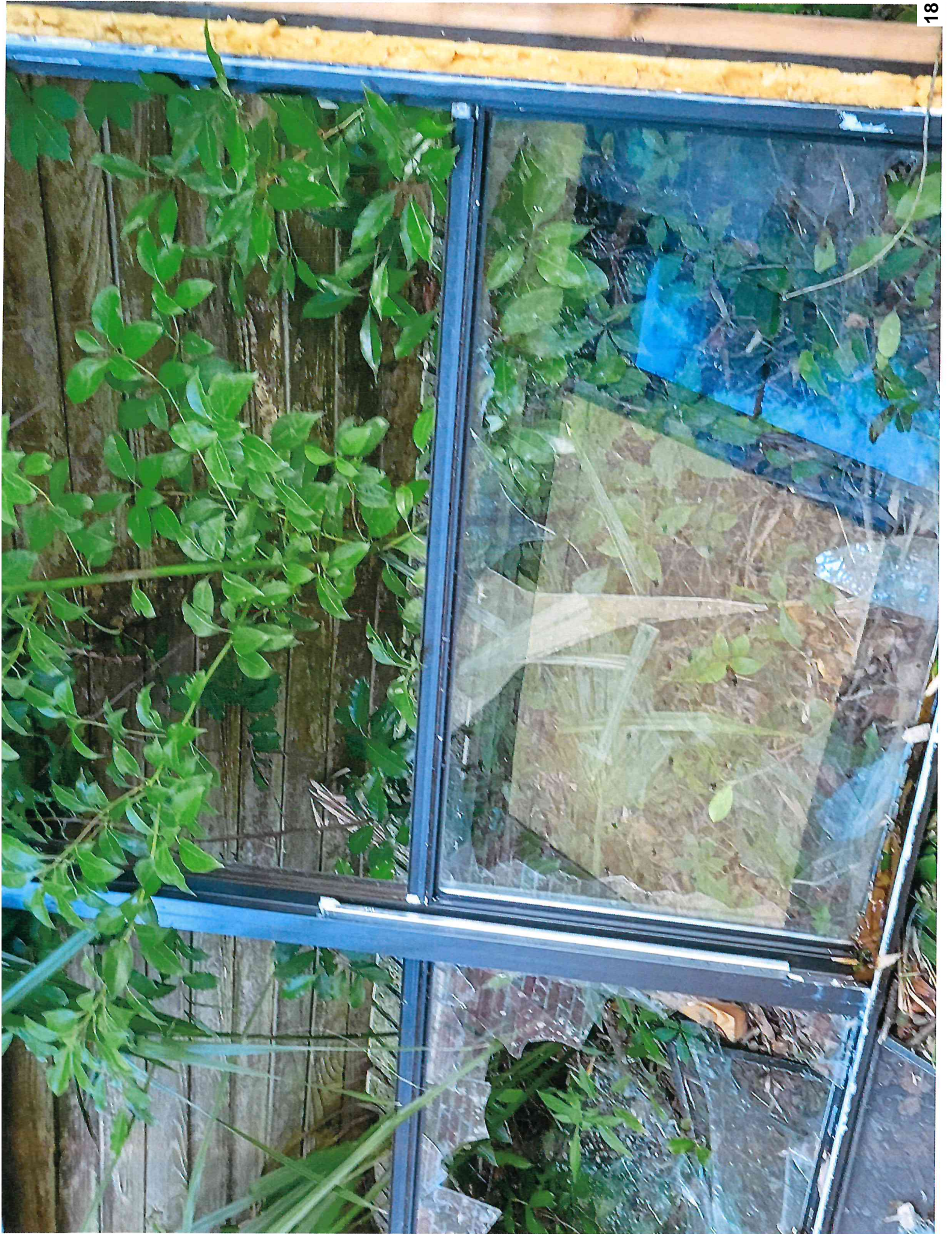


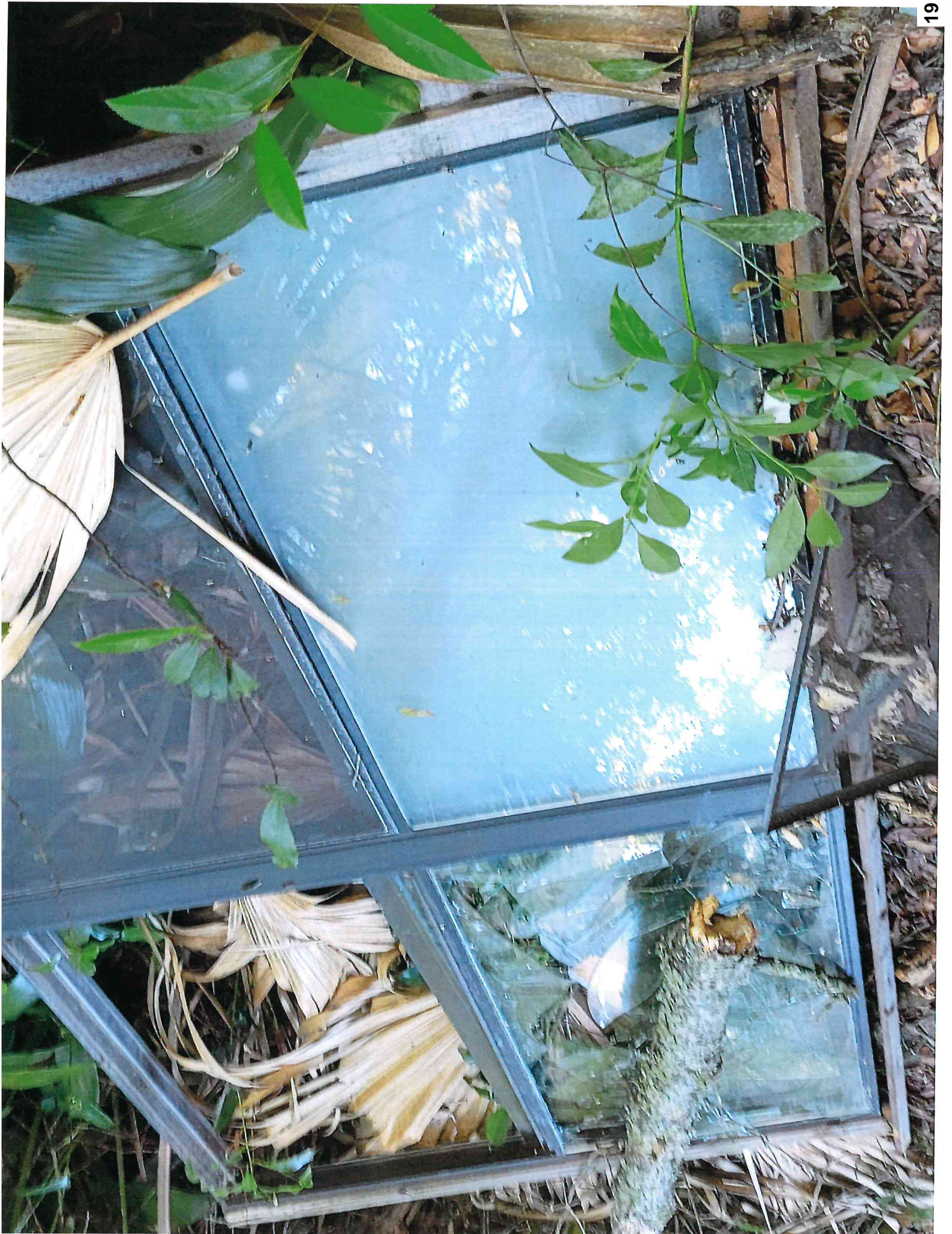
Chris Jones - Escambia County Property Appraiser



Escambia County Property Appraiser
131551000









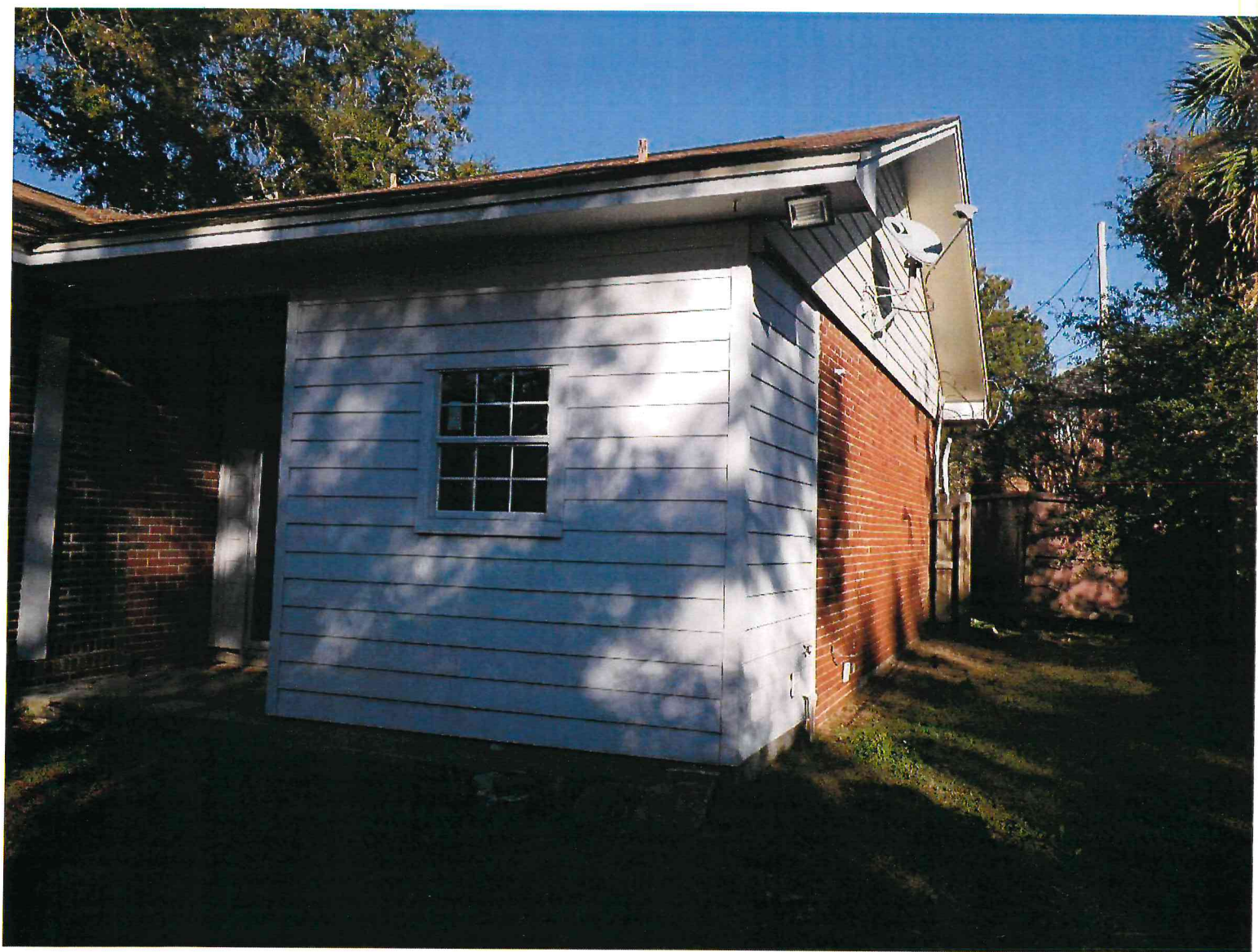






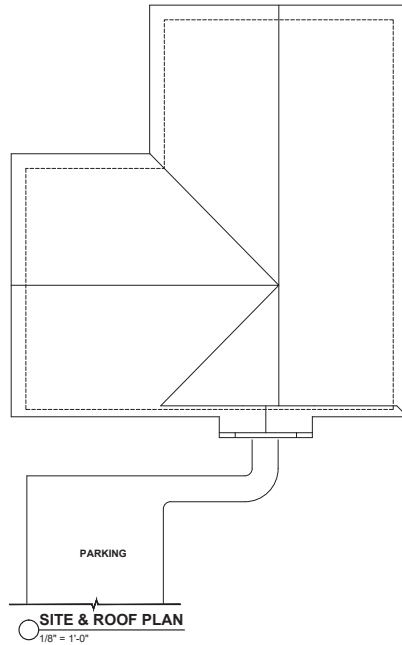






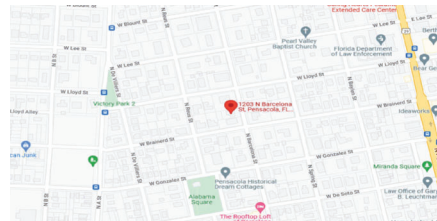


SITE AND ROOF PLAN



LOCATION

VICINITY MAP



GENERAL NOTES

1. DO NOT SCALE DRAWINGS. IF NO DIMENSIONS ARE GIVEN CONTACT THE ARCHITECT FOR CLARIFICATION.
2. IF THERE IS ONLY ONE COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS SHALL BE ON SITE, THE SUPERINTENDENT SHALL BE FAMILIAR WITH THE CONTENTS OF THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
3. THESE CONSTRUCTION DOCUMENTS REPRESENT THE DESIGN INTENT OF THE ARCHITECT BASED ON CURRENTLY KNOWN INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REQUESTING MODIFICATIONS OF THE CONSTRUCTION DETAILS TO ACHIEVE ARCHITECT'S DESIGN INTENT.
4. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES RELATED TO EXISTING CONDITIONS OR FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION.
5. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND PROTECTION OF ERECTION BRACING AND SHORING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND REMOVAL OF ALL SHORING AND BRACING. CONTRACTOR SHALL PROVIDE AND MAINTAIN THE ERECTION AND FINISHING OF THE STRUCTURE SHALL NOT BE DESIGNED AS A STAIRCASE UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SHORING AND BRACING NECESSARY TO MAINTAIN THE STRUCTURE UNTIL THE STRUCTURE IS COMPLETE AND READY FOR FINISHING CONSTRUCTION.
6. CONTRACTOR MUST THOROUGHLY SHOW OR NOTE ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.
7. SEAL ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.
8. ALL DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE, WHEN NO SIMILARITY CAN BE DETERMINED, CONTRACTOR SHALL CONSULT WITH ARCHITECT FOR CLARIFICATION.
9. THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE SITE WHENEVER ANY WORK IS BEING PERFORMED.
10. CONTRACTOR IS RESPONSIBLE FOR WATER PROOFING THE ROOF.

APPLICABLE CODES	
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91	92
93	94
95	96
97	98
99	100

- [illegible]

PROJECT TEAM

PROJECT DESCRIPTION

SHEET INDEX

- A0 COVER
- A1 FLOOR PLANS
- A2 ELEVATIONS AND SECTIONS
- A3 INTERIOR ELEVATIONS

PROJECT SUMMARY

BARCELONA RESIDENCE

1203 N Barcelona St, Pensacola, FL 32501-3002.
OWNER: ASHLEY ALFORD.

[illegible]

PROJECT
Barcelona Residence

OWNER
Ashley Alford

PROJECT ADDRESS
1203 N Barcelona St,
Pensacola, FL
32501-3002.

CONTENT
AS INDICATED

SCALE
AS INDICATED

DRAWN BY
SE

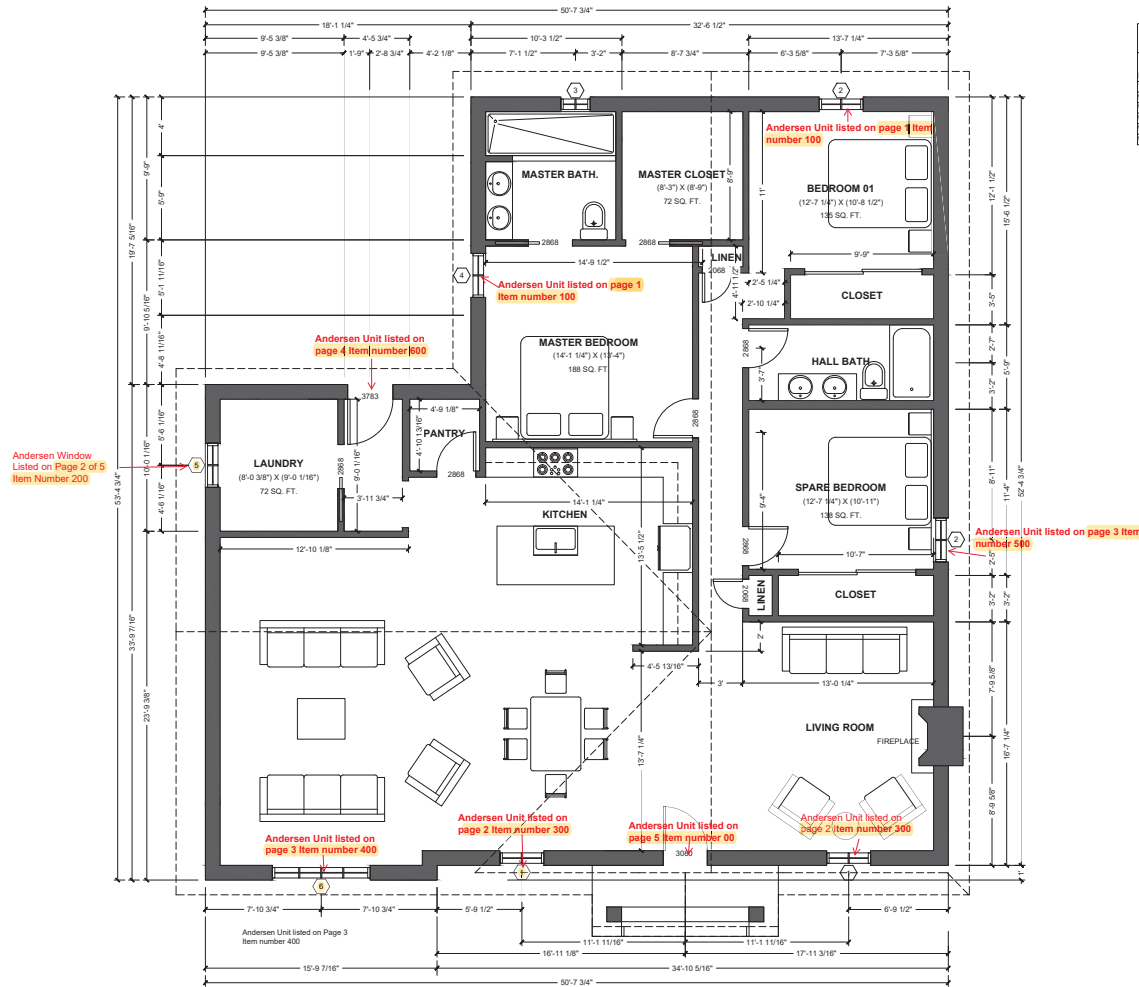
DATE
4/13/22

PROJECT #

A0



NUMBER	RO WIDTH	RO HEIGHT
WD-01	36"	72"
WD-02	36 1/2"	65 1/2"
WD-03	26"	26"
WD-04	36"	72"
WD-05	29"	36 1/2"
WD-06	66"	84"



FLOOR PLAN
1/4" = 1'-0"

WINDOW / DOOR REPLACEMENT DIAGRAM

[illegible]PROJECT
Residence

OWNER
Ashley Alford

PROJECT ADDRESS
1203 N Barcelona St,
Pensacola, FL
32501-3002.

CONTENT
AS INDICATED

SCALE
AS INDICATEDDRAWN BY
SE

DATE
4/13/22

PROJECT #

A1

SOLD BY:

 Hammer Building Supply LLC Freeport
 95 Industrial Ct
 Freeport, FL 32439-3141
 Fax: 850-213-3068

SOLD TO:
CREATED DATE

5/27/2022

LATEST UPDATE

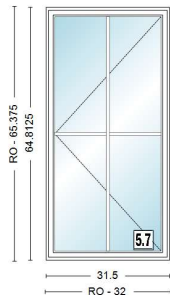
7/12/2022

OWNER

Richard Hensor

Abbreviated Quote Report

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Arcadia / Ashley	Barcelona	2380555	Ashley	

ORDER NOTES:
DELIVERY NOTES:

Item
Qty
Operation
Location

100

2

Left

2856 4 Lite Black/ Black

RO Size = 32" x 65 3/8"

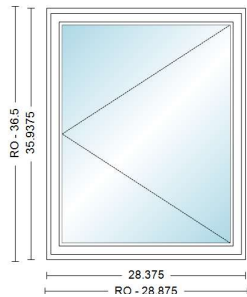
Unit Size = 31 1/2" x 64 13/16"

CX155, Unit, 400 Series Stormwatch Casement, Installation Flange, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Left, Hinge with Wash Mode, Dual Pane Low-E4 SmartSun Impact Resistant Series Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, Black, Pine w/White, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Traditional Trim Stop Profile Stainless Glass / Grille Spacer, Traditional Folding, Black, Corrosion Resistant Hardware, DP/PG Upgrade, Black, Full Screen, Aluminum

Hardware: PSC Traditional Folding Black PN:9031748

Insect Screen 1: 400 Series Stormwatch Casement, CX155 Full Screen Aluminum Black PN:9174601

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.33	0.2	YES	A1	21.7980	59.9610	9.07660



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
200	1	Left	2530 1 Lite Black/ Black LAUNDRY

RO Size = 28 7/8" x 36 1/2"

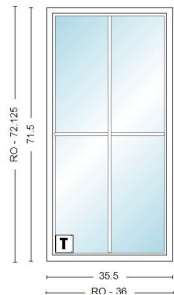
Unit Size = 28 3/8" x 35 15/16"

CW13, Unit, 400 Series Stormwatch Casement, Installation Flange, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Left, Hinge with Wash Mode, Dual Pane Low-E4 SmartSun Impact Resistant Series Argon Fill Traditional Trim Stop Profile Stainless Glass / Grille Spacer, Traditional Folding, Black, Corrosion Resistant Hardware, DP/PG Upgrade, Black, Full Screen, Aluminum

Hardware: PSC Traditional Folding Black PN:9031748

Insect Screen 1: 400 Series Stormwatch Casement, CW13 Full Screen Aluminum Black PN:9174580

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.32	0.21	YES	A1	18.6730	31.0860	4.03100	



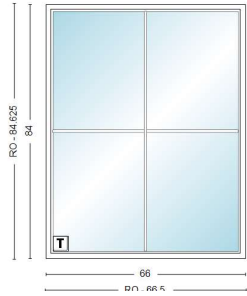
<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
300	2	Fixed	3060 4 Lite Fixed - Front

RO Size = 36" x 72 1/8"

Unit Size = 35 1/2" x 71 1/2"

FLX 2' 11 1/2"X5' 11 1/2", Unit, 400 Series SW Specialty Rectangle, Black Exterior Frame, Pine w/Black - Painted Interior Frame, Fixed, Dual Pane Low-E4 SmartSun Tempered Impact Resistant Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, Black, Pine w/Black, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Traditional Trim Stop Profile Stainless Glass / Grille Spacer

Unit #	U-Factor	SHGC	ENERGY STAR	Comments:
A1	0.27	0.21	YES	



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
400	1	Fixed	5670 4 Lite Fixed - Front

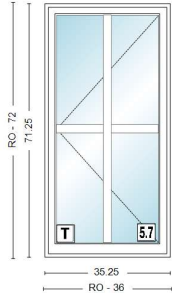
RO Size = 66 1/2" x 84 5/8"

Unit Size = 66" x 84"

FLX 5' 6"X7', Unit, 400 Series SW Specialty Rectangle, Black Exterior Frame, Pine w/Black - Painted Interior Frame, Fixed, Dual Pane Low-E4 SmartSun Tempered Impact Resistant Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, Black, Pine w/Black, Chamfer Exterior Grille Bar/ Chamfer Interior Grille Bar, 3/4" Grille Bar, Traditional Trim Stop Profile Stainless Glass / Grille Spacer

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.27	0.21	YES

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
500	1	Left	Egress Bed A-Series 4 Lite Casement

RO Size = 36" x 72"

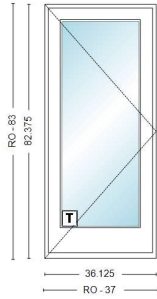
Unit Size = 35 1/4" x 71 1/4"

ACW3060, Unit, A Series Stormwatch Casement, Impact Product Performance, 4 9/16" Frame Depth, Standard Flange, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Pine w/Black - Painted Interior Sash/Panel, Left, Dual Pane Low-E4 SmartSun Tempered Impact Resistant Argon Fill Full Divided Light (FDL) Grille Alignment Required, Horizontal, A Series Casement Windows, 2 Wide, 2 High, Specified Equal Light Pattern, Black, Pine w/Black, 2 1/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional Folding, Black, Corrosion Resistant Hardware, Black, Full Screen, Aluminum

Hardware: ACW Traditional Folding Black PN:0400213

Insect Screen 1: A Series Stormwatch Casement, ACW3060 Full Screen Aluminum Black

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.3	0.15	YES	A1	27.4375	65.6250	12.4800	



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
600	1	Right	Rear Door

RO Size = 37" x 83"

Unit Size = 36 1/8" x 82 3/8"

FWHID31611, Unit, A Series SW Patio Doors 1 Panel-FWH, Impact with PG Upgrade Product Performance, 4 9/16" Frame Depth, Factory Assembled, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Pine w/Black - Painted Interior Sash/Panel, Bronze Appearance, Right, Dual Pane Low-E4 SmartSun Tempered Impact Resistant Argon Fill Stainless Glass / Grille Spacer, Anvers, Satin Nickel, Satin Nickel, Satin Nickel Panel Stop, Exterior Keyed Lock, Corrosion Resistant Locking Mechanism, Black, Full Screen, Fiberglass, Hinged Single

Trim Set 1: FWHID Right Anvers Satin Nickel PN:2578915

Panel Stop 1: FWHID Satin Nickel PN:2579445

Exterior Keyed Lock 1: FWHID RH Anvers Satin Nickel PN:2579457

Insect Screen 1: A Series SW Patio Doors 1 Panel-FWH, 33 25/32" X 79 11/32" FWHID31611 Full Screen Fiberglass Hinged Single Black PN:9129922

Threshold: FWHID31611 Oak w/Screws PN:1207010

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.32	0.16	NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
700	1	Right	Front Entry 3080 Panel Btm Prairie

RO Size = 37" x 96 1/2"

Unit Size = 36 1/2" x 96"

AFDI3080, Unit, E-Series SW Inswing Door-1 Panel-French, With Intermediate Rail and Raised Panel Insert Panel, 4 9/16" Frame Depth, Factory Assembled, Rigid Vinyl w/Integral Vinyl Drip Cap, Dark Bronze Anodized On-Floor Drainage Sill, 4 11/16" Stile Width, 4 11/16" Top Rail Height, 8" Bottom Rail Height, 23 1/4" from Bottom of Panel to Center of Intermediate Rail, ASTM, Black 2604 Exterior Frame, Black 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Right, Dual Pane Laminated Low-E4 SmartSun Outboard Annealed Inboard Tempered Outboard, .090 Clear Color PVB Laminate Argon Fill Full Divided Light (FDL) 9-Light Division, 9 Total Grille Lights, Prairie A Pattern, Black, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, Hardware Preparation, Anvers, Satin Nickel, White, Exterior Keyed Lock

Trim Set 1: AFDI Right Anvers Satin Nickel PN:2578915

Exterior Keyed Lock 1: AFDI RH Anvers Satin Nickel PN:2579457

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	---	---	NO	A1	32.0000	92.3750	20.5278

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

400 SERIES



**THE WINDOW CONTRACTORS
TRUST THE MOST***

*2020 Andersen brand surveys of U.S. contractors.

DESIGNED & BUILT FOR THE COAST

From their time-proven Perma-Shield® exterior cladding to their impact-resistant glass, our 400 Series windows with Stormwatch® Protection are designed to withstand nature's worst and still look their best for years to come.

ENERGY-SAVING GLASS

Many 400 Series windows with Stormwatch Protection have options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit andersenwindows.com/energystar for more information and to verify that the product with your glass option is certified in your area.



TIME-TESTED, DURABLE AND LOW-MAINTENANCE PERMA-SHIELD EXTERIORS

Our exclusive Perma-Shield system gives our 400 Series windows a tough, protective shell that safeguards the wood inside. It repels water, resists dents* and stays beautiful for years to come. It's a well-proven asset in coastal areas, as it resists salt spray and sea air and never needs painting*.

KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type, seals out drafts, wind and water, whatever the weather.



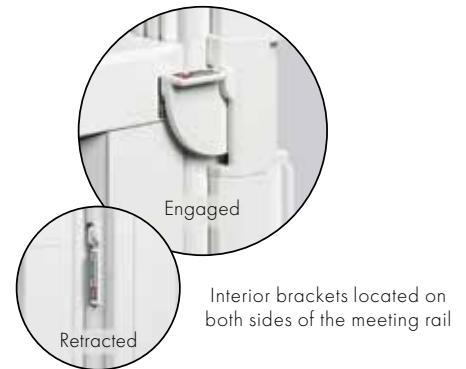
Exterior brackets

PERFORMANCE GRADE (PG) UPGRADES

Some codes don't require impact-resistant glass. For these situations, Performance Grade (PG) upgrades are available for many standard 400 Series windows. See the product sections in this book for options available by window type.

STRUCTURAL REINFORCEMENTS FOR COASTAL APPLICATIONS

400 Series windows with Stormwatch Protection feature a range of structural enhancements that allow them to withstand harsh weather conditions. Enhancements include impact-resistant glass, high-strength silicone glazing, frame and sash reinforcements, heavy-duty hardware and additional locks.



Interior brackets located on both sides of the meeting rail

SUPERIOR PERFORMANCE

Andersen 400 Series Stormwatch Protection products are available with impact-resistant glass and structural upgrades to meet the tough building codes of coastal areas.

They are designed to satisfy:**

- Large missile impact test ASTM/E1886/E1996
- TAS 201, 202, 203 (except tilt-wash double-hung)
- AAMA/WDMA/CSA 101/1.5.2/A440-08 &-11

PG70
PERFORMANCE

CL 15 Impact PG-70/-70
(AAMA/WDMA/CSA 101/1.5.2/A440-08 &-11)

*Visit andersenwindows.com/warranty for details.

**See your local code official for building codes requirements in your area.

BEST-IN-CLASS GLASS

Choose the exact glass you need to comply with virtually any coastal building code requirement.* Many 400 Series windows have glass options that meet ENERGY STAR® v. 6.0 criteria in all 50 states. Visit andersenwindows.com/energystar to verify that the product and glass selected meet ENERGY STAR criteria in your area.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4®	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun**	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
Clear Monolithic SmartSun	○ ○ ○ ○	● ● ○ ○	● ● ● ●	● ● ○ ○
Gray Monolithic SmartSun**	○ ○ ○ ○	● ● ● ○	● ● ○ ○	● ● ● ○

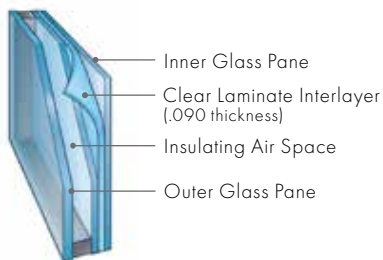
Center of glass performance only. Ratings based on glass options as of January 2021. Visit andersenwindows.com/energystar for ENERGY STAR map and NFRC total unit performance data.



*See your local code official for building code requirements in your area.

**Low-E4 Sun impact-resistant glass and gray monolithic SmartSun impact-resistant glass each satisfy Florida Turtle Code.





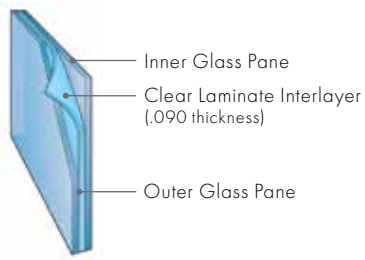
HIGH-PERFORMANCE IMPACT-RESISTANT GLASS

Low-E4® impact-resistant glass provides all the benefits of monolithic impact-resistant glass, while adding an insulating air space that helps keep homes cool in the summer and warm in the winter.

Low-E4 SmartSun™ impact-resistant glass delivers the benefits of Low-E4 impact-resistant glass, plus it helps shield homes from the sun's heat and filters out 95% of harmful UV rays while letting sunlight shine through.

Low-E4 Sun impact-resistant glass is tinted for maximum protection from the effects of intense sunlight and provides all the benefits of Low-E4 impact-resistant glass.

A white interlayer and obscure glass are also available, see your Andersen supplier for details.



MONOLITHIC IMPACT-RESISTANT GLASS

Monolithic SmartSun impact-resistant glass is reinforced with a clear laminate interlayer sandwiched between two panes of glass to resist impact, forced entry and unwanted noise. Choose from clear monolithic or gray monolithic that's tinted to further block heat caused by sunlight.

A white interlayer is also available, see your Andersen supplier for details.



HIGH-PERFORMANCE GLASS FOR NON-COASTAL WINDOWS WITH PERFORMANCE GRADE (PG) UPGRADES

Low-E4 glass provides an insulating air space that helps keep homes cool in the summer and warm in the winter.

Low-E4 SmartSun glass delivers the benefits of Low-E4 glass, plus it helps shield homes from the sun's heat and filters out 95% of harmful UV rays while letting sunlight shine through.

Low-E4 Sun glass is tinted for maximum protection from the effects of intense sunlight and provides all the benefits of Low-E4 glass.



Storm Protection
helps protect homes
against extreme weather
and flying debris



Sound Reduction
reduces exterior noise for
a quieter environment



Safety
provides forced-entry
resistance for peace of mind



Sun Protection
helps reduce damaging
UV rays from coming
into the home



Helps Save Energy
helps shield homes from the sun's
heat, keeping homes cool and
lowering energy costs

HEATLOCK® TECHNOLOGY

Applied to the room-side glass surface, HeatLock coating reflects heat back into the home for improved performance.

TURTLE GLASS

Turtle glass requirements can be achieved by using Low-E Sun glass or gray monolithic glass options, see your Andersen supplier for details.

TIME-SAVING FILM

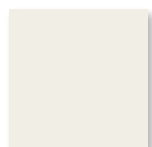
We protect our products during delivery and construction with translucent film on the glass that peels away for a virtually spotless window.



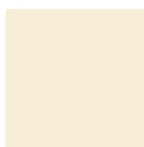
EXTERIOR OPTIONS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. Add curb appeal with Andersen® exterior trim, available in eleven colors including those shown below, see page 61 for more information.

EXTERIOR COLORS



White



Canvas



Sandtone



Terratone



Forest Green



Dark Bronze



Black

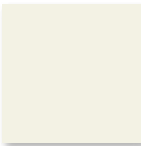
INTERIOR OPTIONS

400 Series window interiors are available in unfinished stain-grade pine or with a long-lasting,* low-maintenance white, dark bronze or black finish.

INTERIOR OPTIONS



Pine



White



Dark Bronze**



Black**

*Visit andersenwindows.com/warranty for details.
**Dark bronze and black interior units have matching exteriors.
Printing limitations prevent exact duplication of colors. See your Andersen supplier for actual color samples.



WINDOW HARDWARE

Window hardware* enhances the overall design of a window and can harmonize with a home's décor. That's why we offer a broad range of hardware styles and finishes.

Casement & Awning



CONTEMPORARY FOLDING

Black | Bright Brass | Gold Dust | Oil Rubbed Bronze
Satin Nickel | Stone | White



TRADITIONAL FOLDING

Antique Brass | Black | Bright Brass | **Distressed Bronze**
Distressed Nickel | Gold Dust | Oil Rubbed Bronze
Satin Nickel | Stone | White



CLASSIC SERIES™

Stone | **White**



ESTATE™

Antique Brass | Bright Brass | Brushed Chrome
Distressed Bronze | Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | Satin Nickel

Folding handles avoid interference with window treatments.

Tilt-Wash Double-Hung



Standard Lock & Keeper

Black | Gold Dust | Oil Rubbed Bronze
Satin Nickel | **Stone** | White

Tilt-Wash Double-Hung with PG Upgrades



Standard Lock & Keeper

Black | **Gold Dust** | Stone | White

Stone is standard with natural interior units.
White comes with prefinished white interiors.
Other finishes optional.



Lock & Keeper

ESTATE

Antique Brass | **Bright Brass** | Brushed Chrome
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Polished Chrome | Satin Nickel

Optional Estate lock and keeper reduces the clear opening height by 19/32" (15). Check with local building code officials to determine compliance with egress requirements.

Bold name denotes finish shown.

HARDWARE FINISHES

Antique Brass	Black	Bright Brass	Brushed Chrome	Distressed Bronze	Distressed Nickel
Gold Dust	Oil Rubbed Bronze	Polished Chrome	Satin Nickel	Stone	White

*Hardware is sold separately except standard double-hung hardware.
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.
Printing limitations prevent exact replication of finishes.
See your Andersen supplier for actual finish samples.

GRILLES

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern and we'll even work with you and your customers to create custom patterns.



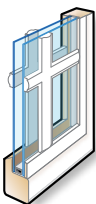
Grilles shown on standard tilt-wash double-hung windows with a single lock. Tilt-wash double-hung windows with Stormwatch® Protection have two locks. Some grille patterns are not available in all configurations and for all products. See product sections in this guide for standard grille patterns available for a specific window. Standard, specified equal light and custom patterns shown.



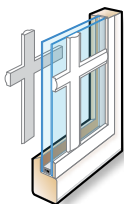
Permanent exterior
Permanent interior
with spacer

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.



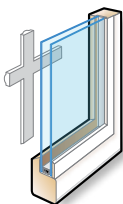
Permanent exterior
Permanent interior



Permanent exterior
Removable interior

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.



Removable interior



Finelight
Grilles-
Between-
the-Glass

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured 3/4" (19) profile. For windows with PG upgrades, they feature contoured 1" (25) and 3/4" (19) profiles.

Grille Bar Widths



3/4" (19)

Actual size shown.



7/8" (22)



1 1/8" (29)



2 1/4" (57)

Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.

CASEMENT & AWNING WINDOWS

Alignment Grid	16-17
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Grille Patterns	25
Custom Sizing	26-27
Window Details	28-29
Joining Details	30
Combination Designs	66
Product Performance	71

CUSTOM SIZING
in 1/8" (3) increments 
CUSTOM SIZES

Dimensions in parentheses are in millimeters.

FEATURES

FRAME

- A** A seamless one-piece, rigid vinyl frame cover is secured to the exterior of the frame to protect the exterior of the frame from moisture and maintain an attractive appearance while minimizing maintenance.
- B** Venting units have a full-length, corrosion-resistant exterior frame snigger, adding rigidity to the unit.
- C** The seamless rigid vinyl cover extends 1 3/8" (35) around the perimeter of the unit, creating a flange to help seal the unit to the structure.
- D** Wood frame members are treated with a water-repellent preservative for long-lasting* protection and performance.
- E** Interior stops are unfinished pine. Low-maintenance prefinished white, dark bronze and black interiors are also available.

SASH

- F** Rigid vinyl encases the entire sash – a vinyl weld protects each sash corner for superior weathertightness. It maintains an attractive appearance and minimizes maintenance.
- G** Wood core members provide excellent structural stability and energy efficiency.
- H** Flexible bulb weatherstrip or vinyl closed-cell foam weatherstrip is factory installed on the perimeter of the sash.
- I** A hinge-side sash stiffener bar has been added to the sash of C55 and C66 height windows. On nonventing windows, the sash is held in place with sash clips that use screws instead of standard staples, providing the rigid frame and sash connection that is needed to withstand greater design pressures.

GLASS

- J** A glazing bead and silicone provide superior weathertightness and durability.
- K** Silicone is applied to the full perimeter of the glass on the interior side of the pane to add strength and stability.



- J** Consult local building codes for glass most suitable to your area. High-Performance options include:
 - Low-E4® Impact-Resistant glass
 - Low-E4 HeatLock® Impact-Resistant glass
 - Low-E4 Sun Impact-Resistant glass
 - Low-E4 SmartSun™ Impact-Resistant glass
 - Low-E4 SmartSun HeatLock Impact-Resistant glass

Tempered and obscure glass options are available. Contact your Andersen supplier.

Standard and tempered Low-E4, Low-E4 HeatLock, Low-E4 Sun and Low-E4 SmartSun glass options are available for windows with PG upgrades.

Monolithic laminated options include:

- Clear Monolithic SmartSun Impact-Resistant glass
- Gray Monolithic SmartSun Impact-Resistant glass

Obscure glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

HARDWARE

Smooth Control Hardware System

The smooth control hardware system employs a worm gear drive for easy operation. Units with a wash mode have hinges that move the sash away from the frame to provide easier glass cleaning. Hardware option and finish must be specified. Operator handle and cover sold separately.

- L** Operators and hinges are attached with additional screws for improved strength and stability.

Single-Actuation Casement Lock

On casement windows, a single-actuation lock easily releases all locking points on casement sash while the reach-out action eliminates binding when closing. The lock handle is offered in finishes that coordinate with your specified hardware option.



Lighthouse indicates differences from standard unit or optional upgrades.



- Some sizes have an additional lock for added reinforcement. C2-C25 sizes have a single lock. C3-C35 sizes have two locks. C4-C6 sizes have three locks.

Awning Sash Locks

Awning sash locks provide an added measure of security and weathertightness. Hardware style and finish options are compatible with Andersen® casement windows to ensure consistency in appearance when used in window combination designs.

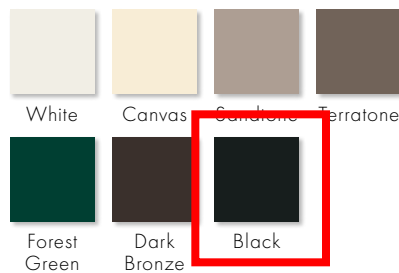
INSTALLATION SYSTEM

- M** The installation system includes 1 1/2" (38) by 3" (76) stainless steel installation clips for additional reinforcement. The installation clips are screwed to the frame and fastened to the rough opening for secure installation. Optional 6" (152) installation clips are available for use with factory-applied or preapplied extension jambs.

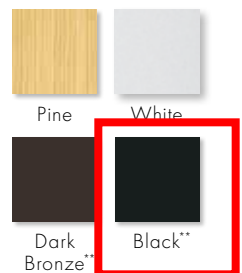


EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE OPTIONS

Sold Separately



CONTEMPORARY FOLDING

Black | Bright Brass | Gold Dust
Oil Rubbed Bronze | **Satin Nickel**
Stone | White



TRADITIONAL FOLDING

Antique Brass | Black | Bright Brass
Distressed Bronze | Distressed Nickel
Gold Dust | Oil Rubbed Bronze
Satin Nickel | Stone | White



CLASSIC SERIES™

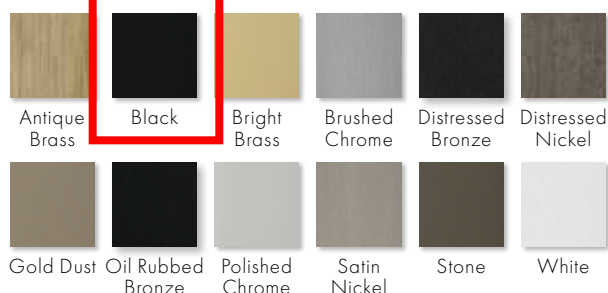
Stone | **White**



ESTATE™

Antique Brass | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | Satin Nickel

HARDWARE FINISHES



*Visit andersenwindows.com/warranty for details.

**Dark bronze and black interiors are only available with dark bronze and black exteriors respectively. Dimensions in parentheses are in millimeters. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples. Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

FRENCHWOOD® PATIO DOORS

CUSTOM SIZING
in 1/8" (3) increments



A-Series
Frenchwood®
Patio Door Overview

SECTION REFERENCE

Frenchwood® Gliding

Table of Sizes.....	130–131
Specifications	131
Grille Patterns	146
Door Details.....	132–133

Frenchwood Hinged Inswing

Table of Sizes.....	134–137
Specifications	138–139
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Door Details.....	140–143

Frenchwood Hinged Outswing

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Frenchwood Sidelights & Transoms

Table of Sizes.....	148–152
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Joining Details.....	156–159
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Product Performance.....	214

Dimensions in parentheses are in millimeters.

FEATURES

FRENCHWOOD® HINGED INSWING PATIO DOORS

Frame

A Frame constructed with a wood core and a fiberglass exterior. This construction produces a rigid frame and a low-maintenance, durable exterior.

B Wood members are treated with a water-repellent preservative for long-lasting* protection and performance.

The interior wood jamb has an extension jamb kerf, making it easy to add interior extension jambs matching wall thicknesses.

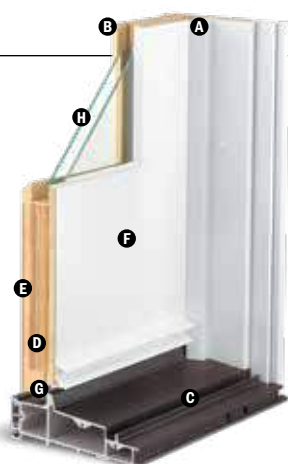
Frenchwood hinged inswing patio doors are available in 4 1/8" (116) and 6 1/8" (167) jamb depths.

Sill

C One-piece fiberglass design provides superior water management. The nonconductive fiberglass construction enhances energy performance, and its superior strength eliminates the need for a sill support.

Slip- and wear-resistant poly bead finish available in either neutral gray or dark bronze color.

A factory-applied drop-nose channel attachment is optional for enhanced water performance. See below for details.



Panel

D Panel stiles and rails are constructed of an engineered LVL core. This LVL core provides strength and helps prevent warping for consistent smooth operation.

E Interior panel surfaces are constructed from premium wood veneer available in pine, maple, oak, cherry, mahogany** and vertical grain douglas fir. All prefinished interior options use water-based paints and stains.

F The exterior of the wood panel is protected with a Flexacron® paint system; this stabilized polyester paint is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous, low-maintenance finish.

G Factory-applied, one-piece (welded corners), compression-type weatherstrip made from a durable thermoplastic material is attached directly to the panel, not the frame, creating a continuous plane around the panel to provide maximum effectiveness against air and water infiltration. This system provides a long-lasting, energy-efficient barrier against wind, water and dust.

Two-panel doors are available with one or two active panels. For doors with one active panel, hinges can be located along either the jamb or astragal.

Adjustable Hinges

Adjustable hinges have ball-bearing pivots for smooth, frictionless movement and feature easy horizontal and vertical adjustments, plus a quick-release feature for easy panel removal. This release

feature is ideal for transporting large units up stairs or to other hard-to-reach areas. Gold dust finish is standard on wood interior doors. For units with a prefinished White interior, white finish hinges are standard. Also available in finishes that coordinate with most hardware.



H Glass

See below for details.

Hardware

Multi-Point Locking System



The Frenchwood hinged patio door has a multi-point locking system with a hook bolt above and below the center deadbolt. This system provides added weathertightness and enhanced security.

Optional Corrosion-Resistant Hardware

Optional corrosion-resistant locking mechanism is available and recommended for applications within two miles of the coast and other harsh environments.*

COMMON FEATURES

Glass

Panels are silicone bed glazed and finished with an interior wood glass stop.

High-Performance dual-pane glass options include:

- Low-E4® tempered glass
- Low-E4 HeatLock® tempered glass
- Low-E4 Sun tempered glass
- Low-E4 SmartSun™ tempered glass
- Low-E4 SmartSun HeatLock tempered glass

For even greater energy performance, triple-pane glass is available in these glass options:

- Low-E4 tempered glass
- Low-E4 Enhanced tempered glass
- Low-E4 Enhanced HeatLock tempered glass
- Low-E4 SmartSun tempered glass
- Low-E4 SmartSun Enhanced tempered glass
- Low-E4 SmartSun Enhanced HeatLock tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and also simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 18 for more details.

Taller Heights

A-Series Frenchwood patio doors and patio door sidelights are available in 10' (3028) heights.



Frenchwood patio doors are available with Stormwatch® protection. For a copy of the Andersen® Coastal Product Guide, go to andersenwindows.com/coastal or contact your Andersen supplier.

Performance Grade (PG) Upgrade Optional Drop-Nose Channel



A factory-applied, patented drop-nose channel is available when higher product performance is required. Drop-nose channel provides enhanced water performance without increasing interior sill height. Shown on a Frenchwood hinged inswing patio door. Details shown for gliding door on page 133 and hinged inswing door on page 139.

* Visit andersenwindows.com/warranty for details.

** Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

"Flexacron" is a registered trademark of PPG Industries, Inc. Dimensions in parentheses are in millimeters.

FRENCHWOOD® PATIO DOORS

FEATURES

FRENCHWOOD® HINGED OUTSWING PATIO DOORS

Frame

A Frame constructed with a wood core and a fiberglass exterior. This construction produces a rigid frame and a low-maintenance, durable exterior.

B Wood members are treated with a water-repellent preservative for long-lasting* protection and performance.

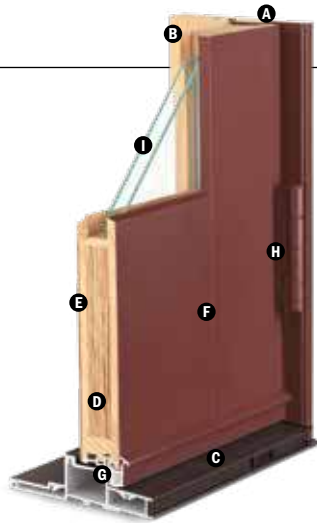
The interior wood jamb has an extension jamb kerf, making it easy to add interior extension jambs matching wall thicknesses.

Sill

C One-piece non-conductive fiberglass construction enhances energy performance, and its superior strength eliminates the need for a sill support. An innovative sill design provides superior water management.

Slip- and wear-resistant poly bead finish available in either neutral gray or dark bronze color.

A factory-applied drop-nose channel attachment is optional for enhanced water performance. See page 146 for details.



Panel

D Panel stiles and rails are constructed of an engineered LVL core. This LVL core provides strength and helps prevent warping for consistent smooth operation.

E Interior panel surfaces are constructed from premium wood veneer available in pine, maple, oak, cherry, mahogany** and vertical grain douglas fir. All prefinished interior options use water-based paints and stains.

F The exterior of the wood panel is protected with a Flexacron® paint system; this stabilized polyester paint is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous, low-maintenance finish.

G Factory-applied one-piece (welded corners), compression-type weatherstrip made from a durable thermoplastic material is attached directly to the panel, not the frame, creating a continuous plane around the panel to provide maximum effectiveness against air and water infiltration. The weatherstripping creates a strong, long-lasting* seal that stands up to harsh weather.

Hinged outswing operating panels are available in either single left- or right-hand active or two-panel active/passive jamb-hinged.

Removable Panels



Removable panels simplify finishing and allow for easy storage during construction. Release tabs are covered with a cap for a clean appearance. The panels can be easily removed with the unique panel release tab on the hinge. This release feature is ideal for transporting large units up stairs or to other hard-to-reach areas.

H The ball-bearing hinges are covered with a corrosion-resistant powder-coat finish. Hinges are color-matched to the panel exterior and can be adjusted up/down and left/right after installation.

① Glass

See page 127 for details.

Hardware

Multi-Point Locking System



The Frenchwood hinged patio door has a multi-point locking system with a hook bolt above and below the center deadbolt. This system provides added weathertightness and enhanced security.

Optional Corrosion-Resistant Hardware

Optional corrosion-resistant locking mechanism and hinges are available and recommended for applications within two miles of the coast and other harsh environments*.

* Visit andersenwindows.com/warranty for details.

** Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

“Flexacron” is a registered trademark of PPG Industries, Inc.

FEATURES

FRENCHWOOD® PATIO DOOR SIDELIGHTS

Frame

Frame constructed with a wood core and a fiberglass exterior. This construction produces a rigid frame and a low-maintenance, durable exterior.

Wood members are treated with a water-repellent preservative for long-lasting* protection and performance.

The interior wood jamb has an extension jamb kerf, making it easy to add interior extension jambs matching wall thicknesses.

Sill

One-piece fiberglass design provides superior water management. The nonconductive fiberglass construction enhances energy performance, and its superior strength eliminates the need for a sill support.

Slip- and wear-resistant poly bead finish available in either neutral gray or dark bronze color.

Panel

Panel stiles and rails are constructed of an engineered LVL core. This LVL core provides strength and helps prevent warping for consistent smooth operation.



Interior panel surfaces are constructed from premium wood veneer available in pine, maple, oak, cherry, mahogany** and vertical grain douglas fir. All prefinished interior options use water-based paints and stains.

The exterior of the wood panel is protected with a Flexacron® paint system; this stabilized polyester paint is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous, low-maintenance finish.

Glass

See below for details.

FRENCHWOOD PATIO DOOR TRANSOMS

Frame

Frame constructed with a wood core and a fiberglass exterior. This construction produces a rigid frame and a low-maintenance, durable exterior.

Wood members are treated with a water-repellent preservative for long-lasting* protection and performance.

The interior wood jamb has an extension jamb kerf, making it easy to add interior extension jambs matching wall thicknesses.

Sash

Available in direct-set or sash-set construction. Direct-set transoms have glass glazed directly into the frame and maximize glass area. Sash-set transoms feature a stationary sash and provide common sight lines with A-Series patio doors.

Frenchwood patio door transoms feature elegant lines that match the Frenchwood patio doors. Available in pine, maple, oak, cherry, mahogany** and vertical grain douglas fir.

Glass

See below for details.

COMMON FEATURES

Glass

Panels are silicone bed glazed and finished with an interior wood glass stop.

High-Performance dual-pane glass options include:

- Low-E4® tempered glass
- Low-E4 HeatLock® tempered glass
- Low-E4 Sun tempered glass
- Low-E4 SmartSun™ tempered glass
- Low-E4 SmartSun HeatLock tempered glass

For even greater energy performance, triple-pane glass is available in these glass options:

- Low-E4 tempered glass
- Low-E4 Enhanced tempered glass
- Low-E4 Enhanced HeatLock tempered glass
- Low-E4 SmartSun tempered glass
- Low-E4 SmartSun Enhanced tempered glass
- Low-E4 SmartSun Enhanced HeatLock tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and also simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 18 for more details.

Taller Heights

A-Series Frenchwood patio doors and patio door sidelights are available in 10' (3028) heights.

StormWATCH PROTECTION

Frenchwood patio doors are available with Stormwatch® protection. For a copy of the Andersen® Coastal Product Guide, go to andersenwindows.com/coastal or contact your Andersen supplier.

Performance Grade (PG) Upgrade Optional Drop-Nose Channel



A factory-applied, patented drop-nose channel is available when higher product performance is required. Drop-nose channel provides enhanced water performance without increasing interior sill height. Shown on a Frenchwood hinged inswing patio door. Details shown for hinged outswing door on page 146.

* Visit andersenwindows.com/warranty for details.

** Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies. "Flexacron" is a registered trademark of PPG Industries, Inc.

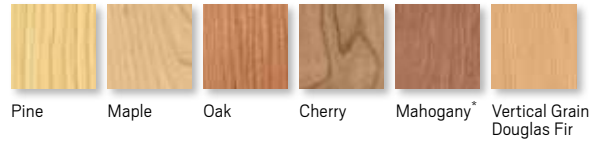
FRENCHWOOD® PATIO DOORS

EXTERIOR



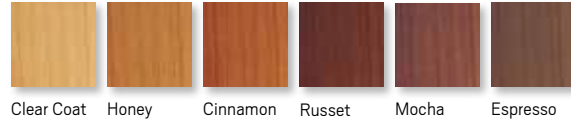
INTERIOR

WOOD SPECIES



FACTORY-FINISHED INTERIORS

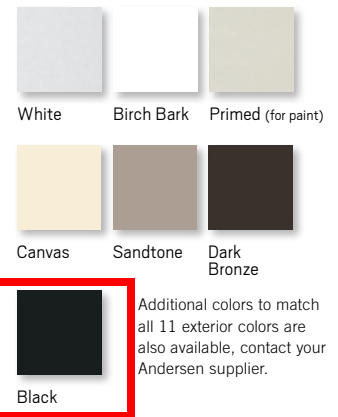
Shown on pine. Available on pine, maple and oak only.



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

PAINTED OPTIONS

Available on pine. Additional colors available.

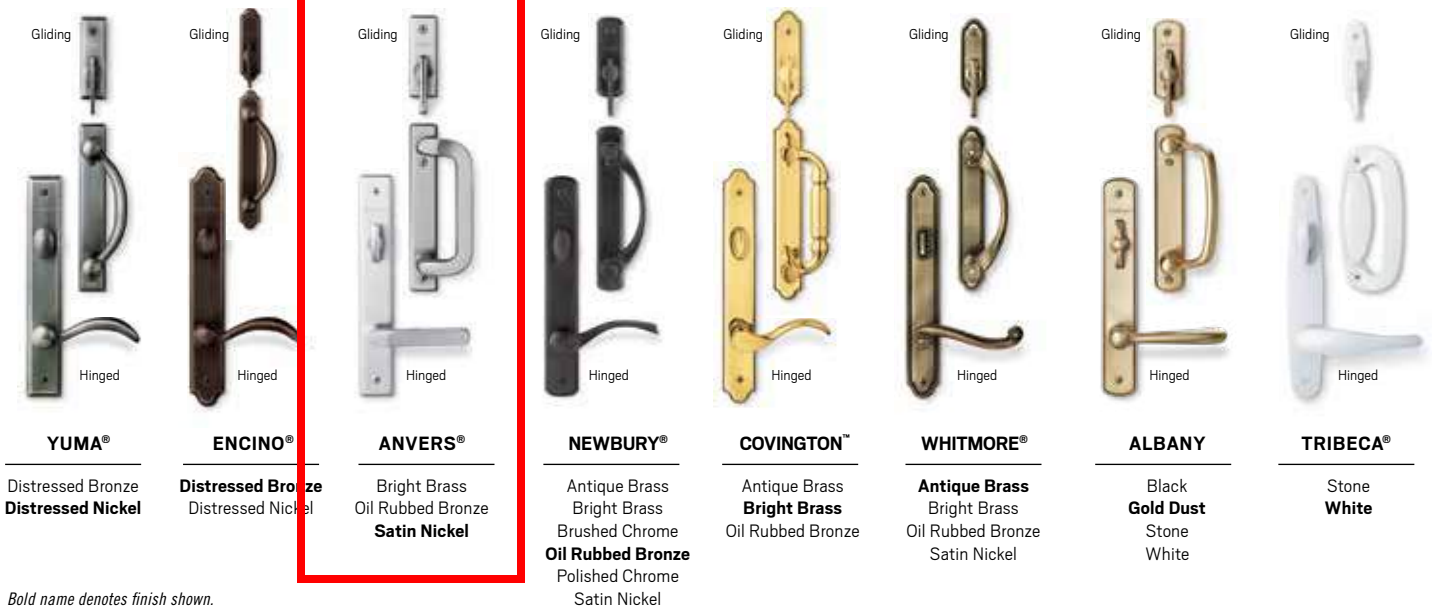


HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

HARDWARE OPTIONS Sold Separately**



Bold name denotes finish shown.

FSB® HINGED PATIO DOOR HARDWARE



* Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

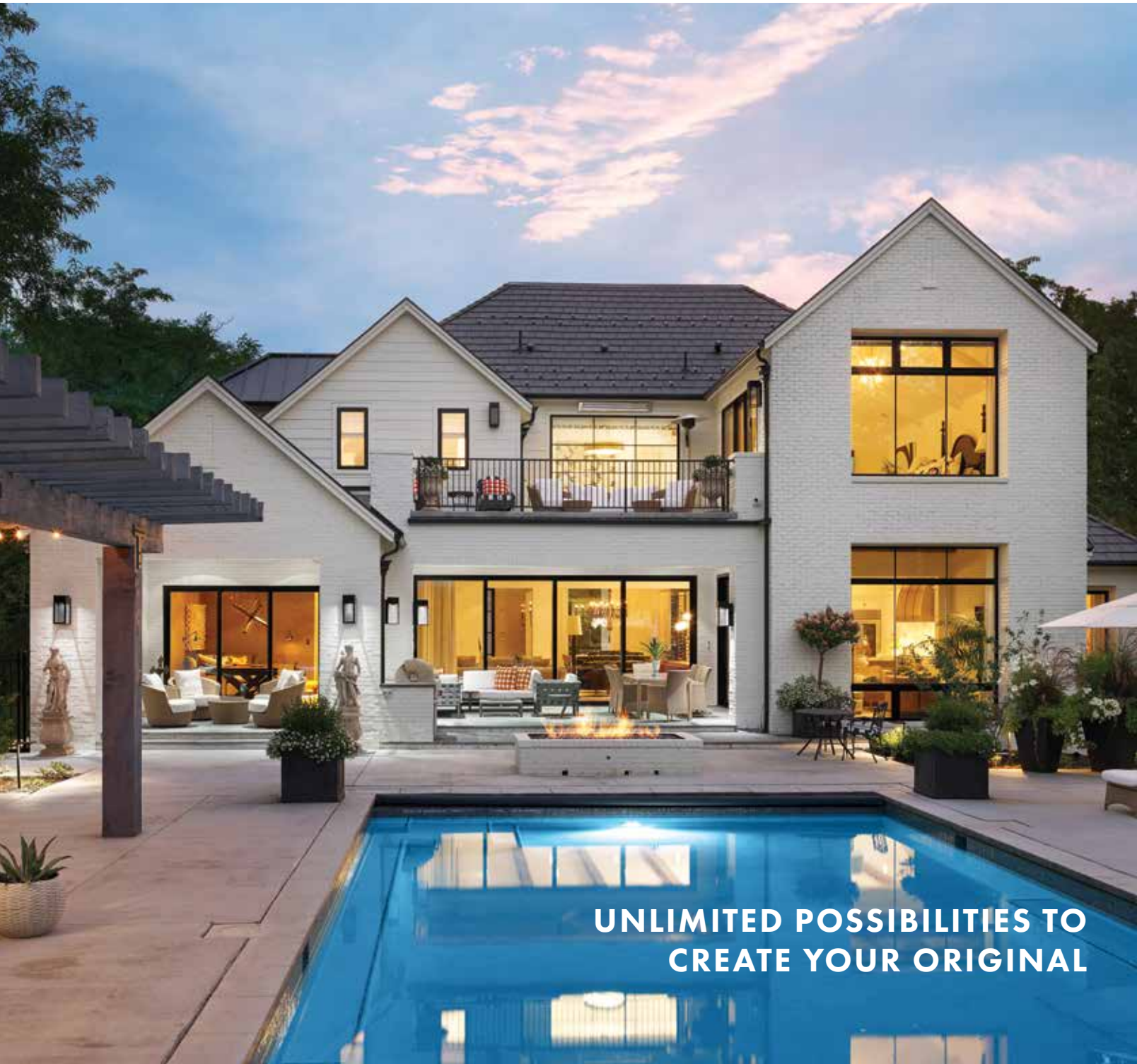
** Matching hinges available in most hardware finishes for inswing patio doors. Mix and match interior and exterior style and finish options are available. Bright brass and satin nickel finishes feature a 10-year limited warranty.

Tribecca and Albany hardware are zinc diecast with powder-coated durable finish, other hardware is solid forged brass. Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

E-SERIES

Architectural Collection



**UNLIMITED POSSIBILITIES TO
CREATE YOUR ORIGINAL**

HINGED PATIO DOORS

FEATURES

HINGED PATIO DOORS

FRAME & PANEL

A Select wood components are kiln dried and treated with water/insect repellent and preservative. Interior wood surfaces are available in pine, mixed grain Douglas fir, cherry, hickory, mahogany*, maple, oak, walnut, alder or vertical grain Douglas fir. Interior surfaces are available unfinished or factory primed. Optional factory-applied finishes are available in a variety of stains and paints.

B Wood components are fitted with aluminum extrusions on the exterior. 50 exterior colors that meet AAMA 2604 and 2605 specifications are available, as well as custom colors. Also available is a selection of seven exterior anodized options.

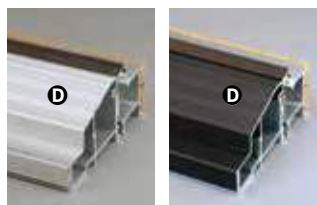
C The frame perimeter consists of a high-quality foam-filled weatherstrip.

Inswing and outswing doors receive a factory-applied vinyl installation flange with drip cap. Some inswing patio doors require an adjustable metal installation flange. Optional aluminum flanges and metal installation clips are available.

SILL

Drainage Sill for Inswing Patio Doors

D Premium grade aluminum inswing sill with an oak threshold. Sills have a built-in drainage channel that allows water to drain away from the interior of the door. A top plate is removable for easy channel cleaning. A polyurethane thermal barrier helps reduce heat loss. Available in clear anodized or dark bronze anodized finish, shown below.



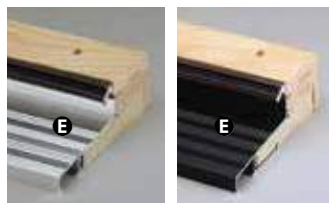
Drainage sills for inswing



Inswing Patio Door with Contemporary Panel

On-Floor Sill for Outswing Patio Doors

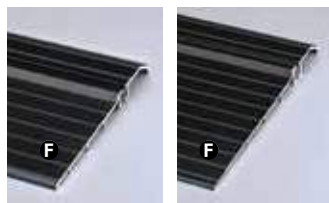
E Premium grade aluminum outswing sill with oak threshold. Outswing door sill is backed with a compression foam weatherstrip. Available in clear anodized or dark bronze anodized finish, shown below.



On-floor sills for outswing

Low-Threshold Sill

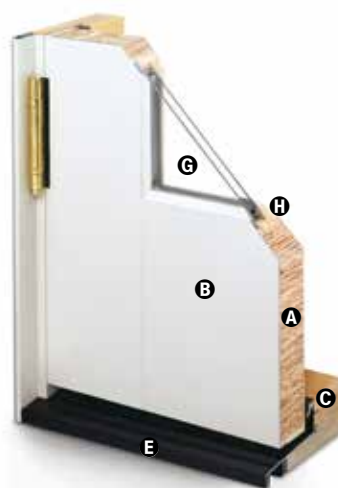
F Aluminum low threshold sill available for outswing doors and inswing doors. Available for inswing doors with jamb depths of 4 7/16" and 6 7/16". Low threshold design provides a smooth transition from interior to exterior and is wheelchair-accessible. A polyurethane thermal barrier helps reduce heat loss. Available in dark bronze anodized finish, shown below.



4 7/16" & 6 7/16" Low-threshold sills for inswing



4 7/16" Low-threshold sill for outswing



Outswing Patio Door with French Panel

GLASS

G High-Performance Low-E4® glass with a low-conductivity spacer. Triple-pane glass, tinted, clear dual-pane, high-altitude glass and other special glazing options are available.

H Glass is fixed in place from the interior with wood stops that can be removed for easy reglazing if necessary. Glass stops available in ovolo (colonial) and contemporary profiles.

HARDWARE

Multi-Point Locking System

Autolatch® stainless steel multi-point locking system locks the panel in three locations to provide a secure, weather-resistant entry system. Some door heights lock the panel in four locations.

Hinges



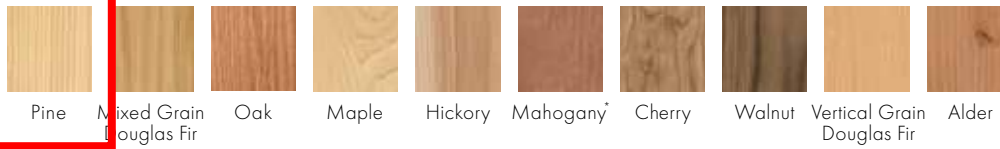
Heavy-duty commercial grade hinges are available in finishes of antique brass, black, bright brass, satin chrome, pewter, gold dust, oil rubbed bronze, bright chrome, stainless steel, and white to go with your handle set. Hinges are complete with matching screws. An innovative hinge shimming system allows for minor adjustments.

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS 50 exterior colors, 7 anodized finishes and custom colors. See exterior colors on page 11.

INTERIOR WOOD SPECIES



Interior custom stains, paints and color matching available.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

All factory-finished options are shown on pine.

Painted options available on pine. Dark bronze and black painted options available on pine or maple. Anodized silver painted option available on maple only.

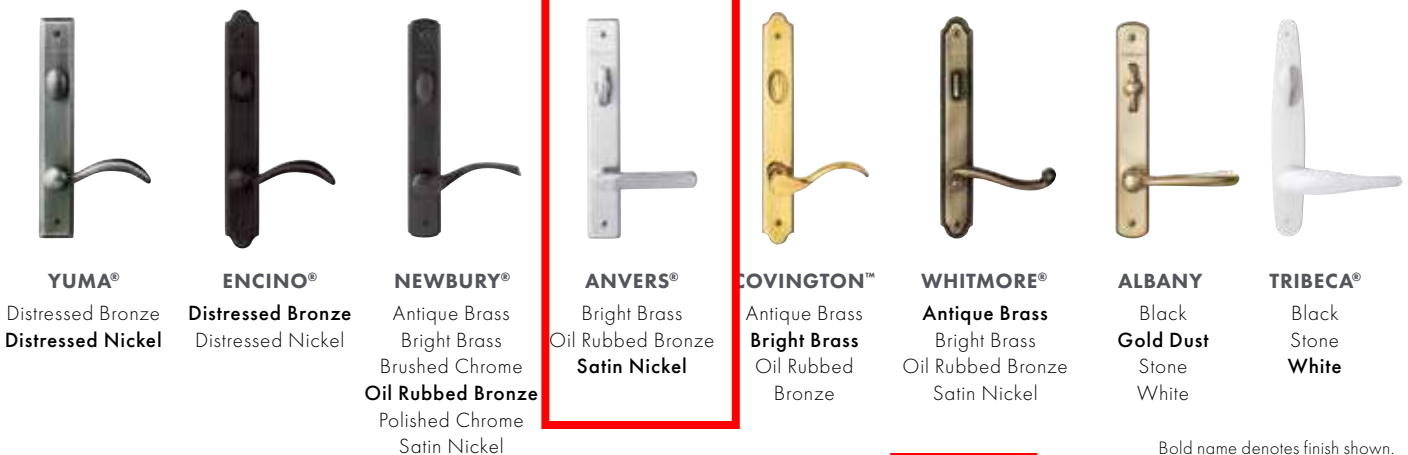
FACTORY-FINISHED INTERIORS



INTERIOR PAINTED OPTIONS

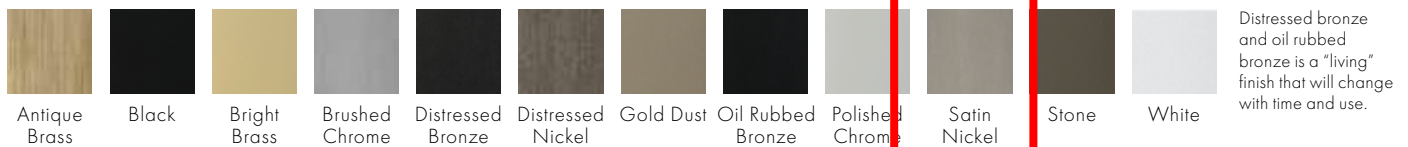


HARDWARE OPTIONS



Bold name denotes finish shown.

HARDWARE FINISHES



Distressed bronze and oil rubbed bronze is a "living" finish that will change with time and use.

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

Matching hinges available in most hardware finishes for inswing patio doors.

Mix and match interior and exterior style and finish options are available, excludes FSB hardware.

Bright brass and satin nickel finishes feature a 10-year limited warranty.

Tribeca and Albany hardware are zinc diecast with powder-coated durable finish, other hardware is solid forged brass.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

FSB® HARDWARE & FINISHES



ACCESSORIES Sold Separately

HINGED PATIO DOORS

HARDWARE

Construction Handle



Temporary construction handle is sent with all hinged patio doors. This handle allows operation during the construction phase, protecting finished hardware from damage or jobsite theft.

Hardware Options

Additional hardware options such as exterior keyed locks and more are also available. Contact your Andersen supplier.

SENSORS

Yale® Assure Lock®

Monitor, lock and unlock from anywhere with the Yale Assure Lock. The sleek keyless lock includes Bluetooth® technology for key-free unlocking and is compatible with Z-Wave® for integration with a wide range of smart home platforms. Available on select hinged doors, see your Andersen supplier for details.

VeriLock® Security Sensors

VeriLock sensors are unique as they detect whether the doors are locked or unlocked* — a feature no other sensors can provide. Available in all hardware finishes.

Open/Closed Sensors

Wireless open/closed sensors are available in four colors.

See page 27 for Smart Home options.

INSECT SCREENS

Retractable Insect Screens



Concealed, retractable insect screen has charcoal fiberglass screen mesh. Available for inswing single or double door units. Insect screen rolls out when needed and retracts into concealed housing when not in use. Available in 50 exterior colors.

Retractable insect screens for outswing doors are field applied to the interior of the door. Available in five colors including white, almond, desert sand, bronze and black.

Hinged Insect Screens for Inswing Patio Doors

Charcoal fiberglass screen mesh fits into an aluminum frame in 50 exterior colors. Provided with a black lockable latch and automatic closer for smooth operation. Available in single or multiple door units. Aluminum screen mesh is also available.

Top-Hung Gliding Insect Screens for Inswing Center Post Patio Doors

Charcoal fiberglass screen mesh fits into an aluminum frame available in 50 exterior colors. Aluminum screen mesh is also available.

PRIVACY OPTIONS

Blinds-Between-the-Glass

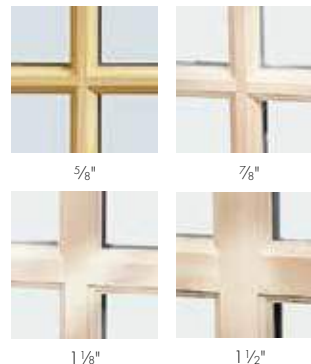


A 5/8" aluminum slat blind mounted between two panes of insulated glass in a dust-free environment. Available in white, tan and almond. Blinds are magnetically controlled and can be tilted or raised and lowered with one cord.** Not available on arch patio doors.

GRILLES

Full Divided Light

Permanent interior and exterior grilles with grille spacer bars between two panes of glass. Available in 5/8", 7/8", 1 1/8", 1 1/2", or 2 1/4" widths and ovolo or contemporary profile. Ovolo profile shown below, not all widths are pictured.



Simulated Divided Light

Permanent exterior and interior grilles without grille spacer bars. Available in 5/8", 7/8", 1 1/8", 1 1/2", or 2 1/4" widths and ovolo or contemporary profile. Ovolo profile shown below, not all widths are pictured.



7/8"

Finelight™ Grilles-Between-the-Glass

Available in 5/8" flat or 1" contoured aluminum profiles. Two-tone colors of pebble tan/colony white, sierra bronze/colony white or forest green/colony white are available on the 1" profile.



5/8" Flat

1" Contoured

Removable Interior Wood Grilles

Removable interior wood grilles are available in a 7/8" width and ovolo or contemporary profiles. Optional surround for removable grille and permanent exterior grilles also available. Ovolo profile shown below.



7/8"

See page 22 for more information on grilles.

*When properly configured and maintained with a professionally installed security system and/or self-monitoring system compatible with Honeywell® 5800 controls. See your Andersen supplier for more information.

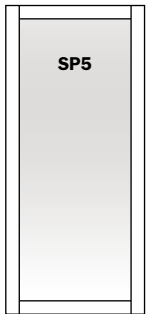
**Not all sizes are retractable. See your local Andersen supplier for details.

Hinged Patio Door Panel Labeling

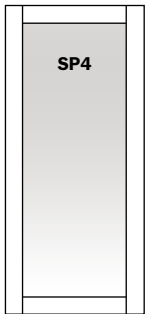
Door Panel Options

Andersen® E-Series offers a wide range of door styles to accommodate any home project style. Both contemporary and French panel styles are available to complement traditional or modern architecture.

Hinged Patio Door Contemporary Panels

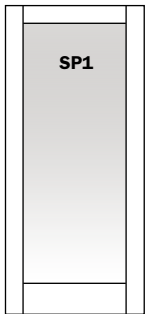


3 1/16" stiles & rails

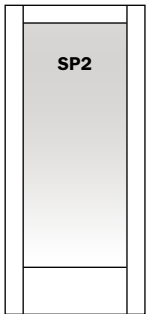


4 1/16" stiles & rails

Hinged Patio Door French Panels

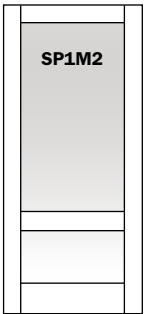


4 1/16" stiles, 4 1/16" top rail & 8" bottom rail

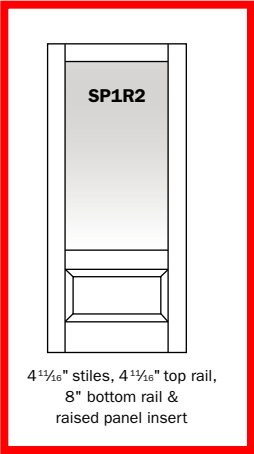


4 1/16" stiles, 4 1/16" top rail & 12" bottom rail

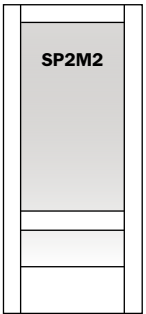
Panels with 5 5/16" Intermediate Rail 23 1/4" from Bottom of Panel



4 1/16" stiles, 4 1/16" top rail & 8" bottom rail

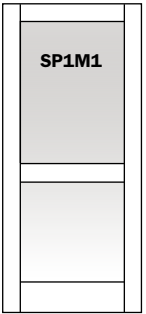


4 1/16" stiles, 4 1/16" top rail, 8" bottom rail & raised panel insert

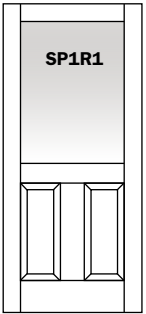


4 1/16" stiles, 4 1/16" top rail & 12" bottom rail

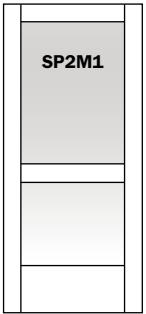
Panels with 5 5/16" Intermediate Rail 35" from Bottom of Panel



4 1/16" stiles, 4 1/16" top rail & 8" bottom rail



4 1/16" stiles, 4 1/16" top rail, 8" bottom rail & raised panel insert



4 1/16" stiles, 4 1/16" top rail & 12" bottom rail



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00732

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

226 N. Spring Street
Palafox Historic Business District / Zone C-2A
Rear Addition to a Contributing Structure

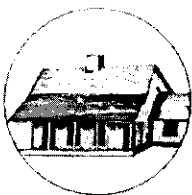
BACKGROUND:

Tim Daniels is requesting *final* review for a proposed rear addition to a contributing structure. This project received conceptual approval at the June 2022 meeting. The addition has been designed to communicate with existing shed roofs on the rear and front, and in a way that does not detract from the elevation on West Wright Street. The project will have Hardie-board siding to match the existing texture, profile, and size of the existing wood siding, a brick veneer base with recessed sections, single hung 2/2 wood windows and shutters, and a matching shingle roof. The proposed paint will also match the existing elements.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)a. Palafox Historic Business District, Decisions

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **ES01228**
 Field Date 8-21-2011
 Form Date 8-29-2011
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 226 N Spring St Pensacola, FL 32501 Multiple Listing (DHR only) _____
 Survey Project Name Downtown Pensacola Historic Business District Survey # (DHR only) _____
 National Register Category (please check one) ☐ building ☐ structure ☒ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 226 Direction N Street Name Spring Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) S.E. corner of W. Wright N. Spring
 USGS 7.5 Map Name PENSACOLA USGS Date 2009 Plat or Other Map _____
 City / Town (within 3 miles) Pensacola In City Limits? ☒ yes ☐ no ☐ unknown County Escambia
 Township 2S Range 30W Section 46 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 000S009007080001 Landgrant _____
 Subdivision Name Old City Tract Block _____ Arpent _____ Lot _____ Pt 1
 UTM Coordinates: Zone ☒ 16 ☐ 17 Easting 478994 Northing 3364908
 Other Coordinates: X: 30.416039 Y: -87.218711 Coordinate System & Datum NAD83/WGS84
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1883 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1883 To (year): _____
 Current Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): 2011
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Additions: ☐ yes ☐ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Wills and Broughton
 Ownership History (especially original owner, dates, profession, etc.) E.H. Gonzalez built this house. Samuel Z Gonzalez and Alexander Gonzalez lived in the house until about 1920. Descendants lived here as of 1982.
 Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe PHBD Architectural Review Board

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 2
 Exterior Fabric(s) 1. Wood siding 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. Butt
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) DHS, 6/1, 2/2, casement, shutters: louvered
 Distinguishing Architectural Features (exterior or interior ornaments) Wood brackets, decorative wood panel freize

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) 2 Story shed addition, composition, butt

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)		

HISTORICAL STRUCTURE FORM

Site #8 ES01228

DESCRIPTION (continued)

Chimney: No. 3 Chimney Material(s): 1. Brick 2. corbelled
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Brick 2. infill & uncoursed fieldst
 Main Entrance (stylistic details) This large two-story frame vernacular home has upper and lower porches and Victorian detailing under the roof eaves, bra
 Porch Descriptions (types, locations, roof types, etc.) w/2 tiered, square wood columns, 5 bay, west access with decorative wood railing, roof flat.

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource Built 1883 by lumber magnet Gonzalez - owned an original Spanish land grant & owned a home north of Pensacola "15 mile house" where the government sheltered during yellow fever epidemic, & where he hosted then Governor Andrew and Rachel Jackson

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- | | | | |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input checked="" type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input type="checkbox"/> other methods (describe) _____ | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) Photographic reference numbers:

HPPB P.82.45 Frame 31 and HPPB P.83.10 Frame 18

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) 19th century vernacular domestic structure

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization _____
 Document description Architectural Review Board Files File or accession #'s _____
- 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Cynthia A. Catellier 850-288-0189 Affiliation City of Pensacola/University of West Florida

Recorder Contact Information 222 Main St Donald W. Kelly Planning Services Coordinator 850-436-5655
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



NATIONAL REGISTER OF HISTORIC PLACES PRELIMINARY SITE INFORMATION QUESTIONNAIRE



FLORIDA DEPARTMENT OF STATE ■ GEORGE FIRESTONE, SECRETARY OF STATE

This questionnaire is intended only to provide preliminary information about the property to the Bureau of Historic Preservation.

INCLUDE AT LEAST ONE PHOTOGRAPH OF THE PROPERTY WITH THIS PRELIMINARY QUESTIONNAIRE

1. Name and Location (County) of Property
Gonzalez House
226 N. Spring St.
Pensacola, Fl 32501
2. Name and Address of Owner
Al and Amalia Bruce
966 Grand Canal
Gulf Breeze, Fl 32561
3. Date of Construction or Significant Historic Associations constructed 1883
4. Type of Property:
☐ Archaeological Site
☒ Residential Building
☐ Public Building
☐ Commercial Building
☐ Other (Describe)
5. Original Use:
residence
6. Present Use:
unoccupied
7. Physical Description (Indicate Basic Design and Construction, and General Condition at Present Time)
Frame Vernacular or Folk Victorian. Two story with two tiered full full facade ornamented porch. Side-gabled roof, symmetrical facade.
8. Why is the Property Significant:
Architectural significance as an intact example of Gulf Coast Frame vernacular architecture. Only significant alteration is an early rear addition. Historical significance through association with the early Pensacola pioneer family, the Gonzalez's. Built by Samuel and Alexander Gonzalez, timber inspectors.
9. Enclosures:
☒ Photos
☒ Location Map
10. Name and Address of Person Submitting:
Al Bruce
996 Grand Canal
Gulf Breeze, Fl 32561
11. Telephone Number
(904) 932-9627

Date: September 4, 1987

Signature:

Al Bruce

This public document was promulgated at an annual cost of \$45.31, or \$.48 per copy to inform the public of the National Register Program.

AH5E014 (6-84)







**Architectural Review Board Application
Full Board Review**

City of
Pensacola

*America's First Settlement
And Most Historic City*

Application Date: 06/30/2022

Project Address: 226 N. Spring Street, Pensacola FL. 32502

Applicant: Tim Daniel

Applicant's Address: 1721 Amanda Lane, Cantonment FL. 32533

Email: timdanieljr83@gmail.com

Property Owner: Michael & Tammie Flanders

District: PHD NHPD OEHPD **PHBD X** GCD

Application is hereby made for the project as described herein:

☒ Residential Homestead – \$50.00 hearing fee *Paid Concept Review*

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The homeowners are looking to add a (1) room addition to the rear of their existing home. The addition will be on the backside (east) of the home and consist of a living room. The addition will be accessed through an existing kitchen exterior door. The existing kitchen exterior door will be converted to a cased opening, and the new rear egress will be on the right side (south) of the proposed addition. Exiting the proposed addition will be an uncovered stoop with stairs leading down to the rear yard. The proposed addition will be constructed using similar construction as the existing structure. The addition will have a pier foundation that will be wrapped with brick and contain a brick skirting to match the existing. The floor system will be wood framed, with wood framed walls and roof structure. The proposed addition will have a ceiling height of 10-feet, allowing window heights that are similar in size and shape as the existing. The proposed roof structure will be framed to match the existing shed roofs off the rear, keeping with the existing style of the home. The addition will NOT impact any sleeping rooms, and no egress will be impacted with the exception of the rear kitchen door that will have a new rear egress within 5-feet of the current. The exterior materials and finishes will match that of the existing. Please see the attached drawings and documentation as required.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

Date

Planning Services

222 W. Main Street * Pensacola, Florida 32502 (850) 435-1670 Mail to: P.O. Box 12910 * Pensacola, Florida 32521

SQUARE FOOTAGE

EXISTING SQUARE FOOTAGE BREAKDOWN	
1ST FLOOR HEATED & COOLED -	1,864
1ST FLOOR COVERED PORCH -	312
2ND FLOOR HEATED & COOLED -	1,800
2ND FLOOR COVERED PORCH -	312
<hr/>	
PROPOSED SQUARE FOOTAGE BREAKDOWN	
1ST FLOOR HEATED & COOLED ADDITION -	484
1ST FLOOR UNCOVERED PORCH ADDITION -	43
<hr/>	
EXISTING TOTAL HEATED & COOLED -	3,664
PROPOSED TOTAL HEATED & COOLED -	4,148
<hr/>	
EXISTING TOTAL UNDER ROOF -	4,288
PROPOSED TOTAL UNDER ROOF -	4,772

FLANDERS RESIDENCE

226 N. Spring Street, Pensacola FL. 32502

TABLE OF CONTENTS

SHEET 1 OF 9:	COVER SHEET/RENDERING
SHEET 2 OF 9:	EXISTING & PROPOSED LEFT ELEVATIONS
SHEET 3 OF 9:	EXISTING & PROPOSED REAR ELEVATIONS
SHEET 4 OF 9:	EXISTING & PROPOSED RIGHT ELEVATIONS
SHEET 5 OF 9:	EXISTING & PROPOSED FIRST FLOOR
SHEET 6 OF 9:	EXISTING & PROPOSED SECOND FLOOR
SHEET 7 OF 9:	SITE PLAN
SHEET 8 OF 9:	DOCUMENTATION PHOTOS
SHEET 9 OF 9:	DOCUMENTATION PHOTOS

SCOPE OF WORK

CLIENT IS LOOKING TO CONSTRUCT A FAMILY ROOM OFF THE REAR OF THE RESIDENCE. THE ADDITION WILL BE BUILT USING MATERIALS, FINISHES, AND COLORS THAT ARE APPROVED AND CONSISTENT WITH THE EXISTING STRUCTURE.



PALAFOX HISTORIC
BUSINESS DISTRICT
PROJECT

FOLLOW US

PROJECT INFORMATION	
DESCRIPTIONS: Addition	
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL. 32502	
PROJECT SCOPE	

REFLECTIONS Home Designs
& CAD Services

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	1 OF 962

PAINT COLORS

PRIMARY COLOR

Manufacturer - Valspar
Color Name - 3004-4C (Pretty Pretty Picture)



TRIM COLOR

Manufacturer - Valspar
Color Name - 8002-33G (Jeremy's Journey)



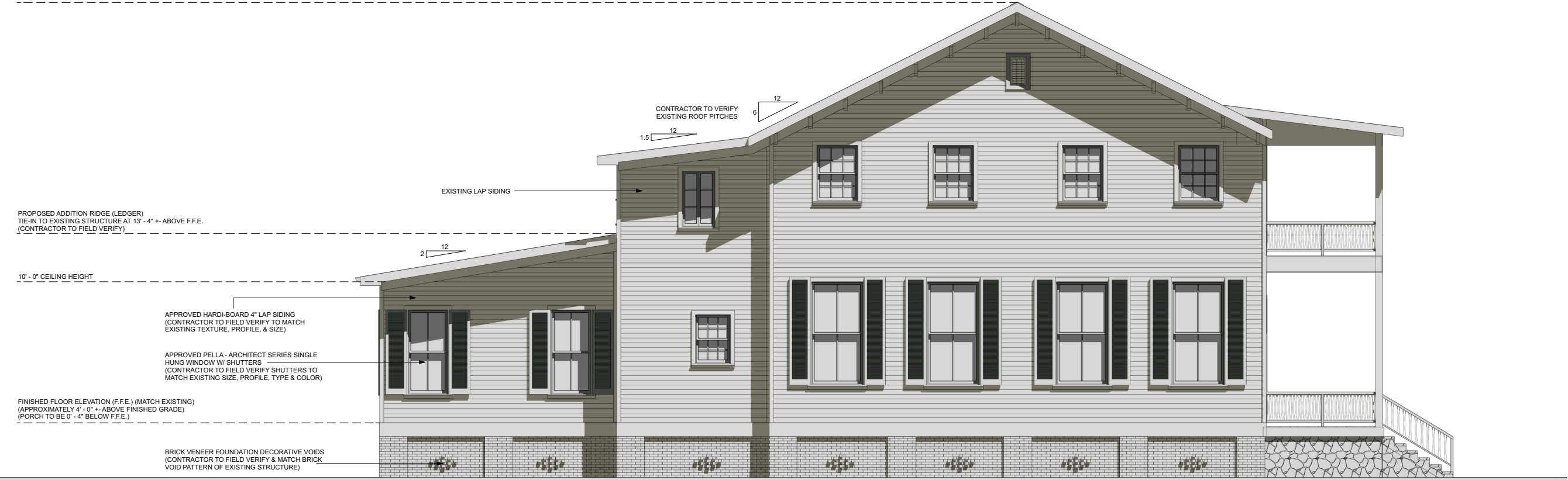
Note:
1. Due to computer & printer settings, colors shown above may vary from the actual color by manufacturer.
2. Due to colors being discontinued, actual paint color may vary. Contractor shall have the paint color matched to the existing home.



EXISTING LEFT ELEVATION

SCALE: 1/8" = 1' - 0"

EXISTING STRUCTURE RIDGE AT 29' - 11" +/- ABOVE F.F.E.



PROPOSED LEFT ELEVATION

SCALE: 1/8" = 1' - 0"

FOLLOW US





PROJECT INFORMATION	
DESCRIPTIONS: Addition	PROJECT SCOPE
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL 32502	

REFLECTIONS Home Designs
& CAD Services

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	2 OF 963



EXISTING REAR ELEVATION

SCALE: 1/8" = 1' - 0"

PAINT COLORS

PRIMARY COLOR

Manufacturer - Valspar

Color Name - 3004-4C (Pretty Pretty Picture)



TRIM COLOR

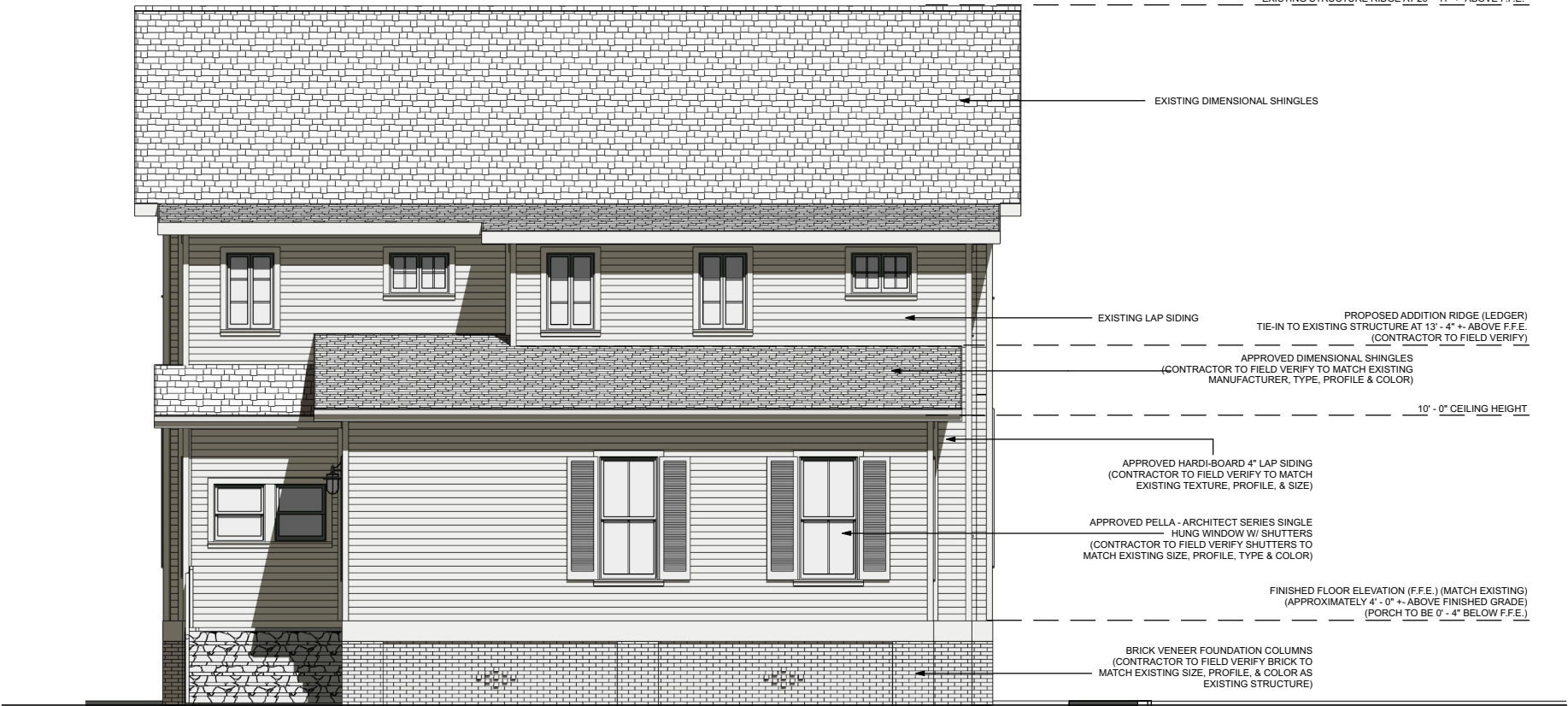
Manufacturer - Valspar

Color Name - 8002-33G (Jeremy's Journey)



Note:

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PROPOSED REAR ELEVATION

SCALE: 1/8" = 1' - 0"

PROJECT INFORMATION

DESCRIPTIONS: Addition

NAME: Flinders Residence

226 N. Spring Street, Pensacola FL 32502

PROJECT SCOPE

**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com

Phone: (850)-417-5332

DATE: 06/30/2022

SCALE: -

SHEET: 3 OF 9

64





EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"

PAINT COLORS

PRIMARY COLOR

Manufacturer - Valspar

Color Name - 3004-4C (Pretty Pretty Picture)



TRIM COLOR

Manufacturer - Valspar

Color Name - 8002-33G (Jeremy's Journey)



Note:

1. Due to computer & printer settings, colors shown above may vary from the actual color by manufacturer.
2. Due to colors being discontinued, actual paint color may vary. Contractor shall have the paint color matched to the existing home.



PROPOSED RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"

PROJECT INFORMATION

DESCRIPTIONS: Addition

NAME: Flanders Residence

226 N. Spring Street, Pensacola FL 32502

PROJECT SCOPE

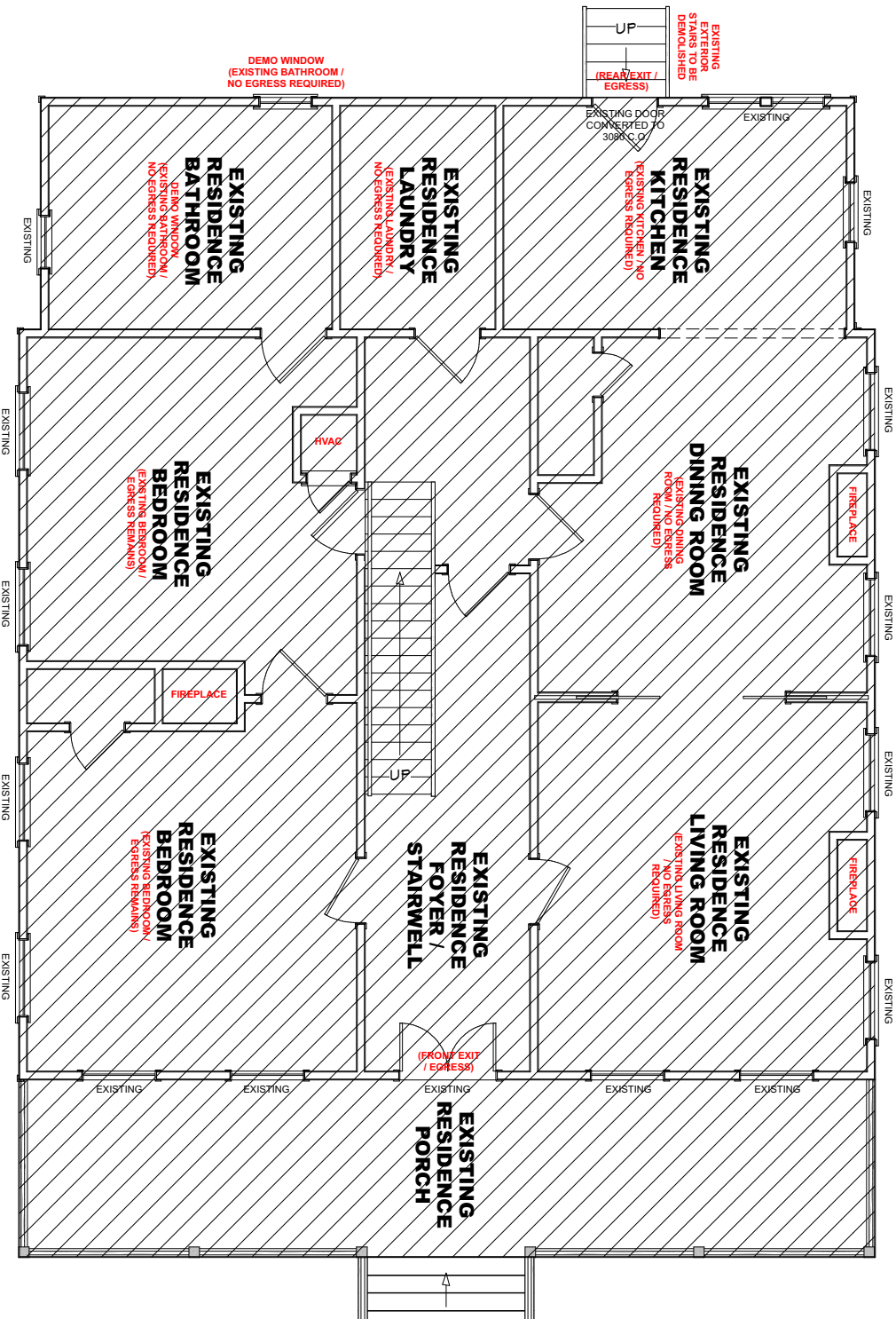
**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE: 06/30/2022

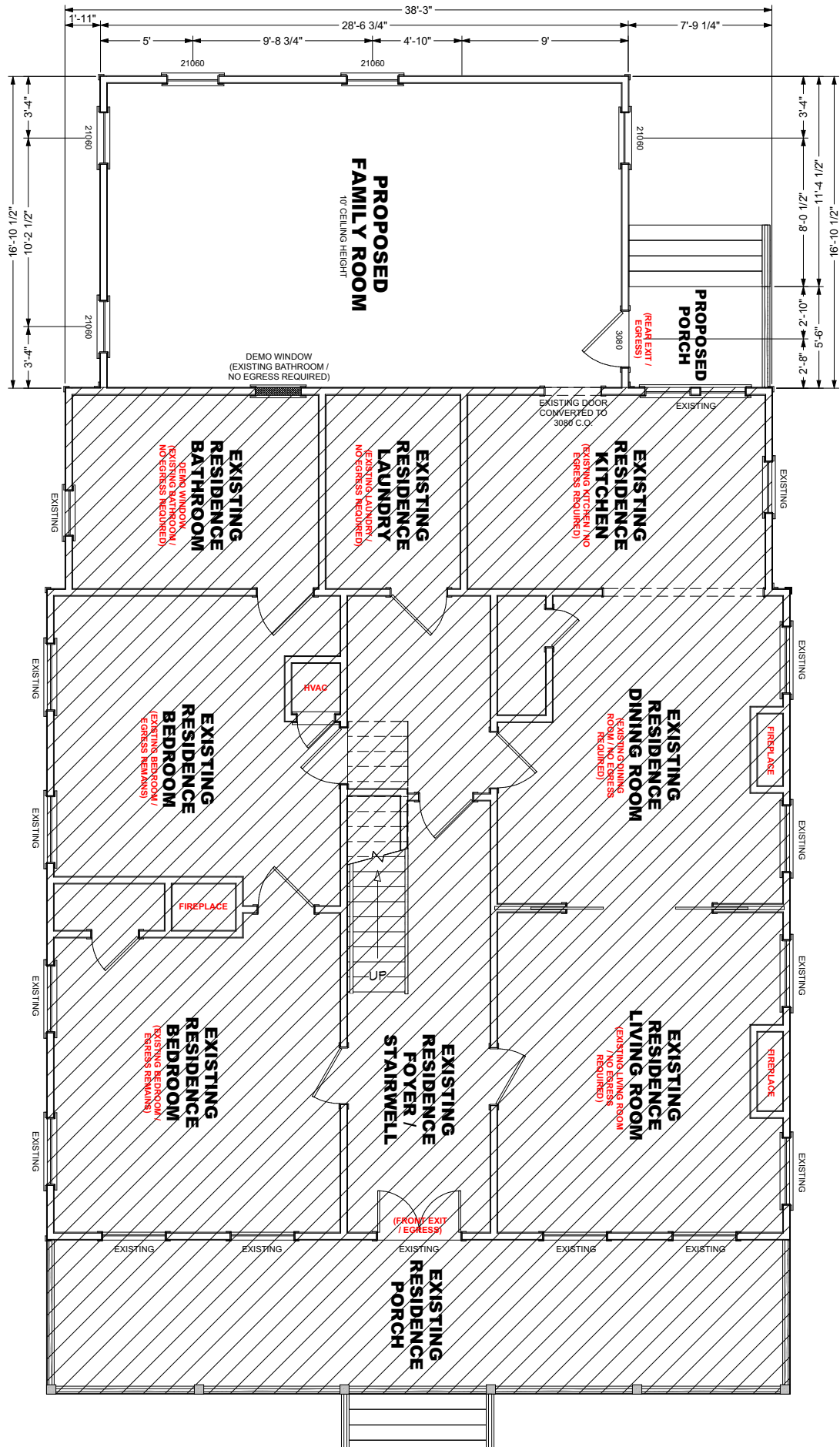
SCALE: -

SHEET: 4 OF 9 65



EXISTING FLOOR PLAN - 1st FLOOR

SCALE: 1/8" = 1' - 0"



PROPOSED FLOOR PLAN - 1st FLOOR

SCALE: 1/8" = 1' - 0"

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Twitter

Instagram

in

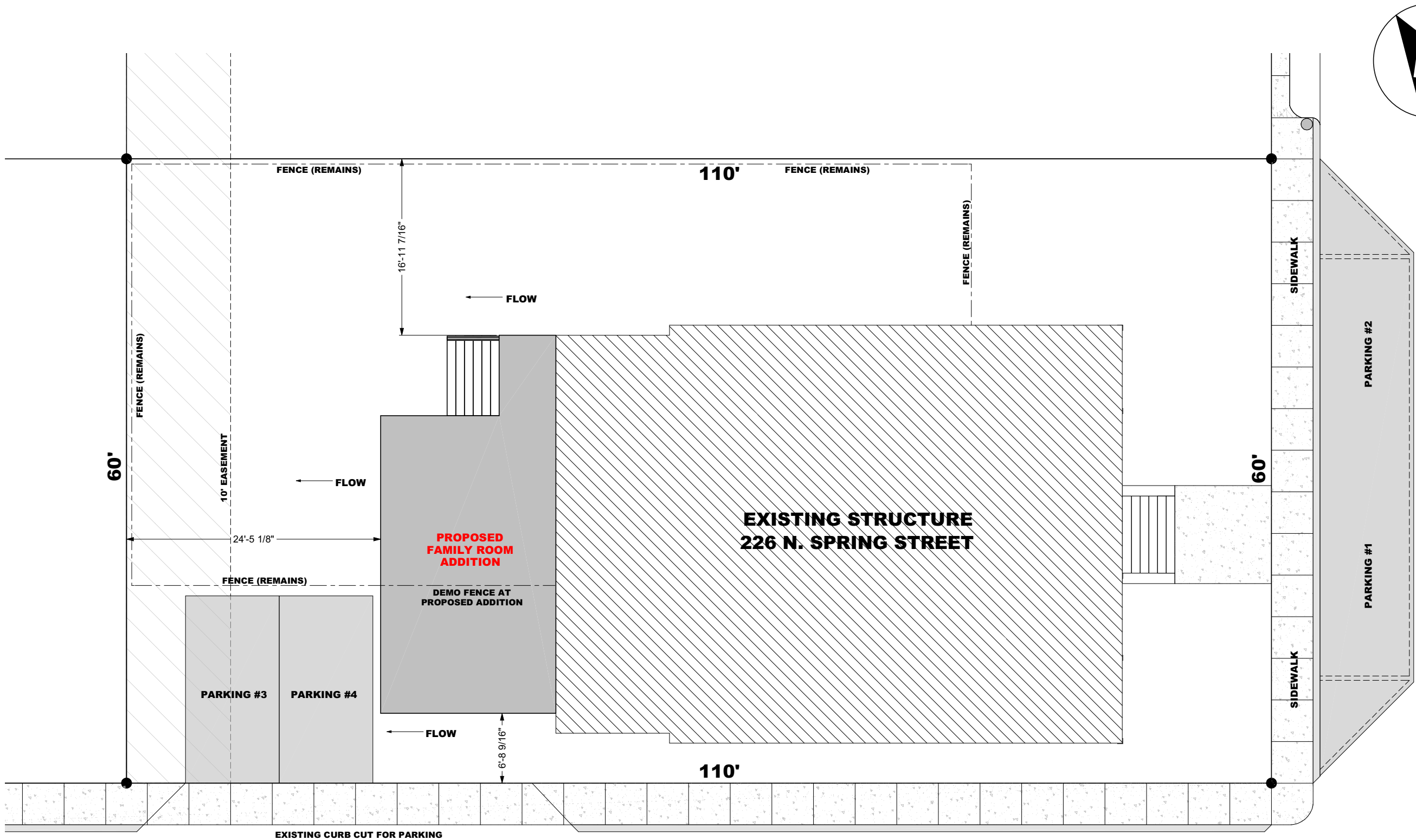
PROJECT INFORMATION	
DESCRIPTIONS: Addition	
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL 32502	
PROJECT SCOPE	

REFLECTIONS Home Designs

& CAD Services

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	5 OF 9 66



N. SPRING STREET

W. WRIGHT STREET

PROPOSED SITE PLAN
SCALE: 1" = 10' - 0"

SITE PLAN NOTE

1. IT IS SUGGESTED THAT A LICENSED SURVEYOR SET ALL CORNERS OF THE PROPOSED ADDITION.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL SETBACK REQUIREMENTS WITH THE CITY OF PENSACOLA.
4. CONTRACTOR SHALL CALL SUNSHINE ONE-CALL (811) IN ORDER TO HAVE UTILITIES LOCATED BEFORE ANY EXCAVATION WORKS SHALL COMMENCE.

FOLLOW US

PROJECT INFORMATION	
DESCRIPTIONS: Addition	
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL 32502	
PROJECT SCOPE	

REFLECTIONS Home Designs
& CAD Services

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	7 OF 968

FOUNDATION MATERIAL

Foundation Type - Above Grade Pier Foundation
Pier Type - CMU Block w/ Footing
Pier Veneer / Finish - Approved Brick
Exposed Pier Color - Valspar Pretty Pretty Picture

Crawl Space Exposure - Infill with Approved Brick
Brick Pattern -
Brick Decorative Design - Contractor shall match the existing decorative brick void pattern found in the perimeter between brick piers. See elevations and pictures provided.

WINDOWS

PROPOSED WINDOWS
Manufacturer - Pella
Series- Architect Series - Traditional Single Hung
Material - Wood
Window / Grilles Color - Valspar Pretty Pretty Picture
Window Trim Color - Valspar Jeremy's Journey
Grilles - 7/8" Ogee Integral Light Technology (2 over 2)
Window Size - See Floor Plan

Door

PROPOSED Door
Manufacturer - Pella
Series- Architect Series - Traditional Hinged Patio
Material - Wood
Door / Grilles Color - Minwax Dark Walnut Stain
Door Trim Color - Minwax Dark Walnut Stain
Grilles - 7/8" Ogee Integral Light Technology (2 over 2)
Door Size - See Floor Plan

Note:
1. Due to computer & printer settings, colors shown above may vary from the actual color by manufacturer.

PAINT COLORS

PRIMARY COLOR
Manufacturer - Valspar
Color Name - 3004-4C (Pretty Pretty Picture)

TRIM COLOR
Manufacturer - Valspar
Color Name - 8002-33G (Jeremy's Journey)

Note:
1. Due to computer & printer settings, colors shown above may vary from the actual color by manufacturer.
2. Due to colors being discontinued, actual paint color may vary. Contractor shall have the paint color matched to the existing home.

ROOFING MATERIAL

Manufacturer -GAF
Shingle Type - Timberline HD
Shingle Color - Barkwood

Sample 1



Sample 2

Note:
1. This example of the GAF Timberline HD Barkwood roof shingle is not the homeowners house. This is a stock image used as an example.



FLANDERS RESIDENCE
226 N. Spring Street, Pensacola FL. 32502

RAILING EXAMPLE

Contractor to match existing handrails. Engineer of record to provide spacing & height requirements per F.B.C.



PORCH / STOOP STONE
EXAMPLE

Contractor to match existing stonework.



FOLLOW US

PROJECT INFORMATION	
DESCRIPTIONS: Addition	
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL. 32502	
PROJECT SCOPE	

REFLECTIONS Home Designs
& CAD Services

Email: timdanieljr83@gmail.com
Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	8 OF 9 69



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



NORTHEAST PERSPECTIVE

FOLLOW US

PROJECT INFORMATION	
DESCRIPTIONS: Addition	
NAME: Flanders Residence	
226 N. Spring Street, Pensacola FL. 32502	
PROJECT SCOPE	

**REFLECTIONS Home Designs
& CAD Services**

Email: timdanieljr83@gmail.com
 Phone: (850)-417-5332

DATE:	06/30/2022
SCALE:	-
SHEET:	9 of 970

Pro Window & Door Guide





Architect Series® Traditional Hung Window

Size and Performance Data

	Clad LX	Wood LX	Clad SE
Sizes			
Standard double-hung vent/fixed sizes	•	•	•
Transom sizes	•	•	•
Egress sizes	•	•	•
Single-hung	•	•	—
Simulated-hung	•	•	—
Single-hung – arch head	•	•	—
Cottage sash split	•	•	•
Variable sash split	•	•	—
Special sizes available	•	•	•
Performance¹			
Meets or Exceeds AAMA/WDMA Ratings	H-CW30 - CW50 Hallmark Certified	H-CW30 - CW45 Hallmark Certified	H-CW30 - CW50 Hallmark Certified
Air Infiltration (cfm/ft ² of frame @ 1.57 psf wind pressure) ²	0.11	0.11	0.11
Water Resistance	4.6-7.5 psf	4.6-6.9 psf	4.6-7.5 psf
Design Pressure	30-50 psf	30-45 psf	30-50 psf
Products with Impact-resistant Glass	CW-60 Hallmark Certified	—	—
Other Performance Criteria			
Forced Entry Resistance Level (Minimum Security Grade) ³	10	10	10
Operating Force (lb) Initiate Motion / Maintain Motion (of Hallmark tested size and glazing) ⁴	40/45	40/45	40/45

Sound Transmission Class / Outdoor-Indoor Transmission Class

Product	Frame Size Tested ⁵	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Architect Series Wood LX window	WITH INTEGRAL GRILLES						
	45" x 65"	11/16"	2.5 mm	2.5 mm	—	27	24
	45" x 65"	11/16"	3 mm	6 mm Laminated	—	34	29
	WITH REMOVABLE OR NO GRILLES						
	45" x 65"	11/16"	2.5 mm	2.5 mm	—	26	22
	45" x 65"	11/16"	3 mm	3 mm	—	29	24
Architect Series Clad LX or SE window	WITH INTEGRAL GRILLES						
	45" x 65"	11/16"	2.5 mm	2.5 mm	—	27	25
	45" x 65"	11/16"	3 mm	3 mm	—	29	25
	45" x 65"	11/16"	3 mm	5 mm	—	33	29
	45" x 65"	11/16"	3 mm	6 mm Laminated	—	34	29
	WITH REMOVABLE OR NO GRILLES						
	45" x 65"	11/16"	2.5 mm	2.5 mm	—	26	22
	45" x 65"	11/16"	3 mm	3 mm	—	28	23
	45" x 65"	11/16"	3 mm	5 mm	—	32	28
	45" x 65"	11/16"	3 mm	6 mm Laminated	—	33	28

(-) = Not Available

(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values.

(2) Published performance data for air infiltration is determined by testing a minimum of four (4) products of NFRC model size. Testing is conducted in accordance with ASTM E283. Air infiltration ratings for products will differ by size. The performance data does not apply to combination assemblies unless noted. Actual product performance may vary for a number of reasons including installation and product care.

(3) The higher the level, the greater the product's ability to resist forced entry.

(4) Glazing configurations may result in higher operational forces

(5) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.



Architect Series® Traditional Hung Window

Features and Options

Standard	Options / Upgrades
Glazing	
Glazing Type	
Dual-Pane Insulating Glass	–
Insulated Glass Options/Low-E Types	
Advanced Low-E	SunDefense™ Low-E
	AdvancedComfort Low-E
	NaturalSun Low-E
	Clear (no Low-E coating)
Additional Glass Options	
Annealed Glass	Tempered Glass
	Obscure Glass ¹
	Tinted Glass (Bronze, Gray and Green)
	Impact-Resistant Glass (Laminated Dual-Pane Insulating Glass ²)
Gas Fill/High Altitude	
Argon	High altitude
Wood types	
Pine	Mahogany (clad and wood LX only), Douglas Fir (clad LX only)
Exterior¹	
EnduraClad® protective finish	EnduraClad Plus protective finish
	Factory Primed Pine wood exterior
	Unfinished Mahogany wood exterior
Interior	
Unfinished Wood	Factory primed ³ , Factory prefinished paint ³ , Factory prefinished stain
Hardware	
Hardware Finish	
Champagne, White, Brown or Matte Black	Bright Brass, Satin Nickel, Oil-Rubbed Bronze, Antique Brass, Distressed Bronze, Distressed Nickel
Sash Locks	
Cam-action lock	Simulated lock, Air conditioner lock, Historical spoon-style lock (surface mounted)
Tilt-Wash Cleaning	
Tilt to interior on both sashes	–
Other Hardware	
–	Sash lifts
Grilles	
Integral Light Technology® Grilles	
–	Traditional, Prairie, Top Row, Cross, New England, Victorian, Diamond, Custom
Roomside Removable Grilles	
–	Traditional, Prairie, Custom
Grilles-Between-the-Glass	
–	Traditional, Prairie, Top Row ¹ , Cross or Custom-Equally Divided
Screens	
–	Full-Height or Half-height InView™ screens or Vivid View® screens

(1) Contact your local Pella sales representative for current color options.

(2) Low-E coatings are limited on Laminated Glass, see detailed product description or glazing performance for full details.

(3) Not available on Mahogany and Douglas Fir interiors.



Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany].
- Exterior surfaces are [pine] [mahogany].
- Overall frame depth is 4-3/8" (111mm) for a wall depth of 4-3/16" (106mm).
- Vinyl Jamb liner includes wood / clad inserts.
- Optional factory applied jamb extensions available for 4-9/16" (116mm) and 7-3/16" (183mm) wall depths, with Pella's standard wood exterior trim.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany].
- Exterior surfaces are [pine] [mahogany].
- Corners are mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-7/8" (47mm).
- Sash exterior profile is putty glaze, interior profile is ogee.
- [Double-Hung: Upper sash has surface-mounted wash locks] [Single-Hung: Fixed upper sash has surface-mounted wash locks] [Arch Head units have no wash locks].
- Lower sash has concealed wash locks in lower check rail.
- Sashes tilt for easy cleaning.
- Simulated-Hung units have non-operable upper and lower sashes.

Weatherstripping

- Water-stop santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip coating set into Low-E sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 11/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [Advanced Comfort Low-E] [NaturalSun Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E with argon].

Exterior

- [Pine: factory primed with one coat acrylic latex] [Mahogany: [factory primed with one coat acrylic latex] [Unfinished, ready for site finishing]].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [paint] [stain] 1].

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard (cam-action)] [historic spoon-style] [air-conditioner lock] [simulated lock (Single-piece lock ties upper and lower sash together. When removed, lower sash becomes operable)]. Two sash locks on units with frame width 37" and greater.
- Optional sash lift furnished for field installation. Two lifts on units with frame width 37" and greater.
- Hardware finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Bright Brass] [Satin Nickel] [Oil-rubbed Bronze] [Antique Brass] [Distressed Bronze] [Distressed Nickel].

Optional Products

Grilles

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [pine] [mahogany]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] 1].
 - Exterior grilles are solid [5/8"] [7/8"] [1-1/4"] putty glaze profile that are [pine] [mahogany]. Exterior surfaces are water repellent, preservative-treated in accordance with WDMA I.S.-4, and are [unfinished, ready for site finishing] [factory primed].
 - Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.
 - or -
- Grilles-Between-the-Glass₂
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Patterns are [Traditional] [Prairie] [Cross] [Top Row]
 - Interior color is [White] [Tan 3] [Brown 3] [Putty 3] [Black] [Morning Sky Gray] [Ivory] [Sand Dune] [Harvest] [Cordovan] [Brickstone].
 - Exterior color is [standard] 1.
 - or -
- Roomside Removable grilles
 - [[3/4"] [1-1/4"] [2"] regular] [[1-1/4"] [2"] colonial] profile, with [Traditional] [Prairie] patterns that are removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
 - Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] 1].
 - Exterior [unfinished, ready for site finishing] [factory primed] [factory prefinished, finish color matched to exterior] 1.

Screens (for Double- and Single-Hung)

- InView™ Screens
 - [Half-Size] [Full-Size 4] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Full screen spreader bar placed on units > 37" width or > 65" height.
 - Insect screen frame finish is baked enamel.
 - or -
- Vivid View® Screens
 - [Half-Size] [Full-Size 4] PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Full screen spreader bar placed on units > 37" width or > 65" height.
 - Insect screen frame finish is baked enamel.

Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional factory applied window opening control device available. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

(1) Contact your local Pella sales representative for current color options.

(2) Available on units glazed with Low-E insulated glass with argon, clear insulated glass and obscure insulated glass.

(3) Tan, Brown or Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(4) Full screens are available on units ≤ 96" height.

(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.



Architect Series® Traditional Hung Window

Design Data - Replacement Sizes

Replacement Sizes Vent Equal Sash

Unit	Egress	Clear Opening		Vent Area Ft²	Visible Glass Ft²	Standard Glass Thickness (mm)		Performance Class & Grade	
		Width (Inches)	Height (Inches)			Annealed	Tempered	Clad	Wood
31.5x35.5		28-1/16	13-5/16	2.5	4.8	2.5	3	CW50	CW45
31.5x37.5		28-1/16	14-5/16	2.7	5.2	2.5	3	CW50	CW45
31.5x41.5		28-1/16	16-5/16	3.1	5.9	2.5	3	CW50	CW45
31.5x45.5		28-1/16	18-5/16	3.5	6.6	2.5	3	CW50	CW45
31.5x47.5		28-1/16	19-5/16	3.7	7.0	2.5	3	CW50	CW45
31.5x51.5		28-1/16	21-5/16	4.1	7.7	2.5	3	CW50	CW45
31.5x53.5		28-1/16	22-5/16	4.3	8.0	2.5	3	CW50	CW45
31.5x57.5		28-1/16	24-5/16	4.7	8.8	2.5	3	CW50	CW45
31.5x59.5		28-1/16	25-5/16	4.9	9.1	2.5	3	CW50	CW45
31.5x61.5	E1	28-1/16	26-5/16	5.1	9.5	2.5	3	CW50	CW45
31.5x65.5	E1	28-1/16	28-5/16	5.5	10.2	2.5	3	CW50	CW45
31.5x71.5	E	28-1/16	31-5/16	6.1	11.3	2.5	3	CW50	CW45
35.5x35.5		32-1/16	13-5/16	2.9	5.6	2.5	3	CW50	CW45
35.5x37.5		32-1/16	14-5/16	3.1	6.0	2.5	3	CW50	CW45
35.5x41.5		32-1/16	16-5/16	3.6	6.8	2.5	3	CW50	CW45
35.5x45.5		32-1/16	18-5/16	4.0	7.7	2.5	3	CW50	CW45
35.5x47.5		32-1/16	19-5/16	4.3	8.1	2.5	3	CW50	CW45
35.5x51.5		32-1/16	21-5/16	4.7	8.9	2.5	3	CW50	CW45
35.5x53.5		32-1/16	22-5/16	4.9	9.3	2.5	3	CW50	CW45
35.5x57.5	E1	32-1/16	24-5/16	5.4	10.1	2.5	3	CW50	CW45
35.5x59.5	E1	32-1/16	25-5/16	5.6	10.5	2.5	3	CW50	CW45
35.5x61.5	E	32-1/16	26-5/16	5.8	10.9	2.5	3	CW50	CW45
35.5x65.5	E	32-1/16	28-5/16	6.3	11.8	2.5	3	CW50	CW45
35.5x71.5	E	32-1/16	31-5/16	6.9	13.0	2.5	3	CW50	CW45
39.5x35.5		36-1/16	13-5/16	3.3	6.3	2.5	3	CW50	CW45
39.5x37.5		36-1/16	14-5/16	3.5	6.8	2.5	3	CW50	CW45
39.5x41.5		36-1/16	16-5/16	4.0	7.7	2.5	3	CW50	CW45
39.5x45.5		36-1/16	18-5/16	4.5	8.7	2.5	3	CW50	CW45
39.5x47.5		36-1/16	19-5/16	4.8	9.2	2.5	3	CW50	CW45
39.5x51.5		36-1/16	21-5/16	5.3	10.1	2.5	3	CW50	CW45
39.5x53.5		36-1/16	22-5/16	5.5	10.6	2.5	3	CW50	CW45
39.5x57.5	E	36-1/16	24-5/16	6.0	11.5	2.5	3	CW50	CW45
39.5x59.5	E	36-1/16	25-5/16	6.3	12.0	2.5	3	CW50	CW45
39.5x61.5	E	36-1/16	26-5/16	6.5	12.4	2.5	3	CW50	CW45
39.5x65.5	E	36-1/16	28-5/16	7.0	13.4	2.5	3	CW50	CW45
39.5x71.5	E	36-1/16	31-5/16	7.8	14.8	2.5	3	CW50	CW45
41.5x35.5		38-1/16	13-5/16	3.5	6.7	2.5	3	CW50	CW45
41.5x37.5		38-1/16	14-5/16	3.7	7.2	2.5	3	CW50	CW45
41.5x41.5		38-1/16	16-5/16	4.3	8.2	2.5	3	CW50	CW45
41.5x45.5		38-1/16	18-5/16	4.8	9.2	2.5	3	CW50	CW45
41.5x47.5		38-1/16	19-5/16	5.1	9.7	2.5	3	CW50	CW45
41.5x51.5		38-1/16	21-5/16	5.6	10.7	2.5	3	CW50	CW45
41.5x53.5		38-1/16	22-5/16	5.9	11.2	2.5	3	CW50	CW45
41.5x57.5	E	38-1/16	24-5/16	6.4	12.2	2.5	3	CW50	CW45
41.5x59.5	E	38-1/16	25-5/16	6.6	12.7	2.5	3	CW50	CW45
41.5x61.5	E	38-1/16	26-5/16	6.9	13.2	2.5	3	CW50	CW45
41.5x65.5	E	38-1/16	28-5/16	7.4	14.2	2.5	3	CW50	CW45
41.5x71.5	E	38-1/16	31-5/16	8.2	15.6	2.5	3	CW50	CW45

Egress Notes:

Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².

(1) Maximum performance when glazed with the appropriate glass thickness.

To convert area to square meters (m²), multiply square feet by 0.0929.

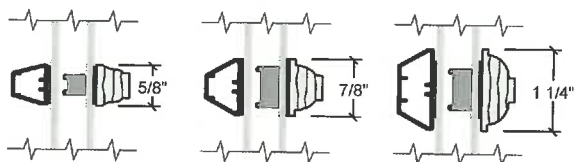


Architect Series® Traditional Hung Window

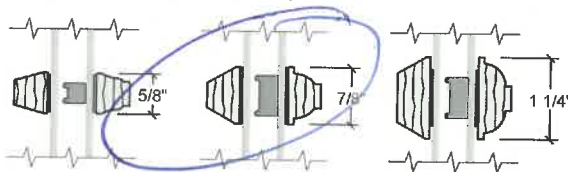
Grille Profiles

Integral Light Technology®

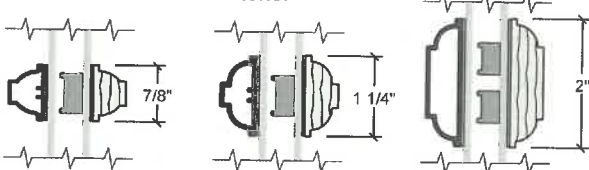
Putty and Ogee Glaze Grilles
Clad Exterior - Wood Interior



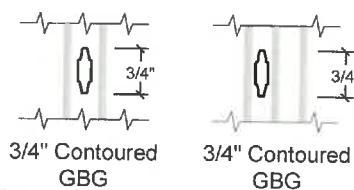
Putty and Ogee Glaze Grilles
Wood Exterior - Wood Interior



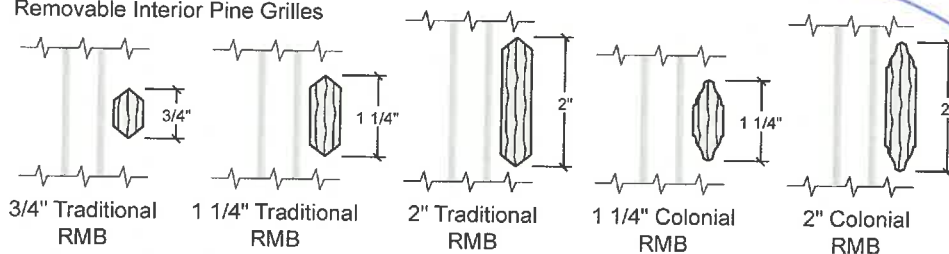
Ogee Glaze Grilles
Clad Exterior - Wood Interior



Contoured Aluminum -
Grilles-Between-the-Glass



Removable Interior Pine Grilles



(4) LITES
2 OVER 2

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.

Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.

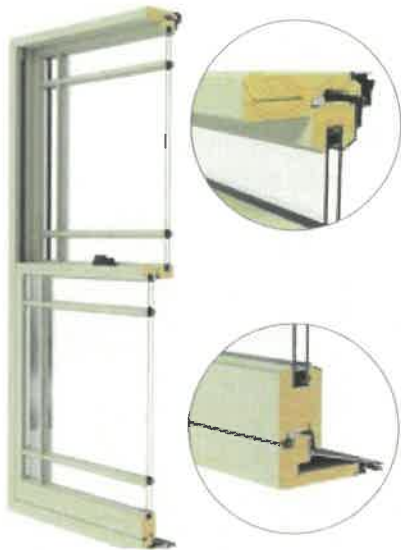
Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use the industry's only foam spacer to create the most authentic look of true divided light, by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series – Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series – Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2021.¹
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty²**
 Pella Architect Series – Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



Special shape windows also available.

¹² See back cover for disclosures.



Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior surfaces are [clear pine: {factory primed} {ready to stain}] [mahogany: {factory primed} {ready to stain}] edge-banded and veneered.
- Exterior surfaces are [pine: factory primed] [mahogany: {factory primed} {ready to stain}].
- Frame depth between 5-7/8" (149mm) to 8-9/16" (217mm), for a wall depth between 4-9/16" (116mm) to 7.25" (184mm).
- Solid extruded aluminum sill with [Black] [Mill] [Nickel] [Bronze] finish. [Mahogany threshold for mahogany door] [[oak] [composite black] threshold for pine door].
- or -
- Sill is 1/2" low profile. Material and finish are extruded aluminum with [mill] [Bronze] finish.

Door panels

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are veneered with [clear pine] [mahogany]. Any curved member may have visible finger-jointed surfaces.
- Exterior surfaces are [wood composite: factory primed] [mahogany: {factory primed} {ready to stain}].
- Panel stiles and rails are five-ply construction, randomly finger-jointed blocks laminated with water-resistant glue and veneered on both sides.
- Corners are urethane-silicone hybrid-sealed and secured with metal fasteners.
- Panel thickness is 2-1/16" (52mm).

Weatherstripping

- Dual-durometer extruded polymer along perimeter of door frame. On bottom panels, dual-durometer extruded polymer interior air seal and rigid polymer exterior facing bristle-strip.

Glazing System

- Quality fully-tempered float glass complying with ASTM C 1048.
- Custom and high altitude glazing available.
- Urethane-glazed 13/16" dual-seal insulating glass [clear] [obscure] [[Advanced Low-E] [SunDefense™ Low-E] [Advanced Comfort Low-E] [NaturalSun Low-E] with argon] [[bronze] [gray] [green] Advanced Low-E with argon].
- or -
- Silicone-glazed 1" triple-pane, dual-seal insulating glass [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [NaturalSun Low-E] with argon] [krypton].

Exterior

- [Wood composite: factory primed with one coat acrylic latex] [mahogany {factory primed with one coat acrylic latex} {Unfinished, ready for site finishing}].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [paint] [stain]]₃.

Hardware

Hinges

- Hinges are adjustable to help with installation.
- Doors 6' 10" to 7' 0" frame height will have three (3) hinges per panel.
- Doors over 7' 0" frame height up to and including 8' 0" frame height will have four (4) hinges per panel.
- Doors over 8' 3" frame height up to and including 9' 0" frame height will have five (5) hinges per panel.
- Doors over 9' 0" frame height will have six (6) hinges per panel.

Locks

- Mortised and keyed multi-point locking system, center deadbolt and shoot-bolts at head and sill will engage simultaneously.
- Doors 8' 0" frame height and below will have one (1) strike at the head, one (1) strike at the sill and one (1) center deadbolt.
- Doors over 8' 0" frame height up to and including 10' 0" frame height will have one (1) strike at the head, one (1) strike at the sill and three (3) locking points at the stile.
- Solid brass handles and keylock with K-keyway cylinder.
- Key cylinder finish is [Brass] [Stainless Steel] [Matte Black].

Finish

- Hardware finish is (Handle, Hinges and Strike) [baked enamel [White] [Champagne] [Brown] [Matte Black]] [PVD High Performance finish [Bright Brass] [Satin Nickel]] [Oil-Rubbed Bronze] [Antique Brass] [Distressed Bronze] [Distressed Nickel] [Polished Nickel] [Polished Chrome].

Optional Products

Grilles

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [pine] [mahogany]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain]]₃.
 - Exterior grilles are [5/8"] [7/8"] [1-1/4"] putty glaze profile that are solid [pine] [mahogany]. Exterior surfaces are water repellent, preservative-treated in accordance with WDMA I.S.-4, and are factory primed.
 - Patterns are [Traditional] [Prairie] [Top Row] [Cross] [New England] [Victorian].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with spacer.
- or -
- Grilles-Between-the-Glass₁
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass (exterior air-space on triple-pane insulating glass).
 - Patterns are [Traditional] [Prairie] [Cross] [Top Row]
 - Interior color is [White] [Tan₂] [Brown₂] [Putty₂] [Black] [Morning Sky Gray] [Ivory] [Sand Dune] [Harvest] [Cordovan] [Brickstone].
 - Exterior color₄ is [Standard]₃.

(1) Available in clear or Low-E insulating glass with argon, and obscure insulated glass.

(2) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(3) Contact your local Pella sales representative for current color options.

(4) Appearance of exterior grille color will vary depending on Low-E coating on glass.

Colors

Wood Types

Choose the wood species that best complements your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors



Custom colors are also available.

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁹



Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.¹⁰ For more information, go to connectpella.com.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

³ Performance ratings vary based on product configuration.

⁴ Flush multi-slide handle is a Pella exclusive design.

⁵ Flush multi-slide handle is not available in Champagne.

⁶ Color-matched to your product's interior and exterior color.

⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁸ Availability may be limited. Please contact your local Pella rep for details.

⁹ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

¹⁰ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.



Architect Series® Traditional In-Swing Patio Door

Size and Performance Data

Sizes	Clad	Wood
Standard door sizes	•	•
Standard sidelight sizes	•	•
Standard transom sizes – Fixed Frame Direct Set	•	•
Fixed casement	•	•
Wide stile casement	•	•
Special sizes	•	•
Custom sizes	•	•
Standard Single-Swing Single Door Widths		
2' 2"	•	•
2' 6"	•	•
2' 10"	•	•
3'	•	•
3' 2"	•	•
Standard Single-Swing Double Door Widths		
5'	•	–
5' 7"	•	–
6'	•	–
6' 3"	•	–
Standard Double-Swing Door Widths		
4' 2"	•	•
5'	•	•
5' 7"	•	•
6'	•	•
6' 3"	•	•
Standard Door Heights		
6' 7-1/2"	•	•
6' 10"	•	•
7' 2"	•	•
8'	•	•
10' 0"	•	•

3080 - 4 LITE EXTERIOR DOOR
2 over 2

Double-Swing	Single-Swing Double	Single-Swing
active/passive	active/fixed	active or fixed

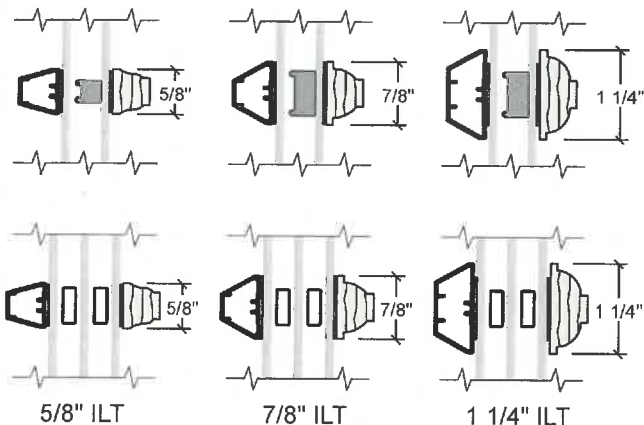


(-) = Not Available

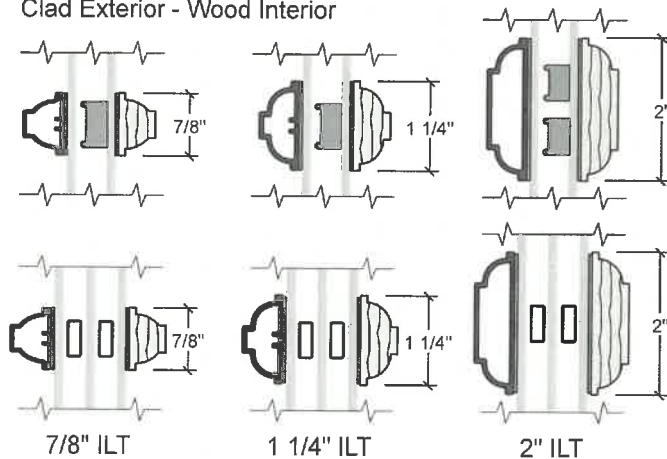


Integral Light Technology®

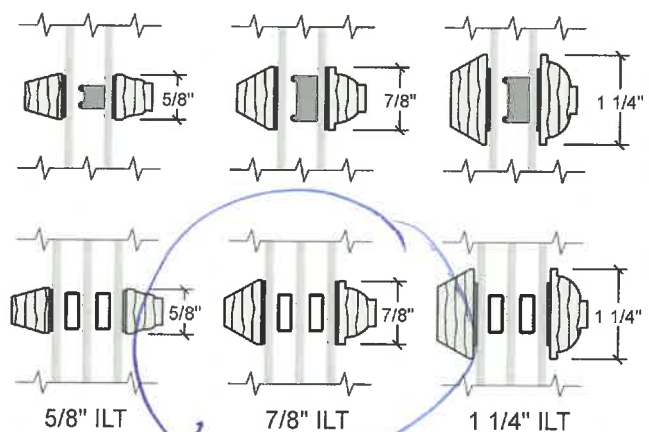
Putty and Ogee Glaze Grilles Clad Exterior - Wood Interior



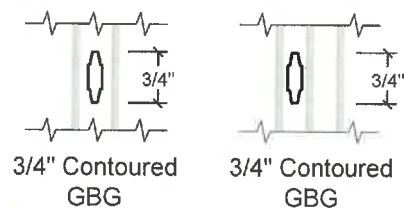
Ogee Glaze Grilles Clad Exterior - Wood Interior



Putty and Ogee Glaze Grilles Wood Exterior - Wood Interior



Contoured Aluminum - Grilles-Between-the-Glass



(4) LITES ON EXTERIOR
DOOR
2 OVER 2

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.



Architect Series® Traditional In-Swing Patio Door

Design Data

In-Swing Design Data											
Unit	Single and Double Doors	Clear Opening (Inches) ¹				Vent Area (Standard Sill)	Vent Area (ADA Sill)	Visible Glass Ft ²	Standard Glass Thickness (mm) Tempered		Performance Class & Grade ²
		Width (Inches) (172°)	Width (Inches) (90°)	Standard Sill Unit Height	ADA Sill Unit Height				Dual-Pane Glazing	Triple-Pane Glazing	
2680	F	–	–	–	–	–	–	6.1	3	3	LC55
3080	F	–	–	–	–	–	–	8.1	3	3	LC55
3480	F	–	–	–	–	–	–	9.7	3	3	LC55
3680	F	–	–	–	–	–	–	10.8	3	3	LC55
3880	F	–	–	–	–	–	–	11.6	3	3	LC55
2680	L/R	22-5/16	20-1/16	76-7/16	77-1/2	11.8	12.0	6.1	3	3	LC55
3080	L/R	26-15/16	24-11/16	76-7/16	77-1/2	14.3	14.5	8.1	3	3	LC55
3480	L/R	30-7/16	28-3/16	76-7/16	77-1/2	16.2	16.4	9.7	3	3	LC55
3680	L/R	32-15/16	30-11/16	76-7/16	77-1/2	17.5	17.7	10.8	3	3	LC55
3880	L/R	34-13/16	32-9/16	76-7/16	77-1/2	18.5	18.7	11.6	3	3	LC55
5080	FA/AF	22-5/16	20-1/16	76-7/16	77-1/2	11.8	12.0	12.2	3	3	LC55
6080	FA/AF	26-15/16	24-11/16	76-7/16	77-1/2	14.3	14.5	16.3	3	3	LC55
6780	FA/AF	30-7/16	28-3/16	76-7/16	77-1/2	16.2	16.4	19.4	3	3	LC55
7280	FA/AF	32-15/16	30-11/16	76-7/16	77-1/2	17.5	17.7	21.6	3	3	LC55
7580	FA/AF	34-13/16	32-9/16	76-7/16	77-1/2	18.5	18.7	23.2	3	3	LC55
5080	PA/AP	47/ 22-1/4	42-1/2/ 20	76-7/16	77-1/2	25.0	25.3	12.2	3	3	LC55
6080	PA/AP	56-1/4/ 26-7/8	51-3/4 / 24-5/8	76-7/16	77-1/2	29.9	30.3	16.3	3	3	LC55
6780	PA/AP	63-1/4/ 30-7/8	58-3/4/ 28-5/8	76-7/16	77-1/2	33.6	34.0	19.4	3	3	LC55
7280	PA/AP	68-1/4/ 32-7/8	63-3/4 / 30-5/8	76-7/16	77-1/2	36.2	36.7	21.6	3	3	LC55
7580	PA/AP	72 / 34-3/4	67-1/2 / 32-1/2	76-7/16	77-1/2	38.2	38.8	23.2	3	3	LC55

(–) = Not Applicable

(1) All dimensions are approximate to the nearest 1/16". The second value, where shown, provides the clear opening for the active panel only.

(2) Maximum performance when glazed with the appropriate glass thickness. All doors and sidelights are Tempered glass.

To convert areas to square meters (m²), multiply square feet by 0.0929.



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Designers Fountain 32021-SB

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Designers Fountain
32031-SB
Stonyridge 1 Light 17 inch
Satin Bronze...

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Designers Fountain
FL32036-FBZ
Stonyridge 1 Light 20 inch
Flemish Bronz...

\$52.47

[Product Information](#) [General Information](#) [Manufacturer's Catalog\(s\)](#) [Questions](#)

General Information

Designers Fountain 32021-SB Stonyridge 1 Light 13 inch Satin Bronze Outdoor Wall Lantern

Stonyridge outdoor wall lights are designed to enhance any exterior decor with a modern farmhouse look. This outdoor wall lantern features a satin bronze finish. The clear seedy glass highlights the vintage style bulb, and creates a unique pattern of light around the fixture. This wall lantern is perfect for entryways, porches, patios, front doors, garage doors, common outside areas.

Brand Information

- Brand: Designers Fountain
- Collection: Stonyridge
- SKU: 32021-SB
- UPC: 46335056985

Design Information

- Category: Outdoor Wall Lights
- Finish: Satin Bronze
- Glass: Clear Seedy
- Shade: Clear Seedy

Dimensions and Weight

- Length: 8.50 in.
- Width: 7.75 in.
- Height: 13.00 in.
- Max Height: 13.00 in.
- Backplate
- Backplate

Bulb Information

- Bulbs Included: No
- Dimmable: Yes
- Bulb Category: Incandescent
- Primary Bulb(s): 1 x 60.00 watts Medium



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Sat & Sun 9am to 12am EST

Customer Care

Mon - Fri 8am to 6pm EST

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Submit a Question

Other Specifications

- Ships Via: Ground (FREE SHIPPING)
- Included Lead Wire: 8.00
- Warranty: 1yr

Additional Details

- Motion Detector: No
- Dual Mount: No
- Photocell: No
- Motion Detector: No
- Dual Mount: No
- Photocell: No
- Interior / Exterior: Exterior

- Safety Rating: UL/CUL Wet

Designers Fountain's Catalogs

Click on the catalog to view the PDF in your browser or right-click and hit "Save As" to save the PDF to your computer.



Have a question about this product? Ask us!

[Live Chat](#)[Submit a Question](#)

VIP Code: 1TM6UHXD13

866-344-3875

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There are no reviews for this product. Currently review requests are being sent to Lighting New York customers that have already purchased and received the product.

Product Questions

Questions about Designers Fountain 32021-SB

Ask us a question...

Be the first to ask a question about this product!

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Submit a Question



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00735

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

322 E. Intendencia Street
Pensacola Historic District / Zone HR-2 / Wood Cottages
Rear Addition to a Noncontributing Structure

BACKGROUND:

Chuck Kunze, Artisan's Architecture LLC, is requesting approval for a rear sunroom addition to a noncontributing structure. The addition will be approximately 280 square feet and will leave portions of the existing brick patio. The roof, soffits and fascia details, and siding will match the existing materials. The patio French doors and windows will be white Kolbe aluminum clad. Since this is a noncontributing property and since the addition will be completely hidden from street view, the homeowner is requesting that the new windows and doors have no muntins. Matching exterior paint colors will include Sherwin Williams "Roycroft Suede" and "Creamy".

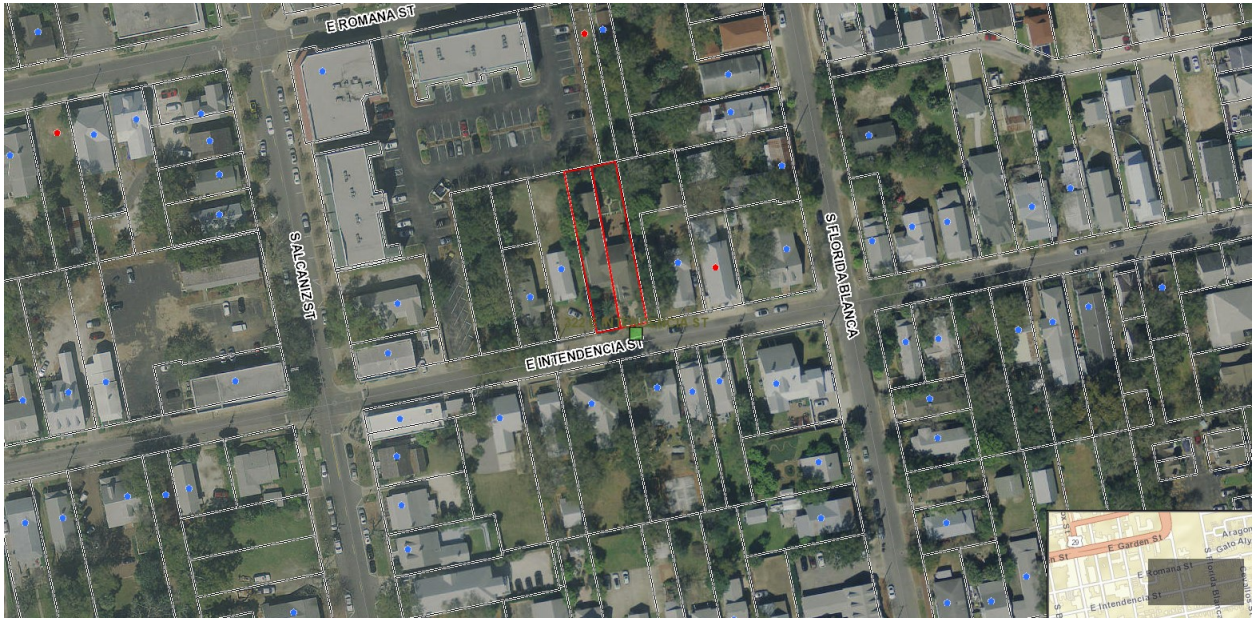
Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(a) Pensacola historic district, Rules for governing decisions

Sec. 12-3-10(1)g. Pensacola historic district, Alterations to noncontributing structures

322 E. Intendencia Street





City of
Pensacola
America's First Settlement
And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: JUNE 30 2022

Project Address: 322 E. INDEPENDENCIA ST, PENSACOLA, FL 32502

Applicant: ROBERT & GLORIA TURNER (ARTISAN'S ARCHITECTURE LLC)

Applicant's Address: 2000 N. LINCOLN PARK W., CHICAGO, IL 60614
(25 W. CEDAR ST, SUITE 106, PENSACOLA FL 32502

Email: CHUCK@ARTISANSARCHITECTURE.COM Phone: 850 723-9310

Property Owner: ROBERT & GLORIA TURNER
(If different from Applicant)

District: ☒ PHD ☐ NHPD ☐ OEHPD ☐ PHBD ☐ GCD

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

* An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.

Project specifics/description:

SUN ROOM ADDITION TO THE REAR (NORTH) SIDE OF THE EXISTING MAIN HOUSE STRUCTURE. THERE IS CURRENTLY A RAISED BRICK PAVED PATIO AREA. THE ADDITION WILL BE APPROX. 280 S.F. WHICH WILL LEAVE PORTIONS OF THE BRICK PATIO AREA AS A ~~BRICK~~ PATIO OUTSIDE THE NEW ADDITION. THE NEW ROOF WILL MATCH EXISTING, THE SOFFIT & FASCIA DETAILS WILL MATCH EXISTING, THE HARDIE-SHINGLE SIDING WILL MATCH EXISTING, THE DOORS & WINDOWS WILL MATCH EXISTING, BUT WITH NO MULLIONS. ALL NEW COLORS SHALL MATCH EXISTING WHITE COLOR.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

[Signature]
Applicant Signature

6-30-22
Date

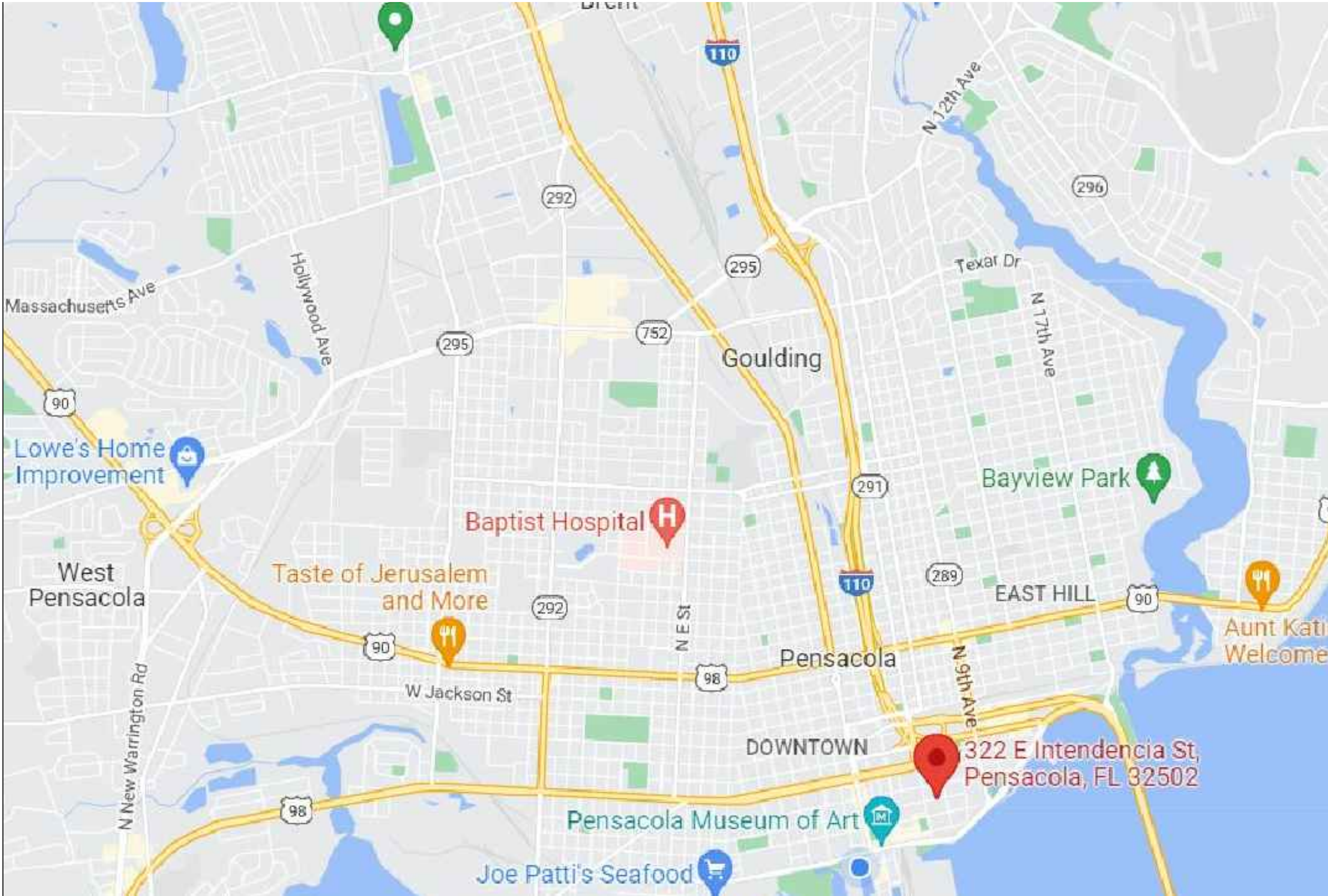
TURNER RESIDENTIAL ADDITION

322 E. INTENDENCIA STREET, PENSACOLA, FLORIDA 32502

ESCAMBIA COUNTY

INDEX OF DRAWINGS

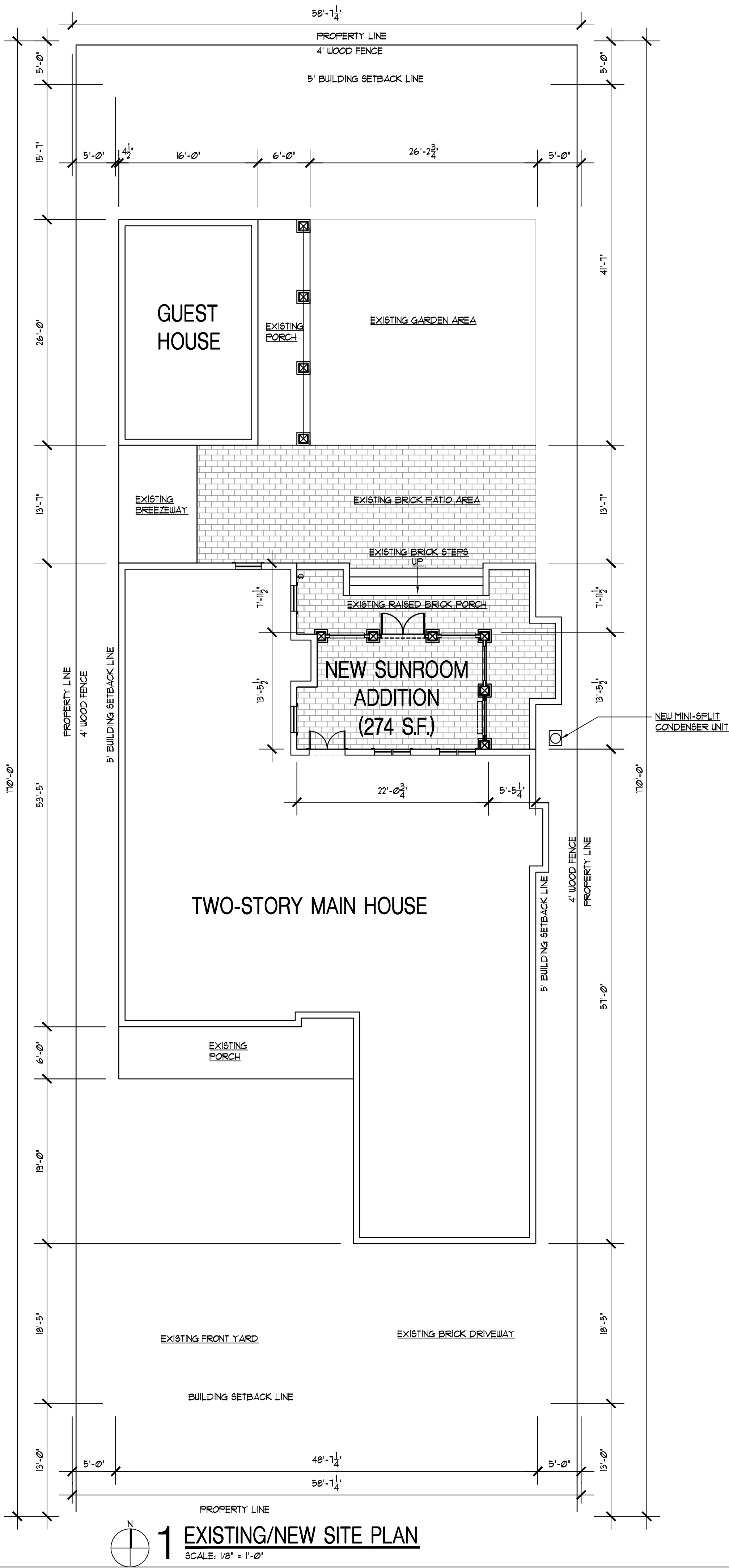
- T1.0 TITLE SHEET, DRAWING INDEX, LOCATION MAP, VICINITY MAP
- A1.0 AS-BUILT, EXISTING FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A3.0 DOOR & WINDOW SCHEDULES, FINISH SCHEDULE, TYPICAL WALL SECTION, NEW ROOF PLAN
- A4.0 TYPICAL DETAILS & NOTES, CODE REVIEW, FL#S, COMP. & CLAD. CALCULATION



VICINITY MAP
NOT TO SCALE



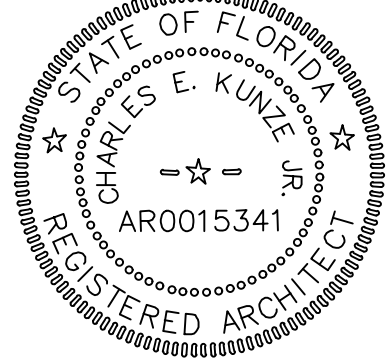
LOCATION MAP
NOT TO SCALE



1 EXISTING/NEW SITE PLAN
SCALE: 1/8" = 1'-0"

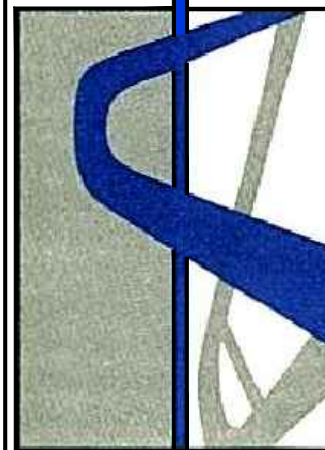
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Creating Architecture as an Art Form

ARTISAN'S ARCHITECTURE LLC



ARTISAN'S Charles E. Kuntze Jr. 25 W. Cedar St., Suite #106, Pensacola, FL 32502
ARCHITECTURE 850-432-8438 FL LIC # 00000001 FL RESIDENTIAL AR-00000001 FL RESIDENTIAL AR-00000001

PROJECT
TITLE

TURNER RESIDENTIAL ADDITION

322 E. INTENDENCIA STREET
PENSACOLA, FL 32502

PROJ. NO. 2022-0138
DATE: 6-14-2022
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.

SHEET TITLE
TITLE SHEET, DRAWING INDEX
LOCATION MAP, VICINITY MAP

T1.0

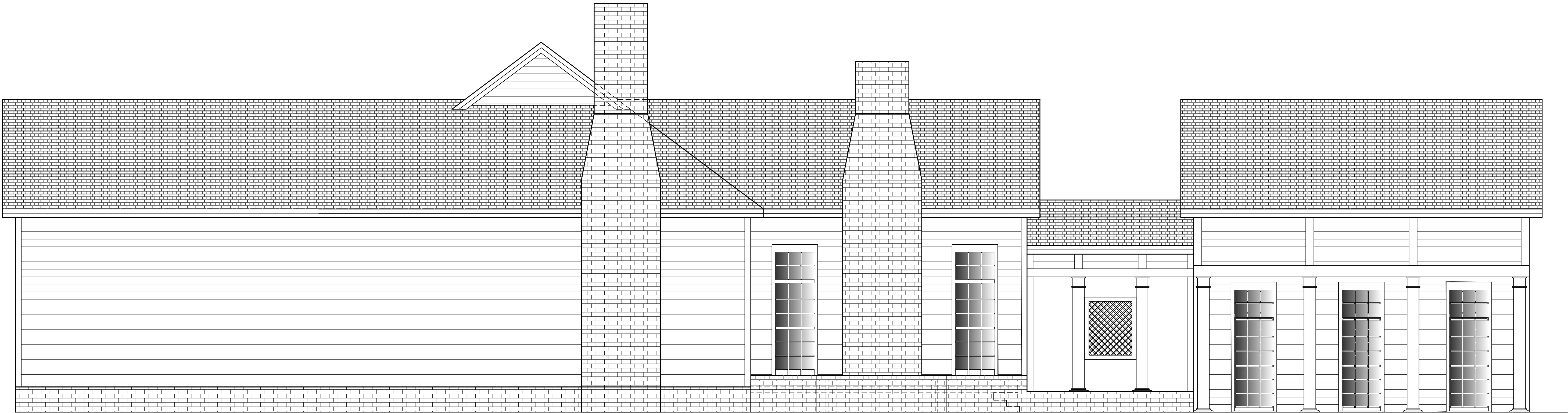


1 EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"
0 1' 2'-0" 5'-0" 10'-0"

KEY NOTE LEGEND

① EXISTING FRENCH DOOR IS ROTTED AND WILL BE REPLACED WITH A NEW DOOR WHICH TO MATCH THE EXISTING DOOR SEE DOOR #100a ON THE DOOR TYPES.



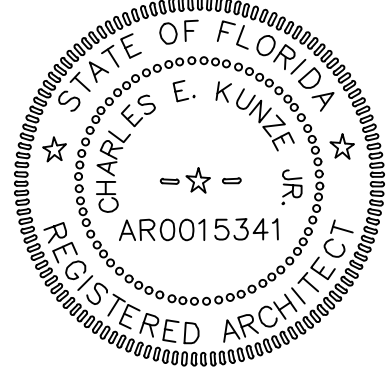
2 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"
0 1' 2'-0" 5'-0" 10'-0"

REVISIONS

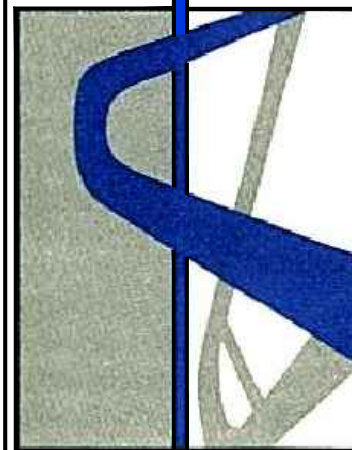
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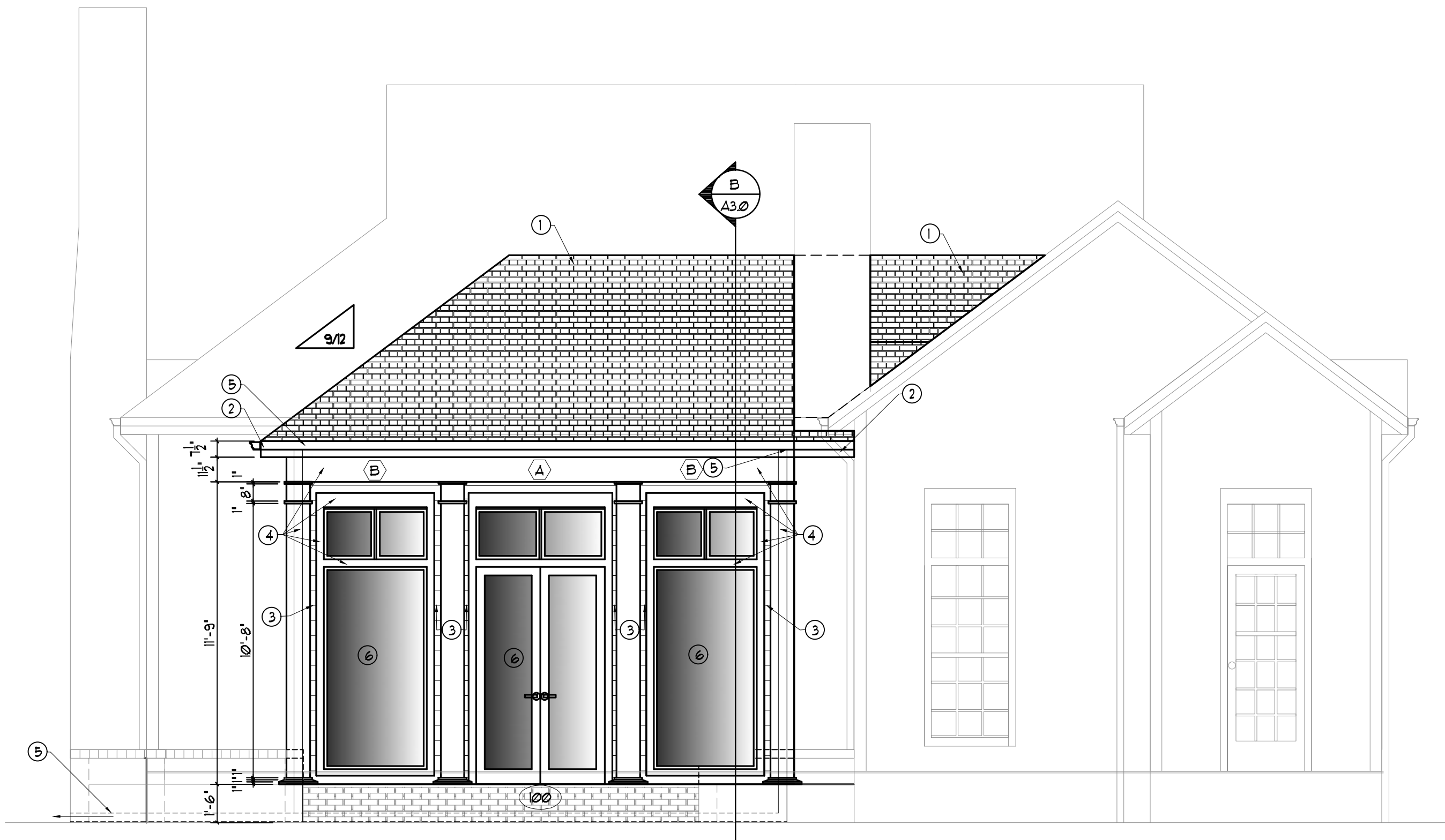
TURNER RESIDENTIAL ADDITION

322 E. INTENDENCIA STREET
PENSACOLA, FL 32502

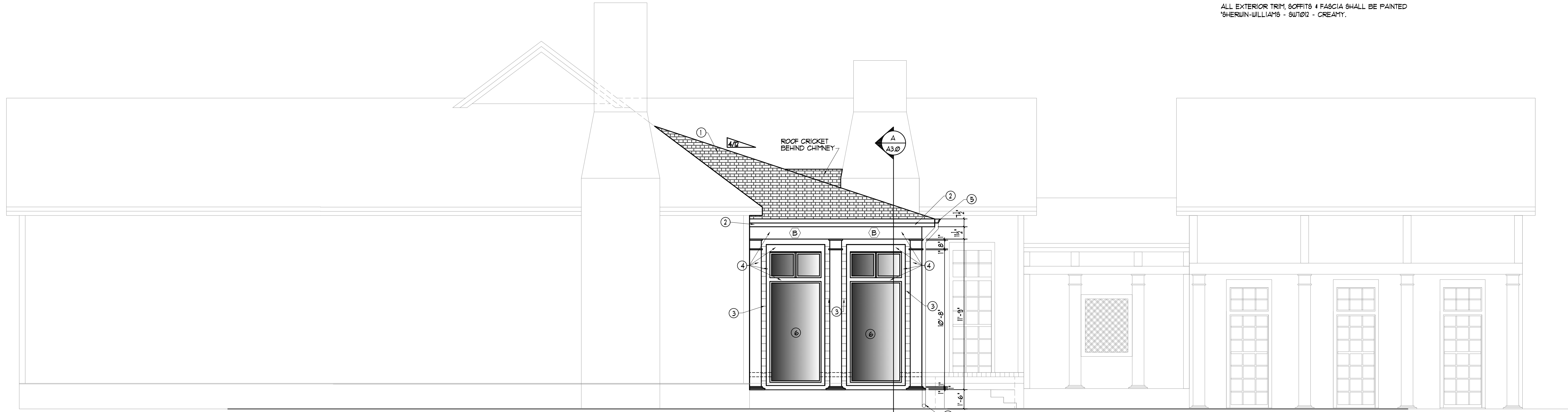
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SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

A2.0



3 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

LIST OF NEW EXTERIOR FINISHES & CLADDING

- ROOFING - (GAF) GLENWOOD LIFETIME DESIGNER ASPHALT SHINGLES, COLOR - CHELSEA GRAY.
- SOFFIT - (JAMES HARDIE PRODUCTS) HARDIE-SOFFIT PANELS, VENTED COLOR - PAINTED WHITE.
- SIDING - (JAMES HARDIE PRODUCTS) HARDIE-PLANK LAP SIDING, SMOOTH, 1" EXPOSED, COLOR - PAINTED WHITE.
- TRIM - (JAMES HARDIE PRODUCTS) HARDIE -TRIM BOARDS, SMOOTH, 3/4", COLOR - PAINTED WHITE.
- DOORS - (KOLBE WINDOW & DOORS) ULTRA SERIES, ALUM. CLAD WOOD FULL GLASS FRENCH DOOR, WITH LOW-E GLASS, REPLACEMENT DOOR TO HAVE 12 DIVIDER PANEL TO MATCH EXISTING, NEW DOOR TO HAVE 'NO' DIVIDES, COLOR - K-KRON WHITE.
- WINDOWS - (KOLBE WINDOW & DOORS) ULTRA SERIES, ALUM. CLAD WOOD, FIXED LOW-E GLASS WINDOWS, NO MULLIONS, COLOR - K-KRON WHITE.

KEY NOTE LEGEND

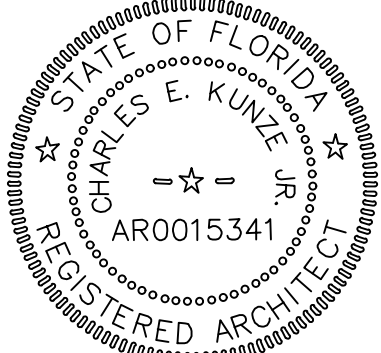
- 1) 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOF (MATCH EXISTING), OVER FEEL & STICK ROOF MOISTURE BARRIER, OVER 3/8" CDX EXTERIOR ROOF PLYWOOD SHEATHING, PLYWOOD SHEATHING ATTACHED TO PRE-ENGINEERED ROOF TRUSSES.
- 2) F.T. CONTINUOUS 2X8 FASCIA BD. (MATCH EXISTING, PAINT WHITE) WITH 3/4"X4" HARDIE BD. FASCIA TRIM AND 3" PRE-FINISHED METAL DRIF EDGE FLASHING.
- 3) HARDIE-LAP SIDING (MATCH EXISTING PROFILES, PAINT WHITE), OVER 3/8" CDX EXTERIOR PLYWOOD STRUCTURAL WALL SHEATHING.
- 4) 3/4" HARDIE-TRIM BOARDS (PAINT WHITE).
- 5) PRE-FINISHED 4" GUTTER (MATCH EXISTING SHAPE AND COLOR) WITH DOWNSPOUTS WHICH ARE ROUTED INTO A PVC DRAINAGE PIPE WHICH EXTENDS OUT THROUGH THE EXISTING BRICK GARDEN WALL ON THE EAST FACE.
- 6) DOOR OR WINDOW UNIT AS SPECIFIED, FLASH AND CAULK CONTINUOUSLY AROUND OPENING TO MAKE WATER TIGHT, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

EXTERIOR PAINT COLORS

- ALL EXTERIOR SIDING SHALL BE PAINTED 'SHERWIN-WILLIAMS' - SW2842 - ROYCROFT SUEDE.
- ALL EXTERIOR TRIM, SOFFITS & FASCIA SHALL BE PAINTED 'SHERWIN-WILLIAMS' - SW1012 - CREAMY.

REVISIONS
FOR ARB APPROVAL 06-30-2022

ARCHITECT'S SEAL & SIGNATURE



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ARTISAN'S ARCHITECTURE LLC



ARTISAN'S Charles E. Kurze Jr. 25 W. Cedar St., Suite #106, Pensacola, FL 32502
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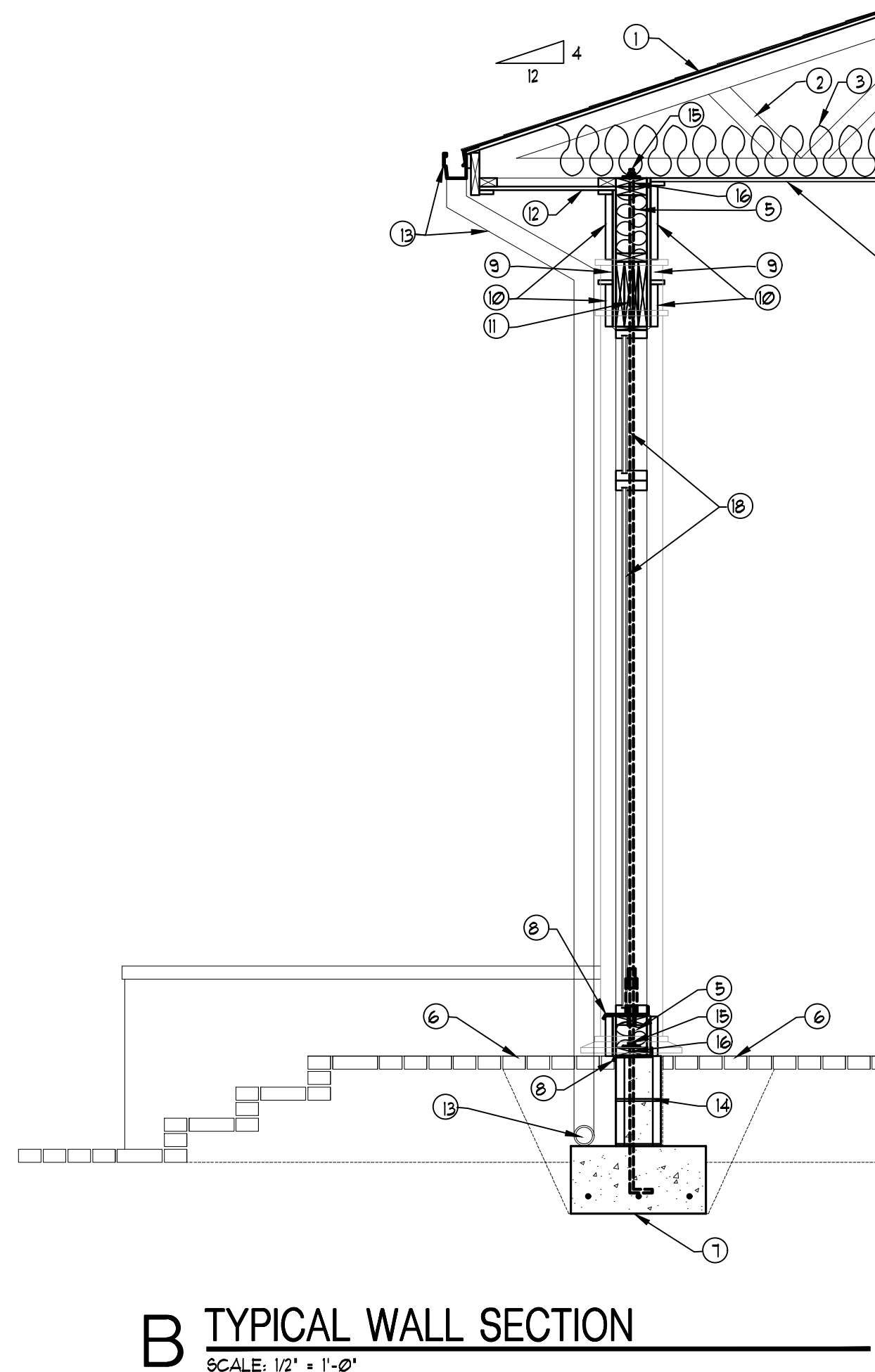
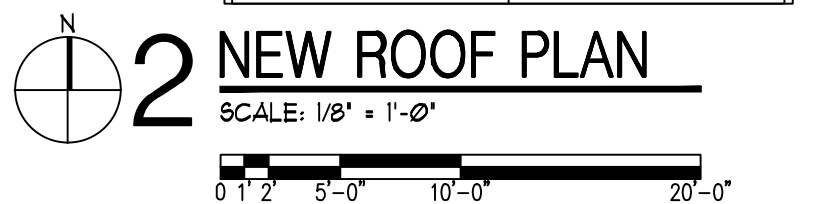
PROJECT
TITLE

TURNER RESIDENTIAL ADDITION
322 E. INTENDENCIA STREET
PENSACOLA, FL 32502

PROJ. NO. 2022-0138
DATE: 6-14-2022
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.

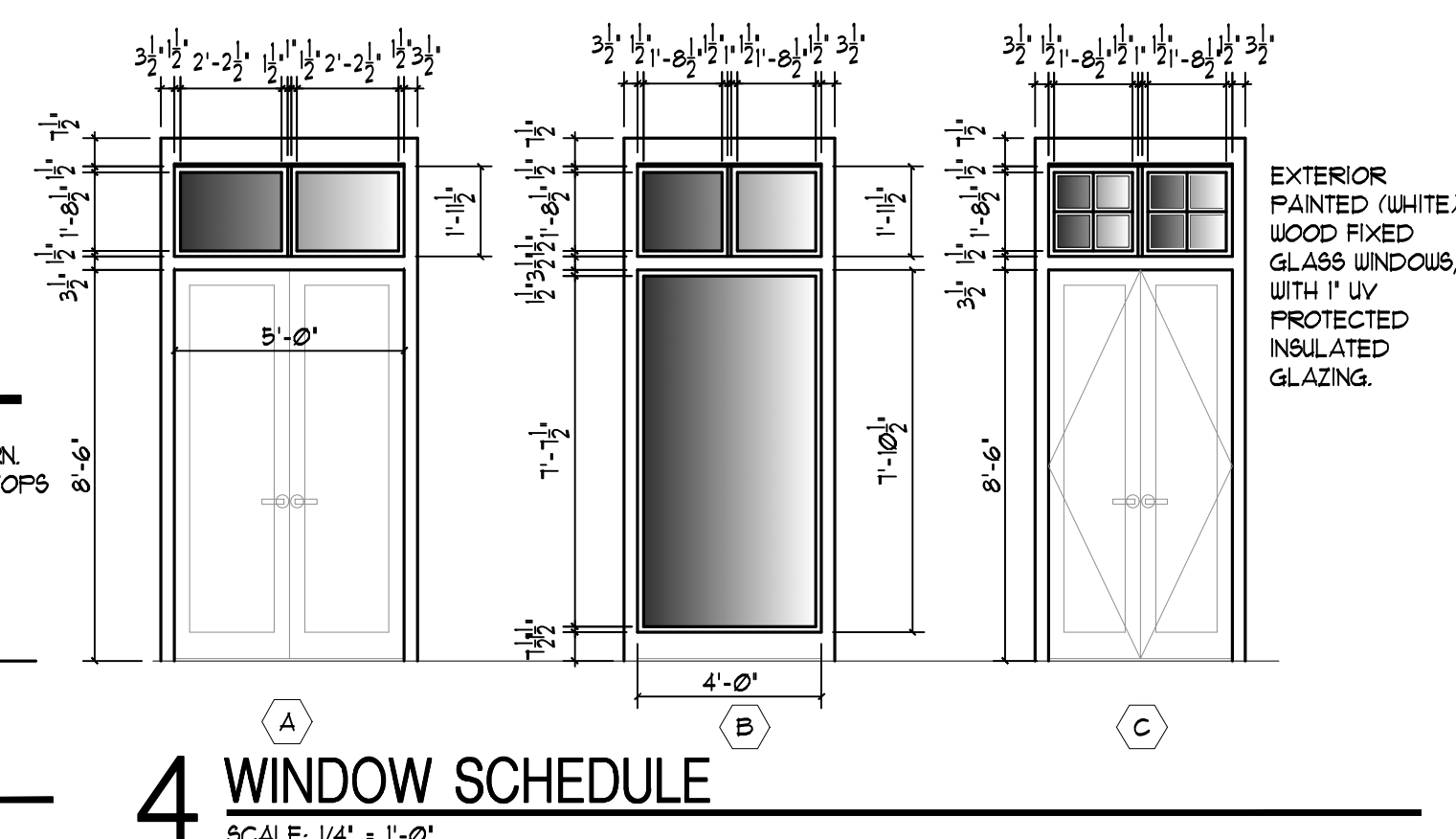
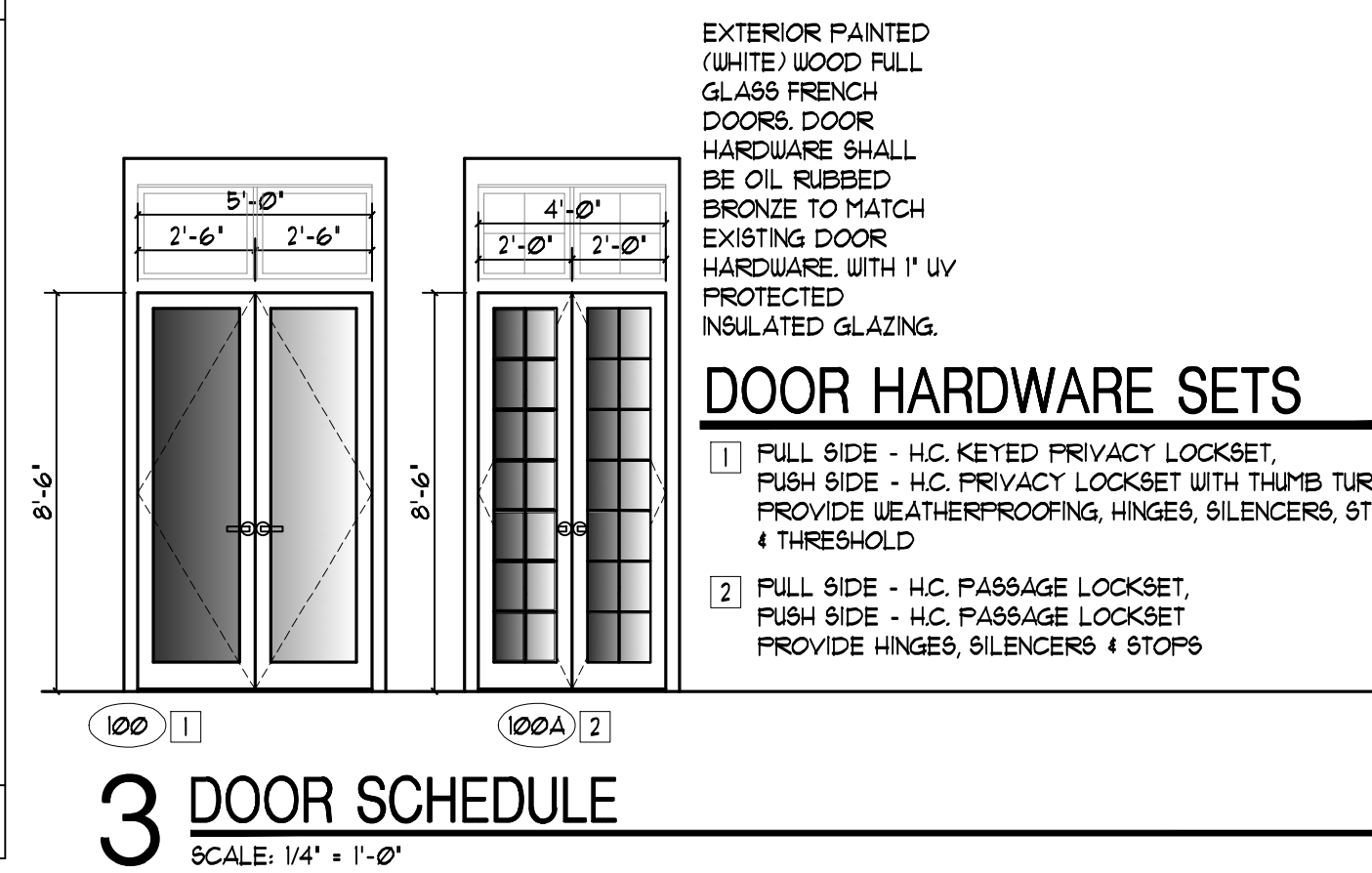
SHEET TITLE
NEW EXTERIOR ELEVATIONS

A2.1

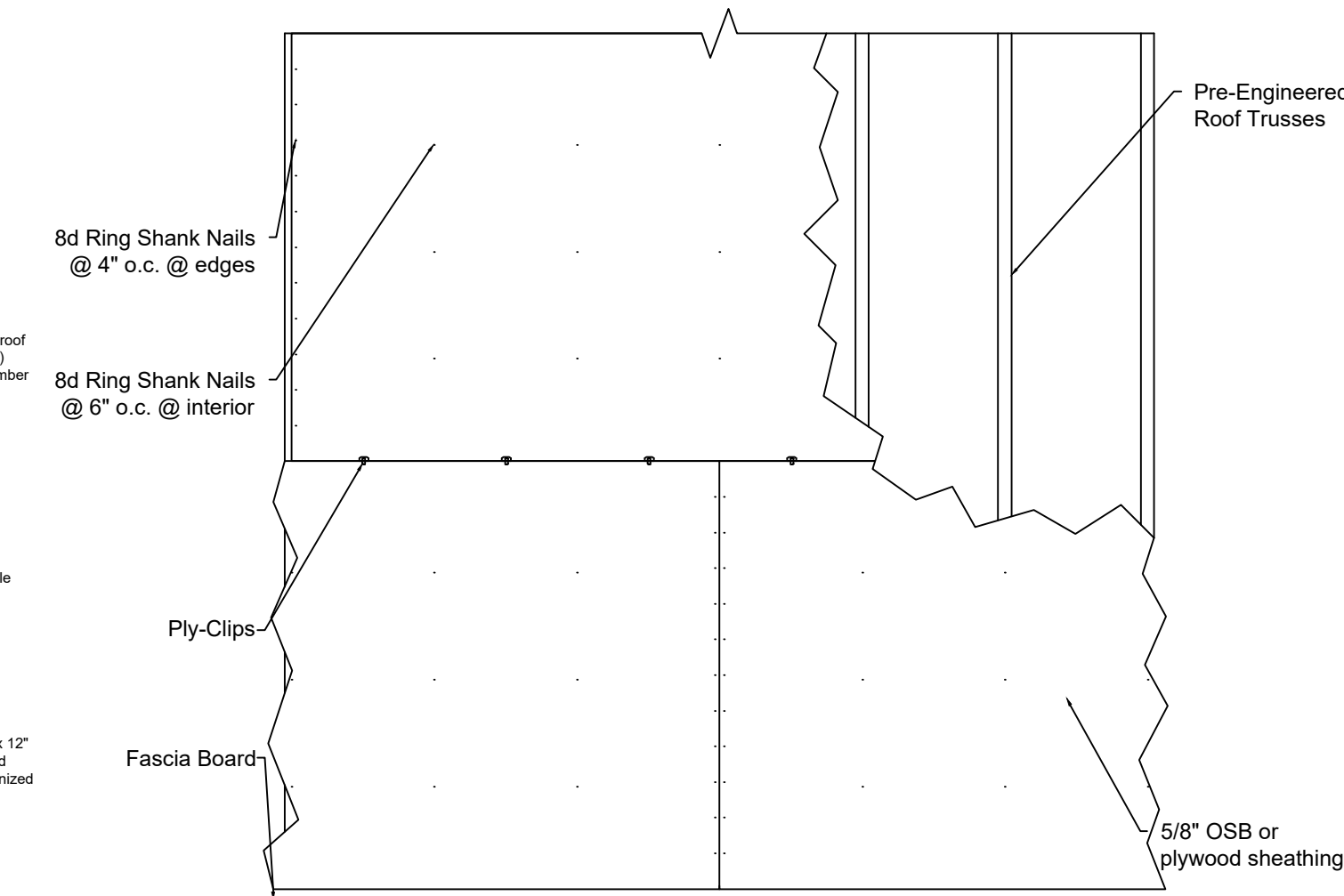
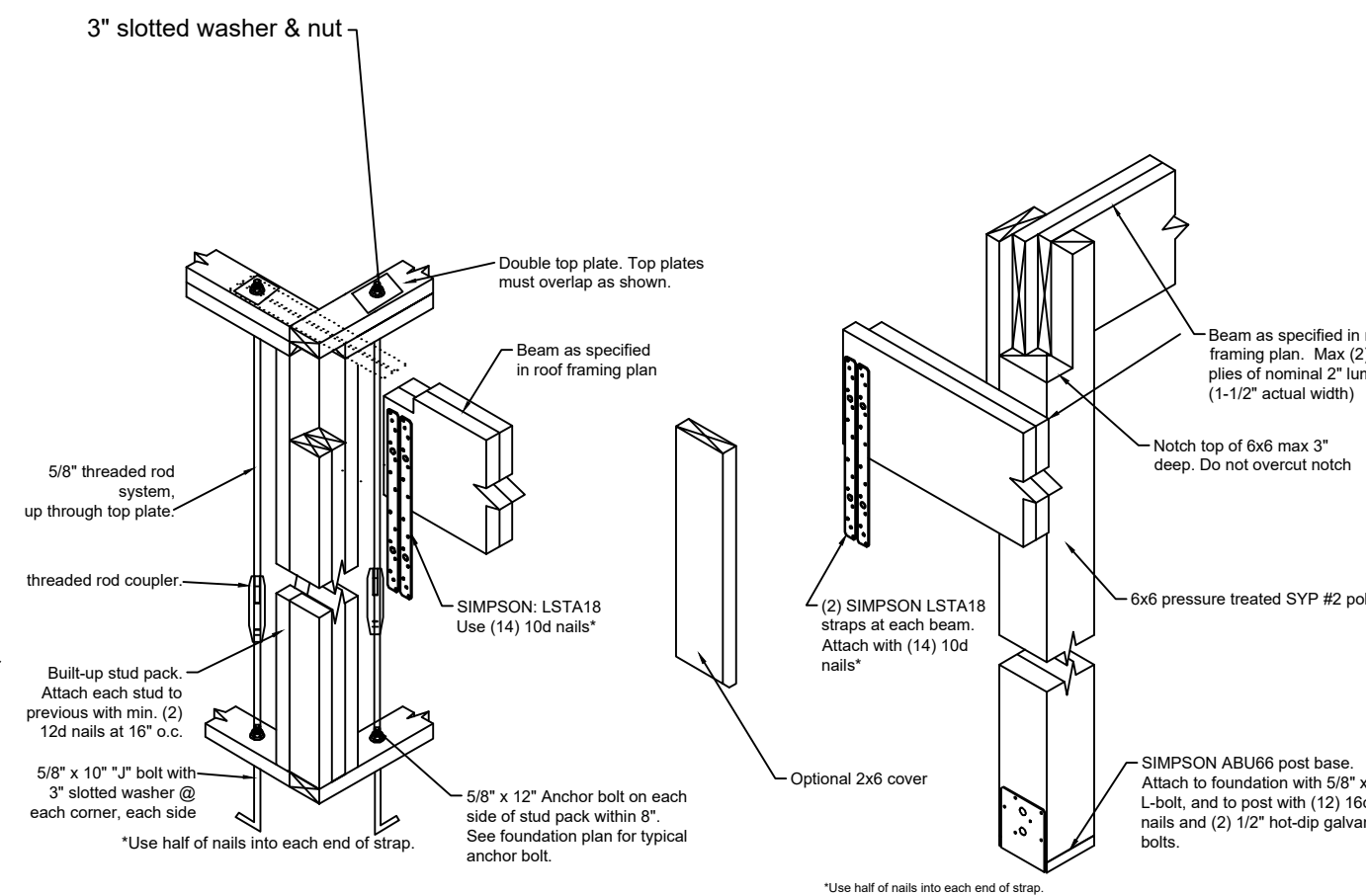
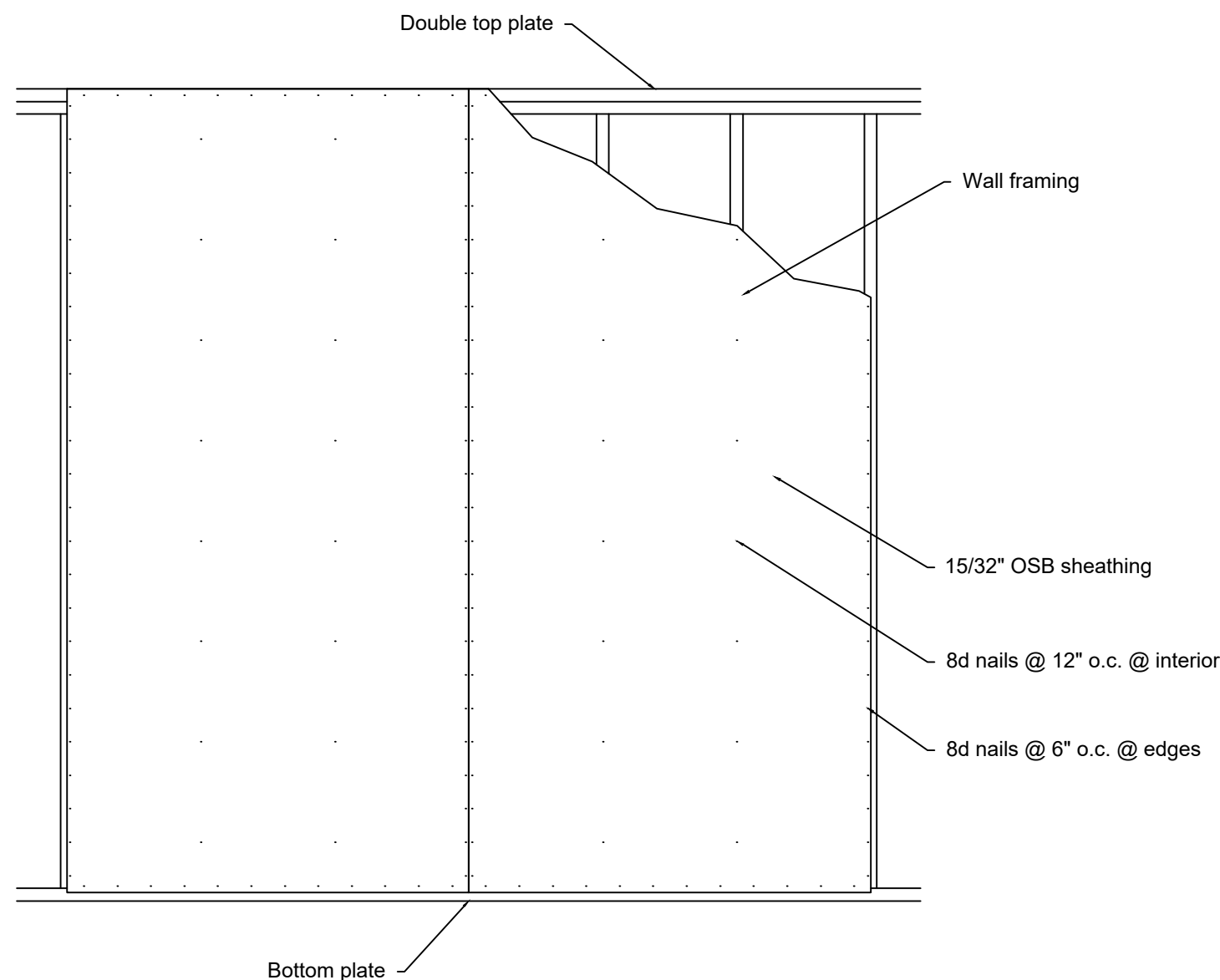
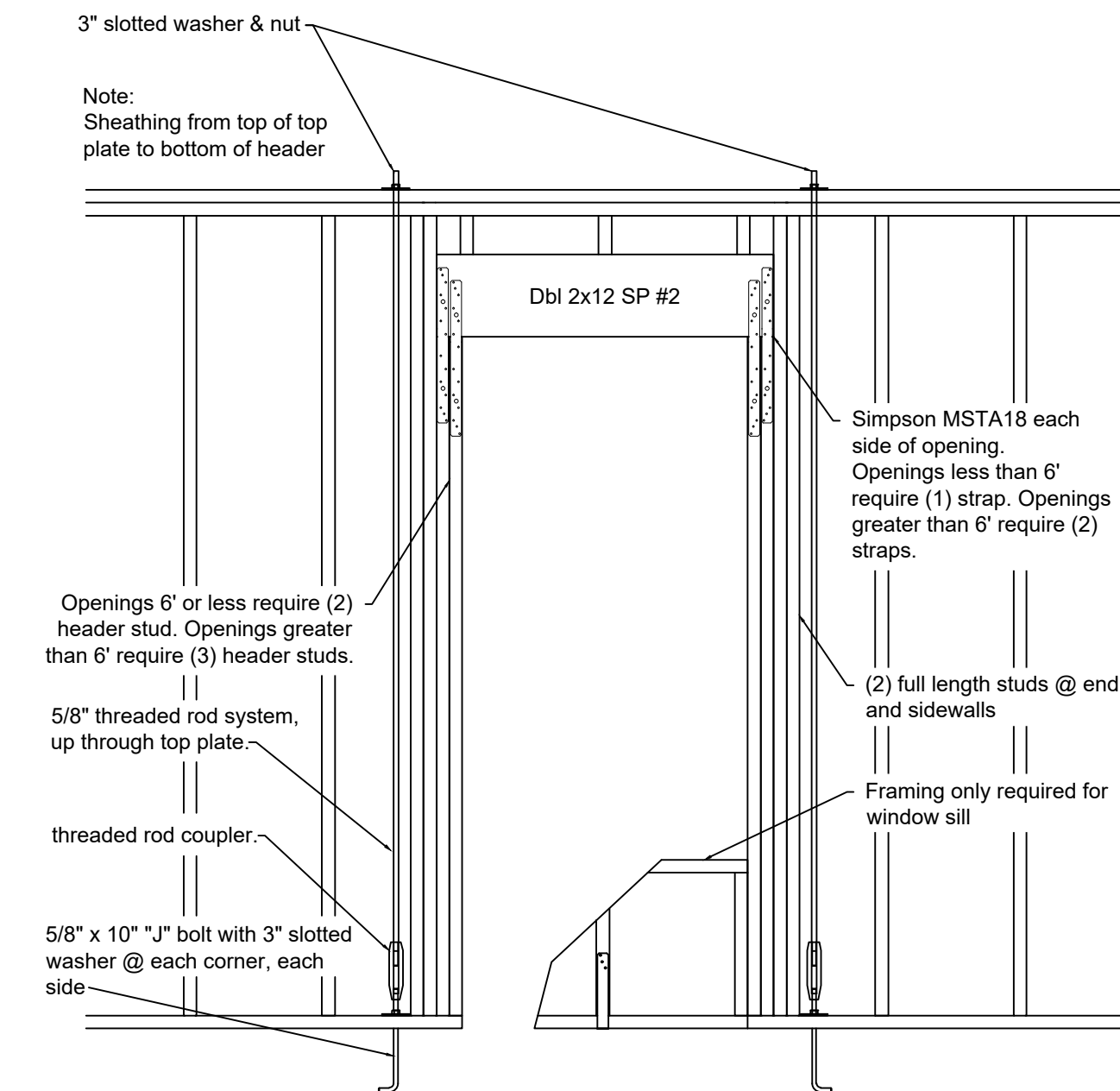


- ① 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOF (MATCH EXISTING).
OVER FEEEL, 1" STICK ROOF MOISTURE BARRIER, OVER 1" CDX EXTERIOR
ROOF PLYWOOD SHEATHING, PLYWOOD SHEATHING ATTACHED TO
PRE-ENGINEERED ROOF TRUSSES.
- ② PRE-ENGINEERED WOOD ROOF TRUSSES, SPACED AND DESIGNED PER
STRUCTURAL SPECIFICATIONS AND NOTES, ANCHORED AND INSTALLED
PER TRUSS MANUFACTURERS SHOP DRAWINGS.
- ③ (R-32 MIN) CEILING INSULATION, (BATTS OR SPRAY FOAM).
- ④ P.T. CONTINUOUS 2X8 FASCIA BOARD, (MATCH EXISTING, PAINT WHITE) WITH
1/4" X4" HARDIE BOARD, FASCIA TRIM AND 3" PRE-FINISHED MILL DRIP EDGE
FLASHING.
- ⑤ FILL ALL OPEN WALL VOIDS WITH 6" (R-19 MIN) WALL INSULATION, (BATTS
OR SPRAY FOAM).
- ⑥ EXISTING BRICK PAVERS TO BE PRESSURE WASHED, REMOVE AS
REQUIRED TO INSTALL CONCRETE SLAB FOOTING. AFTER FOOTING IS
INSTALLED, FILL AND COMPACT EFFECTED AREA AND REPLACE
EXISTING BRICK PAVERS IN THEIR ORIGINAL LOCATIONS. CUT PAVERS AS
REQUIRED TO FIT AROUND NEW WALLS.
- ⑦ REINFORCED STRUCTURAL WALL FOOTING, SEE STRUCTURAL.
- ⑧ PRE-FINISHED MILL SILL FLASHING.
- ⑨ HARDIE-LAP SIDING (MATCH EXISTING PROFILES, PAINT WHITE) OVER 1/2"
CDX EXTERIOR PLYWOOD STRUCTURAL WALL SHEATHING.
- ⑩ 3" HARDIE-TRIM BOARDS (PAINT WHITE).
- ⑪ HEADER BEAM - SEE STRUCTURAL.
- ⑫ HARDIE SOFFIT - VENTILATED (PAINT WHITE).
- ⑬ PRE-FINISHED 4" GUTTER (MATCH EXISTING SHAPE AND COLOR) WITH
DOWNSPOUTS WHICH ARE ROUTED INTO A PVC DRAINAGE PIPE WHICH
EXTENDS OUT THROUGH THE EXISTING BRICK GARDEN WALL ON THE
EAST FACE.
- ⑭ GROUP FILLED STRUCTURAL 8" CMU FOUNDATIONS WALL, SEE STRUCTURAL
FOR REINFORCING, SPECIFICATIONS AND NOTES.
- ⑮ 5/8" CMU "PRO-BOLT" 3/4" X 36" THREADED ROD TIE DOWN SYSTEM, PRO-BOLT"
TIE-DOWNS ARE TO BE LOCATED EVERY 4' (FOOT) ON CENTER MAXIMUM,
AND AT 8' (INCHES) FROM EACH CORNER AND 8' (INCHES) FROM EACH
SIDE OF DOOR & WINDOW OPENINGS. SEE STRUCTURAL FOR
SPECIFICATIONS AND NOTES.
- ⑯ 2X6 STUDS AT 16" O.C., UNLESS OTHERWISE NOTED IN STRUCTURAL, SEE
STRUCTURAL FOR SPECIFICATIONS AND NOTES.
- ⑰ HARDIE-PANEL WITH A T&G PATTERN ON ALL CEILING AREAS (PAINT
WHITE).
- ⑱ DOOR OR WINDOW UNIT AS SPECIFIED, FLASH AND CAULK CONTINUOUSLY
AROUND OPENING TO MAKE WATER TIGHT, INSTALL PER MANUFACTURER'S
SPECIFICATIONS.

ROOM FINISH SCHEDULE - TWO BEDROOM UNIT							
QTY NO.	ROOM NAME	FLOOR	BASE	WALLS	CLG.	CLG. HT.	NOTES
		●	RE-USE EXISTING BRICK PAVERS (PRESSURE WASHED)				
		●	PAINTED (WHITE) EXTERIOR HARDIE TRIM 5/4" X 6" HIGH				
		●	PAINTED (WHITE) EXTERIOR HARDIE 5/4" TRIM 1 HARDIE LAP SIDING				
		●	PAINTED (WHITE) EXTERIOR HARDIE 1 1/2" G. PATTERN BOARDS				
100	SUNROOM	●			11'-9" AFF.		THE EXISTING EXTERIOR WALLS SHALL REMAIN. (AS IS) REPAIR AND REPAINT ALL EXISTING WALLS (WHITE).



A3.0



1 Typical Wall Opening

2 Typical Wall Sheathing

3 Beam Attachment

4 Typical Roof Sheathing

CODE REVIEW

BASED ON THE 2021, 7th Edition, FLORIDA RESIDENTIAL BUILDING CODE:

OCCUPANCY:
"GROUP R-3": SINGLE FAMILY HOME

CONSTRUCTION TYPE:
"TYPE VB"

FIRE RATINGS BASED ON SEPARATION DISTANCE:
NO FIRE RATING IS REQUIRED.

MAX. BUILDING HEIGHT:
THE MAXIMUM BUILDING HEIGHT IS 40'

MAX NUMBER OF STORIES:
THE MAXIMUM NUMBER OF STORIES ALLOWED IS (3) STORIES.

MAX. AREA PER STORY:
THE MAXIMUM ALLOWABLE AREA PER STORY IS (UNLIMITED).

FINISHES:
INTERIOR FINISHES MUST BE CLASS "C" OR ABOVE.

EXIT REQUIREMENTS & ISSUES:
-THE REQUIRED CLEAR EXIT WIDTH IS = 36"
-ONE EXIT IS ALL THAT IS REQUIRED, BUT MULTIPLE EXITS ARE BEING PROVIDED.
-STAIR RISERS SHALL BE ALLOWED TO BE 7.75" HIGH MAXIMUM, TREADS SHALL BE 10" MINIMUM WITH A SOLID RISER AND A NOSING WHICH IS .75" TO 1.25" DEEP. TREADS & RISERS SHALL BE UNIFORM TO A TOLERANCE OF .375" WITHIN EACH FLIGHT.
-ALL STAIRS SHALL MAINTAIN A MINIMUM CLEAR HEAD HEIGHT OF 6'-8".
-ALL HANDRAILS AND GUARDRAILS SHALL BE A MINIMUM OF 36" HIGH, ABOVE FINISHED FLOOR.
-THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL EXTERIOR COMPONENT & CLADDING MATERIALS, TO MEET THE MANUFACTURES RECOMMENDED WINDLOAD CRITERIA AS SPECIFIED BY THE ENGINEERS CALCULATION FOR HURRICANE WIND ZONES.

FLORIDA PRODUCT INFORMATION

IF THE CONTRACTOR ELECTS TO SUBSTITUTE A DIFFERENT MANUFACTURER HE MUST PROVIDE FL# FOR THOSE PRODUCTS.

SOFFIT - (FL# 132651)
MANUF. BY JAMES HARDIE,
HARDIE-SOFFIT PANELS

SIDING - (FL# 88910)
MANUF. BY JAMES HARDIE,
HARDIE-LAP SIDING

ROOFING - (FL# 101241)
MANUF. BY GAF,
30 YR DIMENSIONAL ASPHALT ROOF SHINGLES

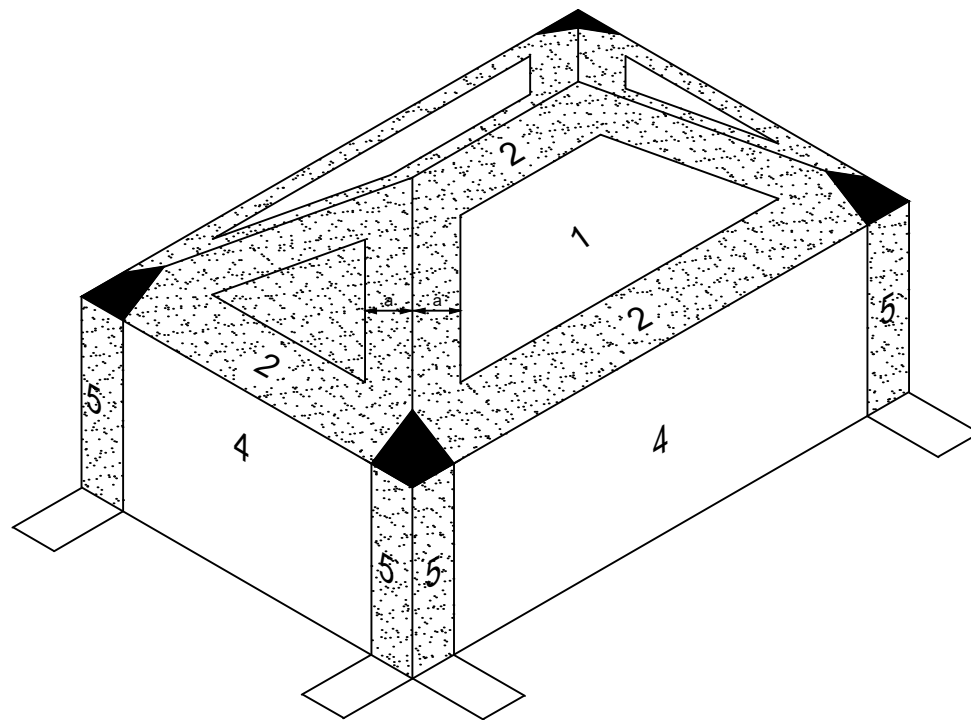
EXTERIOR DOORS - (FL# 25916)
MANUF. BY KOLBE & KOLBE
FULL GLASS FRENCH DOOR, WHITE K-KRON

EXTERIOR WINDOWS - (FL# 16932)
MANUF. BY KOLBE & KOLBE
FIXED WINDOWS & TRANSOMS, WHITE K-KRON

MISC. HURRICANE CONNECTORS - SIMPSON STRONG TIE
MSTA24, MTS20 STRAPS, (FL# 108523-R2),
H25A, H10 CLIPS, (FL# 104566-R2),
H25A CLIPS, (FL# 104566-R2),
SFH6 STRAPS, (FL# 104565-R2),
MTS18 STRAPS, (FL# 104563-R2-R2),
MTS20, (FL# 138123-R1).

COMPONENTS & CLADDING CALCULATIONS

DESIGN CRITERIA			
Ultimate Wind Speed	155	mph	
Risk Category	II		
Adjustment Coefficient	1.00		
Exposure Category	B		
Building Category	Enclosed		
End Zone, a (ASCE 7-10)	3	feet	



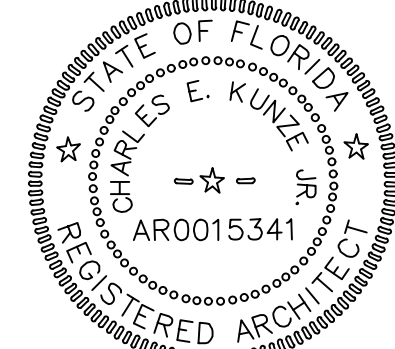
MAIN STRUCTURE PRESSURES			
Zone	Area	Pressure (psf)	
		Max	Min
1	10.0	26.5	-42.1
	20.0	24.2	-41.0
	50.0	21.1	-39.4
	100.0	18.7	-38.2
2	10.0	26.5	-73.4
	20.0	24.2	-67.5
	50.0	21.1	-59.7
	100.0	18.7	-53.9
3	10.0	26.5	-108.5
	20.0	24.2	-101.4
	50.0	21.1	-92.1
	100.0	18.7	-85.1
4	10.0	46.1	-50.0
	20.0	44.0	-47.9
	50.0	41.2	-45.1
	100.0	39.2	-43.1
5	10.0	46.1	-61.7
	20.0	44.0	-57.5
	50.0	41.2	-52.0
	100.0	39.2	-47.9

ROOF OVERHANG PRESSURES		
Zone	Area	Pressure (psf)
2	10.0	-75.5
	20.0	-75.5
	50.0	-75.5
	100.0	-75.5
3	10.0	-126.9
	20.0	-114.5
	50.0	-98.1
	100.0	-85.8

Note: For effective areas between those given above, use the load associated with the lower effective area.

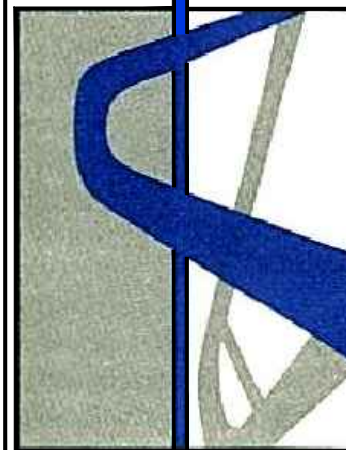
REVISIONS
FOR ARB APPROVAL 06-30-2022

ARCHITECT'S SEAL & SIGNATURE



Creating Architecture as an Art Form

ARTISAN'S ARCHITECTURE LLC



ARTISAN'S Charles E. Kuntze Jr. 25 W. Cedar St., Suite #106, Pensacola, FL 32502
ARCHITECTURE 850-432-8438 FL. LIC # AR0015341 A. RESIDENTIAL & COMM. LA. RESIDENTIAL & COMM. FL. RESIDENTIAL & COMM.

PROJECT TITLE

TURNER RESIDENTIAL ADDITION

322 E. INTENDENCIA STREET
PENSACOLA, FL 32502

PROJ. NO. 2022-0138
DATE: 6-14-2022
DRAWN BY: C.E.K.J.
CHECKED BY: C.E.K.J.

SHEET TITLE

TYPICAL DETAILS & NOTES,
CODE REVIEW, FL#S,
COMPONENT & CLADDING CALC.

A4.0



PATIO FACING NORTH



PATIO FACING EAST



PATIO FACING SOUTH



MAIN HOUSE - NORTH ELEVATION



MAIN HOUSE NORTH/EAST
ELEVATION



MAIN HOUSE NORTH/EAST
ELEVATION



MAIN HOUSE EAST ELEVATION



Hardie® Soffit Panels

[Download the Product Catalog >](#)

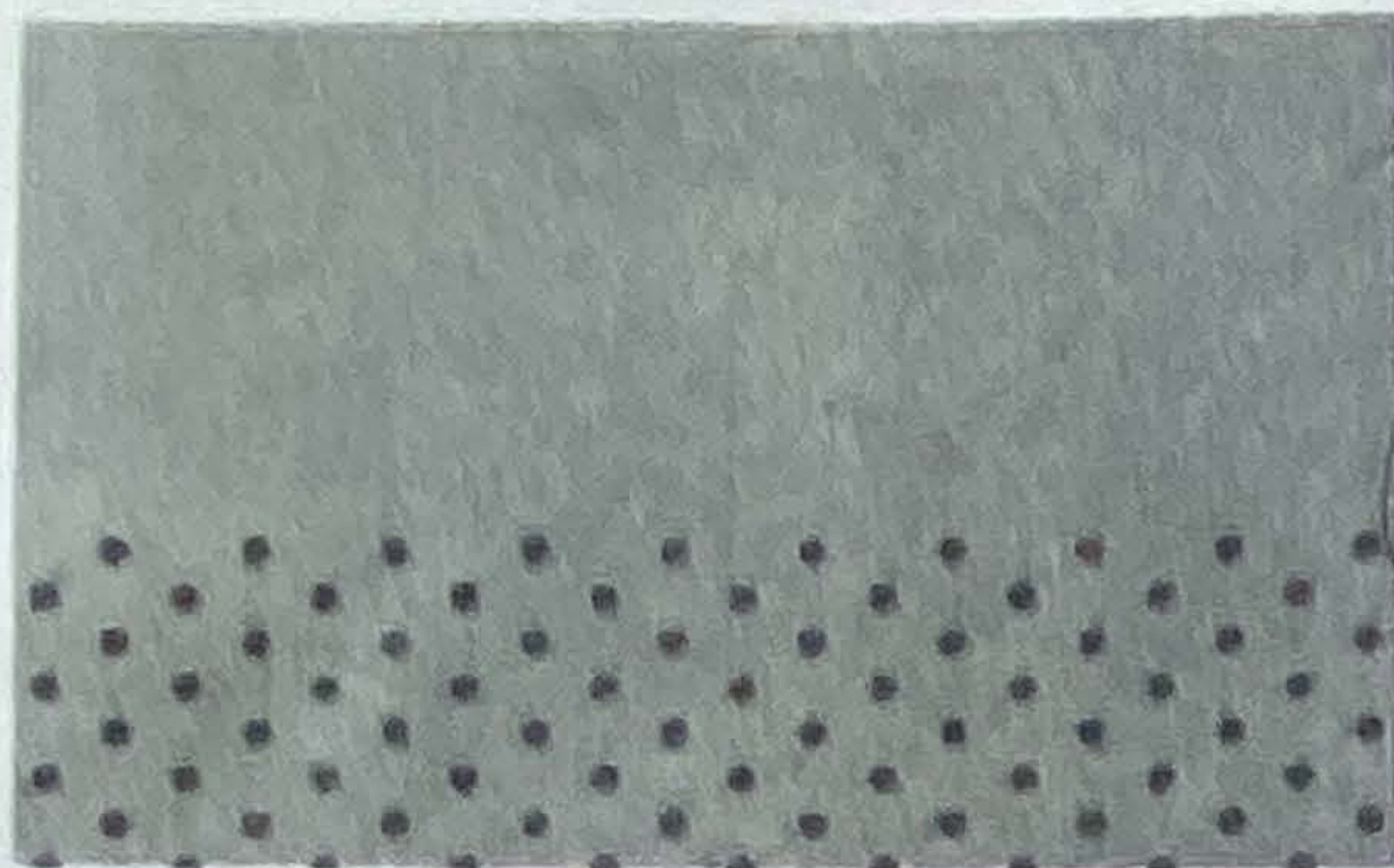
[Request a Quote >](#)

Soffits are key construction elements—they cover the underside of your roof eaves and exterior porch ceilings. We offer them in both smooth and vented profiles to meet aesthetic needs as well as code requirements.

HARDIE® SOFFIT PANELS PRODUCTS



The products you'll see below are readily available for zip code **32502**. Not your zip code? [Update it now](#)



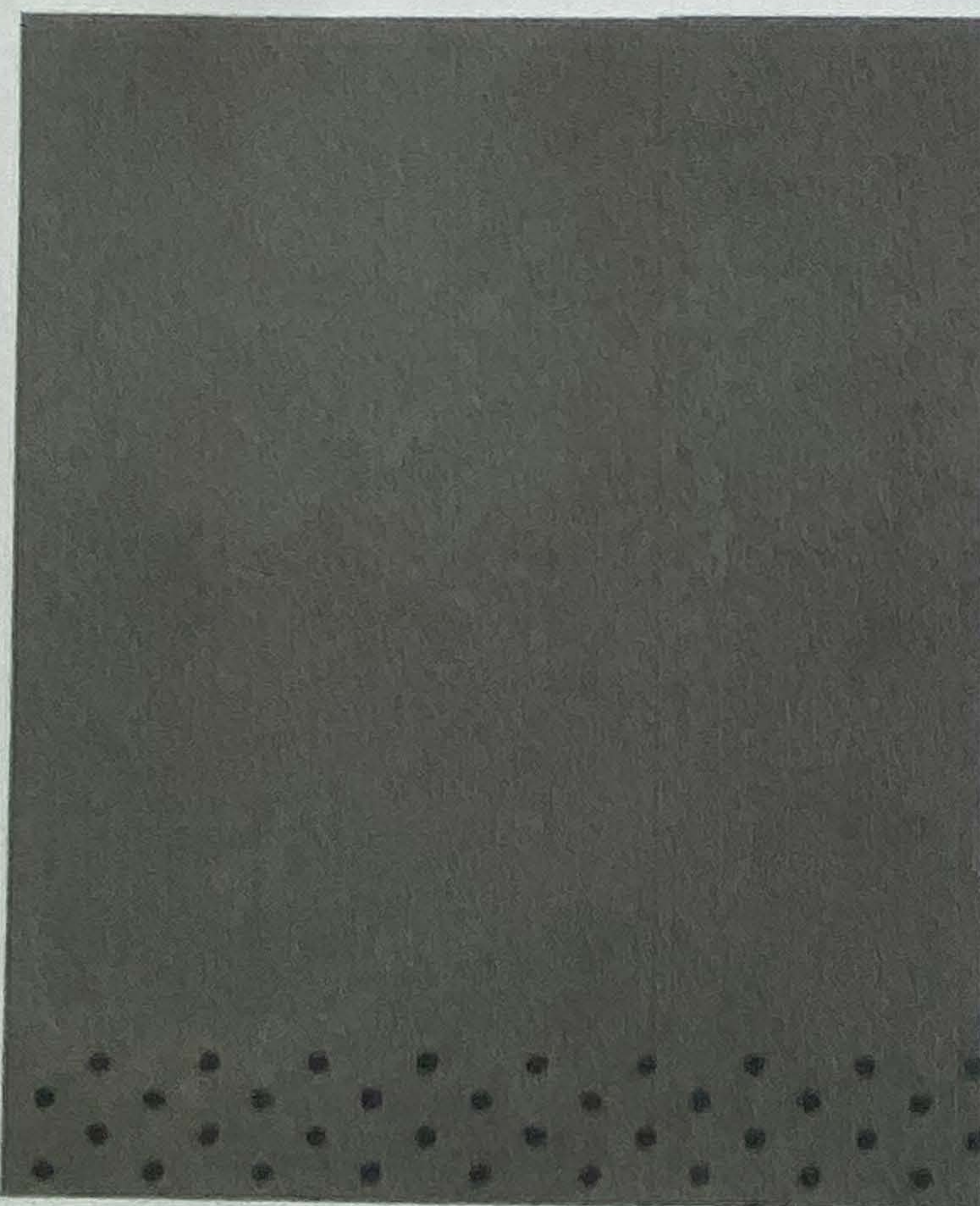
HARDIE® SOFFIT PANELS

VENTED SMOOTH

This soffit brings elegance and ventilation to your home. Pair it with smooth siding and trim. Available in Statement Collection products, Dream Collection products, and primed for paint.

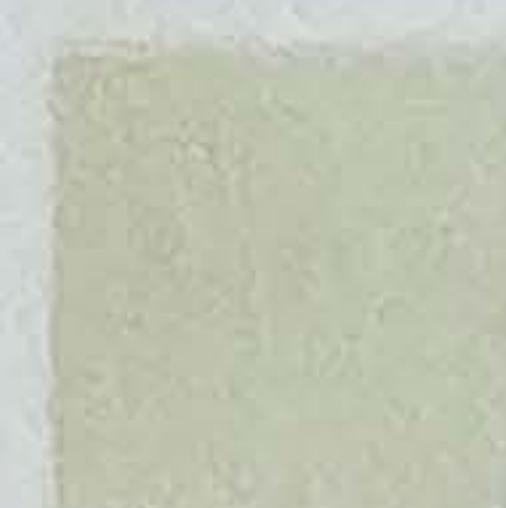
THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SOFFIT COLORS

Timber Bark



Colors shown may vary due to screen resolution. Please see actual product sample for true color.

[Request a Quote >](#)

[Request a Sample >](#)

AVAILABLE SIZES

THICKNESS: 0.25"

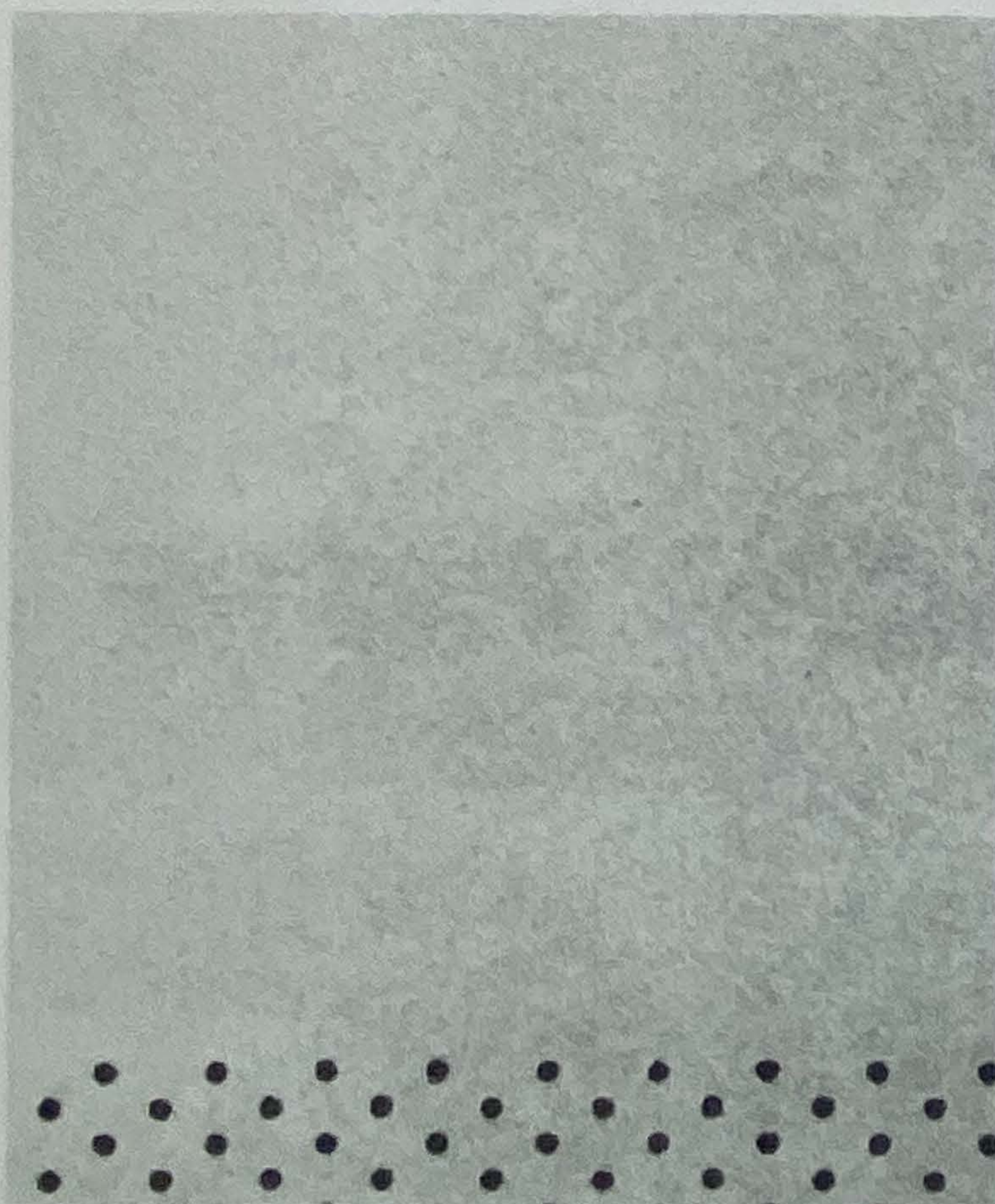
LENGTH:	144"	144"
WIDTHS:	12"	16"

[Warranty Information >](#)

Not finding the color you're looking for?

[+ See More Color Options](#)**PRIMED FOR PAINT***PAINTED WHITE TO
MATCH EXISTING*

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 0.25"

LENGTH:	96"	144"
WIDTHS:	24"	12"
	144"	
	16"	

[Warranty Information >](#)[Request a Quote >](#)[Request a Sample >](#)



HARDIE® SOFFIT PANELS

NON-VENTED SMOOTH

Exceptionally adaptable, this smooth soffit is available in Statement Collection products, Dream Collection products, and primed for paint. It complements smooth or textured siding.



Hardie® Soffit Panels

Hardie® Soffit Panels Vented Close-up

01/05

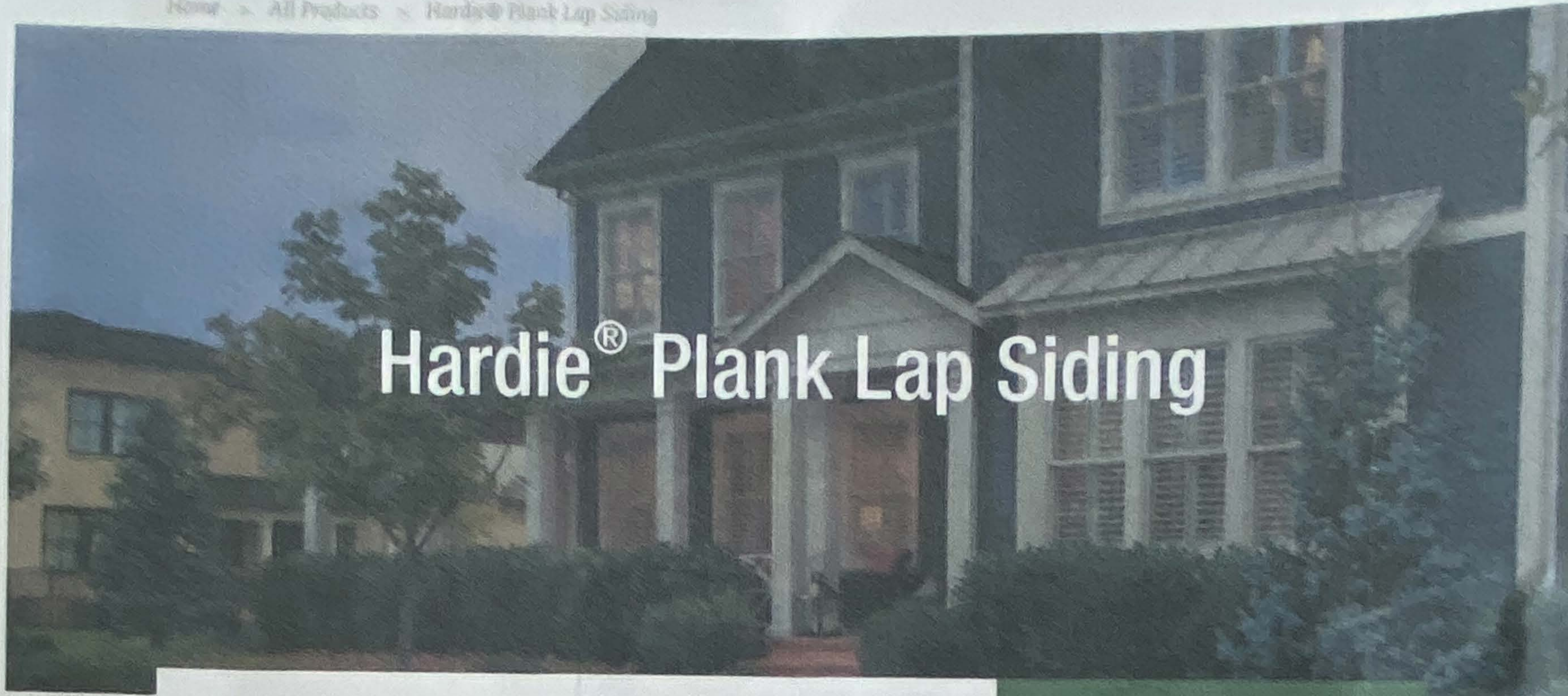


ADDITIONAL

<https://www.jameshardie.com/products/hardiesoffit-panels>



Home > All Products > Hardie® Plank Lap Siding



Hardie® Plank Lap Siding

[Download the Product Catalog >](#)

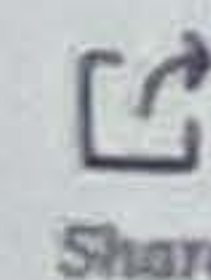
[Request a Sample >](#)

[Request a Quote >](#)

Traditional and timeless. Sleek and strong. Hardie® Plank lap siding is not just our best-selling product—it's the most

[Products](#)

HARDIE® PLANK LAP SIDING



Share



Save Idea

beautifying more homes from coast to coast.



HARDIE® PLANK LAP SIDING PRODUCTS



The products you'll see below are readily available for zip code 32502. Not your zip code? [Update it now](#)



HARDIE® PLANK LAP SIDING

SELECT CEDARMILL®

Our natural cedar look has a soft texture that mimics wood.





HARDIE® PLANK LAP SIDING

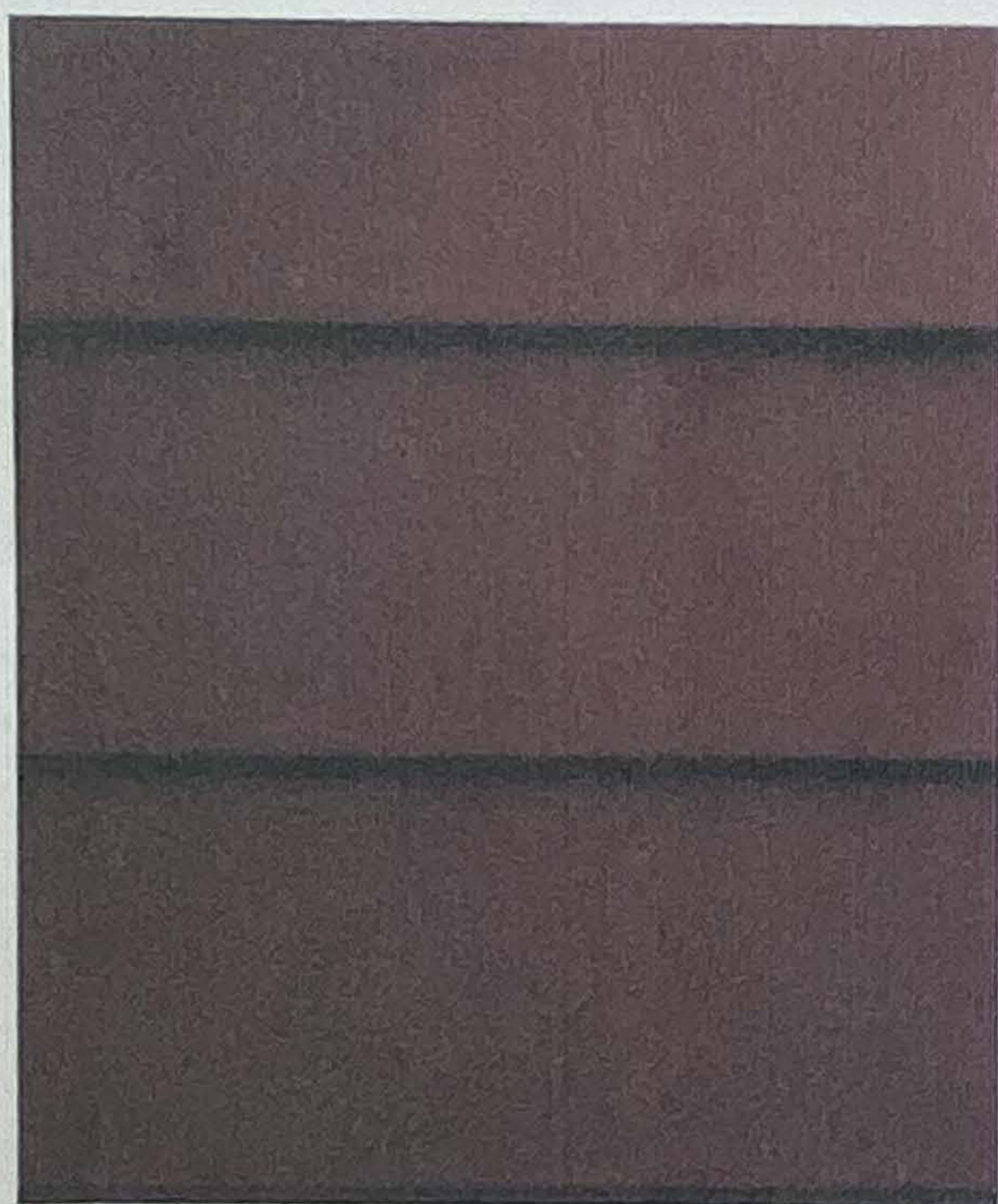
SMOOTH

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.



THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SIDING COLORS

Countrylane Red



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES

THICKNESS: 0.312"

WIDTHS: 8.25"

LENGTH: 144" boards

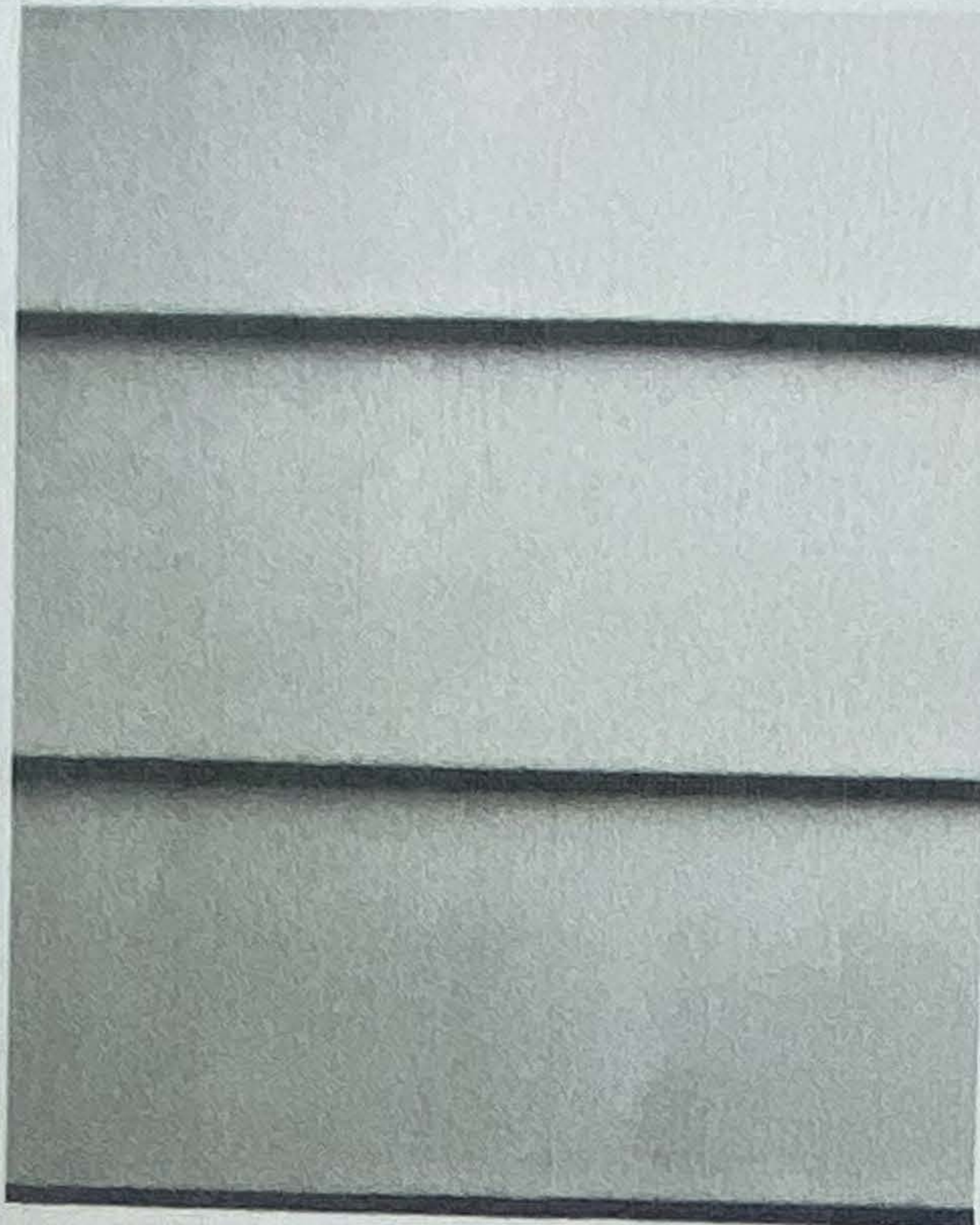
EXPOSURES: 7"

[Warranty Information >](#)

Not finding the color you're looking for?

[+ See More Color Options](#)

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 0.312"

LENGTH: 144" boards

WIDTHS:	6.25"	8.25"
EXPOSURES:	5"	7"
	12"	5.25"
	10.75"	4"
	7.25"	9.25"
	6"	8"

Warranty Information >

Request a Quote >

Request a Sample >

MATCHES
EXISTING
TO BE
PAINTED
WHITE TO
MATCH
EXISTING



Home > All Products > Hardie® Trim Boards

Hardie® Trim Boards

[Download the Product Catalog >](#)

[Request a Sample >](#)

Trim is that final touch that completes your home's design. Accentuate corners, columns, fascia, doors, windows and more with Hardie® Trim boards.

HARDIE® TRIM BOARDS PRODUCTS



The products you'll see below are readily available for zip code 32502. Not your zip code? [Update it now](#)



HARDIE® TRIM BOARDS

4/4 RUSTIC

With a wood-like texture, this trim has vintage appeal—and it's warp- and rot-resistant. Available in Statement Collection products, Dream Collection products, or primed for paint.





HARDIE® TRIM BOARDS

4/4 SMOOTH

This trim's simplicity never goes out of style. In a color from our Statement Collection products or Dream Collection products, it has even more staying power. Also available primed for paint.



HARDIE® TRIM BOARDS

[Products](#)

HARDIE® TRIM BOARDS

It is resistant to warping and rotting.



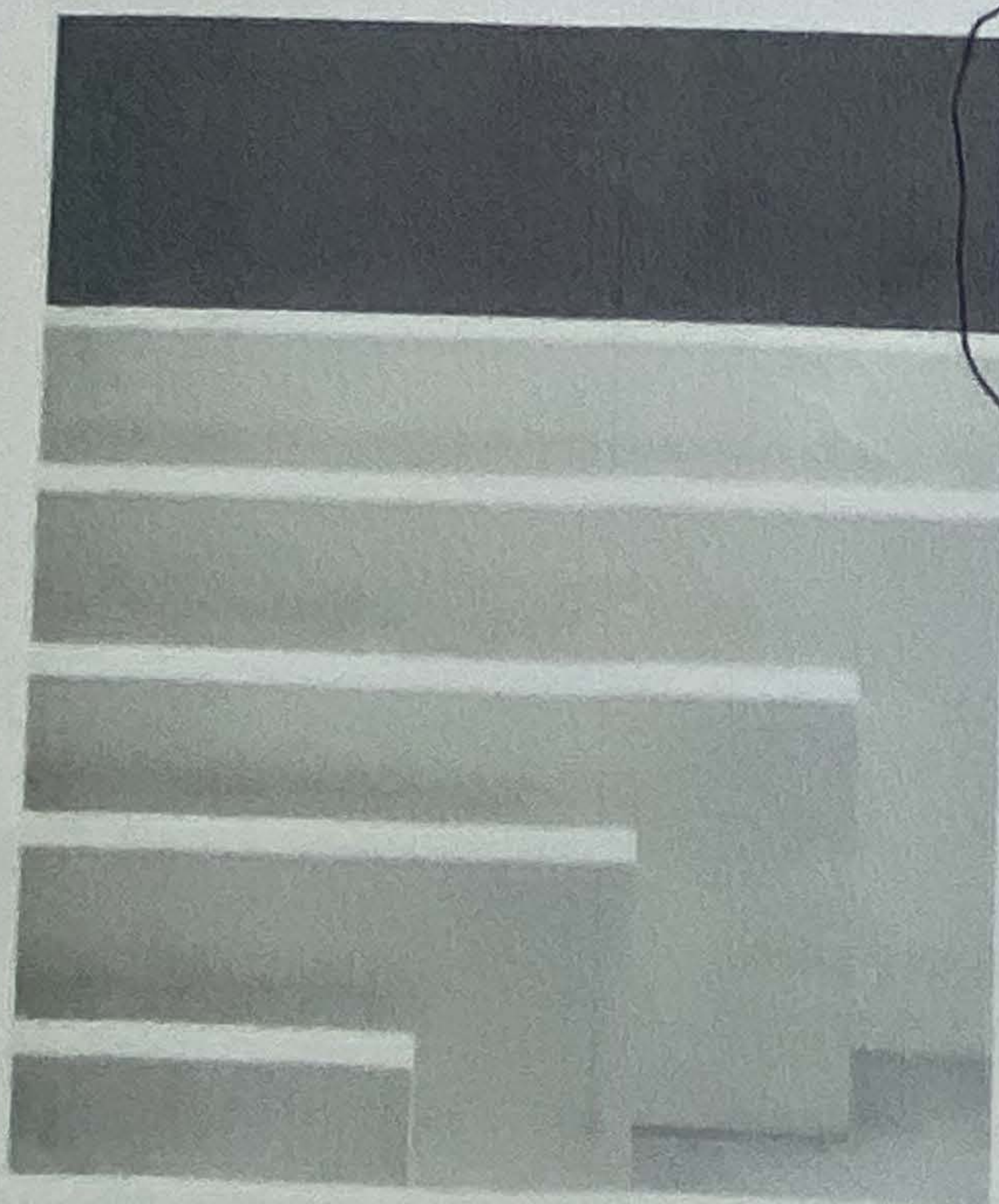
HARDIE® TRIM BOARDS

5/4 SMOOTH

With this crisp-looking trim, any home can become sleeker. It ties a home's color palette together too. Choose a ColorPlus® Technology color or primed for paint.

THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



TRIM COLORS

Arctic White



PAINTED TO
MATCH EXISTING
WHITE TRIM.

[Request a Quote >](#)[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES *Not all colors are available in all sizes. Please check with your local James Hardie dealer for availability.

THICKNESS: 1"

WIDTHS:

3.5"

5.5"

7.25"

9.25"

11.25"

LENGTH: 144" boards

[Warranty Information >](#)

AS NEEDED TO MATCH
EXISTING TRIM PROFILES

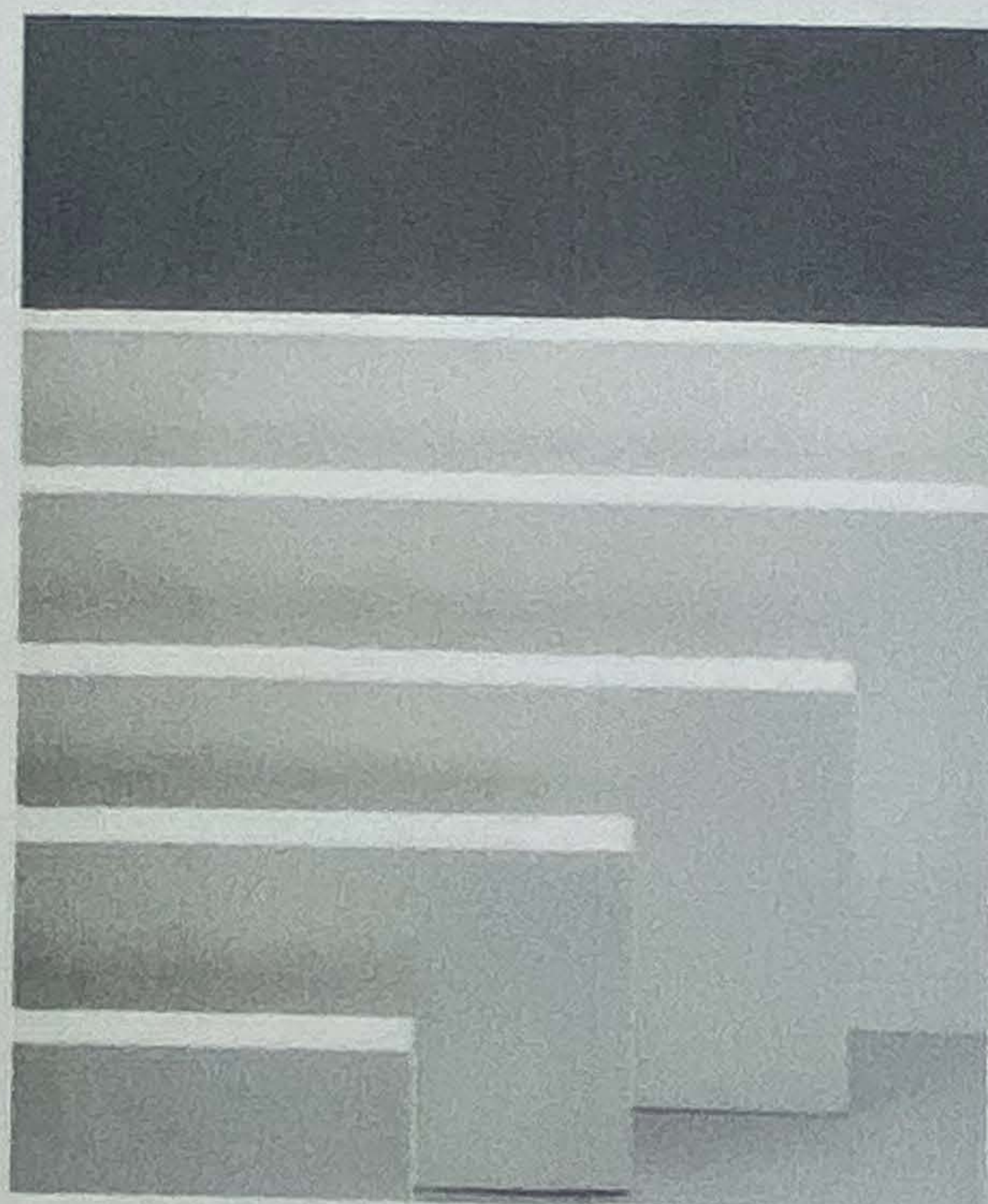
Not finding the color you're looking for?

[+ See More Color Options](#)

PRIMED FOR PAINT

PAINTED WHITE
TO MATCH EXISTING

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 1"

LENGTH: 144" boards

WIDTHS: 3.5" 5.5"

7.25" 9.25"

11.25"

[Warranty Information >](#)

[Request a Quote >](#)

[Request a Sample >](#)



HARDIE® TRIM BOARDS

RUSTIC GRAIN® BATTEN BOARDS

Hardie® Trim Batten Boards with a Rustic Grain finish create a

EXTERIOR PAINT COLOR

AMERICA'S HERITAGE

exterior historic colors



SHERWIN-WILLIAMS.



BODY

TRIM

ACCENT

ACCENT 2

Antique White
SW 6119

Roycroft Suede
SW 2842

Creamy
SW 7012

Bunglehouse Blue
SW 0048

Peace Yellow
SW 2857

**Rookwood
Antique Gold**
SW 2814

Classical White
SW 2829

**Roycroft
Bottle Green**
SW 2847

Roycroft Mist Gray
SW 2844

Downing Stone
SW 2821

Extra White
SW 7006

**Rookwood
Dark Red**
SW 2801

(B)

(T)

(A)

Glenwood® Shingles

No other triple-layer asphalt shingle matches its thickness!



Glenwood
LIFETIME *Designer* SHINGLES

Note:

Glenwood® Ultra-Premium Lifetime Designer Shingles are made with Advanced Protection® Shingle Technology and the GAF® Dura Grip™ Adhesive. Shingles installed in areas with 40 mph winds or less are warranted for 20 years. Shingles installed in areas with 40 mph winds or more are warranted for 10 years. For complete coverage and restrictions, visit gaf.com/APS/.

Glenwood® Ultra-Premium Lifetime Designer Shingles Offer You These Great Benefits:

Ultra Thick

Industry-leading ultra-thick triple-layer construction provides maximum dimensionality, resulting in a truly realistic wood-shake look.

Beautiful Design

Artisan-crafted shingle tabs give your home a dimensional look unmatched by typical shingles.

Affordable Luxury

Only a fraction of the cost of traditional wood shakes.

Custom Color Palette

Specially formulated color palette is designed to accentuate the shingle's natural wood-shake look.

Highest Roofing Fire Rating

Unlike natural, untreated wood shakes, Glenwood® Shingles are UL Listed to ANSI/UL 790 Class A — the highest roofing fire rating possible.

High Performance

Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more).

Stays in Place

Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)!¹

StainGuard® Protection

Helps ensure the beauty of your roof against unsightly blue-green algae.²

The Ultimate Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first 20 years.³

Perfect Finishing Touch

For the best look, use Timbertex® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles.⁴

¹Wind speed coverage requires proper installation. See GAF Shingle & Accessory Ltd. Warranty for details.

²StainGuard® Protection applies only to shingles with StainGuard®-treated packaging. See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.

³See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and refers to the original individual owner(s) of a single-family house(s) (or their successors) who own the property where the shingles are installed. For general information regarding the GAF Shingle & Accessory Ltd. Warranty, visit gaf.com/APS/.

Colors & Availability

Regional Availability

Northeast, Southeast, Southwest,
West, and Central Areas

Adobe Clay

Dusky Gray

Autumn Harvest

Golden Prairie

Chelsea Gray

Weathered Wood

TO MATCH EXISTING
GAF, CHELSEA GRAY
ROOF SHINGLES

Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462¹
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- CSA A123.5²

Product/System Specifics³

- Fiberglass Asphalt Construction
- Dimensions (approx.): 12 1/4" x 36 5/16" (311 x 922 mm)
- Exposure: 4 1/2" (114 mm)
- Bundles/Square: 9
- Pieces/Square: 90
- StainGuard® Protection: Yes⁴
- Hip/Ridge: Timbertex®, Ridglass®
- Starter: WeatherBlocker™

Installation

Do not install Glenwood® Shingles on roofs with slopes of 2:12; doing so will void the applicable warranty. Glenwood® Shingles installed on roofs with slopes of 3:12 to 4:12 require special installation in order to qualify for warranty coverage. Please visit gaf.com.

Detailed installation instructions are provided on the inside of each bundle wrapper of Glenwood® Shingles. Installation instructions may also be obtained at gaf.com.

¹Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.
²Refers to shingles sold in Canada only.
³Refer to complete published installation instructions.

NEW! REPLACEMENT
FRENCH DOORS

ULTRA SERIES | SWINGING PATIO
DOORS

Ultra Series

Swinging Patio Doors

Simple inswing or outswing
passage to the outdoors with
aesthetic options

ENERGY STAR® qualified, with U-
values as low as 0.20 on inswing
doors and 0.22 on outswing
doors

Structural strength up to PG50
on inswing, PG65 on outswing
doors

Impact units for hurricane-prone
coastal areas meet IPD3 on
inswing, IPD3 and IPD4 on
outswing doors

Share

Options

Exterior
Colors

Wood
Species

Interior
Colors

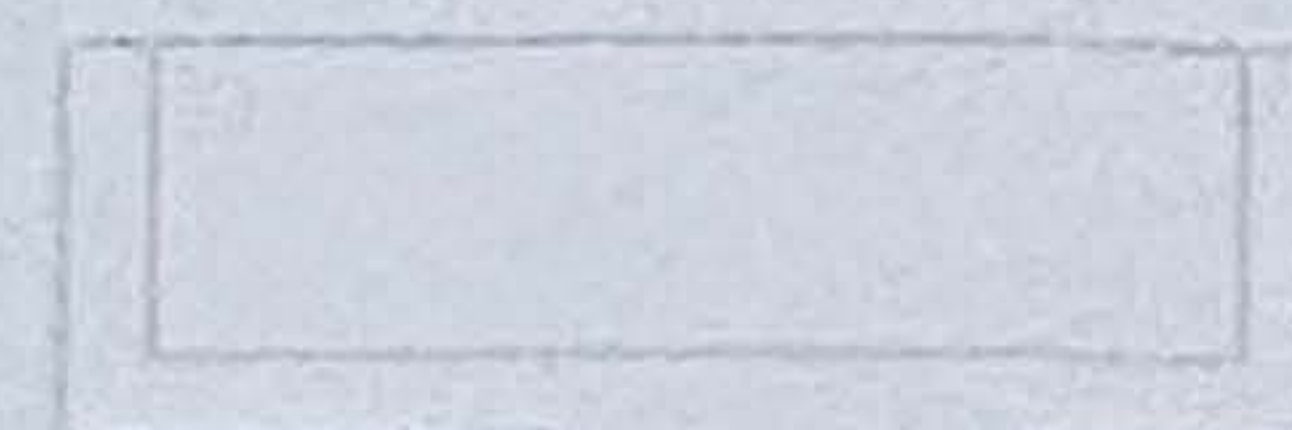
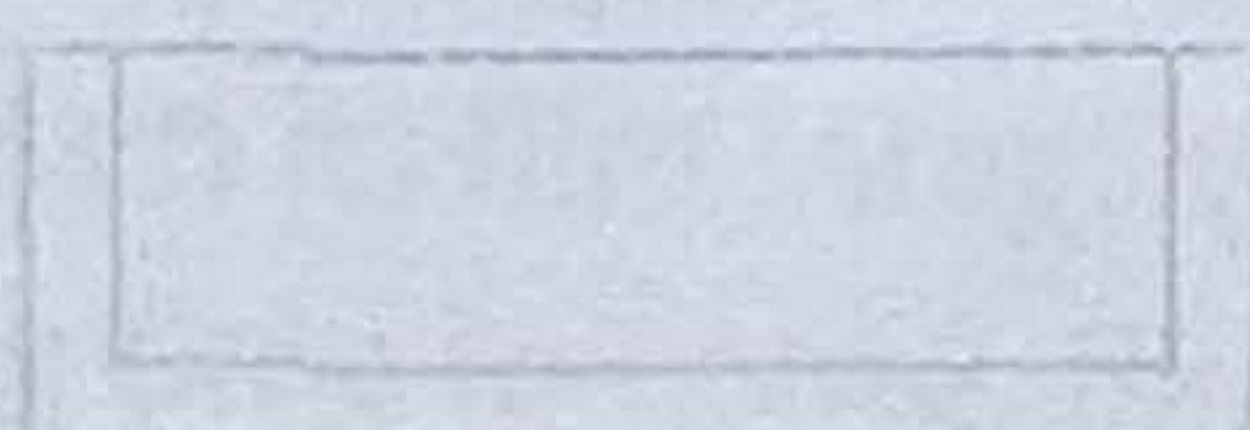
Hardware

Glass

Divided
Lite

Glazing
Beads

Exterior
Material



EXTRUDED ALUMINUM CLADDING



A durable exterior helps safeguard the beauty of windows and doors, and helps prevent damage during harsh weather. This product has durable cladding of 6063 extruded aluminum alloy that is press-fit onto the exterior of the wood. Accessory grooves are integral to the frame exterior, which allows for factory or job site installation of extruded aluminum casing, sill nosing, and other exterior trim.

Extruded Aluminum
Cladding



Extruded
Aluminum
Cladding

NOTE: This photo is an Ultra Series inswing entrance door with extruded aluminum cladding on the exterior. It is meant to represent the exterior material; it is not necessarily representative of how the product on this page is constructed.

Exterior
Trim

Insect
Screens

Sills

Universal
Design

Pet
Solutions

means it will maintain its film integrity, vibrant color, and gloss for a long time to come. Plus, its hardness and mar resistance make it jobsite friendly. Because finish colors may vary from on-screen images, contact your local Kolbe dealer to request actual color samples or create a custom color.



Ultra Pure White

White

K-KRONE FINISH



Cloud



Abalone



Alabaster



Camel



Mudpie



Nutmeg

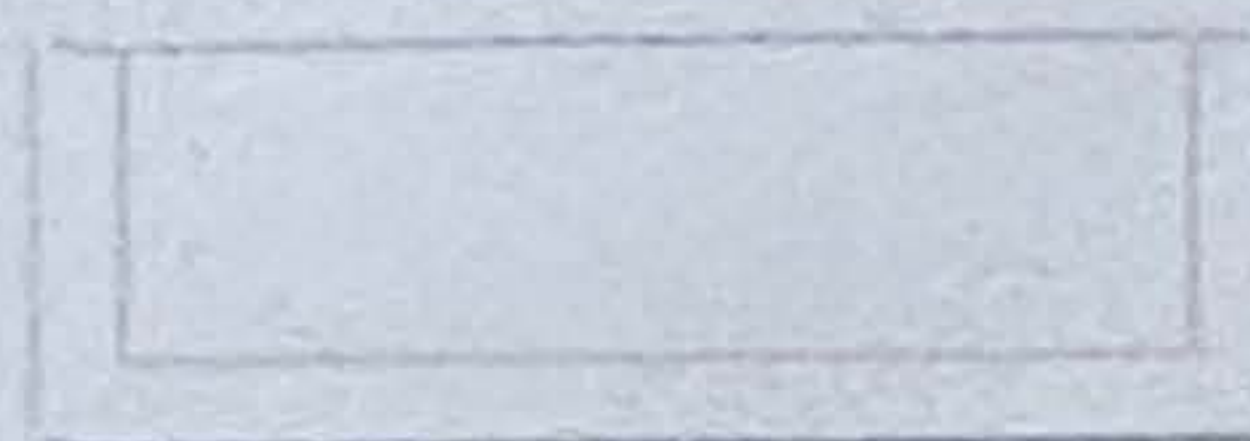
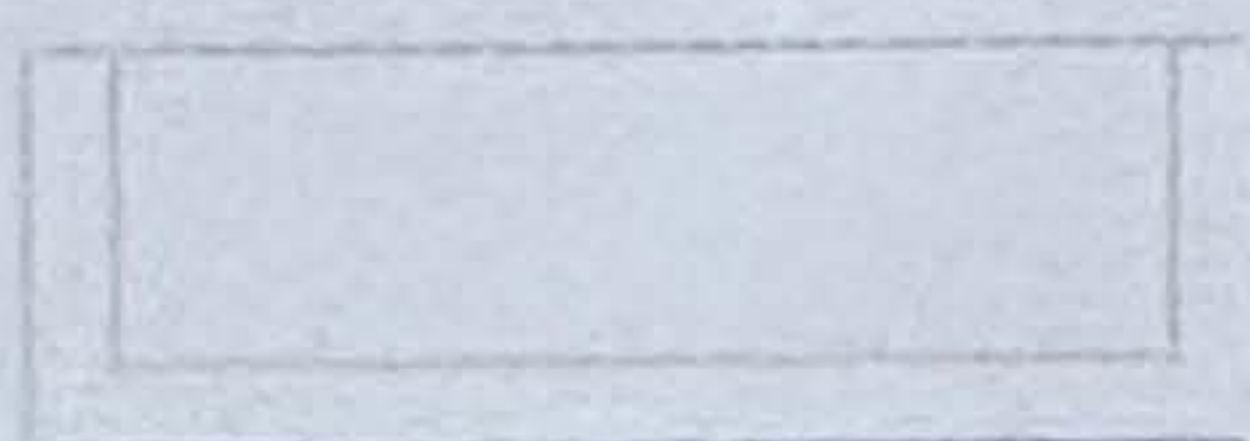
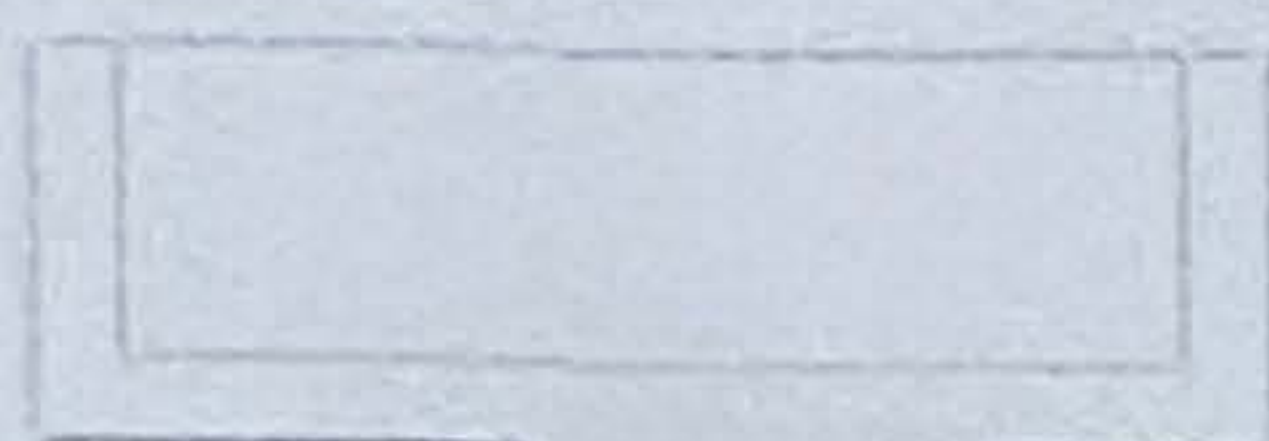


Khaki

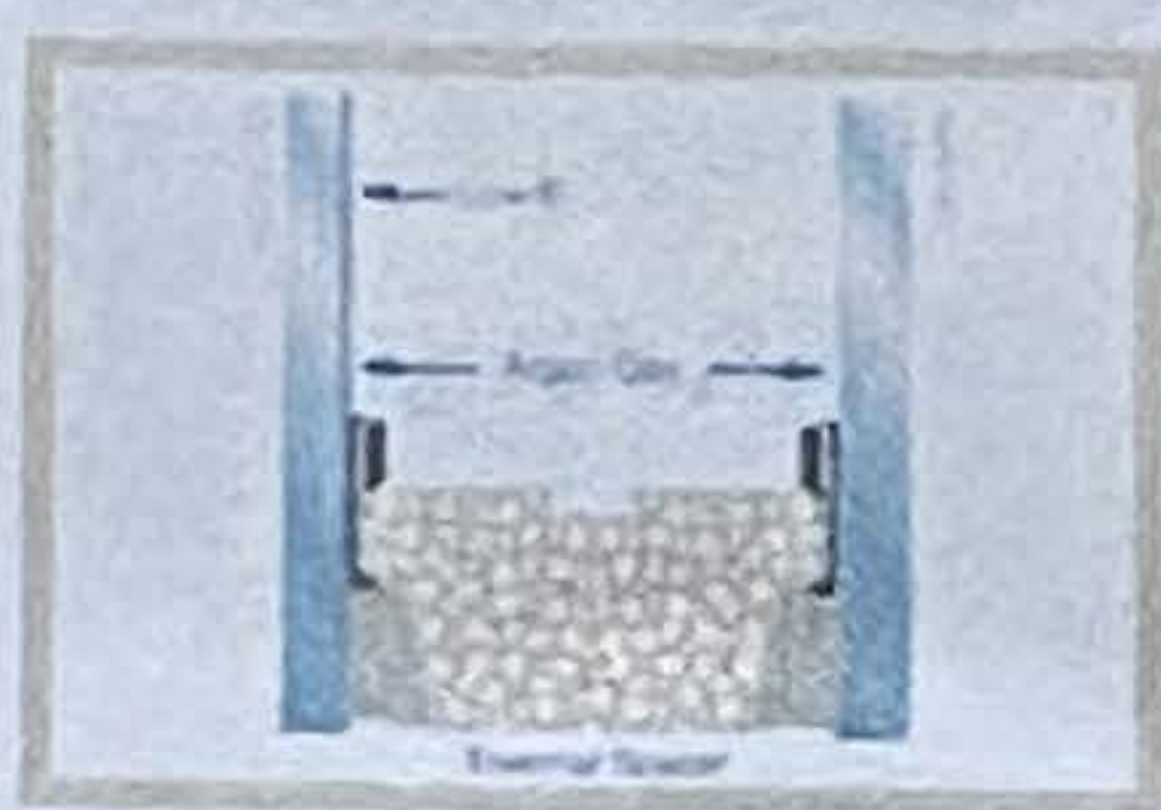
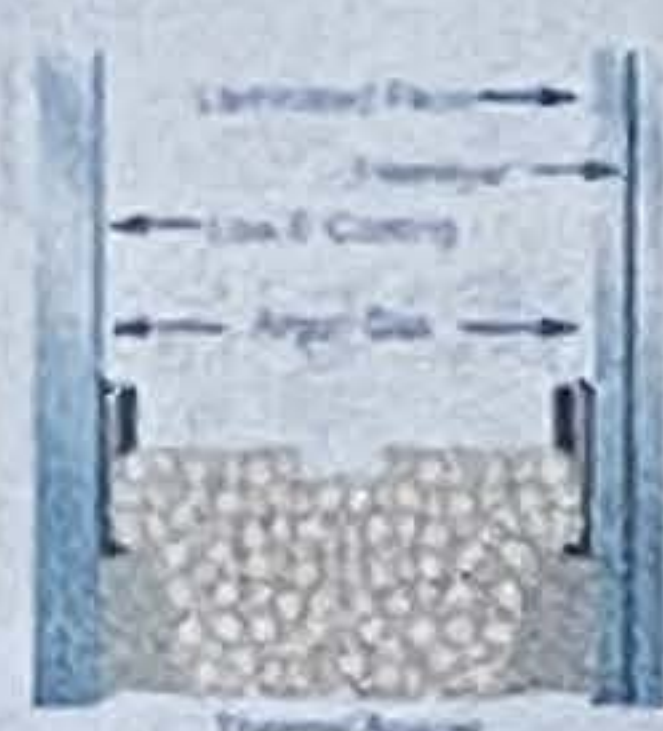


Sahara



**PERFORMANCE GLASS****SPECIALTY GLASS****OTHER GLASS****GLASS TERMINOLOGY**

There's so much more to window and door glass than visibility. Today's technology helps windows and doors achieve strict energy efficiency standards in a wide variety of climate conditions. For more information, please see Glass Terminology.

Double Pane Glass**Double Pane Glass****Laminated Glass****NOTES:**

Not all glass is available on all products. Please contact your Kolbe dealer for product specifics.

Low-E insulating glass with a stainless steel spacer bar carries a 20-year warranty. Not all glass options listed have the same glass warranty. Please contact your dealer for details.

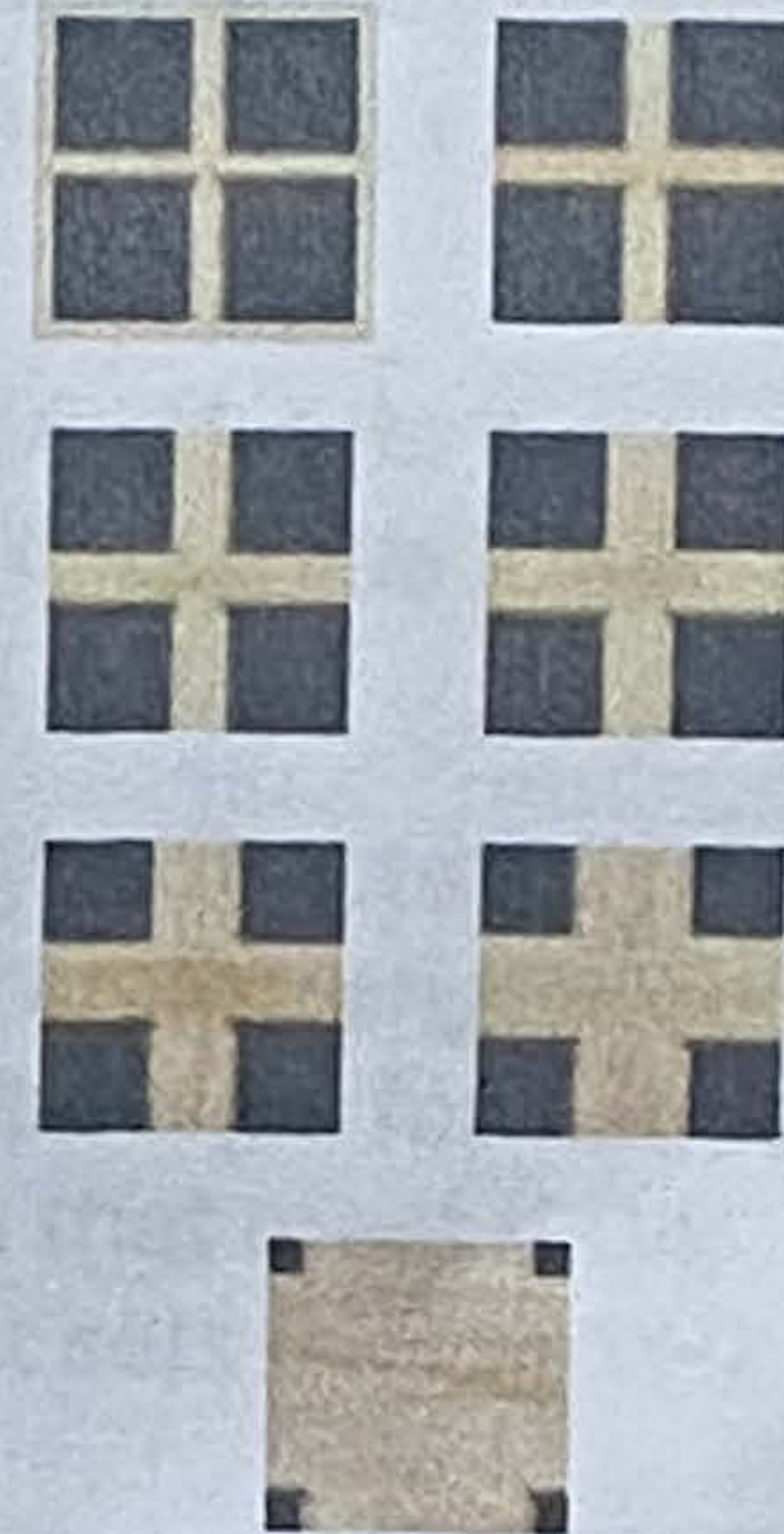
**Exterior
Trim****Insect
Screens****Sills****Universal
Design****Pet
Solutions**

PERFORMANCE DIVIDED LITES

With Kolbe's performance divided lite (PDL) system, bars are adhered on the interior and exterior of an insulating glass unit and bars aligned within the unit.

PDL bars are available in various widths and patterns. They may be finished to match the exterior and/or interior, as requested.

5/8" Beveled Profile PDL Bars



Beveled Profile PDL Bars



Ovolo Profile PDL Bars



Square Profile PDL Bars

REPLACEMENT DOOR
WILL HAVE 12 LIGHT
DIVIDED - OWNER WOULD PREFER ALL NEW
DOORS & WINDOWS TO HAVE NO DIVIDERS

Exterior
Trim

Insect
Screens

Sills

Universal
Design

Pet
Solutions

NEW WINDOWS

ULTRA SERIES | SPECIALTY WINDOWS

Ultra Series

Direct Sets

Glass is set directly into the frame for generous daylight openings; profiles can match casements, double hungs or doors

Beveled direct sets have a contemporary profile and are available in XL units; Ogee direct sets have a historical, store-front profile

XL Beveled direct sets are ENERGY STAR® qualified, with U-values as low as 0.16

Beveled & Ogee direct sets have proven structural strength, up to PG85 with impact performance modifications that meet IPD4; Beveled direct sets meet HVHZ

 Share

Options

Exterior
Colors

Wood
Species

Interior
Colors

Glass

Divided

Exterior

Exterior

Divided
Lites

Exterior
Material

Exterior
Trim

EXTRUDED ALUMINUM CLADDING

EXTERIOR PROFILES



A durable exterior helps safeguard the beauty of windows and doors, and helps prevent damage during harsh weather. This product has durable cladding of 6063 extruded aluminum alloy that is press-fit onto the exterior of the wood. Accessory grooves are integral to the frame exterior, which allows for factory or job site installation of extruded aluminum casing, sill nosing, and other exterior trim.

Extruded Aluminum
Cladding



**Extruded
Aluminum
Cladding**

NOTE: This photo is an Ultra Series inswing entrance door with extruded aluminum cladding on the exterior. It is meant to represent the exterior material; it is not necessarily representative of how the product on this page is constructed.

Resources

2D

3D

Acoustic

Care &

From near-pastels to bold colors, we have it all. Our Vantage exterior paint finish meets the top-end performance requirements of AAMA 2604. This high quality finish features a 30-year warranty, which means it will maintain its film integrity, vibrant color, and gloss for a long time to come. Plus, its hardness and mar resistance make it jobsite friendly. Because finish colors may vary from on-screen images, contact your local Kolbe dealer to request actual color samples or create a custom color.

Ultra Pure White



Ultra Pure White

White



Cloud



Abalone



Alabaster



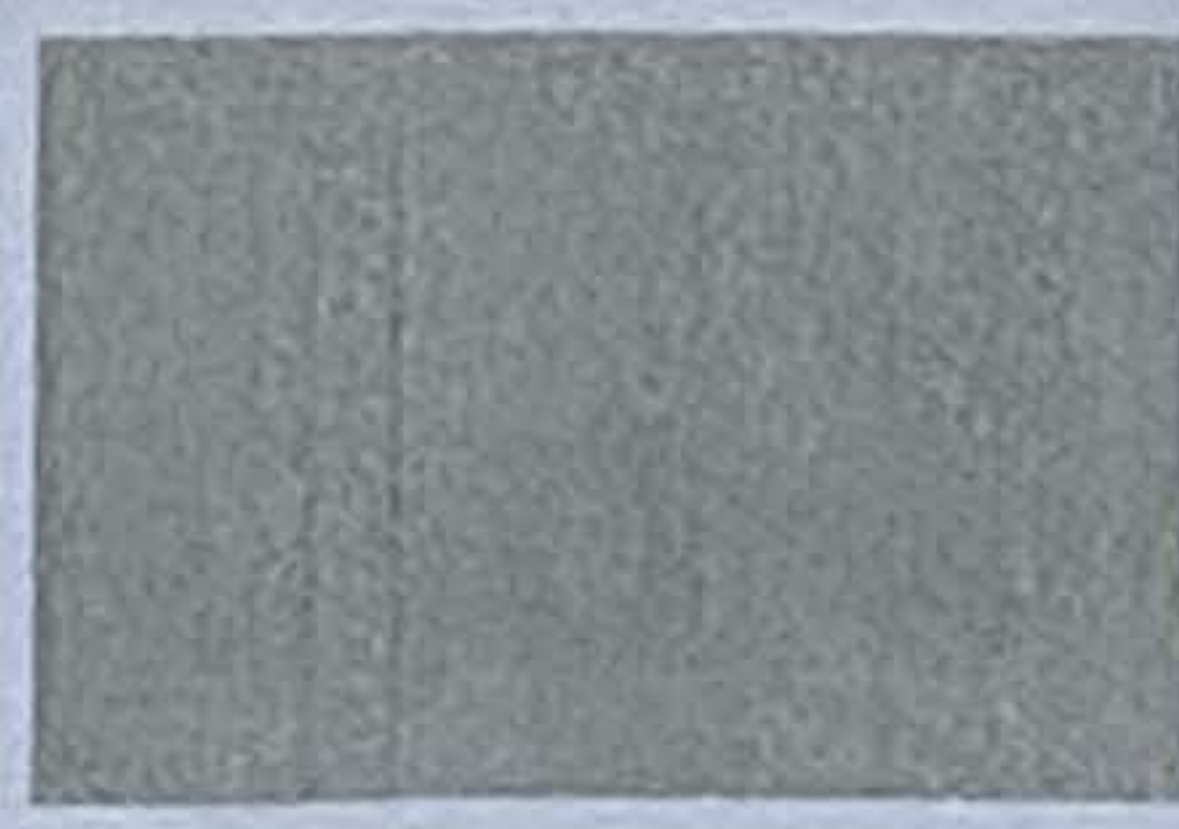
Camel



Mudpie



Nutmeg



There's so much more to window and door glass than visibility. Today's technology helps windows and doors achieve strict energy efficiency standards in a wide variety of climate conditions. For more information, please see Glass Terminology.

Double Pane Glass



Double Pane Glass



Triple Pane Glass



Laminated Glass

Divided Lites

NOTES:

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Low-E insulating glass with a stainless steel spacer bar carries a 20-year warranty. Not all glass options listed have the same glass warranty. Please contact your dealer for details.

Exterior Material

Exterior Trim

Resources

2D

3D

Acoustic

Care &



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00739

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

606 E. Gadsden Street, Unit B
Old East Hill Preservation District / Zone OEHC-1
Exterior Renovations to a Contributing Structure

BACKGROUND:

Scott Amberson is seeking approval for exterior renovations to a contributing structure. All work will be done to Unit B which is the north (rear) half of the building and hidden from street view. An overview of all work has been provided, as well as details per work area. These include replacing elements such as lighting, doors, windows, decking, and handrails, while new elements such as siding infill, a second rear awning, a tankless water heater and new skirting will be added. The two rear doors will be replaced with matching wood doors, and the windows will be double hung 2/2 wood. The hallway between the main house and the attached accessory space will be partially closed in with matching wood siding and turned into a stacked washer and dryer closet. The rear decking will be replaced with Trex decking and all repairs to the handrails and balusters will be done with in-kind materials and design.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)e.3.ii.(a) Old East Hill, Procedure for review, Decisions, Alterations to existing contributing buildings

Sec. 12-3-10(3)g. Old East Hill, Alterations to contributing structures

Page 1
X original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site 8 ES 02072
Recorder # _____

SITE NAME Henry J. Mehserle, House
HISTORIC CONTEXTS Spanish-American War
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE private-individual
PROJECT NAME West-East Hill Survey: S&R DHR NO 3226
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 606 East Gadsden St. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill neighborhood, N. side of E. Gadsden
St. between N. 6th Ave. and N. 7th Ave.
SUBDIVISION East King Tract BLOCK NO 14 LOT NO 11
PLAT OR OTHER MAP County appraiser's atlas sheet #67
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? X Y n LAND GRANT
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE EASTING NORTHING
COORDINATES: LATITUDE D M S LONGITUDE D M S

HISTORY

ARCHITECT: F M L unknown
BUILDER: F M L unknown
CONST DATE 1904 CIRCA C RESTORATION DATE(S):
MODIFICATION DATE(S):
MOVE: DATE ORIG LOCATION
ORIGINAL USE(S) private-residence
PRESENT USES(S) private-residence

DESCRIPTION

STYLE frame vernacular
PLAN: EXTERIOR irregular
INTERIOR
NO.: STORIES 1 OUTBLDGS 0 PORCHES 2 DORMERS 0
STRUCTURAL SYSTEM(S) balloon wood framing
EXTERIOR FABRIC(S) clapboard, drop siding, plywood
FOUNDATION: TYPE pier MATLS brick
INFILL none
PORCHES n&w/porch/square columns 4x4/3/s
ROOF: TYPE cross-gable SURFACING
SECONDARY STRUCS.
CHIMNEY: NO 0 MTLS n/a LOCNS n/a
WINDOWS shs. 2/2 aluminum; shs. 1/1 aluminum
EXTERIOR ORNAMENT none
CONDITION good SURROUNDINGS residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
typical house in size & scale w/surroundings; magnolia

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? Y X n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS

Social History

125



606 E. Gadsden Street, Unit B (rear)





**Architectural Review Board Application
Full Board Review**

Application Date: 06/02/2022

Project Address: 606 East Gadsden St. Unit B, Pensacola FL

Applicant: Scott Amberson

Applicant's Address: 1010 Fort Pickens Road, Pensacola, FL 32561

Email: peglegs1@yahoo.com **Phone:** 850.232.4999

Property Owner: Scott Amberson

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**

(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

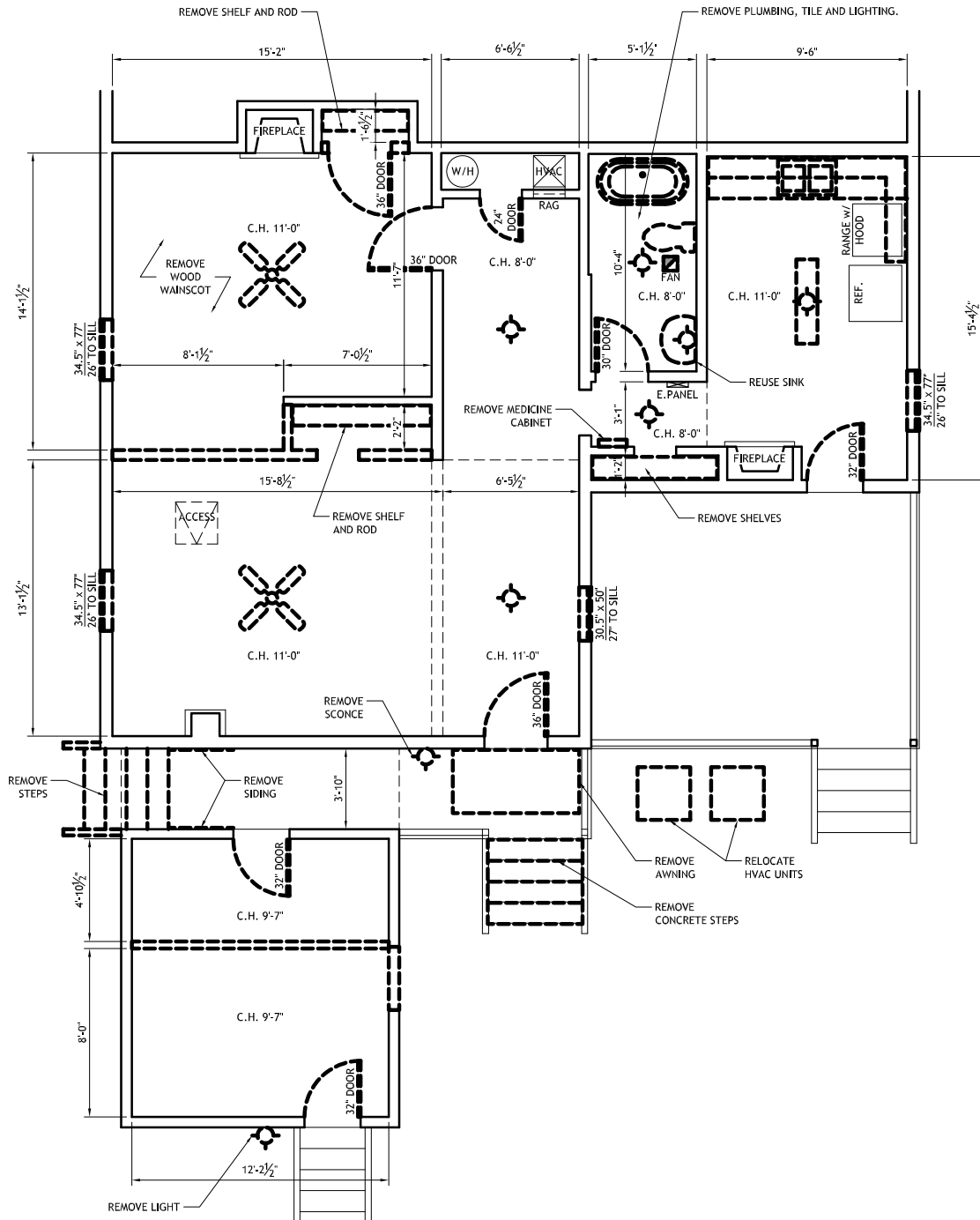
Mr Scott Amberson is seeking approval for exterior non-structural updates as noted in

attached for unit B

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

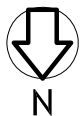
06/02/2022
Date



1
A1.0

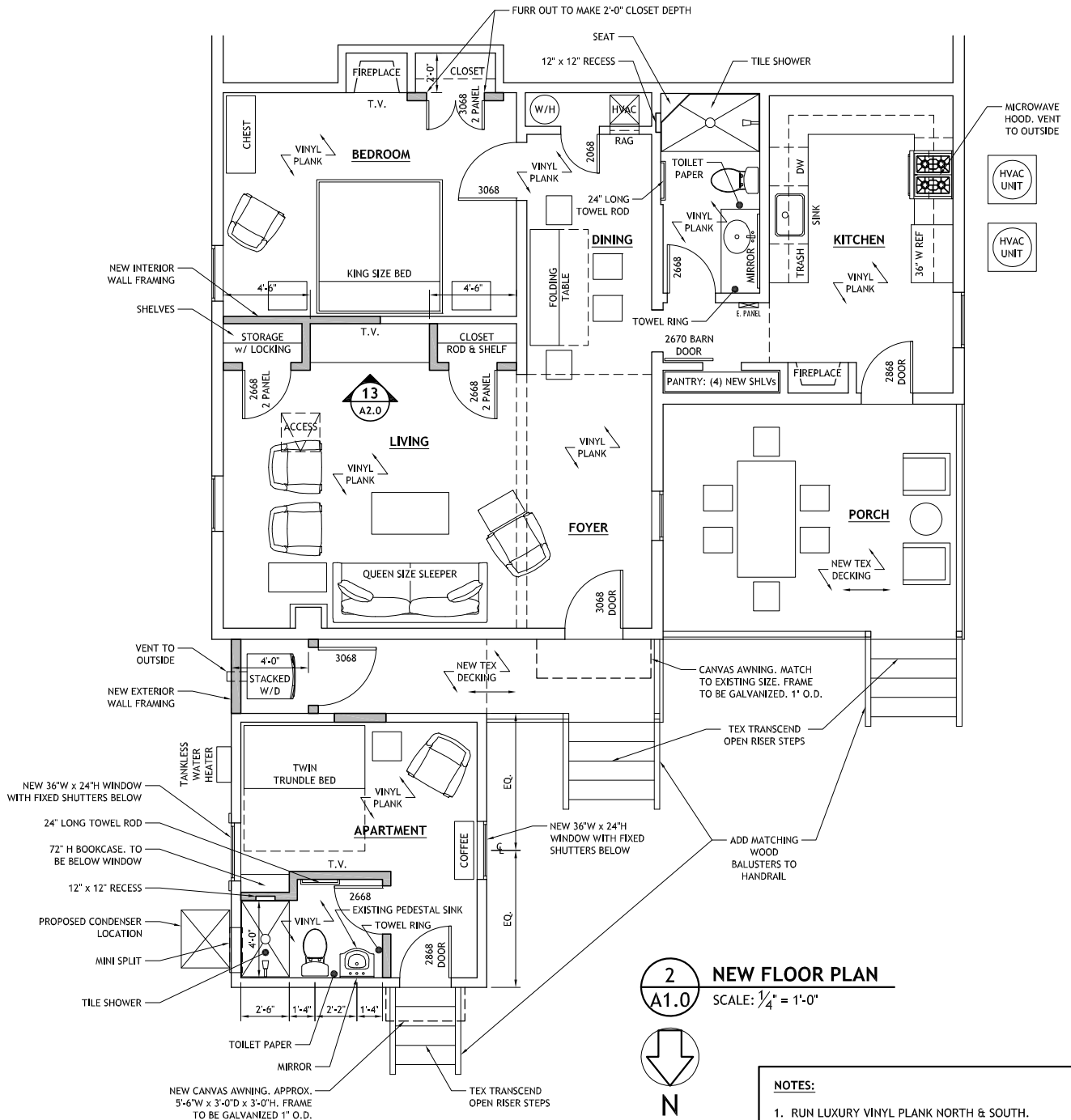
EXISTING FLOOR PLAN WITH DEMOLITION

SCALE: $\frac{1}{4}" = 1'-0"$



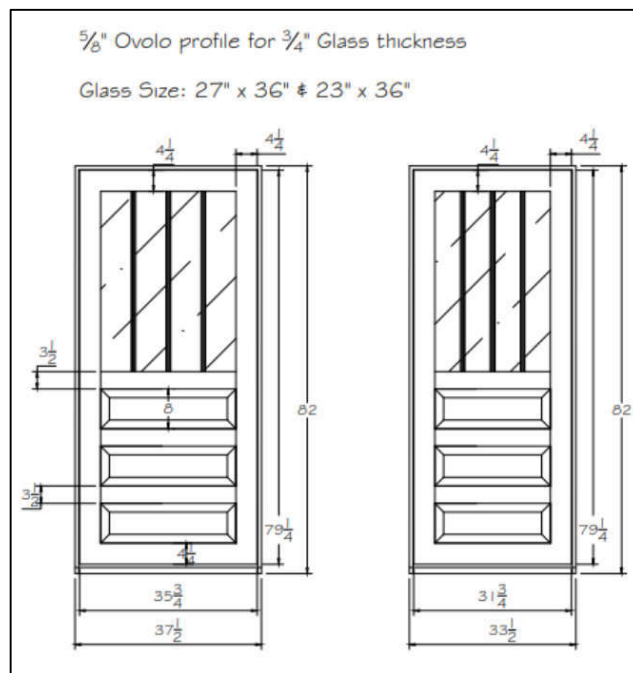
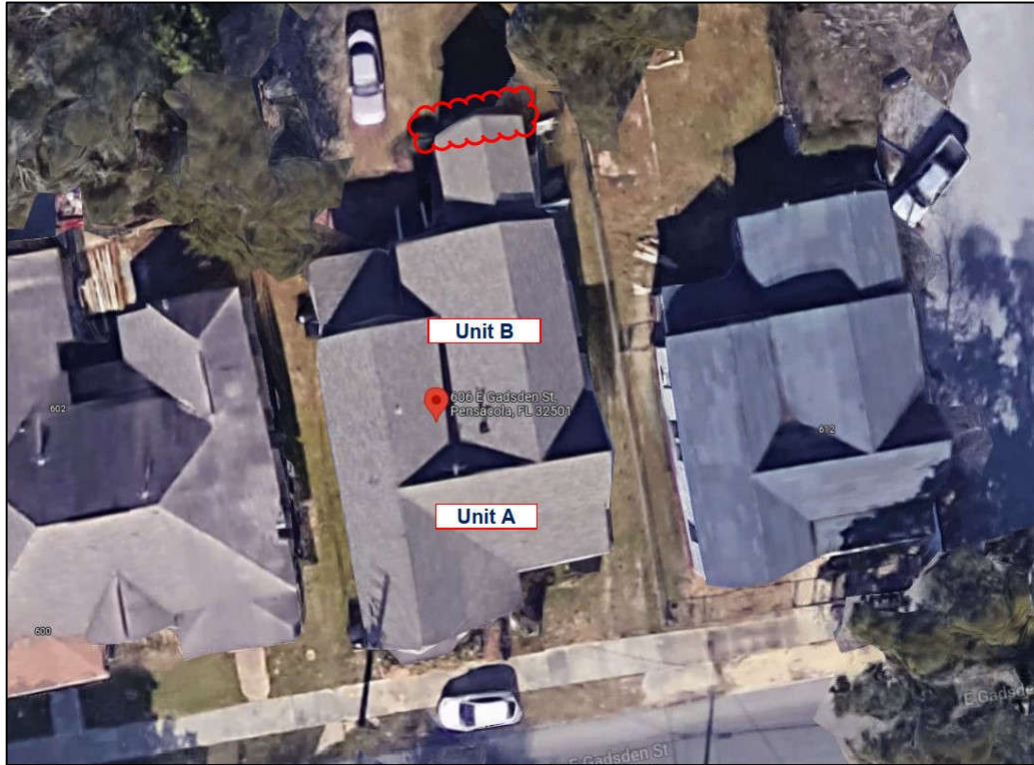
NOTES:

1. REMOVE AND REPLACE WINDOWS AND DOORS.
2. REMOVE AND REPLACE LIGHTING.
3. REMOVE WINDOW TREATMENTS AND ROD.
4. REMOVE PLYWOOD AT BOTH FIREPLACES.
REVIEW WITH OWNER AND DESIGNER.



1. Work to rear entry.

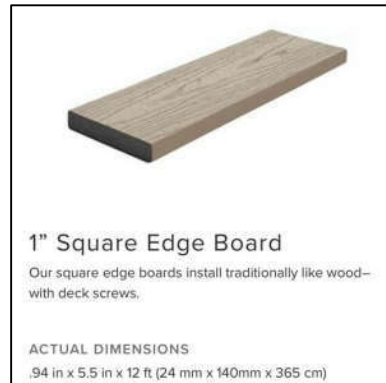
Add light at door and removing spotlight. New wood door to match existing design and existing paint color (see drawing). Handrail to match existing baluster design and color to meet code. Also adding awning over door. Rear wood steps to be replaced with Trex.



Door hardware.



Existing wood steps to rear door to be replaced with Trex.



Replacement light - <https://gatewaylighting.com/689180>. Handrails to match existing baluster design and color.

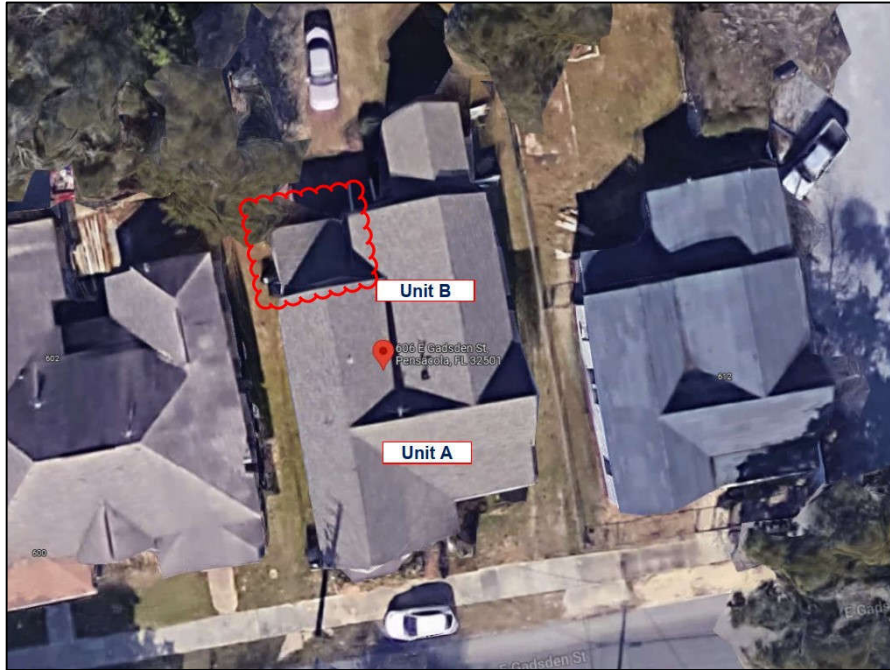


Awning details – to match existing awning design over other rear door.

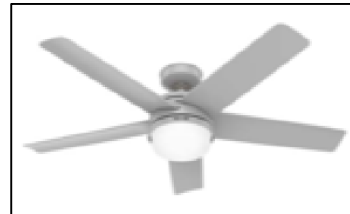


2. Work to exterior porch area

Replace outdoor fan. Existing wood steps to be replaced with Trex Decking. Existing balusters to be matched in design and color. Stair handrail to meet code and match existing baluster design and color.



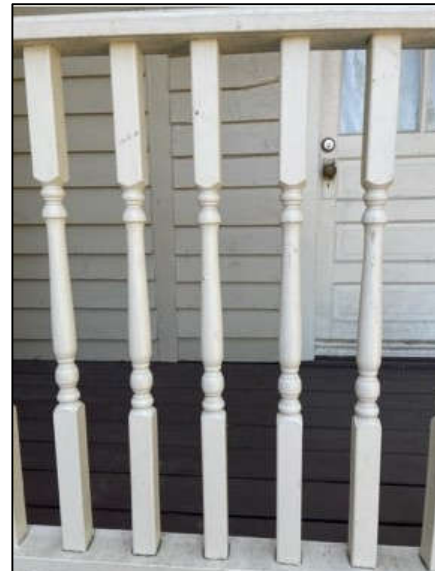
Replace outdoor fan - <https://gatewaylighting.com/8897271>.



Existing wood steps to be Trex decking.

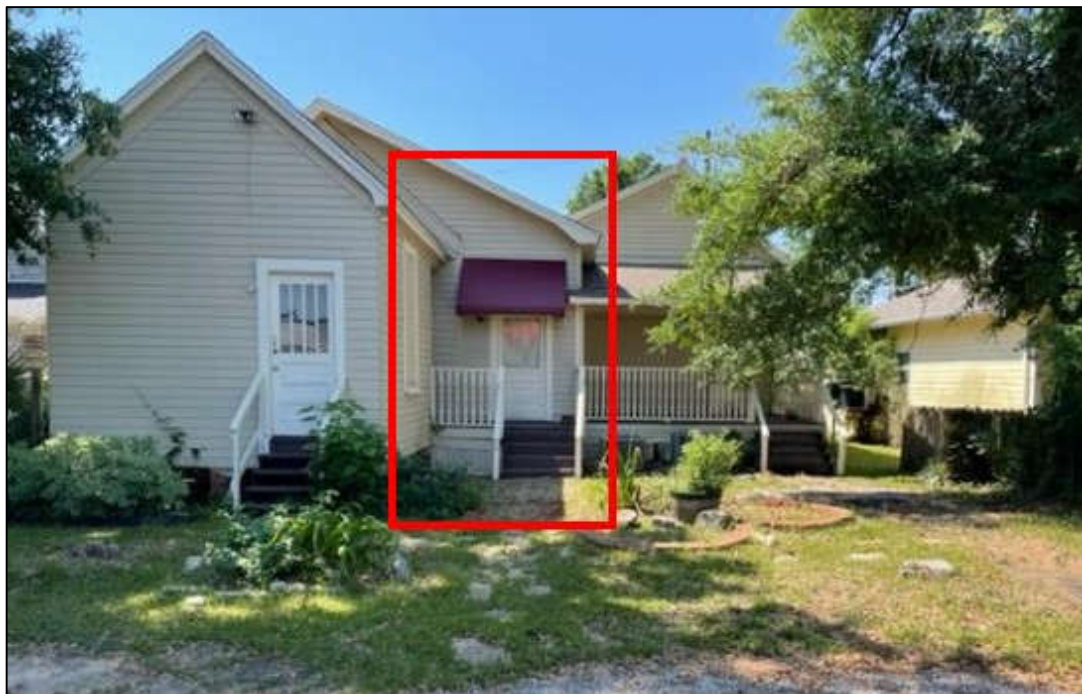
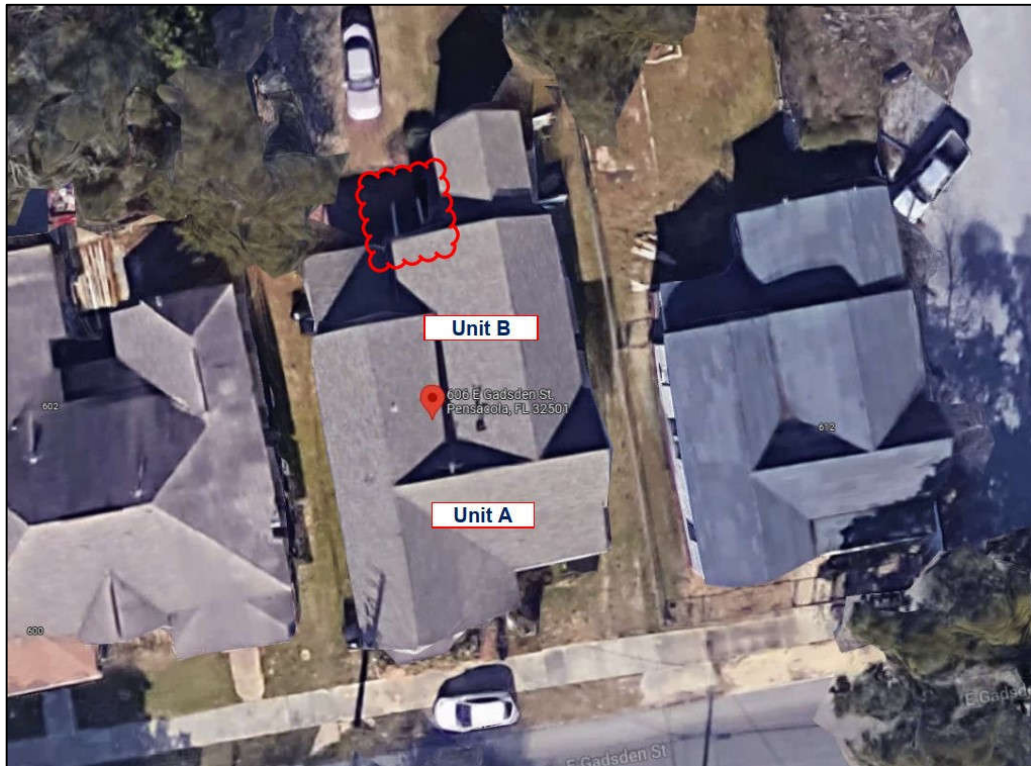


Stair handrail to meet code and match existing baluster design and paint color.

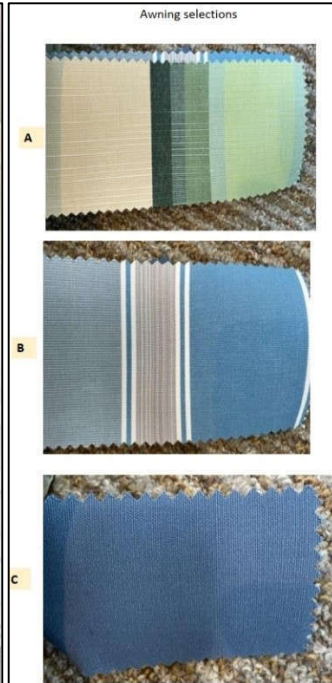
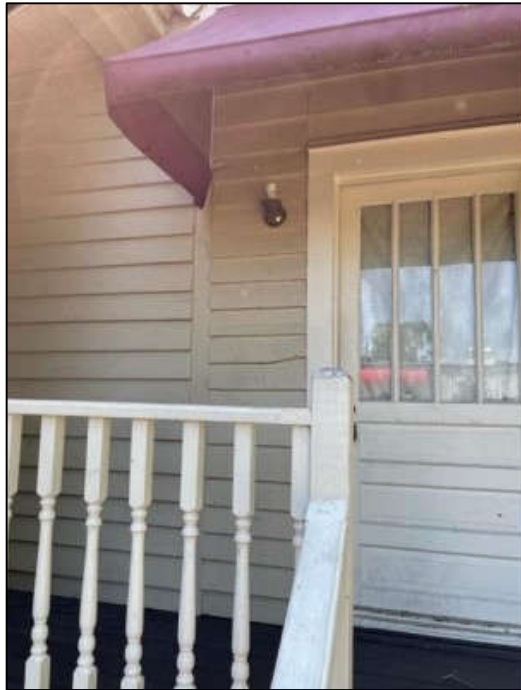


3. Work to center rear exterior entry.

Replace light fixture. Replace awning fabric. Replace wood decking with Trex decking.



Replace light fixture and awning fabric (no change to awning frame)

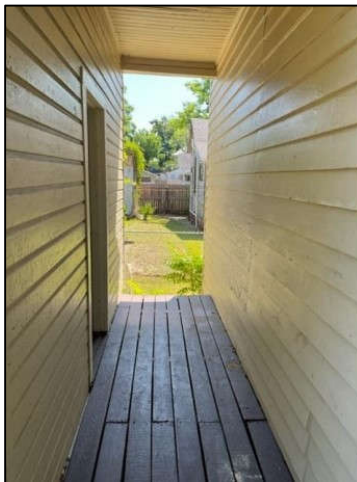
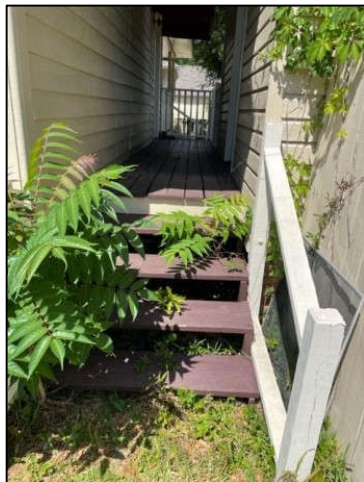
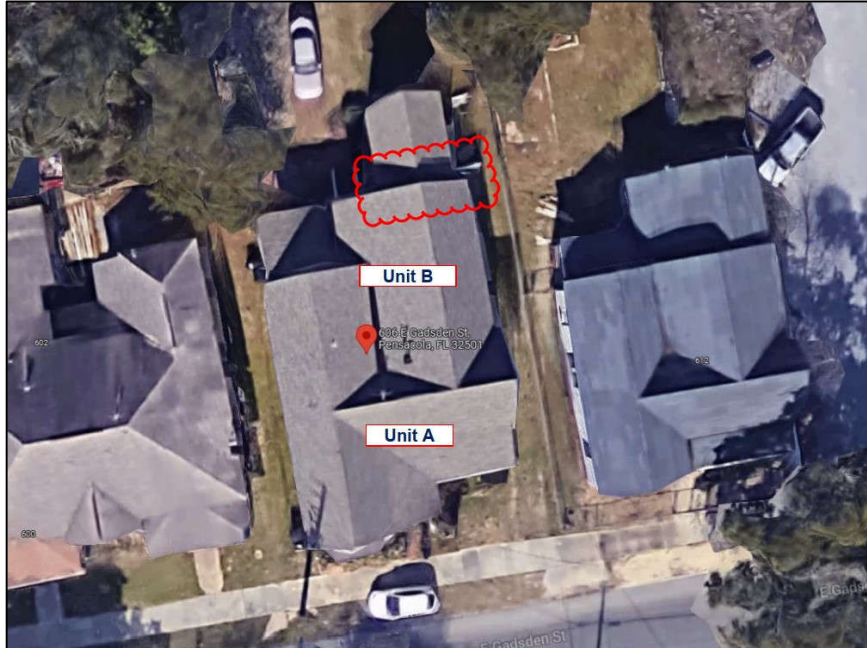


Replace deck with Trex decking.



4. Hallway infill to create stacked washer/dryer closet.

Remove exterior handrail and steps for laundry closet. Infill siding to match exiting material (wood) and color for closet (see floorplan). Laundry room door below.



Additional information/photographs on the wall fill-in area.



5. Replace (3) single hung windows to match existing design and color.
6. Replace (1) boarded-up window opening with awning window and shutter.
- 6a. Install new window and faux shutter to match
7. Replace (1) single hung wood window with existing design.
 - a. Floor plans below for location clarification.



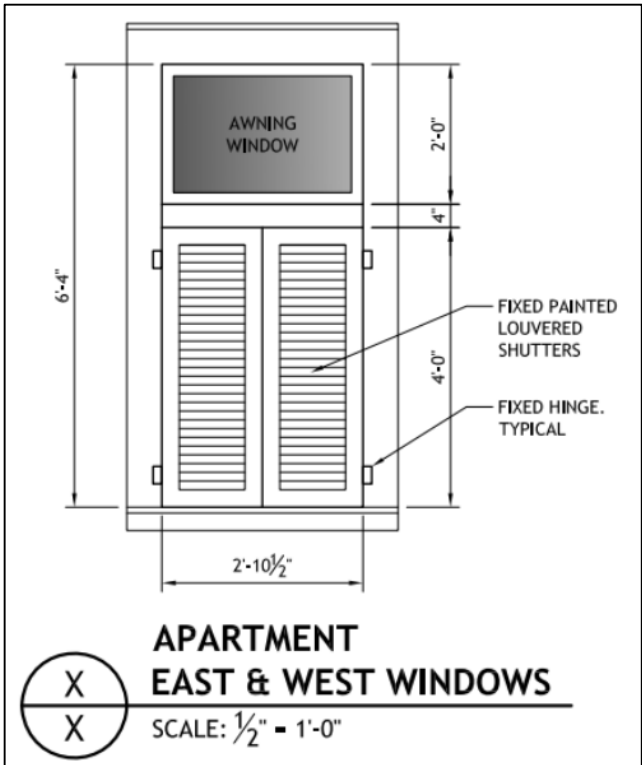
Replace (3) existing single hung wood windows to match existing design and color.



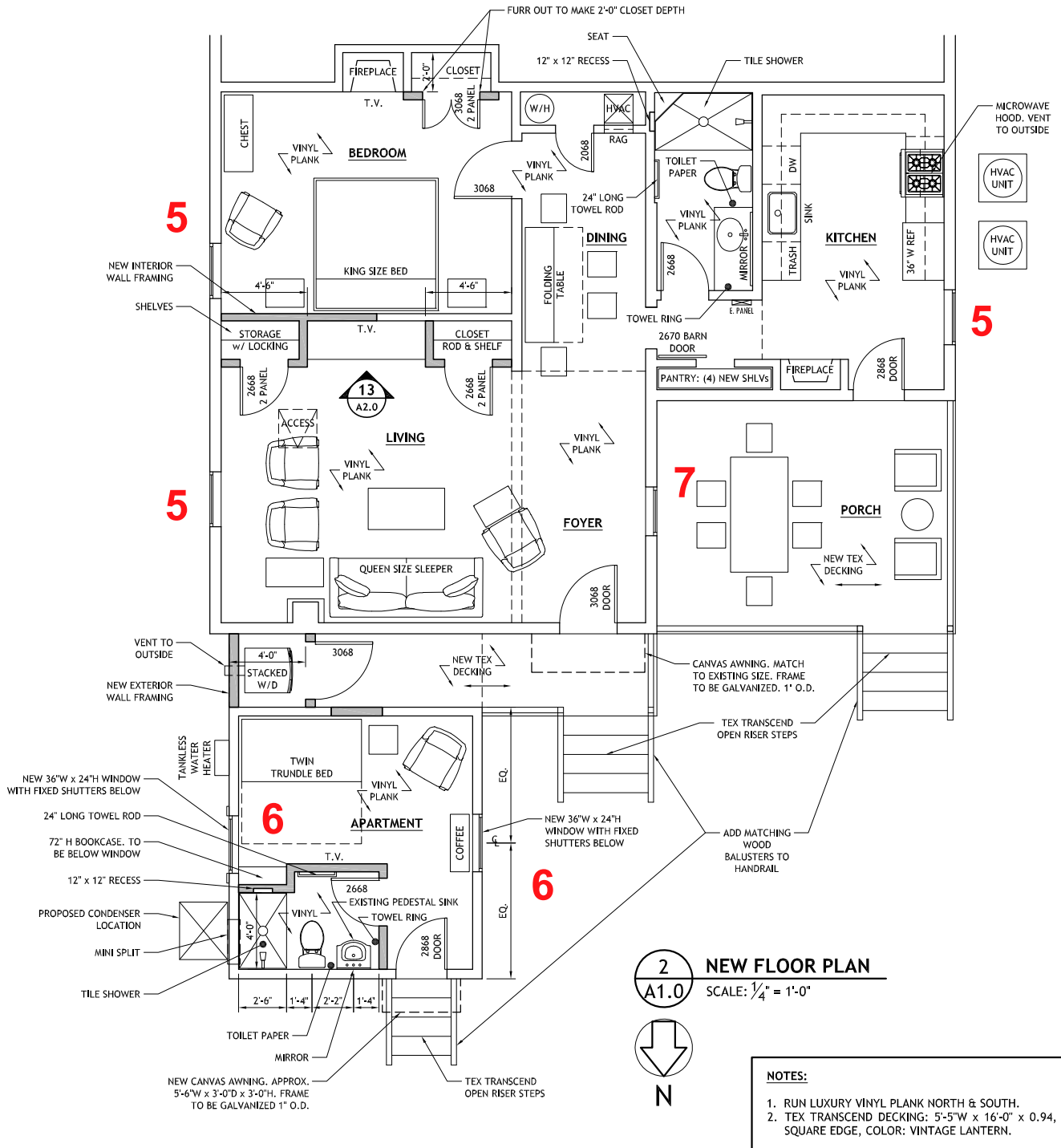
Replace (1) single hung wood window to match existing design and color.

See following page for details on both windows.

Awning windows and shutters to be added to west and east side of apartment. The west unit will be fit inside a closed up opening and the east unit will be new (see new floorplan). Size, framing, etc. will match.



5. Replacement wood windows to match.
6. New wood window in boarded-up opening.
7. New wood window with faux wood shutters.



Brent Byrd
94 Ready Ave
Fort Walton Beach FL 32548

QUOTE BY : Brent Byrd

SOLD TO : Napier Inc

PO# :

Ship Via : Ground

QUOTE # : JW220400Z4A - Version 0

SHIP TO :

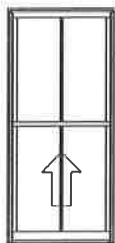
PROJECT NAME: Amberson

REFERENCE :

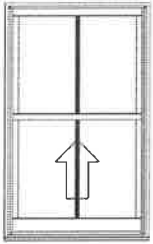
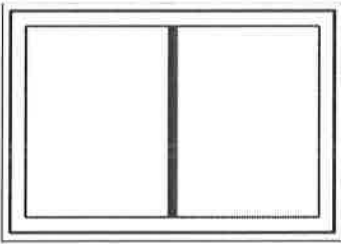
U-Factor Weighted Average: 0.29

SHGC Weighted Average: 0.18


LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1		Frame Size : 34 1/2 X 76 (Outside Casing Size: 34 1/2 X 76) Custom Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Single Hung - Fixed Top Sash, Beige Jambliner, Concealed Interior Jamb Liner White Hardware, Cam Lock(s), No Finger Lifts, Florida - FBC, PG 50, FL# 10943.11 Insulated SunResist Annealed Glass, No Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, No Screen, IGThick=0.75(1/8 / 1/8), DP40/DP50 increases the sill stop height by 3/8",; **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:31.2w, 32.8h, 7.1 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.43, Energy Rating: 13.00, CPD: JEL-N- 672-10847-00001 PEV 2022.2.0.3801/PDV 6.665 (04/15/22)PW			



Viewed from Exterior. Scale: 1/2" =1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	RO Size : 32 1/4 X 52 1/4	 <p>Frame Size : 31 1/2 X 51 1/2 (Outside Casing Size: 31 1/2 X 51 1/2) Custom Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Single Hung - Fixed Top Sash, Beige Jambliner, Concealed Interior Jamb Liner White Hardware, Cam Lock(s), No Finger Lifts, Florida - FBC, PG 50, FL# 10943.13 Insulated SunResist Annealed Glass, No Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, No Screen, IGThick=0.75(1/8 / 1/8), DP40/DP50 increases the sill stop height by 3/8";; **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:28.2w, 20.5h, 4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.43, Energy Rating: 13.00, CPD: JEL-N- 672-10847-00001 PEV 2022.2.0.3801/PDV 6.665 (04/15/22)PW</p>		1	
Line 3	RO Size : 35 1/4 X 24 3/4	 <p>Frame Size : 34 1/2 X 24 (Outside Casing Size: 34 1/2 X 24) Custom Casement/Awning Product, Wood Fixed Auralast Pine, Stationary, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Florida - FBC, PG 50, FL# 13699.11 Insulated SunResist Annealed Glass, Neat, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 2 Wide 1 High Traditional Screen Stop IGThick=0.9375(1/8 / 1/8), U-Factor: 0.26, SHGC: 0.21, VLT: 0.48, Energy Rating: 20.00, CPD: JEL-N- 666-08298-00001 PEV 2022.2.0.3801/PDV 6.665 (04/15/22)PW</p>		2	

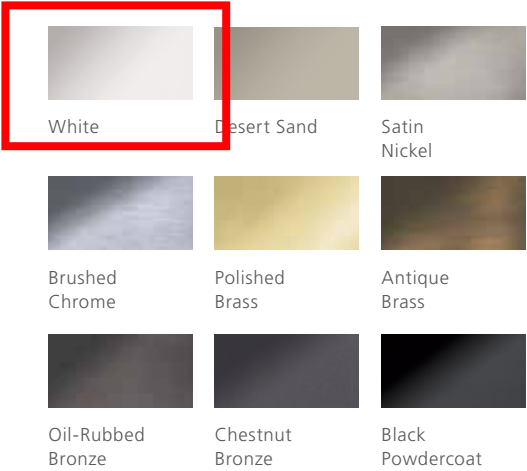
Total Units: 6

 Protect yourself when you choose JELD-WEN Auralast pine products backed by a limited lifetime warranty against wood rot and termite damage.

WINDOW HARDWARE

WINDOW HARDWARE OPTIONS

CASEMENT AND AWNING	DOUBLE-HUNG AND HORIZONTAL SLIDING
<p>STANDARD FOLDED NESTING HANDLE</p> 	<p>CONCEALED SASH LOCK</p> 
<p>PUSH-OUT HANDLE</p> 	



Actual colors may vary from samples shown to due printing process and/or differing monitor calibrations.

WINDOW OPENING CONTROL DEVICES (WOCD)

AVAILABLE ON DOUBLE-HUNG AND CASEMENT WINDOWS

Because windows can be necessary for emergency escape and rescue, building codes in your area may require certain windows to open fully. Factory-installed window opening control devices are designed to meet the current ASTM F2090 standard intended to help prevent accidental falls from windows by children five years of age and younger. A WOCD automatically limits the sash opening to less than four inches, unless it is deliberately disengaged, allowing the sash to open fully.



Window Open

Window Closed

EXTERIOR CLAD TRIM

Select one of our exterior clad trim options to create the architectural look you want for your windows: historical, transitional, or contemporary.



Adams



3 1/2" Flat



Brickmould

OTHER OPTIONAL TRIM



2" Exterior Jamb Extension



Standard



1" Sill Nosing



2" Sill Nosing

DIVIDED LITES

Add architectural interest to your JELD-WEN® Sitaline® wood and clad-wood windows with one of our decorative grille options. These options include traditional or contemporary Simulated Divided Lites (SDL) for an authentic look, that can be removed for easy cleaning, and maintenance-free Grilles Between the Glass (GBG).



Simulated Divided Lites (SDL)



Grilles Between the Glass (GBG)



Contemporary Simulated Divided Lites (SDL)

GLASS

LOW-E INSULATING GLASS

Our standard high-performance Low-E insulating glass enhances energy conservation by helping homes stay cooler in the summer and warmer in the winter. Low-E glass provides greater protection against solar heat gain, reduces condensation, and helps limit fading of interior furnishings. Additional Low-E glass options are available for improved thermal performance

DIRT-RESISTANT GLASS

Standard for all Siteline® products, this innovative product harnesses the sun's UV rays to loosen dirt from the glass, so that rainwater can easily rinse away any grime. No manual activation is required.

PROTECTIVE FILM

Standard for all Siteline® products, this film is factory-applied to both sides of the glass. It protects against debris and scratches during shipping and handling or at a construction site. Easy to remove, it saves clean-up time after installation.

TEMPERED GLASS

Treated with heat in order to withstand greater force or pressure on its surface, tempered glass will not break into sharp pieces. It is used most frequently on patio doors or windows installed near floor level.

ENERGY STAR® OPTIONS

Many JELD-WEN® windows and doors are ENERGY STAR certified, which means they exceed the minimum energy efficiency criteria for the climate region in which you live. JELD-WEN has been a proud ENERGY STAR partner since 1998. Please see your local dealer for options in your area.

SPACERS

STANDARD

For even more versatility, spacer bar color options enhance the appearance of your windows.

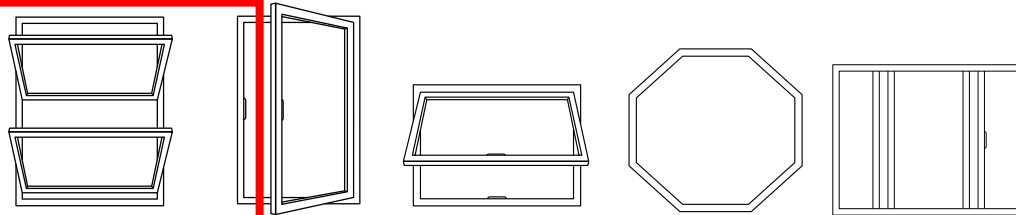


BLINDS BETWEEN GLASS

Select Siteline® windows and patio doors are available with Blink® Blinds + Glass. This exceptional blinds-between-the-glass offering delivers a clean, modern design with a choice of six colors, plus performance glass options. Blink blinds never need dusting, and there are no exposed cords.

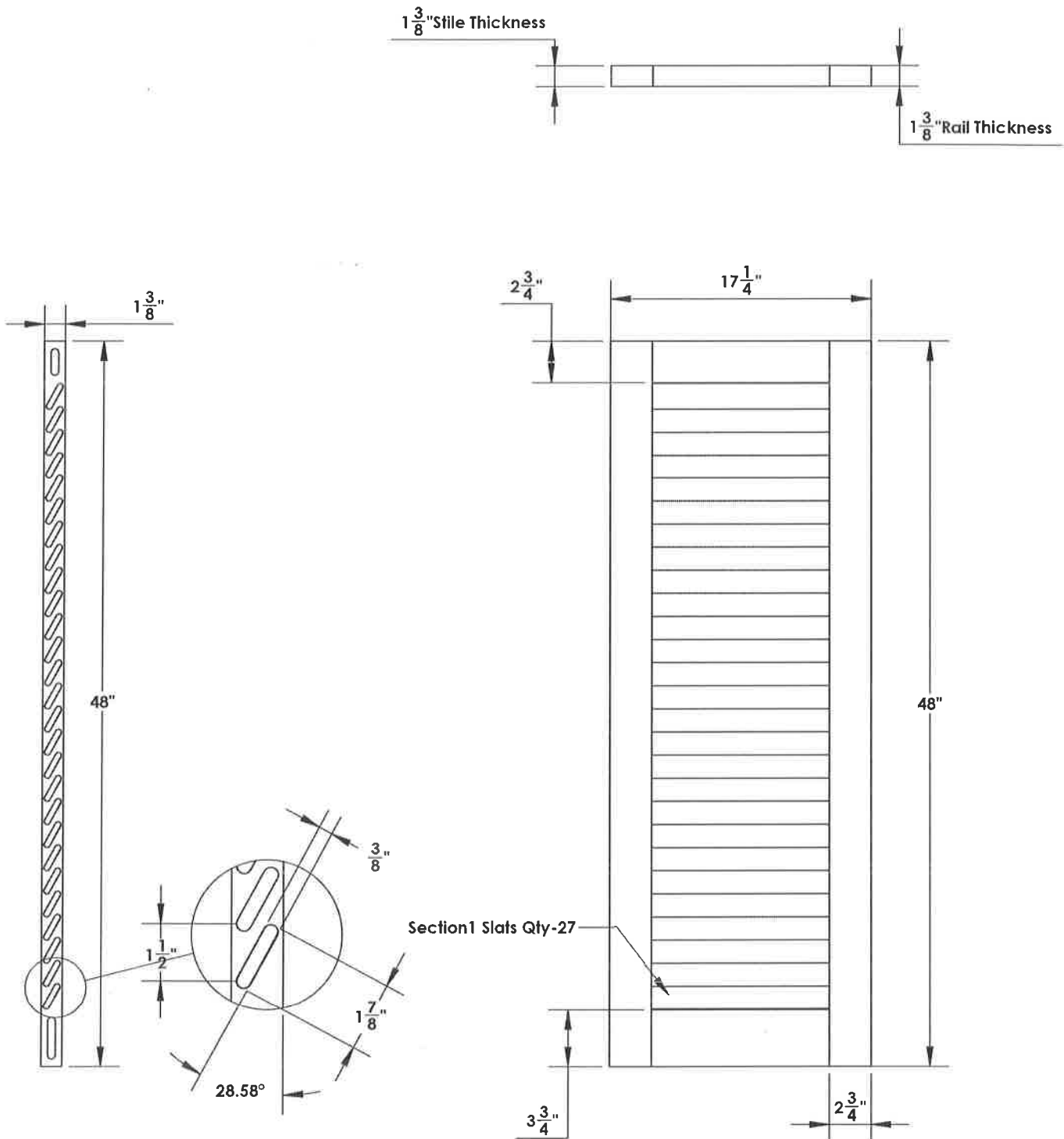


PRODUCT DETAIL MATRIX



	Double-Hung	Casement	Awning	Geometric	Sliding
Hardware	Sash lock with integrated tilt latches	Nesting handle	Nesting handle	N/A	Sash lock
Hardware Finishes	9 Finishes	9 Finishes	9 Finishes	9 Finishes	9 Finishes
Glass Options	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices
Sizes: Min Max	21 3/8" x 32" 45 3/8" x 92"	18" x 18" 36" x 84"	18" x 18" 60" x 48"	18" x 18" 108" x 78"	29" x 23" 72" x 60"
Grilles	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs
Performance Rating	45 3/8" x 80" - PG 50, WZ3 - PG +50/-65	36" x 82" - PG 50, WZ3 - PG +50/-65	48" x 48" - PG 50, WZ3 - PG +50/-65	84" x 84" - PG 50, WZ3 - PG +50/-65	72" x 60" - PG30
Configurations	Special Mulls, Transoms, Bays & Bows, Multiples	Special Mulls, Transoms, Bays & Bows, Multiples	Special Mulls, Transoms, Multiples	Special Mulls, Multiples	N/A
Spacer Color	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver
Blink® Blinds	N/A	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	N/A

Other options available, including impact-rated options (depending on operating type) and screens.
For more information, please see your JELD-WEN representative or visit jeld-wen.com.



Louver Type: Traditional DownSide 1.875"X0.375"

Date : 6/7/2022

Quote/Order Number :
31657210

List Price:
\$842.68

Contact Name :
BRENT BYRD

Purchase Order No# :

Sales Associate :
Sarah

I have verified and checked that all dimensions, Layout Configuration louver direction, Panel configuration, and cross section listed on this drawing are accurate and I understand that certain manufacturing variables may alter the dimensions shown, not limited to: Louver quantities.

Approval Signature: _____

Date: _____

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Southern Shutter Company
100 Coffee Street
Montgomery, AL. 36104
Phone: (334) 264-6158
Fax: (334) 264-6001
Email: sales@southernshutter.com
www.southernshutter.com

SOUTHEASTERN SASH & DOOR

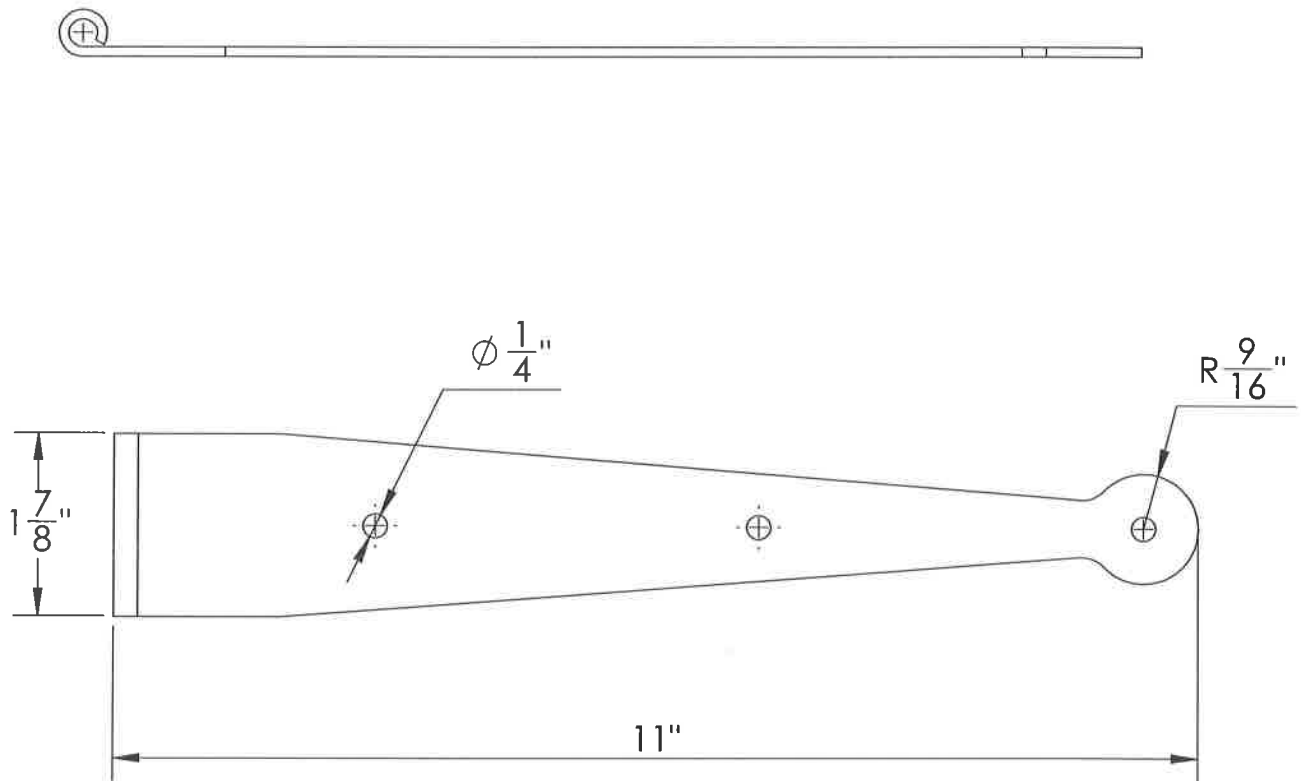
MATERIAL: Spanish Cdr-
FINISH: EX1

DO NOT SCALE DRA
SCALE: 1:24 SHEET

148



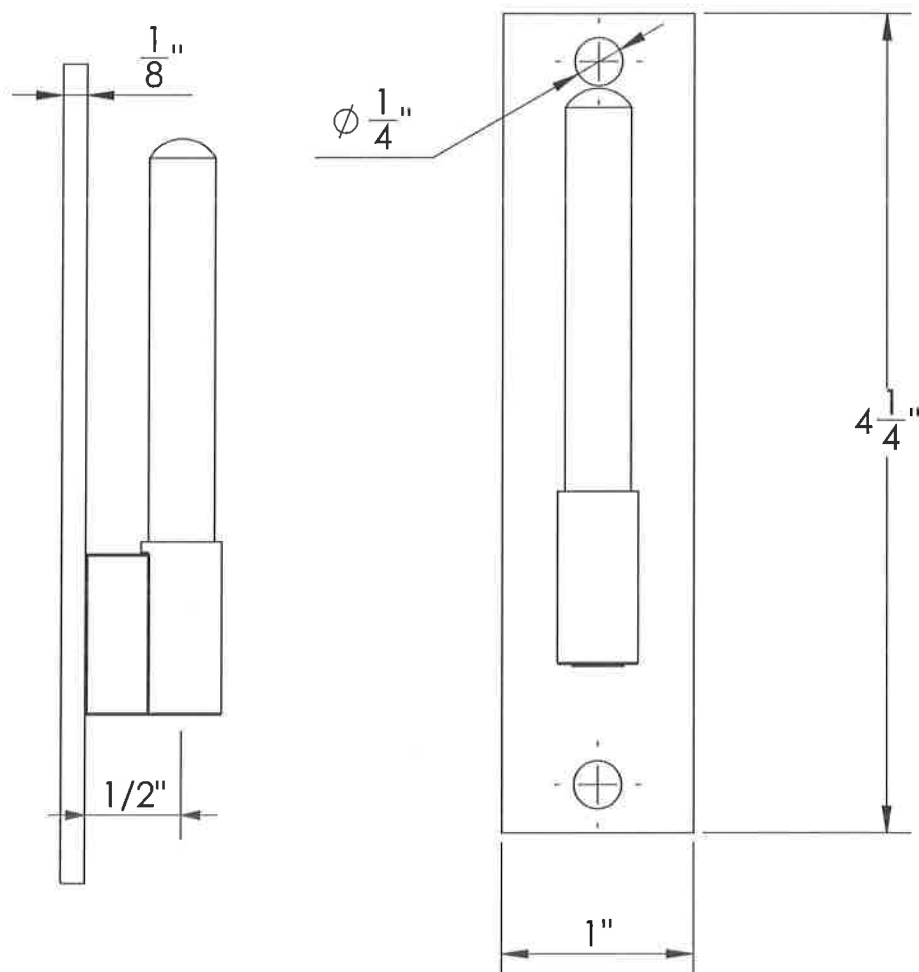
Hinge



Approval Signature		PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF Southern Shutter Company. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF Southern Shutter Company IS PROHIBITED. DO NOT SCALE DRAWING	Quote/Order Number:		
Purchase Order No#:			000-SH		
Date:			SIZE A DWG. NO.	REV.	
			SCALE: 1:2	SHEET 1 OF 1	149



Hinge Pin

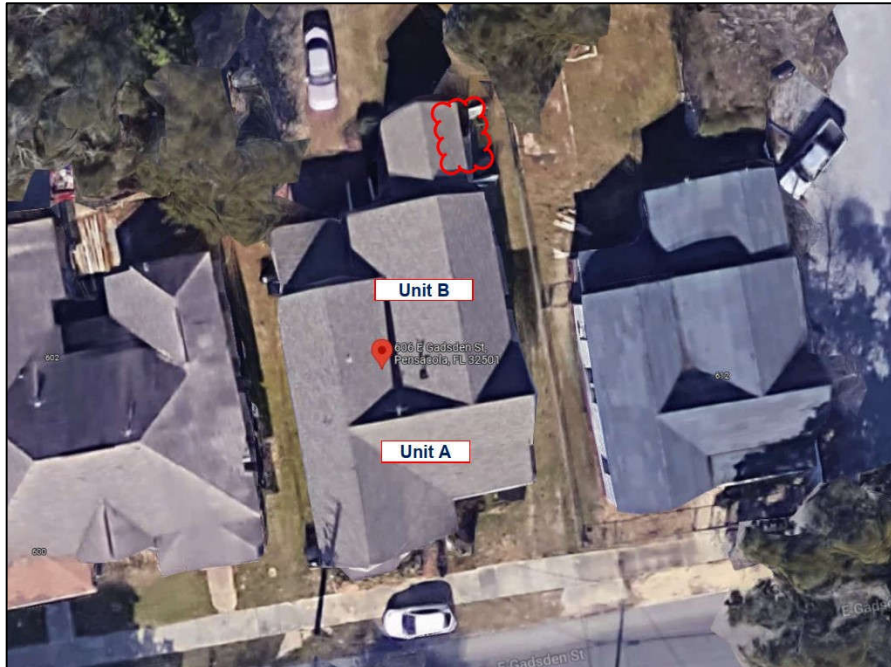


Approval Signature		PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF Southern Shutter Company. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF Southern Shutter Company IS PROHIBITED. DO NOT SCALE DRAWING	Quote/Order Number:
Purchase Order No#:			012-PP
Date:			SIZE A DWG. NO. SCALE: 1:1 SHEET 1 OF 1

8. Replace window A/C unit. Will be hidden from street view.

Replace window unit air conditioner with mini split air conditioner.

Add Rinnai gas Fired Condensing Model Tankless Water Heater to right side of window.



East side of the apartment
—remove window unit. See
pictures on mini split and
tankless water heater and
floor plan for placement.
Window replacement – see
page 5



Water
Heater

Rinnai Gas Fired Condensing Model

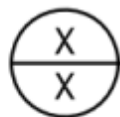
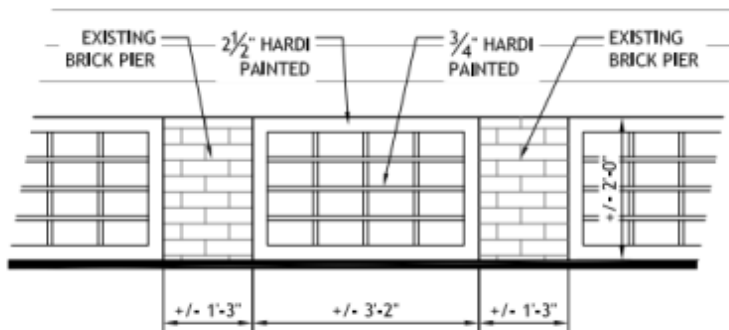
LED display settings
Privacy lock mode



9. Add new skirting. Hardie panels between piers will be slightly recessed in.



New skirting with $\frac{3}{4}$ " hardy board horizontal lattice with $2\frac{1}{2}$ " support framed between brick piers. To match color to existing house trim
(see drawing)



TYPICAL SKIRTING LATTICE

SCALE: $\frac{1}{2}" = 1'-0"$

Gregg Harding

From: Lucy McLendon <lucy@mclendoninteriors.com>
Sent: Thursday, July 14, 2022 10:54 AM
To: Gregg Harding
Subject: [EXTERNAL] Skirting question

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Gregg

We will plan on the new skirting on the whole house except for Unit A front porch which is painted block.

Lucy McLendon. ASID
4140 Lynn Ora Drive
Pensacola, FL 32504
850 450-3375
ID0003608
IB0001316
lucy@mclendoninteriors.com
www.mclendoninteriors.com
www.facebook.com/lucymclendoninteriors.com



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00727

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

422 N. 7th Avenue
Old East Hill Preservation District / Zone OEHR-2
Constructure of an Accessory Dwelling Unit at a Contributing Structure

BACKGROUND:

Jeff Griffey and James Amerson are requesting approval to construct an accessory dwelling unit in the rear yard. The 20' x 30' structure will have smooth Hardie lap siding with 5.5" exposure, false decorative louvered shutters to match the main house, asphalt shingles, fiberglass French doors, and fiber cement stucco panels to cover the piers and to skirt the building. Paint will match the main building with white body and trim, green shutters, and a grey stucco foundation.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)i. Old East Hill, New construction

Page 1
☒ original
☐ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 1.1: 3/89

Site # ES 01999

Recorder # _____

SITE NAME William H. Davison, House
HISTORIC CONTEXTS Reconstruction
NAT. REGISTER CATEGORY District
OTHER NAMES OR MSF NOS None
COUNTY Escambia OWNERSHIP TYPE Private-Individual
PROJECT NAME West-EastHill Survey: S&R DHR NO 3226
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 422 North 7th Ave. CITY Pensacola
VICINITY OF / ROUTE TO West-East Hill Neighborhood, NE corner Of N 7th Ave Between E La Rua St and E Belmont St
SUBDIVISION East King Tract BLOCK NO 6 LOT NO 40
PLAT OR OTHER MAP County Appraiser's Atlas sheet #68
TOWNSHIP 2S RANGE 30W SECTION 19 1/4 1/4-1/4
IRREGULAR SEC? ☒ y ☐ n LAND GRANT
USGS 7.5' MAP Pensacola 1970 PR 1987
UTM: ZONE _____ EASTING _____ NORTHING _____
COORDINATES: LATITUDE _____ D _____ M _____ S LONGITUDE _____ D _____ M _____ S

HISTORY

ARCHITECT: F _____ M _____ L Unknown
BUILDER: F _____ M _____ L Unknown
CONST DATE 1870 CIRCAC _____ RESTORATION DATE(S): _____
MODIFICATION DATE(S): _____
MOVE: DATE _____ ORIG LOCATION _____
ORIGINAL USE(S) residence - private
PRESENT USES(S) residence - private

DESCRIPTION

STYLE Frame Vernacular
PLAN: EXTERIOR T-shaped
INTERIOR _____
NO.: STORIES 0 OUTBLDGS 0 PORCHES 2 DORMERS 0
STRUCTURAL SYSTEM(S) Ballon Wood Framing
EXTERIOR FABRIC(S) Flush Wood Sidind, Clapboard
FOUNDATION: TYPE Pier MATLS Brick
INFILL Concrete Block
PORCHES W&S/ Porch/ 1 story/ Chamfered/ 8 bays/ W, N/ Porch/ 1 story/ Square/E
ROOF: TYPE H, P, Cross-Gabled SURFACING Composition Shingles
SECONDARY STRUCS. Hip
CHIMNEY: NO 2 MTLS Brick LOCNS W:center, ridges; E; center, ridges
WINDOWS DHS, 616; Awning 3; Transom 2
EXTERIOR ORNAMENT Wood
CONDITION Good SURROUNDINGS Residential
NARRATIVE (general, interior, landscape, context; 3 lines only)

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? ☐ y ☒ n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS _____

RECORDER'S EVALUATION OF SITE
AREAS OF SIGNIFICANCELocal community development
Social History

ELIGIBLE FOR NAT. REGISTER? y n likely, need info insf inf
 SIGNIF. AS PART OF DISTRICT? xy n likely, need info insf inf
 SIGNIFICANT AT LOCAL LEVEL? xy n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)

* * *DHR USE ONLY* * * * * DHR USE ONLY * *
 *
 * DATE LISTED ON NR *
 * KEEPER DETERMINATION OF ELIG.(DATE): -YES -NO *
 * SHPO EVALUATION OF ELIGIBILITY(DATE): -YES -NO *
 * LOCAL DETERMINATION OF ELIG.(DATE): -YES -NO *
 * OFFICE *
 * * *DHR USE ONLY* * * * * DHR USE ONLY * *

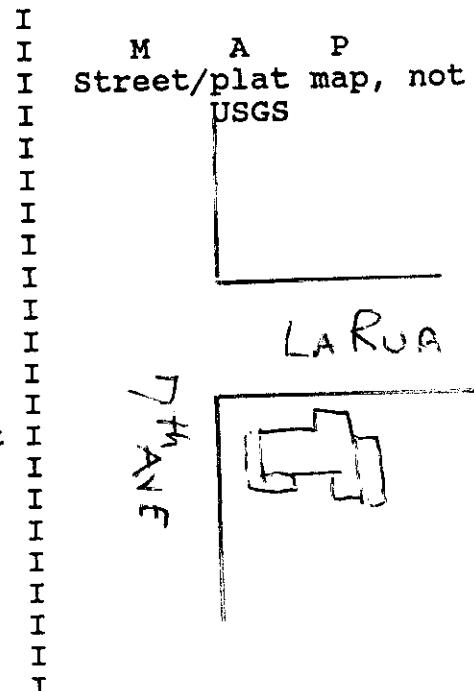
RECORDER INFORMATION: NAME F Richard M T L Brosnahan
 DATE: MO 8 YR 92 AFFILIATION Historic Pensacola Preservation Board

PHOTOGRAPHS (Attach a labeled print bigger than contact size)

LOCATION OF NEGATIVES Historic Pensacola Preservation BoardNEGATIVE NUMBERS 91N101 WEH (Frames 17-18)

P H O T O G R A P H

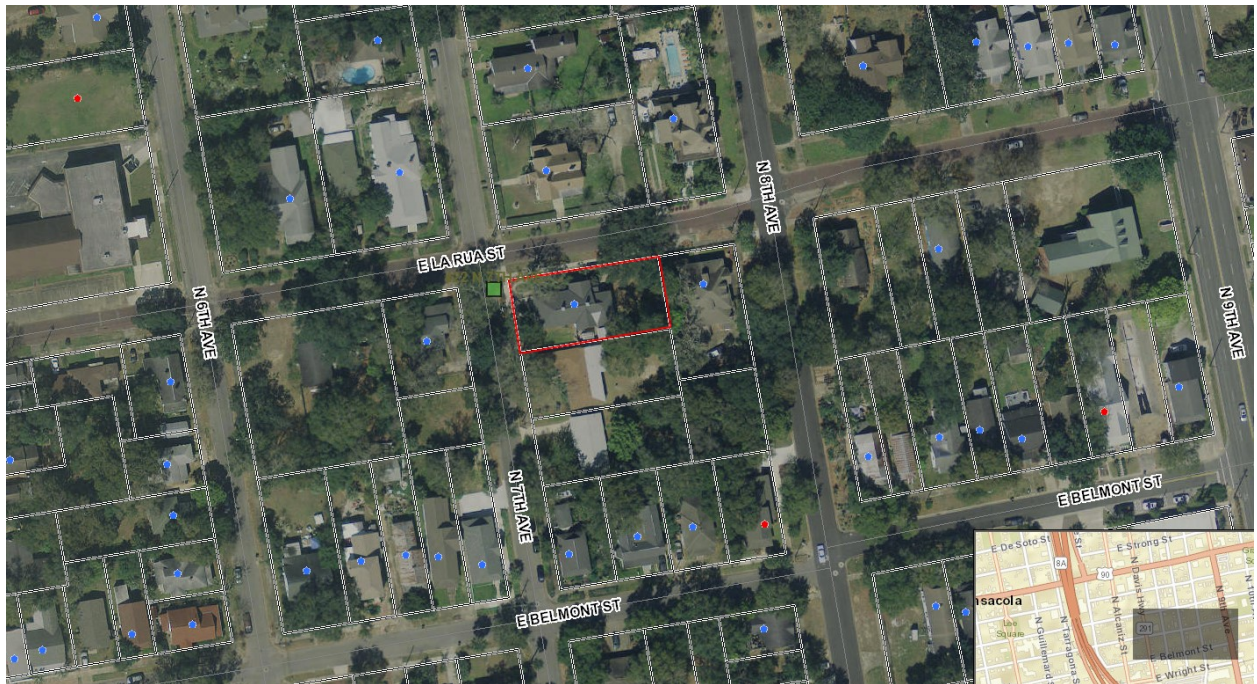
Attach a B/W photographic print here
 with plastic clip. Label the print
 itself with at least: the FMSF site
 number (survey number or site name if
 not available), direction and date of
 photograph. Prints larger than contact
 size are preferable.



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED



422 N. 7th Avenue





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: _____

Project Address: 422 N 7th Ave

Applicant: Donald J Griffey and James Ezell Amerson

Applicant's Address: 422 N. 7th Ave

Email: jeff.griffey@yahoo.com **Phone:** 850-221-7914

Property Owner: Donald J Griffey and James Ezell Amerson

District: ☐ PHD ☐ NHPD ☒ OEHPD ☐ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

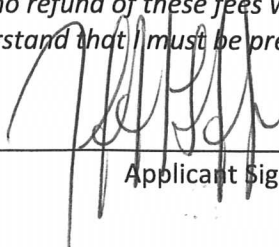
- ☒ Residential Homestead – \$50.00 hearing fee
- ☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Building a mother in law suite in our backyard. Structure footprint is 20' x 30'. Living area is 14' x 30' and porch is 6' x 30'. Color and finished will match the main house as well has decorative brackets on the porch columns. Door will resemble the "JIB" window of the main house.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.



Applicant Signature

6-29-22

Date

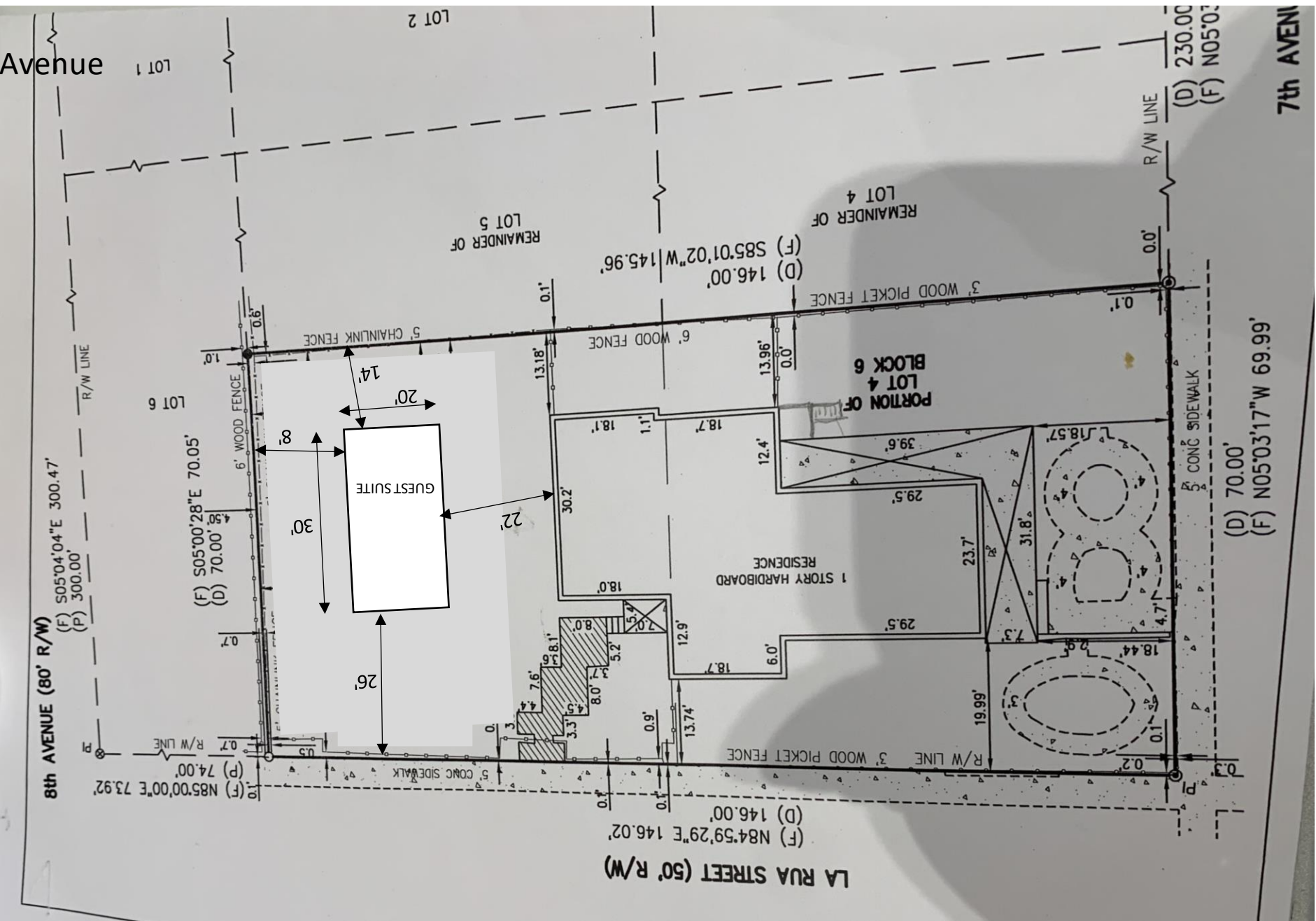
422 N. 7th Avenue



422 N. 7th Avenue



422 N. 7th Avenue



7th AVENUE

422 N. 7th Avenue

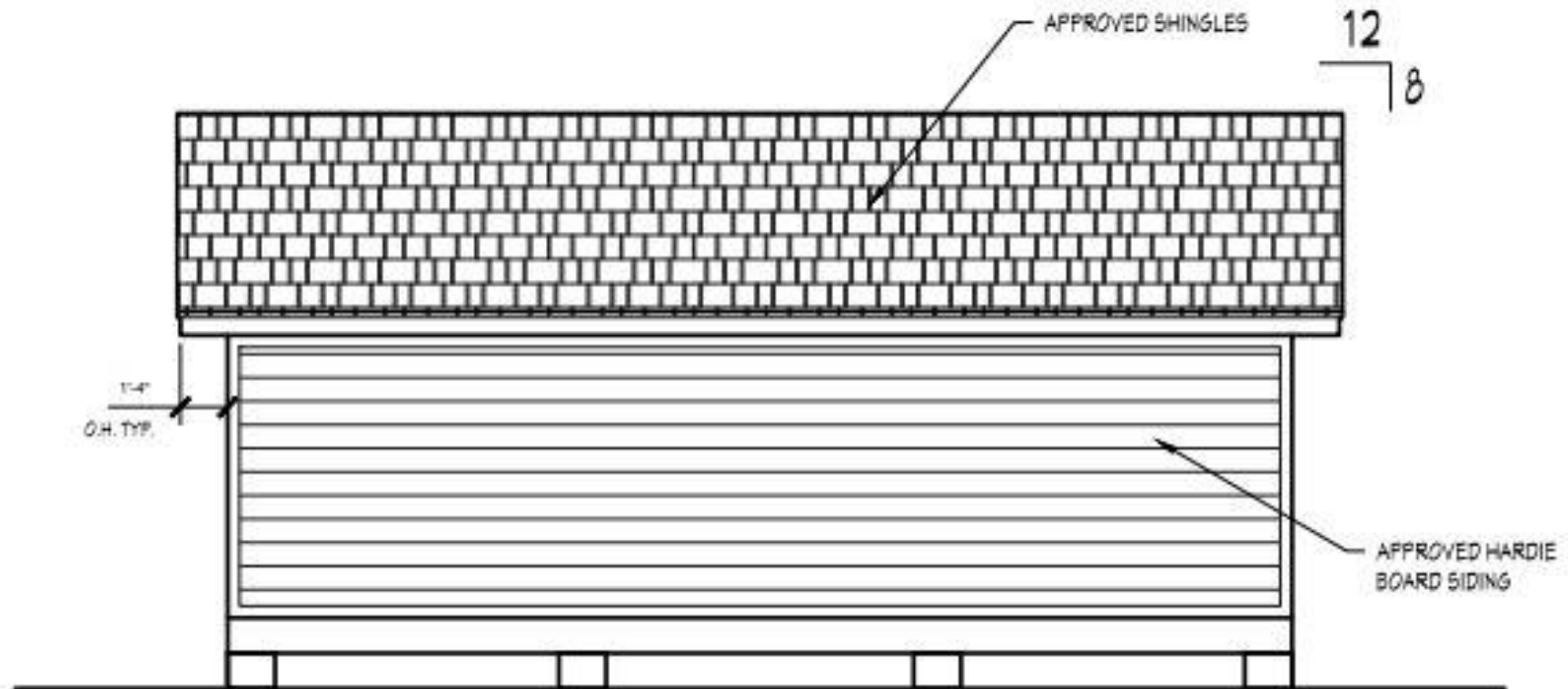


FRONT ELEVATION

SCALE: 1/4"=1'-0"

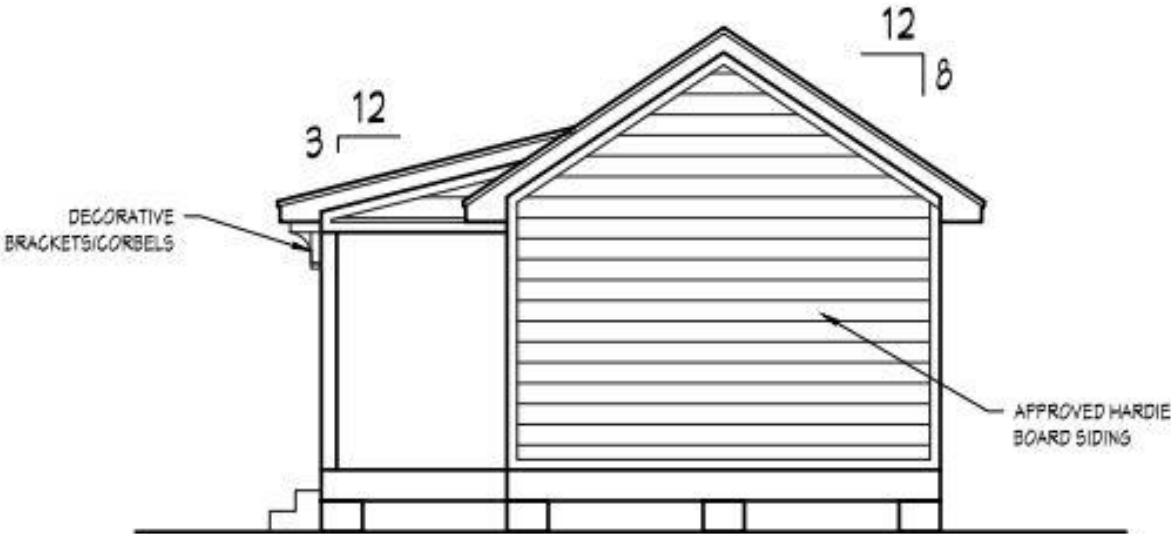
SIDING AND TRIM TO
MATCH MAIN HOUSE

422 N. 7th Avenue



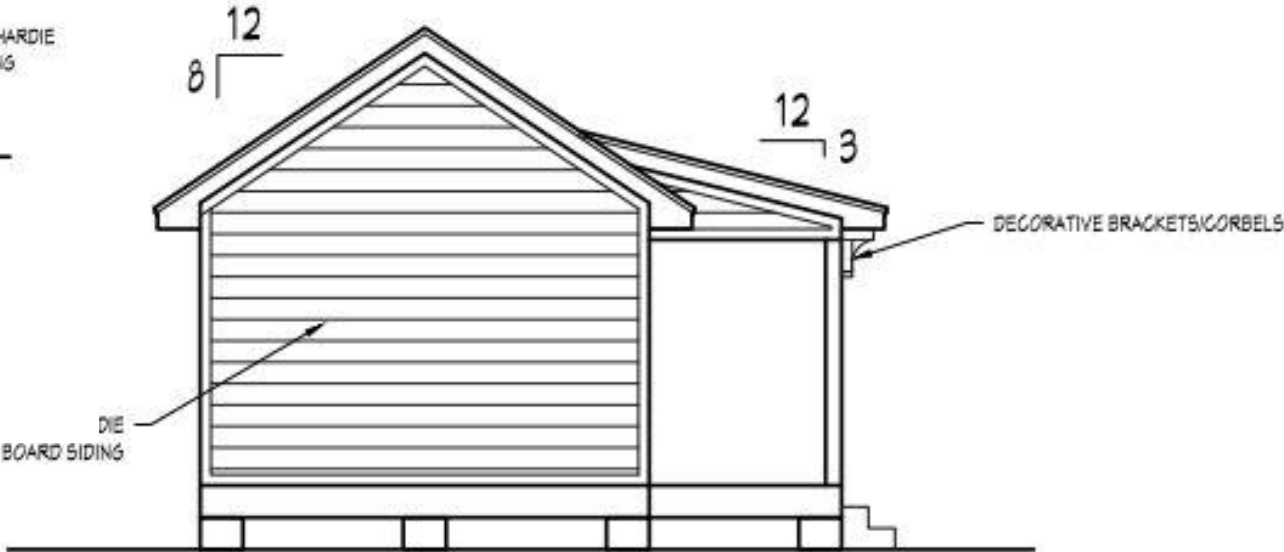
REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

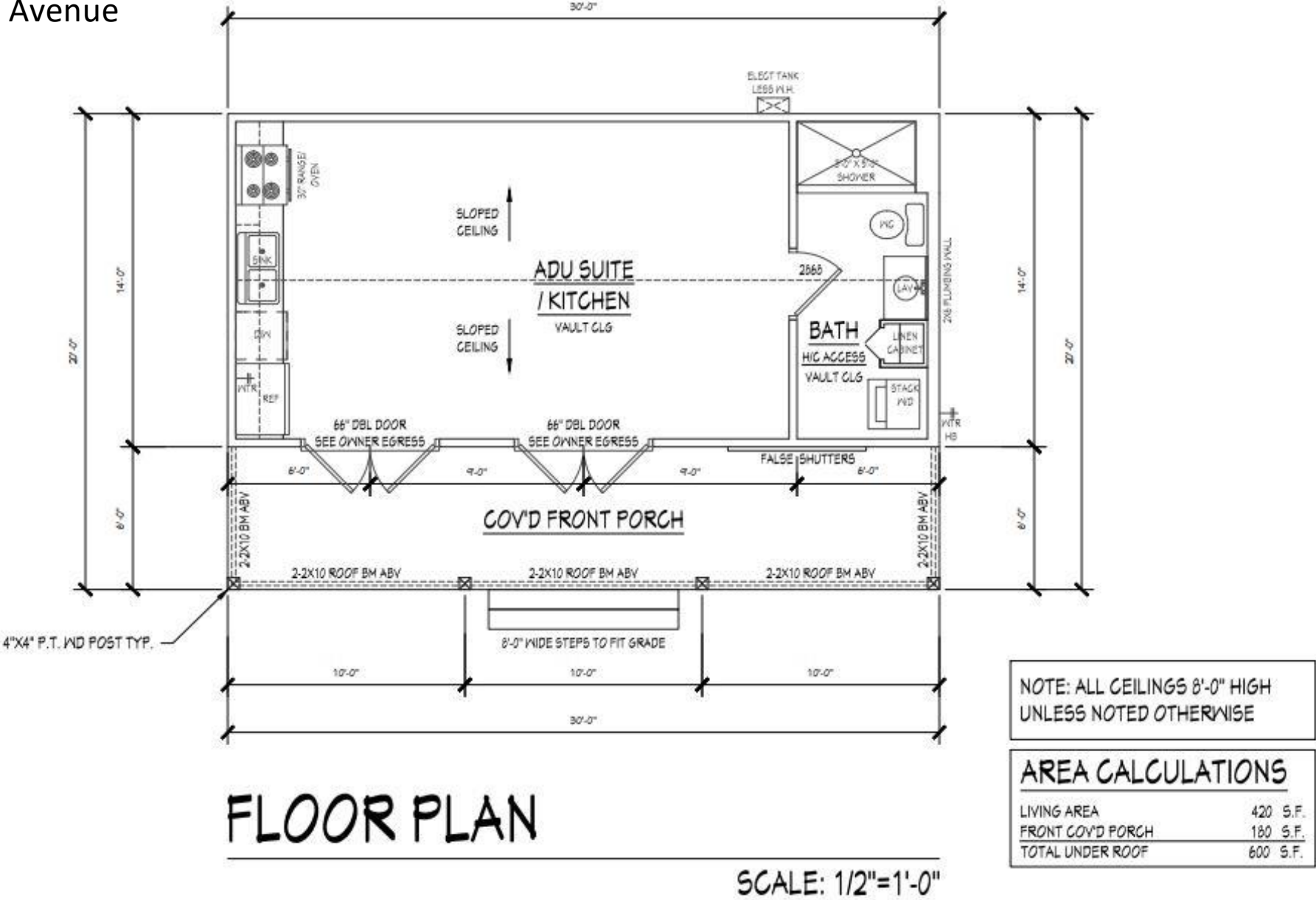
SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

422 N. 7th Avenue



GENERAL NOTES:

LOAD BEARING WALLS:

CONTRACTOR TO VERIFY ALL LOAD BEARING WALL LOCATIONS WITH TRUSS COMPANY & BUILDING CONTRACTOR PRIOR TO CONSTRUCTION

FINISHED FLOOR GENERAL NOTE:

FINISHED FLOOR OF ANY SPACE OPEN TO THE ELEMENTS INCLUDING ALL COV. PORCHES, PATIOS, CARPORTS ETC. SHALL BE DROPPED 4" MIN FROM FINISHED FLOOR OF MAIN HOUSE & SHALL BE SLOPED AWAY FROM HOUSE TO INSURE WATER RUNOFF AS PER BUILDER.

GENERAL NOTE:

TERMITE TREATMENT
SOIL SPRAY PENETRATION
OR
ENVIRONMENTAL SECURITY
BORATE
AND WOOD TREATMENT
AT BUILDERS OPTION

GENERAL NOTES:

PRESSURE TREATED JOISTS TO BE USED FOR ALL CONSTRUCTION 12" OR LOWER THAN GRADE (TYP)

The diagram is a foundation plan for a rectangular structure. The overall dimensions are 30'-0" wide by 26'-0" deep. The plan shows a grid of foundation walls and floor joists. The walls are labeled with dimensions: 1'-10" for the outer walls and 1'-2" for the inner walls. The floor joists are labeled "2'x6\" P.T. FLOOR JOISTS SPACED @ 16\" O.C." and are shown running parallel to the walls. The plan also includes a section line labeled "1'-2\" and a note indicating that the finished floor of any space open to the elements should be dropped 4" minimum from the finished floor of the main house and sloped away from the house to ensure water runoff.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

422 N. 7th Avenue



12 LITE TO RESEMBLE "JIB"
WINDOWS ON MAIN
HOUSE

FLORIDA APPROVAL #
22363.5



SHUTTERS: ¾" PINE WOOD
PAINTED GREEN TO MATCH
MAIN HOUSE



32"

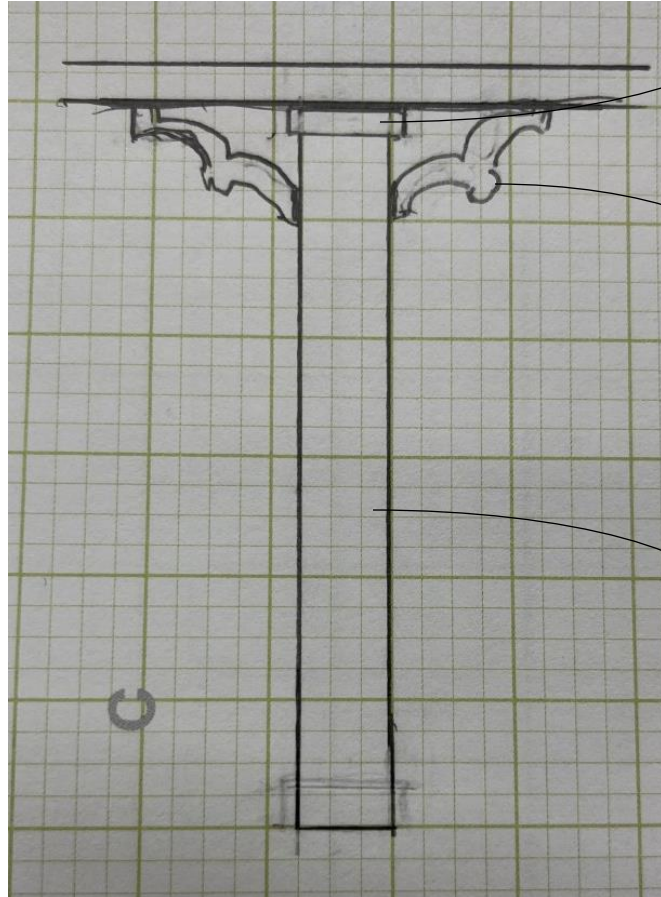
80"

MASONITE ENTRY DOORS						
Catalog Version 175						
Call Width = 64" Call Height = 80" Width = 66 Height = 80.375						
Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
200-1	66 x 80.375	\$1,400.63	\$1,400.63	1	\$0.00	\$1,400.63
Unit 200 Total:		\$1,400.63	\$1,400.63		\$0.00	\$1,400.63
Begin Line 200 Description						
---- Line 200-1 ----						
Masonite Smooth Double Prehung 66 x 80.375						
RO Width = 66.75						
RO Height = 80.875						
BM Width = 68.5						
BM Height = 81.625						
Call Width = 64"						
Call Height = 80"						
Width = 66						
Height = 80.375						
Show only Energy Star products = No - Show all products						
Handing-Swing = Double Right Hand Outswing						
Nominal Door Width = 32"						
Nominal Door Height = 80"						
Glass Type = Commodity Glass						
Material = Belleville Smooth Fiberglass						
Door Style = 3/4 Lite Rectangle						
Glass Size = 404 - 22x48 Rectangle						
Glass Style = 12 Lite External Grille						
Door Low-E = No						
Door Finish Type = Unfinished						
Jamb Width = 4 9/16"						
Jamb Type = Smooth Composite						
Matching Brickmould = Yes						
Jamb Finish Type = Unfinished						
Jamb/Brickmould Color = Unfinished						
Handleset Style = None						
Passive Door Handleset = No						
Lock Prep Active Panel = 5 1/2" Double Bore						
Lock Prep Passive Panel = No Bore						
Hinge Type = Ball Bearing						
Hinge Finish = Satin Nickel						
Sill Type = Bumper Sill						
Sill Finish = Mill Finish						
Re-Order = No						
Room Location =						
Is the Door Energy Star Rated? = No						
Florida Product Approval Number = 22363.5						
Design Pressure = +50.0/-50.0						
SKU = 476575						
Vendor Name = S/O MASONITE DORFAB E						
Vendor Number = 60028777						
Customer Service = 1-877-431-3667						
Catalog Version Date = 11/29/2021						
End Line 200 Description						



422 N. 7th Avenue

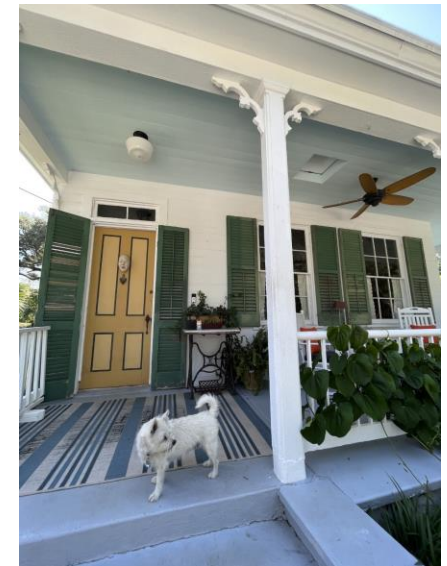
COLUMN, BRACKET, TRIM



1 X 2 TREATED PINE TRIM TO RESEMBLE
MOLDING ON HOUSE PAINTED WHITE

1 ½ " BRACKET TREATED PINE PAINTED
WHITE

6 X 6
TREATED PINE, ROUTED CORNERS
PAINTED WHITE



422 N. 7th Avenue



PORCH DECK:
TREATED PINE 5/8 X 6
PLANK PAINTED GRAY TO
MATCH HOUSE FRONT
PORCH

HANDRAILS:
2 X 4 RAILS 2 X 2 SPINALS
TO MATCH PICKET FENCE
PAINTED WHITE TO MATCH
HOUSE

422 N. 7th Avenue



GRAY ARCHITECTURAL
SHINGLES TO MATCH MAIN
HOUSE



HARDI LAP SIDING 5.5"
EXPOSER SMOOTH
PAINTED WHITE TO MATCH
HOUSE



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00728

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: Click or tap to enter a date.

SUBJECT:

209 S. Alcaniz Street
Pensacola Historic District / Zone HC-1 / Wood Cottages
New Construction

BACKGROUND:

Michael and Anita Williams are seeking *final* review and approval for a new single-family residence. A conceptual review of this project was approved with comments in June 2022. The new plans show revisions based on board comments. The previous turret has been changed to a large bay window and clarifications have been made to windows, doors, and the car port. Materials remain consistent and include a brick veneer base, fiber cement lap siding and shake siding, vinyl double hung windows, wood handrails with turned spindles, and a paver ribbon drive.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.(2)ii(b) Pensacola Historic District, Decisions

Sec. 12-3-10(1)h, Figure 12-3.1 Pensacola Historic District, New construction

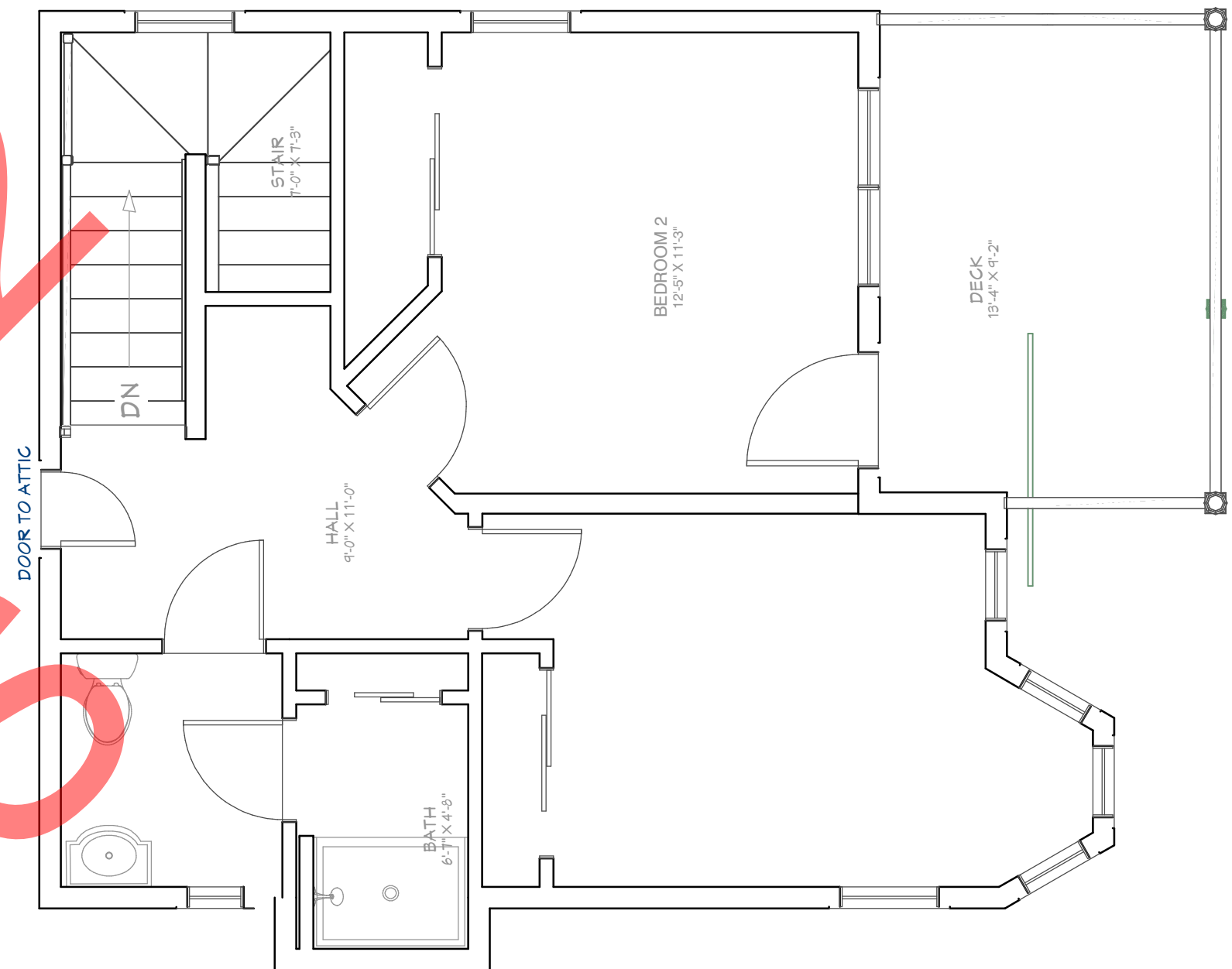
Figure 12-3.1 Pensacola Historic District, Wood Cottages District Streetscape Type 2

209 S. Alcaniz Street





Layout Page Table			
Label	Title	Description	Comments
P-1	Overview		
	Elevations 1		
	Elevations 2		
	Dimensioned Plan 1		
	Dimensioned Plan 2		
	Site Plan		



LIVING AREA
484 SQ. FT.

Floor 2



LIVING AREA
1252 SQ. FT.

Floor 1

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Overview

DRAWINGS PROVIDED BY:

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

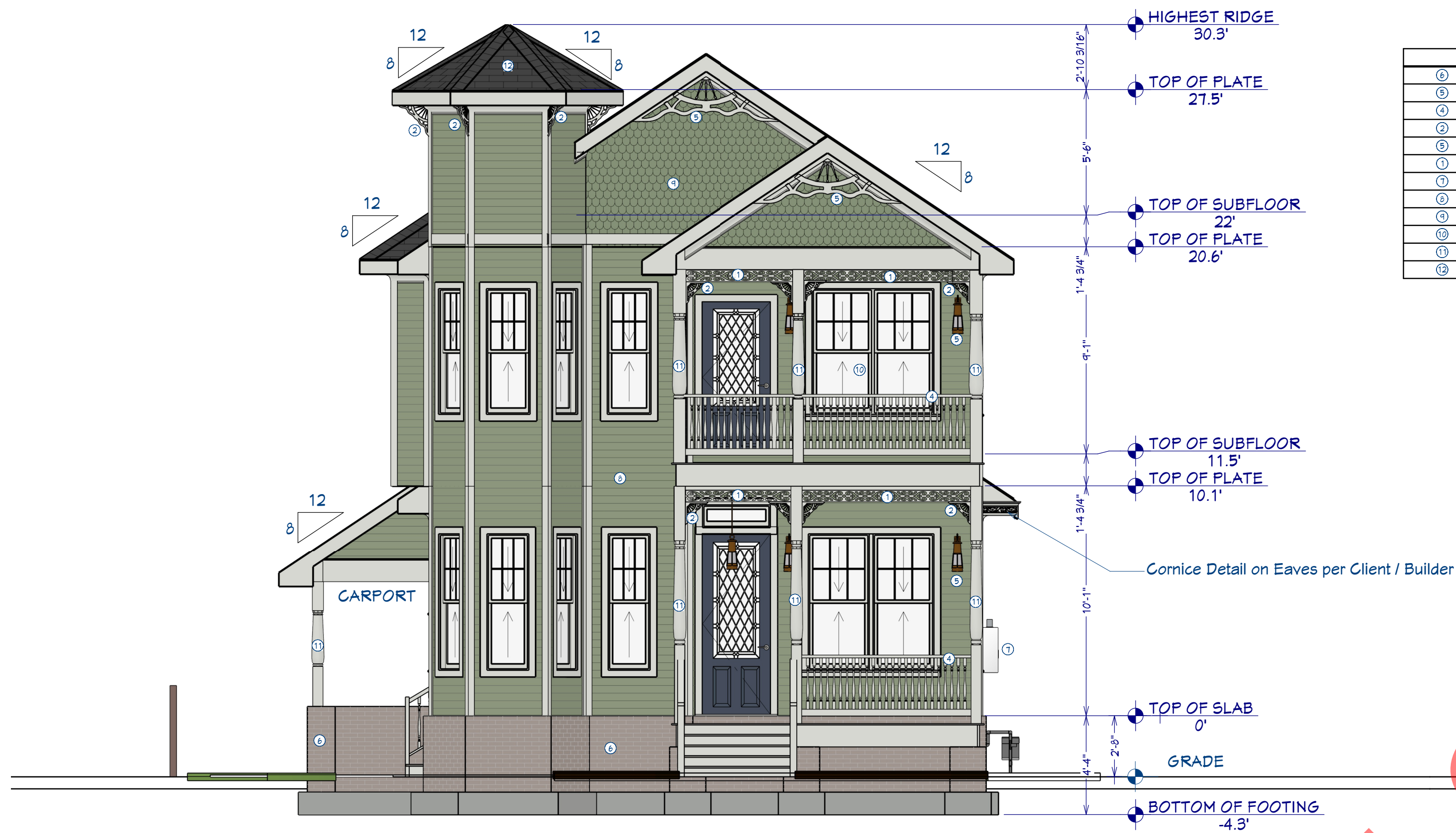
DRAWINGS PROVIDED BY:

Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

DATE:
6/13/2022

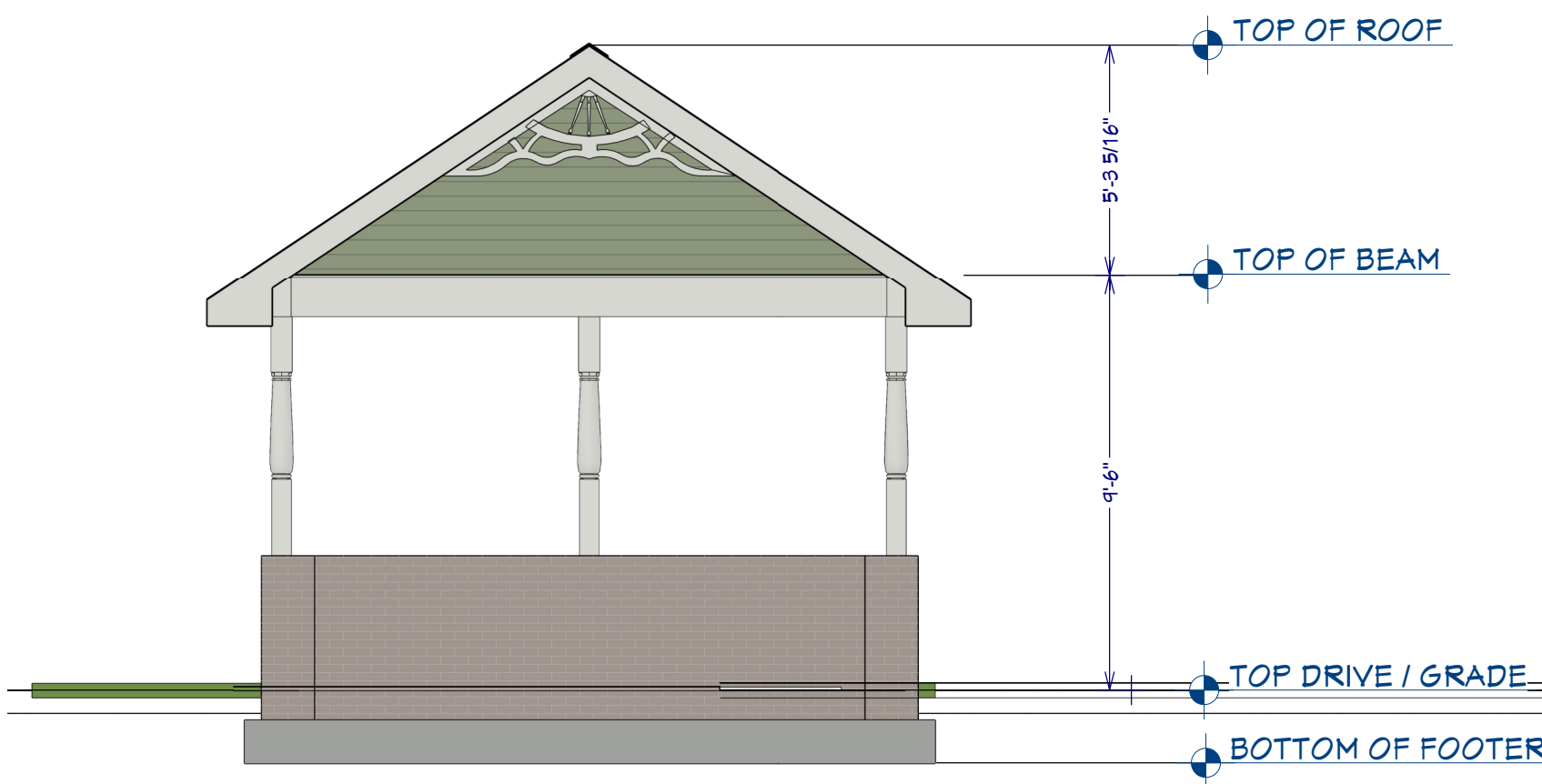
SCALE:

SHEET:
P-1



Exterior Elevation Front

NOTE SCHEDULE	
①	CMU STEM WALL W/ BRICK VENEER
②	RECLAIMED BRONZE OR COPPER LIGHTS
③	WOOD 36" HANDRAIL W/ TURNED SPINDLES
④	WOOD BRACKET
⑤	WOOD GABLE BRACKET
⑥	WOOD RUNNING TRIM
⑦	TANKLESS WH
⑧	HARDIE OR NICHHA LAP SIDING (KENNEBUNK PORT GREEN)
⑨	MERMAID SHAKE SIDING (KENNEBUNK PORT GREEN)
⑩	ALL WINDOWS TO BE KOLBE OR ANDERSON
⑪	STRUCTURAL TURNED POST W/ INNER SLEEVE FOR ALL THREAD
⑫	PINNACLE PRISTINE SHINGLES



CARPORT FRONT



Exterior Elevation Left

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REVISION TABLE	
NUMBER	DATE

Elevations 1

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

Drawings provided by:
Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

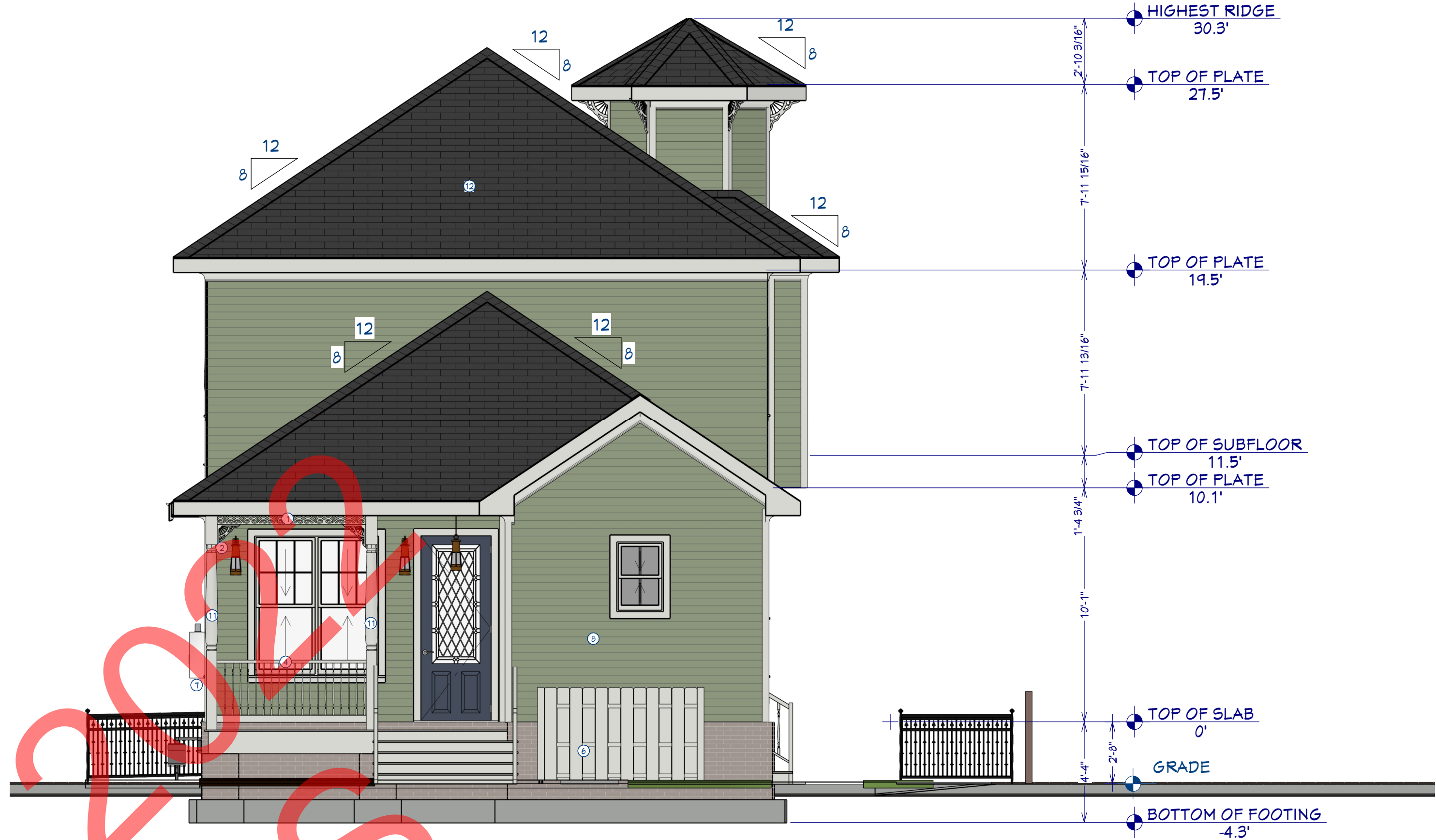
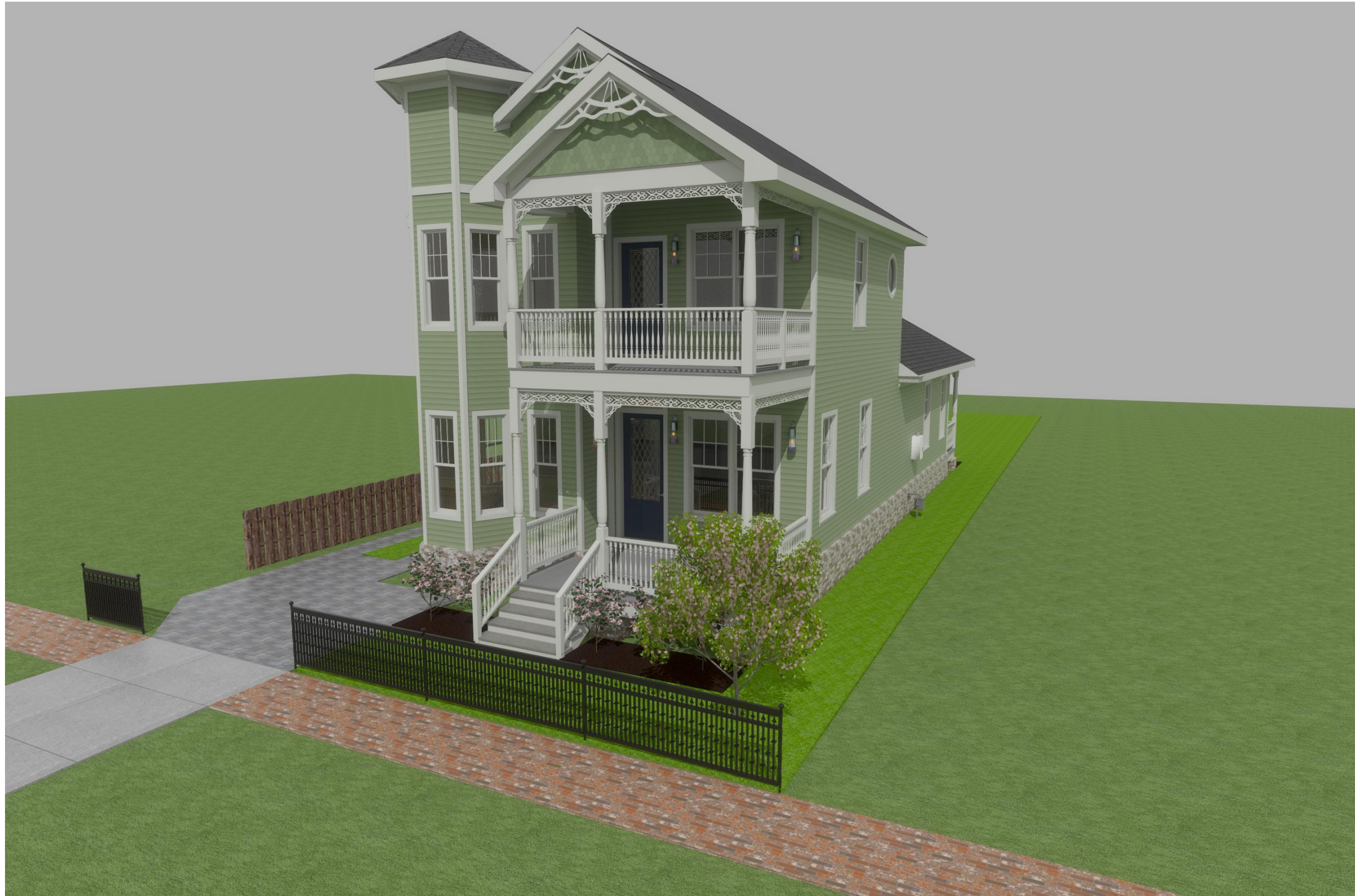
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6/13/2022

SCALE:

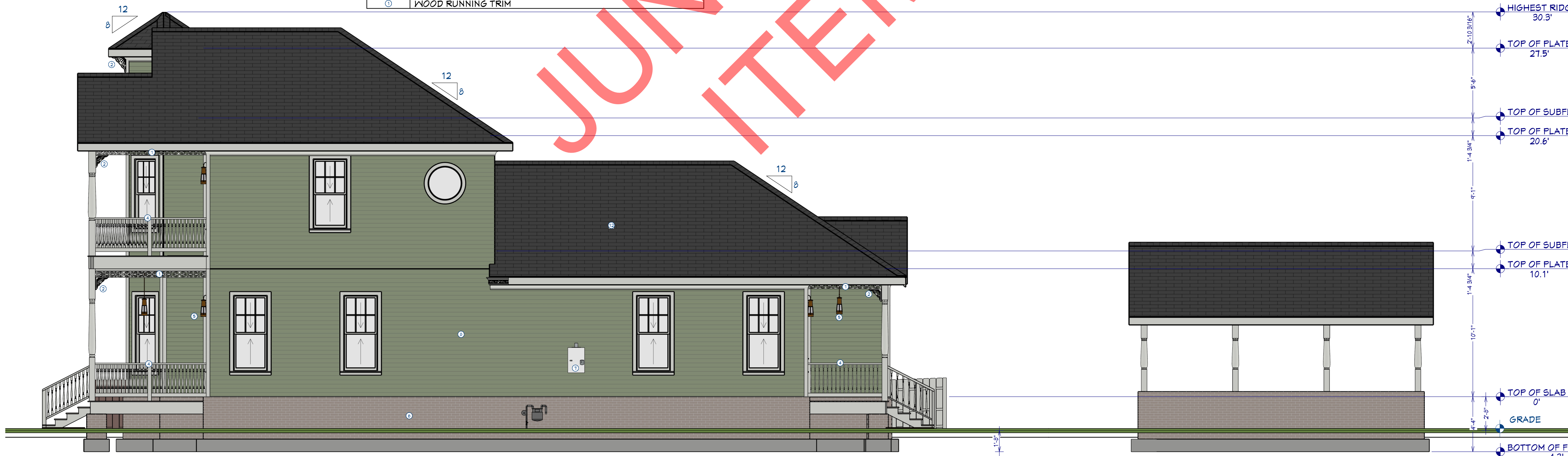
SHEET:

P-2



Exterior Elevation Back

NOTE SCHEDULE	
Ⓢ	ALL WINDOWS TO BE KOLBE OR ANDERSON
Ⓢ	CMU STEM WALL W/ BRICK VENEER
Ⓢ	HARDIE OR NICHHA LAP SIDING (KENNEBUNK PORT GREEN)
Ⓢ	MERMAID SHAKE SIDING (KENNEBUNK PORT GREEN)
Ⓢ	PINNACLE PRISTINE SHINGLES
Ⓢ	RECLAIMED BRONZE OR COPPER LIGHTS
Ⓢ	STRUCTURAL TURNED POST W/ INNER SLEEVE FOR ALL THREAD
Ⓢ	TANKLESS WH
Ⓢ	WOOD 3/8" HANDRAIL W/ TURNED SPINDLES
Ⓢ	WOOD BRACKET
Ⓢ	WOOD GABLE BRACKET
Ⓢ	WOOD RUNNING TRIM



Exterior Elevation Right

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Elevations 2

DRAWINGS PROVIDED BY:

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

DRAWINGS PROVIDED BY:

Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

DATE:
6/13/2022

SCALE:

SHEET:
P-3



City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: 5/26/2022

Project Address: 209 S Alcaniz Stret
Applicant: Michael and Anita Williams
Applicant's Address: 4703 Huron Drive, Pensacola FL 32507
Email: 4995michael@gmail.com **Phone:** (850)380-4995
Property Owner: Michael Williams

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☒ Residential Homestead – \$50.00 hearing fee
☐ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of a new single family dwelling with detached car port. Style to be Victorian.

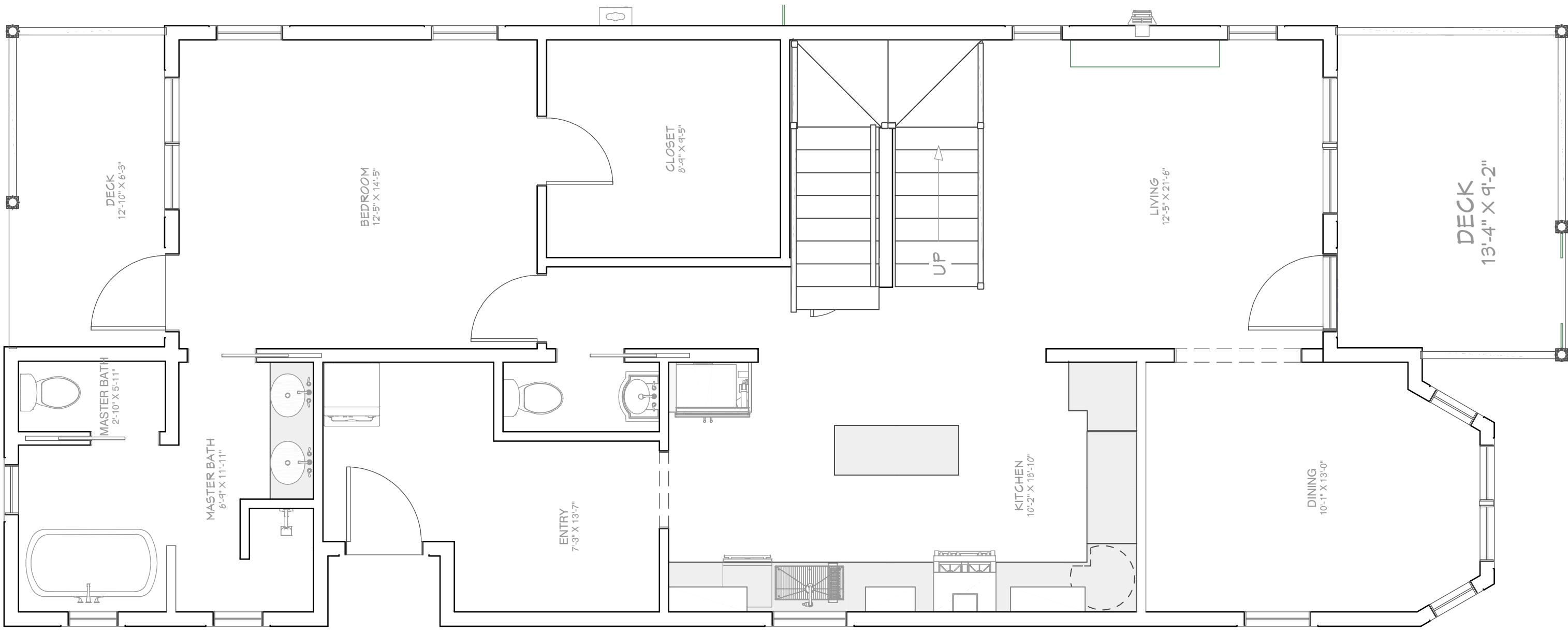
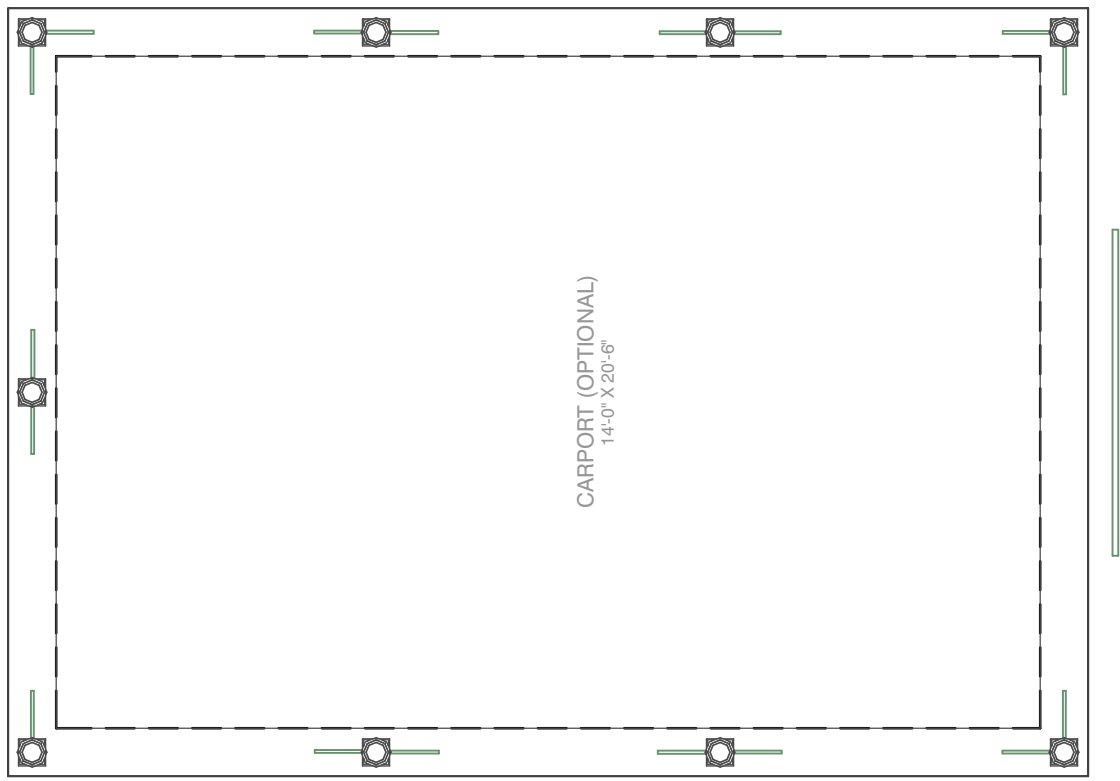
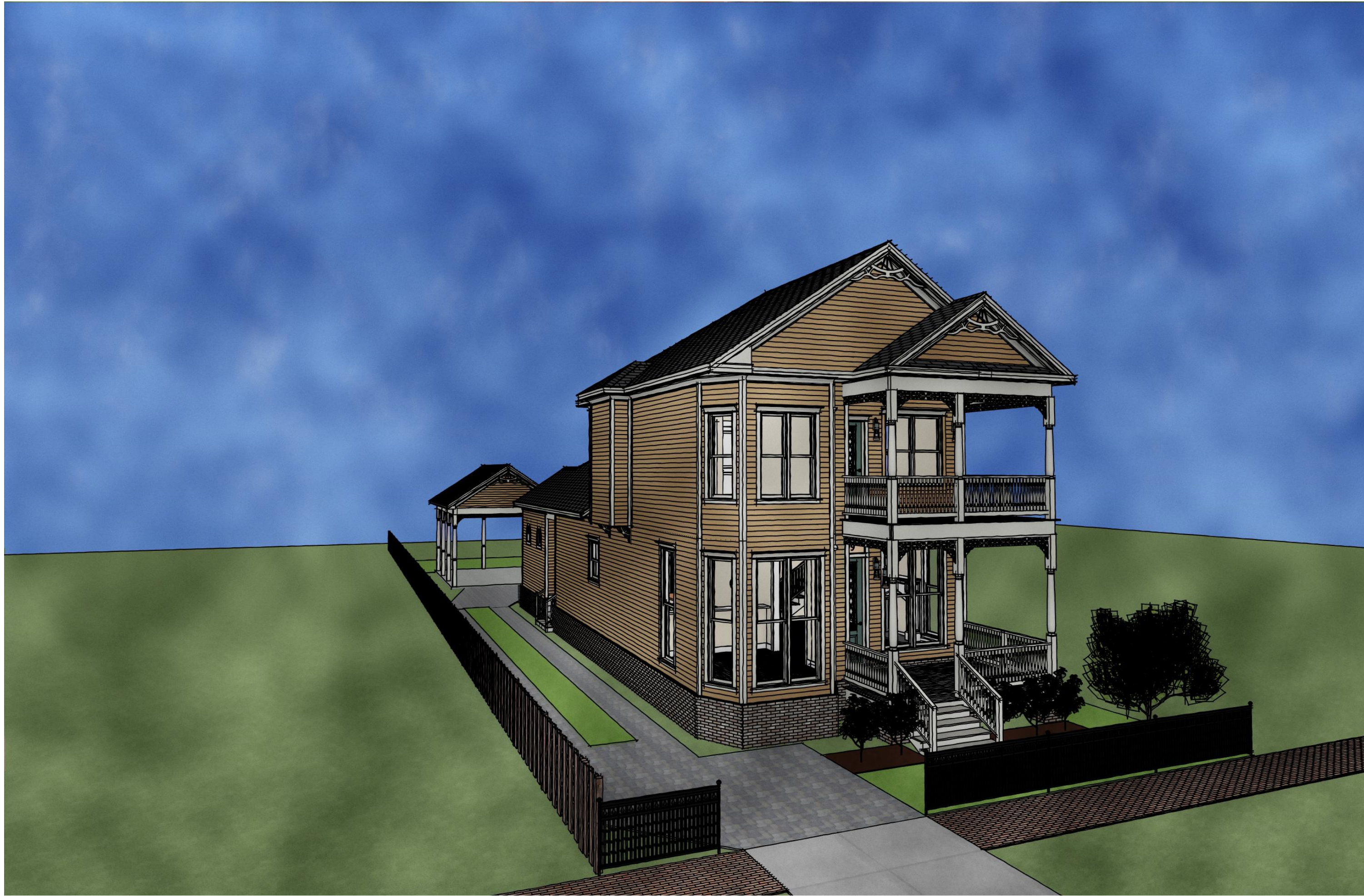
I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Michael L Williams
Applicant Signature

5/24/2022

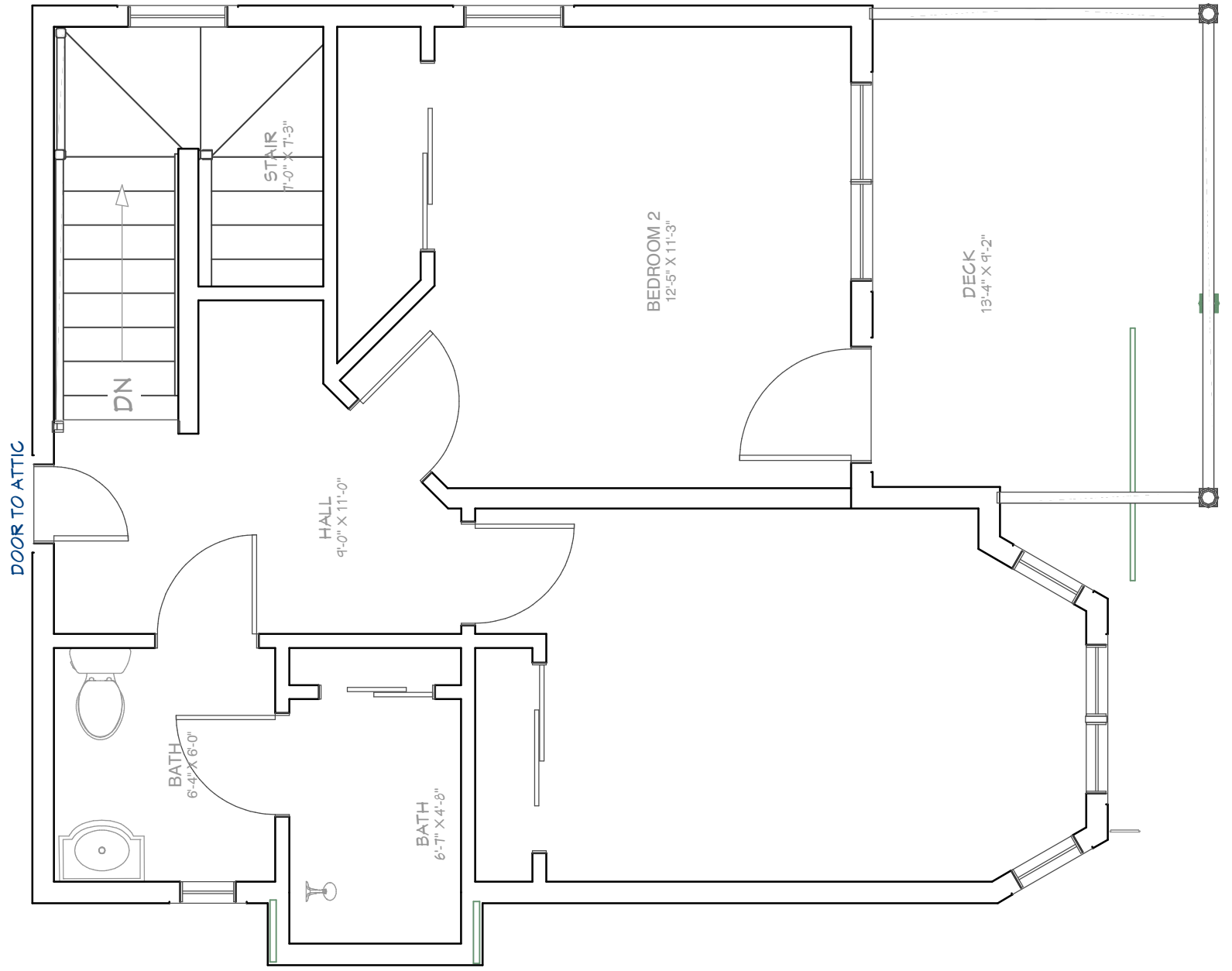
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521



LIVING AREA
1261 SQ. FT.

1st Floor



LIVING AREA
597 SQ. FT.

2nd Floor

Layout Page Table			
Label	Title	Description	Comments
P-1	Overview		
	Elevations 1		
	Elevations 2		
	Dimensioned Plan 1		
	Site Plan		

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

Overview

DRAWINGS PROVIDED BY:

Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

DATE:

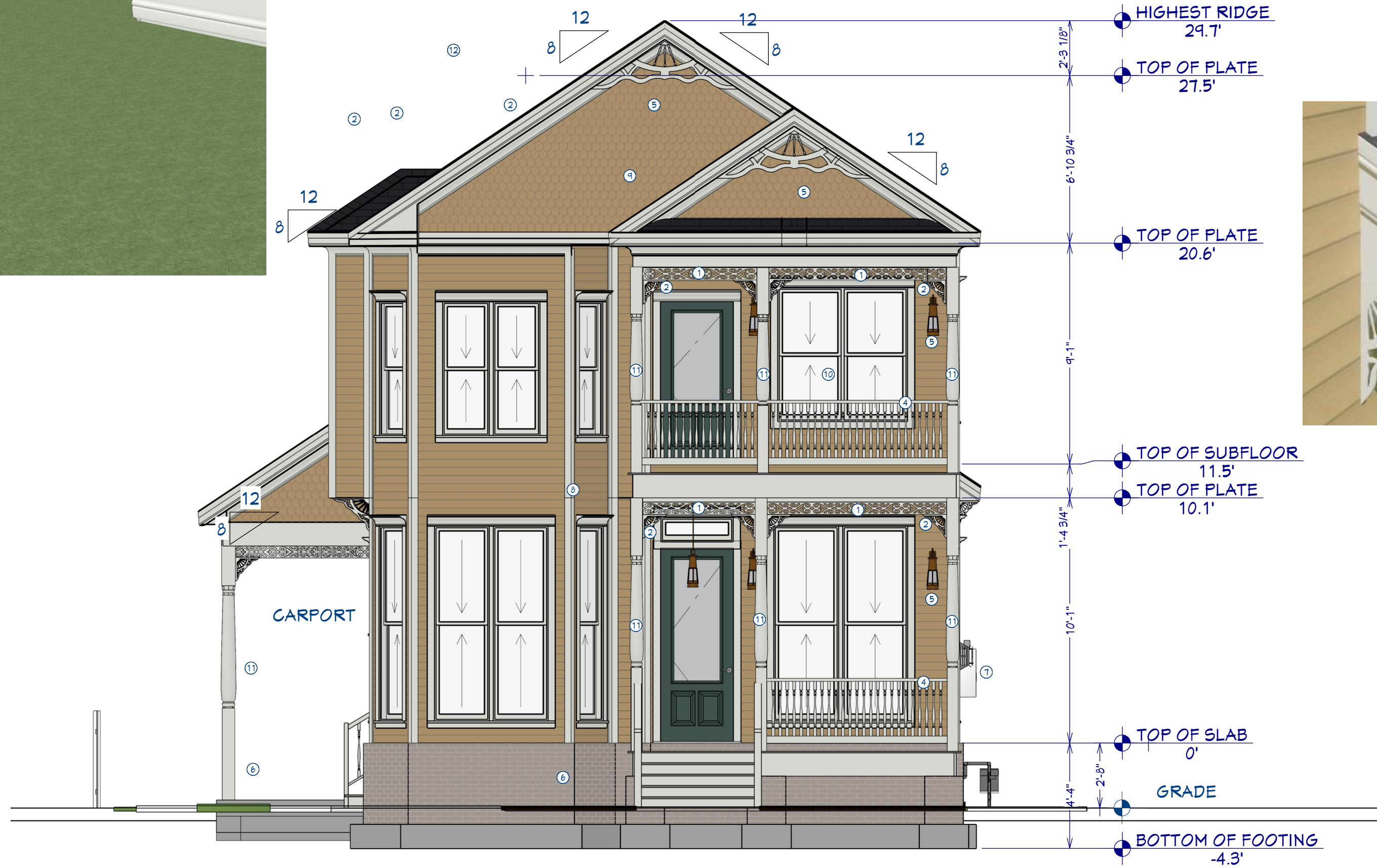
6/30/2022

SCALE:

SHEET:

P-1

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995



Exterior Elevation Front



NOTE SCHEDULE	
10	ALL WINDOWS TO BE KOLBE OR ANDERSON
11	CMU STEM WALL W/ BRICK VENEER
12	HARDIE OR NICHHA LAP SIDING (TYLER TAUPE HC-43)
13	MERMAID SHAKE SIDING (TYLER TAUPE HC-43)
14	PINNACLE PRISTINE SHINGLES
15	RECLAIMED BRONZE OR COPPER LIGHTS
16	STRUCTURAL TURNED POST W/ INNER SLEEVE FOR ALL THREAD
17	TANKLESS WH
18	WOOD 36" HANDRAIL W/ TURNED SPINDLES
19	WOOD BRACKET
20	WOOD GABLE BRACKET
21	WOOD RUNNING TRIM



Exterior Elevation Right

REVISION TABLE	
NUMBER	DATE

Elevations 1

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

Drawings provided by:
Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

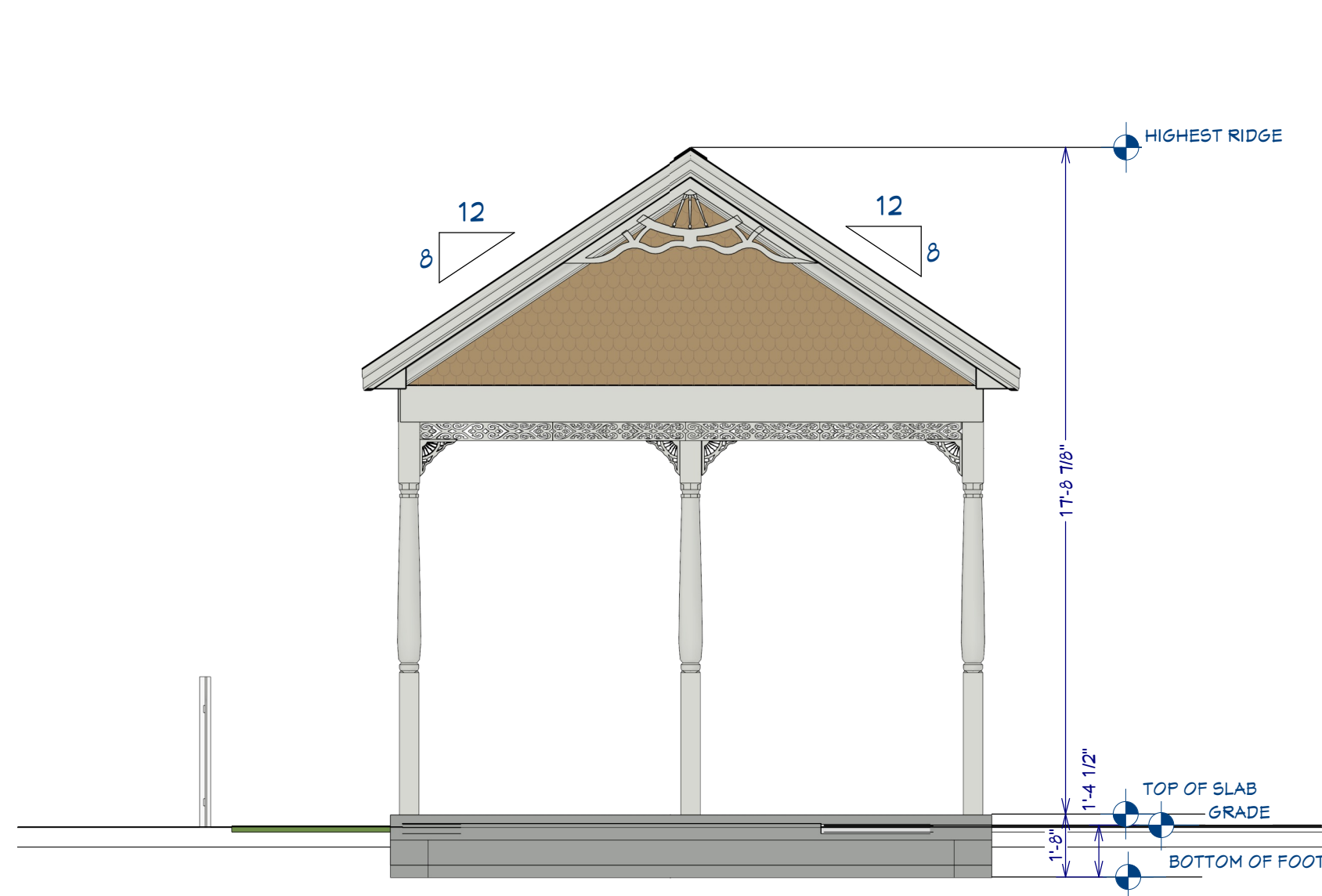
DATE:

6/30/2022

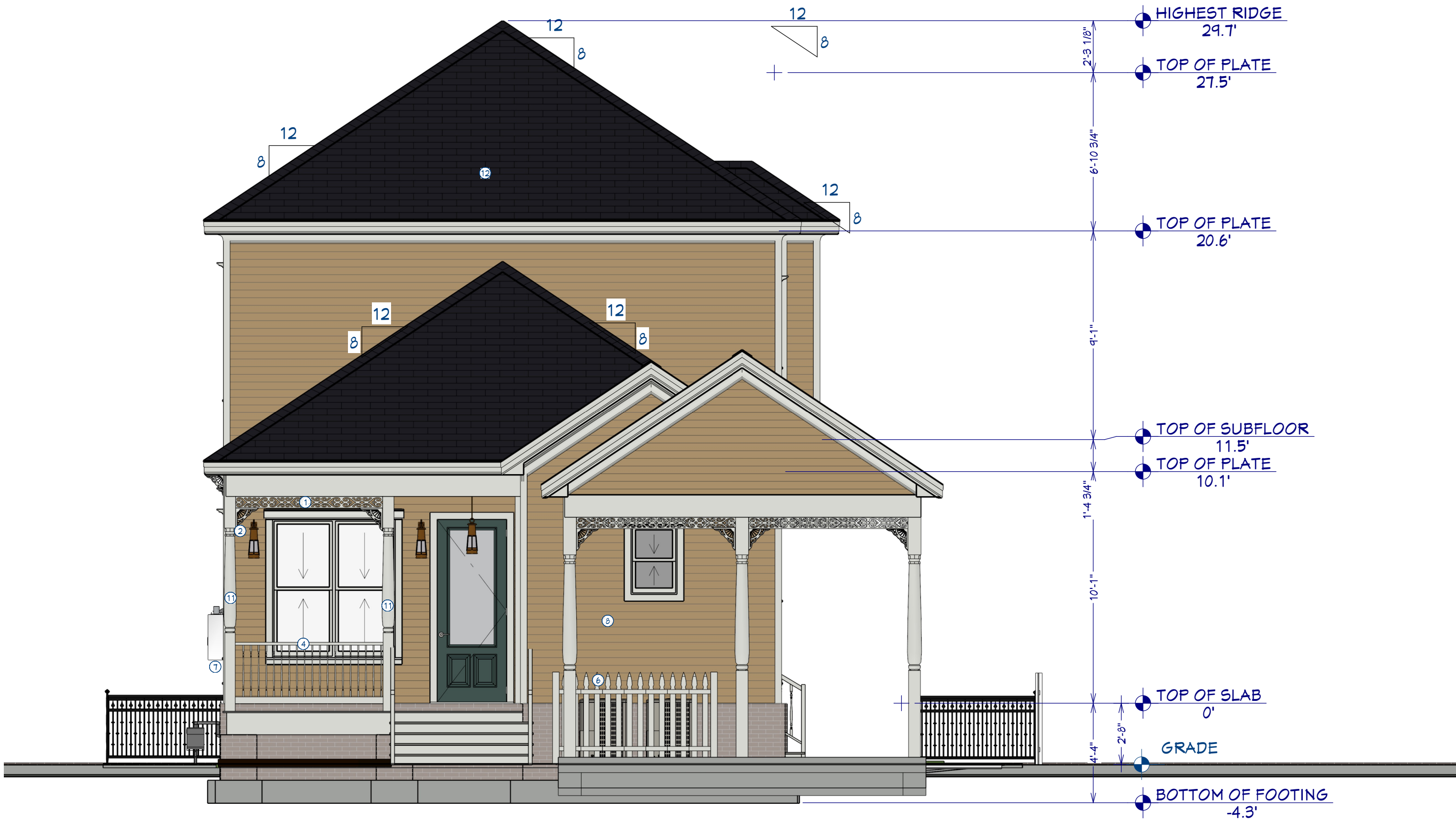
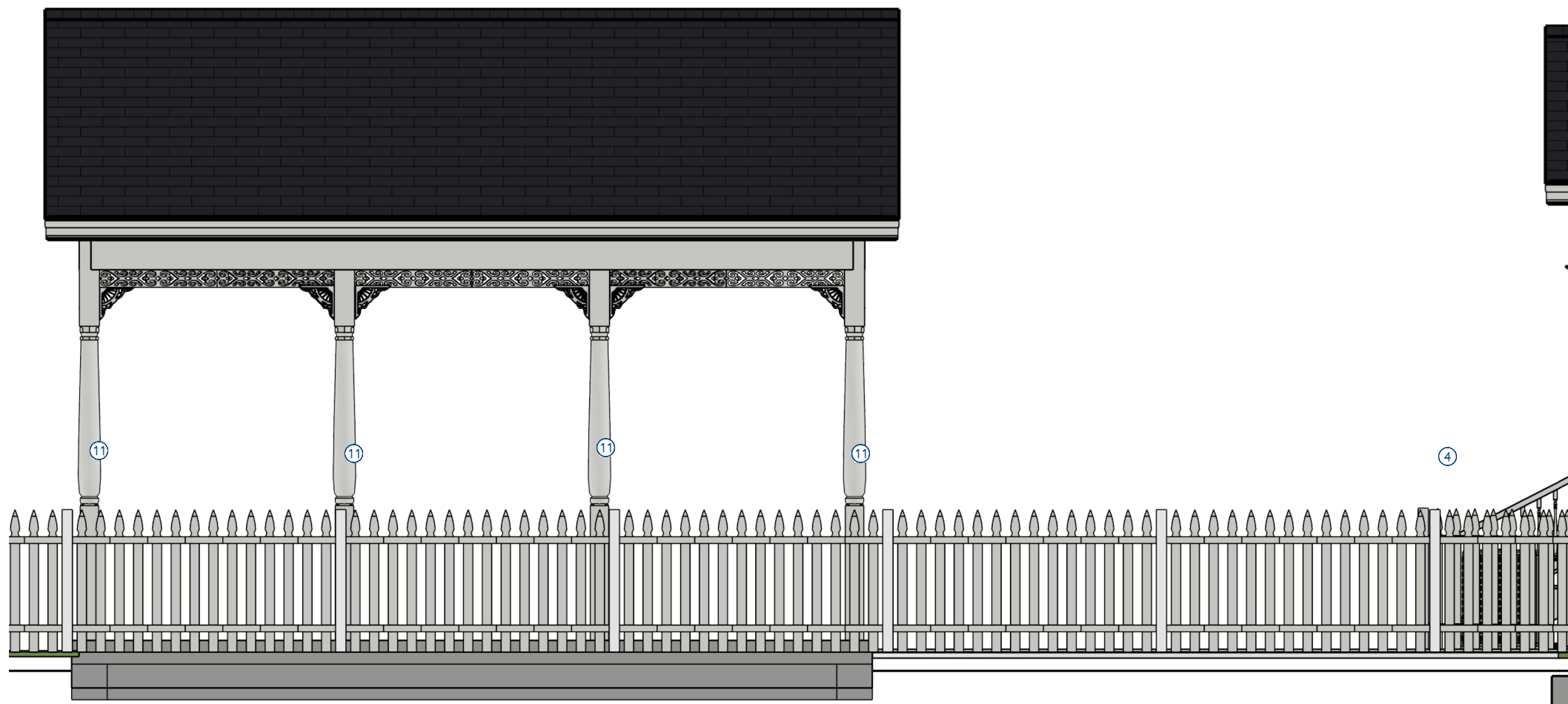
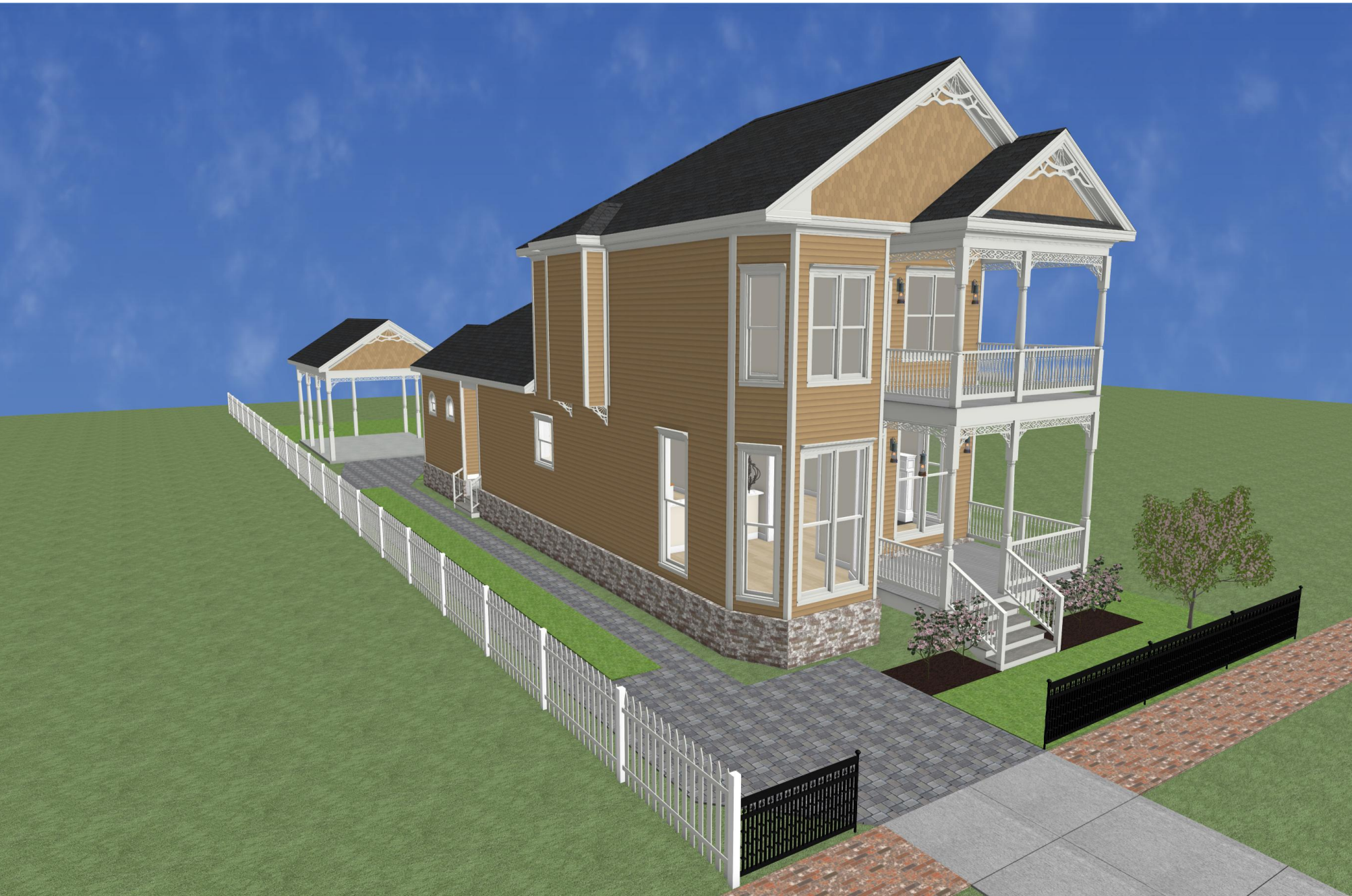
SCALE:

SHEET:

P-2



CARPORT



Exterior Elevation Back



Exterior Elevation Left

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISION BY

Elevations 2

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

DRAWINGS PROVIDED BY:
Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

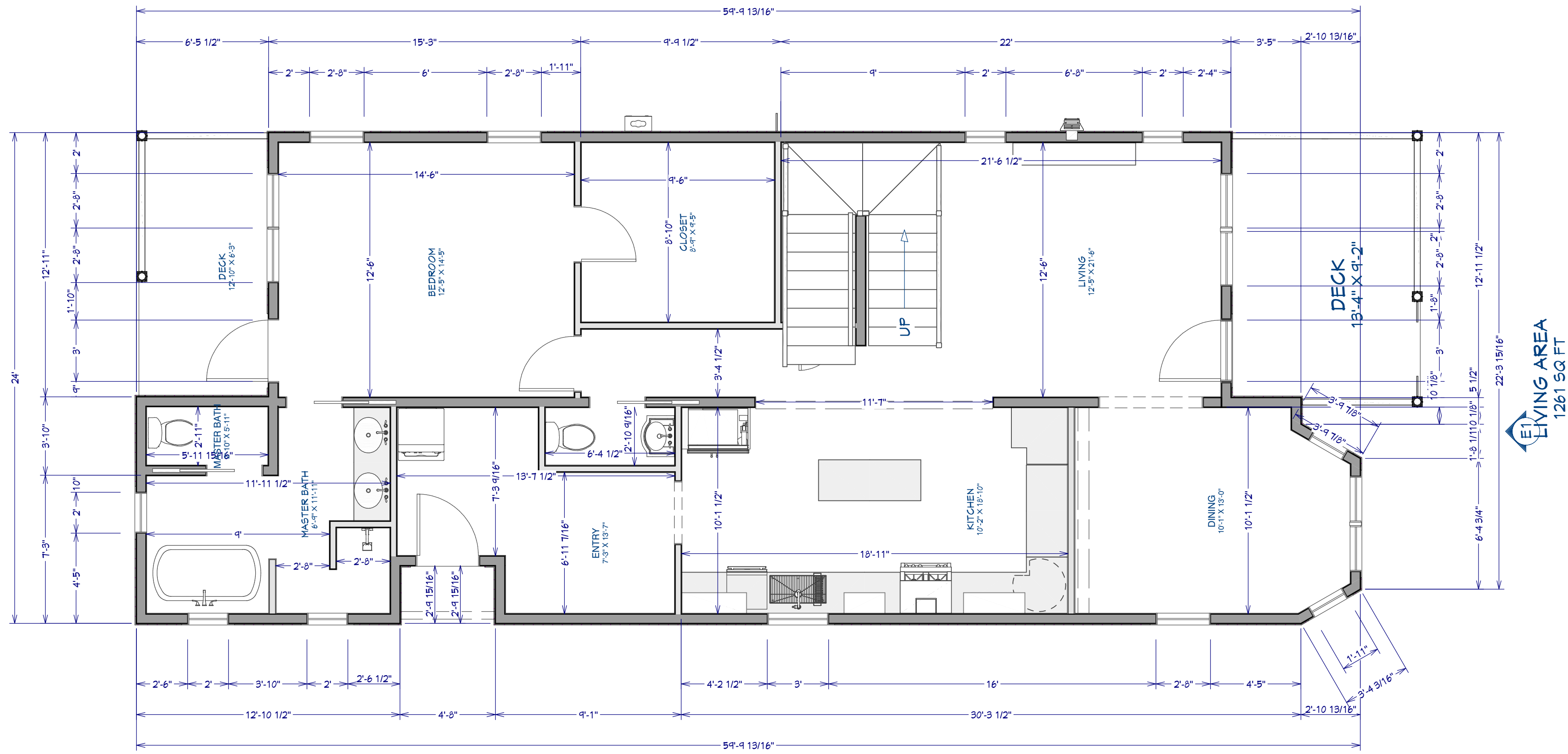
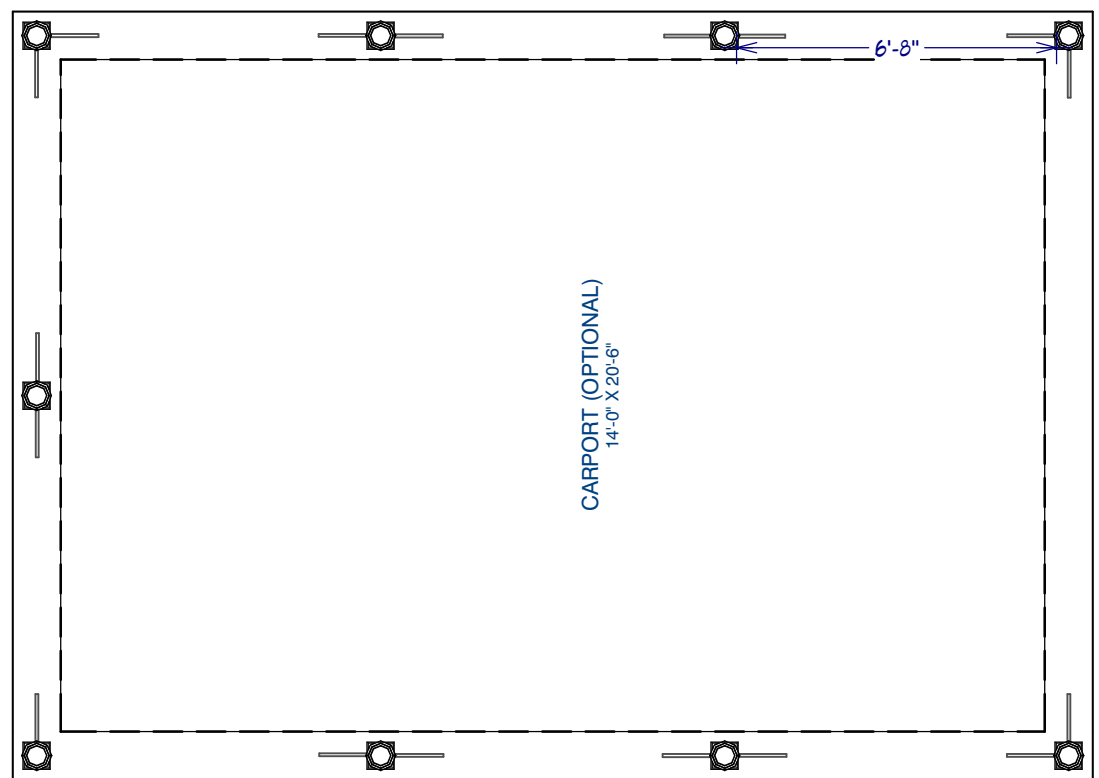
DATE:

6/30/2022

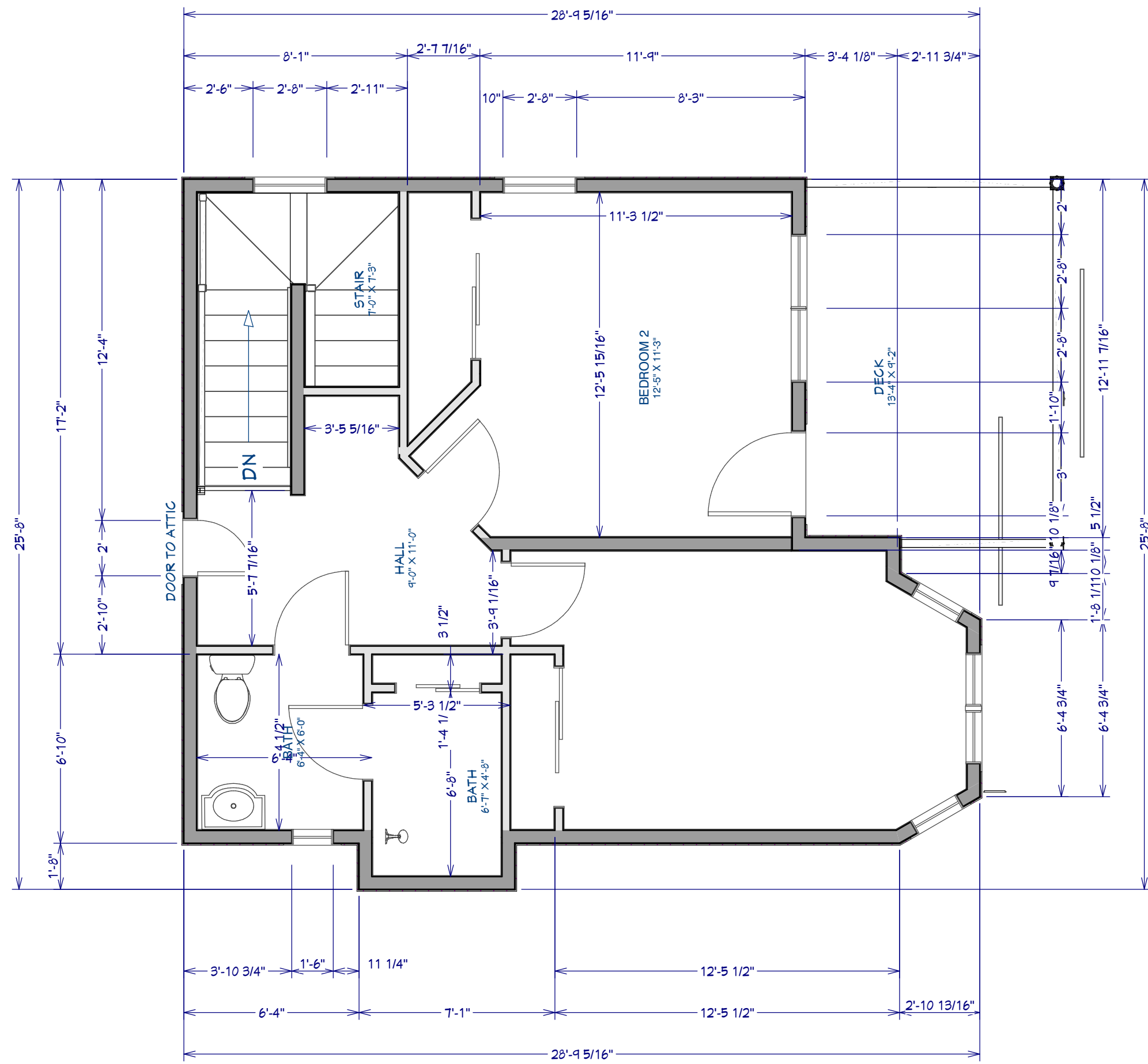
SCALE:

SHEET:

P-3



1st Floor



LIVING AREA
551 SQ FT

2nd Floor

DRAWINGS PROVIDED BY:

Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

DATE:

6/30/2022

SCALE:

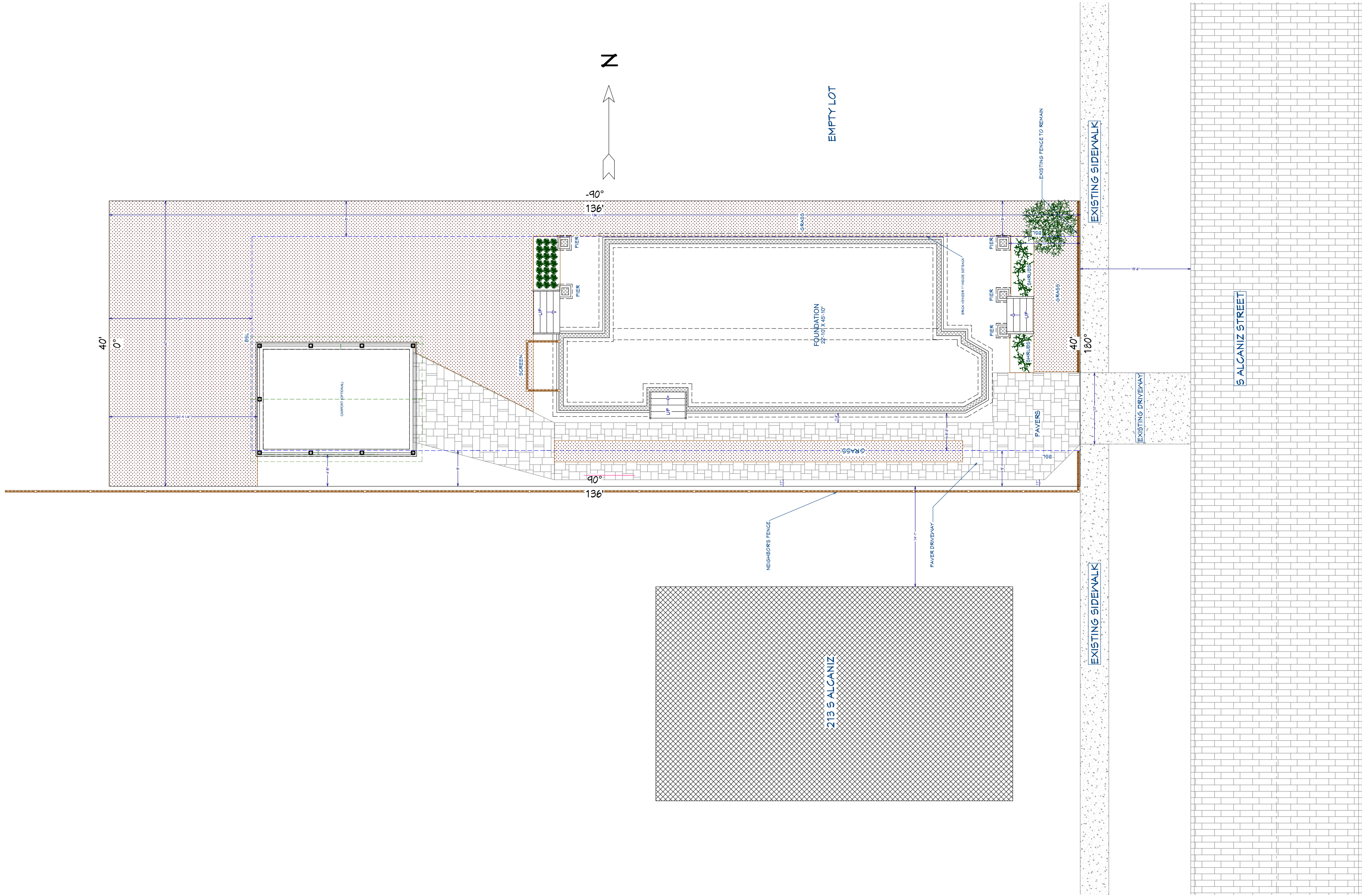
SHEET:

P-4

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

Dimensioned Plan 1

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVIS



SITE PLAN

DRAWINGS PROVIDED BY:
Roy G Shurling, P.A.
1625 E Heinberg Street
Pensacola FL 32502
(850) 281 1254

Mike & Anita Williams
209 S Alcaniz Street
Pensacola, FL 32501
(850) 380 4995

Site Plan

REVISION TABLE	
NUMBER	DATE

DATE:

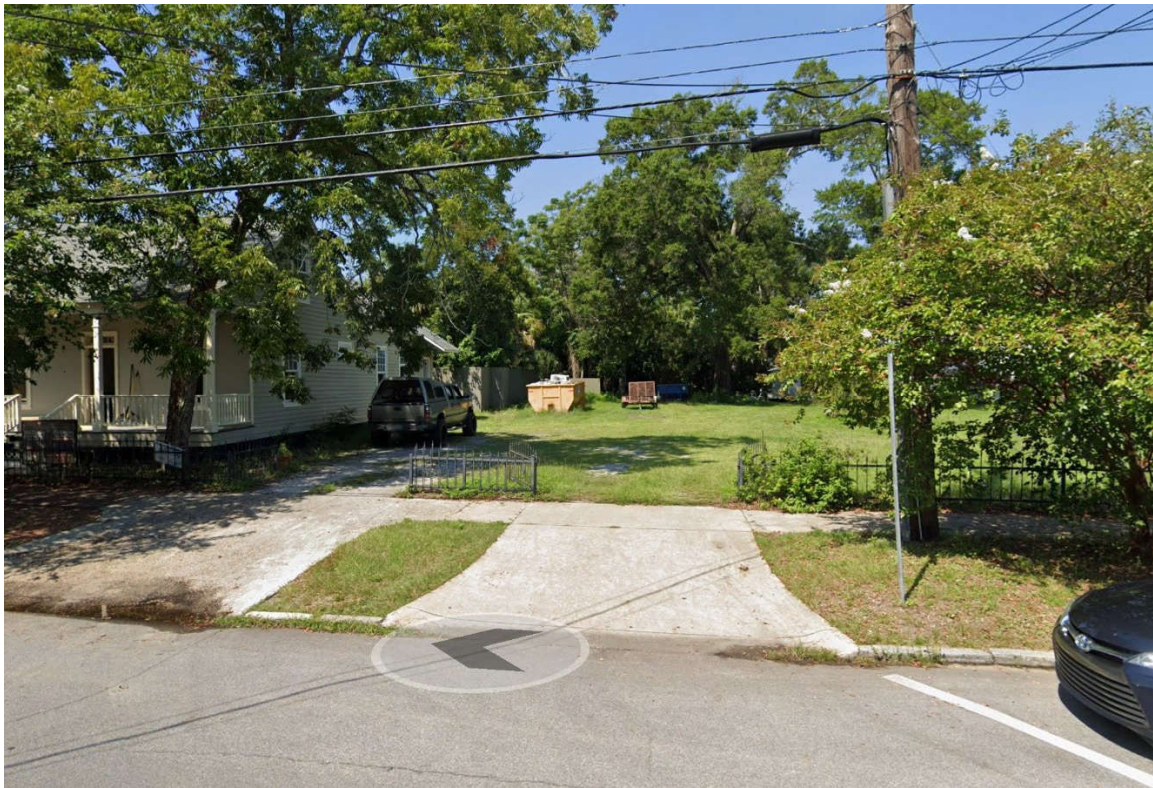
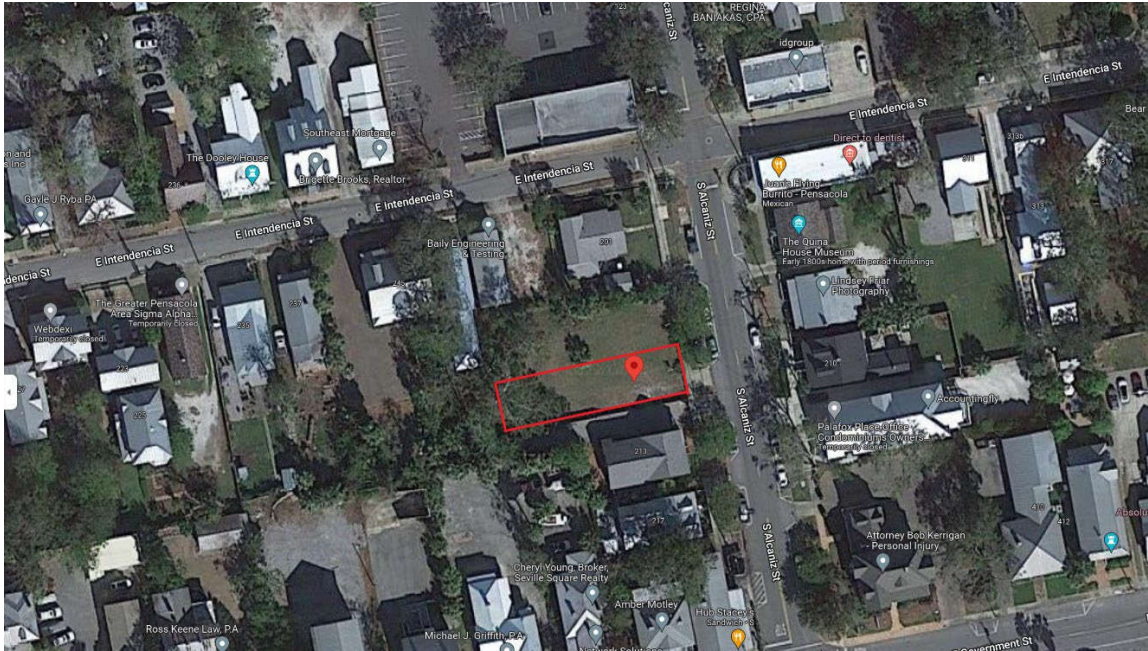
6/30/2022

SCALE:

SHEET:

P-5

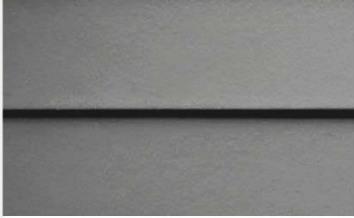
209 S Alcaniz Street ARB Documents – Michael and Anita Williams







Siding – Smooth Fiber Cement from Hardie or Nichiha




HARDIE® PLANK LAP SIDING

SMOOTH

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.

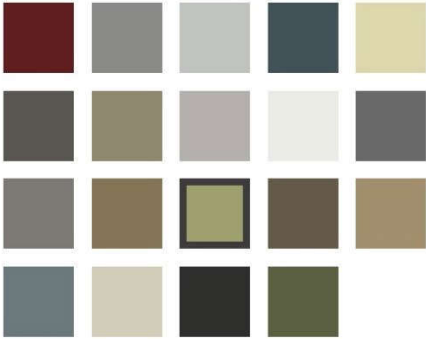
THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SIDING COLORS

Heathered Moss



[Request a Quote >](#)
[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

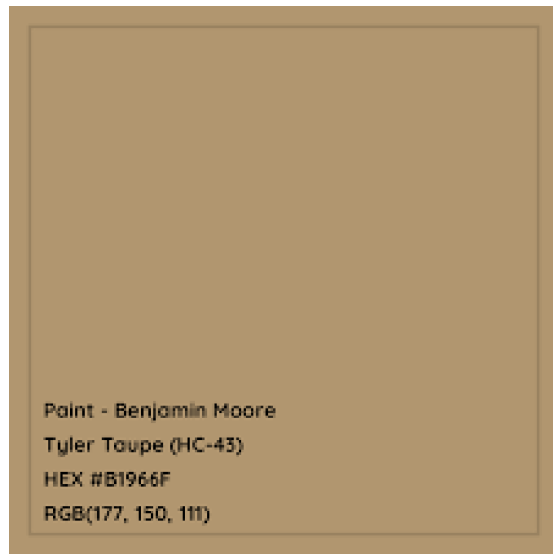
AVAILABLE SIZES

THICKNESS: 0.312"	WIDTHS: 8.25"
LENGTH: 144" boards	EXPOSURES: 7"

[Warranty Information >](#)

Paint Colors


Siding




Trim




Roofing – Architectural Shingles by Atlas


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Pinnacle® Pristine
High Performance Architectural Shingles


**Pristine Appearance.
Protected Appeal.**

Pinnacle® Pristine architectural shingles provide stunning color that lasts.

[All](#)
[Natural Expressions](#)
[Classic](#)

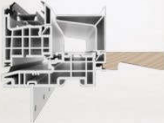


Windows – Kolbe or Anderson as noted on plan depending on availability

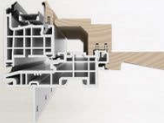
[WINDOWS](#)
[DOORS](#)
[PRODUCT LINES](#)
[GALLERY](#)

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Two Interior Material Options

Forgent Series windows are comprised of Glastra, a proprietary hybrid of fiberglass and UV stable polymer, formulated for strength and resilience. To better match your décor and performance requirements, Forgent Series products are available in two different interior materials.



Glastra/Glastra
The exterior and interior is comprised of Glastra with finishes available in Cloud, Sahara, Midnight or Bronze.




Glastra/Wood
The exterior is comprised of Glastra, while the interior is Pine wood available in distinct pre-finishes including: Double Clear Coat, Latex Primer, Black Paint, White Paint, or a variety of stains.

Building – Strength. Jobsite Efficiency. Success.

Forgent Series windows are simple to install and feature thoughtful design, making them the perfect choice for today's builder. These energy-efficient, durable windows reduce call-backs and provide comfortable homes from new construction to replacement projects.

In addition to the features & benefits listed above, Forgent Series products offer additional benefits for your next project:

- **Three convenient installation methods:** integral nailing fin, installation clips, and screw through frame
- **Integral nailing fin** requires fewer sealing points and is more rigid than an accessory fin
- **Installation clip grooves** designed for easy placement of clips and faster installation
- **Glazing bead receptor** helps create a clean break-point during painting & staining
- **Accessory groove** allows for quick installation of exterior accessories without additional clips
- **Dry-glazed sash** allows for serviceable sash & components



- ▶ All Glastra units with Cloud or Sahara integral color (see pg. 58)
- ▶ Flush frame groove filler for drywall return
(New Construction - no extension jamb)
- ▶ Energy efficient, insulating Solar Low-E glass (see pg. 60)
- ▶ Equal glass sizing provides matching sight lines from sash to sash
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories

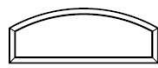
- ▶ Full frame insect screen with BetterVue® fiberglass mesh and Water Shed Technology™ (see screen finishes, pg. 62)
- ▶ Stainless steel, constant force balance system provides durability and ease of operation
- ▶ Sash lock and tilt latches are color matched to the interior (pg. 17)
- ▶ Lift handle on bottom sash is color matched to the interior (only on All Glazra units; pg. 17)
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening (New Construction)

A detailed technical cross-section diagram of a window frame assembly. The diagram illustrates the internal structure of the frame, including the glazing unit, the frame body, and the surrounding insulation. Key components shown include the frame profile, the glazing unit, the insulation layer, and the weatherstripping. The diagram is presented in a perspective view, showing the depth of the frame and the arrangement of the various layers.

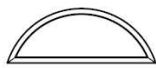
Double Hung Direct Set	Impact 4	Single	1.57	470 Pa (9.82 psf)	LC-PG65 FW	+3120 Pa (65.16 psf)	-3120 Pa (65.16 psf)	59.5	1511	85.5	2172	22242	In Process
Double Hung Direct Set	Impact 4	Single	1.57	470 Pa (9.82 psf)	LC-PG65 FW	+3120 Pa (65.16 psf)	-3120 Pa (65.16 psf)	28.5	724	71.5	1816	22242	In Process
Double Hung Direct Set	Impact 4	Single	1.57	470 Pa (9.82 psf)	CW-PG55 FW	+3120 Pa (65.16 psf)	-3120 Pa (65.16 psf)	59.5	1511	95.5	2426	22242	In Process
Double Hung	Impact 4	Single	1.57	470 Pa (9.82 psf)	LC-PG55 H	+2640 Pa (55.14 psf)	-2640 Pa (55.14 psf)	44	1118	75	1905	22655	In Process

189

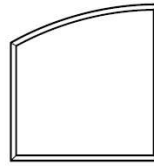
DIRECT SETS | Specialty Shapes



Segment



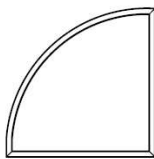
Segment
w/o legs



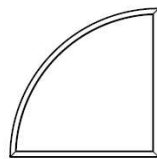
Quarter
Segment



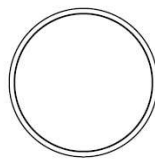
Quarter Segment
w/o legs



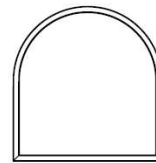
Quarter
Circle



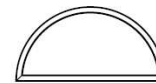
Quarter Circle
w/o legs



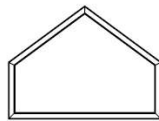
Full Circle*



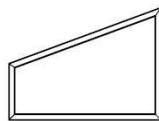
Half Circle



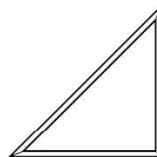
Half Circle
w/o legs



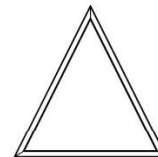
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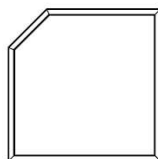
Trapezoid



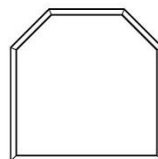
Right Triangle



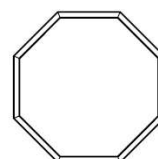
Isosceles Triangle



Clipped Corner



Double Clipped
Corner



Octagon

Anderson

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All Windows & Doors ▶ Windows ▶ Single-Hung & Double-Hung ▶ A-Series Double-Hung Window



VIDEO



Interior

Exterior

A-SERIES

DOUBLE-HUNG WINDOW

★★★★ 3.7 (6)

A-Series double-hung windows have two operating sash that move up and down allowing for ventilation on the top, bottom or both. The sash tilt in for easy cleaning from the inside of your home. Made of wood protected by fiberglass and Fibrex® composite material, it's our best-performing double-hung window.

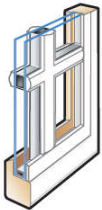
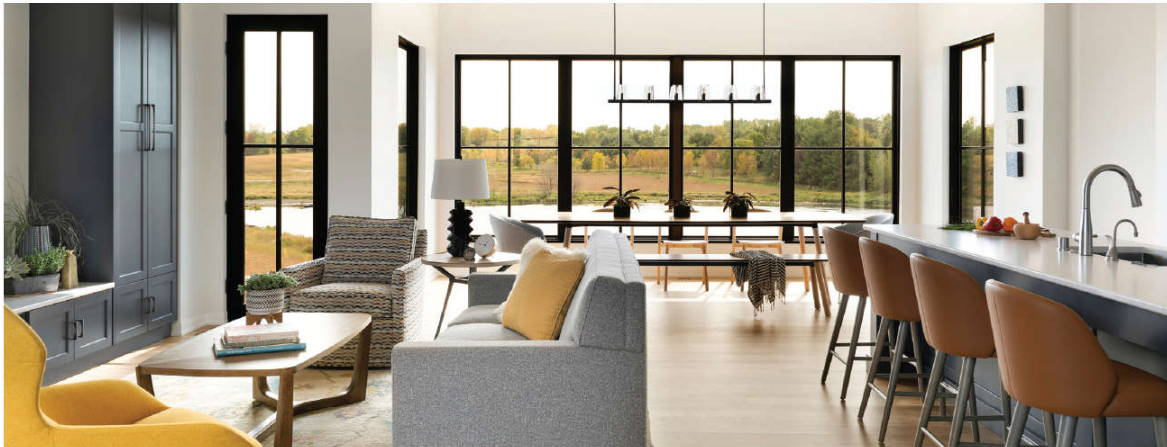
- Our best-performing double-hung
- Wood protected by fiberglass and Fibrex® composite material
- Designed for architectural authenticity
- Standard sizes up to 4' wide and 8' high. Custom sizes available.

Need help? Find an [Anderson Certified Contractor](#) in your area.

[DESIGN THIS WINDOW](#)[REQUEST A QUOTE](#)

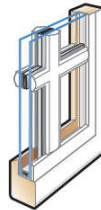
SEE HOW OTHERS ARE USING THIS PRODUCT

Tag on using #andersenwindows



FULL DIVIDED LIGHT

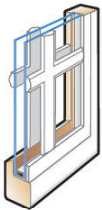
For an authentic look, full divided light grilles are permanently applied to the interior and exterior of the window with a spacer bar between the glass.



FULL DIVIDED LIGHT WITH ENERGY SPACER

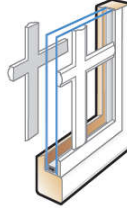
Full Divided light with energy spacer has grilles that are permanently applied to the interior and exterior of the window. The narrow spacer bar minimizes transfer of heat and cold to the interior surface, improving the overall thermal performance. Products will have the same U-Factor, SHGC and visible transmission as they would with simulated divided light grilles.

Available on A-Series windows.



SIMULATED DIVIDED LIGHT

Simulated divided light offers permanently applied grilles on the exterior and interior with no spacer bar between the glass.



SIMULATED DIVIDED LIGHT WITH REMOVABLE INTERIOR GRILLES

Simulated divided light grilles have permanently applied grilles on the exterior and removable interior grilles for easy cleaning.



FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

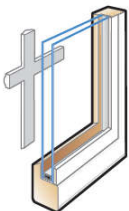
Finelight™ grilles-between-the-glass are located between the panes of glass making windows and doors easy to clean. With a sculpted profile and a two-sided color scheme, they match both the interior and exterior of the window or door.



FINELIGHT™ GRILLES-BETWEEN-THE-GLASS WITH PERMANENT EXTERIOR GRILLES

Finelight™ grilles-between-the-glass are located between the panes of glass making windows and doors easier to clean. The permanent grilles on the exterior provide architectural style and detail.

Available on 100 Series products.



REMOVABLE INTERIOR GRILLES

Removable interior grilles are located on the room side glass surface and come off the glass for easy cleaning.



SUMMARY TEST REPORT

FOR: Andersen E Series/Eagle
2045 Kerper Boulevard
Dubuque, Iowa 52001

Report Number: E3276.02-201-44
Test End Date: 12/17/2014
Report Date: 02/17/2015
Test Record Retention End Date: 12/17/2018

SERIES TESTED:

Series 07 Clad Double Hung Vent with HMIG

MODEL TESTED

3466

NAFS-08/-11

Class R-PG55 Size Tested 1016 x 1981 mm (40.0 x 78.0 in.)-H

Test

Resistance to Air Infiltration
Resistance to Water Penetration
Resistance to Structural Loading
Forced Entry Resistance

Results Summary

0.16 cfm/ft² (ASTM E283)
Pass at DP55 (ASTM E547)
Pass at DP55 (ASTM E330)
Pass (ASTM F588)

ASTM E1886 / ASTM E1996

Test

Impact
Pressure Cycling

Results Summary

No rips, tears or penetrations, Missile D, Zone 4
DP+55/-65 psf

REFERENCE:

See Intertek-ATI Report No. E3276.01-201-44 and E3266.02-201-18
for complete test results.

A copy of this report will be retained by Intertek-ATI for a period of four years. This report is the exclusive property of the client named herein and is applicable to the sample tested. Results obtained are tested values and do not constitute an opinion or endorsement by this laboratory.

INTERTEK-ATI

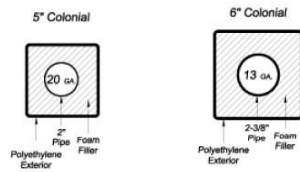
Eric J. Schoenthaler
Project Manager

INTERTEK-ATI

Daniel A. Johnson
Director - Regional Operations

Structural Porch Posts

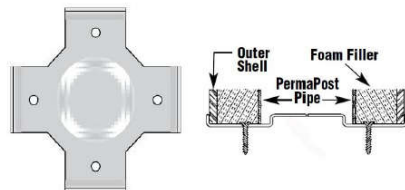
PermaPost® | Buy Colonial Columns & Load Bearing Columns for Exterior Porches - HB&G Columns



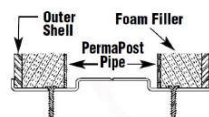
Colonial PermaPost® Sizes

Porch Post Size	Lengths
5"	8, 9'
6" High Density	8, 9'

Colonial PermaPosts are shipped with 2 fasteners per post.



The Square PermaPost® is available in a 5" width and lengths of 8, 9, and 10'.



Example of Wood Running Trim and Gable Brackets



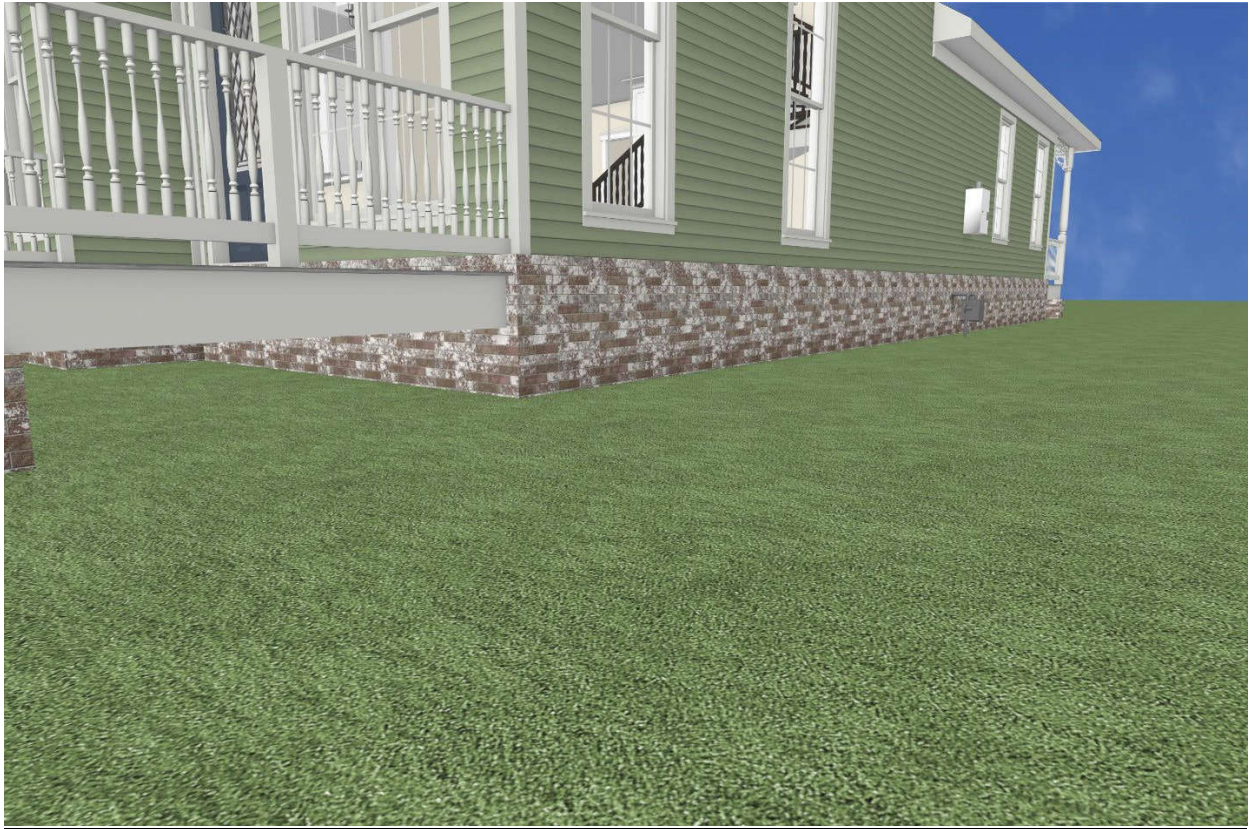
Example of Wood Porch Rails



Example of Ribbon Driveway

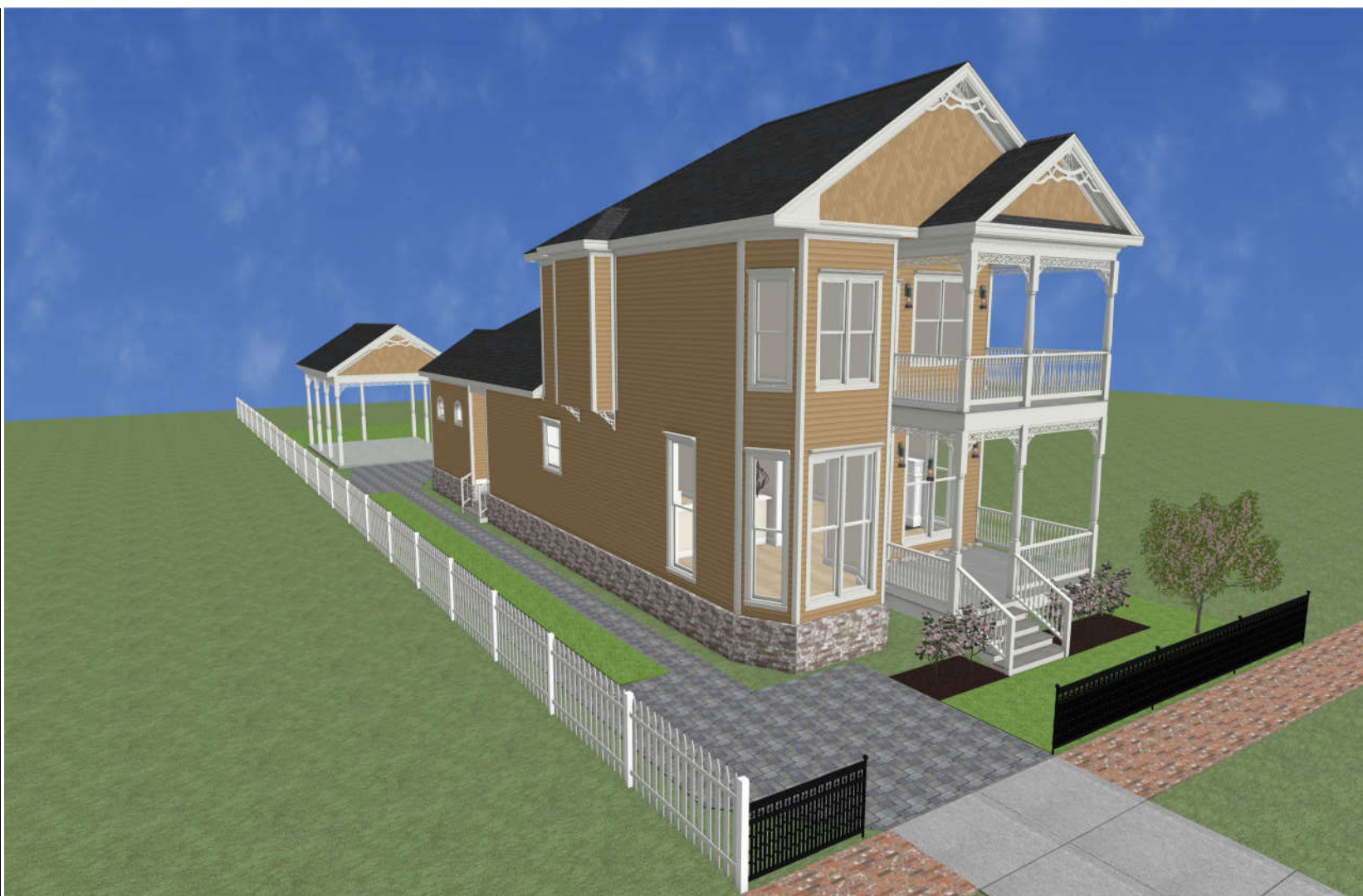


Brick Veneer on Foundation Wall Example

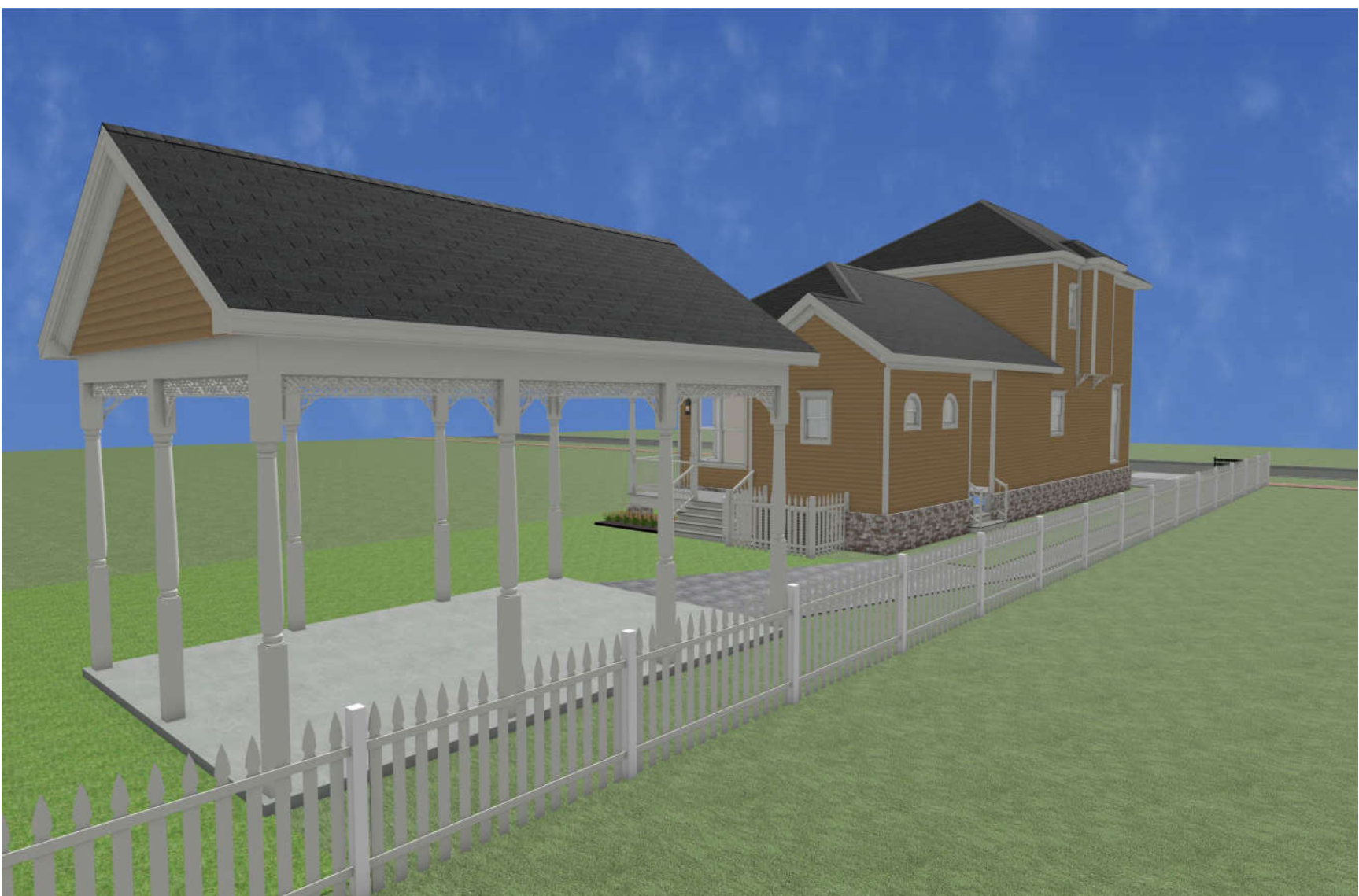


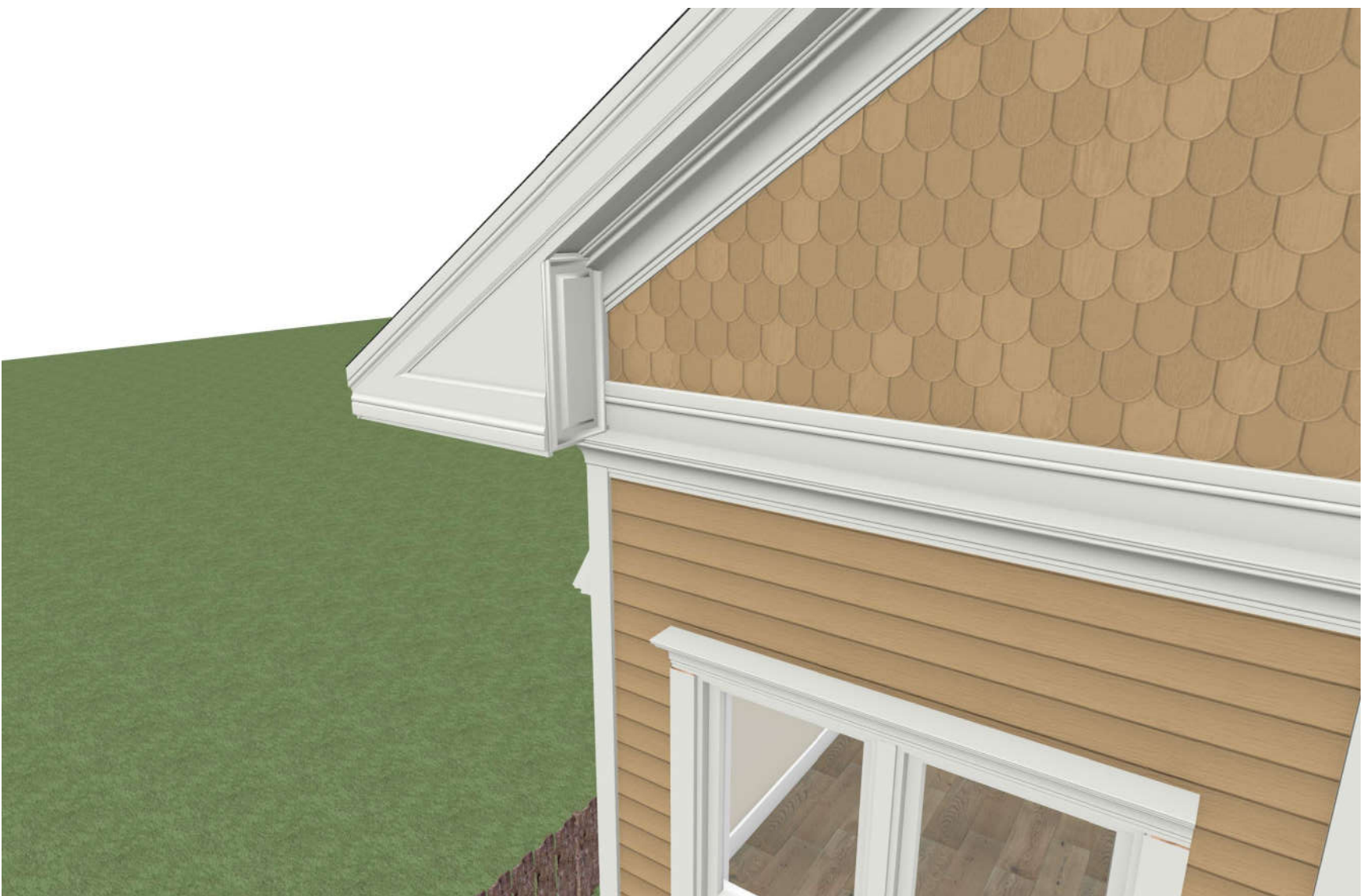
















City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00738

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

501 N. Alcaniz Street
Old East Hill Preservation District / Zone OEHC-1
New Construction

BACKGROUND:

Randy Maygarden is seeking *final* approval of a new two-story single-family garage cottage. The building's small footprint is due to compliance with district's zoning requirements, specifically a 50% lot coverage maximum and a 15' required visibility triangle at the corner of Alcaniz and La Rua Streets. The front of the building is situated along La Rua Street where there is no front yard setback requirement. The design of the building is meant to replicate a two-story accessory carriage house. Materials include "Pewter Gray" asphalt shingles, smooth profile Hardie siding with a 5.5" exposure, Anderson wood-clad double hung 2/2 windows with exterior muntins, Anderson wood-clad doors, and Trex composite decking, posts, rails, and spindles. Paint colors includes a "Blanched Pine" body and "Very Black" trim. The HVAC units will be screened with a flat-topped wood privacy fence and landscaping information has been provided.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(3)e.3.ii.(b) Old East Hill, Rules governing decisions

Sec. 12-3-10(2)i. Old East Hill, New construction

501 N. Alcaniz Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

June 28, 2022

Application Date: _____

Project Address: 501 N. Alcaniz Street

Applicant: Randy Maygarden

Applicant's Address: 133 Cevallos Street, Pensacola, FL 32502

Email: rmaygarden@gmail.com **Phone:** (850) 698-5524

Property Owner: Randy A & Phyllis C Maygarden

(If different from Applicant)

District: PHD ☒ NHPD ☐ OEHPD ☐ PHBD ☐ GCD ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Construction of a two (2) story single family residential garage cottage.

501 N. Alcaniz Street, Pensacola, FL 32501

Escambia County tax assessment roll as account number 132885000

Reference: 00-0S-00-9020-230-024

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Randy Maygarden
Applicant Signature

6/28/2022
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Architectural Review

Project: 501 North Alcaniz Street

Lot & site

Drive/walkway: Brick Pavers, pattern attached

Landscape: Note -sod with crape myrtles as needed.

Roofing: GAF Timberline HDZ pewter gray in color laminated architectural roof shingles.

Exterior

- **Eve/soffit:** Hardie primed smooth fiber cement trim, white in color.
- **Siding:** Hardie plank cedar mill fiber cement lap siding, white in color. (Both Valspar Bleached Pine (white) 7005-15)

Siding to be smooth finished Hardie lap siding (email included). -GH

Windows: Anderson double hung wood clad windows, black in color with grills to the exterior side of glass. (Anderson black clad)

- **A 3060 6 - units**
- **B 3040 1 – unit**
- **C 2040 1 - unit**

Doors

- **Home:** Anderson wood clad doors, black in color.
 - **3080 3 units**
- **Garage:** Flush insulated door, black in color. (Doors black 5012-2)

Garage to be smooth finish with NO windows (email included). -GH

Deck/stairs

- **Decking:** Trex deck boards, clam shell in color.
- **Rails:** Trex post, rails, and spindles, white and black in color.
(post, rails, and spindles all composed of same material as deck)

Exterior lighting: KCH Kichler Grand Ridge 1-Light 16.25-in outdoor wall light, Weathered Zinc in color.

Foundation: Exposed block, sand finish stucco, natural (light gray) color.

Gregg Harding

From: Randy Maygarden <rmaygarden@gmail.com>
Sent: Wednesday, July 13, 2022 9:23 AM
To: Gregg Harding
Cc: Kay Cook
Subject: [EXTERNAL] ARB Support
Attachments: 1windows_1.pdf; 2windows_2.pdf; 3windows_3.pdf; 4doors.pdf; 5railings.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Good morning sir, I hope all is well. Please find attached and listed in the body of this email the information you requested:

- Product sheet/brochure on windows and doors - Attachments 1, 2, 3, & 4
- Exterior siding - to be smooth finished Hardie lap siding, *R Maygarden*
- Garage door - to be smooth finish with NO windows, *R Maygarden*
- Product sheet/brochure on railing - Attachment 5

Mr. Harding, the windows are the same as the ones currently being used across the street at Lily Hall and the handrail detail will match our neighbor at 322 LaRua street. Kindly let me know of any additional requirements.

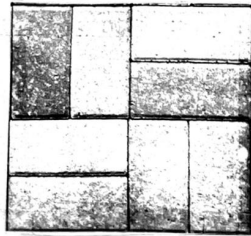
Respectfully, R Maygarden

make it a great day, it's your choice
Cell 850-698-5524
rmaygarden@gmail.com

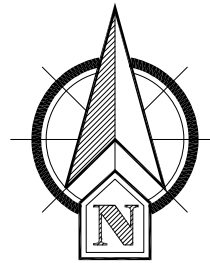


501 N. Alcaniz Street

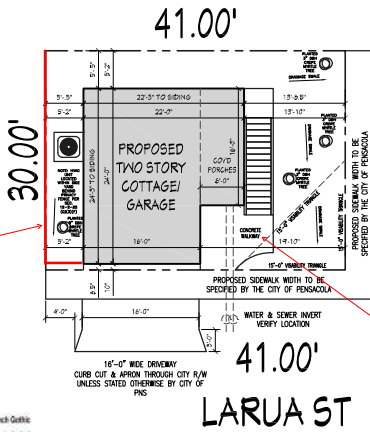
- A** • From Alcaniz
- B** • From intersection Alcaniz & LaRua
- C** • From LaRua
- D** • From Southwest corner of lot



Paver pattern for walk and drive.



VERIFY



41.00'
30.00'
501 N ALCANIZ ST
PENSACOLA FL 32501



Fence - 6' flat top wood to hide equipment

Concrete walk/drives to be brick paver.

NOTES:

LOT AND HOUSE LOCATION TO BE VERIFIED BY OWNER/ CONTRACTOR.

VERIFY ALL SETBACKS WITH BUILDING DEPARTMENT AND ZONING.

SEPTIC TANK OR SEWER INVERT TO BE VERIFIED WITH HEALTH DEPARTMENT.

ALL DIMENSIONS OF SITE PLAN TO BE VERIFIED WITH OWNER/BUILDER/REGISTERED SURVEYOR IN CONJUNCTION WITH SURVEY AND LEGAL DESCRIPTION.

ALL DRIVEWAYS AND SIDEWALKS TO BE VERIFIED BY OWNER/CONTRACTOR.

R401.3 DRAINAGE:
SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADE TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (308 MM).

Zoning District: OEH-1
Form Standard for Development: SEC.12-3-10(3)
Setbacks
Front = none, Rear = none
Sides = 5'

Primary Frontage Occupation: 66%
(30'-0" / 16'-0")
Frontage Yard Type: STANDARD
Facade Type: PORCH
Front Yard Pervious Area:
Total front yard area: 415 SQFT
Impervious area: 30 SQFT
Pervious area: 385 SQFT
Percentage of pervious area in front yard: 90%
Percentage of impervious area in front yard: 10%

Lot Coverage for buildings only:
Total Lot Area: 1230 s.f.
House Footprint with stoops: 610 s.f.
Percentage of lot coverage: 50% lot coverage

Windows/Glazing (street frontages only)
First floor frontage s.f. = 252 s.f.
First floor glazing = 51 s.f. or 20% glazing
Glazing used in door = 15 s.f.
Second floor front s.f. = 228 s.f.
Second floor glazing = 48 s.f. or 21% glazing
Glazing used in door = 15 s.f.

(Side Street) N/A
First floor frontage s.f. = 152 s.f.
First floor glazing = 14 s.f. or 9% glazing
Glazing used in garage door = 14 s.f.
Second floor front s.f. = 168 s.f.
Second floor glazing = 36 s.f. or 21% glazing

No single pane of glass exceeds 20 s.f.

Additional Notes:
Sidewalks on both Alcaniz and LaRua to be protected HVAC/mechanical equipment to be screened from adjoining streets and open spaces by 6' privacy fence. The fence to be common "Flat Top" wood fence style

Porch height to be set with surveyor in compliance with ARB standards/requirements

Exterior Facade Information:

Roof Line - Gable / Hip
Roof Shingle Color - Pewter Gray
(GAF Timberline HDZ)
Exterior Siding / Eves Material - Hardie, lap siding - 5.5" exposure
Exterior House Color - White - Walls/soffits

SITE PLAN

SCALE: 1/8"=1'-0"



HOUSE PLANS UNLIMITED
4400 BAYOU BLVD, SUITE 25-B PENSACOLA, FL
850-477-8077 EMAIL: HOMEPLANSUNLIMITED@GMAIL.COM

HOUSE PLANS UNLIMITED
4400 BAYOU BLVD, SUITE 25-B PENSACOLA, FL
850-477-8077 EMAIL: HOMEPLANSUNLIMITED@GMAIL.COM

MAYGARDEN PROJECT
THE TOUCAN NEST

PROJECT INFO:	FOR NAME: NPU 25-007
CAD FILE NO:	NPU 25-007
DRAWN BY:	NPU
DATE:	03-07-2022
REVISIONS:	





THESE PLANS HAVE BEEN DESIGNED AND DRAWN TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER ASSUMES ALL LIABILITY FOR THE CONSTRUCTION OF THESE PLANS. THE PURCHASER OF THESE PLANS AGREES TO HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE ARCHITECT IN CONNECTION WITH THE DESIGN OR CONSTRUCTION OF ANY PROJECT FOR WHICH THESE PLANS WERE PREPARED.

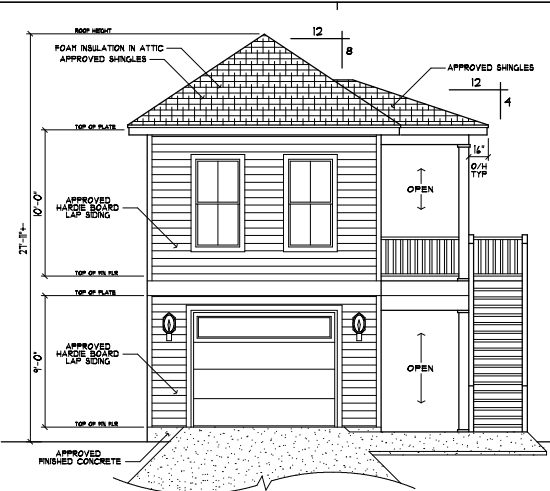
HOUSE PLANS UNLIMITED
4400 BAYOU BLVD. SUITE 25-B PENSACOLA, FL.
850-477-8077 EMAIL: HOMEPLANSUNLIMITED@GMAIL.COM

MAYGARDEN
MINI 2-STORY
GARAGE/COTTAGE

PROJECT INFO:	
JOB NAME/NO. MAYGARDEN	
CAD FILE NO. 22004	
DRAWN BY: HP U	
DATE: 1/20/2022	
REVISIONS:	00/00/00

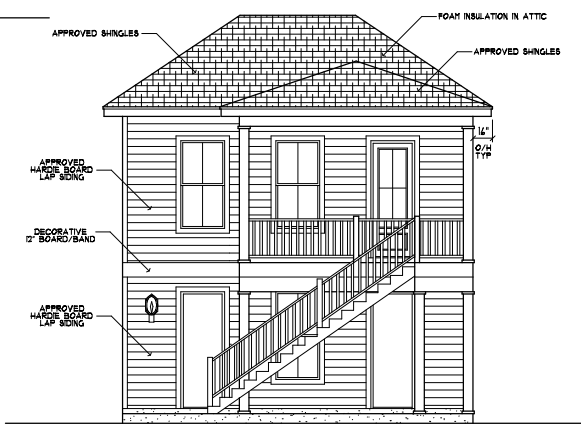
SHEET # **A1**

DISCLAIMER: THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER ASSUMES ALL LIABILITY FOR THE CONSTRUCTION OF THESE PLANS. THE PURCHASER OF THESE PLANS AGREES TO HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE ARCHITECT IN CONNECTION WITH THE DESIGN OR CONSTRUCTION OF ANY PROJECT FOR WHICH THESE PLANS WERE PREPARED.

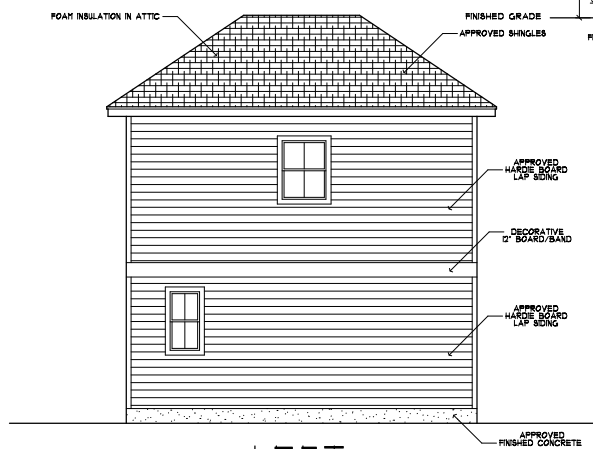


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

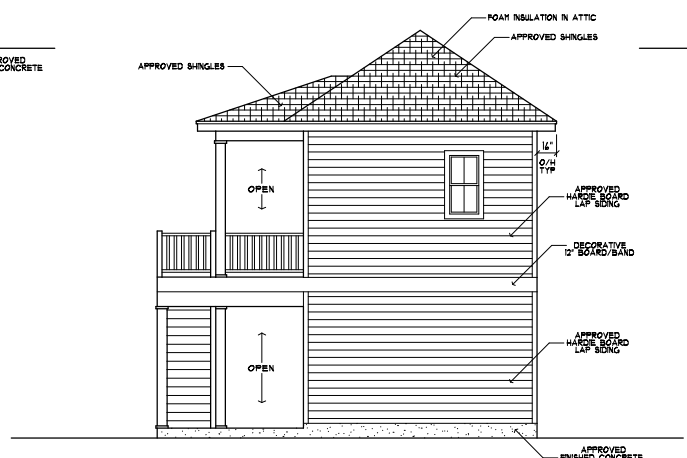
NOTE:
1/4" OVERHANG, TYPICAL
EAVES & SOFFITS
HARDY BOARD



RIGHT
SCALE: 1/4" = 1'-0"



LEFT
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



HOUSE PLAN UNLIMITED, INC. HAS NO LIABILITY FOR THE CONSTRUCTION OF THESE PLANS. THE PURCHASER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE RESULTS SHOWN HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BUILDING CONSTRUCTION TO ANY PHASE OF THE PROJECT.

HOUSE PLANS UNLIMITED

MAYGARDEN
MINI 2-STORY

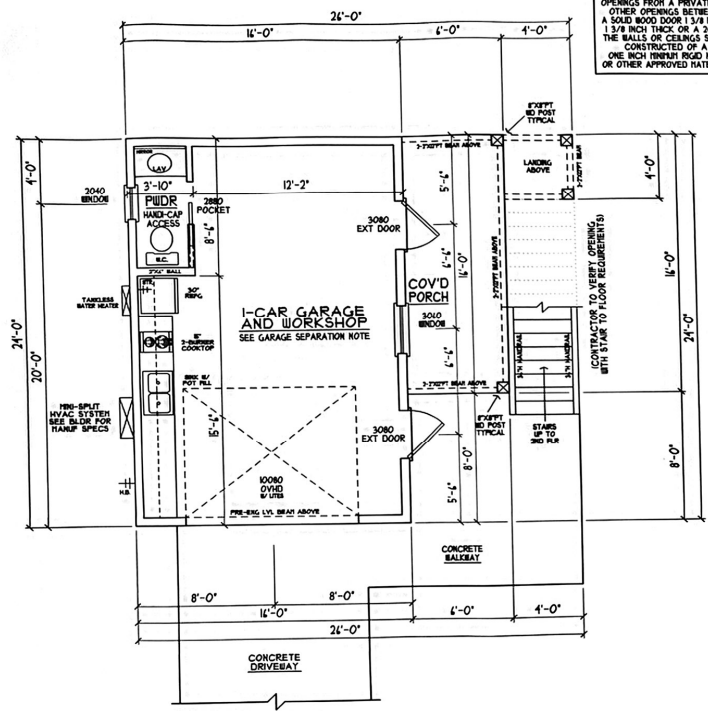
PROJECT INFO:
JOB NAME/NO: MAYGARDEN
CAD FILE NO.: 22004

SHEET # **A**

GARAGE SEPARATION NOTE:
THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT IN ACCORDANCE WITH:

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2" INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO GARAGE SIDE
FOR ALL HABITABLE ROOMS ABOVE THE GARAGE	NOT LESS THAN 5/8" INCH TYPE "X" GYPSUM BOARD OR EQUIVALENT REQUIRED BY THIS SECTION
STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2" INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED 3 FEET FROM A DWELLING UNIT OR THE SAME LOT	NOT LESS THAN 1/2" INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

OPENINGS FROM A PRIVATE GARAGE TO A SLEEPING ROOM ARE PROHIBITED. OTHER OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE A SOLID WOOD DOOR 1 3/8" INCH THICK, SOLID OR HONEYCOMB CORE STEEL DOOR 1 3/8" INCH THICK OR A 20 MINUTE FIRE RATED DOOR. DOORS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 24 GAUGE 10' X 10" SHEET STEEL. ONE INCH THICK RIGID NON-METALLIC CLASS II OR CLASS I DUCT BOARD OR OTHER APPROVED MATERIAL AND OPENINGS ARE NOT PERMITTED IN GARAGE.



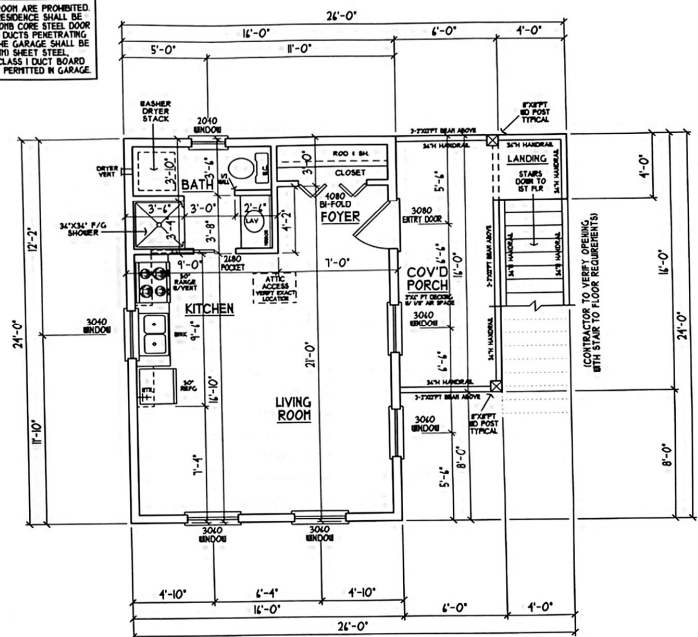
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
1ST FLR CEILING HEIGHTS TO BE 4'-0" HIGH UNLESS NOTED OTHERWISE

NOTE:
ALL EXTERIOR WALLS AND PLUMBING STACK WALLS TO BE 2"x4"

AREA CALCULATIONS

LIVING AREA	384 S.F.
1-CAR GARAGE/WORKSHOP	384 S.F.
1ST FLR COVD PORCH	94 S.F.
2ND FLR COVD PORCH	94 S.F.
TOTAL UNDER ROOF	960 S.F.



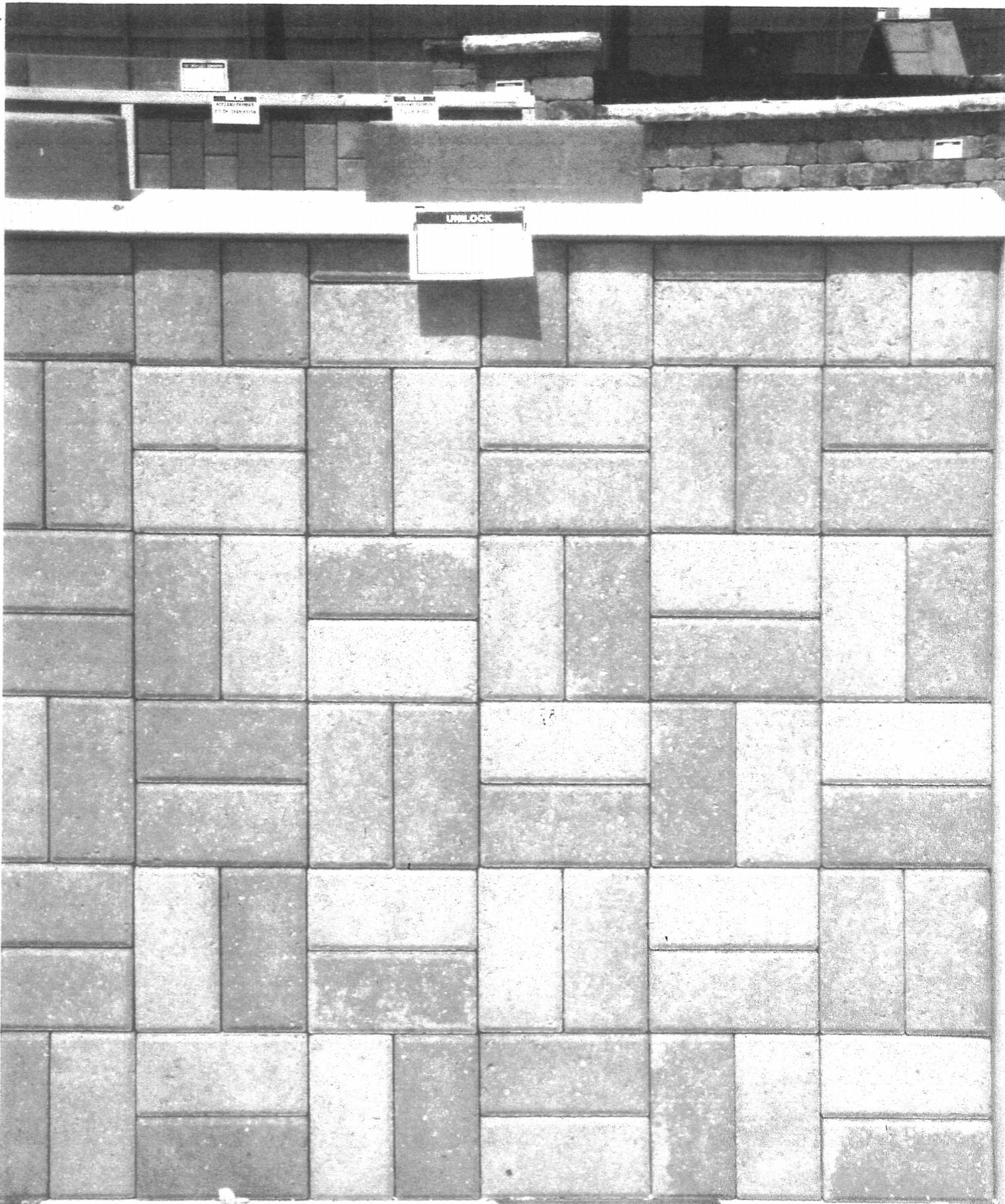
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
2ND FLR CEILING HEIGHTS TO BE 10'-0" HIGH UNLESS NOTED OTHERWISE

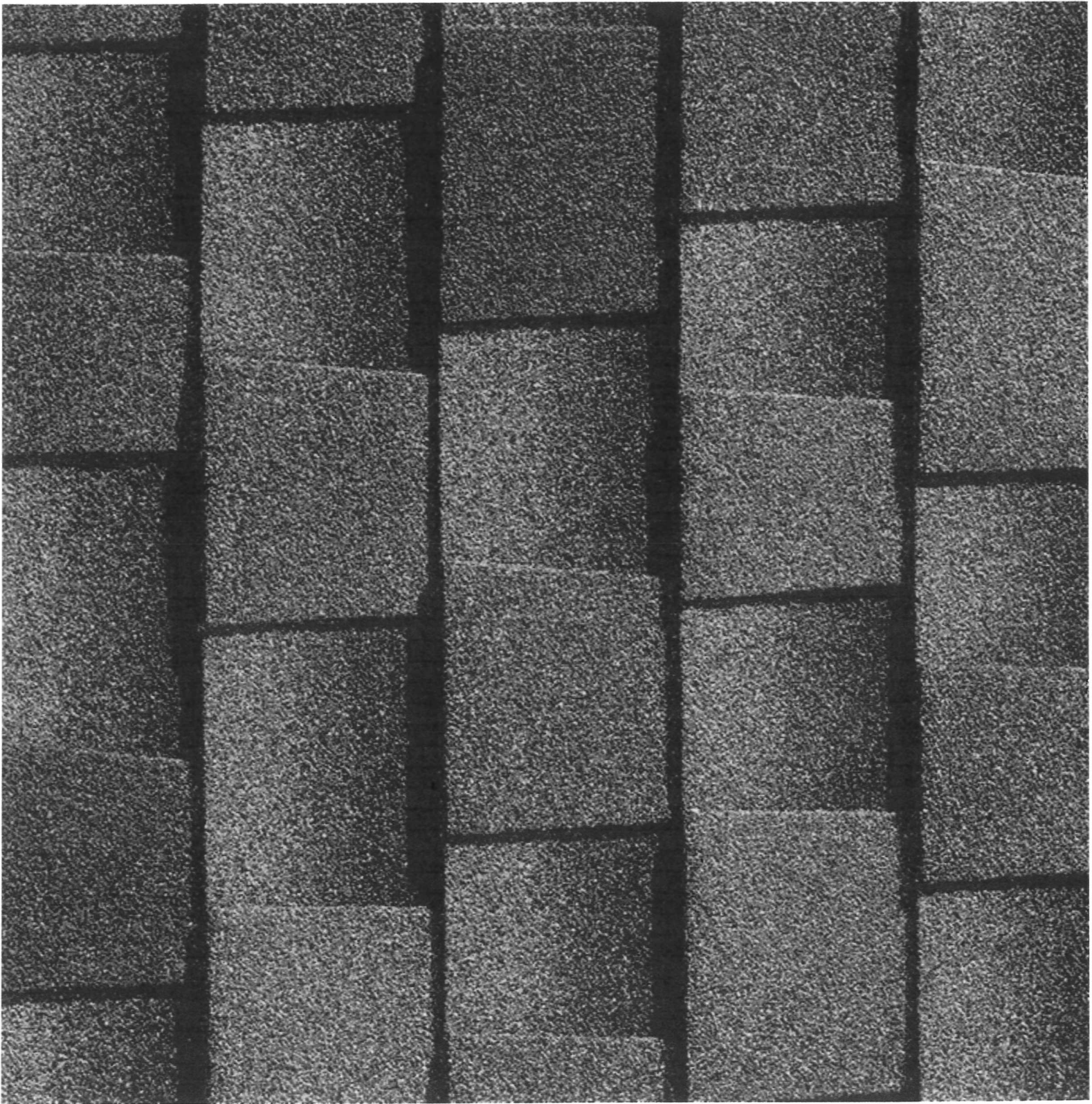
NOTE:
ALL EXTERIOR WALLS AND PLUMBING STACK WALLS TO BE 2"x4"



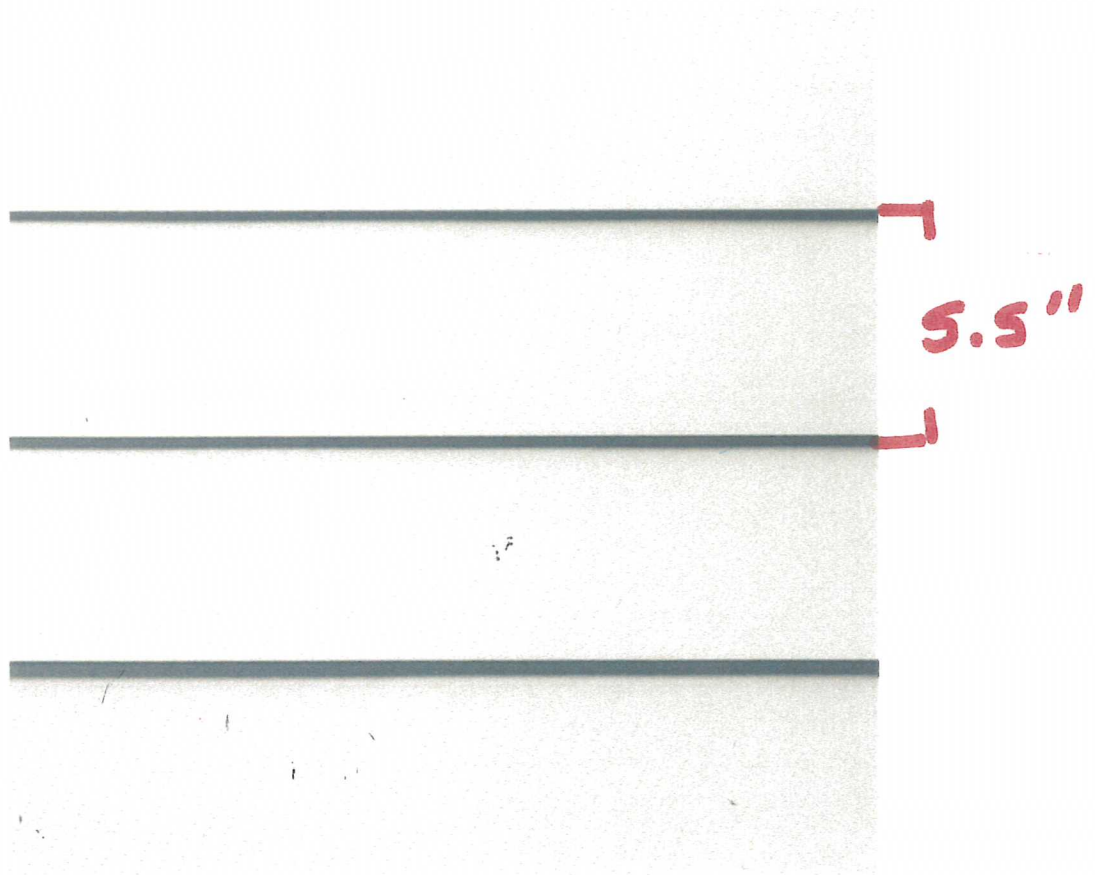
DESIGNER DECLARATION: I, the undersigned, am a duly licensed professional engineer or architect in the State of California and I am the author of the above described plans. I declare that the plans were prepared by me or under my direct supervision and that I am a duly licensed professional engineer or architect in the State of California. I declare that the plans were prepared by me or under my direct supervision and that I am a duly licensed professional engineer or architect in the State of California. I declare that the plans were prepared by me or under my direct supervision and that I am a duly licensed professional engineer or architect in the State of California.



DRIVE/WALK PATTERN

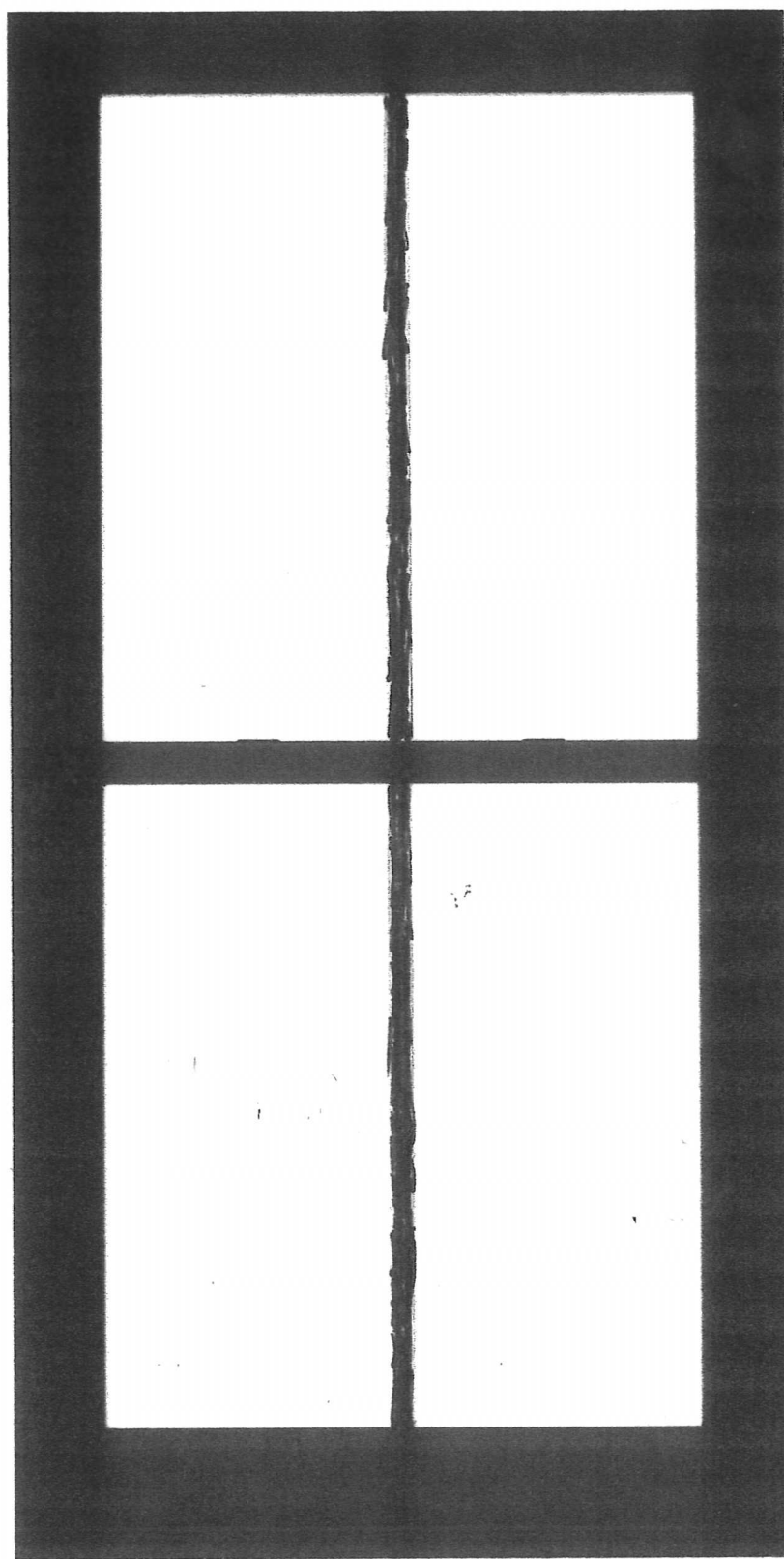


Roofing: GAF Timberline HDZ pewter gray in color laminated architectural roof shingles.



Exterior

- **Eve/soffit:** Hardie primed smooth fiber cement trim, white in color.
- **Siding:** Hardie plank cedar mill fiber cement lap siding, white in color.



Windows: Anderson double hung wood clad windows, black in color with grills to the exterior side of glass.

400 Series Woodwright® Double-Hung Windows

Table of Basic Unit Sizes Scale 1/8" = 1'-0" (1:96)



Custom sizing between 16-1/2" and 45-5/8" – in 1/8" increments.

Unit Dimension	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)	
Minimum Rough Opening	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)	Cottage/Reverse Cottage Style Available for all heights and all widths.
Unobstructed Glass*	15 5/8" (397)	19 5/8" (498)	23 5/8" (600)	25 5/8" (651)	27 5/8" (702)	29 5/8" (752)	31 5/8" (803)	35 5/8" (905)	39 5/8" (1006)	Cottage Style Reverse Cottage Style
3'-0 7/8" (937)	WDH18210	WDH20210	WDH24210	WDH26210	WDH28210	WDH210210	WDH30210	WDH34210	WDH38210	
3'-4 7/8" (1038)	WDH1832	WDH2032	WDH2432	WDH2632	WDH2832	WDH21032	WDH3032	WDH3432	WDH3832	
3'-8 7/8" (1140)	WDH1836	WDH2036	WDH2436	WDH2636	WDH2836	WDH21036	WDH3036	WDH3436	WDH3836	
4'-0 7/8" (1241)	WDH18310	WDH20310	WDH24310	WDH26310	WDH28310	WDH210310	WDH30310	WDH34310	WDH38310	
4'-4 7/8" (1343)	WDH1842	WDH2042	WDH2442	WDH2642	WDH2842	WDH21042	WDH3042	WDH3442	WDH3842	
4'-8 7/8" (1445)	WDH1846	WDH2046	WDH2446	WDH2646	WDH2846	WDH21046	WDH3046	WDH3446	WDH3846	
5'-0 7/8" (1546)	WDH18410	WDH20410	WDH24410	WDH26410	WDH28410	WDH210410	WDH30410	WDH34410	WDH38410	
5'-4 7/8" (1648)	WDH1852	WDH2052	WDH2452	WDH2652	WDH2852	WDH21052	WDH3052	WDH3452	WDH3852	
5'-8 7/8" (1749)	WDH1856	WDH2056	WDH2456	WDH2656	WDH2856	WDH21056	WDH3056	WDH3456	WDH3856	
6'-0 7/8" (1851)	WDH18510	WDH20510	WDH24510	WDH26510	WDH28510	WDH210510	WDH30510	WDH34510	WDH38510	
6'-4 7/8" (1953)	WDH1862	WDH2062	WDH2462	WDH2662	WDH2862	WDH21062	WDH3062	WDH3462	WDH3862	

Custom sizing between 32" and 76-7/8" – in 1/8" increments (equal sash).

Custom sizing between 36-7/8" and 76-7/8" – in 1/8" increments.

A
B
C

3060
3040
2040

6
1
1

A

SOLD BY:

Hammer Building Supply LLC Freeport
95 Industrial Ct
Freeport, FL 32439-3141
Fax: 850-213-3068

SOLD TO:
CREATED DATE

4/25/2022

LATEST UPDATE

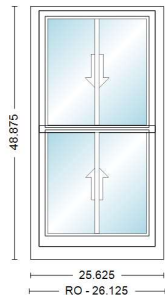
7/12/2022M

OWNER

Richard Hensor

Abbreviated Quote Report

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Cook - Maygarden	Unassigned Project	2210337		

ORDER NOTES:
DELIVERY NOTES:

Item
Qty
Operation
Location

100

2

AA

2241 2/2 DH

RO Size = 26 1/8" x 48 7/8"
Unit Size = 25 5/8" x 48 7/8"

TW20310, Unit, 400 Series Stormwatch Double-Hung, Equal Sash, Dark Bronze Exterior Frame, Dark Bronze Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 SmartSun Impact Resistant Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, Dark Bronze, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, White, White, Stormwatch Lock, 2 Sash Locks White (Factory Applied), WhiteJamb Liner, DP/PG Upgrade, Dark Bronze, Full Screen, Aluminum

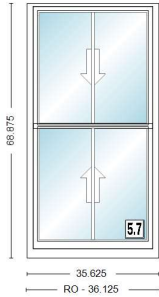
Wrapping: 6 5/8" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Job Site Applied

Insect Screen 1: 400 Series Stormwatch Double-Hung, TW20310 Full Screen Aluminum Dark Bronze PN:9073374

Extension Jamb 1: TW20310 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Head and Sill Job Site Applied

Extension Jamb 2: TW20310 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Sides Job Site Applied

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.35	0.19	YES	A1	21.8750	20.0000	3.05000



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
200	5	AA	3059 2/2 DH

RO Size = 36 1/8" x 68 7/8"

Unit Size = 35 5/8" x 68 7/8"

TW21056, Unit, 400 Series Stormwatch Double-Hung, Equal Sash, Dark Bronze Exterior Frame, Dark Bronze Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 SmartSun Impact Resistant Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, Dark Bronze, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, White, White, Stormwatch Lock, 2 Sash Locks White (Factory Applied), WhiteJamb Liner, DP/PG Upgrade, Dark Bronze, Full Screen, Aluminum

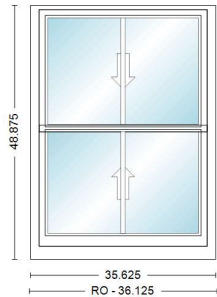
Wrapping: 6 5/8" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Job Site Applied

Insect Screen 1: 400 Series Stormwatch Double-Hung, TW21056 Full Screen Aluminum Dark Bronze PN:9073487

Extension Jamb 1: TW21056 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Head and Sill Job Site Applied

Extension Jamb 2: TW21056 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Sides Job Site Applied

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.35	0.19	YES	A1	31.8750	29.5000	6.54000	



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
300	1	AA	3041 2/2 DH

RO Size = 36 1/8" x 48 7/8"

Unit Size = 35 5/8" x 48 7/8"

TW210310, Unit, 400 Series Stormwatch Double-Hung, Equal Sash, Dark Bronze Exterior Frame, Dark Bronze Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 SmartSun Impact Resistant Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, Dark Bronze, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, White, White, Stormwatch Lock, 2 Sash Locks White (Factory Applied), WhiteJamb Liner, DP/PG Upgrade, Dark Bronze, Full Screen, Aluminum

Wrapping: 6 5/8" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Job Site Applied

Insect Screen 1: 400 Series Stormwatch Double-Hung, TW210310 Full Screen Aluminum Dark Bronze PN:9073446

Extension Jamb 1: TW210310 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Head and Sill Job Site Applied

Extension Jamb 2: TW210310 Interior Extension Jamb Standard Pine White - Painted 6 5/8" Sides Job Site Applied

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.35	0.19	YES	A1	31.8750	20.0000	4.44000	

DESIGNED & BUILT FOR THE COAST

From their time-proven Perma-Shield® exterior cladding to their impact-resistant glass, our 400 Series windows with Stormwatch® Protection are designed to withstand nature's worst and still look their best for years to come.

ENERGY-SAVING GLASS

Many 400 Series windows with Stormwatch Protection have options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit andersenwindows.com/energystar for more information and to verify that the product with your glass option is certified in your area.



TIME-TESTED, DURABLE AND LOW-MAINTENANCE PERMA-SHIELD EXTERIORS

Our exclusive Perma-Shield system gives our 400 Series windows a tough, protective shell that safeguards the wood inside. It repels water, resists dents* and stays beautiful for years to come. It's a well-proven asset in coastal areas, as it resists salt spray and sea air and never needs painting.*

KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type, seals out drafts, wind and water, whatever the weather.

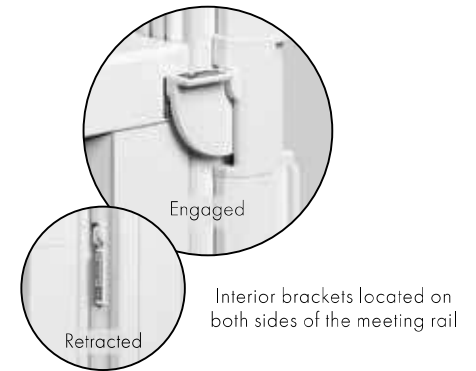


PERFORMANCE GRADE (PG) UPGRADES

Some codes don't require impact-resistant glass. For these situations, Performance Grade (PG) upgrades are available for many standard 400 Series windows. See the product sections in this book for options available by window type.

STRUCTURAL REINFORCEMENTS FOR COASTAL APPLICATIONS

400 Series windows with Stormwatch Protection feature a range of structural enhancements that allow them to withstand harsh weather conditions. Enhancements include impact-resistant glass, high-strength silicone glazing, frame and sash reinforcements, heavy-duty hardware and additional locks.



SUPERIOR PERFORMANCE

Andersen 400 Series Stormwatch Protection products are available with impact-resistant glass and structural upgrades to meet the tough building codes of coastal areas. They are designed to satisfy:**

- Large missile impact test ASTM/E1886/E1996
- TAS 201, 202, 203 (except tilt-wash double-hung)
- AAMA/WDMA/CSA 101/I.S.2/A440-08 &-11

PG70
PERFORMANCE

Click Impact PG-70/20
(AAMA/WDMA/CSA 101/I.S.2/A440-08 &-11)

*Visit andersenwindows.com/warranty for details.

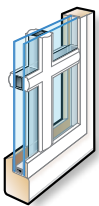
**See your local code official for building codes requirements in your area.

GRILLES

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern and we'll even work with you and your customers to create custom patterns.



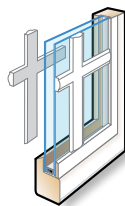
Grilles shown on standard tilt-wash double-hung windows with a single lock. Tilt-wash double-hung windows with Stormwatch® Protection have two locks. Some grille patterns are not available in all configurations and for all products. See product sections in this guide for standard grille patterns available for a specific window. Standard, specified equal light and custom patterns shown.



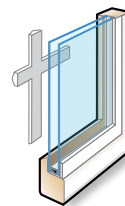
Permanent exterior
Permanent interior
with spacer



Permanent exterior
Permanent interior



Permanent exterior
Removable interior



Removable interior



Finelight
Grilles-
Between-
the-Glass

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured 3/4" (19) profile. For windows with PG upgrades, they feature contoured 1" (25) and 3/4" (19) profiles.

Grille Bar Widths



3/4" (19)



7/8" (22)



1 1/8" (29)



2 1/4" (57)

Actual size shown.

Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.

3 EXTERIOR DOORS

3/4 Lite Hinged Doors

Select a Neuma 3/4 lite Hinged Door panel for added architectural detail. The 3/4 Lite designs are available in a smooth white finish or a mahogany grain that emulates the beauty of natural hard-wood.

Neuma Doors are available in single hinged, double hinged and center hinged configurations with door heights of 6'-8", 6'-11", 7'-6" and 8'-0". The width of the door depends on the selected door configuration.



Double Hinged
3/4-Lite Hinged

Center Hinged
3/4-Lite

3/4-Lite Option

3/4-Lite unit available in smooth white, stainable woodgrain and white woodgrain finishes.



Doors (/doors/)

Hinged Doors (/doors/hinged-doors/)

- > Standard Features & Benefits (/doors/hinged-doors/standard-features-benefits/)
- > 3/4 Lite Hinged Doors (/doors/hinged-doors/34-lite-hinged-doors/)
- > Full Lite Hinged Doors (/doors/hinged-doors/full-lite-hinged-doors/)
- > Transom & Sidelight Options (/doors/hinged-doors/transom-sidelight-options/)
- > Glass Options (/doors/hinged-doors/glass-options/)
- > Finish Options (/doors/hinged-doors/finish-options/)
- > Units & Dimensions (/doors/hinged-doors/units-dimensions/)
- > Additional Options (/doors/hinged-doors/additional-options/)

Gliding Doors (/doors/gliding-doors/)

Bypass Gliding Doors (/doors/bypass-gliding-doors/)

Folding Doors (/doors/folding-doors/)

<https://www.neumadoors.com/doors/hinged-doors/34-lite-hinged-doors/>

8' 3/4 Lite Hinged Doors are available with the following options:

Finish	Handle set	Sill Color	Lock	Jamb Width	Pane Sizes
Exterior & Interior					
• Smooth White	HPVD			4-	2'6"
• Unfinished	Royal:	Matched		9/16"	x
				Jamb	8'0"

Need More Info?

We are here to help you create the door design you have always dreamed of. If you have any questions about Neuma Doors, please fill out the contact form and we will be happy to assist you.

Contact Us (/contact/)



<https://www.neumadoors.com/doors/hinged-doors/34-lite-hinged-doors/>

Designing Your Door

Home > Doors >

Let your home's personality shine through with customizable door options. **Neuma Doors** provides an array of design options to fit seamlessly with your home's style. Sidelights next to the door or transom windows above the door expand the visual impact, letting in light and creating a larger viewing area. Create a classic look with a traditional **SDL (simulated divided lite)** pattern. Craft a contemporary look with a bypass or folding door that allows unobstructed views and the flexibility to open your space and blur the lines between indoor and outdoor living. A variety of stain, paint, and hardware finish options allow you to accent your décor and create the perfect door for you.

1. Select Your Door Type

Choose from Hinged, Folding, Gliding or Bypass Gliding Doors. Select our Full Lite door style for maximum views or choose the **3/4 Lite door style** for added architectural detail.



2. Select Your Configuration

With options from a single door to 4 panel configurations, Neuma offers the best design to fit your space. Enhance your door and increase your viewing area with sidelights and transoms.



3. Select Your Glass

Add a touch of style to your door with our divided lite options, available as **simulated divided lites (SDL)** or as grilles between the glass (GBG). When privacy is a concern, select blinds between the glass, now available in an energy efficient LoE option.



4. Select Your Finishes And Hardware

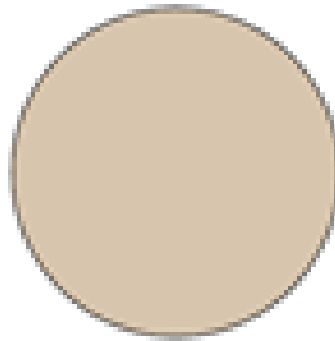
Choose from our smooth white paintable finish or one of our woodgrain options to best suit your space.



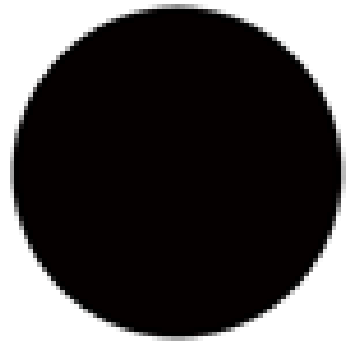
Bronze



Brainstorm Bronze



Kilim Beige



Black

Handlesets and hardware are included with your Neuma Door system. Select the hardware style and color to compliment your home.



Find a Distributor

[Let's Get Started \(/page-not-found/\)](/page-not-found/)

[Find a Dealer](#)

Doors (/doors/)

[Hinged Doors \(/doors/hinged-doors/\)](/doors/hinged-doors/)

[Gliding Doors \(/doors/gliding-doors/\)](/doors/gliding-doors/)

[Bypass Gliding Doors \(/doors/bypass-gliding-doors/\)](/doors/bypass-gliding-doors/)

[Folding Doors \(/doors/folding-doors/\)](/doors/folding-doors/)

[Vented Sidelight Doors \(/doors/vented-sidelight-doors/\)](/doors/vented-sidelight-doors/)

[Designing Your Door \(/doors/designing-your-door/\)](/doors/designing-your-door/)

[Impact-Rated Doors \(/doors/impact-rated-doors/\)](/doors/impact-rated-doors/)

[Multi-Family Applications \(/doors/multi-family-applications/\)](/doors/multi-family-applications/)

Need More Info?

We are here to help you create the door design you have always dreamed of. If you have any questions about Neuma Doors, please fill out the contact form and we will be happy to assist you.

[Contact Us \(/contact/\)](/contact/)

Quick links

[Home \(/\)](/)

[Where to Buy \(/dealer-locator/\)](/dealer-locator/)

[Contact Us \(/contact/\)](/contact/)

[Doors \(/doors/\)](/doors/)

[About \(/why-neuma/\)](/why-neuma/)

Contact Info

P: 1-866-366-7715 (toll-free)

A: 8989 North Loop East Houston, TX 77029

[Find Local Distributor](#)

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[Terms and Conditions \(/terms-and-conditions/\)](/terms-and-conditions/)

[Sitemap \(/sitemap/\)](/sitemap/)



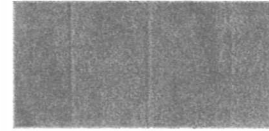
Specifications

Panel Designs

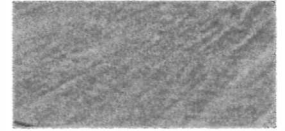
Constructed from high quality, kiln-dried western woods with polystyrene insulation core, double flush wood doors complement a broad range of architectural designs. External panels are pressure-bonded to framework with high strength waterproof glue.

MODEL	EXTERIOR	INTERIOR	INSULATION	FRAME	TOTAL THICKNESS	PRIMING
42	3/8" Rough Sawn Plywood	1/4" Smooth Plywood	Polystyrene, 4.75 R-value*	3/4"	1-3/8"	Not Primed, Standard
44	T1-11 Plywood with 1/4" Grooves	1/4" Smooth Plywood	Polystyrene, 4.75 R-value*	3/4"	1-5/8"	Not Primed, Standard
45	1/4" Smooth Plywood	1/4" Smooth Plywood	Polystyrene, 4.75 R-value*	15/16"	1-3/8"	Not Primed, Standard

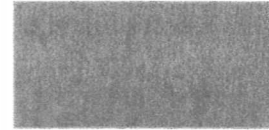
Wood Types



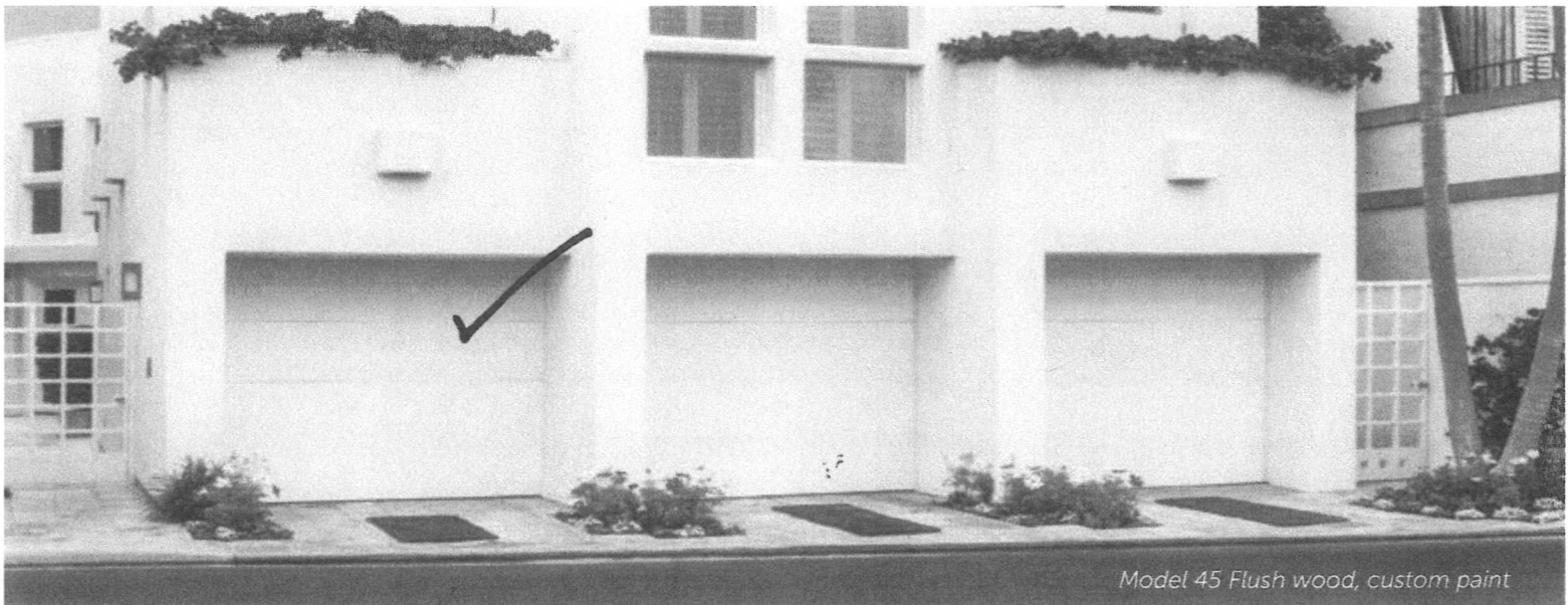
T1-11 plywood



Rough sawn plywood



Smooth plywood

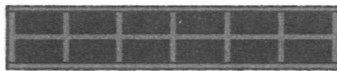


Windows

Magnify the beauty of your flush door with these finely-scaled window designs.



Sunray



3 over 3

NOTE: Not all windows and accents will fit all door sizes. Consult factory on window availability at wooddoor@wayne-dalton.com

Wayne Dalton.
GARAGE DOORS

2501 S. State Hwy 121 Bus., Ste 200
Lewisville, TX 75067

wayne-dalton.com



Warranty

The manufacturer warrants wood doors will be free from defects in material and workmanship for a period of ONE YEAR from time of delivery. A copy of this limited warranty is available from your Wayne Dalton Dealer.



* Wayne Dalton uses a calculated door section R-value for our insulated doors.

- **Garage:** Flush insulated door, black in color.

Dealer imprint Area



Deck/stairs

- Decking: Trex deck boards, clam shell in color.



- **Rails:** Trex post, rails, and spindles, white and black in color.

HOW TO USE THIS GUIDE:

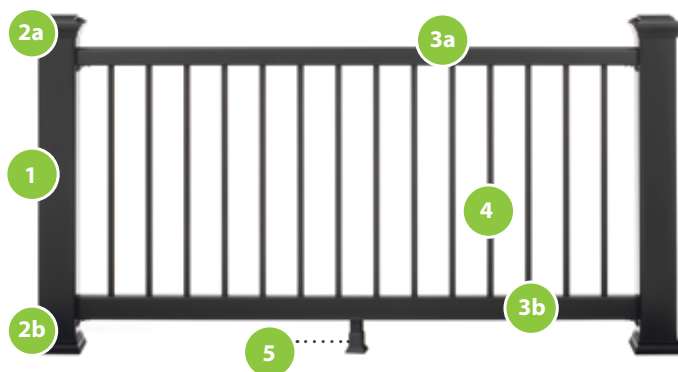
Our specially designed decking and railing duos make it easy to find a look you'll love season after season, year after year. Use this ordering guide to get all the components necessary for your ideal decking and railing.

Select the **board profile** and **length** that best suits your project in your desired deck color.



Next, find the **Trex look number** **GP-1** and select the right length and height. You'll need to order every component within that look (labeled Step 1-5) to create the railing.

ONE RAILING SECTION



POST SLEEVE



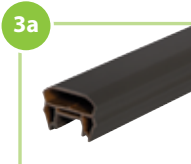
POST CAP



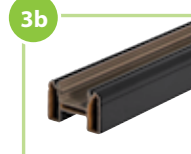
POST SKIRT



RAIL KIT



Crown Rail



Universal Rail

BALUSTER KIT



Balusters

INFILL KIT



Accessory Infill Kit
(includes adjustable foot block)



Lastly, consider whether you'll need any **accessories** for unique railing configurations.



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ISLAND MIST



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IM-2

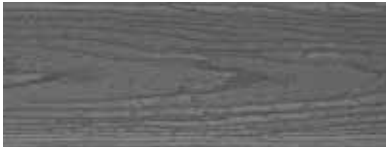
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CLAM SHELL



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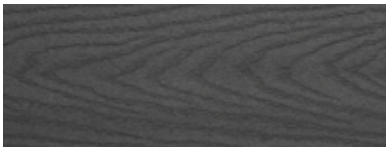
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WINCHESTER GREY



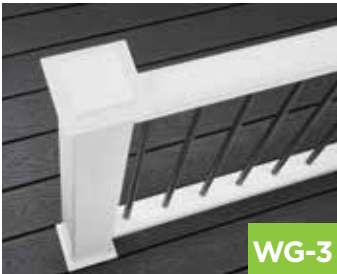
WG-1

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WG-3

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ISLAND MIST

Trex Transcend



Once you've selected your deck color, choose between one of two board profiles. Then, select a railing look that suits your style. SOS Item Numbers and Model IDs for all of these options can be found on the following pages.

1 CHOOSE A BOARD PROFILE



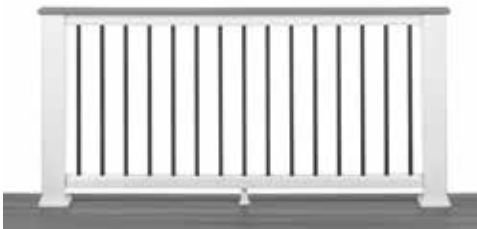
Square Edge

or

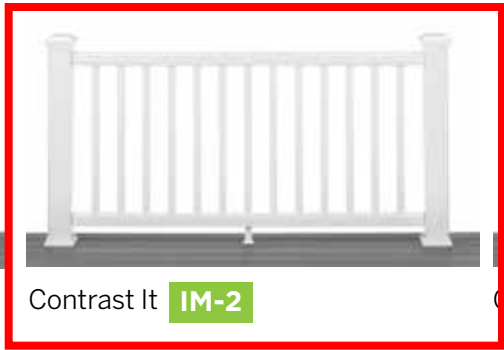


Grooved Edge

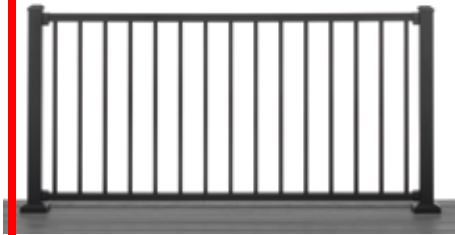
2 SELECT A RAILING LOOK



Coordinate It **IM-1**



Contrast It **IM-2**



Change It Up **IM-3**

ISLAND MIST DECK BOARD PROFILES

	Dimensions	Lowe's SOS Item #	Lowe's Model ID # by the piece	Lowe's Model ID # 48/bundle	Description
1-in x 6-in Decking, Square Edge	1 x 6 x 12'	262667	690101	690148	.94-in x 5.5-in x 12-ft Square Transcend Island Mist
	1 x 6 x 16'	262667	690201	690248	.94-in x 5.5-in x 16-ft Square Transcend Island Mist
	1 x 6 x 20'	262667	690301	690348	.94-in x 5.5-in x 20-ft Square Transcend Island Mist
1-in x 6-in Decking, Grooved Edge	1 x 6 x 12'	262667	720101	720148	.94-in x 5.5-in x 12-ft Grooved Transcend Island Mist
	1 x 6 x 16'	262667	720201	720248	.94-in x 5.5-in x 16-ft Grooved Transcend Island Mist
	1 x 6 x 20'	262667	720301	720348	.94-in x 5.5-in x 20-ft Grooved Transcend Island Mist



IM-2

Deck Color: Transcend Island Mist
Railing Look: Contrast It

	Railing Style Step	Lowe's SOS Item #	Lowe's Model ID #	Description	1 required per section (unless otherwise noted)
6-ft x 36-in Horizontal Rail	Step 1	109370	024193	4.45-in x 4.45-in x 40-in Post Sleeve - Classic White (Fits over a 4x4 pressure treated post)	
	Step 2A	109370	024292	4.55-in x 4.55-in Post Sleeve Flat Cap - Classic White	
	Step 2B	109370	024290	4.55-in x 4.55-in Post Sleeve Skirt - Classic White	
	Step 3A	109370	808330	67.5-in Crown Top Rail - Classic White	
	Step 3B	109370	808331	67.5-in Universal Top or Bottom Rail - Classic White	
	Step 4	109370	034484	30.375-in Square Baluster Kit (16/box) - Classic White	13 balusters required per section
	Step 5	109370	808335	67.5-in Accessory Infill Kit for Square Balusters - Horizontal - Classic White	Includes assembly hardware
6-ft x 36-in Stair Rail	Step 1	109370	441081	4.45-in x 4.45-in x 108-in Post Sleeve - Classic White (Fits over a 4x4 pressure treated post)	1 required for every 2 posts
	Step 2A	109370	024292	4.55-in x 4.55-in Post Sleeve Flat Cap - Classic White	
	Step 2B	109370	024290	4.55-in x 4.55-in Post Sleeve Skirt - Classic White	
	Step 3A	109370	808330	67.5-in Crown Top Rail - Classic White	
	Step 3B	109370	808331	67.5-in Universal Top or Bottom Rail - Classic White	
	Step 4	109370	034484	30.375-in Square Baluster Kit (16/box) - Classic White	11 balusters required per section
	Step 5	109370	808336	67.5-in Accessory Infill Kit for Square Balusters - Stair - Classic White	Includes assembly hardware
8-ft x 36-in Horizontal Rail	Step 1	109370	024193	4.45-in x 4.45-in x 40-in Post Sleeve - Classic White (Fits over a 4x4 pressure treated post)	
	Step 2A	109370	024292	4.55-in x 4.55-in Post Sleeve Flat Cap - Classic White	
	Step 2B	109370	024290	4.55-in x 4.55-in Post Sleeve Skirt - Classic White	
	Step 3A	109370	808333	91.5-in Crown Top Rail - Classic White	
	Step 3B	109370	808334	91.5-in Universal Top or Bottom Rail - Classic White	
	Step 4	109370	034484	30.375-in Square Baluster Kit (16/box) - Classic White	18 balusters required per section
	Step 5	109370	808337	91.5-in Accessory Infill Kit for Square Balusters - Horizontal - Classic White	Includes assembly hardware
8-ft x 36-in Stair Rail	Step 1	109370	441081	4.45-in x 4.45-in x 108-in Post Sleeve - Classic White (Fits over a 4x4 pressure treated post)	1 required for every 2 posts
	Step 2A	109370	024292	4.55-in x 4.55-in Post Sleeve Flat Cap - Classic White	
	Step 2B	109370	024290	4.55-in x 4.55-in Post Sleeve Skirt - Classic White	
	Step 3A	109370	808333	91.5-in Crown Top Rail - Classic White	
	Step 3B	109370	808334	91.5-in Universal Top or Bottom Rail - Classic White	
	Step 4	109370	034484	30.375-in Square Baluster Kit (16/box) - Classic White	15 balusters required per section
	Step 5	109370	808338	91.5-in Accessory Infill Kit for Square Balusters - Stair - Classic White	Includes assembly hardware
Accessories for 42-in Rail Height	Step 1	109370	441081	4.45-in x 4.45-in x 108-in Post Sleeve - Classic White (Fits over a 4x4 pressure treated post)	Substitute item for 42-in Rail Height Horizontal and Stair installations; 1 required for every 2 posts
	Step 4	109370	034439	36.375-in Square Baluster Kit (16/box) - Classic White (108-in Post Sleeve required for assembly)	Substitute item for 42-in Rail Height Horizontal and Stair installations
Accessories	Accessory	109370	808343	Mounting Hardware for Cut Rails - Horizontal - Classic White	Additional hardware for cut railing sections
	Accessory	109370	808344	Mounting Hardware for Cut Rails - Stair - Classic White	Additional hardware for cut railing sections
	Accessory	109370	840189	22.5 Degree Gasket Pack - Classic White	Gaskets for 22.5 degree angles
	Accessory	109370	034488	45 Degree Birdsmouth Gasket Pack (4x4 Post Sleeve) - Classic White	Gaskets and hardware for 45 degree angles

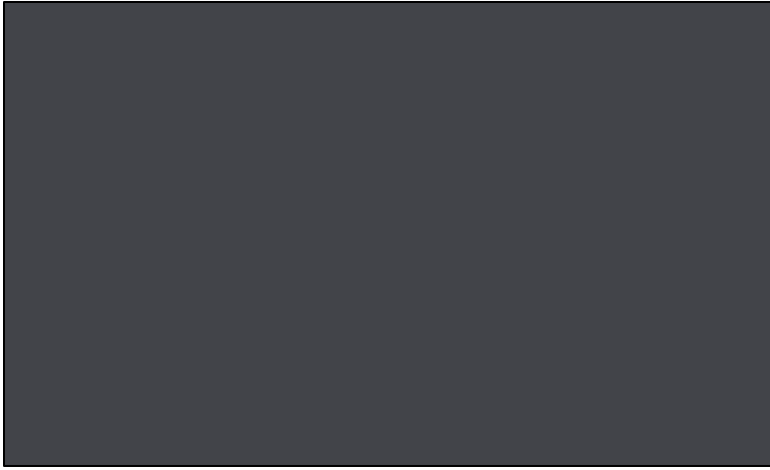


Exterior lighting: KCH Kichler Grand Ridge 1-Light 16.25-in outdoor wall light, Weathered Zinc in color.



Foundation: Exposed block, sand finish stucco, natural (light gray) color.

Valspar “Very Black”



Valspar “Blanched Pine”





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00729

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

39 E. Chase Street
Palafox Historic Business District / Zone C-2A
Variance

BACKGROUND:

Chad Henderson and Tosh Belsinger are requesting a Variance to increase the allowed height from 100' to 109'-4" to accommodate a 9-story hotel as part of the East Garden District development. Since the zoning district is commercial-2A, three feet may be added to the height of the building for each foot the building elevation is stair-stepped back from the property line, up to a height of 150'. The applicant has provided a diagram and elevations which identify those areas outside the zoning envelope, and which would otherwise not be permitted. The applicants have also provided a letter which speak to the seven required variance criteria as well as the two ARB-specific criteria. Since the paneling at the very top of the building is meant to screen mechanical equipment, it is exempt from typical height restrictions.

Please find attached all relevant documentation for your review.

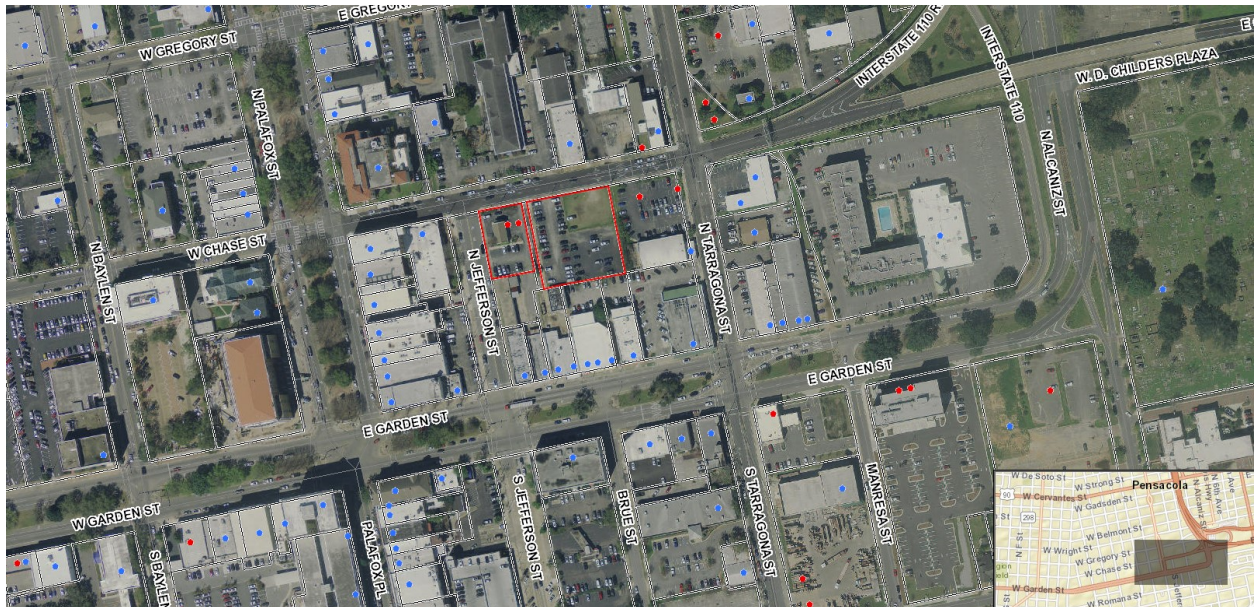
RECOMMENDED CODE SECTIONS

Table 12-3.7 Regulations for the commercial zoning districts

Sec. 12-11-2(a)(2) Variances

Sec. 12-12-3(5)b. ARB conditions for granting variances

39 E. Chase Street



Architectural Review Board

VARIANCE CRITERIA

Per Sec. 12-11-2(A)(2), in order to authorize any variance from the Land Development Code the Board must find:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
2. That the special condition and circumstances do not result from the actions of the applicant;
3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district;
4. That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardship on the applicant;
5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;
6. That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;
7. That the variance will not constitute any change in the districts shown on the zoning map, will not impair an adequate supply of light and air to adjacent property, will not increase the congestion of public streets, or increase the danger of fire, will not diminish or impair established property values within the surrounding area, and will not otherwise impair the public health, safety, and general welfare of the city.

Additional Criteria per Sec. 12-12-3(5)b:

- (a) That the Variance granted will not detract from the architectural integrity and/or historical accuracy of the development and its surroundings; and
- (b) That the grant of the Variance will be in harmony with the general intent and purpose of this title and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

VARIANCE proceedings are "quasi-judicial" in nature. "Quasi-judicial" means judge-like. A quasi-judicial proceeding is one in which members of a governmental body acts in a capacity similar to that of a judge. The board is making a determination concerning the rights or liabilities of a particular individual, business or group. In a Zoning Board of Adjustment proceeding, the persons whose rights or liabilities are being decided have a right to reasonable notice of the proceeding and right to present evidence and witnesses. The Zoning Board is legally obligated to decide the particular matter based only upon the evidence presented at the hearing rather than based upon political or other influences. *Public opinion (or neighborhood opinion for that matter) is not a proper basis for a quasi-judicial decision.* Nor is information gathered outside of the actual hearing on the matter to be decided. In no event may a Zoning Board member make up his or her mind about how a ZBA proceeding should be decided based upon site visits, personal contacts or other information gathered outside of the hearing.



- ☐ **Zoning Board of Adjustment**
☒ **Architectural Review Board**
☐ **Planning Board**
☐ **Gateway Review Board**

VARIANCE APPLICATION

A COMPLETE APPLICATION SHALL INCLUDE THE FOLLOWING:

- A. One (1) copy of this completed application form. *(Please type or print in ink.)*
- B. Site plan and/or survey showing the following details:*
1. Abutting street(s)
 2. Lot dimensions and yard requirements (setbacks)
 3. Location and dimensions of all existing structures
 4. Location and dimensions of all proposed structures and/or additions
 5. Dimension(s) of requested variance(s)
- C. Other supporting documentation (drawings, photographs, etc) to support request(s).*
- D. A non-refundable application fee of **\$500.00**.

** The Applicant must provide eleven (11) copies of any documents larger than 8½ x 11 or in color. Maximum page size for all submitted material should be 11" x 17" to allow for processing and distribution.*

(To be Completed by Staff)

Provision(s) of Zoning Ordinance from which the variance(s) is/are being requested:

Section(s)/ Tables(s) Table 12-3.7 Zoning C-2A

(To be Completed by Applicant)

The Applicant requests consideration of the following variance request(s):

Property Address: 39 E. Chase Street

Current use of property: Surface parking lot

1. Describe the requested variance(s):

Minor exceptions to the permitted building height at the North, West and East Elevations. Please see the attached drawings which highlight the areas in need of a variance.

2. Describe the special condition(s) existing on this property which create(s) the need for the variance(s), but which are not applicable to other properties in the same district and which are not the results of the applicant's actions:

See attached.

3. Explain why the requested variance(s) is/are necessary to permit the property owner to obtain the right commonly enjoyed by other property owners in the same district:

See attached.

4. Explain why the requested variance(s) is/are not detrimental to the general welfare or to property rights of others in the vicinity:

See attached.

5. Explain what other condition(s) may justify the proposed variance(s):

See attached.

Application Date: 06-30-2022

Applicant: Tosh Belsinger & Chad Henderson - Catalyst HRE

Applicant's Address: 41 N. Jefferson Street, 4th Floor Pensacola, FL 32502

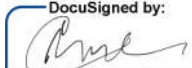
Email: tbelsinger@catalysthre.com Phone: 850-776-2655

Applicant's Signature: *Tosh Belsinger*

Property Owner: 41 N. Jefferson Street, LLC

Property Owner's Address: 41 N. Jefferson Street - 4th Floor Pensacola, FL 32502

Email: tbelsinger@catalysthre.com Phone: 850-776-2655

Property Owner's Signature:  Chad Henderson 6/30/2022 | 12:56 PM CDT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Variance Application

VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT: The petitioner must secure a building permit and commence work within one hundred-eighty (180) days of the date of the granting of the variance, unless additional time is granted by the Board at that particular meeting.

JUDICIAL REVIEW OF DECISION OF THE BOARD OF ADJUSTMENT: If denied a variance by the Board, that request for a variance cannot be heard again for one year. The petitioner has thirty (30) days from the date of the meeting to appeal the decision according to Section 12-12-2 of the Land Development Code. Any person or persons, jointly or severally aggrieved by a decision of the Board may apply to the Circuit Court of the First Judicial Court of Florida. The Board, Building Inspector, or Attorney of the City of Pensacola must be notified of an appeal within five (5) days of the application being made to the Circuit Court. If a Notice of Appeal has not been received within thirty-five (35) days of the date of the meeting the variance was denied, the petitioner shall be notified by the Building Inspector that they have ten (10) days to remove or correct the violation.



Milwaukee
Madison
Richmond
Chicago
Singapore

790 N Water Street, Suite 1700
Milwaukee, WI 53202
P 414.272.2000

June 30, 2022

Mr. Gregg Harding, RPA
City of Pensacola
222 W. Main Street
Pensacola, FL 32502

Dear Gregg:

The proposed project is a 9-story 144 key hotel on a proposed site on the southeast corner of Jefferson and Chase in downtown Pensacola. The project complies with most attributes of the C-2A zoning where it is sited, but is seeking a zoning variances in regard to height. As we understand it, the building height is measured from first floor to top of the roof of enclosed spaces and includes enclosing architectural elements such as trellises. Rooftop mechanical screening elements are exempt. The height limit for the proposed site is 100' at the property lines and then is required to step back at 3:1 slope, up to a maximum of 150'. There are no yard setbacks. The configuration and siting of this proposed hotel requires the project to seek a zoning variance for relief on the height. On the north elevation, west elevation and east elevation, there are very minor intrusions into the prescribed zoning envelope. Please see the attached elevations which show there areas where the project is seeking a height variance.

On behalf of Catalyst Healthcare Real Estate, the proposed East Garden District hotel project development team seeks a variance to the zoning code to increase the maximum allowed height from 100' to 109' - 4". Below are the criteria (*in blue italics*) and responses:

Per Sec. 12-11-2(A)(2), in order to authorize any variance from the Land Development Code the Board must find:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

The overall plan for the East Garden District represents a new model of development in the City with multiple buildings planned around a new urban green space. The overall project is well below the overall height permitted for the three parcels, but the massing and form of the hotel building necessitates a minor height variance at certain locations due to the arrangement of the parcels and building placement.

2. That the special condition and circumstances do not result from the actions of the applicant;

It is critical to maximize the number of guest rooms per floor in an efficient layout and the L-shape of this proposed hotel is ideal on a site of these dimensions. Furthermore, it is optimum to place the require life-safety elements (exit stairs) at the ends of the corridor on the perimeter. Stepping the massing back as the zoning dictates would result in a less efficient planning solution and compromised life-safety for the building and planning obstacles on the lowers floors, resulting in an extremely inefficient project.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this title to other lands, building, or structures in the same zoning district;

No special privilege will be conferred to the applicant as a result of granting the variance.

4. That literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this title and would work unnecessary and undue hardship on the applicant;

In order for this project to maintain its efficient room layout and structural design approval of the variance is required. Per the attached diagrams, only a small triangular area at the North, West, and East facades (approximately 7'-6" in height and 2'-6" in width) is outside of the permitted zoning limits.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;

Per the attached diagrams, we are seeking a minimal height variance at select locations. The benefit of this variance is an efficiently planned hotel that meets its programmatic requirements.

6. That the grant of the variance will be in harmony with general intent and purpose of this title and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare;

As shown on the attached diagrams, the project is seeking a minor variance to the height along the North, West, and East facades only, with the majority of the project remaining within the overall height limits.

7. That the variance will not constitute any change in the districts shown on the zoning map, will not impair an adequate supply of light and air to adjacent property, will not increase the congestion of public streets, or increase the danger of fire, will not diminish or impair established property values within the surrounding area, and will not otherwise impair the public health, safety, and general welfare of the city.

The project isn't built out to maximum permissible zoning limits and only seeks a minor height variance. Therefore, there is no impact to light and air to the adjacent property.

Additional Criteria per Sec. 12-12-3(5)b:

(a) That the Variance granted will not detract from the architectural integrity and/or historical accuracy of the development and its surroundings; and

The building design relates to the historic context of the East Garden District. The project has an attractive design and utilizes high quality materials to help it relate and fit in with the context of Pensacola's downtown area.

(b) That the grant of the Variance will be in harmony with the general intent and purpose of this title and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The project's overall design, form, massing, and articulation will be in keeping with the character of the City of Pensacola. The variances sought will not be injurious to the area involved or otherwise detrimental to the public welfares.

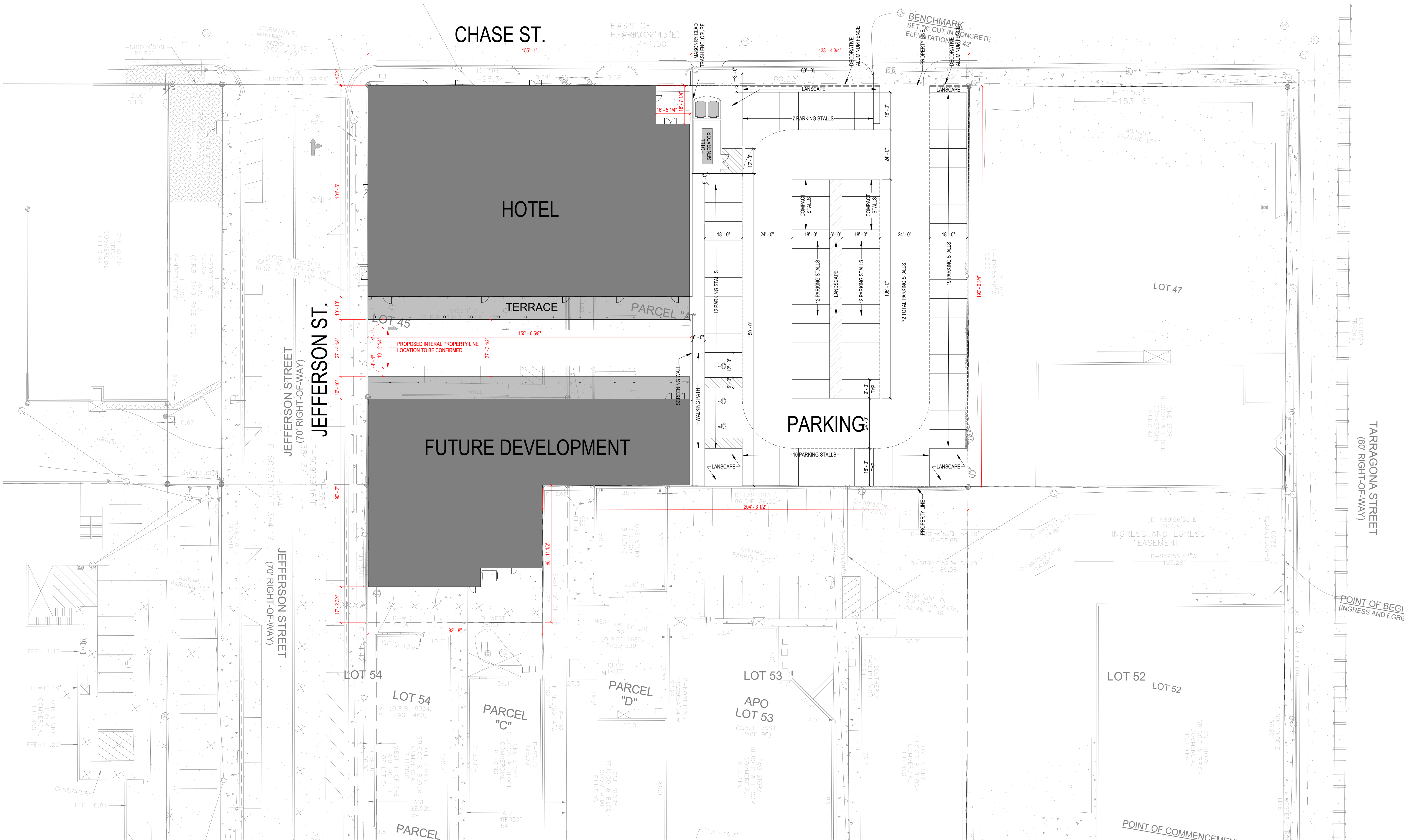
In conclusion, we have the belief that based on the criteria outlined above, this project meets the basis for a height variance.

Sincerely,

KAHLER SLATER, INC.

A handwritten signature in black ink, appearing to read 'A. M. Ebent', with a stylized flourish at the end.

Aaron M. Ebent, AIA
Principal, Project Designer



1 SITE PLAN
1" = 20'-0"

PROPOSED SITE PLAN

Kahler Slater

220038.00
EAST GARDEN DISTRICT

ARB-004 | 06/30/2022



① WEST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

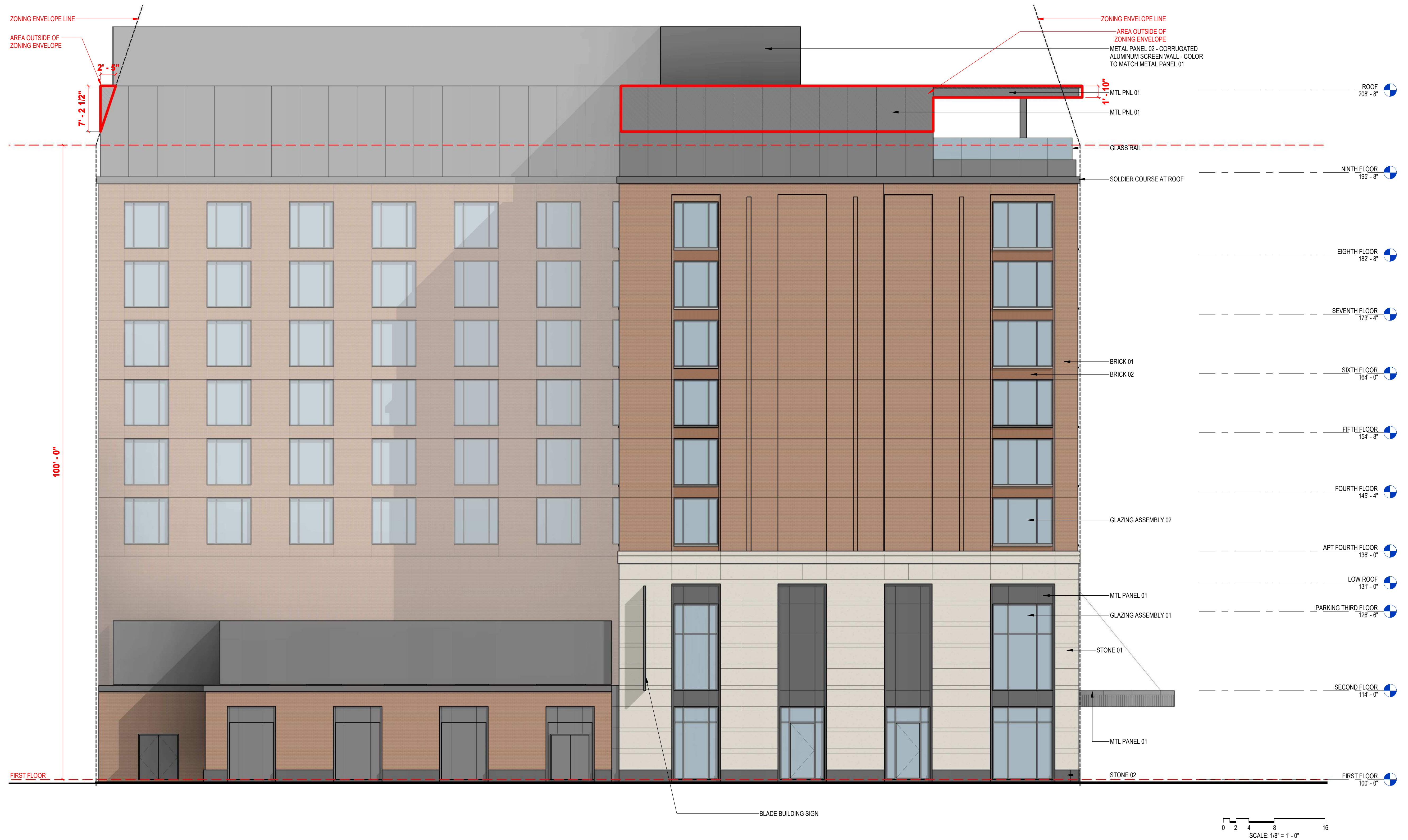
EXTERIOR ELEVATIONS

ARB-200 | 06/30/2022



① SOUTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

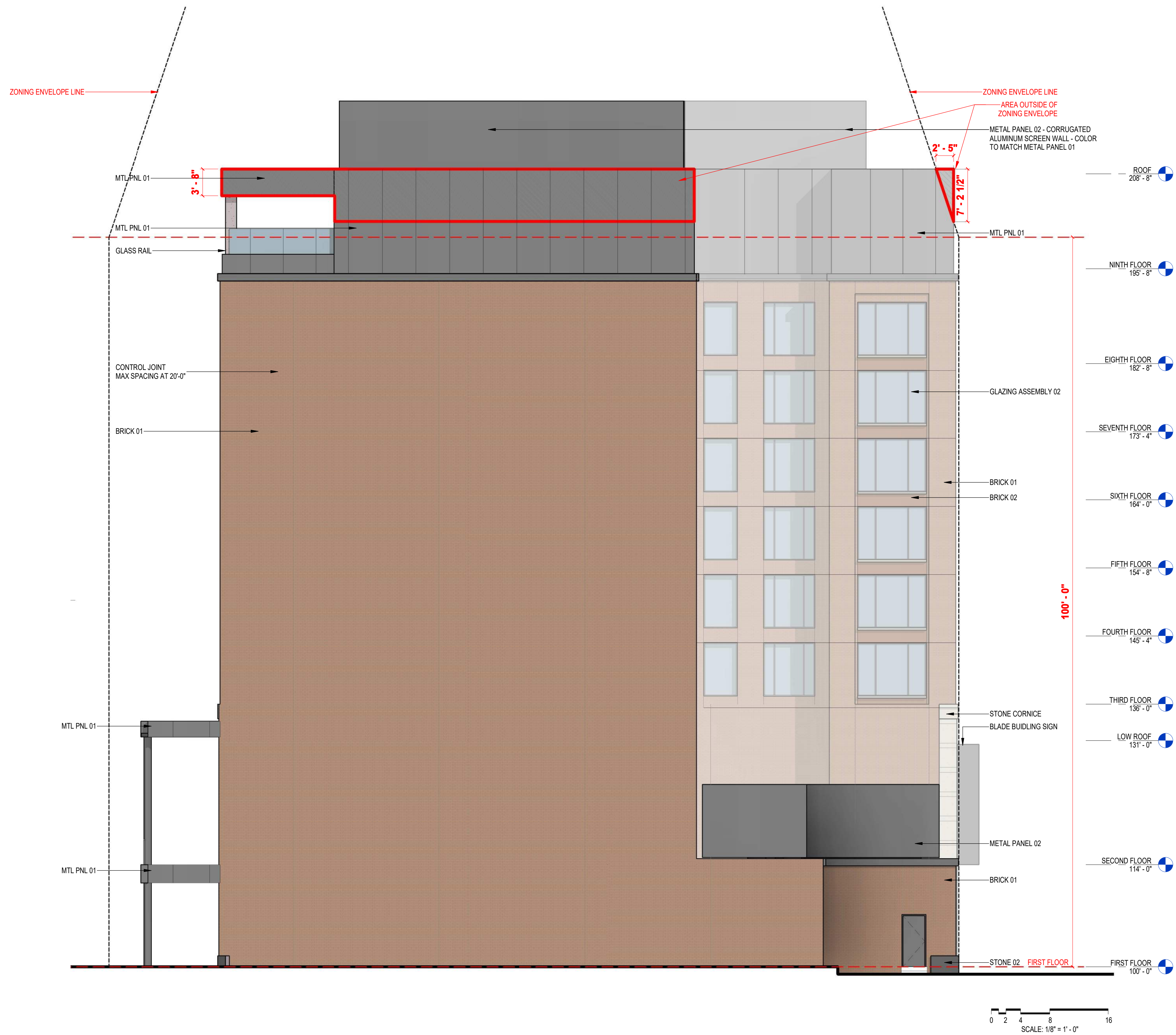
0 2 4 8 16
SCALE: 1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

EXTERIOR ELEVATIONS

ARB-202 | 06/30/2022



1 EAST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

EXTERIOR ELEVATIONS

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Kahler Slater

220038.00
EAST GARDEN DISTRICT

ARB-203 | 06/30/2022



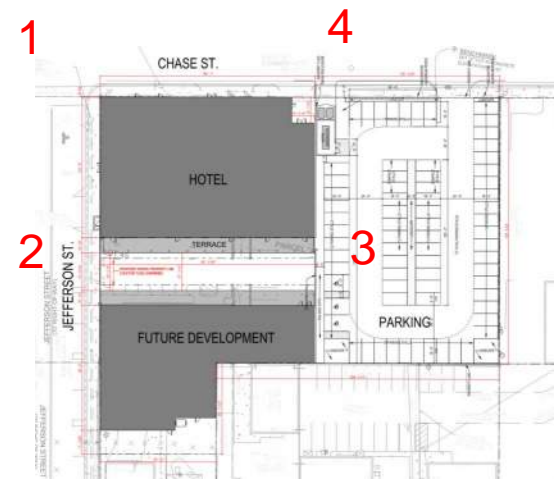
1. VIEW FROM NORTHWEST



2. VIEW FROM SOUTHWEST



3. VIEW FROM SOUTHEAST



KEY PLAN

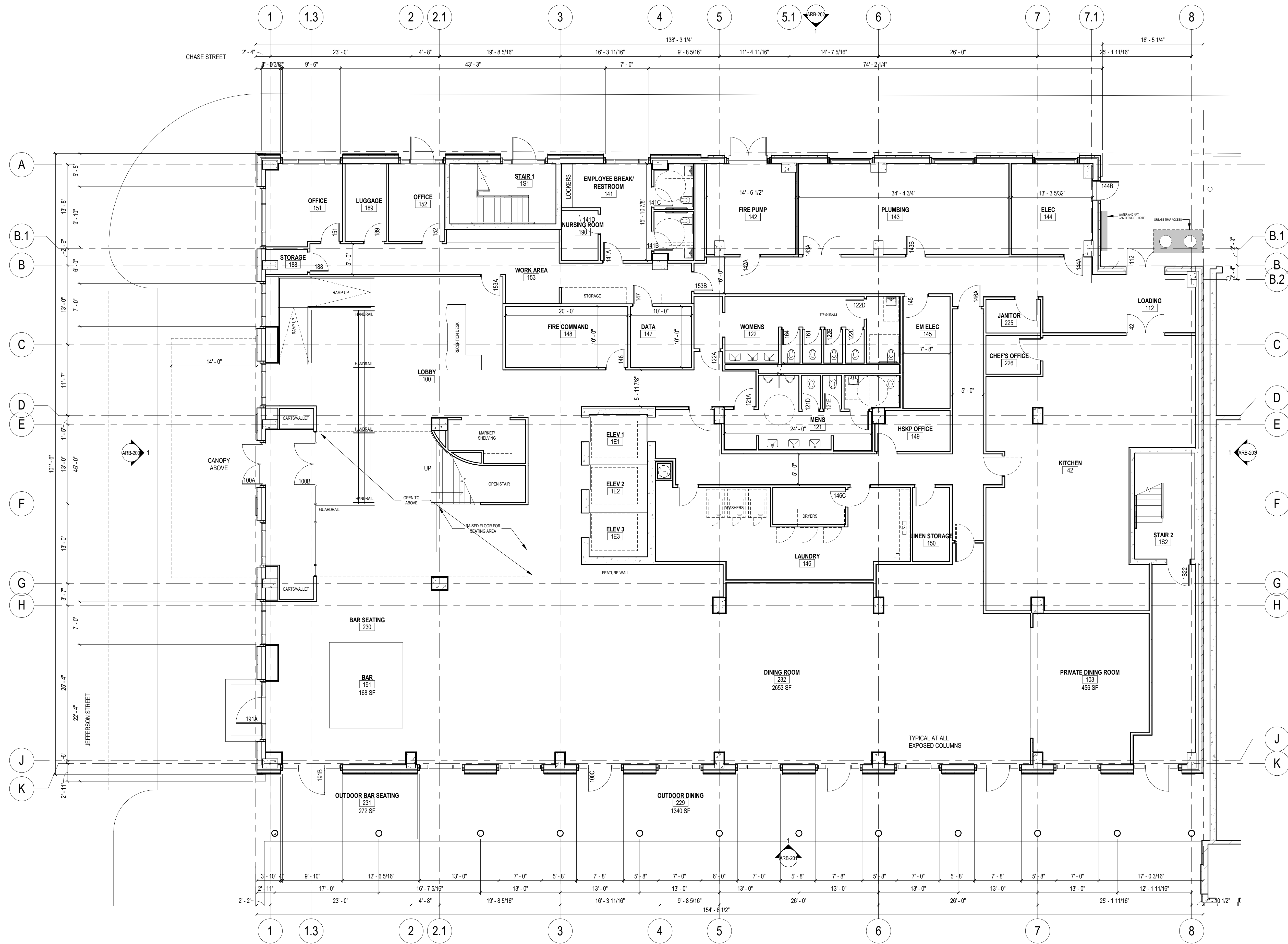
ZONING DIAGRAM

ARB-205 | 06/30/2022

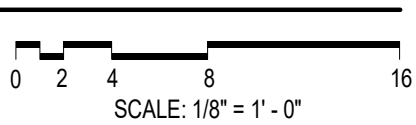
Kahler Slater

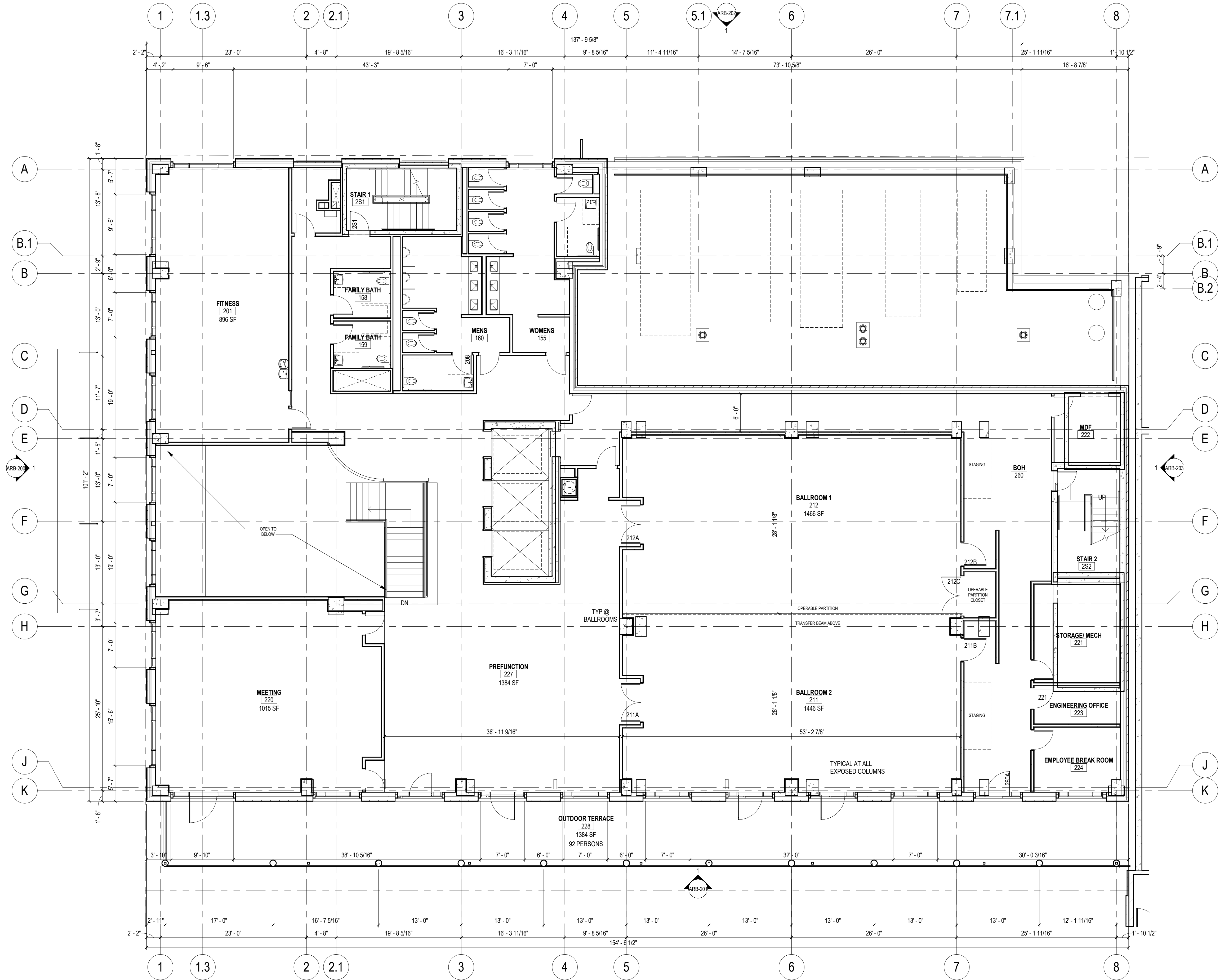
220038.00
EAST GARDEN DISTRICT

* HIGHLIGHTED AREAS IN DIAGRAMS ARE OUTSIDE OF ZONING ENVELOPE



1 01 - 1ST FLOOR PLAN ARB
1/8" = 1'-0"

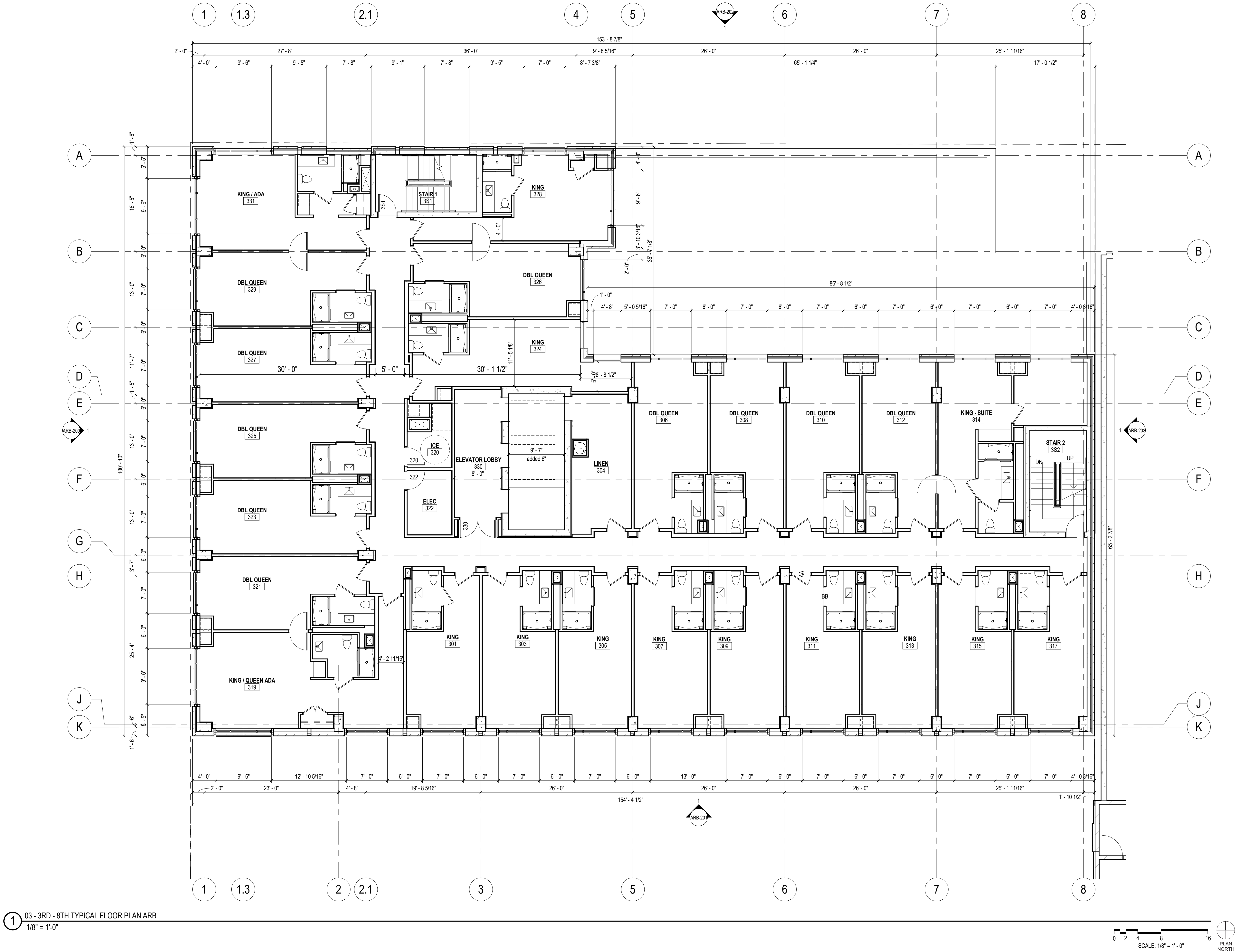


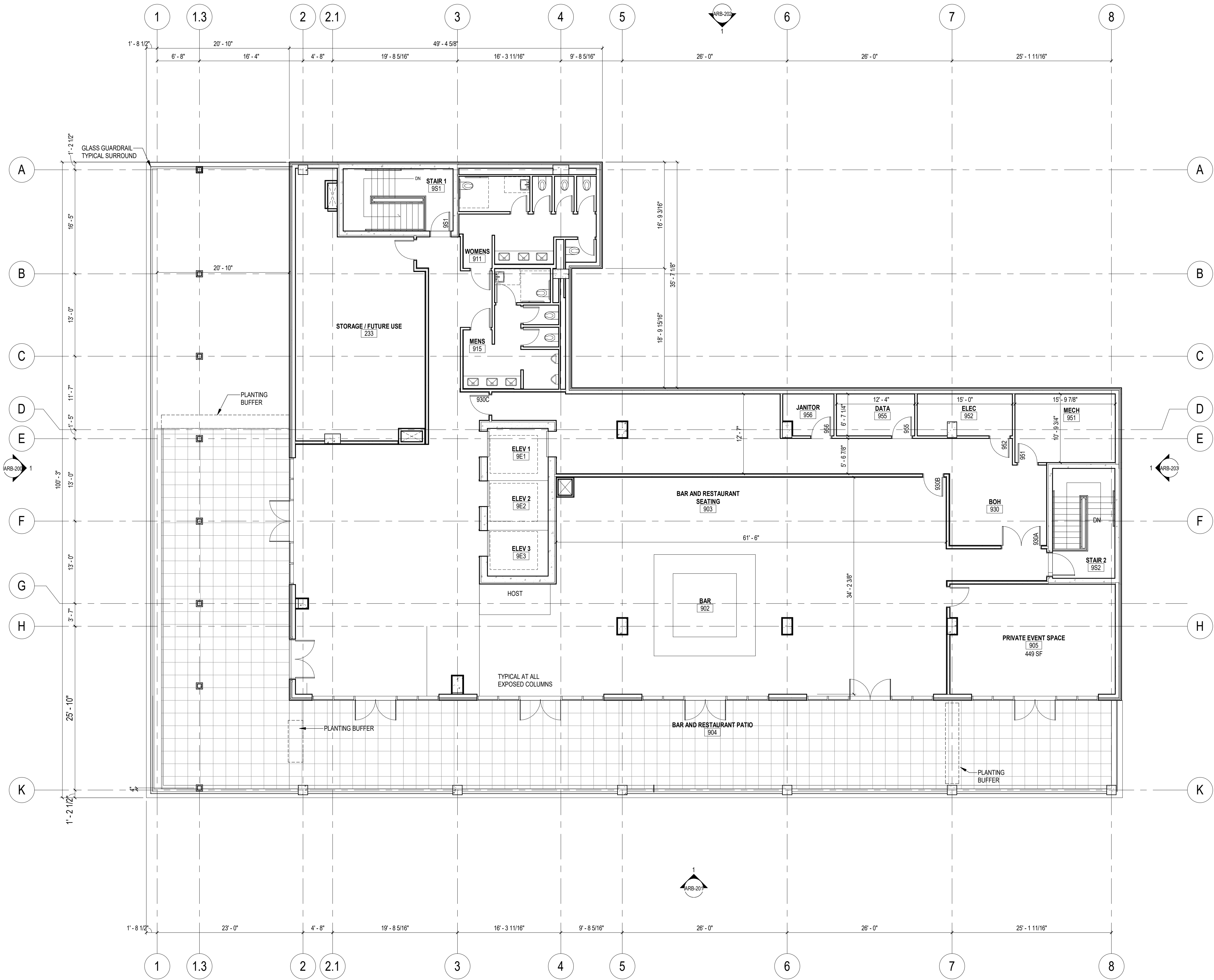


02 - 2ND FLOOR PLAN ARB
1/8" = 1'-0"

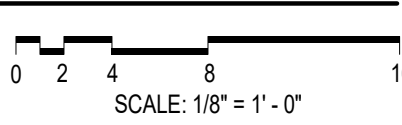
0 2 4 8 16
SCALE: 1/8" = 1'-0"

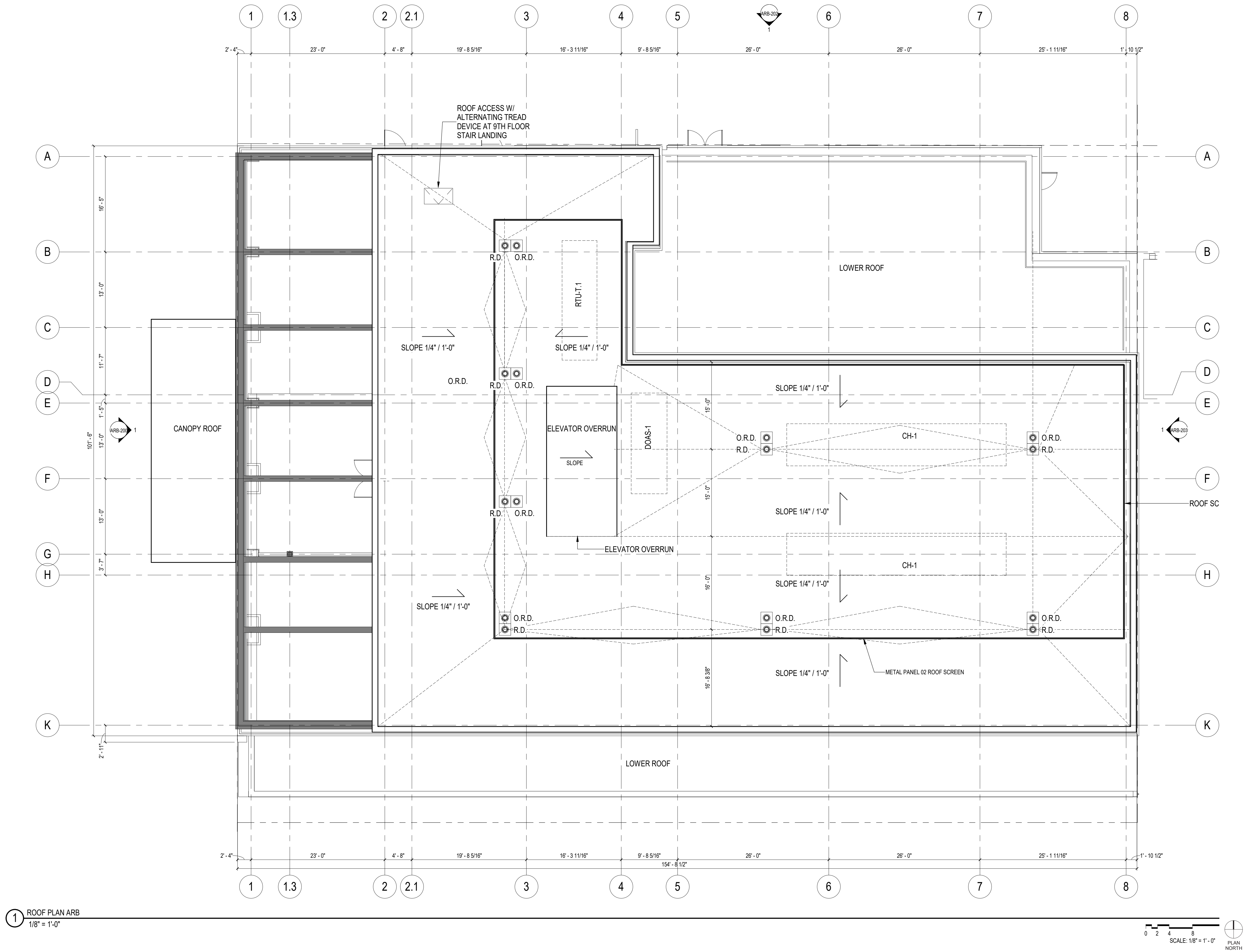






09 - NINTH FLOOR ARB
1/8" = 1'-0"







City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00722

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

40 S. Palafox Street
Palafox Historic Business District / Zone C-2A
Alterations to the First Floor Front Elevation of a Contributing Building

BACKGROUND:

Scott Sallis, Dalrymple | Sallis Architecture, is requesting *final* review to modify the first-floor front elevation of the Thiesen Building. This request was partly denied in May 2022. Since then, the plans have been revised to keep the street front side alcoves, though the existing planters will be removed. Work to the central entrance area is still proposed which will convert the area into an open lobby. Details on a decorative gate which reflect ARB's previous comments have been included and the new lobby will be redesigned with marble tile and a granite border. All glazing at the wood-framed bay windows will be replaced and the side lobby doors will be replaced with new frameless glazing systems. A new overhead coiling system will also be installed, but only to be used during extreme weather conditions.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(c) Palafox Historic Business District, Historic district theme
Sec. 12-3-27(f)(2)a. Palafox Historic Business District, Decisions

FLORIDA MASTER
SITE FILE

FDAHRM 802 = =

Site No. 8Es133 1009 = = County Escambia 808 = =

Site Name Thiesen Building 830 = =

Other Name(s) for Site _____ 930 = =

Other Nos. for Site _____ 906 = =

Other Master Site File Nos. for Site _____ 899 = =

NR Classification Category building 916 = =

Address of Site 40 S. Palafox St., Pensacola, Fl. 905 = =

Instructions for locating site NW corner of Romana & S. Palafox Sts.,
Pensacola, Fl.

_____ 813 = =

Vicinity of
Location: Old City Tract 30 229 & 230 868 = =
subdivision name block no. lot no.

Owner of Site:
Name Fulghum, Kenneth L. Jr. & Faye C.; Hinman, John H. & Kathleen F.
Address P. O. Box 12317, Pensacola, Fl. 32581 902 = =

Occupant, Tenant, or Manager:
Name Fulghum, Kenneth L.
Address 169 North "A" St., Pensacola, Fl. 32501 904 = =

Reporter (or local contact):
Name Ellsworth, Linda V. (Historian)
Address HPPB 816 = =

Recorder:
Name Nolan, Terence H. (Historic Sites Specialist)
Address FDAHRM 818 = =

Survey Date 7904 820 = = Type Ownership private 848 = =

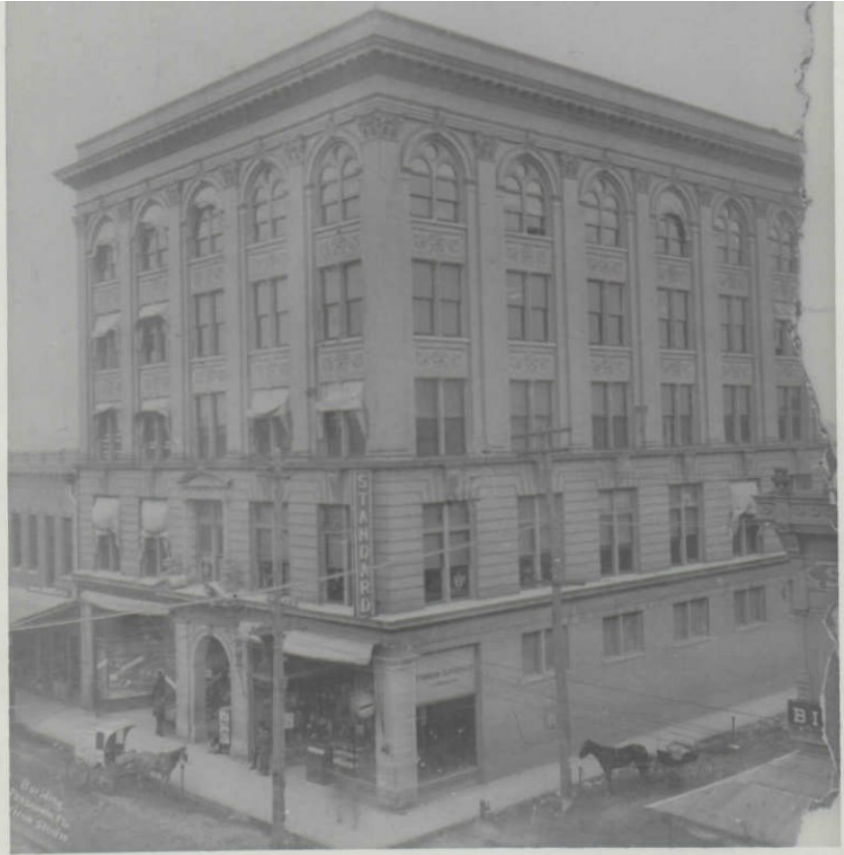
Name of Project (under which site was recorded) _____ 980 = =

Classification of Project: Check One
☐ Federal 982 = = ☐ State 982 = = ☐ Local 982 = = ☐ County 982 = =
Inventory Status _____ 914 = =

Previous Survey(s), Excavation(s) or Collection(s): (enter activity/title of project or survey/name/date/repository)

Recording Station HPS 839 = =
Date of Visit to Site _____ 828 = = Recording Date _____ 804 = =
832 = =

Photographic Record Numbers 79N011 P.L. #'s 27, 28, 29, 35
_____ 860 = =

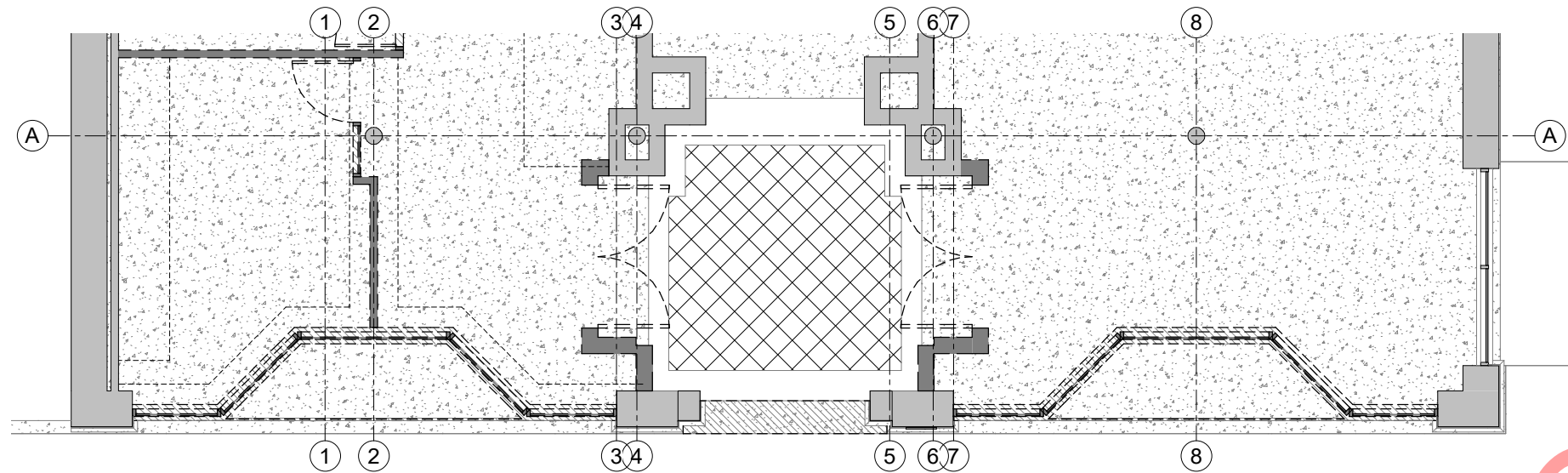




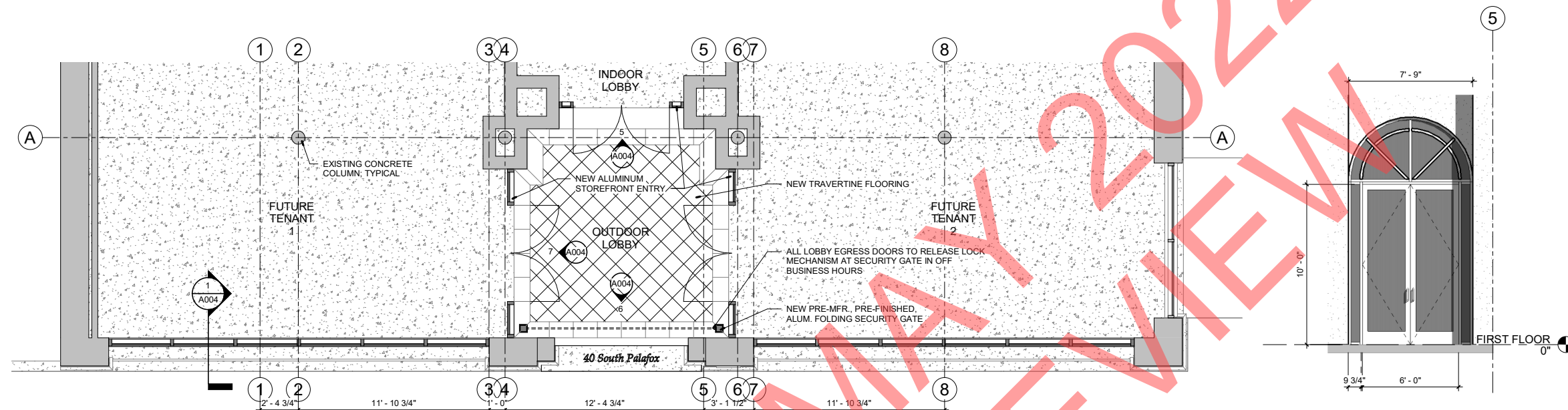
Renderings



Views From Palafox



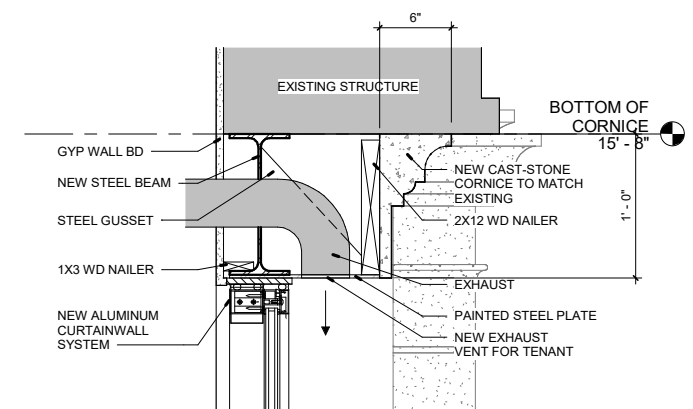
1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



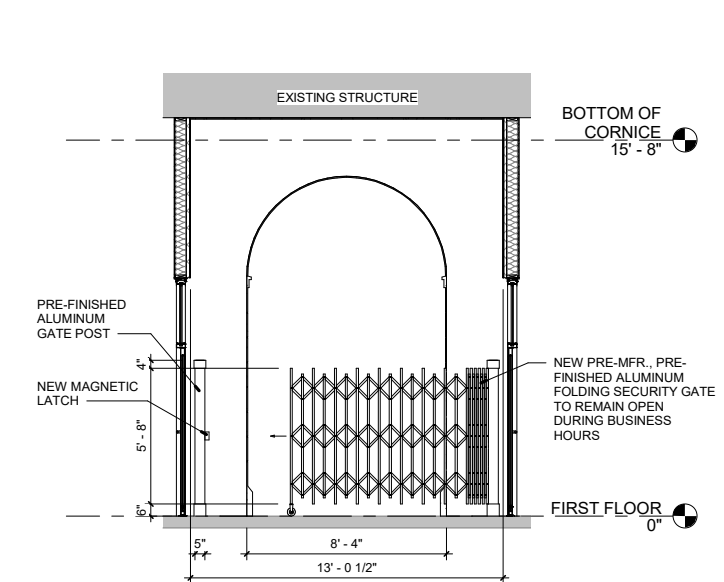
2 NEW WORK FIRST FLOOR PLAN
1/4" = 1'-0"



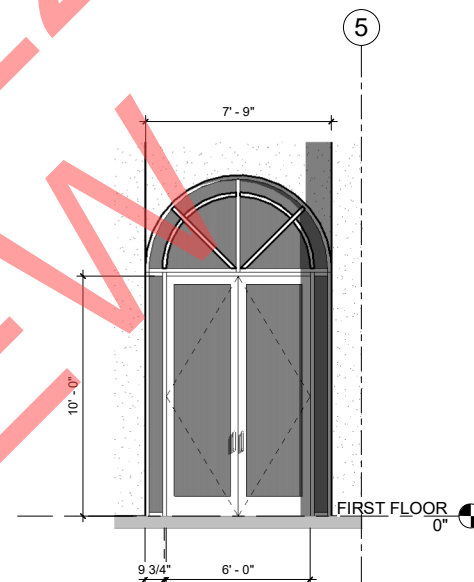
3 WEST ELEVATION
1/4" = 1'-0"



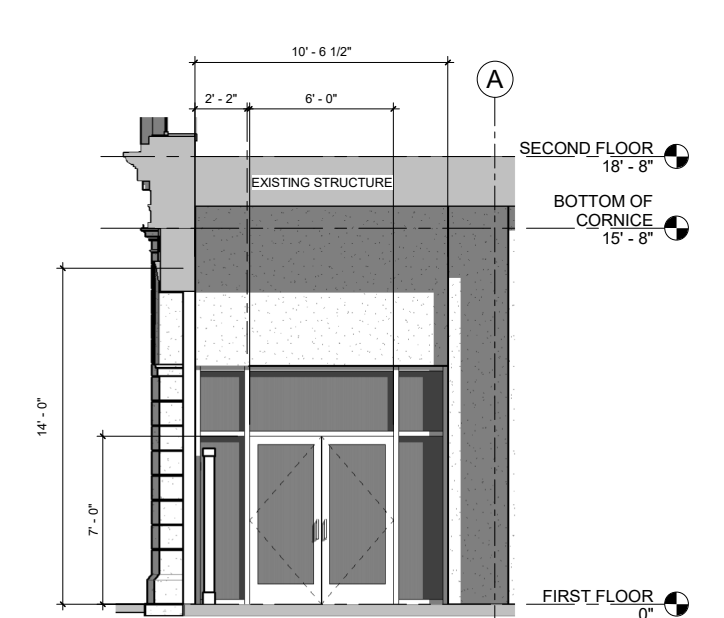
4 STOREFRONT EXHAUST DETAIL
1 1/2" = 1'-0"



6 FOLDING SECURITY GATE DETAIL
1/4" = 1'-0"



5 NEW LOBBY ENTRANCE
1/4" = 1'-0"



7 NEW TENANT ENTRANCE
1/4" = 1'-0"

**Architectural Review Board Application
Full Board Review**

City of
Pensacola
*America's First Settlement
And Most Historic City*



Application Date: 06-30-22

Project Address: 40 S. Palafox Pl.
Applicant: Dalrymple Sallis Architecture
Applicant's Address: 503 E. Government St.
Email: scott@dalsal.com **Phone:** 850-470-6399
Property Owner: 40 South Palafox Place LLC

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Convert existing interior lobby into exterior vestibule. Remove existing planters. Remove exterior storefront door. Replace all glazing at wood-framed bay windows. Replace lobby doors with new frameless glazing system. Replace existing lobby floor tile with marble tile and granite border.
Provide new built-out coffered ceiling with recessed and pendant lighting. Provide new decorative aluminum gate with panic hardware for after-hours use at vestibule. Provide new overhead coiling storm shutter for use only during extreme weather events.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

J. Sallis

Applicant Signature

06-30-22

Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Date: Friday, June 24, 2022

Project: Thiesen Lobby Renovation
40 S. Palafox Pl.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Existing Photographs



Views of Existing Front

Historic Photographs



Polk's Pensacola City Directory lists Standard Clothing Company as a tenant in the Thiesen Building from 1905 through 1906.
Pensacola Historical Society Collection

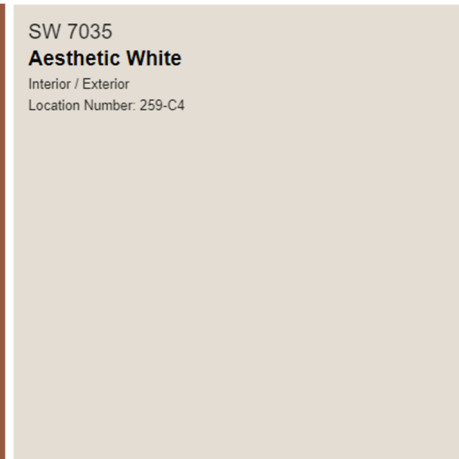
Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Wood Framed Glazing System	TBD	SW "Rookwood Terra Cotta" To Match Existing Storefront
Frameless Glazing Door System	Avanti	Aluminum
Floor Tile	Carrara Marble	"Carrara White" Polished Marble
Perimeter Floor Tile	Stone and Tile	"Blue Pearl" Polished Granite
Stucco Walls	TBD	SW "Whirlpool"
Coffered Wood Ceiling	Sto	SW "Aesthetic White" To Match Existing Exterior Cornice
Exhaust Grille	Seiho	Aluminum
Security Gate	Custom	Black Powder Coated Aluminum

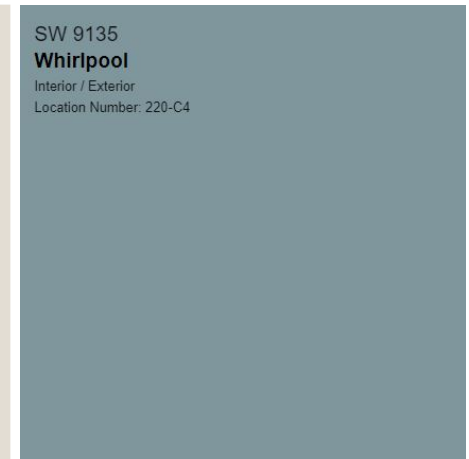
PAINT COLORS



Wood Framed Glazing System
Sherwin Williams:
"Rookwood Terra Cotta"



Coffered Wood Ceiling
Sherwin Williams:
"Aesthetic White"



Stucco Walls
Sherwin Williams:
"Whirlpool"

MARBLE



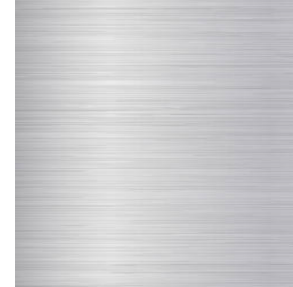
Floor Tile

GRANITE



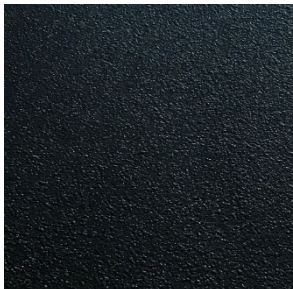
Perimeter Floor Tile

ALUMINUM



**Frameless Glazing Door
System/ Exhaust Grill**

POWDER COATED ALUM.



Security Gate

Renderings



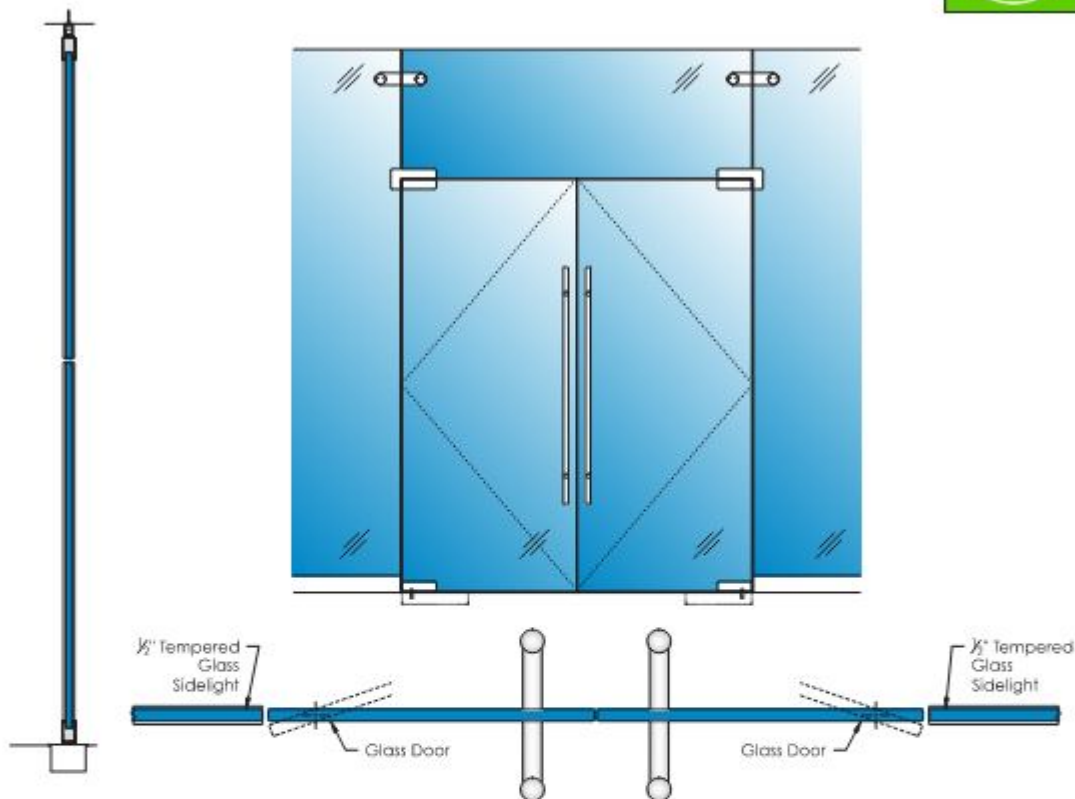
Views From Palafox (Top) and Outdoor Lobby (Bottom)

Renderings



Views From Palafox at Night (Top) and During Storm Event (Bottom)

Pivot Frameless Glass Swing Door (Pair)



Pivot Frameless Glass Swing Doors are completely customizable. The two-way pivoting doors can fit with almost every system we offer and are available with numerous handle options with both locking and standard.

- No Height Limit
- Free Swing options, self-closing options
- ADA compliant

Available Glazing: 3/8" Clear Tempered, 1/2" Clear Tempered, 9/16" Clear Laminated, Lunar[™] Smart Glass, up to 3/4" Glazing is available

Standard Frame Finishes Available: Polyester powder coated finish (RAL color choices), Brushed Finish, Stainless Steel Finish, Custom Finishes available

- Available Hardware:
- Overhead Closer
 - Recessed Floor Closer
 - Patch Fittings
 - Door Rails

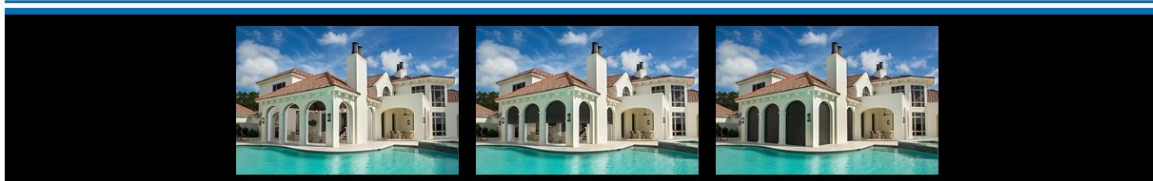
AVANTI
 S Y S T E M S

200 Pemberwick Road
 Greenwich, CT 06831

T: (877) 282-6843
 F: (914) 934-5992
 W: www.avantisystemsusa.com
 E: sales@avantisystemsusa.com



Strong | Smooth | Elegant Design The World's Smallest Shutter Box



Sustainable

The World's Most Sustainable Residential Roller Shutter

- Qompact curtain is 100% Recyclable
- Qompact shutter is 99% Recyclable
- Qompact has No Foam Filling
- Qompact is 99% Aluminum
- Qompact is 60% Recycled
- Qompact has No Waste

QMI Security Solutions

Shutter Height	Qompact Box Size	Other Shutters Box Size	Shutter Height	Qompact Box Size	Other Shutters Box Size
Metric Dimensions			US Dimensions		
5.3m	200mm	350mm	17.3ft	8 in.	14 in.
4m	180mm	300mm	13.1ft	7 in.	12 in.
3.1m	165mm	300mm	10.2ft	6.5 in.	12 in.
2.1m	150mm	250mm	7ft	6 in.	10 in.



Technical Aspects

Slat type: Engineered roll-up with slat groupings increasing in size and radius to enable slats to nest around the drive tube to minimize housing size.

- Aluminum Single Wall Slats: Extruded aluminum, 6063-T5 alloy. Solid slats with non-slip hinge.
- End Retention: both ends of each slat to contain #10 x 3" truss head torx 410 stainless steel Dacromet-coated screws with shoulder bushings permanently engaged into a channel within the side rail to prevent the curtain from being pried or pushed out of a non-retained side rail.
- Qompact slats are not available in vision/perforated patterns. See AL7 security shutter for vision slat systems.

Bottom Slat: Extruded aluminum, 6063-T6 alloy, 0.050 inch wall thickness.

- See Level 7 Locks.
- Motorized shutters do not require a lock since the motor maintains the shutter curtain in the down position. A separate locking base slat is not required.
- Gear operated shutters do not require a separate locking base slat. Provide non-latching base slat.
- EZ drive operated shutters do not require a separate locking base slat. Provide non-latching base slat.

Motor options: see Level 7 Motors and Overrides and HZ and remotes. **End Caps:** Die-cast Aluminum (square) (45 degree) (round) profile. Color to match slats. **Box Cover (hood):** Roll formed aluminum; .036 inch thickness, 3105-H14 alloy. Two-piece assembly-profile to match end caps. Color to match slats.

- See Level 6 Colors and Boxhousings for color and profile availability.

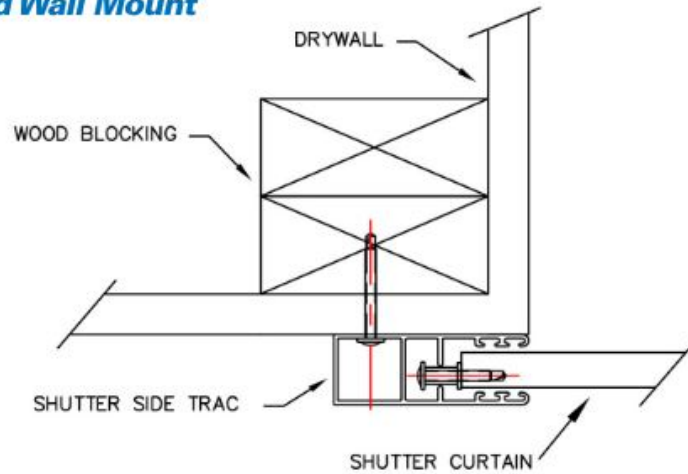
Track Guides/Side Rails: Qompact, Aluminum extrusion, 6063-T5, lined with insulation woven polypropylene runners. Color to match slats. Aluminum extrusions; 6063-T6.

- Motorized Rails: 3-5/8" x 1-1/8" retained only rail for motorized) or
- Manual Rails: 4-1/4" x 1-1/8" retained and stop rail for manual crank or manual push up/pull down.

Drive Tube: Aluminum, 6063-T6 alloy – 70mm round with interior splines.

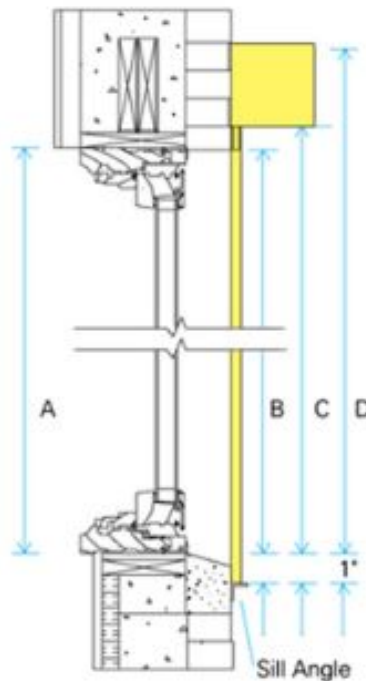
Mounting Details

Standard Wall Mount



SHUTTER MOUNTING DETAIL
THROUGH DRYWALL INTO WOOD

Surface Mount





FEATURES & SPECIFICATIONS

INTENDED USE — Recessed LED kits include housing, trim, and wire connectors in one package. The LED kit is the most economical means to create a well lit environment with exceptional energy efficiency and near zero maintenance. The LED kit maintains at least 70% light output for 35,000 hours.

CONSTRUCTION — Steel housing with 4 remodel clips and 3 wire nuts for installation in existing plaster, sheet rock or mechanical ceiling. Heavy-gauge galvanized steel raceway arm. Durable, powder coat paint prevents rust. Easily converts to new construction application using accessories (sold separately).

Galvanized steel junction box with three 7/8" knockouts with slots for pryout. Not suitable for pulling wires.

Hook & hang snap-on J-box doors for easy access.

Rated for 90°C. Ground wire provided.

Available in 3000 K or 5000 K color temperature LEDs.

OPTICS — White baffle recesses optical system into the ceiling to prevent glare and provide a traditional look. Diffused lens provides even illumination throughout the space.

ELECTRICAL — High-efficiency driver mounted on the module. Primary power disconnect provided for simple connection to a dedicated LED connector in the housing.

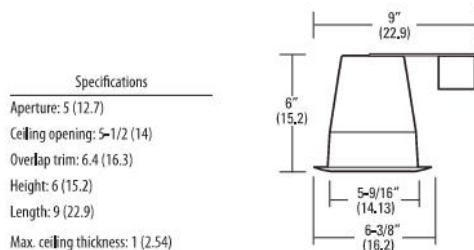
Dimming down to 15%. See page 2 for recommended triac dimmers.

Standard input wattage is 10.6 W, 62 lumens per watt (3000 K) and 10.2W, 77 lumens per watt (5000 K); equivalent to 65 watt PAR30.

LISTINGS — ETL certified for use in the US and Canadian safety standards. California T24 compliant. ENERGY STAR® qualified. WSEC ASTM E283 for Air-Tight, Wet location listed.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



All dimensions are inches (centimeters) unless otherwise indicated.

Catalog Number
Notes
Type

LED Recessed Downlighting

LK5B

5" Baffle LED Recessed Kit

IC/Non-IC
New & Remodel Construction



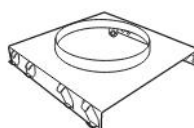
ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: LK5BMW LED

Series	Reflector	Finish	Lamps	Color temp/CRI/Watts/Lumens	Voltage
LK5 5" LED recessed kit	B Baffle	MW Matte white ORB Oil-rubbed bronze	LED	(blank) 3000 K/93CRI/10.6W/660L (WH), 530L (ORB) 50K 5000 K/94CRI/10.2W/790L (WH), 580L (ORB)	(blank) 120V

Accessories: Order as separate catalog number.	
LKASP	5" new construction pan
LKABH	Hanger bars for conversion to new construction



LKASP
New construction pan



LKABH
Hanger bars

DOWNLIGHTING

LK5B-LED_(GEN4)

Visit our web site at www.SeaGullLighting.com
 6616504-839 - page 1 of 1



6616504-839: Large Four Light Pendant



Collection: Geary

UPC #: 785652001482

Finish: Blacksmith (839)

Dimensions:

Diameter: 25" **Overall Height:** 101"
Height: 27 1/8" **Wire:** 120" (color/Black)
Weight: 13.9 lbs. **Chain:** 72"
Mounting Proc.: Center Lock-Up
Connection: Mounted To Box

Bulbs:

4 - Medium A19 100w Max. 120v - Not included

Features:

- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.
- Supplied with wire pre-laced through chain

Material List:

1 Body - Steel - Blacksmith
 1 Chain - Steel - Blacksmith

Safety Listing:

Safety Listed for Damp Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990P661650_-GRY)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Shade	Glass	Satin Etched	1	G560320-619			6 3/4	24				

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Canopy	3/4			4 7/8		

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	6616504-839	1	785652001482	28	27.75	14.25	6.408	22.7	250	Yes
NJ Pallet		9		48	40	74	82.222	204.3		No
NV Pallet		9		48	40	74	82.222	204.3		No

Sea Gull Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to modify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Sea Gull Lighting. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Sea Gull Lighting 1/4 1/2 A Generation Brands Company.



SUBMITTAL SHEET

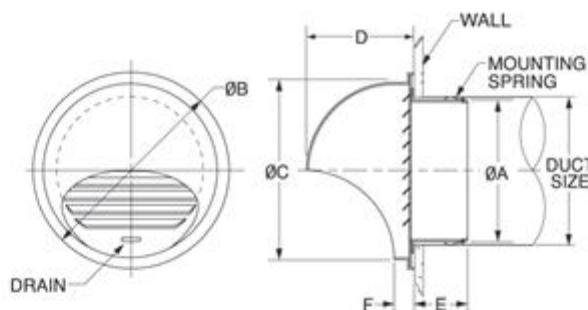
www.seiho.com

Model: SFX

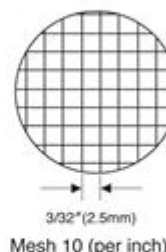
Aluminum Vent Cap

- Fresh Air Intake/Exhaust Outlet
- For Interior and Exterior Location
- Optional Insect Screen (SFX-N)

- Material: Aluminum
- Standard Finish: Clear Anodized



Optional Insect Screen

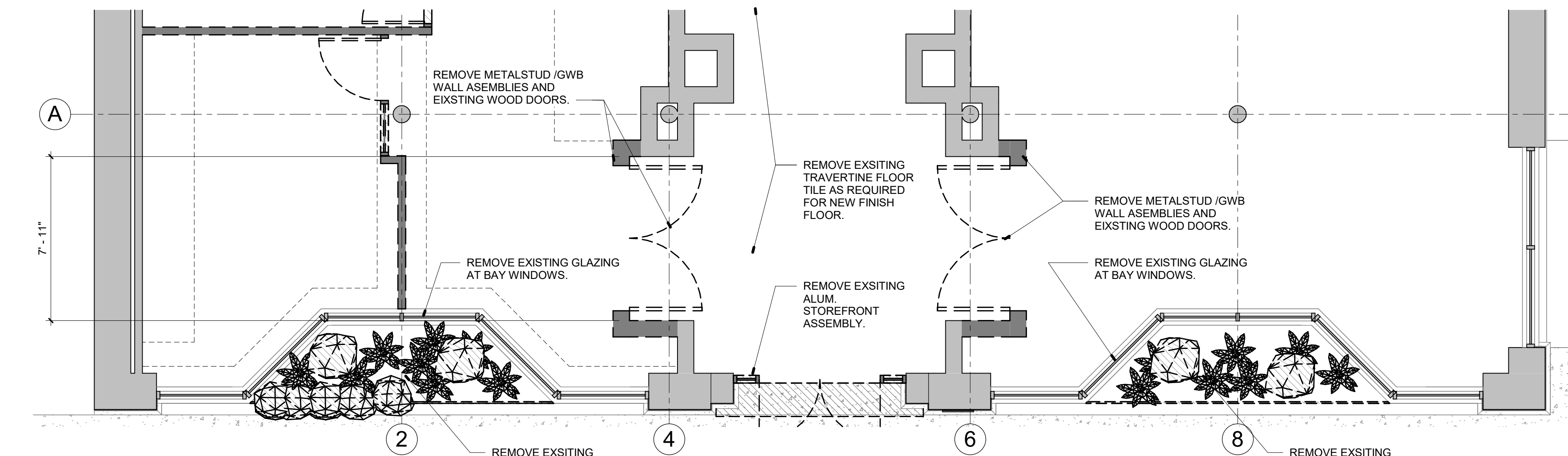


MODEL	DUCT SIZE	A	B	C	D	E	F	FREE AREA
SFX 3	3	2 29/32	4 3/4	3 29/32	2 11/16	1 9/16	9/16	0.02 sq. ft.
SFX 4	4	3 13/16	6 3/32	5 1/8	3 17/32	1 9/16	3/4	0.04 sq. ft.
SFX 5	5	4 3/4	6 29/32	5 29/32	3 15/16	1 31/32	3/4	0.05 sq. ft.
SFX 6	6	5 23/32	8 1/16	7 1/16	4 17/32	2 9/16	3/4	0.08 sq. ft.
SFX 7	7	6 11/16	9 15/32	8 9/32	5 1/8	2 9/16	3/4	0.11 sq. ft.
SFX 8	8	7 11/16	10 5/8	9 7/16	5 23/32	2 31/32	3/4	0.14 sq. ft.
SFX 10	10	9 21/32	13	11 13/16	6 29/32	3 11/32	3/4	0.24 sq. ft.
SFX 12	12	11 29/64	14 11/64	13	7 31/64	2 3/4	3/4	0.31 sq. ft.

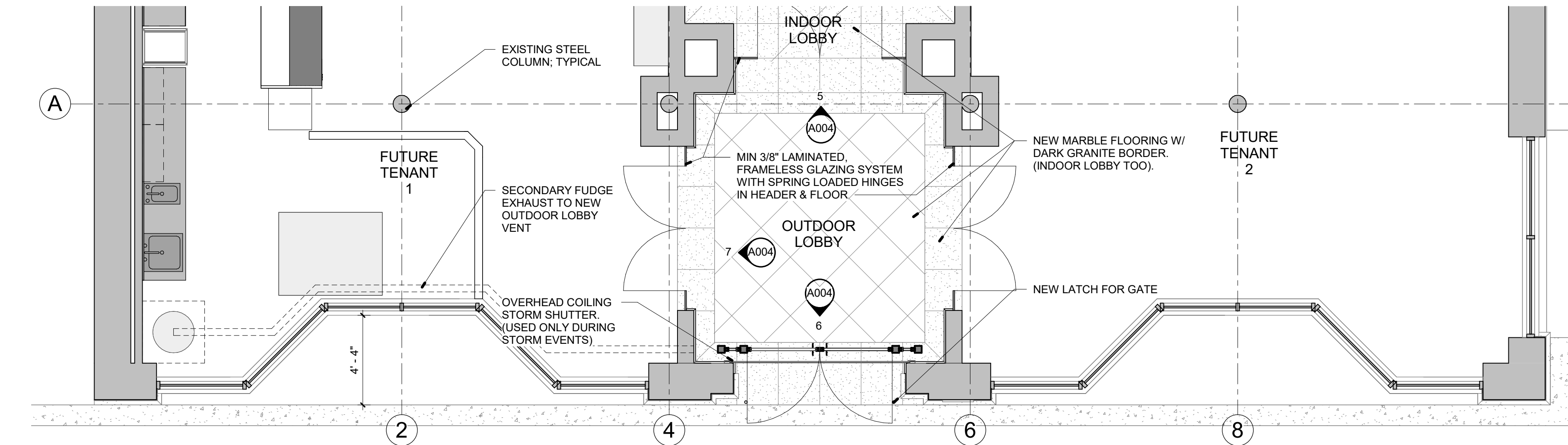
Product information is subject to change without notice. All dimensions in inches.

JOB NAME:	SUBMITTED BY:	DATE:	Model SFX Aluminum Vent Cap
LOCATION:			
ARCHITECT:			Form No.402-23S
ENGINEER:			
CONTRACTOR:			

P.O.Box 91813 Pasadena, CA 91109 U.S.A. Tel: (800) 248-0030 (626) 395-7299 Fax: (626) 395-7290 <http://www.seiho.com> e-mail: info@seiho.com



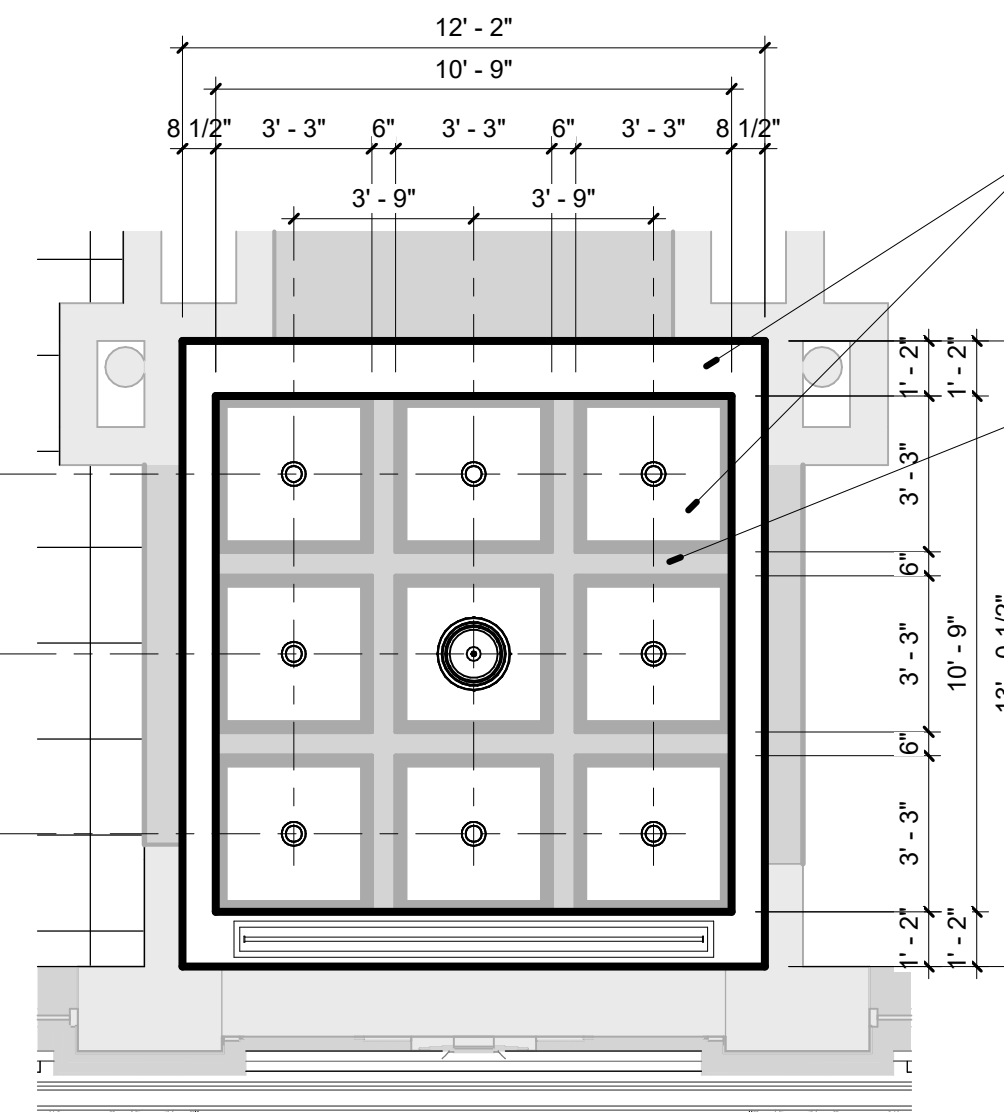
1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



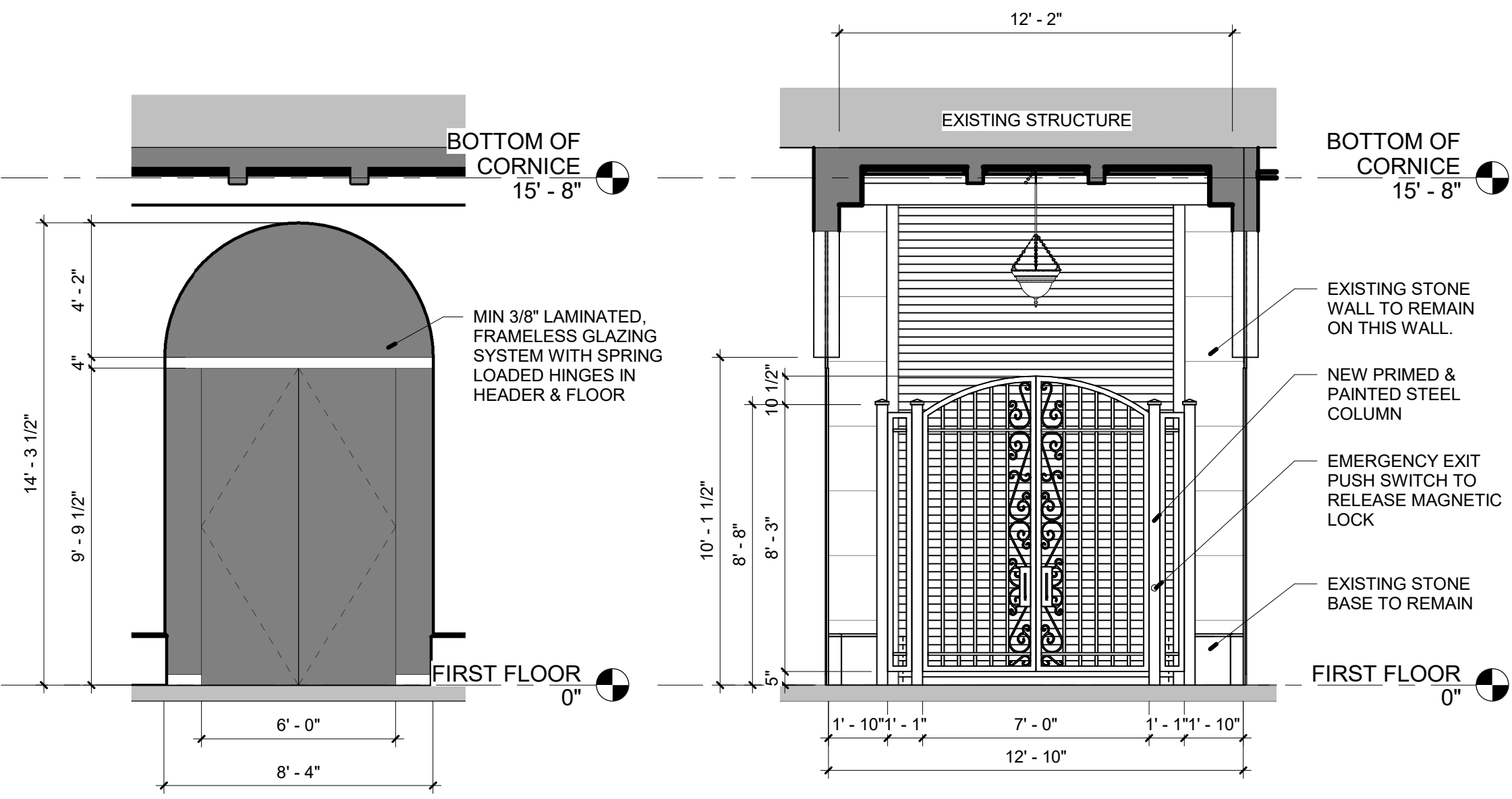
2 NEW WORK FIRST FLOOR PLAN
1/4" = 1'-0"



3 WEST ENTRY ELEVATION
1/4" = 1'-0"

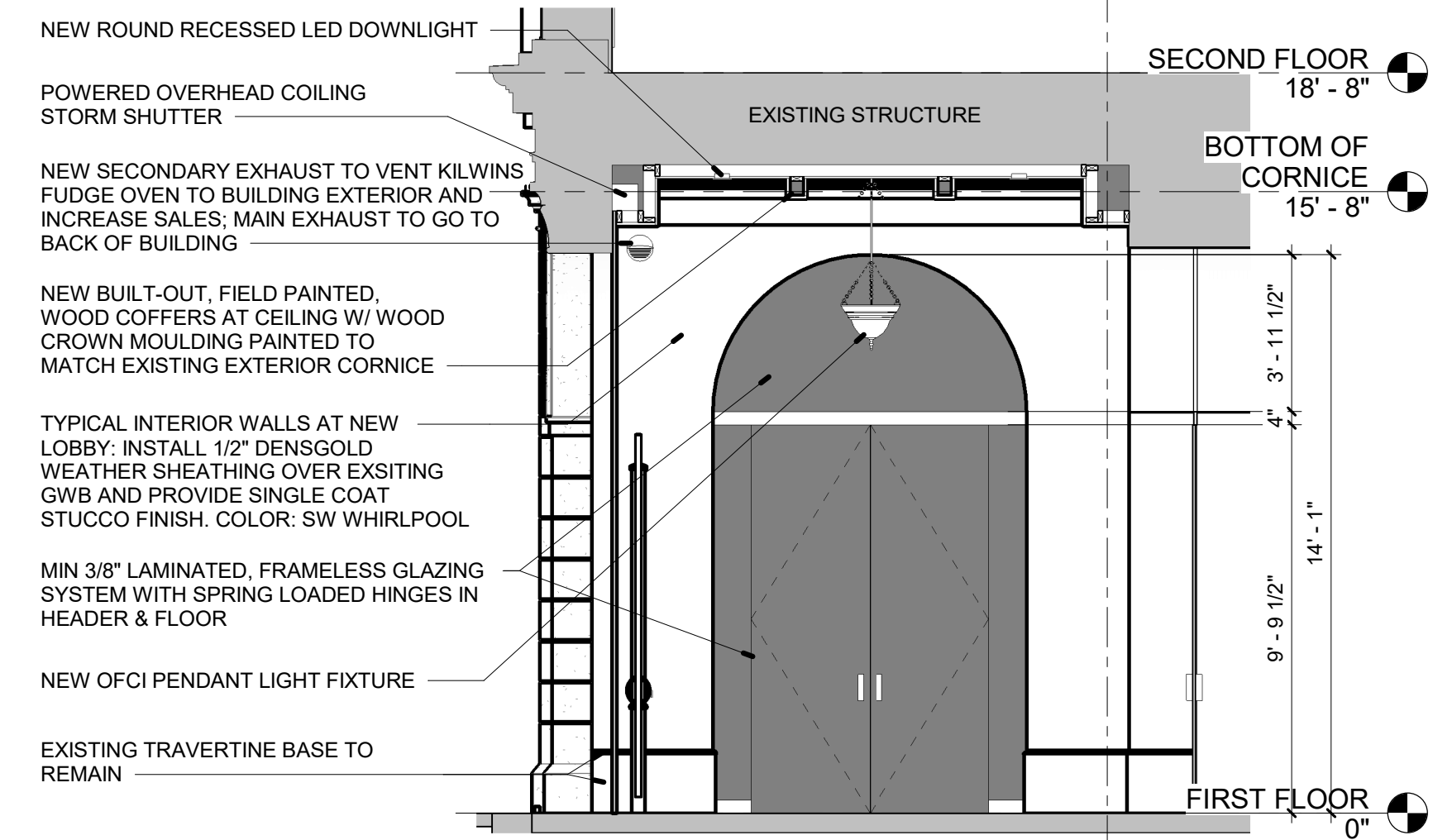


8 OUTDOOR LOBBY RCP
1/4" = 1'-0"



5 NEW LOBBY ENTRANCE
1/4" = 1'-0"

6 FOLDING SECURITY GATE DETAIL
1/4" = 1'-0"



7 TYP NEW TENANT ENTRANCE
1/4" = 1'-0"



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00741

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

200 S. Palafox Plaza
Palafox Historic Business District / Zone C-2A
New Construction of an Entrance Canopy

BACKGROUND:

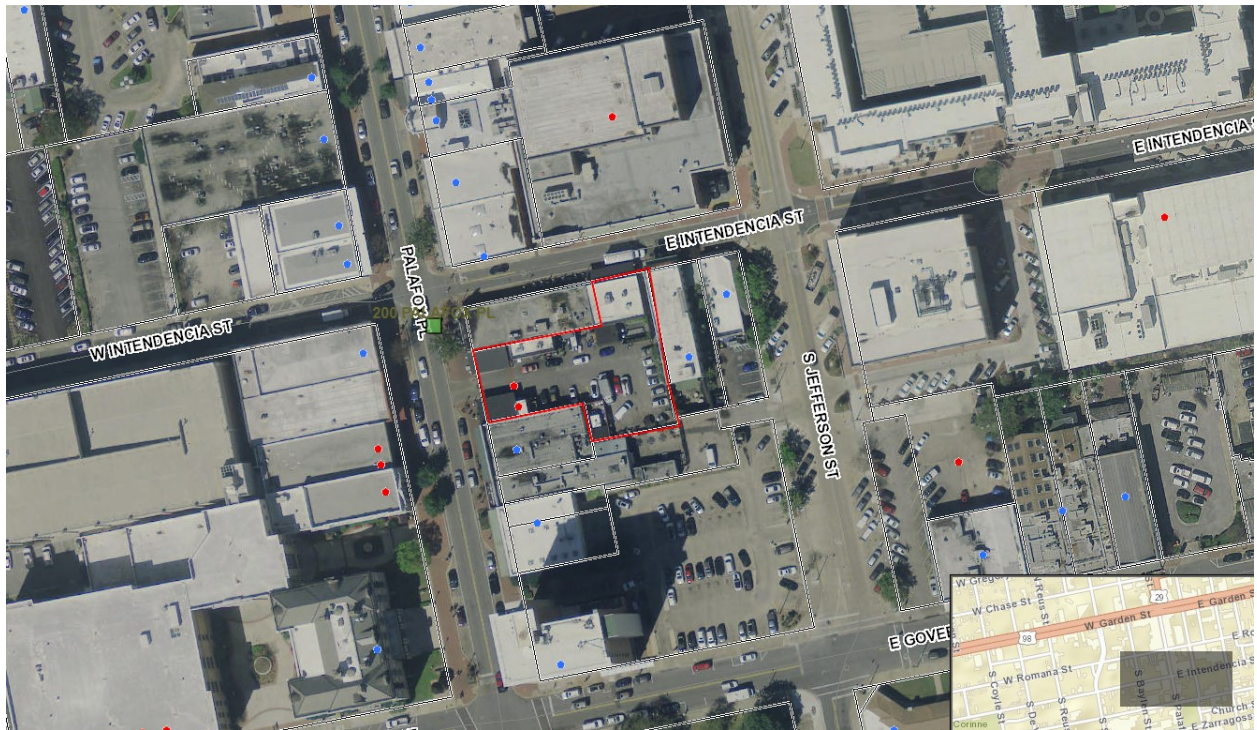
Scott Sallis is requesting final approval for a new steel framed canopy to cover the space between 200 S. Palafox and 210 S. Palafox. The proposed structure will become the new entry to an outdoor event plaza and will link the adjacent businesses. New, back-lit signage will be mounted to the front powder coated aluminum entry archway. However, specific details for the signage will follow in an abbreviated review. The canopy will have a decorative powder-coated aluminum entry gate, a wood tongue and groove ceiling, a flat standing seam metal roof, recessed and mounted down lighting, and will be flanked by metal planters.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-27(f)(2)a. and b. Palafox Historic Business District, Decisions

200 Palafox Plaza





**Architectural Review Board Application
Full Board Review**

Application Date: 06-30-22

Project Address: 202 S Palafox Pl.

Applicant: Dalrymple Sallis Architecture | Samantha Garrett

Applicant's Address: 503 E. Government St.

Email: samantha@dalsal.com **Phone:** 850-470-6399

Property Owner: 200 South, LLC

District: ☐ PHD ☐ NHPD ☐ OEHPD ☒ PHBD ☐ GCD

(If different from Applicant)

Application is hereby made for the project as described herein:

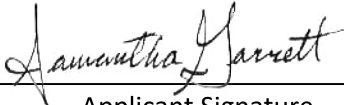
- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

We are seeking final approval for a new steel framed canopy covering the space between 200 South Palafox and 210 South Palafox. This structure will become the new entry to an outdoor event plaza at 202 South Palafox. New back-lit signage will be mounted to the front, powder coated aluminum entry arch.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.


Applicant Signature

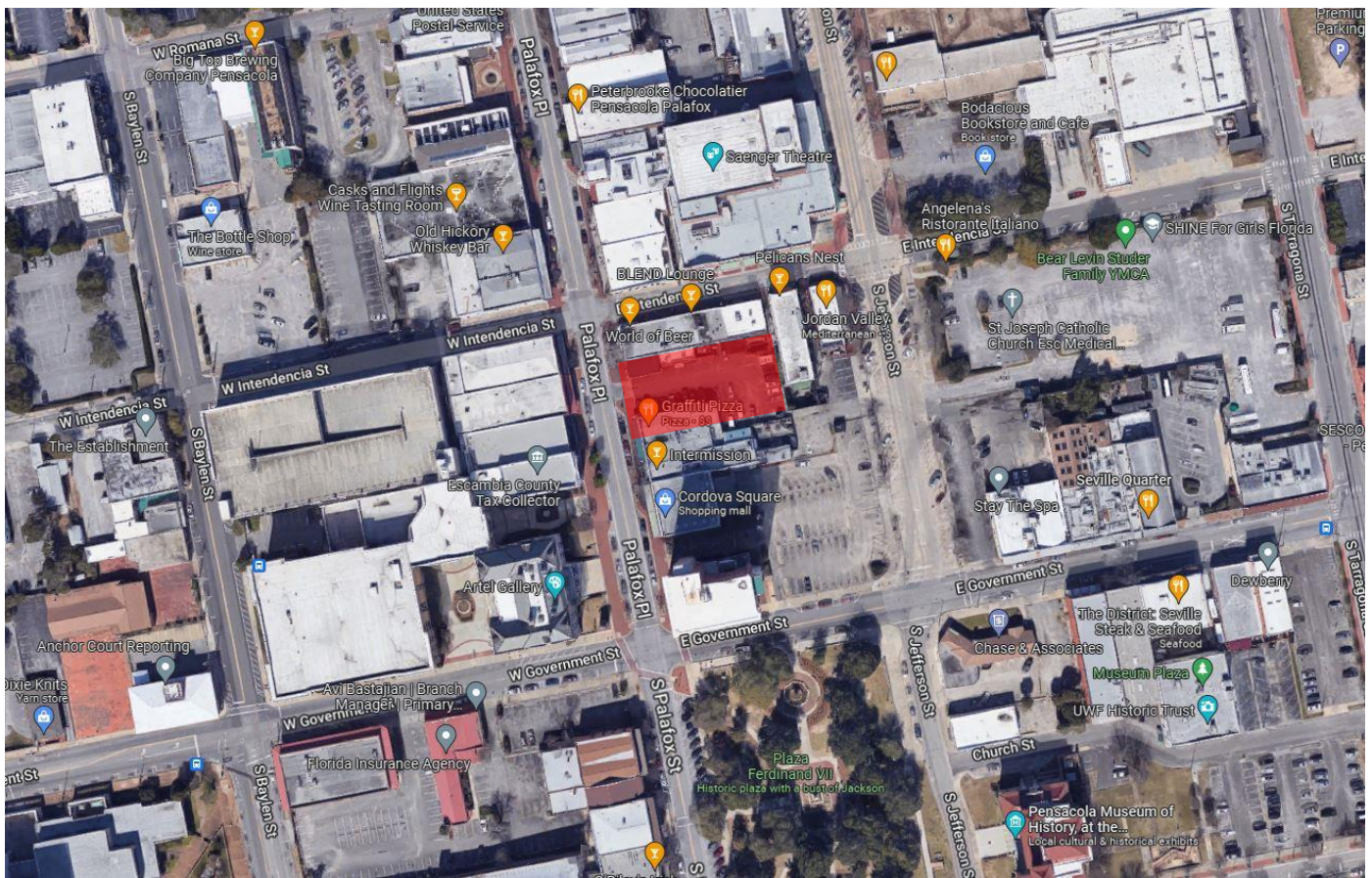
06-30-22
Date

Date: Friday, July 08, 2022

Project: 200 South Plaza
202 S Palafox Pl.
Pensacola, FL 32502

Recipient: Architectural Review Board – City of Pensacola

Project Location



Existing Photographs



Views of Existing Front



Views of Existing Rear

Historic Photographs



210 S Palafox

Exterior Color Schedule

ARCHITECTURAL ELEMENT	MANUFACTURER	COLOR
Powder Coated Aluminum Security Gate	TBD	SW "Black Magic" - Paint
Powder Coated Aluminum Railing	TBD	SW "Black Magic" - Paint
Powder Coated Aluminum Entry Arch	TBD	SW "Black Magic" - Paint
Steel Wide Flange Column	TBD	SW "Black Magic" - Paint
Steel Wide Flange Beam	TBD	SW "Black Magic" - Paint
Steel Curved Pipe	TBD	SW "Black Magic" - Paint
Composite Fascia	TBD	SW "Black Magic" - Paint
Tongue and Groove Wood Ceiling	TBD	SW "Crossroads" - Stain
Standing Seam Metal Roof	TBD	"Ash Gray"
Corten Steel Planters	TBD	
Pervious Concrete	TBD	
Precast Concrete Pavers	TBD	

PAINT COLORS



Wood Tongue and Groove Ceiling

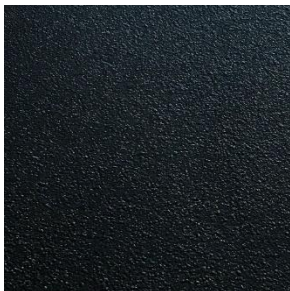
Sherwin Williams:
"Crossroads"



Steel and Aluminum Members

Sherwin Williams:
"Black Magic"

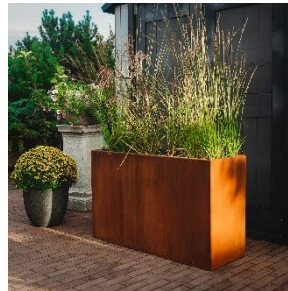
METAL WORK



Security Gate



Planters



ROOF



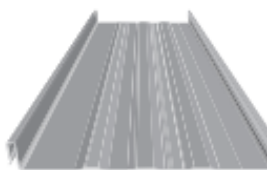
Ash Grey (25)

SR = 0.37

TE = 0.88

SRI = 40

Vertical Seam (12" & 16")



Striated



Flat Pan

"Ash Gray"

PAVING



Pervious Concrete



Concrete Pavers

PLANTING



Reed Grass



Rosemary



Mondo Grass

Application

As an individual luminaire with low mounting heights, it can be used for marking danger areas or in rows for illuminating corridors and passageways. With high mounting heights it can be used as a wall luminaire next to doors or for lighting small wall areas.

Materials

Luminaire housing constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
Matte safety glass
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 64
Weight: 1.1 lbs

Electrical

Operating voltage	120-277V AC
Minimum start temperature	-30° C
LED module wattage	3.0 W
System wattage	5.8 W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	204 lumens (3000K)
Lifetime at Ta = 15° C	>500,000 h (L70)
Lifetime at Ta = 40° C	250,000 h (L70)

LED color temperature

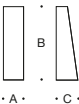
4000K - Product number + **K4**
3500K - Product number + **K35**
3000K - Product number + **K3 (EXPRESS)**
2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:



LED wall luminaire · directed light					
	LED	A	B	C	Required wiring box
33514	ADA 3.0 W	2 1⁄8	7 7⁄8	2 3⁄8	19545

Type:
BEGA Product:
Project:
Modified:





FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. **Wet location standard (covered ceiling).** IP55 rated. ENERGY STAR® certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at:

www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

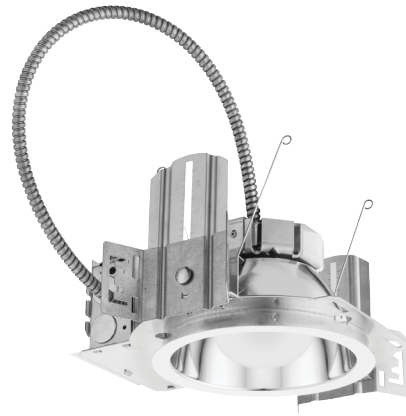
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



A+ Capable options indicated by this color background.

Catalog Number
Notes
Type



LDN6

6" OPEN and WALLWASH LED
Non-IC
New Construction Downlight



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6															
Series		Color temperature		Lumens ¹		Aperture/Trim Color				Finish		Voltage			
LDN6	6" round	27/	2700K	05	500 lumens	25	2500 lumens	L06	Downlight	AR	Clear	LSS	Semi-specular	MVOLT	Multi-volt
		30/	3000K	10	1000 lumens	30	3000 lumens	LW6	Wallwash	WR ²	White	LD	Matte diffuse	120	120V
		35/	3500K	15	1500 lumens	40	4000 lumens			BR ²	Black	LS	Specular	277	277V
		40/	4000K	20	2000 lumens	50	5000 lumens							347 ³	347V
		50/	5000K												

Driver	Options
GZ10 0-10V driver dims to 10%	SF ⁴ Single fuse
GZ1 0-10V driver dims to 1%	TRW ⁵ White painted flange
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	TRBL ⁵ Black painted flange
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	EL ⁶ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELR ⁶ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELSD ⁶ Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELRSD ⁶ Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	E10WCP ⁶ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB
	E10WCPR ⁶ Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB
	NPP16D ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).
	NPP16DER ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.
	N80 ⁸ nLight™ Lumen Compensation
	NPS80EZ ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
	NPS80EZER ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
	HAO ¹¹ High ambient option
	CP ¹² Chicago Plenum
	RRL____ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
	NLTAIR2 ^{9,10} nLight® Air enabled
	NLTAIRER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options
	USPOM US point of manufacture
	90CRI High CRI (90+)

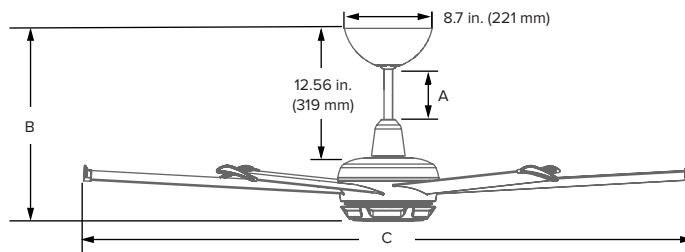
Accessories: Order as separate catalog number.	
PS1055CP	FMC Power Sentry battery pack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter ¹
SCA6	Sloped ceiling adapter. Refer to TECH-SCA for more options.

Notes

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2 and NLTAIRER2 not recommended for metal ceiling installations.
- Fixture height is 6.5" for all lumen packages with HAO.
- Must specify voltage for 3000lm. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.

es6

CONTEMPORARY STYLE, COMMANDING PERFORMANCE



Pictured with 7 in. (178 mm) downrod⁵

Downrod Lengths

Downrod (A)	7 in. (178 mm)	20 in. (508 mm)	32 in. (813 mm)	48 in. (1219 mm)	60 in. (1524 mm)
Fan Height (B)	18.9 in. (480 mm)	31.9 in. (810 mm)	43.9 in. (1115 mm)	60 in. (1521 mm)	72 in. (1826 mm)
Ceiling Height	9–11 ft (2.7–3.4 m)	11–13 ft (3.4–3.9 m)	13–14 ft (3.9–4.3 m)	14–16 ft (4.3–4.9 m)	16–18 ft (4.9–5.5 m)

Technical Specifications

Diameter (C)	CFM	Efficiency (CFM/W)	Max Watts	Max Speed	Input Power	Weight ¹	Light Kit	Environment ²	Sound Level ³
60 in. (152 cm)	7,880	362	21.8	144 RPM	100–277 VAC, 50/60 Hz, 1 Φ	25 lb (11.3 kg)	1,770 lm 72.6 lm/W	Indoor Covered outdoor (inland)	<35 dba at max speed
72 in. (183 cm)	9,959	420	23.7	115 RPM		27 lb (12.1 kg)			
84 in. (213 cm)	10,121	429	23.6	85 RPM		29 lb (13.2 kg)			

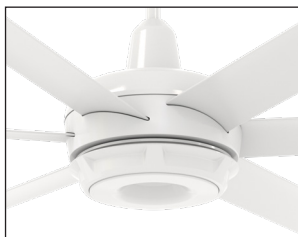
Construction Features

Airfoils	Motor and Hub	Controls	Onboard Sensor	Integrations ⁴	Mounting	Accessories
Made from aircraft-grade aluminum Tilted blade profile for maximum coverage area	High-efficiency, brushless DC/EC motor	Handheld remote Mobile app Voice control	Motion sensor	Voice control with Google Assistant or Amazon Alexa	Flat or sloped ceilings 9 ft (2.7 m) or taller Maximum slope: 34°	LED light Kit

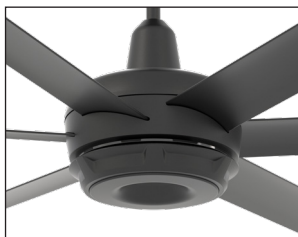
Ordering Information

Diameter	Finish	Downrod ⁵	LED Light	0–10 V
MK-ES61-052306: 60 in. (152 cm) MK-ES61-062306: 72 in. (183 cm) MK-ES61-072306: 84 in. (213 cm)	A786: Black A787: White	I07: 7 in. (152 mm) I20: 20 in. (305 mm) I32: 32 in. (610 mm) I00: 48, 60 in. (1219, 1524 mm)	Blank: No LED Light S2: LED Light	Blank: No 0–10 V V54: 0–10 V

Finish Options



White



Black

LED Light Kit



Remote



Magnetic Holder



Fixed Wall Mount

¹ Weight does not include mount or downrod.

² Not suitable for salt air environments.

³ Actual results of sound measurements in the field may vary due to sound reflective surfaces and environmental conditions.

⁴ Google Assistant is a trademark of Google LLC. Amazon, Alexa and all related logos are trademarks of Amazon.com, Inc. or its affiliates.

⁵ 48 and 60 in. (1219 and 1524 mm) downrods ordered separately. 7 in. (178 mm) downrod not available on 84 in. (213 cm) fans.

Lead times may vary.

Warranty period and terms vary by country and application.

Renderings



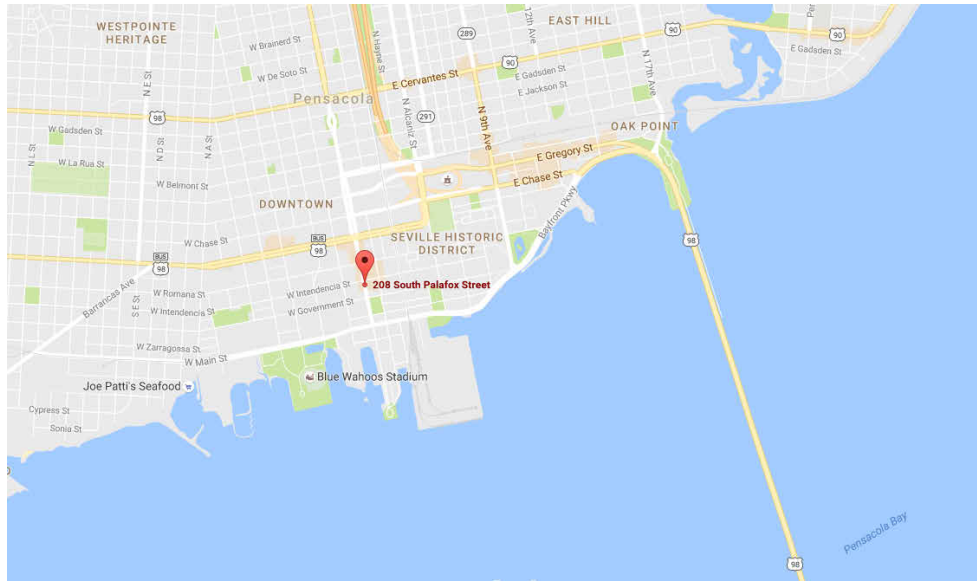




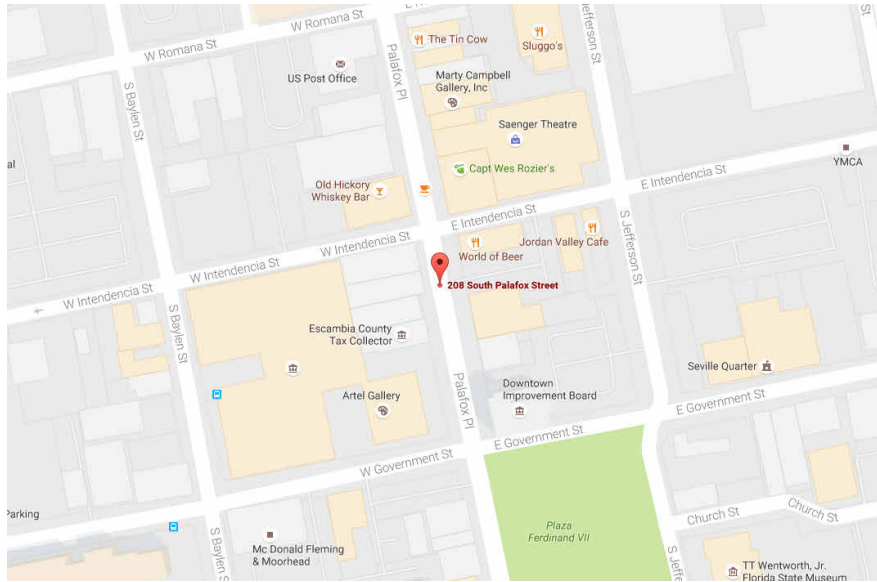
200 South Plaza

A PLAZA DESIGN FOR 200 SOUTH, LLC

202 S. PALAFOX ST., PENSACOLA, FL.



VICINITY MAP



SITE MAP

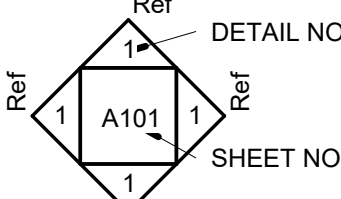
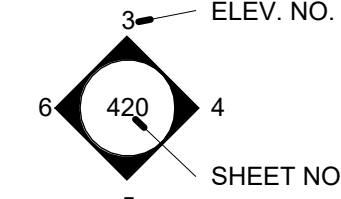


NOTE: ALL 3D VIEWS ARE CONCEPTUAL AND NOT CONSIDERED CONTRACT DOCUMENTS.

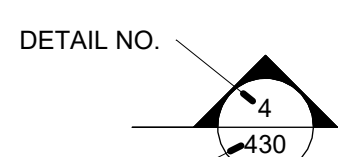
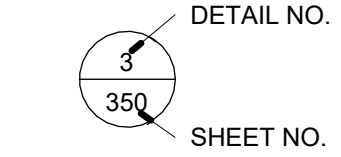
GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 EDITION.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE ARE ISSUED.
- CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ARCHITECT. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OF RECORD. ANY DISCREPANCIES, OMISSIONS OR VARIATIONS NOTED IN THE CONSTRUCTION DOCUMENTS OR DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT FOR HIS REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSUMPTIONS OF CONSTRUCTION DOCUMENTS NOT VERIFIED IN WRITING BY THE ARCHITECT OF RECORD.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND CONSTRUCTION PROCEDURES.
- DO NOT SCALE DRAWINGS; USE DIMENSIONS.
- DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYS IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- PRODUCT SUBSTITUTION SHALL BE MADE SUBJECT TO FULL COMPLIANCE WITH THE CRITERIA NOTED HEREON. ANY SUCH SUBSTITUTION SHALL BE SUBJECT TO PRIOR APPROVAL BY THE DESIGN PROFESSIONAL AND THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF THE WORK, PROVIDE THE ARCHITECT WITH A PROPOSED SUBMITTAL SCHEDULE. ALLOW, AT MINIMUM, (12) BUSINESS DAYS FOR EACH SUBMITTAL REVIEW. NO EXTENSION OF THE CONTRACT TIME OR INCREASE IN THE CONTRACT SUM WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.
- COMPLY WITH 2020 FBC 1609.1.2 FOR COMMERCIAL WORK REGARDING OPENING PROTECTION. FOR R-3 OCCUPANCIES ONLY, OPTION TO PROVIDE FLORIDA PRODUCT APPROVED IMPACT RESISTANT GLAZING PRODUCT, OR WIND LOAD APPROVED WINDOWS PROTECTED WITH FLORIDA PRODUCT APPROVED OPENING PROTECTION SYSTEM. IF LATTER OPTION IS USED, PROVIDE (2) COPIES OF MARKED INSTALLATION INSTRUCTIONS FOR ANCHOR SIZE, SPACING, MOUNTING TYPE, ETC.

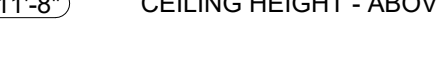
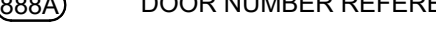
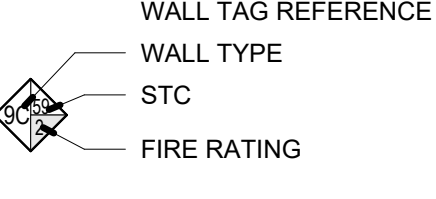
ELEVATION REFERENCES



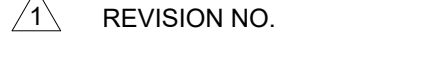
DETAIL REFERENCES



ANNOTATION REFERENCES

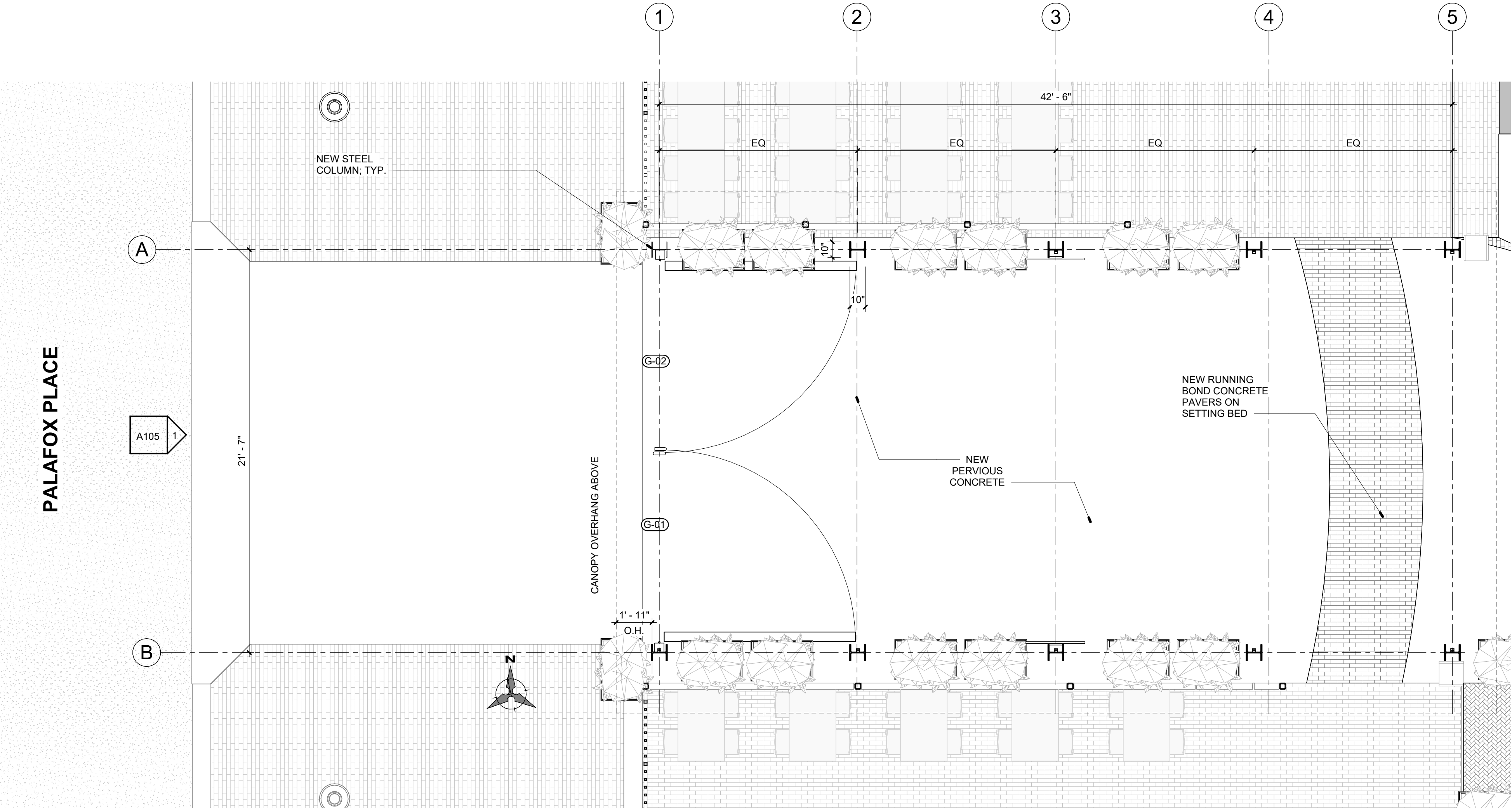


REVISION NUMBER REFERENCE

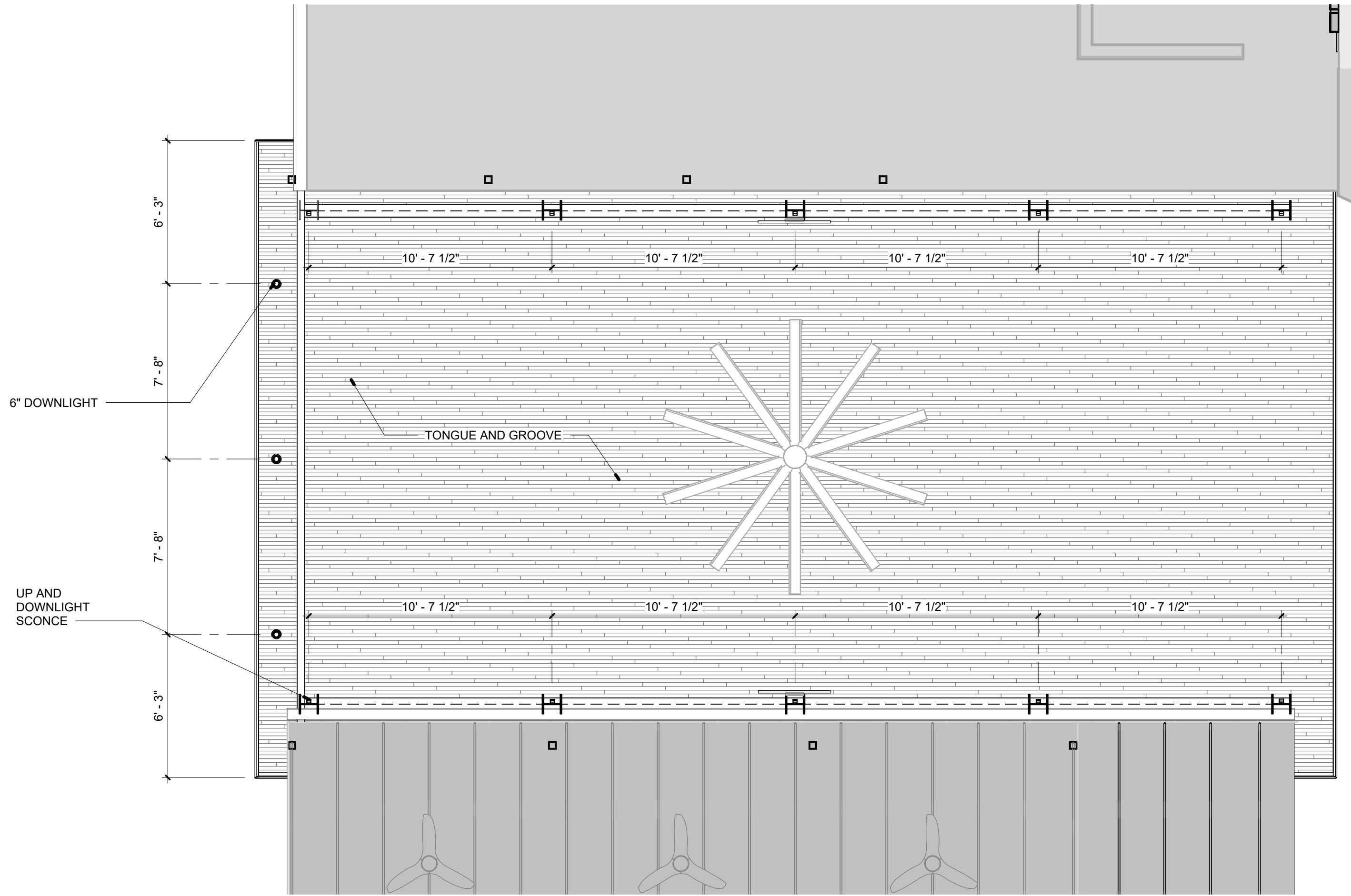


INDEX OF DRAWINGS

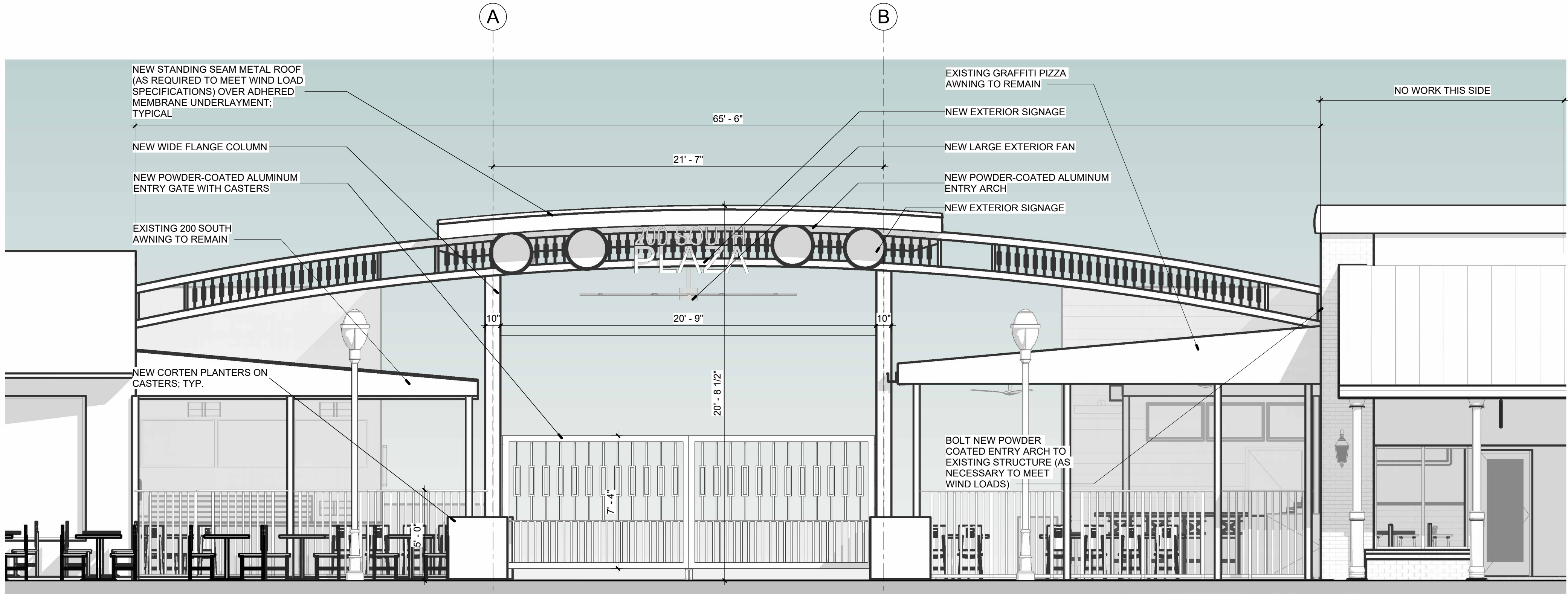
Sheet #	Sheet Title	Rev. #
General		
G001	TITLE SHEET	
Architectural		
A001	DEMOLITION PLAN	
A101	NEW WORK FLOOR PLAN	
A104	BUILDING SECTIONS	
A105	EXTERIOR ELEVATIONS	
A107	DETAILS AND SCHEDULES	
A700	3D PERSPECTIVE VIEWS	



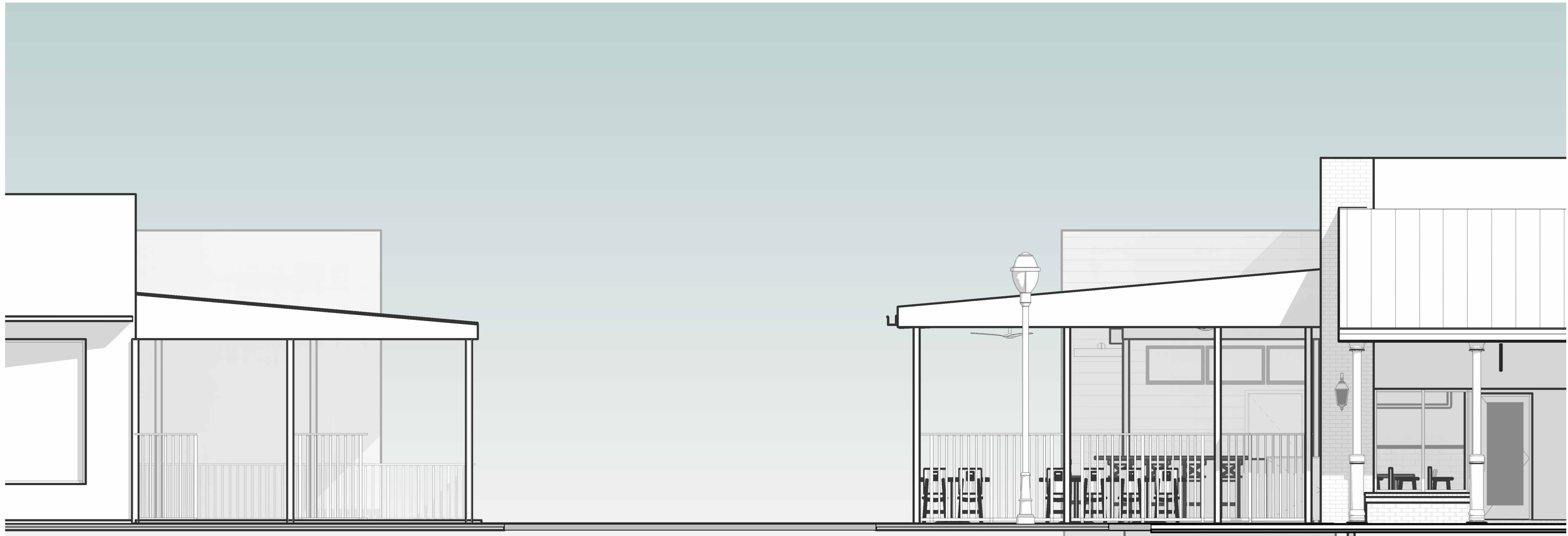
1 NEW WORK FLOOR PLAN
1/4" = 1'-0"



3 REFLECTED CEILING PLAN
1/4" = 1'-0"

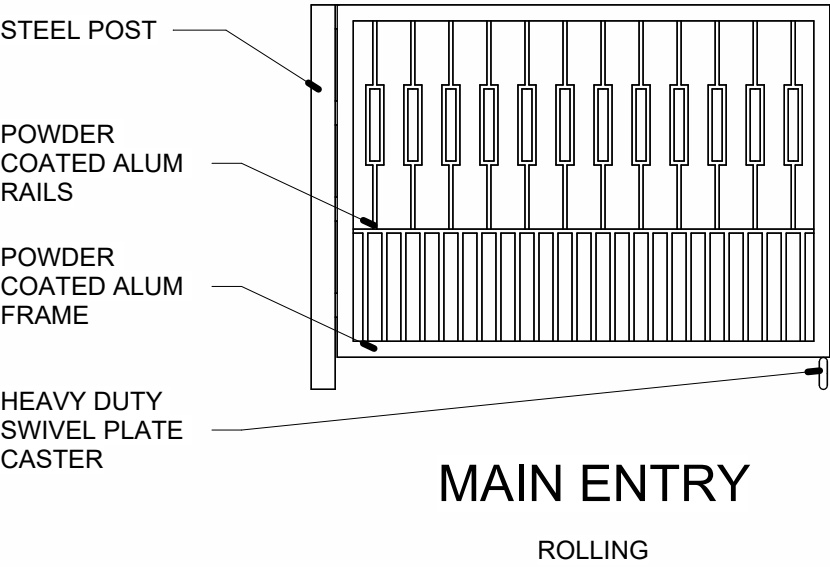


1 WEST ELEVATION (S. PALAFOX ST.)
1/4" = 1'-0"



3 EXISTING WEST ELEVATION (S. PALAFOX ST.)
1/4" = 1'-0"

GATE TYPES





City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00724

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

410 and 412 S. Palafox Street
Pensacola Historic District and Palafox Historic Business District / Zone HC-2
Exterior Renovations to a Contributing Structure

BACKGROUND:

Philip Partington is seeking approval to renovate the exterior of a contributing structure. The scope of work includes the following:

- Replace the existing metal canopy with a new retractable fabric awning;
- Remove the existing right door and replace it with a new window to match the existing windows; and
- Painting the existing brick façade to match the color of the neighboring street front façade to the south.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-3-10(1)d.2.ii.(a) Pensacola Historic District, Procedure for review, Decisions, Alterations to existing contributing buildings

Sec. 12-3-10(1)f. Pensacola Historic District, Alterations to contributing structures

Sec. 12-3-27(f)(2)a. Palafox Historic Business District, Decisions

Sec. 12-3-27(f)(4)b. Palafox, Building fronts

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =
1009 = =

Site No. ES 1197
Site Name _____ 830 = = Survey Date 8210 820 = =
Address of Site: 402 - 410 S. Palafox St., Pensacola, FL 905 = =
Instruction for locating NE corner of S. Palafox St. and E. Main St. 813 = =
Location: Old City Tract 0 S 125' of W 75' 868 = =
subdivision name block no. lot no.
County: Escambia 808 = =
Owner of Site: Name: Willenzik, Oscar S. and Norman ;
Address: P. O. Box 12065
Pensacola, FL 32502 902 = =
Type of Ownership Private 848 = = Recording Date _____ 832 = =
Recorder:
Name & Title: Campbell, D. L. ;
Address: HPPB

Condition of Site: Integrity of Site: Original Use Commercial 818 = =
838 = =
Check One Check One or More
☐ Excellent 863 = = ☒ Altered 858 = = Present Use Commercial 850 = =
☒ Good 863 = = ☐ Unaltered 858 = = Dates: Beginning + 1892 844 = =
☐ Fair 863 = = ☒ Original Site 858 = = Culture/Phase American 840 = =
☐ Deteriorated 863 = = ☐ Restored () (Date:) 858 = = Period 19th Century 845 = =
☐ Moved () (Date:) 858 = =

NR Classification Category: Building 916 = =
Threats to Site:

Check One or More
☐ Zoning () () 878 = = ☐ Transportation () () 878 = =
☐ Development () () 878 = = ☐ Fill () () 878 = =
☐ Deterioration () () 878 = = ☐ Dredge () () 878 = =
☐ Borrowing () () 878 = =
☐ Other (See Remarks Below): 878 = =

Areas of Significance: Architecture, commerce 910 = =

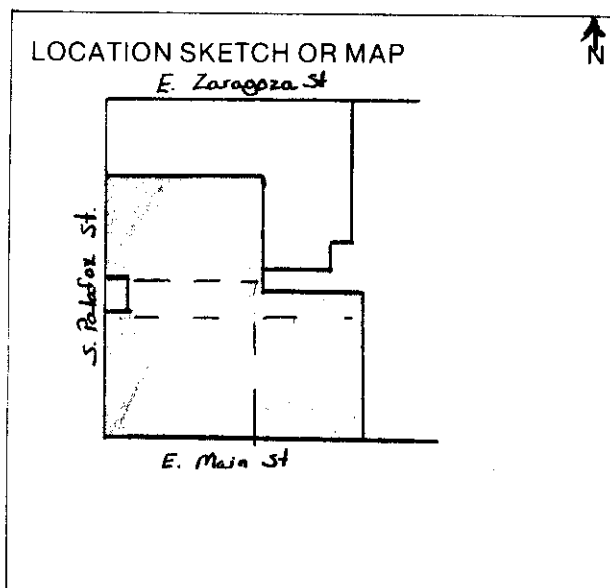
Significance:

This building, constructed in 1892 by the Lewis Bear Company, is an outstanding example of classical revival architecture. A prominent wholesale grocery firm, the Lewis Bear Company occupied the building until 1957.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

911 = =

ARCHITECT Unknown 872 = =
 BUILDER Unknown 874 = =
 STYLE AND/OR PERIOD Classical Revival 964 = =
 PLAN TYPE short L-shaped 966 = =
 EXTERIOR FABRIC(S) Stucco: smooth, scored, textured # 854 = =
 STRUCTURAL SYSTEM(S) Masonry: brick 856 = =
 PORCHES W/gallery with deck, wrought iron railing, wood
deck # W/recessed entry 942 = =
 FOUNDATION: Continuous: brick 942 = =
 ROOF TYPE: Flat: built-up with parapet 942 = =
 SECONDARY ROOF STRUCTURE(S): - 942 = =
 CHIMNEY LOCATION: - 942 = =
 WINDOW TYPE: DHS, 1/1, metal, pediment, louvered shutters 942 = =
 CHIMNEY: - 882 = =
 ROOF SURFACING: Built-up 882 = =
 ORNAMENT EXTERIOR: Pressed metal cornice # frieze # round 882 = =
 NO. OF CHIMNEYS 0 952 = = NO. OF STORIES 2 950 = =
 NO. OF DORMERS 0 954 = =
 Map Reference (incl. scale & date) USGS 7.5 Min. Pensacola 1970
 809 = =
 Latitude and Longitude: ° ' " 800 = =
 Site Size (Approx. Acreage of Property): Lt. 1 833 = =



Township	Range	Section
2S	30W	46

812 = =

UTM Coordinates:

Zone Easting Northing 890 = =

Photographic Records Numbers HPPB P.83.12 Frame 17; 860 = =
HPPB P.83.12 Frame 16

Contact Print



410 and 412 S. Palafox Street



**Architectural Review Board Application
Full Board Review**



Application Date: 6/29/22

Project Address: 410 and 412 South Palafox Place
Applicant: Philip Partington A.I.A.
Applicant's Address: 205 E Intendencia Street, Pensacola FL 32502
Email: Philip@smp-arch.com **Phone:** 850-712-5765
Property Owner: Artisan Retail LLC

District: ☒ **PHD** ☐ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD**
(If different from Applicant)

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The project involves the combination of 410 and 412 south Palafox to serve as a new home for Harry Roy's, a new food and beverage establishment. The exterior work includes the following:

1. Removing the existing canopy and replacing it with a new canopy.
2. Removing an existing door and replacing it with a window to match the existing windows.
3. Painting the existing brick to match the color of the adjacent Artisan facade.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Philip Partington
Applicant Signature

6/68/22

Date



Summary

Pensacola, Florida

June 28th, 2022

SMP # 2133

Harry Roy's

Occupancy Type: A-2,

Construction Type: V-A

Building Height: 1 Story, (20'-0" to parapet).

Building Area:

Ground Floor 2,567 SF

Façade Replacement Items

Awning

Basis of Design: Hampton retractable, 28'-0" wide x 10'-0" deep (projection). Sahara edge/valence, with off-white material color. See enclosed product data sheets.

MFG: Awntech Corp.





Storefront Window

Replacement window is to match existing double-paned, Pella clad-windows.
Basis of Design: Pella Impact-Resistant Glass, conforming to ANSI Z97.1 – 2015 (R2020) Forward, and ASTM E1996 missile D rating.

MFG: Pella Corp.



Retractable Awning Products



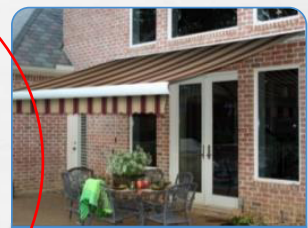
Maui



Destin



Hampton



Galveston



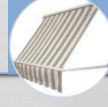
California



Richmond



Mesa



Accessories



 Awntech®

Heavy Duty Retractable Awnings

Galveston- Retractable Awning with Standard Cassette



					Optional accessories				
Model →		GALVESTO N	GALVESTO N Left Motor	GALVESTON Right Motor	WIND OR VIBRATION SENSOR	WINTER COVER	BREEZE SUPPORT ARMS	SOFFIT BRACKETS	ROOF BRACKETS
Model No. →		GTM	GTL	GTR	WIND	WINTER	BREEZE	SOFFIT	ROOF
Width x Projection	8' x 7'	\$999.95	\$1,199.95	\$1,199.95	\$199.95	\$99.95	-	-	\$75 ea. X 2
	10' x 8'	\$1,149.95	\$1,399.95	\$1,399.95	\$199.95	\$109.95	-	-	\$75 ea. X 2
	12' x 8'	\$1,299.95	\$1,499.95	\$1,499.95	\$199.95	\$119.95	-	-	\$75 ea. X 3
	14' x 8'	\$1,399.95	\$1,599.95	\$1,599.95	\$199.95	\$129.95	-	-	\$75 ea. X 3
	16' x 8'	\$1,649.95	\$1,849.95	\$1,849.95	\$199.95	\$139.95	-	-	\$75 ea. X 4
	18' x 8'	\$1,999.95	\$2,199.95	\$2,199.95	\$199.95	\$149.95	-	-	\$75 ea. X 5
	20' x 8'	\$2,399.95	\$2,599.95	\$2,599.95	\$199.95	\$159.95	-	-	\$75 ea. X 5
	24' x 8'	\$2,899.95	\$3,099.95	\$3,099.95	\$199.95	\$179.95	-	-	\$75 ea. X 6

Hampton- Retractable Awning with Luxury Cassette



					Optional accessories				
Model →		HAMPTON	HAMPTON Left Motor	HAMPTON Right Motor	WIND OR VIBRATION SENSOR	WINTER COVER	BREEZE SUPPORT ARMS	SOFFIT BRACKETS	ROOF BRACKETS
Model No. →		HTM	HTL	HTR	WIND	WINTER	BREEZE	SOFFIT	ROOF
Width x Projection	8' x 7'	\$1,349.95	\$1,599.95	\$1,599.95	\$199.95	\$99.95	\$129.95	\$35.95 ea x 2	\$75.95 ea x 2
	10' x 8'	\$1,469.95	\$1,719.95	\$1,719.95	\$199.95	\$109.95	\$129.95	\$35.95 ea x 2	\$75.95 ea x 2
	12' x 10'	\$1,699.95	\$1,949.95	\$1,949.95	\$199.95	\$119.95	\$129.95	\$35.95 ea x 3	\$75.95 ea x 3
	14' x 10'	\$1,899.95	\$2,149.95	\$2,149.95	\$199.95	\$129.95	\$129.95	\$35.95 ea x 3	\$75.95 ea x 3
	16' x 10'	\$2,199.95	\$2,449.95	\$2,449.95	\$199.95	\$139.95	\$129.95	\$35.95 ea x 4	\$75.95 ea x 4
	18' x 10'	\$2,499.95	\$2,649.95	\$2,649.95	\$199.95	\$149.95	\$129.95	\$35.95 ea x 5	\$75.95 ea x 5
	20' x 10'	\$2,899.95	\$3,149.95	\$3,149.95	\$199.95	\$159.95	\$129.95	\$35.95 ea x 5	\$75.95 ea x 5
	24' x 10'	\$3,499.95	\$3,749.95	\$3,749.95	\$199.95	\$179.95	\$129.95	\$35.95 ea x 6	\$75.95 ea x 6

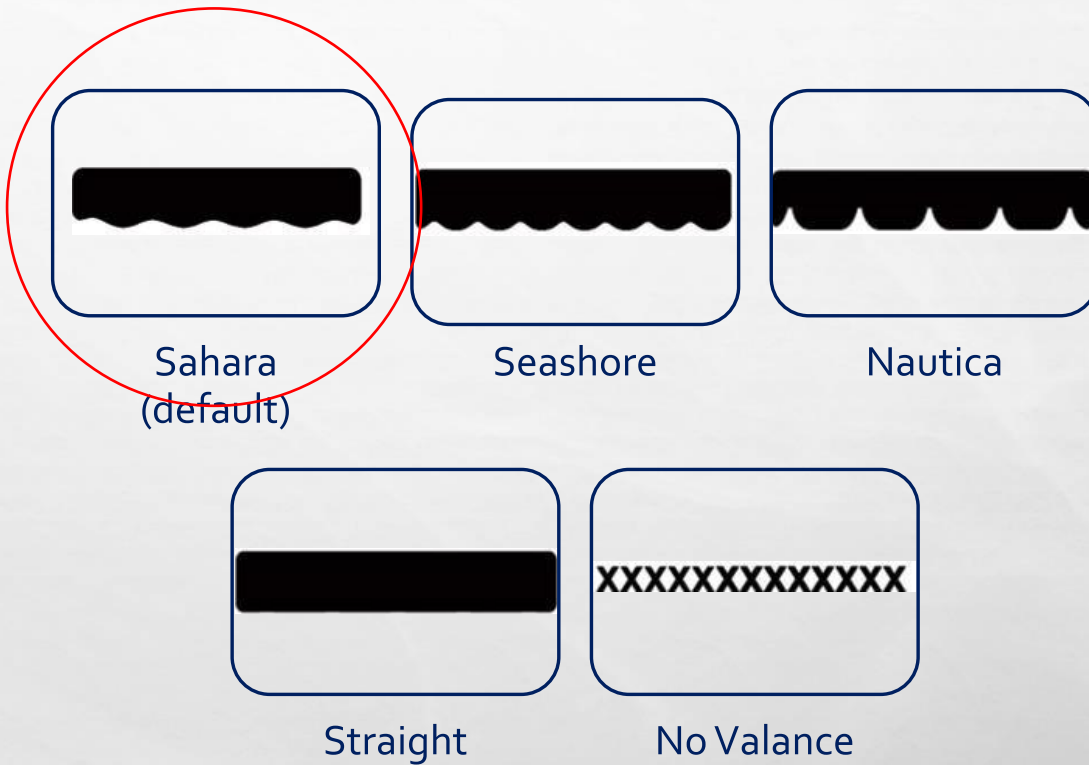
Awntech®

WILL NEED
APPROXIMATELY
28'-0" WIDTH,
CUSTOM

Solution Dyed 100% Acrylic Fabric Colors- Solid



Awning Valance Styles



Listen. Interpret. Translate.

CERTIFICATION :

HARRY ROY'S

410 S. Palafox St.
Pensacola, FL 32502

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RPR

CHECKED BY : pdp

PROJECT NO. 2133

DATE : 06/09/22

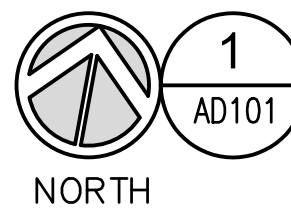
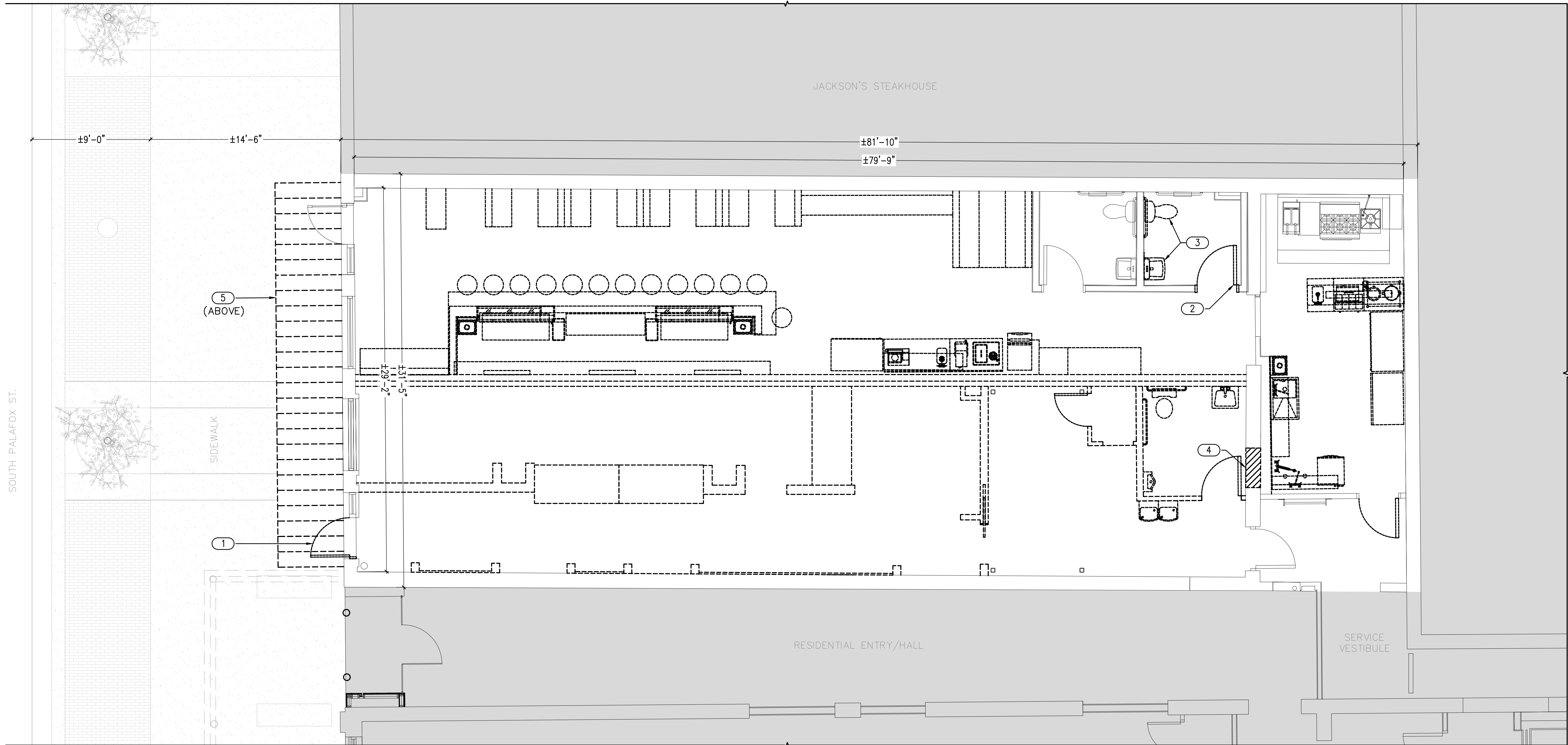
SHEET TITLE :

FIRST FLOOR
DEMO PLAN

SHEET NO. :

AD101

©2022 SMP ARCHITECTURE



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION NOT IN CONTRACT
- EXISTING WALL/PARTITION TO BE DEMOLISHED
- EXISTING EQUIPMENT/FIXTURE TO BE DEMOLISHED

KEYNOTES

- 1 REMOVE EXISTING EXTERIOR DOOR ASSEMBLY AND RETURN TO OWNER.
- 2 REMOVE EXISTING DOOR ASSEMBLY AND SALVAGE FOR REINSTALLATION.
- 3 REMOVE EXISTING SINK AND TOILET AND SALVAGE FOR REINSTALLATION.
- 4 DEMOLISH WALL ASSEMBLY AS REQUIRED TO ACCOMMODATE A 3'x7' OPENING.
- 5 DEMOLISH EXISTING AWNING.

GENERAL NOTES

1. DIMENSIONS OF EXISTING CONDITIONS ARE APPROXIMATE. CONTRACTOR IS TO VERIFY ALL MEASUREMENTS PRIOR TO START OF WORK.

Listen. Interpret. Translate.

CERTIFICATION :

HARRY ROY'S

410 S. Palafox St.
Pensacola, FL 32502

ALL DRAWINGS AND WRITTEN MATERIAL
HEREIN CONSTITUTE ORIGINAL AND UN-
PUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED IN ANY
PART WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RPR

CHECKED BY : pdp

PROJECT NO. 2133

DATE : 06/09/22

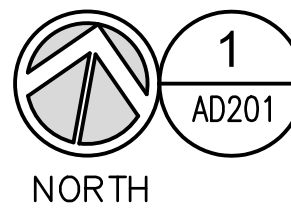
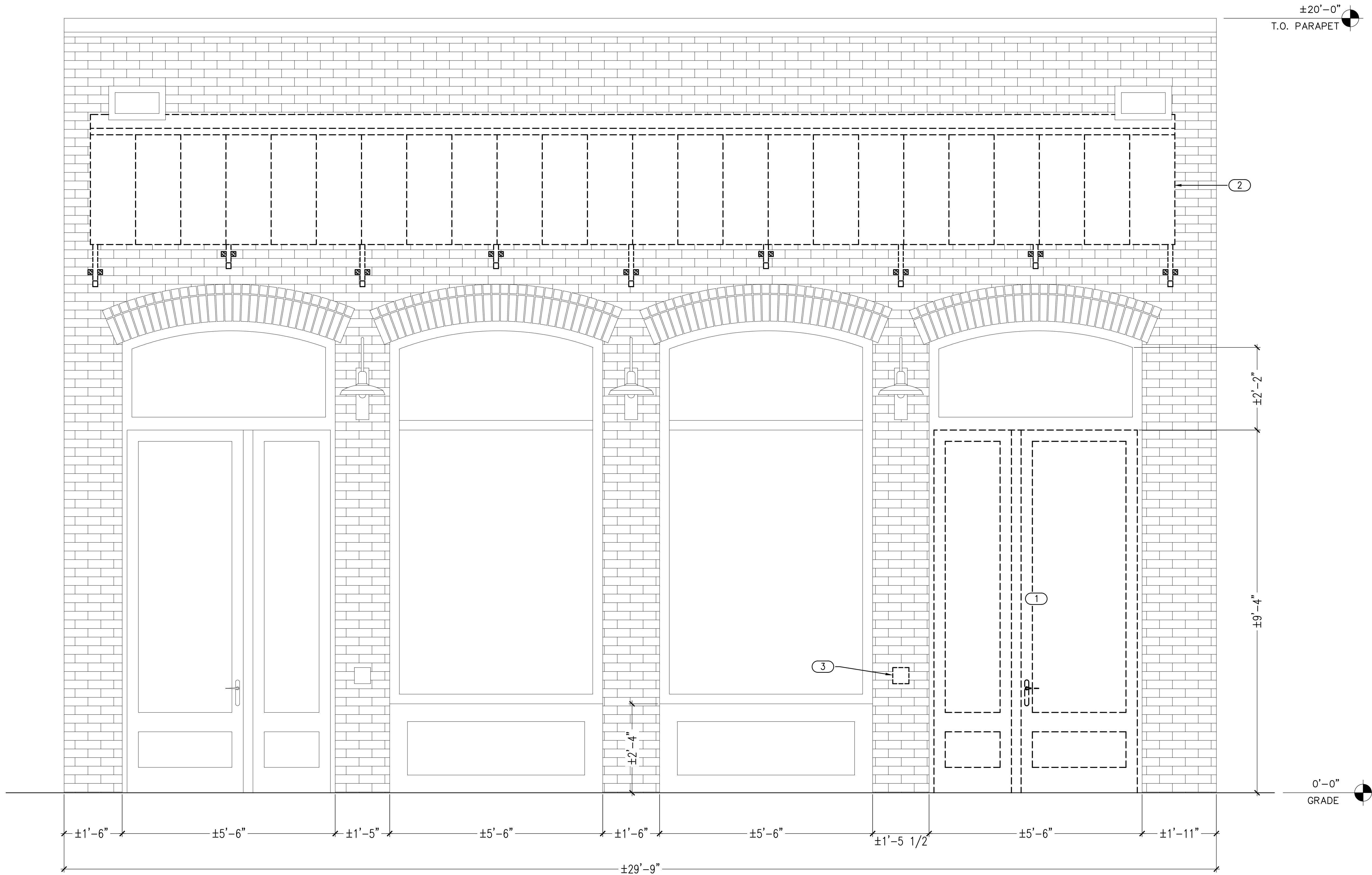
SHEET TITLE :

WEST ELEVATION-
DEMOLITION

SHEET NO. :

AD201

©2022 SMP ARCHITECTURE



1
AD201

WEST ELEVATION - DEMO

SCALE: 3/4" = 1'-0"

LEGEND

----- TO BE REMOVED / DEMOLISHED

KEYNOTES

- ① REMOVE EXISTING ENTRANCE DOOR AND ASSOCIATED HARDWARE/TRIM. DOOR ASSEMBLY TO BE RETURNED TO OWNER.
- ② DEMOLISH EXISTING AWNING AND ASSOCIATED HARDWARE.
- ③ DEMOLISH HANDICAPPED ACCESS SWITCH AND ASSOCIATED WIRING.

GENERAL NOTES

- 1. DIMENSIONS OF EXISTING CONDITIONS ARE APPROXIMATE. CONTRACTOR IS TO VERIFY ALL MEASUREMENTS PRIOR TO START OF WORK.

Listen. Interpret. Translate.

CERTIFICATION :

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Pensacola, FL 32502

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REVISIONS :

DRAWN BY : RPR

CHECKED BY : pdp

PROJECT NO. 2133

DATE : 06/09/22

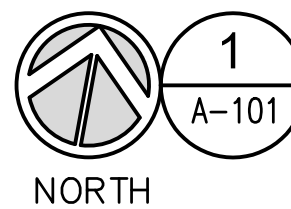
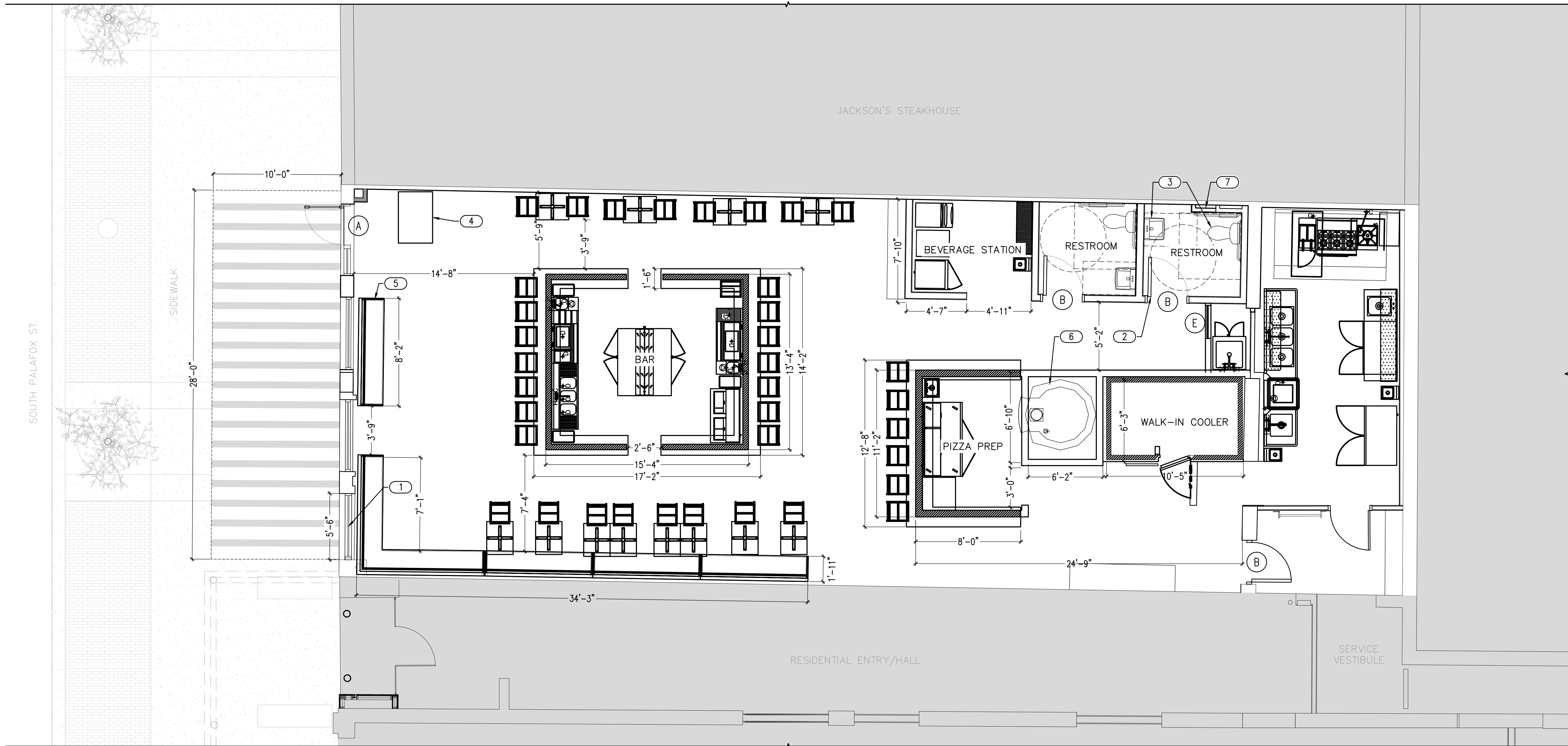
SHEET TITLE :

FIRST FLOOR
PLAN - NEW WORK

SHEET NO. :

A-101

©2022 SMP ARCHITECTURE



1

A-101

NEW WORK PLAN

SCALE: 1/4" = 1'-0"

LEGEND



EXISTING CONSTRUCTION NOT IN CONTRACT

KEYNOTES

1. INSTALL NEW CLAD WOOD WINDOW ASSEMBLY AT REMOVED ENTRANCE DOORWAY; MATCH EXISTING ADJACENT.
2. INSTALL DOOR ASSEMBLY AT RESTROOM AS INDICATED. CONTRACTOR HAS THE OPTION TO REUSE SALVAGED DOOR AND/OR HARDWARE.
3. REINSTALL SINK AND TOILET AT INDICATED LOCATIONS.
4. HOSTESS STATION.
5. WAITING BANQUET.
6. PIZZA OVEN.
7. EXTEND CHASE TO ACCOMMODATE ADA GRAB BAR.

GENERAL NOTES

1. DIMENSIONS OF EXISTING CONDITIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY MEASUREMENTS PRIOR TO START OF WORK.
2. SEE DOOR AND WINDOW SCHEDULE, G-001.

Listen. Interpret. Translate.

CERTIFICATION :

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Pensacola, FL 32502

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OF THE ARCHITECT.

REVISIONS :

DRAWN BY : RPR

CHECKED BY : pdp

PROJECT NO. 2133

DATE : 06/09/22

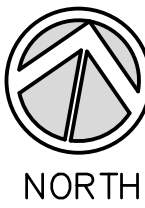
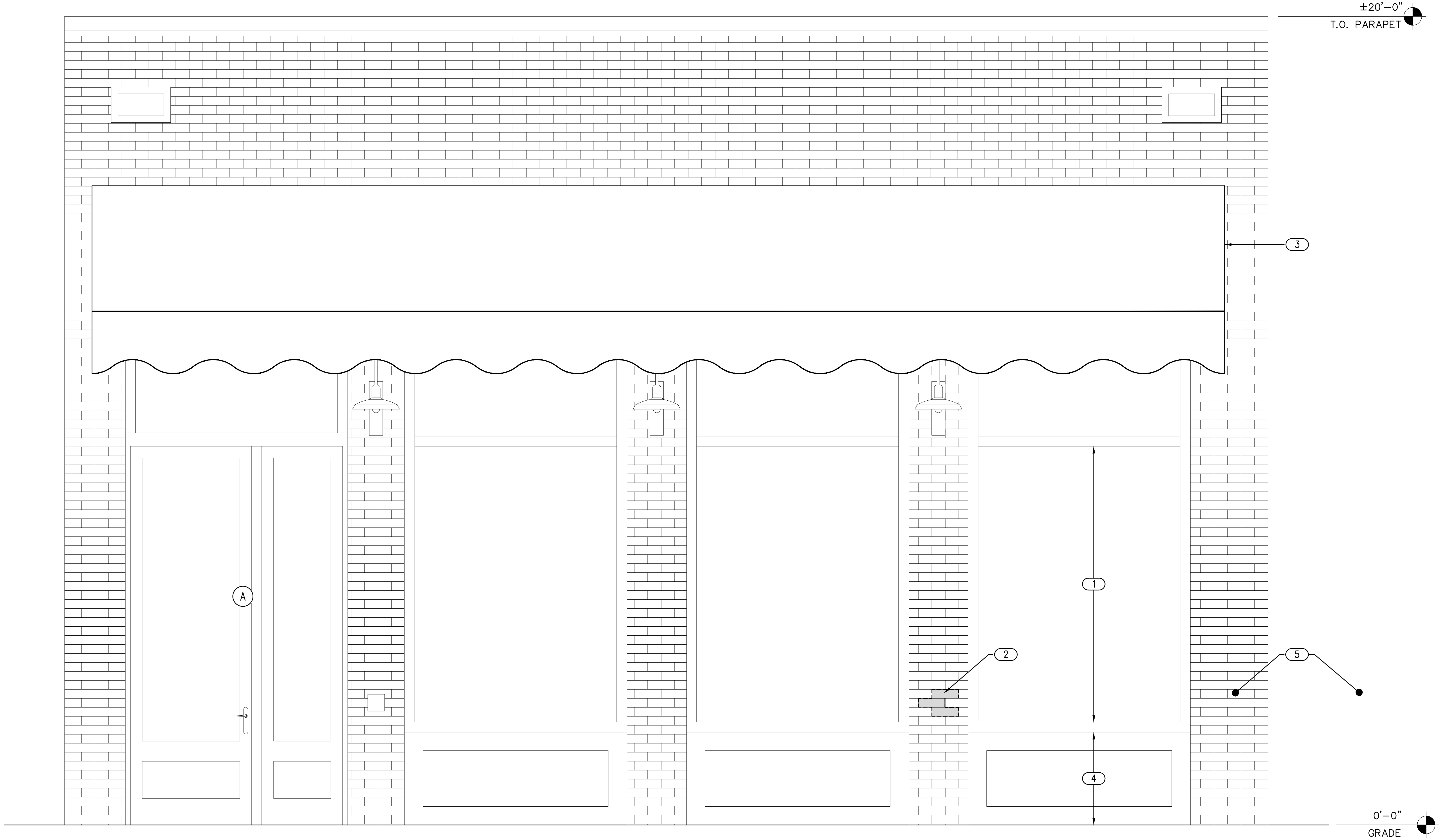
SHEET TITLE :

WEST ELEVATION-
NEW WORK

SHEET NO. :

A-201

©2022 SMP ARCHITECTURE



1
A-201

WEST ELEVATION - NEW WORK

SCALE: 3/4" = 1'-0"

KEYNOTES

1. NEW CLAD WOOD WINDOW ASSEMBLY WITH IMPACT RATED GLAZING TO MATCH EXISTING ADJACENT PELLA WINDOWS.
2. INFILL BRICK AS REQUIRED; NEW BRICK TO MATCH EXISTING SIZE, COLOR, AND PROFILE.
3. NEW RETRACTABLE 28'x 10' AWNTech CANVAS AWNING; INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
4. WOOD PANEL TO MATCH EXISTING ADJACENT IN SIZE, COLOR, AND PROFILE.
5. PAINT BRICK TO MATCH EXISTING ADJACENT BUILDING, SOUTH SIDE.

GENERAL NOTES

1. DIMENSIONS OF EXISTING CONDITIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY MEASUREMENTS PRIOR TO START OF WORK.
2. SEE DOOR AND WINDOW SCHEDULE, G-001.



City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00733

Architectural Review Board

7/21/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 7/13/2022

SUBJECT:

11 E. Garden Street
Palafox Historic Business District / Zone C-2A
New Construction

BACKGROUND:

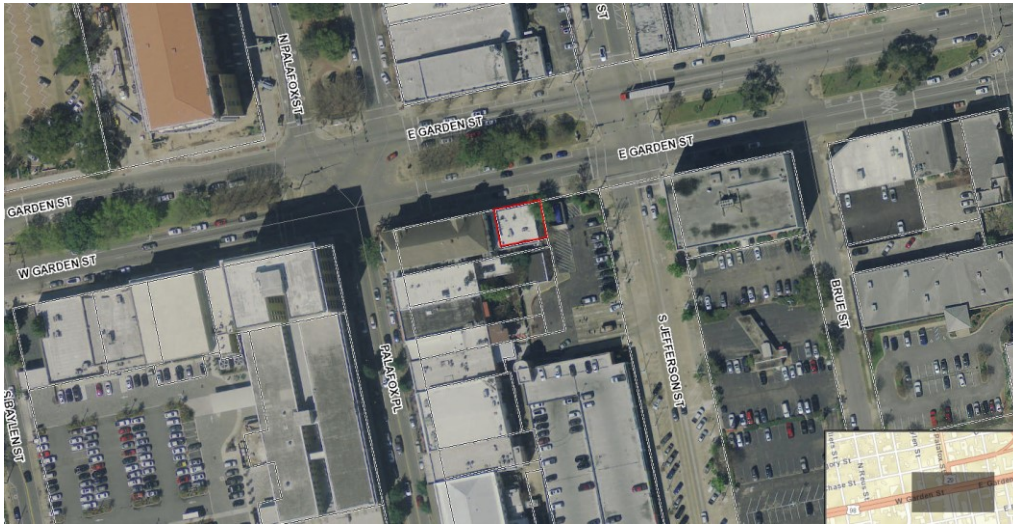
SMP Architecture is seeking approval to build a new entertainment and event venue where a noncontributing structure was recently demolished. Most of the event area will be roofless and will be completely enclosed by a 10' high wood panel perimeter, punctuated with 10'-8" painted brick piers. The street facing sides will be covered with a green wall system and the south elevation will open to an enclosed alleyway. The brick piers will be painted to match the adjacent "Vinyl" building and will have LED wall sconce lighting.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS

Sec. 12-2-27(f)(2)b and c. *Palafox Historic Business District, Decisions for new construction*

11 E. Garden Street





City of
Pensacola
*America's First Settlement
And Most Historic City*

**Architectural Review Board Application
Full Board Review**

Application Date: **June 30, 2022**

Project Address: 11 E. Garden St.

Applicant: SMP Architecture

Applicant's Address: 205 E. Intendencia St., Pensacola, FL 32502

Email: brian@smp-arch.com **Phone:** 850-712-2612

Property Owner: ONLY T, LLC

(If different from Applicant)

District: **PHD** ☒ **NHPD** ☐ **OEHPD** ☐ **PHBD** ☐ **GCD** ☐

Application is hereby made for the project as described herein:

- ☐ Residential Homestead – \$50.00 hearing fee
- ☒ Commercial/Other Residential – \$250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include eleven (11) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

The property owner (also current owner of abutting/adjacent parcel and building, Vinyl Music Hall) wishes to construct an outdoor food/beverage/entertainment and event venue at location of recently demolished one-story building that occupied an approx. area of 2,500 sf. The outdoor venue will be operated and managed by the same entity that operates and manages Vinyl Music Hall. Located in the Palafox Historic District, the courtyard venue will be surrounded by a 10' high perimeter wood panel fence, punctuated with 10'-8" painted brick piers. The street facing (public side) of the wood panel fence will be covered with an evergreen faux foliage. Brick piers will be painted to match the existing, adjacent "Vinyl" building. The inspiration for this solution originated with the advent and proliferation of outdoor eating/dining venues associated with the introduction of the Covid pandemic. These outdoor venues proved to be vitally important for business survival and sustainability; this business strategy may prove to be enduring long after the duration of the pandemic.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Brisener

Applicant Signature

June 30, 2022

Date



AERIAL VIEW



SITE PLAN / PROPERTY LOCATION



SMP Architecture, P.A.
205 E. INTENDENCIA STREET
PENSACOLA, FLORIDA 32502 | P 850.432.7772
www.smp-arch.com • AAC001828

The Green Room
11 E. GARDEN STREET
Pensacola, FL

SITE PLAN

X1

JUNE 30, 2022



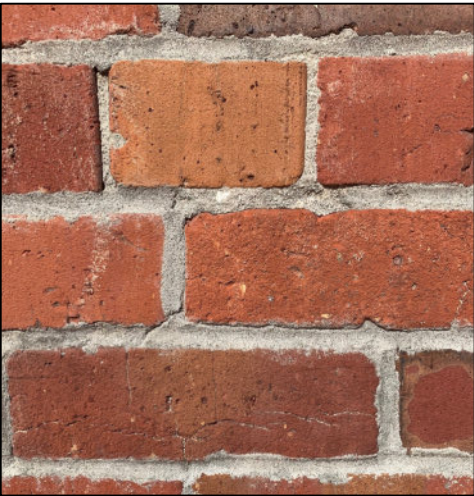
LOW PROFILE METAL PAVILION EXAMPLE

ARTIFICIAL
BOXWOOD PANELS
NEWLY UPGRADED 4 LAYERS OF THICK LEAVES

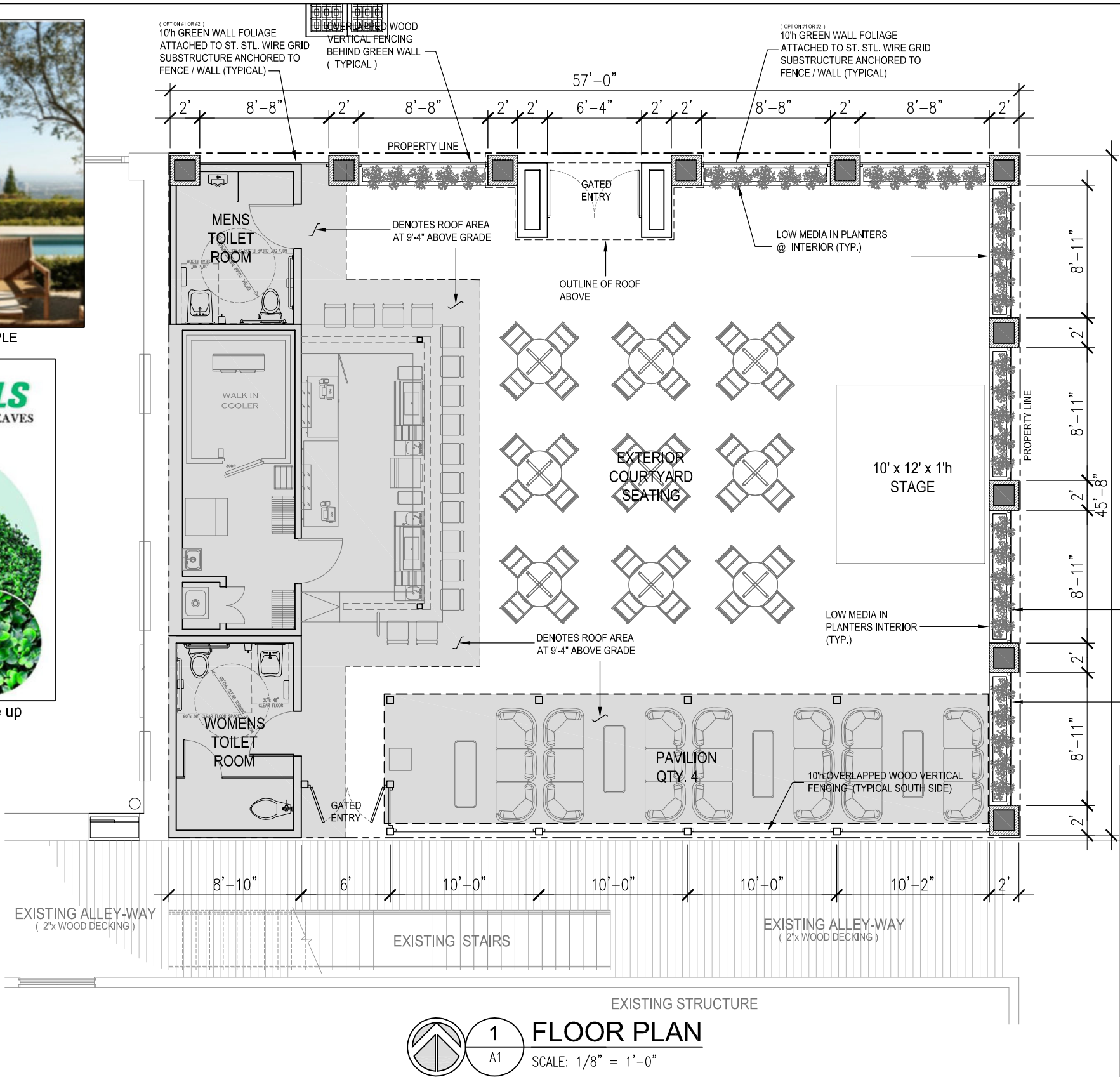
Option #1

- No smell
- Dense leaves
- Environmental friendly
- Soft and comfortable
- UV protected for outdoor

2" thick Box Hedge Faux Foliage Close up



EXAMPLE IMAGE OF BRICK w/ BUTTER JOINT (UNPAINTED)



GREEN ROOM INTERIOR COURTYARD PLANTING



2" thick Box Hedge Faux Foliage Panel examples

Option #1

10h OVERLAPPED WOOD VERTICAL FENCING BEHIND GREEN WALL (TYPICAL)

(OPTION #1 OR #2)
10h GREEN WALL FOLIAGE ATTACHED TO ST. STL. WIRE GRID SUBSTRUCTURE ANCHORED TO FENCE / WALL (TYPICAL)

Option #1

24" x 16"

26X18 GRIDS [468 GRIDS]

EACH PANEL HAS 468 BUNCHES OF LEAVES, ULTRA-INTENSIVE, WITH NO SEE-THROUGH.

1.97" x 4 Layers



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Pensacola, FL

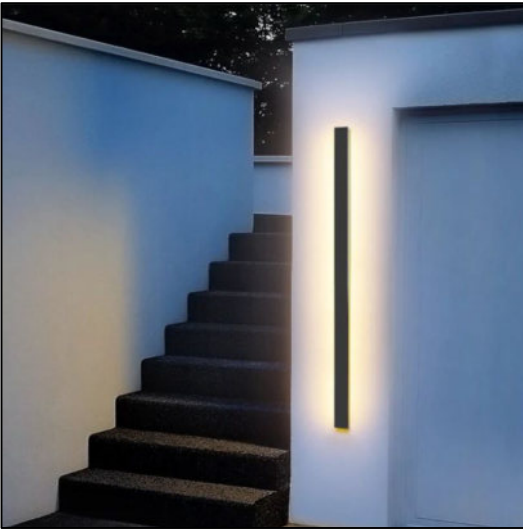
FLOOR PLAN

A1

JUNE 30, 2022



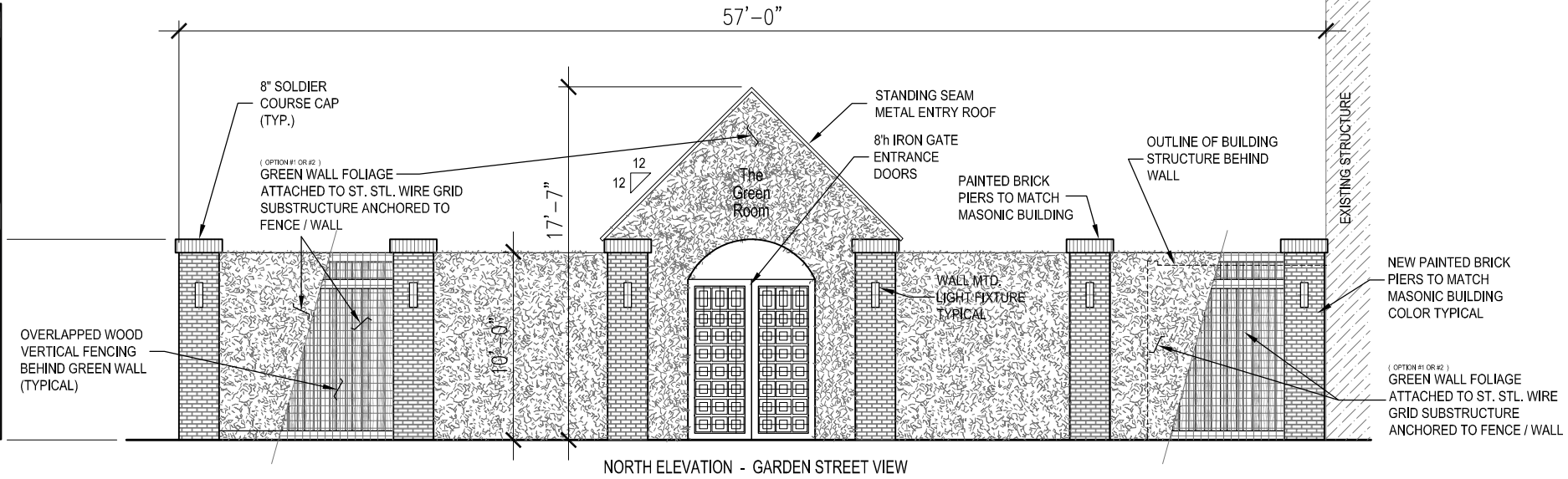
20" FULCHER OUTDOOR LED ENTRANCE WALL SCONCE - BLACK



GREEN ROOM INTERIOR COURTYARD LIGHTING



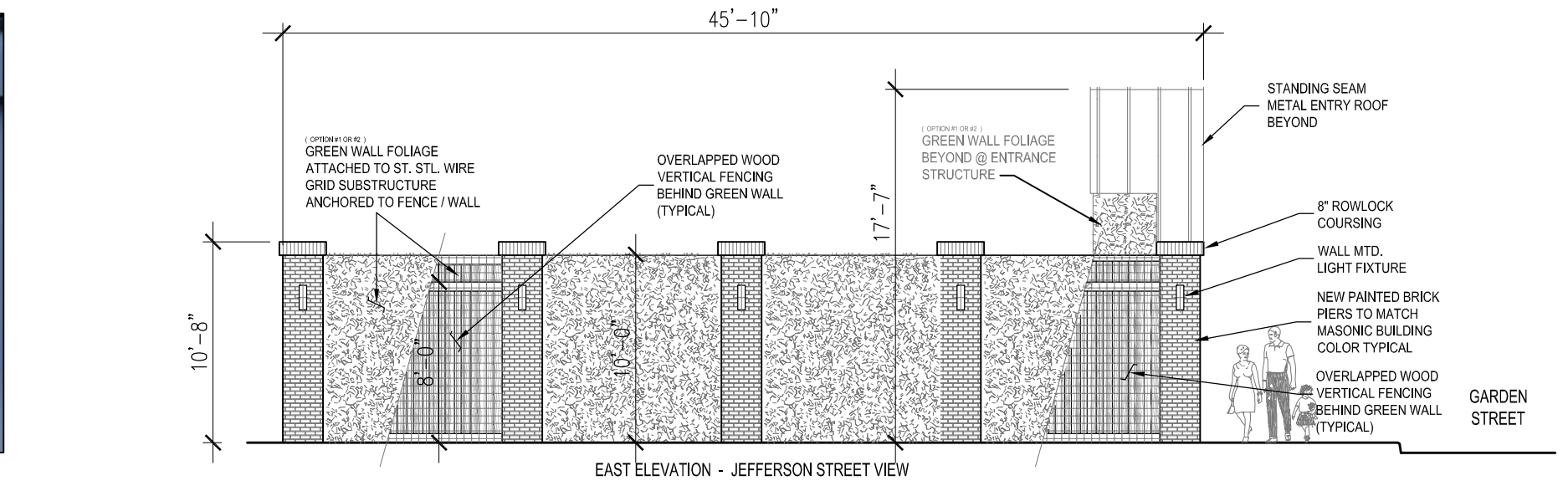
OVERLAPPED WOOD VERTICAL FENCE (EXAMPLE) (EXISTING ALLEYWAY)



NORTH ELEVATION - GARDEN STREET VIEW



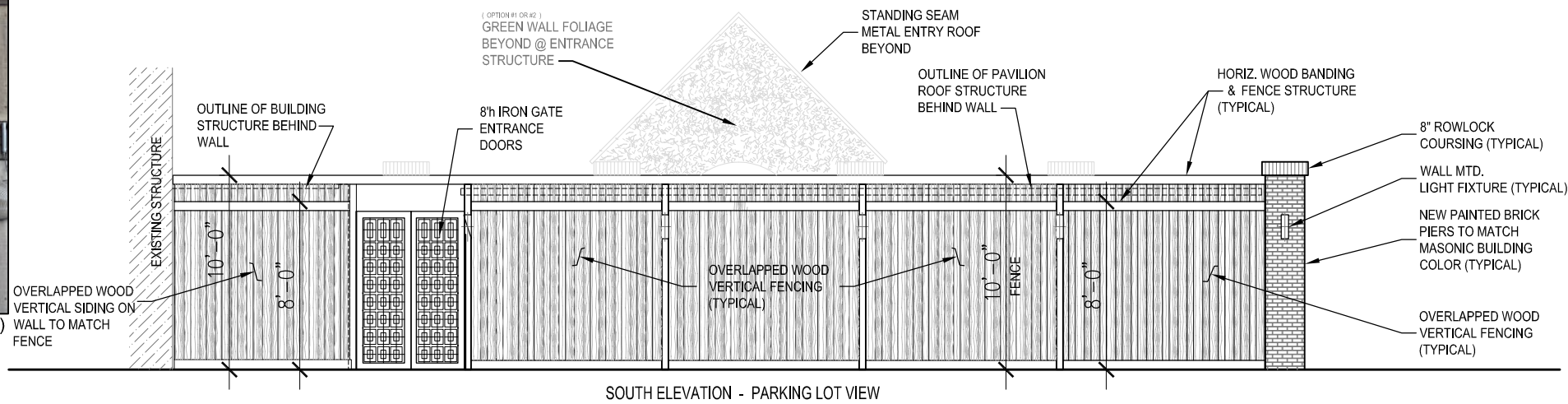
BRICK PIER COLOR
BENJAMIN MOORE
COLLINGWOOD OC-28



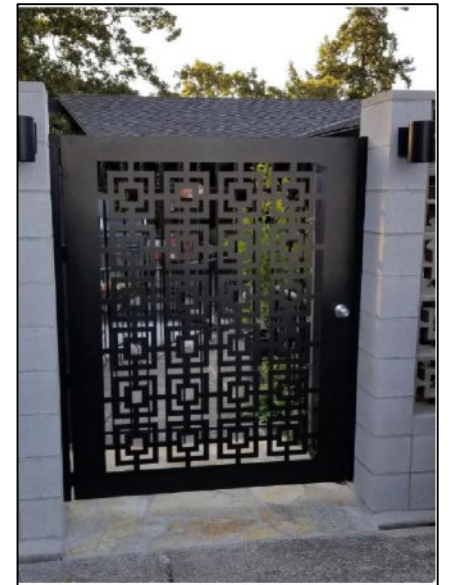
EAST ELEVATION - JEFFERSON STREET VIEW



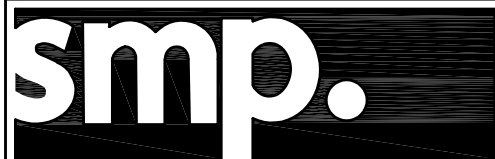
STANDING SEAM METAL ROOF (profile example)
BERRIDGE MFG. / COLOR: "DARK BRONZE"
12.75" T-LOCK / FLAT PANEL METAL ROOF (see spec on sheet A4)



SOUTH ELEVATION - PARKING LOT VIEW



IRON GATE ENTRY DOOR DESIGN



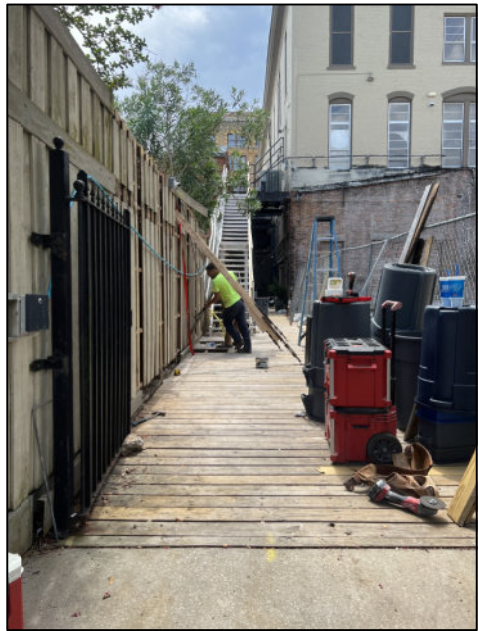
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Pensacola, FL

EXTERIOR
ELEVATIONS

A2

JUNE 30, 2022



EXISTING ALLEYWAY / WEST ELEVATION



EXISTING EAST VIEW OF SITE



Sidewalk / E. Garden Street



EXISTING WEST VIEW FROM PARKING AREA

EXISTING NORTH VIEW OF SITE



EXISTING SOUTHEAST VIEW OF SITE



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EXISTING SITE
PHOTOS

A3

JUNE 30, 2022

Option #2 - LIVE JASMINE FOLIAGE GREEN WALL



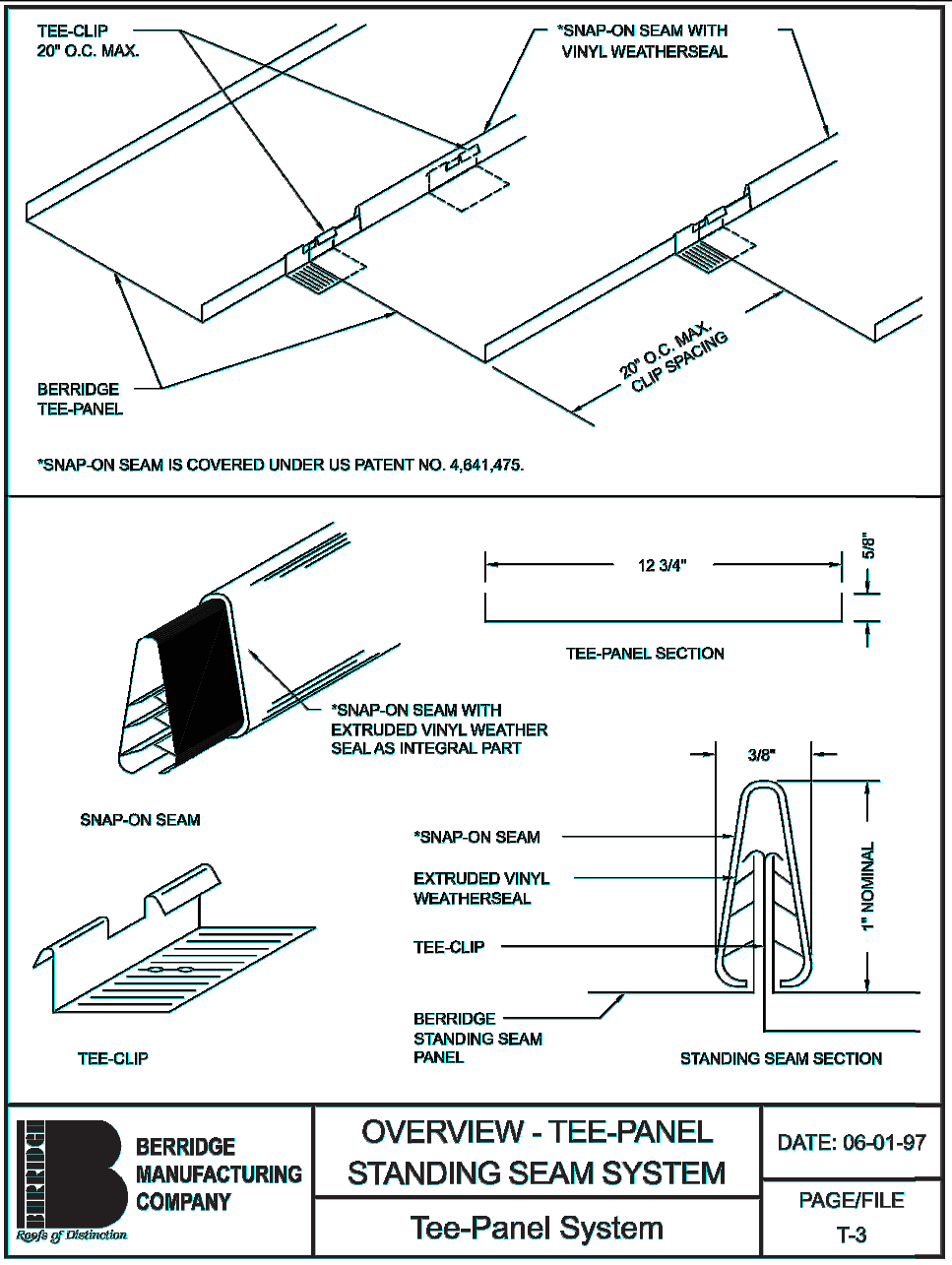
Option #2
Live Jasmine Foliage



Option #2
Live Jasmine on Stainless Steel cable grid substrate

Option #1 & #2
GREENWALL SUBSTRATE

METAL ROOF SPECIFICATIONS



Standard Colors				
Shasta White	Parchment	Almond	Sierra Tan	Buckskin
Medium Bronze	Aged Bronze	Copper Brown	Dark Bronze	Terra-Cotta



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The Green Room
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Pensacola, FL

MATERIAL SPECIFICATIONS

A4

JUNE 30, 2022