City of Pensacola

Architectural Review Board

Agenda - Final

Thursday, August 18, 2022, 2:00 PM | **Hagler-Mason Conference Room, 2nd Floor**

Members of the public may attend the meeting in person.

CALL TO ORDER / QUORUM

APPROVAL OF MINUTES

1. 22-00814 ARCHITECTURAL REVIEW BOARD MEETING MINUTES FROM JULY 21, 2022

Attachments: *07-21-22 ARB minutes*

OPEN FORUM

NEW BUSINESS

2. 22-00815 315 W. BLOUNT STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA
ADDITION OF ROLLDOWN SHUTTERS AT A NONCONTRIBUTING STRUCTURE

Attachments: *Images*
Application Packet_8.3.2022

3. 22-00816 1415 N. BARCELONA STREET
NORTH HILL PRESERVATION DISTRICT / ZONE PR-1AAA
REPLACEMENT METAL PERGOLA SYSTEM AT A NONCONTRIBUTING STRUCTURE

Attachments: *Images*
Application Packet_8.9.2022

4. 22-00818 424 E. ZARAGOZA STREET
PENSACOLA HISTORIC DISTRICT / ZONE HC-1
NEW ACCESSORY DWELLING UNIT AT A CONTRIBUTING STRUCTURE

Attachments:
Florida Master Site File
Images
Application Packet_8.9.2022

5. 22-00811 150 S. BAYLEN STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
CONCEPTUAL REVIEW OF A NEW TOWNHOME DEVELOPMENT

Attachments:
Images
February 2021 ARB Materials
02-18-21 ARB Meeting Minutes
Application Packet_8.2.2022

6. 22-00817 39 E. CHASE STREET
PALAFOX HISTORIC BUSINESS DISTRICT / ZONE C-2A
FINAL REVIEW OF A NEW HOTEL

Attachments:
Images
June 2022 Elevations
June 2022 Meeting Minutes
Application
1.EGD.Hotel.ARBSubmittalPackage
2.EGD.Hotel.ArchitecturalProducts
3.EGD.Hotel.LightingFixtures
4.EGD.HotelUrbanPlaza
5.EGD.HotelUrbanPlaza.Cutsheets
Addendum_Email and Information on Panel 1

ADJOURNMENT

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable accommodations for access to city services, programs, and activities. Please call 850-435-1606 (or TDD 435-1666) for further information. Requests must be made at least 48 hours in advance of the event in order to allow the city time to provide the requested services.

If any person decides to appeal any decision made with respect to any matter considered at such meeting, he will need a record of the proceedings, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00814 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

Architectural Review Board Meeting Minutes from July 21, 2022

MINUTES OF THE ARCHITECTURAL REVIEW BOARD

July 21, 2022

MEMBERS PRESENT: Chairperson Salter, Vice Chairperson Mead, Board Member Courtney, Board Member McCorvey, Board Member Ramos, Board Member Yee, Advisor Pristera

MEMBERS ABSENT: Board Member Fogarty

STAFF PRESENT: Historic Preservation Planner Harding, Senior Planner Statler, Digital Media Specialist Johnston

STAFF VIRTUAL: Development Services Director Morris, Assistant Planning and Zoning Manager Cannon, Assistant City Attorney Lindsay, Urban Design Specialist Parker

OTHERS PRESENT: Michael and Anita Williams, Tim Daniel, Tosh Belsinger, Aaron Ebent Chad Henderson, Randy Maygarden, Jeff Griffey, Todd Alford, Stacy Phillips, Charles Kunze, Harry Levin, Dan Girardin, Philip Partington

CALL TO ORDER / QUORUM PRESENT

Chairperson Salter called the meeting to order at 2:00 p.m. with a quorum present.

APPROVAL OF MINUTES

Board Member Yee made a motion to approve the June 16, 2022, minutes, seconded by Board Member Mead, and it carried 6-0.

OPEN FORUM - None

NEW BUSINESS

Item 2 **1203 N. Barcelona Street** **NHPD / PR-1AAA**
Replacement Windows and Doors at Noncontributing Property
Action Taken: Approved.

Eric Todd Alford is requesting approval to renovate the exterior of a noncontributing structure. The scope of work will include replacing all aluminum windows with wood clad windows,

replacing the damaged vinyl rear door with a wood clad door, and replacing the front door with a wood clad door. This work will upgrade the windows and doors with impact units for insurance purposes and many of the existing windows are either broken or inoperable. This packet includes site photographs, a site plan showing where the windows and doors will be replaced, and details on the proposed products.
Mr. Alford presented to the Board. Chairperson Salter read North Hill's comments which stated no opposition to the request. Board Member Ramos commended the applicant on the good improvements to the property. Chairperson Salter confirmed that the window products were as shown in the packet.
With no further questions Board Member Ramos moved to approve the application as submitted. Board Member Mead seconded the motion and it carried 6-0.

Item 3 226 N. Spring Street PHBD / C-2A
Rear Addition to a Contributing Property.
Action taken: Approved.
Tim Daniels is requesting *final* review for a proposed rear addition to a contributing structure. This project received conceptual approval at the June 2022 meeting. The addition has been designed to communicate with existing shed roofs on the rear and front, and in a way that does not detract from the elevation on West Wright Street. The project will have Hardi-board siding to match the existing texture, profile, and size of the existing wood siding, a brick veneer base with recessed sections, single hung 2/2 wood windows and shutters, and a matching shingle roof. The proposed paint will also match the existing elements.
Mr. Daniels presented to the board. Chairperson Salter stated that not a whole lot has changed since the project came before the board as a conceptual packet and that the applicant had gone through a lot of effort to tie the addition into the existing structure well. Board Member Mead echoed the comments and complimented Mr. Daniels. The addition is clearly keeping with the existing architecture.
Board Member Mead made a motion to approve as submitted. Board Member Yee seconded the motion and it carried 6-0.

Item 4 322 E. Intendencia Street PHD / HR-2
Rear Addition to a Noncontributing Structure.
Action Taken: Approved.
Chuck Kunze, Artisan's Architecture LLC, is requesting approval for a rear sunroom addition to a noncontributing structure. The addition will be approximately 280 square feet and will leave potions of the existing brick patio. The roof will match the shingles on the existing house materials. The soffits and fascia details will also match along with the siding which will match the existing Hardie ship lap. The patio French doors and windows will be white Kolbe aluminum clad. Since this is a noncontributing property and since the addition will be completely hidden from street view, the homeowner is requesting that the new windows and doors have no mullions. Matching exterior paint colors will include Sherwin Williams "Roycroft Suede" and "Creamy".
Mr. Kunze presented to the board. Chairperson Salter ask about the Hardie vented soffit panels and asked for confirmation that it was existing on the structure. Mr. Kunze confirmed that it was and referenced a photograph in the packet. Mr. Kunze stated that all proposed materials would match the existing except for the windows with no muntins. The homeowner was requesting this to provide an unobstructed view to the back yard garden area. The area is not visible from the

street and is completely in the rear. Chairperson Salter thought the intentional change in the aesthetic would allow for the windows to have no muntins. Chairperson Salter asked about the lap siding between the windows and doors and if the applicant had considered a plain piece of infill. Mr. Kunze stated that the intention was that any infill would be matched with the existing siding on the house and mother-in-law suite.
Board Member Ramos made a motion to approve as submitted. Board Member Courtney seconded the motion and it carried 6-0.

Item 5 606 E. Gadsden Street OEHPD / OEHC-1
Exterior Renovations to a Contributing Structure.
Action taken: Approved with comments for consideration.
Scott Amberson is seeking approval for exterior renovations to a contributing structure. All work will be done to Unit B which includes the north (rear) half of the building which is hidden from street view. An overview of all work has been provided, as well as details per work area. These include replacing elements such as lighting, doors, windows, decking, and handrails, while new elements such as siding infill, a second rear awning, a tankless water heater and new skirting will be added. The two rear doors will be replaced with matching wood doors, and the windows will be double hung 2/2 wood. The hallway between the main house and the attached accessory space will be partially closed in with matching wood siding and turned into a stacked washer and dryer closet. The rear decking will be replaced with Trex decking and all repairs to the handrails and balusters will be done with in-kind materials and design.
Lucy McLendon presented to the board. Chairperson Salter read comments from Old East Hill POA and asked if the shutters were functional. Ms. McLendon stated that they would be fixed and will be painted to match the trim of the house. Board Member Courtney stated that the 2' awning window was odd and that a typical transom window should be around 1'. Ms. McLendon stated that based on the interior space, they wanted some natural lighting. Board Member Courtney questioned if fixed shutters were appropriate and questioned the extra rear awning. Advisor Pristera answered that he hasn't seen many awnings of that style on a residential property. Board Member Courtney thought a cantilevered gable or shed awning would be more appropriate. Ms. McLendon stated that the intent was to match what was there now and to try not to change as much as possible. Board Member Courtney asked if the section to be filled in could be recessed a bit to retain the structures history since the accessory unit was likely a detached kitchen at one point. Board Member Ramos agreed with leaving the evidence of the historic section. He did not have an issue with the awning but questioned the use of the faux shutters. Advisor Pristera stated that faux shutters have been used in the historic districts but that the proportion of the window should be decreased to reflect Board Member Courtney's comments. Faux shutters also tell a story of what used to be in that area and a window could more easily be added in the future. Board Member Ramos agreed with reducing the height of the transom window and adding a dividing lite so that it's not a single piece of glass and to match the other windows. Board Member Mead asked for clarifications on the closet area which would be accessed from the porch.
Board Member Ramos made a motion to approve the application with the condition that enclosing of the washer/dryer area be slight recessed to clear the trim/corner board and that the window with the faux shutter have a vertical divided lite and be reduced to 1.5' in height instead of the proposed 2'. Board Member Yee seconded the motion and it carried 5-1 with Board Member Courtney dissenting.

Item 6 422 N. 7th Avenue OEHPD / OEHR-2
Conceptual Review for A New Accessory Dwelling Unit.
Action taken: Conceptual approval with comments.
Jeff Griffey is requesting conceptual approval for a new accessory dwelling unit in the rear yard. The 20' x 30' structure will have smooth Hardie lap siding with an exposure to match the main house, false decorative louvered shutters also to match the main house, fiberglass French doors, and fiber cement stucco panels skirting the building. Paint will match the main building with a white body and trim, green shutters, and a grey stucco foundation.
Historic Preservation Planner Harding stated that he had received a written notice requesting that the review be changed from final review to conceptual review. Mr. Williams confirmed that was correct.
Mr. Griffey presented to the board. Chairperson Salter read Old East Hill POA's comments. Chairperson Salter asked if the intent was for the siding to be the same profile as what is on the main house. Mr. Griffey stated that it was. Chairperson Salter also asked if porch rails were required, and Mr. Griffey stated that he did not want railings if it was not required. It was clarified that railings would probably not be required except for on the stairs. Mr. Griffey stated that the structure was in the rear yard and not visible from the street, and that adding a window to the north side would be difficult due to the interior space restraints. Chairperson Salter addressed the faux shutter on the front and thought that it was too large for a typical entranceway. Mr. Griffey stated that the drawing did not represent the faux opening well and that the shutters would match what was on the main house. He offered to leave the shutters off completely. Board Member Courtney offered that the left door could be made into a window with working shutters to provide some clearer symmetry. Chairperson Salter stated that the proportion of the shutters was an issue – solutions would be to remove the shutters or that a false window of an appropriate proportion be added instead. Board Member Mead stated that the form was so simple that if the applicant did not want to maintain symmetry, he could reduce the left most door to a single door and have a door with shutters on the right. The symmetry would be retained, but the central entrance would be more dominant. Board Member Ramos thought removing the faux shutters altogether and infilling the area with siding would also be appropriate. Adding a swing or art to the right area could be used as balance. The foundation infill was then discussed. Advisor Pristera asked about a pathway leading from the main house to the accessory structure or any kind of landscaping. Mr. Griffey stated that there would be a courtyard between the two and that the accessory structure would be lined up with the main residence. The infill between the piers will be covered with the stucco panels, so the piers will not be seen to match the main house. Board Member Yee asked about Old East Hill POA's comment about adding a window to the north elevation and whether the applicant would consider it. Mr. Griffey stated that he could if it were required, but he would prefer not to add one. The brackets would also match with those on the main house.
Board Member Ramos motioned to conceptually approved the application and that the applicant take the board's comments into consideration. Board Member Courtney seconded the motion and it carried 6-0.

Item 7 209 S. Alcaniz Street PHD / HC-1
New Construction.
Action taken: Approved with comments.
Mr. and Mrs. Williams are seeking final review and approval for a new single-family residence. A conceptual review of this project was approved with comments in June 2022, and the new plans

reflect the board's overall discussion. The previous turret has been changed to a large bay window and clarifications have been made to windows, doors, and the car port. Materials remain consistent and include a brick veneer base, fiber cement lap and shake siding, vinyl double hung windows, wood handrails with turned spindles, and a paver ribbon drive.
Mr. Williams and Mr. Sherling presented to the board and Mr. Williams discussed his preferred sample of brick veneer for the foundation. Board Member Courtney thought the revised plans looked much more appropriate with the historic district and Chairperson Salter agreed that much of the board's earlier comments appear to have been addressed. Board Member Ramos thought the plans looked good but wished that elevations of the street frontage to show the scale of the home with surrounding buildings were provided. Mr. Sherling stated that the house on the left was very small and sat very far away from the sidewalk. This project was set as far away from the shared property line as possible. Chairperson Salter asked if there was any consideration to changing the box at the bottom left, front gable corner. Mr. Sherling stated that was where it was tied into the other roof coming down, it may look a little strange – having a roof ridge coming down into that. Board Member Mead offered that the main house and porch gables should be treated the same and without boxes. Board Member Yee also thought the box should be deleted. One example of how it might look was the blue house across the street and at 212 S. Alcaniz Street. This was a similar design with no corner boxes in the gables. Mr. Shurling stated that was an easy enough adjustment.
Board Member Yee made a motion to approve with the comment that there be a lower skirt / eyebrow on the main roof gable be similar to the house at 212 S. Alcaniz Street. Board Member McCorvey seconded the motion and it carried 6-0.

Item 8 501 N. Alcaniz Street OEHPD / OEHC-1
New Construction.
Action taken: Denied.
Randy Maygarden is seeking final approval of a new two-story garage cottage. The building's small footprint is due to compliance with district's zoning requirements, specifically a 50% lot coverage maximum and a 15' required visibility triangle at the corner of Alcaniz and La Rua. The front of the building is situated along La Rua where there is no front yard setback requirement, and the design of the building is meant to replicate a two-story accessory carriage house. Materials include smooth profile Hardie siding, wood-clad double hung 2/2 windows with exterior muntins, wood-clad doors, and Trex composite decking, posts, rails, and spindles. Paint colors includes a "Blanched Pine" body and "Very Black" trim. The HVAC units will be screened with a flat-topped wood privacy fence and landscape information has been provided.
Mr. Maygarden presented to the board. Chairperson Salter read comments from the Old East Hill POA and the relationship between the street-facing garage doors on the proposed project and other projects at the intersection of Alcaniz and La Rua Streets were discussed. The project at the northeast corner was a call back to the brick warehouses style, with faux loading bays and carriage style doors, whereas this project appeared as a conventional modern front-loading garage. Board Member Mead thought that if the house was pushed farther towards Alcaniz, a side-load garage might be possible. The site is made more difficult to build on due to the required visibility triangle which has been administratively reduced from 30' to 15'. Board Member Yee agreed that the garage should be placed along La Rua and towards the rear and pulling the structure as close to Alcaniz as possible. One of the main problems was the lack of a perceived frontage and that more prominence should be given to the Alcaniz side – it should look like a true frontage. Board Member Courtney asked if the stairs could be put on the rear or on an interior side. The stairs on the Alcaniz side detracted from it being seen as a building frontage. Mr. Maygarden asked if stairs could be placed in a setback yard, and staff confirmed that open

stairways and landings could encroach into a required yard, but no more than 3.5'. Chairperson Salter agreed in that the building was lacking a true front and that the suggestions heard by the board offered good options to possibly achieve that. Board Member Mead asked if the house or a portion of the house could encroach into the visibility triangle and staff confirmed that posts, columns, or similar structure which is no greater than 12" in diameter could exists with the triangle, but generally lateral vision must be maintained between a height of 3' and 8' above the existing surface. Advisor Pristera stated that this was a difficult lot to work with and might be a good candidate for a variance. Board Member Yee added that the designer may want to discuss with staff and revisit the lot coverage if the open stairway can be deleted from the total.
Board Member Mead moved to deny the application based on its inconsistency with the surrounding structures and the formative years referenced for the Old East Hill district and since the style of front-loading garage in a residential structure is not consistent with other structures. Based on Board Member Mead's comments, staff referenced Sec. 12-3-10(3)e.3.ii.(b) which speaks to rules governing decisions of proposed new buildings and Sec. 12-3-10(3)i. which speaks to regulations for new construction in Old East Hill. Chairperson Salter clarified that the motion was to deny the application based on it's incompatibility with the visual standards of the neighborhood. Board Member Ramos seconded the motion and it carried 6-0.

Item 9 39 E. Chase Street PHBD / C-2A
Variance.
Action taken: Approved.
Chad Henderson and Tosh Belsinger are requesting a Variance to increase the allowed height from 100' to 109'-4" to accommodate a 9-story hotel as part of the East Garden District development. Since the zoning district is commercial-2A, three feet may be added to the height of the building for each foot the building elevation is stair-stepped back from the property line, up to a height of 150'. The applicant has provided a diagram and elevations which identify those areas outside the zoning envelope, and which would otherwise not be permitted. The applicants have also provided a letter which speak to the seven required variance criteria as well as the two ARB-specific criteria. Since the paneling at the very top of the building is meant to screen mechanical equipment, it is exempt from typical height restrictions.
Mr. Belsinger presented to the board and provided their vision and the master planning for the East Garden District. Mr. Ebent also presented to the board and discussed the hotel building and variance request. Board Member Mead asked if the city had a de minimis standard for variances since the relative volume of the request was very minimal and fell into a commonsense notion of a de minimis definition. Staff confirmed that there is not a de minimis standard. Board Member Mead thought that the zoning envelope illustrated the function of a de minimis function as well as the intent of the variance request. This was a design requirement for nipping and tucking here and there and that granting the variance would not provide additional usable space. Board Member Mead thought that the board ought to proceed with the variance request as a de minimis issue and that the variance ought to be approved because the design changes that would be necessary to accommodate the de minimis impact on the code would be vastly disproportionate and therefore could become a hardship. Board Member Ramos agreed that that the request was very minimal and commended the application. Chairperson Salter stated that it appeared that every effort had been made to design this building so that it would conform and that the request is for very minor elements.
Board Member Mead moved to approve and found that the variance application met the 7

variance criteria listed in Sec. 12-11-2(a)(2) and the 2 additional criteria listed in Sec. 12-12-3(5)b.1. Board Member Ramos seconded the motion and it carried 6-0.

Item 10 40 S. Palafox Street PHBD / C-2A
New Construction.
Action taken: Approved with abbreviated review required.
Scott Sallis, Dalrymple | Sallis Architecture, is requesting *final* review to modify the first-floor front elevation of the Thiesen Building. This request was partly denied in May 2022. Since then, the plans have been revised to keep the street front side alcoves, thought the existing planters will be removed. Work to the central entrance area is still proposed which will convert the area into an open lobby. Details on a decorative gate which reflect ARB's previous comments have been included and the new lobby will be redesigned with marble tile and a granite border. All glazing at the wood-framed bay windows will be replaced and the side lobby doors will be replaced with new frameless glazing systems. A new overhead coiling system will also be installed, but only to be used during extreme weather conditions.
Mr. Sallis presented to the board. Chairperson Salter asked if the storm shutter would be recessed in the soffit and Mr. Sallis stated that was correct. Board Member Mead asked if there was precedent for roll-down doors on Palafox Street and Historic Preservation Planner Harding responded that there were roll-down door in the district, but that he was not aware of any along Palafox Street. Board Member Mead respected the initial thought but had concerns about creating a precedent for allowing roll-down doors. Mr. Sallis stated that the main reason for the roll-down shutter was to accommodate the frameless storefront doors and that he would be more than happy to be party to an agreement that stated the shutter would not be used regularly. Mr. Sallis mentioned the roll-down doors at the outdoor bar at Graffiti Pizza and that they are only rolled down late at night. Board Member Ramos thought that the shutter was appropriate and would help to protect the historic architecture. It's not a security type door, but instead a storm protection mechanism. Advisor Pristera advised that the decorative gates were the security measures and that there would be egress issues if the doors were closed. The shutters would only be activated if the building were to be evacuated. Overall, Board Member Mead commended the applicant and the revised design. Board Member Yuri asked for clarification on the existing wood window frames and Mr. Sallis stated that the wood frames would be kept, but that the storefronts would be reglazed. **Board Member Mead moved to approve so long as a statement from the Building Official be provided confirming that the roll-up door can only be used during a state of emergency (a storm event), and that letter be provided to the Chair as notification. Board Member Yee seconded the motion and it carried 6-0.**

Item 11 200 S. Palafox Street PHBD / C-2A
New Construction.
Action taken: Approved with abbreviated review required.
Scott Sallis is requesting final approval for a new steel framed canopy covering the space between 200 S. Palafox and 210 S. Palafox. The proposed structure will become the new entry to an outdoor event plaza. New back-lit signage will be mounted to the front, powder coated aluminum entry archway; however, specific details for the signage will follow in an abbreviated review. The canopy will have a decorative powder-coated aluminum entry gate, a wood tongue and groove ceiling, a flat standing seam metal roof, recessed and mounted down lighting, and will be flanked by metal planters.
Ms. Garret presented to the board. Chairperson Salter asked if the four circles in the archway were

representing future signs or if they were built-in elements in the decorative metal. Ms. Garret answered that they represented future signage. Chairperson Salter asked what the intent of the ceiling sconce lighting were – if they were to illuminate the right of way or if they were to light the future signage. Ms. Garret answered that the intent was to light the signage. Chairperson Salter was concerned that the fixtures in that location would shine directly on the right of way. His understanding of the code was that lighting was intended to not be visible beyond the property line of the lot on which the signs are located. He wondered if a directional sconce would be more useful. Board Member Ramos stated that the listed level of lumen output seemed high (around 4,000). Chairperson Salter agreed and added that the canopy was a nice additional to the streetscape. Board Member Mead also thought it was a good improvement to the space. Board Member Courtney suggested that the lumens be more in the warm range.

Board Member Mead moved to approve with lighting details showing the projection of the canopy/signage fixtures to address the Chair's comments on not impacting the right of way be submitted for abbreviated review. Board Member Mead also suggested that the decorative metal work be worked to incorporate the framed circles. Chairperson Salter added the amendment that the application did not include any signage and it was accepted. Board Member Ramos seconded the motion and it carried 6-0.

Item 12 410 and 412 S. Palafox Street PHBD / C-2A
New Construction.
Action taken: Approved with abbreviated review required.

Philip Partington is seeking approval to renovate the exterior of a contributing structure. The scope of work includes the following: replace the existing metal canopy with a new retractable fabric awning, remove the existing right door and replace it with a new window to match the existing windows, painting the existing brick façade to match the color of the neighboring street front façade to the south.

Mr. Partington presented to the board. Chairperson Salter stated that the proposed awning was similar to what was placed on Jackson's restaurant but needed clarification on where the track / box would be mounted. Mr. Partington answered that it would be mounted about 30" from the parapet which is probably right at the deck. Chairperson Salter stated that this building has been through a couple of changes and at one point had a stucco façade. Someone went through a lot of work to refurbish the brick, through the parapet was repaired. Mr. Partington stated that the front façade of the building was original when it was renovated in 2015. Some brick was reused to rebuild the parapet. Chairperson Salter stated that where the brick changes are at a horizontal element on the Jackson's building. Everything in the scope of work was appropriate except for the painting of unpainted brick. The reason is that the brick was restored or at least there was an effort to restore the street front elevation to how it was before it was stucco'd over. The unpainted brick is an important feature that is associated with the history of this building. Also, paint cannot be easily removed, and sandblasting will destroy it. The point being is that there was considerable effort to restore the building back to its historic character and that painting it would be taking a step backwards and that it would be a serious detriment to the building. Although there are two different types of brick, the canopy will bridge that joint so that the transition will not be so obvious. Overall, painting the brick will detract from the historic presence of the contributing structure. Board Member Ramos agreed with Chairperson Salters comments on the brick. It has good historical character and questioned the color of the awning frame requesting that it match the color of the existing cream elements.

Mr. Simpson then presented to the board. Board Member Ramos asked what kind of paint was used on the Artisan, but staff did not recall. The board discussed the painting of brick buildings and Chairperson Salter read from ordinance sec. 12-3-27(f)(4)b., "*Building fronts, rears, and sides abutting streets and public areas.* All structural and decorative elements of building fronts, rears, and sides abutting streets or public improvement areas shall be repaired or replaced to match as closely as possible the original materials and construction of that building." By painting

historically unpainted brick buildings, we are losing the historic and architectural character which the board is tasked with protecting. Some buildings have always been painted, but the ones that weren't are worth protecting. And although there is precedence for painting unpainted brick buildings, the board is not destined to repeat decisions that were later determined to be mistakes. The role of ARB is to protect the architectural and historic character of the Palafox Historic Business District. That includes protecting buildings in their original appearance. Board Member Mead echoed the comments of the Chair. This building was not painted when it was building, and, although covered with stucco at one point, remained unpainted throughout its life. It should not be painted now. He also wanted to be clear that the brick arches should not be covered with the awning.

Board Member Mead moved to approve with the following modifications:

- **That painting of the non-painted brick is not approved,**
- **That the awning be raised or a depicted shown as it is mounted that the drop edge of the awning does not obscure the arches from across the street be submitted for abbreviated review.**

Board Member Courtney seconded the motion. Board Member Ramos provided the amendment that the color of the awning frame also to be submitted for abbreviated review. The amendment was accepted, and it carried 6-0.

Item 13 11 E. Chase Street PHBD / C-2A

New Construction.

Action taken: Approved with abbreviated review required.

SMP Architecture is seeking approval for a new outdoor entertainment and event venue where a noncontributing structure was recently demolished. The proposed space will be surrounded by a 10' high painted wood panel fence painted brick piers. The brick piers will be painted to match the adjacent "Vinyl" building. The entranceway will be a painted stucco structure with a standing seam metal roof and a decorative iron gate. All new roof structures and shade structures will be kept below the finished height of the wall.

Mr. Girardin presented to the board and provided hardcopies showing design revisions. Chairperson Salter asked staff to verify if there were any fence restrictions in this area and staff clarified there is no maximum height for fences in the commercial district relative to this lot. Chairperson Salter also clarified that the green wall option is now gone and will be strictly wood fencing between brick piers and with a stucco entrance system which reflects elements on the neighboring Masonic Temple building. Mr. Girardin agreed and stated that any kind of vegetation would only be placed on the interior. Chairperson Salter also added that the fence had been included on the south side and that all other elements will be below the top fence line and hidden but the architectural details of the roof wasn't provided. Mr. Girardin stated that the hard structure roof has since been worked out and descripted the components. Board Member Ramos asked if the roof structure would need to come back for abbreviated review and Chairperson Salter stated that it would be dependent on the motion. Board Member Ramos asked if the interior of the courtyard was subject to ARB review or if they were just looking at the fence. Chairperson Salter read from Sec. 12-3-27(f)1., which required the board to consider exterior design. The code also defined "exterior" and stated, "The term "exterior" shall be deemed to include all of the outer surfaces of the building and is not restricted to those exteriors visible from a public street or place." Historic Preservation Planner Harding stated that staff's position is that the application was creating an interior space and that the board would not have review jurisdiction on the interior. However, the board can certainly have a different interpretation of the code. The packets

provided to the board had been revised and added to with anticipation that the board would interpret it as such. Additionally, the project was located on a separate parcel and is being looked at as a structure and would require engineering due to the fence height. Mr. Partington asked if it would be possible for the board to review the exterior and to come back for elements interior to the fence. Chairperson Salter stated that based on the revised packet and based on the discussions, the application had evolved significantly to where he saw very little issues of potential concern. His only concern is the profile of the roof structure of the actual building portion. He thought it could be approved with an abbreviated review, specifically the structure of it and what the fascia material will be and how it will be visible. Chairperson Salter liked where the project has gone. The earlier version was concerning. But those concerns have been addressed and it would be a nice street front addition. His only concern was the hard roof of the structure since it will be visible from the public right of way including the public parking garage. For the record and in case of the fence being damaged, he thought it was important for the board to see the design of that specific detail. Board Member Yee also thought the design had evolved nicely and pointed out the structure along the south side of the project area. In regard to the roof, there will need to be some kind of slope on it. A general profile or section of the roof and how it will tie into the existing and how it comes out, how high it will be, where the fascia is, and how the roof will play with the existing surroundings. **Board Member Ramos moved to approve with the details of the bar and restroom roof to be submitted for abbreviated review. Chairperson Salter clarified that the detail or section of the juncture to the adjacent building as well as the profile of the roof edge be provided. Board Member Courtney seconded the motion and it carried 5-0.**

ADJOURNMENT – Historic Preservation Planner Harding provided an overview of the 313 W. Jackson Street appeal to City Council on June 22. City Council affirmed ARB's decision to deny the roof but will allow the roof to remain until the property ceases to be used as Ms. Chandler's residence or is sold. The board also discussed the city's inspection processes and enforcement actions for nonapproved work in the historic districts.

With no further business, the meeting adjourned at 5:21 p.m.

Respectfully Submitted,

Historic Preservation Planner Harding
Secretary to the Board

City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00815 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

315 W. Blount Street
North Hill Preservation District / Zone PR-1AAA
Addition of Rolldown Shutters at a Noncontributing Structure

BACKGROUND:

Mr. Robertson is requesting approval to install electric rolldown shutters on two garage door openings at the rear of a noncontributing structure. The clearance for both openings are reportedly too low to install conventional garage doors with ceiling-mounted equipment. The shutters are an aluminum Town & Country model for hurricane protection and will be painted to match the body color of the house. The 10”-wide shutter head, or box, will be mounted flush with the tops of the openings with 3” wide side rails. The shutters themselves will measure 114” x 95”.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS
Sec. 12-3-10(2)d.2.ii.(a) North Hill Preservation District, Decisions
Sec. 12-3-10(2)g. NHPD, Alterations to noncontributing and infill structures

315 W. Blount Street

City of Pensacola
America's First Settlement And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 7-28-2022

Project Address: 315 W. Blount ST

Applicant: Bill Robertson (owner)

Applicant's Address: 315 W. Blount ST

Email: Covingtonmedical@gmail.com Phone: 985-630-8404

Property Owner: _____
(If different from Applicant)

District: ☑ ***PHD*** ☐ ***NHPD*** ☐ ***OEHPD*** ☐ ***PHBD*** ☐ ***GCD***

Application is hereby made for the project as described herein:

☒ Residential Homestead – $50.00 hearing fee

☐ Commercial/Other Residential – $250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Mr. Robertson is requesting permission to install electric rolldown shutters on his two garage door openings. When he purchased the house his intention was to install conventional garage doors. He consulted two companies for estimates. Both companies said it was not doable due to the restricted clearance above the door. He needs to protect his belonging and have the ability to park his automobiles. The house has no historical value and the rolldowns will not be visible from the street.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

July 28, 2022
Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

W. Blount St View

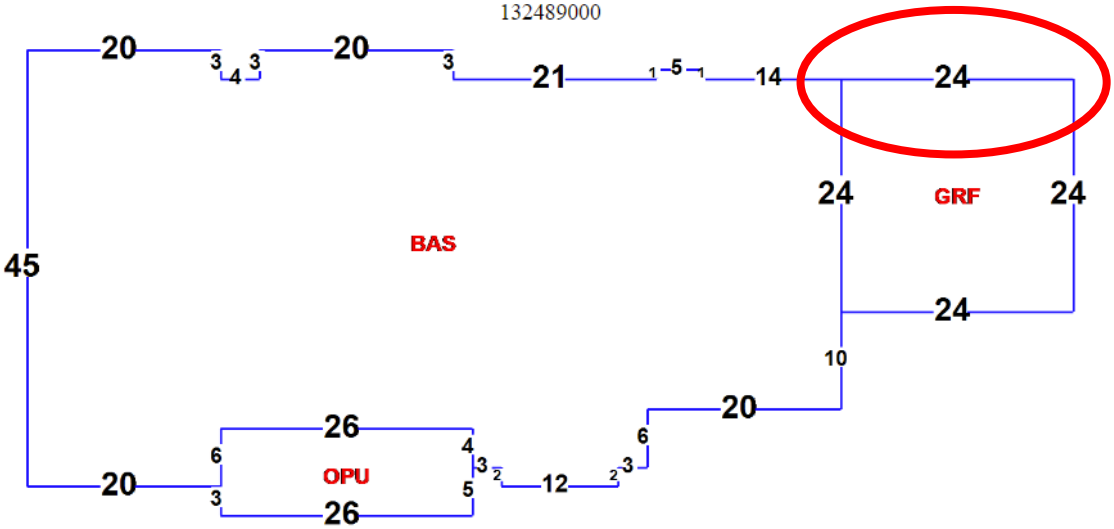
no ceiling heigth

boarded up garage door openings

n. Reus St driveway entrance Hedge to be trimmed higher

N. Reus ST View

Escambia County Property Appraiser
132489000



Shutters to be painted to match the painted brick.

The shutter box / header will be mounted to be flush with the top of the openings and will be 10” wide cover the top soldier course. The shutter header will also extend 3” wider on both sides of each opening. The below image is the approximate span of the header, while the shutters will fully cover the openings.

Rails along side of openings will be 3” thick.

The full dimensions of the rolldown will be 114" x 95" each. The slats will span the 114". There is no storm bar associated with the rolldown. The technology used today is an end retention system that holds the slats in the side rails. Everything will be direct mounted.

Example images

eyewall® Armor
HURRICANE PROTECTION

Aluminum Roll Shutters

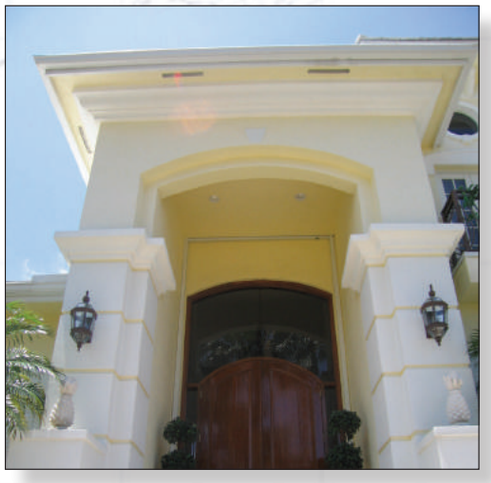
Available through . . .

Town & Country INDUSTRIES
Wholesale Aluminum and Building Products
A Division of ABC Supply Co., Inc.

TCI105 (5/15)

EA Aluminum Roll Shutters_Flyer_Updated-REV 04-30-15.indd 1 5/7/2015 1:50:56 PM

EA 44mm & MS 56mm
Aluminum Roll Shutters



Engineered to be the best, Town & Country's EA 44mm and MS 56mm End Retention Roll Shutters are designed for strength and beauty. Our product has been rigorously tested and the MS 56mm can achieve widths up to 256" and heights up to 252". Our versatile systems offer you a choice of vented or non-vented EA 44mm & MS 56mm slats, in four (4) colors, combined with a wide array of electronic motors and controls that will seamlessly integrate with your shutters.

Our Rolling Shutters will provide your home or business with unparalleled comfort and convenience while affording you maximum protection against intruders and harsh elements.

Town & Country's MS 56mm Aluminum Roll Shutters have some of the industry's highest *LOAD BEARING* capacities. The design of the End Retention System is so strong that a 9.5' wide x 20' tall shutter is capable of withstanding over 22,000-lbs. of test load pressure.

Aluminum Roll Shutters provide a wide array of benefits:

- End Retention and Non-End Retention.
- EA 44mm and MS 56mm End and MS 56mm Non-Vented Slats available.
- MS 56mm available in sizes up to 256" in width and 252" in height.
- EA 44mm available in sizes up to 146.5" in width.
- Colors Available: White, Beige, Ivory, and Bronze.
- Motorization available with Eyewall Armor® tubular motors from 20Nm-300Nm and wireless electronics which accommodate a wide range of applications.
- EA 44mm has an ultra compact roll diameter allowing 72" openings in a 7" box and up to 108" in an 8" box.
- Recommended for doors, windows, porches, lanais, balconies, storefronts and more.

eyewall® Armor
HURRICANE PROTECTION

INTERNATIONAL HURRICANE PROTECTION ASSOCIATION
IHPA

MaestroShield®
Protection Like No Other

www.eyewallarmor.com

Copyright 2015, Town & Country Industries

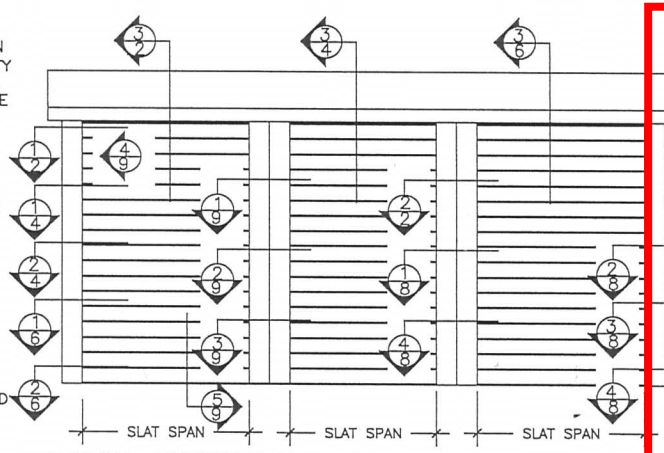
EA Aluminum Roll Shutters_Flyer_Updated-REV 04-30-15.indd 2 5/7/2015 1:50:59 PM

STRUCTURAL NOTES:

1. THIS NON POROUS SYSTEM HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2020 EDITION OF THE FLORIDA BUILDING CODE (FBC) . THIS SYSTEM SHALL NOT BE INSTALLED IN THE HIGH VELOCITY HURRICANE ZONE (MIAMI–DADE/ BROWARD COUNTIES), NOR WIND ZONE 4 NOR ESSENTIAL FACILITIES I. THE ADEQUACY FOR IMPACT, DEFLECTION AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE ABOVE REFERENCED CODE, AND ASTM E330–02, ASTM E1886–05 AND ASTM E1996–06. SEE LIST OF REPORTS ON SHEET 1 OF 11.
2. DESIGN PRESSURE REQUIREMENTS OF A SPECIFIC SITE SHALL BE DETERMINED BY OTHERS IN CONFORMANCE TO THE FBC FOR A BASIC WIND SPEED (ALLOWABLE STRESS DESIGN) AS REQUIRED BY THE JURISDICTION WHERE THE SYSTEM WILL BE INSTALLED. ULTIMATE DESIGN LOADS (UD) DETERMINED BY ASCE 7–16 SHALL BE REDUCED TO ALLOWABLE STRESS DESIGN LOADS (ASD) BY MULTIPLYING THE UD BY 0.6. TO COMPARE THEM TO THE ASD PRESSURE RATINGS SHOWN ON SHEETS 3, 5 &7 OF 11. USE OF DIRECTIONALITY FACTOR Kd=0.85 IS ALLOWED.
3. IMPACT AND FATIGUE RESISTANCE HAS BEEN DETERMINED IN ACCORDANCE WITH THE FBC SECTION 1626 LARGE MISSILE AND 1609.1.2 MISSLE TYPE "D" AS LISTED HEREIN.
4. NO 33–1/3% INCREASE IN ALLOWABLE STRESS INCREASE HAS BEEN USED IN THE DESIGN OF THIS PRODUCT.
5. THIS PRODUCT EVALUATION DOCUMENT (PED) DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. IF SITE CONDITIONS DEVIATE FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED IN CONJUNCTION WITH THIS DOCUMENT.
6. THE CONTRACTOR AND / OR PERMIT HOLDER IS TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION OF THIS SYSTEM, INCLUDING VERIFYING THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND THE NEW SUPERIMPOSED LOADS SHOWN BELOW AND THE SOUDNESS OF THE STRUCTURE WHERE THE SYSTEM IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.
7. SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA LICENSED ENGINEER OR ARCHITECT WHO WILL BECOME THE ENGINEER OF RECORD (EOR) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE PED. THE ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE PED ENGINEER SHALL SUBMIT TO THIS ENGINEER THE SITE SPECIFIC DRAWINGS FOR REVIEW.
8. THIS PED SHALL BEAR THE DATE AND ORIGINAL SEAL OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT REGARDLESS OF ITS AVAILABILITY FROM THE FLORIDA PRODUCT APPROVAL WEBSITE.
9. AN OPTIONAL UV AND / OR SOLAR EXTERNAL LAYER MAY BE ADDED ONTO THE SYSTEM.
10. LIMITATIONS OF USE:
    THE MAXIMUM SIZE SHALL BE SHOWN ON SHEETS 3, 5 & 7 OF 11.
    MAXIMUM HEIGHT OF ROLL–UP SHALL BE 15'–0".
11. FOR DETERMINING INTERNAL PRESSURE IN THE ABOVE REFERENCED CODES, THIS PRODUCT IS CLASSIFIED AS NON–POROUS WITH A POROSITY OF LESS THAN 10% FOR THE CONDITIONS SHOWN IN THIS PRODUCT EVALUATION DOCUMENT. THIS PRODUCT MUST COMPLETELY COVER AN OPENING IN ALL DIRECTIONS.
12. ALL SCREWS TO BE STAINLESS STEEL 304 OR GALVANIZED A307 STEEL.
13. ALL BOLTS TO BE ASTM A307, GALVANIZED OR 304 SERIES STAINLESS STEEL.
14. SUPPORTBRACKETS AND ANCHORS :
    A. ANCHORS INTO THE SUPPORT SUBSTRUCTURE (WALL, CEILINGS, BEAMS AND FLOORS) SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
    B. THE ANCHOR SPACING SHOWN ON SHEETS 3, 5, & 7 of 11 INDICATED FOR 1/4" and 3/8" DIAMETERS REFER TO CENTER OF SUPPORTING BRACKETS.
    C. ANCHOR MINIMUM EMBEDMENT AND EDGE DISTANCES

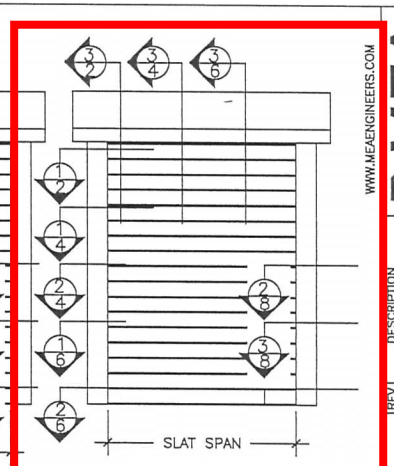
SUBSTRUCTURE	EMBEDMENT	EDGE DISTANCE
HOLLOW BLOCK	1–1/4 INCH	12 D OR PER MANUF.
GROUT FILLED OR KSI CONCRETE	1–3/4 INCH	12 D OR PER MANUF.
4 KSI CONCRETE OR 2 KSI CONCRETE	1–3/4 INCH	12 D OR PER MANUF.
WOOD OR TIMBER	8 D	3/4 INCH

    D. NO EMBEDMENT INTO NON–STRUCTURAL MATERIAL SUCH AS STUCCO, SIDING AND PAVERS SHALL BE INCLUDED AS PART OF THE EMBEDMENT REQUIREMENT.
15. STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC NO.: TTP–645, OR BE GALVANIZED.
16. MAXIMUM DESIGN PRESSURE VERSUS PANEL SPAN SHOWN ON SHEETS 3, 5 &7 OF 11.
17. ALL ALUMINUM ALLOYS SHALL BE 6063–T6 OR 6005–T6 U.N.O.
18. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
19. MANUFACTURER LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION ON THE ROLL–UP. ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS:
    National Approved Shutter Assn LLC
    8717 NW 117 St; Suite 1
    Hialeah Gardens, FL 33018
    FLORIDA PRODUCT APPROVAL NUMBER: FL–XXXX. OPENING NO.: XX
20. THIS DOCUMENT IN ITS ENTIRETY WILL BE CONSIDERED INVALID IF IT IS ALTERED BY ANY MEANS OR DOES NOT BEAR THE DATE AND ORIGINAL SEAL OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.



TYPICAL MULTIPLE UNIT ELEVATION

INTERMEDIATE MULLION REQUIRED FOR INSTALLATION
SCALE 1:20



TYPICAL SINGLE UNIT ELEV.

SINGLE SPAN UNIT INSTALLATION
SCALE 1:20

LIST OF REPORTS

EVALUATION BASED ON:
ARCHITECTURAL TESTING INC.

LAB NO.: B4522.01–401–18
DATED 12/16/2011
TAS 201, TAS 203 – LARGE MISSILE IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE
TAS 202 – UNIFORM STATIC LOADS

LAB NO.: B4519.01–401–18
DATED 02/02/2012
TAS 201, TAS 203 – LARGE MISSILE IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE
TAS 202 – UNIFORM STATIC LOADS

LAB NO.: B4521.02–401–44
DATED 02/22/2012
ASTM E330–02 – UNIFORM STATIC LOADS
ASTM E1886–05 & ASTM E1996–06 – LARGE MISSILE TYPE "D" IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE

LAB NO.: B4520.02–401–44
DATED 02/22/2012
ASTM E330–02 – UNIFORM STATIC LOADS
ASTM E1886–05 & ASTM E1996–06 – LARGE MISSILE TYPE "D" IMPACT RESISTANCE & CYCLIC LOADING PERFORMANCE

SPAN SCHEDULE

END RETENTION SHUTTER

SLAT SPAN	ALLOWABLE DESIGN PRESSURE
84.0"	+/- 120.0 PSF
90.0"	+/- 107.9 PSF
100.0"	+/- 92.6 PSF
110.0"	+/- 81.4 PSF
120.0"	+/- 72.9 PSF
130.0"	+/- 66.2 PSF
140.0"	+/- 60.8 PSF
168.0"	+/- 50.0 PSF
190.0"	+/- 46.6 PSF
200.0"	+/- 45.2 PSF
210.0"	+/- 44.0 PSF
220.0"	+/- 43.0 PSF
230.0"	+/- 42.0 PSF
240.0"	+/- 41.0 PSF
250.0"	+/- 40.2 PSF
252.0"	+/- 40.0 PSF

JOHN HENRY KAMPMANN JR. LICENSE No. 47516 STATE OF FLORIDA PROFESSIONAL ENGINEER

John Henry Kampmann Jr.
2021.08.17 21:16:18-04'00'

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

FBC 2020 (NON–HIGH VELOCITY HURRICANE ZONE)

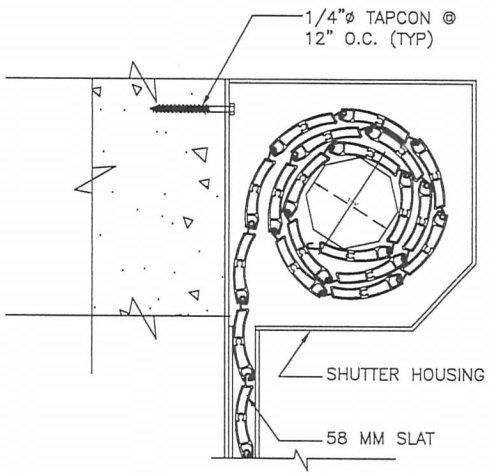
WWW.MEAENGINEERS.COM
MEA ENGINEERS, INC.
2352 Appaloosa Circle
Sarasota, Florida 34240
(941) 922–3854 CA–6752

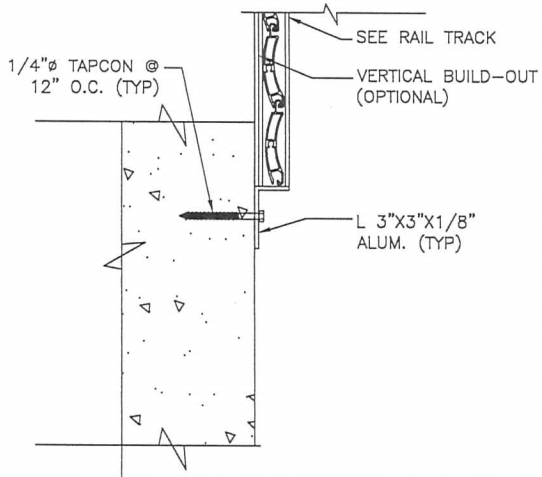
REV.	DESCRIPTION
1	XX/XX/XX – RESERVED.

Project Name: National Approved Shutter Assn LLC
8717 NW 117 St, Suite 1
Hialeah Gardens, FL 33018
Phone: (786)621-6706

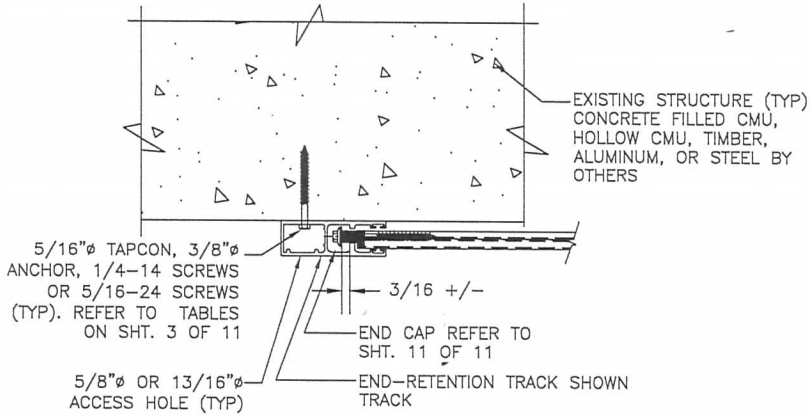
Description: NAS-Assn 58 MILLIMETER ROLL-UP SHUTTER SYSTEM

Drawn: JK
Project #: 21–0817
Scale: NOTED
Date: 8/17/21
Sheet No.: 1 of 11

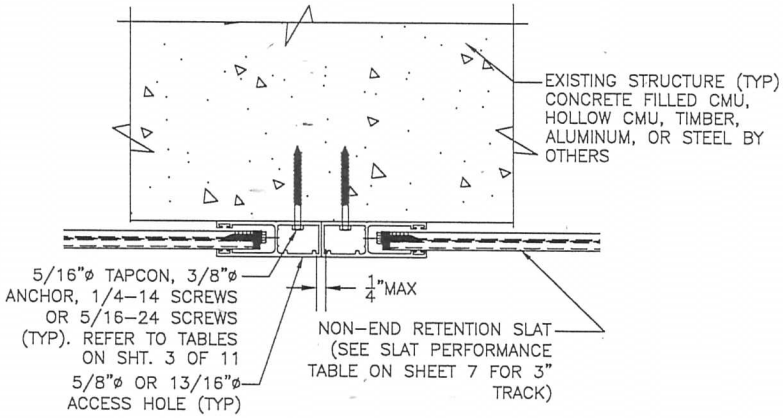




DIRECT MOUNT
3-1/4" END RETENTION TRACK
3/2 WALL MOUNT INSTALLATION
SCALE 3"=1'-0"



END RETENTION OR-NON END
RETENTION TRACK
1/2 DIRECT MOUNT INSTALLATION
SCALE 3"=1'-0"



NON-END RETENTION TRACK Sh
2/2 WALL MOUNT INSTALLATION
SCALE 3"=1'-0"

John Henry Kampmann Jr.
2021.08.17 21:17:
03-04'00'

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

FBC 2020 (NON-HIGH VELOCITY HURRICANE ZONE)

WWW.MEAENGINEERS.COM

MEA ENGINEERS, INC.
2352 Appaloosa Circle
Sarasota, Florida 34240
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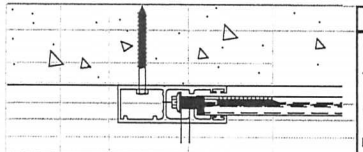
Sheet No.: 2 of 11



END RETENTION (WALL MOUNT)

MAXIMUM SPACING (O.C.)

SLAT SPAN		DESIGN PRESSURE	Rx	Ry	1/4" ELCO ULTRACON TO 2700 PSI MIN. CONCRETE; 1.75" MIN. EMBEDMENT; 2.5" MIN. EDGE DISTANCE	1/4" SS ITW TAPCON TO 3192 PSI MIN. CONCRETE; 1.75" MIN. EMBEDMENT; 2.5" MIN. EDGE DISTANCE	5/16" ELCO ULTRACON TO 3500 PSI MIN. CONCRETE; 2" MIN. EMBEDMENT; 3.125" MIN. EDGE DISTANCE	5/16" ITW TAPCON TO 2899 PSI MIN. CONCRETE; 2.25" MIN. EMBEDMENT; 3.125" MIN. EDGE DISTANCE	5/16" ITW TAPCON TO GROUT-FILLED CONCRETE BLOCK; 2.25" MIN. EMBEDMENT; 4" MIN. EDGE DISTANCE	5/16" ITW TAPCON TO HOLLOW CONCRETE BLOCK; 1.75" MIN. EMBEDMENT; 4" MIN. EDGE DISTANCE	1/4" POWERS POWER-BOLT TO 3000 PSI MIN. CONCRETE; 2.5" MIN. EMBEDMENT; 3" MIN. EDGE	1/4" ALL-POINTS SOLID-SET TO 3000 PSI MIN. CONCRETE; 0.875" MIN. EMBEDMENT; 3" MIN. EDGE DISTANCE	1/4" ALL-POINTS SOLID-SET TO HOLLOW BLOCK; 0.875" MIN. EMBEDMENT; 3" MIN. EDGE DISTANCE	1/4" LAG SCREW TO G=0.55 MIN WOOD; 1.5" MIN. EMBEDMENT; 0.75" MIN. EDGE DISTANCE	5/16" LAG SCREW TO G=0.42 MIN WOOD; 2" MIN. EMBEDMENT; 0.75" MIN. EDGE DISTANCE	#14 WOOD SCREW TO G=0.55 MIN WOOD; 1.5" MIN. EMBEDMENT; 0.75" MIN. EDGE DISTANCE	#14 410 SS SMS W/ FULL THREAD PENETRATION OR 1/4-20 410 SS THRU-BOLT TO 0.125" MIN. 6063-T6 ALUM; 0.5" MIN	5/16" 410 SS SMS W/ FULL THREAD PENETRATION OR 5/16-18 410 SS THRU-BOLT TO 0.25" MIN. 6063-T6 ALUM; 0.625" MIN	3/8" POWERS WEDGE BOLT TO 3000 PSI MIN. CONCRETE; 3.5" MIN. EMBEDMENT; 4.5" MIN. EDGE	3/8" ELCO CONFLEX TO 1819 PSI MIN. CONCRETE; 3.5" MIN. EMBEDMENT; 3.75" MIN. EDGE DISTANCE	3/8" ELCO CONFLEX TO 4510 PSI MIN. CONCRETE; 3.5" MIN. EMBEDMENT; 3.75" MIN. EDGE DISTANCE
7.0 FT	84"	+/- 30 PSF	143.1 LB/FT	105.0 LB/FT	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"
	84"	+/- 35 PSF	249.4 LB/FT	122.5 LB/FT	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	7.5"	6.5"	7.8"	10.0"	10.0"	10.0"	10.0"	10.0"
	84"	+/- 40 PSF	355.5 LB/FT	140.0 LB/FT	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	9.6"	5.4"	4.7"	5.6"	10.0"	10.0"	10.0"	10.0"	10.0"
	84"	+/- 45 PSF	461.4 LB/FT	157.5 LB/FT	8.8"	9.5"	10.0"	10.0"	10.0"	8.5"	10.0"	10.0"	7.7"	4.2"	3.6"	4.4"	9.5"	10.0"	10.0"	10.0"	10.0"
	84"	+/- 50 PSF	567.1 LB/FT	175.0 LB/FT	7.3"	7.9"	10.0"	10.0"	10.0"	7.2"	10.0"	9.1"	6.4"	3.5"		3.6"	8.1"	9.0"	10.0"	10.0"	10.0"
	84"	+/- 60 PSF	778.1 LB/FT	210.0 LB/FT	5.5"	5.9"	10.0"	10.0"	9.9"	5.5"	7.6"	6.8"	4.8"				6.3"	7.1"	10.0"	10.0"	10.0"
	84"	+/- 70 PSF	988.2 LB/FT	245.0 LB/FT	4.4"	4.7"	8.3"	8.2"	7.9"	4.5"	6.1"	5.5"	3.9"				5.1"	5.9"	10.0"	10.0"	10.0"
	84"	+/- 80 PSF	1197.6 LB/FT	280.0 LB/FT	3.7"	3.9"	6.9"	6.8"	6.6"	3.8"	5.1"	4.6"	3.2"				4.3"	5.0"	10.0"	10.0"	10.0"
	84"	+/- 90 PSF	1406.1 LB/FT	315.0 LB/FT	3.1"	3.4"	5.9"	5.9"	5.6"	3.3"	4.4"	3.9"					3.7"	4.4"	10.0"	10.0"	10.0"
	84"	+/- 100 PSF	1613.7 LB/FT	350.0 LB/FT			5.2"	5.1"	4.9"		3.9"	3.4"					3.3"	3.9"	9.9"	10.0"	10.0"
	84"	+/- 110 PSF	1820.4 LB/FT	385.0 LB/FT			4.6"	4.6"	4.4"		3.5"	3.1"						3.5"	8.8"	9.4"	10.0"
	84"	+/- 120 PSF	2026.1 LB/FT	420.0 LB/FT			4.2"	4.1"	4.0"		3.1"							3.2"	7.9"	8.5"	10.0"
8.0 FT	96"	+/- 30 PSF	401.4 LB/FT	120.0 LB/FT	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	10.0"	9.1"	4.9"	4.2"	5.1"	10.0"	10.0"	10.0"	10.0"	10.0"
	96"	+/- 35 PSF	531.6 LB/FT	140.0 LB/FT	8.1"	8.7"	10.0"	10.0"	10.0"	8.2"	10.0"	10.0"	7.1"	3.7"	3.2"	3.9"	9.3"	10.0"	10.0"	10.0"	10.0"
	96"	+/- 40 PSF	661.9 LB/FT	160.0 LB/FT	6.6"	7.1"	10.0"	10.0"	10.0"	6.8"	9.2"	8.2"	5.8"	3.0"		3.2"	7.7"	8.9"	10.0"	10.0"	10.0"
	96"	+/- 45 PSF	792.0 LB/FT	180.0 LB/FT	5.6"	6.0"	10.0"	10.0"	10.0"	5.8"	7.8"	6.9"	4.9"				6.6"	7.7"	10.0"	10.0"	10.0"
	96"	+/- 50 PSF	922.2 LB/FT	200.0 LB/FT	4.8"	5.2"	9.1"	9.0"	8.7"	5.0"	6.8"	6.0"	4.2"				5.8"	6.8"	10.0"	10.0"	10.0"
	96"	+/- 60 PSF	1182.5 LB/FT	240.0 LB/FT	3.8"	4.1"	7.2"	7.1"	6.8"	4.0"	5.4"	4.7"	3.3"				4.6"	5.5"	10.0"	10.0"	10.0"
	96"	+/- 70 PSF	1442.8 LB/FT	280.0 LB/FT	3.1"	3.4"	5.9"	5.9"	5.6"	3.3"	4.4"	3.9"					3.8"	4.6"	10.0"	10.0"	10.0"
	96"	+/- 80 PSF	1703.0 LB/FT	320.0 LB/FT		3.0"	5.0"	5.0"	4.8"		3.8"	3.3"					3.3"	3.9"	9.6"	10.0"	10.0"
10.0 FT	120"	+/- 30 PSF	849.8 LB/FT	150.0 LB/FT	5.4"	5.8"	10.0"	10.0"	9.7"	5.8"	7.7"	6.7"	4.8"				6.7"	8.2"	10.0"	10.0"	10.0"
	120"	+/- 35 PSF	1032.0 LB/FT	175.0 LB/FT	4.5"	4.8"	8.4"	8.4"	8.0"	4.8"	6.4"	5.6"	3.9"				5.6"	6.8"	10.0"	10.0"	10.0"
	120"	+/- 40 PSF	1214.2 LB/FT	200.0 LB/FT	3.8"	4.1"	7.2"	7.1"	6.8"	4.1"	5.5"	4.8"	3.4"				4.8"	5.9"	10.0"	10.0"	10.0"
	120"	+/- 45 PSF	1396.3 LB/FT	225.0 LB/FT	3.3"	3.6"	6.3"	6.2"	5.9"	3.6"	4.8"	4.2"					4.2"	5.2"	10.0"	10.0"	10.0"
	120"	+/- 50 PSF	1578.5 LB/FT	250.0 LB/FT	3.0"	3.2"	5.6"	5.5"	5.3"	3.2"	4.2"	3.7"					3.8"	4.6"	10.0"	10.0"	10.0"
	120"	+/- 60 PSF	1942.8 LB/FT	300.0 LB/FT			4.5"	4.5"	4.3"		3.5"	3.0"					3.1"	3.8"	8.5"	9.3"	10.0"
	120"	+/- 70 PSF	2307.0 LB/FT	350.0 LB/FT			3.8"	3.8"	3.6"									3.2"	7.2"	7.9"	9.6"
	120"	+/- 80 PSF	2671.2 LB/FT	400.0 LB/FT			3.3"	3.3"	3.1"										6.2"	6.8"	8.3"
12.0 FT	144"	+/- 30 PSF	1269.0 LB/FT	180.0 LB/FT	3.7"	4.0"	7.0"	7.0"	6.6"	4.1"	5.4"	4.7"	3.3"				4.8"	6.0"	10.0"	10.0"	10.0"
	144"	+/- 35 PSF	1506.7 LB/FT	210.0 LB/FT	3.1"	3.4"	5.9"	5.9"	5.6"	3.5"	4.5"	3.9"					4.1"	5.1"	10.0"	10.0"	10.0"
	144"	+/- 40 PSF	1748.4 LB/FT	240.0 LB/FT		3.0"	5.1"	5.1"	4.8"	3.0"	3.9"	3.4"					3.5"	4.4"	9.6"	10.0"	10.0"
	144"	+/- 45 PSF	1988.0 LB/FT	270.0 LB/FT			4.5"	4.5"	4.3"		3.4"						3.1"	3.9"	8.5"	9.3"	10.0"
	144"	+/- 50 PSF	2227.7 LB/FT	300.0 LB/FT			4.0"	4.0"	3.8"		3.1"							3.5"	7.5"	8.3"	10.0"
	144"	+/- 60 PSF	2706.9 LB/FT	360.0 LB/FT			3.3"	3.3"	3.1"										6.2"	6.8"	8.3"
	144"	+/- 70 PSF	3186.1 LB/FT	420.0 LB/FT			3.0"	3.0"											5.3"	5.8"	7.0"
14.0 FT	168"	+/- 30 PSF	1689.0 LB/FT	210.0 LB/FT		3.0"	5.4"	5.3"	5.1"	3.2"	4.1"	3.6"					3.8"	4.8"	10.0"	10.0"	10.0"
	168"	+/- 35 PSF	1991.2 LB/FT	245.0 LB/FT			4.6"	4.5"	4.3"		3.5"	3.0"					3.2"	4.1"	8.5"	9.4"	10.0"
	168"	+/- 40 PSF	2293.3 LB/FT	280.0 LB/FT			4.0"	3.9"	3.7"		3.0"							3.5"	7.4"	8.1"	9.9"
	168"	+/- 45 PSF	2595.5 LB/FT	315.0 LB/FT			3.5"	3.5"	3.3"									3.1"	6.5"	7.2"	8.7"
	168"	+/- 50 PSF	2897.6 LB/FT	350.0 LB/FT			3.1"	3.1"	3.0"										5.9"	6.5"	7.8"
16.0 FT	192"	+/- 20 PSF	1382.2 LB/FT	160.0 LB/FT	3.5"	3.7"	6.6"	6.6"	6.2"	3.9"	5.1"	4.4"	3.1"				4.7"	6.0"	10.0"	10.0"	10.0"
	192"	+/- 25 PSF	1751.5 LB/FT	200.0 LB/FT	3.0"	3.0"	5.2"	5.2"	4.9"	3.1"	4.0"	3.5"					3.7"	4.8"	9.7"	10.0"	10.0"
	192"	+/- 30 PSF	2120.7 LB/FT	240.0 LB/FT			4.3"	4.3"	4.1"		3.3"						3.1"	3.9"	8.0"	8.9"	10.0"
	192"	+/- 35 PSF	2489.9 LB/FT	280.0 LB/FT			3.7"	3.7"	3.5"									3.4"	6.9"	7.6"	9.1"
	192"	+/- 40 PSF	2859.1 LB/FT	320.0 LB/FT			3.2"	3.2"	3.0"										6.0"	6.6"	8.0"
	192"	+/- 45 PSF	3228.2 LB/FT	360.0 LB/FT			3.0"	3.0"											5.3"	5.8"	7.1"
18.0 FT	216"	+/- 20 PSF	1687.9 LB/FT	180.0 LB/FT	3.0"	3.1"	5.5"	5.4"	5.1"	3.3"	4.2"	3.6"					3.9"	5.1"	10.0"	10.0"	10.0"
	216"	+/- 25 PSF	2128.4 LB/FT	225.0 LB/FT			4.3"	4.3"	4.1"		3.3"						3.1"	4.0"	8.0"	8.9"	10.0"
	216"	+/- 30 PSF	2568.8 LB/FT	270.0 LB/FT			3.6"	3.6"	3.4"									3.3"	6.7"	7.4"	8.9"
	216"	+/- 35 PSF	3009.1 LB/FT	315.0 LB/FT			3.1"	3.1"	3.0"										5.7"	6.3"	7.6"
	216"	+/- 40 PSF	3449.3 LB/FT	360.0 LB/FT															5.0"	5.5"	6.6"
	216"	+/- 45 PSF	3889.4 LB/FT	405.0 LB/FT															4.4"	4.9"	5.9"
21.0 FT	252.0"	+/- 20 PSF	2167.0 LB/FT	210.0 LB/FT			4.3"	4.3"	4.0"		3.3"						3.1"	4.1"	8.0"	8.8"	10.0"
	252.0"	+/- 25 PSF	2722.2 LB/FT	252.5 LB/FT			3.4"	3.4"	3.2"									3.2"	6.3"	7.0"	8.5"
	252.0"	+/- 30 PSF	3277.1 LB/FT	315.0 LB/FT			3.0"	3.0"											5.3"	5.8"	7.0"
	252.0"	+/- 35 PSF	3831.9 LB/FT	367.5 LB/FT															4.5"	5.0"	6.0"
	252.0"	+/- 40 PSF	4386.4 LB/FT	420.0 LB/FT															3.9"	4.4"	5.3"

JOHN HENRY KAMPMANN JR. LICENSE No. 47516 STATE OF FLORIDA PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOHN H. KAMPMANN JR. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

John Kampmann Jr.
2021.08.17 21:17:45-04'00'

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

FBC 2020 (NON-HIGH VELOCITY HURRICANE ZONE)

WWW.MEAENGINEERS.COM

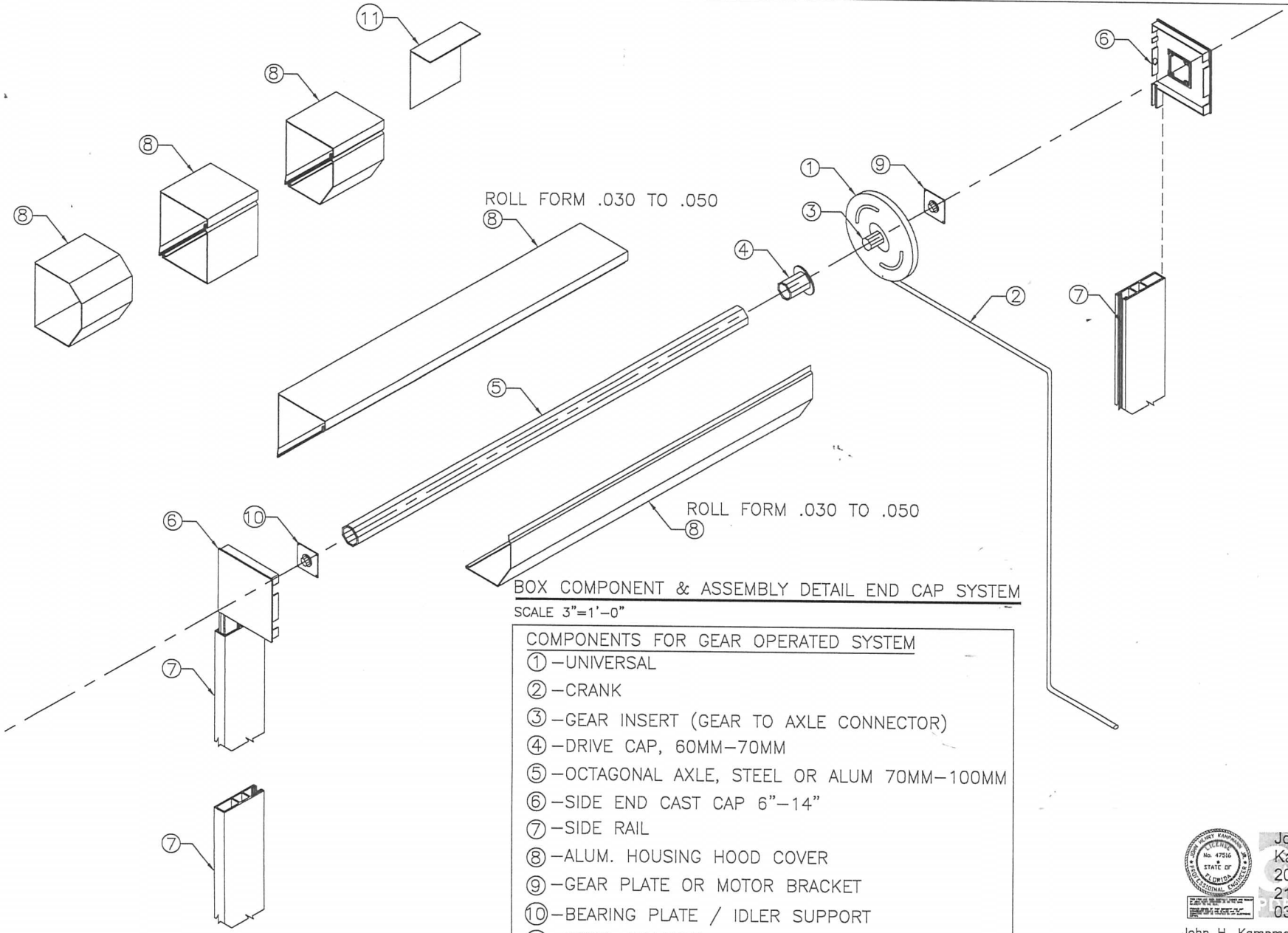
MEA ENGINEERS, INC.
2352 Appaloosa Circle
Sarasota, Florida 34240
(941) 922-3834 CA-6752

REV.	DESCRIPTION
1	XX/XX/XX – RESERVED.

Project Name: National Approved Shutter Assn LLC
8717 NW 117 St, Suite 1
Hialeah Gardens, FL 33018
Phone: (786)621-6706

Description: NAS-Assn 58 MILLIMETER ROLL-UP SHUTTER SYSTEM

Drawn: JK
Project #: 21-0817
Scale: NOTED
Date: 8/17/21
Sheet No.: 3 of 11



BOX COMPONENT & ASSEMBLY DETAIL END CAP SYSTEM

SCALE 3"=1'-0"

COMPONENTS FOR GEAR OPERATED SYSTEM

1 –UNIVERSAL
2 –CRANK
3 –GEAR INSERT (GEAR TO AXLE CONNECTOR)
4 –DRIVE CAP, 60MM–70MM
5 –OCTAGONAL AXLE, STEEL OR ALUM 70MM–100MM
6 –SIDE END CAST CAP 6"–14"
7 –SIDE RAIL
8 –ALUM. HOUSING HOOD COVER
9 –GEAR PLATE OR MOTOR BRACKET
10 –BEARING PLATE / IDLER SUPPORT
11 –STEEL BRACKET

John Henry Kampmann Jr.
2021.08.17 21:21:03-04'00'

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

FBC 2020 (NON-HIGH VELOCITY HURRICANE ZONE)

WWW.MEAENGINEERS.COM

MEA ENGINEERS, INC.
2352 Appaloosa Circle
Sarasota, Florida 34240
(941) 922-3854 CA-6752

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Description: NAS-Assn 58 MILLIMETER ROLL-UP SHUTTER SYSTEM

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Project #: 21-0817
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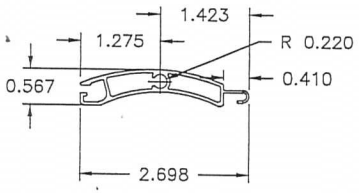
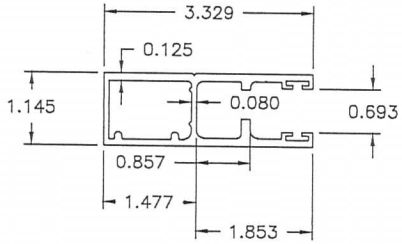
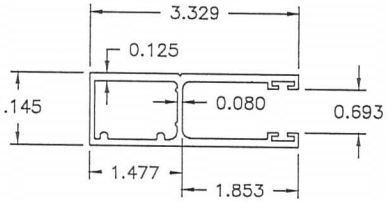
Sheet No.: 10 of 11



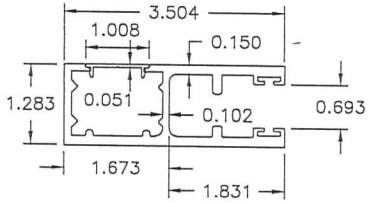
58MM SLAT
SCALE 1:2



58MM SIDE RAIL W/ RETENTION LEGS
SCALE 1:2

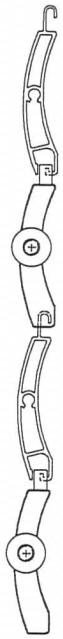


58MM SIDE RAIL W/O RETENTION LEGS
SCALE 1:2



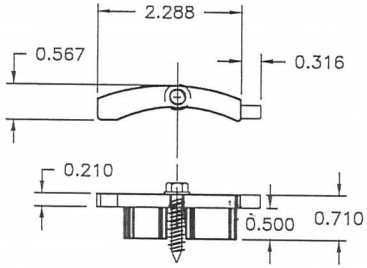
1500 ULTRA END RENTENTION SIDE RAIL W/ COVER
SCALE 1:2

DETAIL–1
SCALE 1:2
2' TO 7'
NON–END RETENTION

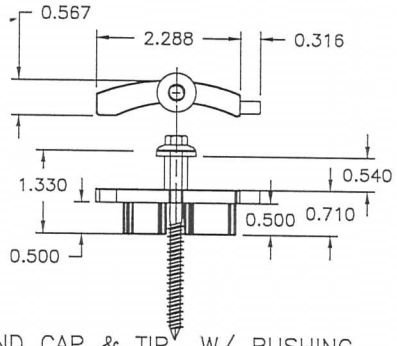


DETAIL–2
SCALE 1:2
2' TO 14'
END RETENTION

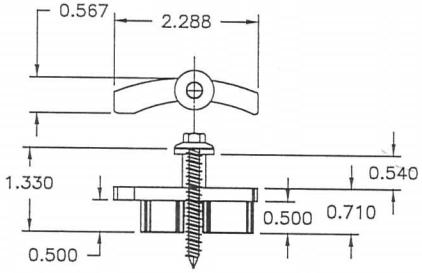
DETAIL–3
SCALE 1:2
14' TO 21'
END RETENTION



1 END CAP & TIP W/OUT BUSHING
SCALE 1:2
SEE DETAIL–1 ON THIS SHT.



2 END CAP & TIP W/ BUSHING
SCALE 1:2
SEE DETAIL–2 ON THIS SHEET



3 END CAP W/ BUSHING
SCALE 1:2
SEE DETAIL–3 ON THIS SHEET

JOHN HENRY KAMPMANN JR. LICENSE No. 47516 STATE OF FLORIDA PROFESSIONAL ENGINEER

John Henry Kampmann Jr.
2021.08.17 21:21:49-04'00'

John H. Kampmann Jr., PE
FL License #: 47516
DATE:

FBC 2020 (NON–HIGH VELOCITY HURRICANE ZONE)

WWW.MEAENGINEERS.COM

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8717 NW 117 St, Suite 1
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Phone: (786)621-6706

Description: NAS-Assn 58 MILLIMETER ROLL-UP SHUTTER SYSTEM

Drawn: JK
Project #: 21–0817
Scale: NOTED
Date: 8/17/21
Sheet No.: 11 of 11

City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00816 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

1415 N. Barcelona Street
North Hill Preservation District / Zone PR-1AAA
Replacement Metal Pergola System at a Noncontributing Structure

BACKGROUND:

McNeill Palm Contracting LLC is seeking approval to replace a storm damaged pergola structure at the rear of a noncontributing structure. The new structure will be white aluminum with an acrylite panel and will be custom engineered to meet drainage and wind load requirements. Product rendering, details, and a site plan have been provided along with images of the old pergola system.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS
Sec. 12-3-10(2)d.2.ii.(a) North Hill Preservation District, Decisions
Sec. 12-3-10(2)g. NHPD, Alterations to noncontributing and infill structures

1415 N. Barcelona Street

APPLICATION TO: **ARCHITECTURAL REVIEW BOARD**
CITY OF PENSACOLA
P. O. BOX 12910
PENSACOLA, FL 32521

DATE OF APPLICATION: 7.29.2022

ADDRESS OF PROJECT:
1415 Barcelona Street Pensacola

Application is hereby made for project as described herein:

Replacement of storm damaged metal pergola structure on rear side of residence. Replace with white aluminum extrusion pergola system custom engineered to meet drainage requirements of property; wind loads based on residential structure and Miami Dade codes. Maintain design uniformity with original pergola structure in color; profile to meet approved historical preservation of property

ATTACH REQUIRED ADDITIONAL INFORMATION
APPLICANT IS HEREBY NOTIFIED TO BE PRESENT OR HAVE AN AUTHORIZED AGENT ATTEND THE MEETING.

The City of Pensacola adheres to the Americans with Disabilities Act and will make reasonable modifications for access to City Services, programs, and activities. Please call 435-1600 for further information. Requests must be made at least 48 hours in advance of the event in order to allow the City time to provide the requested services.

NAME & ADDRESS OF PETITIONER: (Please print)

McNeill Palm Contracting LLC
NAME

850 865 1943
TELEPHONE #

1191 Eglin Parkway Suite C
ADDRESS

Shalimar
CITY

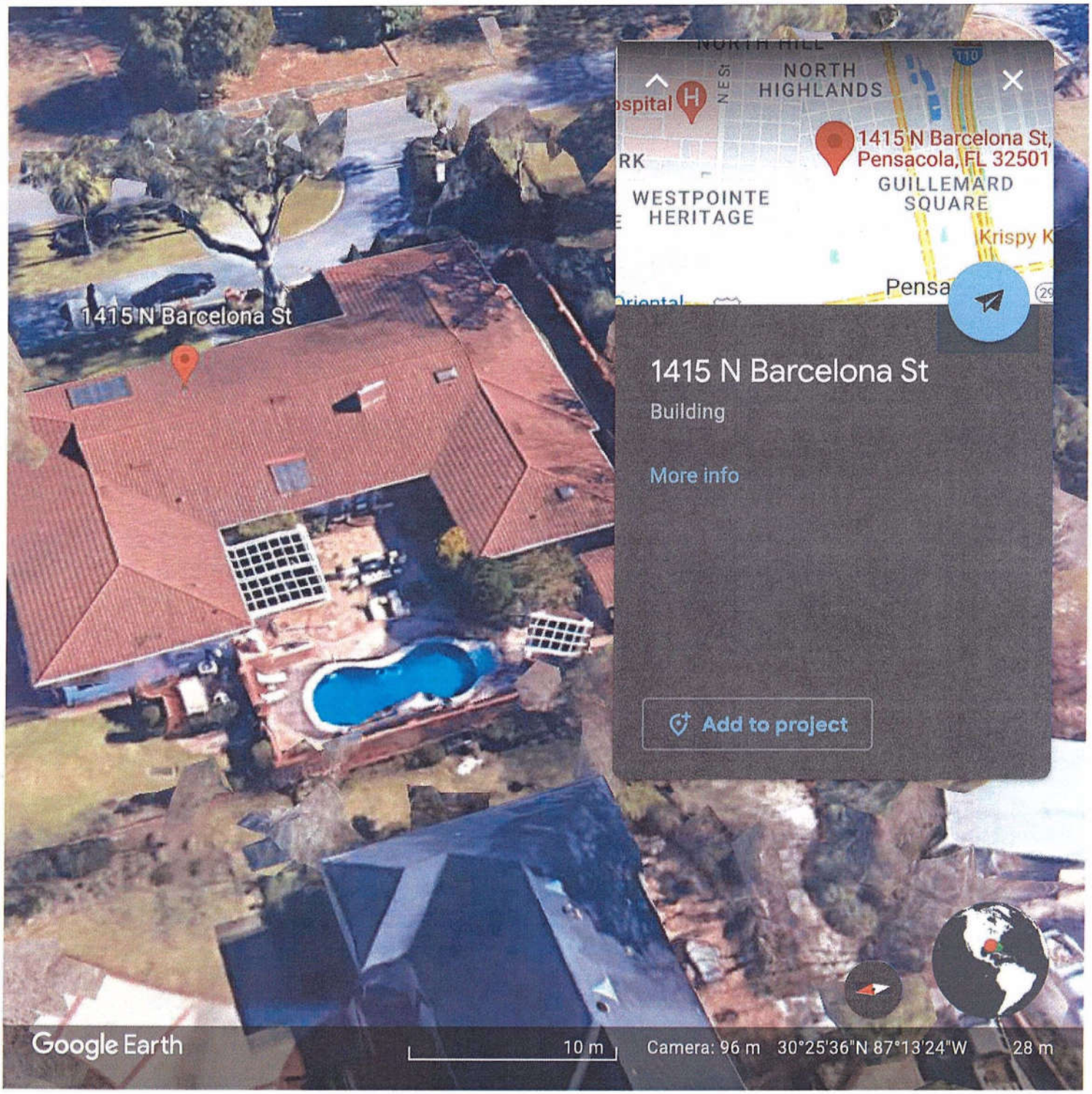
Florida
STATE

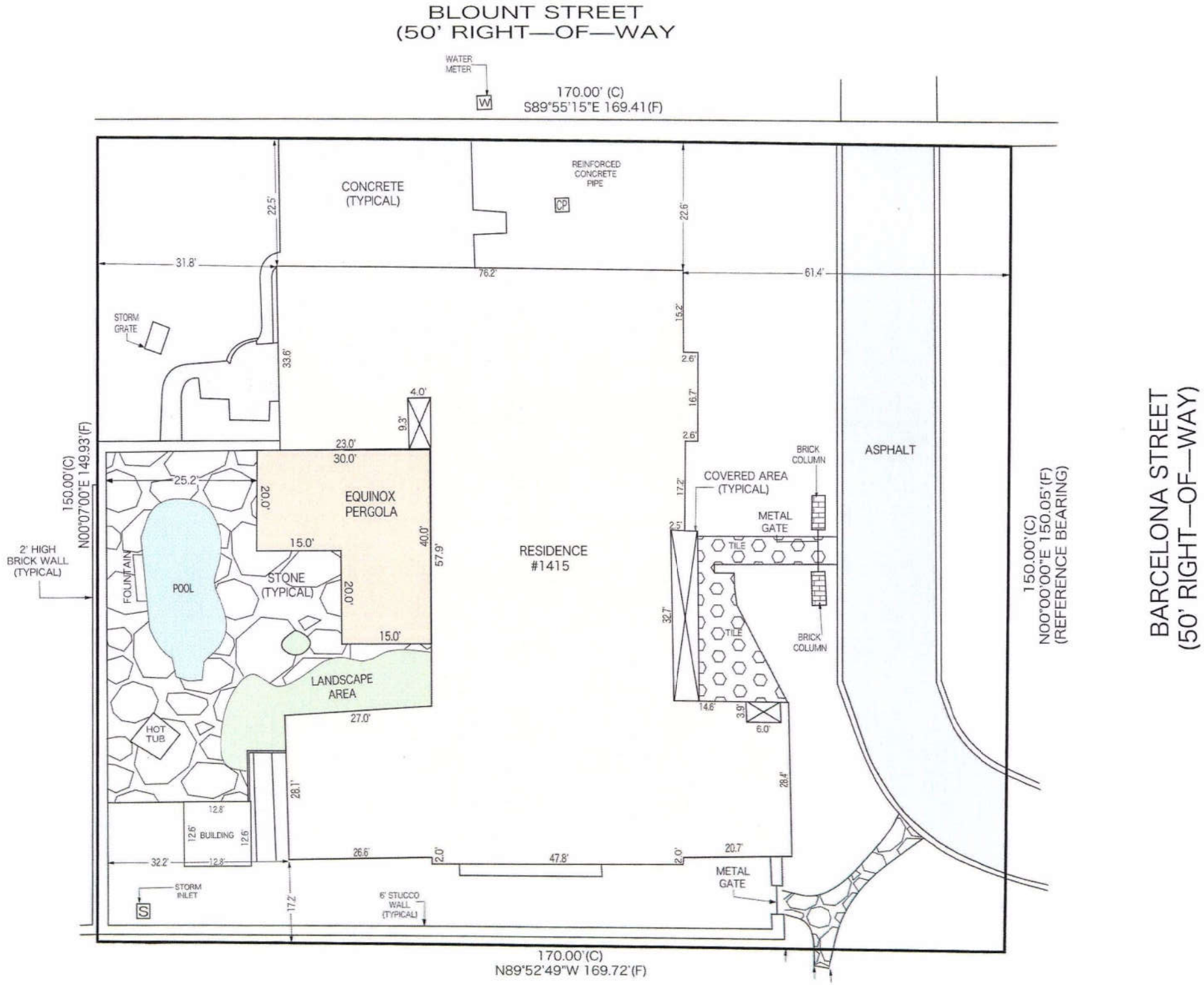
32579
ZIP CODE

Cynthia L Miller Project Manager
SIGNATURE

2.3.22
DATE

Additional engineered drawings on file with Planning Services Staff. - GH


1415 N Barcelona St
NORTH HIGHLANDS
1415 N Barcelona St, Pensacola, FL 32501
WESTPOINTE HERITAGE
GUILLEMARD SQUARE
Krispy K
Pensa
1415 N Barcelona St
Building
More info
Add to project
Google Earth
10 m
Camera: 96 m 30°25'36"N 87°13'24"W 28 m

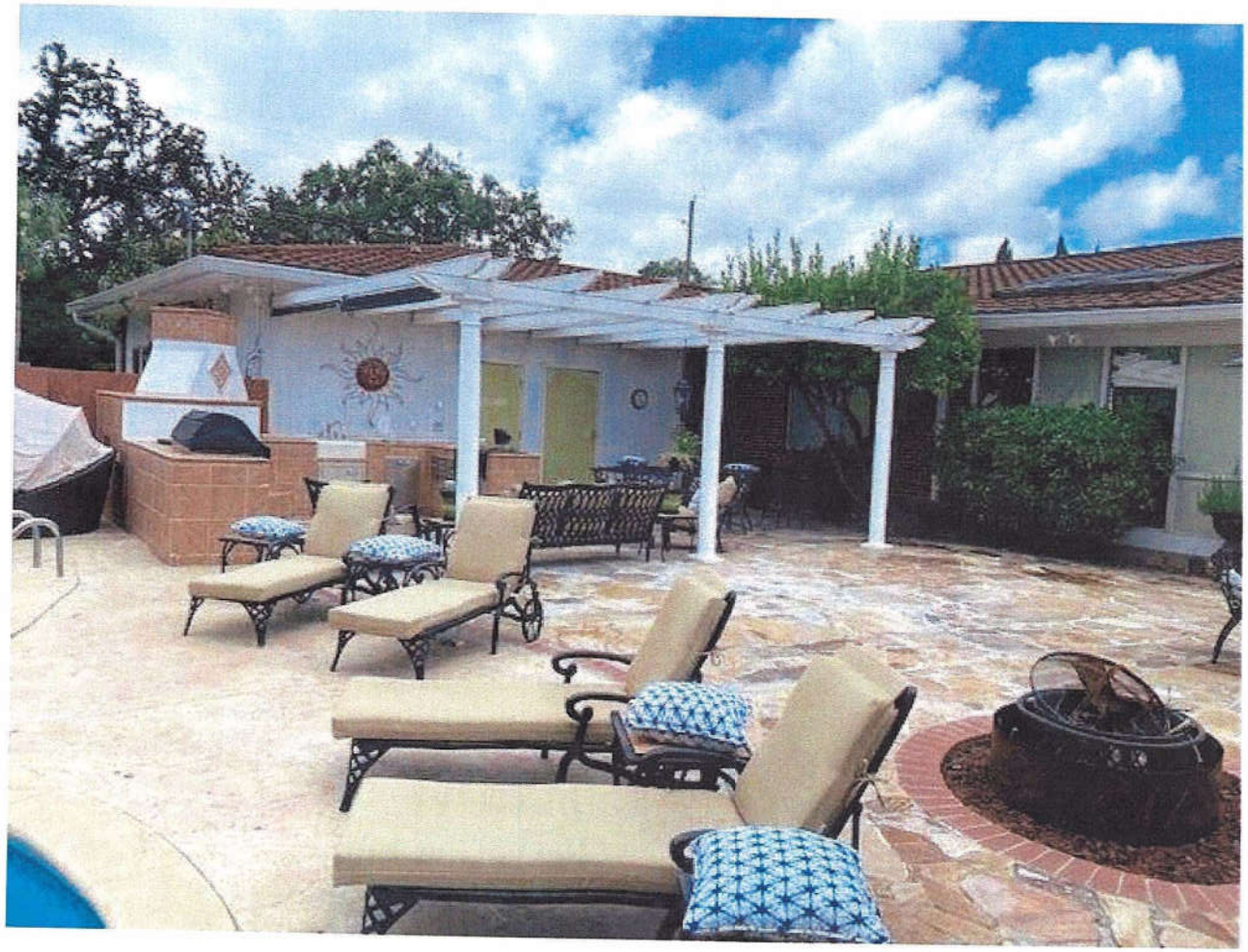

BLOUNT STREET
(50' RIGHT—OF—WAY
WATER METER
W
170.00' (C)
S89°55'15"E 169.41(F)
CONCRETE (TYPICAL)
REINFORCED CONCRETE PIPE
CP
22.5'
22.6'
31.8'
76.2'
61.4'
STORM GRATE
33.6'
15.2'
2.6'
16.7'
2.6'
4.0'
9.3'
23.0'
30.0'
25.2'
20.0'
EQUINOX PERGOLA
40.0'
57.9'
15.0'
STONE (TYPICAL)
20.0'
15.0'
POOL
FOUNTAIN
2' HIGH BRICK WALL (TYPICAL)
150.00'(C)
N00°07'00"E 149.93'(F)
RESIDENCE #1415
BRICK COLUMN
COVERED AREA (TYPICAL)
METAL GATE
TILE
TILE
BRICK COLUMN
17.2'
2.5'
32.7'
14.6'
3.9'
6.0'
ASPHALT
150.00'(C)
N00°00'00"E 150.05'(F)
(REFERENCE BEARING)
BARCELONA STREET
(50' RIGHT—OF—WAY)
LANDSCAPE AREA
27.0'
HOT TUB
28.1'
28.4'
12.8'
12.6'
BUILDING
12.6'
32.2'
12.8'
26.6'
2.0'
47.8'
2.0'
20.7'
METAL GATE
STORM INLET
S
17.2'
6' STUCCO WALL (TYPICAL)
170.00'(C)
N89°52'49"W 169.72'(F)

Riley/Lunden Residence

1415 Barcelona

Pensacola, Fl

Photos Previous structure



Riley/Lunden Residence

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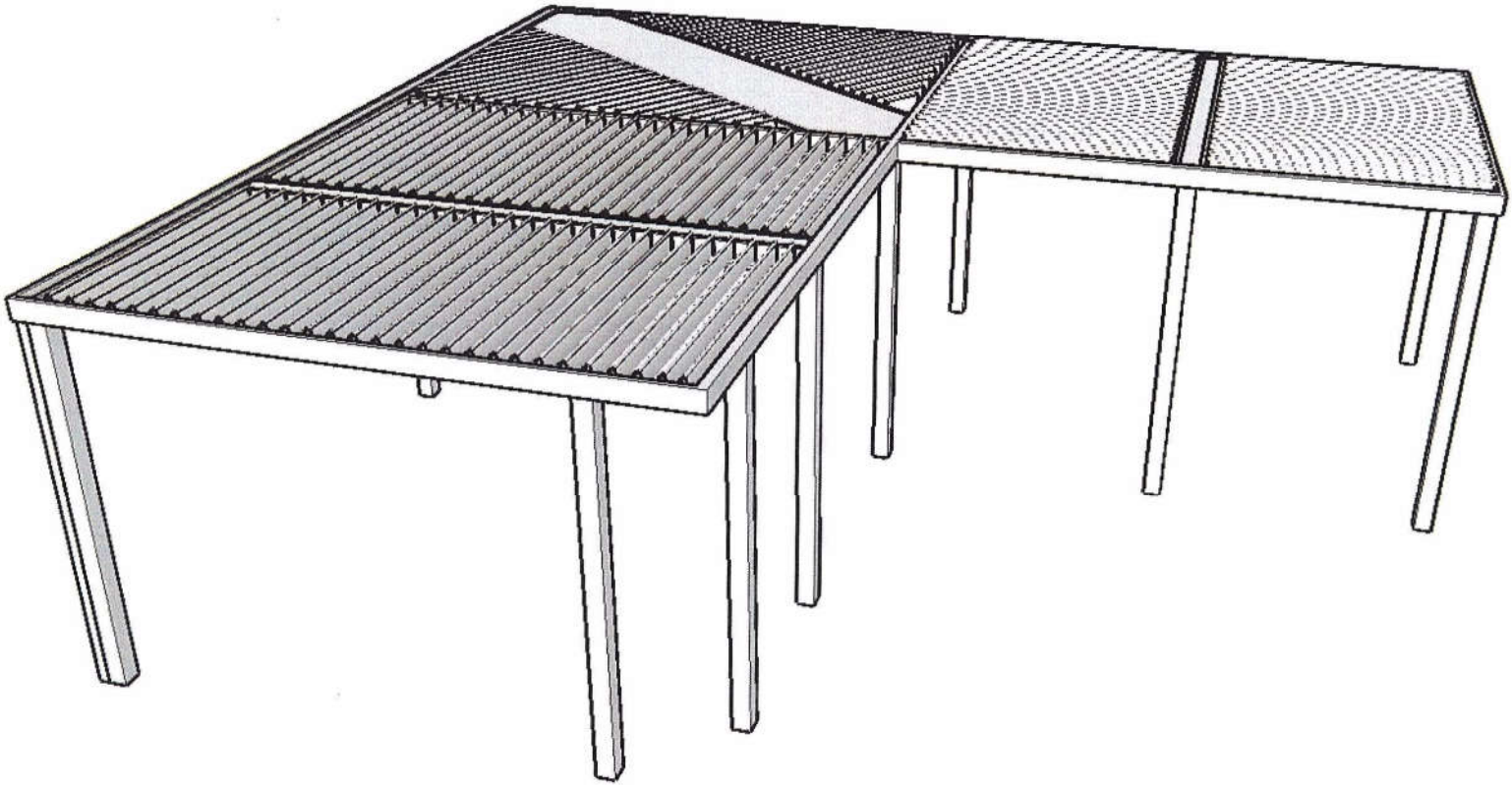
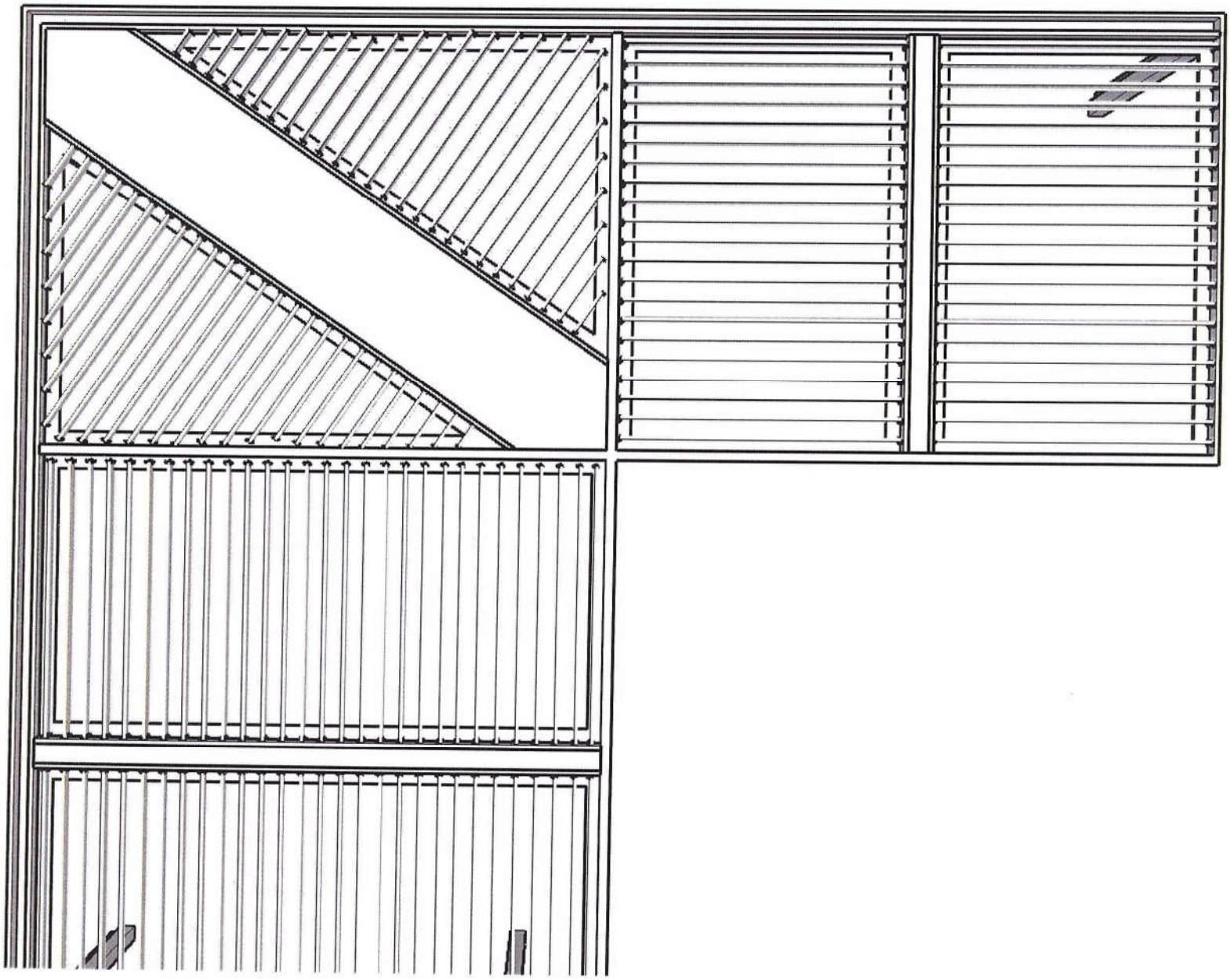
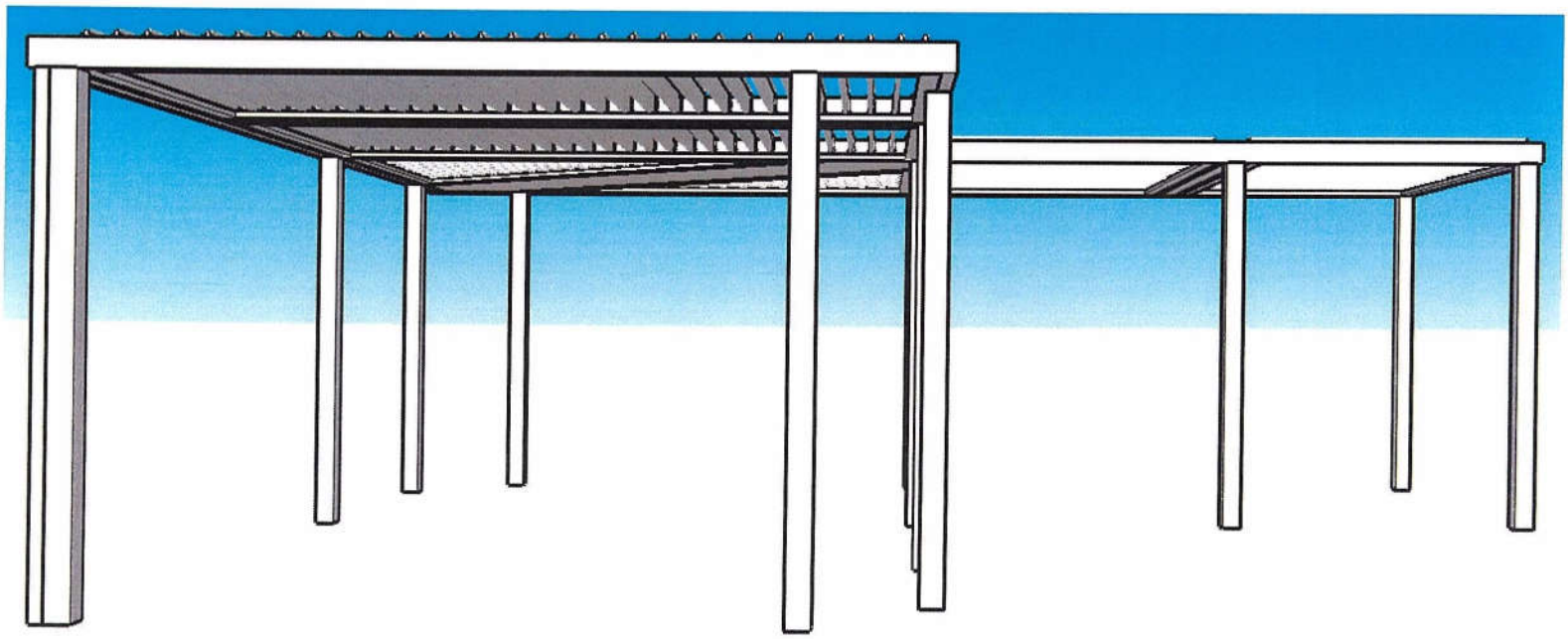
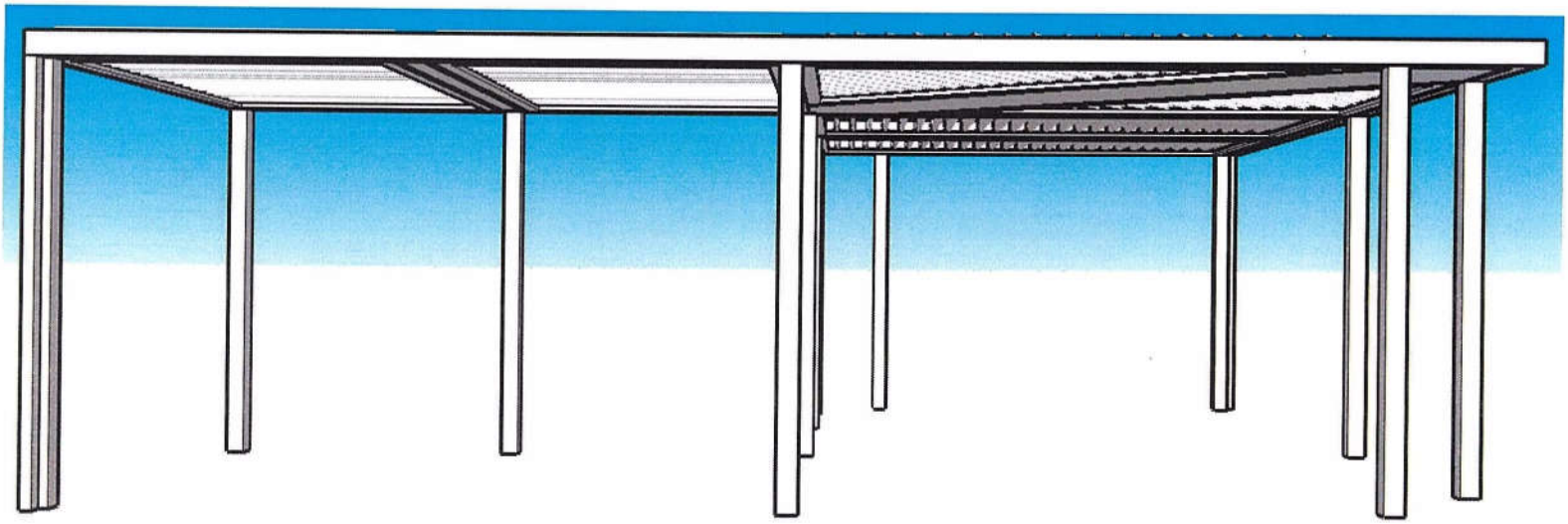
Proposed New System

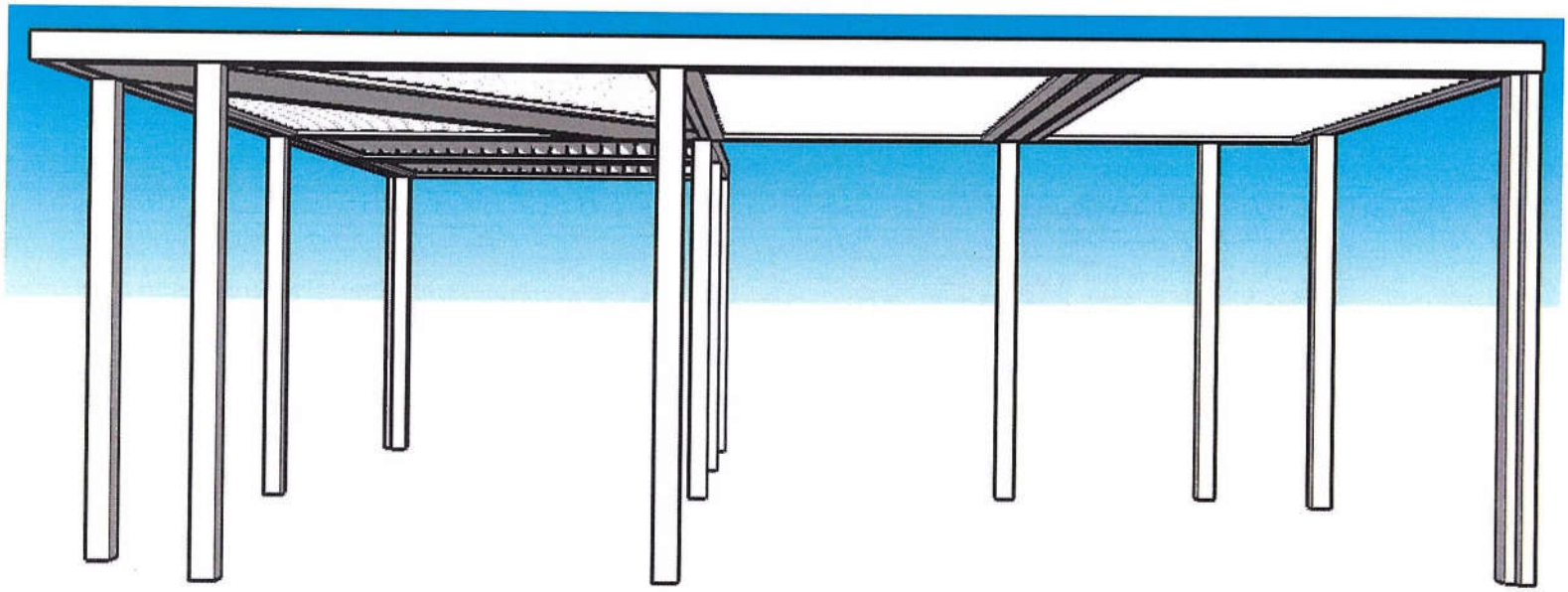
Hurricane Rated Equinox Pergola

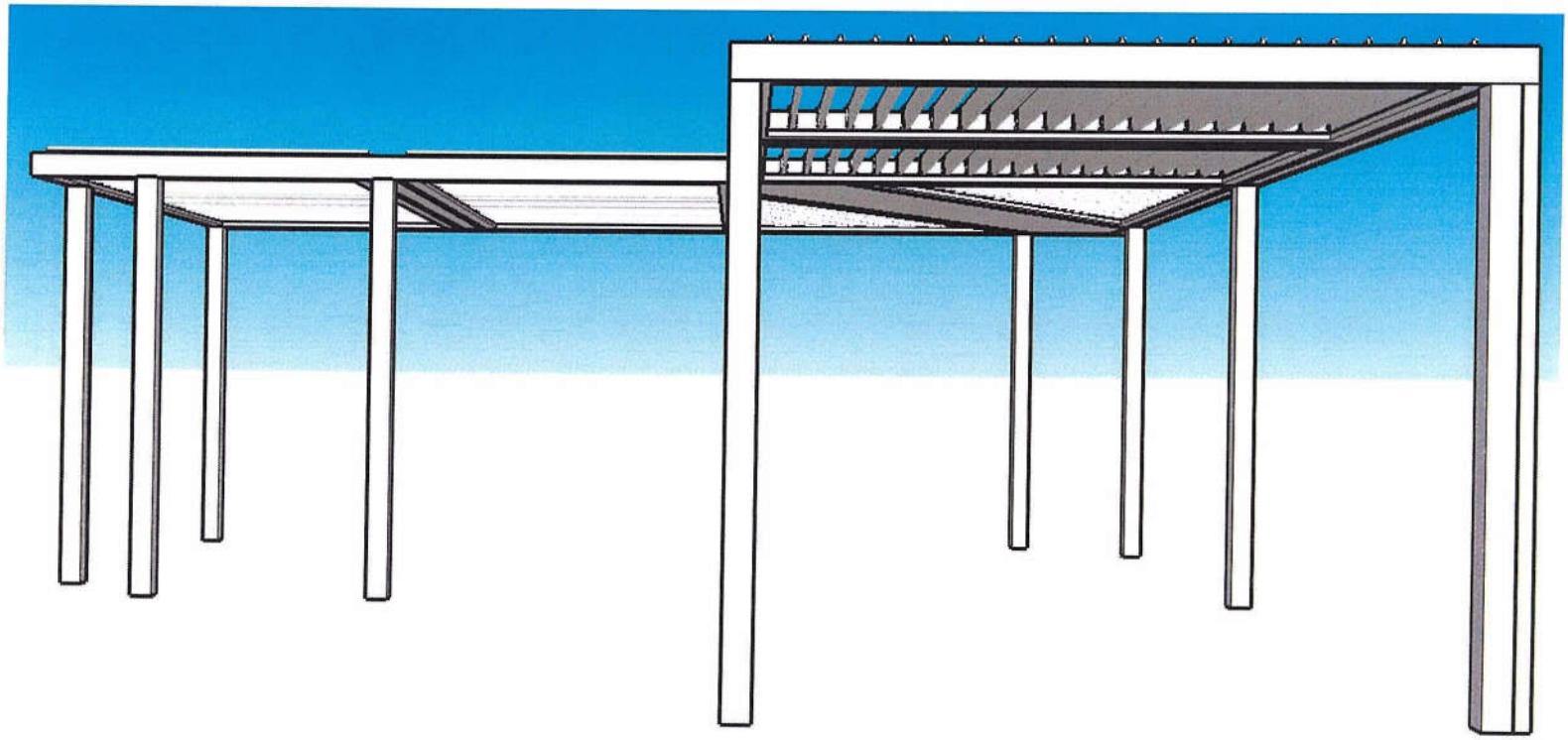












Riley/Lunden Residence

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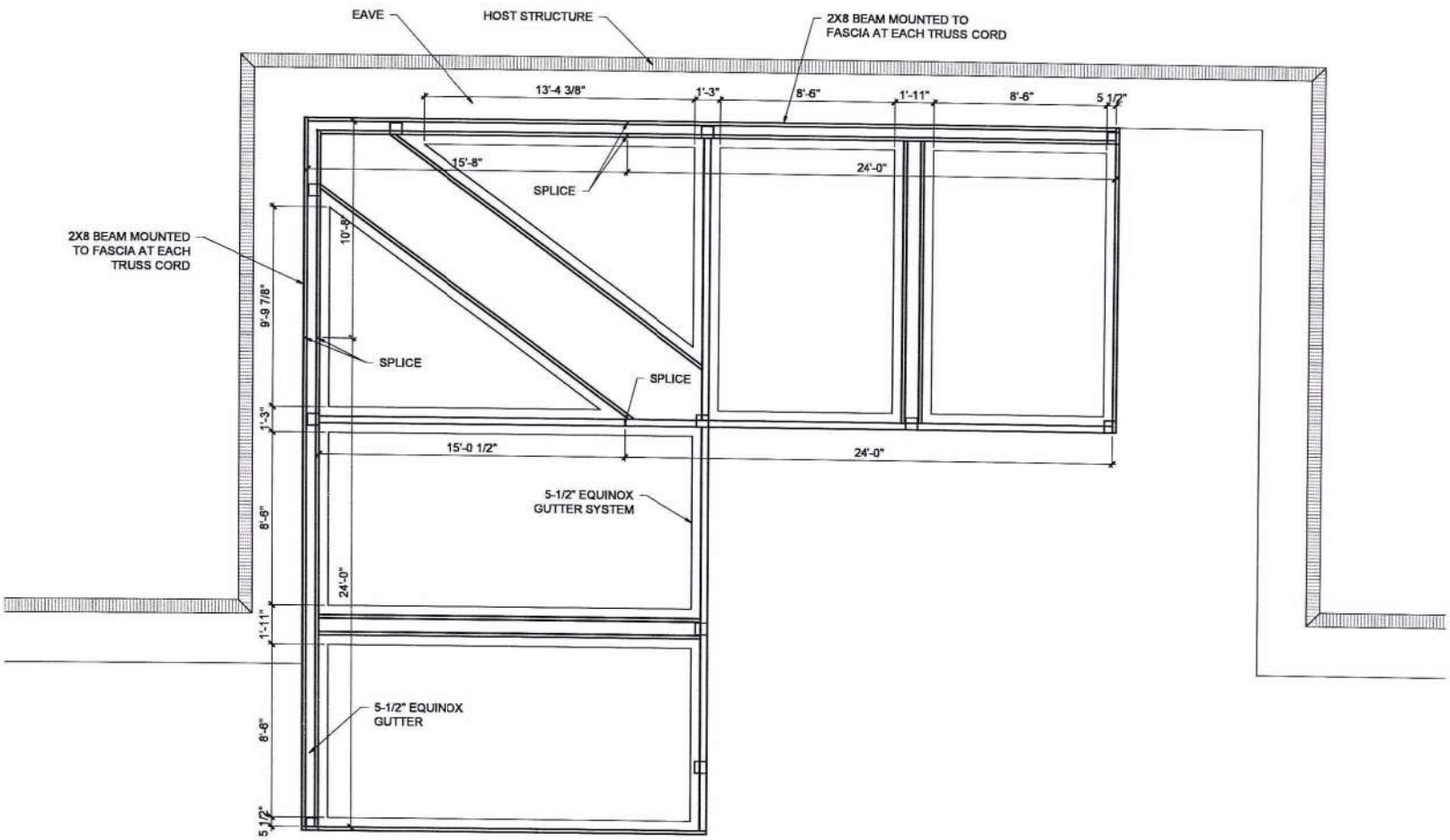
Proposed New System

Stamped Engineering Plans



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1 REFLECTED CEILING PLAN

S3 SCALE: 3/16" = 1'-0"

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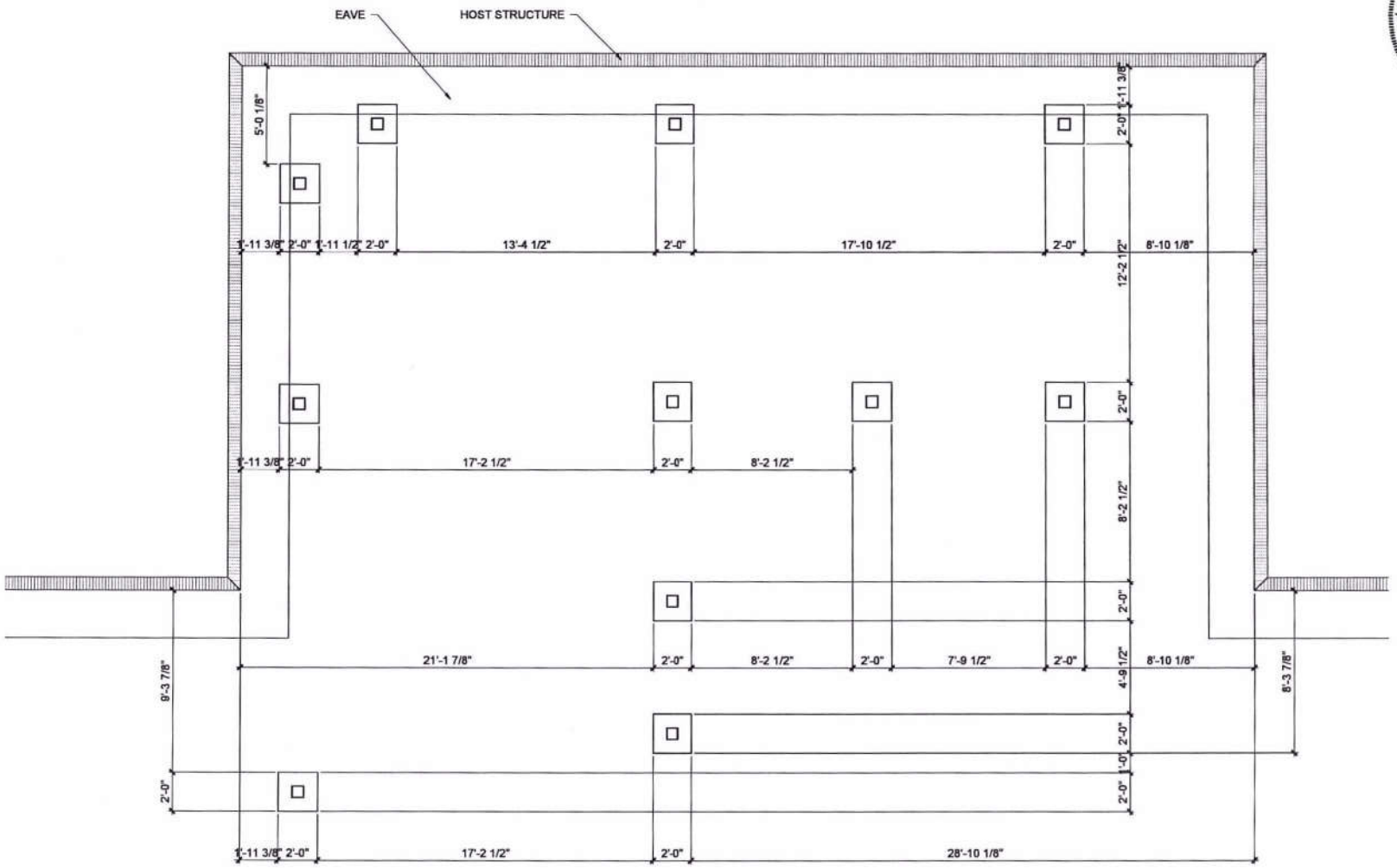
S3
of 7



1 FOUNDATION PLAN
S4 SCALE: 3/16" = 1'-0"

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S4
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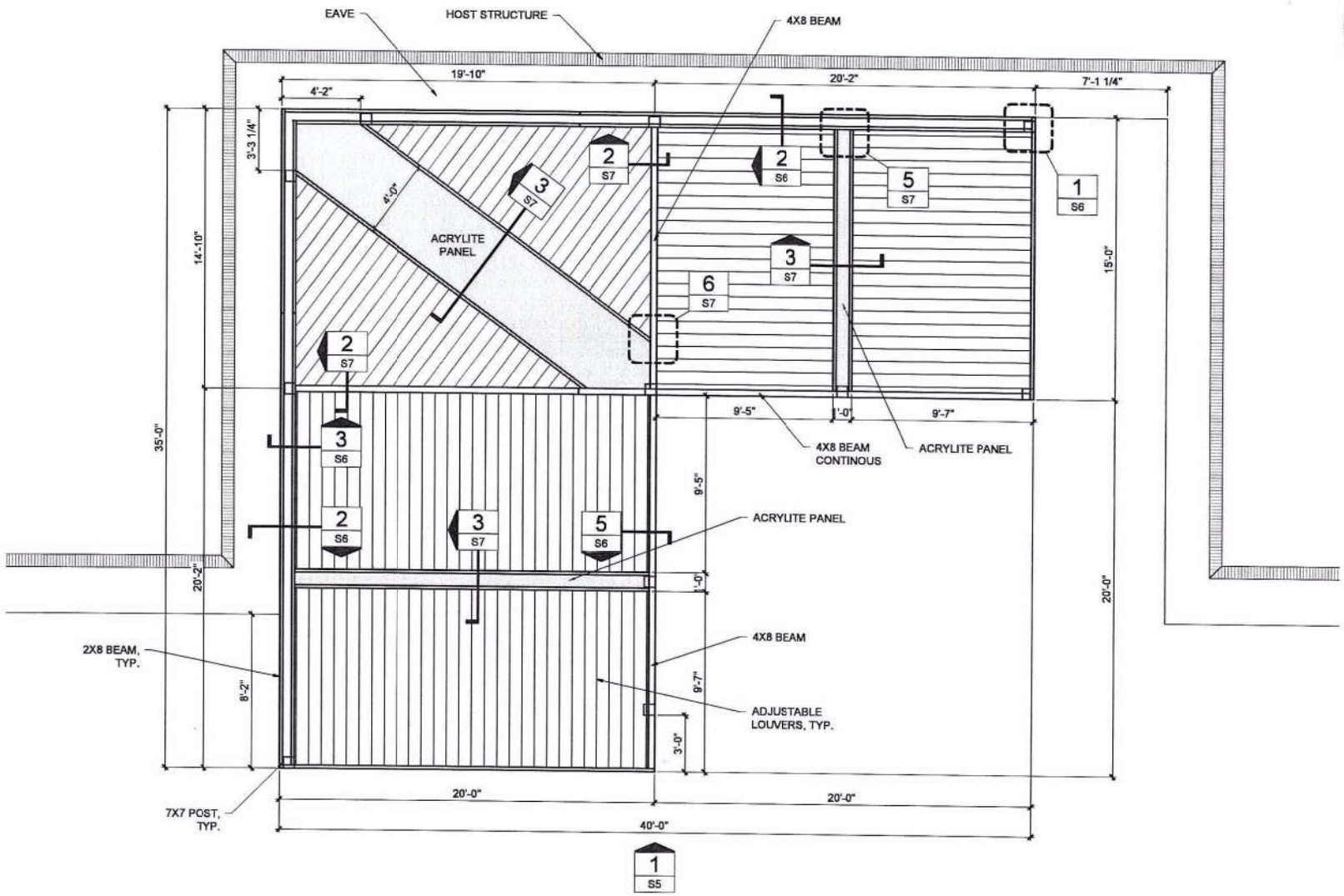

1 S2 **PLAN VIEW**
SCALE: 3/16" = 1'-0"

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S2
of 7

GENERAL NOTES:

DESIGN CRITERIA

THE STRUCTURAL SYSTEM FOR BUILDING DEPICTED HERE ON HAS BEEN DESIGNED ACCORDING TO THE 2020 7TH EDITION OF THE FLORIDA BUILDING CODE, ASCE 7-16, AND THE 2015 ALUMINUM DESIGN MANUAL.

THE STRUCTURE HAS BEEN DESIGNED TO RESIST THE FOLLOWING SUPERIMPOSED LOADS.

ROOF DEAD: 2 PSF + SELF-WEIGHT

ROOF LIVE: 12 PSF

WIND LOADS ON THE STRUCTURE HAVE BEEN CALCULATED IN ACCORDANCE WITH ASCE 7-16 FOR THE FOLLOWING: BASIC WIND SPEED: 150 MPH (3 SECOND GUST), RISK CATEGORY: II, EXPOSURE CATEGORY: B, PARTIALLY OPEN ROOF 30 PERCENT SOLID. ENCLOSURE CLASSIFICATION PER ASCE 7-16, TABLE 26.13-1 (FOR 4-SIDED RECTANGULAR LOUVERED AWNINGS)

LOAD COMBINATIONS:

D+0.6W 0.6D+0.6W D+L D+0.75L+0.75(0.6W)

DESIGN OF LOUVERED RIGID CANOPY IS PER SECTION 3105.5.1 OF THE FBC, RIGID AWNINGS AND CANOPY SHUTTERS. LOUVERED BLADES SHALL BE REPOSITIONED TO THE VERTICAL OPEN POSITION DURING PERIODS OF HIGH WIND VELOCITY. UNIT IS EQUIPPED WITH A WIND SENSOR WHICH WILL OPEN LOUVERS AT 45MPH.

PER FBC SECTION 3105.5.3, CONTRACTOR SHALL POST WITH A LEGIBLE AND READILY VISIBLE DECAL OR PRINTED INSTRUCTIONS TO THE OWNER OR TENANT TO REMOVE OR REPOSITION THE STRUCTURE OR PART THEREOF DURING SUCH PERIODS OF TIME AS DESIGNATED BY THE US WEATHER BUREAU AS BEING A HURRICANE WARNING OR ALERT. THE WARNING LABEL SHOULD READ AS FOLLOWS:

"THIS RIGID AWNING MUST HAVE LOUVERED BLADES REPOSITIONED TO THE VERTICAL POSITION DURING A HURRICANE WARNING OR ALERT AS DESIGNATED BY THE U.S. WEATHER BUREAU (FBC SECTION 3105.5.3)."

A CONTINUOUS LOAD PATH BETWEEN FOUNDATIONS, COLUMNS, AND BEAMS ARE INTENDED BY THESE DRAWINGS AND SHALL BE FIELD VERIFIED.

THE LOUVERED ROOFING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH EQUINOX LOUVERED ROOFING SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR WATERPROOFING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUITABLE SEQUENCING, MEANS AND METHODS OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO THE ADDITION OF NECESSARY SHORING, TIE DOWNS, TEMPORARY BRACING, ETC.

THE INFORMATION USED AND CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. DESTEFANO ENGINEERING GROUP, PL (DEG) HAS NOT VISITED THIS JOB SITE. DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED. DEG ASSUMES NO RESPONSIBILITY OR LIABILITY IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. DEG SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS, FABRICATION, AND/OR INSTALLATION OF MATERIALS.

MATERIAL SPECIFICATIONS

ALUMINUM:

ALUMINUM SHALL BE A MINIMUM OF 6063-T6 UNLESS NOTED OTHERWISE

ALUMINUM PLATE TO BE 6061-T6 ALLOY

FINISH COLOR TO BE SELECTED BY OWNER FROM MANUFACTURES STANDARD COLORS FOR STANDARD EXTRUSIONS.

CONCRETE FASTENERS TO BE 410 STAINLESS STEEL TITANS AS MANUFACTURED BY SIMPSON STRONG TIES OR APPROVED EQUAL.

ALL SMS SCREWS ARE 410 STAINLESS #12 x 1" SELF-TAPPING METAL SCREWS (SMS) TYPICAL UNLESS OTHERWISE NOTED.

EXTRUDED STRUCTURAL TUBE OR PIPE: ALLOY SHALL BE BE 6061-T6, 6005-T6, 6063-T6. OR AS NOTED ON DRAWINGS AND CONFORMING TO ASTM B429.

ALUMINUM IN CONTACT WITH CONCRETE SHALL BE COATED.

FOUNDATIONS

SEE STRUCTURAL DRAWINGS AND STRUCTURAL GENERAL NOTES FOR ADDITIONAL INFORMATION.

BY VISUAL OBSERVATION, SOIL AT THE SITE IS SAND (OR SAND AND ROCK) WITH AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF.

PERFORM ALL CONCRETE WORK IN ACCORDANCE WITH ACI 318, THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.

CONCRETE SHALL BE AN APPROVED MIX PROPORTIONED TO ACHIEVE STRENGTH AT 28 DAYS AS LISTED BELOW WITH A PLASTIC AND WORKABLE MIX.4000 PSI FOR FOUNDATIONS

CONCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ASTM C-94 FOR MEASURING, MIXING, TRANSPORTING, ETC. MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS.

REINFORCING STEEL:

REINFORCING STEEL: ASTM A615, GRADE 60 DEFORMED NEW BILLET STEEL CONFORMING TO ACI 301, 315, 318, AND CRSI MANUAL OF STANDARD PRACTICE. REINFORCING STEEL SHALL BE, FREE FROM OIL, SCALE AND RUST, AND PLACED IN ACCORDANCE WITH THE TYPICAL PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS.

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 IN

WELDING NOTES:

QUALIFICATIONS FOR WELDING WORK: QUALIFY WELDING PROCESSES AND WELDING OPERATORS FOLLOWING AWS "STANDARD QUALIFICATION PROCEDURE". WELDERS TO BE EMPLOYED IN WORK SHALL HAVE CERTIFICATIONS OF PASSING WITH SATISFACTORY MARKS FOLLOWING STRUCTURAL WELDING CODE OF THE ENGINEER. AWS AND AISC STANDARD QUALIFICATION TESTS WITHIN PREVIOUS 12 MONTHS. IF RE-CERTIFICATION OF WELDERS IS NEEDED, RETESTING WILL BE THE CONTRACTOR'S RESPONSIBILITY.

WELDED CONNECTIONS: FOLLOW AWS D1.2 FOR STRUCTURAL ALUMINUM WELDING CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND METHODS USED IN CORRECTING WELDING WORK.

WELDING ELECTRODES: FOLLOW AWS CODE AND REQUIREMENTS. FOR ALUMINUM ALLOY, PROVIDE ELECTRODES, WELDING RODS 5356 OR APPROVED EQUAL AND FILLER METALS EQUAL IN STRENGTH AND COMPATIBLE IN APPEARANCE WITH PARENT METAL JOINED.

UNLESS OTHERWISE NOTED THE MINIMUM WELD, SIZE SHALL BE ASSUMED TO BE THE THICKNESS OF THE THINNEST MEMBER TO BE JOINED OR AS PER THE WELDING CODE WHICH EVER IS GREATER.

GENERAL CONDITIONS

IF THERE ARE ANY DISCREPANCIES HEREIN CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

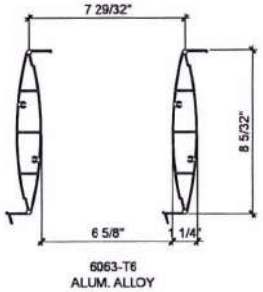
THIS DESIGN DOES NOT CONSTITUTE THE ENGINEERING OF ANY OTHER STRUCTURES THAT ARE NOT SPECIFICALLY MENTIONED HEREIN. IF THERE ARE ANY DISCREPANCIES THEREIN, CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK PREPARED BY DE STEFANO ENGINEERING GROUP, PL (DEG), IS THE PROPERTY OF DEG AND MAY ONLY BE USED FOR ITS INTENDED USE. THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY DEG AND DEG'S CONSULTANTS ARE INSTRUMENTS OF SERVICE THROUGH WHICH THE WORK TO BE EXECUTED BY CONTRACTOR. AS DESCRIBED REMAIN THE PROPERTY OF DEG. SAID WORK MAY NOT BE USED AT ANY OTHER LOCATION OR FOR ANY OTHER USE WITHOUT PRIOR WRITTEN AUTHORIZATION.

DEG WILL HAVE NO RESPONSIBILITY FOR THE CONTRACTOR'S, CLIENT'S OR OTHER ENTITIES; MEANS, METHODS, TECHNIQUES, AND PROCEDURES USED IN CONSTRUCTION, AND WILL NOT BE HELD LIABLE FOR THE CONTRACTOR'S INADEQUATE OR UNSATISFACTORY PERFORMANCE OF THE WORK.

MARK A. de STEFANO LICENSE No 61087 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Mark A DeStefano
Reason: This document has been digitally sealed. Printed copies of this document are not considered sealed and the SHA authorization code must be verified on any electronic copies.
Date: 2022.07.25 15:57:35 -04'00'



2 S1 LOUVER DETAIL
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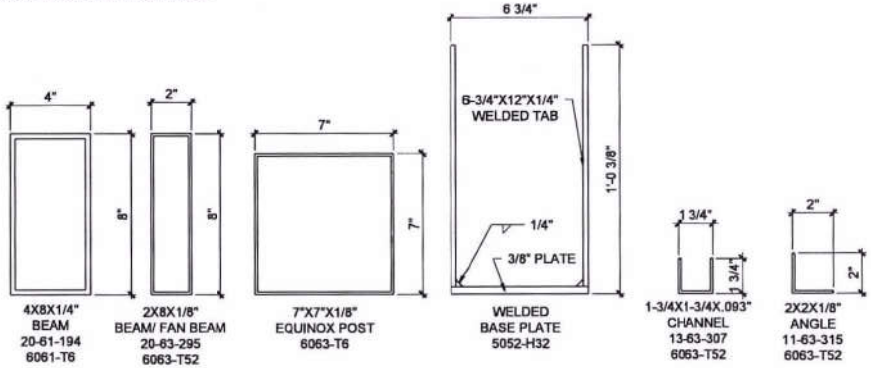

1 S1 STRUCTURAL COMPONENTS
SCALE: 2" = 1'-0"

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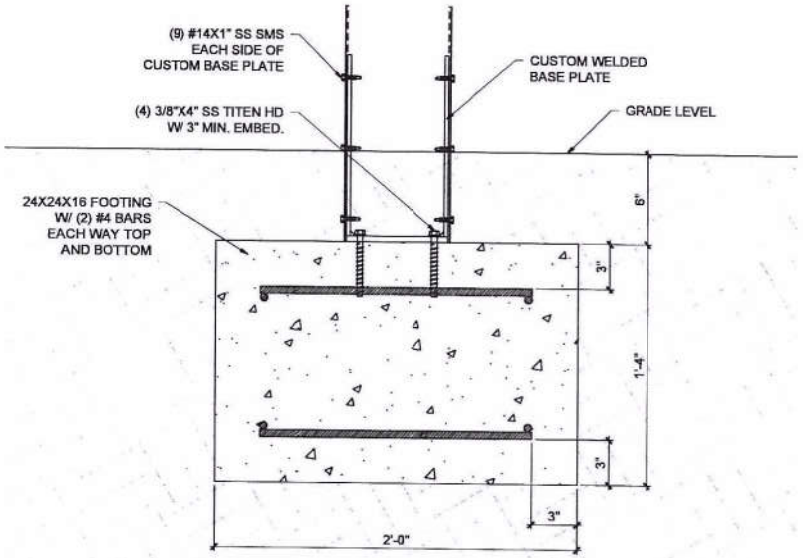
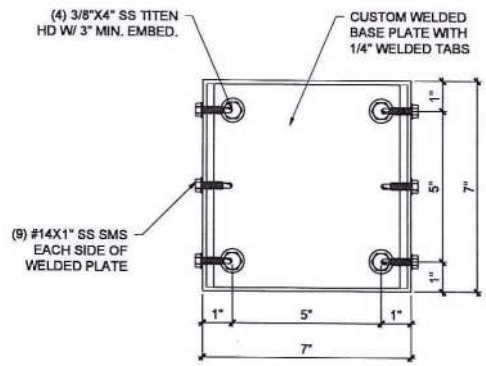
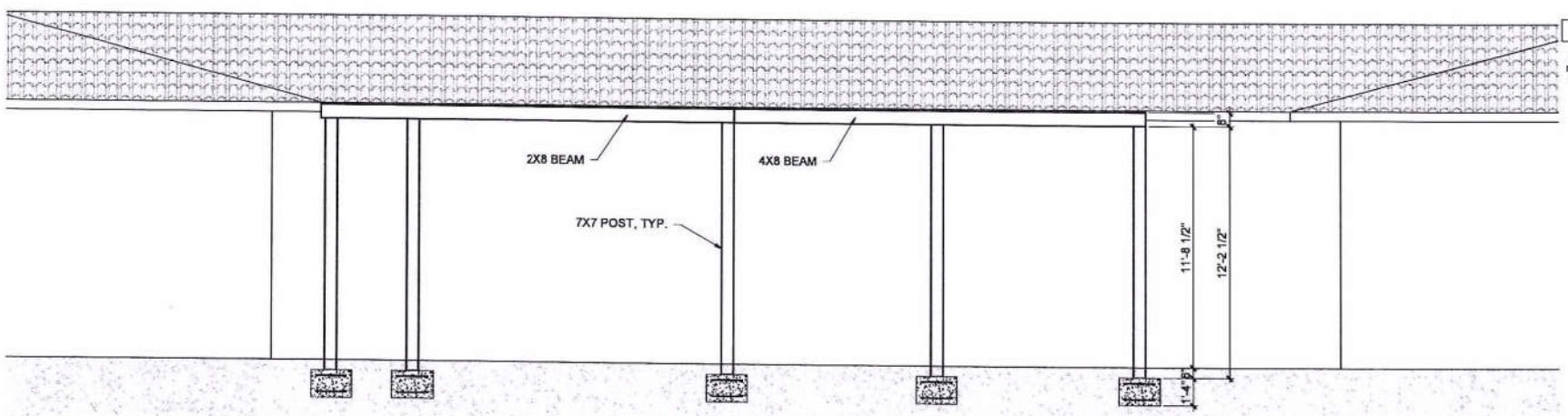
S1
of 7



4 FOOTING DETAIL
S5 SCALE: 1-1/2" = 1'-0"



2 POST BASE SECTION
S5 SCALE: 3" = 1'-0"



1 FRONT ELEVATION
S5 SCALE: 3/16" = 1'-0"

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S5
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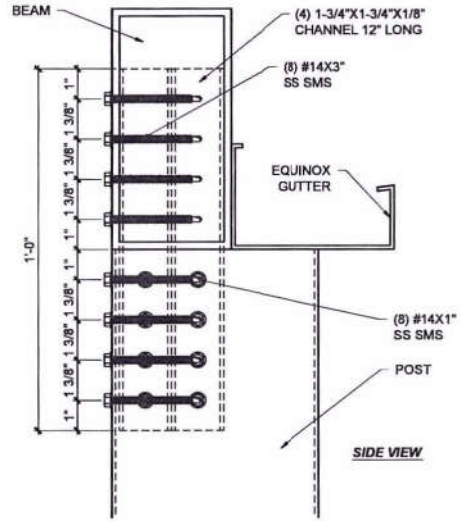
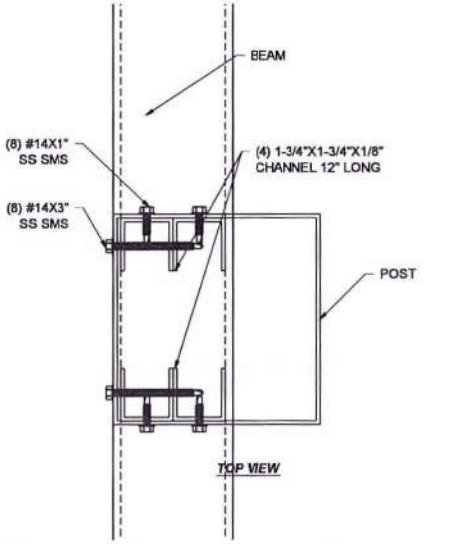
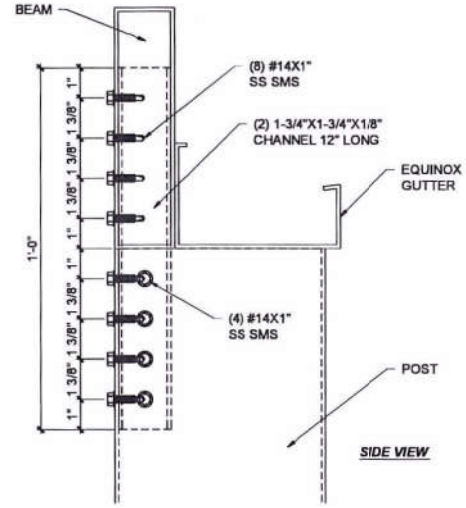
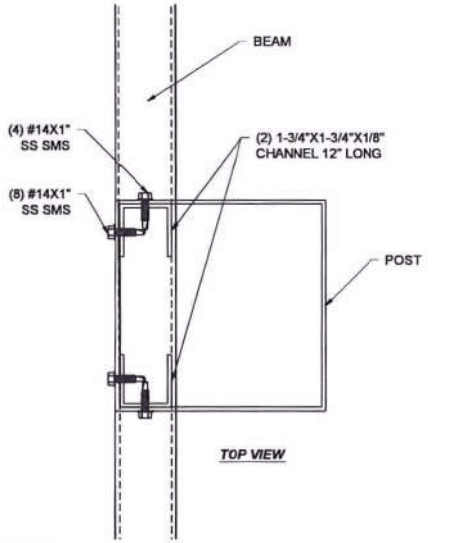




5 **4X8 BEAM TO POST ATTACHMENT**
S6 SCALE: 3" = 1'-0"





3 **2X8 BEAM TO POST ATTACHMENT**
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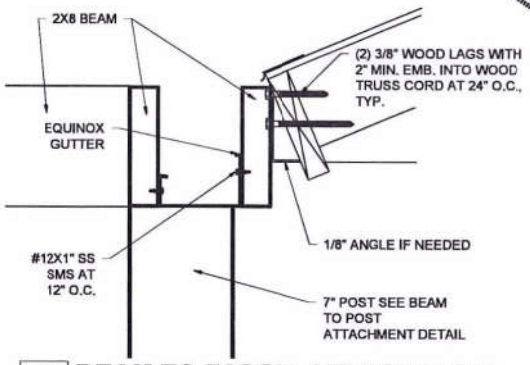
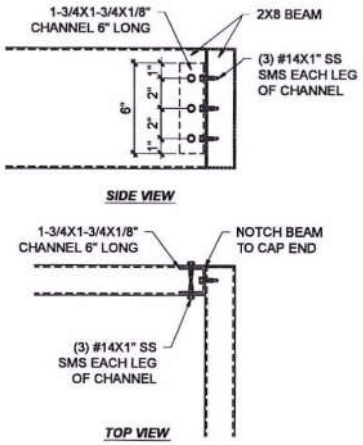


2 **BEAM TO FASCIA ATTACHMENT**
S6 SCALE: 1-1/2" = 1'-0"



1 **TYPICAL BEAM CORNER ASSEMBLY**
S6 SCALE: 1-1/2" = 1'-0"

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S6
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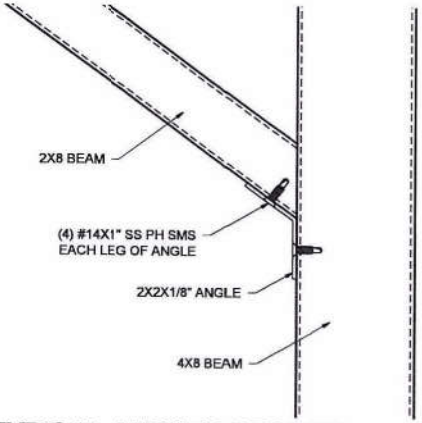
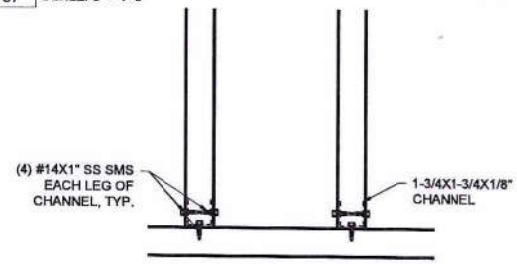
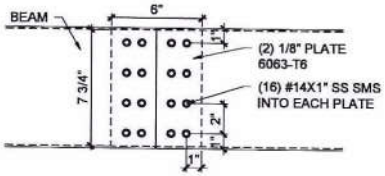


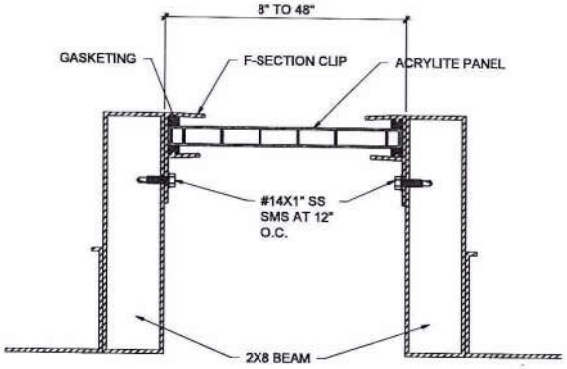
6 TYPICAL ANGLED BEAM TO BEAM DETAIL
S7 SCALE: 3" = 1'-0"



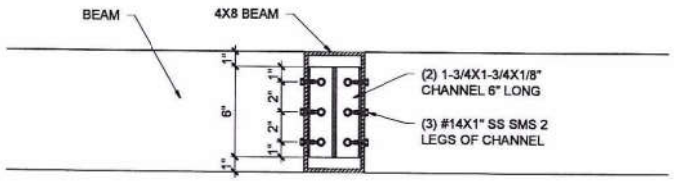
5 BEAM TO BEAM DETAIL
S7 SCALE: 1-1/2" = 1'-0"



4 SPLICE PLATE DETAIL
S7 SCALE: 1-1/2" = 1'-0"

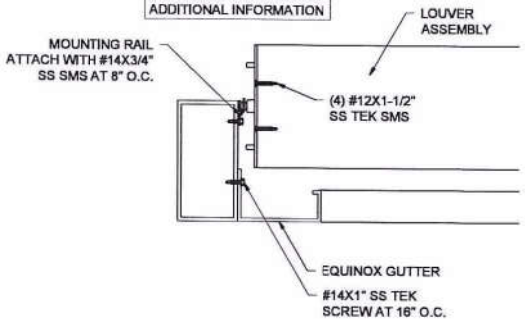


3 ACRYLITE PANEL ATTACHMENT SECTION
S7 SCALE: 3" = 1'-0"



2 4X8 BEAM TO BEAM SECTION
S7 SCALE: 1-1/2" = 1'-0"

NOTE:
SEE NOA # 21-1117.06 FOR
ADDITIONAL INFORMATION



1 LOUVER MOUNT DETAIL
S7 SCALE: 1-1/2" = 1'-0"

MARK A. de STEFANO
LICENSE
No 61657
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
July 25, 2022

Arnold/Sanders CONSULTING ENGINEERS
12651 McGregor Blvd.
Fort Myers, FL 33919
Phone: (239) 267-3665

DE STEFANO ENGINEERING GROUP, PL
Phone:(941) 371-1724
Fax: (941) 447-0870
27383
341 Interstate Blvd.
Sarasota Florida 34240
Certificate of Authorization Number
www.DeStefanoEngineering.com

The Lunden/ Riley Residence
1415 N. Barcelona St.
Pensacola, FL 32501
July 22, 2022 File:221266

S7
of 7

Riley/Lunden Residence

1415 Barcelona

Pensacola, Fl

Proposed New System

MIAMI DADE REPORTS

Shop Drawings of all components

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/building

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

NOTICE OF ACCEPTANCE (NOA)

OmniMax Holdings, Inc.
4455 River Green Parkway
Duluth, GA 30096

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Equinox Aluminum Louvered Canopy – N.I.

APPROVAL DOCUMENT: Drawing No. **EQ-MDC1**, titled "Equinox Louvered Roof", sheet 1 of 1, dated 01/07/2015, with last revision dated 03/24/21, prepared by Carl Putnam, P.E., signed and sealed by Carl Putnam, P.E., bearing the Miami-Dade County Product Control Revision stamp with the NOA number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: None

LABELING: A permanent label with the manufacturer's name or logo, manufacturing plant's city, state, model/ series, and the statement reading: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA **revises NOA No. 20-0722.03** and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**

MIAMI-DADE COUNTY APPROVED

12/22/21

NOA No. 21-1117.06
Expiration Date: September 17, 2025
Approval Date: December 30, 2021
Page 1

OmniMax Holdings, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. EVIDENCE SUBMITTED UNDER PREVIOUS NOA's

A. DRAWINGS

1. Manufacturer's die drawings and sections.
   (Submitted under NOA No. 15-0406.01)
2. Drawing No. **EQ-MDC1**, titled "Equinox Louvered Roof", sheet 1 of 1, dated 07/21/15, with last revision dated 01/07/15, prepared by Carl Putnam, P.E., signed and sealed by Carl Putnam, P.E.
   (Submitted under NOA No. 20-0722.03)

B. TESTS

1. Test reports on: 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94 with marked-up drawings and installation diagram of Equinox Aluminum Louver System, prepared by Intertek/Architectural Testing, Inc, Report No. **D7097.01-109-18,** dated 09/24/14, with Revision 3 dated 03/19/15, signed and sealed by Michael D. Stremmel, P.E.
   (Submitted under NOA No. 15-0406.01)

C. CALCULATIONS

1. Structural load calculations prepared by Carl Putnam, P.E., dated 03/20/15, signed and sealed by Carl Putnam, P.E.
   (Submitted under NOA No. 15-0406.01)

D. QUALITY ASSURANCE

1. Miami-Dade Department of Regulatory and Economic Resources (RER)

E. MATERIAL CERTIFICATIONS

1. None.

F. STATEMENTS

1. Statement letter of code conformance, complying with the **FBC 6th Edition (2017)**, dated 07/14/20, issued by Carl Putnam, P.E., signed and sealed by Carl Putnam, P.E.
   (Submitted under NOA No. 20-0722.03)

G. OTHERS

1. Notice of Acceptance No. **17-0724.09**, issued to OmniMax Holdings, Inc. for their Equinox Aluminum Louvered Sun Shade, approved on 01/11/17 and expiring on 09/17/20.

Manuel Perez

Manuel Pérez, P.E.
Product Control Examiner
NOA No. 21-1117.06
Expiration Date: September 17, 2025
Approval Date: December 30, 2021

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

2. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. **EQ-MDC1**, titled "Equinox Louvered Roof", sheet 1 of 1, dated 01/07/15, with last revision dated 03/24/21, prepared by Carl Putnam, P.E., signed and sealed by Carl Putnam, P.E.

B. TESTS

1. None.

C. CALCULATIONS

1. None.

D. QUALITY ASSURANCE

1. Miami-Dade Department of Regulatory and Economic Resources (RER)

E. MATERIAL CERTIFICATIONS

1. None.

F. STATEMENTS

1. Statement letter of code conformance, complying with the **FBC 7th Edition (2020)**, dated 03/24/21, issued by Carl Putnam, P.E., signed and sealed by Carl Putnam, P.E.

G. OTHERS

1. Notice of Acceptance No. **20-0722.03**, issued to OmniMax Holdings, Inc. for their Equinox Aluminum Louvered Canopy, approved on 10/01/20 and expiring on 09/17/25.

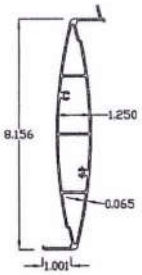
Manuel Perez

Manuel Perez, P.E.
Product Control Examiner
NOA No. 21-1117.06
Expiration Date: September 17, 2025
Approval Date: December 30, 2021

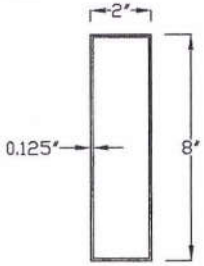
Notes:

1. The supporting framework or structure (including the 2x8 aluminum box headers) is to be designed by a Florida licensed design professional.
2. Deflections in HVHZ for R-3 structures under 12' ROOF PROJECTION are limited by L/80 as per 2020 FBC 1616.3.1 #8.
3. Deflections in HVHZ for ROOF PROJECTIONS (e.g. multispan) over 12' are limited by L/180 as per 2020 FBC Section 1616.3.1 #7
4. The weight of the Equinox Louvers is 1.9 plf or 2.9 psf.
5. This product is to be used for exterior shade structures, such as patio covers, carports, outdoor dining areas and similar.
6. Span is the louver length plus the aluminum mounting rail on both sides, this is usually the inside to inside dimension of the supporting headers/framework. See Detail F6.

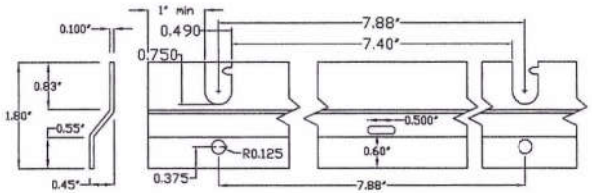
DETAIL F1
EXTRUDED 6063T6
ALUMINUM LOUVER



DETAIL F2
2"x8" EQUINOX HEADER AND
RETURN BEAM
(6061-T6 ALUM. ALLOY)

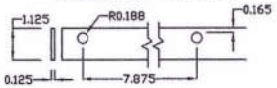


DETAIL F3
EQUINOX LOUVER
MOUNTING RAIL
0.100" 6005A-T5 ALUM

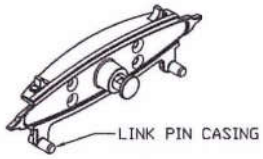


Equinox Louver Span		Deflection Limits (Span / #)			
		L/80	L/180	L/80	L/180
(in)	(ft)	Allowable Uplift Pressures (psf)		Allowable Down/ Gravity Pressures (psf)	
92"	7.67'	80.5	36.7	75.9	32.1
98"	8.17'	66.9	30.7	62.3	26.1
104"	8.67'	56.3	26.0	51.7	21.4
110"	9.17'	47.8	22.2	43.2	17.6
116"	9.67'	41.0	19.2	36.4	14.6
122"	10.17'	35.5	16.7	30.9	12.1
128"	10.67'	31.0	14.7	26.4	10.1
134"	11.17'	27.2	13.1	22.6	8.5
140"	11.67'	24.1	11.7	19.5	7.1

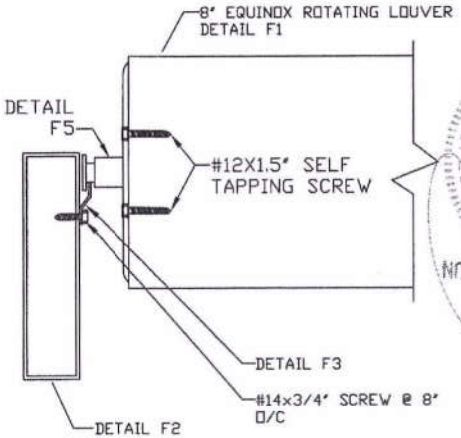
DETAIL F7
LINK BAR
6061T6 ALUM



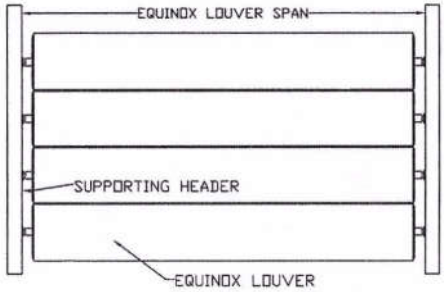
DETAIL F5
CAST ALUMINUM A380
END CAP



DETAIL F4
EQUINOX LOUVER TO MOUNTING
RAIL TO HEADER CONNECTION



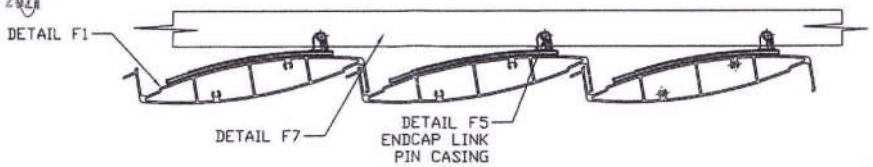
DETAIL F6
EQUINOX LOUVER SPAN



PRODUCT REVISED
as complying with the Florida Building Code
NOA-No. 21-1117.06
Expiration Date: 09/17/2025
By: Manuel Perez
Miami-Dade Product Control

NOV 03 2021

DETAIL F8 ASSEMBLED LOUVERS W/ LINK BAR



Product Drawing # EQ-MDC1
Equinox Louvered Roof

DATE	DRAWN BY		
1/7/15	CMP	CARL PUTNAM P.E. FL #59735	3441 IVYLINK PLACE LYNCHBURG, VA 24503 (434) 384-2514 CARL.PUTNAM@COMCAST.NET
7/18/17	CMP	Omnimax International, Inc.	4455 Rivergreen Pkwy Duluth, GA 30096 (770) 449-6018
5/8/18	CMP		
3/24/21	CMP	FILE EquinoxPlans2020FBC_MDC.dwg	Page 1 of 1

What is Equinox®?

Equinox® is a louvered roof system that moves at your command for full sun, filtered shade, or fully closed for sun and rain protection, allowing you to bring your living space outdoors. No matter what the occasion, **live life uninterrupted.**

Why Equinox®?

The Equinox® Louvered Roof is manufactured with quality elements and precision engineered for exclusive comfort and control. Equinox® enhances any outdoor living area through uncompromising versatility and style. Our patio system is strong, conforming to most wind and snow load requirements. Equinox® Louvered Roof is designed to deliver a premium experience through premium quality allowing you to transform any outdoor space.

"Our Equinox system is the best investment I've put into my home."
- Arizona Homeowner

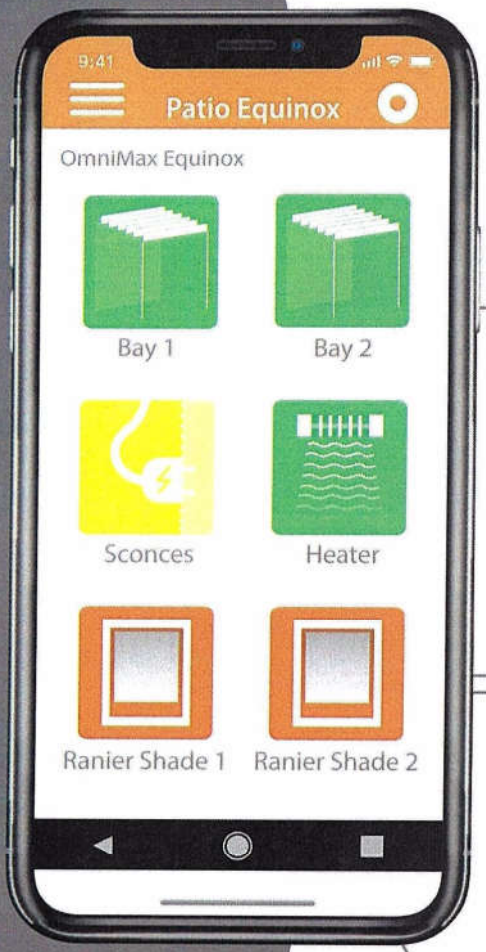
Create your VIP Experience

Value - lower cost of ownership over the lifetime of your pergola

Integrated - all elements working as one
Innovative - redefining what's possible
Inspired - personalize the space beyond your walls

Personal - customize to match your enviroment

VERY INTEGRATED PATIO



Create a variety of scenes on the app to set different moods with lighting or levels of comfort with shade and ventilation with the simple touch of a button.

Out of town and bad weather strikes at home? **Control your system from anywhere** via Wi-Fi or incorporate optional sensors to give you peace of mind.

Create custom schedules to automate your Equinox® scenes and step into your ideal outdoor living space.

Don't waste time searching for a collection of remotes to adjust individual elements of your system. Use the app to **control everything from one source** with ease.

Relax and enjoy your outdoor space knowing your **app control system is password protected and securely integrated** with your existing Wi-Fi.

With **limitless add-on capabilities**, enjoy the freedom to incorporate more elements to your system in the future.

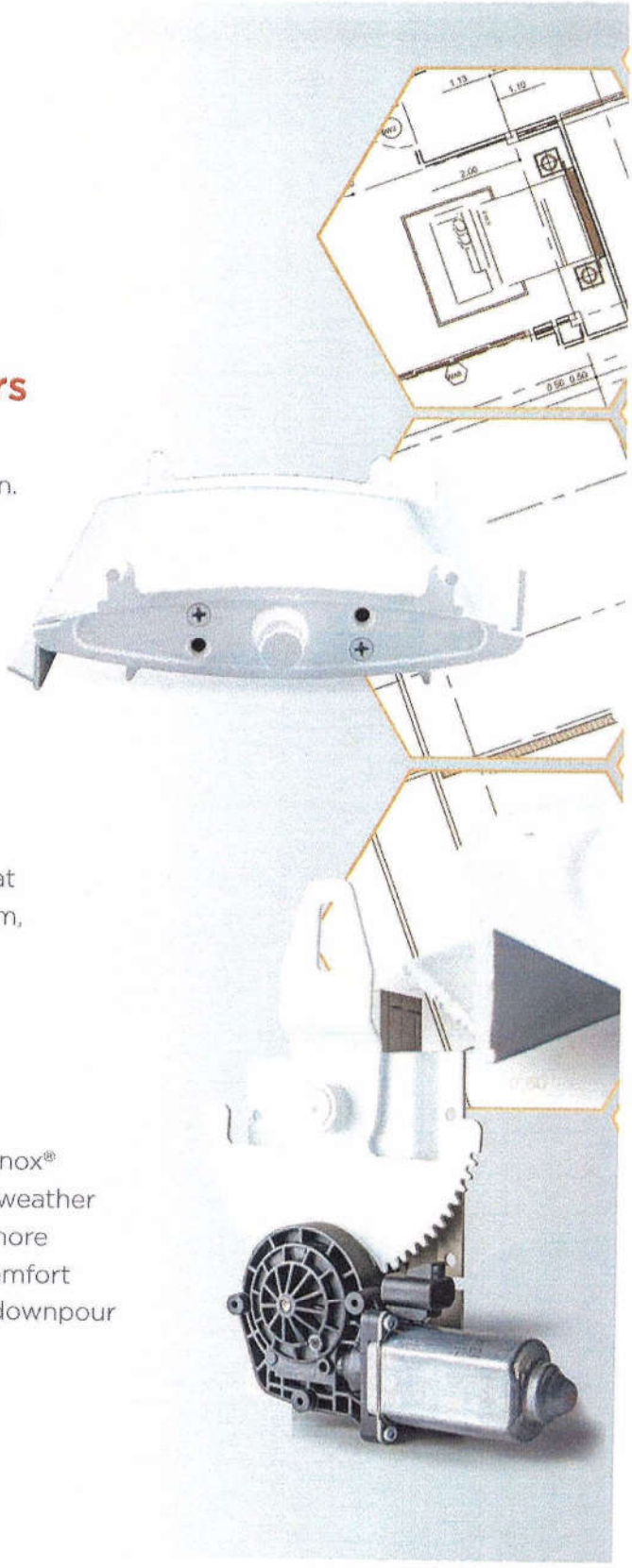
Control your Equinox® system with Amazon's Alexa – simply enable the Somfy® myLink™ skill, and say (for example) "Alexa, tell myLink™ to play BBQ scene."

Smart Home System Integration

The Somfy system is compatible with popular smart home systems available on the market today. Incorporate your outdoor oasis into your technology driven home. For complete details: www.somfysystems.com

INNOVATIVE

Redefining what's possible



Precision Engineered Motor and Louvers

An innovative smart motor system moves the louvers into the perfect position for ventilation, sun blocking or rainfall protection. Designed with extruded aluminum, the system is strong, lightweight and durable. The low maintenance louvers can be positioned for the perfect amount of protection or ventilation.

Built-In Gutters

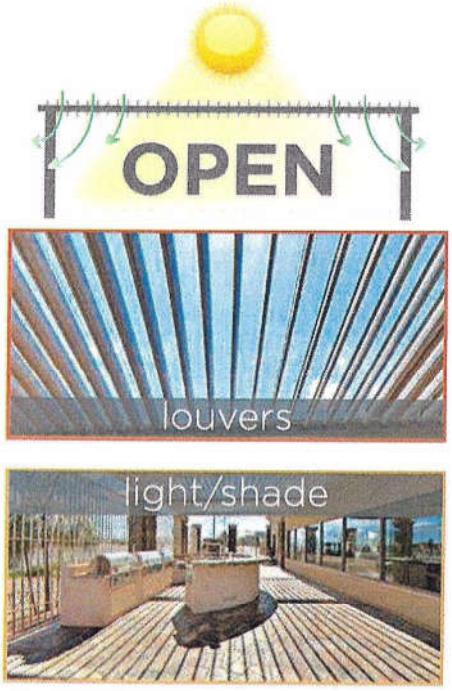
The Equinox® Louvered Roof system utilizes a high-capacity integrated hidden gutter system that manages rainwater runoff. At installation, the louvered roof is precisely angled to ensure that rainwater flows into the gutters along the perimeter of the system, keeping your space dry and comfortable.

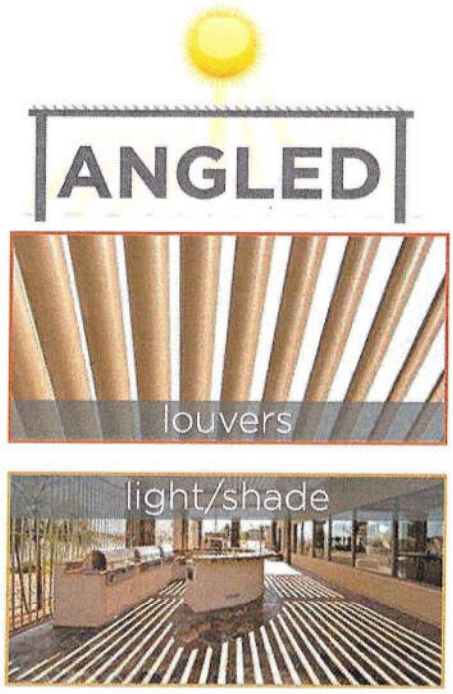
Rain & Wind Sensors

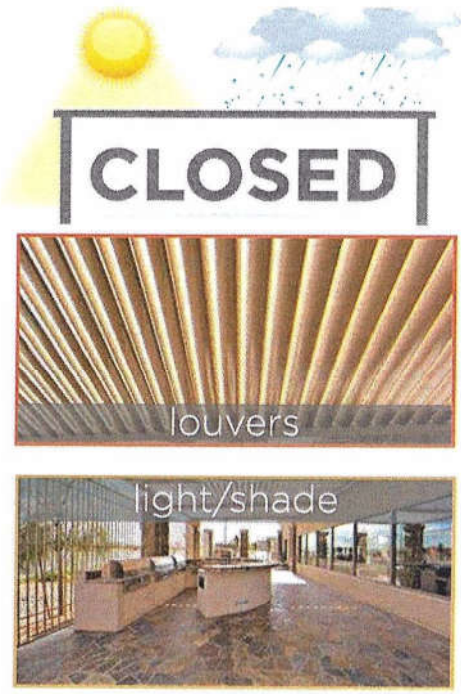
These state-of-the-art sensors are designed to protect your Equinox® Louvered Roof system even when you're not home. They detect weather occurences and automatically adjust your louvers, screens, and more to prevent damage, maximize energy savings and ensure your comfort everyday. The system will close your roof during an unexpected downpour or open it during windy conditions.

COMFORT & PROTECTION

The wide range of motion of our louvers allows control of the amount of light and ventilation for your outdoor space no matter the time of day. Your Equinox® system's optional rain, wind and sun sensors automatically control your louvers based on current weather conditions.







ALL METAL CONSTRUCTION

Benefits of Aluminum

The Equinox® Louvered Roof is made from extruded aluminum and offers greater durability and longevity than traditional wood, composite or steel patio covers. Equinox® Louvered Roof aluminum components are made to last and will outperform in heat and rain. Your Equinox® pergola will deliver long-term performance without the use of paint, stain or harmful cleaning chemicals. Enjoy low-maintenance, corrosion-resistant and insect-proof construction that stands the test of time.

PEACE of MIND

20-Year Warranty

Equinox® Louvered Roof systems are made to last. Equinox® Louvered Roof is made from all metal components providing greater durability than traditional patio covers. Unlike plastic or fabric, our metal components will perform in both heat and rain environments. We are committed to bringing you products of the highest quality and value. *(The 20 year warranty only applies to the aluminum parts and paint. Electrical items and the control system have a 3 year warranty.)*

20 YEARS
LIMITED WARRANTY

Envision your Equinox® Louvered Roof system complementing your home and lifestyle. Applications include patios, decks, spas, swimming pools, outdoor kitchens, BBQ areas, gazebos, courtyards, entryways or anywhere that sun, light and weather control is desired.

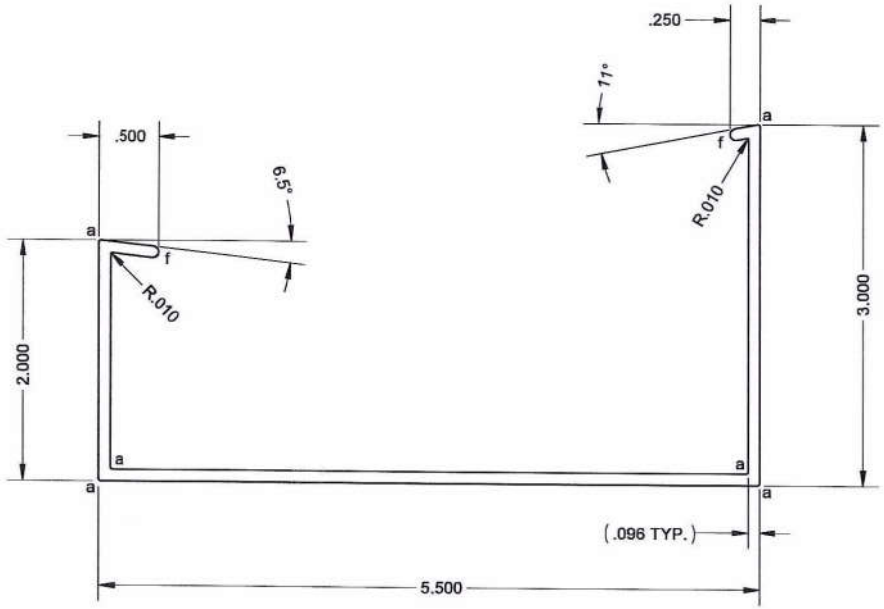
To create your VIP Experience, visit EquinoxRoof.com. View our gallery and visualizer for more inspiration.

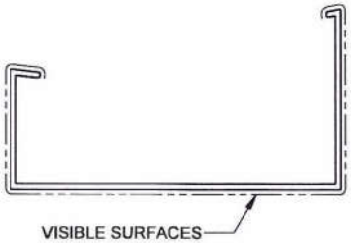
CONNECT WITH US

Discover even more ways to enjoy your Equinox® Louvered Roof system when you interact with our social media channels on Houzz, Pinterest, Instagram, and Facebook.

Share Your Experience
#EquinoxLouveredRoof

DIVISION: EQUINOX





SCALE 1 : 2

a = R.020
f = FULL R

ITEM NO.	CUT LENGTH, L (INCHES)
X6530	192.00 +.313 / -0
X6531	240.00 +.313 / -0
X6532	288.00 +.313 / -0

(X.X) DENOTES CRITICAL DIMENSION
ALL THREADS ARE CRITICAL

NOTES, UNLESS OTHERWISE SPECIFIED:

1. DIMENSIONS ACROSS CENTERLINES ARE SYMMETRIC
2. NOMINAL WALL THICKNESS: .096 ± .006
3. CIRCUMSCRIBING CIRCLE: Ø6.251
4. LOCATION OF ANY MANUFACTURER MARK TO BE APPROVED BY RESPONSIBLE ENGINEERING DEPARTMENT
5. AVG. COATING THICKNESS (CURED) SHALL BE 2.7 - 4.5 MILS
6. DIMENSIONS SHOWN APPLY BEFORE POWDER COATING
7. "_" AT END OF DRAWING NUMBER CAN BE EITHER OF THE FOLLOWING: 0, 1 OR 2 (SEE CUT LENGTH TABLE)
8. DEPENDING ON COLOR, APPROPRIATE CODE ADDED TO END OF ITEM NUMBER

COLOR	-
	-
	-
	CUSTOM
COATING	-
	-
	POWDER COATED
MATERIAL	-
	-
	6063-T6 ALUMINUM ALLOY PER ASTM B221

MASS / WEIGHT: 1.22 LBS / FT
VOLUME: 12.49 IN³ / FT
SURFACE AREA: 253.15 IN² / FT

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF OMNIMAX INTERNATIONAL, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF OMNIMAX INTERNATIONAL, INC. IS PROHIBITED. THIS DRAWING IS CONTROLLED BY OMNIMAX INTERNATIONAL, INC. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE RESPONSIBLE ENGINEERING DEPT.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
GENERAL TOLERANCES
ANSI H35.2
STANDARD

APPLICABLE STANDARDS
AAMA 2604
OMS-002

REQUIREMENTS FOR CORROSION RESISTANCE ACCORDING TO:

DO NOT SCALE DRAWING
REFER TO 3D MODEL FOR MISSING DIMENSIONS / CONTOURS

LATEST REVISION HISTORY

ECN NO.	REV.	VER.	DESCRIPTION	DATE	APPR.
-	-	-	-		
-	A	00	INITIAL DRAWING	9/14/2021	ST

DESCRIPTION
GUTTER
.

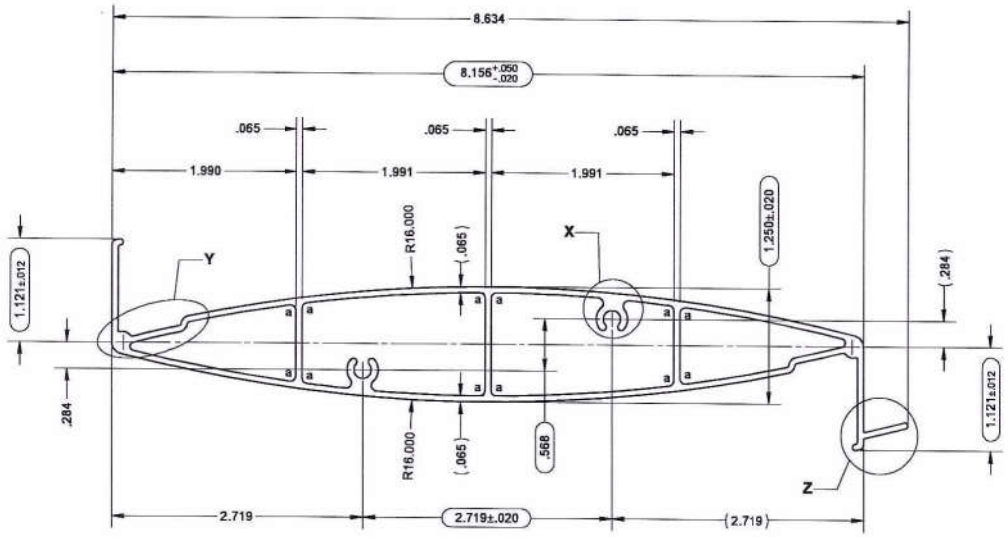
OmniMax International
30 Technology Parkway South, Suite 400
Peachtree Corners, GA 30092

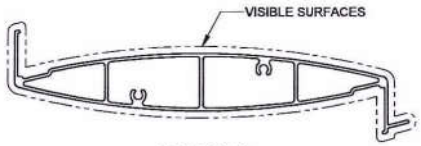
SHEET SIZE	B		
DRAWN BY	S. TALIAFERRO	DATE	8/19/2021
CHECKED BY	R. MCPEAK	DATE	9/14/2021
APPROVED BY	S. TALIAFERRO	DATE	9/14/2021
SCALE	1:1		
TYPE	DRAW 0		

THIRD ANGLE PROJECTION

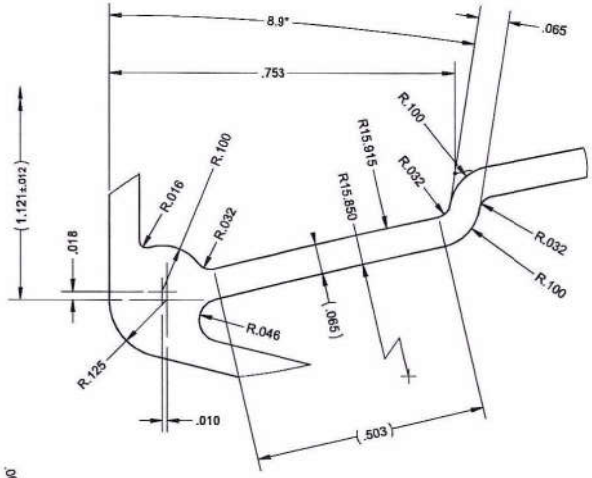
DRAWING NO. X653_ REV. A VERS. 00
STATUS: RELEASED
SHEET 1 OF 1

DIVISION: EQUINOX

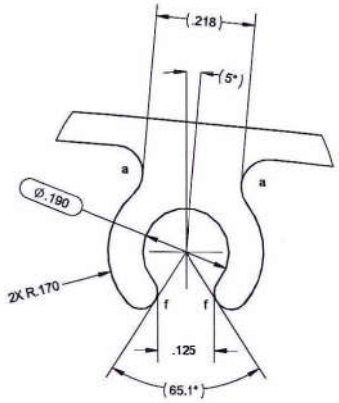




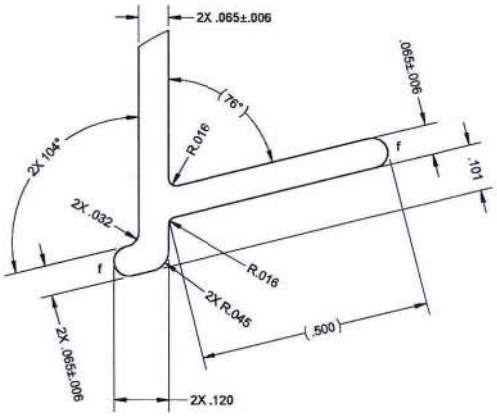
SCALE 1 : 2



DETAIL Y
SCALE 5 : 1
2X



DETAIL X
SCALE 5 : 1
2X



DETAIL Z
SCALE 5 : 1

ITEM NO.	CUT LENGTH, L (INCHES)
X65591	88.313 +.250 / -0
X65592	112.313 +.250 / -0
X65593	136.313 +.250 / -0
X65594	160.313 +.375 / -0

a = R.060
f = FULL R

(XX) DENOTES CRITICAL DIMENSION
ALL THREADS ARE CRITICAL

NOTES, UNLESS OTHERWISE SPECIFIED:

1. DIMENSIONS ACROSS CENTERLINES ARE SYMMETRIC
2. NOMINAL WALL THICKNESS: .065 ± .010
3. CIRCUMSCRIBING CIRCLE: Ø8.847
4. LOCATION OF ANY MANUFACTURER MARK TO BE APPROVED BY RESPONSIBLE ENGINEERING DEPARTMENT
5. AVG. COATING THICKNESS (CURED) SHALL BE 2.7 - 4.5 MILS
6. DIMENSIONS SHOWN APPLY BEFORE POWDER COATING
7. "_" AT END OF DRAWING NUMBER CAN BE EITHER OF THE FOLLOWING: 1, 2, 3 OR 4 (SEE CUT LENGTH TABLE)
8. DEPENDING ON COLOR, APPROPRIATE CODE ADDED TO END OF ITEM NUMBER

COLOR: CUSTOM
COATING: POWDER COATED
MATERIAL: 6063-T6 ALUMINUM ALLOY PER ASTM B221

MASS / WEIGHT: 1.88 LBS / FT
VOLUME: 19.26 IN³ / FT
SURFACE AREA: 544.79 IN² / FT

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
GENERAL TOLERANCES
ANSI H35.2
STANDARD

APPLICABLE STANDARDS
AAMA 2604
OMS-002

REQUIREMENTS FOR CORROSION RESISTANCE ACCORDING TO:

DO NOT SCALE DRAWING
REFER TO 3D MODEL FOR MISSING DIMENSIONS / CONTOURS

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF OMNIMAX INTERNATIONAL, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF OMNIMAX INTERNATIONAL, INC. IS PROHIBITED. THIS DRAWING IS CONTROLLED BY OMNIMAX INTERNATIONAL, INC. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE RESPONSIBLE ENGINEERING DEPT.

ECN NO.	REV.	VER.	DESCRIPTION	DATE	APPR.
-	-	-	-		
-	A	00	INITIAL DRAWING	9/13/2021	ST

LATEST REVISION HISTORY

DESCRIPTION: LOUVER

OmniMax International
30 Technology Parkway South, Suite 400
Peachtree Corners, GA 30092

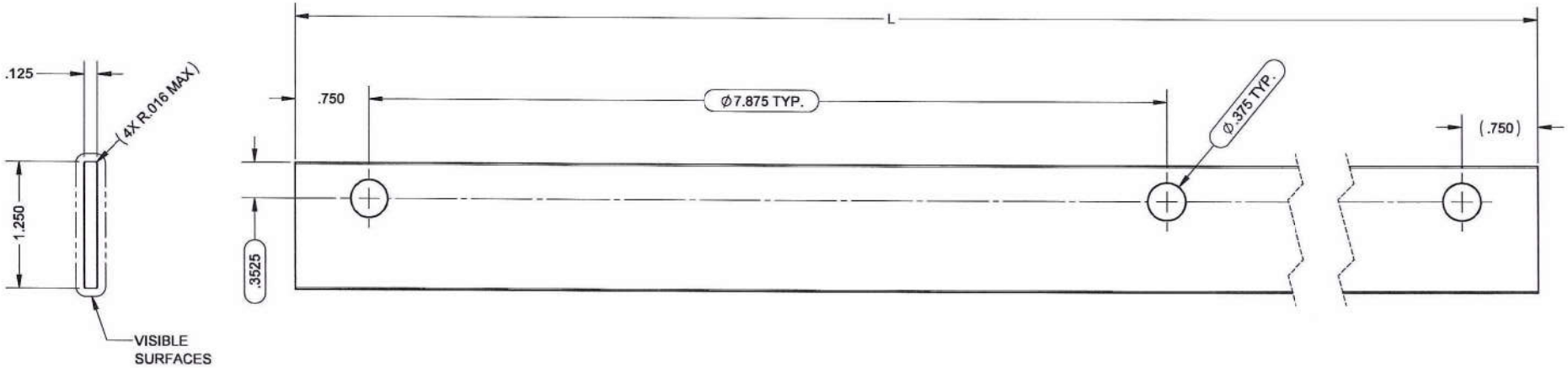
SHEET SIZE: C
THIRD ANGLE PROJECTION

		DATE
DRAWN BY	S. TALIAFERRO	8/20/2021
CHECKED BY	R. MCPEAK	9/8/2021
APPROVED BY	S. TALIAFERRO	9/13/2021

SCALE 1:1
TYPE DRAW 0

DRAWING NO. X6559_
REV. A
VERS. 00
STATUS: RELEASED
SHEET 1 OF 1

DIVISION: EQUINOX



ITEM NO.	CUT LENGTH, L (INCHES)
X6560A	96.00 +.125 / -0
X6562A	237.75 +.25 / -0

GENERAL TOLERANCES FOR DETAIL PERFORMED BY MATERIAL REMOVAL	
DIMENSION	TOLERANCE
X < .250	± .004
.250 ≤ X < 1.000	± .008
1.000 ≤ X < 5.000	± .012
5.000 ≤ X < 16.000	± .020

(XX) DENOTES CRITICAL DIMENSION
ALL THREADS ARE CRITICAL

COLOR	-
	-
	-
	CUSTOM
COATING	-
	-
	POWDER COATED
MATERIAL	-
	-
	6061-T6 ALUMINUM ALLOY PER ASTM B221

NOTES, UNLESS OTHERWISE SPECIFIED:

1. DIMENSIONS ACROSS CENTERLINES ARE SYMMETRIC
2. CIRCUMSCRIBING CIRCLE: Ø1.260
3. BURR ALLOWANCE IS 10% MATERIAL THICKNESS, MAX.
4. LOCATION OF ANY MANUFACTURER MARK TO BE APPROVED BY RESPONSIBLE ENGINEERING DEPARTMENT
5. AVG. COATING THICKNESS (CURED) SHALL BE 2.7 - 4.5 MILS
6. DIMENSIONS SHOWN APPLY BEFORE POWDER COATING

MASS / WEIGHT: 0.18 LBS / FT
VOLUME: 1.85 IN³ / FT
SURFACE AREA: 33.17 IN² / FT

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
GENERAL TOLERANCES
- ANSI H35.2 (PROFILE)
- FOR MATERIAL REMOVAL, SEE TABLE

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF OMNIMAX INTERNATIONAL, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF OMNIMAX INTERNATIONAL, INC. IS PROHIBITED. THIS DRAWING IS CONTROLLED BY OMNIMAX INTERNATIONAL, INC. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE RESPONSIBLE ENGINEERING DEPT.

APPLICABLE STANDARDS
AAMA 2604
OMS-002
A/01

REQUIREMENTS FOR CORROSION RESISTANCE ACCORDING TO:

DO NOT SCALE DRAWING
REFER TO 3D MODEL FOR MISSING DIMENSIONS / CONTOURS

ECN NO.	REV.	VER.	DESCRIPTION	DATE	APPR.
-	A	01	ADDED OMS-002 COLOR SPEC., UPDATED LOGO	9/28/2021	ST
-	A	00	TRANSFERRED TO NEW DWG FORMAT; MOD. TOLERANCES	7/12/2021	ST

LATEST REVISION HISTORY

DESCRIPTION
LINK BAR
-

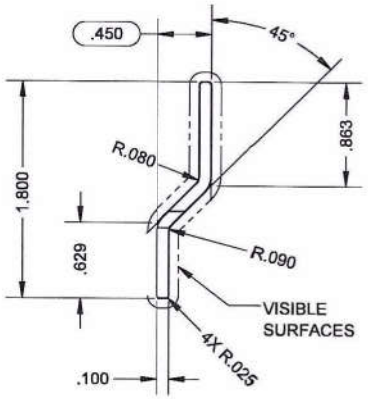
OmniMax International
30 Technology Parkway South, Suite 400
Peachtree Corners, GA 30092

SHEET SIZE B
THIRD ANGLE PROJECTION

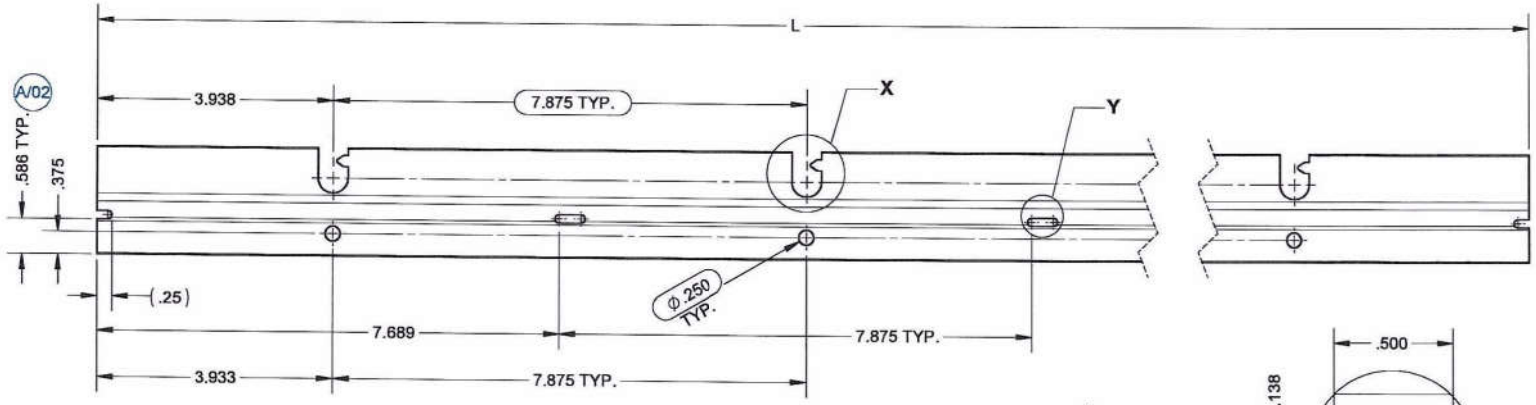
DRAWN BY	S. TALIAFERRO	DATE 6/8/2021	SCALE 1:1
CHECKED BY	R. MCPEAK	DATE 7/7/2021	TYPE DRAW 0
APPROVED BY	S. TALIAFERRO	DATE 7/12/2021	

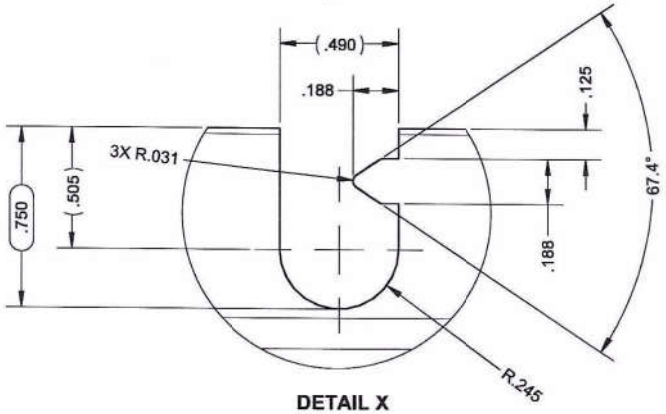
DRAWING NO. X656_A
REV. A
VERS. 01
STATUS: RELEASED
SHEET 1 OF 1

DIVISION: EQUINOX

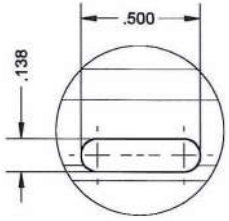


SCALE 1 : 1





DETAIL X
SCALE 2 : 1
TYP.



DETAIL Y
SCALE 2 : 1
TYP.

ITEM NO.	CUT LENGTH, L (INCHES)
X6570A	94.50 +.125 / -0
X6572A	236.25 +.25 / -0

GENERAL TOLERANCES FOR DETAIL PERFORMED BY MATERIAL REMOVAL	
DIMENSION	TOLERANCE
X < .250	± .004
.250 ≤ X < 1.000	± .008
1.000 ≤ X < 5.000	± .012
5.000 ≤ X < 16.000	± .020

(X.X) DENOTES CRITICAL DIMENSION
ALL THREADS ARE CRITICAL

COLOR	-
	-
	-
	CUSTOM
COATING	-
	-
	POWDER COATED
MATERIAL	-
	6061-T6 ALUMINUM ALLOY PER ASTM B221 (OR ASTM B209)
	6005A-T61 ALUMINUM ALLOY PER ASTM B221

A/02

NOTES, UNLESS OTHERWISE SPECIFIED:

1. DIMENSIONS ACROSS CENTERLINES ARE SYMMETRIC
2. CIRCUMSCRIBING CIRCLE: Ø1.866
3. ALTERNATIVE MATERIAL 6005A-T6 PER EN 755-2 ALLOWED
4. BURR ALLOWANCE FROM PUNCHING IS 10% MATERIAL THICKNESS, MAX.
5. LOCATION OF ANY MANUFACTURER MARK TO BE APPROVED BY RESPONSIBLE ENGINEERING DEPARTMENT
6. AVG. COATING THICKNESS (CURED) SHALL BE 2.7 - 4.5 MILS
7. DIMENSIONS SHOWN APPLY BEFORE POWDER COATING

MASS / WEIGHT:	8.22	LBS / FT
VOLUME:	2.23	IN³ / FT
SURFACE AREA:	47.60	IN² / FT

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
GENERAL TOLERANCES
- ANSI H35.2 (PROFILE)
- FOR MATERIAL REMOVAL, SEE TABLE

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF OMNIMAX INTERNATIONAL, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF OMNIMAX INTERNATIONAL, INC. IS PROHIBITED. THIS DRAWING IS CONTROLLED BY OMNIMAX INTERNATIONAL, INC. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE RESPONSIBLE ENGINEERING DEPT.

APPLICABLE STANDARDS
AAMA 2604
OMS-002
A/01

REQUIREMENTS FOR CORROSION RESISTANCE ACCORDING TO:

DO NOT SCALE DRAWING
REFER TO 3D MODEL FOR MISSING DIMENSIONS / CONTOURS

ECN NO.	REV.	VER.	DESCRIPTION	DATE	APPR.
-	A	01	ADDED OMS-002 COLOR SPEC., UPDATED LOGO	9/28/2021	ST
-	A	02	ADDED 6061-T6 MAT'L AND DIM; CORRECTED TEMPER ON 6005A	2/23/2022	ST

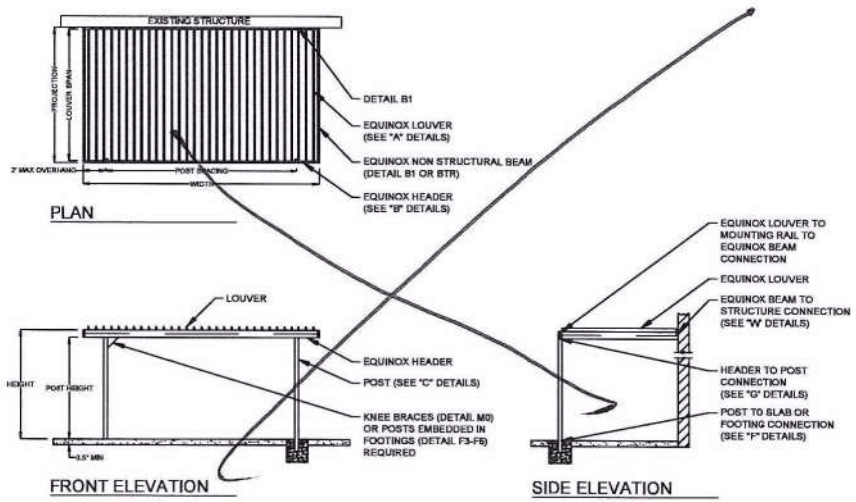
LATEST REVISION HISTORY

DESCRIPTION
PIVOT STRIP
.

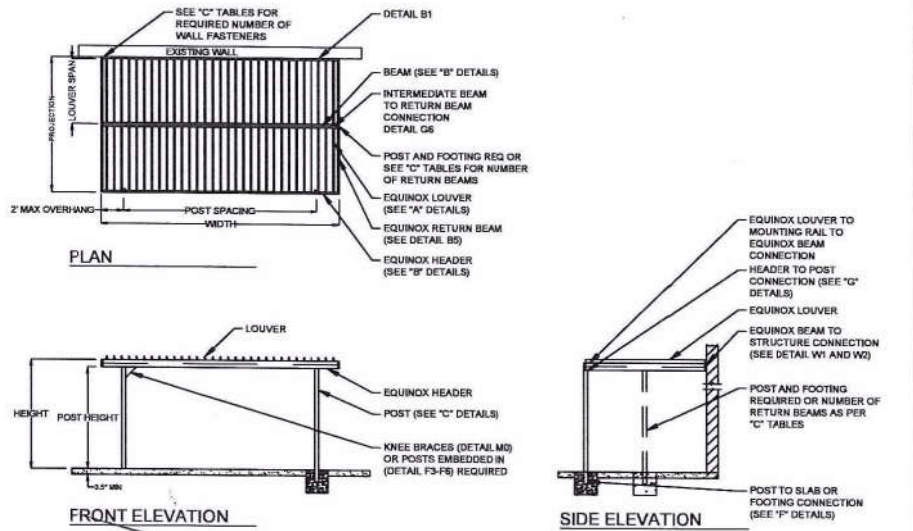
OmniMax International
30 Technology Parkway South, Suite 400
Peachtree Corners, GA 30092

SHEET SIZE	B	DRAWN BY S. TALIAFERRO	DATE 6/8/2021	SCALE 1:2
THIRD ANGLE PROJECTION		CHECKED BY R. MCPEAK	DATE 7/7/2021	TYPE DRAW 0
		APPROVED BY S. TALIAFERRO	DATE 7/12/2021	

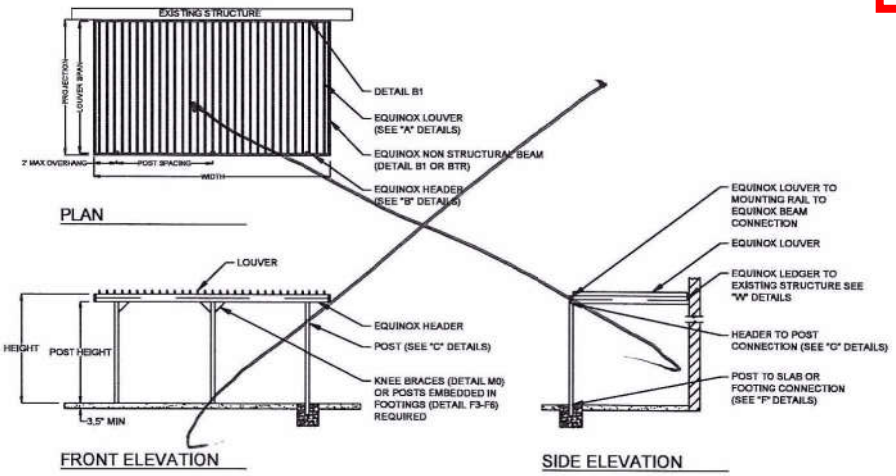
DRAWING NO. X657_A | REV. A | VERS. 02
STATUS: RELEASED
SHEET 1 OF 1



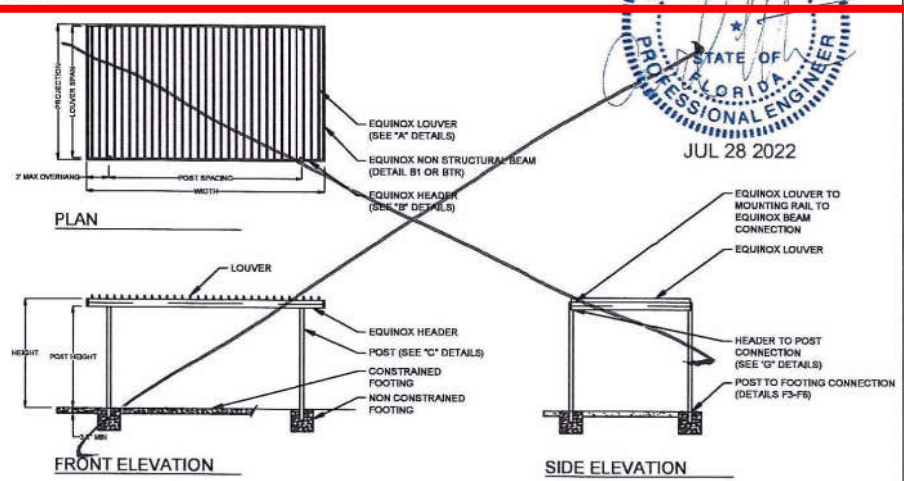
STRUCTURE TYPE A - ATTACHED STRUCTURES WITH SINGLE SPAN LOUVERS (2 POST ONLY)



STRUCTURE TYPE C - ATTACHED MULTI SPAN LOUVERS AND SINGLE SPAN HEADERS



STRUCTURE TYPE B - ATTACHED STRUCTURES WITH SINGLE SPAN LOUVERS (3 POST MINIMUM)



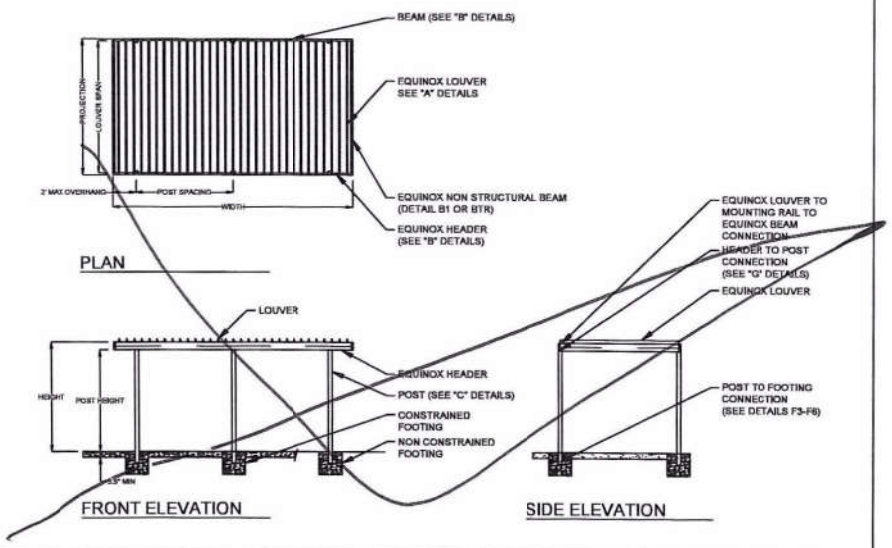
STRUCTURE TYPE D - FREESTANDING STRUCTURE W/ SINGLE SPAN LOUVERS (4 POST ONLY)

CARL PUTNAM LICENSE No 59735 STATE OF FLORIDA PROFESSIONAL ENGINEER
JUL 28 2022

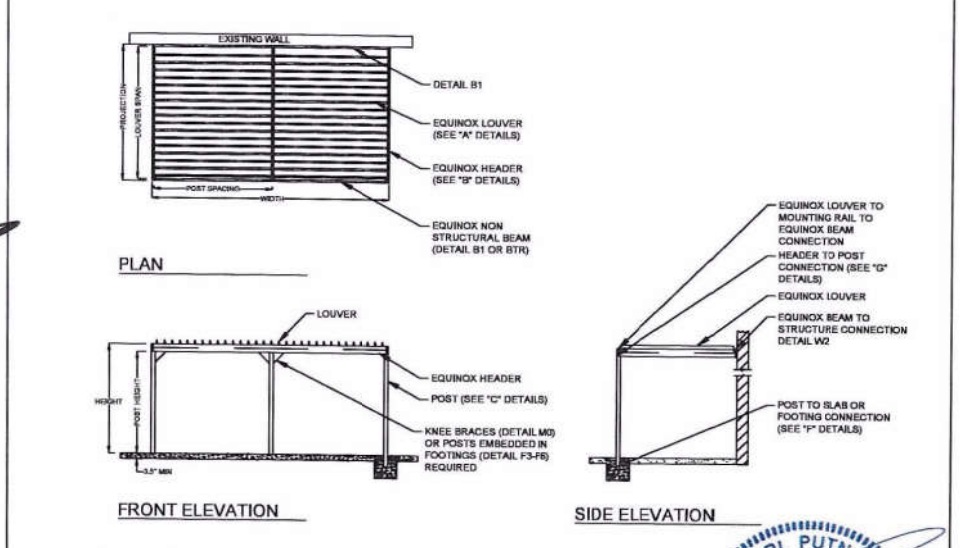
DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC STANDARD PLANS	3

Equinox Standard Plan v7 (2018 IBC) 7/24/2022

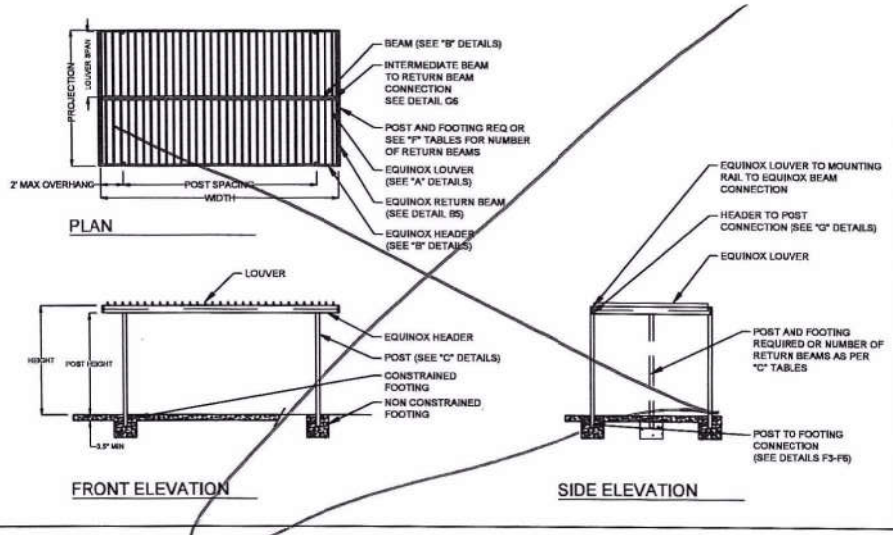
Page 3 of 51



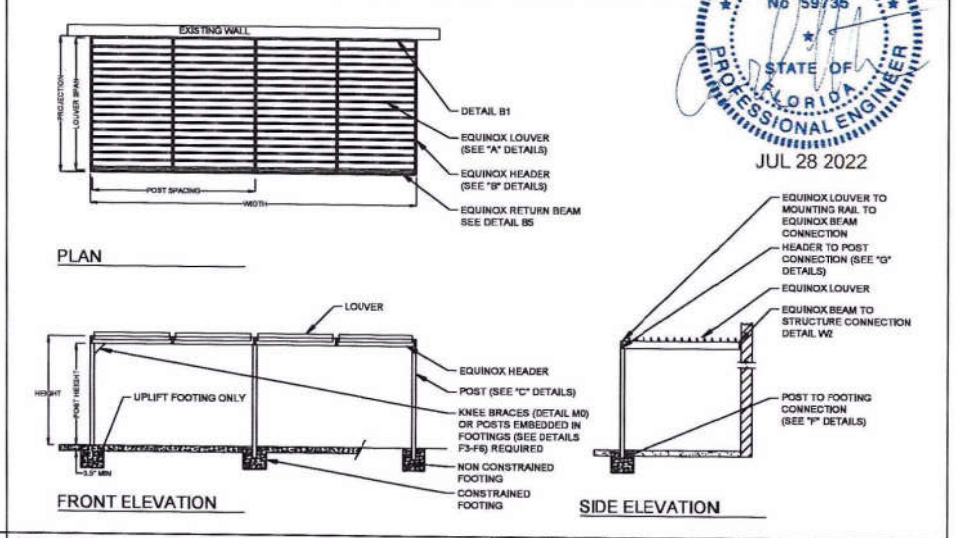
STRUCTURE TYPE E - FREESTANDING STRUCTURE SINGLE SPAN LOUVERS (6 POST MIN)



STRUCTURE TYPE G - ATTACHED STRUCTURE W/ LOUVERS PARALLEL W/ BUILDING WALL



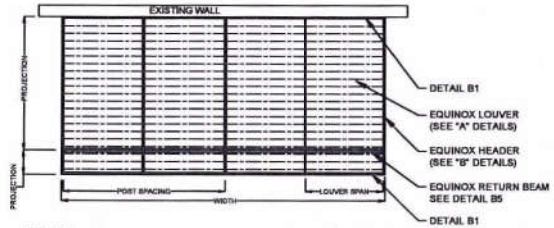
STRUCTURE TYPE F - FREESTANDING STRUCTURE W/ MULTI SPAN LOUVERS (4-6 POSTS ONLY)



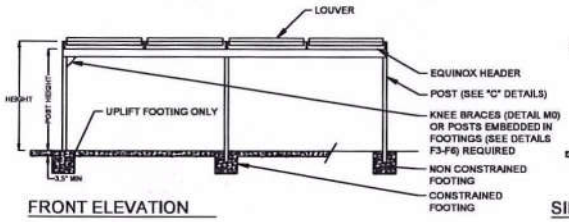
STRUCTURE TYPE H - ATTACHED STRUCTURE W/ LOUVERS PARALLEL W/ BUILDING WALL AND RETURN BEAMS

CARL PUTNAM LICENSE No 59735 STATE OF FLORIDA PROFESSIONAL ENGINEER
JUL 28 2022

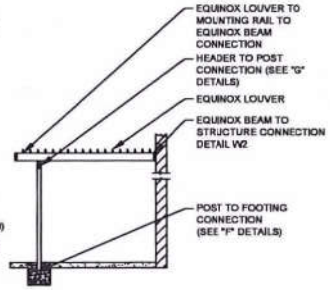
DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC STANDARD PLANS	4



PLAN



FRONT ELEVATION



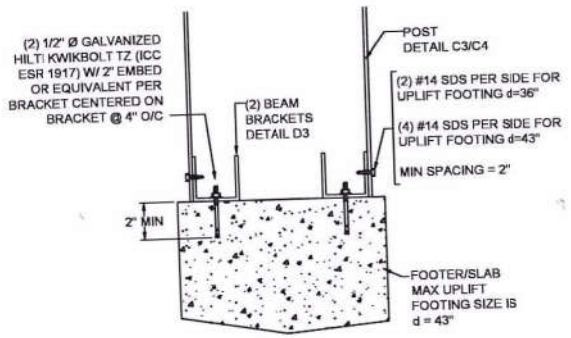
SIDE ELEVATION

STRUCTURE TYPE I - ATTACHED STRUCTURE W/ LOUVERS
PARALLEL W/ BUILDING WALL AND RETURN BEAMS

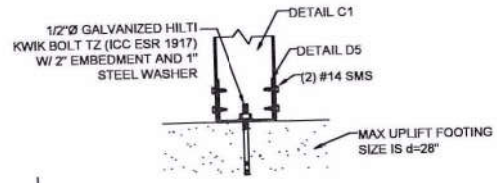
CARL PUTNAM
LICENSE
No 59735
STATE OF FLORIDA
PROFESSIONAL ENGINEER

JUL 28 2022

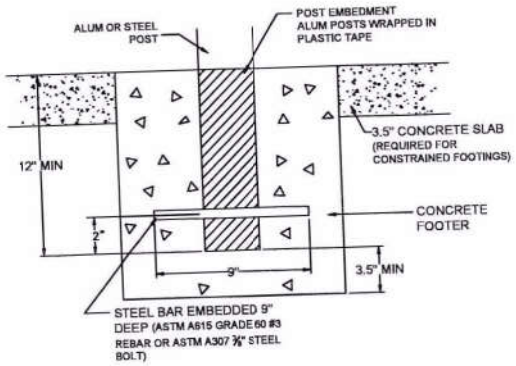
DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC STANDARD PLANS	5



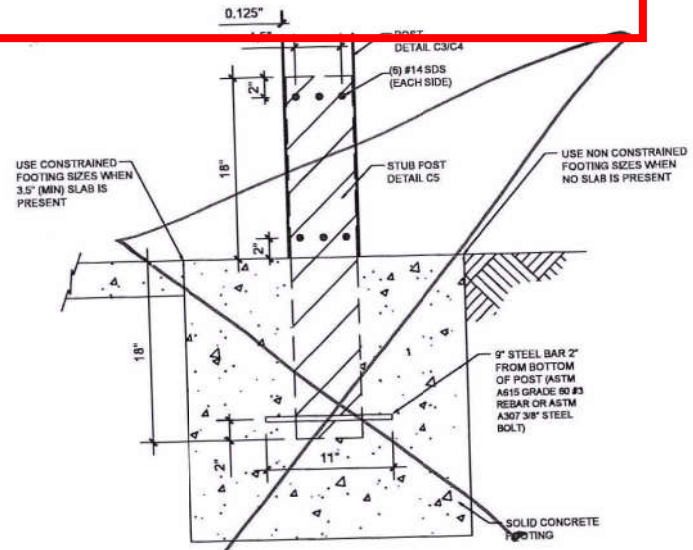
F1 6" AND 7" POST TO FOOTING/SLAB CONNECTION DETAIL
UPLIFT ONLY



F2 POST TO FOOTING/SLAB CONNECTION DETAIL
UPLIFT ONLY



F3 POST TO FOOTING DETAIL
MOMENT RESISTING



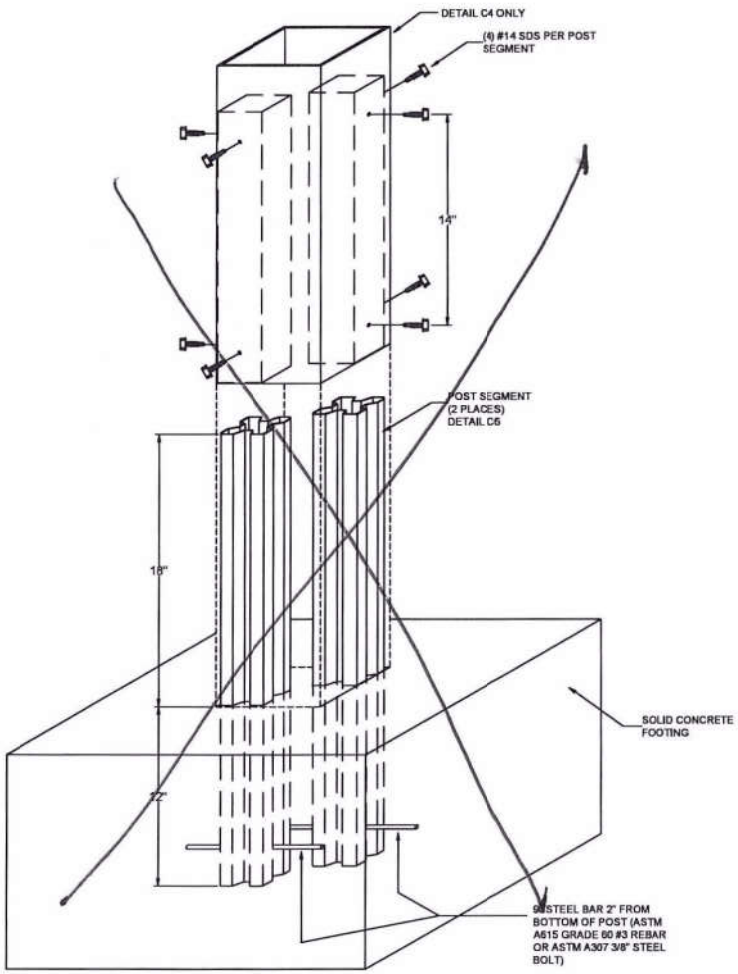
F4 7x7 OR 6x6 POST W/ STEEL INSERT TO
FOOTING CONNECTION
MOMENT RESISTING

CARL PUTNAM LICENSE No 59735 STATE OF FLORIDA PROFESSIONAL ENGINEER

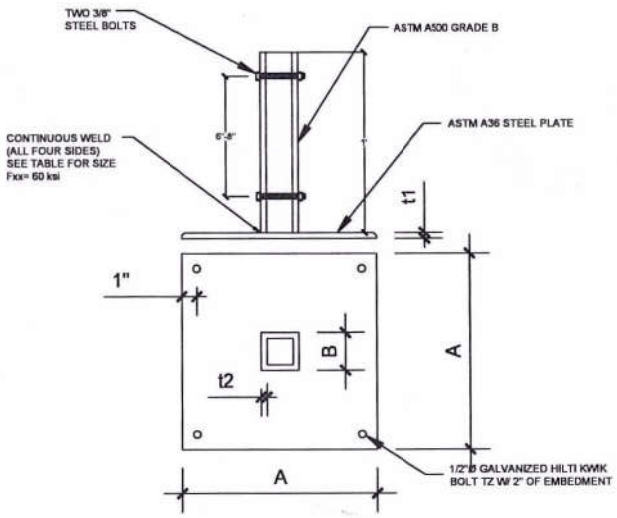
JUL 28 2022

DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC DETAILS	10

Equinox Standard Plan v7 (2018 IBC) 7/24/2022



F5 POST TO FOOTING FOR OVERTURNING MOMENT ≤ 2056 LBFxFT



THE WELDED POST BRACKET MUST BE VERIFIED TO COMPLY WITH THE REQUIREMENTS IN THIS DETAIL AND FABRICATED IN ACCORDANCE W/ 2018 IBC SECTION 1704.2.5.1 BY AN APPROVED FABRICATOR TO THE SATISFACTION OF THE CODE OFFICIAL

MOMENT CAPACITY (lbf*ft)	PLATE SIZE A (in)	PLATE THICKNESS t1 (in)	STUB POST SIZE B (in)	STUB POST THICKNESS t2 (in)	MINIMUM WELD SIZE (in)
950	8	0.375	3.5	0.1875	0.125
1250	12	0.375	3.5	0.1875	0.125
2200	12	0.5	3.5	0.1875	0.125
3450	12	0.625	3.5	0.1875	0.125
5000	12	0.75	3.5	0.25	0.1875
	BASE PLATE AND STUB POST SPECIFICATIONS				

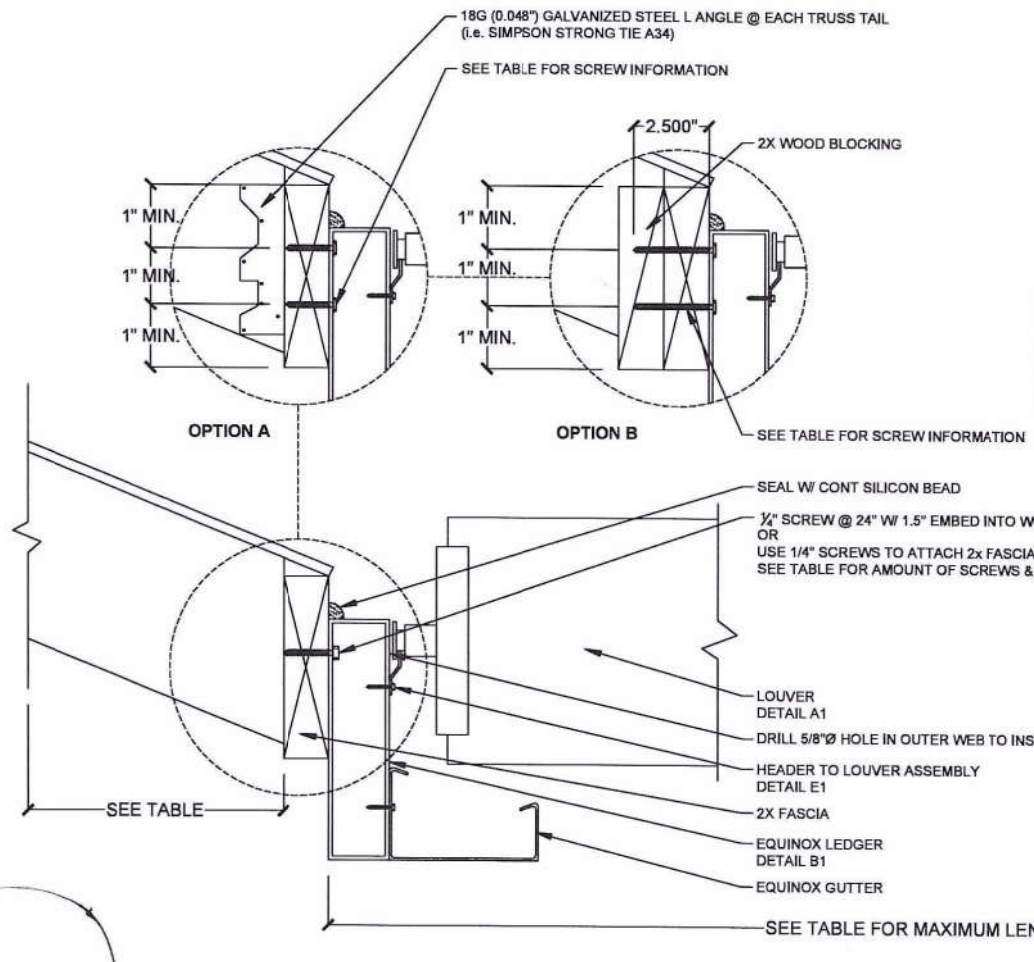
CARL PUTNAM LICENSE No 59735 STATE OF FLORIDA PROFESSIONAL ENGINEER

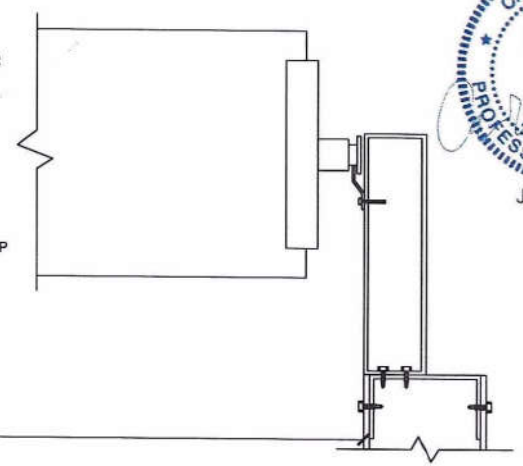
JUL 28 2022

F6 WELDED STEEL BASE PLATE
MUST BE MOUNTED TO TOP OF FOOTING PER TABLES
PAINTED/ GALVANIZED FOR EXTERIOR EXPOSURE
*AVAILABLE FROM THIRD PARTY

DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24501 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC DETAILS	11

Live Load Ground Snow Load	RAFTER SIZE (24" O/C)	MAX LOUVER SPAN ("L") EAVE OVERHANG 6"	9"	12"	18"	24"	Number of Eave Fasteners (1/4" Lag screw)
10 psf	2x4	14'-0"	14'-0"	14'-0"	11'-2"	6'-6"	3
130 mph Exp B	2x6	14'-0"	14'-0"	14'-0"	14'-0"	10'-10"	
105 mph Exp C	2x8	14'-0"	14'-0"	14'-0"	14'-0"	14'-0"	
20 psf	2x4	14'-0"	14'-0"	10'-2"	5'-9"	3'-3"	4
140 mph Exp B	2x6	14'-0"	14'-0"	14'-0"	8'-9"	5'-5"	
115 mph Exp C	2x8	14'-0"	14'-0"	14'-0"	14'-0"	11'-4"	
25 psf	2x4	13'-0"	13'-0"	11'-1"	6'-3"	3'-5"	4
130 mph Exp C	2x6	13'-0"	13'-0"	13'-0"	9'-6"	5'-10"	
	2x8	13'-0"	13'-0"	13'-0"	13'-0"	12'-3"	
30 psf	2x4	12'-0"	12'-0"	9'-1"	4'-11"	2'-5"	4
140 mph Exp C	2x6	12'-0"	12'-0"	12'-0"	7'-7"	4'-6"	
	2x8	12'-0"	12'-0"	12'-0"	12'-0"	9'-10"	
36 psf	2x4	12'-0"	10'-8"	7'-5"	3'-10"	1'-8"	5
150 mph Exp C	2x6	12'-0"	12'-0"	10'-10"	6'-1"	3'-5"	
	2x8	12'-0"	12'-0"	12'-0"	12'-0"	7'-11"	
43 psf	2x4	11'-0"	8'-9"	6'-0"	2'-11"	1'-0"	5
150 mph Exp C	2x6	11'-0"	11'-0"	8'-10"	4'-9"	2'-5"	
	2x8	11'-0"	11'-0"	11'-0"	9'-9"	6'-2"	
50 psf	2x4	11'-0"	7'-5"	5'-0"	2'-3"	0'-6"	6
160 mph Exp C	2x6	11'-0"	10'-8"	7'-5"	3'-10"	1'-9"	
	2x8	11'-0"	11'-0"	11'-0"	8'-2"	5'-0"	
62 psf	2x4	9'-6"	6'-9"	3'-9"	1'-5"	0'-0"	6
160 mph Exp C	2x6	10'-0"	8'-5"	5'-9"	2'-9"	1'-0"	
	2x8	10'-0"	10'-0"	10'-0"	6'-3"	3'-7"	





CARL PUTNAM LICENSE No 59735 STATE OF FLORIDA PROFESSIONAL ENGINEER

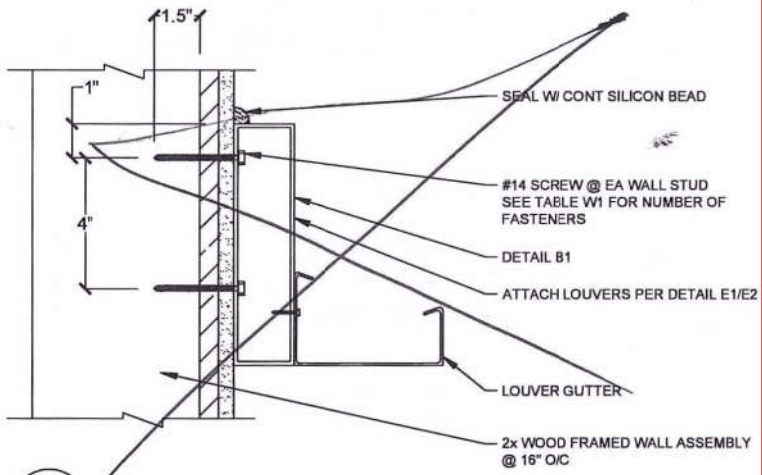
JUL 28 2022

W7 EQUINOX HEADER TO RAFTER CONNECTION

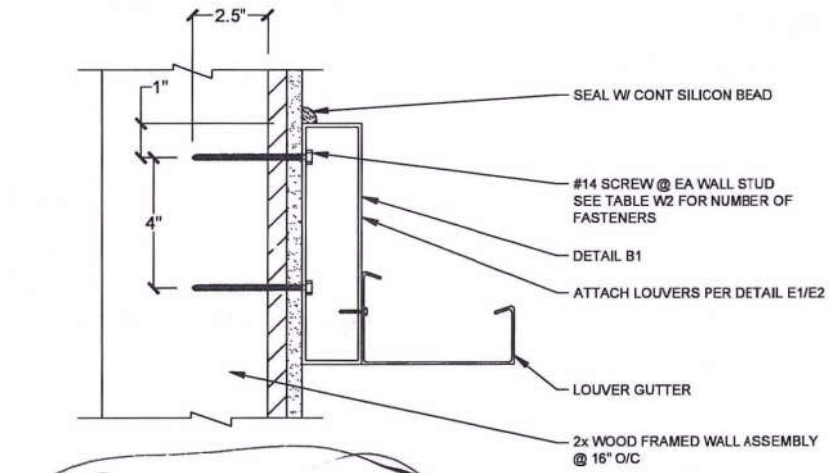
Equinox Standard Plan v7 (2018 IBC) 7/24/2022

NOTE: THIS ATTACHMENT ONLY ALLOWED FOR STRUCTURE TYPES A AND B.
STRUCTURE TYPE C IS ALLOWED IF MID SPAN POSTS ARE USED ON RETURN BEAMS.

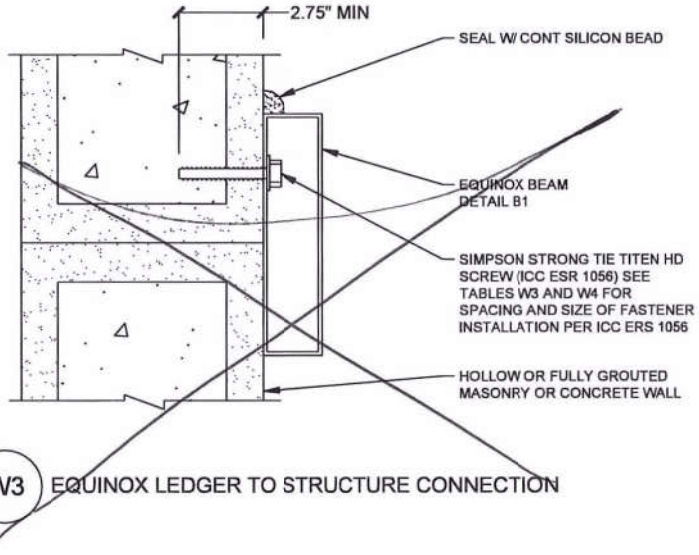
DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S, #400 PEACHTREE CORNERS, GA
		DETAILS	17



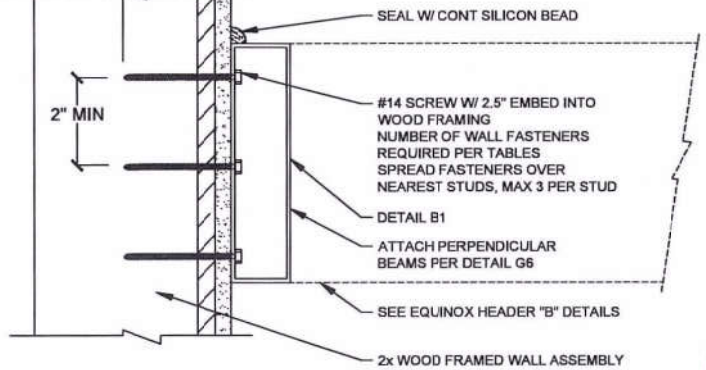
W1 EQUINOX LEDGER TO STRUCTURE CONNECTION



W2 EQUINOX LEDGER TO STRUCTURE CONNECTION



W3 EQUINOX LEDGER TO STRUCTURE CONNECTION



W4 EQUINOX LEDGER TO STRUCTURE CONNECTION
TYPE "C", "G", "H" AND "I" ONLY

CARL PUTNAM
LICENSE
No 59735
STATE OF FLORIDA
PROFESSIONAL ENGINEER
JUL 28 2022

DATE	DRAWN BY		
06-02-22	CMP	CARL PUTNAM P.E.	3441 IVY LINK PLACE LYNCHBURG, VA 24503 CARLPUTNAM@COMCAST.NET
		OMNIMAX	30 TECHNOLOGY PARK S. #400 PEACHTREE CORNERS, GA
		DESC DETAILS	16

City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00818 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

424 E. Zaragoza Street
Pensacola Historic District / Zone HC-1
New Accessory Dwelling Unit at a Contributing Structure

BACKGROUND:

Diosdado Perera, Walcott Adams Verneuille Architects, is requesting review and final approval of a new accessory dwelling unit (ADU) at a contributing structure. The new building has been designed to reflect the existing structure with horizontal lap siding, six-over-six windows, and a metal roof. The structure will be pushed to the center of the lot and connected to the primary building with an open-air breezeway. A front driveway is also proposed with colored concrete edged with brick and contained within metal fencing set between brick piers. For the ADU, materials include Hardie lap siding, aluminum clad windows and doors with simulated divided lites, a 5v-crimp metal roof, steel garage doors, tongue and groove wood porch floors, and wood rails with custom pickets cut from Hardie panels. Elements such as the columns and corbel details have also been designed to match the primary.

Please find attached all relevant documentation for your review.

RECOMMENDED CODE SECTIONS
Sec. 12-3-10(1)d.2.ii.(b) Pensacola historic district, Decisions for new buildings
Sec. 12-3-10(1)h. Pensacola historic district, New construction

HISTORICAL STRUCTURE FORM
FLORIDA SITE FILE
Version 2.0 7/92

X Original
X Update

Site #8 ES 2496
Recorder #
Field Date 4 / 25 / 95
Form Date 7 / 24 / 95

SITE NAMES (addr. if none) 424 E. ZARAGOZA ST. [MULT. LIST. #8]
SURVEY PENSACOLA HISTORIC DISTRICT [SURVEY # 475 8]
NATIONAL REGISTER CATEGORY X building _structure X district _site _object

LOCATION & IDENTIFICATION

ADDRESS (Include N,S,E,W; st., ave., etc.) 424 E. ZARAGOZA ST.
CROSS STREETS nearest/between BETW. S. ALCANIZ ST. AND S. FLORIDA BLANCA ST.
NEAREST CITY/TOWN PENSACOLA IN CURRENT CITY LIMITS X yes no
COUNTY ESCAMBIA TAX PARCEL # 9001-002-046
SUBDIVISION NAME PENSACOLA HIST DIST BLOCK 9 LOT NO. 46
OWNERSHIP _private-profit _priv-nonprofit X priv-indiv _priv-unspecified _city _county _state _federal _unknown
NAME OF PUBLIC TRACT (e.g., park) OLD CITY TRACT
ROUTE TO

MAPPING

USGS 7.5' MAP NAME 30087-D2-TF-024 1987
TOWNSHIP 2S RANGE 30W SECT. 46 1/4 1/4-1/4 IRREG. SECT.? y n
[UTM: ZONE 16 17 EASTING | | | | | | 0 | *NORTHING* | | | | | | 0 |]
PLAT OR OTHER MAP (Map's name, location)

DESCRIPTION

STYLE FRAM EXTERIOR PLAN LSHP NO. STORIES 1
STRUCTURAL SYSTEMS WF
FOUNDATION: Types PIER Materials BRIC
EXTERIOR FABRICS WTBD
ROOF: Types HIP Materials SMCO
Secondary strucs. (dormers etc.)
CHIMNEY : No. Materials LOCATIONS
WINDOWS (types, materials, and placements) DHS, 6/6, WOOD

MAIN ENTRANCE (stylistic details)
PORCHES: #open #closed #incised Locations S/1 STORY APRON ROOF, 5 BAY,
Porch roof types ACCESS FROM SOUTH
EXTERIOR ORNAMENT

INTERIOR PLAN CONDITION: _excellent X good _fair _deteriorated _ruinous
SURROUNDINGS (N-None, S-Some, M-Most, A-All or nearly all) S commercial _residential _institutional _rural
ANCILLARY FEATURES (No., type of outbuildings; major landscape features)

ARCHAEOLOGICAL REMAINS AT SITE Archaeological form completed? _y _n (No-explain; yes-attach!)
Artifacts or other remains
NARRATIVE (E.g. description of interior, landscape, architecture, etc; please limit to 3 lines and attach full statement on separate sheet)

HISTORICAL STRUCTURE FORM

Site #8 _____

HISTORY

CONSTRUCTION DATE 1810 CIRCA _xyes __no
ARCHITECT: (last name first) UNKNOWN
BUILDER: (last name first) UNKNOWN
MOVES _yes __no Dates _____ Orig.addr. _____
ALTERATIONS _yes __no Dates _____ Nature _____
ADDITIONS _yes __no Dates _____ Nature _____
ORIGINAL USES (give dates) RESIDENCE
INTERMEDIATE USES (give dates) _____
PRESENT USES (give dates) COMMERCIAL - REST
OWNERSHIP HISTORY (especially original owner) DON JUAN VENTURA MORALES(ORIGINAL), RAYNELL, INC. (CURRENT)

SURVEYOR'S EVALUATION OF SITE

Potentially elig. for local designation? _yes _no _insuff. info
Individually elig. for Nat. Register? _yes _no _insuff. info
Potential contributor to NR district? _yes _no _insuff. info

Local Designation Category
_____
_____

HISTORICAL ASSOCIATIONS (ethnic heritage, etc.) _____

EXPLANATION OF EVALUATION (required; limit to three lines; attach full statement on separate sheet)

CROSS-REFERENCES

BIBLIOGRAPHIC REFERENCES (Author, date, title, publication information. If unpublished, give FSF Manuscript Number, or location where available) _____

PHOTOGRAPHS (REQUIRED) B&W print(s) at least 3 x 5, at least one main facade. Label the back of the print with the FSF site number (site name if not available), direction and date of photograph: use pencil. Attach to back of the second to last page with a plastic or coated clip.
Location of negatives/neg. nos. R9, F11-12

RECORDER

NAME (last first)/ADDR/PHONE/AFFILIATION HPPB

FOR DETAILED INSTRUCTIONS: *Guide to the 1992 Historic Structure Form of the Florida Site File.*

OHR USE ONLY	OFFICIAL EVALUATIONS	OHR USE ONLY
NR DATE / /	KEEPER-NR ELIGIBILITY* y n pe i	Date / /
	SHPO-NR ELIGIBILITY* y n pe i	Date / /
DELIST DATE / /	LOCAL DESIGNATION*	Date / /
	local office	

* y=Yes; n=No; pe=Potentially Eligible; i=Insufficient Information

REQUIRED:
(1) USGS MAP WITH STRUCTURE PINPOINTED
(2) LARGE-SCALE STREET OR PLAT MAP
(3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3X5

424 E. Zaragoza Street

City of Pensacola
America's First Settlement And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 7.27.2022

Project Address: **424-428 E. Zarragossa Street**

Applicant: Robert & Phyllis Saxon

Applicant's Address: 424 E. Zarragossa Street, Pensacola FL 32052

Email: subparrrrr@aol.com Phone: 850-380-4300

Property Owner: Robert & Phillis Saxon
(If different from Applicant)

District: ☑ ***PHD*** ☐ ***NHPD*** ☐ ***OEHPD*** ☐ ***PHBD*** ☐ ***GCD***

Application is hereby made for the project as described herein:

☑ Residential Homestead – $50.00 hearing fee

☐ Commercial/Other Residential – $250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

Addition of ADU

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on File

Applicant Signature Date

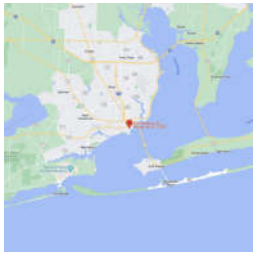
Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

ARB Review Set
July 27, 2022

A Carriage House for
Robert & Phyllis Saxon

424-428 E. Zarragossa Street
Pensacola, Florida 32502

Location Map (NTS)



Site Map (NTS)

Index of Drawings

T1.10	Title
C1.10	Survey of Record
C1.20	Surrounding & Site Photos
C1.30	Surrounding & Site Photos
C1.40	Architectural Site Plan
A1.10	Floor Plans
A3.10	Building Elevations
A3.20	Building Elevations
A3.21	Exterior Finishes/Specs

WALCOTT
ADAMS
VERNEUILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL. 36532
(251) 928-6041

A Carriage House for
Robert & Phyllis Saxon
424-428 E. Zarragossa St.
Pensacola, FL

Date	July 27, 2022
Revised	
Revised	
Revised	
Drawn	
Checked	

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Walcott Adams Verneuille
Architects, Inc.

T1.10

Title

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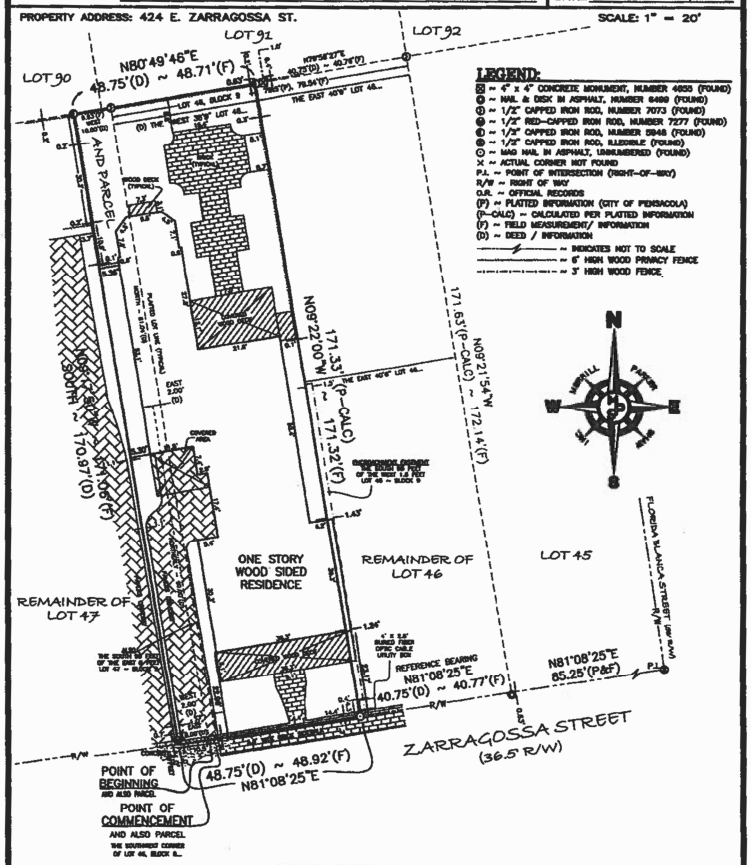
MERRILL PARKER SHAW, INC.

4926 N. DAVIS HWY. — PROFESSIONAL SURVEYING SERVICES — PH: (850) 478-4926
PENSACOLA, FL 32503 — FAX: (850) 478-4924

PREPARED FOR: MICHAEL R. SAXON AND PHYLLIS B. SAXON
REQUESTED BY: MIKE SAXON
JOB NO.: 19-11299-S-1
DATE: FEBRUARY 05, 2019

PROPERTY ADDRESS: 424 E. ZARRAGOSSA ST.
SCALE: 1" = 20'



LEGEND:

- ~ 4" x 4" CONCRETE MONUMENT, NUMBER 4655 (FOUND)
- ~ NAIL & DISK IN ASPHALT, NUMBER 6489 (FOUND)
- ~ 1/2" CAPPED IRON ROD, NUMBER 7073 (FOUND)
- ~ 1/2" RED-CAPPED IRON ROD, NUMBER 7277 (FOUND)
- ~ 1/2" CAPPED IRON ROD, NUMBER 5948 (FOUND)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ MAG NAIL IN ASPHALT, UNNUMBERED (FOUND)
- X ~ ACTUAL CORNER NOT FOUND
- P.I. ~ POINT OF INTERSECTION (RIGHT-OF-WAY)
- R/W ~ RIGHT OF WAY
- O.R. ~ OFFICIAL RECORDS
- (P) ~ PLATED INFORMATION (CITY OF PENSACOLA)
- (P-CALC) ~ CALCULATED PER PLATED INFORMATION
- (F) ~ FIELD MEASUREMENT/ INFORMATION
- (D) ~ DEED / INFORMATION
- ~ INDICATES NOT TO SCALE
- ~ 6' HIGH WOOD PRIVACY FENCE
- ~ 3' HIGH WOOD FENCE

"BOUNDARY SURVEY"

SHEET 1 OF 2 — *MEASUREMENTS MADE TO UNITED STATES STANDARDS*

DESCRIPTION: SEE PAGE 2 OF 2

SECTION N/A, TOWNSHIP N/A, RANGE N/A, ESCAMBIA COUNTY, STATE OF FLORIDA.
RECORDED O.R. BOOK 7422, PAGE 472 *THE ENCROACHMENTS ARE AS SHOWN*
FIELD DATE: 1/28/19, FIELD BOOK: 405, PG. 29

MERRILL PARKER SHAW, INC. CORPORATION NUMBER 7174
E. Wayne Parker DATE: 2/7/19
E. WAYNE PARKER PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION NUMBER 3883 STATE OF FLORIDA

REVISIONS:

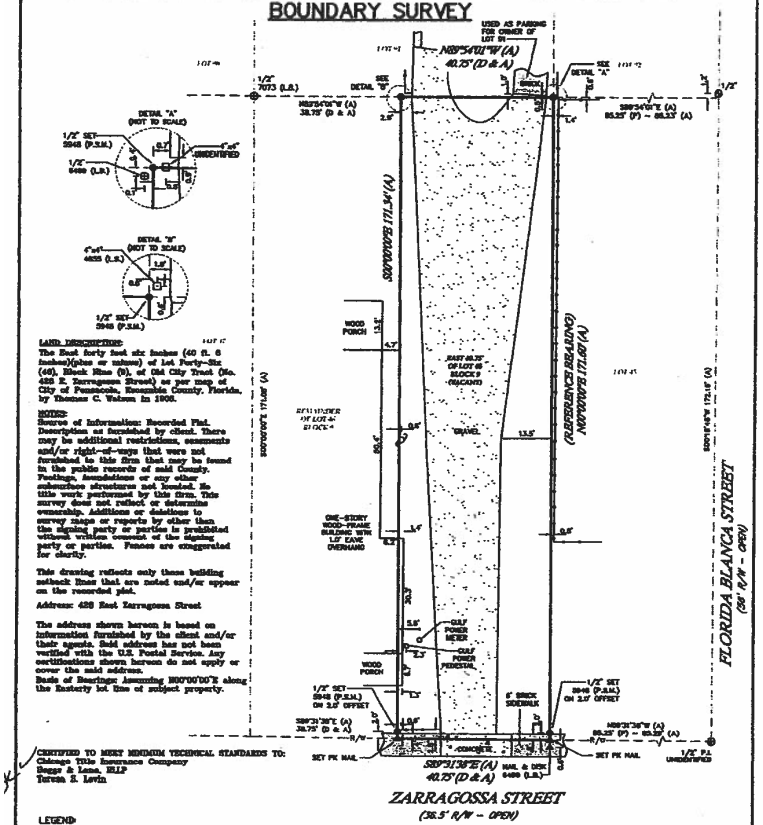
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR

ALVIN R. WALKER
LAND SURVEYING

TELEPHONE NO. (850) 968-0300 — 1108 KATHLEEN AVENUE CANTONMENT, FL 32533 — FAX NO. (850) 968-0301

NOTICE: THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

BOUNDARY SURVEY



LAND DESCRIPTION:
The East forty feet six inches (40 ft. 6 inches)(plus or minus) of Lot Forty-Six (46), Block Nine (9), of Old City Tract (No. 428 E. Zarragossa Street) as per map of City of Pensacola, Escambia County, Florida, by Thomas C. Watson in 1906.

NOTES:
Source of Information: Recorded Plat. Description as furnished by client. There may be additional restrictions, easements and/or right-of-ways that were not furnished to this firm that may be found in the public records of said County. Footings, foundations or any other subsurface structures not located. No title work performed by this firm. This survey does not reflect or determine ownership. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties. Fences are exaggerated for clarity.

This drawing reflects only those building setback lines that are noted and/or appear on the recorded plat.

Address: 428 East Zarragossa Street

The address shown hereon is based on information furnished by the client and/or their agents. Said address has not been verified with the U.S. Postal Service. Any certifications shown hereon do not apply or cover the said address.
Basis of Bearings: Assuming N00°00'00"E along the Easterly lot line of subject property.

CERTIFIED TO MEET MINIMUM TECHNICAL STANDARDS TO:
Chicago Title Insurance Company
Boggs & Lane, ELLP
Teresa S. Levin

LEGEND:
☒ ~ 4"x 4" 6280 Permanent Reference Monument Found · ☒ ~ 4" X 4" Concrete Monument Found · ~ Capped Iron Rod Found · ~ Iron Rod Unnumbered Found · ~ Iron Pipe Unnumbered Found · ~ PK2X2 Permanent Control Point Found & ~ Nail & disk Found · ~ 1/2" Capped Iron Rod L.B. 6489 Set · ~ Utility Poles · ~ Guy Anchor Wire · ~ Overhead Utility Lines · ~ Aerial Electric, Telephone, Cable Lines · ~ Chain Link Fence · ~ Wire Fence · ~ Wood Fence · R/W ~ Right of Way · B.L. ~ Building Setback Line · Conc. ~ Concrete · E ~ Easement · P.L. ~ Property Line · P.O.B. ~ Point on Line · P.O.C. ~ Point of Commencement · P.O.R. ~ Point of Reference · P.O.C ~ Point of Curvature · P.O.T. ~ Point of Tangency · P.I. ~ Point of Intersection · P.O.C. ~ Point of Compound Curvature · P.O.R. ~ Point of Reverse Curvature · P.O.E. ~ Point of Ending Curvature · Δ ~ Delta · L ~ Length of Arc · C ~ Chord · CB ~ Chord Bearing · ~ Degrees · Min ~ Minutes · Sec ~ Seconds · Rad ~ Radius · Desc ~ Description or Deed · Act ~ Actual · Typ ~ Typical · L.S ~ Licensed Surveyor · L.B ~ Licensed Business · CBS ~ Concrete Block · ~ Set Nail & Tack · ~ Concrete Monument · N.T.S. ~ Not to Scale · Dev ~ Deviation

NOTED ALL MEASUREMENTS MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.

JOB NO. 19-03-019 — FILE NO. 9-2057 — SCALE: 1"=20'
REQUESTED BY: MAY MANGRUM @ BOGGS & LANE — DWG NAME 1203019
DATE OF SURVEY: 03/13/19 — ENCROACHMENTS: AS SHOWN
FIELD BOOK: 85 — PAGE: 13-15 — REVISIONS:
DRAWN BY: ARW/EIE

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

428 E. ZARAGOZA

WALCOTT ADAMS VERNEUILLE
ARCHITECTS
1 SOUTH SCHOOL STREET
FAIRHOPE, AL. 36532
(251) 928-6041

A Carriage House for
Robert & Phyllis Saxon
424-428 E. Zarragossa St.
Pensacola, FL

Date	July 27, 2022
Revised	
Revised	
Revised	
Drawn	
Checked	

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Walcott Adams Verneuille Architects, Inc.

C1.10

Survey of Record

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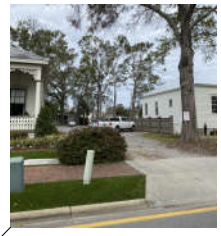

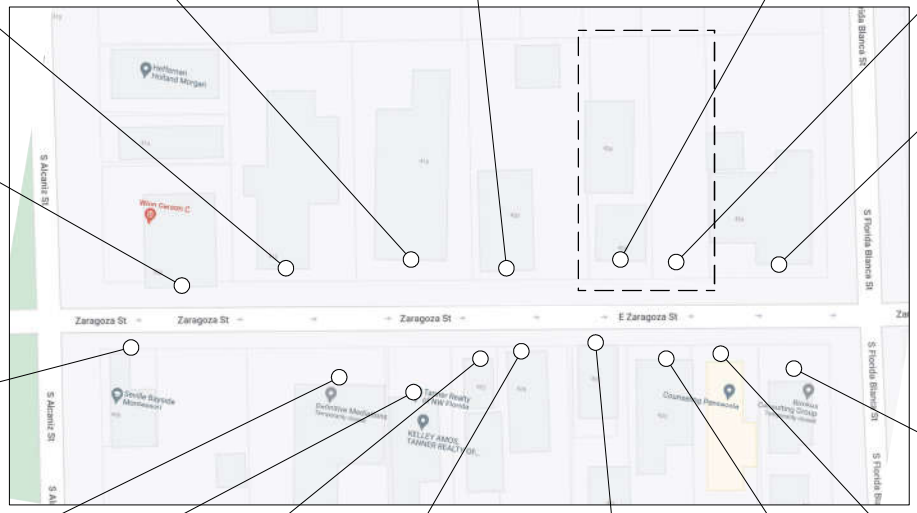

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A Carriage House for
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Date	July 27, 2022
Revised	
Revised	
Revised	
Drawn	
Checked	

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C1.20

Surrounding
& Site Photos

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Portion of Lot where Carriage House is to be built

Existing Main House on West portion of Lot

Northeast corner of Lot

Standing at NE Corner of lot Looking South Towards Street

Standing at Rear Property Line Looking South Toward the Front of the Property

WALCOTT
ADAMS
VERNEUILLE
ARCHITECTS

1 SOUTH SCHOOL STREET
FAIRHOPE, AL. 36532
(251) 928-6041

A Carriage House for
Robert & Phyllis Saxon
424-428 E. Zarragossa St.
Pensacola, FL

Date
Revised
Revised
Revised
Drawn
Checked

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Architects, Inc.

C1.30

Surrounding
& Site Photos

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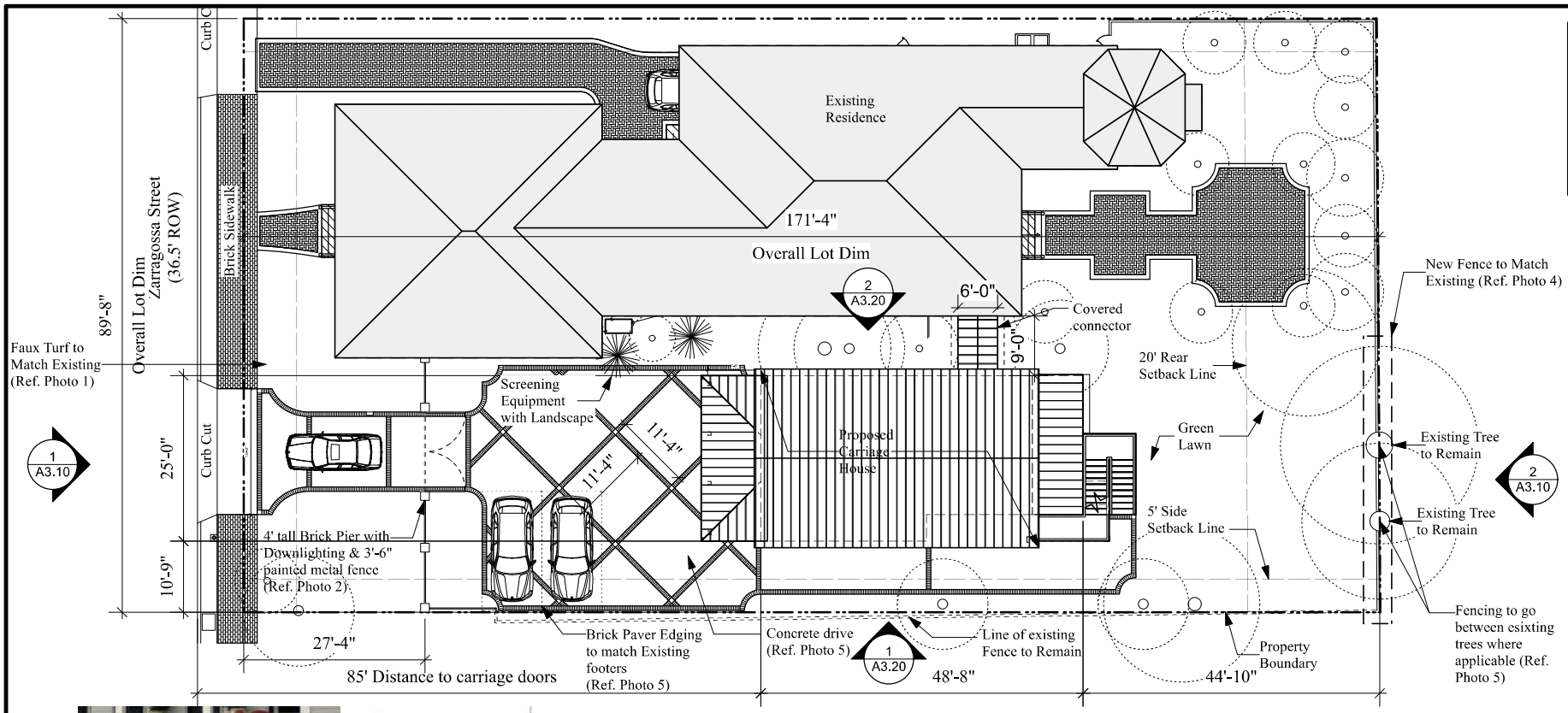

Photo 1- Existing faux grass and old-Pensacola brick

Photo 2 - Proposed brick piers and metal fencing

Photo 3 - proposed brick-edge concrete drive

Photo 4 - Existing peremeter fence

Photo 5 - Existing fence at tree conditions

1 C1.40

Architectural Site Plan

1/16"=1'-0"

NORTH

0 8 16 32 64Ft

WALCOTT ADAMS VERNEUILLE
ARCHITECTS
1 SOUTH SCHOOL STREET
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Architectural Site Plan

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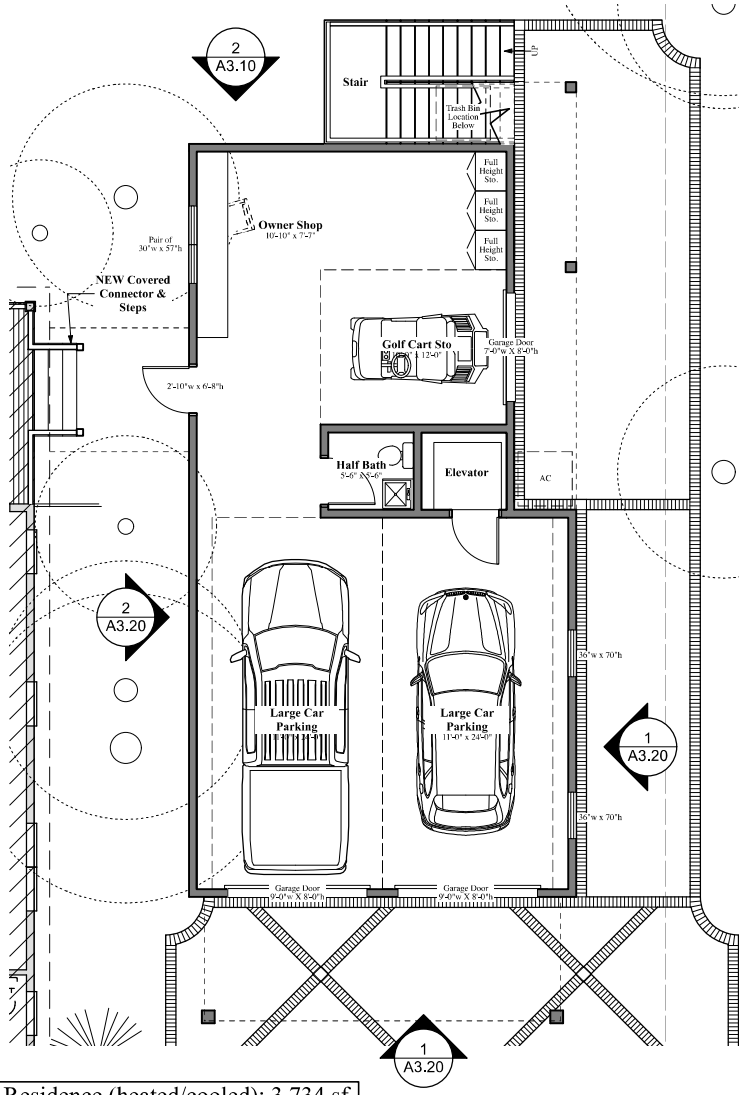

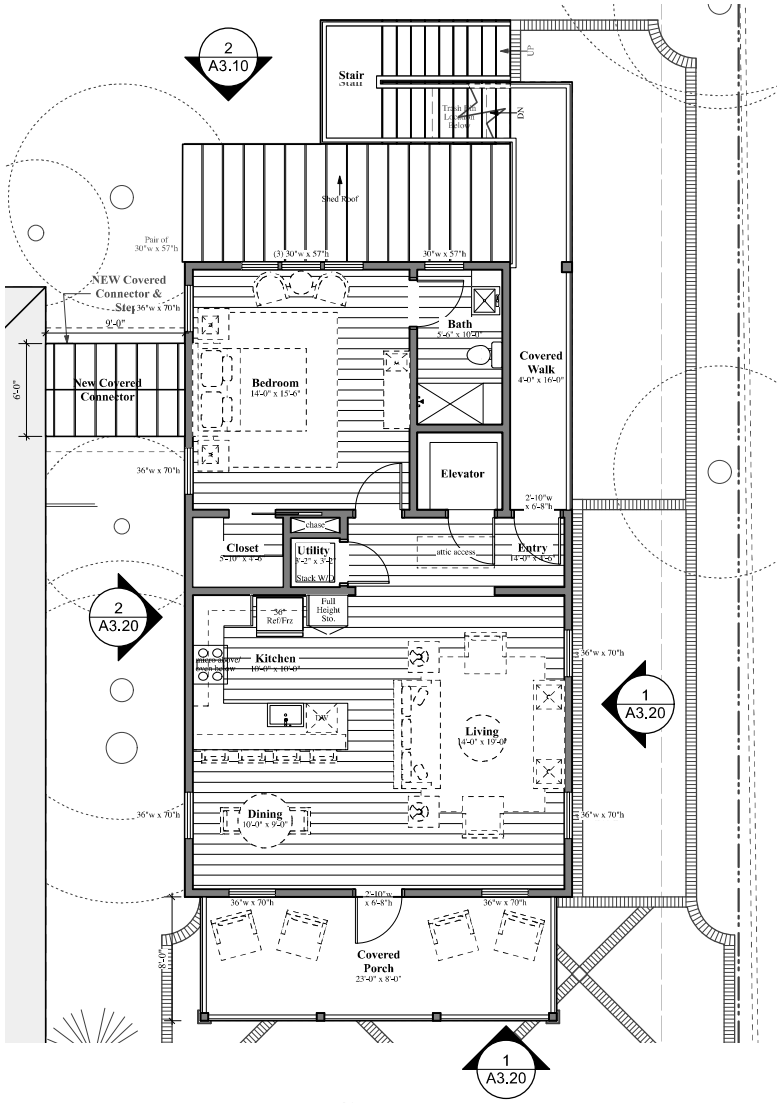

Existing Residence (heated/cooled):	3,734 sf
60% = 2,240 sf	
Proposed ADU Garage & Shop:	1,117 sf
Proposed ADU (heated/cooled):	961 sf
Total ADU:	2,078 sf

1 A1.10 **First Floor Plan**
1/8"=1'-0"

0 4 8 16 32Ft

NORTH

2 A1.10 **Second Floor Plan**
1/8"=1'-0"

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ARCHITECTS

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A1.10

Floor Plans

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1 A3.10 South 'Street' Elevation

1/8"=1'-0"

A - Body Color

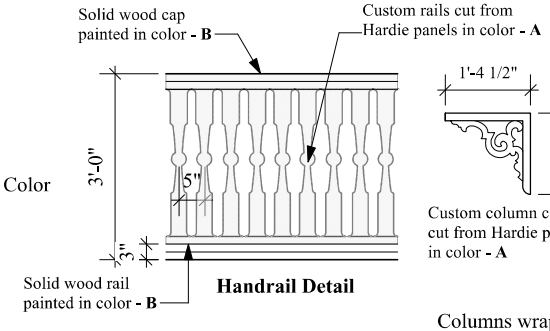
BM Lancaster Whitewash
HC-174

B - Trim Color

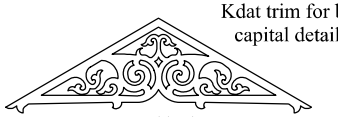
Thunder
BM AF - 685

C - Accent Color

Black Bean 252-C2
SW 6006

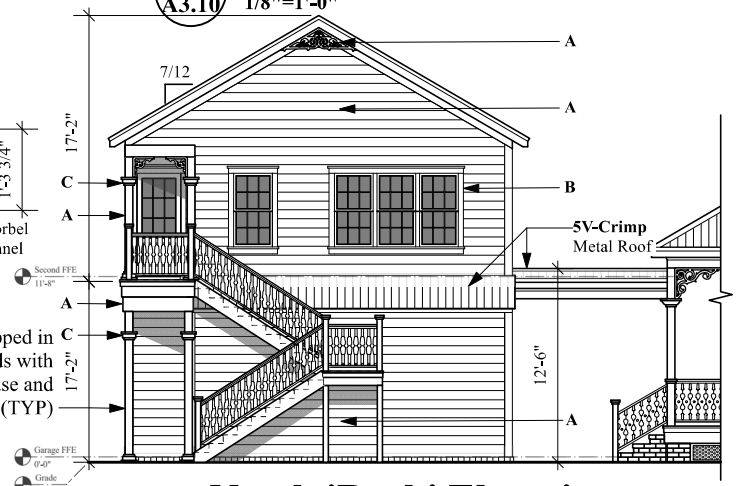


Handrail Detail



Custom gable element cut from Hardie panel in color - A

NOTE: Carrige House Colors to Match Existing residence.



2 A3.10 North 'Back' Elevation

1/8"=1'-0"

0 4 8 16 32Ft

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A3.10

Building Elevations

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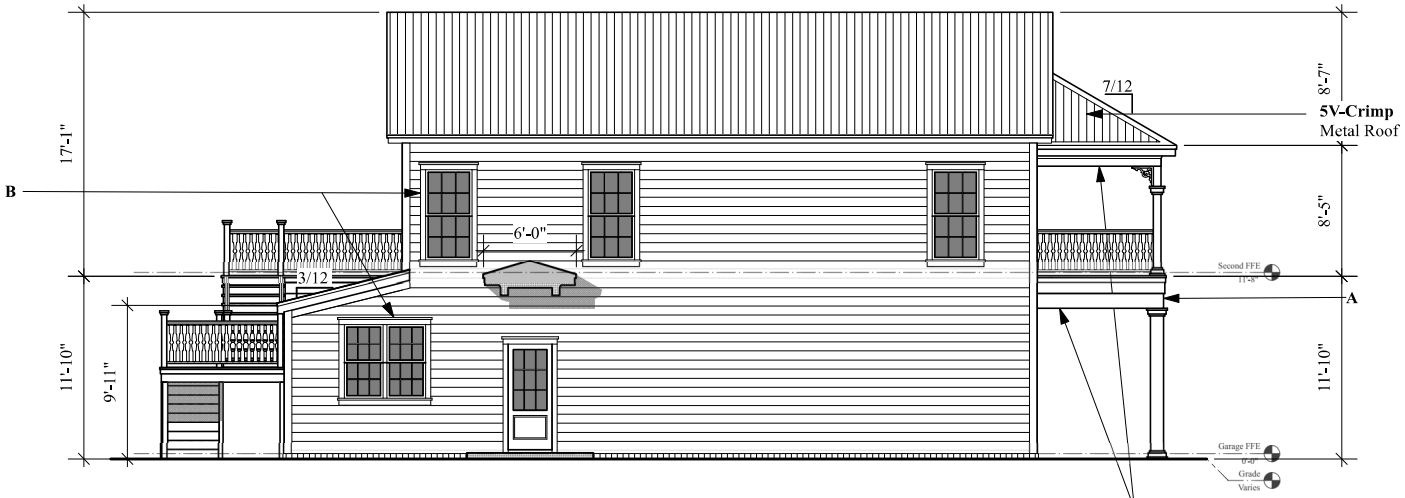
1 A3.20 East Elevation

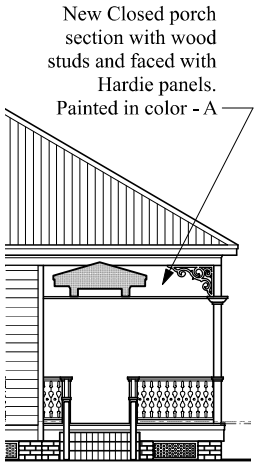
1/8"=1'-0"



2 A3.20 West Elevation

1/8"=1'-0"

0 4 8 16 32Ft



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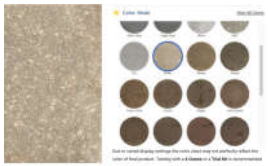
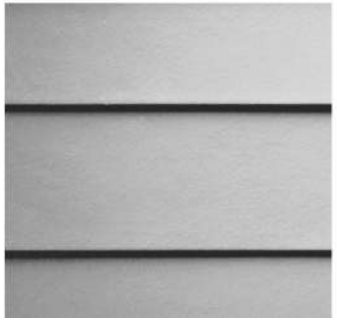
BEVOLO - 27" French Quarter
copper gas lantern with yoke

BEVOLO - 14" French Quarter
copper gas lantern with original bracket



CONCRETE STAIN - Khaki by
Portico



AVAILABLE SIZES

THICKNESS:	0.312"	
LENGTH:	144" boards	
WIDTHS:	6.25"	8.25"
EXPOSURES:	5"	7"
	12"	5.25"
	10.75"	4"
	7.25"	9.25"
	6"	8"

HARDIE - 6.26" Plank (5" exposed)
smooth siding primed for paint

Wayne Dalton GARAGE DOORS

MODEL 6600

CARRIAGE HOUSE STEEL

Square Top

Arlington

DOOR FEATURES

Joint Seals
Vertical tongue-and-groove section joints reduce wind and weather from entering the garage.

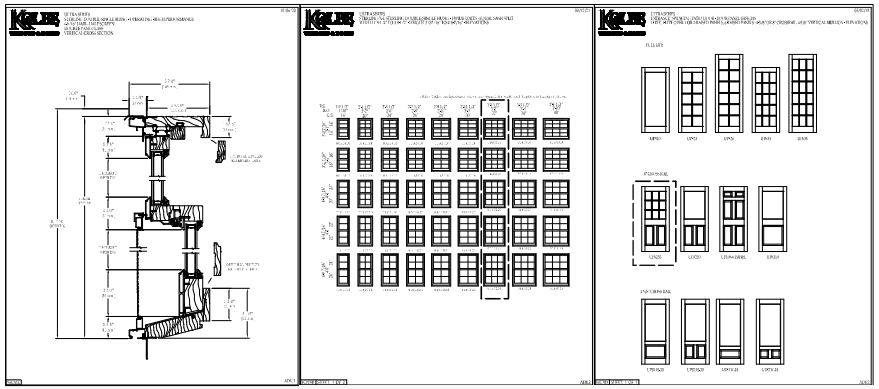
Durable DecoTrim™ II Overlays
Overlays made to boards are specially molded to resist termites, weather and fungal decay.

Foamed-in-place polyurethane insulation
Provides an R-value* of 12.12

- High Cycle Spring Option
  Choose a 25,000 cycle spring for more than twice the life of a standard torsion spring.
- Heavy Duty Hinges
  Attractive 14-gauge heavy duty hinges provide maximum strength between sections, stability and smoother door operation.
- Quiet Rollers
  Ball-bearing rollers with nylon wheels and solid steel shafts provide years of smooth, quiet and dependable service.
- Windsafe® windSAFE
  Available with optional hardware and reinforcement for high-wind regions. Please consult your dealer for details.
- Limited Lifetime Warranty
  See full text of warranty for details.

*Wayne Dalton uses a calculated door section R-value for a non-insulated door.

GARAGE DOOR - specs
similar for single door as designed



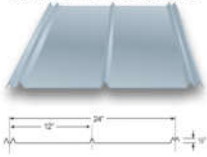
Bronze

5/8" Beveled Profile PDL Bars

Extruded Aluminum Cladding

KOLBE - ULTRA SERIES. Double hung impact windows and single french doors.
6 over 6 lites with 5/8" beveled muntins. Aluminum Clad in Bronze

5V CRIMP METAL PANEL



FEATURES

STANDARD COLORS:

WALCOTT
ADAMS
VERNEUILLE
ARCHITECTS

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Material Specs

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00811 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

150 S. Baylen Street
Palafox Historic Business District / Zone C-2A
Conceptual Review of a New Townhome Development

BACKGROUND:

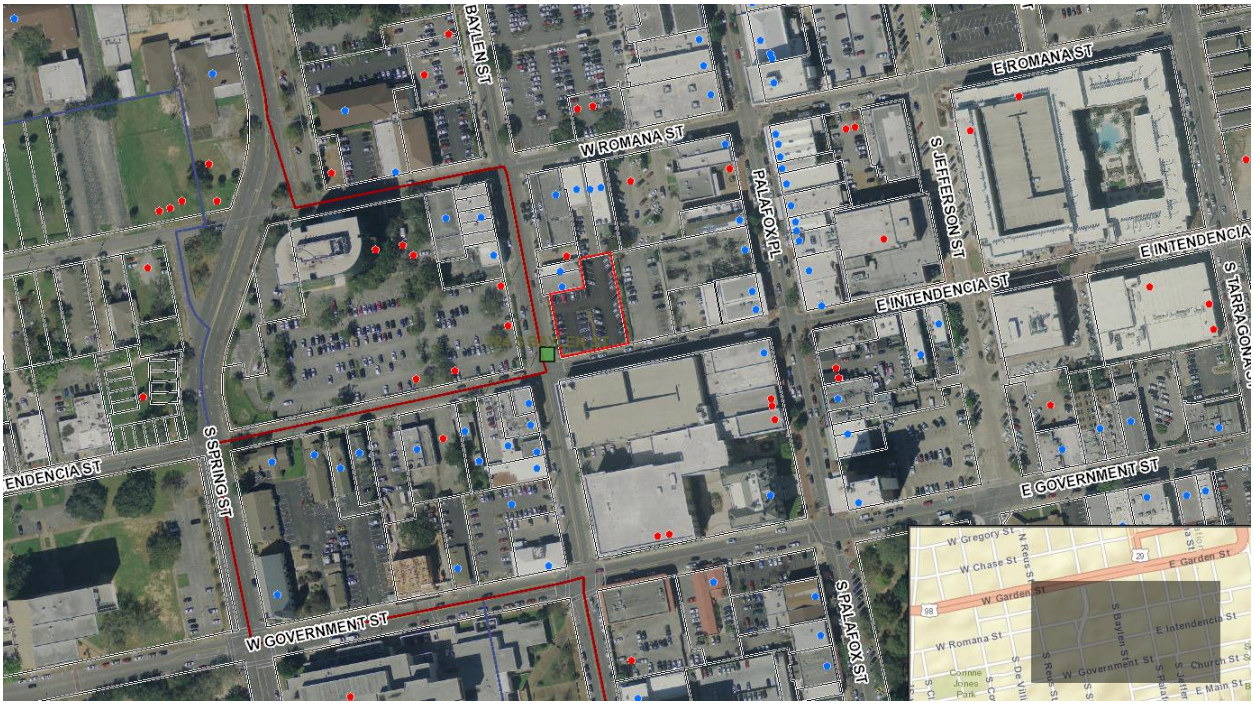
Michelle Burch, Caldwell Associates Architects, is seeking *conceptual review*, of a new townhouse development located on an existing parking lot. This project received conceptual approval with consideration of the board's comments in February 2021.

The proposed development will have eleven (11) single family attached dwelling units consisting of three (3) different three-story unit types. Changes have been made to the exterior design which now shows a brick façade with horizontal siding infill. Additional materials and accents have been incorporated and the February 2021 elevations have been included for comparison.

Please find attached all relevant documentation for your review.

<u>RECOMMENDED CODE SECTIONS</u>
Sec. 12-3-27 *Palafox Historic Business District*
Sec. 12-3-27(f)(2)b & c *PHBD, In the case of a proposed new building*

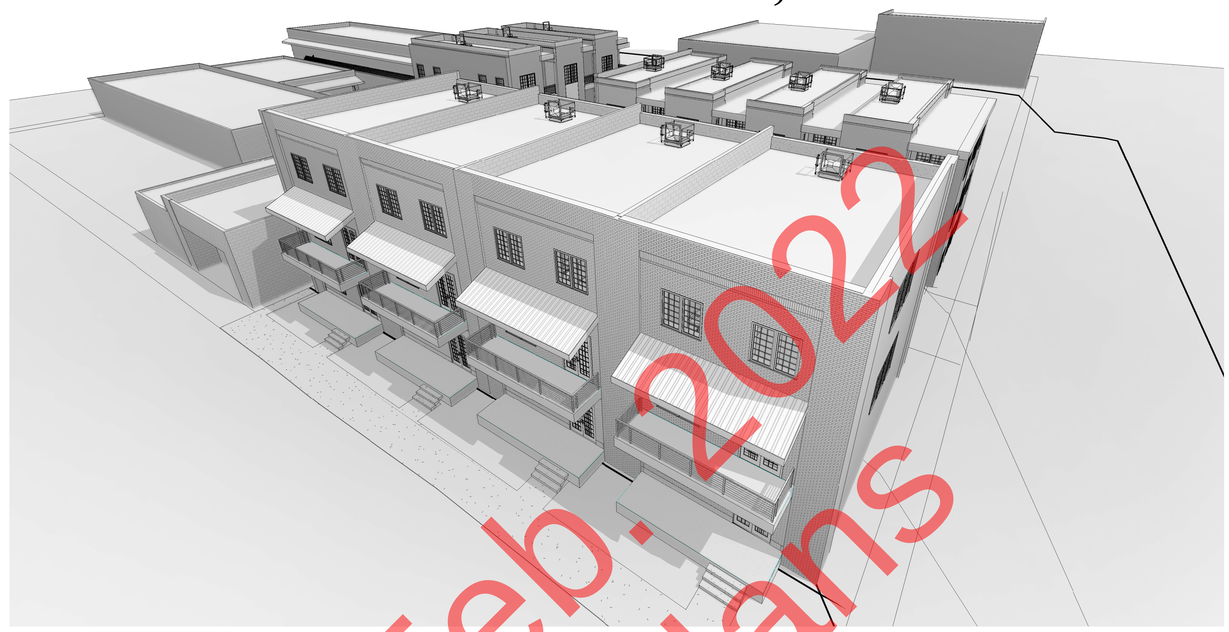
150 S. Baylen Street



RED FEATHER TOWNHOUSES

BAYLEN ST. & INTENDENCIA ST.

PENSACOLA, FL.



Feb. 2022
Plans

SCOPE OF WORK

THIS DEVELOPMENT WILL CREATE 9-THREE STORY, SINGLE FAMILY TOWNHOUSES ON A PREVIOUSLY UNDERUTILIZED .42-ACRE PARKING LOT, LOCATED ON THE CORNER OF BAYLEN STREET & INTENDENCIA STREET. THIS INFILL STYLE DEVELOPMENT HELPS RESTORE THE URBAN FABRIC, ENHANCES THE STREETSCAPE, CREATES ADDITIONAL NEIGHBORHOOD SECURITY, AND ADDS LIVING OPTIONS AND DENSITY TO OUR POPULAR DOWNTOWN CORE. AT JUST ONE BLOCK OFF PALAFOX, IT IS WALKING DISTANCE TO ALL OF PENSACOLA'S DOWNTOWN AMENITIES WHILE NOT BEING AT THE CENTER OF THE ACTIVITY. PROPERTY OWNERS WILL UTILIZE A SHARED PRIVATE ACCESS DRIVE FROM INTENDENCIA STREET FOR REAR ACCESS TO THEIR GARAGE WHICH WILL ENABLE THE PUBLIC STREETS AND SIDEWALKS TO MAINTAIN, AND EVEN ENHANCE, THEIR CURRENT FUNCTION AND PEDESTRIAN TRAFFIC PATTERNS. TWO DIFFERENT UNIT TYPES ARE OFFERED RANGING FROM A 1,926 SF 4 BD/3.5 BA TO A 2,417 SF 3 BD/3.5 BA AND EACH UNIT HAS ITS OWN TWO-CAR GARAGE.

APPLICABLE CODES

THE FOLLOWING CODES AND REVISIONS ARE APPLICABLE TO THIS PROJECT:

FLORIDA BUILDING CODE, RESIDENTIAL; 2020 (RESIDENTIAL)
FLORIDA BUILDING CODE, 2020
FLORIDA PLUMBING CODE, 2020
FLORIDA ENERGY CODE, 2020
FLORIDA MECHANICAL CODE, 2020
FLORIDA FIRE PREVENTATION CODE, 2020

PROJECT TEAM

ARCHITECT
CALDWELL ASSOCIATES ARCHITECTS, INC
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116 NORTH TARRAGONA STREET
PENSACOLA, FLORIDA 32501
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CIVIL ENGINEER
REBOL-BATTLE & ASSOCIATES
JASON REBOL
2301 N 9TH AVE
PENSACOLA, FLORIDA 32503
PHONE: 850-438-0400

POOL CONSULTANT
TBD

STRUCTURAL ENGINEER
LBYD ENGINEERING INC
ADAM CARROLL, P.E.
1100 SOUTH COLLEGE ST,
SUITE 201
AUBURN, ALABAMA 36832
PHONE: 417-830-0671

MEP/FP ENGINEER
W3 ENGINEERING
JAY WELLS, PE
ANTHONY DAVIS, PE
213 S BAYLEN STREET
PENSACOLA, FLORIDA 32502
(850) 629.8270 phone

LANDSCAPE ARCHITECT
TBD

CONTRACTOR
BEAR GENERAL CONTRACTORS, LLC
CHRIS JAUBERT/JOSH SITTON
1216 N PALAFOX STREET, SUITE A
PENSACOLA, FLORIDA 32501
(850) 435.4411 phone

MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

OWNER
STUDER PROPERTIES, LLP
ANDREW ROTHFEDER
321 N DEVILLIERS STREET
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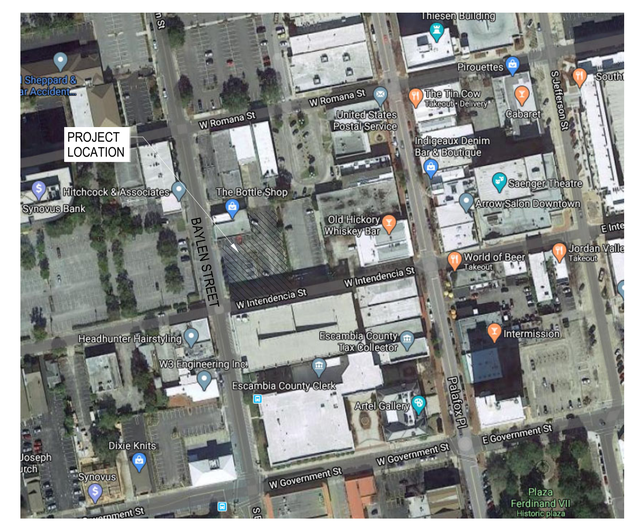
(850) 696.2414 phone

GEOTECHNICAL ENGINEER
LMJ GEOTECHNICAL ENGINEERS
KEITH JACOBS, PE.
328 E. GADSDEN ST.
PENSACOLA, FL 32501
PHONE:850-434-0846

PROJECT INFOMATION



PARCEL ID NUMBER: 00-0S-00-9001-001-178
ESCAMBIA COUNTY, FLORIDA

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(850) 432 9500 | CALDWELL-ASSOC.COM
License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:
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FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G001

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 8:23:03 AM

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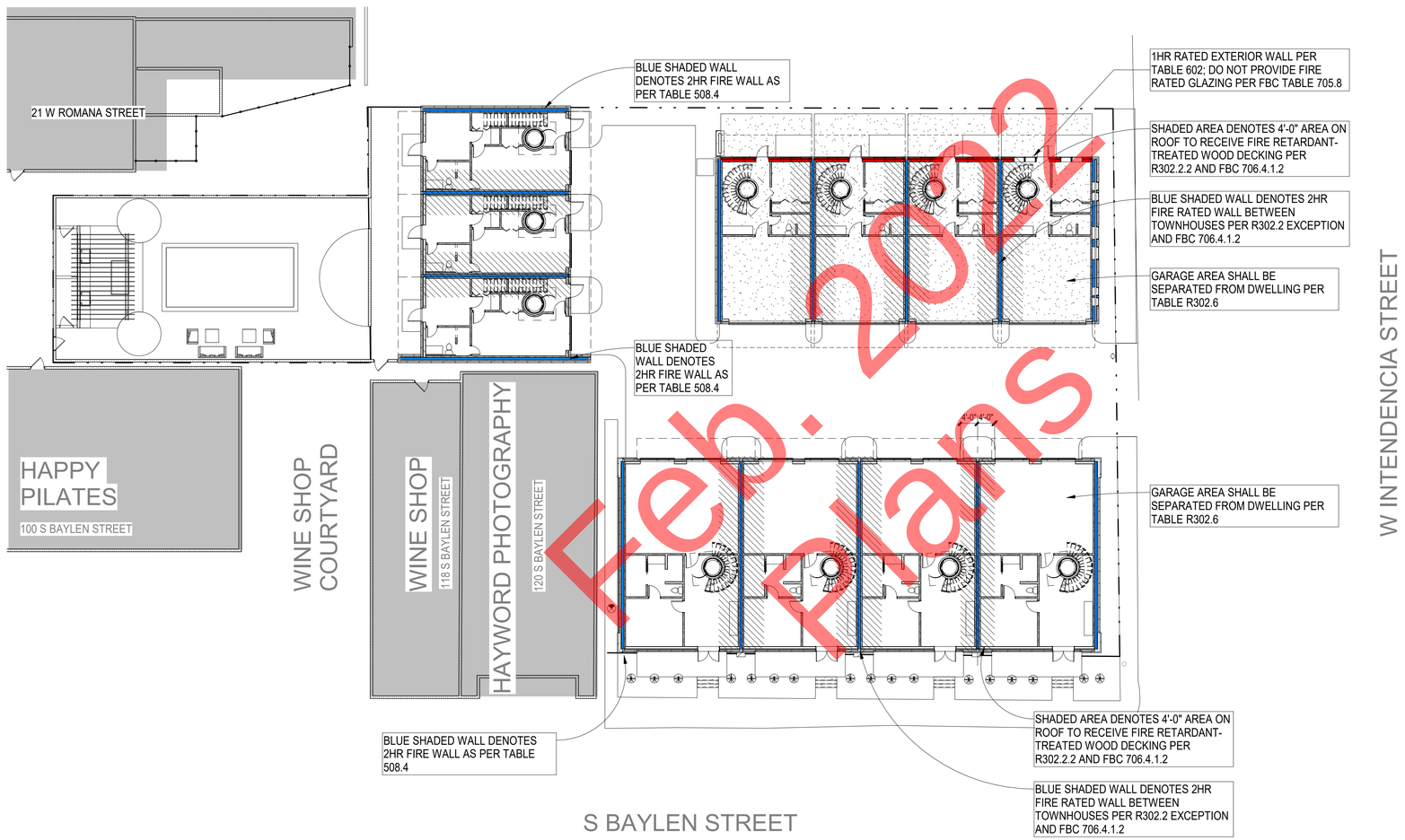

Feb. 2022 Plans

GENERAL NOTES

1. THIS SHEET UTILIZES COLOR GRAPHICS AND IS INTENDED TO BE PRINTED IN COLOR
2. SEE SHEET G003 FOR CODE ANALYSIS
3. SEE ENGENEERING DRAWINGS FOR OTHER FIRE PROTECTION FEATURES

TRUE NORTH | PROJECT NORTH

1 | G101 LIFE SAFETY PLAN

1/16" = 1'-0"

8' 4' 0' 8' 16'

PRINT DATE: 2/17/2021 8:23:30 AM

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LEGEND

2 HR RATED CONSTRUCTION

1 HR RATED CONSTRUCTION

CODE ANALYSIS

OCCUPANCY CLASSIFICATION

FBC 2020: GROUP R3 (SINGLE FAMILY TOWNHOUSE)

CONSTRUCTION TYPE

FBC 2020: TYPE VB (5B), FULLY SPRINKLERED

BUILDING AREA AND HEIGHT

UNIT A AREA:	3,000 SQFT
UNIT B AREA:	2,500 SQFT
UNIT C AREA:	2,000 SQFT
ALLOWABLE AREA:	UL
ALLOWABLE HEIGHT:	3 STORIES

FIRE RESISTANCE

TYPE VB CONSTRUCTION:

PRIMARY STRUCTURAL FRAME:	0 hr
BEARING WALLS:	
EXTERIOR BEARING:	1 hr (SEE BELOW)
INTERIOR BEARING:	0 hr
NONBEARING WALLS:	
EXTERIOR BEARING:	0 hr (SEE BELOW)
INTERIOR BEARING	0 hr
FLOOR CONSTRUCTION:	0 hr
ROOF CONSTRUCTION:	0 hr

EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE

X < 5' SEPARATION	1 hr
5' < 10' SEPARATION	1 hr
10' < 30' SEPARATION	0 hr
X > 30' SEPARATION	0 hr

ADDITIONAL REQUIREMENTS

R302.2 EXCEPTION
FIRE SEPARATION BETWEEN TOWNHOUSES 2HR

706.4.1.2
FIRE SEPARATION BETWEEN TOWNHOUSES 2HR

R302.2.4 STRUCTURAL INDEPENDENCE
EACH INDIVIDUAL TOWNHOUSES SHALL BE STRUCTURAL INDEPENDENT.

903.2.11.3.1 - NFPA 101 REQUIREMENT FOR FULLY SPRINKLERED 3-STORY, 3-UNITS TOGETHER AS PER FLORIDA STATUTE 553.895(2).

R302.6 DWELLING-GARAGE FIRE SEPARATION
THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6 - PROVIDE 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT

R393.1 HABITABLE ROOMS - HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOM.

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED. EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.

R310.2.1 MINIMUM OPENING AREA - SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. NET CLEAR HEIGHT NOT LESS THAN 23 INCHES AND CLEAR WIDTH OF NOT LESS THAN 20 INCHES.

R310.2.2 WINDOW SILL HEIGHT - SILL HEIGHT OF NOT LESS THAN 44 INCHES ABOVE FLOOR

R311.6 HALLWAYS - SHALL NOT BE LESS THAN 3 FEET

R311.7.1 STAIRWAY WIDTHS - NOT LESS THAN 3 FEET
R311.7.2 HEADROOM - NOT LESS THAN 6 FEET 8 INCHES

R314.1 SMOKE ALARM - SHALL COMPLY WITH NFPA 72 AND SECTION R314
R314.3 LOCATIONS - 1. AT EACH SLEEPING ROOM, 2. OUTSIDE EACH SEPARATE SLEEPING AREA, 3. AT EACH FLOOR, 4. INSTALLED NOT LESS THAN 3FT HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM.

R321.1 ELEVATORS - SHALL COMPLY WITH ASME A17.1/CSA B44

R807.1 ATTIC ACCESS - PROVIDE 22 X 30 INCH OPENING

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(850) 432 9500 | CALDWELL-ASSOC.COM
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ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
LIFE SAFETY PLAN

SHEET NUMBER:
G101

DESIGN DEVELOPMENT

BAYLEN STREET TOWNHOUSES
UNIT TYPE A

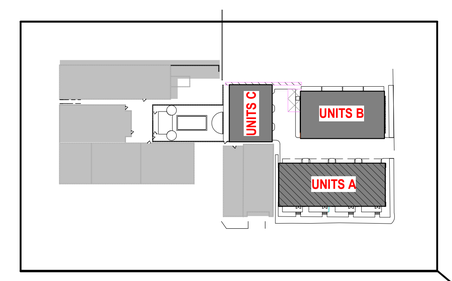
4 BEDROOM / 3 1/2 BATH

2,377 SF - CONDITIONED SPACE

230 SF - BALCONIES

562 SF - 2 CAR GARAGE

3,169 SF TOTAL



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116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM
License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A COVER SHEET

SHEET NUMBER:
GA001

DESIGN DEVELOPMENT

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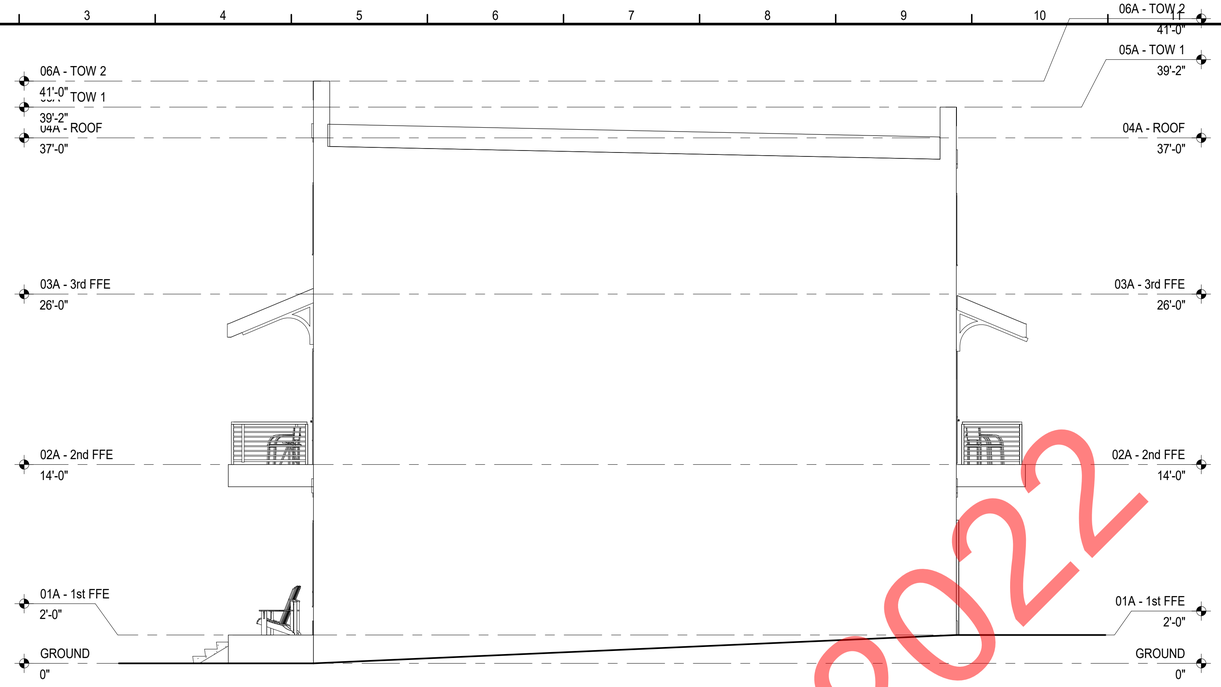
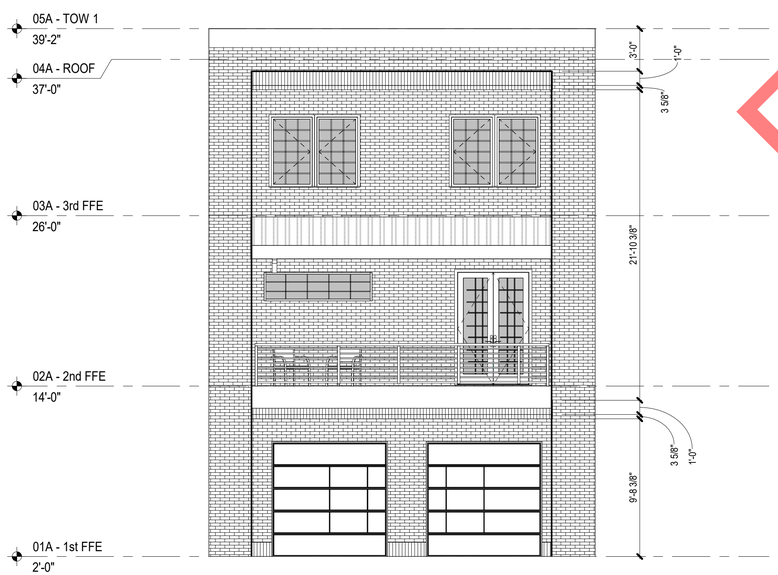


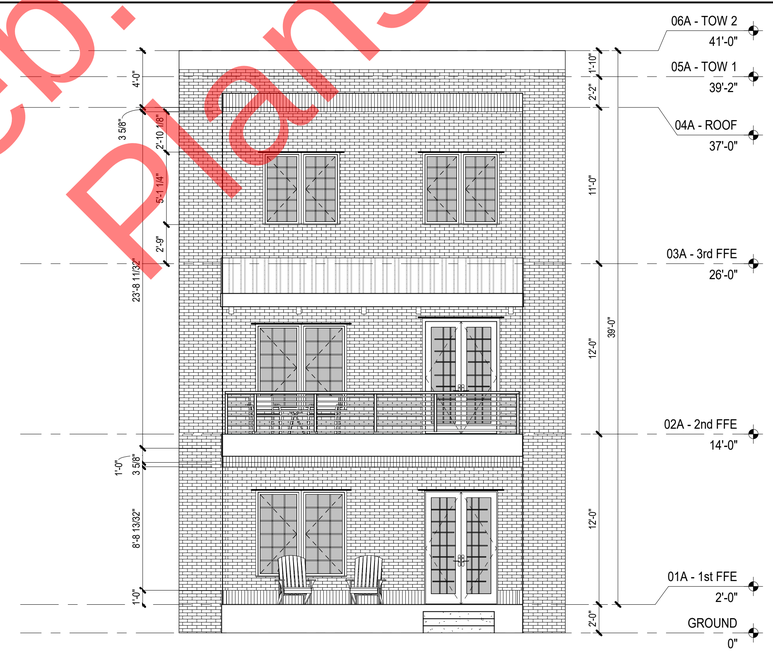
3 EXTERIOR ELEVATION - SIDES

AA201 3/16" = 1'-0"



2 EXTERIOR ELEVATION - REAR

AA101 AA201 3/16" = 1'-0"



1 EXTERIOR ELEVATION - FRONT BAYLEN STREET

AA102 AA201 3/16" = 1'-0"

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Feb. 2022 Plans

KEYNOTES

GENERAL NOTES

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PROJECT ISSUES:

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DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

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CALDWELL ASSOC. ARCHITECTS
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
AA201

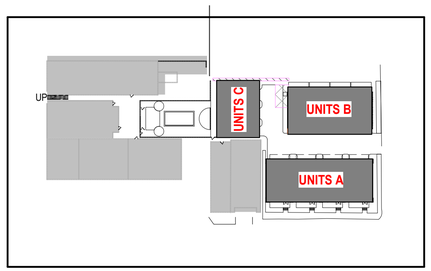
DESIGN DEVELOPMENT

BAYLEN STREET TOWNHOUSES
UNIT TYPE B

Feb. 2022 Plans

4 BEDROOM / 3 1/2 BATH

2,152 SF - CONDITIONED SPACE
177 SF - BALCONIES
377 SF - 2 CAR GARAGE
2,706 SF TOTAL



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DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

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FIRE PROTECTION
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B COVER SHEET

SHEET NUMBER:
GB001

DESIGN DEVELOPMENT

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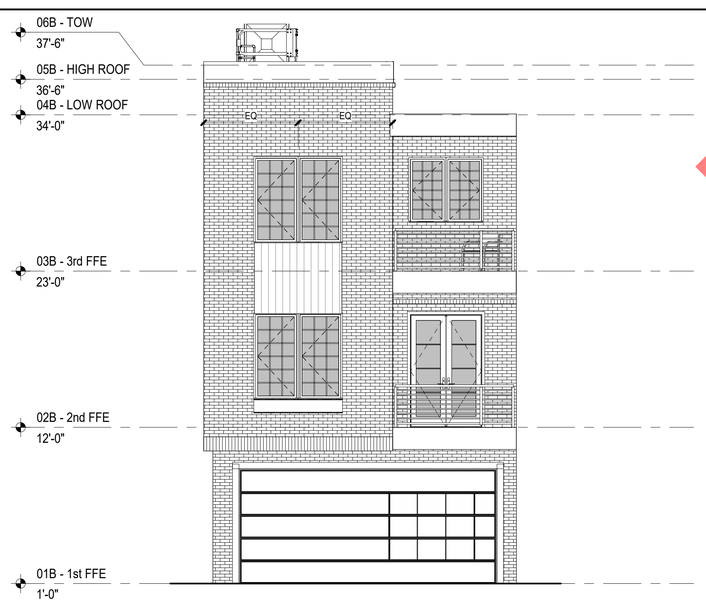

2 | AB101 | AB201

EXTERIOR ELEVATION - REAR

3/16" = 1'-0"

1 | AB102 | AB201

EXTERIOR ELEVATION - FRONT

3/16" = 1'-0"

KEYNOTES

GENERAL NOTES

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
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DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

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CALDWELL ASSOC. ARCHITECTS
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
AB201

DESIGN DEVELOPMENT

Feb. 2022 Plans

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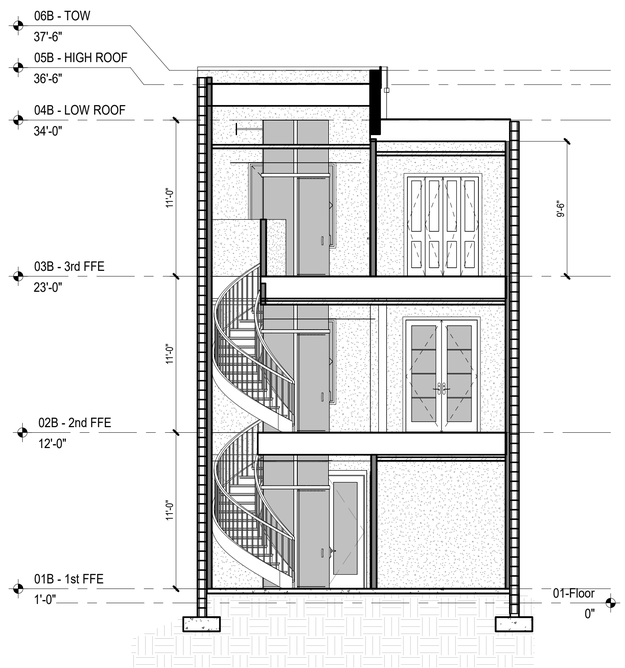
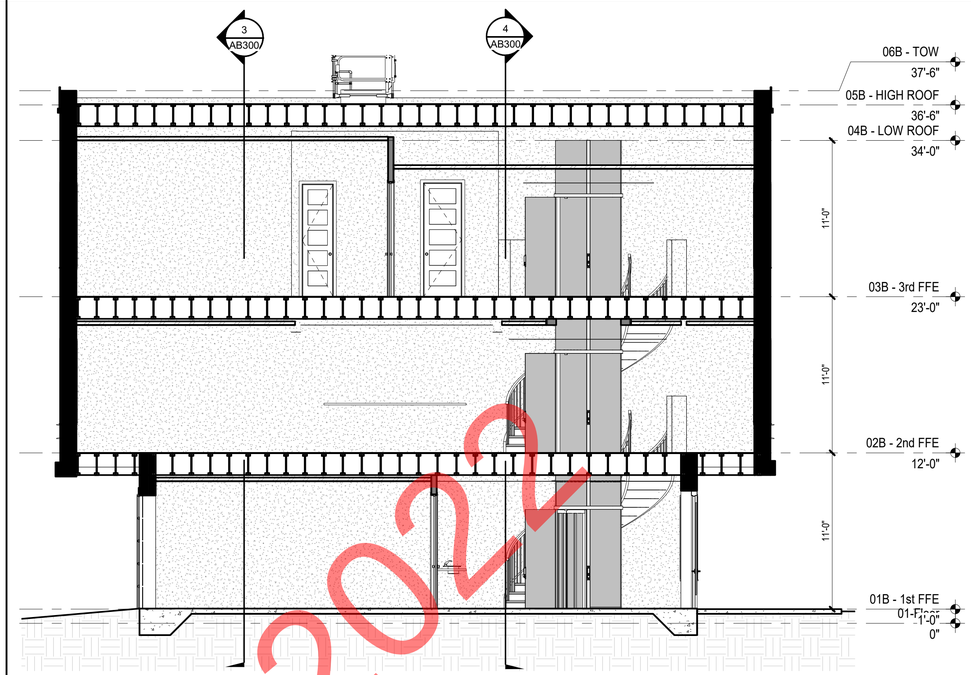


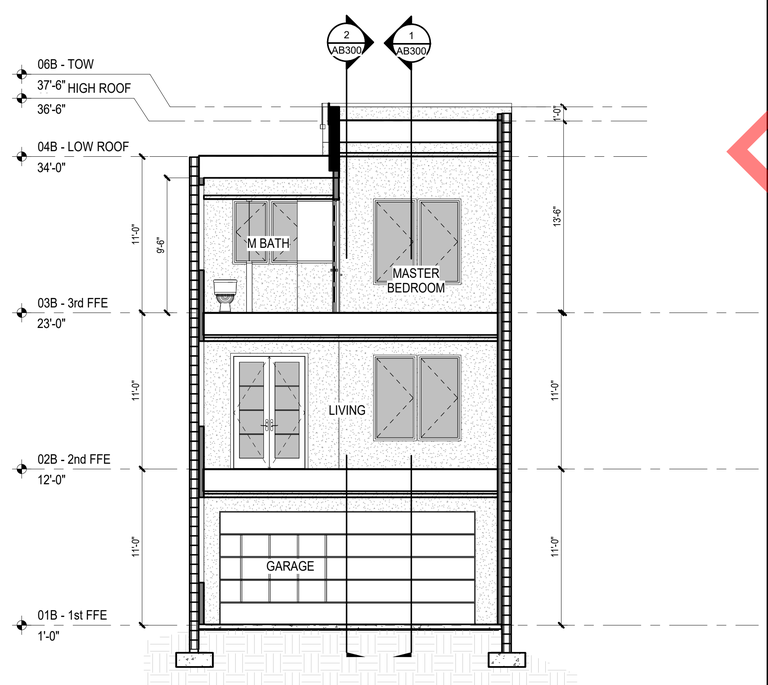
4 UNIT B - SECTION D

AB101 | AB300 — 3/16" = 1'-0"



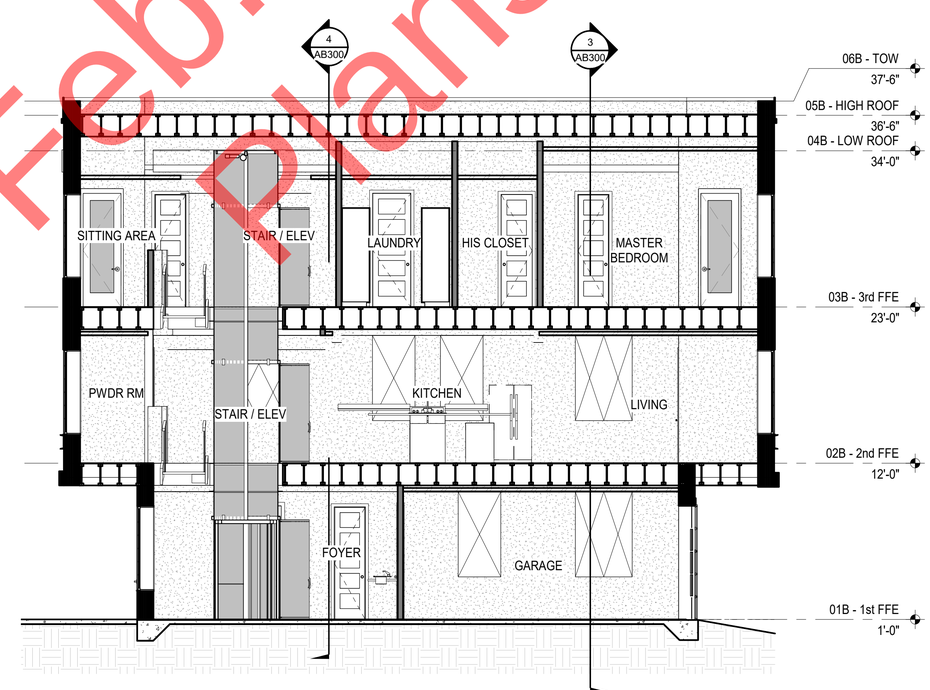
2 UNIT B - SECTION B

AB101 | AB300 — 3/16" = 1'-0"



3 UNIT B - SECTION C

AB101 | AB300 — 3/16" = 1'-0"



1 UNIT B - SECTION A

AB101 | AB300 — 3/16" = 1'-0"

Feb. 2022 Plans

KEYNOTES

GENERAL NOTES

1. REFER TO ALL OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL INFORMATION.

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PROJECT ISSUES:

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DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

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ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - BUILDING SECTIONS

SHEET NUMBER:
AB300

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 9:51:06 AM

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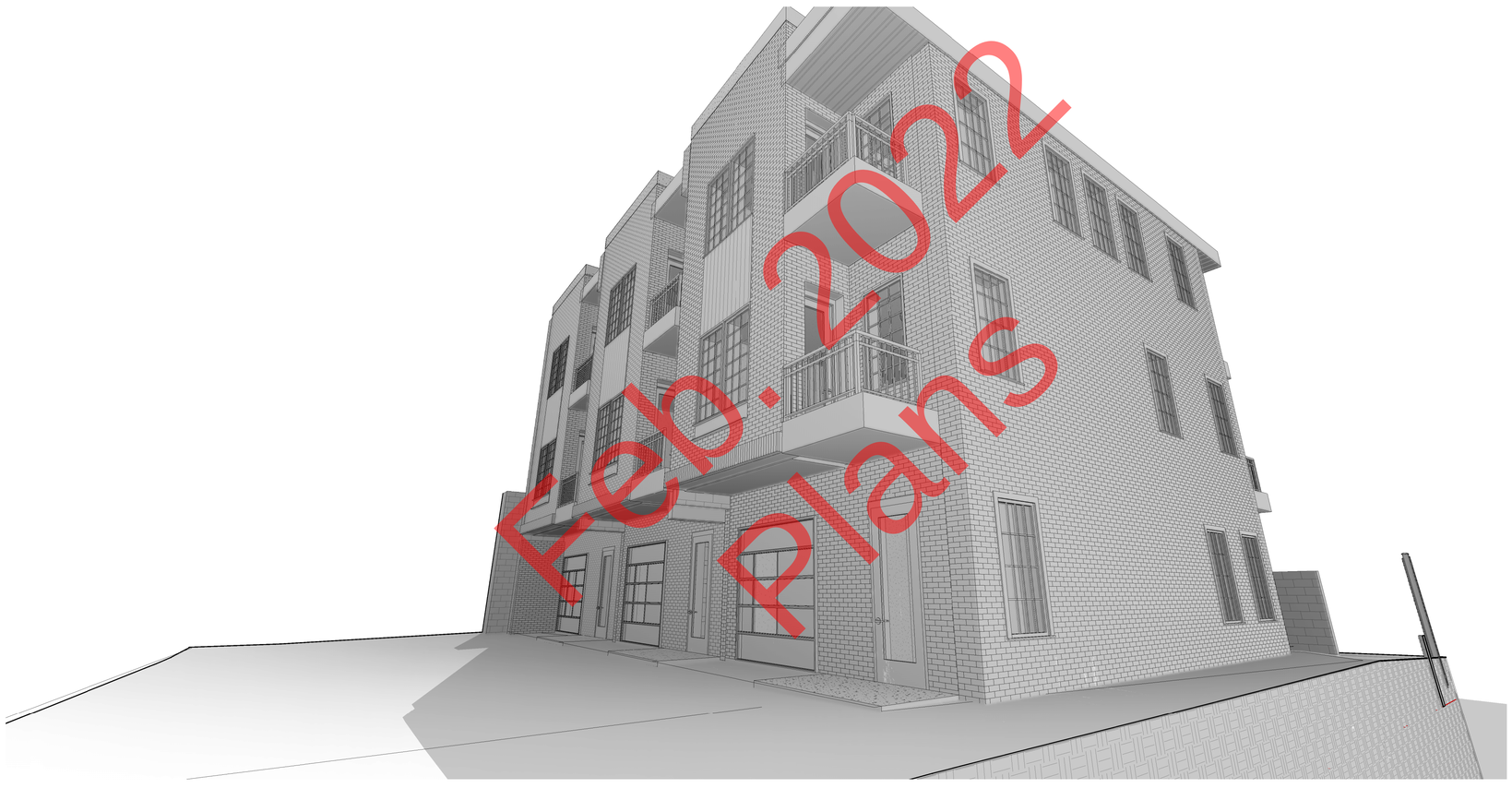
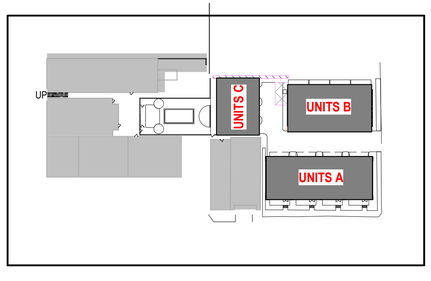
BAYLEN STREET TOWNHOUSES
UNIT TYPE C



3 BEDROOM / 3 1/2 BATH

1,793 SF - CONDITIONED SPACE
105 SF - BALCONIES
236 SF - 1 CAR GARAGE
2,134 SF TOTAL



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License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

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PROJECT TEAM:

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ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C COVER SHEET

SHEET NUMBER:
GC001

DESIGN DEVELOPMENT

PRINT DATE: 2/17/2021 8:25:44 AM

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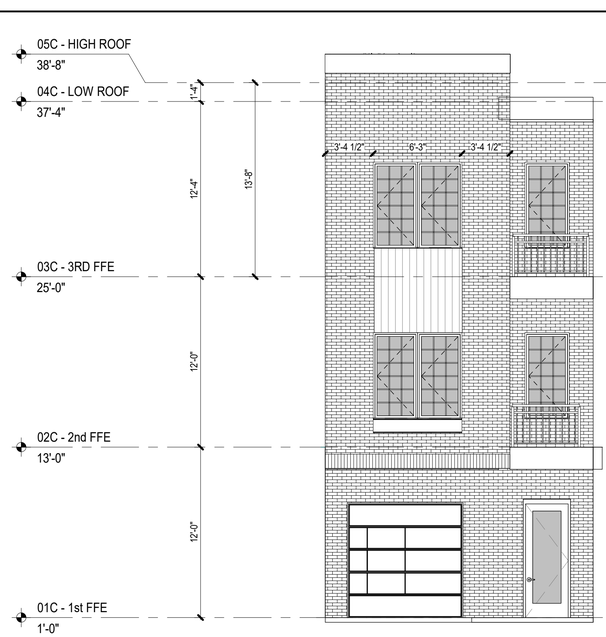
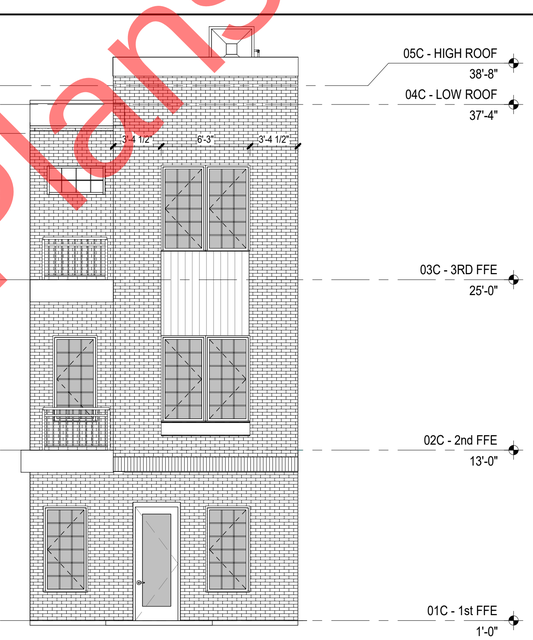


3	EXTERIOR ELEVATION - FRONT
AC203	3/16" = 1'-0"



1	EXTERIOR ELEVATION - REAR
AC203	3/16" = 1'-0"

8' 4' 0' 8' 16'

Feb. 2022 Plans

KEYNOTES

GENERAL NOTES

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
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3. SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
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DESIGN DEVELOPMENT	02.17.2021

PROJECT TEAM:

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ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
TBD
ACOUSTICAL CONSULTANT
TBD
POOL CONSULTANT
TBD

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - EXTERIOR ELEVATIONS - TYPICAL UNIT

SHEET NUMBER:
AC203

DESIGN DEVELOPMENT

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Mr. Perez presented to the Board. Staff explained the requirements for this district were different with the main concern in the GCD being that the structures were coordinated with the architectural structures in this district. Chairperson Salter pointed out the project seemed to be in line with the architectural character of the existing building. **Board Member Ramos made a motion to approve as submitted, seconded by Board Member Fogarty, and with no speakers, it carried unanimously.**

Item 8
New Construction 150 S. Baylen Street PHBD
Action taken: Conceptual Approval. C-2A-2

Michelle Burch, Caldwell Associates Architects, is seeking *conceptual review*, of a new townhouse development located on an existing parking lot. The proposed development will have eleven (11) single-family attached dwelling units consisting of three (3) different three-story unit types. Staff advised this project was for conceptual review and would be coming before the Planning Board at their next meeting for division of the land and would return to this Board for final approval.

Mr. Rothfeder presented to the Board and explained this property was within the CRA, with the goals for infill housing. The development group purchased the property. Mr. Crawford confirmed they wanted to develop the property as an infill. The units would range between 2,000 to 3,000 sq. ft. for single-family attached residences. All of the residences would be accessed from an internal drive. They wanted to develop a masonry style appropriate for that location, with A/C units screened and internal hatches for access. He indicated they were applying for an LTU for the balconies and front porches. Chairperson Salter appreciated the effort to maintain the street front. He pointed out Building A was quite different from the other buildings, and Mr. Crawford advised one of the factors was to respect the existing buildings downtown and the combination of trying to create some additional space for B and C with balconies which created a more modern language; the intent was to tie them together but have that differentiation. Chairperson Salter agreed it was a great opportunity going forward. He explained that the massing of the Type A, 3-story rectangular building had the warehouse feeling; brick detailing and bringing in some additional materials and geometry that defined the architecture of Types B and C, and possibly bringing in trims and accents on the windows, would make the mass more ornamental. Board Member Mead indicated there was a lot going on at Baylen Street, and it would be the more significant face, but as you come around the corner, there is a double entablature treatment behind on each face of the units defining each of them as a unit; it would be nice to carry that entablature feature around the corner. It would also be nice to have some of that type of treatment on the Intendencia side as well. Mr. Crawford asked if some of the character of B and C should be brought to the Baylen side of A, and Board Member Mead agreed. Board Member Yee appreciated the internal drive to limit curb cuts and to maintain the sidewalk for pedestrians. In looking at the corner of Unit A, he wondered if they would consider some fenestration at the ground level which would hold the corner a little better. Ms. Burch indicated they could consider that. Mr. Crawford stated they needed to see a conglomerate perspective of Intendencia that shows the full massing treatment. Board Member Yee asked for a description of the access to the north side of Unit B, and Ms. Burch explained adjacent to their site was a parking lot for BLAB, and there would be some sort of sidewalk, landscaping, and a fence along the property line as well.

Board Member Mead asked about the amenity treatment, and Ms. Burch indicated they were looking at a more upscale decorative looking fence and wanted a more pleasing view for the owners, but this was still in the development stage. Board Member Ramos advised conceptually this was a very exciting project, and it was great to see a parking lot develop into an asset for

the city. To be a successful design, involved how it connected from the sidewalk to the building; he was interested in seeing how the exterior wall transitioned to the sidewalk. He also stated on the Baylen side, landscaping should be included to soften the austere entrances. Board Member Villegas explained as we continue to infill the streets downtown, Intendencia was just as important visually and wanted to make sure that it be its own positive addition to the project and not just a side street. Mr. Crawford indicated they would be treating all sides with the same level of attention. Ms. Burch indicated Unit C on the ground level would be for guests, an Air BNB or workout room.

Charles Liberis, representing 21 W. Romana LLC, wanted to place his objection and to convey to the Board why he was objecting. He explained 21 W. Romana had been in this family for some 82 years, and as long as he could remember, access to the rear of the property had been by crossing through the property at the Intendencia Street entrance, going back to the back of his building. All of the fire exits come out and empty into the easement there into the driveway. There is limited employee parking there, and the dumpster pickup has also been there as long as he could remember. Building these townhouses in the configuration presented would completely prevent access to the rear for all property owners that join north of the property and along the west of the property. Rear access for his tenants was mandatory for deliveries, and there was also a fenced in brewery that is not visible; the most important element was the access for emergency vehicles.

Mr. Benjamin Alexander, representing Big Top Brewery, stated his client operated the bottom floor of 21 W. Romana Street, and this business was required to maintain dumpsters, with deliveries of alcohol going into the rear of the property. The project as currently planned would prevent this business from using that portion of the property and negate their ability to maintain facilities for trash and refuse and prevent a method of ingress and egress for emergency purposes as well; the current plan would prevent the operation of their business and require them to close their shop. The Big Top Brewery would be negatively affected by the project as planned.

Chairperson Salter advised it was his opinion that the purpose of the ARB was to review the architectural aesthetics regarding preservation, new construction within the district and how it relates visually. Historic Preservation Planner Harding explained it was appropriate for someone to voice concerns, but this Board was a design/review Board and prohibited from making decisions which affect the land use of these properties; opportunities for review would be through the Planning Board's next meeting. Board Member Mead explained there were some things within the ARB purview regarding access and egress off the property. Some functions that may have been accomplished architecturally may have to shift and become operational. Some things that were regulatory were not within the Board's purview. This plan currently meets all of the architectural issues the Board identified, but that would be the limit of what the Board could or should do. Since this was a conceptual review, Board Member Ramos stated there were still opportunities for other parties to address their concerns.

Staff advised there had been predevelopment reviews with the architects involved on the project, and those issues would continue to be discussed as the project developed. Minutes from this meeting as well as material supplied from Mr. Liberis would be provided to the Planning Board for consideration. With no other speakers, **Board Member Mead made a motion to approve conceptually in light of the Board's comments. The motion was seconded by Board Member Fogarty and carried unanimously.**

City of Pensacola
America's First Settlement And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: 07.25.2022

Project Address: **150 S Baylen Street, Pensacola Florida 32502**

Applicant: Caldwell Associates Architects

Applicant's Address: 116 N Tarragona Street, Pensacola Florida 32502

Email: *michelle@caldwell-assoc.com* Phone: 850.439.6578

Property Owner: Red Feather LLC
(If different from Applicant)

District: ☐ ***PHD*** ☐ ***NHPD*** ☐ ***OEHPD*** ☑ ***PHBD*** ☐ ***GCD***

Application is hereby made for the project as described herein:

☐ Residential Homestead – $50.00 hearing fee

☑ Commercial/Other Residential – $250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

We are requesting a conceptual review for this project.
This development will create 11-three-story, single-family townhouses on a previously underutilized .42-acre parking lot, located on the corner of Baylen Street & Intendencia Street. This infill style development helps restore the urban fabric, enhances the streetscape, creates additional neighborhood security, and adds living options and density to our popular downtown core.
At just one block off Palafox, it is walking distance to all of Pensacola's downtown amenities while not being at the center of the activity.
Property owners will utilize a shared private access drive from Intendencia Street for rear access to their garage which will enable the public streets and sidewalks to maintain, and even enhance, their current function and pedestrian traffic patterns.

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Applicant Signature

7/25/22
Date

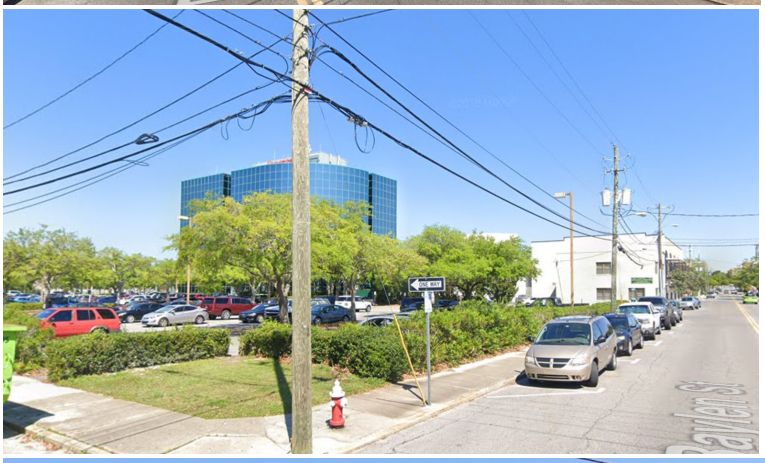
Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

CALDWELL
ASSOCIATES | ARCHITECTS

1/28/2021

150 S. Baylen Street Existing Conditions:

Surrounding Buildings:

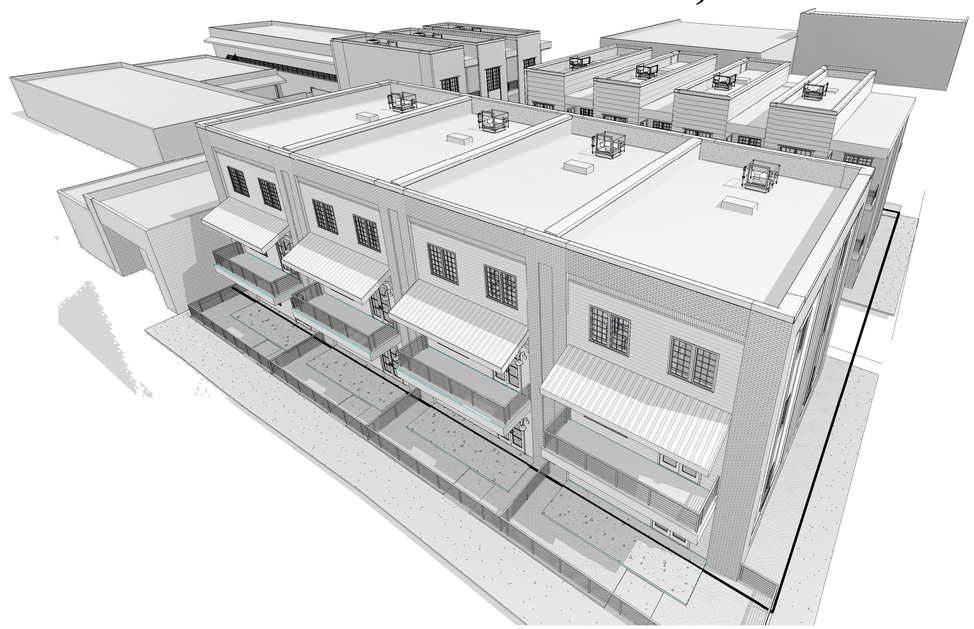


S Baylen St

RED FEATHER TOWNHOUSES

BAYLEN ST. & INTENDENCIA ST.

PENSACOLA, FL.



SCOPE OF WORK

THIS DEVELOPMENT WILL CREATE 11-THREE STORY, SINGLE FAMILY TOWNHOUSES ON A PREVIOUSLY UNDERUTILIZED .42-ACRE PARKING LOT, LOCATED ON THE CORNER OF BAYLEN STREET & INTENDENCIA STREET.
THIS INFILL STYLE DEVELOPMENT HELPS RESTORE THE URBAN FABRIC, ENHANCES THE STREETSCAPE, CREATES ADDITIONAL NEIGHBORHOOD SECURITY, AND ADDS LIVING OPTIONS AND DENSITY TO OUR POPULAR DOWNTOWN CORE.
AT JUST ONE BLOCK OFF PALAFOX, IT IS WALKING DISTANCE TO ALL OF PENSACOLA'S DOWNTOWN AMENITIES WHILE NOT BEING AT THE CENTER OF THE ACTIVITY.
THREE DIFFERENT UNIT TYPES ARE OFFERED WITH PRIVATE GARAGES IN WHICH THE PROPERTY OWNERS WILL UTILIZE A SHARED PRIVATE ACCESS DRIVE FROM INTENDENCIA STREET FOR REAR ACCESS TO THEIR GARAGE. THIS WILL ENABLE THE PUBLIC STREETS AND SIDEWALKS TO MAINTAIN, AND EVEN ENHANCE, THEIR CURRENT FUNCTION AND PEDESTRIAN TRAFFIC PATTERNS.

APPLICABLE CODES

THE FOLLOWING CODES AND REVISIONS ARE APPLICABLE TO THIS PROJECT:

FLORIDA BUILDING CODE, RESIDENTIAL; 2020 (RESIDENTIAL)
FLORIDA BUILDING CODE, 2020
FLORIDA PLUMBING CODE, 2020
FLORIDA ENERGY CODE, 2020
FLORIDA MECHANICAL CODE, 2020
FLORIDA FIRE PREVENTATION CODE, 2020

PROJECT TEAM

ARCHITECT
CALDWELL ASSOCIATES ARCHITECTS, INC
MICHELLE BURCH
116 NORTH TARRAGONA STREET
PENSACOLA, FLORIDA 32501
(850) 439.6576 phone

CIVIL ENGINEER
REBOL-BATTLE & ASSOCIATES
JASON REBOL
2301 N 9TH AVE
PENSACOLA, FLORIDA 32503
PHONE: 850-438-0400

STRUCTURAL ENGINEER
LBYD ENGINEERING INC
ADAM CARROLL, P.E.
1100 SOUTH COLLEGE ST,
SUITE 201
AUBURN, ALABAMA 36832
PHONE: 417-830-0671

MEP/FP ENGINEER
W3 ENGINEERING
JAY WELLS, PE
ANTHONY DAVIS, PE
213 S BAYLEN STREET
PENSACOLA, FLORIDA 32502
(850) 629.8270 phone (M/P/FP)
(850) 995.2548 phone (E)

LANDSCAPE ARCHITECT
TBD

CONTRACTOR
BEAR GENERAL CONTRACTORS, LLC
CHRIS JAUBERT/JOSH SITTON
1216 N PALAFOX STREET, SUITE A
PENSACOLA, FLORIDA 32501
(850) 435.4411 phone

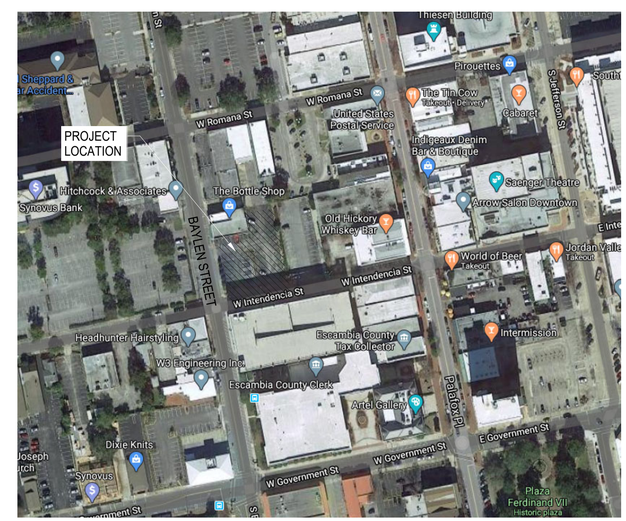
MOISTURE CONSULTANT
TBD

ACOUSTICAL CONSULTANT
TBD

OWNER
STUDER PROPERTIES, LLP
ANDREW ROTHFEDER
321 N DEVILLIERS STREET
PENSACOLA, FLORIDA 32501
(850) 696.2414 phone

GEOTECHNICAL ENGINEER
LMJ GEOTECHNICAL ENGINEERS
KEITH JACOBS, PE.
328 E. GADSDEN ST.
PENSACOLA, FL 32501
PHONE:850-434-0846

PROJECT INFOMATION



PARCEL ID NUMBER: 00-0S-00-9001-001-178
ESCAMBIA COUNTY, FLORIDA

CALDWELL ASSOCIATES | ARCHITECTS
116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM
License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021
DD REV 1	03.31.2021
DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:
CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G001

DESIGN DEVELOPMENT

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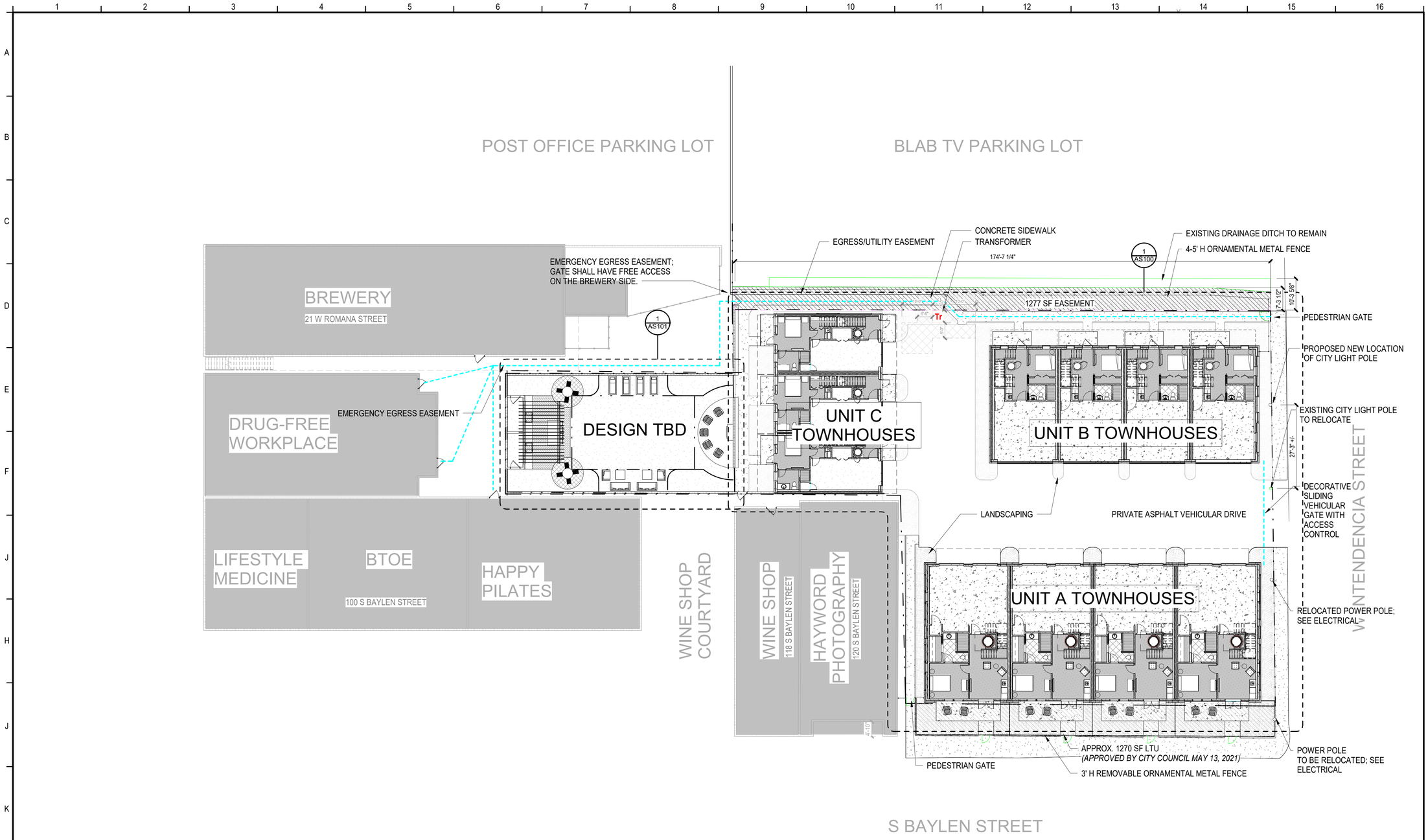

1 OVERALL SITE PLAN

AS001 1/16" = 1'-0"

TRUE NORTH PROJECT NORTH

"FOR REFERENCE ONLY"

16' 8' 0' 16' 32'

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BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

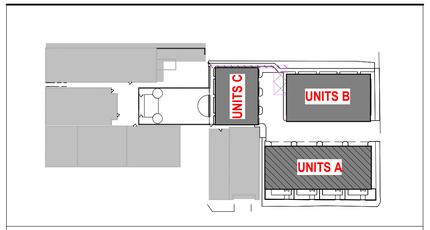
-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
OVERALL SITE

SHEET NUMBER:
AS001

DESIGN DEVELOPMENT

BAYLEN STREET TOWNHOUSES
UNIT TYPE A
4 BEDROOM / 3 1/2 BATH



KEY PLAN

CALDWELL ASSOCIATES | ARCHITECTS
116 N TARRAGONA STREET, PENSACOLA, FL 32502
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License No: AA26000721 | License No: IB0000995

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PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
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TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A COVER SHEET

SHEET NUMBER:
GA001

DESIGN DEVELOPMENT

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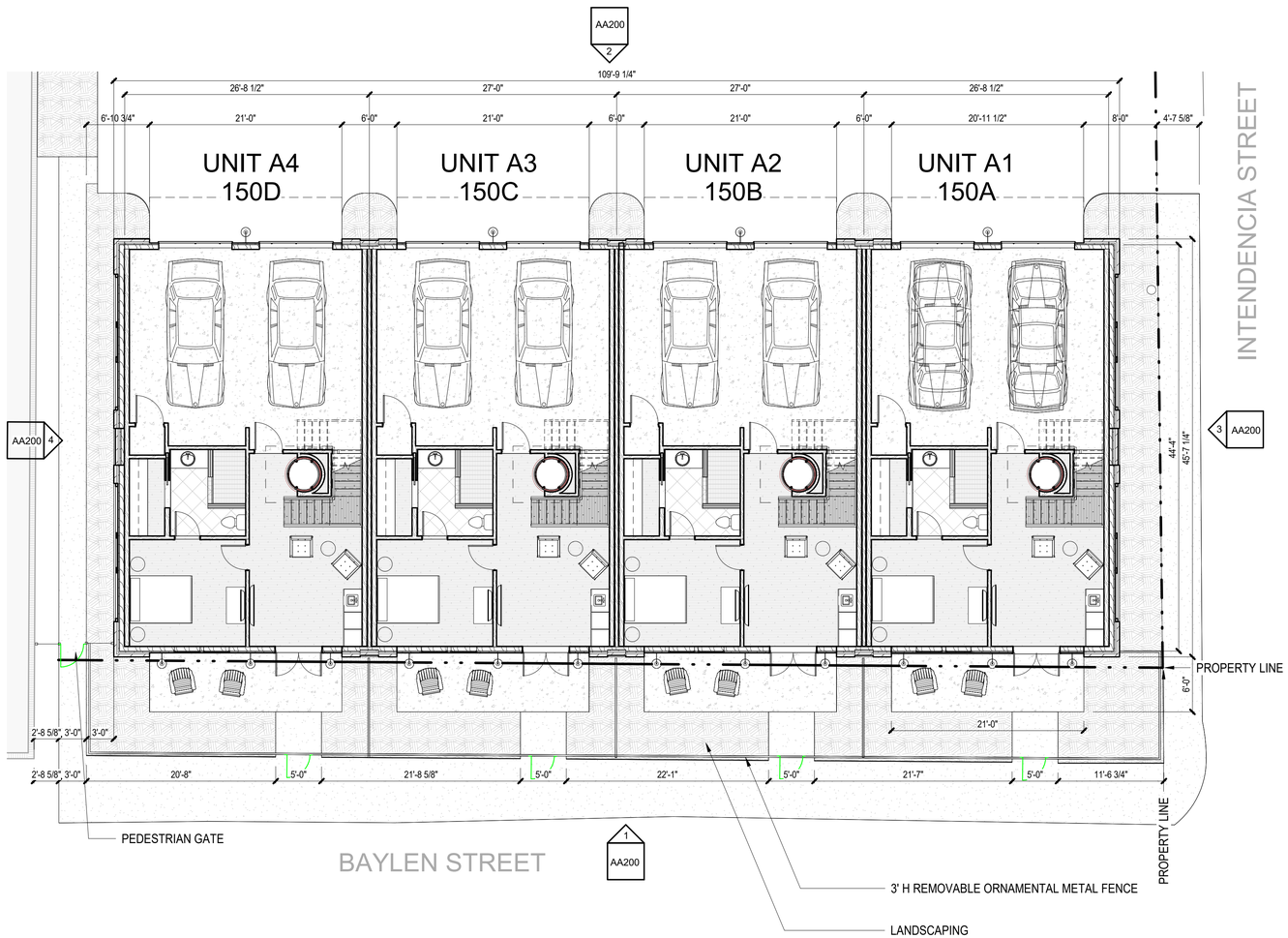

TRUE NORTH

PROJECT NORTH

1	
AS100	AA100

UNIT A OVERALL FLOOR PLAN

1/8" = 1'-0"

8' 4' 0' 8' 16'

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KEYNOTES

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License No: AA26000721 | License No: IB0000995

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PROJECT:
RED FEATHER TOWNHOUSES

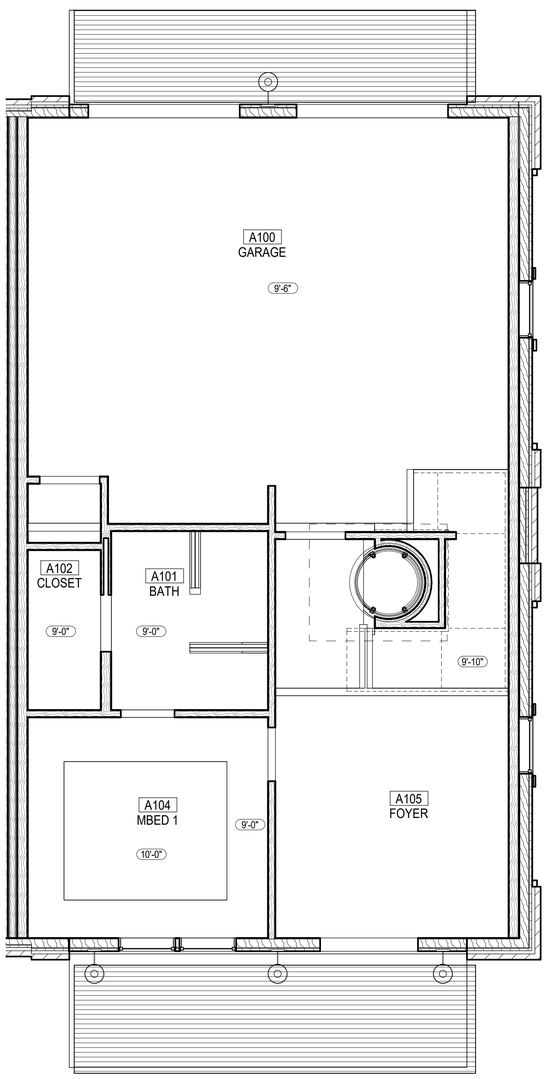
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - OVERALL PLAN

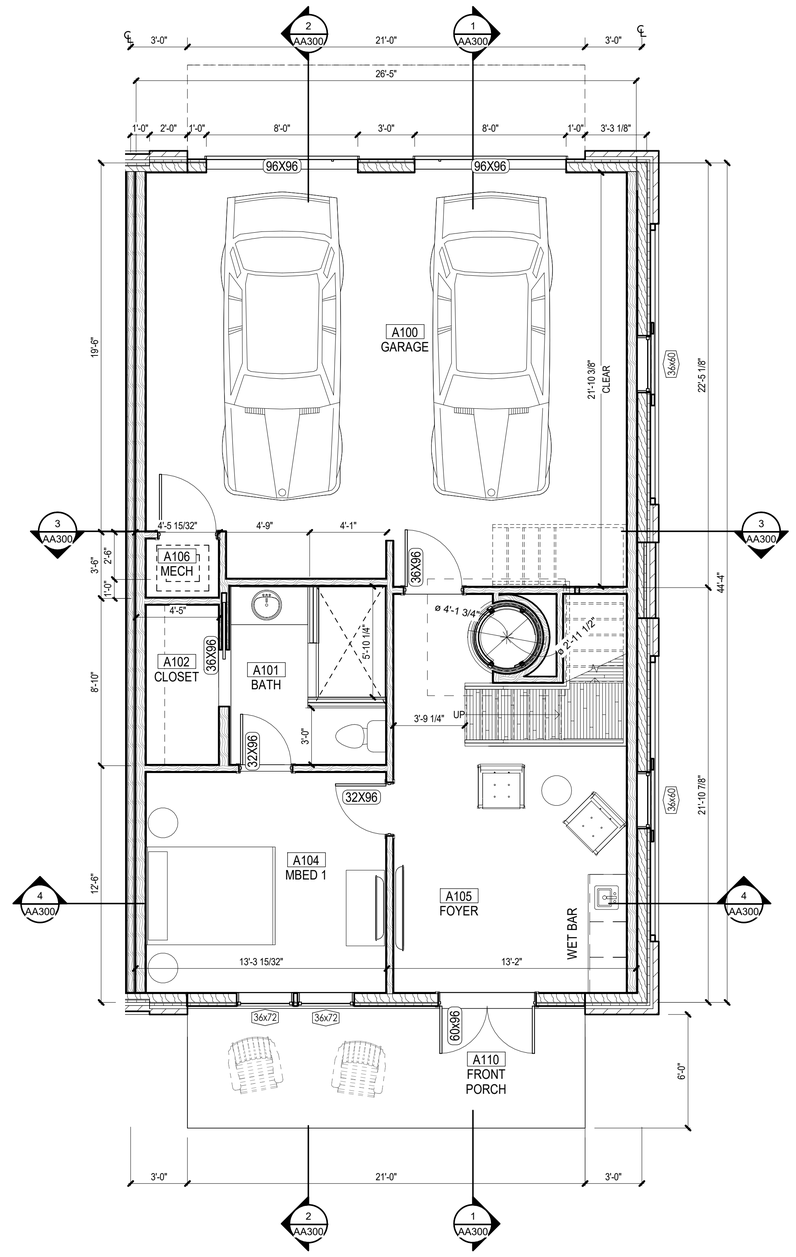
SHEET NUMBER:
AA100

DESIGN DEVELOPMENT



2 UNIT A - 1st FLOOR RCP

AA201 | AA101 1/4" = 1'-0"



1 UNIT A - 1st FLOOR PLAN

AA201 | AA101 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

DO NOT SCALE DRAWINGS

AREA CALCULATIONS

CONDITIONED SPACE:	536 SF
UNCONDITIONED SPACE:	553 SF
BALCONY/PATIO:	136 SF
TOTAL:	1225 SF

KEYNOTES

LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL

GENERAL NOTES

1. COORDINATE WITH ALL OTHER DRAWINGS PRIOR TO COMMENCING ANY WORK.
2. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
3. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
4. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED OR WALL MOUNTED DEVICE.
5. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTING INFORMATION.
6. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
7. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
8. PROVIDE PRESSURE TREATED WOOD BLOCKING IN STUD WALL CAVITIES WHERE REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS, INCLUDING, BUT NOT LIMITED TO, UPPER CABINET AND COUNTER SUPPORT BRACKETS.

CALDWELL ASSOCIATES | ARCHITECTS
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CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - 1st FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AA101

DESIGN DEVELOPMENT

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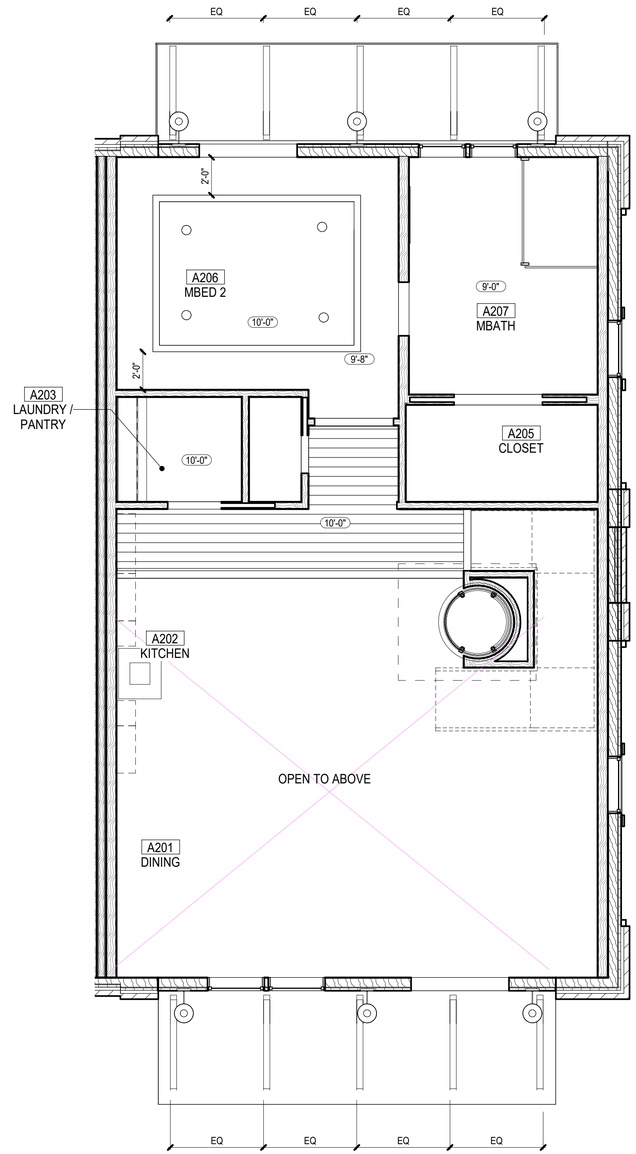
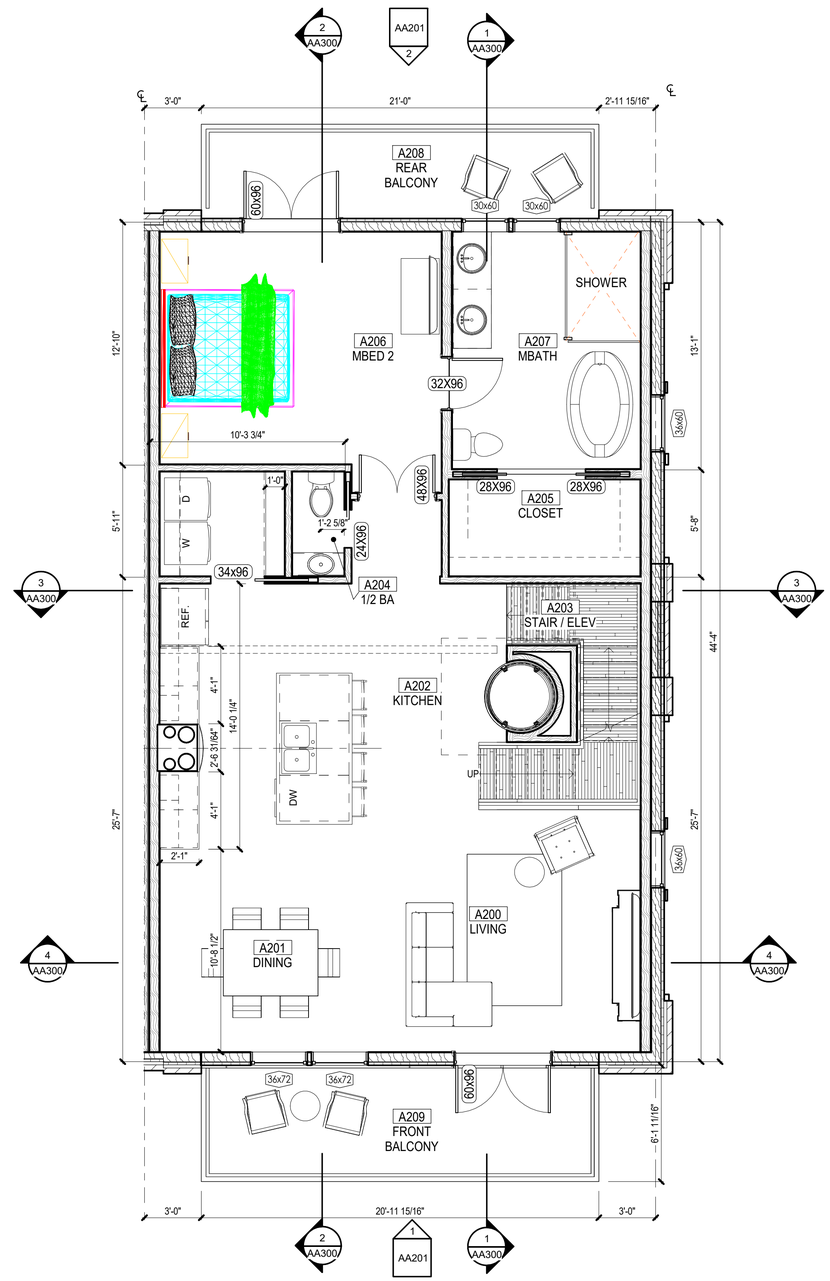
115



2 | AA201 | AA102

UNIT A 2nd FLOOR RCP

1/4" = 1'-0"



1 | AA201 | AA102

UNIT A 2nd FLOOR PLAN

1/4" = 1'-0"

AREA CALCULATIONS

CONDITIONED SPACE:	1100 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	240 SF
TOTAL:	1340 SF

KEYNOTES

LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL

GENERAL NOTES

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5. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTING INFORMATION.
6. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
7. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES.
8. PROVIDE PRESSURE TREATED WOOD BLOCKING IN STUD WALL CAVITIES WHERE REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS, INCLUDING, BUT NOT LIMITED TO, UPPER CABINET AND COUNTER SUPPORT BRACKETS.

CALDWELL ASSOCIATES | ARCHITECTS
116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM
License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
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ARCHITECTURAL
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FIRE PROTECTION
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LANDSCAPE
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MOISTURE CONSULTANT
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BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - 2nd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AA102

DESIGN DEVELOPMENT

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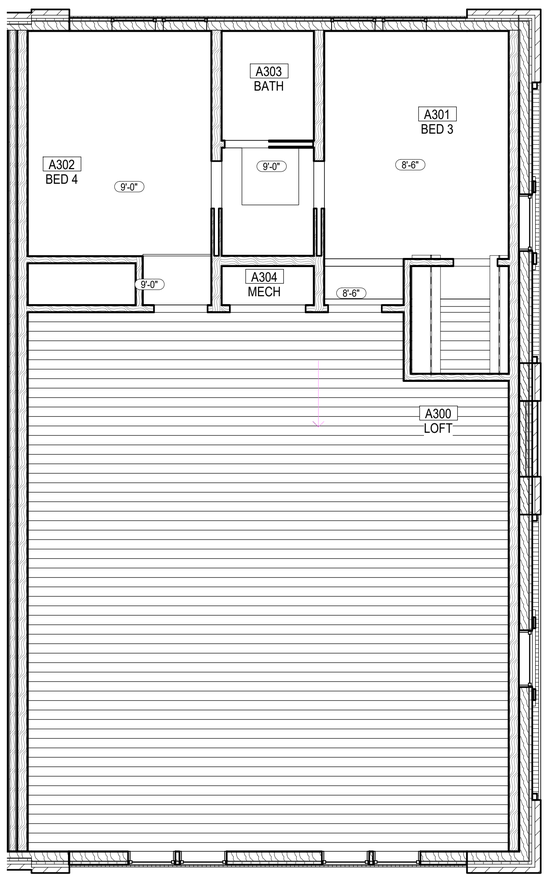
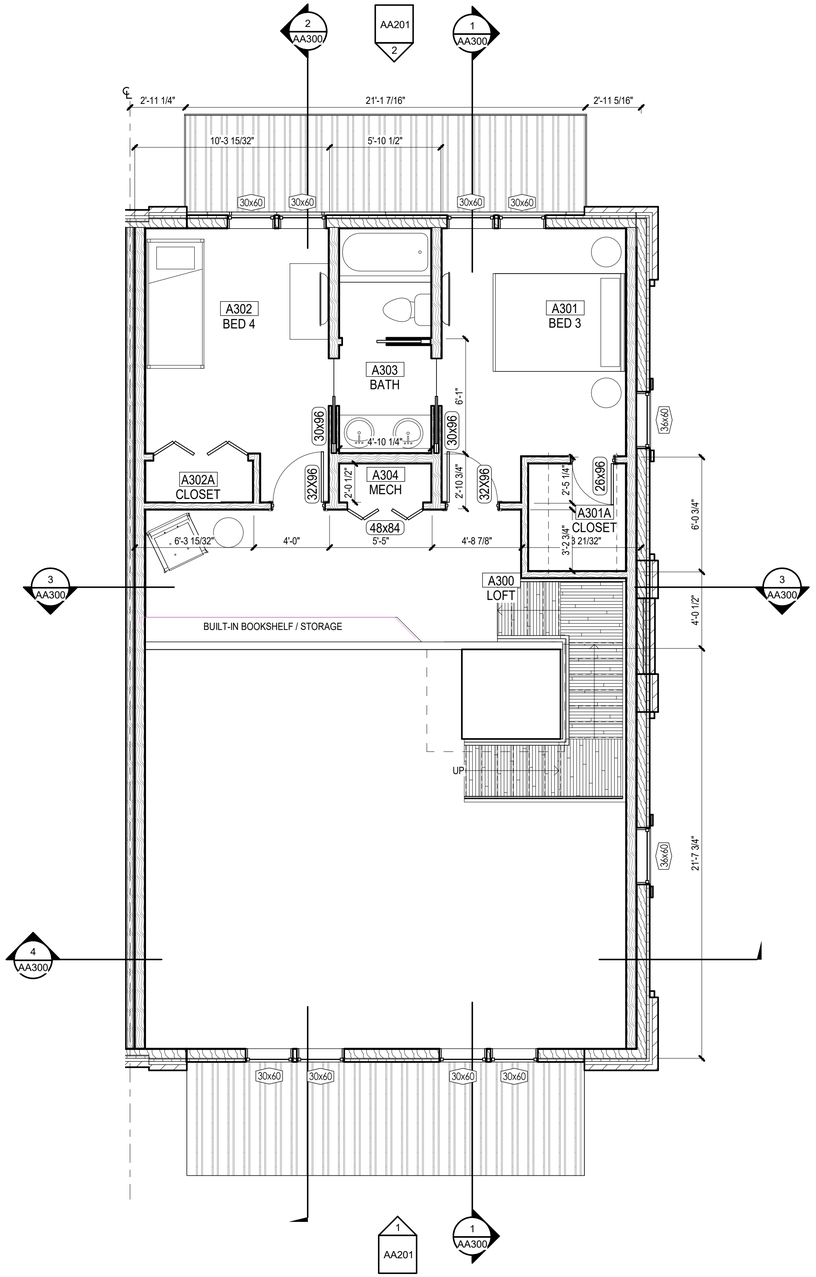


2 UNIT A 3rd FLOOR RCP

AA201 | AA103

1/4" = 1'-0"

TRUE NORTH | PROJECT NORTH



1 UNIT A 3rd FLOOR PLAN

AA201 | AA103

1/4" = 1'-0"

TRUE NORTH | PROJECT NORTH

DO NOT SCALE DRAWINGS

AREA CALCULATIONS

CONDITIONED SPACE:	532 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	0 SF
TOTAL:	532 SF

KEYNOTES

LEGEND

- CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
- WOOD STUD WALL; SEE WALL TYPE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- LIGHT FIXTURES; SEE ELECTRICAL
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GENERAL NOTES

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SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021
DD REV 1	03.31.2021
DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - 3rd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AA103

DESIGN DEVELOPMENT

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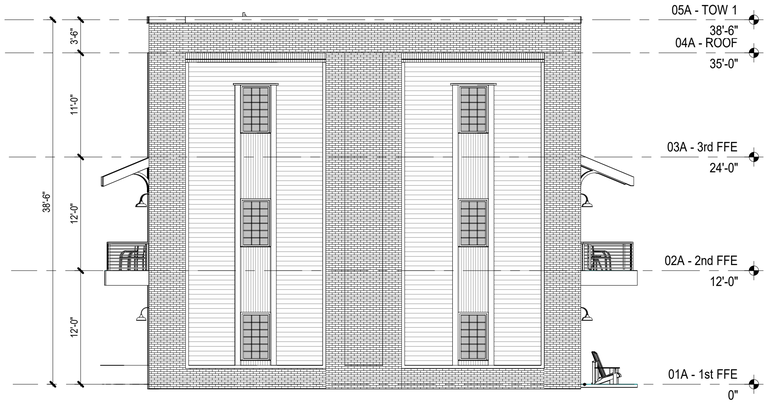
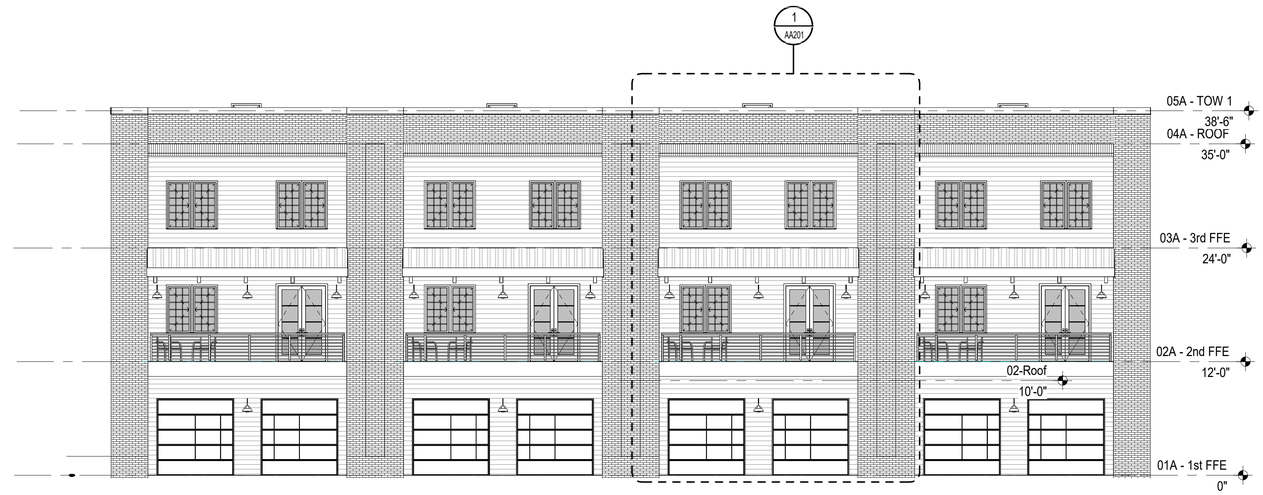


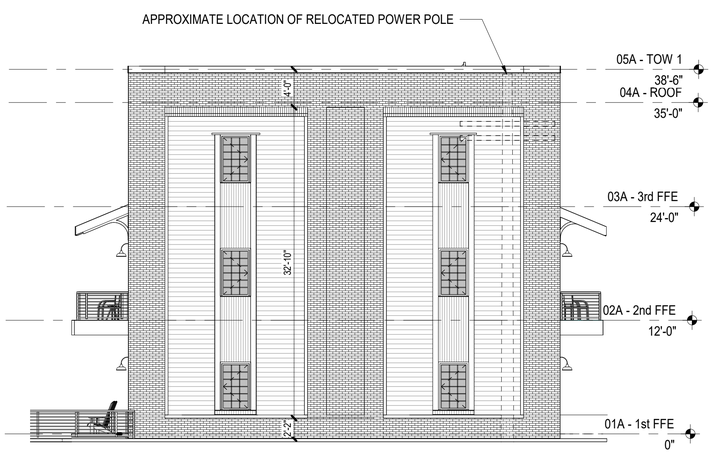
4 UNIT A - WEST ELEV

AA100 | AA200 — 1/8" = 1'-0"



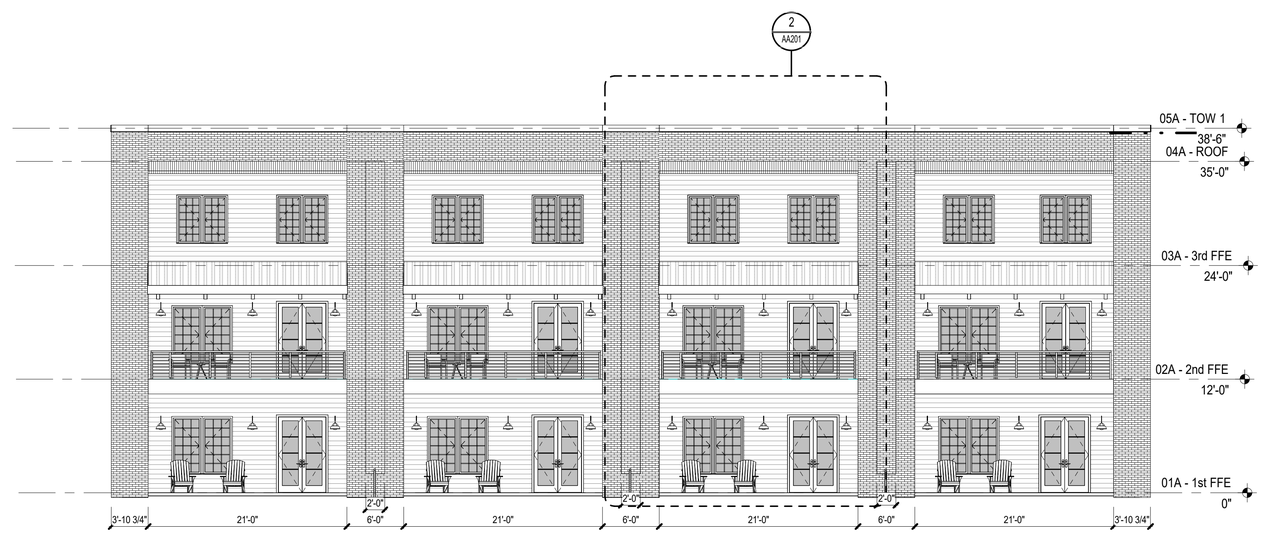
2 UNIT A - NORTH ELEV (REAR)

AA100 | AA200 — 1/8" = 1'-0"



3 UNIT A - EAST ELEV

AA100 | AA200 — 1/8" = 1'-0"



1 UNIT A - SOUTH ELEV (FRONT)

AA100 | AA200 — 1/8" = 1'-0"

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License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
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PROJECT TEAM:

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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

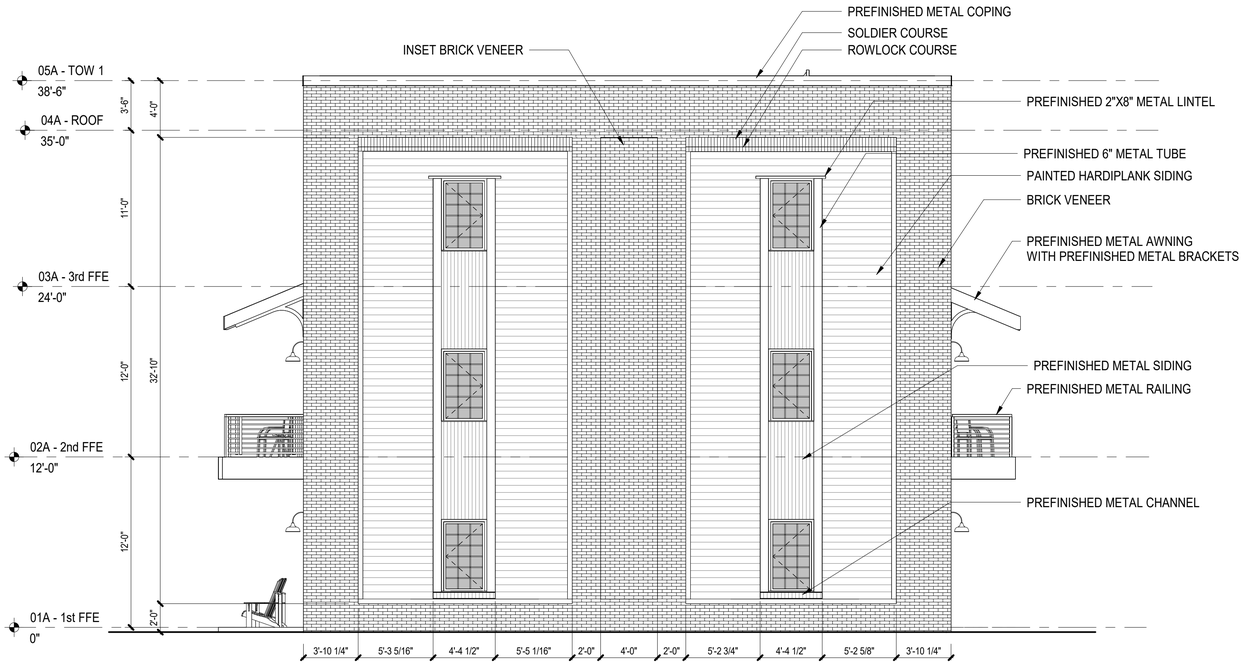
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - OVERALL EXTERIOR ELEVATIONS

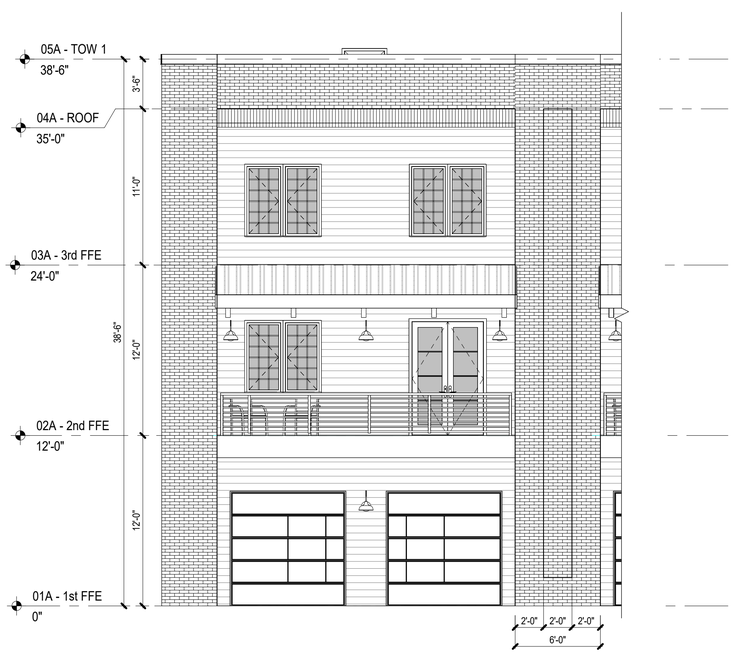
SHEET NUMBER:
AA200

DESIGN DEVELOPMENT



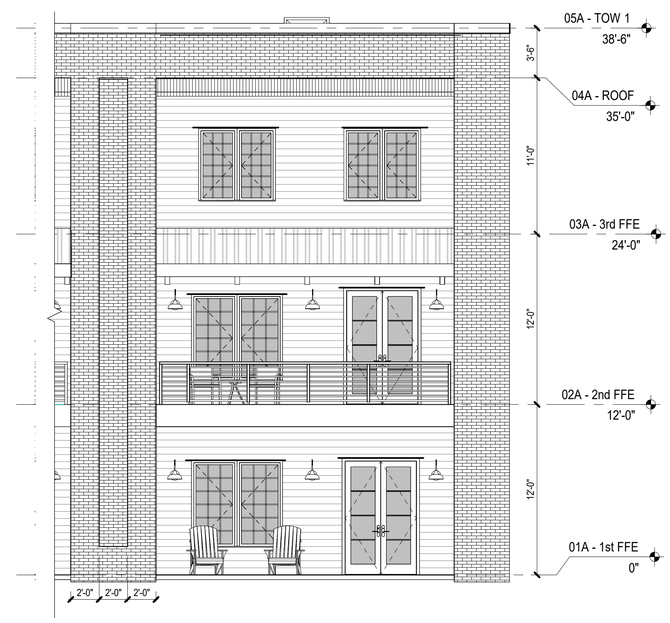
3 EXTERIOR ELEVATION - SIDES

AA201 3/16" = 1'-0"



2 EXTERIOR ELEVATION - REAR

AA102 AA201 3/16" = 1'-0"



1 EXTERIOR ELEVATION - FRONT BAYLEN STREET

AA102 AA201 3/16" = 1'-0"

KEYNOTES

GENERAL NOTES

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
2. ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
3. SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
4. SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

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DD REV 3	07.27.2022

PROJECT TEAM:

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W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
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MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT A - ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
AA201

DESIGN DEVELOPMENT

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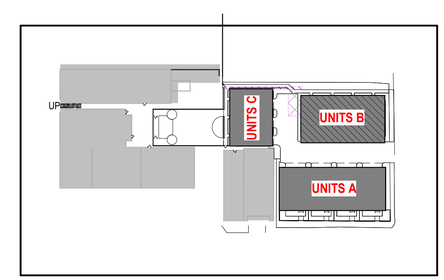
BAYLEN STREET TOWNHOUSES
UNIT TYPE B

3 BEDROOM / 3 1/2 BATH



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DD REV 3	07.27.2022

PROJECT TEAM:

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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - COVER SHEET

SHEET NUMBER:
GB001

DESIGN DEVELOPMENT

PRINT DATE: 7/27/2022 2:21:06 PM

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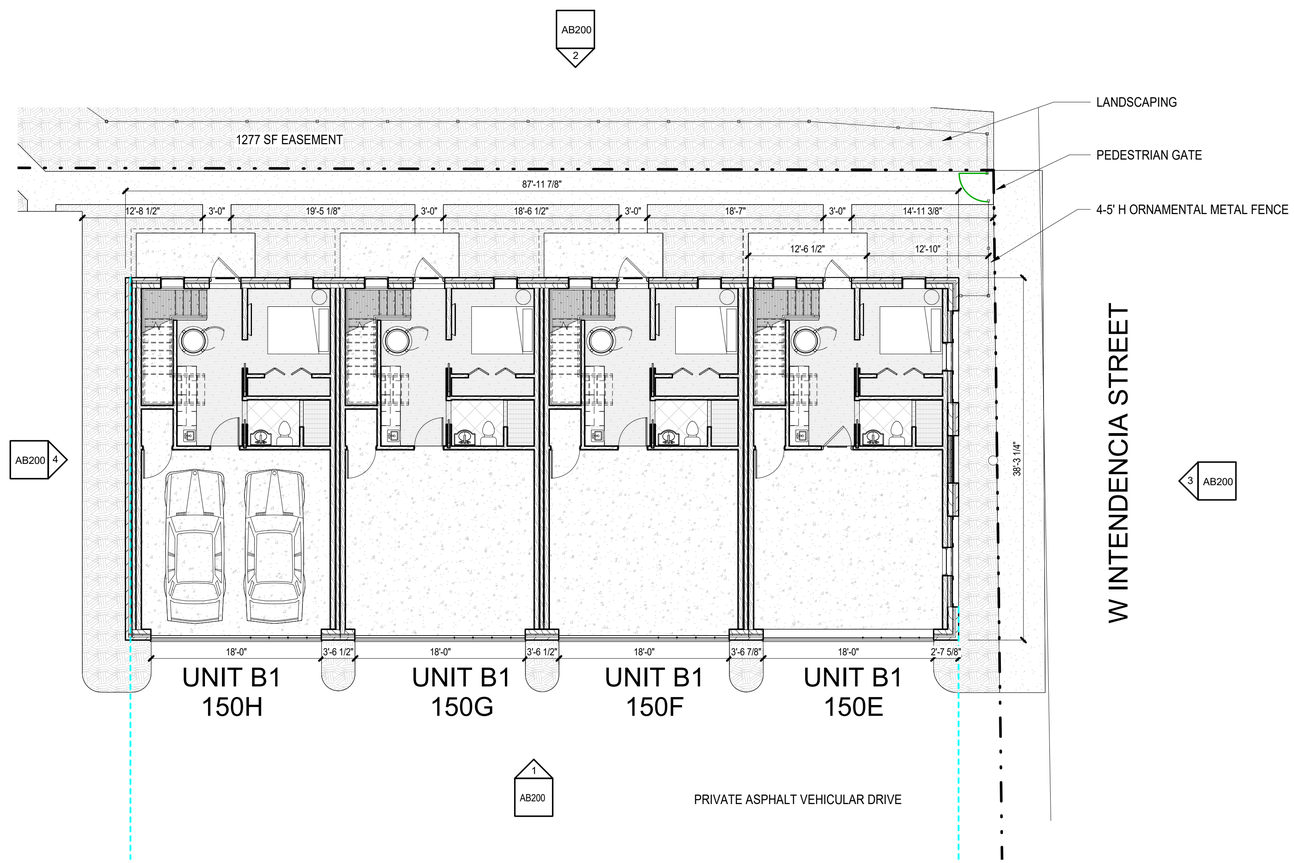

TRUE NORTH

PROJECT NORTH

1	
AS100	AB100

UNIT B - OVERALL FLOOR PLAN

1/8" = 1'-0"

4' 2' 0' 4' 8'

PRINT DATE: 7/27/2022 2:47:30 PM

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KEYNOTES

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W3 ENGINEERING
LANDSCAPE
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MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

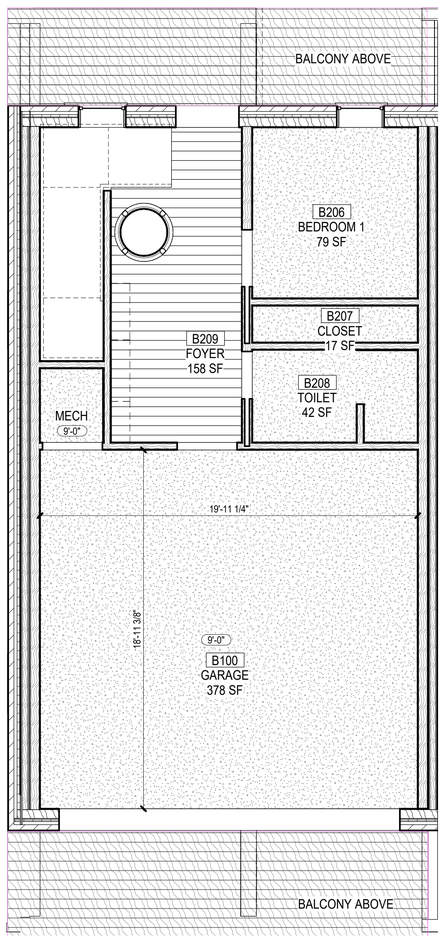
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - OVERALL PLAN

SHEET NUMBER:
AB100

DESIGN DEVELOPMENT

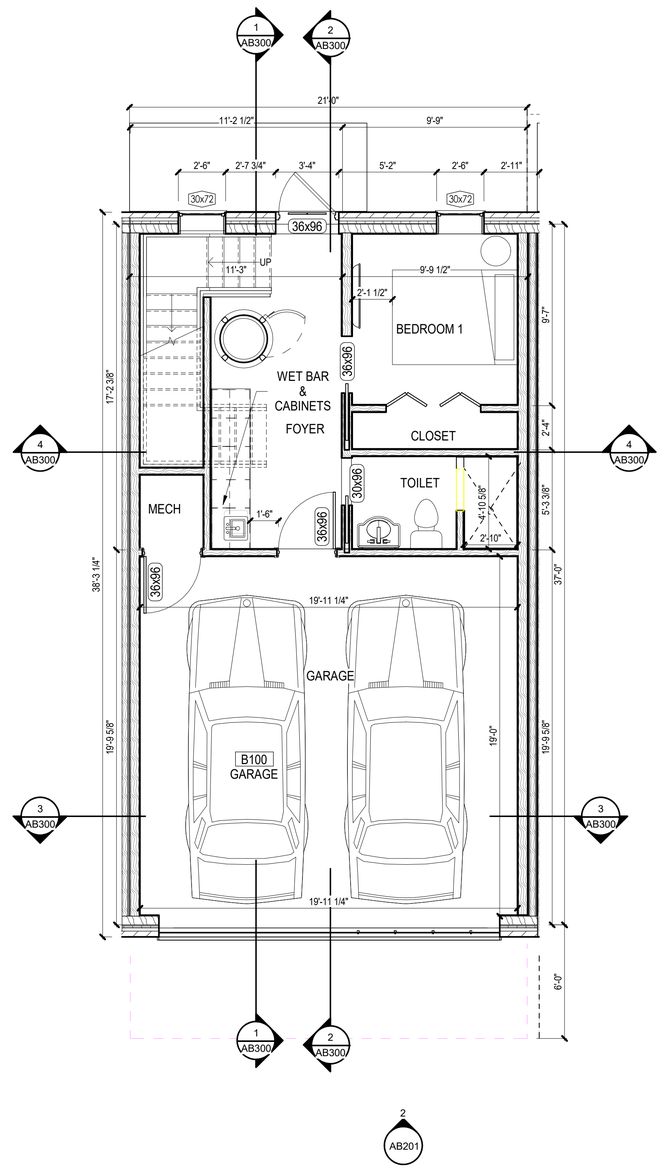


2 UNIT B - 1st FLOOR RCP

AB201 | AB101

1/4" = 1'-0"

TRUE NORTH | PROJECT NORTH



1 UNIT B - 1st FLOOR PLAN

AB201 | AB101

1/4" = 1'-0"

TRUE NORTH | PROJECT NORTH

AREA CALCULATIONS

CONDITIONED SPACE:	315 SF
UNCONDITIONED SPACE:	406 SF
BALCONY/PATIO:	59 SF
TOTAL:	780 SF

KEYNOTES

LEGEND

	CAST-IN-PLACE CONCRETE WALL
	CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
	METAL STUD WALL; SEE WALL TYPE
DF	DRINKING FOUNTAIN, SEE PLUMBING DRAWINGS
H2O	WATER COOLER (NIC) SEE ENGINEERING DRAWING FOR UTLILITY CONECTIONS
	EXISTING CONSTRUCTION
	NEW METAL STUD FRAMING; SEE WALL TYPES OR DETAILS FOR MORE INFORMATION

GENERAL NOTES

1. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
3. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
4. SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
5. ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

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PROJECT ISSUES:

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PROJECT TEAM:

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STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
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LANDSCAPE
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MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - 1st FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AB101

DESIGN DEVELOPMENT

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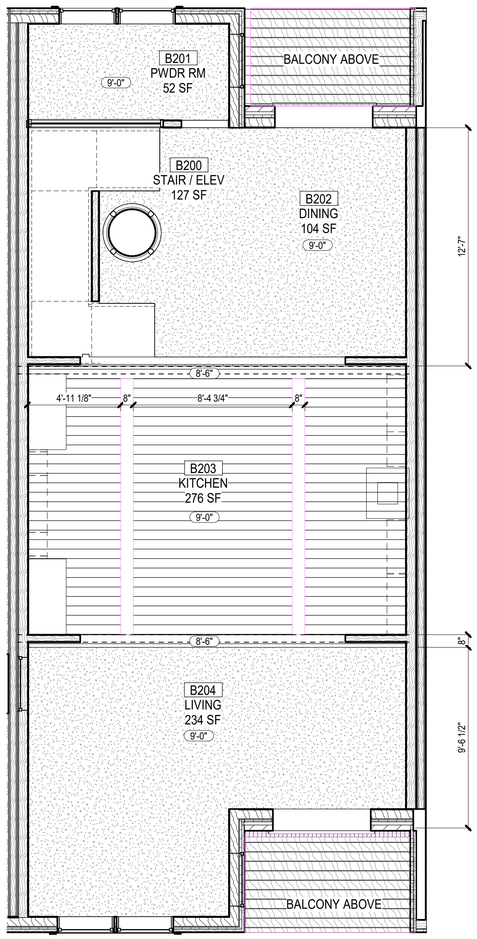
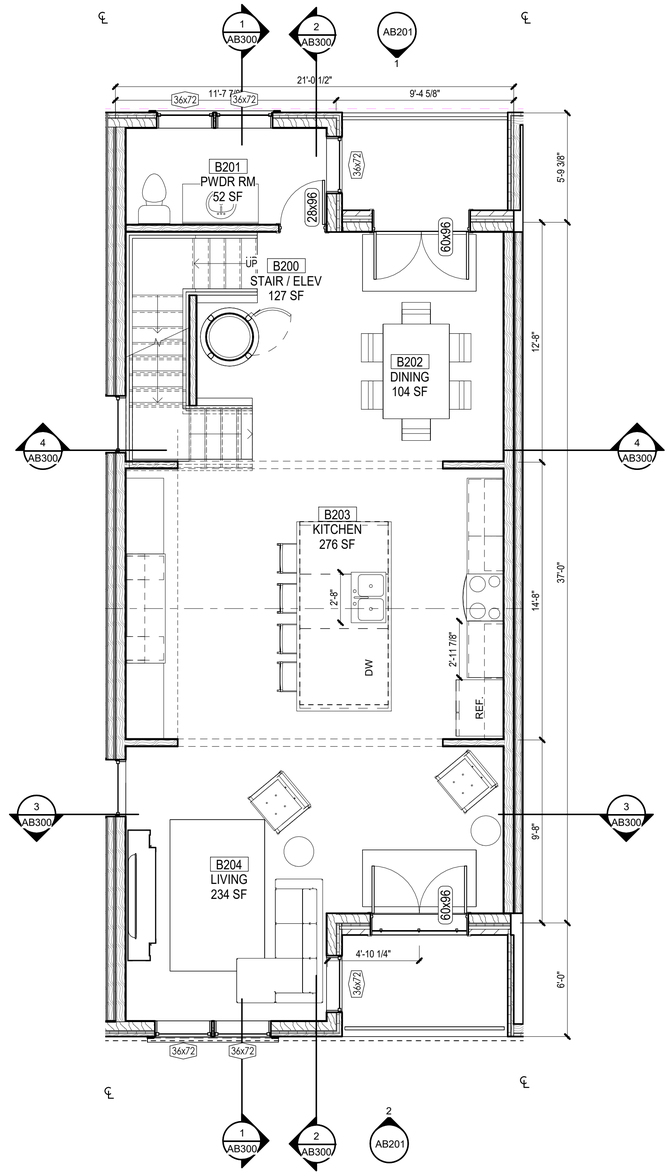


2 UNIT B - 2nd FLOOR RCP

AB201 | AB102

1/4" = 1'-0"

TRUE NORTH PROJECT NORTH



1 UNIT B - 2nd FLOOR PLAN

AB201 | AB102

1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

AREA CALCULATIONS

CONDITIONED SPACE:	836 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	92 SF
TOTAL:	928 SF

KEYNOTES

LEGEND

- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
- BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
- EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
- VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
- EMERGENCY EXIT SIGN; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL
- LOUD SPEAKER; SEE AUDIO-VISUAL
- WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET,U.N.O, REFER TO FINISH SCHEDULE

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PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
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PROJECT TEAM:

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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
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TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - 2nd FLOOR & REFLECTED CEILING PLAN

SHEET NUMBER:
AB102

DESIGN DEVELOPMENT

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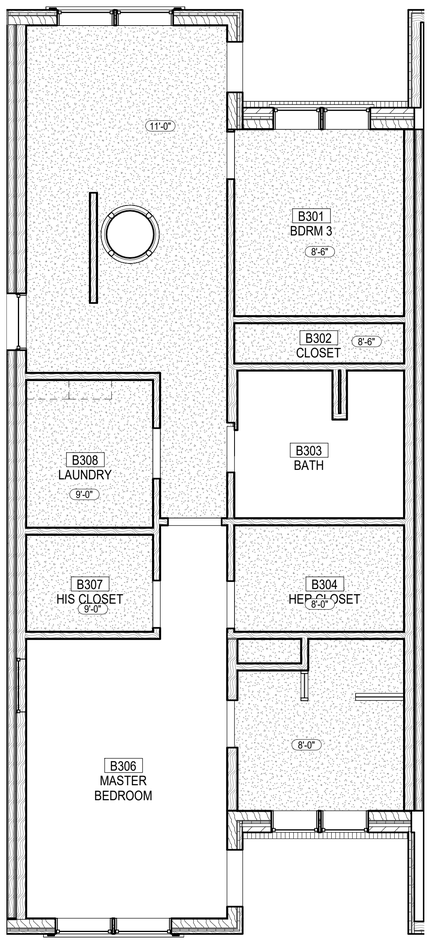
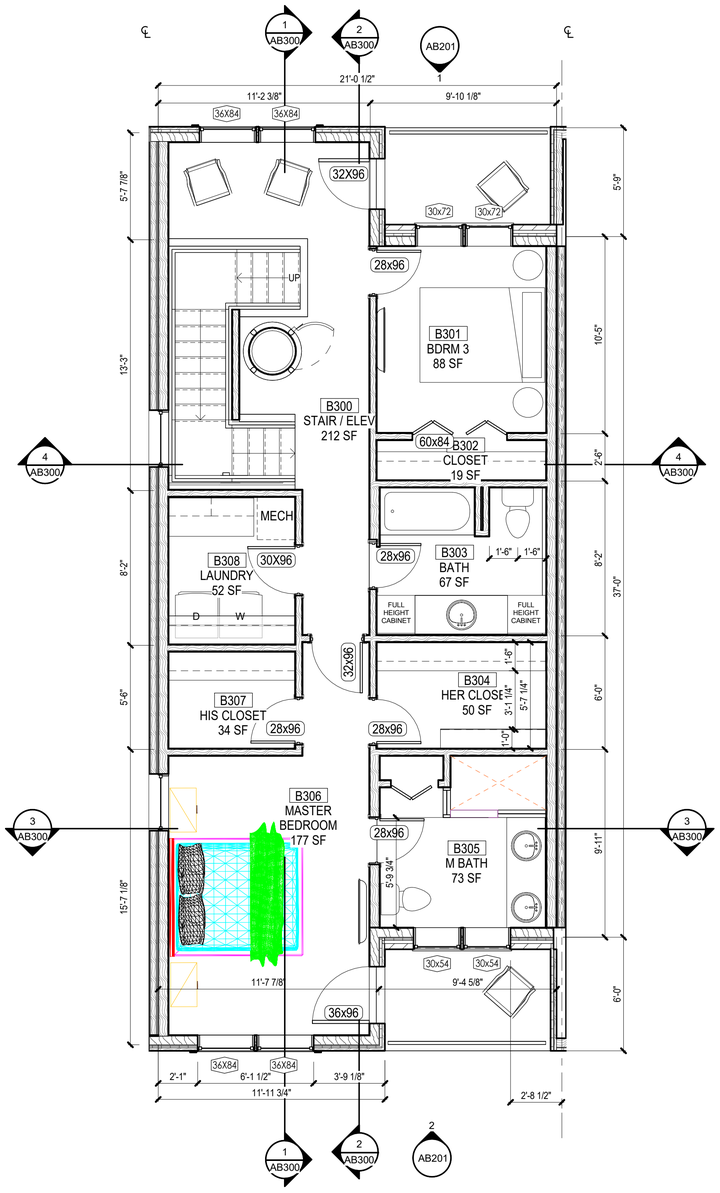


2 UNIT B - 3rd FLOOR RCP

AB201 | AB103

1/4" = 1'-0"



1 UNIT B - 3rd FLOOR PLAN

AB201 | AB103

1/4" = 1'-0"

TRUE NORTH | PROJECT NORTH

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PRINT DATE: 7/27/2022 2:50:37 PM

AREA CALCULATIONS

CONDITIONED SPACE:	836 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	92 SF
TOTAL:	928 SF

KEYNOTES

CALDWELL ASSOCIATES | ARCHITECTS
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PROJECT:
RED FEATHER TOWNHOUSES

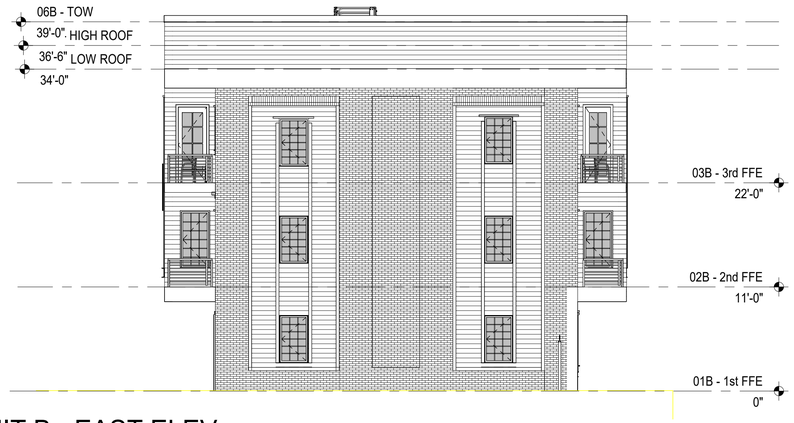
150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

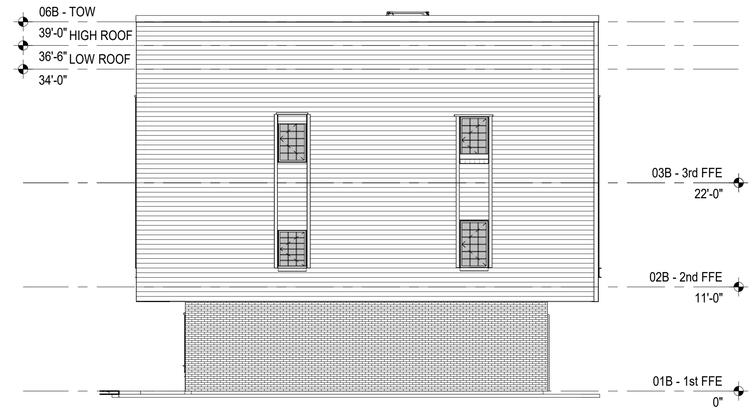
PROJECT NO. : 20021
SHEET TITLE:
UNIT B - 3rd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AB103

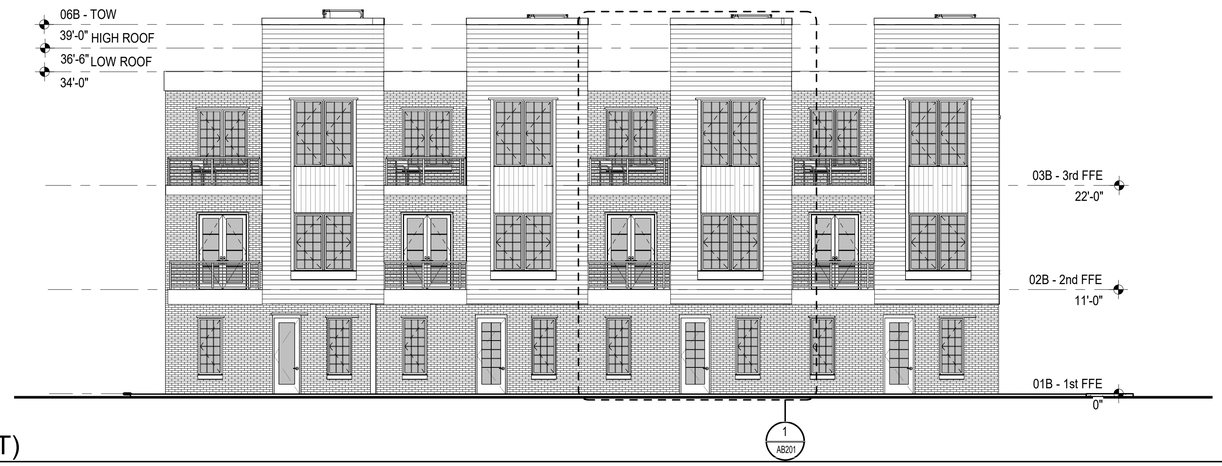
DESIGN DEVELOPMENT



3	UNIT B - EAST ELEV
AA100 AB200	1/8" = 1'-0"



4	UNIT B - WEST ELEV
AB100 AB200	1/8" = 1'-0"



2	UNIT B - NORTH ELEV (FRONT)
AB100 AB200	1/8" = 1'-0"

1	UNIT B - SOUTH ELEV (REAR)
AB100 AB200	1/8" = 1'-0"

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License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021
DD REV 1	03.31.2021
DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

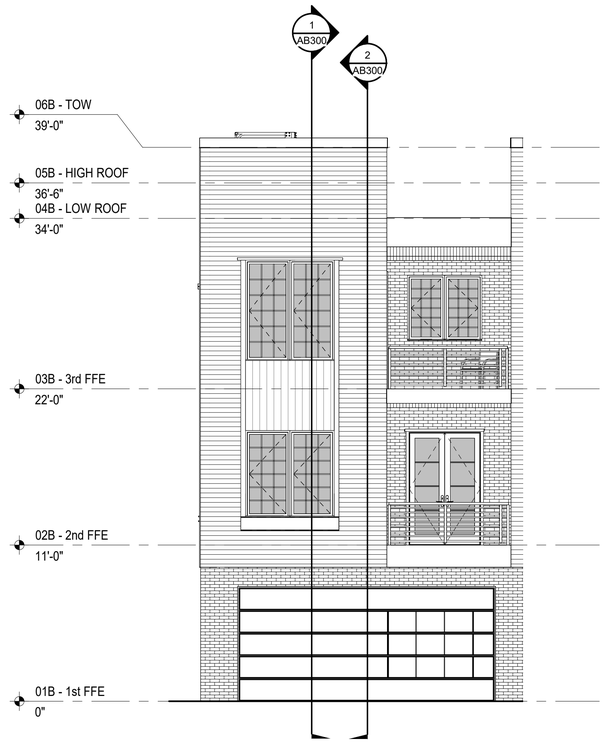
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - OVERALL EXTERIOR ELEVATIONS

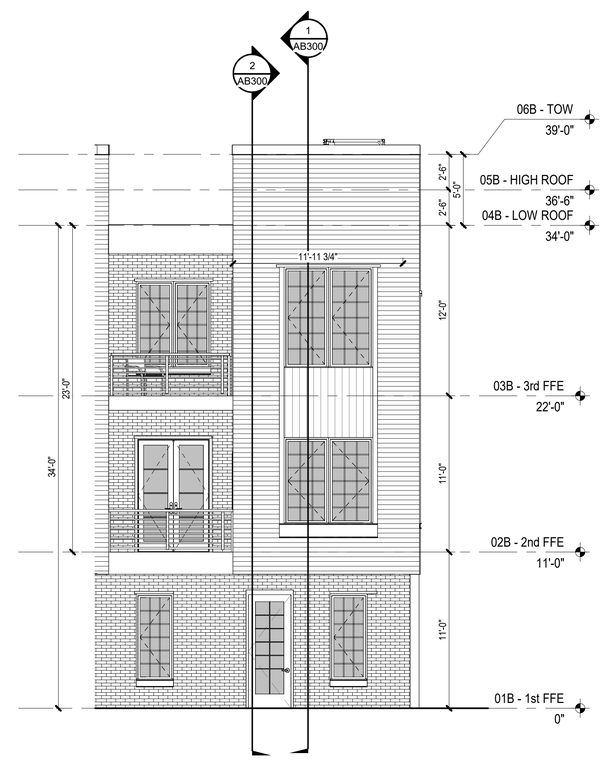
SHEET NUMBER:
AB200

DESIGN DEVELOPMENT



2 EXTERIOR ELEVATION - REAR

AB101 | AB201 3/16" = 1'-0"



1 EXTERIOR ELEVATION - FRONT

AB102 | AB201 3/16" = 1'-0"

KEYNOTES

GENERAL NOTES

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
2. ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
3. SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
4. SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

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PROJECT ISSUES:

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DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT B - ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
AB201

DESIGN DEVELOPMENT

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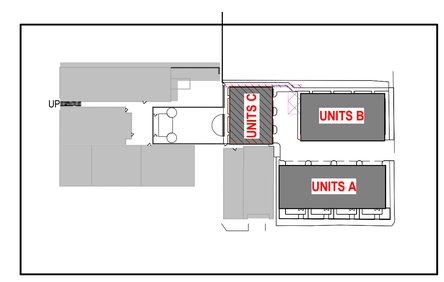
BAYLEN STREET TOWNHOUSES
UNIT TYPE C

3 BEDROOM / 3 1/2 BATH



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License No: AA26000721 | License No: IB0000995

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DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

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CALDWELL ASSOC. ARCHITECTS
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - COVER SHEET

SHEET NUMBER:
GC001

DESIGN DEVELOPMENT

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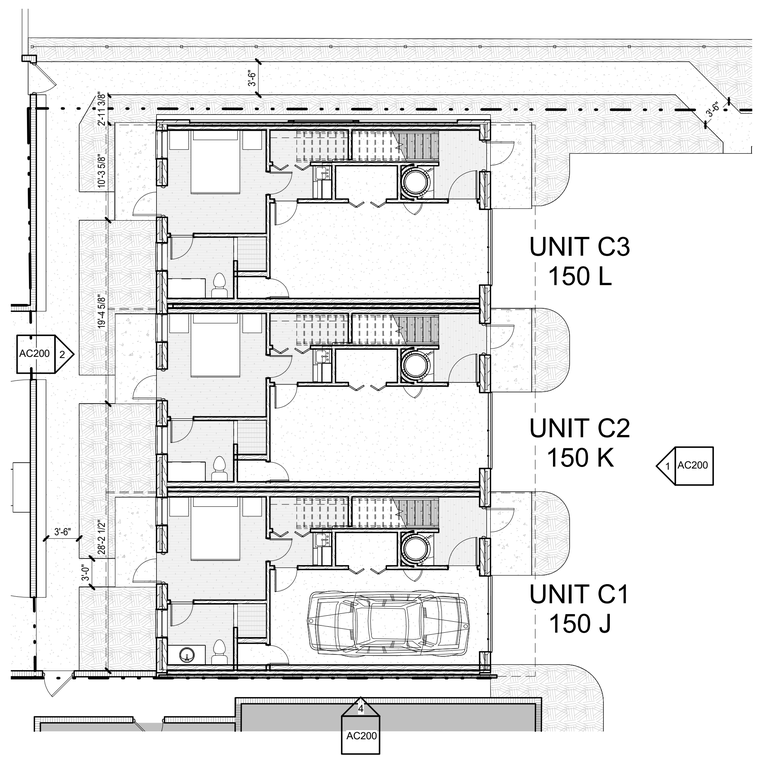

1	UNIT C OVERALL FLOOR PLAN
AS100 AC100	1/8" = 1'-0"

TRUE NORTH

PROJECT NORTH

8' 4' 0' 8' 16'

DO NOT SCALE DRAWINGS

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KEYNOTES

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PROJECT ISSUES:

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PROJECT TEAM:

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CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
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BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

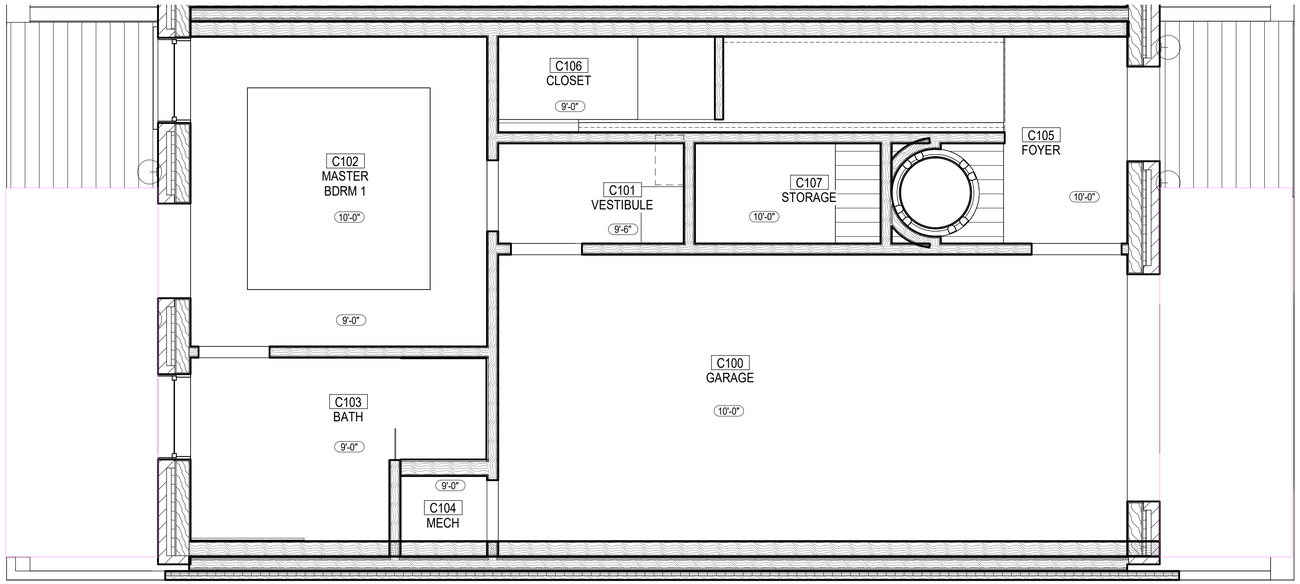
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - OVERALL PLAN

SHEET NUMBER:
AC100

DESIGN DEVELOPMENT

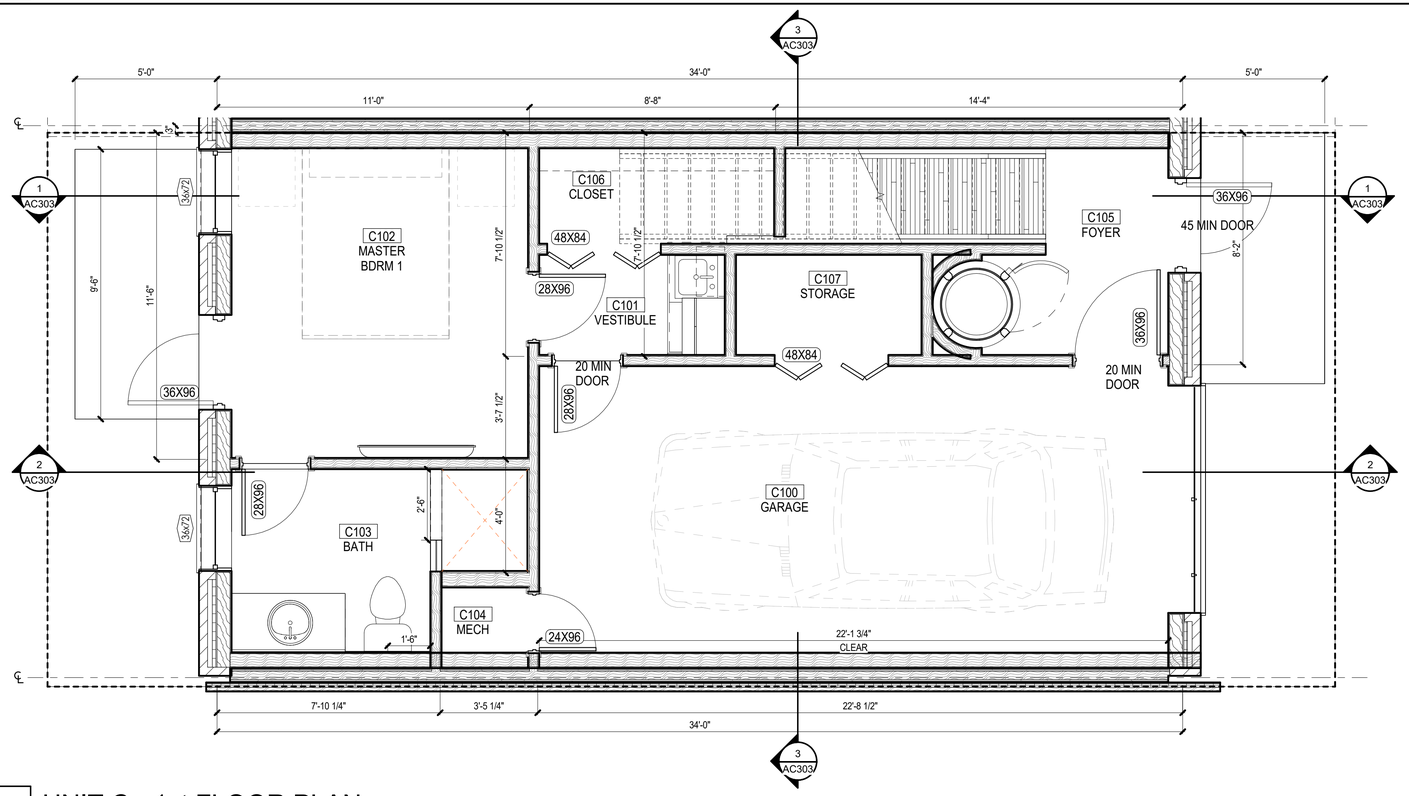


TRUE NORTH | PROJECT NORTH

2	
AC203	AC101

UNIT C - 1st FLOOR RCP

3/8" = 1'-0"



TRUE NORTH | PROJECT NORTH

1	
AC203	AC101

UNIT C - 1st FLOOR PLAN

3/8" = 1'-0"

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AREA CALCULATIONS

CONDITIONED SPACE:	320 SF
UNCONDITIONED SPACE:	257 SF
BALCONY/PATIO:	69 SF
TOTAL:	646 SF

KEYNOTES

LEGEND

	CAST-IN-PLACE CONCRETE WALL
	CONCRETE MASONRY UNIT WALL; SEE WALL TYPE
	METAL STUD WALL; SEE WALL TYPE
DF	DRINKING FOUNTAIN, SEE PLUMBING DRAWINGS
H2O	WATER COOLER (NIC) SEE ENGINEERING DRAWING FOR UTLILITY CONECTIONS
	EXISTING CONSTRUCTION
	NEW METAL STUD FRAMING; SEE WALL TYPES OR DETAILS FOR MORE INFORMATION

GENERAL NOTES

1. REFER TO WALL TYPE SHEET FOR MORE INFORMATION
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO COMMENCING WORK.
3. COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL, TELECOM AND SECURITY PRIOR TO COMMENCING ANY WORK.
4. SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE EXTINGUISHERS
5. ALL FURNITURE N.I.C. UNLESS NOTED OTHERWISE.

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PROJECT ISSUES:

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PROJECT TEAM:

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ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

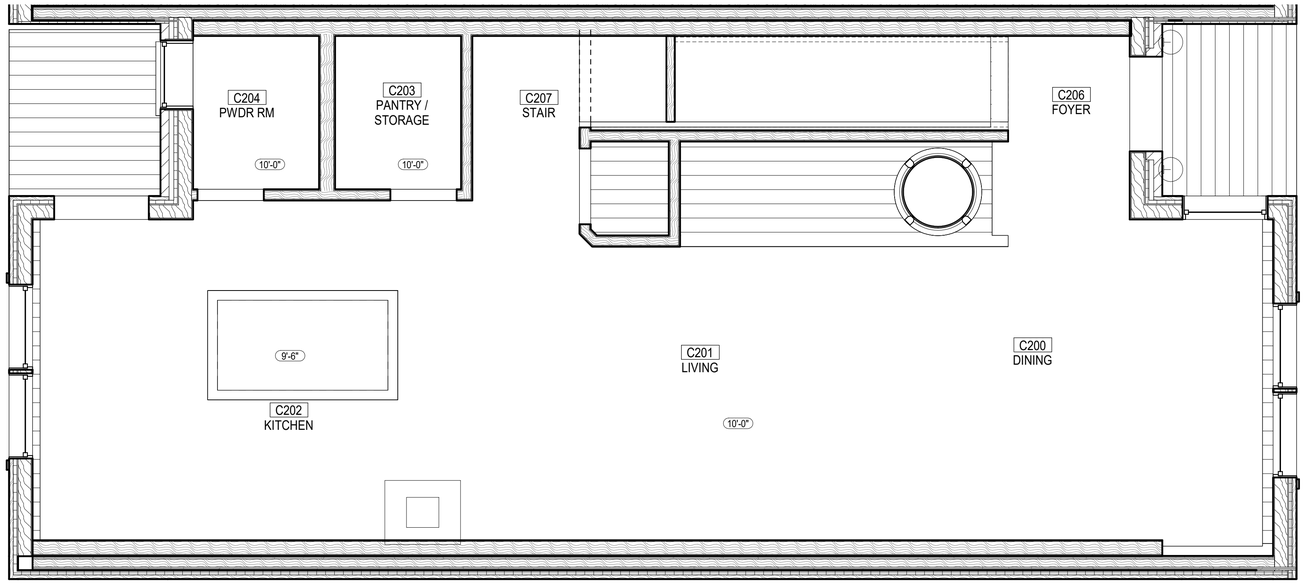
150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - 1st FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AC101

DESIGN DEVELOPMENT

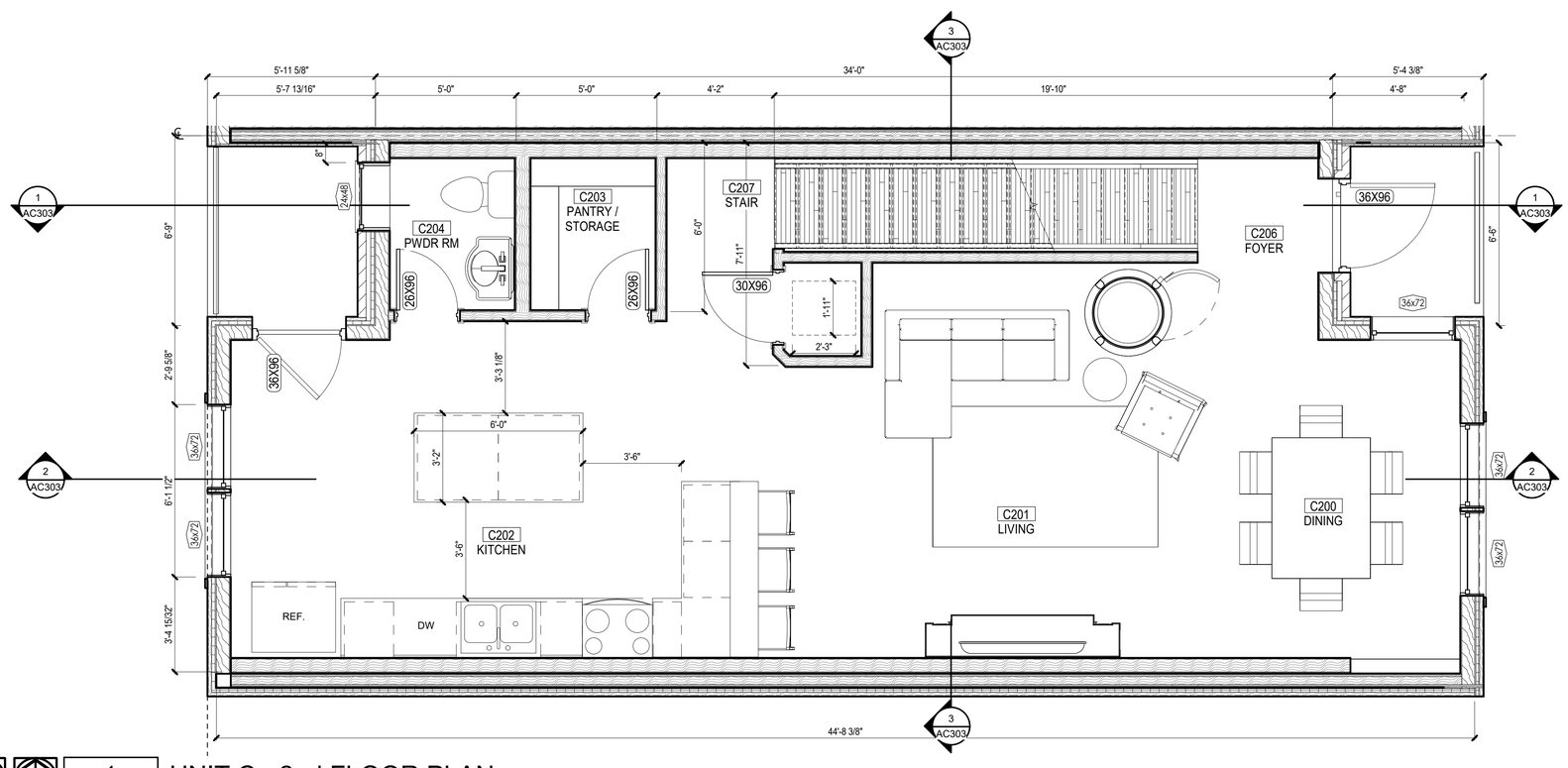


TRUE NORTH | PROJECT NORTH

2	
AC203	AC102

UNIT C - 2nd FLOOR RCP

3/8" = 1'-0"



TRUE NORTH | PROJECT NORTH

1	
AC203	AC102

UNIT C - 2nd FLOOR PLAN

3/8" = 1'-0"

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AREA CALCULATIONS

CONDITIONED SPACE:	707 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	62 SF
TOTAL:	769 SF

KEYNOTES

LEGEND

- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
- BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
- EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
- VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
- EMERGENCY EXIT SIGN; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL
- LOUD SPEAKER; SEE AUDIO-VISUAL
- WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET,U.N.O, REFER TO FINISH SCHEDULE

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PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
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DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

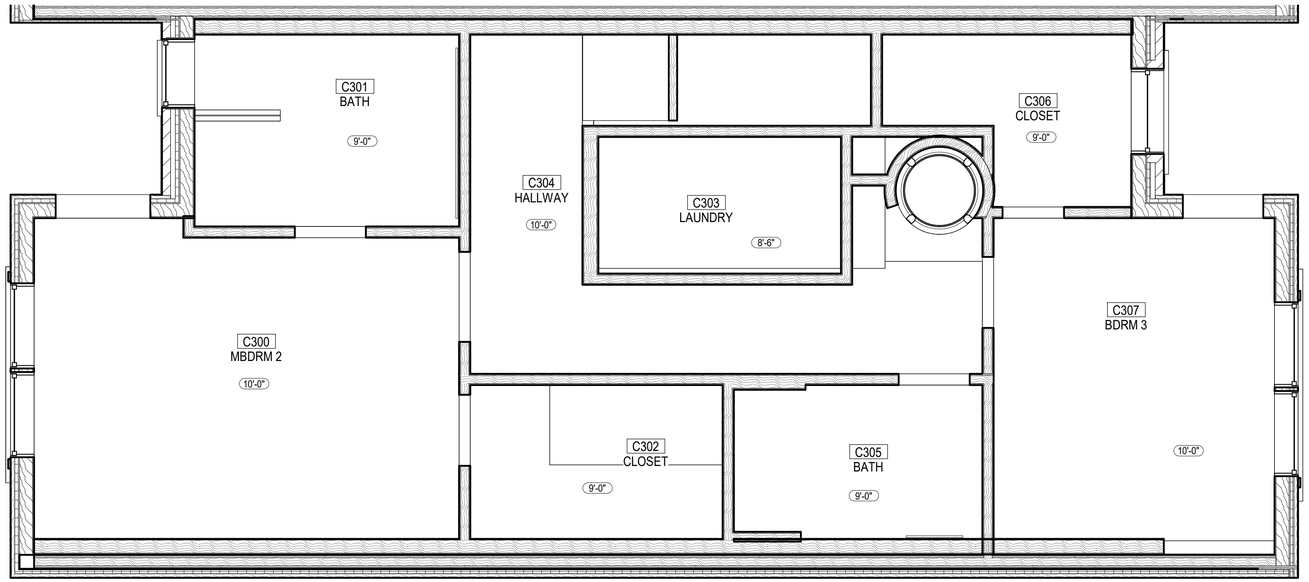
150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - 2nd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AC102

DESIGN DEVELOPMENT

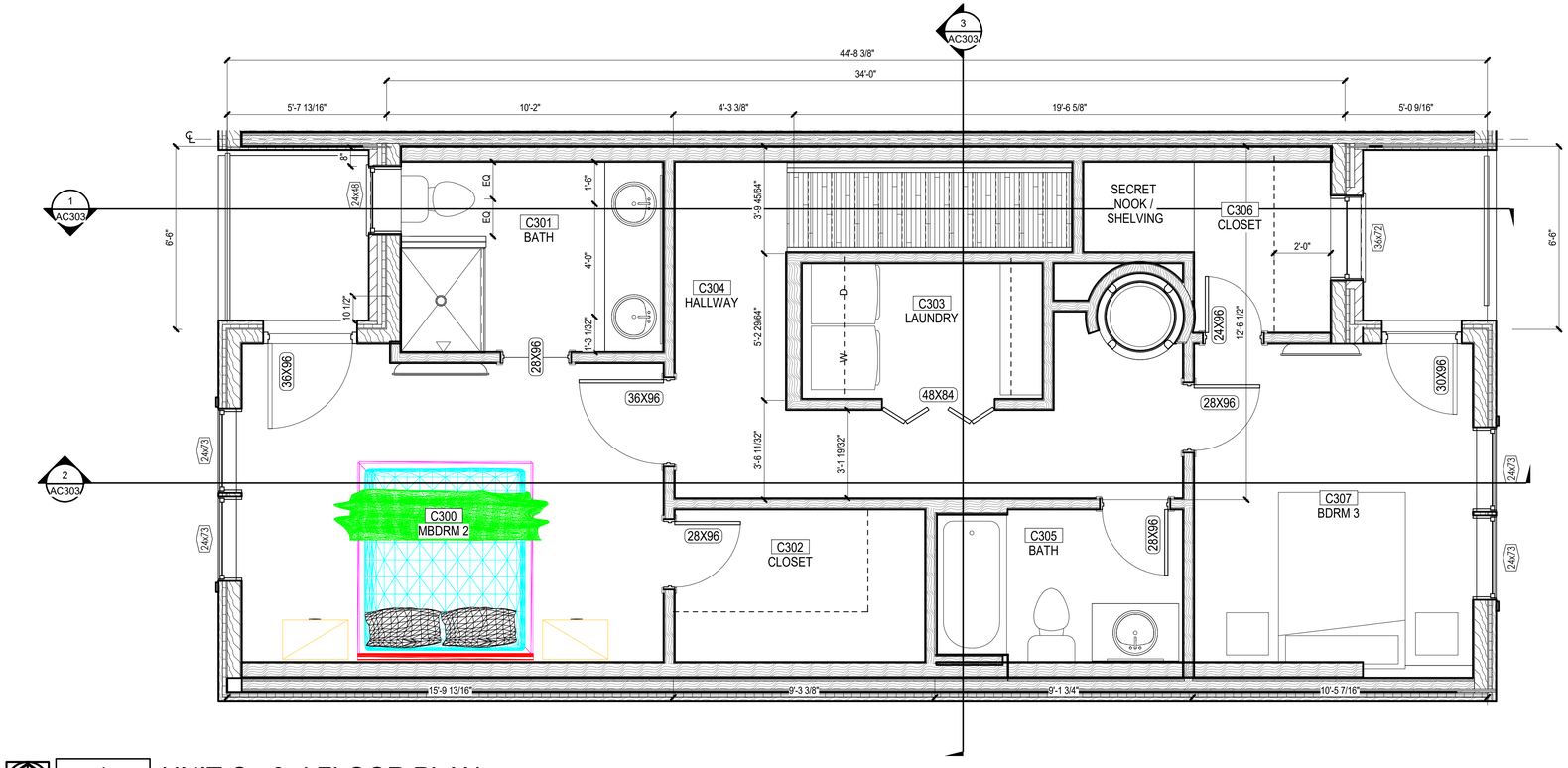


TRUE NORTH | PROJECT NORTH

2	
AC203	AC103

UNIT C - 3rd FLOOR RCP

3/8" = 1'-0"



TRUE NORTH | PROJECT NORTH

1	
AC203	AC103

UNIT C - 3rd FLOOR PLAN

3/8" = 1'-0"

AREA CALCULATIONS

CONDITIONED SPACE:	706 SF
UNCONDITIONED SPACE:	0 SF
BALCONY/PATIO:	60 SF
TOTAL:	766 SF

KEYNOTES

LEGEND

- 2'x2' SUSPENDED ACOUSTICAL CEILING TILE, SEE FINISH SCHEDULE
- BOTTOM SIDE OF METAL DECKING, REFER TO FINISH SCHEDULE
- EXPOSED STRUCTURE ABOVE, REFER TO FINISH SCHEDULE
- 5/8" GYPSUM BOARD SUSPENDED CEILING, SEE FINISH SCHEDULE
- CORRUGATED METAL SOFFIT, SEE FINISH SCHEDULE
- VARIOUS LIGHT FIXTURES; SEE ELECTRICAL
- EMERGENCY EXIT SIGN; SEE ELECTRICAL
- SUPPLY AIR DIFFUSER; SEE MECHANICAL
- RETURN AIR GRILLE; SEE MECHANICAL
- LOUD SPEAKER; SEE AUDIO-VISUAL
- WI-FI; SEE TELECOMMUNICATIONS

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXACT BUILT CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLING ANY CEILING MOUNTED DEVICE.
3. COORDINATE WITH MECHANICAL, ELECTRICAL, FIRE ALARM AND PLUMBING DRAWINGS PRIOR TO INSTALLING ANY DEVICE ON THE CEILING OR WALLS.
4. PROVIDE MOISTURE RESISTANT CEILING TILE IN RESTROOM AND JANITOR'S CLOSET,U.N.O, REFER TO FINISH SCHEDULE

DO NOT SCALE DRAWINGS

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PROJECT ISSUES:

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PROJECT TEAM:

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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - 3rd FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
AC103

DESIGN DEVELOPMENT

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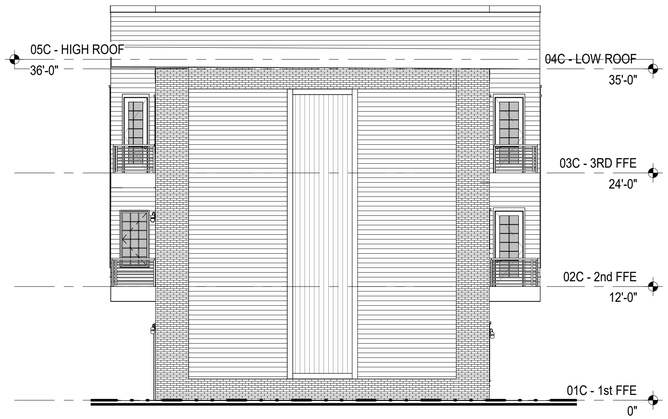
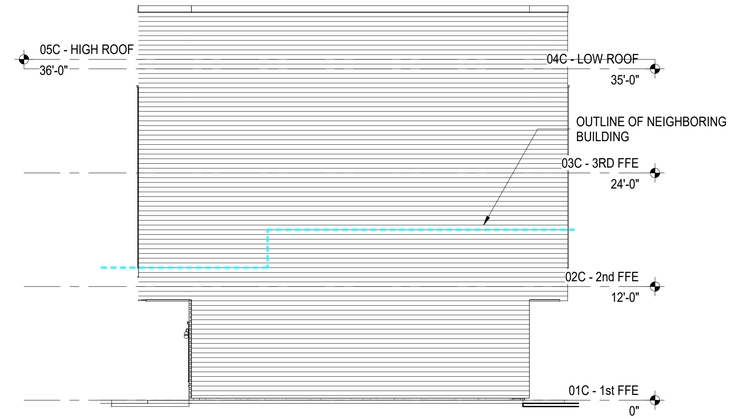


3	UNIT C - NORTH ELEV (SIDE)
AS100 AC200	1/8" = 1'-0"



4	UNIT C - SOUTH ELEV (SIDE)
AC100 AC200	1/8" = 1'-0"

2	UNIT C - WEST ELEV (REAR)
AC100 AC200	1/8" = 1'-0"

1	UNIT C - EAST ELEV (FRONT)
AC100 AC200	1/8" = 1'-0"

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ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
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W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

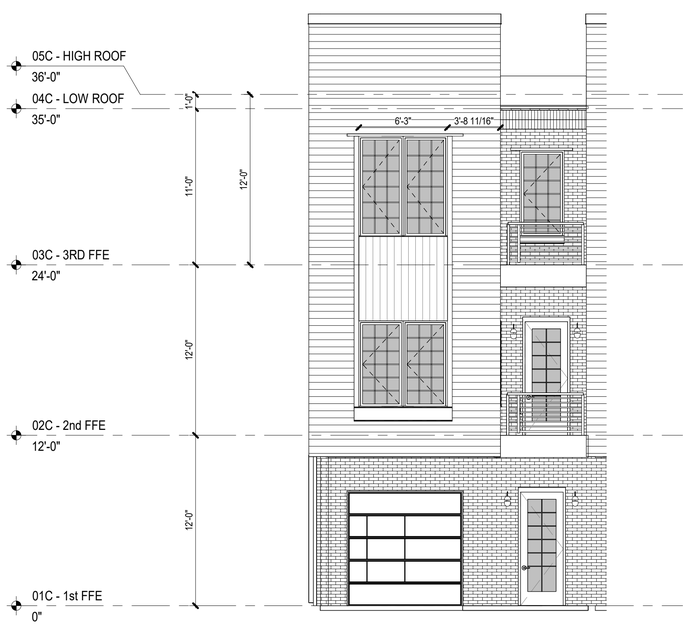
150 S BAYLEN STREET (CORNER OF BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - OVERALL EXTERIOR ELEVATIONS

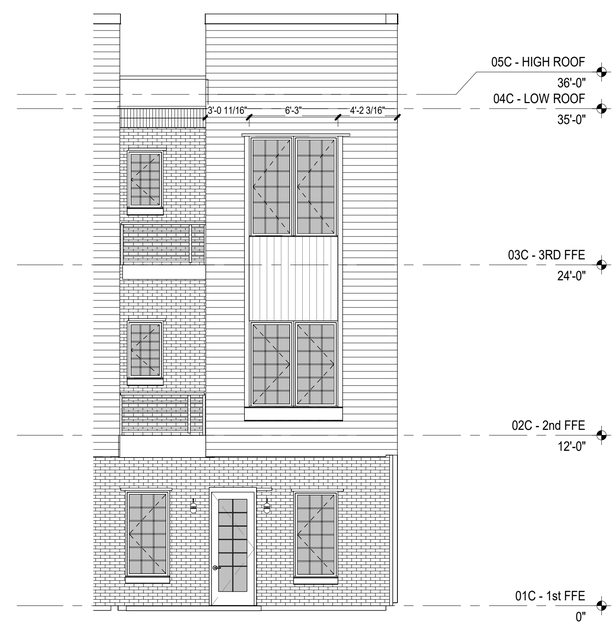
SHEET NUMBER:
AC200

DESIGN DEVELOPMENT



3 EXTERIOR ELEVATION - FRONT

AC201 3/16" = 1'-0"



1 EXTERIOR ELEVATION - REAR

AC201 3/16" = 1'-0"

8' 4' 0' 8' 16'

KEYNOTES

GENERAL NOTES

1. COORDINATE WITH ROOM FINISH SCHEDULE AND FINISH INDEX FOR FINISHES OF ALL SURFACES NOT OUTLINED ON THESE DRAWINGS.
2. ALL BRICK VENEER TO HAVE CLEAR BLOCK SEALER @ ALL EXPOSED MASONRY SURFACES
3. SEE DETAILS FOR TYPICAL CONTROL JOINT DETAIL
4. SUBMIT PRODUCT LITERATURE, CERTIFICATIONS, TEST REPORTS & FULL MATERIAL SAMPLES OF EACH COLOR SPECIFIED.

DO NOT SCALE DRAWINGS

CALDWELL ASSOCIATES | ARCHITECTS
116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM
License No: AA26000721 | License No: IB0000995

PROJECT ISSUES:

CONCEPT PLANS	06.19.2020
SCHEMATIC DESIGN	07.14.2020
SCHEMATIC DESIGN 2	08.19.2020
SCHEMATIC DESIGN 3	08.28.2020
SCHEMATIC DESIGN 4	09.11.2020
SCHEMATIC DESIGN 5	02.03.2021
DESIGN DEVELOPMENT	02.17.2021
DD REV 1	03.31.2021
DD REV 2	05.06.2021
DD REV 3	07.27.2022

PROJECT TEAM:

CIVIL
REBOL BATTLE & ASSOCIATES
STRUCTURAL
LBYD ENGINEERING, INC.
ARCHITECTURAL
CALDWELL ASSOC. ARCHITECTS
FIRE PROTECTION
W3 ENGINEERING
PLUMBING, MECHANICAL
W3 ENGINEERING
ELECTRICAL
W3 ENGINEERING
LANDSCAPE
TBD
MOISTURE CONSULTANT
BY OWNER
ACOUSTICAL CONSULTANT
BY OWNER

PROJECT:
RED FEATHER TOWNHOUSES

150S BAYLEN STREET PENSACOLA, FLORIDA (BAYLEN & INTENDENCIA)

-PRELIMINARY- NOT FOR CONSTRUCTION

PROJECT NO. : 20021
SHEET TITLE:
UNIT C - EXTERIOR ELEVATIONS - TYPICAL UNIT

SHEET NUMBER:
AC201

DESIGN DEVELOPMENT

PRINT DATE: 7/27/2022 2:23:48 PM

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City of Pensacola

222 West Main Street
Pensacola, FL 32502

Memorandum

File #: 22-00817 | Architectural Review Board | 8/18/2022

TO: Architectural Review Board Members

FROM: Gregg Harding, RPA, Historic Preservation Planner

DATE: 8/11/2022

SUBJECT:

39 E. Chase Street
Palafox Historic Business District / Zone C-2A
Final Review of a New Hotel

BACKGROUND:

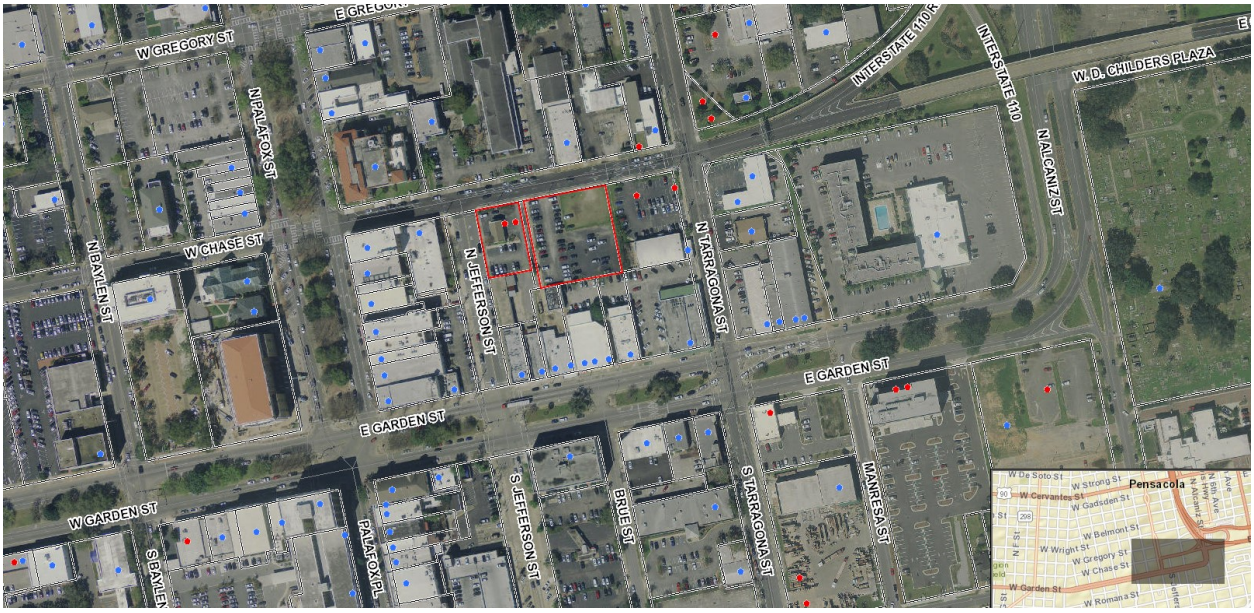
Chad Henderson and Tosh Belsinger are requesting *conceptual* review of a new hotel. The proposed new construction will be a Hilton Tapestry and will consist of nine stories. The first floor will be a lobby, restaurant, and kitchen, and the second floor will consist of two ballrooms, a meeting room, and fitness room. Floors two through eight will be guest rooms, and the ninth floor will have a rooftop restaurant and bar.

This review includes a conceptual site plan, floor plans and building elevations along with detailed renderings. Although the renderings show the greater East Garden District plan, this review is only for the hotel building and site. Façade materials were chosen to complement the historic commercial district with precast stone and brick being the primary elements. Since this is for conceptual review, a final review with more information on specific materials will follow.

Please find attached all relevant documentation for your review.

<u>RECOMMENDED CODE SECTIONS</u>
Sec. 12-3-27(f)(2)b. Palafox Historic Business District, Decision guidelines
Sec. 12-3-27(f)(3) PHBD, Recommendation for changes

39 E. Chase Street



WEST ELEVATION

A200

June 2022 Plans

1 WEST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

SOUTH ELEVATION

A201

June 2022 Plans

1 SOUTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

NORTH ELEVATION

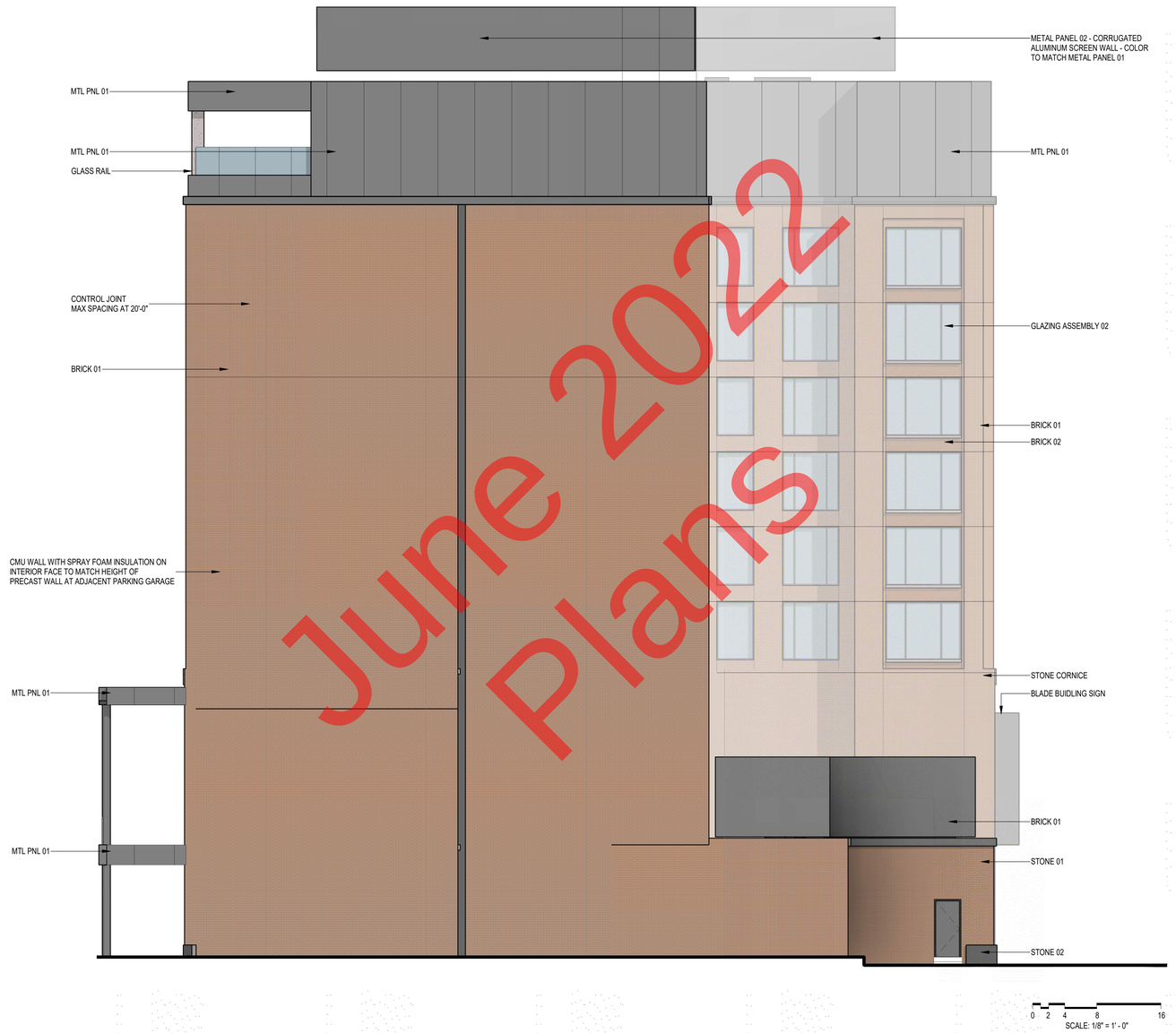
A202

June 2022 Plans

1 NORTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

EAST ELEVATION

A203



June 2022 Plans

1 EAST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

Board Member Yee commented that there was a lot of detail in the front porch elements. He suggested the architect to take a closer look at the roof line and the overhangs and where the eaves return, particularly on the front of the gables. He agreed that a change to a bay window would be an easier path forward and stated that the carport could receive a little care and detail. Perhaps adding pilasters at the brick wall which might change the scale.
Board Member mead stated that he had a chance to review the packet very carefully. He found the cupola on top of the tower is difficult and it appear more of an Italianate style. Overall, eclectic is widely used in this area, so mixtures of styles can be done. However, this has more of a Victorian-Italianate style, but that does not carry to the rest of the elevations. It should be more incorporated into the roof forms. Overall, the front façade should work. The cupola is too flat and should be more pointed, a little more gothic if the Victorian theme is to be used. The shingle siding treatment is appropriate for a Victorian.
Board Member Yee motioned to conceptually approved the application in light of the comments discussed; specially the comments regarding the turret being possibly changed to a bay window, the detailing around the roof eaves and cornice, and giving a little more attention to the car port. Board Member Courtney seconded the motion and it carried 6-0.

Item 7 39 E. Chase Street PHBD / C-2A
Demolition of a noncontributing structure
Action taken: Approved
Chad Henderson and Tosh Belsinger are requesting approval to demolish a noncontributing drive-thru bank structure, built in 2003. This request is in consideration with the next agenda item – a conceptual review for a new hotel. If the structure is determined to have no cultural, historical, or architectural significance, a demolition permit may be issued.
Mr. Henderson provided an overview of the East Garden District plan. Board Member Mead pointed out that it was a noncontributing structure, and its review was not contingent on replacement plans per Sec. 12-3-10(1)j. He found that the building did not have any historical significance per the section of ordinance.
Board Member Mead made a motion to approve the demolition. Board Member Fogarty seconded the motion and it carried 6-0.

Item 7 39 E. Chase Street PHBD / C-2A
Conceptual review for new construction.
Action taken: Approved with comments to be addressed in the final submission.
Chad Henderson and Tosh Belsinger are requesting conceptual review of a new hotel. The proposed new construction will be a Hilton Tapestry and will consist of nine stories. The first floor will be a lobby, restaurant, and kitchen, and the second floor will consist of two ballrooms, a meeting room, and fitness room. Floors two through eight will be guest rooms, and the ninth floor will have a rooftop restaurant and bar. This review includes a conceptual site plan, floor plans and building elevations along with detailed renderings. Although the renderings show the greater East Garden District plan, this review is only for the hotel building and site. Façade materials were chosen to complement the historic commercial district with precast stone and brick being the primary elements. Since this is for conceptual review, a final review with more information on specific materials will follow.

Mr. Ebent presented to the Board and provided an architectural overview of the proposed hotel building. Chairman Salter stated that this is a very exciting project and that this section of town needed an addition like this. In regards to the hotel design, he had several comments. Since the building sits on the corner (Jefferson and Chase), and since the front of the building is identified as being on Jefferson, the Chase Street side appears to be a service elevation with mechanical screening on the second floor. Chase Street is one-way and is somewhat of an exit street out of Pensacola as opposed to an entrance. Keeping that in mind, he didn't have an issue with how it is laid out but would like to see further consideration on how the mechanical screening and the Chase Street elements are addressed since much of it will be visible, both from the street level and from the elevated roadways. He wanted this elevation to have a lot of care. Chairperson Salter also spoke to the middle masonry sections. He appreciated the masonry element and wanted to know if there was any thought into having some additional brick detailing such as recesses or on exaggerating the details a bit. The building is not trying to be historic which is ok. But the detail elements in our existing historic buildings are not minor so the exaggerated details give our existing historic buildings a monumental feel. Chairperson Salter asked if consideration could be given to these thoughts going forward so that the mass and monumentality of the masonry middle section could relate in a way to nearby historic buildings.
Board Member Mead echoed Chairperson Salter's comments. The south side of the building spoke to and feels like Pensacola. The Jefferson Street side with the large awning did not so much. It was clear that the building was opening from the inside out in terms of the fenestration. From the ARB perspective, he was looking for a way to open the building up from the outside in so that it can be appreciated and be an amenity to the city. He also echoed comments about the treatment of the service areas but turning the corner with the limestone and with the strong vertical elements spoke to the federal courthouse building. We need to make sure we're relating the building to how citizens would want to experience the building from the outside looking in. Board Member Mead stated that he would almost like to see more balcony treatment than awning on the Jefferson Street side. Having walkout areas, especially in the meeting areas, would be an amenity from the standpoint of the use of those areas from the inside out. It may not make sense to wrap it around the corner on the Chase side but recessed in from the corners will provide an amenity to the use and to the streetscape. The building is a little too monumental at the low level. Monumental works up high, but not so much at the lower level. On the height – Board Member Mead asked if there were exceptions and staff clarified that there were, but only for non-occupiable spaces and Sec. 12-3-62 was referenced. Mr. Ebent clarified that most of the height exceeding 100 feet was mechanical space. Board Member Mead was amenable to the height, especially if it were for service areas. He liked the top as it was an interesting juxtaposition. Advisor Pristera really like the building and looked forward to seeing development on this block. For once, it wasn't an entire block being developed at once and was nice to see individual buildings being built on separate parcels. He echoed the Board's comments and emphasized that the north and east elevations were the weakest sides. They would be seen from Chase Street and other areas, and they should be considered. There was originally planned to be a parking garage on the east side. Mr. Belsinger addressed the Board and clarified the parking solutions for the project. They are advancing a surface parking lot behind this building which will be heavily landscaped. There are also conversations with the city regarding off-site parking. Advisor Pristera recommended some treatment to the east wall; maybe recessed areas which will provide an aesthetic in the meantime. Mr. Ebent clarified that the east side was situated along a zero-lot line, so windows were not an option. Board Member Yee echoed the comments of the Board and was excited for this project. Board Member Mead agreed that Chase Street was an exit corridor and understood the north elevation being sparer. However, the top of

the building above the street level is very visible from the Interstate 110 flyover. From that perspective, it would be very helpful to have a rendering of what people will see as they're driving into Pensacola. Advisor Pristera mentioned that this building will be one of the main things that people see, so we don't want the two weakest sides hurting the project.
Board Member Mead moved to approve with the comments to be addressed in the final submission. Board Member Yee seconded the motion and it carried 6-0.

ADJOURNMENT – With no further business, the meeting adjourned at 3:44 p.m.

Respectfully Submitted,

Historic Preservation Planner Harding
Secretary to the Board

City of Pensacola
America's First Settlement And Most Historic City

Architectural Review Board Application
Full Board Review

Application Date: July 28, 2022

Project Address: **39 East Chase Street, Pensacola, FL 32502**

Applicant: Chad Henderson & Tosh Belsinger

Applicant's Address: 41 N. Jefferson Street, 4th Floor Pensacola, FL 32502

Email: *tbelsinger@catalysthre.com* Phone: 8507762655

Property Owner: 41 N. Jefferson Street, LLC - Chad Henderson, Managing Member
(If different from Applicant)

District: ☐ ***PHD*** ☐ ***NHPD*** ☐ ***OEHPD*** ☑ ***PHBD*** ☐ ***GCD***

Application is hereby made for the project as described herein:

☐ Residential Homestead – $50.00 hearing fee

☑ Commercial/Other Residential – $250.00 hearing fee

** An application shall be scheduled to be heard once all required materials have been submitted and it is deemed complete by the Secretary to the Board. You will need to include ten (10) copies of the required information. Please see pages 3 – 4 of this application for further instruction and information.*

Project specifics/description:

***** FINAL REVIEW *****

Proposed new construction Hilton Tapestry boutique hotel.

9 story & 144 keys

1st Floor > Lobby, restaurant, private dining room, back of the house, kitchen

2nd Floor > ballrooms, 1 high performance meeting room, fitness room, back of the house

3rd, 4th, 5th, 6th, 7th, & 8th Floors > Guest Rooms

9th Floor > Rooftop restaurant & bar, back of house

I, the undersigned applicant, understand that payment of these fees does not entitle me to approval and that no refund of these fees will be made. I have reviewed the applicable zoning requirements and understand that I must be present on the date of the Architectural Review Board meeting.

Signature on File

Applicant Signature Date

Planning Services
222 W. Main Street * Pensacola, Florida 32502
(850) 435-1670
Mail to: P.O. Box 12910 * Pensacola, Florida 32521

Catalyst
healthcare real estate

HILTON TAPESTRY HOTEL

PENSACOLA, FLORIDA

Kahler Slater

ARCHITECTURAL REVIEW BOARD
JULY 28 , 2022 SUBMITTAL

CONTENTS

SITE INFORMATION

PERSPECTIVES

MATERIALS

LIGHTING

CANOPY

FACADE DETAILS

ROOFTOP DETAILS

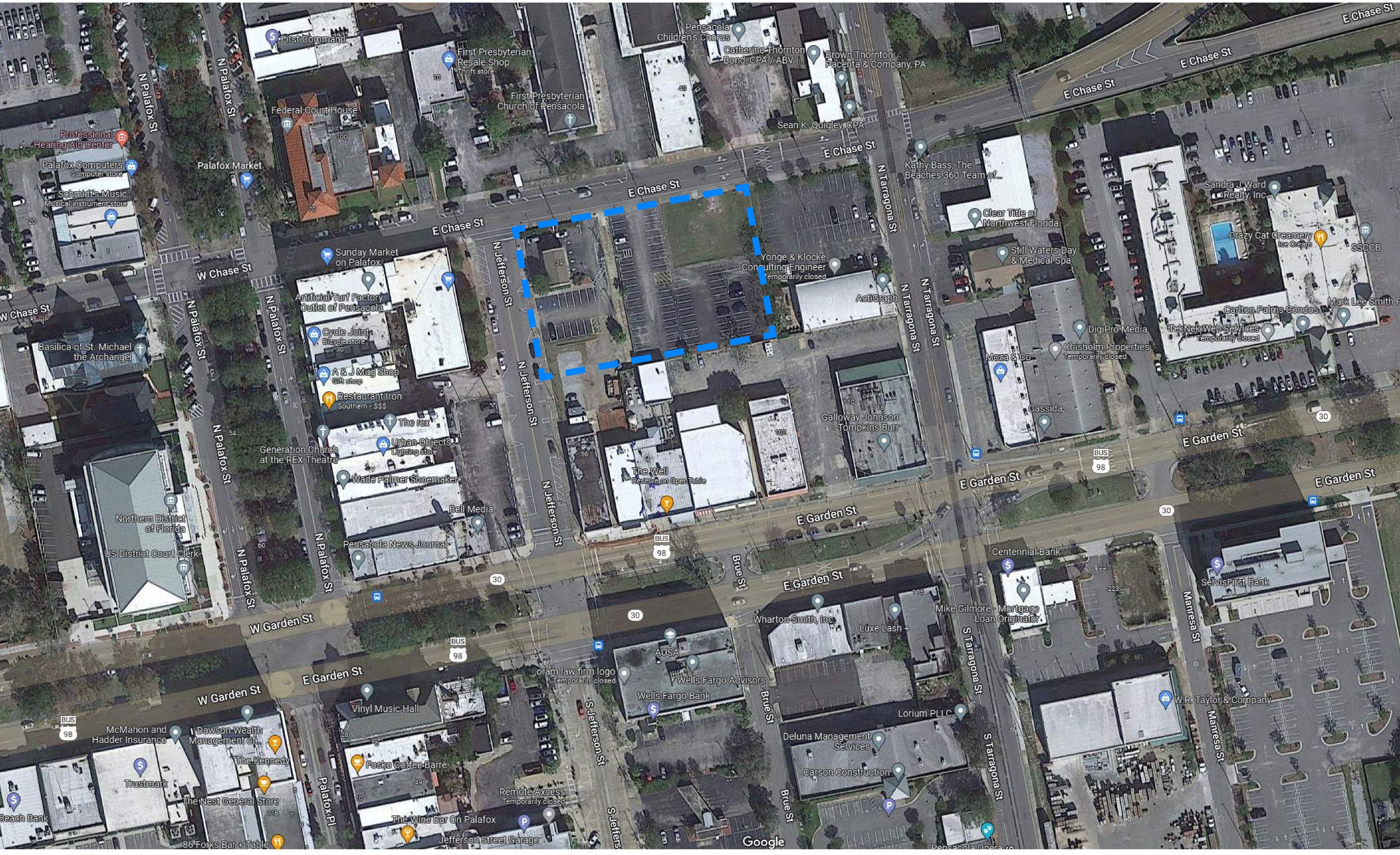
EAST WALL DESIGN

FLOOR PLANS

ELEVATIONS

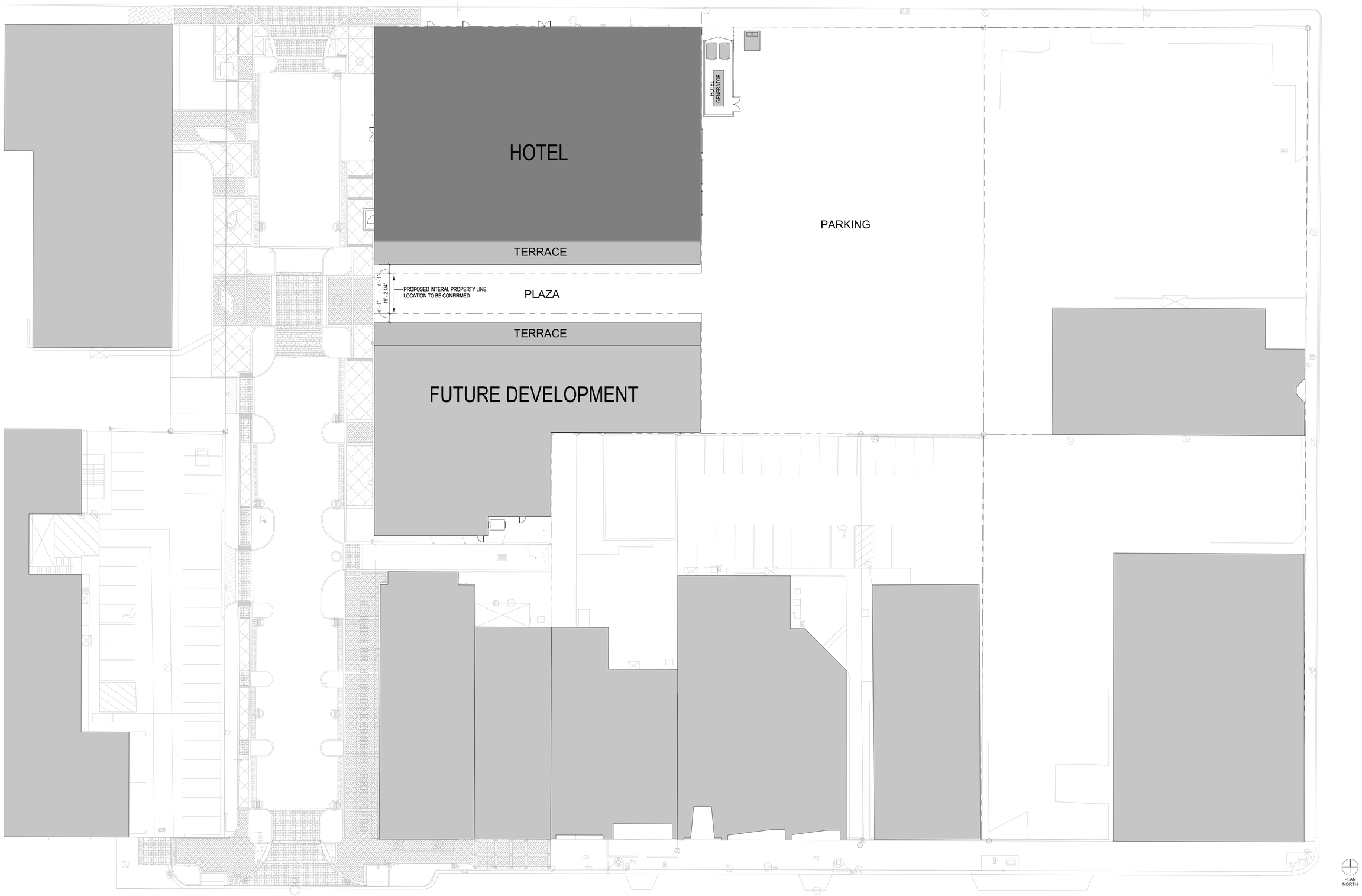
REFERENCE IMAGES

SITE LOCATION



SITE IMAGES

SITE PLAN



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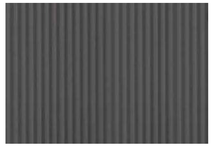
HOTEL PERSPECTIVE

HOTEL MATERIALS

METAL 01

CHARCOAL COLOR
B.O.D. - ALPOLIC CNC CHARCOAL
ALUMINUM COMPOSITE PANEL
WINDOW FRAME AND DOORS
TRELLIS COLOR

METAL 02



CHARCOAL COLOR
TO MATCH METAL 01
CORRUGATED METAL PANEL

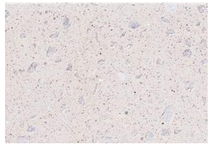
BRICK 01

MODULAR BRICK
FULL RANGE VELOUR
RUNNING BOND
TINTED MORTAR

BRICK 02

MODULAR BRICK
RED VELOUR
RUNNING BOND
TINTED MORTAR

CAST STONE 01

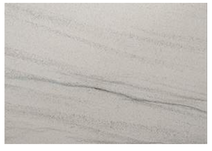


PRECAST SILL
TO MATCH STONE 01

ALUMINUM RAILING

VERTICAL PICKET
CHARCOAL COLOR

STONE 01



ALABAMA LIMESTONE
SILVER SHADOW
VEINE CUT
HONED

STONE 02

GRANITE
MESABI BLACK
DIAMOND 8 FINISH

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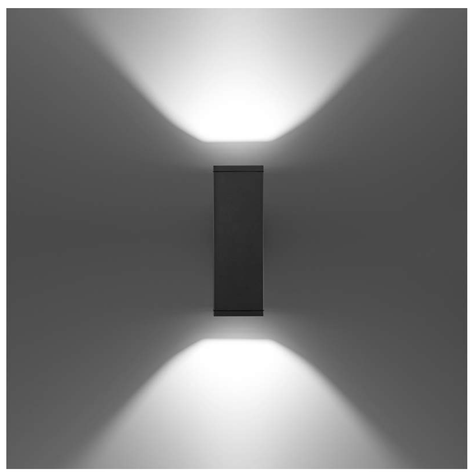
HOTEL LIGHTING

STRING LIGHTING

LINEAR LIGHT AT CANOPY

UP LIGHTING AT BRICK REVEALS

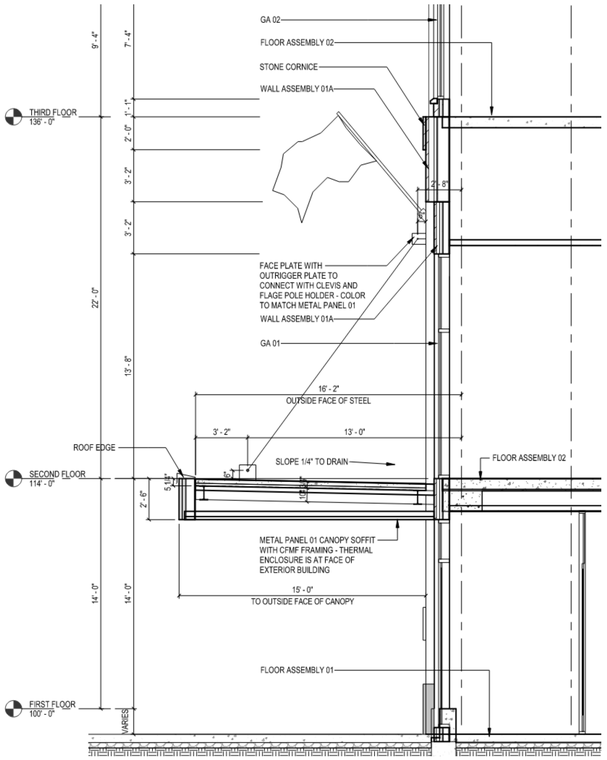
WALL SCONCE



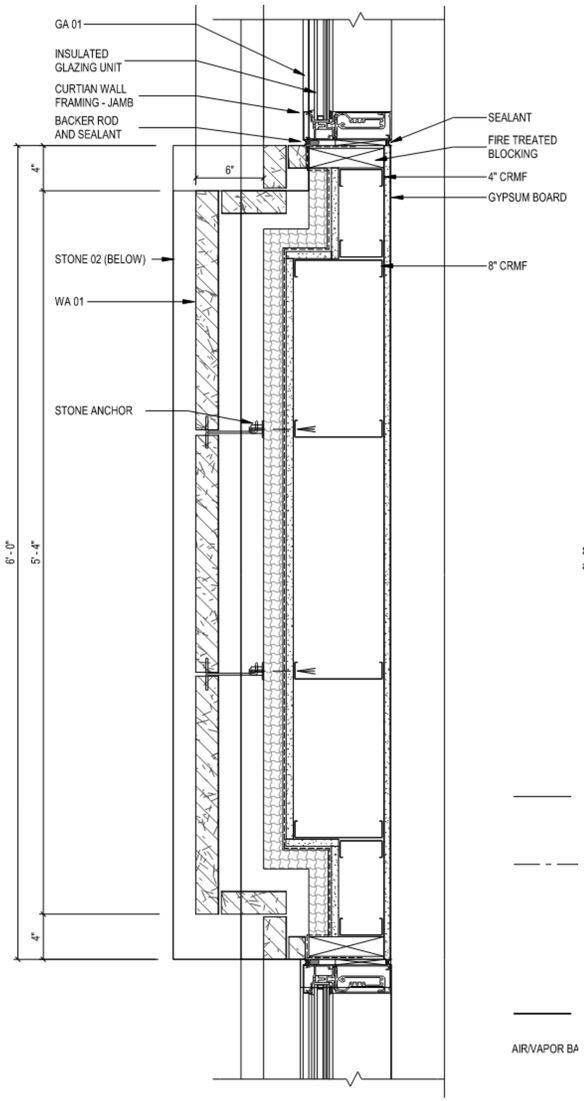
HOTEL PERSPECTIVE

HOTEL PERSPECTIVE

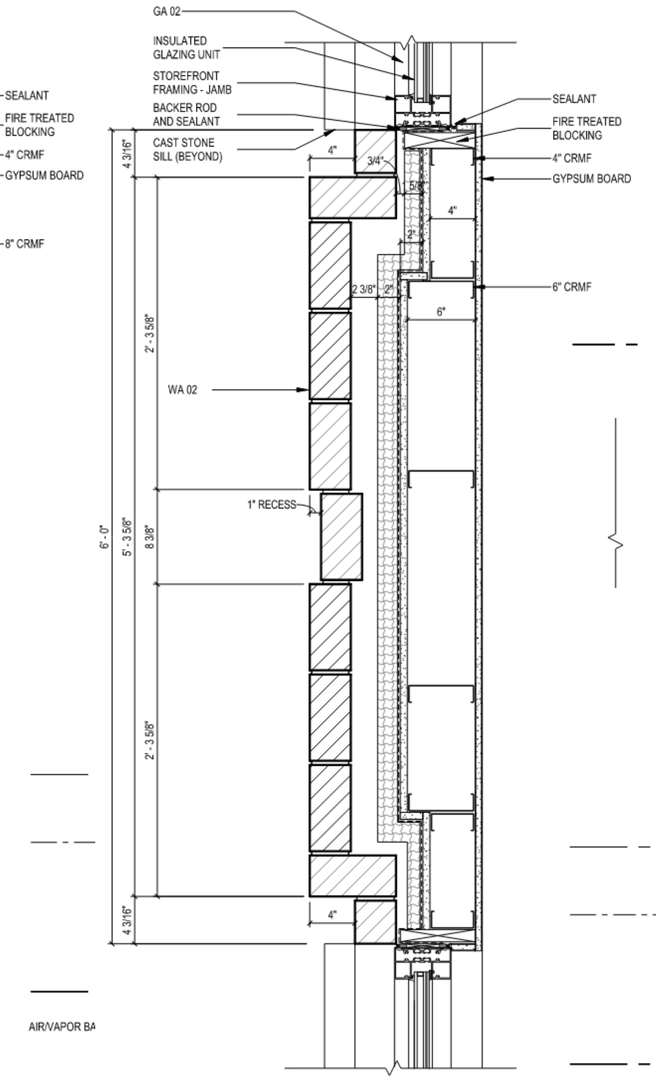
CANOPY DESIGN



MASONRY DETAILS



4 STONE BASE - PLAN
1 1/2" = 1'-0"



GUESTROOM PIER - PLAN
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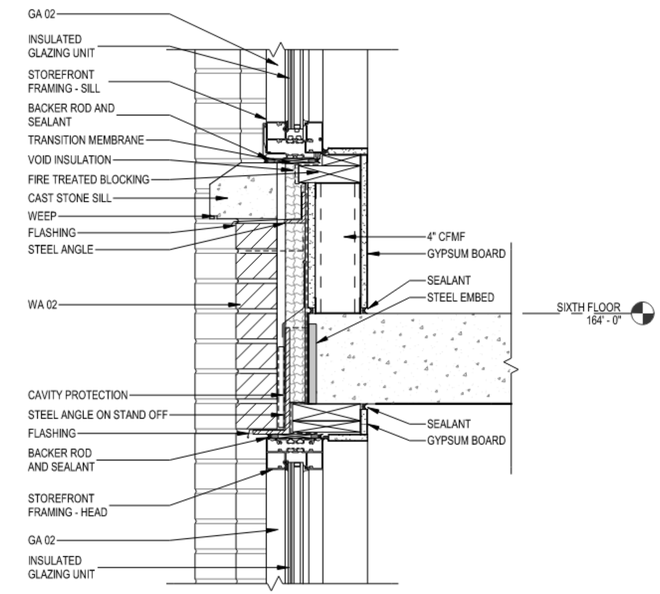
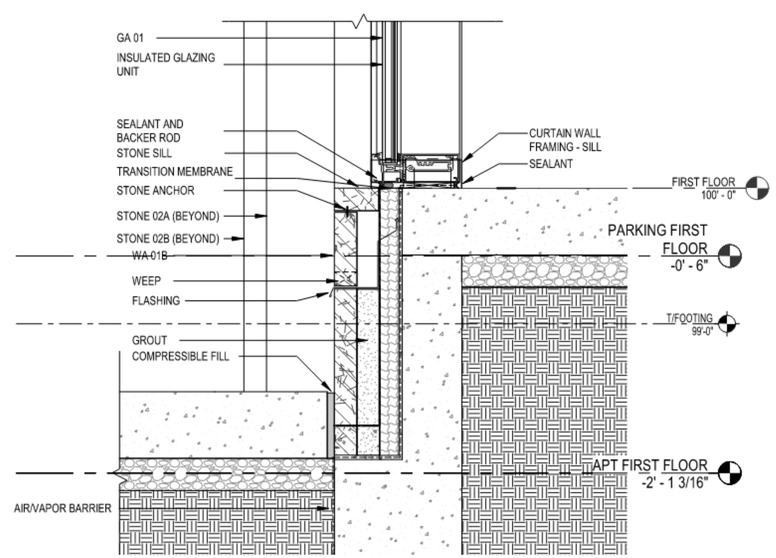
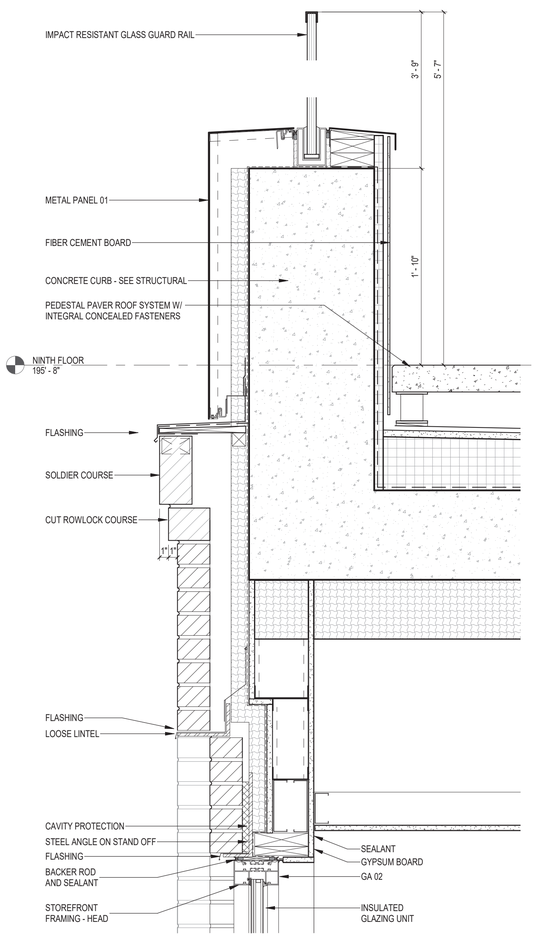


2 TYPICAL MASONRY SPANDREL
1 1/2" = 1'-0"



1 STONE BASE
1 1/2" = 1'-0"

ROOFTOP DETAILS



3 PARAPET AT GLASS RAIL
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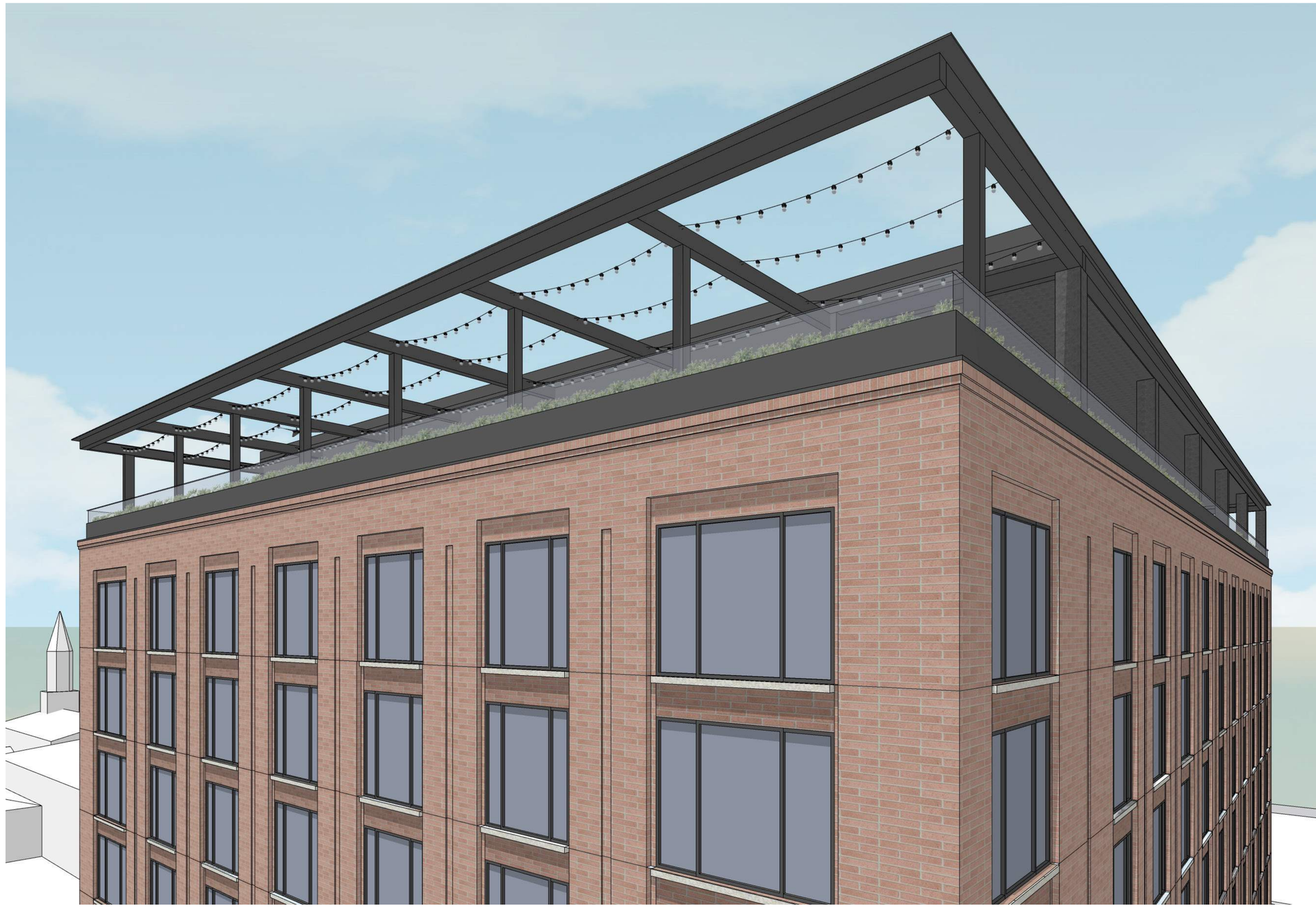
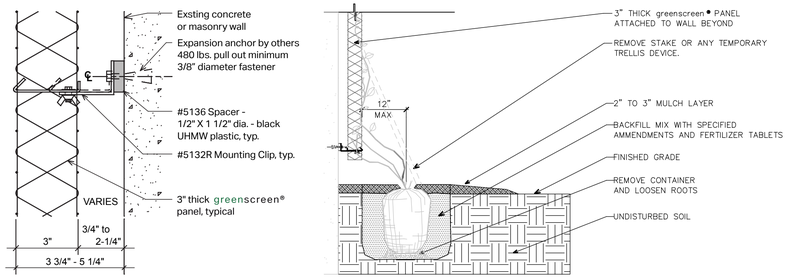


EAST FACADE

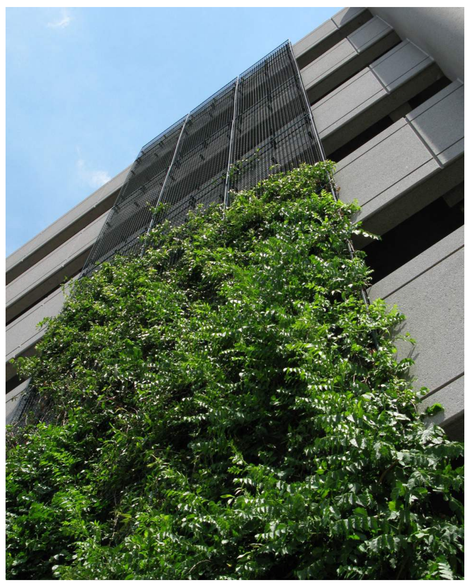
GREENSCREEN FACADE



SECTIONS

TRIM

MATTE BLACK COLOR

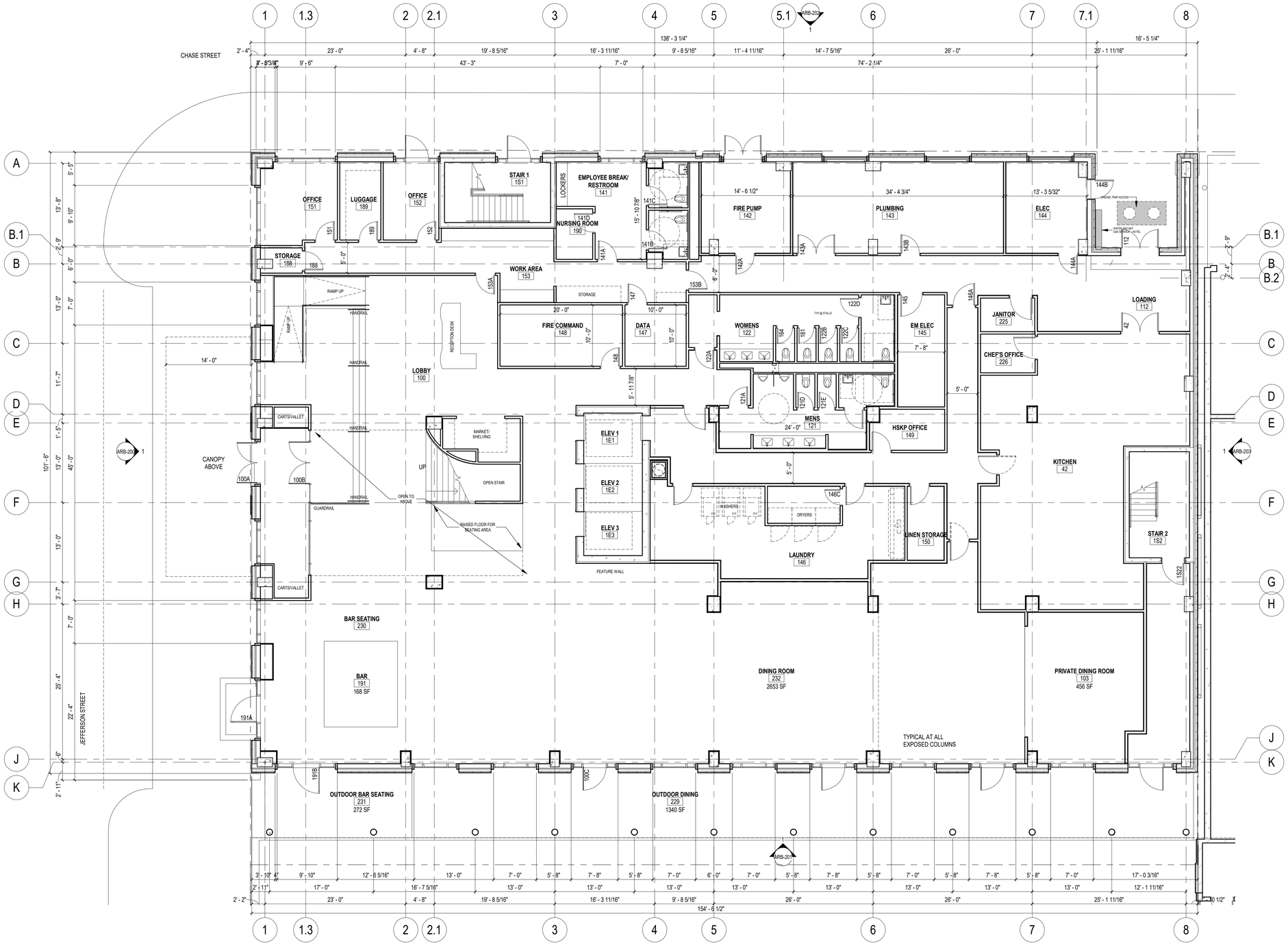


HOTEL PERSPECTIVE FROM I-110

GOOGLE EARTH AERIAL

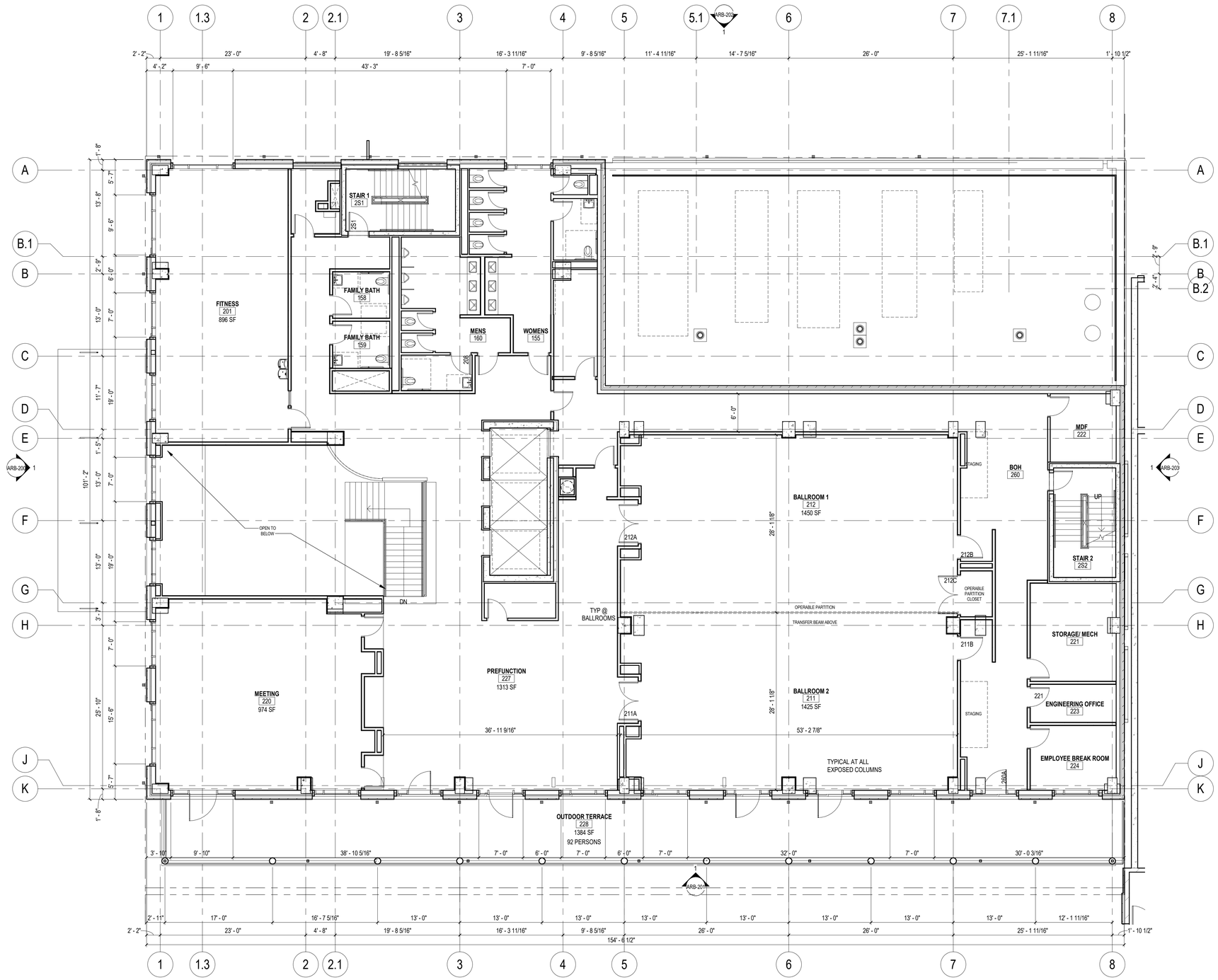
GOOGLE EARTH AERIAL

GROUND FLOOR PLAN



1 01 - 1ST FLOOR PLAN ARB
1/8" = 1'-0"

SECOND FLOOR PLAN



1 02 - 2ND FLOOR PLAN ARB
1/8" = 1'-0"

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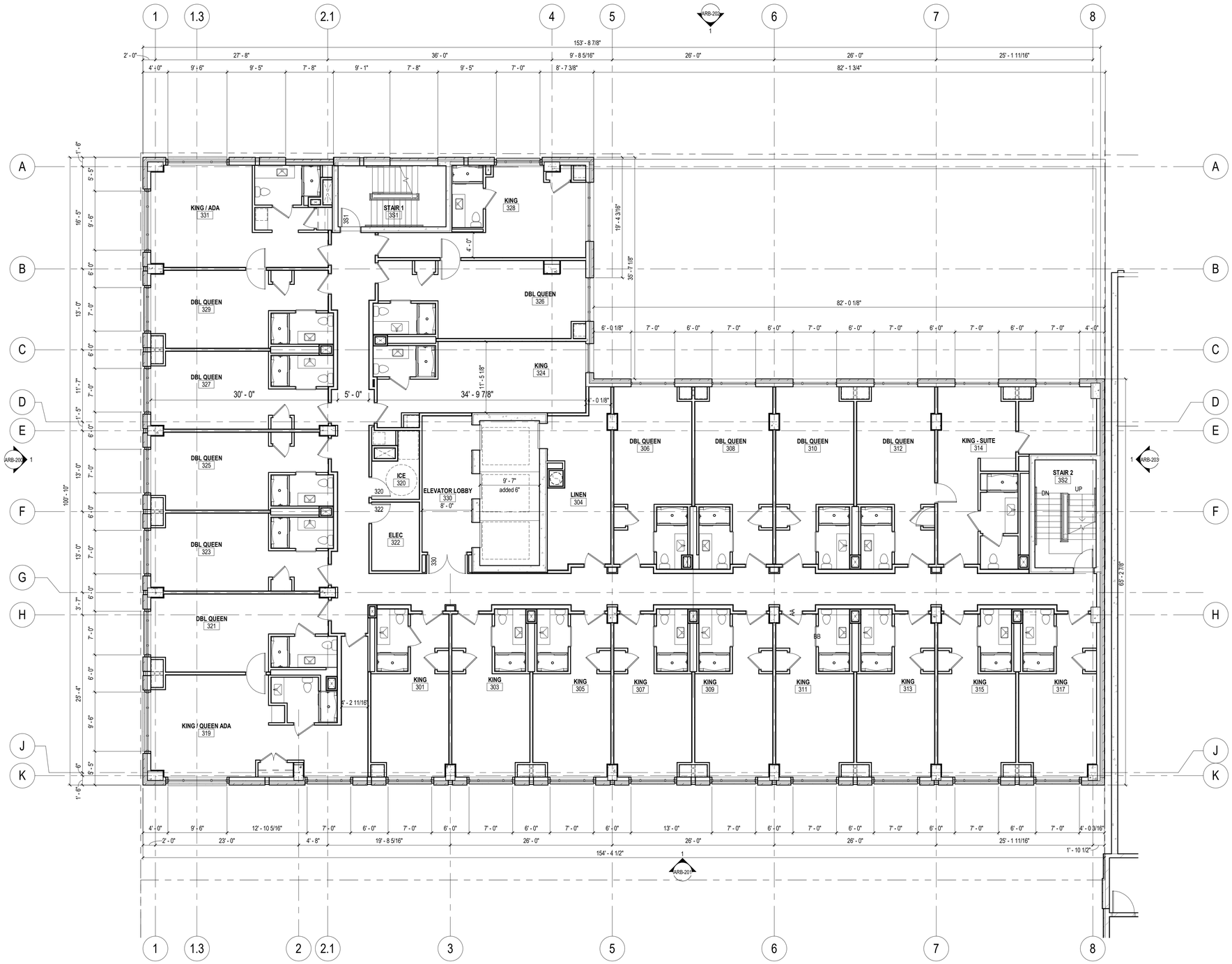
TYPICAL FLOOR PLAN - 3RD-8TH



1 03 - 3RD - 8TH TYPICAL FLOOR PLAN ARB
1/8" = 1'-0"

SCALE: 1/8" = 1' - 0"

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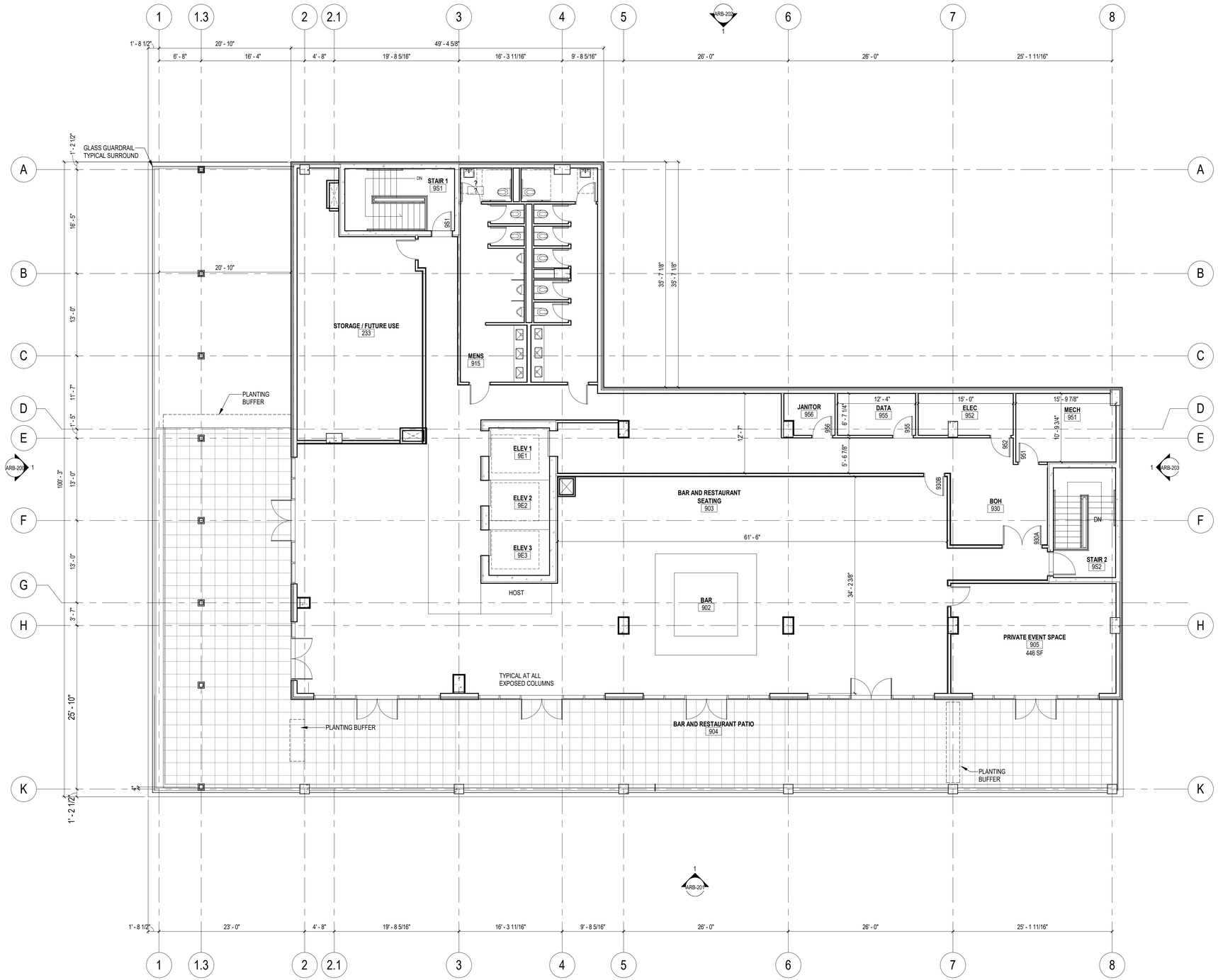
NINTH FLOOR PLAN



1 09 - NINTH FLOOR ARB
1/8" = 1'-0"

SCALE: 1/8" = 1' - 0"

PLAN NORTH

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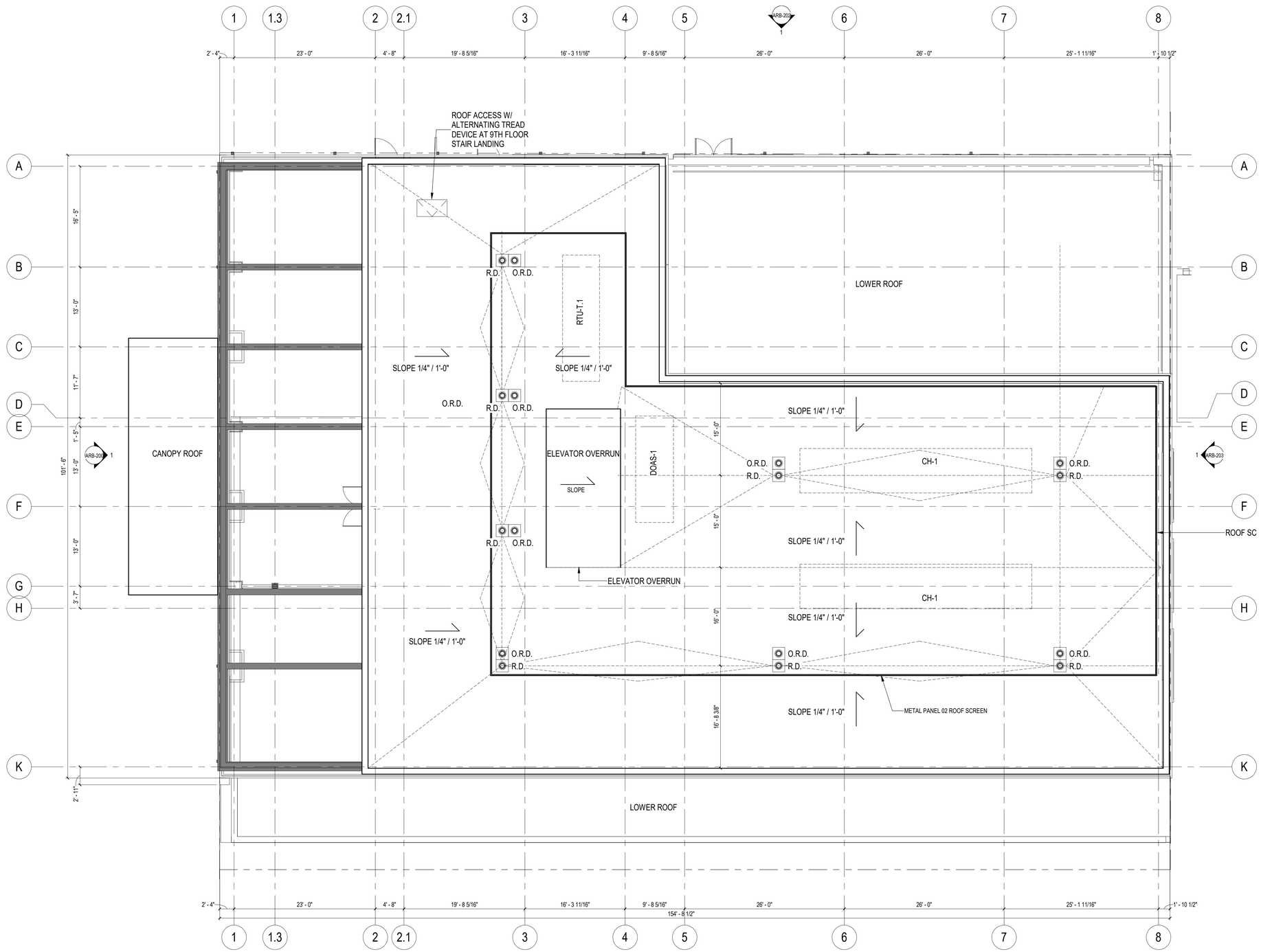
ROOF PLAN



1 ROOF PLAN ARB
1/8" = 1'-0"

SCALE: 1/8" = 1' - 0"

PLAN NORTH

WEST ELEVATION

1 WEST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

METAL 01

CHARCOAL COLOR
B.O.D. - ALPOLIC CNC CHARCOAL
ALUMINUM COMPOSITE PANEL
WINDOW FRAME AND DOORS
TRELLIS COLOR

METAL 02

CHARCOAL COLOR
TO MATCH METAL 01
CORRUGATED METAL PANEL

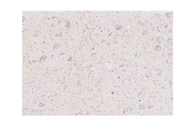
BRICK 01

MODULAR BRICK
FULL RANGE VELOUR
RUNNING BOND
TINTED MORTAR

BRICK 02

MODULAR BRICK
RED VELOUR
RUNNING BOND
TINTED MORTAR

CAST STONE 01



PRECAST SILL
TO MATCH STONE 01

ALUMINUM RAILING

VERTICAL PICKET
CHARCOAL COLOR

STONE 01

ALABAMA LIMESTONE
SILVER SHADOW
VEINE CUT
HONED

STONE 02

GRANITE
MESABI BLACK
DIAMOND 8 FINISH

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SOUTH ELEVATION

1 SOUTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

METAL 01

CHARCOAL COLOR
B.O.D. - ALPOLIC CNC CHARCOAL
ALUMINUM COMPOSITE PANEL
WINDOW FRAME AND DOORS
TRELLIS COLOR

METAL 02

CHARCOAL COLOR
TO MATCH METAL 01
CORRUGATED METAL PANEL

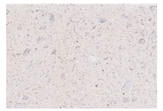
BRICK 01

MODULAR BRICK
FULL RANGE VELOUR
RUNNING BOND
TINTED MORTAR

BRICK 02

MODULAR BRICK
RED VELOUR
RUNNING BOND
TINTED MORTAR

CAST STONE 01

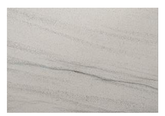


PRECAST SILL
TO MATCH STONE 01

ALUMINUM RAILING

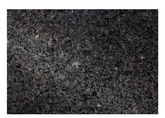
VERTICAL PICKET
CHARCOAL COLOR

STONE 01



ALABAMA LIMESTONE
SILVER SHADOW
VEINE CUT
HONED

STONE 02



GRANITE
MESABI BLACK
DIAMOND 8 FINISH

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NORTH ELEVATION

1 NORTH EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

METAL 01

CHARCOAL COLOR
B.O.D. - ALPOLIC CNC CHARCOAL
ALUMINUM COMPOSITE PANEL
WINDOW FRAME AND DOORS
TRELLIS COLOR

METAL 02

CHARCOAL COLOR
TO MATCH METAL 01
CORRUGATED METAL PANEL

BRICK 01

MODULAR BRICK
FULL RANGE VELOUR
RUNNING BOND
TINTED MORTAR

BRICK 02

MODULAR BRICK
RED VELOUR
RUNNING BOND
TINTED MORTAR

CAST STONE 01

PRECAST SILL
TO MATCH STONE 01

ALUMINUM RAILING

VERTICAL PICKET
CHARCOAL COLOR

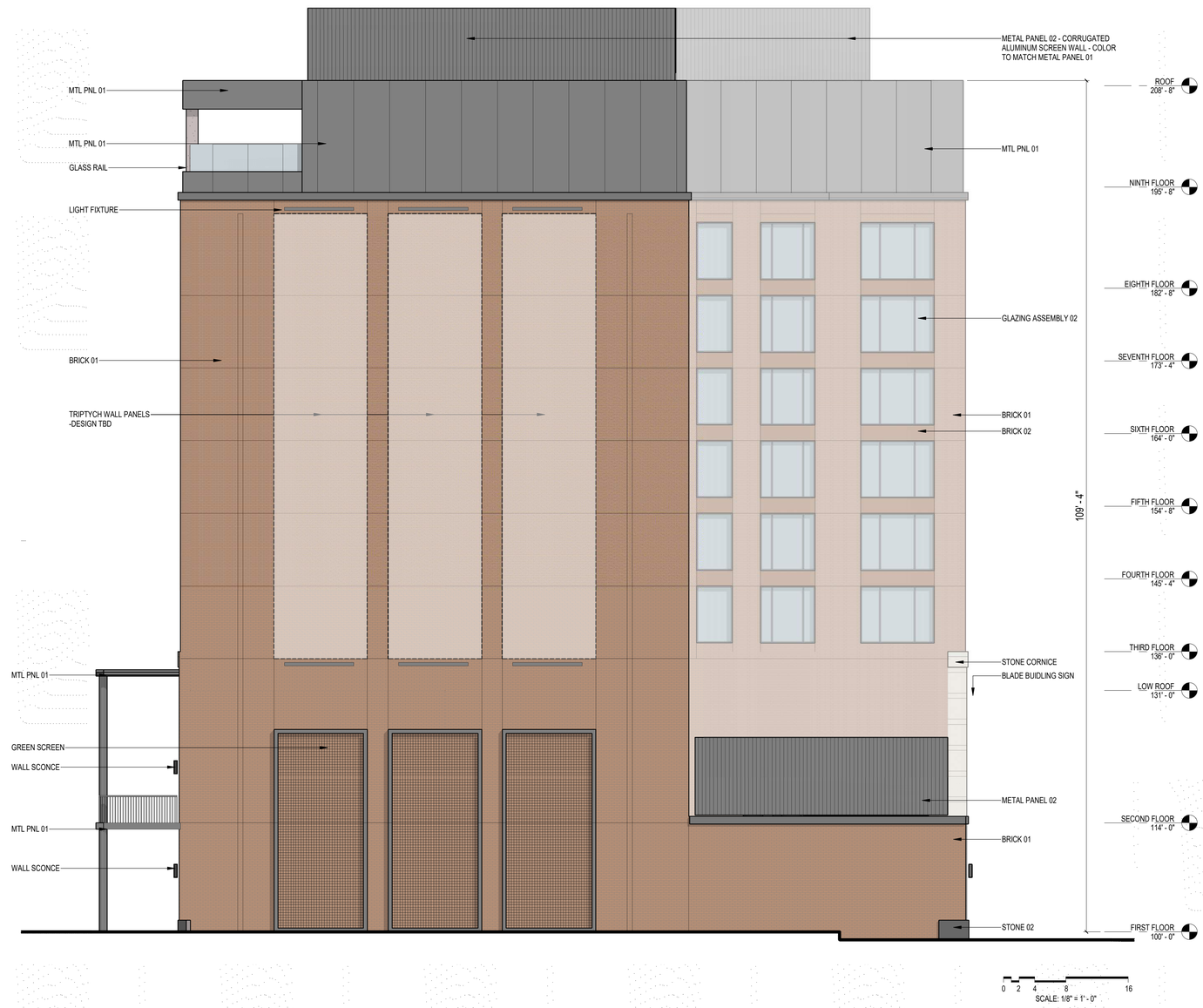
STONE 01

ALABAMA LIMESTONE
SILVER SHADOW
VEINE CUT
HONED

STONE 02

GRANITE
MESABI BLACK
DIAMOND 8 FINISH

EAST ELEVATION



1 EAST EXTERIOR ELEVATION COLOR
1/8" = 1'-0"

METAL 01

CHARCOAL COLOR
B.O.D. - ALPOLIC CNC CHARCOAL
ALUMINUM COMPOSITE PANEL
WINDOW FRAME AND DOORS
TRELLIS COLOR

METAL 02

CHARCOAL COLOR
TO MATCH METAL 01
CORRUGATED METAL PANEL

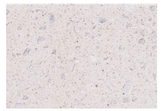
BRICK 01

MODULAR BRICK
FULL RANGE VELOUR
RUNNING BOND
TINTED MORTAR

BRICK 02

MODULAR BRICK
RED VELOUR
RUNNING BOND
TINTED MORTAR

CAST STONE 01

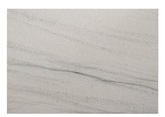


PRECAST SILL
TO MATCH STONE 01

ALUMINUM RAILING

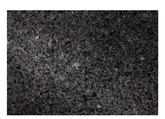
VERTICAL PICKET
CHARCOAL COLOR

STONE 01



ALABAMA LIMESTONE
SILVER SHADOW
VEINE CUT
HONED

STONE 02



GRANITE
MESABI BLACK
DIAMOND 8 FINISH

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MASTERPLAN RENDERINGS - FOR REFERENCE ONLY

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Features

- 1600 Wall System®3 is an inside / outside glazed captured curtain wall
- 1600 Wall System®3 has a 2-1/2" (63.5) sight line
- Standard 6" (152.4) or 7-1/2" (190.5) depth systems are compatible with System®1 and System®2
- Inside glazed verticals utilize the IsoStrut® thermal barrier to provide superior structural and thermal performance
- Integral vertical exterior cover and thermal barrier reduce installed cost
- Horizontals utilize a thermal separator and pressure plate to allow for glazing or re-glazing from the exterior
- Standard infill options are 1/8" (3.2), 1/4" (6.4) and 1" (25.4)
- Thermally Broken by means of a continuous 1/4" (6.4) low conductance spacer
- Concealed fastener joinery creates smooth, monolithic appearance
- Shear block fabrication method
- Standard 90 and 135 degree inside and outside corners
- Offers integrated entrance framing systems
- Peroxide-cure high performance EPDM silicone compatible glazing materials for long-lasting seals
- Two color option
- Permanodic® anodized finishes in seven choices
- Painted finishes in standard and custom choices

Optional Features

- Steel reinforcing
- Integrates with standard Kawneer windows and GLASSvent® windows for curtain wall
- 1600 PowerWall® solar photovoltaic (PV) infill in lieu of glass

Product Applications

- Ideal for low-rise to high-rise curtain wall applications where inside glazing and high performance is desired

For specific product applications,
consult your Kawneer representative.

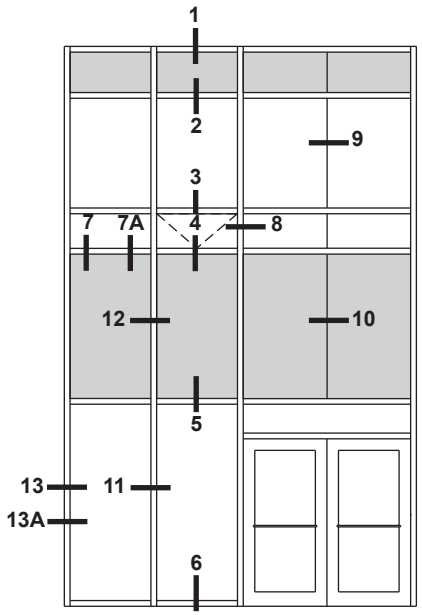
1600 Wall System®3 Curtain Wall

MARCH, 2021

TYPICAL 1/4 SIZE DETAILS

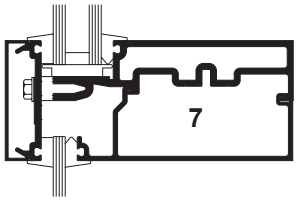
EC 97911-245

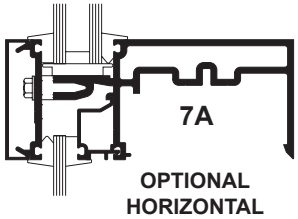
Additional information and CAD details are available at www.kawneer.com



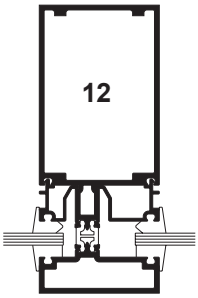
ELEVATION IS NUMBER KEYED TO DETAILS

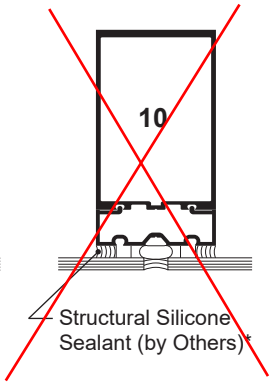
NOTE:
6" SYSTEM SHOWN, 7-1/2" SIMILAR.
INSIDE GLAZED IsoStrut® VERTICALS SHOWN.

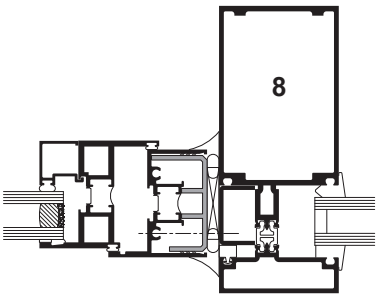


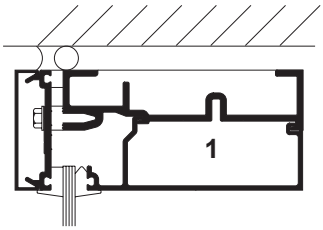


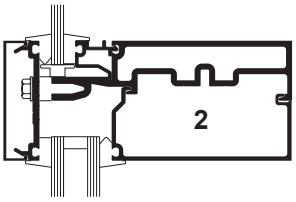
OPTIONAL HORIZONTAL

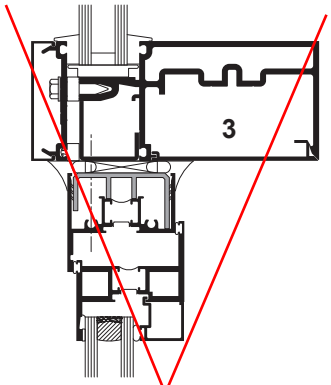


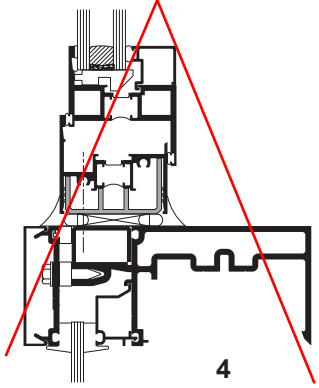


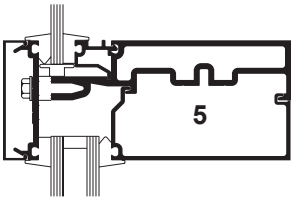


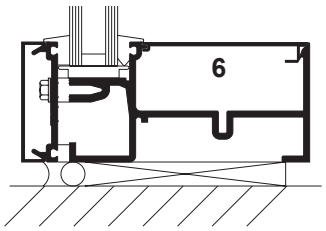




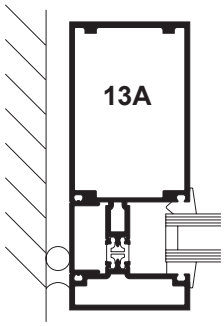


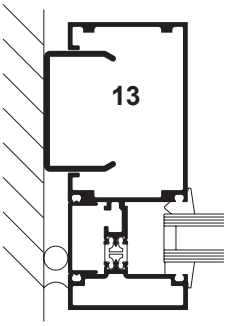


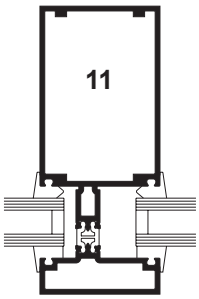


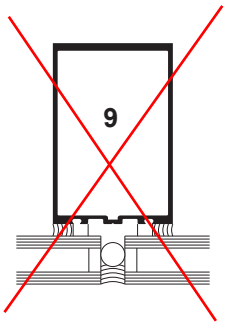


ALTERNATE JAMB









*** INSTALLER NOTE:** Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulated Glass Unit Manufacturers.

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Features

- IR 501T/IR 501UT is 5" (127) deep and has a 2-3/4" (69.9) sightline {Expansion mullions have a 3" (76.2) sightline}
- Screw Spline fabrication
- IR 501T Single IsoLock™ lanced pour and debridge thermal break
- IR 501UT Dual Isolock™ lanced pour and debridge thermal break
- Center glazed
- Outside glazed
- Permanodic™ anodized finishes in seven choices
- Painted finishes in standard and custom choices

Optional Features

- Integrated entrance framing
- 350 IR/500 IR - single or pairs of entrances
- Strap anchor at head and jamb
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-Factor (see thermal charts)

Product Applications

- Impact resistant
- Storefront, ribbon window or punched opening
- Low to mid-rise
- Single span
- GLASSvent™ Windows for Storefront Framing are easily incorporated

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For specific product applications,
consult your Kawneer representative.

IR 501T/501UT Framing

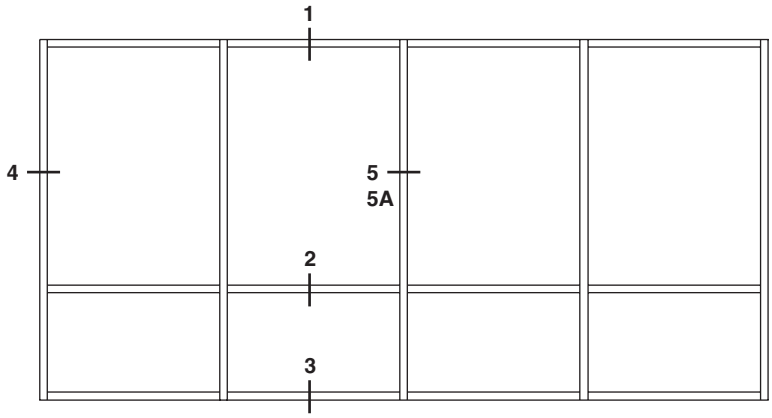
FEBRUARY, 2019

BASIC FRAMING DETAILS - 1-5/16" INFILL (WET GLAZED)

EC 97911-199

HURRICANE RESISTANT PRODUCT

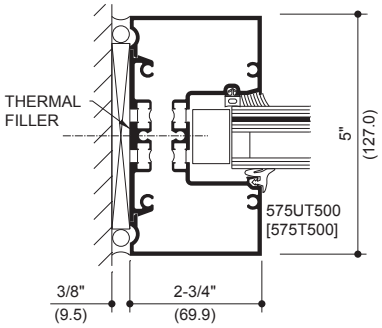
Additional information and CAD details are available at www.kawneer.com



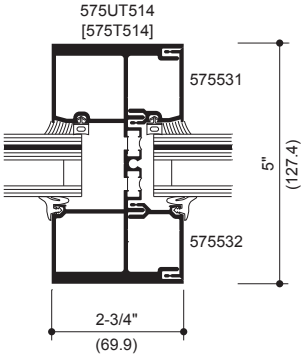
ELEVATION IS NUMBER KEYED TO DETAILS

IR 501T Single IsoLock™ THERMAL BREAK

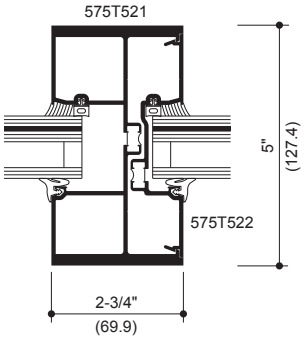
IR 501UT DUAL IsoLock™ THERMAL BREAK (SHOWN)



4 JAMB

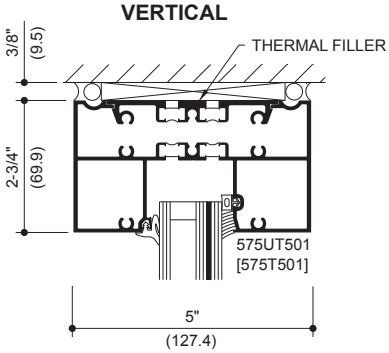


5 VERTICAL

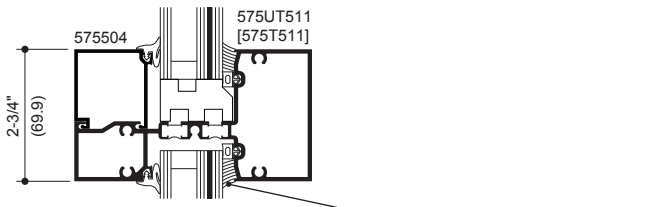


5A VERTICAL

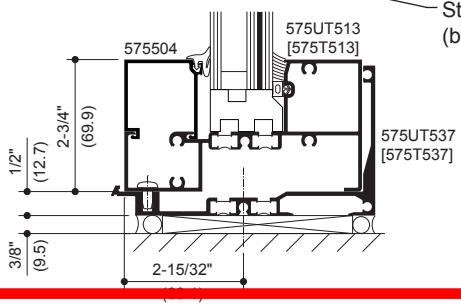
1 HEAD



2 HORIZONTAL



3 SILL



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feeney®

DesignRail®

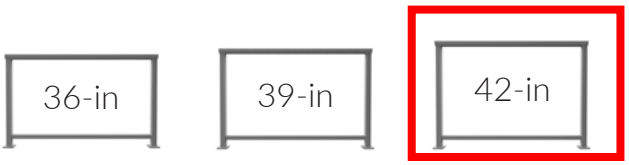
Create Your Own Railing Systems

Create Your Own

DesignRail® railings are easily adaptable to any exterior, interior, commercial, or residential project. Simply choose from the style options to create your perfect railing design.

STEP 1 Select a railing height

Posts for horizontal railings come pre-cut for 36-in, 39-in and 42-in railing heights. Stair or custom posts must be cut to height in the field and extrusions can be ordered in 10-ft or 20-ft lengths for that purpose. When using horizontal cable infill, all posts, including stair posts, are available pre-drilled for the cables.



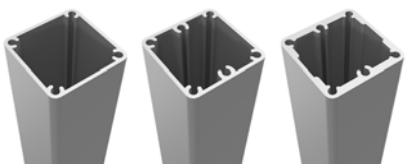
Building codes in your area may require your rails to meet a minimum height. Consult your local building codes when choosing a height for your project.

STEP 2 Select a mounting type

Posts are made from 2⅜-in square tube extrusions in three distinct cross-sectional profiles: Standard, Commercial Base Mount, and Heavy Duty. Each is specially engineered to provide optimal structural strength and design performance for specific usage and load conditions. Our customer service team will determine which posts are required depending on the type of project and the railing design options selected.

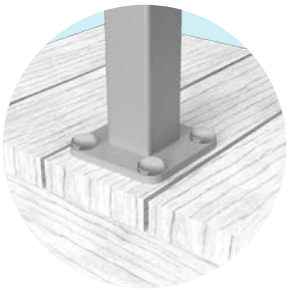
Our 90° single corner posts and pre-drilled stair posts and pickets will reduce installation time and save money when using horizontal CableRail cable infill (see pg.6).

POST TYPES *(Determined by project type, railing usage and conditions)*



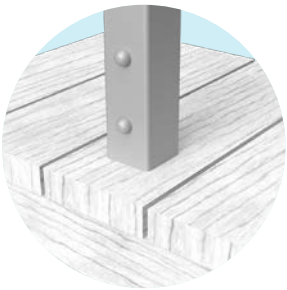
Square posts
Standard, Commercial Base Mount, and Heavy Duty profiles available.

45° posts
Standard and Commercial Base Mount profiles available.



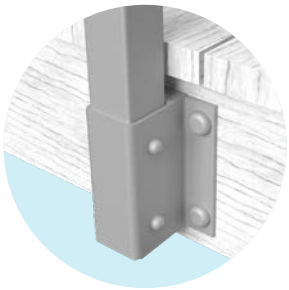
BASE MOUNT

- For top mounting to deck, patio, floor, or stair tread surfaces
- ⅜-in thick by 5-in square base plate for square posts and ⅜-in thick with a 1 5/16-in contour reveal for 45° posts
- Plates come pre-attached to posts
- Optional decorative base plate covers are available (see pg. 9)



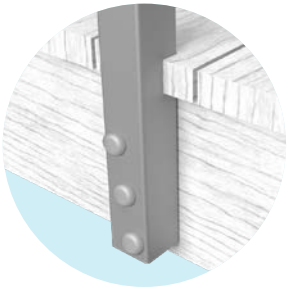
STANCHION MOUNT

- For mounting with stone or tile covered concrete slabs or on roof decks where penetration of waterproof roofing membranes must be minimized
- Stanchions are attached to the structural members prior to pouring the slab or laying the roof membrane. Railing posts are then sleeved over the protruding stanchion and secured with screws
- Available in steel, aluminum or stainless steel



FASCIA BRACKET MOUNT

- For side mounting to fascia or rim joists when decking or nosing trim extends beyond the edge of the fascia board
- Posts are attached using metal brackets that have 1¼-in standoff
- Railing may require a bottom rail when using this method



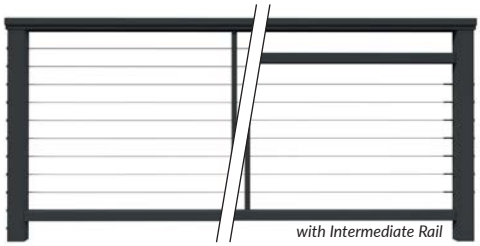
FASCIA MOUNT

- For side mounting to fascia boards, joists, or walls
- Posts come with pre-drilled bolt holes

STEP 3

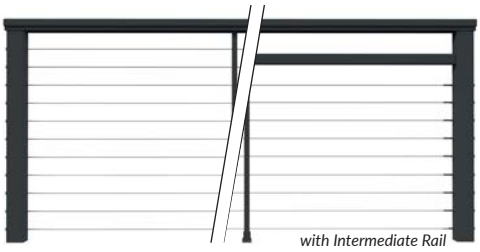
Select an infill type

With limitless design potential, Feeney makes it easy to create a cohesive look and feel from the inside-out with multiple infill and railing solutions that complement an array of interior and exterior styles.



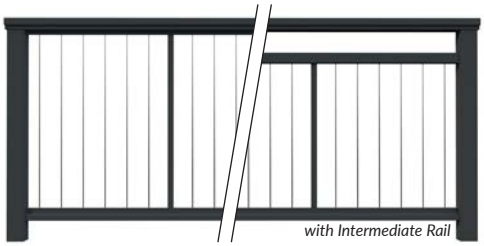
HORIZONTAL CABLES - BOTTOM RAIL

- Pre-fabricated 1/8-in diameter stainless steel CableRail Kits for easy cable installation
- A vertical intermediate picket is used mid-span to minimize cable deflection
- All posts and pickets come pre-drilled for cables



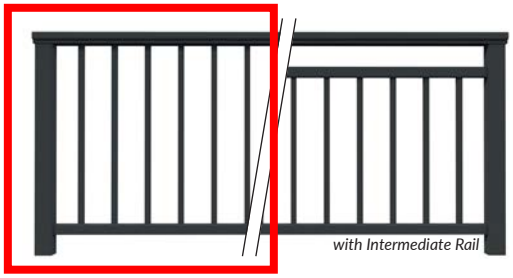
HORIZONTAL CABLES - NO BOTTOM RAIL

- Pre-fabricated 1/8-in diameter stainless steel CableRail Kits for easy cable installation
- A vertical intermediate picket is used mid-span to minimize cable deflection
- All posts and pickets come pre-drilled for cables



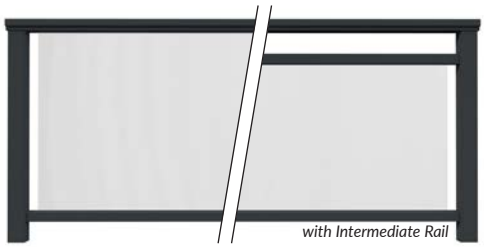
VERTICAL CABLES

- 1/8-in diameter 316-grade stainless steel cables come prefabricated to size with all of the attachment fittings, ready to install
- Two vertical intermediate pickets are spaced mid-span to maximize frame rigidity



VERTICAL PICKETS

- 3/4-in square aluminum pickets powder-coated to match the frame color
- Available in pre-assembled panels that can be trimmed to length



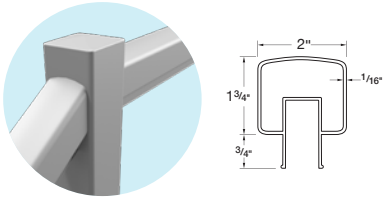
TEMPERED GLASS

- Clear or custom tinted panels that are easily inserted into vinyl lined slots in the Top Rail and Bottom Rail
- No special mounting hardware needed
- Glass panels are pre-cut to fit the final opening measurements

STEP 4

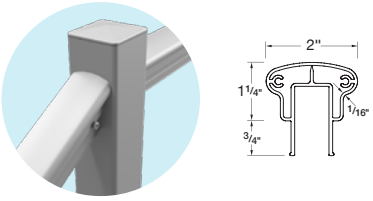
Select a top rail style

Top rails come in 6 styles and are sold in 10-ft and 20-ft lengths that can be trimmed to size in the field. Series 150 Graspable Top Rails are used on stairs to provide a graspable rail option. Series 150 and Series 100 Top Rails are attached to the faces of the posts using Rail Connecting Brackets (RCBs). Series 200, 300, and 450 Top Rails rest on the tops of the posts and are secured with stainless steel screws. Applied Continuous Handrails with extensions and returns are available as an accessory item to meet ADA and code handrail requirements (see page 14).



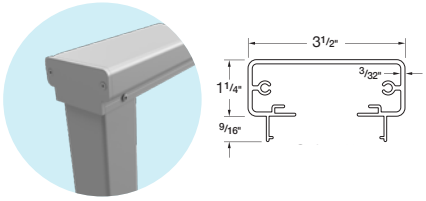
SQUARE TOP RAIL (Series 100)

- 2-in wide square-shaped top rail
- The narrow width allows it to be installed between posts (using RCBs) instead of on top of posts, creating a newel-post-style railing with posts rising above the top rail
- Post to post top rail



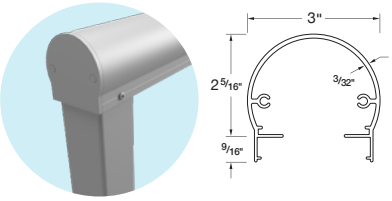
GRASPABLE TOP RAIL (Series 150)

- 2-in wide top rail with easy-to-grasp shape
- Can be used for both stair and horizontal railings
- Meets residential code requirements for stair handrail sizing. Requires a handrail when used on stairs in commercial settings
- Available in new woodgrain colors* (Weathered Gray, Cherry, Walnut)



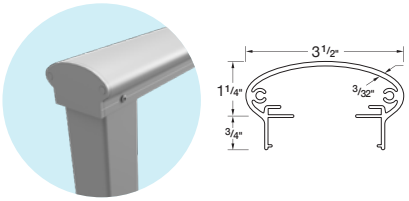
RECTANGLE TOP RAIL (Series 200)

- 3½-in wide rectangular top rail
- The flat surface is a convenient perch for your favorite beverage as you relax and gaze at the view
- Requires a handrail when used on stairs
- Available in new woodgrain colors* (Weathered Gray, Cherry, Walnut)
- Over the post top rail



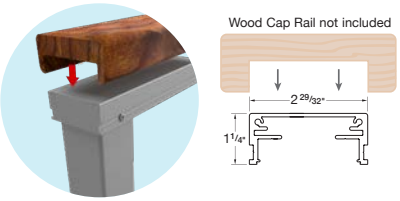
ROUND TOP RAIL (Series 300)

- 1½-in radius top rail
- The smooth rounded shape offers a more contemporary accent to those less traditional architectural designs
- Requires a handrail when used on stairs
- Over the post top rail



ELLIPTICAL TOP RAIL (Series 350)

- 3½-in wide elliptical top rail
- The sleek, stylish design offers another option for those who prefer a less angular top rail appearance
- Requires a handrail when used on stairs
- Over the post top rail



-PROFILE TOP RAIL (Series 450)

- Low-profile top for adding your own wood or composite cap rails
- Cap rails are optional and are not included
- Requires a handrail when used on stairs
- Over the post top rail

STEP 5

Select a frame & top rail color

Durable, powder coated finishes adhere to AAMA-2604 coating specifications for superior color retention, impact resistance, and weather protection.

ColorEasy

COLOR OPTIONS

- BRIGHT WHITE
- MODERN WHITE
- COFFEE CREAM
- SILVER
- DOVE GRAY
- IRON GRAY
- BLUE STEEL
- MATTE BLACK
- TEXTURED BLACK
- SPARKLING CHAMPAGNE
- BRONZE
- OIL RUBBED BRONZE
- BRICKYARD RED
- COMMODORE BLUE
- HARTFORD GREEN

WOOD GRAIN TOP RAIL OPTIONS

(AVAILIBLE ONLY IN TOP RAIL SERIES 150/200)

- WEATHERED GRAY
- CHERRY
- WALNUT

To learn more visit feeneyinc.com/ColorEasy

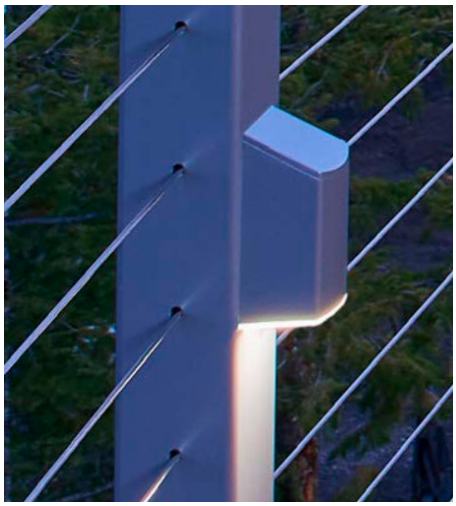
STEP 6

Choose accessories

Feeney Lighting

Our 24v lighting is manufactured with high quality, weatherproof materials for reliable performance, and energy efficient 50,000 hour-rated LEDs with a high color rendering index (80+) for truer colors. Plug & play connectors make installations a breeze. All kits are UL certified.

24V · IP 65 · 50,000 HOURS · CRI 90+ · DIMMABLE · UL CERTIFIED



POWER KITS

Outdoor rated 24 volt dimmable drivers in 40, 60, and 96 watt (all driver kits sold separately).

POST ACCENT LIGHT

The decorative aluminum sconce has a durable powder-coated finish and attaches to the post face to create a beautiful down light; great for stair railing accents. The sconce can be finished to match the railing frame color, and can be used with all infill options.

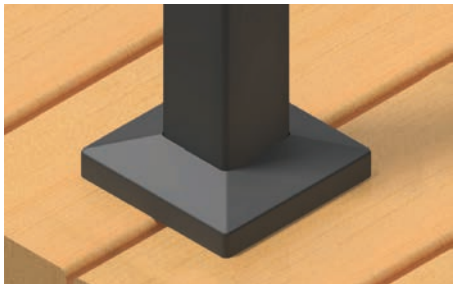
Compatible with all infills.

FEENEY RAIL LIGHTING

Feeney 24V Wet Location Strip Light is a versatile, linear light that provides high output lighting for indoor and outdoor applicatons. High lumen output makes it ideal for railing lighting, as well as an efficient ambient light when installed with a compatible dimmer switch. This strip features a flexible, weatherproof housing that resists the elements and dust.

Compatible in top rail, when using horizontal CableRail infill only. Compatible in bottom rail when using Horizontal CableRail, Glass, Picket, Resin, Mesh & Laser Panel infill only.

Other accessories



GATES

Custom fabricated to size and available for all railing styles and infill types. Comes with gate hardware accessories.

HANDRAILS

1½-in diameter aluminum handrails meet stair railing code requirements and are available with ADA compliant extensions and returns. Handrails are custom bent and fabricated, ready to install, and are powder-coated to match the railing frame colors.

BASE PLATE COVERS

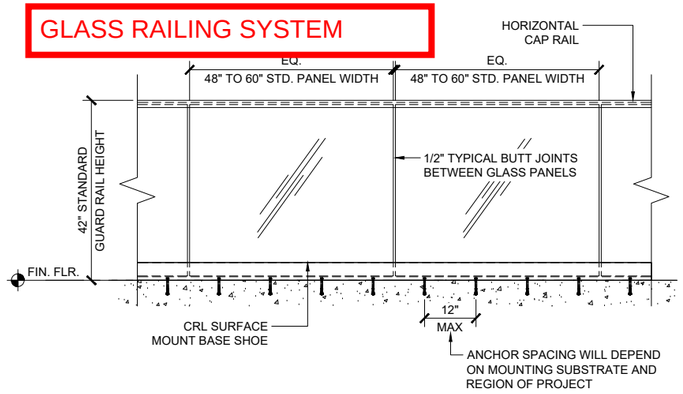
Decorative base plate covers add a finished detail to base mounted posts, and they come powder-coated to match the railing color. The two-piece design allows easy installation for both new and retrofitted railings.

INTERMEDIATE HORIZONTAL RAIL

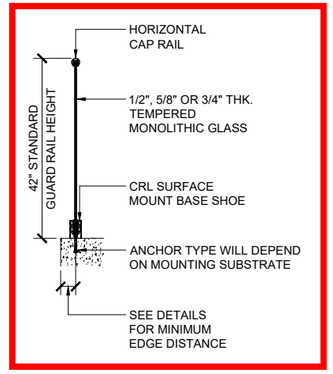
Used for creating railing designs with partial height infill. Sold in 10-ft and 20-ft lengths that can be trimmed to size in the field. Attaches to the post using Rail Connecting Brackets (RCBs).

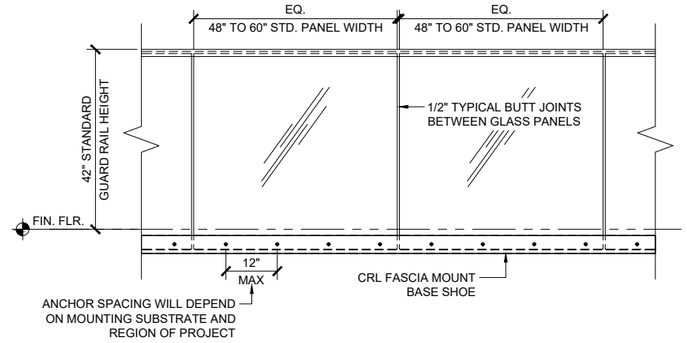
Can be used with all infill options.

GLASS RAILING SYSTEM

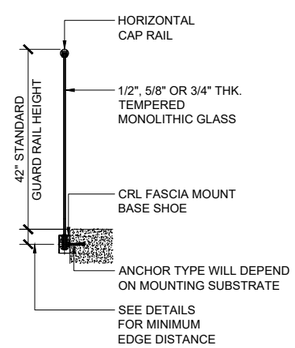


TYPICAL GRS GLASS RAILING ELEVATION VIEW - SURFACE MOUNT

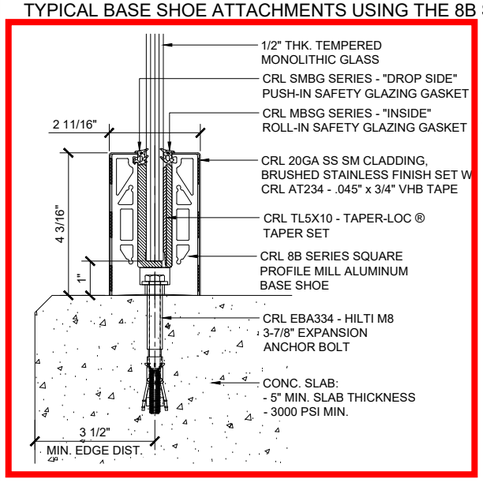




TYPICAL GRS GLASS RAILING ELEVATION VIEW - FASCIA MOUNT

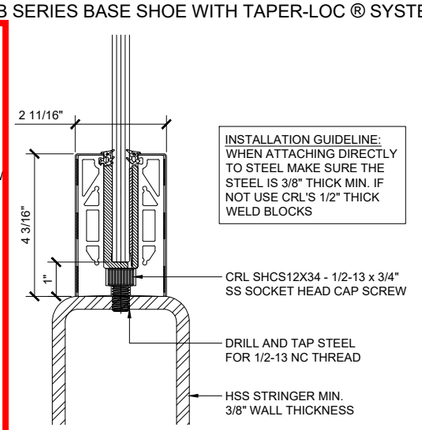


TYPICAL BASE SHOE ATTACHMENTS USING THE 8B SERIES BASE SHOE WITH TAPER-LOC ® SYSTEM



SURFACE MOUNT DETAIL
CONCRETE SUBSTRATE

ANCHOR SPACING WILL DEPEND ON MOUNTING SUBSTRATE AND REGION OF PROJECT

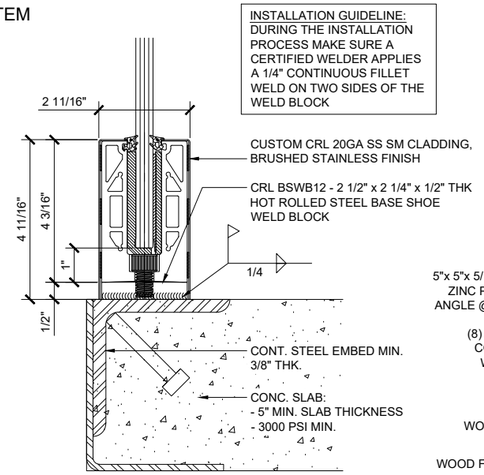


INSTALLATION GUIDELINE:
WHEN ATTACHING DIRECTLY TO STEEL MAKE SURE THE STEEL IS 3/8" THICK MIN. IF NOT USE CRL'S 1/2" THICK WELD BLOCKS

SURFACE MOUNT DETAIL
STEEL SUBSTRATE

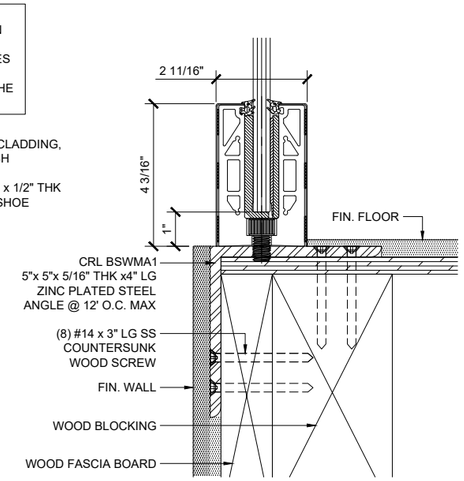
12" ON CENTER ANCHOR SPACING

INSTALLATION GUIDELINE:
DURING THE INSTALLATION PROCESS MAKE SURE A CERTIFIED WELDER APPLIES A 1/4" CONTINUOUS FILLET WELD ON TWO SIDES OF THE WELD BLOCK



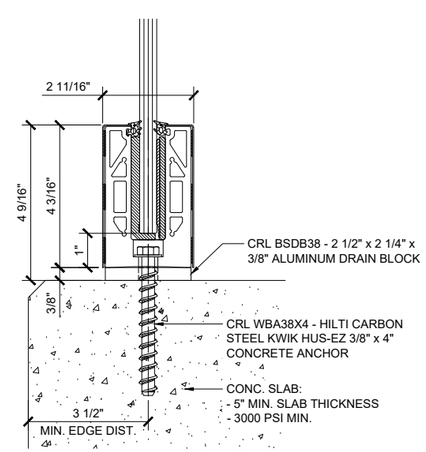
SURFACE MOUNT DETAIL
STEEL SUBSTRATE W/ WELD BLOCK

12" ON CENTER ANCHOR SPACING



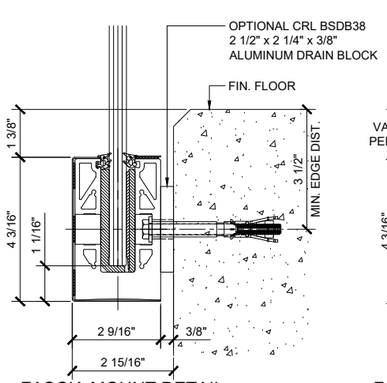
SURFACE MOUNT DETAIL
WOOD SUBSTRATE

12" ON CENTER ANCHOR SPACING



SURFACE MOUNT DETAIL
CONCRETE SUBSTRATE W/ DRAIN BLOCK

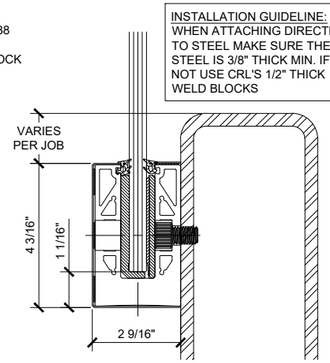
ANCHOR SPACING WILL DEPEND ON MOUNTING SUBSTRATE AND REGION OF PROJECT



FASCIA MOUNT DETAIL
CONCRETE SUBSTRATE

ANCHOR SPACING WILL DEPEND ON MOUNTING SUBSTRATE AND REGION OF PROJECT

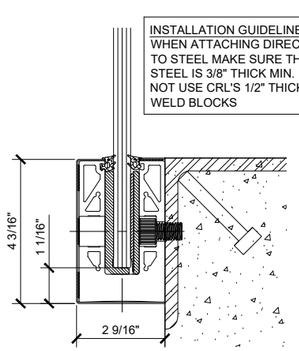
INSTALLATION GUIDELINE:
WHEN ATTACHING DIRECTLY TO STEEL MAKE SURE THE STEEL IS 3/8" THICK MIN. IF NOT USE CRL'S 1/2" THICK WELD BLOCKS



FASCIA MOUNT DETAIL
STEEL SUBSTRATE

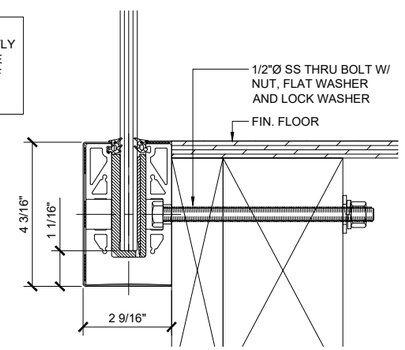
12" ON CENTER ANCHOR SPACING

INSTALLATION GUIDELINE:
WHEN ATTACHING DIRECTLY TO STEEL MAKE SURE THE STEEL IS 3/8" THICK MIN. IF NOT USE CRL'S 1/2" THICK WELD BLOCKS



FASCIA MOUNT DETAIL
STEEL SUBSTRATE

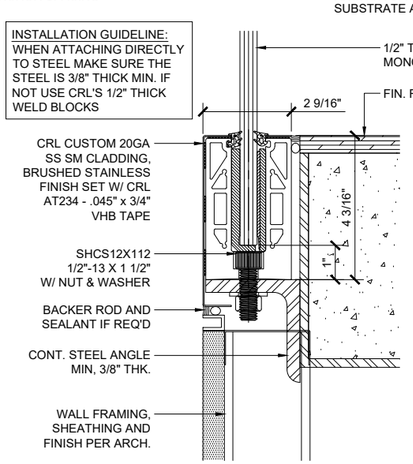
12" ON CENTER ANCHOR SPACING



FASCIA MOUNT DETAIL
WOOD SUBSTRATE

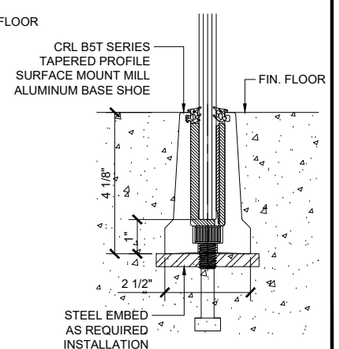
ANCHOR SPACING WILL DEPEND ON MOUNTING SUBSTRATE AND REGION OF PROJECT

INSTALLATION GUIDELINE:
WHEN ATTACHING DIRECTLY TO STEEL MAKE SURE THE STEEL IS 3/8" THICK MIN. IF NOT USE CRL'S 1/2" THICK WELD BLOCKS



SURFACE MOUNT DETAIL
STEEL SUBSTRATE W/ CUSTOM CLADDING

12" ON CENTER ANCHOR SPACING



EMBED MOUNT
CONCRETE SUBSTRATE

ANCHOR SPACING WILL DEPEND ON MOUNTING SUBSTRATE AND REGION OF PROJECT

Revisions By:		
5	-	-
4	06/28/21	AB
3	06/05/18	VM
2	08/12/16	JG
1	02/08/16	JG

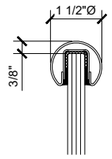
CRL. A CRH COMPANY
2503 E. Vernon Avenue, Los Angeles, CA 90058-1897
PH (800)-421-6144 FX (800)-397-7501 www.crlarchitect.com

ICC ES ESR-3269

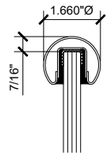
Description:
GRS
GLASS RAILING SYSTEM
FOR TEMPERED MONOLITHIC
1/2", 5/8" & 3/4" THK. GLASS

ELEVATIONS AND DETAILS
SURFACE MOUNT AND FASCIA MOUNT OPTIONS

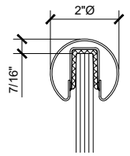
Drawn By: JG
Date: 12/15/2015
Scale: AS NOTED
File Name: CRL GRS Monolithic Glass Railing System.dwg
Sheet 1



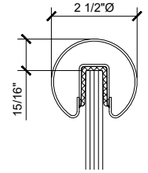
GR15 - 1 1/2"Ø
FOR 1/2" (12mm) GLASS
(WET SET W/ TUFF-PAK & SILICONE)



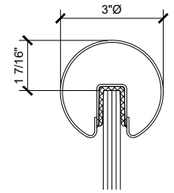
GR16 - 1.66"Ø
FOR 1/2" (12mm) TO 5/8" (15mm) GLASS
(WET SET W/ TUFF-PAK & SILICONE)



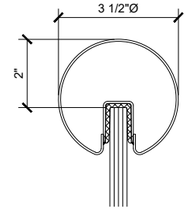
GR20 - 2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



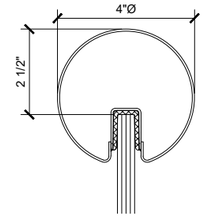
GR25 - 2 1/2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



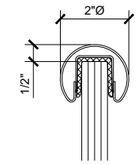
GR30 - 3"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



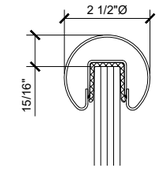
GR35 - 3 1/2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



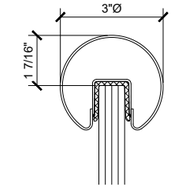
GR40 - 4"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



GR207 - 2"Ø
FOR 3/4" (19mm) GLASS

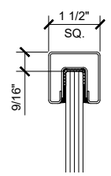


GR257 - 2 1/2"Ø
FOR 3/4" (19mm) GLASS

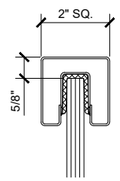


GR307 - 3"Ø
FOR 3/4" (19mm) GLASS

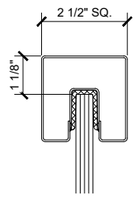
BUMP-FORMED & WELDED PREMIUM RADIUS PROFILE CAP RAIL



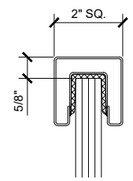
GRS15 - 1 1/2" SQ.
FOR 1/2" (12mm) GLASS
(WET SET W/ TUFF-PAK & SILICONE)



GRS20 - 2" SQ.
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

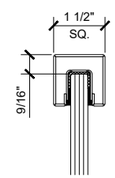


GRS25 - 2 1/2" SQ.
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

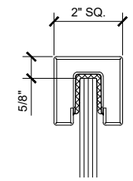


GRS207 - 2" SQ.
FOR 3/4" (19mm) GLASS

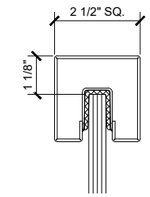
BUMP-FORMED & WELDED PREMIUM SQUARE PROFILE CAP RAIL



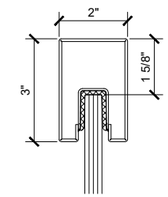
GRSC15 - 1 1/2" SQ.
FOR 1/2" (12mm) GLASS
(WET SET W/ TUFF-PAK & SILICONE)



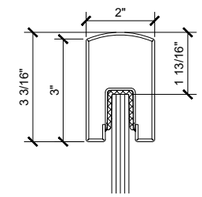
GRSC20 - 2" SQ.
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



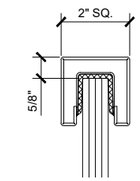
GRSC25 - 2 1/2" SQ.
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



GRSC3BS - 2" x 3"
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

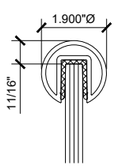


GRSCR3BS - 2" x 3"
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

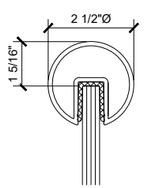


GRSC207 - 2" SQ.
FOR 3/4" (19mm) GLASS

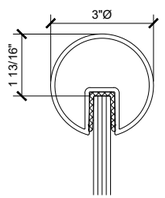
SQUARE PROFILE CRISP CORNER CAP RAIL



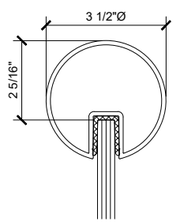
GR19 - 1.9"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



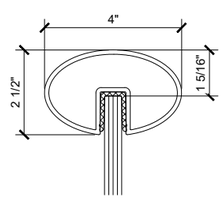
GR25 - 2 1/2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



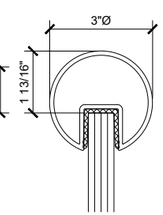
GR30 - 3"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



GR35 - 3 1/2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

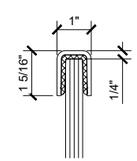


GR0V4 - 4" x 2 1/2" OVAL
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

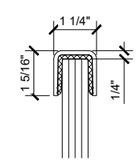


GR307 - 3"Ø
FOR 3/4" (19mm) GLASS

EXTRUDED ALUMINUM CAP RAIL

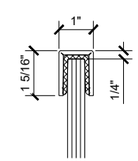


GRL10 - 1" x 1 5/16"
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

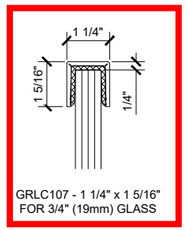


GRL107 - 1 1/4" x 1 5/16"
FOR 3/4" (19mm) GLASS

LOW PROFILE 11 GAUGE CAP RAIL

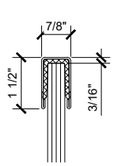


GRLC10 - 1" x 1 5/16"
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS

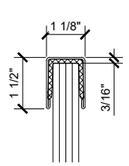


GRLC107 - 1 1/4" x 1 5/16"
FOR 3/4" (19mm) GLASS

LOW PROFILE 11 GAUGE CRISP CORNER CAP RAIL

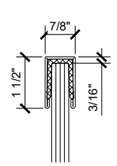


GRUC5 - 7/8" x 1 1/2"
FOR 1/2" (12mm) GLASS

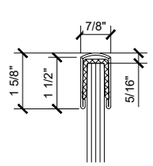


GRUC7 - 1 1/8" x 1 1/2"
FOR 3/4" (19mm) GLASS

U-CHANNEL 18 GAUGE CAP RAIL

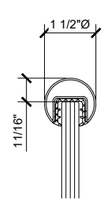


GRCF5 - 7/8" x 1 1/2"
FOR 1/2" (12mm) GLASS

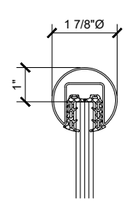


GRCR5 - 7/8" x 1 1/2"
FOR 1/2" (12mm) GLASS

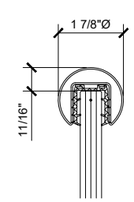
U-CHANNEL 18 GAUGE CRISP CORNER CAP RAIL



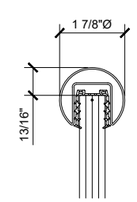
GRRF15 - 1 1/2"Ø
FOR 1/2" (12mm) TO
5/8" (15mm) GLASS



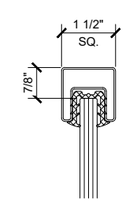
GRRF20 - 1 7/8"Ø
FOR 1/2" (12mm) GLASS



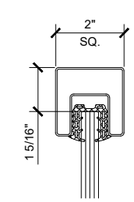
GRRF20 - 1 7/8"Ø
FOR 5/8" (15mm) GLASS



GRRF20 - 1 7/8"Ø
FOR 3/4" (19mm) GLASS



SRF15 - 1 1/2" SQ.
FOR 1/2" (12mm) GLASS



SRF20 - 2" SQ.
FOR 1/2" (12mm) GLASS

ROLL-FORMED CAP RAIL

Revisions By:		
5	-	-
4	06/28/21	AB
3	06/05/18	VM
2	08/12/16	JG
1	02/08/16	JG

CRL. A CRH COMPANY
2503 E. Vernon Avenue, Los Angeles, CA 90058-1897
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ICC ES ESR-3269

Description:
GRS
GLASS RAILING SYSTEM
FOR TEMPERED MONOLITHIC
1/2", 5/8" & 3/4" THK. GLASS

CAP RAIL OPTIONS

Drawn By: JG
Date: 12/15/2015
Scale: AS NOTED
File Name: CRL GRS Monolithic Glass Railing System.dwg
Sheet
5

30 Year Finish Warranty Architectural Stock Colors

Stocked in 4mm unless otherwise stated

PRIMARY METAL COLOR FOR BUILDING (METAL PANELS AND WINDOW FRAMING)

BNT Bone White
4-BNT-30
LRV 78.50/SRI 82-Cool

CRT Oyster
4-CRT-30
LRV 72.46/SRI 82-Cool

MST Mist White
4-MST-30
LRV 69.96/SRI 75-Cool

AGT Aluminum Grey
4-AGT-30
LRV 31.60/SRI 26

BGY Grey
4-BGY-50
LRV 10.41/SRI 7

CNC Charcoal
3-CNC-30
LRV 4.20
3&4mm

JBR Bronze
4-JBR-30
LRV 3.34/SRI 2

TOB Black
4-TOB-15
LRV 1.01/SRI 0

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ALPOLIC®

MICA

OPT Mica Platinum
4-OPT-50
LRV 30.88/SRI 53-Cool

MNC Mica Anodic Clear
4-MNC-30
LRV 34.43/SRI 56-Cool

MCU Mica Champagne
4-MCU-30
LRV 22.61/SRI 38-Cool

MZG Mica Grey
4-MZG-50
LRV 7.95/SRI 14

MFS Mica Grey
4-MFS-30
LRV 13.41

METALLIC

BSX Metallic Silver
4-BSX-30
LRV 30.94/SRI 71-Cool

SMX Metallic Silver
4-SMX-30
LRV 36.59/SRI 63-Cool

CMX Metallic Champagne
4-CMX-30
LRV 31.19/SRI 59-Cool

MBX Metallic Bronze
4-MBX-30
LRV 31.20/SRI 40-Cool

DCX Metallic Copper
4-DCX-30
LRV 15.09/SRI 47-Cool

Premium Architectural Stock Finishes

Call ALPOLIC® Customer Service for Warranty Details 800.422.7270

NATURAL METALS

Stainless
4-4HL
LRV 21.84/SRI 34-Cool

Quartz Zinc
4-AZZ
LRV 21.51/SRI 0

Copper
4-C12
LRV 5.03/SRI 55-Cool

ANODIZED

Clear
4-CLR
LRV 34.31/SRI 84-Cool

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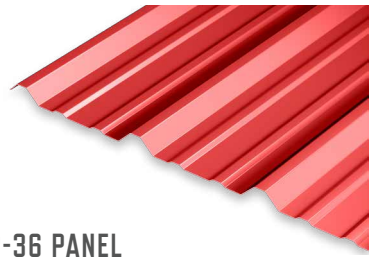
ROOF SCREEN METAL PANELS

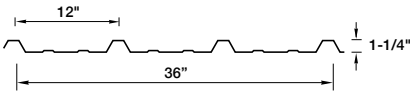
PAC-CLAD®
PETERSEN
A CARLISLE COMPANY

Architectural Metal

Custom Fabrication, Curtainwall, Storefront and Wall Applications

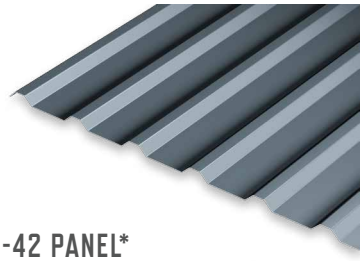


R-36 PANEL

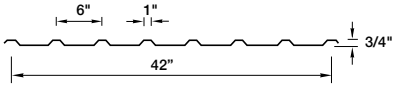


MATERIALS

.032 aluminum
.040 aluminum
.050 aluminum
24 gauge steel
22 gauge steel

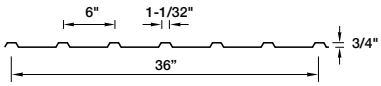


M-42 PANEL*



Note: Made only in Tyler, Texas facility

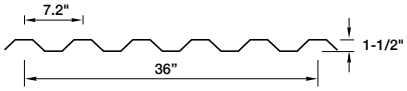
M-36 PANEL*



MATERIALS

.032 aluminum
.040 aluminum
.050 aluminum
24 gauge steel
22 gauge steel

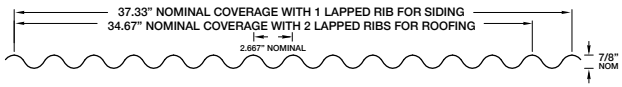
7.2 PANEL



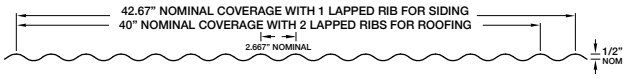
MATERIALS

.032 aluminum
.040 aluminum
.050 aluminum
24 gauge steel
22 gauge steel

7/8" CORRUGATED



1/2" CORRUGATED



*Note: The M-36 and M-42 panels are not intended for use in the construction of metal buildings or structural roof applications. Please consult with Petersen regarding the application of this panel.

A complete specification is available online at pac-clad.com.

Photo at left:
Hurricane Dockside Grill, Hagerstown, MD
Contractor: Heidler Roofing
Photo: David Fonda
Profile: R-36 panel
Color: Cardinal Red

PAC-CLAD® COLOR CHART

TRIM

PAC-CLAD products are available in prime quality aluminum (.032 - .063), 24 and 22 gauge Galvalume steel, finished with a 70% PVDF finish on the top side, with a washcoat on the bottom. Other metals available include mill finish aluminum, stainless steel, Galvalume Plus and anodized aluminum.

A strippable vinyl film can be applied to coil, flat sheet or fabricated parts to protect painted surfaces. Vinyl masking is recommended where extra handling is expected. NOTE: Vinyl film must be removed immediately after installation.

FINISH WARRANTY

Life expectancy is 30 years-plus on 70% PVDF-finished materials. A 30-year, non-prorated finish warranty covering color fade, chalking and film integrity is available at no extra charge. Warranty for Weathered Steel and Weathered Copper does not cover fade. Warranty for Cardinal Red and Award Blue is 10 years for fade and 20 years for chalking and adhesion.

PREMIUM COLORS

Petersen's premium colors include several metallic finishes, plus two two-coat Weathered Steel and Weathered Copper finishes. These colors are ideal for all building envelope applications. A PAC-CLAD 30-year, non-prorated finish warranty applies.

COMMITMENT TO SUSTAINABILITY

PAC-CLAD products provide unmatched aesthetics and performance, plus an element of sustainability. Where possible, Petersen products include a high percentage of recycled material, which lowers their environmental footprint. Additionally, PAC products are 100% recyclable which may reduce the stream of solid waste to landfills.

Petersen also offers the industry's widest range of 46 standard colors, most of which feature outstanding SRI (Solar Reflectance Index) values for improved cooling and energy savings performance. Petersen offers 35 finishes that are rated by the Cool Roof Ratings Council and 31 colors that are Energy Star®-approved. In addition, 35 PAC-CLAD finishes have an SRI of 29 or higher for steep slope roofs, to allow a building to qualify for credits in the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Green Building Rating System.

SHERWIN-WILLIAMS. Coil Coatings

Petersen Aluminum has been a proud partner with Sherwin-Williams Coil Coatings since 1972

NOTE: Colors below are not exact representations of actual PAC-CLAD colors. Ask a PAC representative for a color-chip chart or painted metal samples before making final color selection.

STANDARD COLORS

- Patina Green*
- Teal*
- Hemlock Green*
- Forest Green
- Dark Bronze*
- Midnight Bronze
- Mansard Brown*
- Arcadia Green*
- Hartford Green
- Evergreen*
- Hunter Green*
- Burnished Slate*
- Aged Bronze*
- Burgundy
- Military Blue*
- Berkshire Blue
- Pacific Blue* (fka Slate Blue)
- Medium Bronze*
- Terra Cotta*
- Colonial Red*
- Cardinal Red*
- Interstate Blue
- Award Blue
- Charcoal*
- Cityscape*
- Sandstone*
- Granite*
- Sierra Tan*
- Black Aluminum
- Matte Black
- Graphite*
- Musket Gray*
- Slate Gray*
- Bone White*
- Stone White*
- Almond*

PREMIUM COLORS

- Anodic Clear*
- Silversmith*
- Silver*
- Champagne*
- Weathered Zinc*
- Zinc*
- Copper Penny*
- Aged Copper*
- Weathered Copper
- Weathered Steel

* Denotes PAC-CLAD Cool Color

GREEN SCREEN TRELLIS

greenscreen®
Engineering Nature.

Color Chart

greenscreen® offers six standard colors as well as custom colors. All attachments, posts and custom accessories can be colored to match. Note that color rendering can shift depending on your monitor calibration and viewing conditions. For an exact representation of these colors, sample color chips are available upon request. Visit **greenscreen.com/contact/catalog-samples/.**

Matte Texture Black

White

Matte Texture Green

Silver

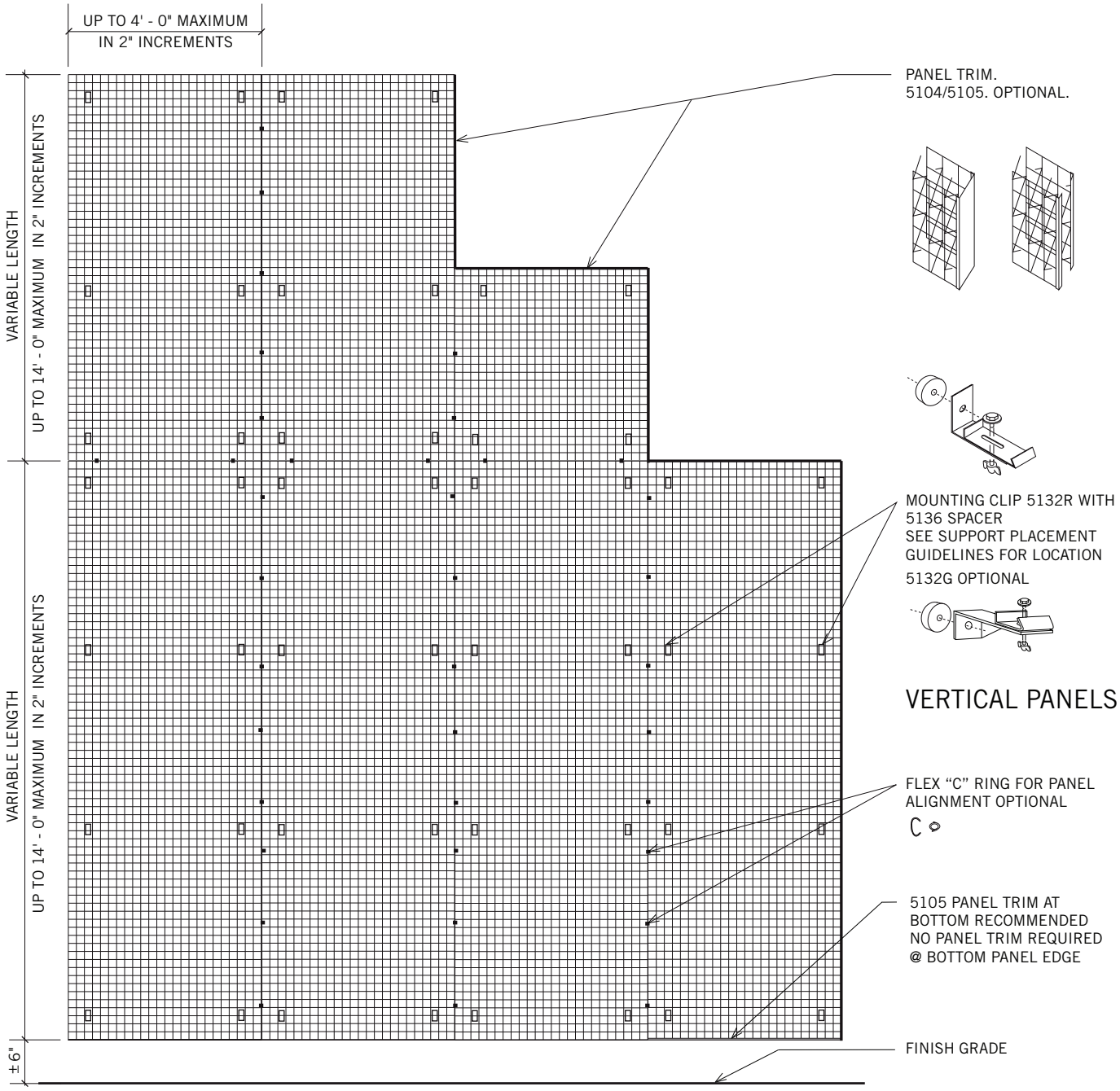
Bronze

Terra

mounting options

Wall Mounted

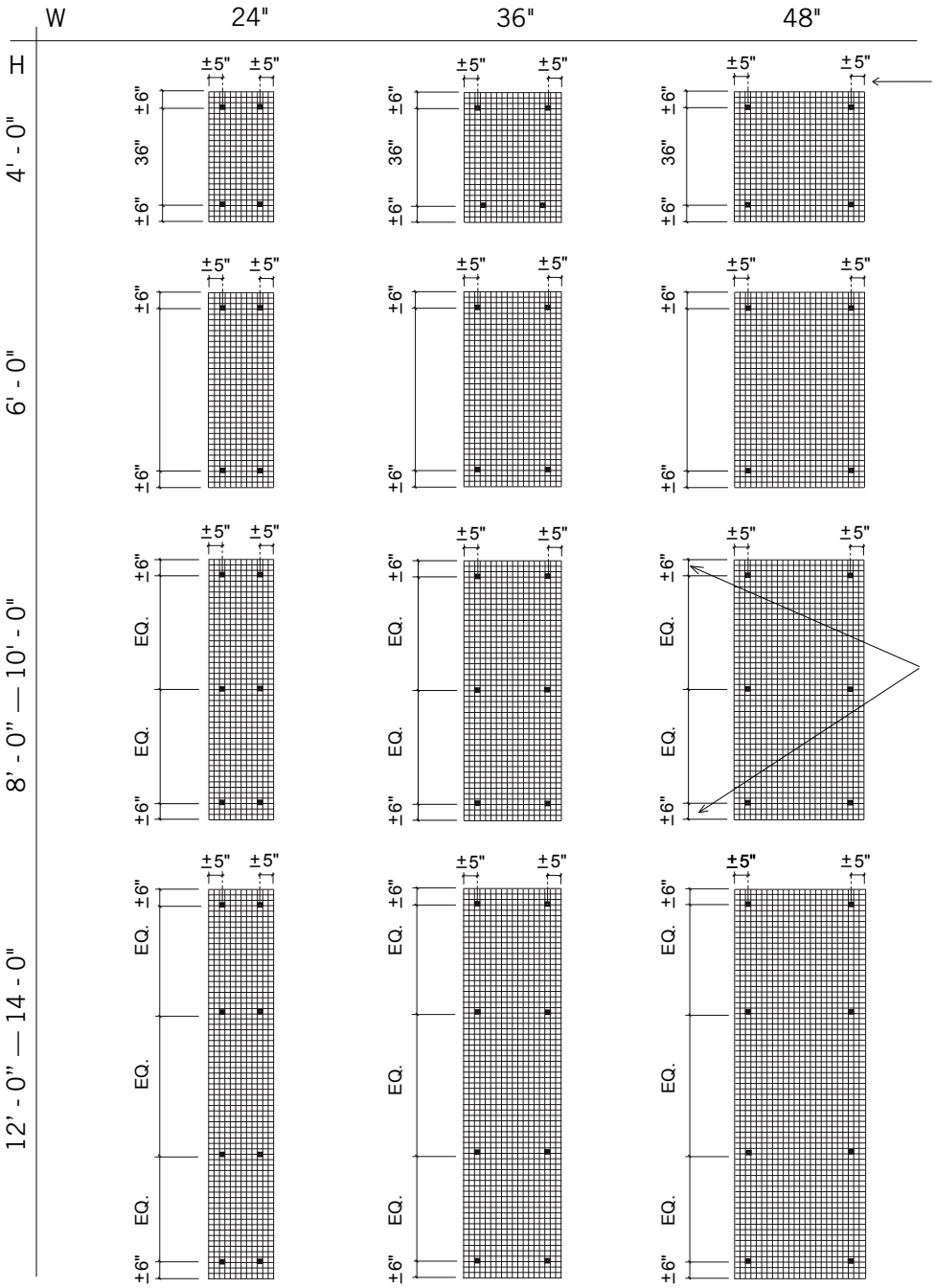
This example showing multiple modular panels in a wall hung application references typical trims and clips from our Accessory Items list. Combine custom screen sizes and profiles for your own unique **green**screen®.



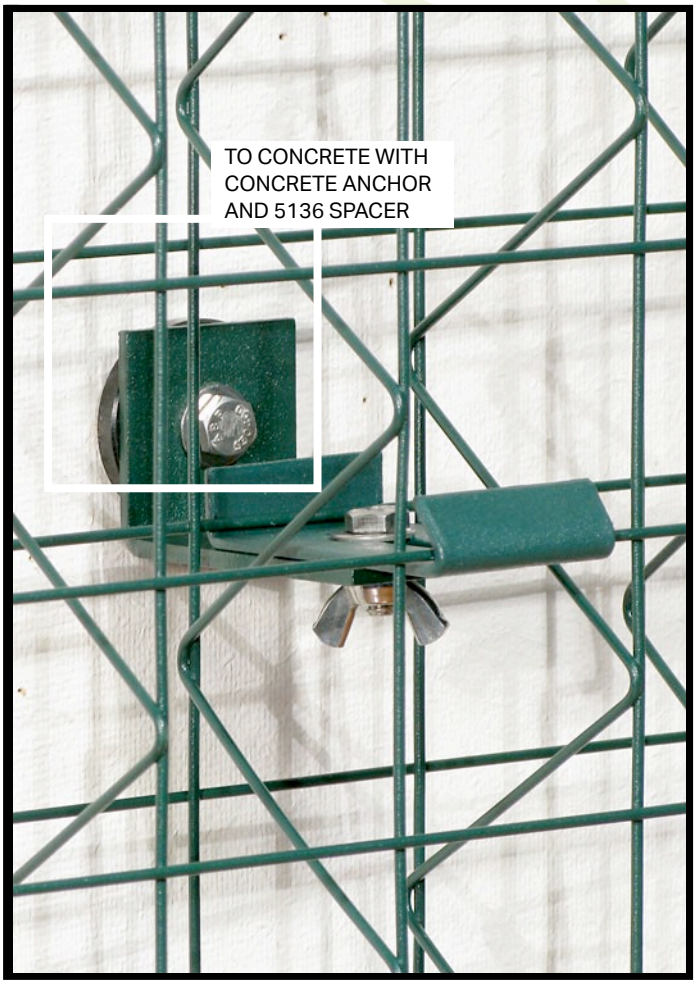
mounting options

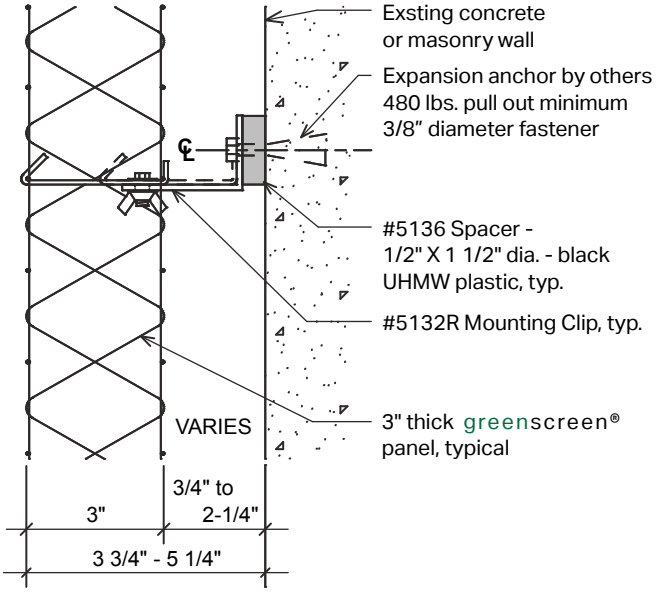
Support Placement

Use this guide as general recommendations for support placement with multiple modular panels in a wall hung application. Consult the Accessory Items list for descriptions of available engineered attachment clips, trims, spacers, and straps for your specific panel attachments.



NOTE:
TOTAL NUMBER OF ATTACHMENTS AND EXACT LOCATION MAY VARY BASED ON ENGINEERING REQUIREMENTS AND LOCATION OF STRUCTURE.

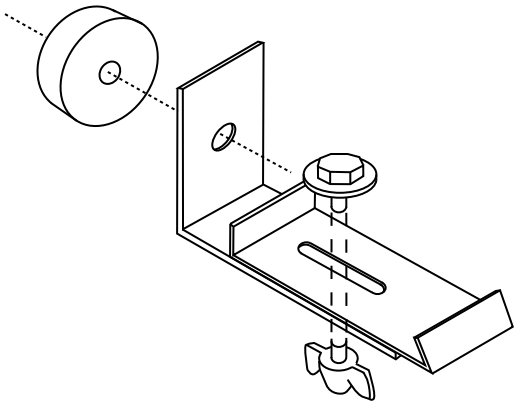




SECTION

5132R ADJUSTABLE CLIP

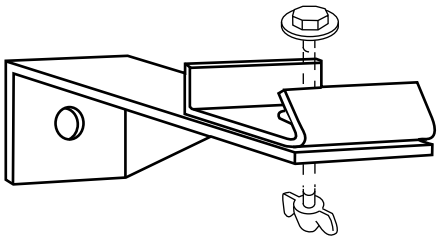
The 5132R Adjustable Clip provides panel support for both download and uplift. The clip can mount to wall surfaces or to a steel frame. The slot allows for panel adjustment and ease of installation.

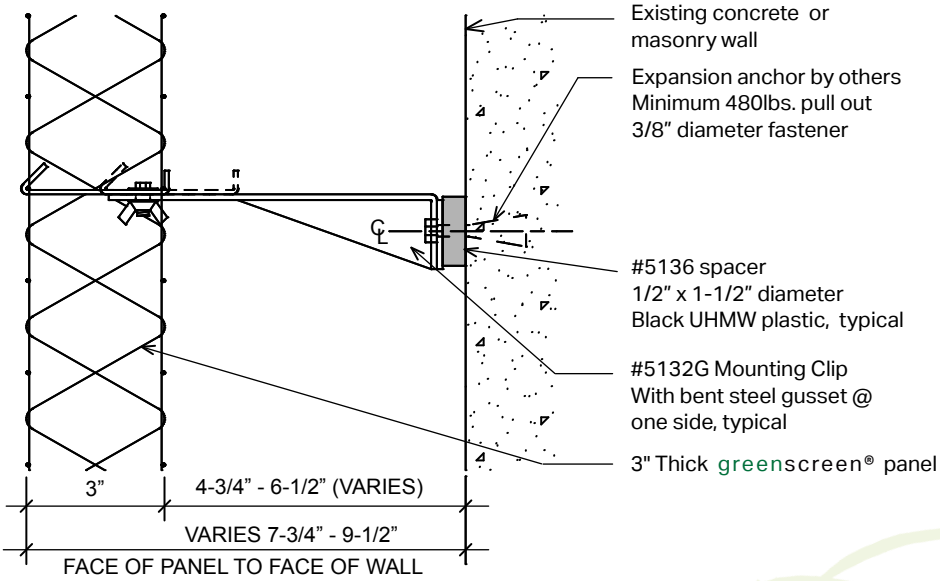


725 South Figueroa Street, Suite 1825, Los Angeles, CA 90017 T - 800.450.3494 www.greenscreen.com

5132G ADJUSTABLE CLIP

The 5132G Adjustable Clip provides panel support for both download and uplift. The clip can mount to wall surfaces or to a steel frame. The slot allows for panel adjustment and ease of installation. Maximum bracket extension is 9-1/2" to outside of panel.





SECTION

TM

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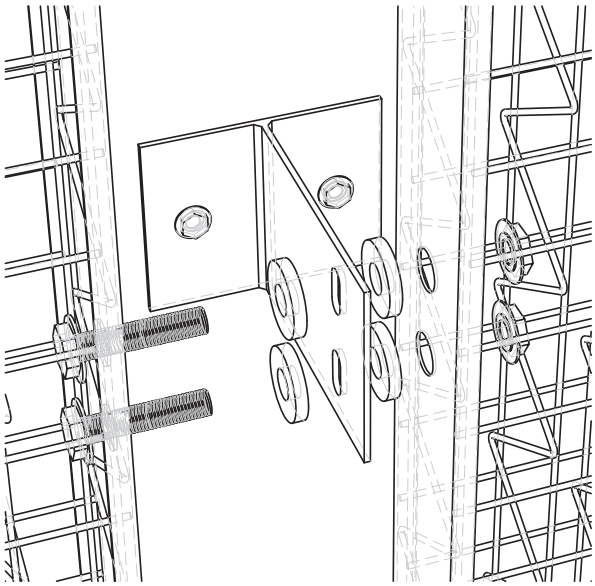
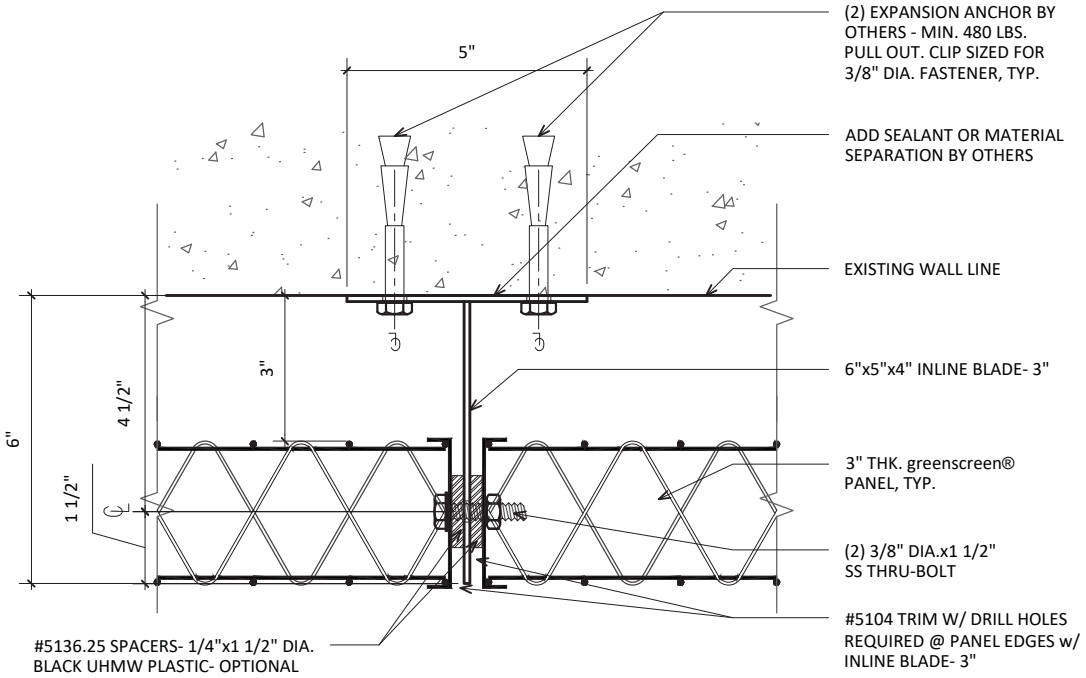
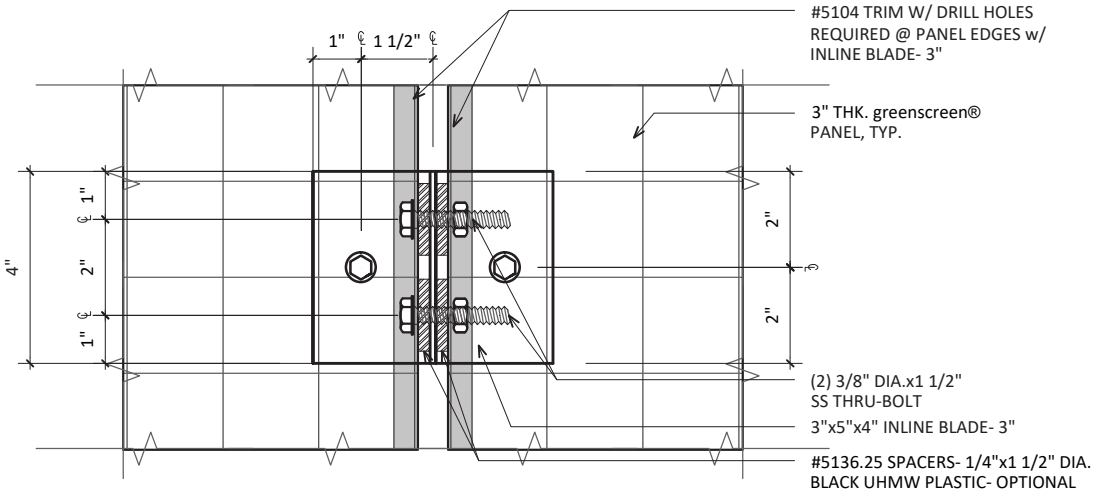


INLINE BLADE CLIP

Provide support for both download and uplift. It can be mounted to wall surfaces or to a steel frame. Standard size in 6” in length. The slot allows for panel vertical adjustment and ease of installation. Also available in 3” & 9”.



PLAN



ELEVATION

accessories

Our Accessory Items list will provide your project with the necessary edge trims, mounting and joining clips, straps, posts, and caps to match your specified finishes with maximum flexibility.

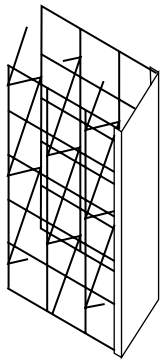
5104
Steel Channel Trim

Size:
½" leg x 3⅛" wide x ½" leg

Materials:
20 gauge galvanized steel

Colors:
~ green
~ black
~ silver
~ bronze
~ white

Used as a closure strip at edges of **green**screen® panels. Recommended on panel edges adjacent to pedestrian traffic or where edge reinforcement for plant maintenance is desired. Not recommended at bottom edge of panel to prevent pooling of water.



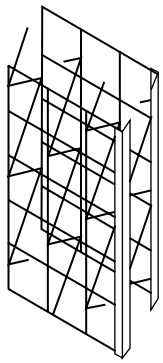
5105
Steel Edge Trim

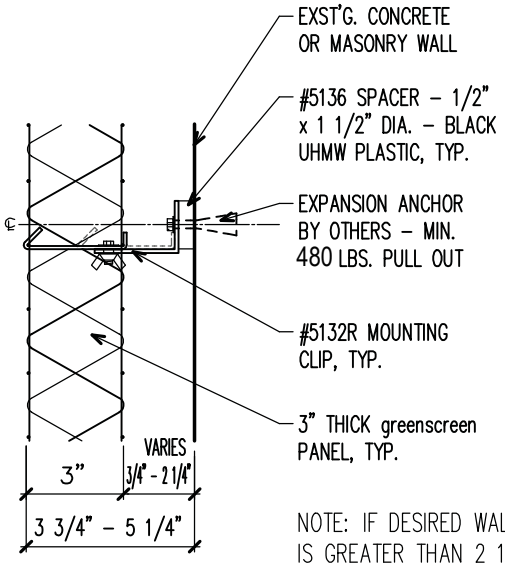
Size:
½" leg x ½" leg

Materials:
20 gauge galvanized steel

Colors:
~ green
~ black
~ silver
~ bronze
~ white

Used as closure strip at edges of **green**screen® panels. Recommended on panel edges adjacent to pedestrian traffic or where edge reinforcement for plant maintenance is desired.



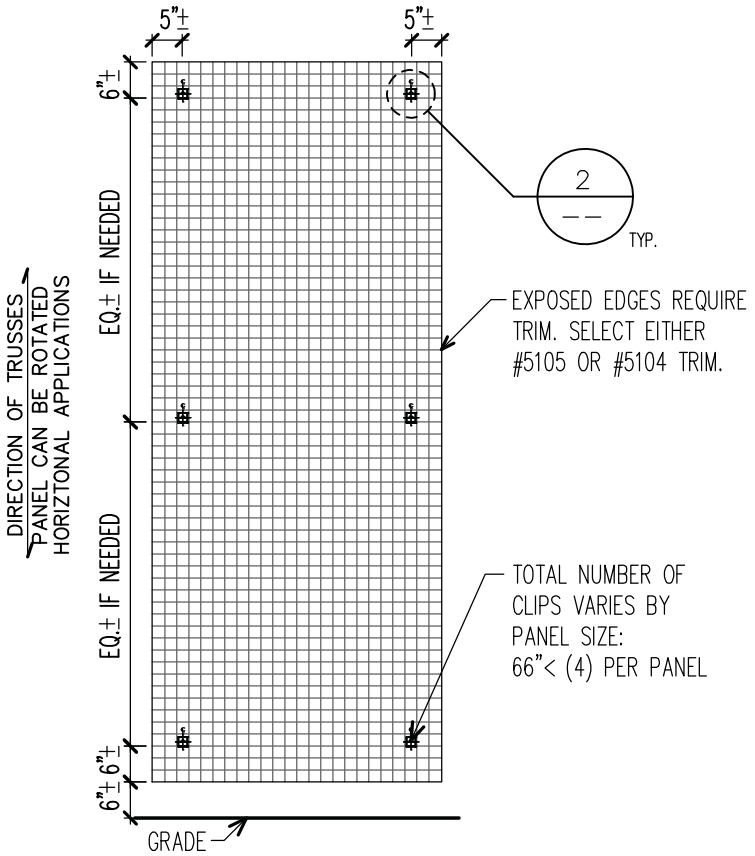


NOTE: IF DESIRED WALL OFFSET IS GREATER THAN 2 1/4", SEE #5132G CLIP OR #5159 STAND-OFF BRACKET FOR MOUNTING OPTIONS.

#5132R MOUNTING CLIP WALL MOUNTED – SECTION

2

SCALE = 2": 1'-0"



ELEVATION

1

SCALE = 3/8": 1'-0"

WALL MOUNTING INSTRUCTIONS:

STEP 1:
USING A LEVEL, TEMPORARILY HOLD THE PANEL IN PLACE AND MARK THE CORNER LOCATIONS ON THE WALL.

STEP 2:
HOLDING THE MOUNTING CLIPS AT THE DESIRED LOCATION ON THE PANEL, MEASURE THE EXACT DISTANCE OF THE SCREW HOLES TO THE CORNERS. USING YOUR CORNER MARKS FROM STEP #1, CARRY OVER THE NEW DIMENSIONS AND REFERENCE THE SCREW HOLE LOCATIONS ON YOUR WALL.

STEP 3:
DEPENDING ON THE SUBSTRATE, PRE-DRILL HOLES FOR MOUNTING CLIPS. FOR CONCRETE AND MASONRY WALLS, SET EXPANSION ANCHORS, AND THEN MOUNT CLIPS TO WALL. ANCHORS SHOULD HAVE A 550LB. MIN. PULL-OUT VALUE.

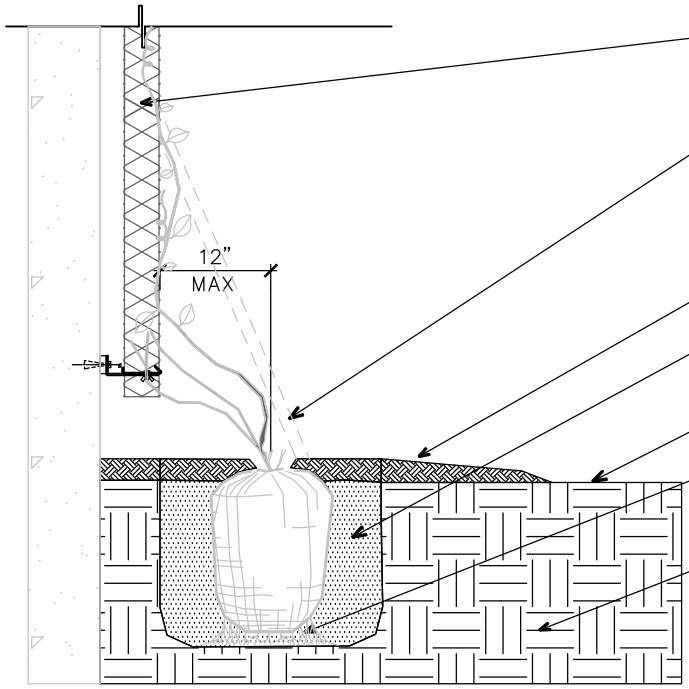
STEP 4:
HANG THE greenscreen® PANEL ON THE CLIPS.

STEP 5:
REPEAT STEPS 1-4 AS NEEDED. PRE-INSTALLING ALL CLIPS IS NOT RECOMMENDED DUE TO PANEL GROWTH. PANEL SIZES ARE NOMINAL – ACTUAL PANEL SIZE MAY VARY +1/8" IN WIDTH AND LENGTH. ADD +1/16" PER EDGE OF TRIM.

STEP 6:
REFER TO greenscreen® "VINE PLANTING DETAIL" FOR VINE ATTACHMENT AND PLANTING GUIDELINES.

RECOMMENDATIONS:

- MOUNT PANELS 6" ABOVE FINISHED GRADE, OR PER SHOP DRAWINGS.
- ON STUCCO WALLS, ADJUST CLIP LOCATIONS SO THAT ALL CLIPS SCREW DIRECTLY INTO FRAMING MEMBERS OF THE WALL.
- WEAR GLOVES WHEN HANDLING greenscreen® PANELS.
- greenscreen® DOES NOT RECOMMEND CUTTING PANELS IN THE FIELD. IF IT IS NECESSARY, HOWEVER, USE TOUCH-UP PAINT.



3" THICK greenscreen® PANEL ATTACHED TO WALL BEYOND

REMOVE STAKE OR ANY TEMPORARY TRELLIS DEVICE.

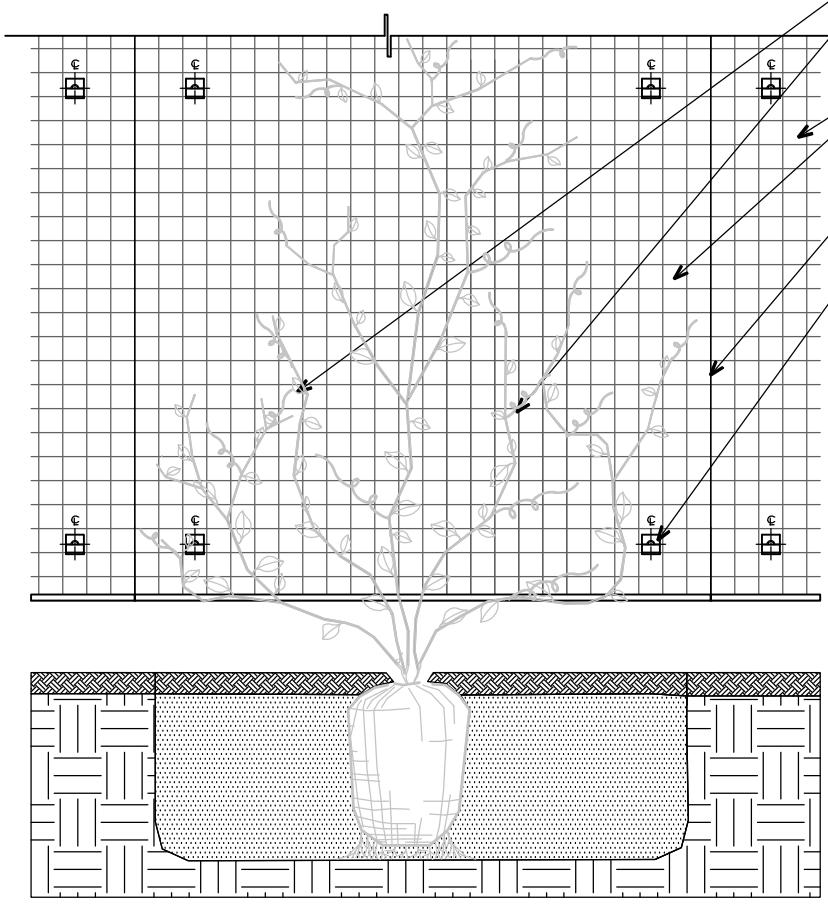
2" TO 3" MULCH LAYER

BACKFILL MIX WITH SPECIFIED AMMENDMENTS AND FERTILIZER TABLETS

FINISHED GRADE

REMOVE CONTAINER AND LOOSEN ROOTS

UNDISTURBED SOIL



WEAVE VINE BRANCHES INTO SCREEN, STARTING AT BOTTOM. TIE LARGER BRANCHES LOOSELY TO SCREEN, IF NECESSARY W/ BIO-DEGRADEABLE TIES.

3" THICK greenscreen® PANEL ATTACHTED ATTACHED TO WALL BEYOND

PANEL SEAM

MOUNTING CLIP

GENERAL NOTES:

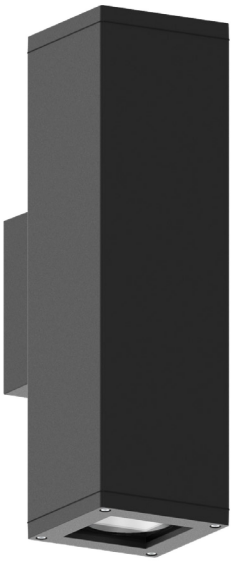
- CHOOSING THE APPROPRIATE PLANT MATERIAL FOR greenscreen® REQUIRES CAREFUL CONSIDERATION OF CLIMATE ZONE, SUN AND WIND EXPOSURE, SOIL TYPE, WATER AND NUTRIENT NEEDS, AND DESIRED VISUAL EFFECT.
- greenscreen® RECOMMENDS THAT A LANDSCAPE ARCHITECT, LANDSCAPE DESIGNER, OR A HORTICULTURIST BE CONSULTED FOR EACH SPECIFIC APPLICATION.
- PLANT VINES PER LANDSCAPE PLANS. TYPICAL SPACING VARIES FROM 1' TO 4' O.C. DEPENDING UPON VINE SPECIES AND CONTAINER SIZE.
- IRRIGATION WILL BE REQUIRED IN MOST CLIMATE ZONES. INSTALL PER LANDSCAPE PLANS.
- greenscreen® DOES NOT SUPPLY PLANT MATERIAL.

greenscreen® VINE PLANTING DETAIL

SECTION AND ELEVATION – TYPICAL FOR WALL MOUNTED APPLICATION
DETAIL SIMILAR FOR POST MOUNTED PANELS.

SCALE = 3/4": 1'-0"

Q-WALL



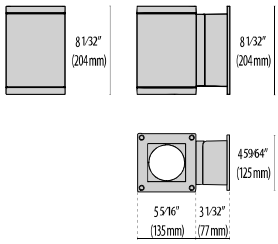
Wall mount series. Fixtures consist of:

- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free extruded aluminum housing and copper-free precision die-cast aluminum ring/faceplate, bracket (WALL versions) and mounting plate.
- Copper-free die-cast aluminum heat-sink passive cooling system.
- Extra-clear, tempered, silk-screened, flat glass diffuser.
- Custom molded, anti-aging gasket(s).
- Stainless steel external hardware.
- High-efficiency COB, combined with an optimized passive cooling system, provides a long LED life.
- Internal specular reflector coated with 5-layers of PVD 99.98% pure aluminum providing >95% reflection.
- Single (M) or dual (B) light emission.
- Circular Intensive beam angle (C/I).
- Circular Medium beam angle (C/M).
- Circular Wide beam angle (C/W).
- Input voltage: 120-277 V (50 / 60 Hz), integral 0-10 V dimming driver.
- Optional, integral, emergency battery-pack designed for a minimum operation of 90 minutes (EMPK versions).
- Standard hinged bracket for ease of installation: wiring can be completed by mounting the bracket ahead of the luminaire, then sliding luminaire onto the bracket using quick connectors system, then securing the luminaire by tightening the stainless steel set screws (WALL versions only).
- Five optional finishes available. Add finish suffix to any part number for textured Black (BK-81), Iron gray (AN-96), Aluminum metallic (GR-94), White (WH-87), Iron rust (RB-10) when not standard.
- Consult factory for dimming options, marine-grade, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options including static colors.
- Product meets Buy American Act requirements within ARRA.
- 5-year warranty.
- Marine Grade finish.
- Suitable for Natatorium applications.

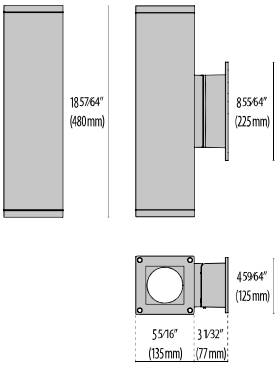
IP 65 | WET | PRONTO | LISTED | 0-10 V | 90° | RAL | IK 07 2 J

FINISHES

- **AN-96** / Iron gray / Textured
- **GR-94** / Aluminum metallic / Textured
- **WH-87** / White / Textured
- **BK-81** / Black / Textured
- **RB-10** / Iron rust / Textured



Q-WALL
MINI



Q-WALL

Lumen Output	27K	3K	35K	4K	5K
Q-Wall M 20°	2786	2878	2969	3061	3152
Q-Wall M 40°	2772	2863	2954	3045	3136
Q-Wall M 85°	2805	2898	2991	3084	3177
Q-Wall B 20°	5571	5755	5938	6122	6305
Q-Wall B 40°	5572	5725	5907	6090	6272
Q-Wall B 85°	5610	5796	5981	6167	6352
Q-Wall M EMPK 20°	2786	2878	2969	3061	3152
Q-Wall M EMPK 40°	2772	2863	2954	3045	3136
Q-Wall M EMPK 85°	2805	2898	2991	3084	3177
Q-Wall Mini 20°	2783	2876	2968	3061	3153
Q-Wall Mini 40°	2799	2861	2953	3045	3137
Q-Wall Mini 85°	2803	2897	2990	3084	3177

Order Guide - Q-Wall

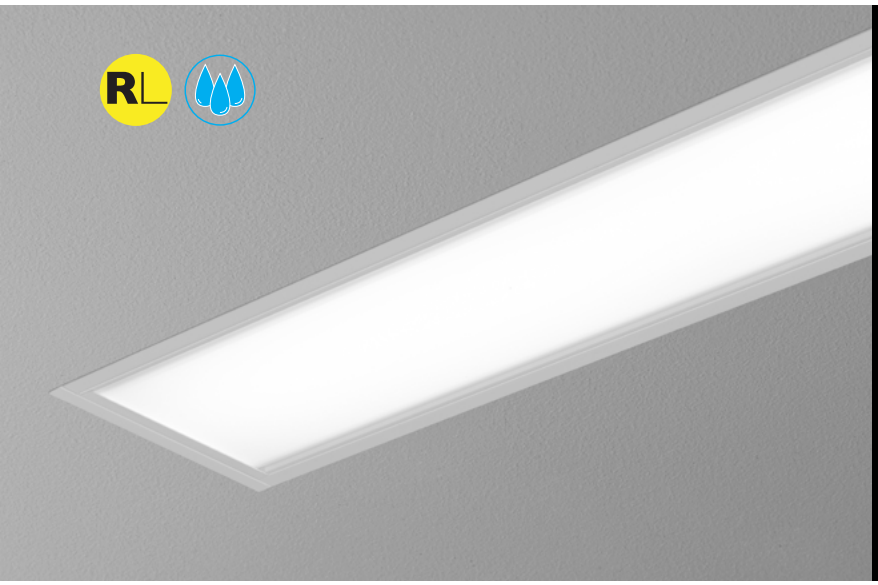
Order code example	QWALL-MINI-15-C/I-AM-3K-120-NA

QWALL-							
Light Emission	**Wattage**	**Optics**	**Finish**	**Kelvin**	**Voltage**	**Controls**	**Accessories**
M Mono Directional (One-Way) **B** Bi-Directional (Two-Way) **MINI** Reduced size housing (M Only)	**15** 15 watt (M) **25** 25 watt (M) **30** 30 watt (M max) **18** 18 watt (B) **40** 40 watt (B) **60** 60 watt (B max) **XX** Specify wattage must be below max	**C/I** 20 degrees **C/M** 40 degrees **C/EW** 85 degrees **NB** Narrow Beam **FT** Forward throw film	**AM** Aluminum Metallic **IG** Iron Gray **IR** Iron Rust **BK** Textured Black **WH** Textured White **CC** Custom Color	**27K** 2700k **3K** 3000k **35K** 3500k **4K** 4000k **BLU** Blue **RGBW** RGBW Consult Factory for control details	**120** 120 volts **277** 277 volts	**NA** Non Dimming **0-10V** 0-10V Dimming **ELV** ELV Dimming	**EMPK** Integral Emergency Battery Back up (M Only) **OCC-1** On/Off Motion Sensor **OCC-2** Hi/Lo Motion Sensor

Seem® 4

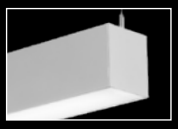
LED - WET LOCATION

FOCAL POINT®

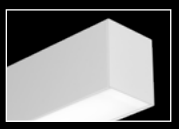


end detail

perimeter companion



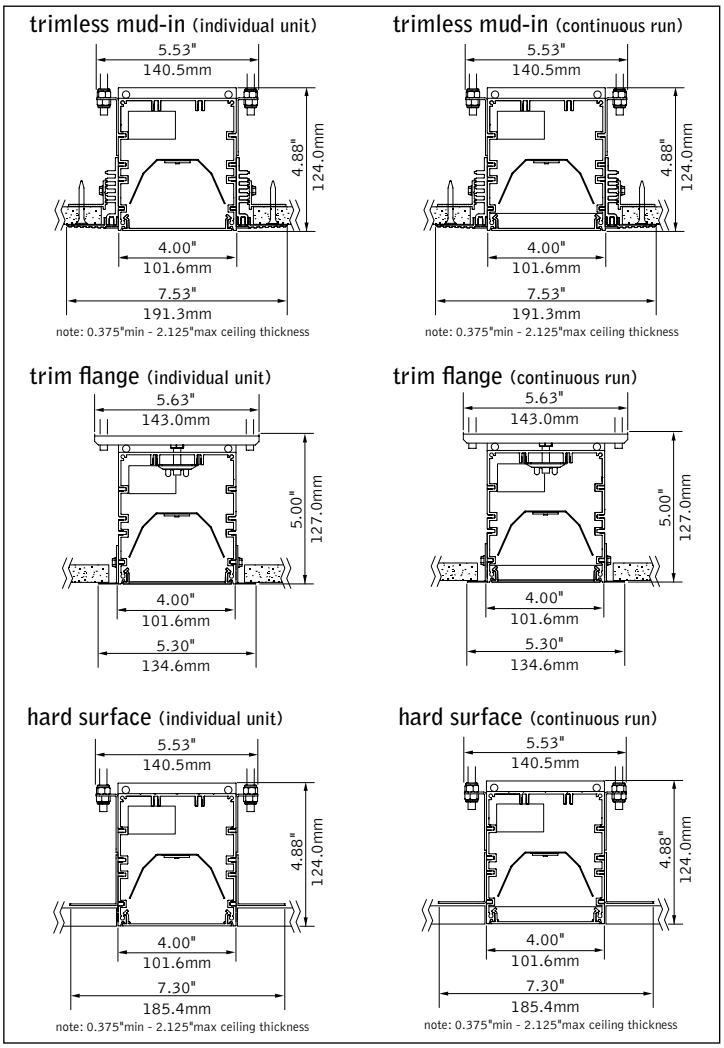
suspended companion



wall mount companion

wall to ceiling companion

DIMENSIONAL DATA



FEATURES

Narrow extruded aluminum 4" aperture recessed slot LED suitable for wet location.

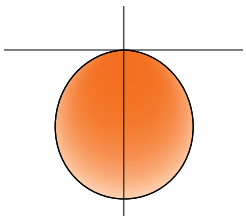
Integrates with ceiling for a clean, unobtrusive aesthetic.

Individual units and continuous runs in 1' increments.

Frosted acrylic lens provides uninterrupted illumination, without pixels or shadows.

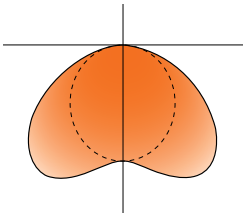
LED position and lens material optimized to provide the perfect blend of high performance and visual comfort.

PERFORMANCE



4' Flush Lens
Nominal output:
375 Lumens per foot

Delivered Lumens: 1500
Total System Watts: 13W



4' Batwing Lens
Nominal output:
375 Lumens per foot

Delivered Lumens: 1500
Total System Watts: 13W

Photometric performance is measured in accordance with IESNA LM-79.
Visit focalpointlights.com for complete photometric data.

SPECIFICATIONS

LED System
Proprietary linear LED module incorporates premium LEDs on a robust platform to achieve excellent thermal management. LEDs are placed to promote a uniform appearance. Available in 3000K, 3500K or 4000K with CRI>80, 3 SDCM. LED modules and drivers are replaceable from below.

Construction
One piece extruded aluminum housing. 20 Ga. steel end caps. Housing for new construction applications. XFW acceptable for use with wood, consult factory for Type IC availability. 2' unit weight: 18 lbs., 3' unit weight: 24 lbs., 4' unit weight: 30 lbs., 5' unit weight: 36 lbs.

Optic
Reflectors fabricated of 22 Ga. steel finished in High Reflectance White powder coat. Extruded acrylic lens .085" thick with satin finish, up to 8' continuous. .020" thick acrylic lens water shield included for continuous runs.

Electrical
Luminaires are pre–wired with factory installed branch circuit wiring and over-molded quick connects. Standard 120-277V constant current driver includes 0-10V analog dimming. Dimming range 100% to 10%.Power factor > .9.

Emergency
Output - 10 watts for 90 minutes. Maximum mounting height: 19.2ft.

Labels
UL and cUL Listed for wet location recessed ceiling applications in indoor and outdoor environments. Lutron Drivers not recommended for outdoor environments below 0˚C.

Finish
Polyester powder coat applied over a multi-stage pre–treatment.

Lumen Maintenance
Reported: L70 > 61,000 hours
L90 > 61,000 hours

Calculated: L70 at > 480,000 hours
L90 at > 128,000 hours

Derived from EPA TM-21 calculator. Based on typical conditions, consult factory for additional data.

Reliability
At Focal Point, our products are designed to stand the test of time. Each luminaire is engineered using superior components, manufactured with the utmost care and rigorously tested. Contact us for reliability data.

Warranty
LED system rated for operation in ambient environments up to 35°C. 5-year limited warranty.

4' PERFORMANCE CHART

			LPW	
Lumens Output	**Delivered Lumens**	**Tested System Watts**	**BW**	**FL**
275	1100	10	104	100
375	1500	13	113	108
625	2500	22	112	107
875	3500	32	109	105
1000	4000	37	109	104
1125	4500	44	108	104
1250	5000	49	107	102

Based on 3500K, 80 CRI, 4' lengths. Lumen multiplier: Wet Location = 0.92.
Lumen output may vary +/- 5%. Actual wattage may vary +/- 5%.

ORDERING

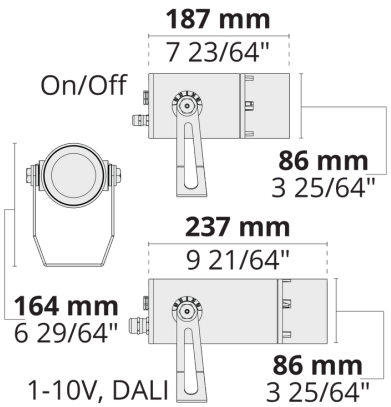
Luminaire Series		**FSM4LWL**
Seem 4 LED Wet Location	FSM4LWL	
Shielding		_____
Batwing Lens	BW	
Flush Satin Lens (BW & FL, ceiling applications only.)	FL	
Lumen Output		_____
275 Lumens per foot	275LF	
375 Lumens per foot	375LF	
625 Lumens per foot	625LF	
875 Lumens per foot	875LF	
1000 Lumens per foot	1000LF	
1125 Lumens per foot	1125LF	
1250 Lumens per foot	1250LF	
Color Temperature		_____
3000K, 80+ CRI	30K	
3500K, 80+ CRI	35K	
4000K, 80+ CRI	40K	
Circuits & Zones		_____
1 Circuit, non-emergency	1C	
Consult Ordering Guide on page 3 for multiple circuiting and zoning options	_C_Z_DL	
Voltage		**UNV**
120/277 UNV Volt	UNV	
Control System & Dimming Level		_____
0-10V - 1% Dimming	L11	
0-10V - 10% Dimming	LD1	
Lutron Hi-Lume EcoSystem (LDE1) - 1% Dimming	LH1	
Ceiling Configuration		_____
Trim Flange Drywall (3' minimum with Lutron Drivers)	TF	
Trim Flange Wood (3' minimum with Lutron Drivers)	TFW	
Mud-in Trimless, pre-set for 1/2" Drywall	XF1	
Mud-in Trimless, pre-set for 5/8" Drywall	XF2	
Mud-in Trimless, set thickness in field (Mounting equipment assembled in field)	XFF	
Non-Drywall Hard Surface	XFN	
Hard Surface, Wood	XFW	
Factory Options (See Ordering Guide on page 3 for ordering details for DC, EC, EM & ECD.)		
Chicago Plenum	CP	_____
Daylight Circuit	_DC	_____
Emergency Circuit	_EC	_____
Emergency Battery Pack†	_EM	_____
Emergency Control Device†	_ECD	_____
†(4' minimum. 120/277 Volt only. EM or ECD not available at corners.)		
6' New York City Flex Whip (120V)	FNY1	_____
6' New York City Flex Whip (277V)	FNY2	_____
6' Flex Whip	FW	_____
Finish		**WH**
Matte White Housing	WH	
Luminaire Length Specify luminaire/row length in 1' increments (2' minimum, lengths are nominal. Housing length is 1" shorter than specified.)	X'	_____

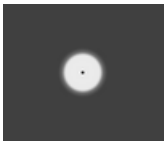
Focal Point LLC reserves the right to change specifications for product improvement without notification.

PUNTO S

LF8017.693-US

IK08 IP65





[S]
Spot - NEMA Type 0 - 7°

[N]
Narrow - NEMA Type 2 - 26°

[MN]
Medium narrow - NEMA Type 3 - 42°

[M]
Medium - NEMA Type 4 - 60°

Configurations

Light distribution	[S] 7°, [N] 26°, [MN] 42°, [M] 60°
Nominal LED lumens flux	1176 - 1200 lm
Nominal LED power	8 W (700 mA)
Rated luminaire lumens flux	700 - 994 lm
Rated luminaire power	10 W
Color temperature	3000 K CRI 70, 4000 K CRI 70
Lifetime L90 (hour)	>60, 000
Lifetime L80 (hour)	>60, 000

Options

Control	On/Off, 1-10V, DALI
Input voltage	120-277V 50/60Hz
Insulation class	Class I
Product colors	

Extras

Finishing options	Marine grade coating

Technical information

Mounting	Yoke mount (standard), stake mount (optional)
Tilt angle	+60°/-30°
Housing	Corrosion resistant, die-cast, marine grade aluminum housing
Finishing	Chromate conversion pretreatment followed by electrostatic powder coating
Fasteners	Stainless steel (grade 304)
Gasket	Silicone rubber
Lens / Reflector	High reflectance aluminium coating [S] [N], PMMA lens with high optical efficiency [MN] [M]
Glass / Diffusor	Tempered safety glass
Impact protection	IK08
Ingress protection	IP65
Weight	3.3 lbs
LED module	Multi-chip high power LEDs on metal-core PCB
Driver	Thermally-separated internal LED driver
Driver surge protection	1/1 kV
Power factor	> 0.90
Through wiring	Single cable entry
Operating temperature	-30...50°C
Cable	0.4 m of flexible cable

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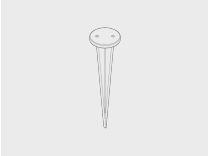
Accessories (To be ordered separately)

Optical accessories

Visor for PUNTO S

100139013

Mounting accessories



Spike for PUNTO-VEGA-ELIPSO

100992017

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Project name		Type		Quantity	
Date		Note			

LF8017.693-US-___-___-___-___-___-___-___-___

Light distribution	Drive current (LED power)	Color temperature	Control	Input voltage
[S] Spot - NEMA Type 0 - 7° **[N]** Narrow - NEMA Type 2 - 26° **[MN]** Medium narrow - NEMA Type 3 - 42° **[M]** Medium - NEMA Type 4 - 60°	**[700]** 8 W (700 mA)	**[730]** 3000 K CRI 70 **[740]** 4000 K CRI 70	**[ONOFF]** On/Off **[1-10V]** 1-10V **[DALI]** DALI	**[UNI]** 120-277V 50/60Hz

Insulation class	Product colors	Extras
[C1] Class I	**[HM1]** Black (Textured) **[HM2]** Dark gray (Textured) **[HM3]** Anthracite gray (Textured) **[HM4]** Light gray (Textured) **[HM5]** White (Textured) **[HM6]** Bronze (Textured) **[CC]** Custom Color (Please specify RAL code)	**Finishing options** **[MG]** Marine grade coating

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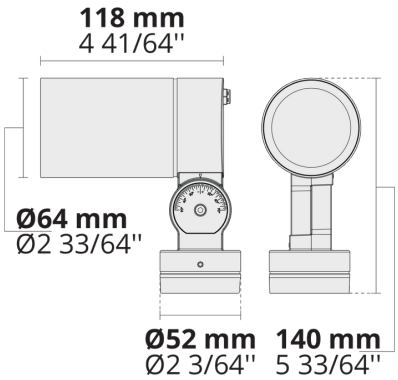
PINA Flood

LF8033.003-US

IK07 IP65



[VN]
Very narrow - NEMA Type 1 - 10°

[VN]
Very narrow - NEMA Type 1 - 17°

[N]
Narrow - NEMA Type 2 - 25°

[MN]
Medium narrow - NEMA Type 3 - 36°

[M]
Medium - NEMA Type 4 - 60°

Configurations

Light distribution	[VN] 10°, [VN] 17°, [N] 25°, [MN] 36°, [M] 60°
Nominal LED lumens flux	370 - 420 lm
Nominal LED power	7.5 W
Rated luminaire lumens flux	333 - 378 lm
Rated luminaire power	7.5 W
Color temperature	4000 K CRI 90, 3000 K CRI 90

Options

Control	On/Off
Input voltage	110-120V 50/60Hz
Insulation class	Class I
Product colors	

Technical information

Mounting	Pedestal knuckle mount (standard), stake mount (optional)
Tilt angle	+45°/-45°
Housing	Corrosion resistant, marine grade aluminum housing
Finishing	Chromate conversion pretreatment followed by electrostatic powder coating
Fasteners	Stainless steel (grade 304)
Gasket	Silicone
Glass / Diffusor	Tempered safety glass
Impact protection	IK07
Ingress protection	IP65
Weight	0.9 lbs
Power factor	> 0.93
Through wiring	Single cable entry
Cable	0.4 m of flexible cable

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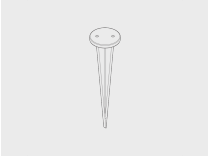
Accessories (To be ordered separately)

Mounting accessories



Spike for PINA F

100992106

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Project name		Type		Quantity	
Date		Note			

LF8033.003-US-___-___-___-___-___-___-___

Light distribution	Drive current (LED power)	Color temperature	Control	Input voltage
[VN] Very narrow - NEMA Type 1 - 10° **[VN]** Very narrow - NEMA Type 1 - 17° **[N]** Narrow - NEMA Type 2 - 25° **[MN]** Medium narrow - NEMA Type 3 - 36° **[M]** Medium - NEMA Type 4 - 60°	**[]** 7.5 W	**[940]** 4000 K CRI 90 **[930]** 3000 K CRI 90	**[ONOFF]** On/Off	**[US]** 110-120V 50/60Hz

Insulation class	Product colors
[C1] Class I	**[HM1]** Black (Textured) **[HM2]** Dark gray (Textured) **[HM3]** Anthracite gray (Textured) **[HM4]** Light gray (Textured) **[HM5]** White (Textured) **[HM6]** Bronze (Textured) **[CC]** Custom Color (Please specify RAL code)

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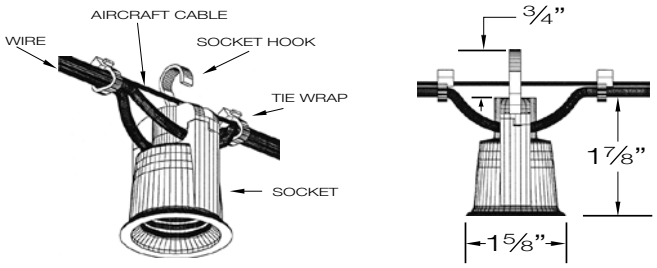
SUSPENDED DECORATIVE STRINGLIGHT SYSTEMS

PROJECT:
TYPE:



SOCKET, WIRE & CABLE DETAILS

Decostrings are a perfect accent lighting solution to add a personal ambience to patios, courtyards, atriums, restaurants, amusement parks and any open area. The “festoon” lighting system is typically strung between two anchorage points with optional intermediary support and electrically fed from one end. The sockets can be either symmetrically spaced or randomly spaced to suit the application. Optional shades, guards and lenses complete the architectual design.

SPECIFICATIONS

LAMPHOLDER	Black phenolic, medium base UL weatherproof with hook for optional mounting.
POWER CORD	12/2 G. Black flexible duplex cable, UV rated for extended outdoor use.
SUPPORT CABLE	3/32” SS aircraft catenary cable supports the system, 980# test. Heavier cable available.
TERMINATION KITS	Heavy duty stainless steel hardware available.
LAMPS	Wet location rated LED and incandescent medium base A, G or S style lamps.
DIMMING	Dimmable to 10% with ELV trailing edge type dimmers.
VOLTAGE	120V system (1920 watts max load). No driver or transformer required.
ACCESSORIES	Optional brass, aluminum and acrylic shades. Consult factory for custom shades.
PHOTOMETRY	Bare lamp and shielded “BUG” rated .IES files available.
CERTIFICATION	ETL listed for permenant damp or wet installations. 2001431 MADE IN THE USA

PART NUMBER

SERIES	SPACING	VOLTS	LAMP	SHADE-FINISH	TERMINATION KIT	LENGTH
DSD DAMP **DSW** WET	**12** 12”O/C **18** 18”O/C **24** 24”O/C **36** 36”O/C **48** 48”O/C (OTHER, SPECIFY)	**120** 120V	SELECT FROM LAMP PAGE 3	**OPTIONAL** SELECT FROM PAGE 4 & 5 OR LEAVE BLANK	**OPTIONAL** **STK** STANDARD TERMINATION KIT **LTK** LIGHTWEIGHT TERMINATION KIT **TBK** TURNBUCKLE KIT (*SEE PAGE 6*)	SPECIFY

LED FILAMENT STYLE LAMPS

S14

S14–24/150 – 24K,1.5W, 150L, CLEAR
S14–27/150 – 27K,1.5W, 150L, CLEAR

WHITE OR FROSTED – CONSULT FACTORY

VINTAGE LED LAMPS

CONSULT FACTORY

G16.5

G16.5F–24/325 – 24K, 3.5W, 325L, CLEAR
G16.5F–27/325 – 27K, 3.5W, 325L, CLEAR

G16.5F–24/200 – 24K, 2W, 200L, CLEAR
G16.5F–27/200 – 27K, 2W, 200L, CLEAR

WHITE OR FROSTED – CONSULT FACTORY

A15 & A19

CONSULT FACTORY

S14 VARIOUS COLORS

CONSULT FACTORY

G25

CONSULT FACTORY

* ADD "SC" SUFFIX FOR SILICONE COATING (FOOD SERVICE)
* SEE INDIVIDUAL DATA SHEETS FOR COMPLETE LAMP SPECIFICATIONS
* LED LAMPS SPECIFICALLY WET RATED AND DIM DOWN TO 10% WITH A TRAILING EDGE (ELV) DIMMER.

INCANDESCENT LAMPS (OPTIONAL)

LF
A15 CLEAR 120V 25W

LS
S14 CLEAR 120V 11W
COLORS AVAILABLE

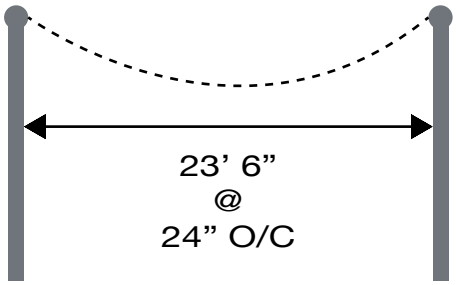
LH–C
G16.5 CLEAR 120V 25W
LH–W
G16.5 WHITE 120V 25W

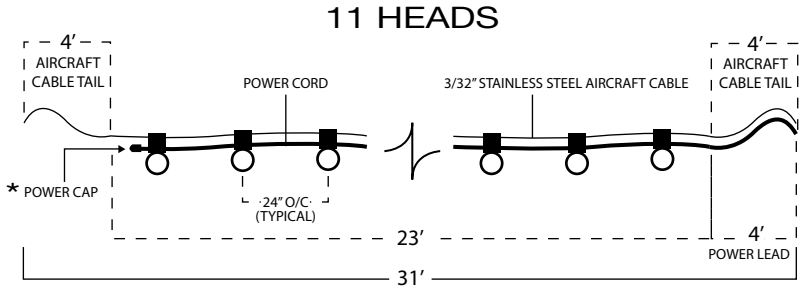
LG
S11 CLEAR 120V 7.5W
COLORS AVAILABLE

FULL SPECIFICATION SHEETS AVAILABLE AT PRIMUSLIGHTING.COM.

Decostrings are ordered and built to specific run lengths and include 4' aircraft cable tails on each end and a 4' power lead on one end for adjustment and make-up. Order the measured length between mounting points rounded down to the nearest foot which allows for ample droop and centering adjustment. See "Installation Guide" for detailed instructions. Estimate dead weight load at 5oz/ft. for most common 24" O/C spacing. A simple straight run example is shown below resulting in a 23' run to order.

Example:

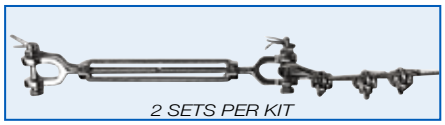




* OPTIONAL: LEADS BOTH ENDS FOR SPLICING

TERMINATION KITS

Commercial grade heavy duty stainless steel cable termination kits. System working load 175# using standard *Decostring* 3/32" suspension cable to attach to typically a ¼" eye or mounting tab (by others). Complete hardware for both cable ends. Order (1) kit per run. Other components available.



STK
STANDARD TERMINATION KIT
For Drooped Suspension | 5/16" Gate

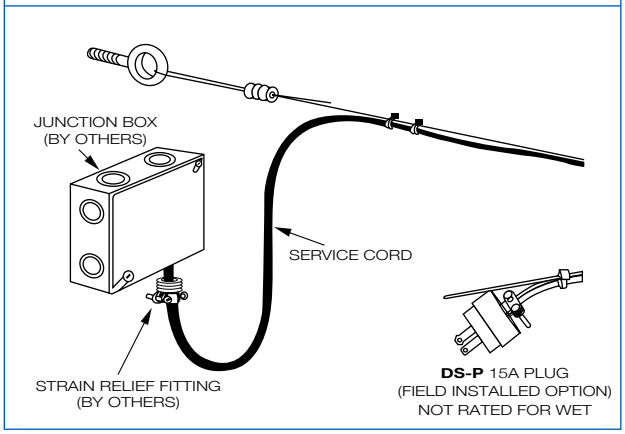
LTK
LIGHTWEIGHT TERMINATION KIT
Maximum Working Load 30 LBS

TBK
TURNBUCKLE KIT
Only for Tensioned Suspension | 7/16" Gate

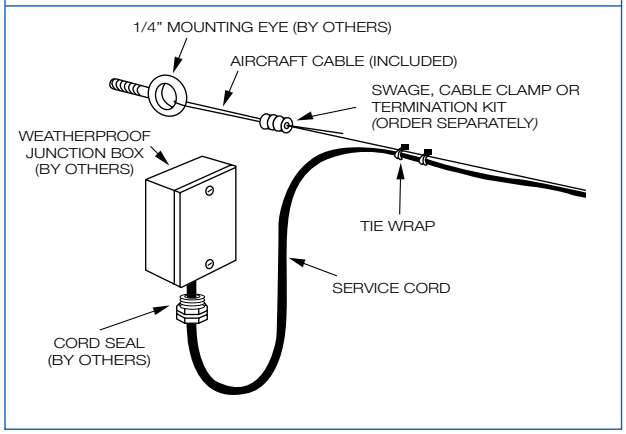
POWER CONNECTIONS

Decostrings are designed to be permanently installed and hard wired to a junction box. Customary wet location make-up includes a drip loop and mechanical termination to a weatherproof j-box using an appropriate nylon cord grip

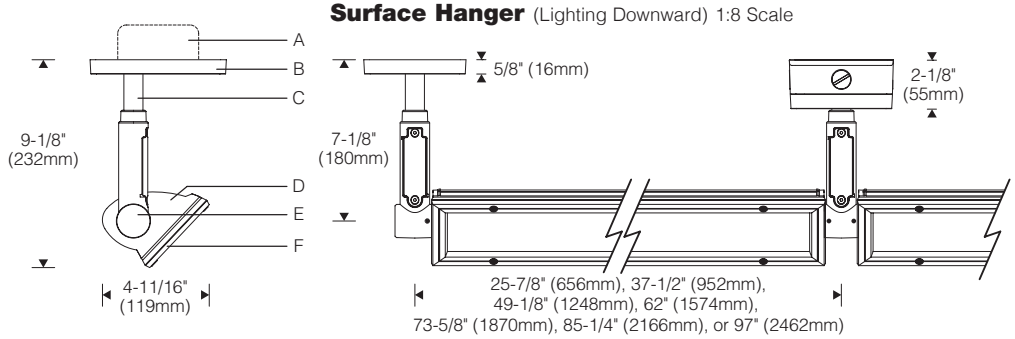
DRY LOCATION MOUNTING



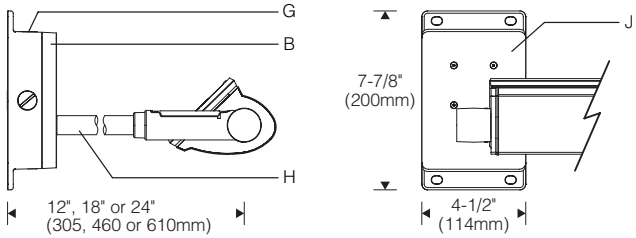
WET LOCATION MOUNTING

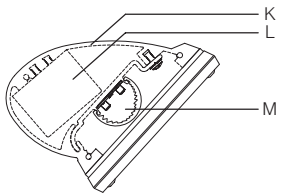


Surface Hanger (Lighting Downward) 1:8 Scale

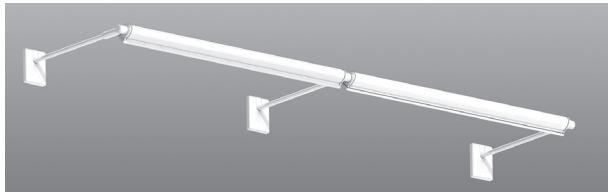


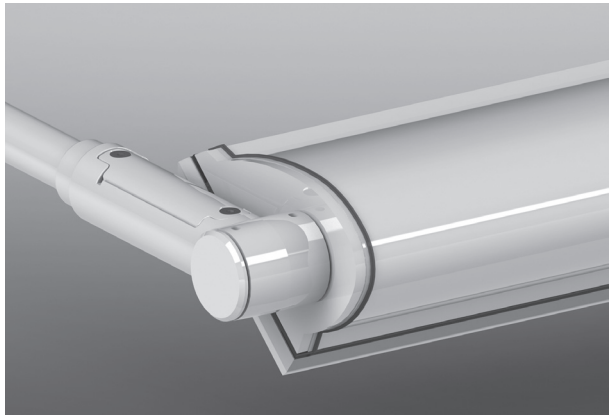
Cantilever Hanger (Lighting Upward) 1:8 Scale





Internal Components
1:4 Scale





Specifications

A Recessed outlet box (by others)

B Die-cast aluminum mounting plate

C Aluminum surface hanger stem

D Die-cast aluminum end plate

E Die-cast aluminum hub with splice compartment

F Extruded aluminum door frame with mitered corners, tempered micro-prismatic glass lens

G Die-cast aluminum splice box

H Schedule 40 galvanized steel cantilever arm (7/8" O.D.)

J Aluminum splice/ access cover

K Extruded aluminum heat sink/ housing

L Integral high power factor constant current driver

M Field serviceable light engine with asymmetric optic

Optic Assembly:
Two-piece extruded aluminum heat sink housing and light engine. Precision extruded polymer refractive lens with optimized asymmetric distribution. Extruded aluminum door frame with tamper-resistant fasteners. Tempered microprismatic glass lens and holographic diffuser with silicone gasket for watertight operation when facing upward or downward.

Finish:
Exterior surfaces – 6 stage pretreatment and electrostatically applied thermoset polyester powder coating for a durable abrasion, fade and corrosion resistant finish. All hardware and components – non-corrosive stainless steel or aluminum.

Electrical:
Integral electronic HPF constant current driver(s), dimming drivers are optional. For complete driver specifications, see website, reference document **MA-1303**. 84" leads exit one end of housing.

Mounting:
Required 1-1/2" diameter x 1-1/2" aluminum hubs with 1/2" NPT threaded entry, ordered and priced separately. Housing aiming is adjustable – locks with set screws. Alternately, order hubs with surface, pendant or cantilever hangers (see SV4.1). Hangers include aluminum mounting plate, cover plate and hub with 7/8" O.D. steel arm/stem. Specify end kit or intermediate hubs/hangers.

Fixture weight: 3.5 lbs/ft (5.1 kg/m)

Standard:
UL listed or CSA certified for wet locations when mounted horizontally. For positions other than horizontal, consult factory.
5 year warranty, maximum ambient temperature 45°C (113°F).

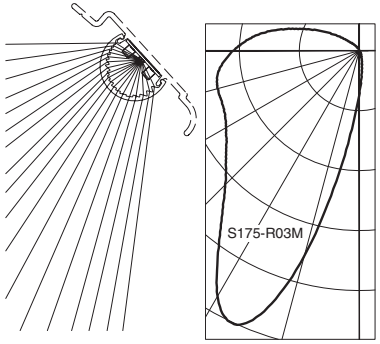
Features

- *Watertight operation facing up or down*
- *Rugged all aluminum and stainless steel construction – polyester powder coat exceeds 1000 hour salt spray test*
- *Versatile – surface, cantilever or pendant mount*
- *Several lumen packages that put the light on target*

SV 4.0

Performance

Precisely extruded acrylic lens produces an asymmetric distribution ideal for illuminating vertical surfaces evenly from top to bottom.



For LM79 and photometric reports, visit **thelightingquotient.com**

L90(10k) > 60,000 hrs. @ 25°C per TM-21

rgbw tunable white

elliptipar®

To form a Catalog Number

Project: _____ Type: _____

S 1 7 5 - ____ - H - ____ - ____ - ____ - ____ - ____ - ____ - ____
1 2 3 4 5 6 7 8 9 10

1 Source

S = Solid state (LED)

2 Style

175 = Small linear outdoor LED, integral driver

3 Length / Light Output / Power

ORDER CODE	LENGTH	LUMENS	INPUT WATTS	NUMBER OF LEDS	DRIVE CURRENT
R02G	2FT	780	7	72	175mA
R02L	2FT	1529	14	72	350mA
R02M	2FT	2965	29	72	700mA
R03G	3FT	1170	11	108	175mA
R03L	3FT	2294	22	108	350mA
R03M	3FT	4447	43	108	700mA
R04G	4FT	1560	14	144	175mA
R04L	4FT	3059	29	144	350mA
R04M	4FT	5929	58	144	700mA
R05G	5FT	1951	18	180	175mA
R05L	5FT	3824	36	180	350mA
R05M	5FT	7412	72	180	700mA
R06G	6FT	2341	22	216	175mA
R06L	6FT	4588	43	216	350mA
R06M	6FT	8894	87	216	700mA
R07G	7FT	2731	25	252	175mA
R07L	7FT	5353	51	252	350mA
R07M	7FT	10376	101	252	700mA
R08G	8FT	3121	29	288	175mA
R08L	8FT	6118	58	288	350mA
R08M	8FT	11859	116	288	700mA

Based on 3500K/80+ CRI. **Click here** for scaled performance table.

SV 4.1

4 Mounting

H = For use with required mounting hubs only or mounting hubs with surface or pendant/cantilever hangers — ordered and priced separately, see hubs/hangers at right.

5 Finish

02 = Semigloss white
06 = Dark bronze*
07 = Silver*
08 = Semigloss black
15 = Metallic
17 = Champagne*
18 = Copper*
99 = Custom or RAL, consult sales rep.*

* = non-cancellable/returnable

6 Voltage

M = 120-277V Universal voltage input
K = 347V input

7 Option

00 = No options
V0 = Cutoff visor
XX = For modification not listed, include detailed description. Consult factory prior to specification.

8 Destination Requirement

0 = UL listed or CSA certified for U.S.
J = UL listed or CSA certified for Canada

9 Color Temperature / CRI

827 = 2700K, 80+ CRI
830 = 3000K, 80+ CRI
835 = 3500K, 80+ CRI
840 = 4000K, 80+ CRI
927 = 2700K, 90+ CRI
930 = 3000K, 90+ CRI
935 = 3500K, 90+ CRI
940 = 4000K, 90+ CRI

Note: Additional CCT and CRI options are available; consult factory.

RGB = RGBW (Red, Green, Blue, 3500K White, for use with DMX driver only)

Tunable White - Consult factory.

10 Dimming**

00 = Non-dimming
TD = ERP forward phase or reverse phase (120V only), dimming range 100-10% power, compatible controls by others
ZX = 0-10V analog dimming 120-277V input, dimming range 100%-5%, 0-10V controls by others
L2 = Lutron Hi-lume LTE 120V input only, dimming range 100%-1%, compatible 2-wire dimming controls by others (see note*)
EL = eldoLED SOLOdrive 120-277V input, dimming range 100%-0.1%, 0-10V controls by others.
DM = For RGBW only, eldoLED LINEARdrive 120-227V input, DMX controls by others

**Dimming range refers to % power input, % light output will vary.

Refer to Driver Information document MA-1303

Required Hubs, with Hangers

HOJ (hubs only), **HFA** or **HFC** (hubs with hangers) are required — ordered and priced separately. Order two hangers and one **HFE end of row kit** (pair of end caps) for each individually mounted luminaire or each row. For a continuous row, order one hanger for each additional luminaire in the row. Example: three rows of four housings requires 3 HFE end cap kits and 15 hangers. **Note: Recessed outlet box by others or splice box style hanger required at each mounted location for electrical connections.**

HFA **Surface** hanger, mounting/splice box options — standard length 7-1/8"

HFC **Cantilever or pendant** hanger, mounting/splice box options
— 24" maximum horizontal for cantilever mount
— 60" maximum vertical for pendant mount

Required Hubs Only, End of Row Kit

HOJ (hubs only), **HFA** or **HFC** (hubs with hangers) are required — ordered and priced separately. Hubs for use with 1/2" rigid conduit or fittings (supplied by others). Order two hubs and one **HFE end of row kit** (pair of end caps) for each individually mounted luminaire or each row. For a continuous row, order one hub for each additional luminaire in the row. Example: three rows of four housings requires 3 HFE end cap kits and 15 hubs. **Note: Locate electrical feed at end of row.**

HOJ **Mounting hub only** (each)
HFE **End of row kit** (two end caps)

Accessories

RGBW Controls

ADW0000 = Accessory DimWheel DMX wall box controller. Mounts into standard switch box by others. Single-button controller allows control of dimming level, color and has pre-programmed show modes. Show sequences can also be designed and uploaded to DimWheel using free software by eldoLED.

*The external shapes of the housings are trademarks of Sylvan R. Shemitz Designs, LLC dba **The Lighting Quotient**, makers of **elliptipar**, **tambient** and **fraqtir**.*

Certain products illustrated may be covered by applicable patents and patents pending. These specifications supersede all prior publications and are subject to change without notice. Copyright © 2021 Sylvan R. Shemitz Designs, LLC, all rights reserved.

elliptipar *from* **The Lighting Quotient**
114 Boston Post Road, West Haven, Connecticut 06516, USA
Voice 203.931.4455 • Fax 203.931.4464 • **thelightingquotient.com**

Hubs, Hangers and Splice Boxes Style S175 Solid State/LED

Ordering information for HUBS with HANGERS and SPLICE BOXES:

Order two hangers and one **HFE end of row kit** (two end caps, ordering info in hubs, below) for each individually mounted luminaire or each row. For a continuous row, order a hanger for each additional luminaire in the row. Example: one row of four reflectors requires five hangers and one HFE kit.

HF ___ ___ ___ ___ **0** = **Hub mounting hangers**

Length in inches (see below for maximum pendant and cantilever lengths); enter "**00**" for HFA hangers

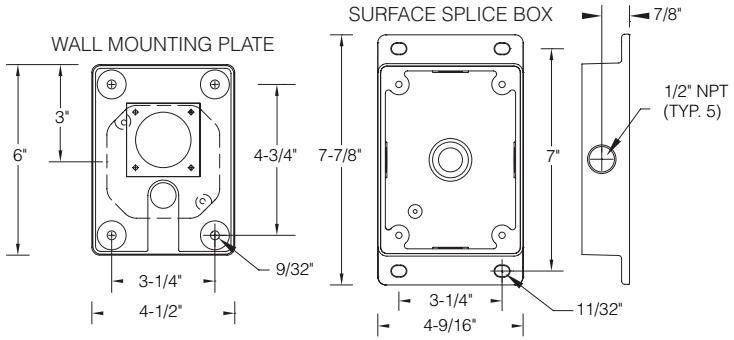
Finish: **02** semigloss white, **06** dark bronze, **07** silver, **08** semigloss black, **17** champagne, **18** copper

0 = mounting plate, no splice box

1 = mounting plate with surface splice box

A = **Surface** hanger (standard length is 7-1/8")

C = **Cantilever or pendant** hanger
(24" maximum horizontal for cantilever mount)
(60" maximum vertical for pendant mount)

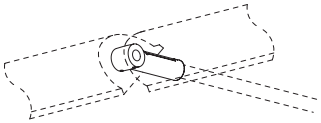


Ordering information for HUBS without stems or mounting plates:

For use with 1/2" rigid conduit or fittings (supplied by others). Order two hubs and one **HFE end of row kit** (two end caps) for each individually mounted luminaire or each row. For a continuous row, order one hub for each additional luminaire in the row. Example: a row of six reflectors requires seven hubs and one HFE end of row kit.

HOJ ___ **000** = **Mounting hub only** (each)

Finish:
02 semigloss white, **06** dark bronze, **07** silver, **08** semigloss black, **17** champagne, **18** copper



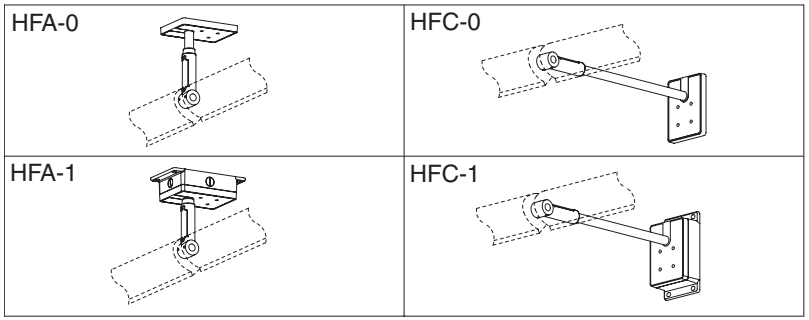
HOJ hub in intermediate position without end caps

HFE ___ **000** = **End of row kit** (two end caps)

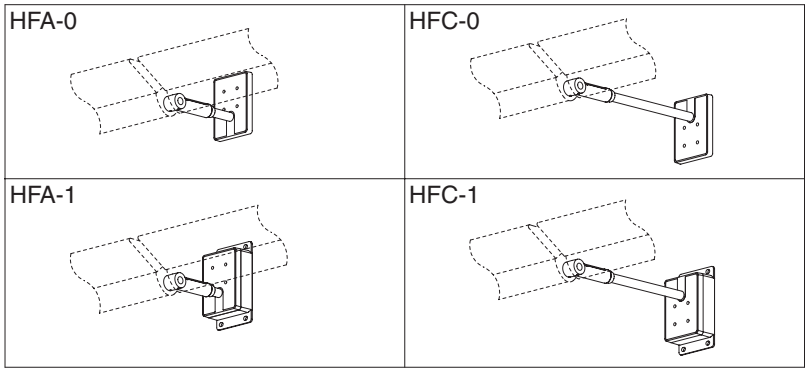
Finish:
02 semigloss white, **06** dark bronze, **07** silver, **08** semigloss black, **17** champagne, **18** copper

HFE end of row caps cover outer ends of hubs

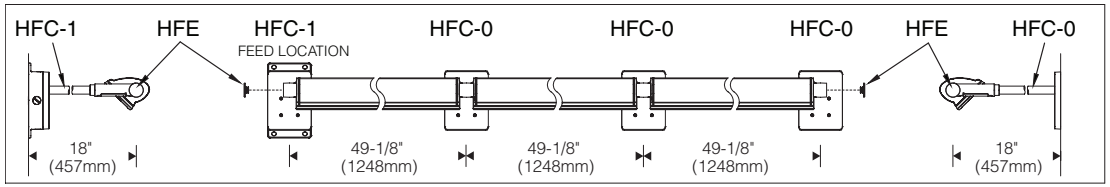
HUBS with HANGERS and SPLICE BOXES: Lighting the Vertical Plane



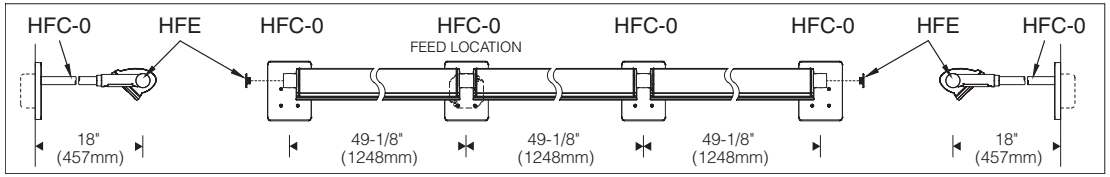
HUBS with HANGERS and SPLICE BOXES: Uplighting



EXAMPLE 1: 12ft row with (3) 4ft S175 fixtures and (4) 18" wall wash cantilevers, surface conduit feed at first hanger. Order (3) S175-R04_ fixtures, (1) HFC-1 surface hanger with splice box, (3) HFC-0 surface hangers and (1) HFE end kit.

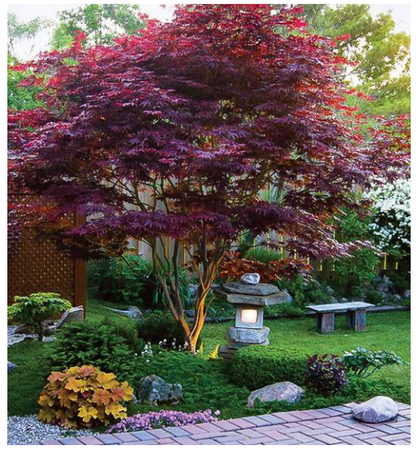


EXAMPLE 2: 12ft row with (3) 4ft S175 fixtures and (4) 18" wall wash cantilevers, recessed outlet box at second hanger. Order (3) S175-R04_ fixtures, (4) HFC-0 surface hangers (one to use recessed outlet box feed), and (1) HFE end kit.

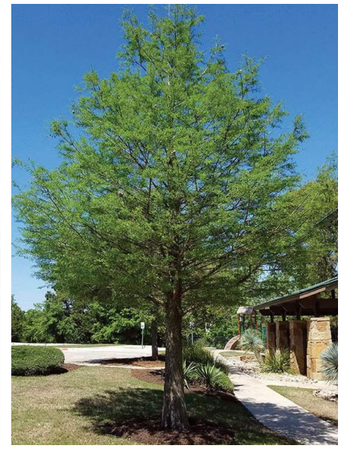


SV 4.2

PALATKA HOLLY TREE



BLOODGOOD JAPANESE MAPLE



BALD CYPRESS

VARIEGATED GINGER

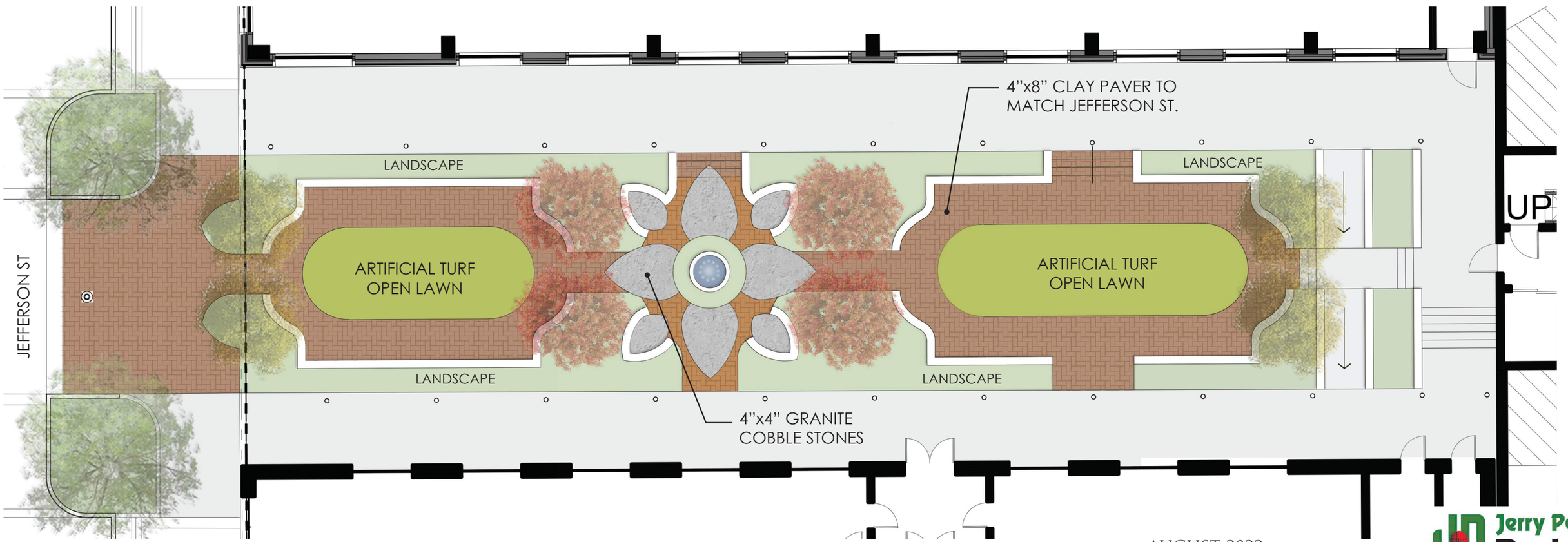
ENDLESS SUMMER HYDRANGEA

HEAVENLY BAMBOO

LEOPARD PLANT

COURTYARD REFERENCE IMAGES

GRAPHIC SCALE
0 5' 10'



EAST GARDEN DISTRICT | HOTEL PLAZA CONCEPTUAL DESIGN

AUGUST 2022
PENSACOLA, FLORIDA

Jerry Pate Design

East Garden District
Growing Since 1764

JERRY PATE DESIGN

- ☐ APPROVED
- ☐ APPROVED AS CORRECTED
- ☐ REVISE AND RESUBMIT
- ☐ REJECTED
- ☑ FOR INFORMATION ONLY

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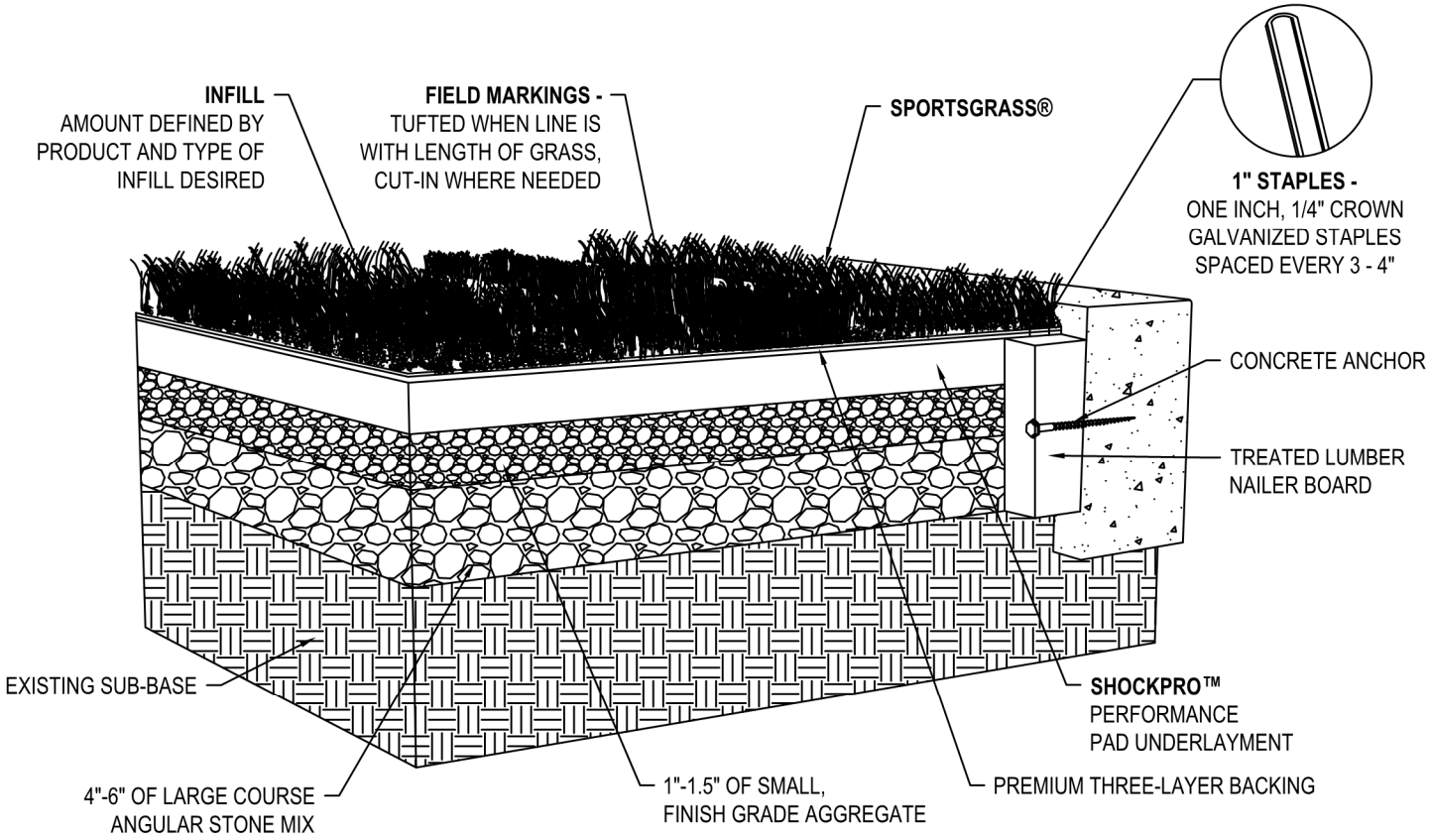
BY balexander **DATE** 8/2/2022

East Garden District red clay paver.
Currently installed on Jefferson St.

Granite 4"x4" cube paver for center logo

FOREVERLAWN
8007 BEESON ST.
LOUISVILLE, OH 44641
PHONE: (866) 992-7876
FAX: (330) 249-2170
www.foreverlawn.com

Artificial Turf Open Lawn



PERSPECTIVE

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
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5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 1148-156

SPORTSGRASS® SYSTEM

ATHLETIC TURF: INSTALLED OVER SHOCKPRO

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DuPont™ ForeverLawn®

Select Synthetic Grass

Remarkable natural grass appearance

A waterless, low-maintenance option to live grass

Great for areas where natural grass is difficult to grow or maintain

Exceptional resiliency and improved performance

Designed for long-lasting installations in any climate

Natural Appearance for a Pristine Landscape

DuPont™ ForeverLawn® Select Synthetic Grass has taken realism to a new level. This innovative line of fine-bladed, lush synthetic grass features a tan thatch, multi-colored blades, and a newly-developed Memory Fiber™ blade that offers a remarkably realistic appearance and performance. Ideal for residential and commercial landscaping, DuPont™ ForeverLawn® Select Synthetic Grass offers resilient blades and dense construction. Built on the ForeverLawn proprietary platform, this beautiful, low-luster grass product is great for replicating a natural grass look and feel in any environment.

Select EL
Fresh cut
Green/olive

Select HD
Fresh cut
Bright

Select LX
Long and lush
Green/olive

Select VR
Long and lush
Bright

ForeverLawn®

866.992.7876
foreverlawn.com

M0041 Rev. 11/17

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DuPont™ ForeverLawn®

Select Synthetic Grass

Unique Memory Fiber™ yarn

Tan thatch zone

Dual color green blades

Proprietary seaming system

Premium multi-layered backing

*Comprised of recycled material from Project Yellowstone**

Features BioCel™ turf backing with renewable and recycled materials

*Project Yellowstone is an innovative recycling program with Yellowstone National Park and Universal Textile Technologies in which plastic bottles from the park are recycled and made into backings for premium carpet and artificial turf. Visit universal-textiles.com to learn more.

ForeverLawn®

866.992.7876

foreverlawn.com

DuPont™ ForeverLawn® Select Synthetic Grass has taken realism to a new level.

These innovative, fine-bladed synthetic grass products provide realistic, waterless alternatives to natural grass that reduce maintenance while offering a soft, lush, usable artificial grass surface.

COMPONENTS	Select EL	Select HD	Select LX	Select VR
YARN TYPE	• **Primary:** Polyethylene monofilament Memory Fiber™ • **Secondary:** Heat set textured nylon mono-filament	• **Primary:** Polyethylene monofilament Memory Fiber™ • **Secondary:** Heat set textured nylon mono-filament	• **Primary:** Polyethylene monofilament Memory Fiber™ • **Secondary:** Heat set textured nylon mono-filament	• **Primary:** Polyethylene monofilament Memory Fiber™ • **Secondary:** Heat set textured nylon mono-filament
YARN COLOR	• **Primary:** Field/olive green • **Secondary:** Turf green/ dark tan	• **Primary:** Field/clover green • **Secondary:** Turf green/ dark tan	• **Primary:** Field/olive green • **Secondary:** Turf green/ dark tan	• **Primary:** Field/clover green • **Secondary:** Turf green/ dark tan
YARN COUNT	• **Primary:** 10,800/6 • **Secondary:** 5,040/12	• **Primary:** 10,800/6 • **Secondary:** 5,040/12	• **Primary:** 10,800/6 • **Secondary:** 5,040/12	• **Primary:** 10,800/6 • **Secondary:** 5,040/12
TUFTING CONSTRUCTION	• Dual yarn, same row	• Dual yarn, same row	• Dual yarn, same row	• Dual yarn, same row
BLADE HEIGHT	• 1-3/4”	• 1-3/4”	• 2-1/8”	• 2-1/8”
TUFTING GAUGE	• 3/8”	• 3/8”	• 3/8”	• 3/8”
FACE WEIGHT	• 50 ounces	• 50 ounces	• 70 ounces	• 70 ounces
TOTAL PRODUCT WEIGHT	• 115 ounces	• 115 ounces	• 135 ounces	• 135 ounces
BACKING	• **Primary:** 18 pic reinforced tri component • **Secondary:** 50 oz. BioCel™ Polyurethane with 6 oz. nonwoven geotex laminate	• **Primary:** 18 pic reinforced tri component • **Secondary:** 50 oz. BioCel™ Polyurethane with 6 oz. nonwoven geotex laminate	• **Primary:** 18 pic reinforced tri component • **Secondary:** 50 oz. BioCel™ Polyurethane with 6 oz. nonwoven geotex laminate	• **Primary:** 18 pic reinforced tri component • **Secondary:** 50 oz. BioCel™ Polyurethane with 6 oz. nonwoven geotex laminate
SEAMING	• Micromechanical bonding	• Micromechanical bonding	• Micromechanical bonding	• Micromechanical bonding
INFILL[1]	• 0.5 pounds of rubber (or sand/rubber mix)	• 0.5 pounds of rubber (or sand/rubber mix)	• 0.75 pounds of rubber (or sand/rubber mix)	• 0.75 pounds of rubber (or sand/rubber mix)

[1] Recommended infill for normal installation. More or less can be used, and heavy traffic areas will perform better with higher infill levels.

M0051 Rev. 11/17

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Wilshire Collection

Materials: **FRP Fiberglass and Lightweight GFRC Concrete**

The Wilshire Collection is nothing fancy - straight walls and a slight reveal. Put several of them together and it creates a highly effective way to configure space using live plants. The elegant straight lines disappear, emphasizing the plant, as it should be. Available in FRP fiberglass and lightweight GFRC concrete, in a huge range of sizes.

- Lightweight FRP fiberglass and GFRC are designed to be durable despite low weight - even for heavy-traffic locations
- Coordinates with our self-watering container irrigation products
- Wilshire collection is also available in Weathering steel and powdercoat steel versions
- Round, square and rectangular sizes from 18" to 120", with customization available
- Matching ash, trash and recyclers available

Wilshire square and round planters are available in sizes from 18" to 72", many FRP fiberglass and GFRC colors, textures and finishes. Check with your salesperson for alternative sizes.

Round Planters with Toe Kick

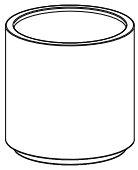
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WS-1800	FRP	18" dia	15" dia	20"	15" dia	14.5" dia	19.75	15	2.5	CWC-1216
WS-2400	FRP	24" dia	21" dia	24"	21" dia	20.5" dia	23.75"	24	6	CWC-1600/CWM-1114-2k
WS-3000	FRP	30" dia	26" dia	27"	27" dia	25.5" dia	26.75"	35	11	CWC-2400/CWM-1720-2k
WS-3600	FRP	36" dia	32" dia	30"	31.5" dia	31.5" dia	29.75"	50	17	CWC-2800/CWM-1720-3k
WS-4200	FRP	42" dia	38" dia	33"	37.5" dia	37.5" dia	32.75"	65	26	CWC-3300/CWM-1720-3k
WS-4800	FRP	48" dia	44" dia	36"	43.5" dia	43.5" dia	35.75"	80	35.5	CWM-2920-3k`
WS-6000	FRP	60" dia	56" dia	36"	55.5" dia	55.5" dia	35.75"	105	55.5	CWM-2920-4k
WS-7200	FRP	72" dia	68" dia	42"	67" dia	67.5" dia	41.75"	145	94.5	CWM-2920-5k
WCS-2400	GFRC	24" dia	21" dia	24"	21" dia	19.5" dia	23.25"	130	5.5	CWC-1600/CWM-1114-2k
WCS-3000	GFRC	30" dia	26" dia	27"	27" dia	24.5" dia	26.25"	185	10	CWC-2400/CWM-1720-2k
WCS-3600	GFRC	36" dia	32" dia	30"	31.5" dia	30.5" dia	29.25"	275	16.5	CWC-2800/CWM-1720-3k
WCS-4200	GFRC	42" dia	38" dia	33"	37.5" dia	36.5" dia	32.25"	340	25	CWC-3300/CWM-1720-3k
WCS-4800	GFRC	48" dia	44" dia	36"	43.5" dia	42.5" dia	35.25"	445	32.5	CWM-2920-3k
WCS-6000	GFRC	60" dia	56" dia	36"	55.5" dia	54.5" dia	35.25"	590	52	CWM-2920-4k
WCS-7200	GFRC	72" dia	68" dia	42"	67" dia	66.5" dia	41.25"	865	86.5	CWM-2920-4k

Square Planters with Toe Kick

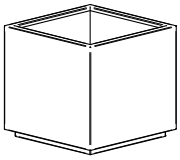
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-1800	FRP	18" x 18"	15" x 15"	20"	15" x 15"	14.5" x 14.5"	19.75"	19	3.4	CWC-R1300
WR-2400	FRP	24" x 24"	21" x 21"	24"	21" x 21"	20.5" x 20.5"	23.75"	40	8	CWC-R1850/CWM-R1114-2k
WR-3000	FRP	30" x 30"	26" x 26"	27"	27" x 27"	25.5" x 25.5"	26.75"	50	14	CWM-R1620-2k
WR-3600	FRP	36" x 36"	32" x 32"	30"	31" x 31"	31.5" x 31.5"	29.75"	70	22	CWM-R1620-2k
WR-4200	FRP	42" x 42"	38" x 38"	36"	37" x 37"	43.5" x 43.5"	35.75"	80	37	CWM-1720-4K
WR-4800	FRP	48" x 48"	44" x 44"	36"	43" x 43"	43.5" x 43.5"	35.75"	110	48	CWM-R2920-2k
WR-4824	FRP	48" x 48"	44" x 44"	24"	43" x 43"	43.5" x 43.5"	23.75"	80	29	CWM-R2914-2k
WR-6000	FRP	60" x 60"	56" x 56"	42"	55" x 55"	55.5" x 55.5"	41.75"	135	80	CWM-R2920-4k
WR-7200	FRP	72" x 72"	68" x 68"	42"	67" x 67"	67.5" x 67.5"	41.75"	165	120	CWM-R2020-4k-E
WCR-2400	GFRC	24" x 24"	21.5" x 21.5"	24"	21" x 21"	19.5" x 19.5"	23.25"	225	7	CWC-R1850/CWM-R1114-2k
WCR-3000	GFRC	30" x 30"	26" x 26"	27"	26" x 26"	24.5" x 24.5"	26.25"	275	11	CWM-R1620-2k
WCR-3600	GFRC	36" x 36"	32" x 32"	30"	31" x 31"	30.5" x 30.5"	29.25"	430	21	CWM-R2020-2k
WCR-4800	GFRC	48" x 48"	40.5" x 40.5"	36"	43" x 43"	42.5" x 42.5"	35.25"	700	45	CWM-R2920-2k
WCR-4824	GFRC	48" x 48"	40.5" x 40.5"	24"	43" x 43"	42.5" x 42.5"	23.25"	500	26.5	CWM-R2914-2k
WCR-6000	GFRC	60" x 60"	56" x 56"	42"	55" x 55"	54.5" x 54.5"	41.25"	1050	51	CWM-R2920-4k
WCR-7200	GFRC	72" x 72"	68" x 68"	42"	67" x 67"	66.5" x 66.5"	41.25"	1250	112.5	CWM-R2020-4k-E

2

WS-2400



WR-2400



Tournesol SITEWORKS

Wilshire square and round planters can also be ordered with no reveal (toe kick) at the bottom, to coordinate with standard rectangles.

Round Planters without Toe Kick

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WS-1800F	FRP	18" dia	18" dia	20"	15" dia	14.5" dia	19.75	15	2.5	CWC-1216
WS-2400F	FRP	24" dia	24" dia	24"	21" dia	20.5" dia	23.75"	24	6	CWC-1600/CWM-1114-2k
WS-3000F	FRP	30" dia	30" dia	27"	27" dia	25.5" dia	26.75"	35	11	CWC-2400/CWM-1720-2k
WS-3600F	FRP	36" dia	36" dia	30"	31.5" dia	31.5" dia	29.75"	50	17	CWC-2800/CWM-1720-3k
WS-4200F	FRP	42" dia	42" dia	33"	37.5" dia	37.5" dia	32.75"	65	26	CWC-3300/CWM-1720-3k
WS-4800F	FRP	48" dia	48" dia	36"	43.5" dia	43.5" dia	35.75"	80	35.5	CWM-2920-3k`
WS-6000F	FRP	60" dia	60" dia	36"	55.5" dia	55.5" dia	35.75"	105	55.5	CWM-2920-4k
WS-7200F	FRP	72" dia	72" dia	42"	67" dia	67.5" dia	41.75"	145	94.5	CWM-2920-5k
WCS-2400F	GFRC	24" dia	24" dia	24"	21" dia	19.5" dia	23.25"	130	5.5	CWC-1600/CWM-1114-2k
WCS-3000F	GFRC	30" dia	30" dia	27"	27" dia	24.5" dia	26.25"	185	10	CWC-2400/CWM-1720-2k
WCS-3600F	GFRC	36" dia	36" dia	30"	31.5" dia	30.5" dia	29.25"	275	16.5	CWC-2800/CWM-1720-3k
WCS-4200F	GFRC	42" dia	42" dia	33"	37.5" dia	36.5" dia	32.25"	340	25	CWC-3300/CWM-1720-3k
WCS-4800F	GFRC	48" dia	48" dia	36"	43.5" dia	42.5" dia	35.25"	445	32.5	CWM-2920-3k
WCS-6000F	GFRC	60" dia	60" dia	36"	55.5" dia	54.5" dia	35.25"	590	52	CWM-2920-4k
WCS-7200F	GFRC	72" dia	72" dia	42"	67" dia	66.5" dia	41.25"	865	86.5	CWM-2920-4k

Square Planters without Toe Kick

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-1800F	FRP	18" x 18"	18" x 18"	20"	15" x 15"	14.5" x 14.5"	19.75"	19	3.4	CWC-R1300
WR-2400F	FRP	24" x 24"	24" x 24"	24"	21" x 21"	20.5" x 20.5"	23.75"	40	8	CWC-R1850/CWM-R1114-2k
WR-3000F	FRP	30" x 30"	30" x 30"	27"	27" x 27"	25.5" x 25.5"	26.75"	50	14	CWM-R1620-2k
WR-3600F	FRP	36" x 36"	36" x 36"	30"	31" x 31"	31.5" x 31.5"	29.75"	70	22	CWM-R1620-2k
WR-4200F	FRP	42" x 42"	38" x 38"	36"	37" x 37"	43.5" x 43.5"	35.75"	80	37	CWM-1720-4K
WR-4800F	FRP	48" x 48"	48" x 48"	36"	43" x 43"	43.5" x 43.5"	35.75"	110	48	CWM-R2920-2k
WR-4824F	FRP	48" x 48"	48" x 48"	24"	43" x 43"	43.5" x 43.5"	23.75"	80	29	CWM-R2914-2k
WR-6000F	FRP	60" x 60"	60" x 60"	42"	55" x 55"	55.5" x 55.5"	41.75"	135	80	CWM-R2920-4k
WR-7200F	FRP	72" x 72"	72" x 72"	42"	67" x 67"	67.5" x 67.5"	41.75"	165	120	CWM-R2020-4k-E
WCR-2400F	GFRC	24" x 24"	24" x 24"	24"	21" x 21"	19.5" x 19.5"	23.25"	225	7	CWC-R1850/CWM-R1114-2k
WCR-3000F	GFRC	30" x 30"	30" x 30"	27"	26" x 26"	24.5" x 24.5"	26.25"	275	11	CWM-R1620-2k
WCR-3600F	GFRC	36" x 36"	36" x 36"	30"	31" x 31"	30.5" x 30.5"	29.25"	430	21	CWM-R2020-2k
WCR-4800F	GFRC	48" x 48"	48" x 48"	36"	43" x 43"	42.5" x 42.5"	35.25"	700	45	CWM-R2920-2k
WCR-4824F	GFRC	48" x 48"	48" x 48"	24"	43" x 43"	42.5" x 42.5"	23.25"	500	26.5	CWM-R2914-2k
WCR-6000F	GFRC	60" x 60"	60" x 60"	42"	55" x 55"	54.5" x 54.5"	41.25"	1050	51	CWM-R2920-4k
WCR-7200F	GFRC	72" x 72"	72" x 72"	42"	67" x 67"	66.5" x 66.5"	41.25"	1250	112.5	CWM-R2020-4k-E

Square Tall - All tall planters come full depth. Available with false bottom.

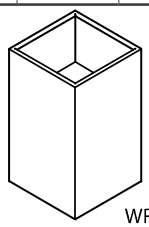
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WRT-1800	FRP	18" x 18"	18" x 18"	30"	15" x 15"	17.5" x 17.5"	29.75"	35	5.1	CWC-R1100
WRT-2400	FRP	24" x 24"	24" x 24"	48"	21" x 21"	23.5" x 23.5"	47.75"	70	15.1	CWC-R1850
WRT-3000	FRP	30" x 30"	30" x 30"	54"	27" x 27"	29.5" x 29.5"	53.75"	100	26.6	CWM-R1620-2k-CRT
WCRT-1800	GFRC	18" x 18"	18" x 18"	30"	15" x 15"	16.5" x 16.5"	29"	115	5.2	CWC-R1100
WCRT-2400	GFRC	24" x 24"	24" x 24"	48"	21" x 21"	22.5" x 22.5"	47"	240	14.9	CWC-R1850
WCRT-3000	GFRC	30" x 30"	30" x 30"	54"	26" x 26"	28.5" x 28.5"	53"	390	26.4	CWM-R1620-2k-CRT

Round Tall - All tall planters come full depth. Available with false bottom.

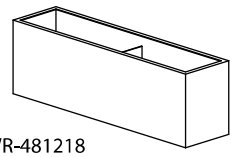
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WST-1800	FRP	18" x 18"	18" x 18"	30"	15" x 15"	17.5" x 17.5"	29.75"	25	4.1	CWI-1200
WST-2400	FRP	24" x 24"	24" x 24"	48"	21" x 21"	23.5" x 23.5"	47.75"	50	11.9	CWI-1700
WST-3000	FRP	30" x 30"	30" x 30"	54"	27" x 27"	29.5" x 29.5"	53.75"	70	21.0	CWI-2200
WCST-1800	GFRC	18" x 18"	18" x 18"	30"	15" x 15"	16.5" x 16.5"	29"	95	3.5	CWI-1200
WCST-2400	GFRC	24" x 24"	24" x 24"	48"	21" x 21"	22.5" x 22.5"	47"	190	10.6	CWI-1700
WCST-3000	GFRC	30" x 30"	30" x 30"	54"	26" x 26"	28.5" x 28.5"	53"	285	19.2	CWI-2200

Rectangles

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-241012	FRP	24" x 10"	24" x 10"	12"	21" x 7"	23.5" x 9.5"	11.75"	12	1.5	CWM-R1109-MS
WR-361012	FRP	36" x 10"	36" x 10"	12"	33" x 7"	35.5" x 9.5"	11.75"	16	2.3	CWM-R1109-2k
WR-481012	FRP	48" x 10"	48" x 10"	12"	45" x 7"	47.5" x 9.5"	11.75"	21	3.1	CWM-R1109-2k
WR-601012	FRP	60" x 10"	60" x 10"	12"	57" x 7"	59.5" x 9.5"	11.75"	26	3.9	CWM-R1109-2k
WR-721012	FRP	72" x 10"	72" x 10"	12"	69" x 7"	71.5" x 9.5"	11.75"	30	4.7	CWM-R1109-3k
WR-961012	FRP	96" x 10"	96" x 10"	12"	93" x 7"	95.5" x 9.5"	11.75"	40	6.3	CWM-R1109-5k
WR-1201012	FRP	120" x 10"	120" x 10"	12"	117" x 7"	119.5" x 9.5"	11.75"	50	7.8	CWM-R1109-5k
WR-241218	FRP	24" x 12"	24" x 12"	18"	21" x 9"	23.5" x 11.5"	17.75"	17	2.8	CWM-R1114-MS
WR-361218	FRP	36" x 12"	36" x 12"	18"	33" x 9"	35.5" x 11.5"	17.75"	23	4.3	CWM-R1114-2k
WR-481218	FRP	48" x 12"	48" x 12"	18"	45" x 9"	47.5" x 11.5"	17.75"	30	5.7	CWM-R1114-2k
WR-601218	FRP	60" x 12"	60" x 12"	18"	57" x 9 "	59.5" x 11.5"	17.75"	40	7.1	CWM-R1114-2k
WR-721218	FRP	72" x 12"	72" x 12"	18"	69" x 9"	71.5" x 11.5"	17.75"	45	8.5	CWM-R1114-3k
WR-961218	FRP	96" x 12"	96" x 12"	18"	93" x 9"	95.5" x 11.5"	17.75"	60	11.4	CWM-R1114-4k
WR-1201218	FRP	120" x 12"	120" x 12"	18"	117" x 9"	119.5 x 11.5"	17.75"	70	14.3	CWM-R1114-5k
WCR-241218	GFRC	24" x 12"	24" x 12"	18"	20" x 8"	22.5" x 10.5"	17.25"	110	2.1	CWM-R1109-MS
WCR-361218	GFRC	36" x 12"	36" x 12"	18"	32" x 8"	34.5" x 10.5"	17.25"	150	3.3	CWM-R1109-2k
WCR-481218	GFRC	48" x 12"	48" x 12"	18"	44" x 8"	46.5" x 10.5"	17.25"	190	4.5	CWM-R1109-2k
WCR-601218	GFRC	60" x 12"	60" x 12"	18"	56" x 8"	58.5" x 10.5"	17.25"	230	5.6	CWM-R1109-3k
WCR-721218	GFRC	72" x 12"	72" x 12"	18"	68" x 8"	70.5" x 10.5"	17.25"	270	6.8	CWM-R1109-4k
WCR-961218	GFRC	96" x 12"	96" x 12"	18"	92" x 8"	94.5" x 10.5"	17.25"	350	9.1	CWM-R1109-5k
WCR-1201218	GFRC	120" x 12"	120" x 12"	18"	116" x 8"	118.5" x 10.5"	17.25"	430	11.4	CWM-R1109-5k + CWM R1109-MS
WR-241236	FRP	24" x 12"	24" x 12"	36"	21" x 9"	23.5" x 11.5"	35.75"	40	5.6	CWM-R1120-MS
WR-361236	FRP	36" x 12"	36" x 12"	36"	33" x 9"	35.5" x 11.5"	35.75"	50	8.5	CWM-R1120-2k
WR-481236	FRP	48" x 12"	48" x 12"	36"	45" x 9"	47.5" x 11.5"	35.75"	65	11.3	CWM-R1120-2k
WR-601236	FRP	60" x 12"	60" x 12"	36"	57" x 9"	59.5" x 11.5"	35.75"	80	14.2	CWM-R1120-2k
WR-721236	FRP	72" x 12"	72" x 12"	36"	69" x 9"	71.5" x 11.5"	35.75"	95	17	CWM-R1120-3k
WR-961236	FRP	96" x 12"	96" x 12"	36"	93" x 9"	95.5" x 11.5"	35.75"	120	22.6	CWM-R1120-4k
WR-1201236	FRP	120" x 12"	120" x 12"	36"	117" x 9"	119.5" x 11.5"	35.75"	150	28.4	CWM-R1120-5k



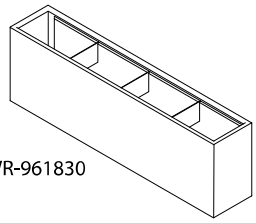
WRT-3000



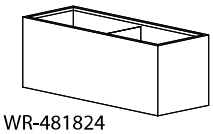
WR-481218

Rectangles continued...

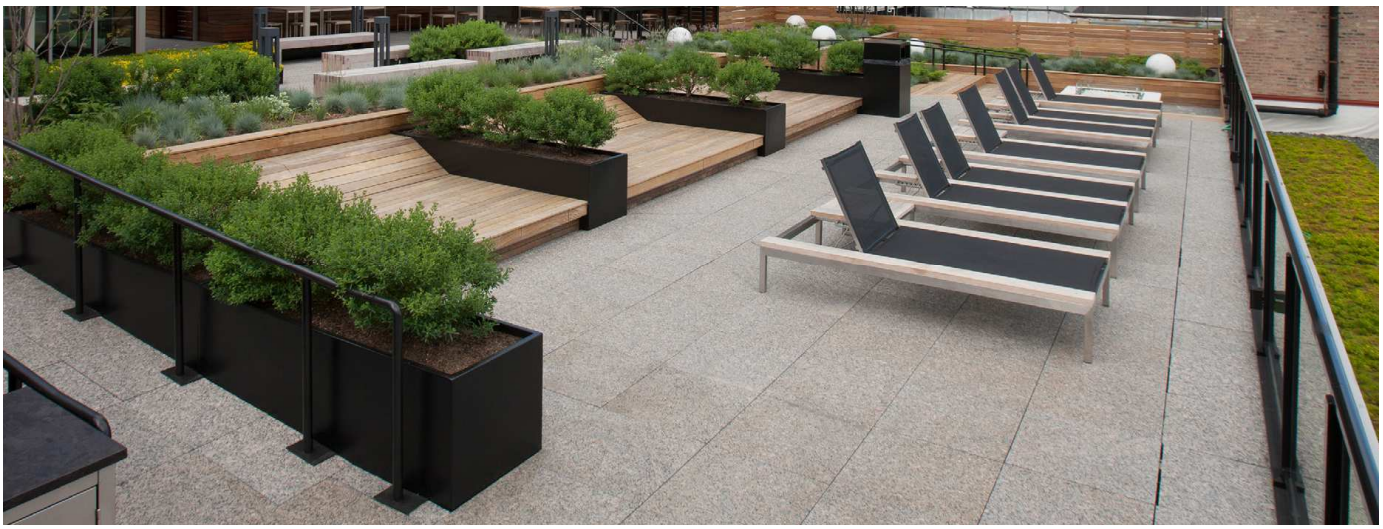
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-241818	FRP	24" x 18"	24" x 18"	18"	21" x 15"	23.5" x 17.5"	17.75"	21	4.3	CWM-R1114-MS
WR-361818	FRP	36" x 18"	36" x 18"	18"	33" x 15"	35.5" x 17.5"	17.75"	30	6.5	CWM-R1114-2k
WR-481818	FRP	48" x 18"	48" x 18"	18"	45" x 15"	47.5" x 17.5"	17.75"	40	8.6	CWM-R1114-2k
WR-601818	FRP	60" x 18"	60" x 18"	18"	57" x 15"	59.5" x 17.5"	17.75"	45	10.8	CWM-R1114-2k
WR-721818	FRP	72" x 18"	72" x 18"	18"	69" x 15"	71.5" x 17.5"	17.75"	55	12.9	CWM-R1114-3k
WR-961818	FRP	96" x 18"	96" x 18"	18"	93" x 15"	95.5" x 17.5"	17.75"	70	17.3	CWM-R1114-4k
WR-1201818	FRP	120" x 18"	120" x 18"	18"	117" x 15"	119.5" x 17.5"	17.75"	85	21.6	CWM-R1114-4k/5K or CWM-R1614-4k/5k
WCR-241818	GFRC	24" x 18"	24" x 18"	18"	20" x 14"	22.5" x 16.5"	17.25"	135	3.4	CWM-R1109-MS
WCR-361818	GFRC	36" x 18"	36" x 18"	18"	32" 14"	34.5" x 16.5"	17.25"	175	5.3	CWM-R1109-2k
WCR-481818	GFRC	48" x 18"	48" x 18"	18"	44" x 14"	46.5" x 16.5"	17.25"	220	7.1	CWM-R1109-2k
WCR-601818	GFRC	60" x 18"	60" x 18"	18"	56" x 14"	58.5" x 16.5"	17.25"	270	8.9	CWM-R1109-3k
WCR-721818	GFRC	72" x 18"	72" x 18"	18"	68" x 14"	70.5" x 16.5"	17.25"	315	10.8	CWM-R1109-4k
WCR-961818	GFRC	96" x 18"	96" x 18"	18"	92" x 14"	94.5" x 16.5"	17.25"	445	14.2	CWM-R1109-5k
WCR-1201818	GFRC	120" x 18"	120" x 18"	18"	116" x 14"	118.5" x 16.5"	17.25"	545	17.8	CWM-R1114-4k/5K or CWM-R1614-4k/5k
WR-241824	FRP	24" x 18"	24" x 18"	24"	21" x 15"	23.5" x 17.5"	23.75"	26	5.7	CWM-R1620-MS
WR-361824	FRP	36" x 18"	36" x 18"	24"	33" x 15"	35.5" x 17.5"	23.75"	35	8.6	CWM-R2020-MS
WR-481824	FRP	48" x 18"	48" x 18"	24"	45" x 15"	47.5" x 17.5"	23.75"	45	11.5	CWM-R1620-2k
WR-601824	FRP	60" x 18"	60" x 18"	24"	57" x 15"	59.5" x 17.5"	23.75"	55	14.4	CWM-R1620-2k
WR-721824	FRP	72" x 18"	72" x 18"	24"	69" x 15"	71.5" x 17.5"	23.75"	65	17.3	CWM-R1620-3k
WR-961824	FRP	96" x 18"	96" x 18"	24"	93" x 15"	95.5" x 17.5"	23.75"	85	23.1	CWM-R1620-4k
WR-1201824	FRP	120" x 18"	120" x 18"	24"	117" x 15"	119.5" x 17.5"	23.75"	100	28.9	CWM-R1620-5k
WCR-241824	GFRC	24" x 18"	24" x 18"	24"	20" x 14"	22.5" x 16.5"	23.25"	160	4.7	CWM-R1614-MS
WCR-361824	GFRC	36" x 18"	36" x 18"	24"	32" x 14"	34.5" x 16.5"	23.25"	225	7.1	CWM-R2014-MS
WCR-481824	GFRC	48" x 18"	48" x 18"	24"	44" x 14"	46.5" x 16.5"	23.25"	285	9.7	CWM-R1614-2k
WCR-601824	GFRC	60" x 18"	60" x 18"	24"	56" x 14"	58.5" x 16.5"	23.25"	345	12.1	CWM-R2014-2k
WCR-721824	GFRC	72" x 18"	72" x 18"	24"	68" x 14"	70.5" x 16.5"	23.25"	410	14.6	CWM-R1614-3k
WCR-961824	GFRC	96" x 18"	96" x 18"	24"	92" x 14"	94.5" x 16.5"	23.25"	555	19.3	CWM-R1614-3k
WCR-1201824	GFRC	120" x 18"	120" x 18"	24"	116" x 14"	118.5" x 16.5"	23.25"	685	24.3	CWM-R1614-4k
WR-241830	FRP	24" x 18"	24" x 18"	30"	21" x 15"	23.5" x 17.5"	29.75"	35	7	CWM-R1620-MS
WR-361830	FRP	36" x 18"	36" x 18"	30"	33" x 15"	35.5" x 17.5"	29.75"	45	10.5	CWM-R2020-MS
WR-481830	FRP	48" x 18"	48" x 18"	30"	45" x 15"	47.5" x 17.5"	29.75"	110	13.5	CWM-R1620-2k
WR-601830	FRP	60" x 18"	60" x 18"	30"	57" x 15"	59.5" x 17.5"	29.75"	135	16.9	CWM-R2020-2k
WR-721830	FRP	72" x 18"	72" x 18"	30"	69" x 15"	71.5" x 17.5"	29.75"	160	20.2	CWM-R1620-3k
WR-961830	FRP	96" x 18"	96" x 18"	30"	93" x 15"	95.5" x 17.5"	29.75"	210	27	CWM-R1620-4k
WR-1201830	FRP	120" x 18"	120" x 18"	30"	117" x 15"	119.5" x 17.5"	29.75"	265	33.7	CWM-R1620-5k
WCR-241830	GFRC	24" x 18"	24" x 18"	30"	20" x 14"	22.5" x 16.5"	29.25"	190	6.0	CWM-R1620-MS
WCR-361830	GFRC	36" x 18"	36" x 18"	30"	32" x 14"	34.5" x 16.5"	29.25"	260	9.1	CWM-R2020-MS
WCR-481830	GFRC	48" x 18"	48" x 18"	30"	44" x 14"	46.5" x 16.5"	29.25"	325	12.3	CWM-R1620-2k
WCR-601830	GFRC	60" x 18"	60" x 18"	30"	56" x 14"	58.5" x 16.5"	29.25"	400	15.5	CWM-R2020-2k
WCR-721830	GFRC	72" x 18"	72" x 18"	30"	68" x 14"	70.5" x 16.5"	29.25"	470	18.6	CWM-R1620-3k
WCR-961830	GFRC	96" x 18"	96" x 18"	30"	92" x 14"	94.5" x 16.5"	29.25"	635	24.7	CWM-R2020-3k
WCR-1201830	GFRC	120" x 18"	120" x 18"	30"	116" x 14"	118.5" x 16.5"	29.25"	780	31.0	CWM-R2020-4k



WR-961830

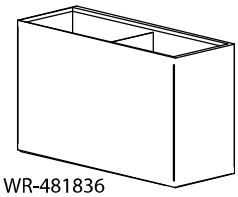


WR-481824



Rectangles continued...

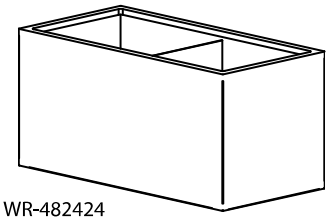
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-241836	FRP	24" x 18"	24" x 18"	36"	21" x 15"	23.5" x 17.5"	35.75″	45	8.4	CWM-R1620-MS
WR-361836	FRP	36" x 18"	36" x 18"	36"	33" x 15"	35.5" x 17.5"	35.75″	60	12.7	CWM-R2020-MS
WR-481836	FRP	48" x 18"	48" x 18"	36"	45" x 15"	47.5" x 17.5"	35.75″	80	17	CWM-R1620-2k
WR-601836	FRP	60" x 18"	60" x 18"	36"	57" x 15"	59.5" x 17.5"	35.75″	95	21.2	CWM-R2020-2k
WR-721836	FRP	72" x 18"	72" x 18"	36"	69" x 15"	71.5" x 17.5"	35.75″	110	25.5	CWM-R1620-3k
WR-961836	FRP	96" x 18"	96" x 18"	36"	93" x 15"	95.5" x 17.5"	35.75″	145	34	CWM-R1620-4k
WR-1201836	FRP	120" x 18"	120" x 18"	36"	117" x 15"	119.5" x 17.5"	35.75″	175	42.6	CWM-R1620-5k
WCR-241836	GFRC	24" x 18"	24" x 18"	36"	21" x 15"	22.5" x 16.5"	35.25"	190	7.3	CWM-R1620-MS
WCR-361836	GFRC	36" x 18"	36" x 18"	36"	33" x 15"	34.5" x 16.5"	35.25"	275	11.1	CWM-R1620-MS
WCR-481836	GFRC	48" x 18"	48" x 18"	36"	45" x 15"	46.5" x 16.5"	35.25"	340	15.0	CWM-R1620-2k
WCR-601836	GFRC	60" x 18"	60" x 18"	36"	57" x 15"	58.5" x 16.5"	35.25"	425	18.7	CWM-R2020-2k
WCR-721836	GFRC	72" x 18"	72" x 18"	36"	69" x 15"	70.5" x 16.5"	35.25"	500	22.5	CWM-R1620-3k
WCR-961836	GFRC	96" x 18"	96" x 18"	36"	93" x 15"	94.5" x 16.5"	35.25"	640	30.2	CWM-R1620-4k
WCR-1201836	GFRC	120" x 18"	120" x 18"	36"	117" x 15"	118.5" x 16.5"	35.25"	835	37.5	CWM-R1620-4k
WR-242418	FRP	24" x 24"	24" x 24"	18"	21" x 21"	23.5" x 23.5"	17.75"	25	5.7	CWM-R1614-MS
WR-362418	FRP	36" x 24"	36" x 24"	18"	33" x 21"	35.5" x 23.5"	17.75"	35	8.7	CWM-R2014-MS
WR-482418	FRP	48" x 24"	48" x 24"	18"	45" x 21"	47.5" x 23.5"	17.75"	45	11.5	CWM-R1614-2k
WR-602418	FRP	60" x 24"	60" x 24"	18"	57" x 21"	59.5" x 23.5"	17.75"	50	14.5	CWM-R2014-2k
WR-722418	FRP	72" x 24"	72" x 24"	18"	69" x 21"	71.5" x 23.5"	17.75"	60	17.4	CWM-R1614-3k
WR-962418	FRP	96" x 24"	96" x 24"	18"	93" x 21"	95.5" x 23.5"	17.75"	80	23.2	CWM-R1614-4k
WR-1202418	FRP	120" x 24"	120" x 24"	18"	117" x 21"	119.5" x 23.5"	17.75"	95	29	CWM-R1614-5k
WCR-242418	GFRC	24" x 24"	24" x 24"	18"	20" x 20"	22.5" x 22.5"	17.25"	155	4.7	CWM-R1109-MS
WCR-362418	GFRC	36" x 24"	36" x 24"	18"	32" x 20"	34.5" x 22.5"	17.25"	205	7.2	CWM-R1109-2k
WCR-482418	GFRC	48" x 24"	48" x 24"	18"	44" x 20"	46.5" x 22.5"	17.25"	255	9.8	CWM-R1109-3k
WCR-602418	GFRC	60" x 24"	60" x 24"	18"	56" x 20"	58.5" x 22.5"	17.25"	305	12.3	CWM-R1109-3k
WCR-722418	GFRC	72" x 24"	72" x 24"	18"	68" x 20"	70.5" x 22.5"	17.25"	360	14.8	CWM-R1109-4k
WCR-962418	GFRC	96" x 24"	96" x 24"	18"	92" x 20"	94.5" x 22.5"	17.25"	490	19.7	CWM-R1109-5k
WCR-1202418	GFRC	120" x 24"	120" x 24"	18"	116" x 20"	118.5" x 22.5"	17.25"	600	24.7	CWM-R1109-5K or CWM-R1109-MS



WR-481836

Rectangles continued...

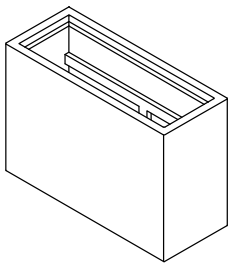
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-242424	FRP	24" x 24"	24" x 24"	24"	21" x 21"	23.5" x 23.5"	23.75"	35	7.4	CWM-R1620-MS
WR-362424	FRP	36" x 24"	36" x 24"	24"	33" x 21"	35.5" x 23.5"	23.75"	40	11.6	CWM-R2920-MS
WR-482424	FRP	48" x 24"	48" x 24"	24"	45" x 21"	47.5" x 23.5"	23.75"	95	15	CWM-R1620-2k
WR-602424	FRP	60" x 24"	60" x 24"	24"	57" x 21"	59.5" x 23.5"	23.75"	115	18.8	CWM-R2020-2k
WR-722424	FRP	72" x 24"	72" x 24"	24"	69" x 21"	71.5" x 23.5"	23.75"	135	22.6	CWM-R1620-3k
WR-962424	FRP	96" x 24"	96" x 24"	24"	93" x 21"	95.5" x 23.5"	23.75"	180	30.1	CWM-R1620-4k
WR-1202424	FRP	120" x 24"	120" x 24"	24"	117" x 21"	119.5" x 23.5"	23.75"	220	37.7	CWM-R1620-5k
WCR-242424	GFRC	24" x 24"	24" x 24"	24"	20" x 20"	22.5" x 22.5"	23.25"	190	6.4	CWM-R1614-MS
WCR-362424	GFRC	36" x 24"	36" x 24"	24"	32" x 20"	34.5" x 22.5"	23.25"	260	9.8	CWM-R2014-MS
WCR-482424	GFRC	48" x 24"	48" x 24"	24"	44" x 20"	46.5" x 22.5"	23.25"	320	13.3	CWM-R1614-2k
WCR-602424	GFRC	60" x 24"	60" x 24"	24"	56" x 20"	58.5" x 22.5"	23.25"	385	16.7	CWM-R2014-2k
WCR-722424	GFRC	72" x 24"	72" x 24"	24"	68" x 20"	70.5" x 22.5"	23.25"	450	20.1	CWM-R1614-3k
WCR-962424	GFRC	96" x 24"	96" x 24"	24"	92" x 20"	94.5" x 22.5"	23.25"	575	27.0	CWM-R2014-3k
WCR-1202424	GFRC	120" x 24"	120" x 24"	24"	116" x 20"	118.5" x 22.5"	23.25"	705	33.9	CWM-R2014-4k
WR-362430	FRP	36" x 24"	36" x 24"	30"	33" x 21"	35.5" x 23.5"	29.75"	85	14.1	CWM-R2920-MS
WR-482430	FRP	48" x 24"	48" x 24"	30"	45" x 21"	47.5" x 23.5"	29.75"	115	18.8	CWM-R1620-2k
WR-602430	FRP	60" x 24"	60" x 24"	30"	57" x 21"	59.5" x 23.5"	29.75"	140	23.5	CWM-R2020-2k
WR-722430	FRP	72" x 24"	72" x 24"	30"	69" x 21"	71.5" x 23.5"	29.75"	170	28.2	CWM-R1620-3k
WR-962430	FRP	96" x 24"	96" x 24"	30"	93" x 21"	95.5" x 23.5"	29.75"	220	37.7	CWM-R1620-4k
WR-1202430	FRP	120" x 24"	120" x 24"	30"	117" x 21"	119.5" x 23.5"	29.75"	275	47.1	CWM-R1620-5k



WR-482424

Rectangles continued...

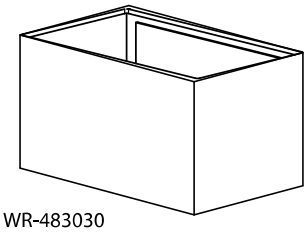
Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WCR-362430	GFRC	36" x 24"	36" x 24"	30"	32" x 20"	34.5" x 22.5"	29.25"	300	12.5	CWM-R2920-MS
WCR-482430	GFRC	48" x 24"	48" x 24"	30"	44" x 20"	46.5" x 22.5"	29.25"	365	16.9	CWM-R1620-2k
WCR-602430	GFRC	60" x 24"	60" x 24"	30"	56" x 20"	58.5" x 22.5"	29.25"	445	21.3	CWM-R2020-2k
WCR-722430	GFRC	72" x 24"	72" x 24"	30"	68" x 20"	70.5" x 22.5"	29.25"	520	25.6	CWM-R1620-3k
WCR-962430	GFRC	96" x 24"	96" x 24"	30"	92" x 20"	94.5" x 22.5"	29.25"	700	34.1	CWM-R1620-4k
WCR-1202430	GFRC	120" x 24"	120" x 24"	30"	116" x 20"	118.5" x 22.5"	29.25"	845	42.8	CWM-R2020-4k
WR-362436	FRP	36" x 24"	36" x 24"	36"	33" x 21"	35.5" x 23.5"	35.75"	105	17.4	CWM-R2920-MS
WR-482436	FRP	48" x 24"	48" x 24"	36"	45" x 21"	47.5" x 23.5"	35.75"	135	23.3	CWM-R1620-2k
WR-602436	FRP	60" x 24"	60" x 24"	36"	57" x 21"	59.5" x 23.5"	35.75"	165	29.1	CWM-R2020-2k
WR-722436	FRP	72" x 24"	72" x 24"	36"	69" x 21"	71.5" x 23.5"	35.75"	200	35	CWM-R1620-3k
WR-962436	FRP	96" x 24"	96" x 24"	36"	93" x 21"	95.5" x 23.5"	35.75"	265	46.7	CWM-R1620-4k
WR-1202436	FRP	120" x 24"	120" x 24"	36"	117" x 21"	119.5" x 23.5"	35.75"	330	58.4	CWM-R1620-5k
WCR-362436	GFRC	36" x 24"	36" x 24"	36"	31" x 19"	34.5" x 22.5"	35.25"	375	14.9	CWM-R2020-MS
WCR-482436	GFRC	48" x 24"	48" x 24"	36"	43" x 19"	46.5" x 22.5"	35.25"	460	20.2	CWM-R1620-2k
WCR-602436	GFRC	60" x 24"	60" x 24"	36"	55" x 19"	58.5" x 22.5"	35.25"	565	25.4	CWM-R2020-2k
WCR-722436	GFRC	72" x 24"	72" x 24"	36"	67" x 19"	70.5" x 22.5"	35.25"	660	30.6	CWM-R1620-3k
WCR-962436	GFRC	96" x 24"	96" x 24"	36"	91" x 19"	94.5" x 22.5"	35.25"	885	40.7	CWM-R1620-4k
WCR-1202436	GFRC	120" x 24"	120" x 24"	36"	115" x 19"	118.5" x 22.5"	35.25"	1070	51.1	CWM-R2020-4k
WR-362442	FRP	36" x 24"	36" x 24"	42"	33" x 21"	35.5" x 23.5"	41.75"	120	19.7	CWM-R2920-MS
WR-482442	FRP	48" x 24"	48" x 24"	42"	45" x 21"	47.5" x 23.5"	41.75"	160	26.3	CWM-R1620-2k
WR-602442	FRP	60" x 24"	60" x 24"	42"	57" x 21"	59.5" x 23.5"	41.75"	195	32.9	CWM-R2020-2k
WR-722442	FRP	72" x 24"	72" x 24"	42"	69" x 21"	71.5" x 23.5"	41.75"	235	39.5	CWM-R1620-3k
WR-962442	FRP	96" x 24"	96" x 24"	42"	93" x 21"	95.5" x 23.5"	41.75"	310	52.7	CWM-R1620-4k
WR-1202442	FRP	120" x 24"	120" x 24"	42"	117" x 21"	119.5" x 23.5"	41.75"	385	65.9	CWM-R1620-5k
WCR-362442	GFRC	36" x 24"	36" x 24"	42"	31" x 19"	34.5" x 22.5"	41.25"	425	17.6	CWM-R2020-MS
WCR-482442	GFRC	48" x 24"	48" x 24"	42"	43" x 19"	46.5" x 22.5"	41.25"	515	23.8	CWM-R1620-2k
WCR-602442	GFRC	60" x 24"	60" x 24"	42"	55" x 19"	58.5" x 22.5"	41.25"	630	29.9	CWM-R2020-2k
WCR-722442	GFRC	72" x 24"	72" x 24"	42"	67" x 19"	70.5" x 22.5"	41.25"	735	36.0	CWM-R1620-3k
WCR-962442	GFRC	96" x 24"	96" x 24"	42"	91" x 19"	94.5" x 22.5"	41.25"	965	48.1	CWM-R2020-3k
WCR-1202442	GFRC	120" x 24"	120" x 24"	42"	115" x 19"	118.5" x 22.5"	41.25"	1175	60.3	CWM-R2020-4k
WR-363018	FRP	36" x 30"	36" x 30"	18"	33" x 27"	35.5" x 29.5"	17.75"	40	10.9	CWM-R2914-MS
WR-483018	FRP	48" x 30"	48" x 30"	18"	45" x 27"	47.5" x 29.5"	17.75"	50	14.5	CWM-R1614-2k
WR-603018	FRP	60" x 30"	60" x 30"	18"	57" x 27"	59.5" x 29.5"	17.75"	60	18.2	CWM-R2014-2k
WR-723018	FRP	72" x 30"	72" x 30"	18"	69" x 27"	71.5" x 29.5"	17.75"	70	21.8	CWM-R1614-3k
WR-963018	FRP	96" x 30"	96" x 30"	18"	93" x 27"	95.5" x 29.5"	17.75"	90	27.6	CWM-R1614-4k
WR-1203018	FRP	120" x 30"	120" x 30"	18"	117" x 27"	119.5" x 29.5"	17.75"	105	35.6	CWM-R1614-5k



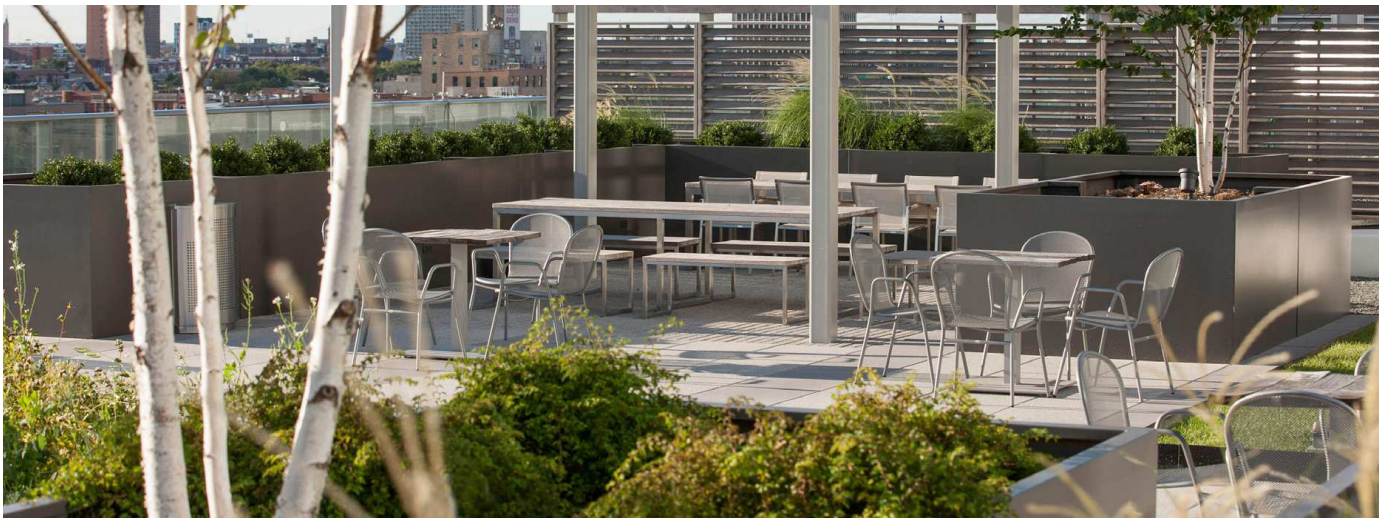
WCR-602442

Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WCR-363018	GFRC	36" x 30"	36" x 30"	18"	32" x 26"	34.5" x 28.5"	17.25"	235	9.2	CWM-R1109-2k
WCR-483018	GFRC	48" x 30"	48" x 30"	18"	44" x26"	46.5" x 28.5"	17.25"	285	12.5	CWM-R1109-2k
WCR-603018	GFRC	60" x 30"	60" x 30"	18"	56" x 26"	58.5" x 28.5"	17.25"	345	15.7	CWM-R1109-3k
WCR-723018	GFRC	72" x 30"	72" x 30"	18"	68" x 26"	70.5" x 28.5"	17.25"	400	18.9	CWM-R1109-4k
WCR-963018	GFRC	96" x 30"	96" x 30"	18"	92" x 26"	94.5" x 28.5"	17.25"	540	25.2	CWM-R1109-5k
WCR-1203018	GFRC	120" x 30"	120" x 30"	18"	116" x 26"	118.5" x 28.5"	17.25"	660	31.6	CWM-R1109-3K or CWM-R1109-4K
WR-363024	FRP	36" x 30"	36" x 30"	24"	33" x 27"	35.5" x 29.5"	23.75"	75	13.7	CWM-R2920-MS
WR-483024	FRP	48" x 30"	48" x 30"	24"	45" x 27"	47.5" x 29.5"	23.75"	100	18.3	CWM-R1620-2k
WR-603024	FRP	60" x 30"	60" x 30"	24"	57" x 27"	59.5" x 29.5"	23.75"	120	22.8	CWM-R2020-2k
WR-723024	FRP	72" x 30"	72" x 30"	24"	69" x 27"	71.5" x 29.5"	23.75"	145	27.4	CWM-R1620-3k
WR-963024	FRP	96" x 30"	96" x 30"	24"	93" x 27"	95.5" x 29.5"	23.75"	190	36.6	CWM-R1620-4k
WR-1203024	FRP	120" x 30"	120" x 30"	24"	117" x 27"	119.5" x 29.5"	23.75"	235	45.7	CWM-R1620-5k
WCR-363024	GFRC	36" x 30"	36" x 30"	24"	32" x 26"	34.5" x 28.5"	23.25"	290	12.5	CWM-R2914-MS
WCR-483024	GFRC	48" x 30"	48" x 30"	24"	44" x 26"	46.5" x 28.5"	23.25"	355	16.9	CWM-R1614-2k
WCR-603024	GFRC	60" x 30"	60" x 30"	24"	56" x 26"	58.5" x 28.5"	23.25"	425	21.3	CWM-R2014-2k
WCR-723024	GFRC	72" x 30"	72" x 30"	24"	68" x 26"	70.5" x 28.5"	23.25"	500	25.7	CWM-R1614-3k
WCR-963024	GFRC	96" x 30"	96" x 30"	24"	92" x 26"	94.5" x 28.5"	23.25"	665	34.2	CWM-R2014-3k
WCR-1203024	GFRC	120" x 30"	120" x 30"	24"	116" x 26"	118.5" x 28.5"	23.25"	805	42.9	CWM-R2014-4k
WR-363030	FRP	36" x 30"	36" X 30"	30"	33" x 27"	35.5" x 29.5"	29.75"	95	17.3	CWM-R2920-MS
WR-483030	FRP	48" x 30"	48" x 30"	30"	45" x 27"	47.5" x 29.5"	29.75"	120	23	CWM-R1620-2k
WR-603030	FRP	60" x 30"	60" x 30"	30"	57" x 27"	59.5" x 29.5"	29.75"	150	28.8	CWM-R2020-2k
WR-723030	FRP	72" x 30"	72" x 30"	30"	69" x 27"	71.5" x 29.5"	29.75"	180	34.5	CWM-R1620-3k
WR-963030	FRP	96" x 30"	96" x 30"	30"	93" x 27"	95.5" x 29.5"	29.75"	235	46.1	CWM-R1620-4k
WR-1203030	FRP	120" x 30"	120" x 30"	30"	117" x 27"	119.5" x 29.5"	29.75"	290	57.6	CWM-R1620-5k
WCR-363030	GFRC	36" x 30"	36" x 30"	30"	31" x 25"	34.5" x 28.5"	29.25"	375	15.6	CWM-R2920-MS
WCR-483030	GFRC	48" x 30"	48" x 30"	30"	43" x 25"	46.5" x 28.5"	29.25"	455	21.2	CWM-R1620-2k
WCR-603030	GFRC	60" x 30"	60" x 30"	30"	55" x 25"	58.5" x 28.5"	29.25"	545	26.7	CWM-R2020-2k
WCR-723030	GFRC	72" x 30"	72" x 30"	30"	67" x 25"	70.5" x 28.5"	29.25"	630	32.2	CWM-R1620-3k
WCR-963030	GFRC	96" x 30"	96" x 30"	30"	91" x 25"	94.5" x 28.5"	29.25"	825	43.0	CWM-R2020-3k
WCR-1203030	GFRC	120" x 30"	120" x 30"	30"	115" x 25"	118.5" x 28.5"	29.25"	1000	54.0	CWM-R2020-4k
WR-363036	FRP	36" x 30"	36" x 30"	36"	33" x 27"	35.5" x 29.5"	35.75"	110	20.8	CWM-R2920-MS
WR-483036	FRP	48" x 30"	48" x 30"	36"	45" x 27"	47.5" x 29.5"	35.75"	145	27.8	CWM-R1620-2k
WR-603036	FRP	60" x 30"	60" x 30"	36"	57" x 27"	59.5" x 29.5"	35.75"	175	34.7	CWM-R2020-2k
WR-723036	FRP	72" x 30"	72" x 30"	36"	69" x 27"	71.5" x 29.5"	35.75"	210	41.7	CWM-R1620-3k
WR-963036	FRP	96" x 30"	96" x 30"	36"	93" x 27"	95.5" x 29.5"	35.75"	280	55.6	CWM-R1620-4k
WR-1203036	FRP	120" x 30"	120" x 30"	36"	117" x 27"	119.5" x 29.5"	35.75"	345	69.5	CWM-R1620-5k
WCR-363036	GFRC	36" x 30"	36" x 30"	36"	31" x 25"	34.5" x 28.5"	35.25"	430	19.0	CWM-R2920-MS
WCR-483036	GFRC	48" x 30"	48" x 30"	36"	43" x 25"	46.5" x 28.5"	35.25"	515	25.7	CWM-R1620-2k
WCR-603036	GFRC	60" x 30"	60" x 30"	36"	55" x 25"	58.5" x 28.5"	35.25"	625	32.3	CWM-R2020-2k
WCR-723036	GFRC	72" x 30"	72" x 30"	36"	67" x 25"	70.5" x 28.5"	35.25"	725	38.9	CWM-R1620-3k
WCR-963036	GFRC	96" x 30"	96" x 30"	36"	91" x 25"	94.5" x 28.5"	35.25"	920	52.3	CWM-R1620-4k
WCR-1203036	GFRC	120" x 30"	120" x 30"	36"	115" x 25"	118.5" x 28.5"	35.25"	1150	65.3	CWM-R1620-5k

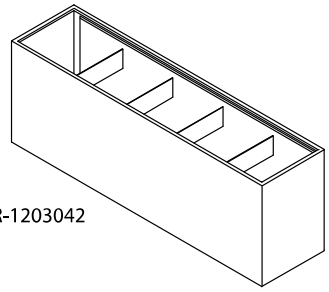


WR-483030



Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-363042	FRP	36" x 30"	36" x 30"	42"	33" x 27"	35.5" x 29.5"	41.75"	130	24.4	CWM-R2920-MS
WR-483042	FRP	48" x 30"	48" x 30"	42"	45" x 27"	47.5" x 29.5"	41.75"	170	32.5	CWM-R1620-2k
WR-603042	FRP	60" x 30"	60" x 30"	42"	57" x 27"	59.5" x 29.5"	41.75"	205	40.7	CWM-R2020-2k
WR-723042	FRP	72" x 30"	72" x 30"	42"	69" x 27"	71.5" x 29.5"	41.75"	245	48.8	CWM-R1620-3k
WR-963042	FRP	96" x 30"	96" x 30"	42"	93" x 27"	95.5" x 29.5"	41.75"	320	65.1	CWM-R1620-4k
WR-1203042	FRP	120" x 30"	120" x 30"	42"	117" x 27"	119.5" x 29.5"	41.75"	400	81.4	CWM-R1620-5k
WCR-363042	GFRC	36" x 30"	36" x 30"	42"	31" x 25"	34.5" x 28.5"	41.25"	475	22.4	CWM-R2920-MS
WCR-483042	GFRC	48" x 30"	48" x 30"	42"	43" x 25"	46.5" x 28.5"	41.25"	570	30.3	CWM-R1620-2k
WCR-603042	GFRC	60" x 30"	60" x 30"	42"	55" x 25"	58.5" x 28.5"	41.25"	690	38.1	CWM-R2020-2k
WCR-723042	GFRC	72" x 30"	72" x 30"	42"	67" x 25"	70.5" x 28.5"	41.25"	795	45.9	CWM-R1620-3k
WCR-963042	GFRC	96" x 30"	96" x 30"	42"	91" x 25"	94.5" x 28.5"	41.25"	1045	61.3	CWM-R1620-4k
WCR-1203042	GFRC	120" x 30"	120" x 30"	42"	115" x 25"	118.5" x 28.5"	41.25"	1255	77.0	CWM-R2020-4k
WR-363618	FRP	36" x 36"	36" x 36"	18"	31" x 31"	35.5" x 35.5"	17.75"	45	12.4	CWM-R1114-2k
WR-483618	FRP	48" x 36"	48" x 36"	18"	43" x 31"	47.5" x 35.5"	17.75"	55	16.6	CWM-R1614-2k
WR-603618	FRP	60" x 36"	60" x 36"	18"	55" x 31"	59.5" x 35.5"	17.75"	65	20.7	CWM-R2014-2k
WR-723618	FRP	72" x 36"	72" x 36"	18"	67" x 31"	71.5" x 35.5"	17.75"	75	24.9	CWM-R1614-3k
WR-963618	FRP	96" x 36"	96" x 36"	18"	91" x 31"	95.5" x 35.5"	17.75"	95	33.2	CWM-R1614-4k
WR-1203618	FRP	120" x 36"	120" x 36"	18"	115" x 31"	119.5" x 35.5"	17.75"	115	41.6	CWM-R1614-5k
WCR-363618	GFRC	36" x 36"	36" x 36"	18"	31" x 31"	34.5" x 34.5"	17.25"	260	11.2	CWM-R1109-2k
WCR-483618	GFRC	48" x 36"	48" x 36"	18"	43" x 31"	46.5" x 34.5"	17.25"	320	15.1	CWM-R1109-2k
WCR-603618	GFRC	60" x 36"	60" x 36"	18"	55" x 31"	58.5" x 34.5"	17.25"	380	19.1	CWM-R1109-3k
WCR-723618	GFRC	72" x 36"	72" x 36"	18"	67" x 31"	70.5" x 34.5"	17.25"	440	23.0	CWM-R1109-4k
WCR-963618	GFRC	96" x 36"	96" x 36"	18"	91" x 31"	94.5" x 34.5"	17.25"	585	30.6	CWM-R1109-5k
WCR-1203618	GFRC	120" x 36"	120" x 36"	18"	115" x 31"	118.5" x 34.5"	17.25"	710	38.5	CWM-R1109-5k



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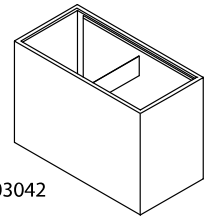

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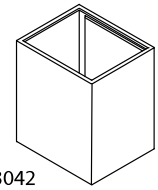
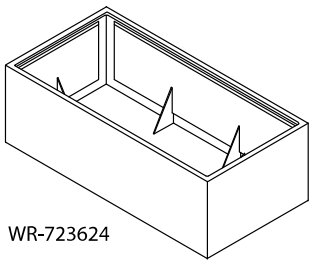


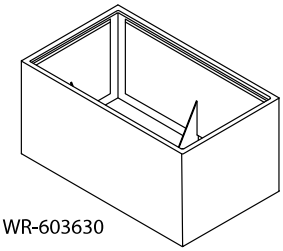
WR-363042

Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-363624	FRP	36" x 36"	36" x 36"	24"	31" x 31"	35.5" x 35.5"	23.75"	110	16.2	CWM-R1120-2k
WR-483624	FRP	48" x 36"	48" x 36"	24"	43" x 31"	47.5" x 35.5"	23.75"	135	21.7	CWM-R1620-2k
WR-603624	FRP	60" x 36"	60" x 36"	24"	55" x 31"	59.5" x 35.5"	23.75"	155	27.3	CWM-R2020-2k
WR-723624	FRP	72" x 36"	72" x 36"	24"	67" x 31"	71.5" x 35.5"	23.75"	180	32.8	CWM-R1620-3k
WR-963624	FRP	96" x 36"	96" x 36"	24"	91" x 31"	95.5" x 35.5"	23.75"	225	43.9	CWM-R1620-4k
WR-1203624	FRP	120" x 36"	120" x 36"	24"	115" x 31"	119.5" x 35.5"	23.75"	270	54.9	CWM-R1620-5k
WCR-363624	GFRC	36" x 36"	36" x 36"	24"	31" x 31"	34.5" x 34.5"	23.25"	335	15.1	CWM-R2914-MS
WCR-483624	GFRC	48" x 36"	48" x 36"	24"	43" x 31"	46.5" x 34.5"	23.25"	405	20.5	CWM-R1614-2k
WCR-603624	GFRC	60" x 36"	60" x 36"	24"	55" x 31"	58.5" x 34.5"	23.25"	480	25.8	CWM-R2014-2k
WCR-723624	GFRC	72" x 36"	72" x 36"	24"	67" x 31"	70.5" x 34.5"	23.25"	550	31.1	CWM-R1614-3k
WCR-963624	GFRC	96" x 36"	96" x 36"	24"	91" x 31"	94.5" x 34.5"	23.25"	725	41.6	CWM-R2014-3k
WCR-1203624	GFRC	120" x 36"	120" x 36"	24"	115" x 31"	118.5" x 34.5"	23.25"	880	52.2	CWM-R2014-4K1
WR-363630	FRP	36" x 36"	36" x 36"	30"	31" x 31"	35.5" x 35.5"	29.75"	140	20.4	CWM-R1120-2k
WR-483630	FRP	48" x 36"	48" x 36"	30"	43" x 31"	47.5" x 35.5"	29.75"	170	27.4	CWM-R1620-2k
WR-603630	FRP	60" x 36"	60" x 36"	30"	55" x 31"	59.5" x 35.5"	29.75"	195	34.4	CWM-R2020-2k
WR-723630	FRP	72" x 36"	72" x 36"	30"	67" x 31"	71.5" x 35.5"	29.75"	225	41.3	CWM-R1620-3k
WR-963630	FRP	96" x 36"	96" x 36"	30"	91" x 31"	95.5" x 35.5"	29.75"	280	55.3	CWM-R1620-4k
WR-1203630	FRP	120" x 36"	120" x 36"	30"	115" x 31"	119.5" x 35.5"	29.75"	335	69.2	CWM-R1620-5k
WCR-363630	GFRC	36" x 36"	36" x 36"	30"	31" x 31"	34.5" x 34.5"	29.25"	385	19.3	CWM-R2920-MS
WCR-483630	GFRC	48" x 36"	48" x 36"	30"	43" x 31"	46.5" x 34.5"	29.25"	460	26.1	CWM-R1620-2k
WCR-603630	GFRC	60" x 36"	60" x 36"	30"	55" x 31"	58.5" x 34.5"	29.25"	545	32.8	CWM-R2020-2k
WCR-723630	GFRC	72" x 36"	72" x 36"	30"	67" x 31"	70.5" x 34.5"	29.25"	625	39.5	CWM-R1620-3k
WCR-963630	GFRC	96" x 36"	96" x 36"	30"	91" x 31"	94.5" x 34.5"	29.25"	820	52.9	CWM-R2020-3k
WCR-1203630	GFRC	120" x 36"	120" x 36"	30"	115" x 31"	118.5" x 34.5"	29.25"	990	66.3	CWM-R2020-4k



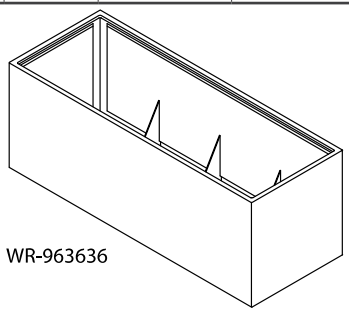
WR-723624



WR-603630

Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-363636	FRP	36" x 36"	36" x 36"	36"	31" x 31"	35.5" x 35.5"	35.75"	170	24.6	CWM-R1120-2k
WR-483636	FRP	48" x 36"	48" x 36"	36"	43" x 31"	47.5" x 35.5"	35.75"	195	33.0	CWM-R1620-2k
WR-603636	FRP	60" x 36"	60" x 36"	36"	55" x 31"	59.5" x 35.5"	35.75"	235	41.4	CWM-R2020-2k
WR-723636	FRP	72" x 36"	72" x 36"	36"	67" x 31"	71.5" x 35.5"	35.75"	270	49.8	CWM-R1620-3k
WR-963636	FRP	96" x 36"	96" x 36"	36"	91" x 31"	95.5" x 35.5"	35.75"	340	66.6	CWM-R1620-4k
WR-1203636	FRP	120" x 36"	120" x 36"	36"	115" x 31"	119.5" x 35.5"	35.75"	405	83.5	CWM-R1620-5k
WCR-363636	GFRC	36" x 36"	36" x 36"	36"	31" x 31"	34.5" x 34.5"	35.25"	485	23.0	CWM-R2920-MS
WCR-483636	GFRC	48" x 36"	48" x 36"	36"	43" x 31"	46.5" x 34.5"	35.25"	575	31.2	CWM-R1620-2k
WCR-603636	GFRC	60" x 36"	60" x 36"	36"	55" x 31"	58.5" x 34.5"	35.25"	690	39.2	CWM-R2020-2k
WCR-723636	GFRC	72" x 36"	72" x 36"	36"	67" x 31"	70.5" x 34.5"	35.25"	795	47.3	CWM-R1620-3k
WCR-963636	GFRC	96" x 36"	96" x 36"	36"	91" x 31"	94.5" x 34.5"	35.25"	995	63.5	CWM-R1620-4k
WCR-1203636	GFRC	120" x 36"	120" x 36"	36"	115" x 31"	118.5" x 34.5"	35.25"	1235	79.5	CWM-R2020-4k
WR-363642	FRP	36" x 36"	36" x 36"	42"	31" x 31"	35.5" x 35.5"	41.75"	200	28.8	CWM-R1120-2k
WR-483642	FRP	48" x 36"	48" x 36"	42"	43" x 31"	47.5" x 35.5"	41.75"	235	38.6	CWM-R1620-2k
WR-603642	FRP	60" x 36"	60" x 36"	42"	55" x 31"	59.5" x 35.5"	41.75"	275	48.5	CWM-R2020-2k
WR-723642	FRP	72" x 36"	72" x 36"	42"	67" x 31"	71.5" x 35.5"	41.75"	315	58.3	CWM-R1620-3k
WR-963642	FRP	96" x 36"	96" x 36"	42"	91" x 31"	95.5" x 35.5"	41.75"	395	78.0	CWM-R1620-4k
WR-1203642	FRP	120" x 36"	120" x 36"	42"	115" x 31"	119.5" x 35.5"	41.75"	475	97.7	CWM-R1620-5k
WCR-363642	GFRC	36" x 36"	36" x 36"	42"	31" x 31"	34.5" x 34.5"	41.25"	530	27.1	CWM-R2920-MS
WCR-483642	GFRC	48" x 36"	48" x 36"	42"	43" x 31"	46.5" x 34.5"	41.25"	630	36.8	CWM-R1620-2k
WCR-603642	GFRC	60" x 36"	60" x 36"	42"	55" x 31"	58.5" x 34.5"	41.25"	755	46.2	CWM-R2020-2k
WCR-723642	GFRC	72" x 36"	72" x 36"	42"	67" x 31"	70.5" x 34.5"	41.25"	870	55.7	CWM-R1620-3k
WCR-963642	GFRC	96" x 36"	96" x 36"	42"	91" x 31"	94.5" x 34.5"	41.25"	1115	74.6	CWM-R1620-4k
WCR-1203642	GFRC	120" x 36"	120" x 36"	42"	115" x 31"	118.5" x 34.5"	41.25"	1345	93.6	CWM-R2020-4k



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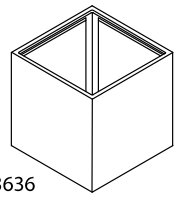
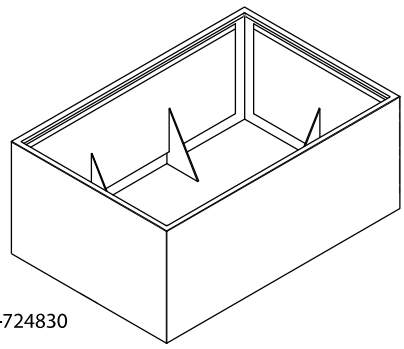


WR-363636

Tournesol SITEWORKS

Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-484818	FRP	48" x 48"	48" x 48"	18"	43" x 43"	47.5" x 47.5"	17.75"	65	22.1	CWM-R1614-2k
WR-604818	FRP	60" x 48"	60" x 48"	18"	55" x 43"	59.5" x 47.5"	17.75"	75	27.7	CWM-R2014-2k
WR-724818	FRP	72" x 48"	72" x 48"	18"	67" x 43"	71.5" x 47.5"	17.75"	90	33.3	CWM-R1614-3k
WR-964818	FRP	96" x 48"	96" x 48"	18"	91" x 43"	95.5" x 47.5"	17.75"	110	44.4	CWM-R1614-4k
WCR-484818	GFRC	48" x 48"	48" x 48"	18"	43" x 43"	46.5" x 46.5"	17.25"	400	18.7	CWM-R1614-2k
WCR-604818	GFRC	60" x 48"	60" x 48"	18"	55" x 43"	58.5" x 46.5"	17.25"	470	23.5	CWM-R2014-2k
WCR-724818	GFRC	72" x 48"	72" x 48"	18"	67" x 43"	70.5" x 46.5"	17.25"	540	28.3	CWM-R1614-3k
WCR-964818	GFRC	96" x 48"	96" x 48"	18"	91" x 43"	94.5" x 46.5"	17.25"	710	37.6	CWM-R2014-3k
WR-484824	FRP	48" x 48"	48" x 48"	24"	43" x 43"	47.5" x 47.5"	23.75"	185	28.9	CWM-R1614-2k
WR-604824	FRP	60" x 48"	60" x 48"	24"	55" x 43"	59.5" x 47.5"	23.75"	215	36.3	CWM-R2014-2k
WR-724824	FRP	72" x 48"	72" x 48"	24"	67" x 43"	71.5" x 47.5"	23.75"	240	43.6	CWM-R1614-3k
WR-964824	FRP	96" x 48"	96" x 48"	24"	91" x 43"	95.5" x 47.5"	23.75"	300	58.4	CWM-R1614-4k
WCR-484824	GFRC	48" x 48"	48" x 48"	24"	43" x 43"	46.5" x 46.5"	23.25"	495	25.7	CWM-R1614-2k
WCR-604824	GFRC	60" x 48"	60" x 48"	24"	55" x 43"	58.5" x 46.5"	23.25"	780	32.4	CWM-R2014-2k
WCR-724824	GFRC	72" x 48"	72" x 48"	24"	67" x 43"	70.5" x 46.5"	23.25"	995	39.1	CWM-R2914-2k
WCR-964824	GFRC	96" x 48"	96" x 48"	24"	91" x 43"	94.5" x 46.5"	23.25"	865	52.1	CWM-R2014-3k
WR-484830	FRP	48" x 48"	48" x 48"	30"	43" x 43"	47.5" x 47.5"	29.75"	235	36.3	CWM-R1620-2k
WR-604830	FRP	60" x 48"	60" x 48"	30"	55" x 43"	59.5" x 47.5"	29.75"	270	45.7	CWM-R2020-2k
WR-724830	FRP	72" x 48"	72" x 48"	30"	67" x 43"	71.5" x 47.5"	29.75"	305	55.0	CWM-R1620-3k
WR-964830	FRP	96" x 48"	96" x 48"	30"	91" x 43"	95.5" x 47.5"	29.75"	375	73.6	CWM-R1620-4k
WCR-484830	GFRC	48" x 48"	48" x 48"	30"	43" x 43"	46.5" x 46.5"	29.25"	560	33.2	CWM-R1620-2k
WCR-604830	GFRC	60" x 48"	60" x 48"	30"	55" x 43"	58.5" x 46.5"	29.25"	655	41.8	CWM-R2020-2k
WCR-724830	GFRC	72" x 48"	72" x 48"	30"	67" x 43"	70.5" x 46.5"	29.25"	750	50.5	CWM-R1620-3k
WCR-964830	GFRC	96" x 48"	96" x 48"	30"	91" x 43"	94.5" x 46.5"	29.25"	960	67.3	CWM-R2020-3k
WR-484836	FRP	48" x 48"	48" x 48"	36"	43" x 43"	47.5" x 47.5"	35.75"	295	43.7	CWM-R1620-2k
WR-604836	FRP	60" x 48"	60" x 48"	36"	55" x 43"	59.5" x 47.5"	35.75"	335	54.9	CWM-R2020-2k
WR-724836	FRP	72" x 48"	72" x 48"	36"	67" x 43"	71.5" x 47.5"	35.75"	385	66.1	CWM-R1620-3k
WR-964836	FRP	96" x 48"	96" x 48"	36"	91" x 43"	95.5" x 47.5"	35.75"	475	88.5	CWM-R1620-4k
WCR-484836	GFRC	48" x 48"	48" x 48"	36"	43" x 43"	46.5" x 46.5"	35.25"	790	39.4	CWM-R1620-2k
WCR-604836	GFRC	60" x 48"	60" x 48"	36"	55" x 43"	58.5" x 46.5"	35.25"	930	49.5	CWM-R2020-2k
WCR-724836	GFRC	72" x 48"	72" x 48"	36"	67" x 43"	70.5" x 46.5"	35.25"	1060	59.8	CWM-R2920-2k
WCR-964836	GFRC	96" x 48"	96" x 48"	36"	91" x 43"	94.5" x 46.5"	35.25"	1320	80.5	CWM-R2020-4k
WR-484842	FRP	48" x 48"	48" x 48"	42"	43" x 43"	47.5" x 47.5"	35.75"	345	51.1	CWM-R1620-2k
WR-604842	FRP	60" x 48"	60" x 48"	42"	55" x 43"	59.5" x 47.5"	35.75"	400	64.3	CWM-R2020-2k
WR-724842	FRP	72" x 48"	72" x 48"	42"	67" x 43"	71.5" x 47.5"	35.75"	450	77.4	CWM-R1620-3k
WR-964842	FRP	96" x 48"	96" x 48"	42"	91" x 43"	95.5" x 47.5"	35.75"	555	103.7	CWM-R1620-4k
WCR-484842	GFRC	48" x 48"	48" x 48"	42"	43" x 43"	46.5" x 46.5"	35.25"	870	46.8	CWM-R1620-2k
WCR-604842	GFRC	60" x 48"	60" x 48"	42"	55" x 43"	58.5" x 46.5"	35.25"	1035	58.7	CWM-R2020-2k
WCR-724842	GFRC	72" x 48"	72" x 48"	42"	67" x 43"	70.5" x 46.5"	35.25"	1165	71.0	CWM-R2920-2k
WCR-964842	GFRC	96" x 48"	96" x 48"	42"	91" x 43"	94.5" x 46.5"	35.25"	1480	95.0	CWM-R2020-4k



WR-724830

Tournesol SITEWORKS

Gregg Harding

From: Ebent, Aaron <AEbent@kahlerslater.com>
Sent: Friday, August 12, 2022 2:43 PM
To: Gregg Harding; Tosh Belsinger
Cc: Leslie Statler
Subject: [EXTERNAL] RE: 39 E. Chase Street / ARB Comments
Attachments: Apolic Details.pdf

THIS EMAIL IS FROM AN EXTERNAL EMAIL ACCOUNT

Hi Gregg-

Attached are some of the requested product information for Metal Panel 1. It is ACM so there are a few straightforward ways to detail it. The color of both MP-1 & MP-2 would be the same.

We are working on section cut of the details for the screen wall in question at level 2. That will answer your questions on how the tops and corners are treated. I will get you that early next week, unless bringing it to the meeting can suffice.

Yes, we are aware that the photoreal rendering doesn't match the current design. We had that in the packet and labeled as for reference only. The equivalent and current view is shown on page 9 of the lasted packet we submitted, also snipped in below.

Let us know if you have any additional questions in advance of the meeting. Thanks!
Aaron

From: Gregg Harding <GHarding@cityofpensacola.com>
Sent: Wednesday, August 10, 2022 3:13 PM
To: Tosh Belsinger <tbelsinger@catalysthre.com>; Ebent, Aaron <AEbent@kahlerslater.com>
Cc: Leslie Statler <LStatler@cityofpensacola.com>
Subject: 39 E. Chase Street / ARB Comments

SOLID FINISHES

ALPOLIC®
METAL COMPOSITE MATERIALS

SURFACE TREATMENT

ALPOLIC® Solid Finish panels are available in a wide variety of colors and glosses and feature FEVE LUMIFLON™ finishes. PVDF Kynar finishes are available in custom orders. Both finishes are fluorocarbon paint systems that offer excellent durability and weatherability.

Standard stock sizes and thickness vary by product program. Please contact Customer Service for stock sizes. May be produced with either our traditional PE core or our with our fire-resistant core.

Please contact Customer Service for current available stock and additional information.

FINISH TOLERANCE

Color:	DE 2.5 max from standard
Gloss:	Nominal +/-10 units

PRODUCT TOLERANCE

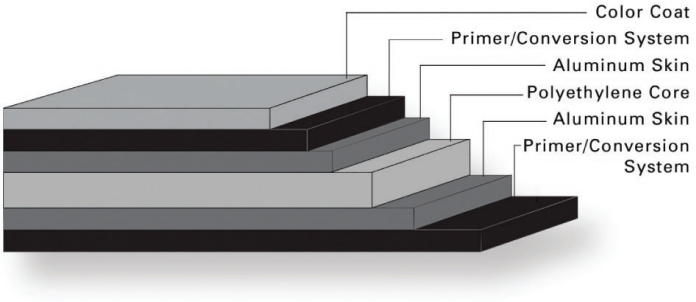
Width:	± 0.08″ (2mm)
Length:	± 0.012″ per ft (1 mm/meter)
Thickness:	3mm ± 0.008″ (0.2mm)
	4mm ± 0.008″ (0.2mm)
	6mm ± 0.012″ (0.3mm)
Bow:	Maximum 0.5% of length and/or width
Squareness:	Maximum 0.2″ (5mm)
Peel Strength:	>22.5 in lb/in (ASTM D1781)

ALPOLIC® material is trimmed and squared with cut edges to offer the best sheet edge conditions in the industry.

WARRANTY

Standard panel warranty: 10 year
Finish warranty: 10, 20 or 30 based on color

Call ALPOLIC® Customer Service for exclusions and warranty details.



FIRE PERFORMANCE

ALPOLIC® sheets can be produced with a fire resistant (fr) mineral filled core or a polyethylene (PE) core. Each has been tested by independent testing laboratories using nationally recognized standards.

ALPOLIC®/fr material meets all requirements of the International Building Code (IBC) for non-combustible construction and the ICC-ES ESR 2653.

ALPOLIC®/PE meets all requirements for building applications under 40 feet from grade and the ICC-ES ESR 3704.

PRODUCT NOTES

- Panels should be stored flat in a dry, indoor environment.
- Fabricate panels at temperatures above 55°F.
- Protective film should be removed from panels soon after installation.
- Please refer to ALPOLIC® Painted MCM Fabrication Manual for routing and fabrication recommendations.
- Crating fees apply to orders for less than standard piece crate.
- For best color consistency, ALPOLIC® recommends ordering all required solid paint finish panels at one time and maintaining consistent panel orientation during installation.
- Different lots of solid finishes should not be mixed on building elevation.

ALPOLIC® TECHNICAL ASSISTANCE
1.800.422.7270 | technicalservices@alpolic.com

401 Volvo Parkway, Chesapeake, VA 23320
Telephone 1.800.422.7270 | Fax 757.436.1896
www.alpolic-americas.com | Email: info@alpolic.com

072221

30 Year Finish Warranty Architectural Stock Colors

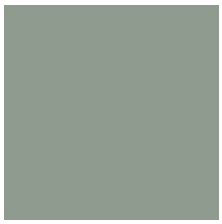
Stocked in 4mm unless otherwise stated

SOLID

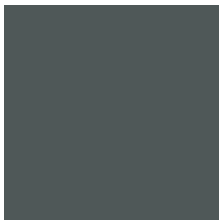
BNT Bone White
4-BNT-30
LRV 78.50/SRI 82-Cool

CRT Oyster
4-CRT-30
LRV 72.46/SRI 82-Cool

MST Mist White
4-MST-30
LRV 69.96/SRI 75-Cool

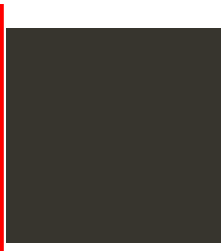


AGT Aluminum Grey
4-AGT-30
LRV 31.60/SRI 26

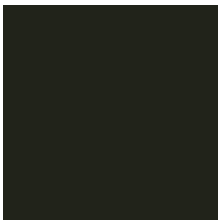


BGY Grey
4-BGY-50
LRV 10.41/SRI 7

CNC Charcoal
3-CNC-30
LRV 4.20
3&4mm



JBR Bronze
4-JBR-30
LRV 3.34/SRI 2



TOB Black
4-TOB-15
LRV 1.01/SRI 0

Order samples at
www.alpolic-americas.com/samples

ALPOLIC®

MICA

OPT Mica Platinum
4-OPT-50
LRV 30.88/SRI 53-Cool

MNC Mica Anodic Clear
4-MNC-30
LRV 34.43/SRI 56-Cool

MCU Mica Champagne
4-MCU-30
LRV 22.61/SRI 38-Cool

MZG Mica Grey
4-MZG-50
LRV 7.95/SRI 14

MFS Mica Grey
4-MFS-30
LRV 13.41

METALLIC

BSX Metallic Silver
4-BSX-30
LRV 30.94/SRI 71-Cool

SMX Metallic Silver
4-SMX-30
LRV 36.59/SRI 63-Cool

CMX Metallic Champagne
4-CMX-30
LRV 31.19/SRI 59-Cool

MBX Metallic Bronze
4-MBX-30
LRV 31.20/SRI 40-Cool

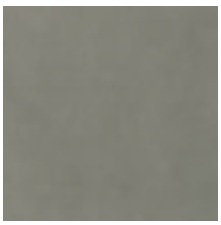
DCX Metallic Copper
4-DCX-30
LRV 15.09/SRI 47-Cool

Premium Architectural Stock Finishes

Call ALPOLIC® Customer Service for Warranty Details 800.422.7270

NATURAL METALS

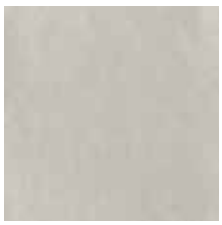
Stainless
4-4HL
LRV 21.84/SRI 34-Cool



Quartz Zinc
4-AZZ
LRV 21.51/SRI 0

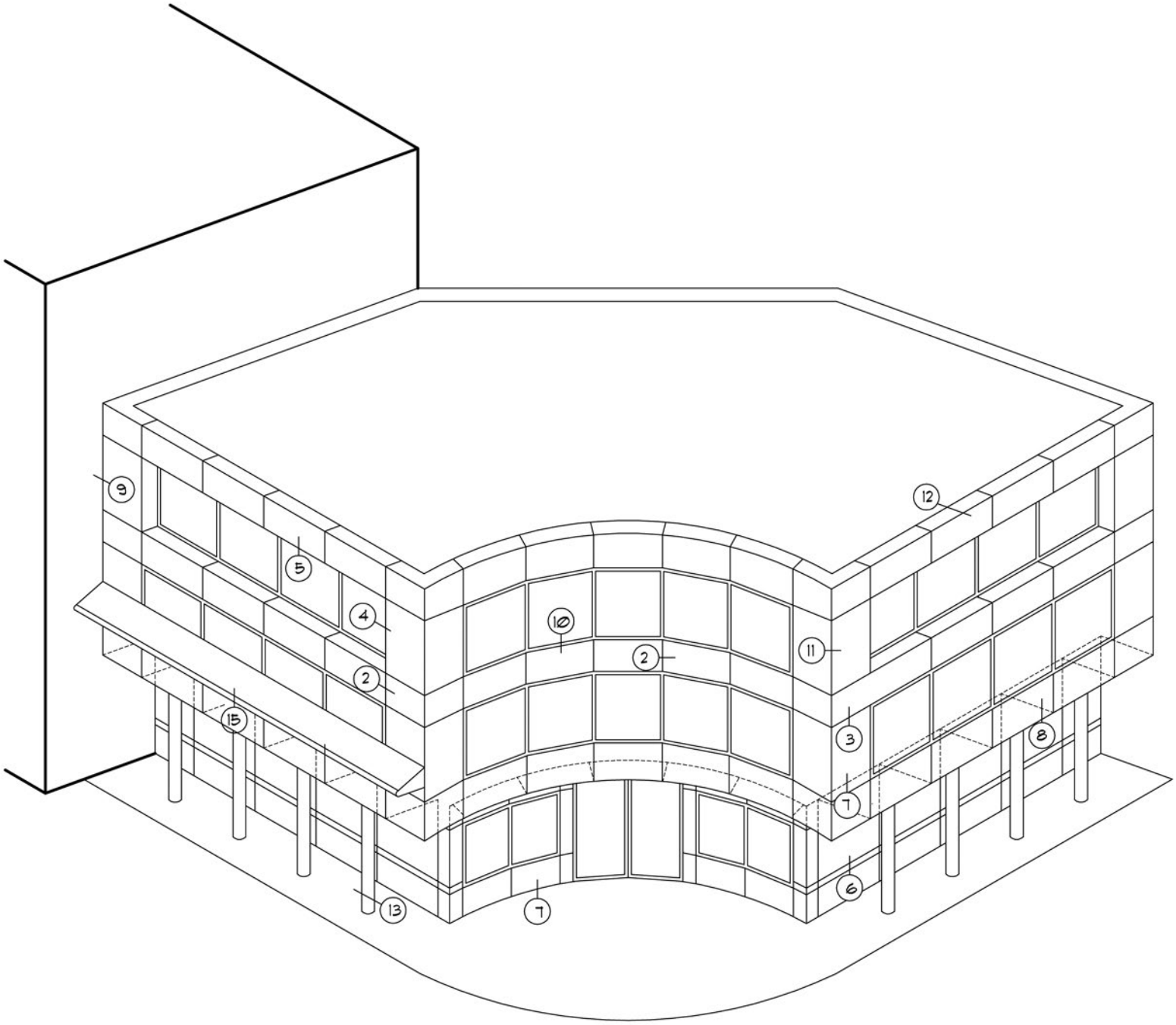
Copper
4-C12
LRV 5.03/SRI 55-Cool

ANODIZED



Clear
4-CLR
LRV 34.31/SRI 84-Cool

Mitsubishi Composites America, Inc. reserves the right to change or delete information herein without prior notice. Please refer to warranty details for exclusions and limitations. Additional warranty coverage may be given to some projects/products. Please call 800.422.7270 for more information.



ALPOLIC®

DRY SEAL SYSTEM
10.01.05
www.alpolic-americas.com

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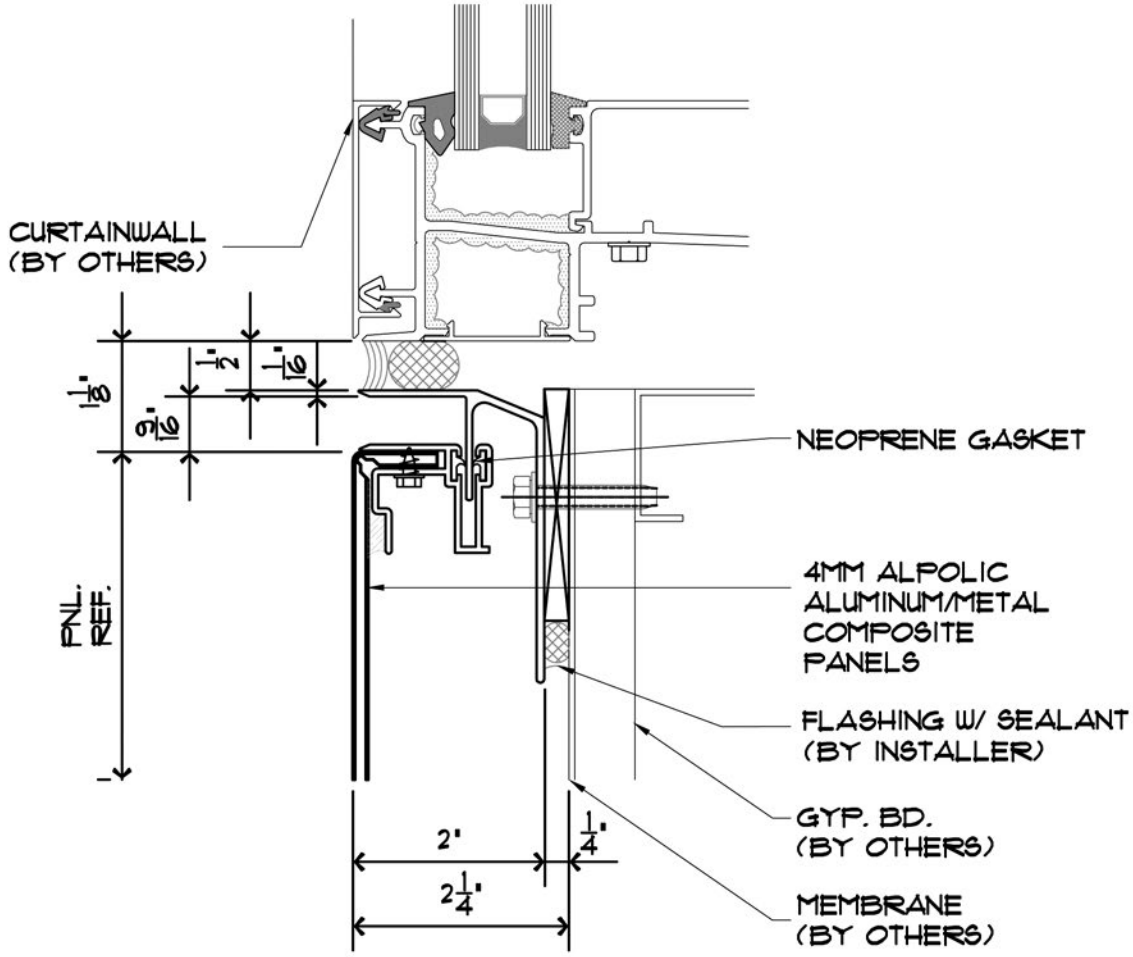

1 DS SILL DETAIL

SCALE: 6" = 1'–0"

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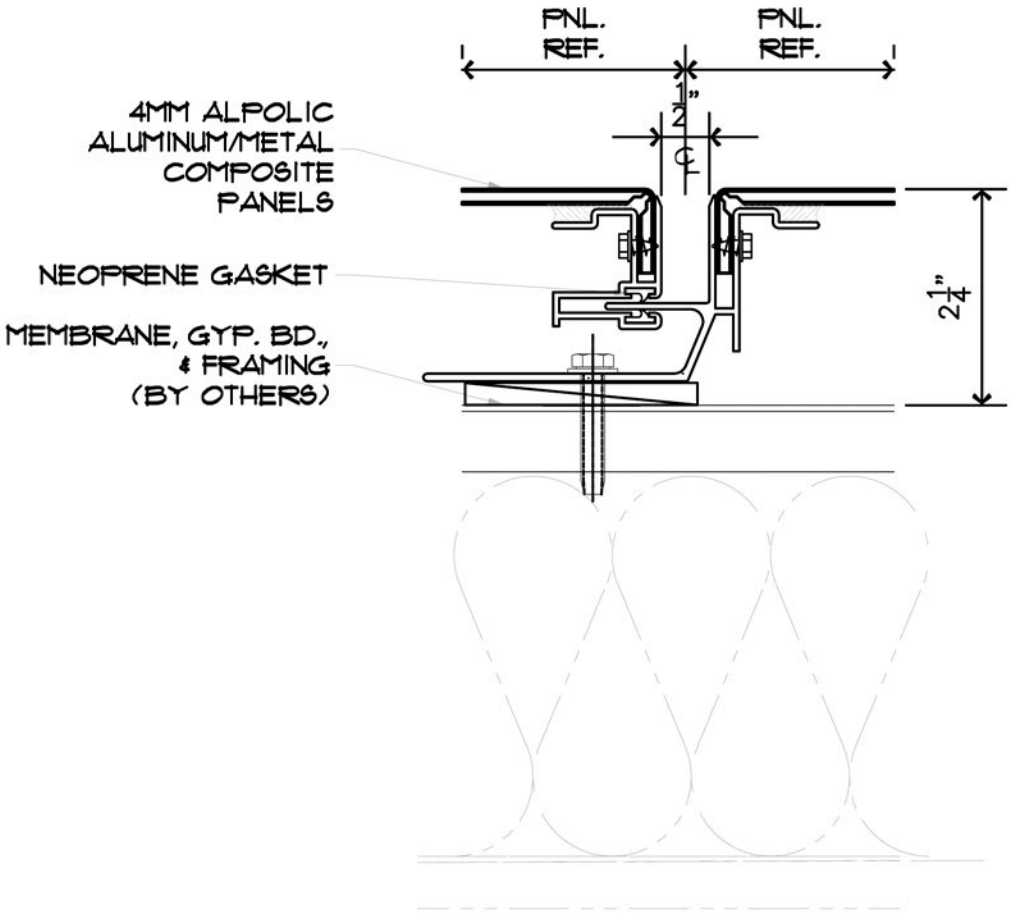

2 DS VERTICAL JOINT

SCALE: 6" = 1'–0"

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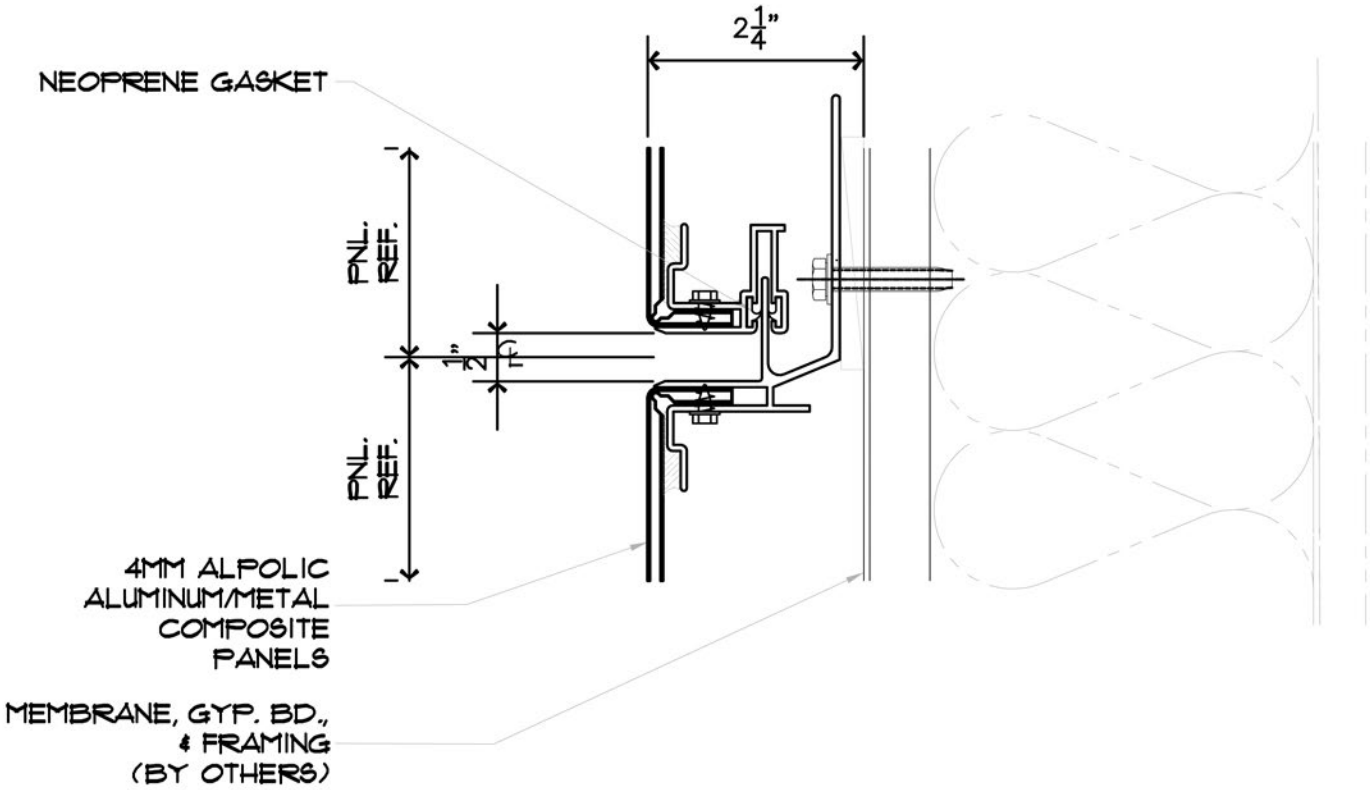

3 / DS HORIZONTAL JOINT

SCALE: 6" = 1'-0"

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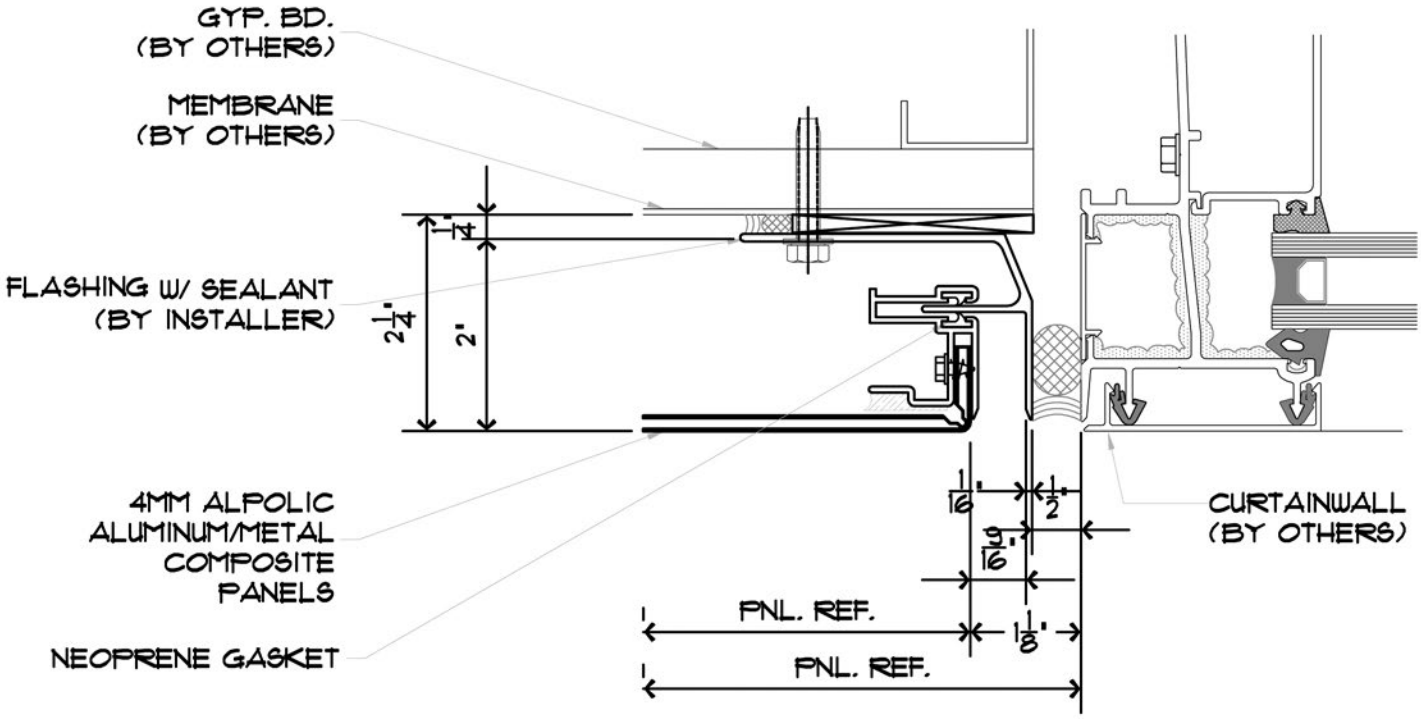

4 / DS JAMB DETAIL

SCALE: 6" = 1'-0"

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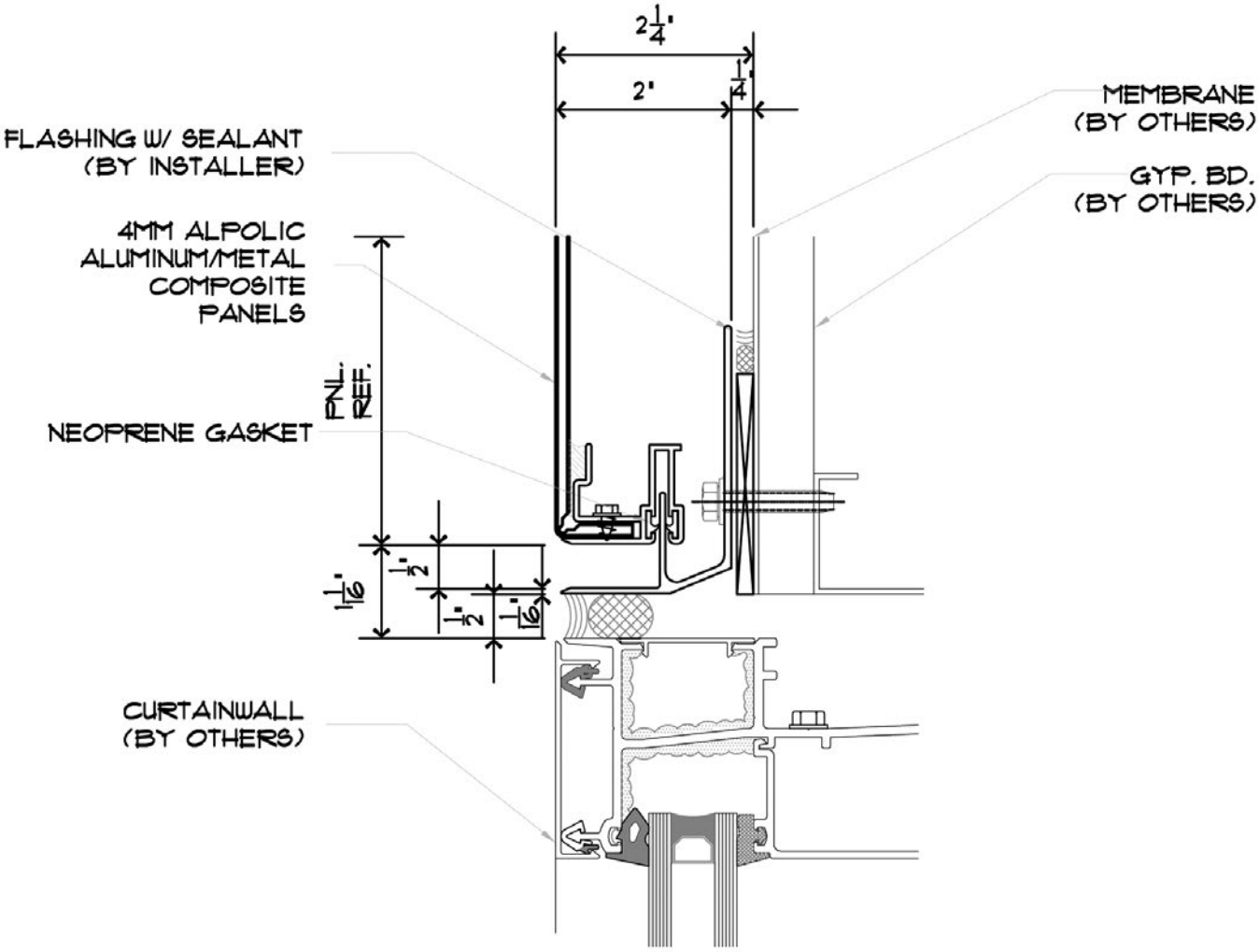

5
DS

HEAD DETAIL

SCALE: 6" = 1'–0"

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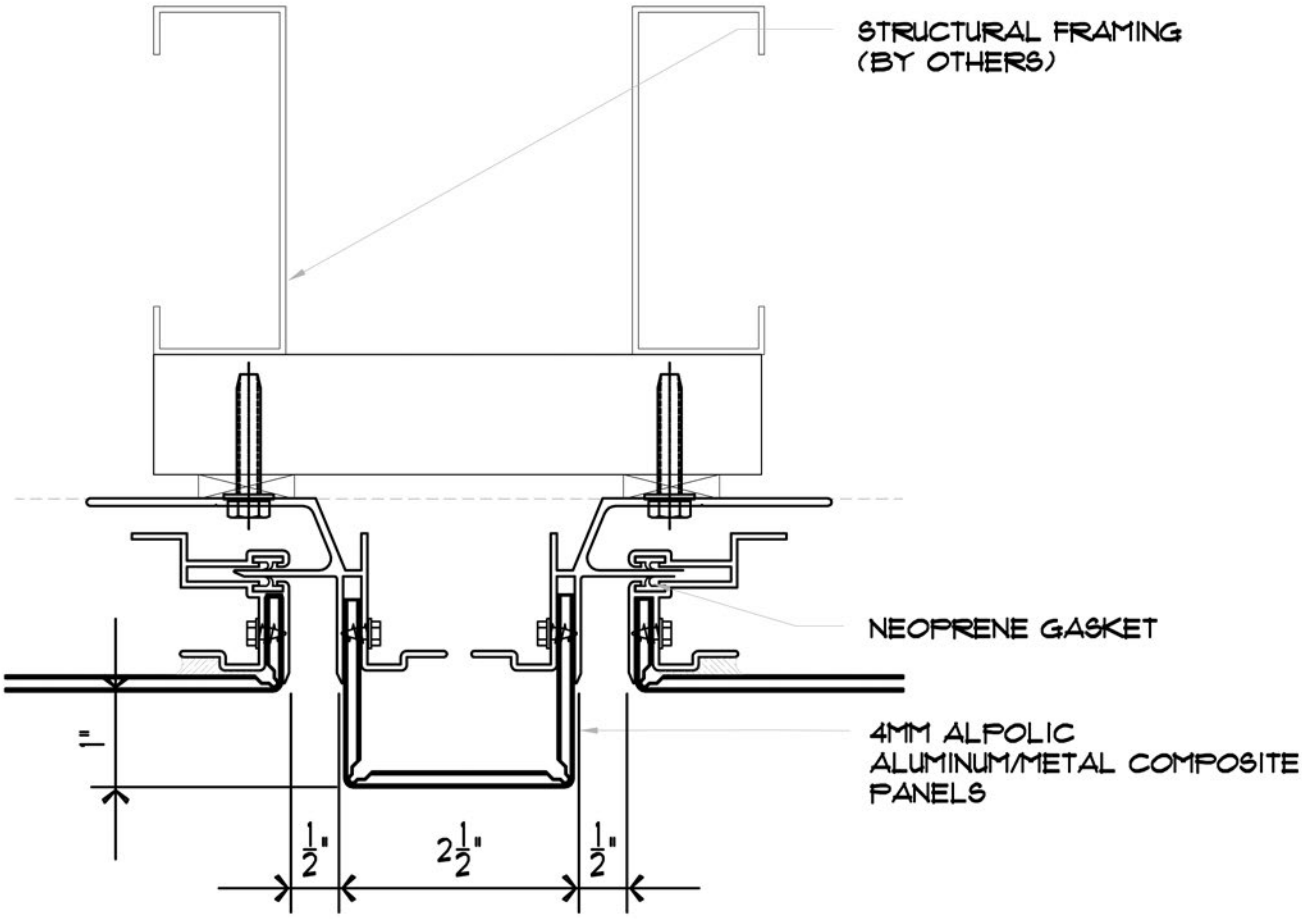

6 / DS BATTEN DETAIL

SCALE: 6" = 1'-0"

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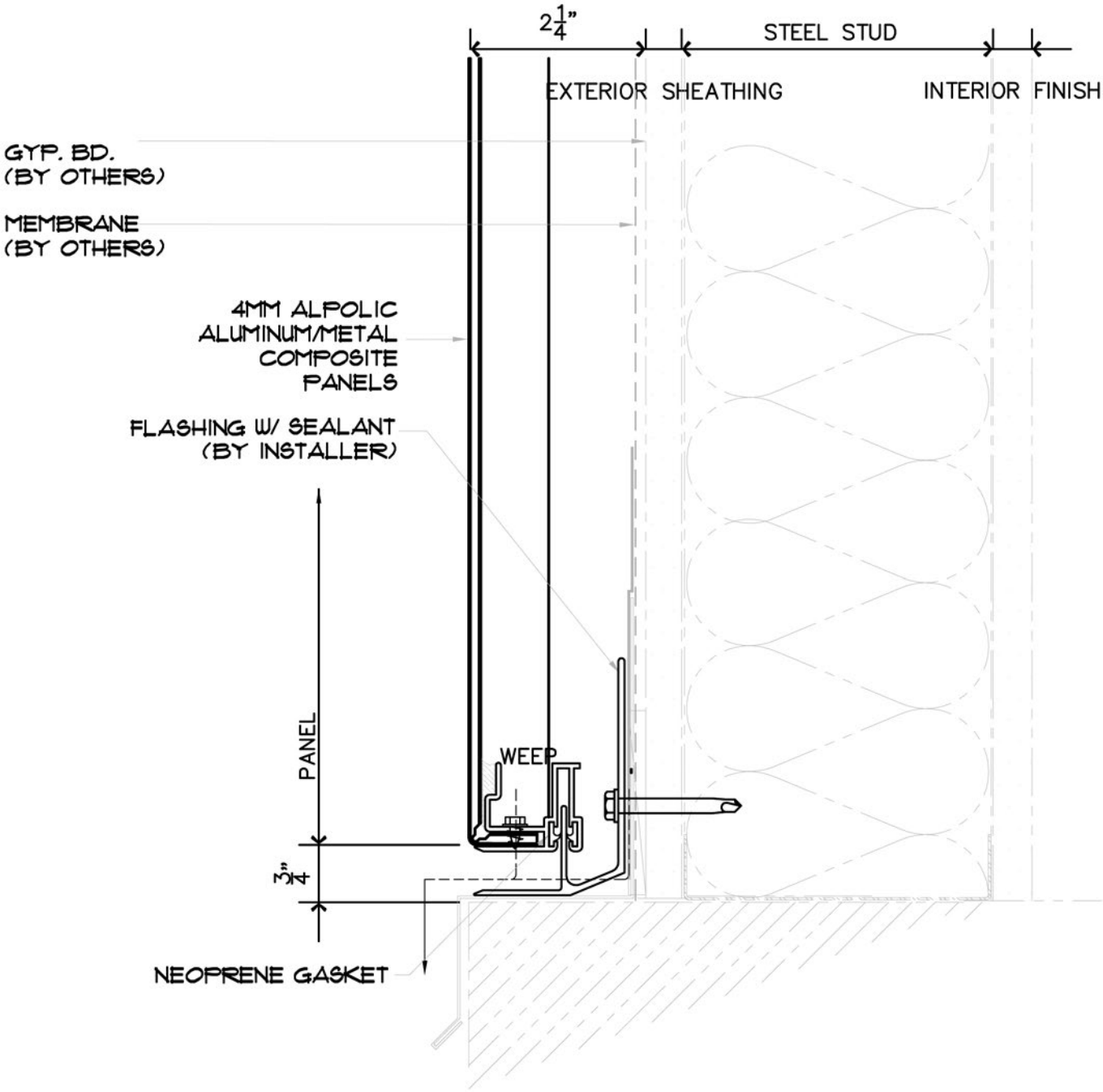

7 DS BASE CONDITION

SCALE: 6" = 1'-0"

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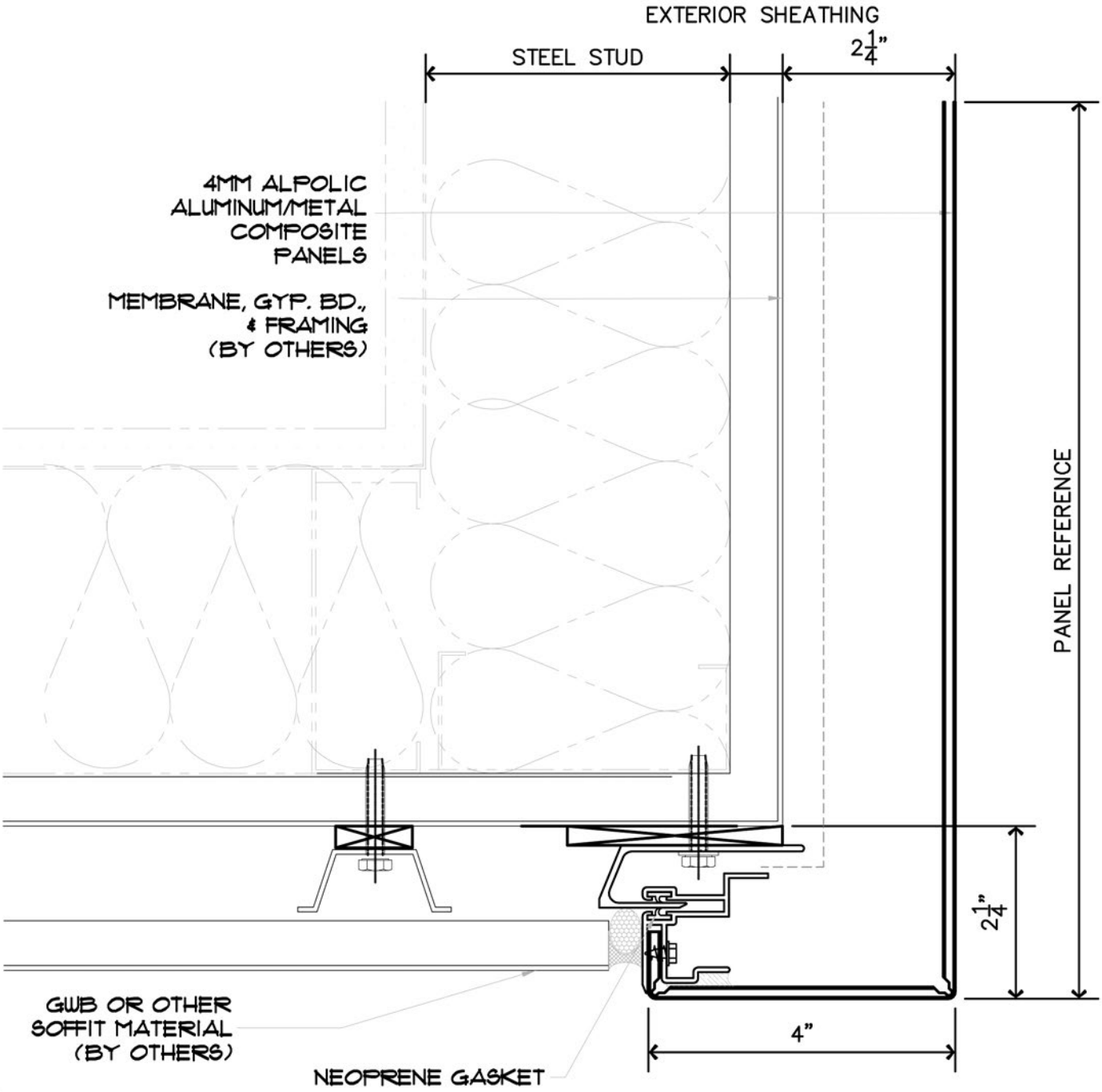

8 / DS SOFFIT DETAIL

SCALE: 6" = 1'-0"

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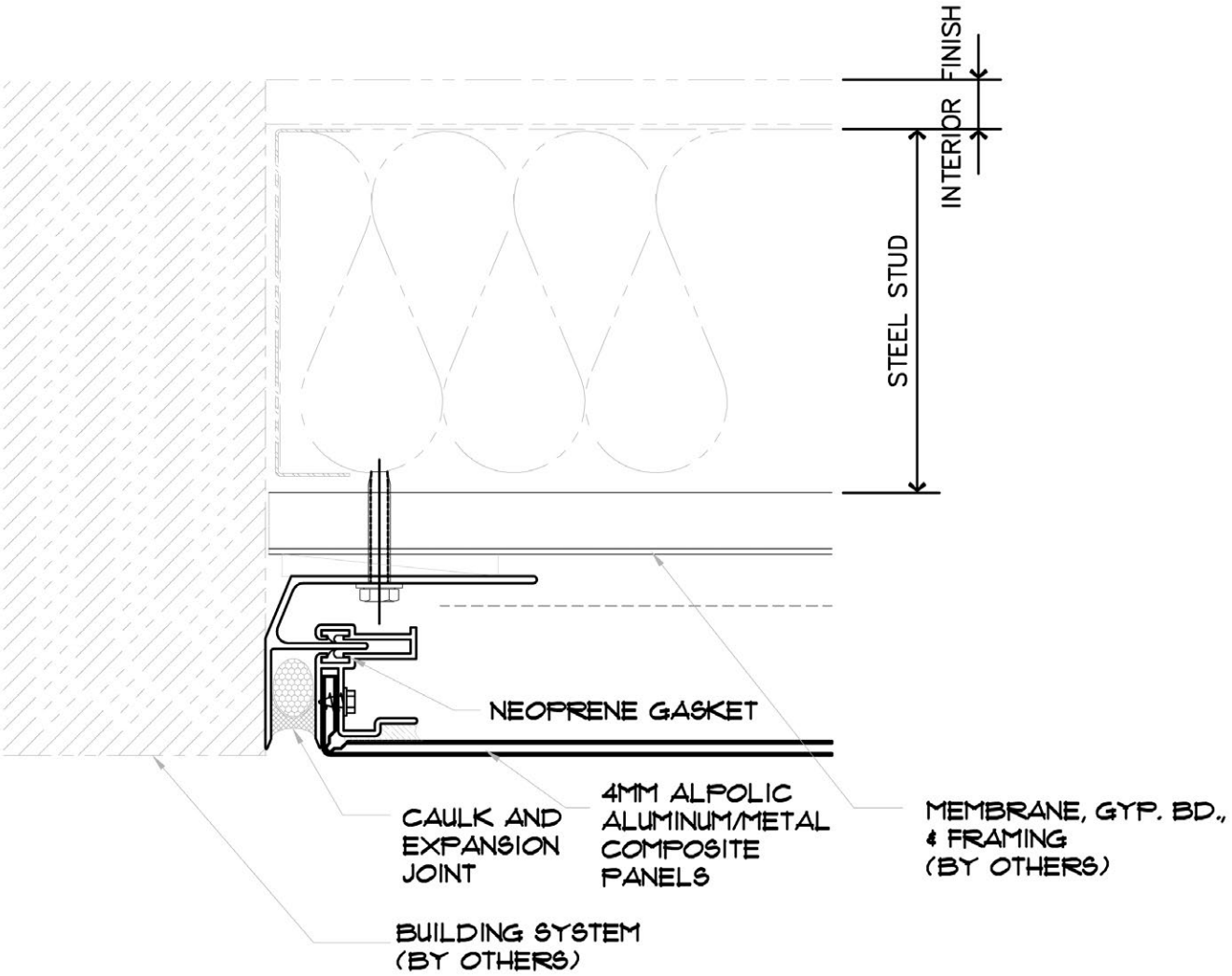

9 / DS

ABUTMENT DETAIL

SCALE: FULL

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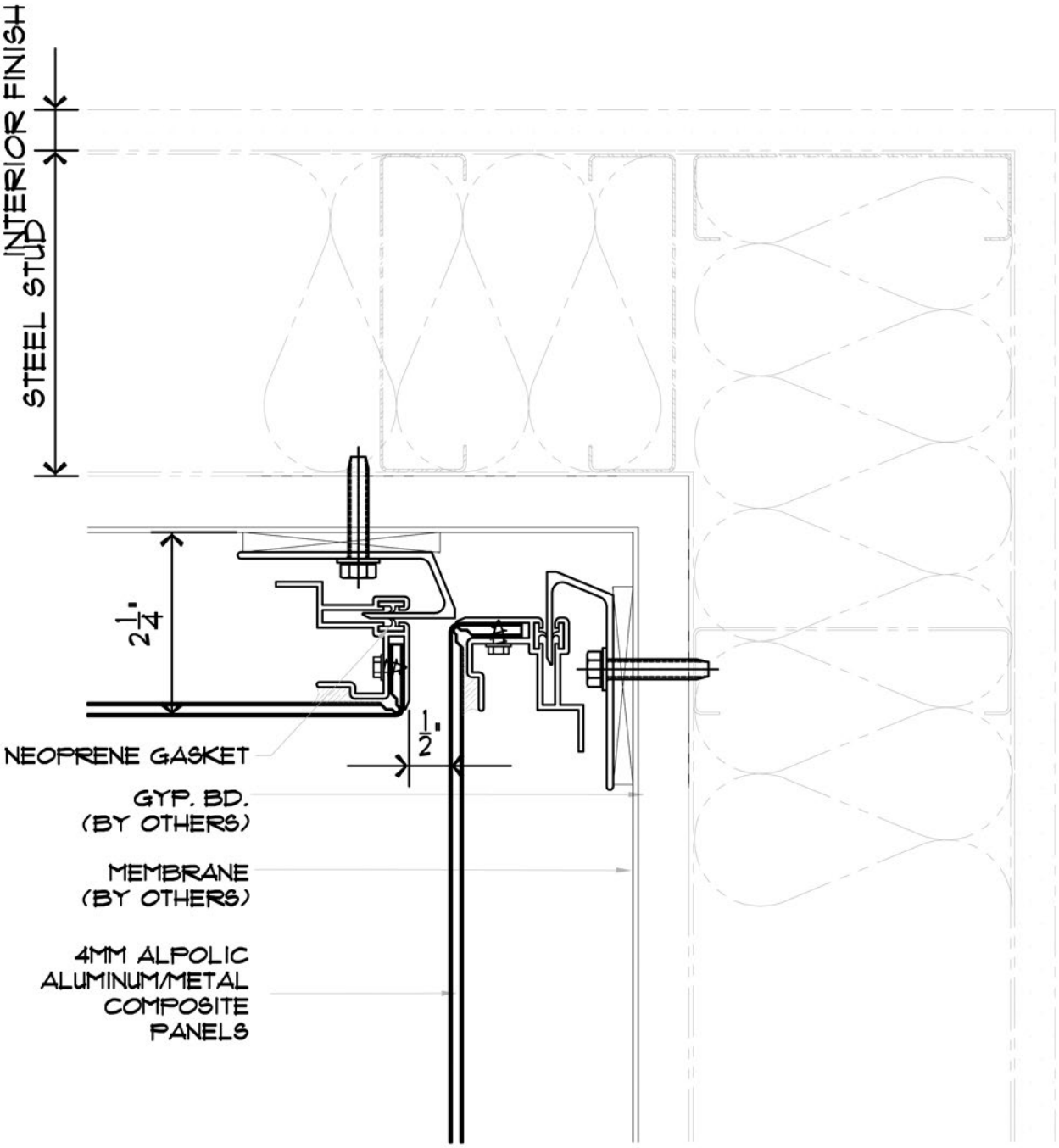

10 / DS INSIDE CORNER

SCALE: 6" = 1'-0"

ALPOLIC®

DRY SEAL SYSTEM
10.01.05
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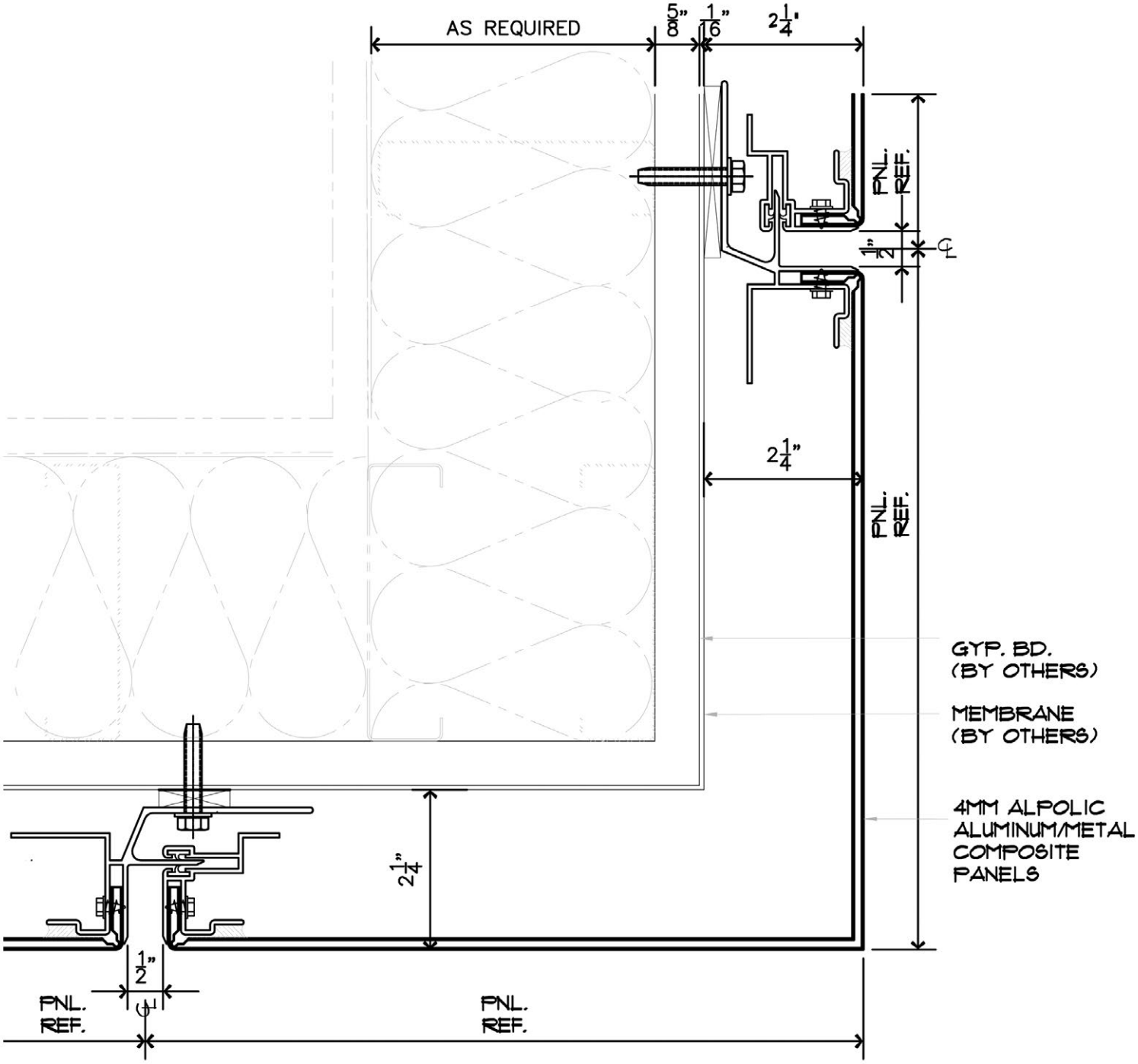

11 DS OUTSIDE CORNER

SCALE: 6" = 1'-0"

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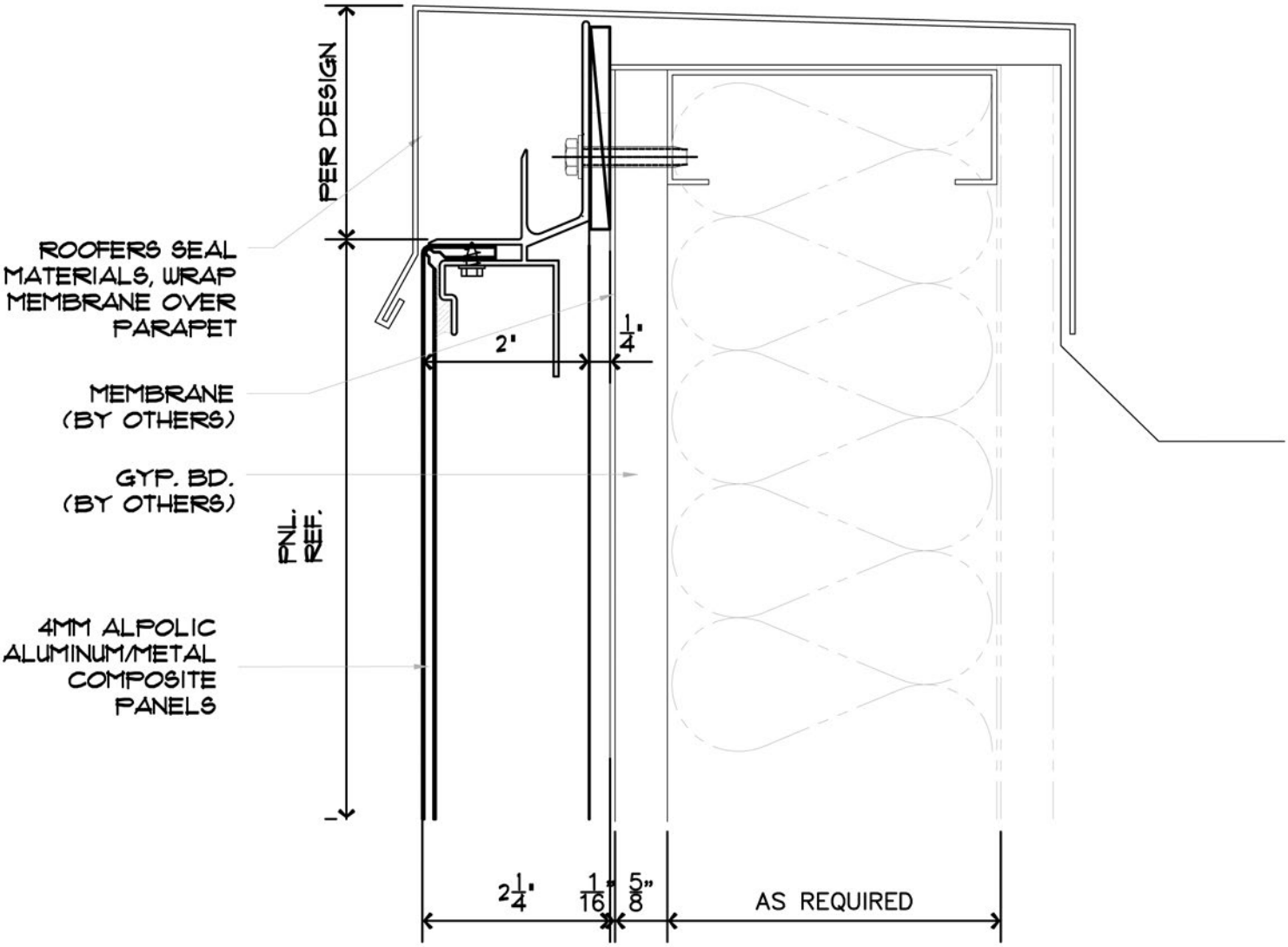

12 / DS

PARAPET DETAIL

SCALE: 6" = 1'–0"

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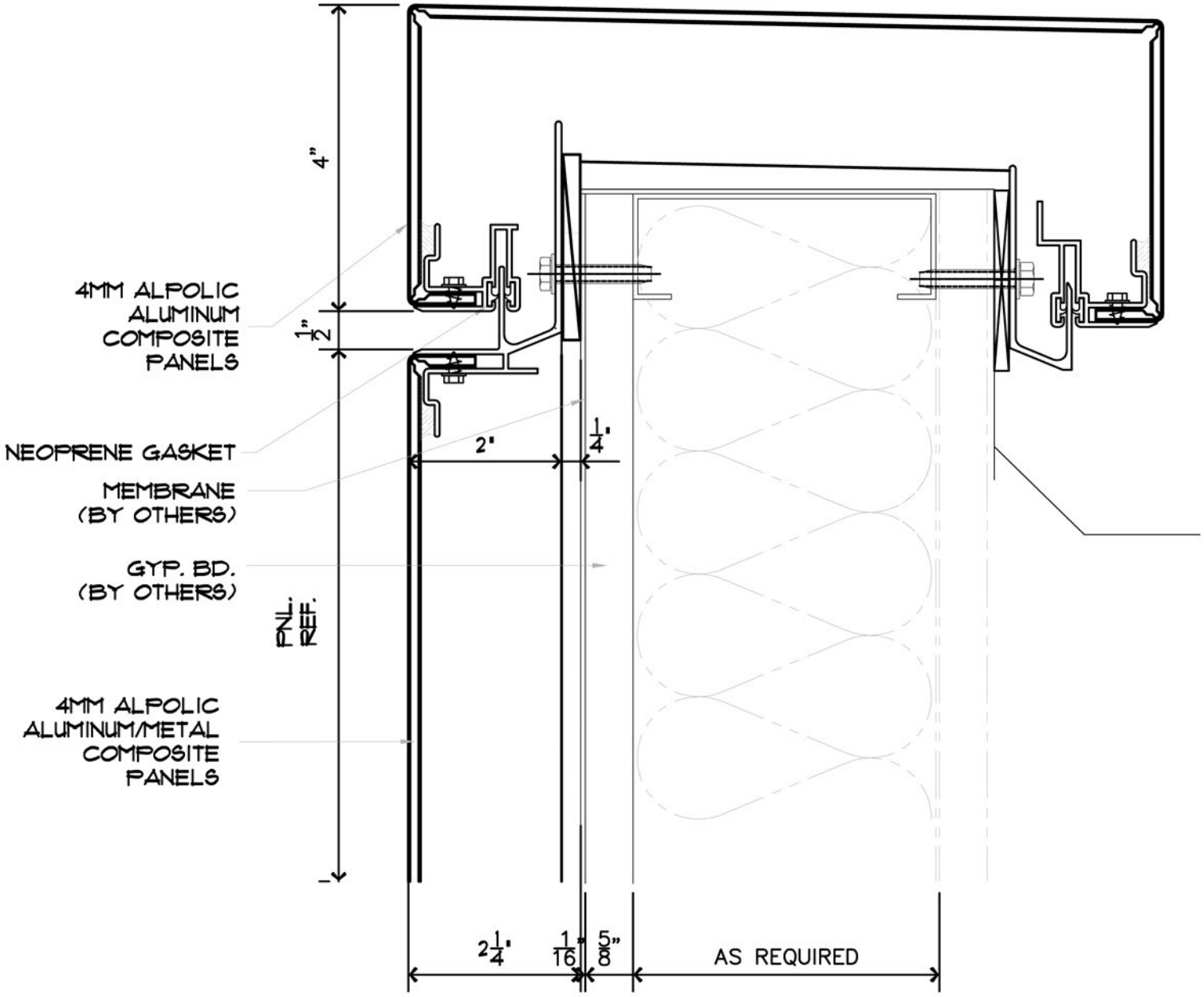

12A DS PARAPET DETAIL OPTION 2

SCALE: 6" = 1'-0"

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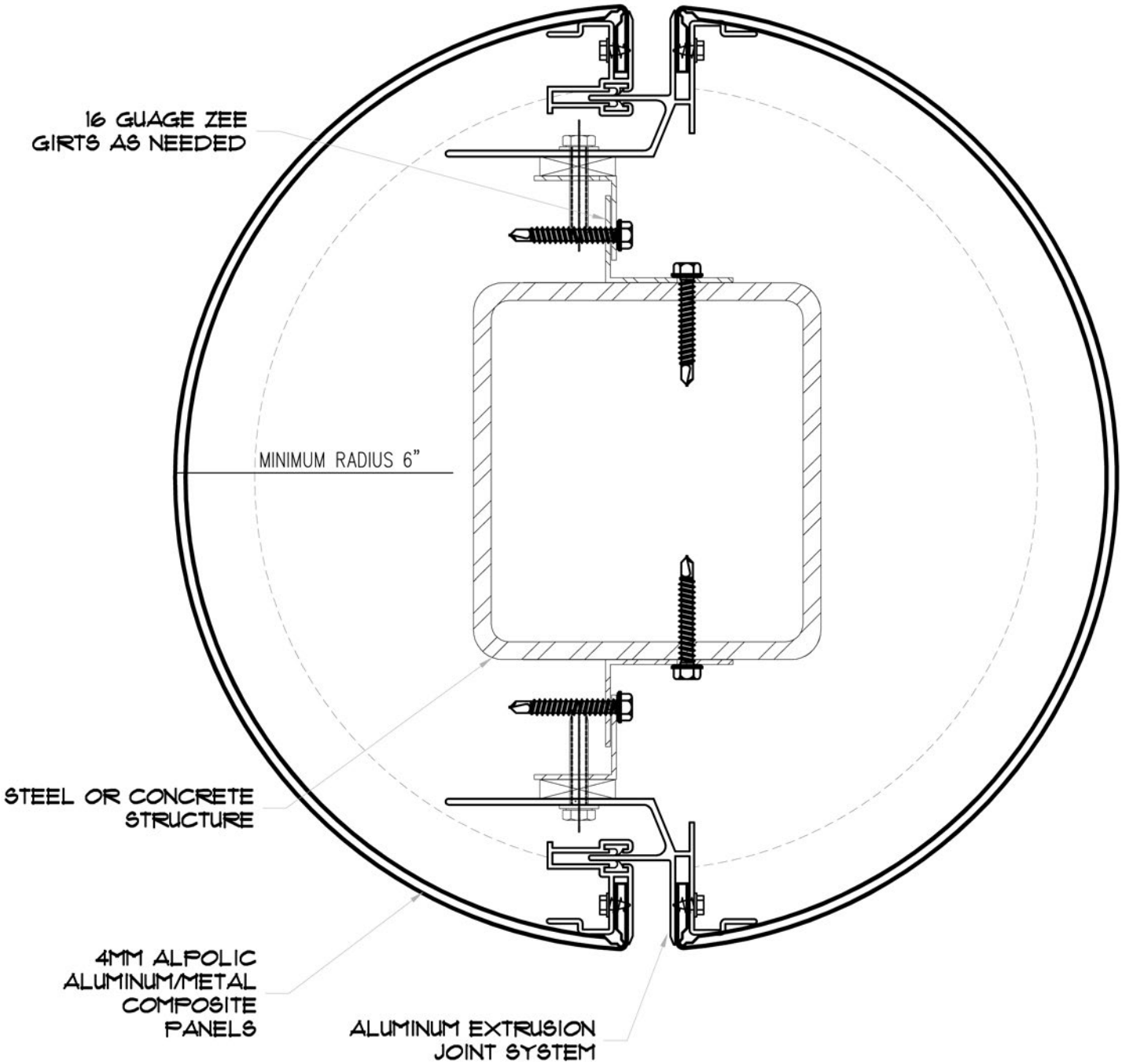

13 DS CIRCULAR COLUMN

SCALE: 6" = 1'–0"

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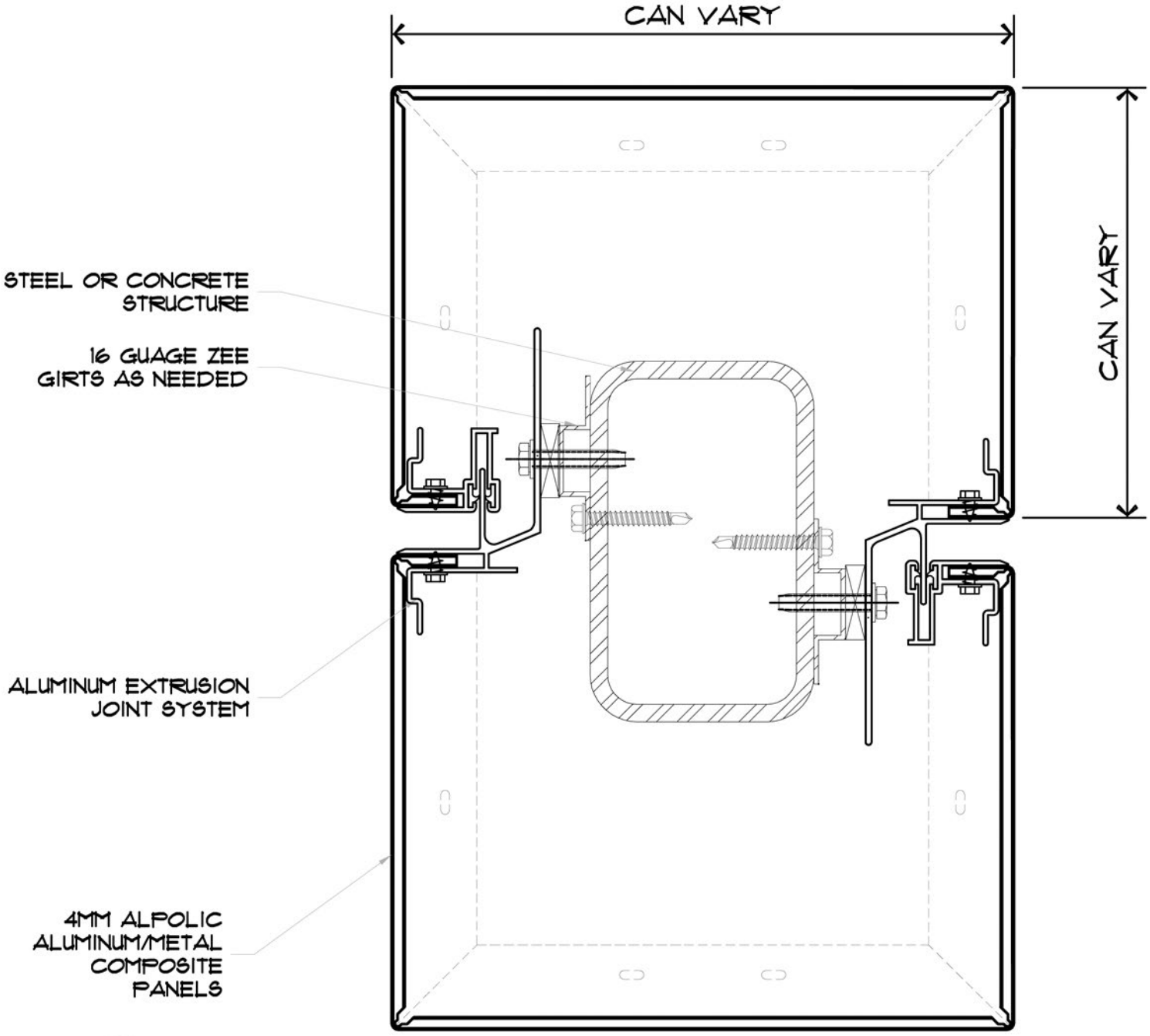

14 DS SQUARE COLUMN

SCALE: 6" = 1'-0"

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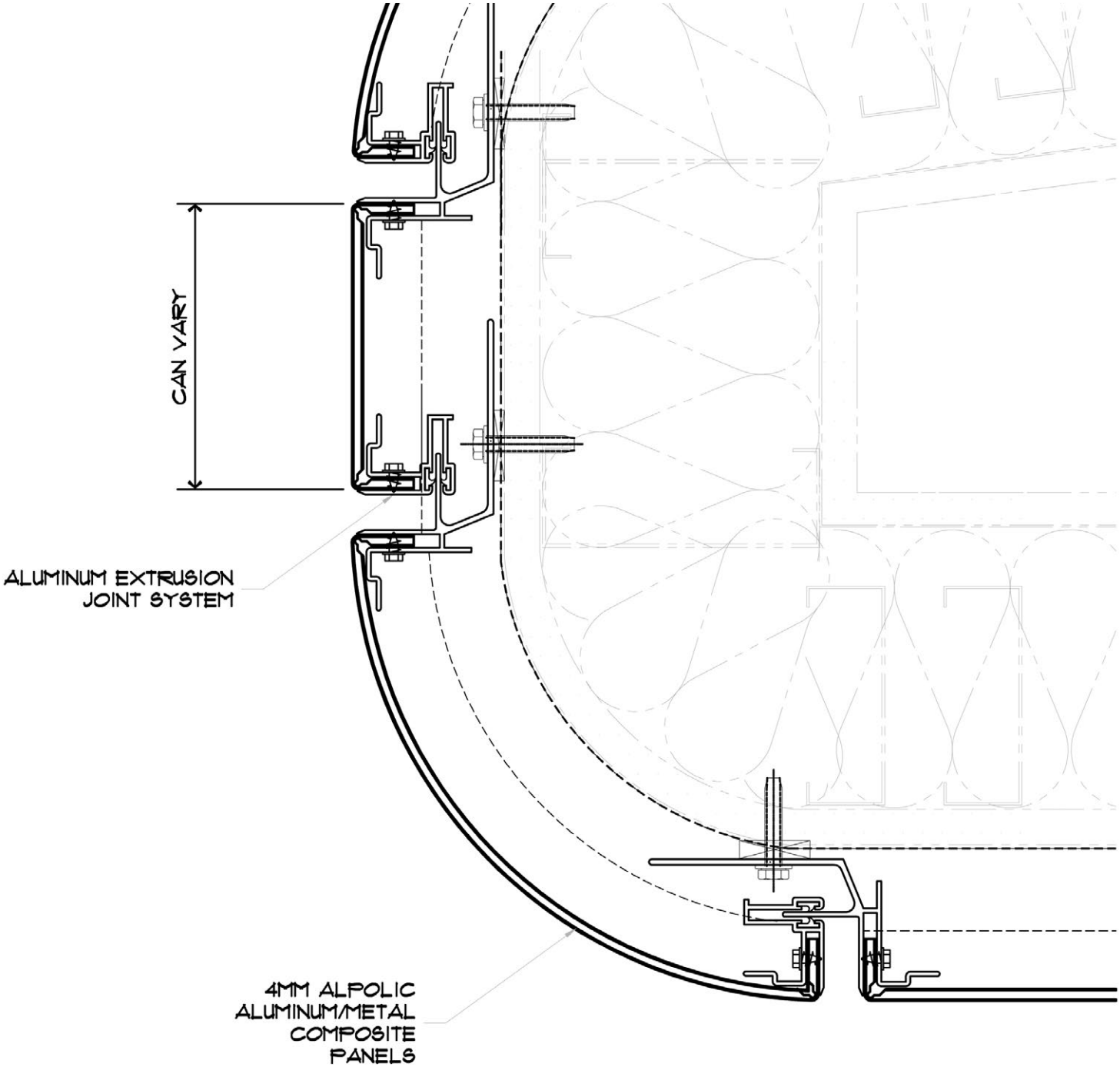

15 DS CANOPY/SUNSHADE

SCALE: 6" = 1'-0"

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